



Town of Paradise Valley

6401 E Lincoln Dr
Paradise Valley, AZ 85253

Meeting Notice and Agenda Hillside Building Committee

Wednesday, June 8, 2022

8:00 AM

Town Hall Boardroom

Committee Members

Chair Scott Jarson, Scott Tonn, Thomas Campbell, Kristina Locke, James Rose

1. Call to Order

Notice is hereby given that members of the Committee will attend either in person or by telephone conference call, pursuant to A.R.S. §38-431(4).

2. Executive Session

The Committee may convene into an executive session at one or more times during the meeting as needed to confer with the Town Attorney for legal advice regarding any of the items listed on the agenda as authorized by A.R.S. §38-431.03.A.3.

3. Application Review

The Committee may take action on these items.

- A. [22-238](#) **Formal review for a new single family residence at 4517 E Desert Park Place (APN 169-11-100).**

Attachments:

[Hillside Map.pdf](#)
[Vicinity Map.pdf](#)
[Aerial.pdf](#)
[Application.pdf](#)
[Notification Materials.pdf](#)
[Narrative.pdf](#)
[Report.pdf](#)
[Plans.pdf](#)
[Material Board.pdf](#)
[Comments.pdf](#)

- B. [22-239](#) **Combined review of a natural-looking path and sitting area with Sonoran Desert vegetation 4211 E Claremont Avenue (APN: 169-22-097). (continued)**

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 [Vicinity Map.pdf](#)
 [Aerial.pdf](#)
 [Application.pdf](#)
 [Notification Materials \(05112022\).pdf](#)
 [Narrative \(06082022\).pdf](#)
 [Report \(06082022\).pdf](#)
 [Plans \(06082022\).pdf](#)
 [Narrative \(05112022\).pdf](#)
 [Report \(05112022\).pdf](#)
 [Plans \(05112022\).pdf](#)
 [Material Board.pdf](#)
 [Comments \(05112022\).pdf](#)

4. Staff Reports

5. Committee Reports

6. Next Meeting Date

The next Hillside Building Committee meeting dates are tentatively scheduled for Wednesday, July 6, 2022 at 8:00 a.m. and Wednesday, August 10, 2022 at 8:00 a.m.

7. Adjournment

AGENDA IS SUBJECT TO CHANGE

**Notice is hereby given that pursuant to A.R.S. §1-602.A.9, subject to certain specified statutory exceptions, parents have a right to consent before the State or any of its political subdivisions make a video or audio recording of a minor child. Meetings of the Planning Commission are audio and/or video recorded, and, as a result, proceedings in which children are present may be subject to such recording. Parents in order to exercise their rights may either file written consent with the Town Clerk to such recording, or take personal action to ensure that their child or children are not present when a recording may be made. If a child is present at the time a recording is made, the Town will assume that the rights afforded parents pursuant to A.R.S. §1-602.A.9 have been waived.*

The Town of Paradise Valley endeavors to make all public meetings accessible to persons with disabilities. With 72 hours advance notice, special assistance can also be provided for disabled persons at public meetings. Please call 480-948-7411 (voice) or 480-483-1811 (TDD) to request accommodation to participate in the meeting.



Action Report

File #: 22-238

To: Hillside Building Committee

From: Hugo Vasquez; Hillside Development Administrator

Date: June 8, 2022

Subject: Formal review for a new single family residence at 4517 E Desert Park Place (APN 169-11-100).

Narrative: The proposed project shall construct a new single family residence. The new project has an application date of March 3rd, 2021 and will be reviewed under the 2018 Hillside Development Regulations.

Lot Data		
1.	Area of Lot	1.035 ac or 45,098 ft ²
2.	Area Under Roof	4,493 ft ²
3.	Floor Area Ratio	9.96%
4.	Building Site Slope	34.00%
5.	Allowable Disturbed Area	4,546 ft ² (10.08%)
6.	Existing Net Disturbed Area	0 ft ² (0.00%)
7.	Proposed Net Disturbed Area	4,295 ft ² (9.52%)
8.	Maximum Building Height	26 ft - 1 in
9.	Overall Height	34 ft - 5 in
10.	Volume of Cut/Fill	3,630 yd ³
11.	Hillside Assurance	\$122,343

Background

The property is currently in an undisturbed state.

New Single Family Residence

The project shall construct a new single family residence with an approximate total of 6,800 ft² of livable area.

Guesthouse

No guesthouse has been proposed.

Driveway

A new driveway has been proposed along the north property line entering from E Desert Park Place. Proposed material for the driveway and auto court shall be graphite Belgard pavers (LRV 18) with dark gray concrete dividing strips (LRV 20). All materials shall have an LRV of 38 or less.

Pool

A pool is proposed west of the residence within the year yard.

Building Materials

The proposed building materials shall include stucco finishes in gray (Western 1 Kote, Tungsten, LRV 34). Exterior metal panels shall be gray azurite ore (LRV 23) and flashings shall be light gray (LRV 37). Retaining walls shall be finished in tan (LRV 30) and a decorative metal wire mesh (LRV 18) shall be attached to the eastern auto court retaining walls. Metal door and window frames, as well as railings, shall be black (LRV 5-7). Roof coatings shall finished in gray (LRV 37). Exposed ceilings shall be constructed with natural Ipe wood finishes (LRV 17). All materials shall have an LRV of 38 or less.

Hardscape

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Building Lighting

All proposed building lighting shall be provided by two (2) wall sconces (480 lumens actual / 750 lumens allowable) and forty-three (43) recessed can lights (400 lumens actual / 750 lumens allowable). Nine (9) downward facing niche lights (47 lumens actual / 750 lumens allowable) are also proposed to illuminate the rear courtyard, along with three (3) stem lights (715 lumens actual / 750 allowable) for the BBQ area. All light sources shall have a maximum color temperature of 2700K. The exterior wall lighting table on Sheet A2.1 does not fully match the illustrated counts and the applicant shall be required to correct if approved (see Stipulation #15).

Landscape & Driveway Lighting

Proposed landscape lighting shall be provided by fifteen (15) custom mounted wall lights (60 lumens actual / 250 lumens allowable). All light sources shall have a maximum color temperature of 3000K.

Landscaping

Areas restored after construction shall be reseeded with a desert seed mix. Proposed site vegetation is provided on the table below:

Trees	Cacti / Accents / Shrubs	Cacti / Accents / Shrubs
Ironwood Tre	Desert Marigold	Prickly Pear Cactus
Foothills Palo Verde	Saguaro	Mexican Fence Post
Cacti / Accents / Shrubs	Pink Fairy Duster	Jojoba
Bursage	Candelilla	Goldeneye
Parry's Agave	Chuparosa	
Banana Yucca	Climbing Fig Vine	

Land Disturbance

No disturbance currently exists on the lot and the building pad slope of 34.00% allows a disturbance of 10.08% (4,546 ft²) the lot. The applicant has proposed a net disturbed area of approximately 9.52% (4,295 ft²), which is less than the allowable disturbance.

Grading and Drainage

A grading and drainage plan has been provided. The proposed construction of the property shall be required properly retain the greater of "pre vs post" or "first flush" storm water volumes for the 100-year, 2-hour rainfall event. An underground detention system has been proposed beneath the driveway as recommended by the project geotechnical engineer due to subsurface conditions. A trench drain with a sump pump shall capture the remaining driveway runoff and

pump to the underground detention system beneath the driveway. The underground detention system will be drained via a sump pump with a discharge of 1 CFS or less.

Sewer

Public sewer is located on E Desert Park Place. The applicant will need to provide a connection to the existing sewer main.

Hillside Safety Improvement Plan

The Applicant submitted a Hillside Safety Improvement Plan in accordance with the Hillside Safety Improvement Measures and Process Manual per Section 5-10-9 of the Town Code. The plan completed 45 days without any public comment.

Formal Plan Review

Should the Hillside Committee wish to approve this application, staff suggests the following stipulations:

1. Any changes to the Hillside-approved plans may result in delays in permit plan review and inspection processes. Any proposed changes should be reported to the Staff to determine compliance with Hillside Development Regulations. Changes may be subject to a Staff, Chair, or Committee review.
2. The Applicant shall submit a Construction Staging Plan to the Town per the Hillside Safety Improvement Measures and Process Manual for review and approval prior to being issued a building permit.
3. The Applicant shall submit a liability insurance policy for the proposed project in the amount of \$2 million per occurrence and \$5 million aggregate naming the Town of Paradise Valley as an additional insured prior to being issued a building permit.
4. Prior to issuance of a permit, the Applicant shall submit a Hillside Assurance in the amount of \$88,095.
5. All construction parking shall be located on the property as much as possible. Any offsite parking shall be confined to the adjacent streets along the immediate property frontage. All offsite parking shall be located on the same side of the street. No construction materials will be allowed to be stored on the Town's right-of-way.
6. All recommendations provided in the Safety Improvement Plan shall be followed by the applicant. An Arizona Registered Engineer contracted by the applicant shall review, for compliance with the recommendations provided in the Safety Improvement Plan, the proposed plans prior to submitting for a permit. The contracted Arizona Registered Engineer shall provide a sealed letter stating that the plans submitted are in accordance with the Safety Improvement Plan. Any field work related to the Safety Improvement Plan, including but not limited to rock bolting, rock cuts, mesh placement, and boulder stabilization methods, shall be inspected by a qualified Special Inspector contracted by the applicant. The qualified inspector shall be required to provide a written verification that the improvements were completed per plan prior to the final approval.
7. No final approval or certificate of occupancy shall be issued until all Hillside stipulations and all Town Code requirements are complied with, including, but not limited to, landscaping, fire flow, fire safety and all onsite and offsite improvements.
8. The limits of construction and proposed disturbed areas shall be clearly staked in the field, with visible roping, prior to demolition and during construction and shall conform to the approved individual site analysis plan. Photos of the staking shall be provided prior to issuance of a demolition and/or building permit.
9. Noise from construction that can be heard off-site, including, but not limited to, hydraulic ram hammers,

equipment used to cut through rock, machinery with audible back-up warning devices, powered machinery, truck delivery and idling, constant and persistent hammering, shall comply with Article 8-10, Nuisance Noise, as set forth in the Town Code. Heavy Equipment and construction-related deliveries are generally limited between the hours of 7:00 a.m. and 5:00 p.m. Monday through Friday; no work on Saturday, Sunday or legal holidays. Exceptions include a one hour early start time in summer, time exceptions granted by the Town Manager, and construction not defined as Heavy Equipment or deliveries that can occur outside the 7:00 a.m. to 5:00 p.m., Monday through Friday, time frame.

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11. Desert varnish, such as Eonite or equivalent, shall be provided on all exposed rock cuts.

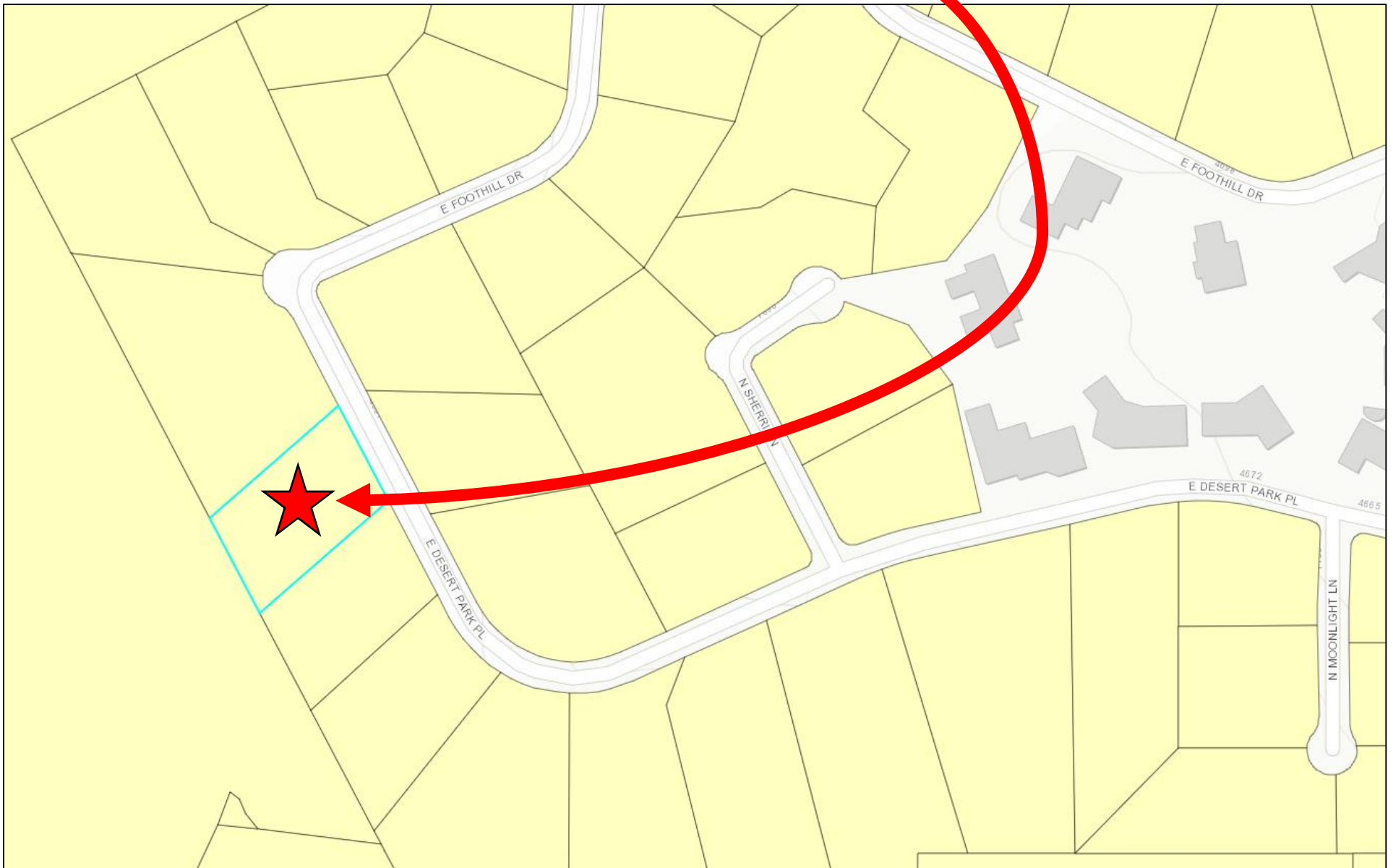
12. Natural stone selections shall not exceed the maximum allowable LRV of 38, unless explicitly approved by the Hillside Building Committee. Care should be taken when selecting to ensure that the maximum LRV is not exceeded. Failure to comply with may result in delays obtaining a Certificate of Occupancy.

13. A landscape as-built plan shall be provided by the landscape designer at the time of the Final Hillside inspection and prior to the issuance of a Certificate of Occupancy. See Stipulation #1 for more information.

14. A suitable desert seed mix shall be provided for all undisturbed areas requiring revegetation and all retention basins. Any existing non-native fountain or buffel grasses shall be removed from the property.

15. Applicant shall correct light fixture counts to match illustrations on Sheet A2.1 prior to the issuance of a building permit, subject to Staff and Chair approval.

4517 E Desert Park Place



4517 E Desert Park Place



4517 E Desert Park Place

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© All Pictometry

10/20/2020



TOWN OF PARADISE VALLEY HILLSIDE DEVELOPMENT

DATE: 3/3/2021

SUBDIVISION NAME: Tatum Canyon

ADDRESS OF PROPERTY 4517 E. Desert Park Place

ASSESSOR'S PARCEL NUMBER: 169-11-100

LEGAL DESCRIPTION: Lot 41 of "Tatum Canyon" as recorded in Book 177 of Maps, Page 7, Records of Maricopa County, Arizona

ARCHITECT: Stephen Smiley

<small>NAME</small>	<small>PHONE NUMBER</small>
<u>4805 N 72nd Way, Scottsdale, AZ 85251</u>	<u>503-720-5055</u>
<small>ADDRESS</small>	<small>E-MAIL ADDRESS</small>

ENGINEER/OTHER: Geoff Markowski

<small>NAME</small>	<small>PHONE NUMBER</small>
<u>18223 W. Orchid Lane, Waddell, AZ 85355</u>	<u>602-524-7877</u>
<small>ADDRESS</small>	<small>E-MAIL ADDRESS</small>

OWNER: LXI Development Inc. /Abrams Family Trust

<small>PRINT NAME</small>	<small>PHONE NUMBER</small>
<u>4632 E. Desert Park Place, Paradise Valley, AZ</u>	<u>480-242-6610</u>
<small>ADDRESS</small>	<small>E-MAIL ADDRESS</small>

Stephen Smiley

Digitally signed by Stephen Smiley
Date: 2021.04.13 10:23:44 -07'00'

smiley@psearchs.com

SIGNATURE OF OWNER OR REPRESENTATIVE

DATE

SCOPE OF WORK: _____

Construction of a new 6200 sf single family home including driveway and swimming pool

May 17, 2022

«Owner»

«MAIL_ADDR1»

«MAIL_CITY» «MAIL_STATE» «MAIL_ZIP»

Subject: Formal Hillside Review for a New Single Family Home

Dear Property Owner:

An application has been submitted to the Town of Paradise Valley for a new single-family home located at 4517 East Desert Park Place. In compliance with Town requirements, this letter is being sent to you as a courtesy to inform you of the pending application. The Hillside Building Committee will be reviewing this application on June, 8, 2022 at 8:00 AM. The meeting may take place remotely.

The purpose of Formal Plan Review meeting is for the Hillside Building Committee to review the submittal for compliance with the goals, purposes, and specific criteria of the Town of Paradise Valley Hillside Development Regulations.

The Hillside Building Committee will approve, approve with stipulations, continue, or deny the submittal. This meeting is open to the public and you may feel free to attend.

If you have any questions, please call me at (503) 720-5055.

Sincerely



Stephen Smiley, Architect

AFFIDAVIT OF MAILING NOTIFICATION

20

STATE OF ARIZONA)

) ss:

County of Maricopa)

In accordance with the requirements of the Town of Paradise Valley, the undersigned hereby certifies that the mailing list for the proposed project is a complete list of property owners within 1500 feet of the subject property, as obtained from the Maricopa County Assessor's Office on the following date MAY 17, 2022, and such notification has been mailed on the following date MAY 17, 2022.

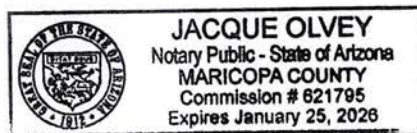
Signature

The foregoing instrument was acknowledged by me this 18 day of May, 2022, by Stephen Smiley.
Name

Jacque Olvey
NOTARY PUBLIC

My commission expires:

Jan 25, 2026





AFFIDAVIT OF POSTING

STATE OF ARIZONA)

) ss:

County of Maricopa)

I, Stephen Smiley, depose and state that the attached notice, of proposed application Formal Hillside Review located at 4517 East Desert Park Place for the (Planning Commission/Town Council/Board of Adjustment/Hillside Committee) meeting date of June 8th, 2022 is a true and correct copy of a notice which I cause to be posted by the following day of the week Friday, and on the following date May 27, 2022 in the following location(s):

On the East side of the property facing East Desert Park Place

All in the Town of Paradise Valley, Arizona and County and State aforesaid, the same being public places in said County and in the following locations:

On the East side of Lot 41 "Tatum Canyon" subdivision

All to the Town of Paradise Valley, Arizona and County and State aforesaid.

DATED this 27th day of May 2022.

Signature

This affidavit was SUBSCRIBED AND SWORN to before me this 27th day of May, 2022

NOTARY PUBLIC

My commission expires:

03/14/2026



Formal Hillside Review
Project Narrative
4517 East Desert Park Place, Paradise Valley, AZ 85253

Nestled in front of a unique rock formation at 4517 East Desert Park Place will be 6800sf contemporary house that takes advantage of the spectacular view and embraces the natural beauty of the site. It will be constructed on an undeveloped lot that faces East toward the nearby Mummy Mountain. Off in the distance are the McDowell Mountains. The Phoenix Mountain Preserve is immediately to the West of the property

The proposed home has two stories with the main living area on the upper level including the master bedroom wing. On the lower level is the garage, entry area and the lower bedroom wing.

House Gross Square Footage:	6,800sf
Garage Area:	1,070sf
Lot Area:	45,098sf
Building Site Slope:	34%
Allowable Disturbed Area:	4,546sf (10.08%)
Actual Disturbed Area:	4,493sf
Floor Area Ratio: (10088sf/45098sf)	22.37%*

The home sits at the base of a beautiful natural quartzite outcrop. The rock outcrop influenced where the house is placed. This unique and craggy rock formation will be viewed as you enter the house along with the phenomenal vistas of the valley and mountains to the East. On the West side of the house is a very private patio courtyard that includes a lap pool and a spa.

This proposed home at 4517 E. Desert Park Place is a classic modern architectural design. It incorporates clean lines and elegant materials. Architectural metal elements flank the clean stucco forms. Large operable doors open to take in the vistas and the windows are carved into the walls to create light and ventilation. The floor plan flows from the Entry to Great Living Space and allows the outside to come in. The house will provide contemporary living at its finest in one of the nicest neighborhoods in Paradise Valley.

*Floor Area Ratio is calculated as follows:

SQUARE FOOTAGE

ROOF AREA	5154
COURTYARD	955
UNCOVERED DECKS	150
LIVABLE LOWER LEVEL	2723
LOWER LEVEL GARAGE	<u>1106</u>
<u>TOTAL FLOOR AREA</u>	10,088
ALLOWABLE (45,098 x 25%)	11,274
<u>FLOOR AREA RATIO</u>	22.37%



Action Report

File #: 22-238

To: Hillside Building Committee

From: Hugo Vasquez; Hillside Development Administrator

Date: June 8, 2022

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14. A suitable desert seed mix shall be provided for all undisturbed areas requiring revegetation and all retention basins. Any existing non-native fountain or buffel grasses shall be removed from the property.

15. Applicant shall correct light fixture counts to match illustrations on Sheet A2.1 prior to the issuance of a building permit, subject to Staff and Chair approval.

PARADISE VALLEY RESIDENCE

4517 EAST DESERT PARK PLACE, PARADISE VALLEY, AZ 85253

ABBREVIATIONS

ADJ	Adjustable	GFRC	Glass Fiber Reinforced Concrete
AC	Acoustical	GYP	Gypsum
ALUM	Aluminum	GYPBD	Gypsum Board
AB	Anchor Bolt	HGR	Hanger
<	Angle	HDBD	Hardboard
A.B.	Anchor Bolt	HDW	Hardware
APPD.	Approved	HDWD	Hardwood
APPROX	Approximate	HDR	Header
ARCH	Architectural	HVAC	Heating, Ventilating, and Air Conditioning
A.C.	Asphaltic Concrete	HT	Height
BM	Beam	HM	Hollow Metal
BLKG	Blocking	HORIZ	Horizontal
BLDG	Building	HB	Hose Bibb
¢	Centerline	IN (*)	Inch
BTU	British Thermal Units	ID	Inside Diameter
BUR	Built-Up Roofing	INSUL	Insulation
CI	Cast Iron	INT	Interior
CT	Ceramic Tile	INV	Invert
CLR	Clear	JT	Joint
C.O.	Clear Opening	JST	Joist
COL	Column	KO	Knockout
COMP	Composition	LAV	Lavatory
CONC	Concrete	LT	Light
CMU	Concrete Masonry Unit	LTG	Lighting
CONT	Continuous	LINO	Linoleum
CONTR.	Contractor	LF	Linear Foot (Feet)
CJ	Control Joint	MACH	Machine
CU. FT.	Cubic Foot	MH	Manhole
DEPT	Department	MFR	Manufacturer
DIAG.	Diagonal	MO	Masonry Opening
DIA	Diameter	MAX	Maximum
DIM	Dimension	SAM	Self adhering membrane
DN	Down	SF	Square Feet
DS	Downspout	SP	Speaker
EA	Each	SPR	Sprinkler
ELEC	Electrical	SSTL	Stainless Steel
EL	Elevation	ST	Stone
ELEV	Elevator	SC	Solid Core
EQ	Equal	S	South
EWC	Electric Water Cooler	SPECS	Specifications
EXIST or (E)	Existing	SUSP	Suspend(ed)
EB	Expansion Bolt	SYM	Symmetrical
EJ	Expansion Joint	TEL	Telephone
EXT	Exterior	THK	Thick
EXT. GR.	Exterior Grade	THRES	Threshold
FT	Feet	TOC	Top of Concrete
FIN	Finish or Finished	TOF	Top of Finish
FIN. FLR.	Finish Floor	TYP	Typical
FIN.FLR.ELEV.	Finish Floor Elevation	UNO	Unless Noted Otherwise
FIN. GR.	Finish Grade	VERT	Vertical
FA	Fire Alarm	V.I.F.	Verify in Field
FE	Fire Extinguisher	VIN	Vinyl
FD	Floor Drain	VCT	Vinyl Composite Tile
FLUOR	Fluorescent	WC	Water Closet
FOIC	Furnished by Owner	WP	Waterproofing
FT (')	Foot or Feet	WR	Water Resistant
FTG	Footing	WT	Weight
FDN	Foundation	W	West
FS	Full Size	W/	With
GA	Gauge	W/O	Without
GALV	Galvanized	WD	Wood

RENDERING



CONSULTANTS

ARCHITECT:
STEPHEN SMILEY ARCHITECTS
4805 NORTH 72nd WAY
SCOTTSDALE, AZ 85251
STEPHEN SMILEY
503-720-5055

CIVIL ENGINEER:
g-mar, LLC
18223 WEST ORCHARD LANE
WADDELL, AZ 85355
GEOFF A. MARKOWSKI, P.E.
602-524-7877

LANDSCAPE ARCHITECT:
METROPOLITAN GREEN
2327 NORTH GRANITE REEF ROAD
SCOTTSDALE, AZ 85257
ZACHARY KIEBKE, RLA
480-560-8932

SURVEYOR:
OUTER LIMITS LAND SURVEYING, LLC
PO BOX 71957
PHOENIX, AZ 85050
BRIAN EARL SEARAN, RLS
602-486-1154

GENERAL NOTES

GENERAL NOTES:

- DRAWINGS ARE NOT TO BE SCALED.
- CONTRACTOR TO VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS.
- VERIFY ALL DIMENSIONS PRIOR TO STARTING WORK.
- ARCHITECTURAL DRAWINGS MUST ALWAYS BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT SERVICES DRAWINGS AND CONTRACT DOCUMENTS
- THESE DRAWINGS INDICATE IN GENERAL THE PROJECT IN TERMS OF ARCHITECTURAL DESIGN INTENT, THE DIMENSIONS OF THE BUILDING, THE MAJOR ARCHITECTURAL ELEMENTS AND TYPE OF STRUCTURAL, MECHANICAL AND ELECTRICAL SYSTEMS. THE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. AS INDICATED OR DESCRIBED, THE CONTRACTOR SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
- THE CONTRACTOR SHALL NOTIFY Stephen Smiley Architects IN A TIMELY MANNER OF ANY DISCREPANCIES ON DRAWINGS THAT REQUIRES CLARIFICATION OR REVISIONS.
- ANY ENGINEERING DESIGN PROVIDED BY OTHERS AND SUBMITTED FOR REVIEW, SHALL BE STAMPED AND SIGNED BY AN ENGINEER REGISTERED IN THE STATE OF ARIZONA.
- ANY MODIFICATIONS MADE FOR THE CONTRACTORS CONVENIENCE WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ALL COSTS AND COORDINATION SHALL BE ABSORBED BY THE CONTRACTOR.
- THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DRAWINGS ON SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES.
- CONTRACTOR TO COORDINATE AND SCHEDULE WORK OF ALL TRADES SO AS TO NOT DELAY AT ANY PHASE OF COMPLETION, CONSTRUCTION DUE TO INTERCONNECTING WORK OR LATE SCHEDULING. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT ALL SUB-TRADES ARE FAMILIAR WITH THE COMPLETE CONSTRUCTION DOCUMENTS PACKAGE INCLUDING WORK THAT MAY OR MAY NOT BE PART OF THEIR SCOPE.
- SWIMMING POOL BARRIERS TO MEET THE REQUIREMENTS OF THE TOWN OF PARADISE VALLEY AND MARICOPA COUNTY.
- FIREPLACES SHALL MEET THE REQUIREMENTS OF THE 2015 IRC SECTIONS R1005, R1005, & R1006
- WHERE A SYSTEM OR ASSEMBLY IS CALLED FOR, ALL NECESSARY PARTS AND MATERIALS REQUIRED FOR A COMPLETE INSTALLATION/SYSTEM SHALL BE PROVIDED AND INSTALLED ACCORDING TO THE MANUFACTURERS INSTRUCTIONS

APPLICABLE CODES

ALL CONSTRUCTION AND DETAILS SHALL BE COMPLETED IN FULL COMPLIANCE WITH THE LATEST EDITION OF CODES, AMENDMENTS AND ORDINANCES ADOPTED BY THE CITY OF PARADISE VALLEY, AZ. THESE SHALL INCLUDE:

- 2015 INTERNATIONAL BUILDING CODE (ORD. #4059)
- 2015 INTERNATIONAL RESIDENTIAL CODE (ORD. #4060)
- 2015 INTERNATIONAL FIRE CODE (ORD. #4046)
- 2015 INTERNATIONAL PLUMBING CODE (ORD. #4061)
- 2015 INTERNATIONAL MECHANICAL CODE (ORD. #4062)
- 2014 INTERNATIONAL ELECTRICAL CODE (ORD. #4064)
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE
- 2015 INTERNATIONAL FUEL GAS CODE

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

Show Load	Wind	Siesmic	Subject to Damage	Winter Temp	Flood
	115 mph		Weather Frost Termit	Decay	
0	Exp. C	B	Minor 12"	Moderate	Minor 34 Degrees

SCOPE OF WORK

PROJECT DESCRIPTION:

CONSTRUCTION OF A NEW TWO STORY, 6,832 SF RESIDENCE. THE PROJECT IS LOCATED ON THE EAST SIDE OF THE PHOENIX MOUNTAIN PRESERVE.

PROJECT INFORMATION

PROJECT ADDRESS

4517 EAST DESERT PARK PLACE
PARADISE VALLEY, AZ 85253

OWNER: Abrams Family Revocable Trust

LEGAL DESCRIPTION:

OWNER: 169-11-1000
ZONE: R-43

PROJECT INFORMATION:

CONSTRUCTION TYPE: V-B
PERCENTAGE OF SITE SLOPE OVER 5% 99%
DRIVEWAY SLOPE 27%
DRIVEWAY WIDTH 12'-0"

BUILDING SQUARE FOOTAGE:

LIVABLE LOWER LEVEL: 2,723 SF
LIVABLE UPPER LEVEL: 4,109 SF
TOTAL LIVABLE: 6,832 SF
GARAGE & STORAGE: 1,106 SF
ROOF AREA: 5,154 SF
COURTYARD: 955 SF
UNCOVERED DECKS: 150 SF
LIVABLE LOWER LEVEL: 2,723 SF
LOWER LEVEL GARAGE: 1,106 SF

TOTAL FLOOR AREA: 10,088 SF

ALLOWABLE FLOOR AREA: (45,098 X 25%) 11,274 SF

FLOOR AREA RATIO 23.37%

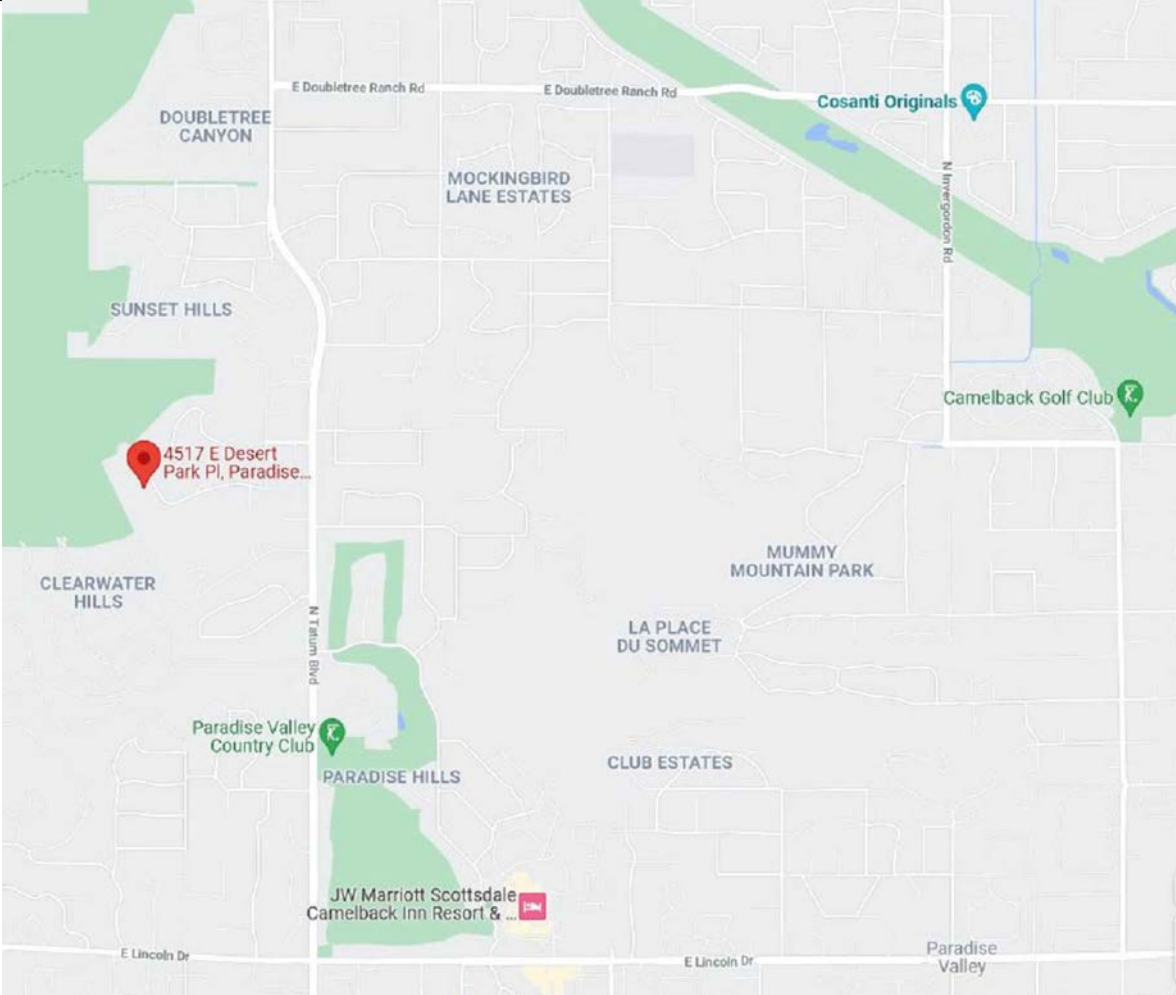
COVERAGE RATIO:

TOTAL LOT COVERAGE: 10,088 SF
LOT SIZE: 45,098 SF
FLOOR AREA RATIO: 22.36% < 25%

DISTURBED AREA:

ALLOWABLE NET DISTURBED AREA: 10,08% (4,546 SF)
PROPOSED GROSS DISTURBED AREA: 10,433 SF
LESS BUILDING FOOTPRINT AREA: 4,493 SF
LESS RESTORED AREA: 1,645 SF
PROPOSED NET DISTURBED AREA: 4,295 SF < 4,546 SF

VICINITY MAP



SHEET INDEX

INDEX OF DRAWINGS (HILLSIDE FORMAL REVIEW)

C1.0 COVER SHEET
A2.1 UPPER FLOOR PLAN
A2.2 LOWER FLOOR PLAN
A3.0 EXTERIOR ELEVATIONS
A3.1 EXTERIOR ELEVATIONS
A3.2 BUILDING SECTIONS



ISSUE DATE:

NEW RESIDENCE
LXI DEVELOPMENT
4517 EAST DESERT PARK PLACE
PARADISE VALLEY, AZ 85253

PROJECT:

DRAWN: SM

CHECKED: SS

JOB NO. ---

FILE:

DATE: 05/04/2022

COVER SHEET

C1.0

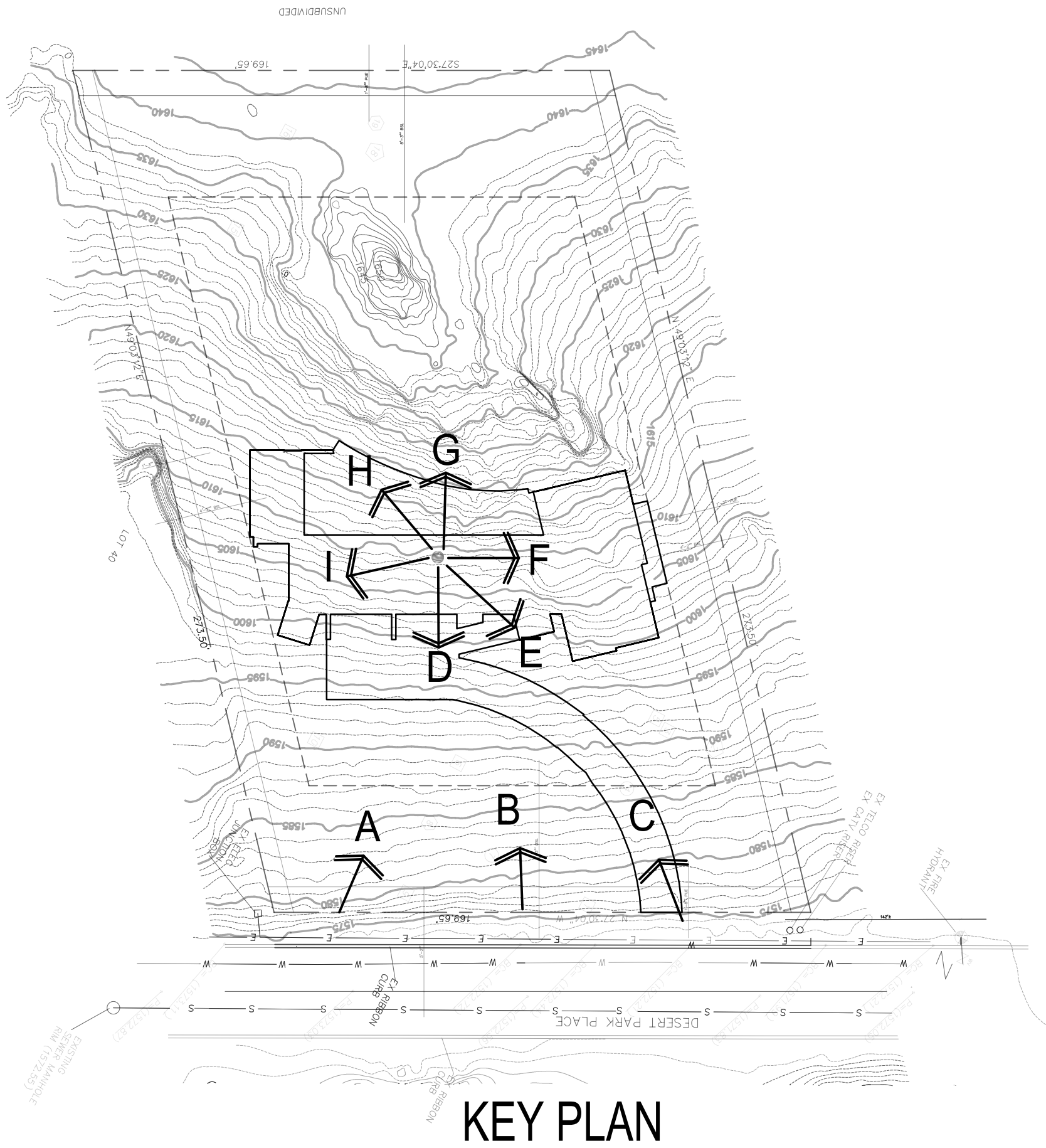
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G



I



F



D



E



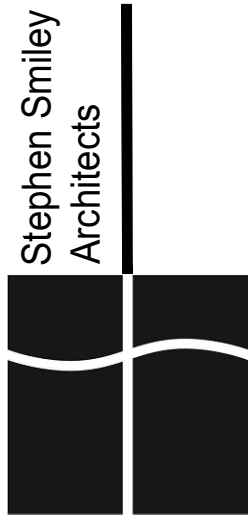
A



B



C



ISSUE DATE:

PROJECT:
NEW RESIDENCE
LXI DEVELOPMENT
4517 EAST DESERT PARK PLACE
PARADISE VALLEY, AZ 85253

DRAWN: SM
CHECKED: SS
JOB NO.: ---
FILE:
DATE: 12/15/2021
SITE
PHOTOGRAPHS

View from the East

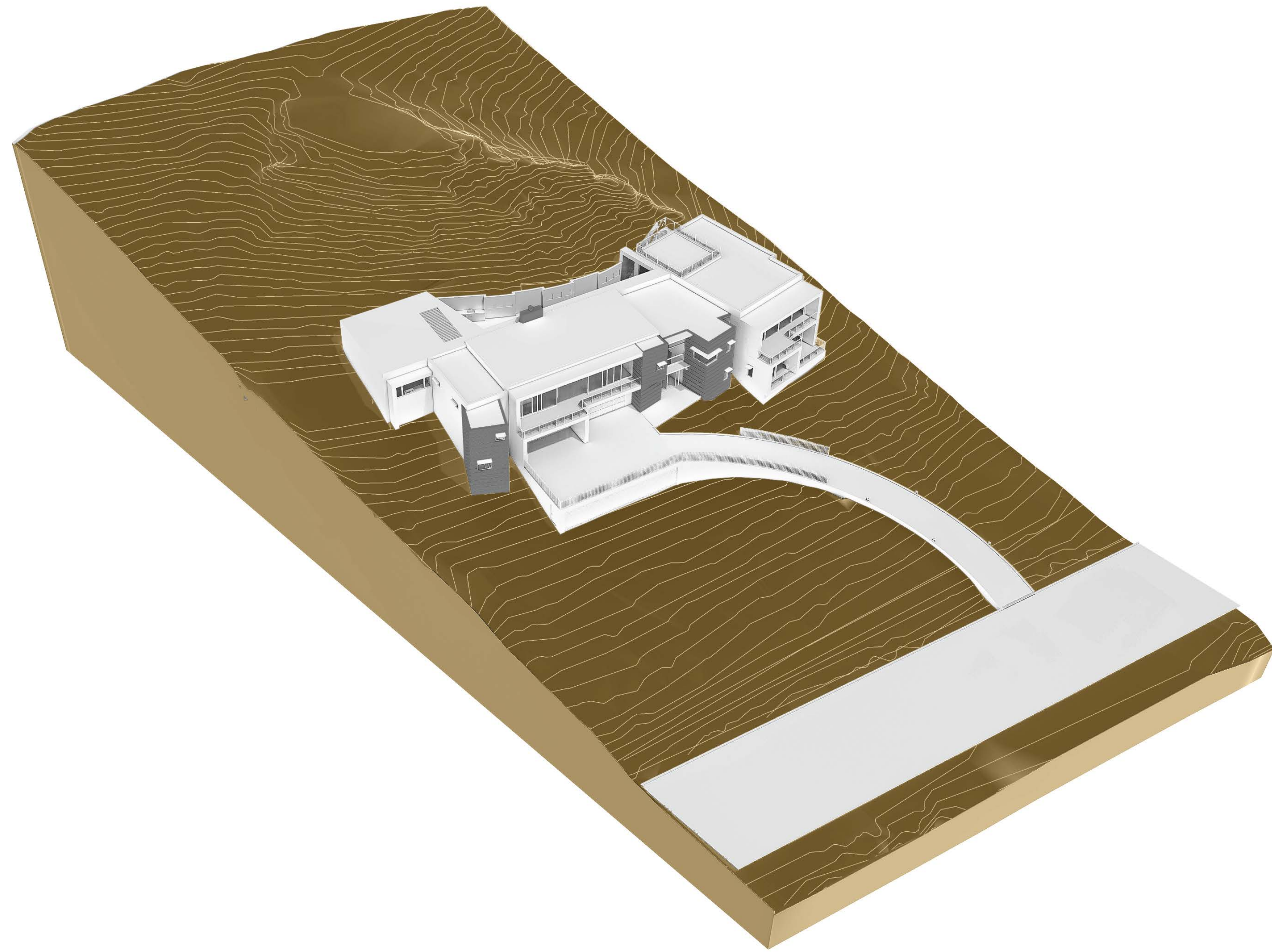
4517 E. Desert Park Place
Paradise Valley AZ 85253
May 2022



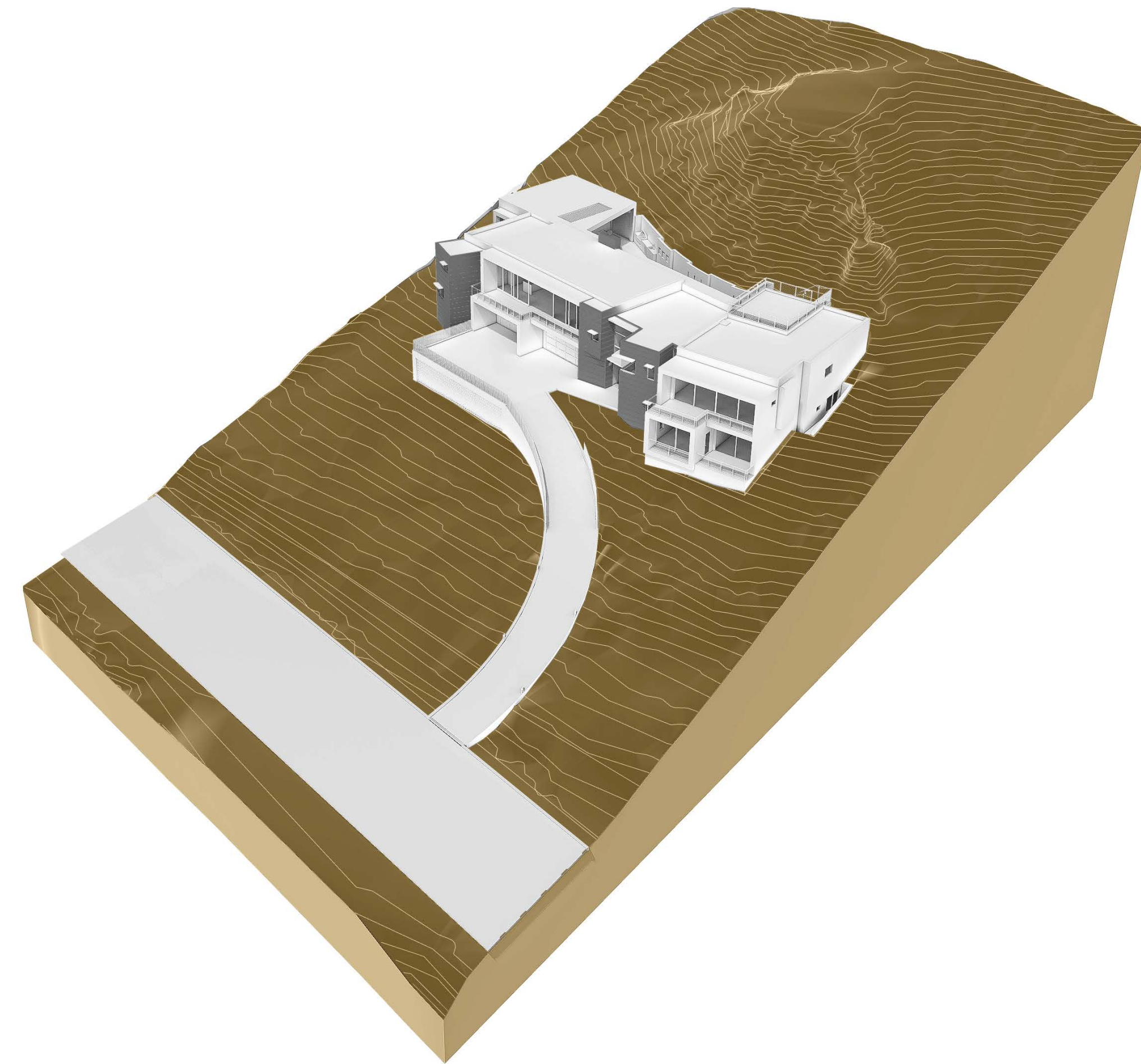
View Up The Driveway

4517 E. Desert Park Place
Paradise Valley AZ 85253
May 2022

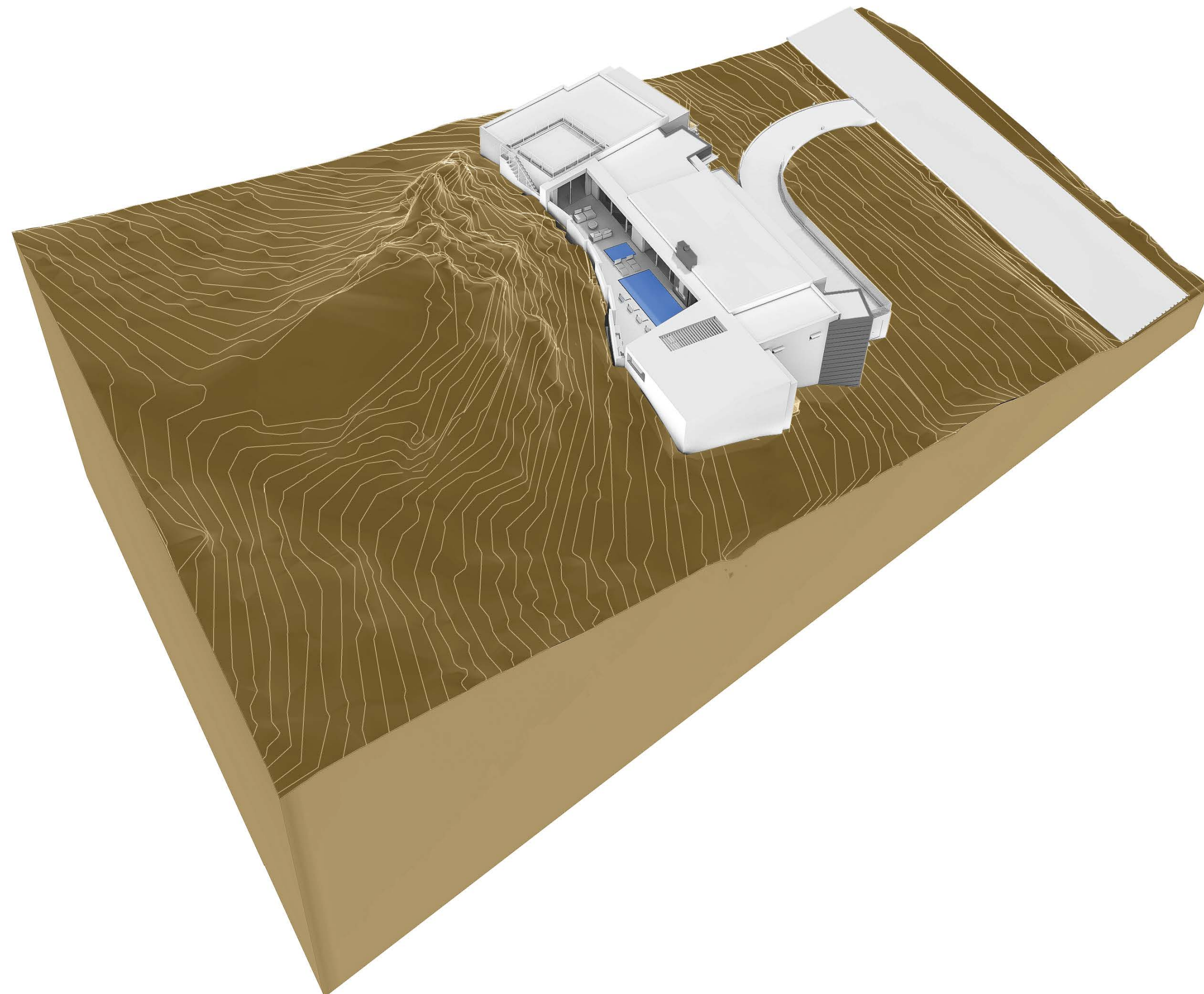




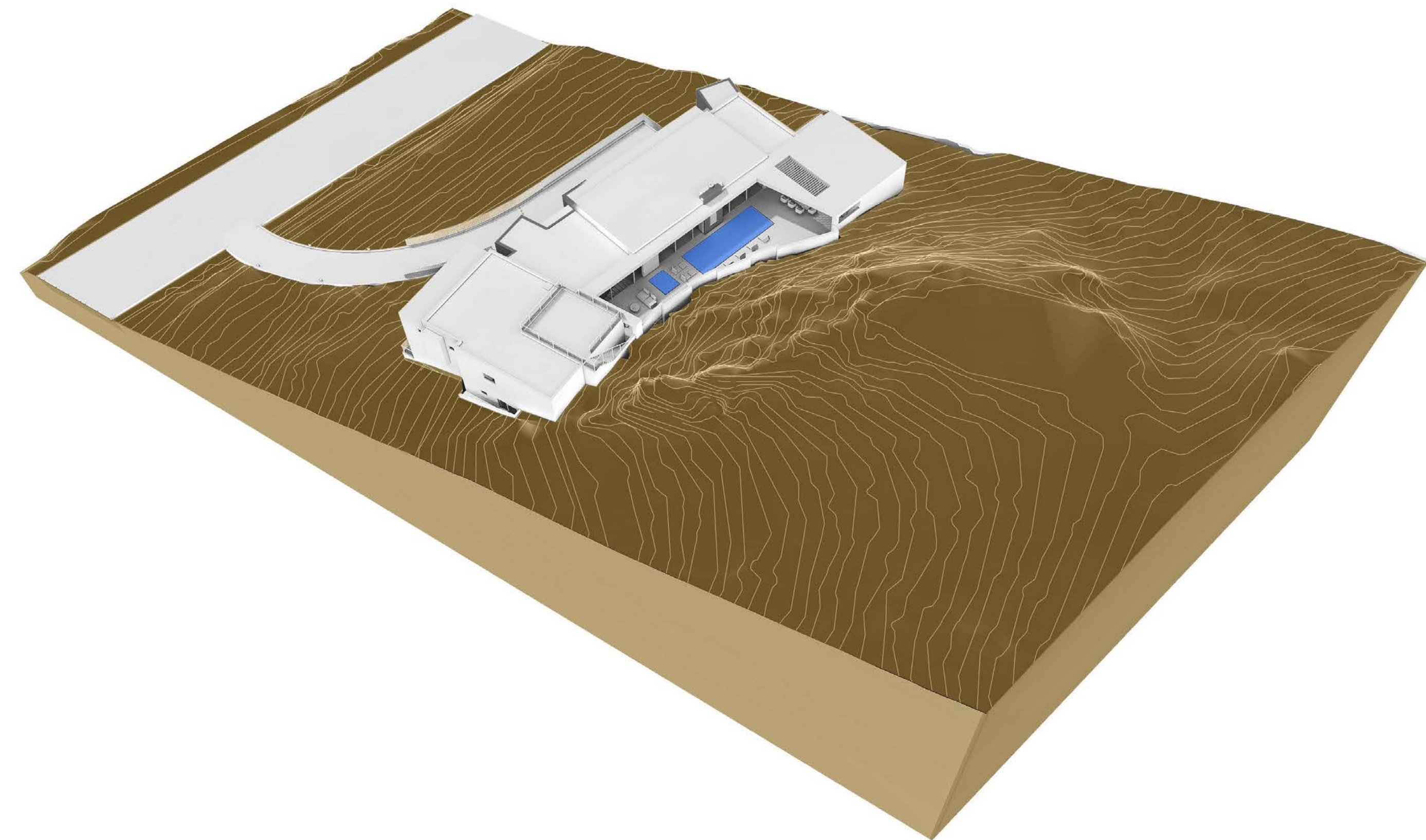
① SOUTHEAST VIEW



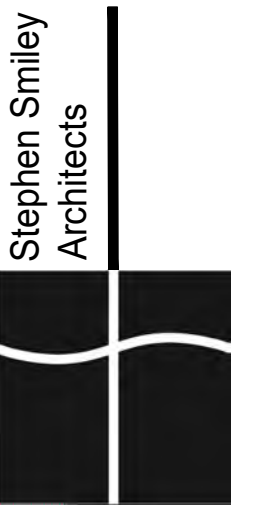
② NORTHEAST VIEW



③ SOUTHWEST VIEW



④ NORTHWEST VIEW



ISSUE DATE:

NEW RESIDENCE
LXI DEVELOPMENT
4517 EAST DESERT PARK PLACE
PARADISE VALLEY, AZ 85253

PROJECT:

DRAWN: SM

CHECKED: SS

JOB NO. ---

FILE:

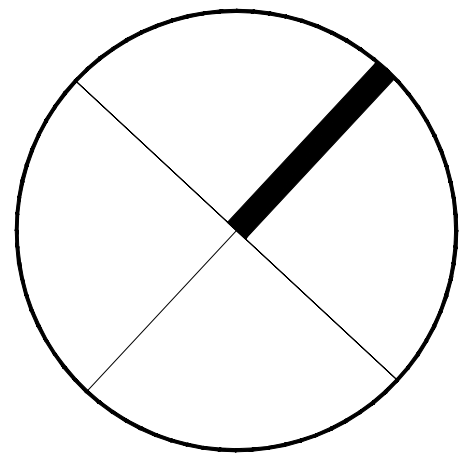
DATE: 10May2022

SITE VIEWS

A4.0



1 SITE AERIAL



ISSUE DATE:

NEW RESIDENCE
LXI DEVELOPMENT
4517 EAST DESERT PARK PLACE
PARADISE VALLEY, AZ 85253

PROJECT:

DRAWN: SM

CHECKED: SS

JOB NO. ---

FILE:

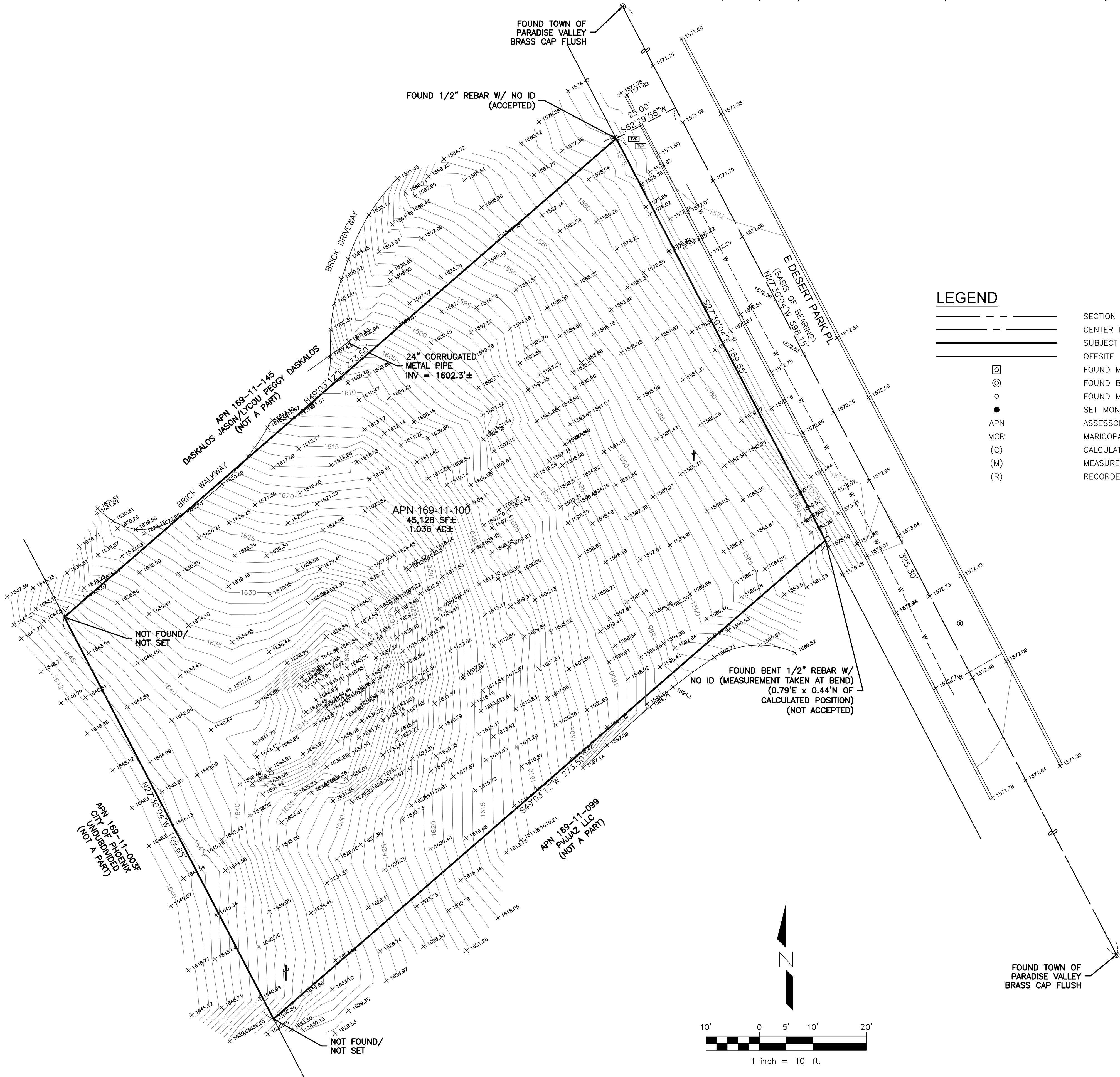
DATE: 08/12/2021

SITE AERIAL

A1.0

RESULTS OF SURVEY

APN 169-11-100 | 4517 EAST DESERT PARK PLACE
LOT 41, TATUM CANYON, PER BOOK 177 OF MAPS, PAGE 7, MCR
LOCATED IN THE NE 1/4 OF SECTION 6, T2N, R4E, OF THE G&SRB&M, MARICOPA COUNTY, ARIZONA



SURVEYOR

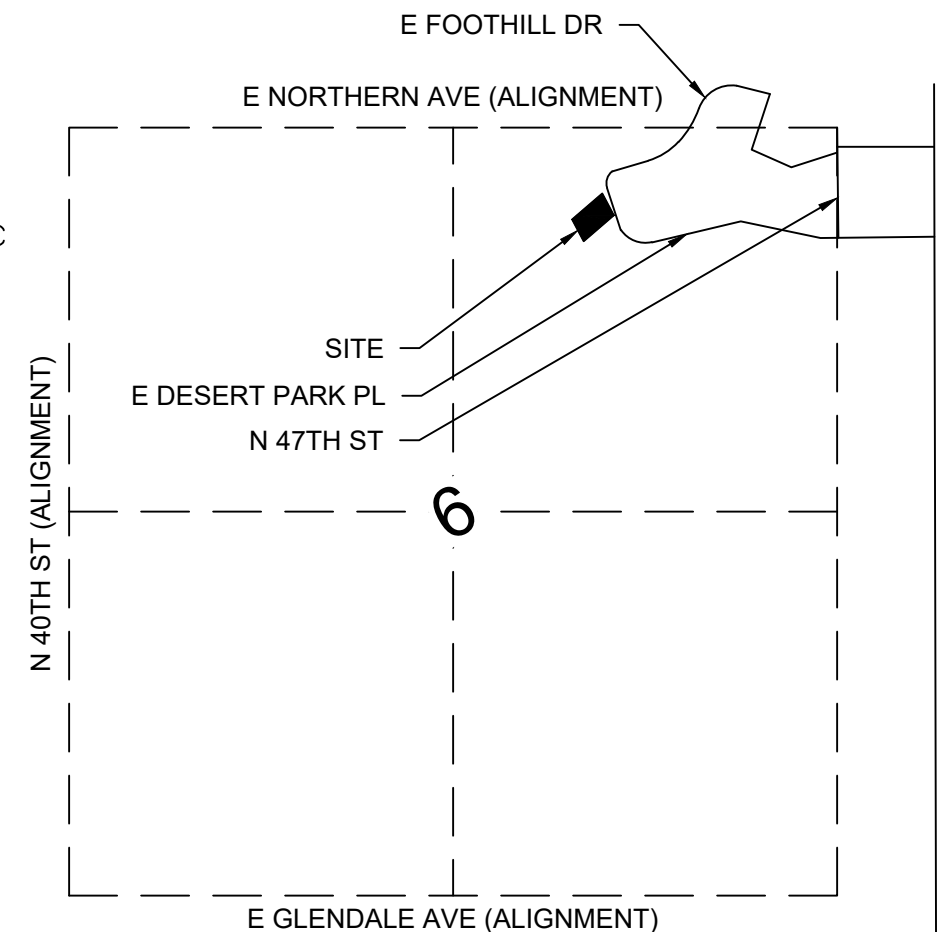
OUTER LIMITS LAND SURVEYING, LLC
BRIAN EARL SEARAN, RLS #54120
PO BOX 71957
PHOENIX, ARIZONA 85050
PHONE: 602.486.1154
EMAIL: bsearan@outerlimitsls.com

OWNER

ABRAMS FAMILY REVOCABLE TRUST
4632 E DESERT PARK PL
PARADISE VALLEY, ARIZONA 85253

SITE INFO

APN 169-11-100
4517 E DESERT PARK PL
PARADISE VALLEY, ARIZONA 85253



SECTION 6, T2N, R4E, G&SRM
VICINITY MAP
NTS

LEGEND

- SECTION LINE
- CENTER LINE
- SUBJECT PROPERTY LINE
- OFFSITE LOT LINE
- FOUND MONUMENT (AS NOTED)
- FOUND BRASS CAP (AS NOTED)
- FOUND MONUMENT (AS NOTED)
- SET MONUMENT (AS NOTED)
- ASSESSORS PARCEL NUMBER
- MARICOPA COUNTY RECORDS
- CALCULATED
- MEASURED
- RECORDED

BENCHMARK

THE BENCHMARK USED FOR THIS PROJECT IS THE EAST QUARTER CORNER OF SECTION 31, TOWNSHIP 3 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA. ELEVATION = EL=1435.620 (MAVD88/PARADISE VALLEY DATUM)

BASIS OF BEARING

THE BASIS OF BEARING IS THE MONUMENTED CENTERLINE OF EAST DESERT PARK PLACE. SAID LINE BEARING N27°30'04\"/>

LEGAL DESCRIPTION

LOT FORTY-ONE (41), TATUM CANYON, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, IN BOOK 177 OF MAPS, PAGE 7; EXCEPT ALL THE COAL AND OTHER MINERALS AS RESERVED UNTO THE UNITED STATES OF AMERICA IN PATENT TO SAID LAND.

REFERENCE DOCUMENTS

- (R1) WARRANTY DEED, RECORDED IN DOCUMENT 2020-0490923, MCR.
- (R2) TATUM CANYON, RECORDED IN BOOK 177 OF MAPS, PAGE 7, MCR.

SURVEYORS NOTES

- PER ARIZONA REVISED STATUTES 32-151, THE USE OF THE WORD "CERTIFY" OR "CERTIFICATION" BY A PERSON OR FIRM THAT IS REGISTERED OR CERTIFIED BY THE BOARD IS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING FACTS OR FINDINGS THAT ARE THE SUBJECT OF THE CERTIFICATION AND DOES NOT CONSTITUTE AN EXPRESSED OR IMPLIED WARRANTY OR GUARANTEE.
- ALL BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD AND MEASURED UNLESS NOTED OTHERWISE.
- THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT.
- FIELDWORK WAS COMPLETED IN THE MONTH OF APRIL, 2022.

SURVEYOR'S CERTIFICATE

I, BRIAN EARL SEARAN, A DULY LICENSED LAND SURVEYOR IN THE STATE OF ARIZONA DO HEREBY STATE THAT THIS DRAWING IS BASED ON A SURVEY PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION DURING THE MONTH OF APRIL 2022 AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

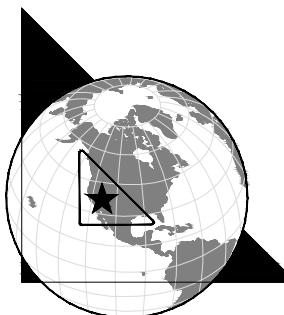
Brian Earl Searan
BRIAN EARL SEARAN
RLS #54120

04/14/2022
DATE



RESULTS OF SURVEY

APN 169-11-100 | 4517 EAST DESERT PARK PLACE
LOT 41, TATUM CANYON, PER BOOK 177 OF MAPS, PAGE 7, MCR
LOCATED IN THE NE 1/4 OF SECTION 6, T2N, R4E, OF THE G&SRB&M, MARICOPA COUNTY, ARIZONA



**OUTER LIMITS
LAND SURVEYING**

PO Box 71957
Phoenix, AZ 85050
TEL: 602.486.1154
www.outerlimitslandsurveying.com

DATE: 04.14.22
DRN BY: BES
CHKD BY: BES
JOB NO. 21026
SHEET

1
OF 1

C:\Users\Owner\OneDrive\CloudStation\Graphics\Projects\2021\21-02-011-00-Lot 41 Tatum Canyon\Civil\21-02-011-00-C1.dwg Plotted 5/19/22 by Owner

PARADISE VALLEY GRADING AND DRAINAGE NOTES:

1. PRIOR TO THE FIRST INSPECTION OF STRUCTURES WITHIN 3 FEET OF A SETBACK LINE, THE PROPERTY PINS SHALL BE PLACED BY A REGISTERED CIVIL ENGINEER OR LAND SURVEYOR OF THE STATE OF ARIZONA, AND THE PROPERTY LINE(S) IDENTIFIED.
2. WHERE EXCAVATION IS TO OCCUR THE TOP 4" OF EXCAVATED NATIVE SOIL SHALL REMAIN ON THE SITE AND SHALL BE REUSED IN A MANNER THAT TAKES ADVANTAGE OF THE NATURAL SOIL SEED BANK IT CONTAINS.
3. ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL MUNICIPALITY UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS.
4. THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL, STATE, AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO THE CONSTRUCTION COVERED BY THIS PLAN.
5. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
6. ALL EXTERIOR SITE LIGHTING SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS FOR TYPE, LOCATION, HEIGHT, WATTAGE, AND LUMEN BASED UPON THE FIXTURES INSTALLED PURSUANT TO SECTION 1023 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCE FOR NON-HILLSIDE PROPERTIES, SECTION 2208 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCE FOR HILLSIDE PROPERTIES, OR AS SPECIFIED IN THE SPECIAL USE PERMIT FOR SPECIAL USE PERMIT PROPERTIES.
7. A DUST CONTROL PLAN AND PERMIT MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
8. A SEPARATE RIGHT-OF-WAY PERMIT IS NECESSARY FOR ANY OFF-SITE CONSTRUCTION.
9. AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
10. EAVE PROJECTIONS INTO REQUIRED SETBACKS ARE LIMITED TO A MAXIMUM OF 24" PURSUANT TO SECTION 1008 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES.
11. ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
12. ALL NEW AND EXISTING ELECTRICAL SERVICE LINES SHALL BE BURIED PER THE TOWN OF PARADISE VALLEY REQUIREMENTS.
13. IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE TO ARRANGE FOR THE RELOCATION AND RELOCATION COSTS OF ALL UTILITIES, AND TO SUBMIT A UTILITY RELOCATION SCHEDULE PRIOR TO THE ISSUANCE OF AN ENGINEERING CONSTRUCTION PERMIT.
14. EXISTING AND/OR NEW UTILITY CABINETS AND PEDESTALS SHALL BE LOCATED A MINIMUM OF 4' BEHIND ULTIMATE BACK OF CURB LOCATION.
15. POOL, SPA, BARBECUE AND ANY PROPOSED STRUCTURES OVER 8" ABOVE GRADE REQUIRE SEPARATE PERMIT APPLICATIONS.
16. POOLS SHALL BE CONSTRUCTED BY SEPARATE PERMIT AND SECURED FROM UNWANTED ACCESS PER TOWN CODE, ARTICLE 5-2.
17. ALL FILL MATERIAL UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95%.
18. SETBACK CERTIFICATION IS REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO STEM WALL INSPECTION.
19. FOR BUILDING PADS THAT HAVE 1" OR MORE OF FILL MATERIAL, SOILS COMPACTION TEST RESULTS ARE REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO PRE-SLAB INSPECTION.
20. FINISHED FLOOR ELEVATION CERTIFICATION IS REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO FRAMING INSPECTION.
21. MAIL BOXES SHALL COMPLY WITH THE TOWN OF PARADISE VALLEY STANDARDS FOR MAIL BOXES IN THE RIGHT-OF-WAY FOR HEIGHT, WIDTH AND BREAK AWAY FEATURES.
22. ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE.
23. TRENCH BEDDING AND SHADING SHALL BE FREE OF ROCKS AND DEBRIS.
24. THE TOWN ONLY APPROVES THE SCOPE OF WORK AND NOT THE ENGINEERING DESIGN. ANY CONSTRUCTION QUANTITIES SHOWN ARE NOT VERIFIED BY THE TOWN.
25. THE APPROVAL OF THE PLANS IS VALID FOR 180 DAYS. IF A PERMIT FOR CONSTRUCTION HAS NOT BEEN ISSUED WITHIN 180 DAYS, THE PERMIT MUST BE RENEWED.
26. A TOWN INSPECTOR WILL INSPECT ALL WORK WITHIN THE TOWN'S RIGHTS-OF-WAY. NOTIFY TOWN INSPECTION SERVICES TO SCHEDULE A PRECONSTRUCTION MEETING PRIOR TO STARTING CONSTRUCTION.
27. WHENEVER EXCAVATION IS NECESSARY, CALL ARIZONA811 BY DIALING 811 OR 602-263-1100, TWO (2) WORKING DAYS BEFORE EXCAVATION BEGINS.
28. EXCAVATIONS SHALL COMPLY WITH REQUIREMENTS OF OSHA EXCAVATION STANDARDS (29 CFR, PART 1926, SUBPART P), UNDER NO CIRCUMSTANCES WILL THE CONTRACTORS BE ALLOWED TO WORK IN A TRENCH LOCATED WITHIN THE TOWN'S RIGHT-OF-WAY WITHOUT PROPER SHORING OR EXCAVATION METHODS.
29. PERMIT HOLDER SHALL POST A 6 SQUARE FOOT (2'X3') IDENTIFICATION SIGN, MADE OF DURABLE MATERIAL, IN THE FRONT YARD, SUBJECT PROPERTY AND NOT IN THE TOWN'S RIGHT-OF-WAY. THE SIGN MAY NOT EXCEED A MAXIMUM OF 6 FEET IN HEIGHT FROM GRADE TO TOP OF THE SIGN. THE SIGN MUST INCLUDE THE PERMITTEE OR COMPANY NAME, PHONE NUMBER, TYPE OF WORK, ADDRESS OF PROJECT AND TOWN CONTACT NUMBER, 480-348-3556.
30. WHEN DEEMED NECESSARY, A 6-FOOT HIGH CHAIN LINK FENCE MUST BE INSTALLED AROUND THE CONSTRUCTION AREA TO PREVENT ANY POTENTIAL SAFETY HAZARD FOR THE PUBLIC. THE FENCE SHALL BE SETBACK AT LEAST 10 FEET FROM ALL RIGHTS-OF-WAY AND HAVE A 50-FOOT STREET CORNER SITE TRIANGLE WHERE APPLICABLE.
31. CLEAR ACCESS FOR NEIGHBORING PROPERTIES AND EMERGENCY VEHICLES MUST BE MAINTAINED AT ALL TIMES. CONSTRUCTION RELATED VEHICLES MUST BE LEGALLY PARKED ONLY ON ONE SIDE OF THE STREET OR JOB SITE PROPERTY.
32. ALL CONSTRUCTION DEBRIS AND EQUIPMENT MUST BE CONTAINED ON SITE AT ALL TIMES. CONTRACTOR AND PROPERTY OWNER MUST MAINTAIN THE JOB SITE FREE OF LITTER AND UNSIGHTLY MATERIALS AT ALL TIMES. CONSTRUCTION MATERIALS ARE PROHIBITED IN THE TOWN'S RIGHT-OF-WAY.
33. CONSTRUCTION ACTIVITIES ARE PERMITTED BETWEEN THE HOURS OF 7 AM AND 5 PM MONDAY THROUGH FRIDAY. CONSTRUCTION ACTIVITIES MAY START ONE (1) HOUR EARLIER DURING THE SUMMER (MAY 1ST THROUGH SEPTEMBER 30TH).
34. THE USE AND OPERATION OF FUEL-FIRED GENERATORS IS PROHIBITED UNLESS DUE TO A HARDSHIP. TOWN APPROVAL SHALL BE REQUIRED.
35. THE CONTRACTOR AND PROPERTY OWNER SHALL BE LIABLE FOR ANY DAMAGE DONE TO ANY PUBLIC PROPERTY.
36. AS A RESULT OF ANY CONSTRUCTION OR CONSTRUCTION RELATED ACTIVITIES, NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL AFFECTED RIGHTS-OF-WAY ARE CLEANED AND/OR REPAIRED TO THEIR ORIGINAL CONDITION AND UNTIL ANY AND ALL DAMAGES TO AFFECTED PROPERTIES ARE RESTORED TO ORIGINAL CONDITION.
37. PROPERTY OWNER, BUILDER, OR GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR CONTROLLING DUST FROM THE SITE AT ALL TIMES. ALL MEANS NECESSARY SHALL BE USED BY THE BUILDER OR GENERAL CONTRACTOR TO CONTROL THE EXISTENCE OF DUST CAUSED BY ANY EARTHWORK, SPRAY APPLICATION OF MATERIALS, OR OTHER DUST-CAUSING PRACTICES REQUIRED BY THE CONSTRUCTION PROCESS.
38. APPROVAL OF THESE PLANS ARE FOR PERMIT PURPOSES ONLY AND SHALL NOT PREVENT THE TOWN FROM REQUIRING CORRECTION OF ERRORS IN THE PLANS WHERE SUCH ERRORS ARE SUBSEQUENTLY FOUND TO BE IN VIOLATION OF ANY LAW, ORDINANCE, HEALTH, SAFETY, OR OTHER DESIGN ISSUES.
39. ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTION DITCHES, PIPES PROTECTIVE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT PROPOSED AND EXISTING IMPROVEMENTS FROM RUNOFF OR DAMAGE FROM STORM WATER, MUST BE CONSTRUCTED PRIOR TO THE CONSTRUCTION OF ANY IMPROVEMENTS.

CIVIL ENGINEERING GENERAL NOTES

1. IF THE CONTRACTOR FINDS ANY DISCREPANCY OR OMISSION, THE ENGINEER SHALL BE NOTIFIED BEFORE ANY INTERPRETATION IS MADE.
2. QUANTITIES SHOWN ARE FOR PERMIT PURPOSES ONLY AND ARE NOT FOR BIDDING OR CONTRACTING PURPOSES. THE CONTRACTOR IS RESPONSIBLE FOR BIDDING HIS OWN QUANTITY TAKE-OFF.
3. THE BUILDING MATERIALS CONTAINING ASBESTOS WILL NOT BE USED ON THIS PROJECT.
4. THE CONTRACTOR SHALL MAKE NO CLAIM FOR QUANTITY ADJUSTMENT UNLESS ALL CONSTRUCTION SURVEY STAKES ARE MAINTAINED FOR VERIFICATION.
5. NOTHING IN THE CONTRACT DOCUMENTS SHALL CREATE ANY CONTRACTUAL RELATIONSHIP BETWEEN THE ENGINEER AND THE CONTRACTOR OR THE ENGINEER AND THE SUBCONTRACTOR.
6. THE ENGINEER WILL NOT BE RESPONSIBLE FOR CONSTRUCTION OR SAFETY MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES UTILIZED IN CONNECTION BY THE CONTRACTOR OR SUBCONTRACTORS.
7. CHANGE ORDERS SHALL BE EXECUTED IN WRITING BY THE OWNER OR HIS REPRESENTATIVE. VERBAL CHANGES WILL NOT BE HONORED.
8. SEE ARCHITECTURAL DRAWINGS FOR ALL ON-SITE:
 - A. HORIZONTAL CONTROL & BUILDING LOCATIONS.
 - B. DETAILS AND HORIZONTAL LOCATION OF CURBS AND SIDEWALKS.
 - C. PARKING LOT LAYOUT.
9. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL EXISTING UNDERGROUND UTILITY FACILITIES BOTH HORIZONTALLY AND VERTICALLY PRIOR TO CONSTRUCTION AND TAKE ALL NECESSARY PRECAUTIONS TO AVOID ANY DAMAGE TO EXISTING UNDERGROUND FACILITIES. CALL BLUE STAKE CENTER (602) 263-1100 OR A PRIVATE UNDERGROUND UTILITY LOCATION COMPANY 48 HOURS PRIOR TO EXCAVATING. THE ENGINEER AND/OR OWNER CANNOT GUARANTEE ANY ELEVATIONS OR LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THESE PLANS.
10. UNDERGROUND INFORMATION AND UTILITIES SHOWN HAVE BEEN OBTAINED FROM INFORMATION PROVIDED ON QUARTER SECTION MAPS FROM THE UTILITY COMPANIES LOCATED WITHIN THE AREA. THUS, UNDERGROUND INFORMATION MUST BE FIELD VERIFIED BEFORE CONSTRUCTION.
11. **UTILITY COMPANIES SERVING THIS AREA ARE:**
WATER: PRIVATE WATER COMPANY – EPCOR
SEWER: PARADISE VALLEY
TELEPHONE: CENTURYLINK
ELECTRIC: ARIZONA PUBLIC SERVICE
GAS: SOUTHWEST GAS
CABLE TV: COX COMMUNICATIONS
12. THE TOPO INFORMATION SHOWN ON THIS DRAWING WAS OBTAINED FROM A TOPOGRAPHIC SURVEY PERFORMED BY SUMMIT CIVIL GROUP, DATED, JUNE OF 2020.
13. BOUNDARY INFORMATION SHOWN WAS TAKEN FROM THE TOPOGRAPHIC SURVEY, THE PLAT OF "TATUM CANYON" A SUBDIVISION PLAT RECORDED IN BOOK 177 OF MAPS, PAGE 7, RECORDS OF MARICOPA COUNTY, ARIZONA, AS WELL AS MARICOPA COUNTY GIS. THE CIVIL ENGINEER OF RECORD DOES NOT CERTIFY THE BOUNDARY INFORMATION SHOWN ON THIS PLAN.

DRAINAGE STATEMENT:

LOT 41 OF TATUM CANYON IS A HILLSIDE RESIDENTIAL LOT THAT RESIDES NEAR THE DREAMY DRAW PEAKS IN PARADISE VALLEY, ARIZONA. THE LOT IS LOCATED ON THE NORTHEASTERLY FLANK OF THE MOUNTAIN RANGE. THE LOT SLOPES DOWN AT STEEP GRADE FROM THE SOUTHWEST TO THE NORTHEAST TOWARDS DESERT PARK PLACE WHICH FRONTS THE PROPERTY. THE SLOPE OF THE LOT IS TYPICALLY GREATER THEN 36% IN MOST AREAS. LARGE ROCK AND BOULDER OUTCROPPINGS EXIST NEAR THE CENTER-FRONT OF THE PARCEL, IMMEDIATELY SOUTHWEST OF WHERE THE NEW BUILDING FOOTPRINT WILL BE.

DUE TO THE STEEP SLOPES OF THE LOT AND THE MULTIPLE FLOOR ELEVATION HOUSE, THERE WILL BE STEM RETAINING WALLS AS WELL AS SITE RETAINING WALLS. THE NEW HOUSE FOOTPRINT WILL ACT AS A "DAM" ON THE SIDE OF THE HILL RELATIVE TO NATURAL RUN-OFF FLOW RUN-OFF ALONG THE SLOPE OF THE HILLSIDE. THEREFORE, AT THE BASE OF STEM RETAINING AND SITE RETAINING WALLS ALONG THE SOUTHWEST FACE OF THE NEW STRUCTURE, A NEW CATCH BASIN AND STORM DRAINAGE SYSTEM WILL BE INSTALLED TO CAPTURE LOCALIZED DRAINAGE THAT WILL SHEET FLOW AND COLLECT ALONG THESE LIMITS. LOCAL DRAINAGE SWALES ALONG THE BACKS OF WALLS WILL DIRECT FLOW TO CATCH BASINS. THE CONNECTED STORM DRAIN SYSTEM WILL COLLECT AND DISCHARGE TO A NEW UNDERGROUND STORAGE TANK LOCATED IN THE DRIVEWAY AREA ADJACENT TO THE GARAGE AT THE NORTHEAST FACE OF THE HOUSE. STORM DRAINAGE AND COLLECTION PROVIDED WILL BE SIZED FOR THE PRE-VS-POST SITE DEVELOPMENT FOR THE 100-YEAR, 2-HOUR STORM EVENT AS REQUIRED BY THE TOWN OF PARADISE VALLEY DRAINAGE DESIGN AND POLICIES. ONCE THE STORM EVENT SUBSIDES, THE UNDERGROUND STORAGE SYSTEM WILL DISCHARGE VIA A DRYWELL SYSTEM SO THAT THE RETENTION STRUCTURE IS FULLY DISCHARGED WITHIN 36-HOURS FOLLOWING THE DESIGN STORM EVENT.

NO ADDITIONAL OFF-SITE FLOWS IMPACT THE SITE. ON-SITE STORM DRAINAGE WILL BE HANDLED IN ORDER TO DRAIN STORM WATER AWAY FROM THE BUILDING FOUNDATION. ON-SITE IMPROVEMENTS WILL NOT NEGATIVELY IMPACT ON-SITE FOR OFF-SITE IMPROVEMENTS IN AND AROUND THE SITE. NO ADDITIONAL DESIGN CRITERIA IS REQUIRED.

TOWN OF PARADISE VALLEY HILLSIDE NOTES:

1. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL ALL HILLSIDE STIPULATIONS AND ALL TOWN CODE REQUIREMENTS ARE COMPLIED INCLUDING, BUT NOT LIMITED TO LANDSCAPING, GROUND RESTORATION, FIRE FLOW, FIRE SAFETY AND ALL ONSITE AND OFFSITE IMPROVEMENTS.
2. ALL OUTDOOR LIGHTING SHALL BE IN CONFORMANCE WITH ARTICLE XXII OF THE TOWN ZONING ORDINANCE.
3. ALL EXCESS FILL MATERIAL SHALL BE REMOVED FROM THE SITE WITH NO NEW SPILL SLOPES.
4. THE USE OF HYDRAULIC RAM HAMMERS, OR OTHER HEAVY EQUIPMENT USED TO CUT THROUGH ROCK, INCLUDING MACHINERY WITH AUDIBLE BACK UP WARNING DEVICES SHALL BE LIMITED TO USE BETWEEN THE HOURS OF 7:00AM OR SUNRISE, WHICHEVER IS LATER, AND 6:00PM OR SUNSET, WHICHEVER IS EARLIER. MONDAY THROUGH FRIDAY, WITH LIMITED WORK ON SATURDAY AND NO WORK ON SUNDAY OR LEGAL HOLIDAYS. RAM HAMMERS AND OTHER HEAVY EQUIPMENT CANNOT BE USED ON SATURDAYS WITHOUT A WAIVER FROM THE TOWN MANAGER.
5. CONSTRUCTION STAKING AND /OR FENCING SHALL BE PLACED AROUND THE CONSTRUCTION SITE SO AS TO PROTECT THE UNDISTURBED NATURAL AREA.
6. ALL RETAINING WALLS SHALL NOT EXTEND MORE THAN 6 INCHES ABOVE THE MATERIAL THEY RETAIN (WITH EXCEPTION OF DRIVEWAY RETAINING WALLS IN ACCORDANCE WITH 2207.VI.6)

GRADING & DRAINAGE PLAN
FOR
"4517 E. DESERT PARK PLACE"

A PORTION OF THE NORTHEAST QUARTER OF SECTION 6, TOWNSHIP
2 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND
MERIDIAN, MARICOPA COUNTY, ARIZONA

CIVIL NOTES
(APPLY UNLESS OTHERWISE NOTED ON CIVIL DRAWINGS)

LEGAL DESCRIPTION

A.P.N.: 169-11-100

LOT 41 OF "TATUM CANYON" A SUBDIVISION PLAT RECORDED IN BOOK 177 OF MAPS, PAGE 7, RECORDS OF MARICOPA COUNTY, ARIZONA.

SHEET INDEX

SHEET	NO.	NAME
C1	1	COVER SHEET & CIVIL NOTES
C2	2	GRADING & DRAINAGE PLAN
C3	3	SECTIONS AND DETAILS
C4	4	RETAINING & SITE WALL PLAN

RETENTION REQUIREMENTS – PRE VS POST DEVELOPMENT

PER TOWN OF PARADISE VALLEY REQUIREMENTS FOR SINGLE FAMILY RESIDENCE DRAINAGE DESIGN STANDARDS & MCDDM, VOL II AND VOL III.

$V_r = (A \cdot P \cdot C) / 12$ V = Volume of retention required (cubic feet or acre-feet)
 C_w = Weighted Runoff factor for tributary areas
 P = 100-year, 2-hour storm event precipitation depth (inches)
per Paradise Valley
 A = Drainage area (square feet or acres)

PRE DEVELOPMENT RETENTION REQUIREMENTS

$A = 10,433$ S.F.
 $P = 2.24$ INCHES
 $C = 0.7$ PRE
Vpre = 1,363 CUBIC FEET

RETENTION REQUIREMENTS – AREA OF DISTURBANCE

$V = A(P/12)C$ V = Volume of retention required (cubic feet or acre-feet)
 C = Runoff factor for tributary areas
 P = 100-year, 2-hour rainfall (in inches)
 A = Drainage area (square feet or acres)

WEIGHTED RUN-OFF COEFFICIENT CALCULATIONS

AREA TYPE	AREA (SQ.FT.)	C	C _W
ASPHALT/ROOF	5,154	0.85	4,381
CONCRETE	3,854	0.95	3,661
DESERT LANDSCAPE	1,425	0.70	998
GRAVEL DRIVEWAY	0	0.35	0
TURF	0	0.35	0
			9,040

$$C = \frac{9,040}{10,433} = 0.87$$

$A = 10,433$ S.F.
 $D = 2.24$ INCHES
 $C = 0.87$ WEIGHTED
Vpost = 1,687 CUBIC FEET

Vr = Vpost - Vpre = 1,687 - 1,363 = 324 CUBIC FEET

1ST FLUSH STORM VOLUME REQUIREMENTS

$A = 10,433$ S.F.
 $P = 0.5$ INCHES
 $C = 1.0$ NO. UNITS
Vpre = 435 CUBIC FEET CONTROLS

ON-SITE RETENTION PROVIDED

OLD CASTLE STORM CAPTURE VAULTS (8'x16' VAULT SYSTEM)

$$\text{Volume} = ((D^2) \cdot (P / (4 \cdot L)))$$

$D = 3$ FT.
 $L = 15$ FT.
 $W = 7$ FT.

Vp = 315 CU.FT.

USE DOUBLE VAULT SYSTEM IN SERIES = 2 * 315 = 630 CU.FT.

VOLUME PROVIDED = 630 CUBIC FEET
VOLUME REQUIRED = 435 CUBIC FEET
EXCESS VOLUME = 195 CUBIC FEET

FINISHED FLOOR CERTIFICATION

ENGINEER SHALL CERTIFY THAT THE FINISHED FLOOR ELEVATION SHOWN ON THE PLAN OF 1602.00 WITH A PAD ELEVATION OF 1601.30 WHICH IS A MINIMUM OF 12-INCHES ABOVE THE 100-YR STORM ELEVATION FOR UNDERGROUND STORAGE. RETENTION OF 1596.80, IF CONSTRUCTED IN ACCORDANCE WITH THESE APPROVED PLANS. OFF-SITE FLOWS FROM UPHILL SLOPES WILL NOT IMPACT THE SITE. THE NEW HOUSE WILL BE SIGNIFICANTLY ELEVATED WITH SIGNIFICANT SLOPES. THEREFORE, ONLY THE WATER SURFACE ELEVATION OF THE ON-SITE RETENTION BASINS WILL DICTATE THE FINISHED FLOOR ELEVATIONS.

APPROVAL

THIS SET OF PLANS HAS BEEN REVIEWED FOR COMPLIANCE WITH TOWN OF PARADISE VALLEY REQUIREMENTS PRIOR TO ISSUANCE OF PERMITS. THE TOWN NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. THIS COMPLIANCE APPROVAL SHALL NOT PREVENT THE CITY ENGINEER FROM REQUIRING CORRECTIONS OF ERRORS OR OMISSIONS IN PLANS FOUND TO BE IN VIOLATION OF LAWS OR ORDINANCES.

TOWN OF PARADISE VALLEY

DATE

OWNER/DEVELOPER

LXI DEVELOPMENT INC. /
ABRAMS FAMILY REVOCABLE TRUST
4632 E. DESERT PARK PLACE
PARADISE VALLEY, AZ 85253
PH: 503-720-5055
CONTACT: STEPHEN SMILEY

ARCHITECT/DESIGNER

STEPHEN SMILEY ARCHITECTS
PH: 503-720-5055
E: SMILEY@PSEARCHS.COM
CONTACT: STEPHEN SMILEY

PROJECT BENCHMARK

BRASS CAP FLUSH IN THE CENTERLINE OF MARTINGALE, 30'-FT NORTH OF THE INTERSECTION OF MARTINGALE ROAD AND HORSESHOE ROAD WITH AN ELEVATION OF 1358.75 (NAVD '88 DATUM).

BASIS OF BEARING

N.27°30'04"W. ALONG THE MONUMENT FOR E. DESERT PARK PLACE AS SHOWN IN THE PLAT OF RECORD FOR "TATUM CANYON" AS RECORDED IN BOOK 177 OF MAPS, PAGE 7, RECORDS OF MARICOPA COUNTY, ARIZONA.

SITE AREA DATA

PER TOPV HILLSIDE ORDINANCE, TABLE 1:

LOT AREA: 45,098 S.F. (NET)
BLDG. SITE SLOPE: 34%
ALLOWABLE DIST.: 10.08% (4,546 S.F.)
% OF SLOPE STEEPER THEN NATURAL: 0%
EXIST. AREA DISTURBED: 0.00 S.F.
GROSS DISTURBED: 10,433 S.F.
HOUSE FOOTPRINT: 4,493 S.F.
RESTORED AREAS: 1,645
NET NEW AREA DISTURBED: 4,295 S.F.

ZONING

R-43

SETBACKS:

FRONT: 40'-FT
REAR: 40'-FT
SIDES: 20'-FT

CUT / FILL QUANTITIES

CUT 3,480 C.Y.
FILL 150 C.Y.
NET CUT 3,330 C.Y.

QUANTITIES ARE SHOWN FOR PERMIT PURPOSES ONLY. CONTRACTOR SHALL PERFORM THEIR OWN QUANTITY TAKE-OFF FOR ACCURACY OF CUT AND FILL ON THE SITE.

GRADING FEE: \$142 FOR 1ST 100 CY + \$95 EA. CY +
(142 * 100) + (3,530/100) * 95 = \$142 + (95 * 35.3) =
3,495.50
HILLSIDE ASSURANCE AMOUNT: \$ 122,342.50

PROJECT DESCRIPTION

GRADING AND DRAINAGE RELATED IMPROVEMENTS AS THEY APPLY TO THE NEW SINGLE FAMILY RESIDENCE TO THE SITE, ALONG WITH ASSOCIATED DRIVEWAYS, WALKWAYS AND LANDSCAPING. THIS HOUSE IS ON A STEEP HILLSIDE SLOPE. ON-SITE RETENTION WILL BE PROVIDED FOR THE PRE-VS-POST DEVELOPMENT OF THE DISTURBED AREA OF THE SITE. RETENTION WILL BE PROVIDED IN UNDERGROUND STORAGE UNDERNEATH THE DRIVEWAY.

SQUARE FOOTAGE

ROOF AREA	5,154
COURTYARD	955
UNCOVERED DECKS	150
LIVABLE LOWER LEVEL	2,723
LOWER LEVEL GARAGE	1,106

TOTAL FLOOR AREA: 10,088 S.F.
 $ID = 3$ FT.
 $IL = 15$ FT.
 $IW = 7$ FT.
ALLOWABLE AREA: (0.25 * 45,098) 11,274 S.F.

FLOOR AREA RATIO: 22.37%

DRAINAGE STATEMENT

PER TOWN OF PARADISE VALLEY GRADING AND DRAINAGE STANDARDS, THE PRE VS. POST VOLUME WILL BE PROVIDED, ON-SITE, FOR THE 100-YEAR, 2-HOUR STORM EVENT.

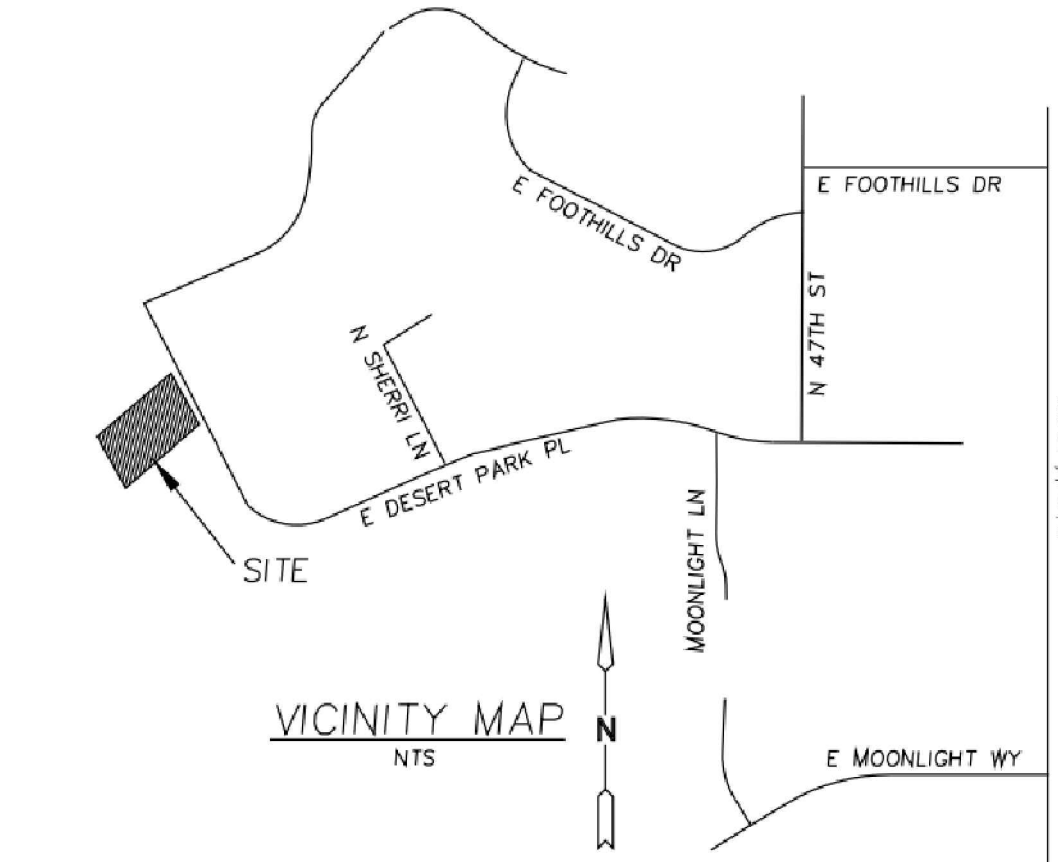
1. THIS PARCEL IS NOT IN A SPECIAL FLOOD HAZARD.
2. OFF-SITE FLOWS DO NOT NEGATIVELY IMPACT THIS SITE.
3. PROPOSED DEVELOPMENT DOES NOT IMPACT DRAINAGE CONDITIONS OF ADJOINING LOTS.
4. RETENTION PROVIDED IS FOR THE 1ST FLUSH STORM EVENT.
5. EXTREME STORM FLOWS OUTFALL THE SITE (ESO) AT THE EAST PROPERTY LINE INTO ITS EXISTING WATERCOURSE AT AN ELEVATION OF 1572.10 PER REFERENCED BENCHMARK.
6. THE LOWEST FINISHED FLOOR ELEVATION OF 1602.00 IS SAFE FROM INUNDATION DURING THE 100-YEAR PEAK RUN-OFF EVENT IF CONSTRUCTED IN ACCORDANCE WITH THESE APPROVED PLANS.

FEMA SITE INFORMATION					
COMMUNITY NUMBER	PANEL #	SUFFIX	DATE OF FIRM (INDEX DATE)	FIRM ZONE	BASE FLOOD ELEV. (IN AO ZONE, USE DEPTH)
040049	1765	L	10/16/13	X	< 12 INCHES

ABBREVIATIONS

(SOME ABBREVIATIONS MAY NOT APPLY TO THESE DRAWINGS)

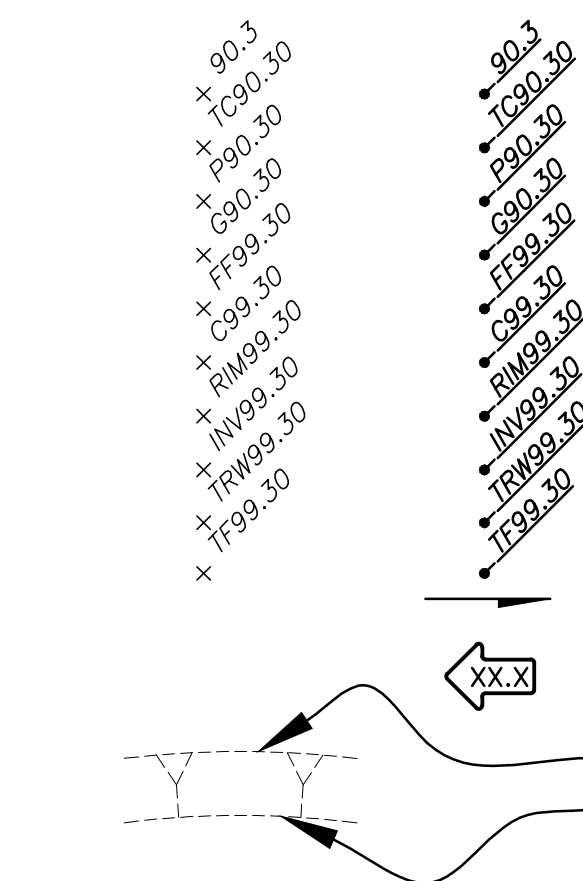
BOTT.	BOTTOM
B/C	BACK OF CURB
C.F.	CUBIC FEET
CLF	CHAIN LINK FENCE
CONC.	CONCRETE
C.Y.	CUBIC YARD
D.E.	DRAINAGE EASEMENT
D/W	DRIVEWAY
ESMT.	EASEMENT
EXIST.	EXISTING
F.F.	FINISHED FLOOR
FND.	FOUND
FT.	FEET
MAS.	MASONRY
M	MONUMENT LINE
N.T.S.	NOT TO SCALE
PVMT.	PAVEMENT
P	PROPERTY LINE
PROP.	PROPOSED
P.U.E.	PUBLIC UTILITY EASEMENT
R/W	RIGHT OF WAY
S/W	SIDEWALK
TYP.	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE



LEGEND

(SOME ITEMS MAY NOT APPLY TO THESE DRAWINGS)

---	BOUNDARY LINE
---	MONUMENT LINE
---	PROPERTY CORNER
---	EASEMENT LINE
---	MAS. FENCE
---	VERT. CURB & GUTTER
---	CONCRETE CURB
---	BUILDING
---	CONCRETE
---	BRASSCAP IN HANDHOLE
---	BRASSCAP FLUSH
---	SIGN
---	GAS METER
---	TELEPHONE RISER
---	CABLE RISER
---	POWER POLE
---	ELECTRICAL GUY DOWN
---	STREET LIGHT OR LIGHT POLE
---	WATER METER
---	BACK FLOW PREVENTION ASSEMBLY
---	DRYWELL/CATCH BASIN
---	SPRINKLER CONTROL BOX
---	ANTI-SIPHON LANDSCAPE VALVE
---	WATER
---	OVERHEAD CABLE TV
---	OVERHEAD TELEPHONE
---	UNDERGROUND TELEPHONE
---	OVERHEAD ELECTRICAL
---	UNDERGROUND ELECTRICAL
---	SANITARY SEWER
---	GAS
---	STORM DRAIN
---	FIRE LINE
---	NATURAL GROUND ELEV. (ADD 1400)
---	TOP OF CURB ELEV. (ADD 1400)
---	PAVEMENT ELEV. (ADD 1400)
---	GUTTER ELEV. (ADD 1400)
---	FINISHED FLOOR ELEV.
---	CONCRETE ELEV. (ADD 1400)
---	RIM ELEV. (ADD 1400)
---	INVERT ELEV. (ADD 1400)
---	TOP OF RETAINING WALL ELEV. (ADD 1400)
---	TOP OF FOOTING ELEV. (ADD 1400)
---	DRAINAGE SLOPE
---	EXTREME SITE OUTFALL (ESO)
---	TOP OF EMBANKMENT
---	BOTTOM OF EMBANKMENT



AS-BUILT CERTIFICATION

I HEREBY CERTIFY THAT THE "RECORD DRAWING" MEASUREMENTS AS SHOWN HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

REGISTERED ENGINEER/LAND SURVEYOR

DATE

REGISTRATION NUMBER

CALL TWO WORKING DAYS BEFORE YOU DO
602-263-1100
(OUTSIDE MARICOPA COUNTY)
1-800-STAKE-IT
(OUTSIDE MARICOPA COUNTY)

m a r
consulting engineers, llc
18223 west orchid lane
waddell, arizona 85355
e-geo@mg-mareng.com ph: 602.924.7677



PROJECT: TATUM CANYON – LOT 41
4517 EAST DESERT PARK PLACE, PARADISE VALLEY, ARIZONA
OWNER: LXI DEVELOPMENT INC.
4632 EAST DESERT PARK PLACE, PARADISE VALLEY, ARIZONA

PR	CD	CD	1ST PRELIM SUBMITTAL	DEMO SUBMITTAL	2ND DEMO SUBMITTAL
7-21-2021	9-14-2021	4-14-2022			

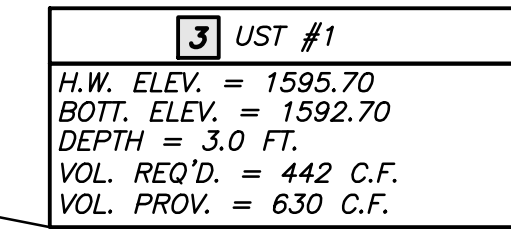
DATE ISSUED: 21 JULY 2021
DRAWN BY: GM/AD
CHECKED BY: GM

SHEET DESCRIPTION:
GRADING
&
DRAINAGE PLAN

SHEET
C1
OF
1 OF 4

"4517 E. DESERT PARK PLACE"
A PORTION OF THE NORTHEAST QUARTER OF SECTION 6, TOWNSHIP
3 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND
MERIDIAN, MARICOPA COUNTY, ARIZONA

1. THE OWNER OR "OWNER'S AGENT" IS REQUIRED TO PROVIDE PROFESSIONAL 3RD PARTY INSPECTION SERVICES FOR THE EXCAVATION, BEDDING, PLACEMENT, BACKFILL AND OVERALL CONSTRUCTION OF THE UNDERGROUND STORAGE TANK.
2. THE 3RD PARTY INSPECTOR WILL BE REQUIRED TO SUBMIT AN AS-BUILT CERTIFICATION THAT THE CONSTRUCTION HAS BEEN COMPLETED IN CONFORMANCE WITH THE APPROVED GRADING AND DRAINAGE PLANS AND THE MANUFACTURER'S REQUIREMENTS.
3. THE 3RD PARTY INSPECTOR SHALL NOT BE THE OWNER/APPLICANT, NOR THE CONTRACTOR. THE NAME AND INFORMATION OF THE 3RD PARTY INSPECTOR SHALL BE SUBMITTED TO THE COUNTY PRIOR TO THE START OF WORK ON THE UNDERGROUND STORAGE TANK.
4. ALL INFORMATION/REPORTS PERTAINING TO THE UNDERGROUND STORAGE TANK MUST BE SUBMITTED TO THE CITY.
5. FINAL DRAINAGE INSPECTION WILL NOT BE SCHEDULED UNTIL THE 3RD PARTY INSPECTION FOR THE UNDERGROUND STORAGE TANK HAS BEEN COMPLETED AND CERTIFIED.



ALL NATIVE PLANTS IMPACTED BY CONSTRUCTION SHALL BE
RELOCATED ON-SITE. SEE LANDSCAPE PLANS AND NATIVE INVENTORY
& SALVAGE PLAN.

- 1 4" THICK CONCRETE DRIVEWAY AND WALKWAY PER ARCHITECTURAL DRAWINGS AND SPECS.
- 2 CONSTRUCT BUILDING ON COMPACTED SUB-GRADE PER SOILS REPORT SPECIFICATIONS.
- 3 INSTALL OLD CASTLE STORM CAPTURE VAULT SYSTEM PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS. SEE PLAN FOR RIM AND BOTTOM DEPTH ELEVATIONS.
- 4 INSTALL 48" DIA. ZOELLER SIMPLEX SUMP PUMP STATION W/SHARK MODEL 282 GRINDER SEWAGE PUMP. PUMP STATION LID SHALL BE TRAFFIC RATED, H=20 MIN.
 - RIM=1575.50
 - BOTTOM=1569.50
 - 4" FORCE INV=1572.00
 - 4" SLOT DRAIN INV=1573.50

- REFER TO SPEC. SHEETS IN DRAINAGE STATEMENT FOR FURTHER INFORMATION.
- 5 INSTALL 8" H.D.P.E. (N=12 OR APPROVED EQUAL) STORM DRAIN PIPE AT 1% SLOPE. SEE PLAN FOR LENGTH.
- 6 INSTALL 12" DIA. NYLOPLAST DRAIN BASIN W/RAISED LANDSCAPE DOME GRATE (OR APPROVED EQUAL) PER DET. 1/C3. SEE PLAN FOR RIM ELEVATIONS.
- 7 NEW POOL WITH NON-BACKWASH CARTRIDGE FILTER PER SEPARATE PERMIT.
- 8 INSTALL 8" DIA. BACKWATER CHECK VALVE.
- 9 INSTALL 12" DIA. NYLOPLAST DRAIN BASIN W/12" ROUND FLUSH GRATE (OR APPROVED EQUAL) PER DET. 1/C3. SEE PLAN FOR RIM ELEVATIONS.
- 10 INSTALL 4" DIA. NYLOPLAST DRAIN BASIN W/6" ROUND FLUSH GRATE (OR APPROVED EQUAL) PER DET. 1/C3. SEE PLAN FOR RIM ELEVATIONS.
- 11 INSTALL 4" H.D.P.E. (N=12 OR APPROVED EQUAL) STORM DRAIN PIPE AT 1% SLOPE. SEE PLAN FOR LENGTH.
- 12 INSTALL 4" PVC (SDR35 OR APPROVED EQUAL) FORCE MAIN PIPE. SEE PLAN FOR LENGTH AND INVERTS.
- 13 INSTALL 10" R.G.R.C.P. STORM DRAIN PIPE (CLASS 350 OR APPROVED EQUAL). SEE PLAN FOR SLOPE AND LENGTH.
- 14 INSTALL SLOT DRAIN/SAND TRAP CATCH BASIN SYSTEM PER DETAIL THIS SHEET (OR APPROVED EQUAL). SEE PLAN FOR RIM AND INVERT ELEVATIONS. CONTRACTOR TO FIELD LOCATE WITH ARCH'L PATTERN TO FINISHED DRIVEWAY MATERIALS.
- 15 INSTALL 48" DIA. ZOELLER SIMPLEX SUMP PUMP STATION W/SHARK MODEL 282 GRINDER SEWAGE PUMP. PUMP STATION LID SHALL BE TRAFFIC RATED, H=20.
 - RIM=1600.30
 - BOTTOM=1592.00
 - 4" FORCE INV=1596.00

- REFER TO SPEC. SHEETS IN DRAINAGE STATEMENT FOR FURTHER INFORMATION.
- 16 INSTALL D=3" RIP-RAP: 4" TO 6" DIAMETER, ANGULAR GRANITE, HAND PLACED AND INTERLOCKING. PLACE MIN. 4" OF SAND (COMPACTED 85%) UNDER NON-WOVEN FILTER FABRIC. RIP-RAP SHALL BE PLACED AT MIN. 1.0-FT BELOW FINISHED GRADE. RIP-RAP SHALL MATCH EXISTING MATERIAL AND COLOR OF NATURAL OCCURRING ROCKS IN AND AROUND THE PROPERTY.

- ① SEE PLUMBING PLANS FOR WATER AND SEWER CONNECTION TO NEW INTERIOR/EXTERIOR PLUMBING FIXTURES.
- ② PROVIDE NEW 400 AMP ELECTRICAL SERVICE, COORDINATE LOCATION AND UNDERGROUND SERVICES WITH UTILITY CO.
- ③ NEW 4" PVC (SDR 35 OR APPROVED EQUAL) SANITARY SEWER LINE AT 2.08% PER I.P.C. STANDARDS.
- ④ NEW 3/4" WATER METER AND 1-1/4" DOMESTIC WATER SERVICE LINE. REFER TO PLUMBING PLANS FOR APPROVED AND TIE-IN LOCATION AT HOUSE.
- ⑤ APPROXIMATE LOCATION OF NEW UNDERGROUND ELECTRIC SERVICE TO PANEL. SEE ELECTRICAL PLANS FOR CONTINUATION IN HOUSE.
- ⑥ APPROXIMATE LOCATION OF EXISTING GAS LINE, NEW SERVICE AND LOCATION PROVIDED BY UTILITY COMPANY. REFER TO UTILITY COMPANY PLANS FOR APPROVED LOCATION.
- ⑦ SEWER CONNECTION TO NEW MANHOLE PER OFF-SITE SEWER MAIN EXTENSION PLANS PER SEPARATE PERMIT.

(A) INSTALL 48" DIA. SANITARY SEWER MANHOLE PER M.A.G. STD. DETAILS 420-1 AND 420-2 WITH FRAME AND LID PER M.A.G. STD. DET. 423-3. DROP SEWER CONNECTION SHALL BE PER M.A.G. STD. DET. 426-B. ADJUST RIM TO FINISHED GRADE. ADJUST RIM TO FINISHED GRADE.

(B) 8" VCP SEWERLINE @ 0.52% OFF-SITE TRENCHING IN RIGHT-OF-WAY PER C.O.S. STD. DET. 2201.

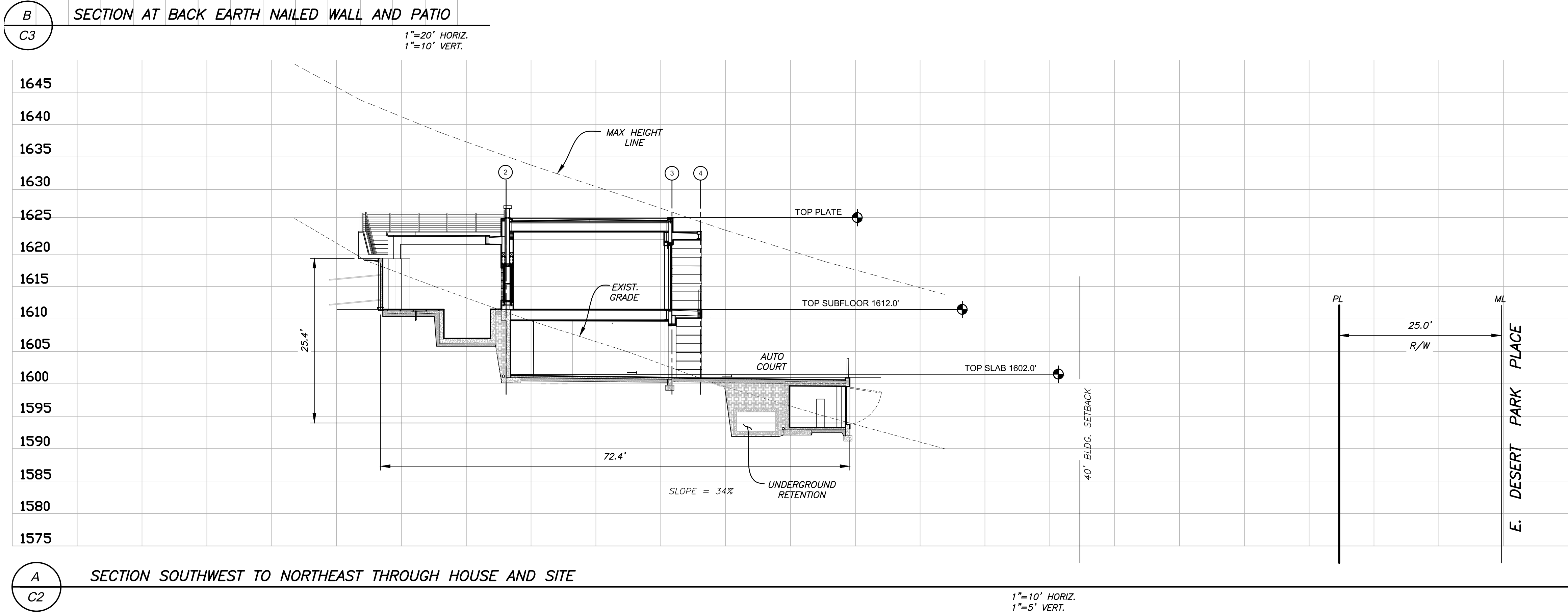
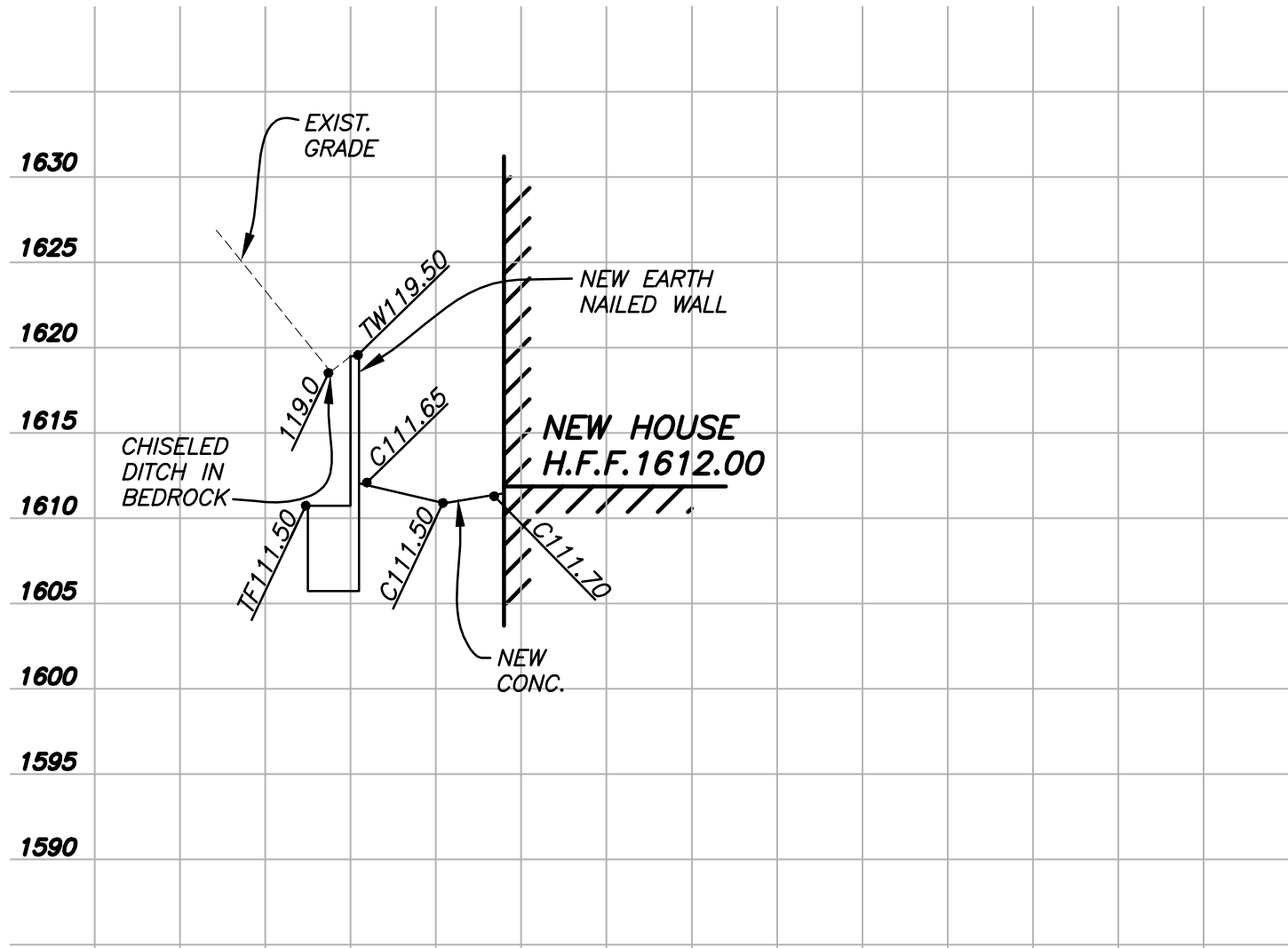
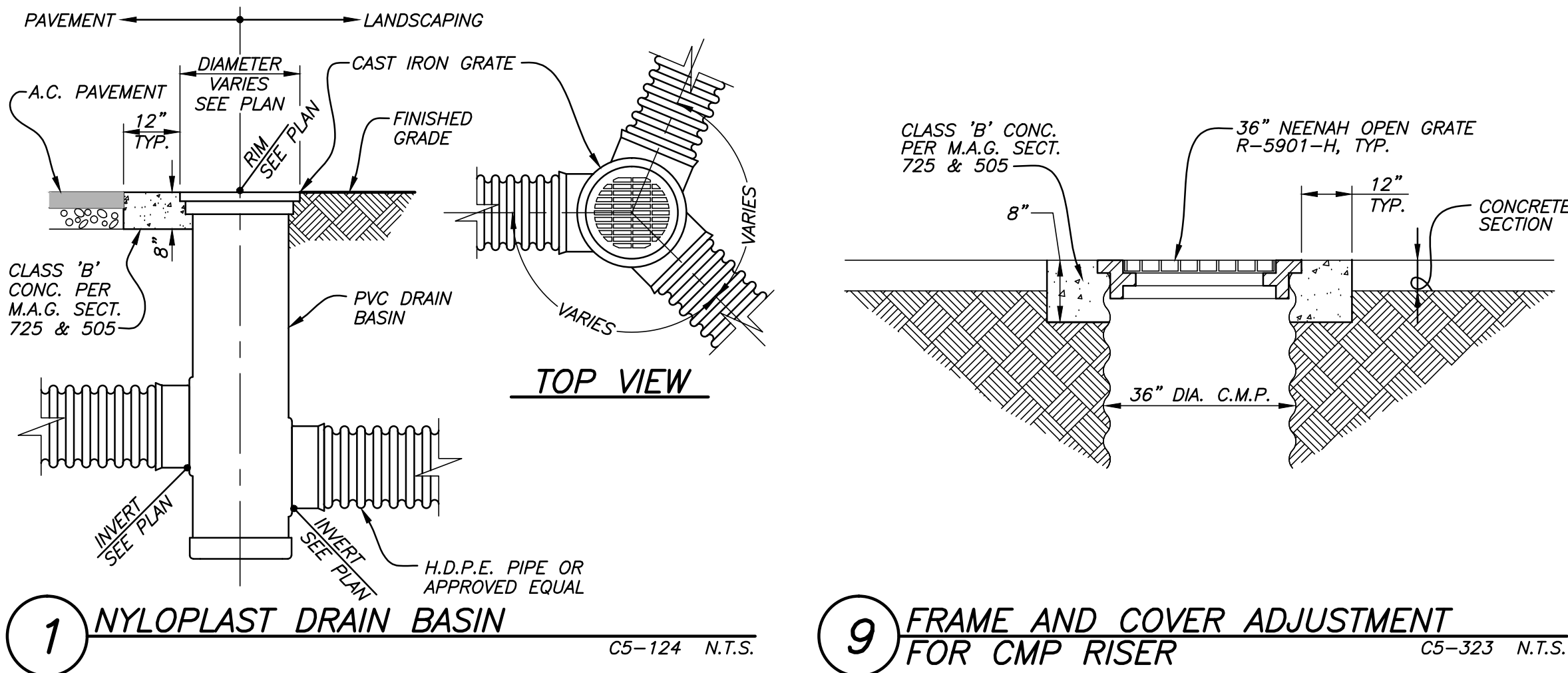
CALL TWO WORKING DAYS
BEFORE YOU DIG
602-263-1100
(INSIDE MARICOPA COUNTY)
1-800-STAKE-IT
(OUTSIDE MARICOPA COUNTY)

PR	7-21-2021	1ST PRELIM SUBMITTAL
CD	9-14-2021	DEMO SUBMITTAL
CD	4-14-2022	2ND DEMO SUBMITTAL

SHEET DESCRIPTION:
GRADING
&
DRAINAGE

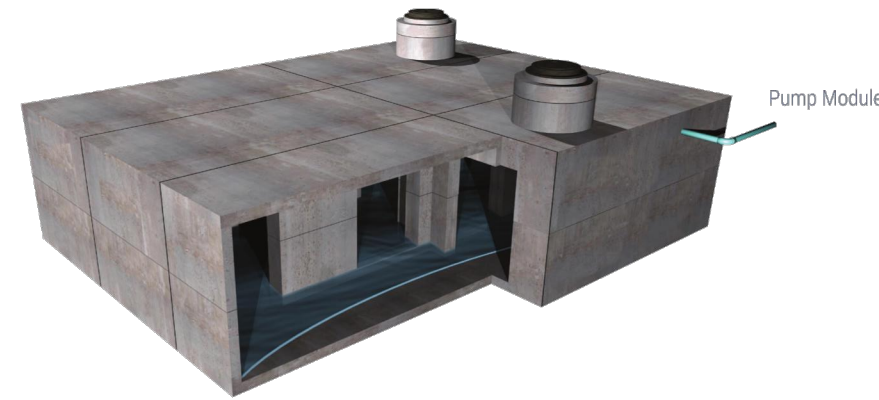
SHEET
C2
OF
2 OF 4

C:\Users\Owner\OneDrive\CloudStation\Projects\2021\21-02-011-00-Lot 41 Tatum Canyon\Civil\21-02-011-00-C1.dwg Plotted 5/18/22 by Owner



Oldcastle Infrastructure
A CRH COMPANY

STORMCAPTURE® Retention



For applications where the goal is to retain rainwater before controlled discharge to storm drain system, StormCapture provides a cost-effective solution.

StormCapture allows maximization of developable land by allowing retention to be placed efficiently and easily under parking lots and roadways with very little cover, as well as in non-traffic areas. Structurally efficient precast concrete modules are designed for superior performance. StormCapture retention systems are available as single modules for small applications, as well as multi-module systems for thousands or hundreds of thousands of gallons of storage.

MAINTAINABLE

- Designed for maintenance, not replacement
- Optional direct module access
- Open interior

STRUCTURALLY SUPERIOR

- Vehicular traffic loading design with as little as 6" of Earth cover
- No concrete footing required
- HS-20-44 design for full truck load plus impact

EFFICIENT

- Large storage capacity
- Not reliant on stone backfill for storage
- Unique LinkSlab® design reduces concrete

ECONOMICAL

- Competitive installed and lifetime cost
- Typically backfilled with existing site materials
- Large capacity yields smaller footprint
- Rapid and simple installation

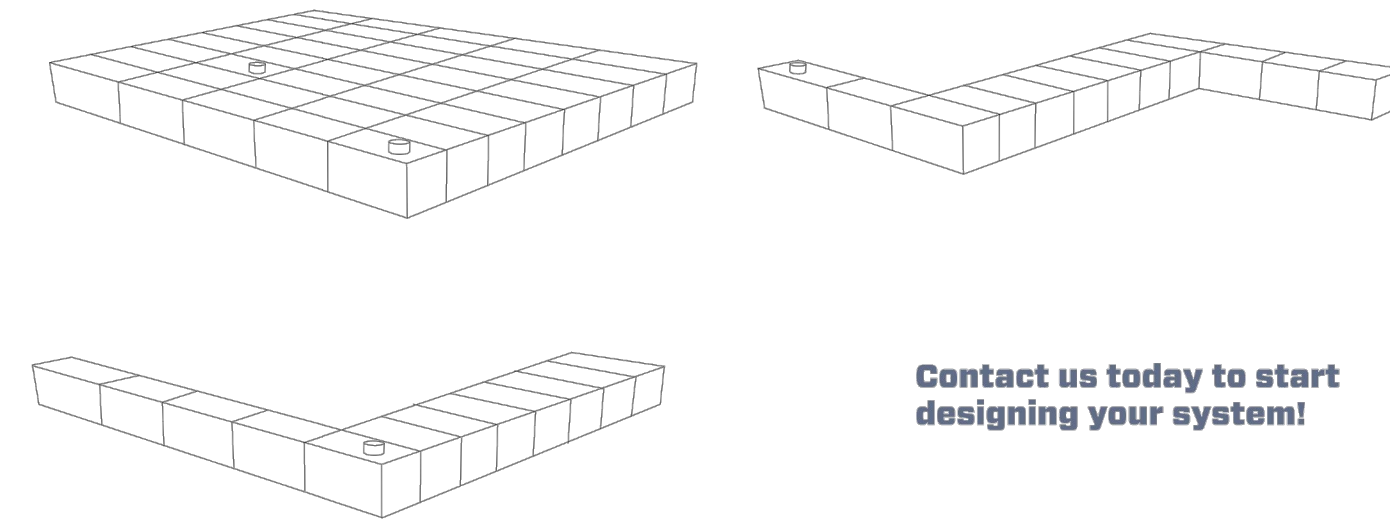
Module Sizes & Capacities

Modules are 8'x16' outside dimensions.
Capacity varies by configuration of openings.

INSIDE DIMENSIONS (FT)	CAPACITY RANGE (FT³)
7x15x2	210-212
7x15x3	315-325
7x15x4	420-442
7x15x5	525-559
7x15x6	630-678
7x15x7	735-793
7x15x8	840-910

INSIDE DIMENSIONS (FT)	CAPACITY RANGE (FT³)
7x15x9	945-1,027
7x15x10	1,050-1,140
7x15x11	1,155-1,257
7x15x12	1,260-1,374
7x15x13	1,365-1,491
7x15x14	1,470-1,608

Endless Configurations



Contact us today to start designing your system!

m a r
consulting engineers, llc
18223 west orchid lane
waddell, arizona 85353
e-geo@myengineering.com ph: 602.524.7877



PROJECT: TATUM CANYON - LOT 41
4517 EAST DESERT PARK PLACE, PARADISE VALLEY, ARIZONA
OWNER: LXI DEVELOPMENT INC.
4632 EAST DESERT PARK PLACE, PARADISE VALLEY, ARIZONA

PR	7-21-2021	1ST PRELIM SUBMITTAL
CD	9-14-2021	DEMO SUBMITTAL
CD	4-14-2022	2ND DEMO SUBMITTAL

DATE ISSUED: 21 JULY 2021
DRAWN BY: GM/AD
CHECKED BY: GM

SHEET DESCRIPTION:
SECTIONS
AND
DETAILS

SHEET
C3
OF
3 OF 4

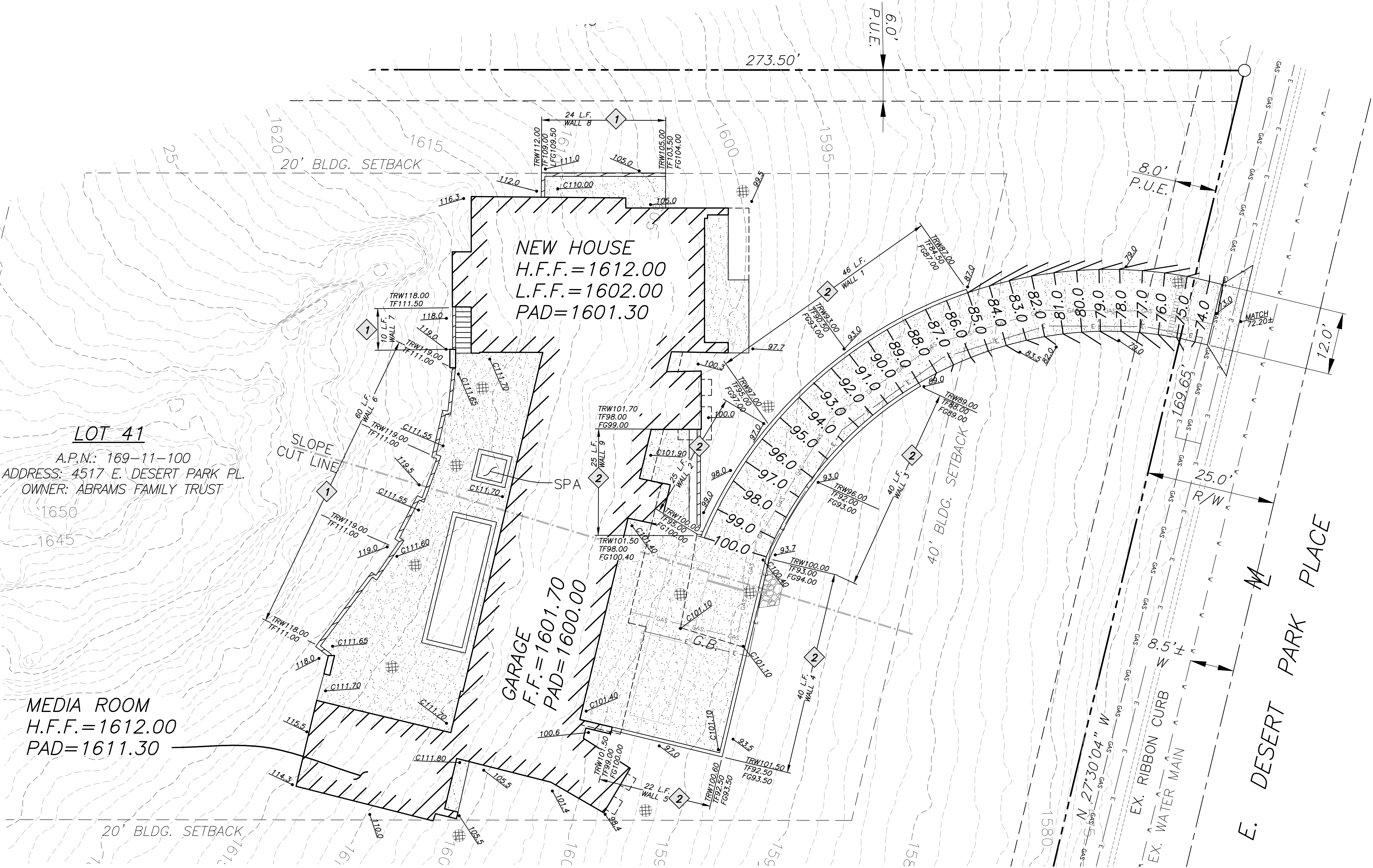
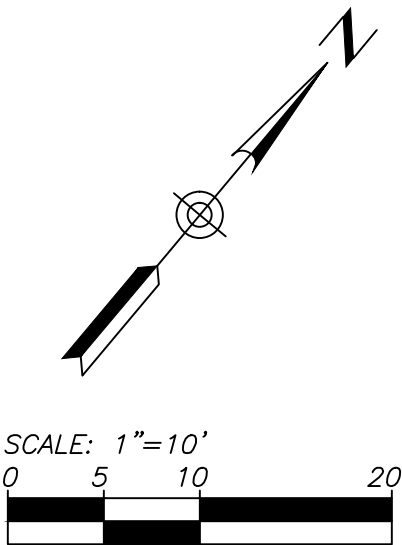
DM

SITE WALL & RETAINING WALL CONSTRUCTION NOTES:	
NOTE:	QUANTITY:
1. CONSTRUCT EARTH NAILED RETAINING WALL PER ARCH'L AND STRUCTURAL DRAWINGS. SEE PLAN FOR TOP OF RETAINING WALL, TOP OF FOOTING ELEVATIONS. REFER TO ARCH'L AND STRUCTURAL DRAWINGS FOR CONSTRUCTION DETAILS.	94 L.F.
2. CONSTRUCT STRUCTURAL RETAINING WALL PER ARCH'L AND STRUCTURAL DRAWINGS. SEE PLAN FOR TOP OF RETAINING WALL, TOP OF FOOTING ELEVATIONS. REFER TO ARCH'L AND STRUCTURAL DRAWINGS FOR STEPPED FOOTING & CONSTRUCTION DETAILS.	193 L.F.

- NOTES:
- REFER TO ARCHITECTURAL PLANS FOR SPECIFICATIONS FOR POOL BARRIER FENCING AROUND THE POOL AREA AND FOR CONNECTION TO TOP OF RETAINING WALLS.
 - TOP OF RETAINING WALL HEIGHTS SHALL NOT EXCEED 6'-INCHES ABOVE FINISHED GRADE OF RETAINED SOIL, TYPICAL.

RETAINING WALL NO.	LENGTH	MAX. HEIGHT	MAX. LENGTH
WALL 1	46 L.F.	2.5 FT.	71 L.F.
WALL 2	25 L.F.	5.0 FT.	
WALL 3	40 L.F.	7.0 FT.	80 L.F.
WALL 4	40 L.F.	8.0 FT.	
WALL 5	22 L.F.	7.1 FT.	22 L.F.
WALL 6	60 L.F.	8.0 FT.	
WALL 7	10 L.F.	8.0 FT.	70 L.F.
WALL 8	24 L.F.	3.0 FT.	
WALL 9	20 L.F.	3.6 FT.	20 L.F.
TOTAL:	287 L.F.		287 L.F.

MAX. LENGTH OF VISIBILITY = 80 L.F.



m a r
consulting engineers, llc
18223 west orchid lane
waddell, arizona 85355
e-geo@gy-mareng.com ph: 602.554.7877



PROJECT: TATUM CANYON - LOT 41
4517 EAST DESERT PARK PLACE, PARADISE VALLEY, ARIZONA
OWNER: LXI DEVELOPMENT INC.
4632 EAST DESERT PARK PLACE, PARADISE VALLEY, ARIZONA

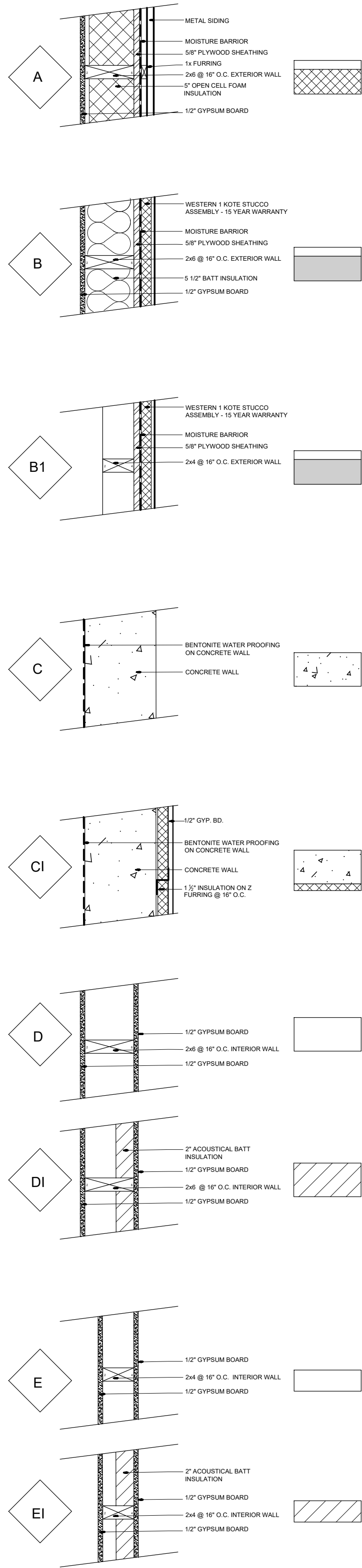
PR	7-21-2021	1ST PRELIM SUBMITTAL
CD	9-14-2021	DEMO SUBMITTAL
CD	4-14-2022	2ND DEMO SUBMITTAL

DATE ISSUED: 21 JULY 2021
DRAWN BY: GM/AD
CHECKED BY: GM

SHEET DESCRIPTION:
RETAINING & SITE
WALL PLAN

SHEET
C4
OF
4 OF 4

CALL TWO WORKING DAYS
BEFORE YOU DIG
602-263-1100
(INSIDE MARICOPA COUNTY)
1-800-STAKE-IT
(OUTSIDE MARICOPA COUNTY)



WALL TYPES



LOWER FLOOR PLAN

1/8" = 1'-0"

KEYNOTES FOR ARCHITECTURAL PLANS

- 1] SOIL-NAIL CONCRETE RETAINING WALL W/ CONT 12" DIVERSION SWALE
- 2] THINSET PORCELAIN TILE ON CONCRETE SLAB
- 3] PAVERS OVER W.P. MEMBRANE ON CONCRETE SLAB
- 4] PAVERS ON COMPACTED SUB-BASE AND SAND
- 5] 8" THICK INTEGRALLY COLORED CONCRETE DIVIDER STRIP
- 6] EXTERIOR THINSET TILE ON CONCRETE SLAB
- 7] 36" HIGH PAINTED STEEL GUARDRAIL
- 8] DECK ON UPPER LEVEL SHOWN DOTTED
- 9] UNDISTURBED EXISTING GRADE
- 10] METAL SUN SHADES SHOWN DOTTED ABOVE
- 11] MECHANICAL ROOM SHOWN DOTTED BELOW
- 12] HVAC UNITS SEE MECHANICAL DRAWINGS
- 13] ALL INTERIOR STORM DRAINS TO CONNECT TO PERIMETER DRAIN LINES PER CIVIL DRAWINGS
- 14] GAS METER W/ SHUT OFF
- 15] WATER HEATER
- 16] SPECIALTY LIGHT FIXTURE SEE: XXXXX
- 17] VERTICAL TUBE RAILING
- 18] MEMBRANE SHOWER PAN IN RECESSED CONCRETE SLAB
- 19] POOL
- 20] PORCELAIN TILE ON SUPPORT TRAYS ON PEDESTALS
- 21] HARDWOOD TREADS
- 22] INTERIOR CLOSET SYSTEM
- 23] SPA
- 24] FOAM ROOF INSULATION W/ ACRYLIC INTEGRAL COLOR COATING
- 25] MINIMUM CRICKET SLOPE: 1/8" / 1'-0"
- 26] OPERABLE SUNSCREEN LOUVERS
- 27] INDOOR HVAC UNIT
- 28] ELECTRICAL SERVICE
- 29] TILE STAIRS/STANDING
- 30] CONCRETE SLAB ON GRADE
- 31] RECESS FLOOR FRAMING FOR FLUSH SHOWER
- 32] ELEVATOR SHAFT WALLS BELOW
- 33] LINE OF DECK ABOVE

GENERAL NOTES

1. DO NOT SCALE DRAWINGS
2. ALL PLAN INTERIOR WALL DIMENSIONS ARE TO FACE OF STUD U.N.O.
3. ALL DIMENSIONS AT EXTERIOR WALL ARE TO FACE OF SHEATHING.
4. ALL DISCREPANCIES FOUND TO BE REPORTED TO THE ARCHITECT IMMEDIATELY
5. EXTERIOR WALLS ARE 2X10 U.N.O.

KEY LEDGEND:

- DOOR NUMBER
- WALL TYPE



ISSUE DATE:

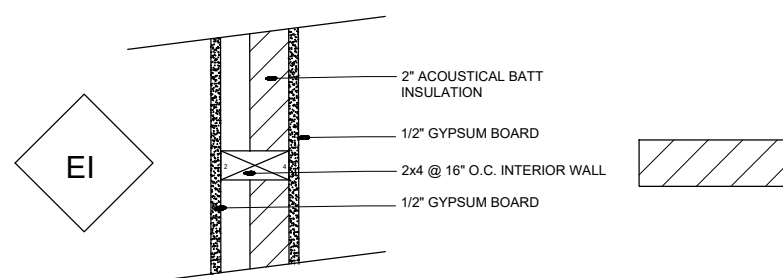
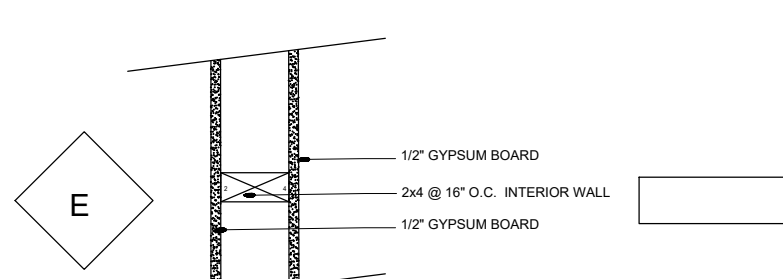
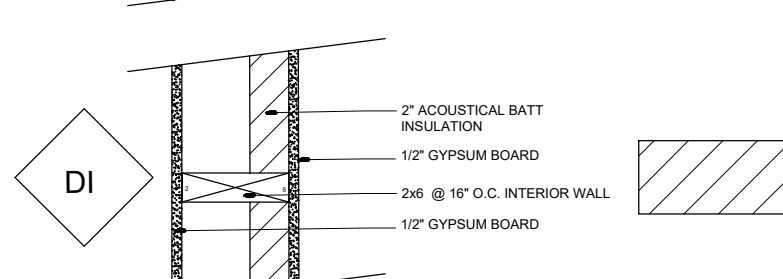
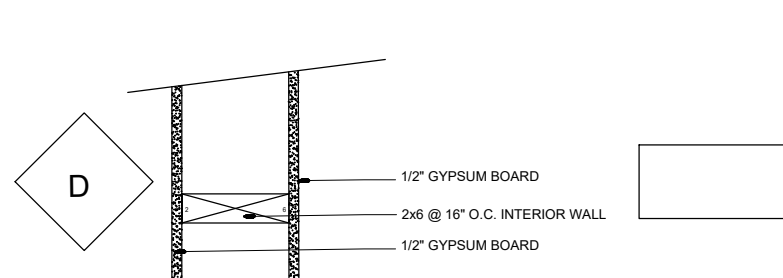
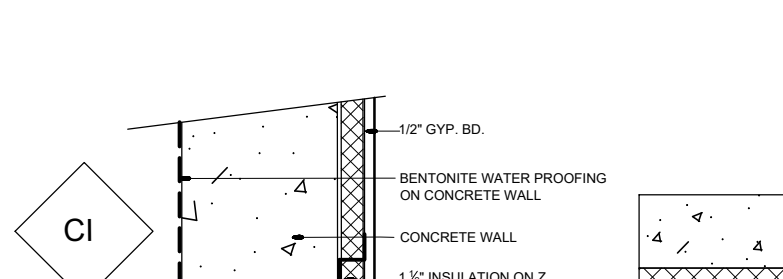
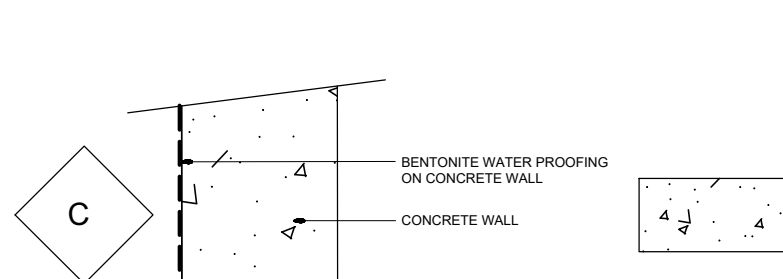
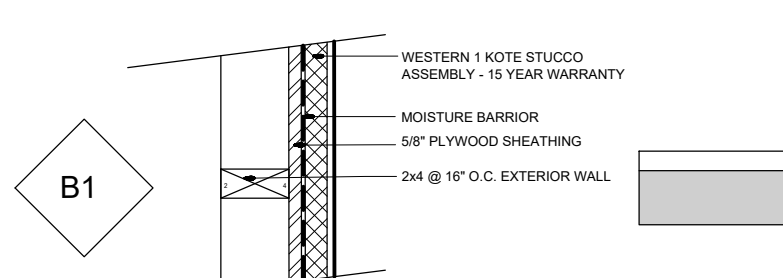
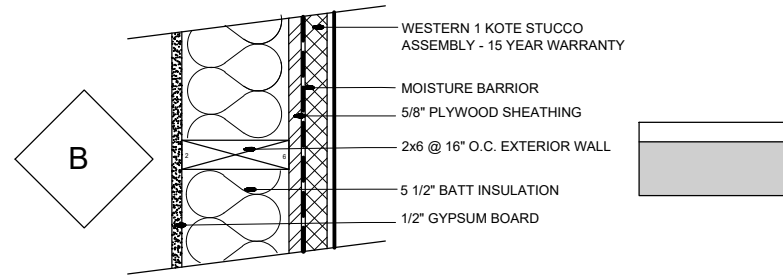
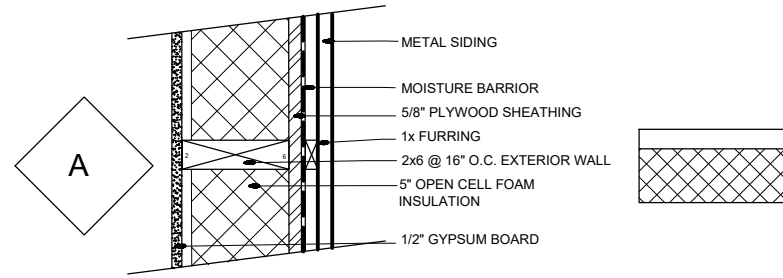
NEW RESIDENCE
LXI DEVELOPMENT
4517 EAST DESERT PARK PLACE
PARADISE VALLEY, AZ 85253

PROJECT:

DRAWN: SM
CHECKED: SS
JOB NO.: ---
FILE:
DATE: 05/19/2022

LOWER FLOOR PLAN

A2.2



WALL TYPES

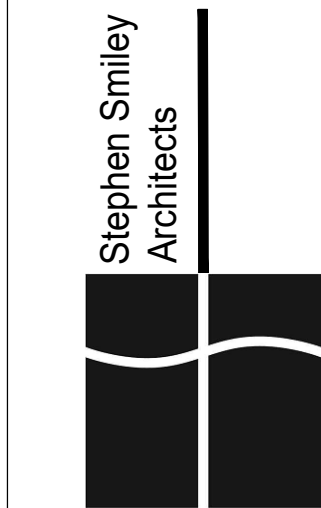


- KEYNOTES FOR ARCHITECTURAL PLANS
- 1 SOIL-NAIL CONCRETE RETAINING WALL W/ CONT 12\"/>
 - 2 THINSET PORCELAIN TILE ON CONCRETE SLAB
 - 3 PAVERS OVER W.P. MEMBRANE ON CONCRETE SLAB
 - 4 PAVERS ON COMPACTED SUB-BASE AND SAND
 - 5 8\"/>
 - 6 EXTERIOR THINSET TILE ON CONCRETE SLAB
 - 7 36\"/>
 - 8 DECK ON UPPER LEVEL SHOWN DOTTED
 - 9 UNDISTURBED EXISTING GRADE
 - 10 METAL SUN SHADES SHOWN DOTTED ABOVE
 - 11 MECHANICAL ROOM SHOWN DOTTED BELOW
 - 12 HVAC UNITS SEE MECHANICAL DRAWINGS
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 - 14 GAS METER W/ SHUT OFF
 - 15 WATER HEATER
 - 16 SPECIALTY LIGHT FIXTURE SEE: XXXX
 - 17 VERTICAL TUBE RAILING
 - 18 MEMBRANE SHOWER PAN IN RECESSED CONCRETE SLAB
 - 19 POOL
 - 20 PORCELAIN TILE ON SUPPORT TRAYS ON PEDESTALS
 - 21 HARDWOOD TREADS
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 - 23 SPA
 - 24 FOAM ROOF W/ ACRYLIC INTEGRAL COLOR COATING
 - 25 MINIMUM CRICKET SLOPE 1/8\"/>
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- GENERAL NOTES
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 4. ALL DISCREPANCIES FOUND TO BE REPORTED TO THE ARCHITECT IMMEDIATELY
 5. EXTERIOR WALLS ARE 2X6 U.N.O.

KEY LEDGEND:

- DOOR PER SHT. A1.0
- WALL TYPE

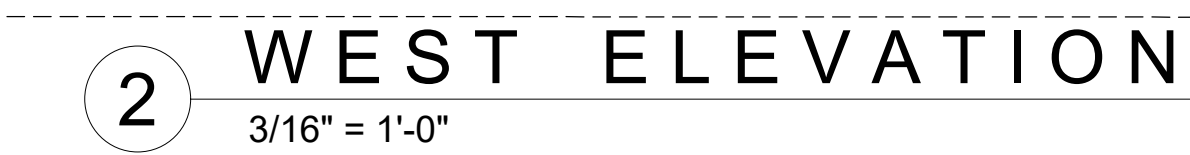



ISSUE DATE:

NEW RESIDENCE
LXI DEVELOPMENT
4517 EAST DESERT PARK PLACE
PARADISE VALLEY, AZ 85253

PROJECT:

DRAWN: SM
CHECKED: SS
JOB NO. ---
FILE:
DATE: 05/19/2022
UPPER FLOOR PLAN
A2.1



- 
- Stephen Smiley
Architects

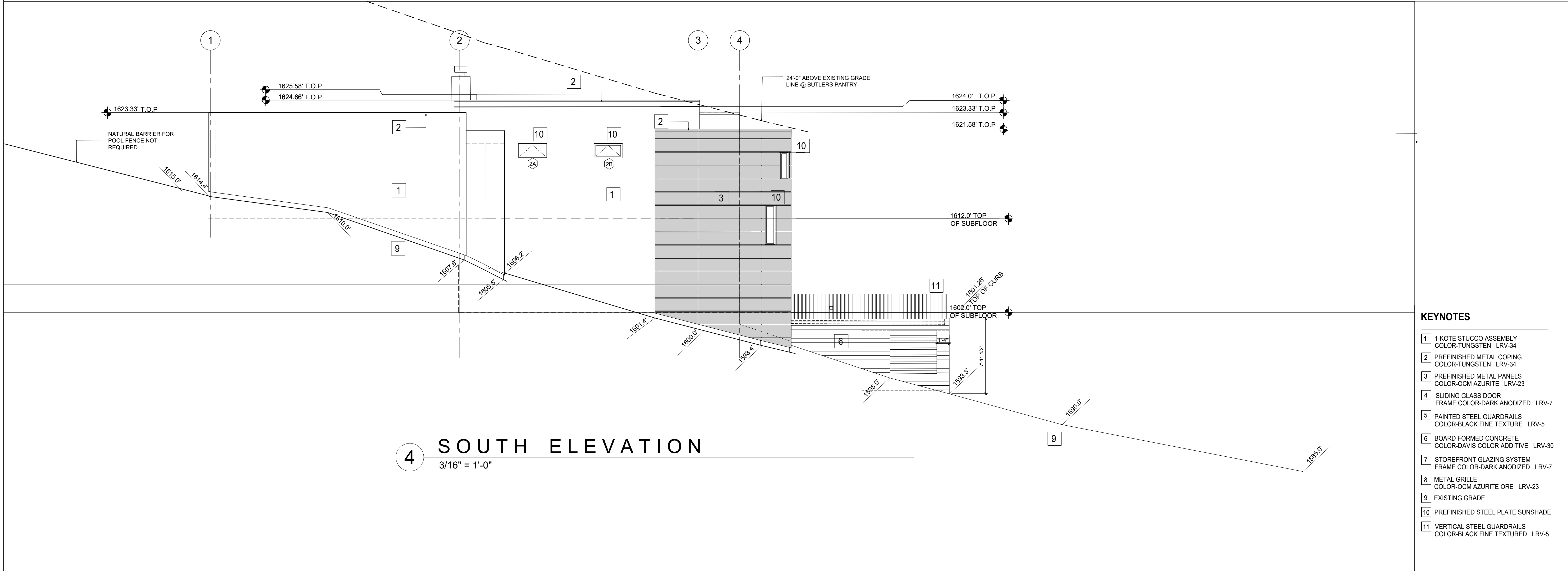
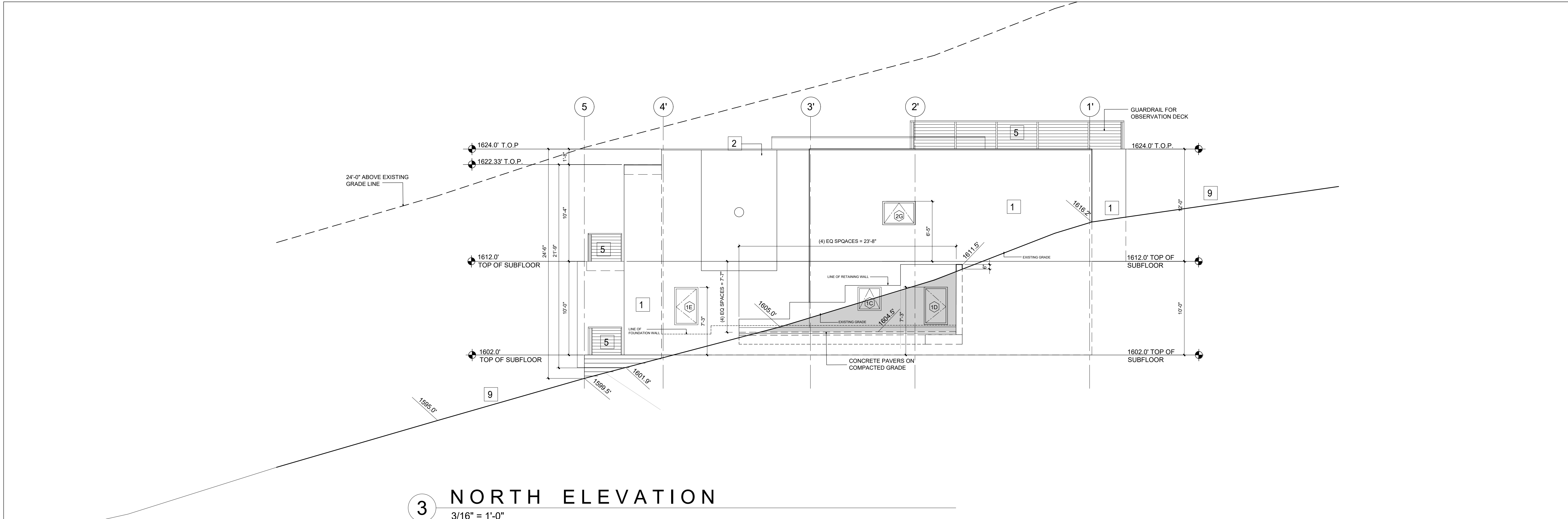
ISSUE DATE:

NEW RESIDENCE
LXI DEVELOPMENT
4517 EAST DESERT PARK PLACE
PARADISE VALLEY, AZ 85253

PROJECT:

DRAWN:	SM
CHECKED:	SS
JOB NO.	---
FILE:	
DATE:	05/19/2022

EXTERIOR
ELEVATIONS
A3.0



Stephen Smiley
Architects

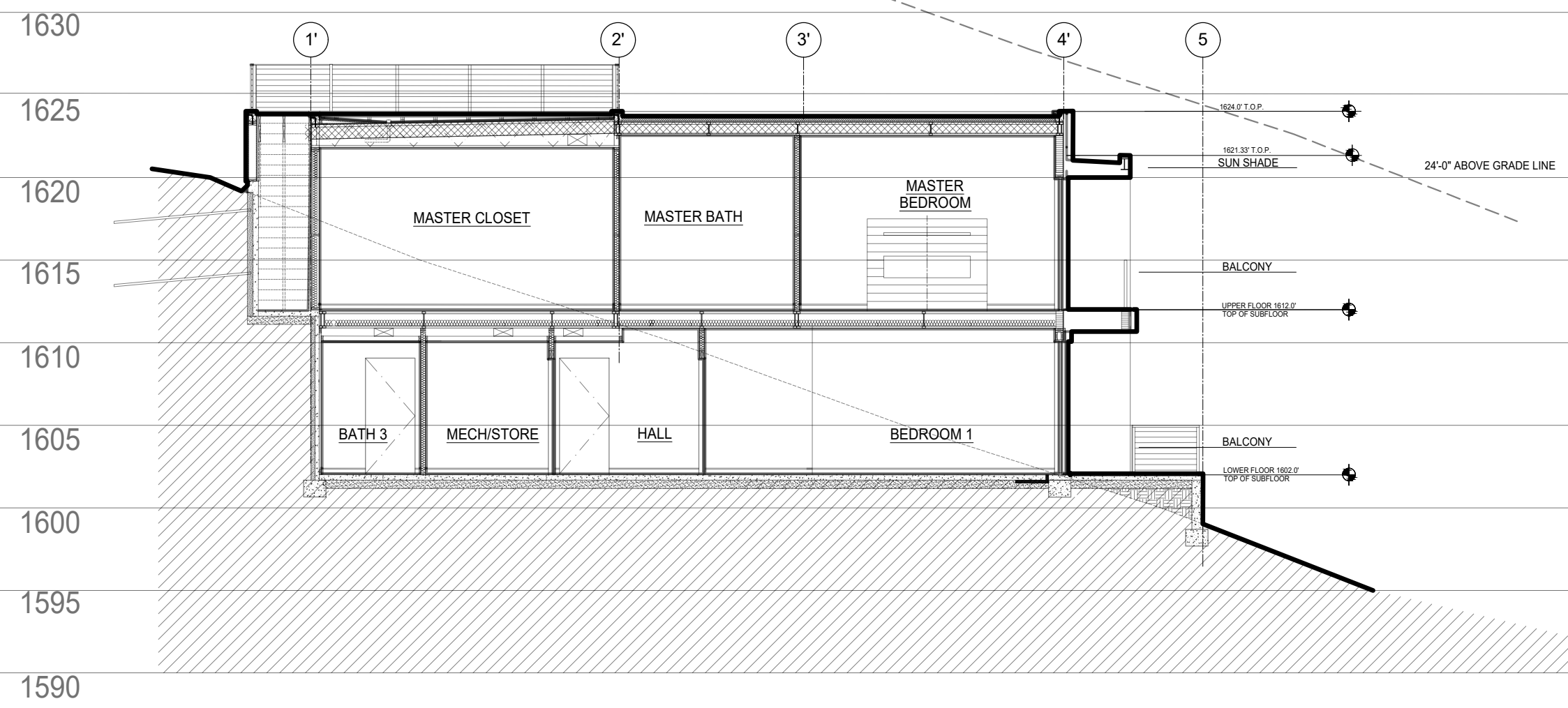
ISSUE DATE:

PROJECT:

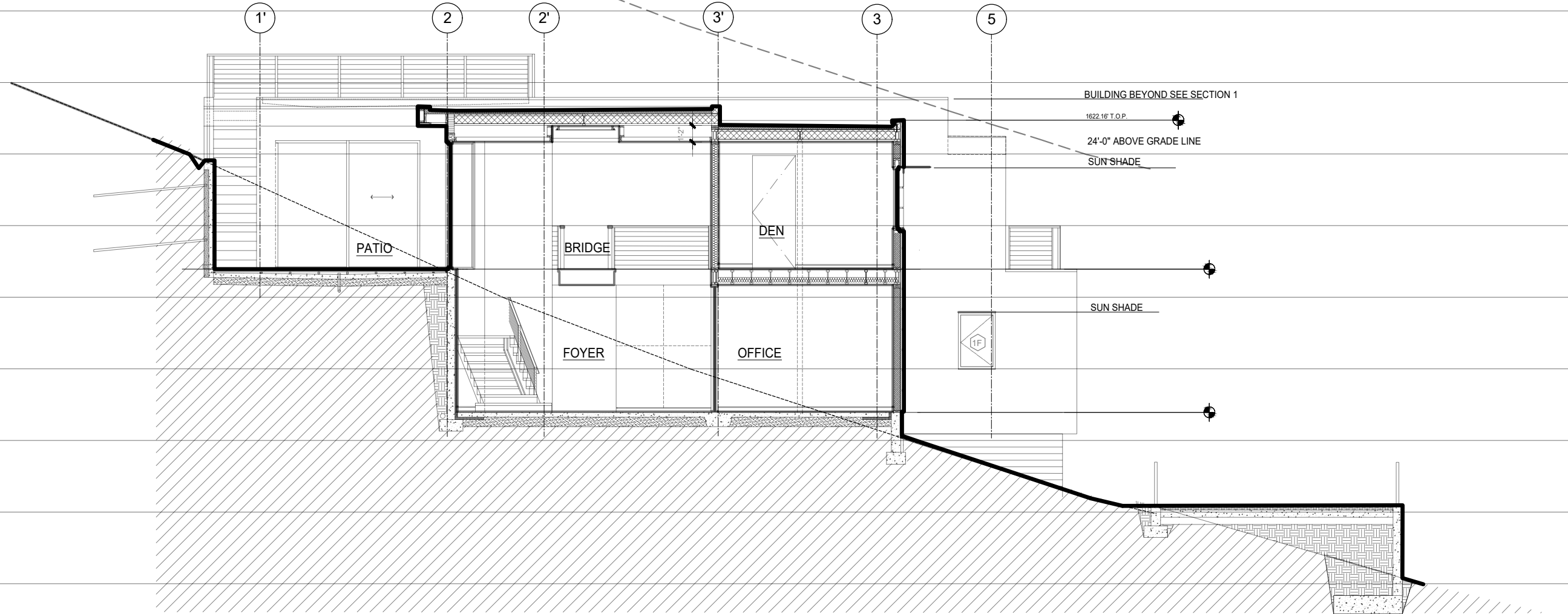
NEW RESIDENCE
LXI DEVELOPMENT
4517 EAST DESERT PARK PLACE
PARADISE VALLEY, AZ 85253

DRAWN: SM
CHECKED: SS
JOB NO. ---
FILE:
DATE: 05/19/2022

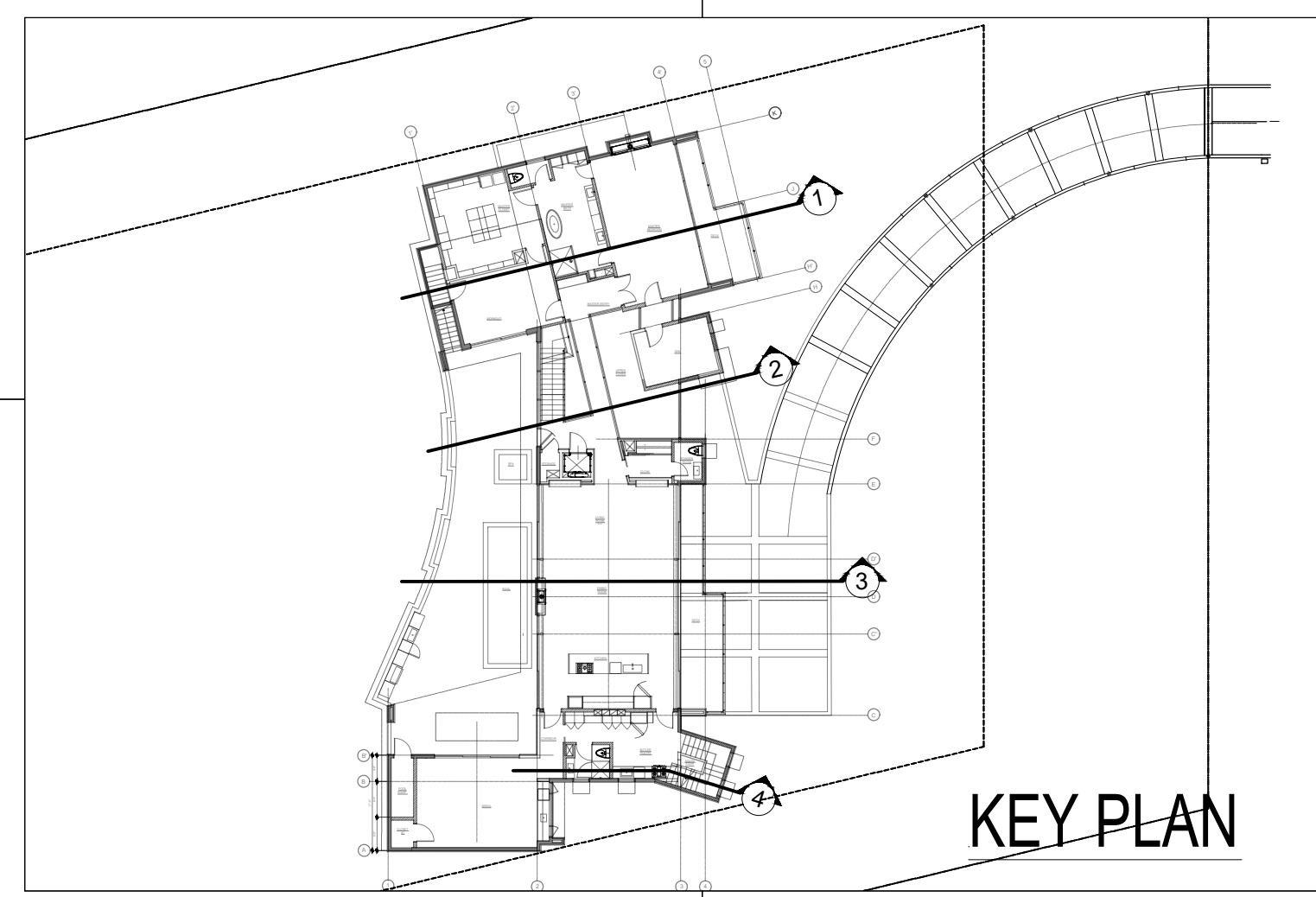
EXTERIOR
ELEVATIONS
A3.1



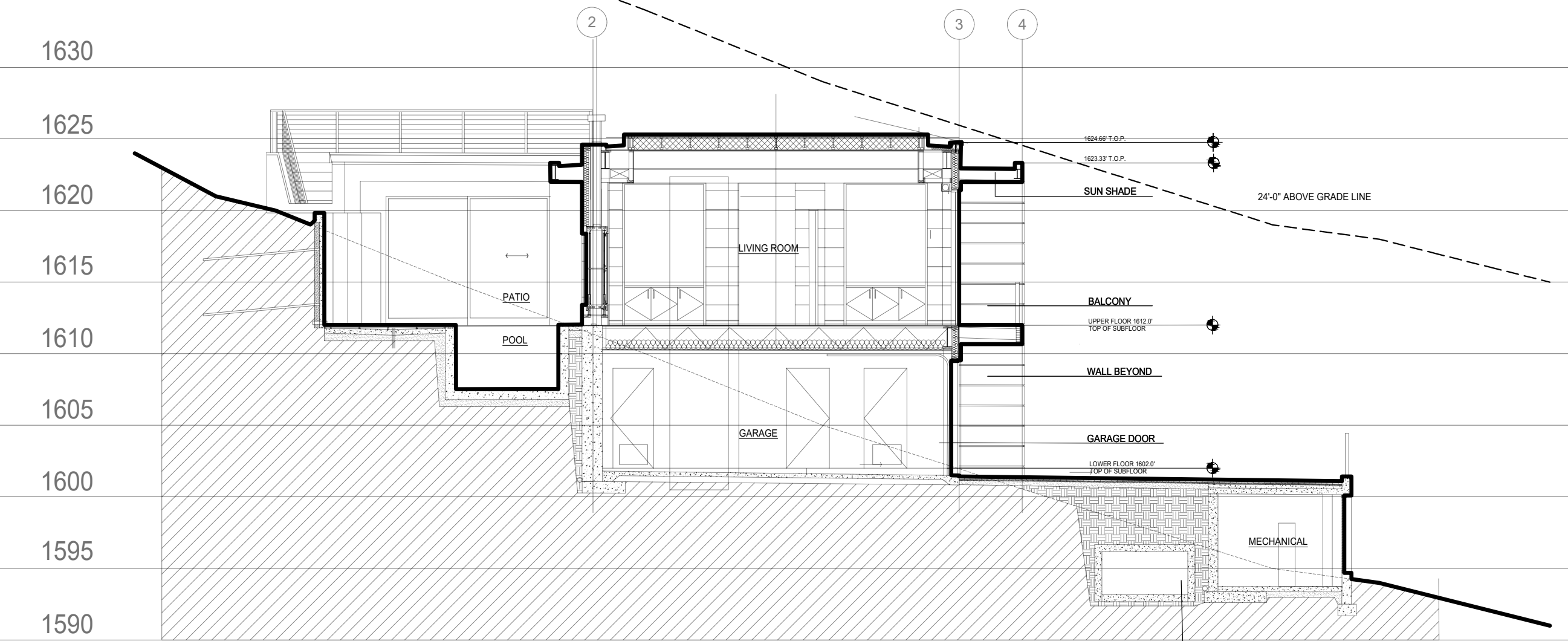
1 BUILDING SECTION
1/8" = 1'-0"



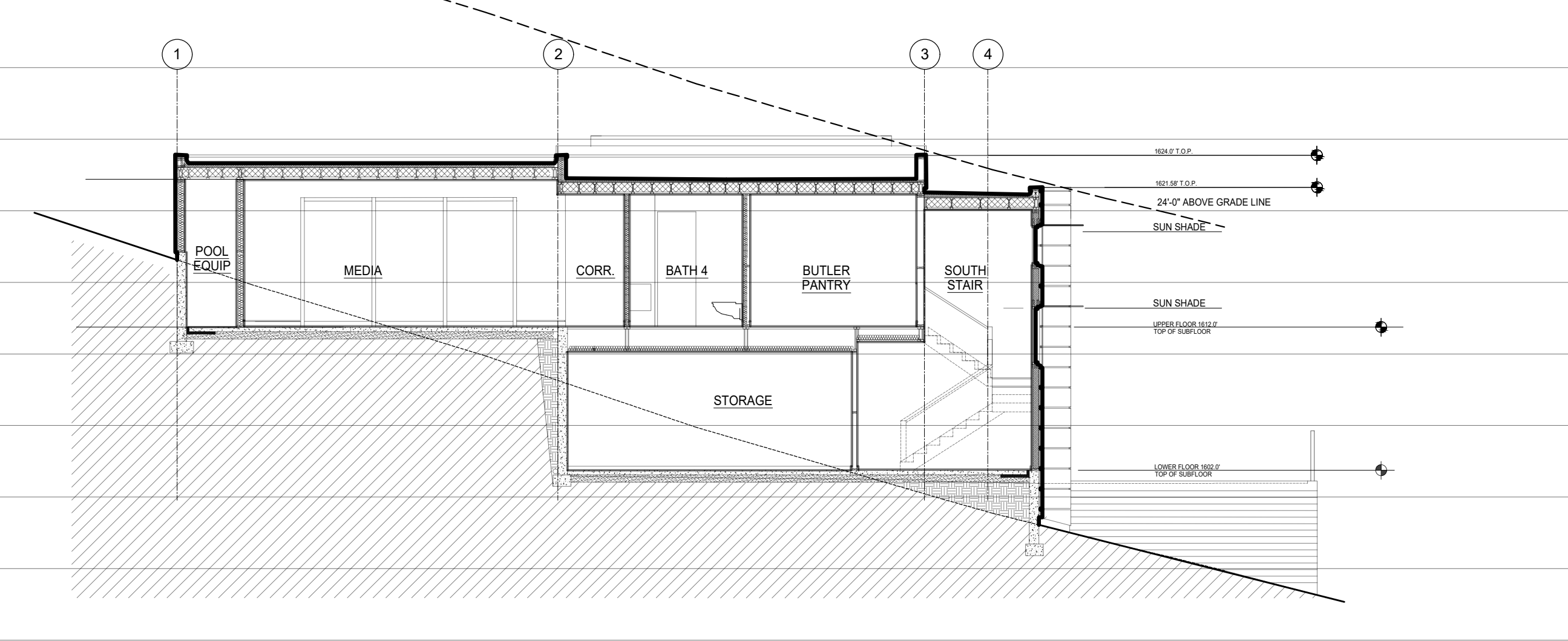
2 BUILDING SECTION
1/8" = 1'-0"



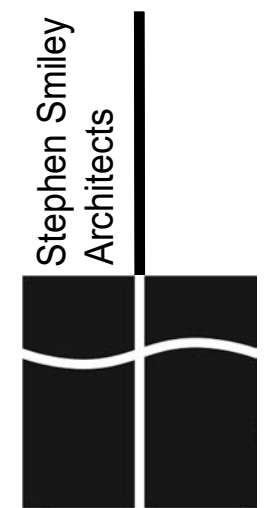
KEY PLAN



3 BUILDING SECTION
1/8" = 1'-0"



4 BUILDING SECTION
1/8" = 1'-0"



ISSUE DATE:

NEW RESIDENCE
LXI DEVELOPMENT
4517 EAST DESERT PARK PLACE
PARADISE VALLEY, AZ 85253

PROJECT:

DRAWN: SM
CHECKED: SS
JOB NO.: ---
FILE:
DATE: 05/19/2022

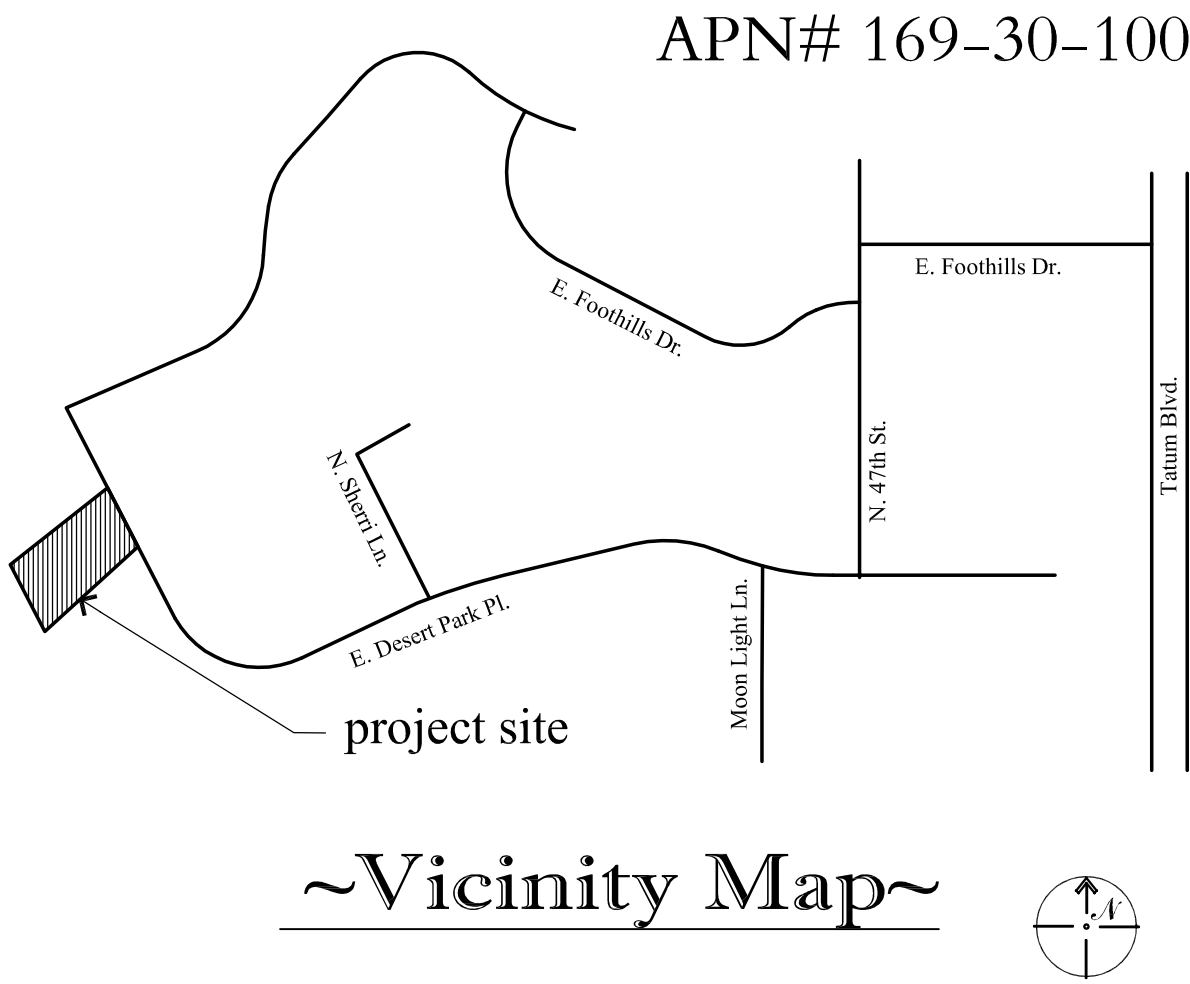
BUILDING
SECTIONS
A3.2

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GENERAL LANDSCAPE NOTES

- These plans illustrate design intent and show proximity of elements. Contractor is responsible for verify site conditions prior to work. Any discrepancies shall be brought to the attention of owner or landscape architect.
- Contractor shall not impede or alter set drainage patterns. Walks and decks shall drain positively away from structures at .5% to 2% max.
- Contractor is responsible for reviewing the content of construction plans and site to produce an accurate bid.
- Quantities provided in legends are for convenience only. Bid shall be based on material shown on plans.
- Contractor shall abide to all current federal, state and local codes and is responsible for acquiring all necessary permits.
- Contractor shall contact bluestake and become familiar with all underground public and private utilities, and protect from possible damage. Contractor is solely responsible for the cost of damaged utilities.
- Contractor is responsible for the safety of owner, employees, and subcontractors. This includes the safety of the site and adjacent properties through the duration of construction.
- The site shall be maintained in a neat and orderly condition throughout the installation. Waste material shall be removed and disposed of daily.
- Tools and equipment used on site are the responsibility of the contractor.
- Coordinate the installation with other trades to eliminate delays or overcharges.
- These notes are to be used for general reference in conjunction with, and as a supplement to the written specifications, approved addenda, and change orders associated with these landscape improvem ent documents.
- The contractor shall familiarize themselves with the locations of existing and future underground services and improvements which may conflict with the work to be done. Prior to the start of work, all underground utilities are to be located and protected. Contractor is responsible for the initial call and future updates to blue stakes at 602-263-1100 or arizona-811 or arizona811.com
- Before work begins on the project, the contractor shall review the project with the owner and/or owner's representative. The contractor shall verify critical dimensions, reference point locations, and construction conditions prior to initiating construction. Notify the owner and landscape architect should conflicts arise, or if plans differ from field conditions. The owner and/or owner's representative is to approve any changes or substitutions prior to the start of any work.
- The contractor shall be responsible under this contract to repair and/or replace, at their own expense, any structures, fences, walls, plant material, or other items destroyed during construction. Likewise, the contractor shall be responsible for repairing and/or replacing any and all damages to adjacent properties or any other areas outside the contract limits. The damaged items/ areas will be restored to their original condition to the satisfaction of the owner and/or owner's representative.

- It is the responsibility of the contractor to coordinate all plant material locations with other trades prior to installation.
- Unless otherwise noted on plans, decomposed granite shall extend under shrubs and be raked uniformly along walks, sidewalks, and curbs.
- Contractor shall provide barricades and traffic control along public streets if required during construction.
- Grading on the project is per the grading plans. However, additional fine grading will be necessary by the landscape contractor.
- Difference between these paved surfaces and the finished grade of adjacent areas shall not exceed 1/2" .
- Refer to engineering plans for drainage flows. The landscape contractor shall be responsible that these are provided for and not impaired with obstructions.
- Verify plant quantities prior to bidding and installation. Quantities are listed for convenience only, the actual number of symbols indicated on the planting plans shall have priority over quantities listed within the plant schedules. The contractor shall furnish all plant material necessary to complete the plantings as shown on the plans.
- All plant material must be maintained in health and vigor, and be allowed to attain natural size and shape in accordance with Arizona nursery association specifications.
- Upon delivery, all plant material must meet Arizona nursery association specifications. All plant material shall be inspected by the owner or owner rep. Prior to acceptance.
- Do not over bury trees. Set tree flare at grade. Plant all material according to enclosed details.
- Trees must be placed a minimum of 7' from any fire hydrants. Shrubs and groundcovers must be placed a minimum of 5'-0" from any fire hydrant.
- Plant material shall be located away from obstacles (3' min.) such as transformers, power poles, and light fixtures as necessary. No improvements shall be done in any area which will cause harm to adjacent improvements.
- All nursery staking and hardware to be removed from trees.
- Planting methods, soil amendment quantities (if any), and preparation methods shall be installed according to the planting specifications and details.
- All planting areas shall have weed free conditions.
- Hole auger use is not permitted for any planting.
- Examine and prune trees for gurling roots prior to planting. Brush away topsoil over tree flare and plant tree flare flush with grade.



LANDSCAPE SHEET INDEX

SHEET	TITLE	PAGE #
L0	COVER & LANDSCAPE NOTES	1
L1	INVENTORY & SALVAGE PLAN	2
L2	PLANTING PLAN	3
L3	LIGHTING PLAN	4
L4	PLANTING DETAILS & LIGHTING SPECS.	5
L5	IRRIGATION PLAN	6
L6	IRRIGATION DETAILS	7

PROJECT CONSULTANTS

DISCIPLINE	CONTACT INFORMATION
OWNER / DEVELOPER:	LXI Development / Abrams Family Revocable Trust 46E. Desert Park Place Paradise Valley AZ 85253 Steve Smiley 503-720-5055
ARCHITECT:	Steve Smiley Architects ph: 503-720-5055 em: smiley@psearchhs.com contact: Steve Smiley
LANDSCAPE ARCHITECT:	Metropolitan Green, LLC 2327 N. Granite Reef Road Scottsdale, AZ 85257 Zachary Kiebke, RLA 480-560-8932 zachary@metropolitan-green.com
CIVIL ENGINEER:	G-MAR 18223 W. Orchid Lane Waddell, AZ 85355 c: geoff@g-mareng.com ph: 602-524-7877



Metropolitan Green
landscape architecture for greener living!
LLC
zachary@metropolitan-green.com
480.560.8932

Tatum Canyon - Lot 41
4517 East Desert Park Place
Paradise Valley, Arizona 85253
Landscape Construction Drawings

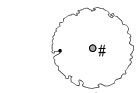







Date: October 2021
Rev. 1: April 2022
Rev. 2: -
Rev. 3: -

**Cover Sheet &
Landscape Notes**
L0
Sheet
1 of 7

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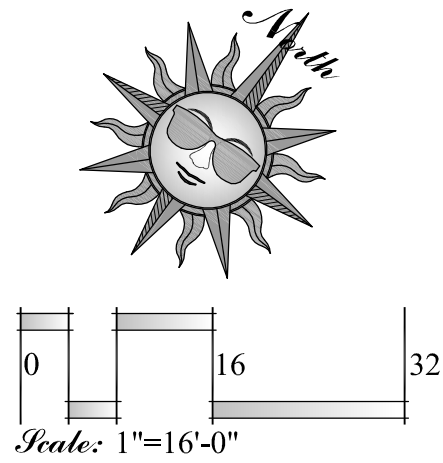
Plant Inventory & Salvage Legend

sym.	item	size	total qty.
	Existing Tree to Remain in Place		17
	Existing Saguaro to Remain in Place		3
	Existing Ocotillo to Remain in Place		8
	Tree Removal with stump grind 12" below grade	size varies	2
	Ocotillo to be Salvaged boxed and relocated, see planting plan	size varies	2
	Barrel Cactus to be Salvaged boxed and relocated, see planting plan	size varies	1

General Inventory & Salvage Notes

- Native plant inventory conducted on september 27, 2019.
- All native plant material on this site to be clearly flagged with reflective tape or weatherproof tags visible from all directions.
 - Color code as follows:
 - Red - salvage and relocate
 - White - preserve and protect in place
 - Blue - destroy, not salvageable and cannot remain in place
- Weatherproof tags or reflective tape shall be numbered to correspond with native plant inventory and site plan.
- All salvageable plants will be stored at an onsite holding yard and will be re-planted onsite at a later date.
- The tag numbers shown on this plan correspond to the attached native plant inventory list which accesses the salvageability of each plant.
- All miscellaneous cacti under 3' in height will be salvaged and stored in the nursery if they are within the building envelope and affected by construction.
- Upon removal of salvageable native plants the salvage contractor shall submit a list identifying the tag number of the plants surviving salvage operations to the city's landscape inspector prior to issuance of the certificate of occupancy.

performed by:			Great SW Saguaro & Tree LLC			
			31632 North 43rd Street Cave Creek AZ 85331			
			480.483.8355			
NATIVE PLAN INVENTORY						
	Size					
Tag #	Ft	In	Species	Condition	Comment	Salvage
1		16	Palo Verde	bad	LR	DNS
2		12	Palo Verde	bad	LR	DNS
3	8		Ocotillo	good		Salvage
4		4	Palo Verde	bad	LR	DNS
5		7	Palo Verde	bad	LR	DNS
6		4	Palo Verde	bad	LR	DNS
7		12	Palo Verde	bad	MT	DNS
8		9	Palo Verde	bad	MT	DNS
9	10		Saguaro	good		Salvage
10	10		Ocotillo	good		Salvage
11		6	Palo Verde	bad	LR	DNS
12		8	Palo Verde	bad	LR	DNS
13		6	Palo Verde	bad	LR	DNS
14	3		Barrel	good		Salvage
15		6	Palo Verde	bad	MT	DNS
16		9	Palo Verde	bad	LR	DNS
17	12		Ocotillo	good		Salvage
18	3		Barrel	good		Salvage
19	3		Barrel	good		Salvage
20	3/2		Twin	good		Salvage
21	10		Ocotillo	good		Salvage
22	5		Ocotillo	good		Salvage
23	6		Ocotillo	good		Salvage
24	8		Ocotillo	good		Salvage
25		6	Palo Verde	bad	LR	DNS
26	4		Saguaro	good		Salvage
27	3		Barrel	good		Salvage
28	4		Barrel	good		Salvage
29		4	Palo Verde	bad	LR	DNS
30		7	Palo Verde	bad	LR	DNS
31	6		Ocotillo	good		Salvage
32	3		Barrel	good		Salvage
33		8	Palo Verde	bad	LR	DNS
34	4		Barrel	good		Salvage
35	4		Saguaro	good		Salvage
36	4		Saguaro	good		Salvage
37		8	Palo Verde	bad	MT	DNS
					LR Lateral Root	
					MT Mistle Toe	
					DNS Do Not Salvage	



Tatum Canyon - Lot 41
4517 East Desert Park Place
Paradise Valley, Arizona 85253
Landscape Construction Drawings

Date: October 2021
Rev. 1: April 2022
Rev. 2: -
Rev. 3: -

Inventory & Salvage Plan
L1
Sheet
2 of 7

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SALVAGE LEGEND

sym.	common name	botanical name	size	total qty.
# [B]	Barrel Cactus	Ferocactus species	varies	1
# [X]	Ocotillo	Fouquieria splendens	varies	2

PLANT LEGEND

sym.	common name	botanical name	size	total qty.
------	-------------	----------------	------	------------

Trees				
[Ot]	Ironwood Tree	Olneya tesote	36" box	6
[Pm]	Foothills Palo Verde	Parkinsonia microphyllum	36" box	8
Shrubs				
[Ad]	Bursage	Ambrosia deltoidea	1 gal	49
[Ap]	Parry's Agave	Agave parrii	5 gal	11
[Dm]	Desert Marigold	Baileya multiradiata	1 gal	18
[Cg]	Saguaro	Carnegiea gigantea	See plan	3
[Pf]	Pink Fairy Duster	Calliandra eriophylla	5 gal	23
[Cd]	Candelilla	Euphorbia antisiphilitica	5 gal	12
[Ch]	Chuparosa	Justica californica	5 gal	18
[Cf]	Climbing Fig Vine	Ficus pumila	5 gal	8
[Pc]	Prickly Pear Cactus	Opuntia engelmannii	5 gal	5
[Mf]	Mexican Fence Post	Pachycereus marginatus	24" box	7
[Jo]	Jojoba	Simmondsia chinensis	15 gal	12
[Ge]	Goldeneye	Viguiera dentata	5 gal	14
[By]	Banana Yucca	Yucca baccata	15 gal	8

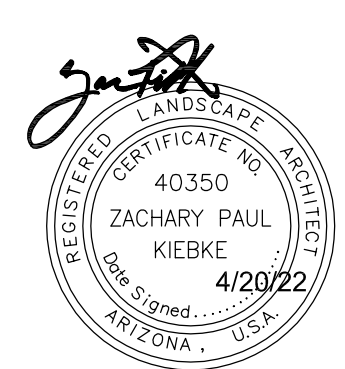
MATERIAL LEGEND

sym.	item	size	total qty.
[Pb]	Mexican Beach Pebble	1"-2" size	16 sqft
[Bk]	Black-unpolished, set 2"-3" thick		
[Sb]	Site Boulders	varies	33
[Hs]	Harvested on-site prior to construction		
[Dc]	Desert Cobble Salvaged Topdressing	applied: min. 2" thick. 3,802 sqft	
[Nt]	Natural topdressing harvested on-site prior to construction (3" minus)		

Native Desert Seed Mix
Applied to all Desert Cobble top dressed areas.
Provider: The Native Seed Company (Tucson), Email: nativeseedco@gmail.com
Product: Sonoran Desert Re-Vegetation
Contents: Creosote 19%, Triangle Bursage 19%, Encella Farinosa 19%, Desert Marigold 11%, Cassia Covesii 13%, Desert Globe Mallow 18%, (custom order without Needle Grama)
Coverage: 250 sqft / 4 oz. product

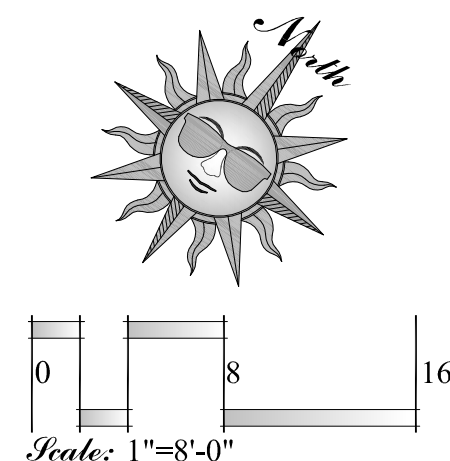
Tatum Canyon - Lot 41
4517 East Desert Park Place
Paradise Valley, Arizona 85253
Landscape Construction Drawings

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Planting Plan
L2
Sheet 3 of 7



~Planting Plan~

2



2

2



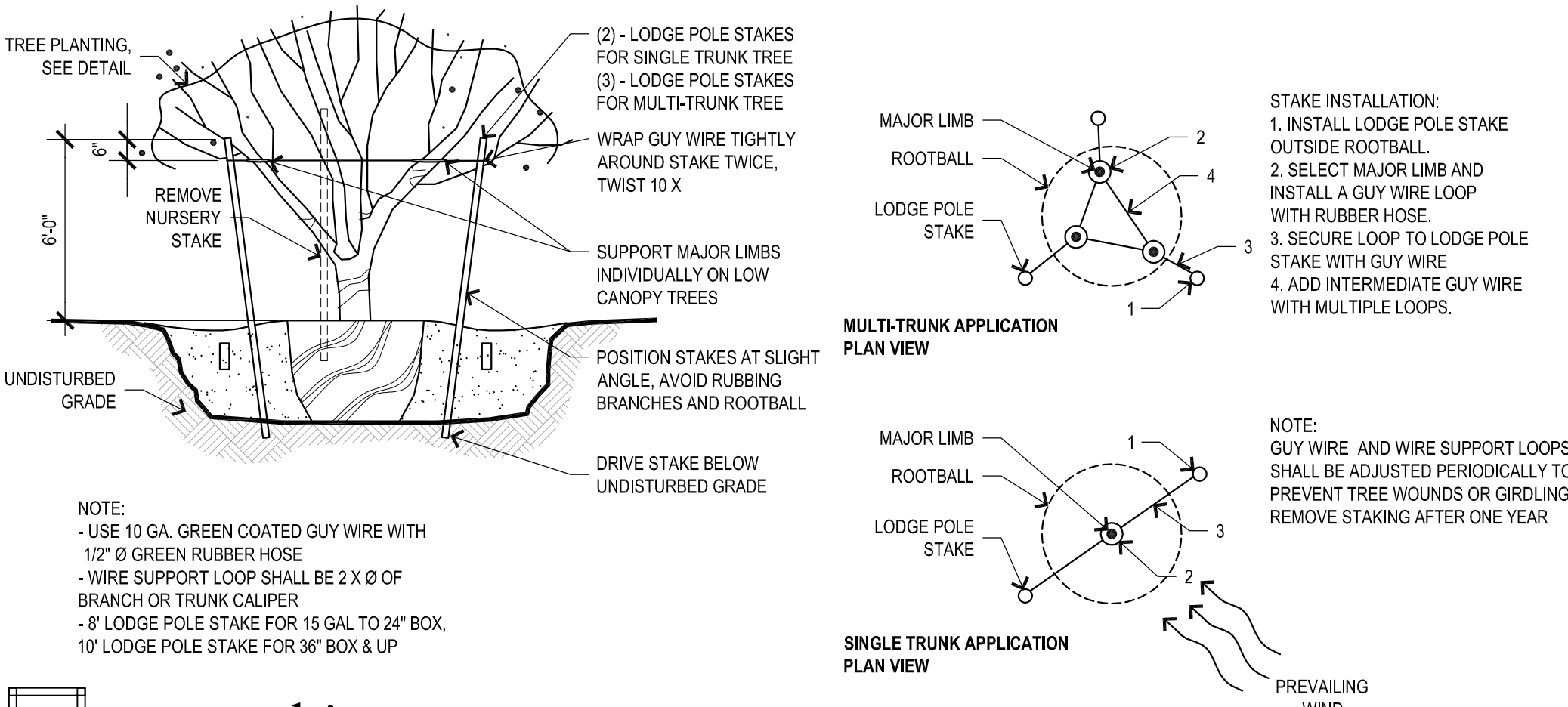
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2

2

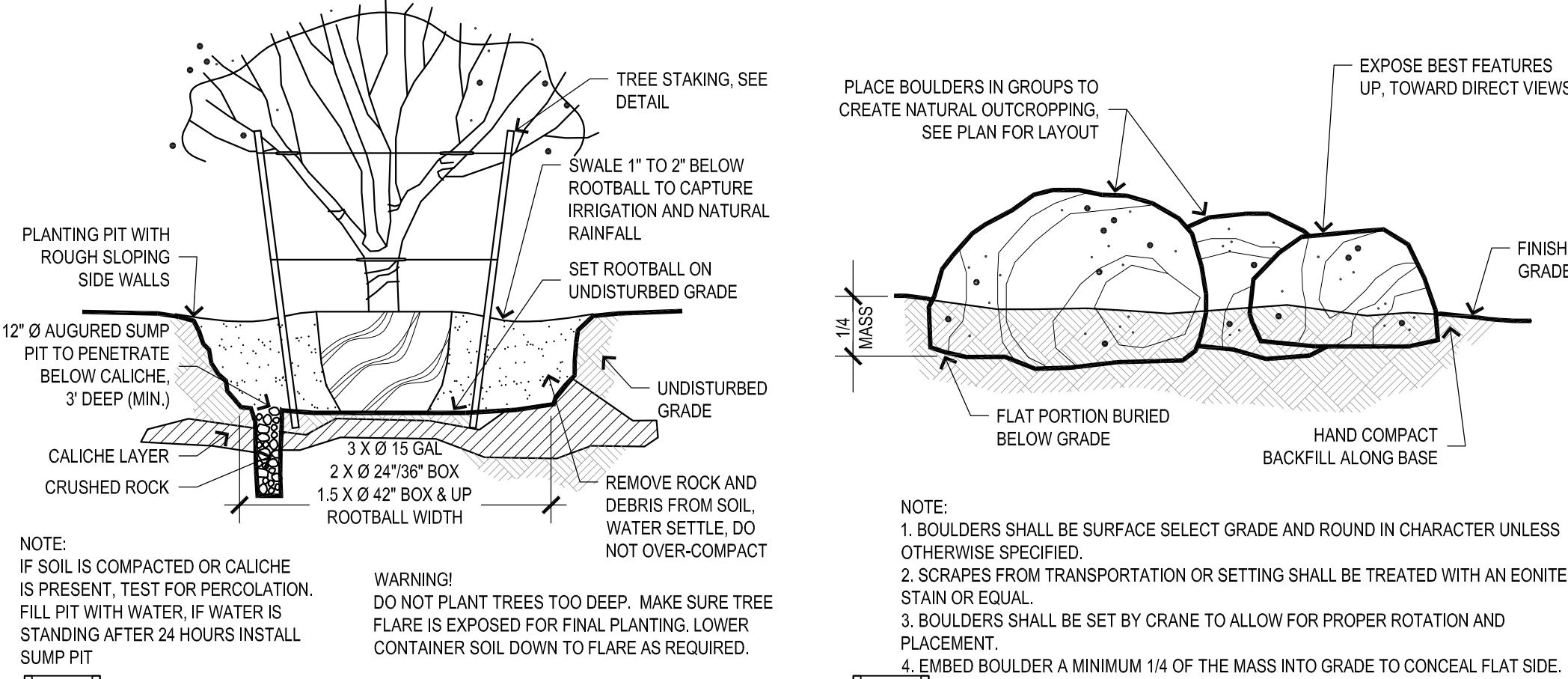


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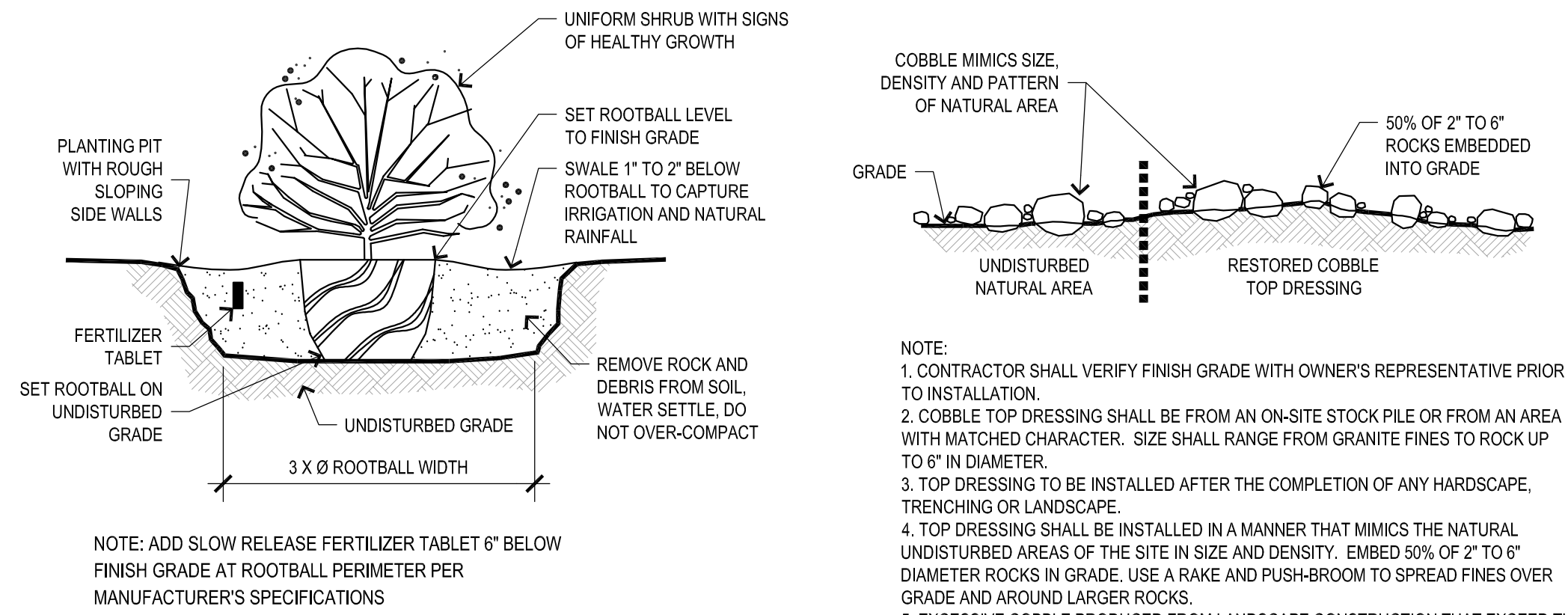
a tree staking

scale: nts



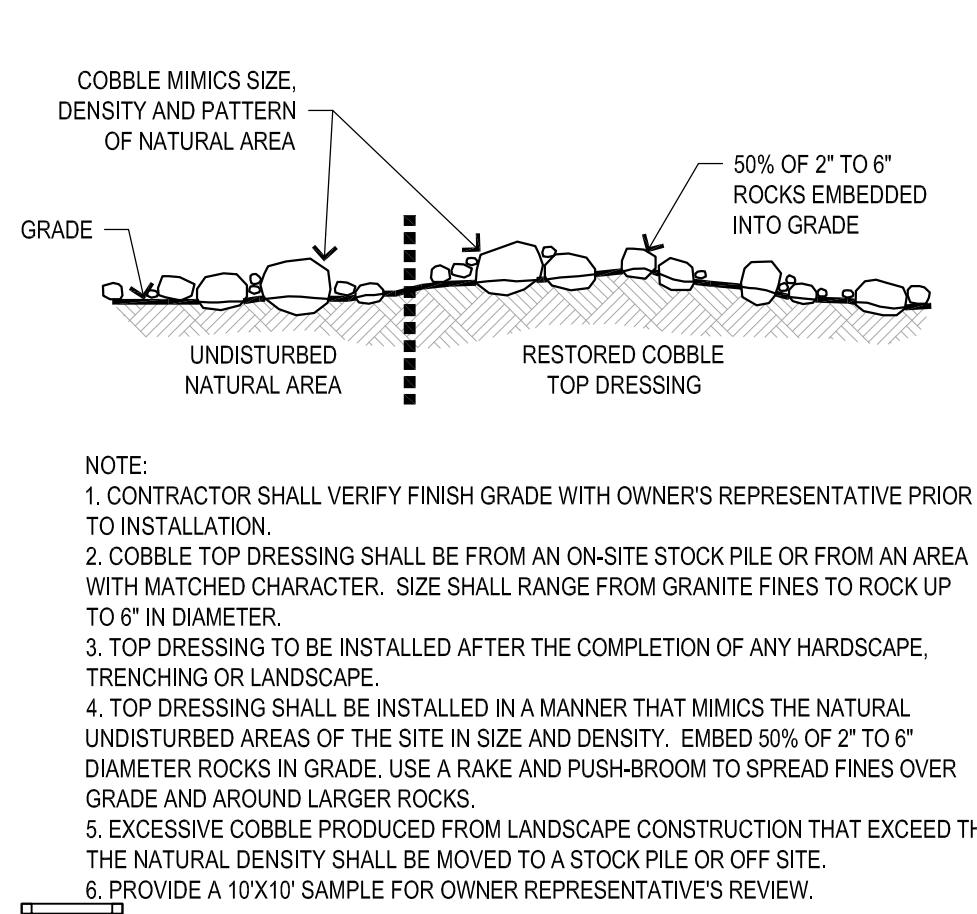
b tree planting

scale: nts



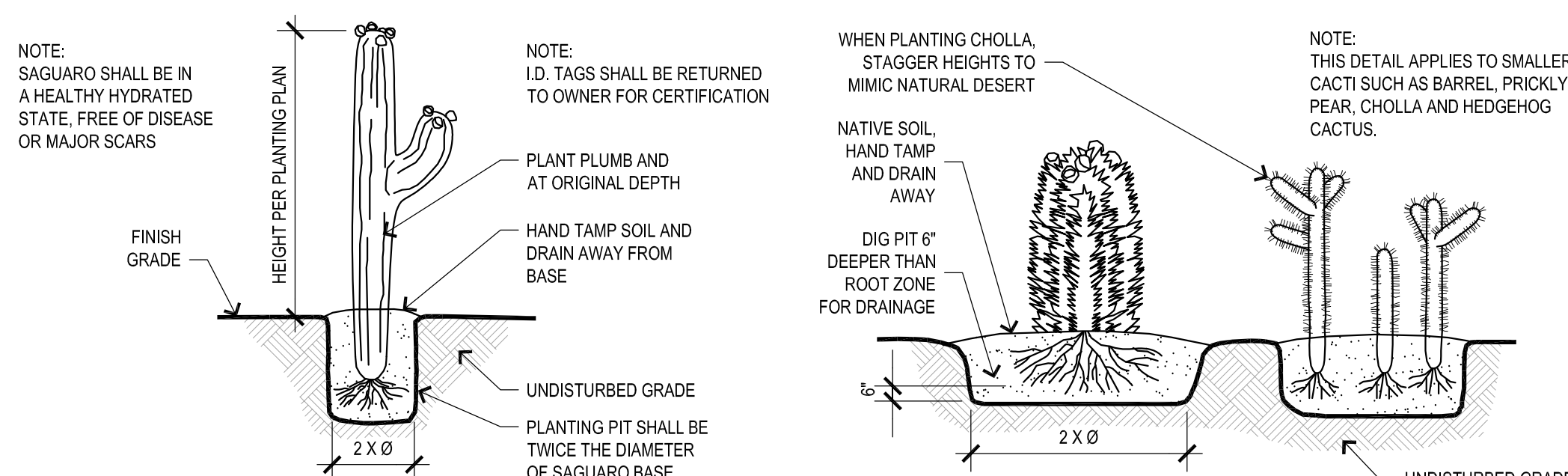
c boulder detail

scale: nts



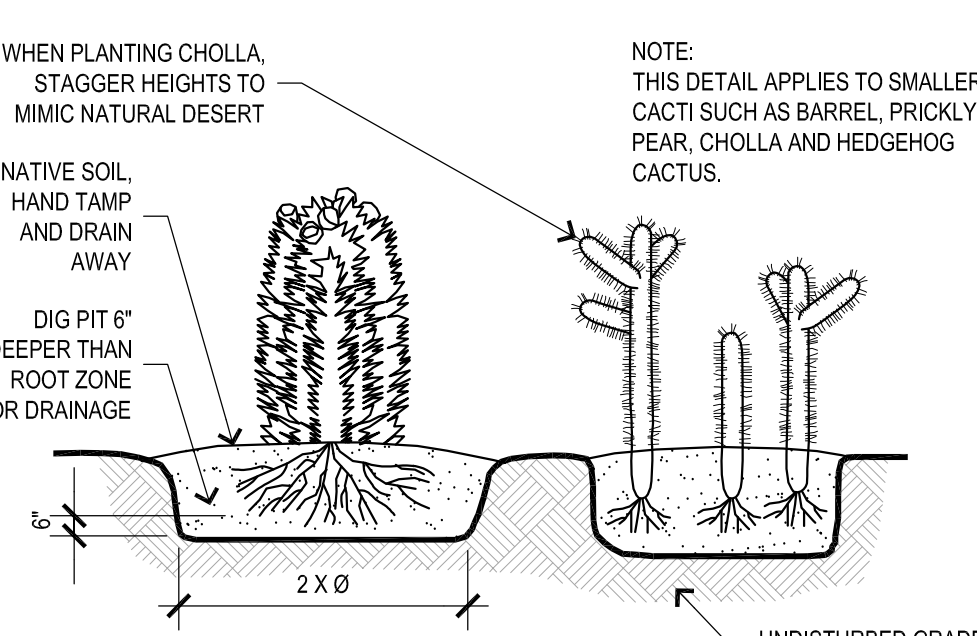
d shrub planting

scale: nts



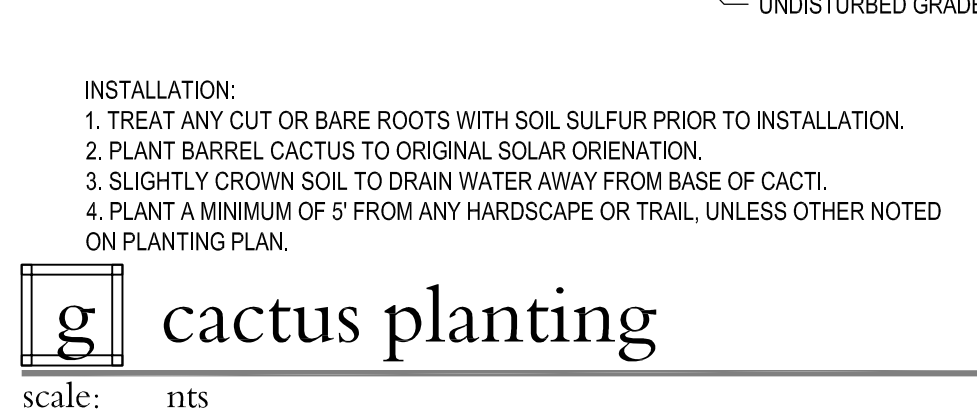
e cobble top dressing

scale: nts



f saguaro planting

scale: nts



g cactus planting

scale: nts

DECK & PATIO - CIRCLE

3011



PRODUCT DESCRIPTION

Deck and patio light with superb forward-throw light distribution

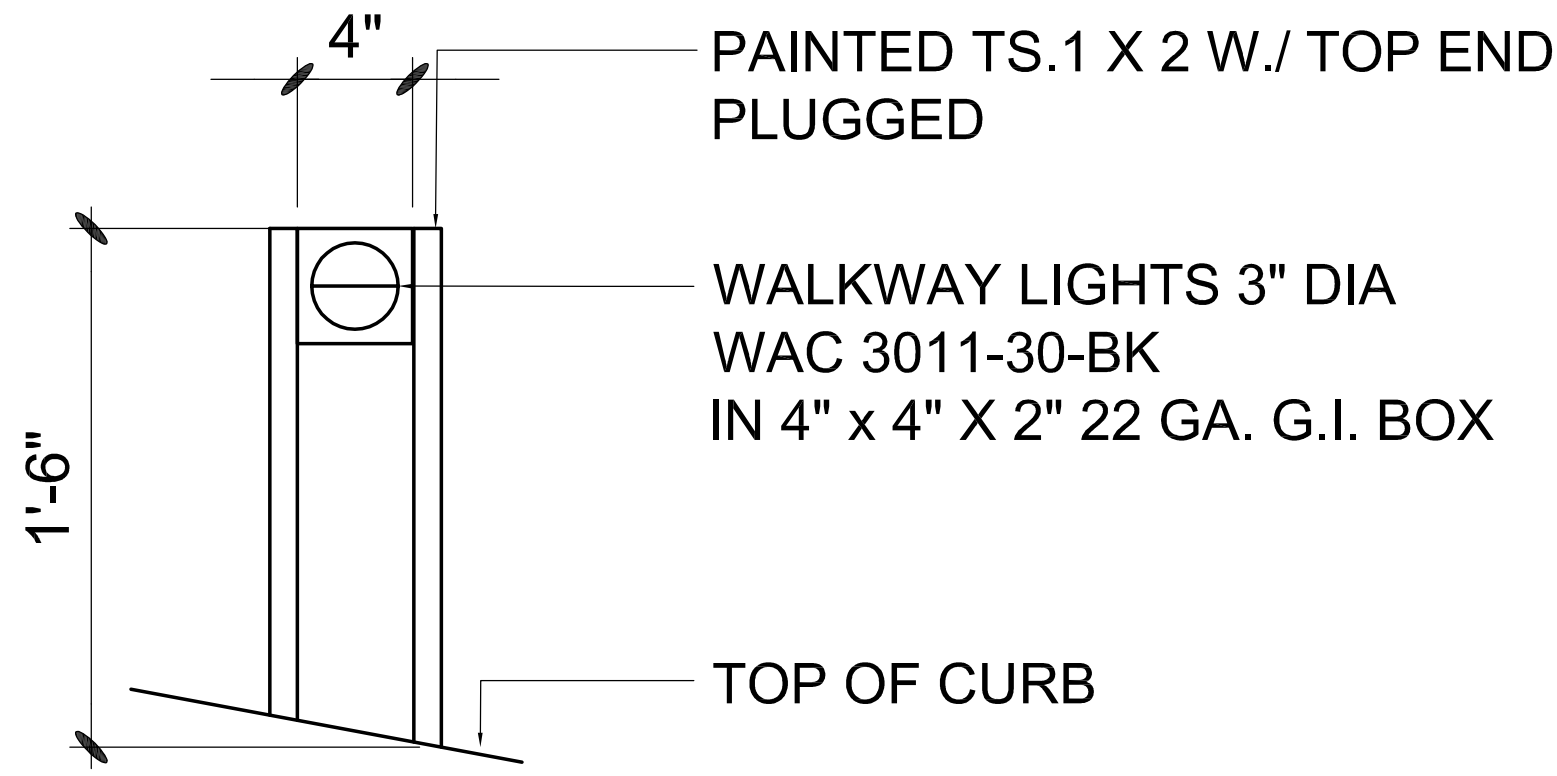
FEATURES

- IP66 rated, Protected against powerful water jets
- 6' lead wire included
- Translucent lens provides for uniform diffused light output
- Solid diecast brass or corrosion resistant aluminum alloy
- ADA compliant
- Maintains constant lumen output against voltage drop
- UL 1838 Listed

ORDERING NUMBER

		Color Temp		Finish
		27	30	
3011	Circle	2700K	3000K	BBR Bronze on Brass
				BK Black on Aluminum
				BZ Bronze on Aluminum
				WT White on Aluminum

Driveway Light



Driveway Light Detail (per Arch plans)

DECK & PATIO - CIRCLE

3011

WAC

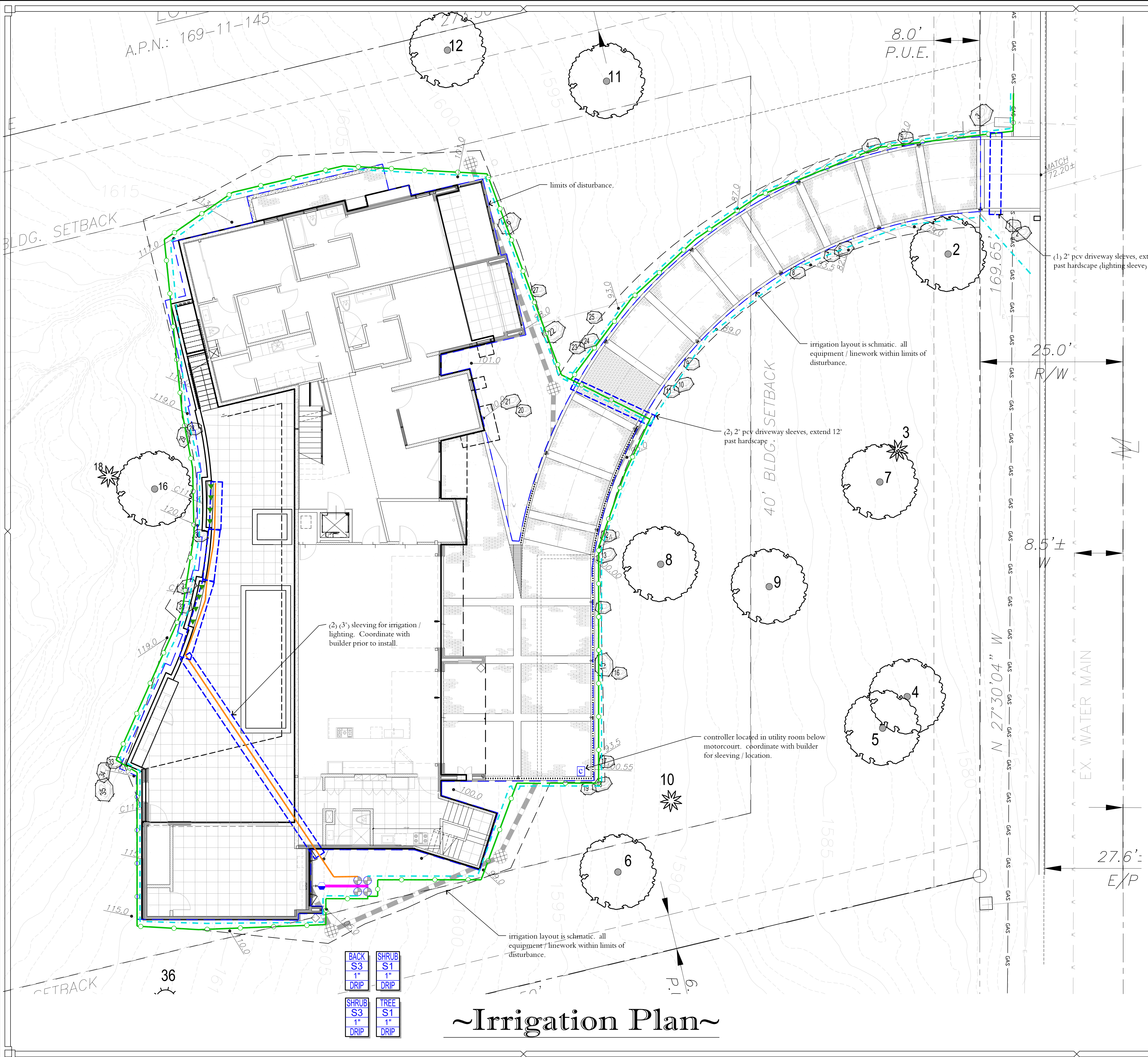
LANDSCAPE LIGHTING

Magnetic Transformers				
Stainless Steel, 12-15V output, IP65 rated, UL 1838 listed See transformer spec sheet for details and its accessories				
9075-TRN-SS 75W Max	9150-TRN-SS 150W Max	9300-TRN-SS 300W Max	9600-TRN-SS 600W Max	

TESTED MAGNETIC LOW VOLTAGE (MLV) DIMMERS

Luminaire	Manufacturer	Family	Model	Dimmer		Note
				Power Rating	Range*	
3031	Lutron	Divi	DVLV-600	600W	33% - 100%	Output maxes at 50% dimming level
		Skylark	SLV-600P	600W	28% - 100%	Output maxes at 50% dimming level
		Skylark	S-10P	1000W		Not recommended

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IRRIGATION LEGEND

sym.	description	item	qty.
	Irrigation Controller Rainbird - WIFI : ST8-2.0	8 station	1
	Backflow Preventor Watts: Anti-siphon, Bronze	800 series	1
	Drip Valve with wye filter, pressure reducer Rainbird 100-HV Valve	1"	X
	Mainline PVC Schedule 40	1.0"	-
	Tree Drip Line PVC Schedule 40	3/4"	-
	Shrub Drip Line PVC Schedule 40	3/4"	-
	Courtyard Drip Line PVC Schedule 40	3/4"	-
	Multi-port Emitters (PVC) Bowsmith - ML220	1 (cactus), 2 (shrub), 3 (palm), 5 (tree)	X
	Flush End Cap Perma-loc flushing valve, set in 10" tan valve box	5/8" poly/ 1/2"female	X

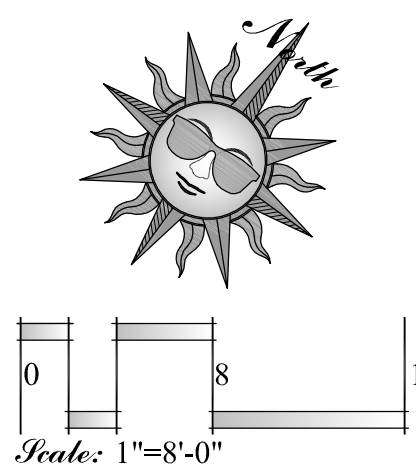
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Tatum Canyon - Lot 41
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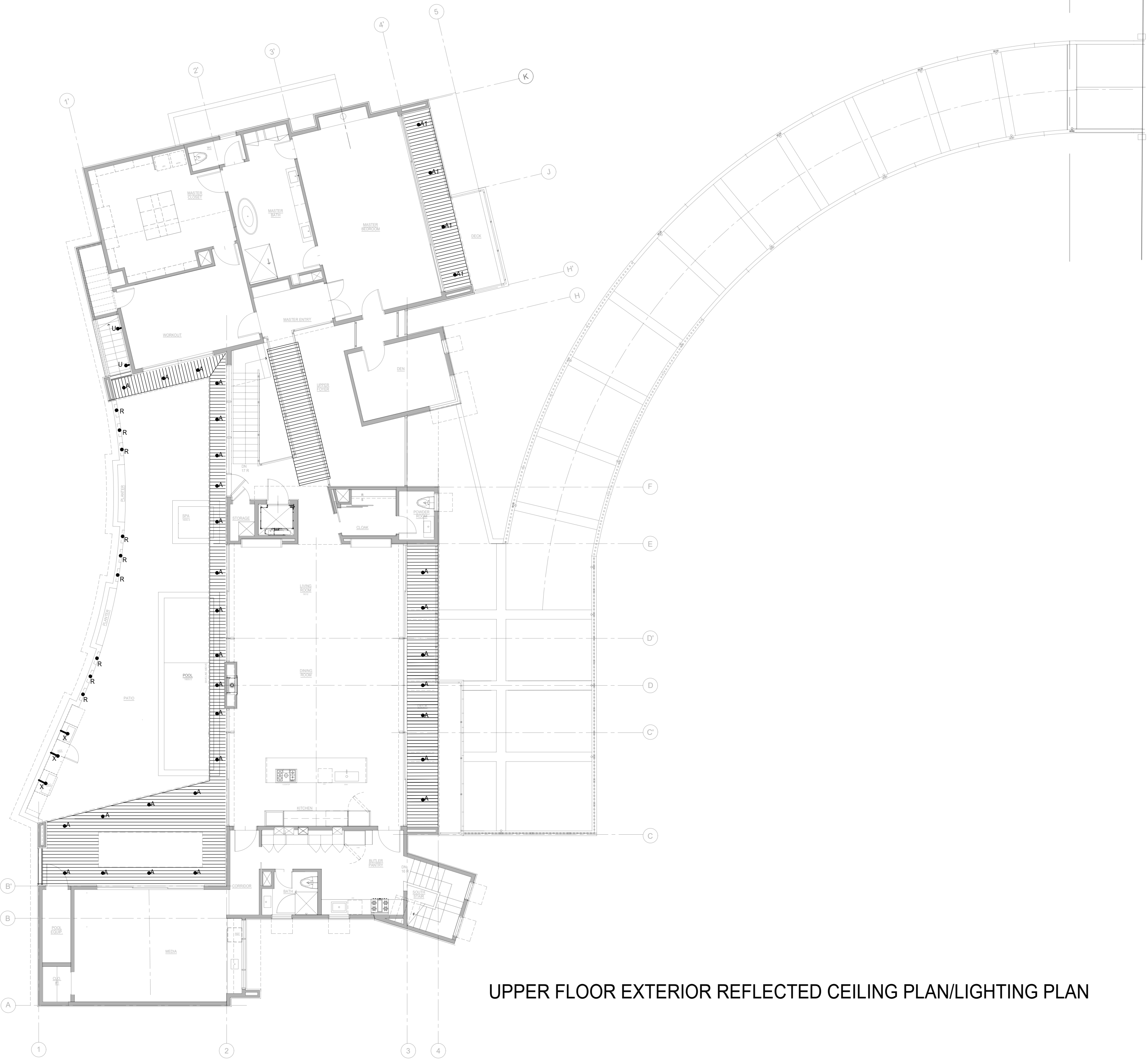


Date: October 2021
Rev. 1: April 2022
Rev. 2: -
Rev. 3: -

Irrigation Plan
L5
Sheet 6 of 7



~Irrigation Plan~









UPPER FLOOR EXTERIOR REFLECTED CEILING PLAN/LIGHTING PLAN



LOWER FLOOR EXTERIOR REFLECTED CEILING PLAN/LIGHTING PLAN

Exterior Light Fixture List

Desig.	Description	Color	Model #	Watts	Quantity	Lumens	Color Temp
A	 2" Integral LED Recessed Downlight	Black with Haze Insert	Nora NM2-2RDC 40 30 BB	6	40	400	3000
H3	 Entry Light	Painted to match Exterior Metal	Sonnoman Ovus	9	2	480	3000
J	 Custom Pathway Lights	Black	WAC 3011 30 BK	3	15	60	3000
R	 Exterior Cast In Niche Light (Facing Down)	Stainless	Pure Edge MPORT-12VAC-ST-SS	1	6	47	3000
U	 Exterior Wall Light West Stair	Black	Modern Forms Square WS-W38608-BK	10.7	3	380	3000
X	 Stem Light BBQ Light w/MR16 led lamp	Black	Focal Industries SLS-08-B-1-NL-B-2-0-0-18-A-A-2	10	3	715	3000

1

EXTERIOR LIGHTING REFLECTED CEILING PLAN

NTS



Stephen Smiley
Architects

ISSUE DATE:

NEW RESIDENCE
LXI DEVELOPMENT
4517 EAST DESERT PARK PLACE
PARADISE VALLEY, AZ 85253

PROJECT:

DRAWN: SM

CHECKED: SS

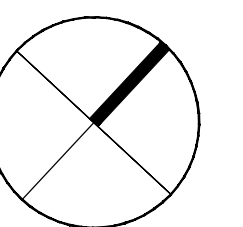
JOB NO. ---

FILE:

DATE: 05/19/2022

EXTERIOR
LIGHTING
PLAN

A2.1



NM2-2RDC

2" M2 Round LED Recessed Downlight

Source: 6W, 8W or 10W LED

400lm, 600lm or 850lm

TYPE 'A'

Type

Project

Catalog No.

Notes

PRODUCT DESCRIPTION

M2 downlight series features quality and convenience with easy installation for insulated or non-insulated applications. Luminaires can be configured into multiple options with trim accessories and produces over 850 lumens.

FEATURES

- No housing required - IC Air-Tight rated
- Easy installation for remodel or new construction applications
- Variety of trim accessories to configure desired appearance
- Quick disconnect allows for extended lengths
- 400lm, 600lm or 850lm LED packages
- 2700K, 3000K or 4000K @ 90+ CRI
- Triac or ELV dimming
- 5-year limited warranty
- ENERGY STAR certified
- cETLus Listed for Damp Locations

SPECIFICATION

Construction: Die-cast aluminum trims available in matte black or matte powder white finish. Open downlight includes a reflector with the same finish as trim; optional field changeable accessories are available; square trim, pinhole trim, wall wash trim, reflector inserts or baffle inserts.

Air Flow Restriction: Luminaire has factory installed gasket to restrict airflow from room into ceiling plenum to <2CFM (cubic feet per minute) in accordance with ASTM-283 Air-Tight requirements.

Clearance: IC rated luminaires are rated for direct contact with insulation (not spray foam insulation), no minimum clearance is required.

Junction Box: Prewired junction box includes quick connect to LED fixtures for ease of installation. Junction box includes two (400lm/600lm) or four (850lm) 1/2" trade size knockouts and snap on cover with 7" quick connect wire. Luminaire includes 5" (400lm/600lm) or 4" (850lm) quick connect wire.

Mounting: No housing is required, two tensions steel spring clips secure luminaire to ceiling. Accommodates ceiling thickness up to 3/4". New construction frame-in kit is available, see accessories.

ELECTRICAL	40	60	85
Input Voltage	120V		
Input Power	6W	8W	10W
Color Temperature	2700K or 3000K	2700K, 3000K, 4000K	2700K or 3000K
CRI	90+ CRI		
Dimming	Triac / ELV		
Operating Temp.	40°C max.		25°C max.
Beam Spread	36° Flood		
Lifetime	60,000 hours @ L70		

Trims: M2 series is available in three lumen outputs with LED driver. Round trims can be converted to baffles, pinholes or wall wash in the field with optional trims and inserts.

OPTIONAL TRIM ACCESSORIES

- NM2-2REFL:** Reflector Insert for NM2-2RDC, Black or Haze
- NM2-2BAF:** Baffle Insert for NM2-2RDC, Black or White
- NM2-2RPH:** Round Pinhole Trim for NM2-2RDC, Black or White
- NM2-2RW:** Round Wall Wash Trim for NM2-2RDC, Black or White
- NM2-2SDT:** Square Trim for NM2-2RDC, Black or White

OPTIONAL MOUNTING ACCESSORIES

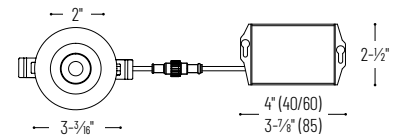
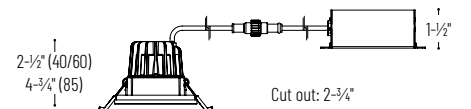
- NF-R246:** Universal New Construction Frame-In
- NM2-MLS1:** One Head Multiple Lighting System Plate
- NM2-MLS2:** Two Head Multiple Lighting System Plate
- NM2-MLS3:** Three Head Multiple Lighting System Plate
- NM2-2R-F:** New Construction Frame-In Plate
- NM2-EW-4:** 4' Quick Connect Linkable Extension Cable
- NM2-EW-10:** 10' Quick Connect Linkable Extension Cable

LABELS AND LISTINGS

- cETLus Listed for Damp Locations
- ENERGY STAR certified
- 5-Year Limited Warranty
- FCC compliant
- Certified to the high efficacy requirements of California Title 24 JA8-2019



PRODUCT IMAGES AND DIMENSIONS



2" M2 Round LED Recessed Downlight

Trim Type	Lumens / Wattage	Color Temperature / CRI	Finish
NM2-2RDC = 2" Round Downlight	40 = 400lm / 6W	27 = 2700K / 90 CRI	BB = Matte Black
	60 = 600lm / 8W	30 = 3000K / 90 CRI	MPW = Matte Powder White
	85 = 850lm / 10W		
	60 = 600lm / 8W	40 = 4000K / 90 CRI	MPW = Matte Powder White

M2 Trim Accessories

Accessory Type	Finish
NM2-2REFL = Reflector for NM2-2RDC	B = Matte Black HZ = Haze
NM2-2BAF = Baffle for NM2-2RDC	B = Matte Black
NM2-2RPH = Round Pinhole Trim for NM2-2RDC	MPW = Matte Powder White
NM2-2RW = Round Wall Wash Trim for NM2-2RDC	
NM2-2SDT = Square Trim for NM2-2RDC	

Optional Mounting Accessories

Accessory Type	Finish
NM2-MLS1 = One Head MLS Plate	BB = Matte Black
NM2-MLS2 = Two Head MLS Plate	MPW = Matte Powder White
NM2-MLS3 = Three Head MLS Plate	
NF-R246 = Universal New Construction Frame-In	
NM2-2R-F = New Construction Frame-In Plate	
NM2-EW-4 = 4' Quick Connect Extension Cable	
NM2-EW-10 = 10' Quick Connect Extension Cable	

Example: NM2-2RDC6030MPW = 2" M2 Round LED Recessed Downlight, 600lm / 8W, 3000K / 90 CRI, Matte Powder White

PHOTOMETRICS

2" M2 Round LED Recessed Downlight

Type

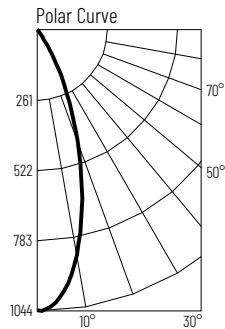
Project

Catalog No.

Notes

Test Information

Test Number: NTR11363
Part Number: NM2-2RDC4027MPW
Beam Spread: 36° Flood
Lumens: 445lm
Wattage: 6.2W
Efficacy: 72lpw
CCT / CRI: 2700K / 90 CRI
Spacing Criteria (0°-180): 0.6
Spacing Criteria (90°-270): 0.6



Illuminance at a Distance

Distance from Luminaire	FC at Nadir	Beam Diameter
2'	261fc	1'-4"
4'	65.3fc	2'-7"
6'	29fc	3'-11"
8'	16.3fc	5'-2"
10'	10.4fc	6'-6"

Zonal Lumen Summary

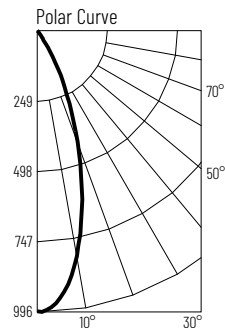
Zone	Lumens	% Luminaire
0-30	387	86.8
0-40	418	93.7
0-60	436	97.9
0-90	443	99.6
90-180	2	0.4
0-180	445	100

Candela Table

Vertical Angles	Candela
0	1044
5	993
15	645
25	264
35	42
45	14

Test Information

Test Number: NTR11350
Part Number: NM2-2RDC4030MPW
Beam Spread: 37° Flood
Lumens: 464lm
Wattage: 6.23W
Efficacy: 75lpw
CCT / CRI: 3000K / 90 CRI
Spacing Criteria (0°-180): 0.62
Spacing Criteria (90°-270): 0.62



Illuminance at a Distance

Distance from Luminaire	FC at Nadir	Beam Diameter
2'	248fc	1'-4"
4'	61.9fc	2'-8"
6'	27.5fc	4'
8'	15.5fc	5'-5"
10'	9.9fc	6'-8"

Zonal Lumen Summary

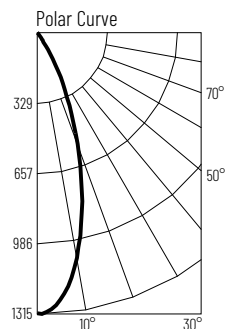
Zone	Lumens	% Luminaire
0-30	393	84.7
0-40	434	93.5
0-60	455	98
0-90	464	99.9
90-180	1	0.1
0-180	464	100

Candela Table

Vertical Angles	Candela
0	990
5	950
15	639
25	272
35	51
45	15

Test Information

Test Number: NTR11351
Part Number: NM2-2RDC6027MPW
Beam Spread: 37° Flood
Lumens: 594lm
Wattage: 7.8W
Efficacy: 76lpw
CCT / CRI: 2700K / 90 CRI
Spacing Criteria (0°-180): 0.62
Spacing Criteria (90°-270): 0.6



Illuminance at a Distance

Distance from Luminaire	FC at Nadir	Beam Diameter
2'	327fc	1'-4"
4'	81.9fc	2'-8"
6'	36.4fc	4'
8'	20.5fc	5'-5"
10'	13.1fc	6'-8"

Zonal Lumen Summary

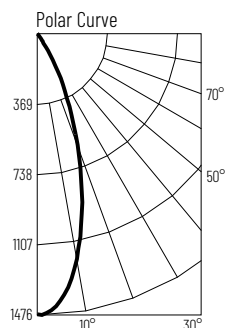
Zone	Lumens	% Luminaire
0-30	505	85
0-40	557	93.7
0-60	582	97.9
0-90	593	99.8
90-180	1	0.2
0-180	594	100

Candela Table

Vertical Angles	Candela
0	1310
5	1251
15	847
25	359
35	85
45	19

Test Information

Test Number: NTR11351
Part Number: NM2-2RDC6030MPW
Beam Spread: 36° Flood
Lumens: 641lm
Wattage: 8.1W
Efficacy: 79lpw
CCT / CRI: 3000K / 90 CRI
Spacing Criteria (0°-180): 0.6
Spacing Criteria (90°-270): 0.6



Illuminance at a Distance

Distance from Luminaire	FC at Nadir	Beam Diameter
2'	368fc	1'-4"
4'	92.1fc	2'-7"
6'	40.9fc	3'-11"
8'	23fc	5'-2"
10'	14.7fc	6'-6"

Zonal Lumen Summary

Zone	Lumens	% Luminaire
0-30	547	85.4
0-40	597	93.2
0-60	626	97.8
0-90	639	99.8
90-180	1	0.2
0-180	641	100

Candela Table

Vertical Angles	Candela
0	1473
5	1403
15	909
25	372
35	67
45	21

Project:

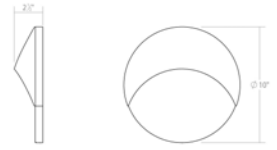
Ovos LED Sconce Spec Sheet

TYPE 'H3'

SKU: 7460.72-WL Learn more at:
<https://sonnemanlight.com/ovos-led-sconce>

Description: Available in oval and round, these sophisticated forms radiate a soft reflected light from the interior, revealed by the elliptical cutaway in the domed shell.

Type #:



Dimensions

Extends:	2.5"
Minimum Extension:	2.5
Maximum Extension:	2.5
Diameter:	10"
Canopy/Backplate/Base:	10"
Shape:	Round
Canopy/Backplate/Base Height:	0.75

Electrical Specs

Bulb(s) Included?:	Yes
Bulb 1 Type:	Integral LED
Bulb Quantity:	1
Input Voltage:	120VAC
Wattage:	9
Initial Lumens:	800
Delivered Lumens:	480
Color Temperature:	3000K
CRI:	90
Power Supply Type:	Driver
Power Supply Quantity:	1
Power Supply Location:	Outlet Box
Dimming Type:	TRIAC/ELV
Bulb Max Wattage:	9

Installation

Installation:	Licensed electrician required
Installation Orientation:	Vertical

Shipping

Carton 1 L x W x H:	13" X 13" X 2"
Carton 1 Gross Weight:	6 LBS
Fixture Weight:	3

Shade

Shade 1 Material:	Aluminum
-------------------	----------

Available Finishes

Available Finishes: Textured Bronze (.72), Textured Gray (.74), Textured White (.98)

General Listings

Features:	ADA Compliant, Wet Rated
Certification:	cETL
Color/Finish:	Textured Bronze (.72)
Dark Sky Friendly:	N

DECK & PATIO - CIRCLE

3011

WAC

LANDSCAPE LIGHTING



TYPE 'J'

PRODUCT DESCRIPTION

Deck and patio light with superb forward-throw light distribution

FEATURES

- IP66 rated, Protected against powerful water jets
- 6' lead wire included
- Translucent lens provides for uniform diffused light output
- Solid diecast brass or corrosion resistant aluminum alloy
- ADA compliant
- Maintains constant lumen output against voltage drop
- UL 1838 Listed

ORDERING NUMBER

3011	Circle	Color Temp	Finish
		27 2700K 30 3000K	BBR Bronze on Brass BK Black on Aluminum BZ Bronze on Aluminum WT White on Aluminum

3011-_____

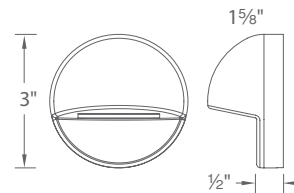
Example: 3011-30BZ

Fixture Type:

Catalog Number:

Project:

Location:



SPECIFICATIONS

Input: 9-15VAC (Transformer is required)
Power: 2.8W / 4.6VA
Brightness: 60 lm
CRI: 90+
Rated Life: 50,000 hours

wacighting.com
Phone (800) 526.2588
Fax (800) 526.2585

Headquarters/Eastern Distribution Center
44 Harbor Park Drive
Port Washington, NY 11050

Central Distribution Center
1600 Distribution Ct
Lithia Springs, GA 30122

Western Distribution Center
1750 Archibald Avenue
Ontario, CA 91760

DECK & PATIO - CIRCLE

3011

WAC LANDSCAPE LIGHTING

Magnetic Transformers

Stainless Steel, 12-15V output, IP65 rated, UL 1838 listed
See transformer spec sheet for details and its accessories

9075-TRN-SS
75W Max

9150-TRN-SS
150W Max

9300-TRN-SS
300W Max

9600-TRN-SS
600W Max



TESTED MAGNETIC LOW VOLTAGE (MLV) DIMMERS

Luminaire	Dimmer					
	Manufacturer	Family	Model	Power Rating	Range*	Note
3031	Lutron	Diva	DVLV-600	600W	33% - 100%	Output maxes at 50% dimming level
		Skylark	SLV-600P	600W	28% - 100%	Output maxes at 50% dimming level
		Skylark	S-10P	1000W		Not recommended

*Low end of this range is determined by output current which may not directly translate to the perceived light output

WAC Lighting fixtures are compatible with a variety of dimmers. For your convenience we have included a compatibility chart showing dimmers which have been tested with our products. The recommended list below is based upon testing conducted in a lab, and the results can vary in certain field applications due to a number of factors. Exclusion from the list does not imply incompatibility, just that it has not been tested by WAC Lighting. Please reference the dimmer manufacturer's instructions for installation, or contact a WAC lighting professional at 800-526-2588.

wacighting.com
Phone (800) 526.2588
Fax (800) 526.2585

Headquarters/Eastern Distribution Center
44 Harbor Park Drive
Port Washington, NY 11050

Central Distribution Center
1600 Distribution Ct
Lithia Springs, GA 30122

Western Distribution Center
1750 Archibald Avenue
Ontario, CA 91760



DESIGNER

Gregory Kay

BRAND

PureEdge Lighting

TYPE "R"

DESCRIPTION

Miniport LED Surface Trim Step Light features a 16 degree precise focus and tempered glass lens with a stainless steel, round beveled edge trim. Includes 1 total watt with driver 12VAC LED, 3000K color temperature, 93CRI, 47 lumens. Miniport is compatible with TE-60L-12 (120 volt input, 12 volt AC output) power supply, sold separately. Can be recessed into a wall or floor using a Miniport junction box which mounts to an octagon box or outdoor wet location electrical box, sold separately. Miniport junction box only needed when recess mounted. ETL listed. 5 year warranty. Required power supply, junction box, dimmer control, and optional accessories sold separately.



Shown in: Stainless Steel

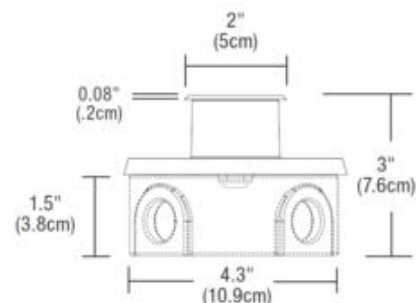
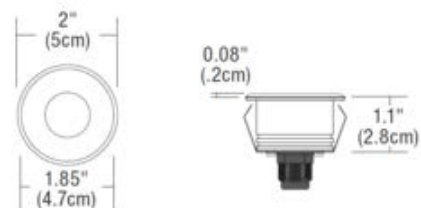
SHADE COLOR	N/A
BODY FINISH	Stainless Steel
WATTAGE	1W
DIMMER	Low Voltage Electronic
DIMENSIONS	2"W x 1.1"D
LAMP	1 x LED/1W/12V LED

Technical Information

LUMINOUS FLUX	47 lumens
LUMENS/WATT	47.00
LAMP COLOR	3000 K
COLOR RENDERING	93 CRI

ITEM NUMBER

EDG57710



Indoor Octagon Junction Box
Supplied by Electrician

COMPANY

PROJECT

FIXTURE TYPE

APPROVED BY

DATE



TYPE 'U'



WS-W38608

Project:

Location:

Fixture Type:

Catalog Number:

AVAILABLE FINISHES:



Square

WS-W38608

PRODUCT DESCRIPTION

Four equal sides and a stream of light. Square artfully provides geometry to wall surfaces in the daytime when mounted in multiples while providing safe illumination of pathways and dramatic visual intrigue in the evening. Perfect for wall grazing surfaces.

FEATURES

- 277V option available for special order.
- ACLED driverless technology
- State of the art LEDs in a geometric form
- IDA Dark Sky compliant when mounted in a downward orientation

SPECIFICATIONS

Rated Life	54000 Hours
Standards	ETL, cETL, Wet Location Listed, IP65, Title 24 JA8: 2019 Compliant, Dark Sky Friendly
Input	120 VAC, 50/60Hz
Dimming	ELV
Color Temp	3000K
CRI	90
Construction	Aluminum hardware

REPLACEMENT PARTS

RPL-GLA-38608 - Glass

Model & Size	Color Temp	Finish	LED Watts	LED Lumens	Delivered Lumens
WS-W38608 8"	3000K 3000K	BK Black BZ Bronze	10.7W 10.7W	800 800	391 391

Example: **WS-W38608-BZ**

•For 277V special order, add an "F" before the finish: WS-W38608F-BZ

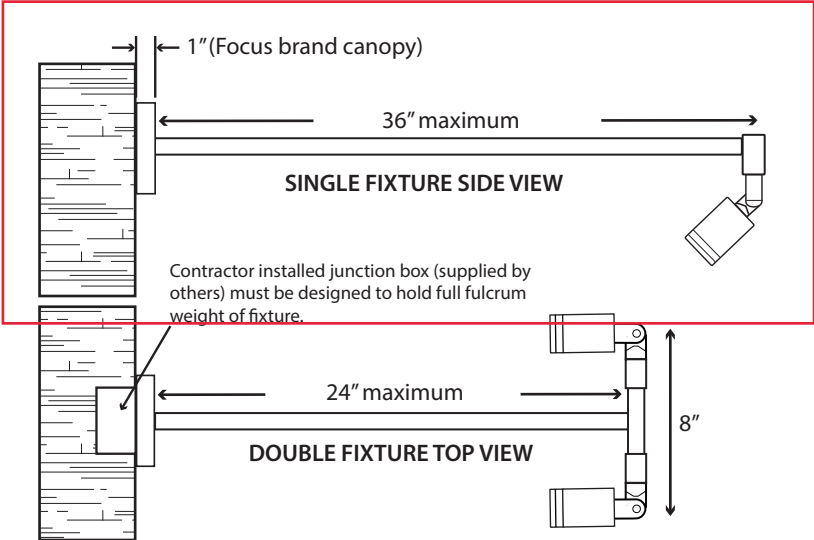
For custom requests please contact customs@modernforms.com



SLS-08 SERIES SIGN LIGHT

TYPE 'X'

TYPE



A



B

CAP STYLE

FA-24-LG-CST



4.75" Dia. X 1.125"
1/2"NPS Center Hole

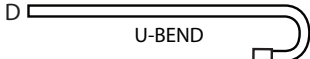
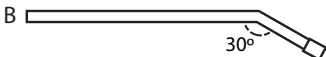
FA-22-CST



3.25" X 5.75" X 1.125"
1/2"NPS Center Hole

CANOPY STYLES

EXTENSION POLE STYLES



IP54



SPECIFICATIONS

Machined brass cylinder & threaded cap with adjustable die cast 240° swivel; extruded brass extension pole

Max Wattage: 20w

Lamp Options: MR16, MR16 LED

Socket:

12v - High temperature ceramic GU5.3 bi-pin with 250°C silicone lead wires

Wiring:

12v - Black 18/2 SPT-1W 8" from base of fixture

Power Supply:

12v - Remote 12v transformer or internal hard wire transformer (not included)

Finish: See color options in ordering information below

SLS-08- B - 1 - NL - B - 2 - 0 - 0 - 18 - A - A - 2

1 2 3 4 5 6 7 8 9 10 11

ORDERING INFORMATION

Brilliance 7W
MR16
3000K
715 Lumen

1. MATERIAL		
A: BRASS RXD08 12 V		
B: BRASS RXD08 GU10 120 V		
2. FIXTURE TYPE		
1: SINGLE		
2: DOUBLE		
3. LIGHT SOURCE		
NL: NO LAMP, BI PIN SOCKET		
1: 3W ARROW SUPER SAVER MR16 15°	L22	
2: 3W ARROW SUPER SAVER MR16 36°	L24	
3: 3W ARROW SUPER SAVER MR16 80°	L26	
4: 5W ARROW SUPER SAVER MR16 15°	L34	
5: 5W ARROW SUPER SAVER MR16 36°	L36	
6: 5W ARROW SUPER SAVER MR16 80°	L38	
7: 7W ARROW SUPER SAVER MR16 15°	L46	
8: 7W ARROW SUPER SAVER MR16 36°	L48	
9: 7W ARROW SUPER SAVER MR16 80°	L50	
10: 3W ARROW SUPER SAVER MR16 15° GU10	L106	
11: 3W ARROW SUPER SAVER MR16 36° GU10	L108	
12: 3W ARROW SUPER SAVER MR16 80° GU10	L110	
13: 5W ARROW SUPER SAVER MR16 15° GU10	L114	
14: 5W ARROW SUPER SAVER MR16 36° GU10	L116	
15: 5W ARROW SUPER SAVER MR16 80° GU10	L118	
16: 7W ARROW SUPER SAVER MR16 15° GU10	L124	
17: 7W ARROW SUPER SAVER MR16 36° GU10	L126	
18: 7W ARROW SUPER SAVER MR16 80° GU10	L128	
4. CAP STYLE		
A: ANGLE CAP		
B: FLAT CAP		
5. LENS TYPE		
2: FLAT LENS		
3: STEPPED FLAT LENS		
6. LENS ENHANCEMENT		
0: NO LENS ENHANCEMENT		
A: LINEAR SPREAD		
B: WIDE SOFTENER		
C: BLUE		
D: GREEN		

7. GLARE SHIELDING	
0: NO SHIELDING	
H: HEX CELL LOUVER	
8. EXTENSION POLE LENGTH	
12: 12 INCHES	
18: 18 INCHES	
24: 24 INCHES (MAX FOR DOUBLE)	
30: 30 INCHES	
36: 36 INCHES (MAX SINGLE)	
CUSTOM: (ADDER PER INCH)	
9. EXTENSION POLE STYLE	
A: STRAIGHT	
B: 30° BEND	
C: 45° BEND	
D: U BEND (PROVIDE SPEC)	
E: GOOSE NECK (PROVIDE SPEC)	
F: CUSTOM BEND (PROVIDE SPEC)	
10. CANOPY	
0: NO CANOPY (1/2" NPS REQUIRED)	
2: FA-24-LGCST BRASS ROUND	
4: FA-22-CST BRASS RECTANGLE	
11. COLOR	
BRS: UNFINISHED BRASS (STANDARD)	
POWDER COLOR FIXTURE	Black
POWDER COLOR POLE	
POWDER COLOR CANOPY	
ACID TREATMENT FIXTURE	
ACID TREATMENT POLE	
ACID TREATMENT CANOPY	

MR16



DESCRIPTION

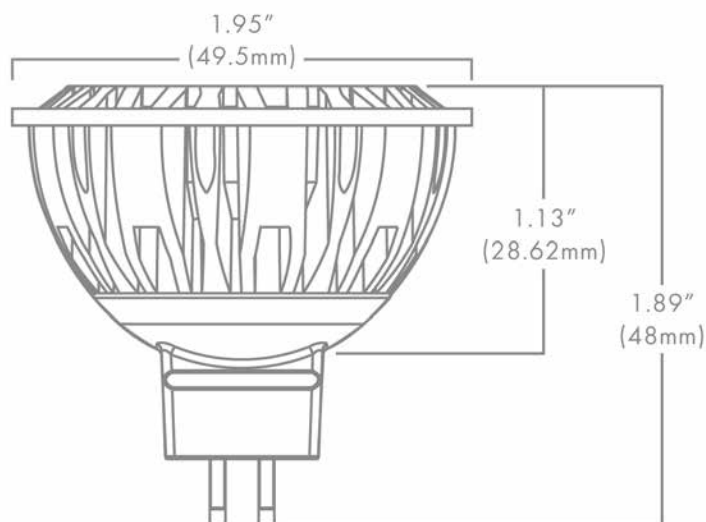
The Brilliance MR16 Bi-Pin is designed to fit in standard low voltage MR16 fixtures and offers a long lamp life. These LEDs are thermally engineered to operate in enclosed fixtures and provide added security by automatically cooling down and reducing lumen output when exposed to extreme heat, such as air temperatures above 125°F. There is no color shift when lumen output is reduced. Dimmable with Brilliance Dimmer and most magnetic transformers.

MR16 FEATURES

- Earth tone colored housing
- Dimmable with Brilliance Dimmer and most magnetic transformers
- Enhanced ESD (Electro-Static Discharge) protection (IEC-61000-4-2)
- Heat overload protection technology
- Fully potted PC board
- UL Certified E360351

MR16 SPECS

Wattage	4, 5, 7		
Lumens	2700K	3000K	5700K
4W	325	350	400
5W	380	400	450
7W	690	715	750
Beam Spread†	15°, 30°, 60°, 120°		
Kelvin Temperature	2700, 3000, 5700		
Color	Amber (4W, 5W, 30° only) Blue (4W, 30° only)		
Operating Range	8-25 VAC/DC		
Replaces	20W, 35W, 50W Halogen		
CRI	85		
IP	61		
Lamp Life (hours)	50,000		
Warranty (years)	5		

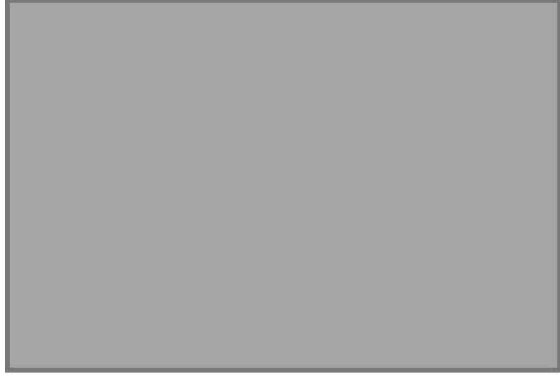

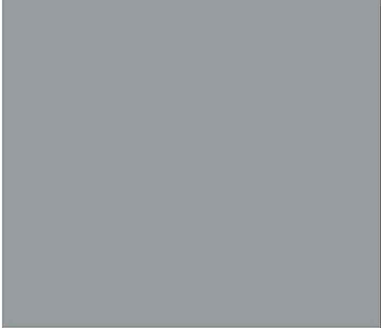

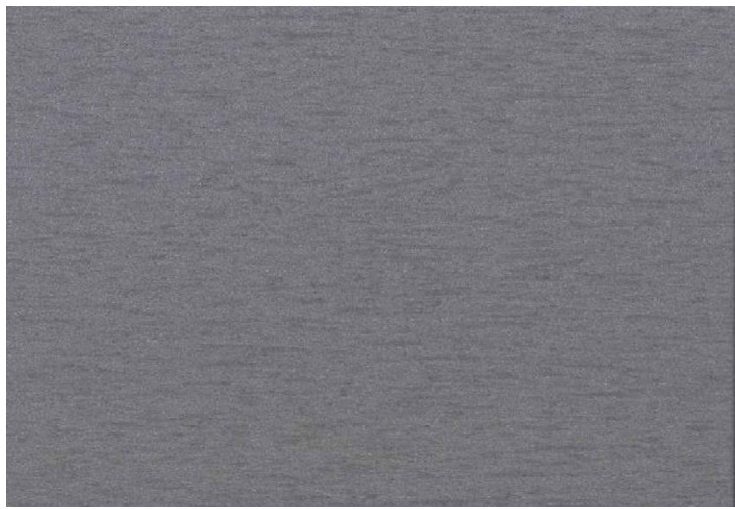
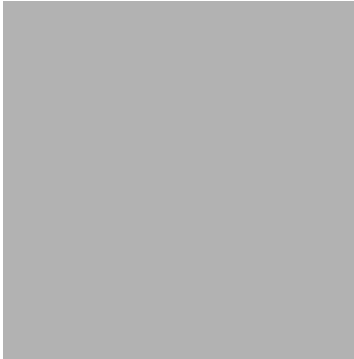

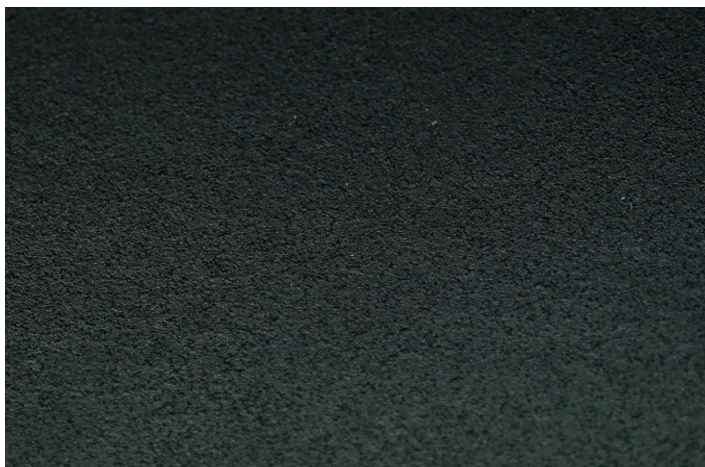







Part Number: **MR16-X-XXXX-XXX**

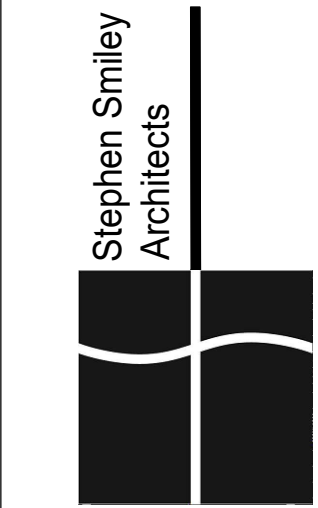
Wattage | Kelvin | Beam spread



† Select Beam Spreads Available in Stock.
Call 800-867-2108 for availability.

Material + Description	Illustration	LRV	Material + Description	Illustration	LRV
Roof Material Colored Liquid Applied Roofing System with Integral Color PDI Roofing Custom Gray		37	Retaining Walls Concrete with Davis Color Additive		30
Exterior Stucco System Western 1 Kote Color: Tungsten	 <div>37203 ■ 34 C1 O RGB: 150,156,159</div>	34	Courtyard and Deck Pavers Archetectural Surfaces Shapes of Italy Sestriere		35
Exterior Metal Panels OCM Azurite Ore		23	Flashing Metal CMG Cityscape Gray		37
Window and Door Frames Aluminum Dark Anodized		7	Railing Metal Guardrail and Driveway Rails Painted with Cardinal Powder Coating, Color: Black Fine Texture C241-BK303		5
Driveway and Front Entry Pavers Belgard Moduline Graphite		18	Soffits Ipe natural		17
Driveway Concrete Dividing Strips Concrete with Davis Color: Dark Gray #8084		20	Glazing Guardian Safeguard SNX 62/27 (62%VLT) Low E Coating on Surface 2		NA
Metal Wire Mesh Western Wire Group Venetial Waterway Carbon Steel		18			

MATERIAL BOARD



ISSUE DATE:

NEW RESIDENCE
LXI DEVELOPMENT
4517 EAST DESERT PARK PLACE
PARADISE VALLEY, AZ 85253

PROJECT:

DRAWN: SM

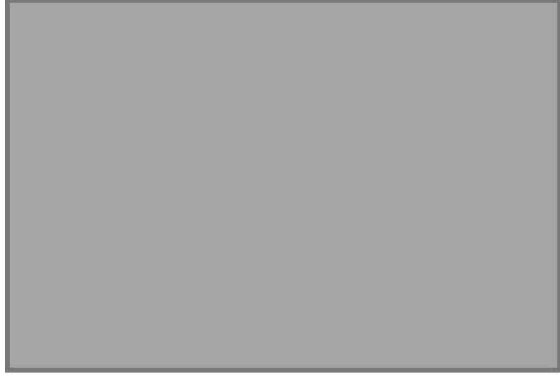

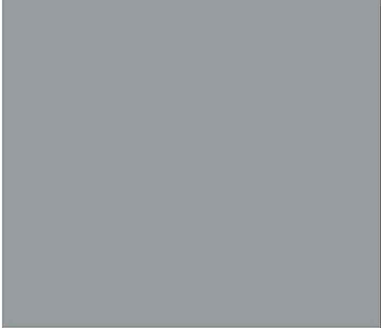

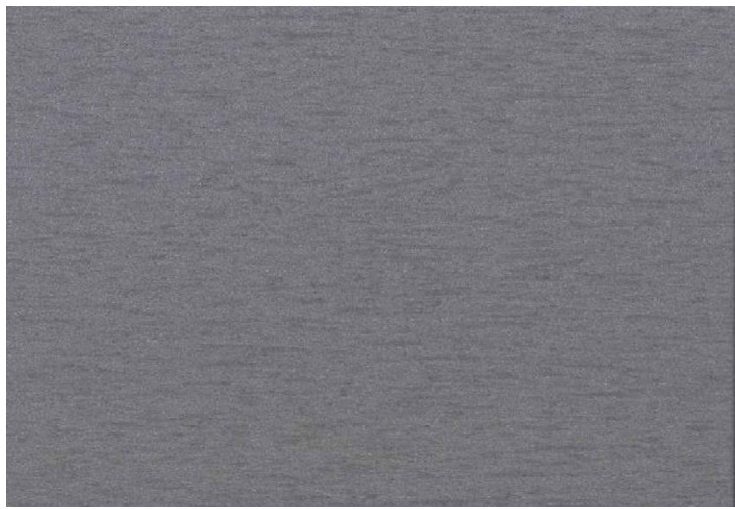
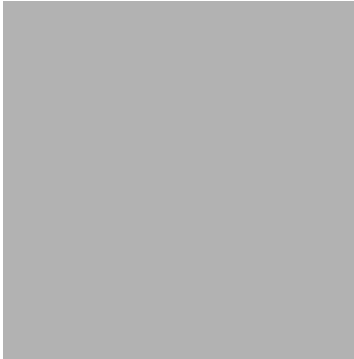



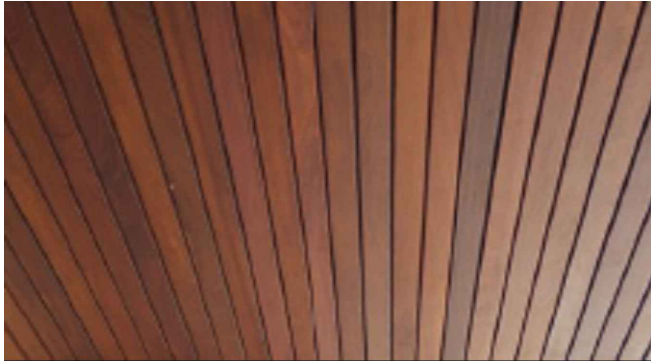
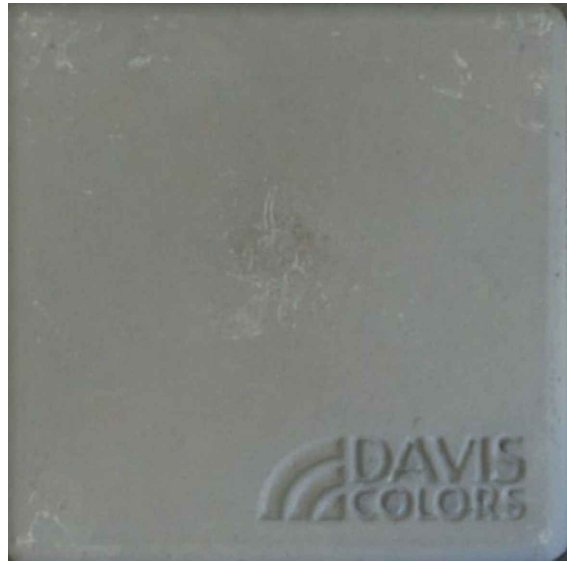


CHECKED: SS

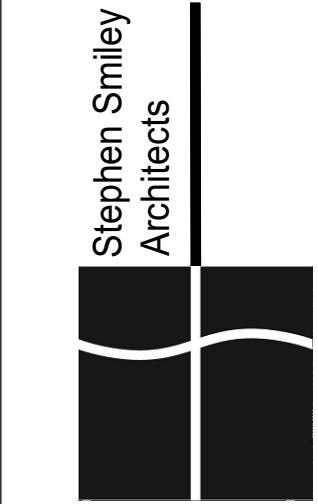
JOB NO. ---

FILE:

DATE: 06/02/2022

MATERIAL
BOARD

Material + Description	Illustration	LRV	Material + Description	Illustration	LRV
Roof Material Colored Liquid Applied Roofing System with Integral Color PDI Roofing Custom Gray		37	Retaining Walls Concrete with Davis Color Additive		30
Exterior Stucco System Western 1 Kote Color: Tungsten		34	Courtyard and Deck Pavers Archetctural Surfaces Shapes of Italy Sestriere		35
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Metal Wire Mesh Western Wire Group Venetial Waterway Carbon Steel		18	<h1>MATERIAL BOARD</h1>		



ISSUE DATE:

NEW RESIDENCE
LXI DEVELOPMENT
4517 EAST DESERT PARK PLACE
PARADISE VALLEY, AZ 85253

PROJECT:

DRAWN: SM

CHECKED: SS

JOB NO. ---

FILE:

DATE: 06/02/2022

MATERIAL
BOARD

May 26, 2022

Town of Paradise Valley
Hillside Building Committee
6401 E Lincoln Drive
Paradise Valley, AZ 85253

Re: 4517 East Desert Park Place

Dear Sir/Madam:

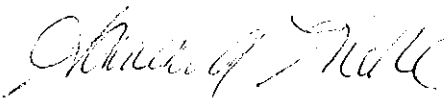
I would like to comment on the proposed home on 4517 East Desert Park Place. We have lived in Tatum Canyon for 19 years and have known Rich and Ronnie Abrams for most of that time. They have already built two homes in our neighborhood, and I am confident that this new house would be of high quality and would fit perfectly into the community. They have a keen eye for design, respect our natural environment, and I know they want to do what is best for all involved, including the Town and the neighbors.

I have reviewed the plans and had several discussions with the Abrams and Stephen Smiley, the architect on the project, and would highly recommend that you approve this welcomed addition to Tatum Canyon.

If you have any questions, or would like more details, I can be reached at 480-951-0401.

Thank you.

Sincerely,

A handwritten signature in cursive script, appearing to read "Sandra Luke".

Sandra Luke
4601 E. Desert Park Place
Paradise Valley, AZ 85253

May 26, 2022

To Whom It May Concern:

I am writing on behalf of Rich and Ronnie Abrams, owner of the property at 4517 East Desert Park Place in Tatum Canyon. The Abram's are intending to build a home on the subject property and this letter is in full support of their ability to do so.


There are two primary reasons for my support.

First, the Abrams are great neighbors and wonderful people. They have lived in Tatum Canyon since before we arrived some 19 years ago. They built and sold their original residence, and then bought and remodeled their current home. That seems to me to be ample proof that they love – and care about - this neighborhood.

Second, the design of the home the intend to build is tasteful and appropriate. Someone will eventually build on this lot is it highly possible that another party would build some McMansion that overwhelms the property and is not nearly as attractive as the Abram's design.

I urge the Town to support their project.

Sincerely,

A handwritten signature in black ink, appearing to be 'Richard Warnick', with a large, sweeping flourish at the end.

Richard Warnick

From: [CHRISTOP BIENIARZ](#)
To: [Hugo Vasquez](#)
Subject: Mr. & Ms. Richard Abrams architectural project in Tatum Canyon
Date: Friday, June 3, 2022 10:26:10 AM

External
email: use
caution
with links
&
attachments

Dear Mr Vasquez,

I send this letter in strong support of the new construction venue in the Tatum Canyon, Paradise Valley, AZ .

The project is initiated by Mr. and Ms. Richard Adams, long time residents of Tatum Canyon neighborhood. My wife Susan Bieniarz and myself are relatively new members of this magnificent community but developed friendships with very many members of this place, including Mr. and Ms. Abrams.

Let me assure you first of all that, as a property owners in Tatum Canyon, my wife I are interested in development aspects of this neighborhood that would in the future enhance, improve, increase, value of the real estate properties in this area.

I can think of no better way to preserve the intrinsic value of this unique environment than design and build properties which are

- 1) ecologically sustainable
- 2) environmentally compatible with flora, fauna and geography of the region
- 3) preserve the unique value of this environment.

I became not only familiar but very well informed about Abrams project from early on of its inception.

There can be no doubt that the design they developed with their architect fulfills the objectives enumerated above.

The scale of the design blends perfectly with the neighboring environment

Mr. and Ms Abrams took painstaking efforts to guide their architect to be maintain utter consideration and compliance with the wishes of the property neighbors.

Environmental considerations, including preservation of protected plants, rock outcrop

are conspicuously present in every architectural plan design.

The size, dimension of the project are perfectly compatible with the environment and neighboring properties.

I therefore ask you to approve this excellent project as it will very much enhance the unique beauty and character of our Tatum Canyon neighborhood.

Sincerely,

Christopher Bieniarz, Ph.D.

7809 N SHERRI LN
PARADISE VALLEY, AZ 85253
520-272-2406 (c)



Action Report

File #: 22-239

To: Hillside Building Committee

From: Hugo Vasquez; Hillside Development Administrator Jose Mendez; Hillside Development Planner

Date: June 8th, 2022

Subject: Combined review of a natural-looking path and sitting area with Sonoran Desert vegetation 4211 E Claremont Avenue (APN: 169-22-097). (continued)

Narrative: The proposed project shall construct a sitting area and path with additional landscaping and landscape/pathway lighting. The new project has an application date of October 4th, 2021 and will be reviewed under the current Hillside Development Regulations.

Lot Data		
1.	Area of Lot	1.032 ac or 44,935 ft ²
2.	Area Under Roof	No Change
3.	Floor Area Ratio	No Change
4.	Building Site Slope	7.20%
5.	Allowable Disturbed Area	26,961 ft ² (60.00%)
6.	Existing Net Disturbed Area	15,468 ft ² (34.42%)
7.	Proposed Net Disturbed Area	17,200 ft ² (38.28%)
8.	Maximum Building Height	No Change
9.	Overall Height	No Change
10.	Volume of Cut/Fill	No Change
11.	Hillside Assurance	\$0

Background

The property contains a single family residence originally constructed in 1994. The Town was recently notified that the property had created a landscaped path and created disturbances without hillside approval. The applicant intends to complete the landscaped path, landscaping, and lighting if approved by the Hillside Building Committee. The Hillside Building Committee elected to continue the application during the May 11th, 2022 meeting after providing feedback to the applicant. The applicant has now proposed reduced the scope of work and has also proposed additional desert varnish treatment to the DC cobble rip rap.

Hardscape

A mix of gray and brown pavers (LRV 12-37), DC cobble rip rap, and decomposed granite (Madison Gold) are proposed for the walking path and sitting area surfaces taking 1,732 ft² of disturbance. DC cobble rip rap has been proposed for the path border. The applicant has proposed to use Natina desert varnish (or equivalent) to blend the DC cobble rip rap

more effectively to the surrounding area. All materials shall have an LRV of 38 or less.

Landscape Lighting

Proposed landscape lighting shall be provided by four (4) downward aimed spotlights (164 lumens actual / 250 lumens allowable) on the steeper steps along the east side of the residence and eight (8) path lights (150 lumens actual / 250 lumens allowable). The applicant previously proposed the use of seventeen (17) downward-aimed spotlights (164 lumens actual / 250 lumens allowable) and eight (8) path lights (150 lumens actual / 250 lumens allowable). All light sources shall have a maximum color temperature of 3000K.

Landscaping

The applicant shall provide a native desert seed mix to the area in lieu of the previously proposed landscaping. Landscape vegetation previously proposed is provided on the table below:

Cacti / Accents / Shrubs	Cacti / Accents / Shrubs	Cacti / Accents / Shrubs
Hopseed Bush	Purple Sage	Golden Barrel
Desert Spoon	Yellow Bells	Training Lantana
Organ Pipe	Native Mesquite	Mexican Bird of Paradise
Trailing Purple Lantana	Argentine Cerus	Yucca Alfolia
Agave		

Land Disturbance

An existing net disturbance of 34.42% (15,468 ft²) currently exists on the lot and the building pad slope of 7.20% allows a disturbance of 60.00% (26,961 ft²) the lot. The applicant has proposed a net disturbed area of approximately 38.28% (17,200 ft²), which is less than the allowable disturbance.

Grading and Drainage

No grading work has been proposed. The applicant shall construct the path in a manner that does not negatively affect storm water flow. If future grading work is required, the applicant shall submit a grading permit applicant for review.

Sewer

The property has an existing connection to a public sewer system.

Hillside Safety Improvement Plan

The applicant was not required to submit a Hillside Safety Improvement Plan based on the proposed scope of work.

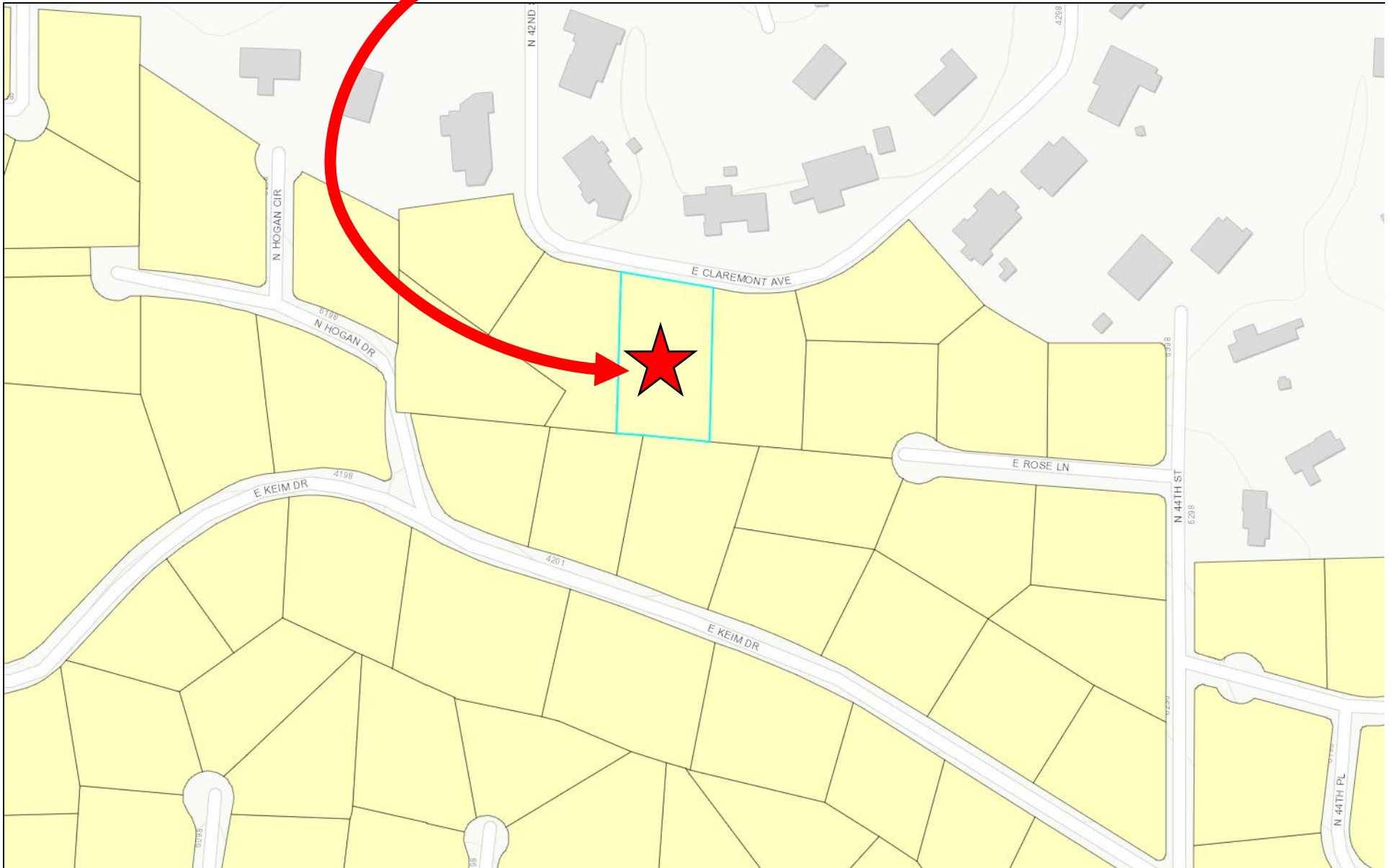
Combined Plan Review

Should the Hillside Committee wish to approve this application, staff suggests the following stipulations:

1. Any changes to the Hillside-approved plans may result in delays in permit plan review and inspection processes. Any proposed changes should be reported to the Staff to determine compliance with Hillside Development Regulations. Changes may be subject to a Staff, Chair, or Committee review.
2. The Applicant shall submit a Construction Staging Plan to the Town per the Hillside Safety Improvement Measures and Process Manual for review and approval prior to being issued a building permit.
3. The Applicant shall submit a liability insurance policy for the proposed project in the amount of \$2 million per occurrence and \$5 million aggregate naming the Town of Paradise Valley as an additional insured prior to being issued a building permit.

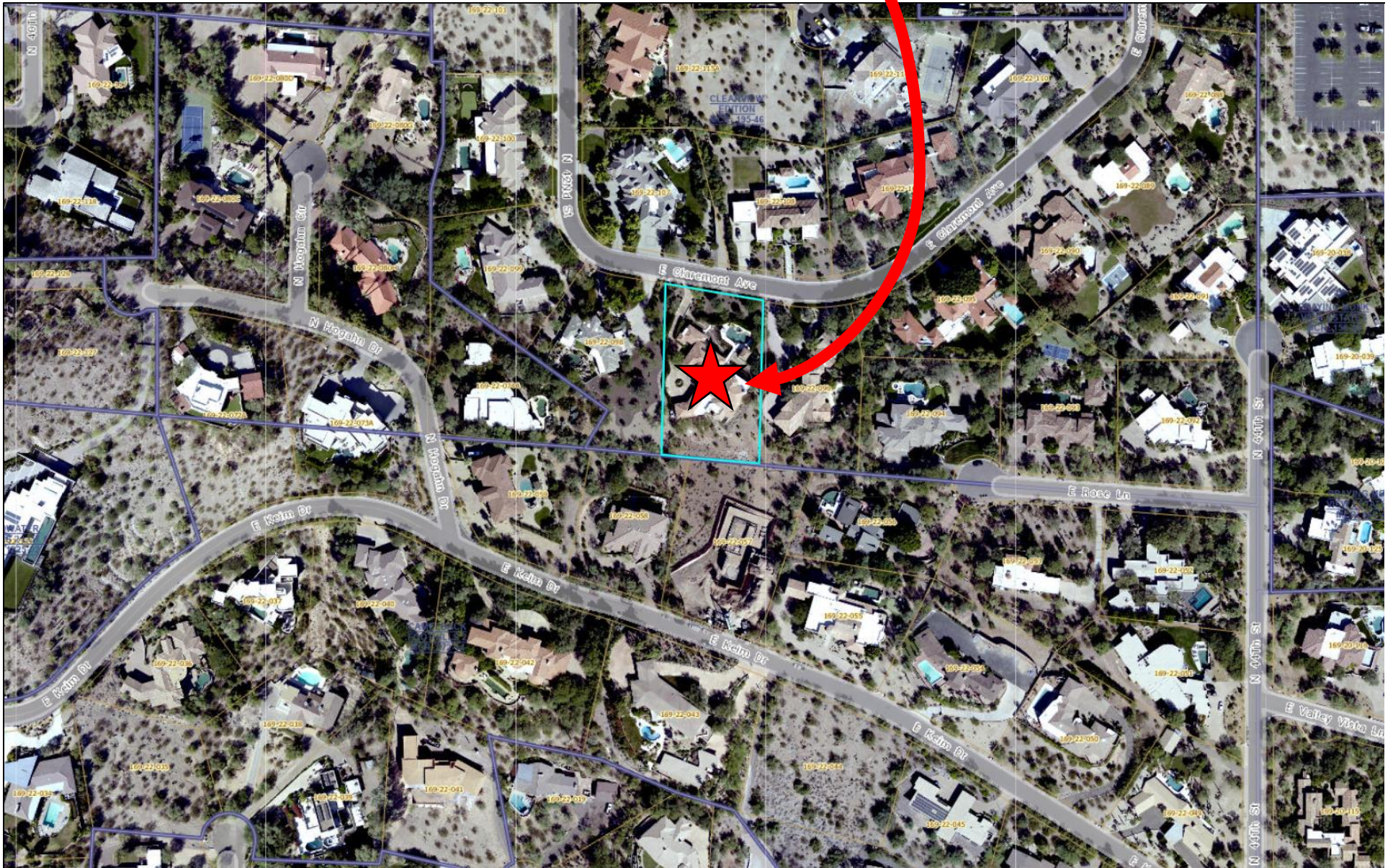
4. Prior to issuance of a permit, the Applicant shall submit a Hillside Assurance in the amount of \$0.
5. All construction parking shall be located on the property as much as possible. Any offsite parking shall be confined to the adjacent streets along the immediate property frontage. All offsite parking shall be located on the same side of the street. No construction materials will be allowed to be stored on the Town's right-of-way.
6. All recommendations provided in the Safety Improvement Plan shall be followed by the applicant. An Arizona Registered Engineer contracted by the applicant shall review, for compliance with the recommendations provided in the Safety Improvement Plan, the proposed plans prior to submitting for a permit. The contracted Arizona Registered Engineer shall provide a sealed letter stating that the plans submitted are in accordance with the Safety Improvement Plan. Any field work related to the Safety Improvement Plan, including but not limited to rock bolting, rock cuts, mesh placement, and boulder stabilization methods, shall be inspected by a qualified Special Inspector contracted by the applicant. The qualified inspector shall be required to provide a written verification that the improvements were completed per plan prior to the final approval.
7. No final approval or certificate of occupancy shall be issued until all Hillside stipulations and all Town Code requirements are complied with, including, but not limited to, landscaping, fire flow, fire safety and all onsite and offsite improvements.
8. The limits of construction and proposed disturbed areas shall be clearly staked in the field, with visible roping, prior to demolition and during construction and shall conform to the approved individual site analysis plan. Photos of the staking shall be provided prior to issuance of a demolition and/or building permit.
9. Noise from construction that can be heard off-site, including, but not limited to, hydraulic ram hammers, equipment used to cut through rock, machinery with audible back-up warning devices, powered machinery, truck delivery and idling, constant and persistent hammering, shall comply with Article 8-10, Nuisance Noise, as set forth in the Town Code. Heavy Equipment and construction-related deliveries are generally limited between the hours of 7:00 a.m. and 5:00 p.m. Monday through Friday; no work on Saturday, Sunday or legal holidays. Exceptions include a one hour early start time in summer, time exceptions granted by the Town Manager, and construction not defined as Heavy Equipment or deliveries that can occur outside the 7:00 a.m. to 5:00 p.m., Monday through Friday, time frame.
10. The Hillside Building Committee review is not a complete building permit review of grading and drainage plans. Additional comments may be generated during the building permit review process. Offsite improvements such as curb installation may be required during the permitting process.
11. Desert varnish, such as Eonite or equivalent, shall be provided on all exposed rock cuts.
12. Natural stone selections shall not exceed the maximum allowable LRV of 38, unless explicitly approved by the Hillside Building Committee. Care should be taken when selecting to ensure that the maximum LRV is not exceeded. Failure to comply with may result in delays obtaining a Certificate of Occupancy.
13. A landscape as-built plan shall be provided by the landscape designer at the time of the Final Hillside inspection and prior to the issuance of a Certificate of Occupancy. See Stipulation #1 for more information.
14. A suitable desert seed mix shall be provided for all undisturbed areas requiring revegetation and all retention basins. Any existing non-native fountain or buffel grasses shall be removed from the property.

4211 E Claremont Avenue



169-22-11

169-22-11



4211 E Claremont Avenue

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10/20/2020



TOWN OF PARADISE VALLEY HILLSIDE DEVELOPMENT

DATE: October 4, 2021

SUBDIVISION NAME: Clearview Edition

ADDRESS OF PROPERTY 4211 E. Claremont Ave
Paradise Valley, AZ 85253

ASSESSOR'S PARCEL NUMBER: 169-22-097

LEGAL DESCRIPTION: LOT SIXTEEN (16), CLEARVIEW EDITION, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF
THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 195 OF MAPS, PAGE 46.

ARCHITECT: N/A

NAME	PHONE NUMBER
N/A	N/A
ADDRESS	E-MAIL ADDRESS

ENGINEER/OTHER: N/A

NAME	PHONE NUMBER
N/A	N/A
ADDRESS	E-MAIL ADDRESS

OWNER: Keith & Yeali Wellnitz 480-518-1734

PRINT NAME	PHONE NUMBER
4211 E. Claremont Ave, Paradise Valley, AZ 85253	480-250-0035
ADDRESS	E-MAIL ADDRESS

Signature: Keith Wellnitz

Digitally signed by Keith Wellnitz
DN: dc=internal, dc=maxim-c, ou=People, cn=Keith Wellnitz,
email=Keith.Wellnitz@maximintegrated.com
Date: 2021.09.26 17:40:43 -0700

SIGNATURE OF OWNER OR REPRESENTATIVE

10/4/2021

DATE

SCOPE OF WORK: 1) Natural Path to an open area to view the mountains. No change in grade/slope or elevation.
Similar to paths in Phoenix Mtn Preserve. 2) Natural Steps to provide stable footing. 3) Natural Sitting Area.
4) Add Sonoran Desert approved vegetation. 5) Add Low Voltage Lighting, section 2208 compliant.
6) Irrigation for the vegetation. 7) Remove silt from natural desert swale.

Combined Plan Review Notification

4/20/2022

[Insert Address of Recipient]

Subject: Review of Natural Looking Path & Sitting Area with Sonoran Desert Vegetation

Dear Property Owner,

An application has been submitted to the Town of Paradise Valley for a Natural Path and Sitting Area with Sonoran Desert vegetation at 4211 E. Claremont Ave. Paradise Valley, AZ 85253. In compliance with Town requirements, this letter is being sent to you as a courtesy to inform you of the pending application. The Hillside Building Committee will be reviewing this application on May 11th, at 8:00 AM.

The purpose of Combined Plan Review meeting is for the Hillside Building Committee to review the submittal for compliance with the goals, purposes, and specific criteria of the Town of Paradise Valley Hillside Development Regulations.

The Hillside Building Committee will approve, approve with stipulations, continue, or deny the submittal. This meeting is open to the public and you may feel free to attend.

If you have any questions please call me at 480-250-0035.

Sincerely,

Keith Wellnitz

AFFIDAVIT OF MAILING NOTIFICATION

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STATE OF ARIZONA)

) ss:

County of Maricopa)

In accordance with the requirements of the Town of Paradise Valley, the undersigned hereby certifies that the mailing list for the proposed project is a complete list of property owners within 1500 feet of the subject property, as obtained from the Maricopa County Assessor's Office on the following date 4/18/2022, and such notification has been mailed on the following date 4/20/2022.

Signature

The foregoing instrument was acknowledged by me this 22nd day of April, 2022, by Yeali J. Wellby.

Name

Kristi M. Hillbert

NOTARY PUBLIC

My commission expires:

May 25, 2022



Parcel Number	Owner	Property Address	Mailing Address
169-19-006E	BIBLE CHURCH OF GOD	4222 E LINCOLN DR PARADISE VALLEY 85253	4222 E LINCOLN DR SCOTTSDALE AZ 85253
169-19-007	DE MENTE BOYE LAFAYETTE & MARGARET	6505 N 43RD PL PARADISE VALLEY 85253	6505 N 43RD PL PARADISE VALLEY AZ 85253
169-19-008	KEMP JAMES E/REBECCA J	6515 N 43RD PL PARADISE VALLEY 85253	6515 N 43RD PL PARADISE VALLEY AZ 85253-3940
169-19-009	ESTRUTH LIVING TRUST	6531 N 43RD PL PARADISE VALLEY 85253	6531 N 43RD PL PARADISE VALLEY AZ 85253
169-19-010	COZZI ALBERT	6547 N 43RD PL PARADISE VALLEY 85253	6547 N 43RD PL PARADISE VALLEY AZ 85253
169-19-023	SLATTERY STEVEN/SARA	6544 N 43RD PL PARADISE VALLEY 85253	6544 N 43RD PL PARADISE VALLEY AZ 85253
169-19-024	SUZANNE P MONTHOFER TRUST	6534 N 43RD PL PARADISE VALLEY 85253	6534 N 43RD PLACE PARADISE VALLEY AZ 85253
169-19-025	ANSON FAMILY TRUST	6516 N 43RD PL PARADISE VALLEY 85253	6516 N 43RD PL PARADISE VALLEY AZ 85253
169-20-004C	PARADISE VALLEY METHODIST CH	4455 E LINCOLN DR PARADISE VALLEY 85253	4455 E LINCOLN DR PARADISE VALLEY AZ 85253
169-20-012C	NHK TRUST	6001 N 44TH ST PARADISE VALLEY 85253	6001 N 44TH ST PARADISE VALLEY AZ 85253
169-20-018	MCCALEB DAVID C/PATRICIA R TR	4500 E MADEROS DEL CUENTA DR PARADISE VALLEY 85253	4500 MADEROS DEL CUENTA DR PARADISE VALLEY AZ 85253
169-20-019	GREENBERG MICHAEL PAUL/HELEN M TR	4435 E MADEROS DEL CUENTA DR PARADISE VALLEY 85253	4435 MADEROS DEL CUENTA PARADISE VALLEY AZ 85253
169-20-020	WALLACE EDWARD/TREW NANCY JANE WALLACE	4425 E MADEROS DEL CUENTA DR PARADISE VALLEY 85253	4425 E MADEROS DEL CUENTA DR PARADISE VALLEY AZ 85253
169-20-021	BORN FAMILY TRUST/BYPASS TRUST	4424 E MADEROS DEL CUENTA DR PARADISE VALLEY 85253	4424 E MADEROS DEL CUENTA DR SCOTTSDALE AZ 85253
169-20-022	ZIEGLER KATHLEEN M/PIOTROWSKI TODD E	4430 E MADEROS DEL CUENTA DR PARADISE VALLEY 85253	4430 E MADEROS DEL CUENTA DR PARADISE VALLEY AZ 85253
169-20-023	FRANK AND LAUREN VERDERAME REVOCABLE TRUST	4436 E MADEROS DEL CUENTA DR PARADISE VALLEY 85253	4436 E MADEROS DEL CUENTA DR PARADISE VALLEY AZ 85253
169-20-024	MCCARDELL FAMILY TRUST	4441 E MADEROS DEL CUENTA DR PARADISE VALLEY 85253	4441 E MADEROS DEL CUENTA DR PARADISE VALLEY AZ 85253
169-20-025A	LEE M GROSS REVOCABLE TRUST	4501 E MADEROS DEL CUENTA DR PARADISE VALLEY 85253	4501 E MADEROS DEL CUENTA DR PARADISE VALLEY AZ 85253
169-20-038	EL DAYE ANDREW/EL KHOURY CALINE	6341 N 44TH ST PARADISE VALLEY 85253	6341 N 44TH ST PARADISE VALLEY AZ 85253
169-20-039	SURVIVORS TRUST	6329 N 44TH ST PARADISE VALLEY 85253	6329 N 44TH ST PARADISE VALLEY AZ USA 85253
169-20-106	GUNNALA SURENDER/SUJATHA TR	6161 N 44TH PL PARADISE VALLEY 85253	6161 N 44TH PL PARADISE VALLEY AZ 85253
169-20-107	CERTOSA INC	4475 E VALLEY VISTA LN PARADISE VALLEY 85253	1818 GILBRETH RD SUITE 123 BURLINGAME CA 94010
169-20-112	LANDSBOROUGH DAPHNE CHARLTON TR	6021 N 44TH ST PARADISE VALLEY 85253	11054 N 84TH PL SCOTTSDALE AZ 85260
169-20-113	HENDRIX JANIE	6050 N 44TH PL PARADISE VALLEY 85253	1000 1ST AVE UNIT 1801 SEATTLE WA 98104-1081
169-20-114	MATTIONI FAMILY TRUST	6101 N 44TH ST PARADISE VALLEY 85253	6101 N 44TH ST PARADISE VALLEY AZ 85253-3917
169-20-115	MARSONER REINHOLD H	6199 N 44TH ST PARADISE VALLEY 85253	6199 N 44TH ST PARADISE VALLEY AZ 85253
169-20-116	MARTONE JONATHAN/KINDRA D	4402 E VALLEY VISTA LN PARADISE VALLEY 85253	4402 E VALLEY VISTA LN PARADISE VALLEY AZ 85253
169-20-117	BKN REVOCABLE TRUST	4424 E VALLEY VISTA LN PARADISE VALLEY 85253	4424 E VALLEY VISTA LN PARADISE VALLEY AZ 85253
169-20-118	SCHUMACHER NATHAN	4456 E VALLEY VISTA LN PARADISE VALLEY 85253	1004 DUCKHORN CT APT 106 LAS VEGAS NV USA 89144
169-20-119	JAK HOLDINGS LLC	4470 E VALLEY VISTA LN PARADISE VALLEY 85253	3434 E SAN CARLOS PL CHANDLER AZ USA 85249
169-20-124	SMITH DIANA ELLIS TR	6315 N 44TH ST PARADISE VALLEY 85253	6315 N 44TH ST PARADISE VALLEY AZ USA 85253
169-20-125	BROWN CHAD E/KRISTIN M	6301 N 44TH ST PARADISE VALLEY 85253	6301 N 44TH ST PARADISE VALLEY AZ 85253
169-22-001C	GORDON GREGORY/TAMARA	4107 E MCDONALD DR PHOENIX 85018	4107 E MCDONALD DR PHOENIX AZ 85018-1116
169-22-002	TOBIASON ROLF V C/SARAH JANE TR	4123 E MCDONALD DR PHOENIX 85018	4123 E MCDONALD DR PHOENIX AZ 85018
169-22-003	MWO INVESTMENTS LLC	4133 E MCDONALD DR PHOENIX 85018	2469 S GAUCHO MESA AZ 85202
169-22-004	PUCCI MICHAEL A	4141 E MCDONALD DR PHOENIX 85018	727 E PORTLAND ST APT 20 PHOENIX AZ 85006-3175
169-22-005	NG DONALD C/CANDACE L	4149 E MCDONALD DR PHOENIX 85018	4149 E MCDONALD DR PHOENIX AZ 85018-1116
169-22-006	FIRST AMENDED AND RESTATED ROGER D MOORE REVOCABLE LIVING TRUST	4203 E MCDONALD DR PHOENIX 85018	4203 E MCDONALD DR PHOENIX AZ 85018
169-22-007	BATTINA BRETT W	4211 E MCDONALD DR PHOENIX 85018	4211 E MCDONALD DR PHOENIX AZ 85018
169-22-008	KATSENE JOHN T/ MARY K TR	4221 E MCDONALD DR PHOENIX 85018	4221 E MACDONALD DR PHOENIX AZ 85018
169-22-009	COHEN REVOCABLE TRUST	4303 E MCDONALD DR PHOENIX 85018	4303 E MCDONALD DR PHOENIX AZ 85018
169-22-010	HASIoTIS GEORGE F/GEORGETTE M	4311 E MCDONALD DR PHOENIX 85018	4311 E MCDONALD DR PHOENIX AZ 85018
169-22-011	LYNN ROBERT A	4323 E MCDONALD DR PHOENIX 85018	1150 18TH ST SANTA MONICA CA 90403
169-22-012	ANE ALAIN J/WENDY F	4329 E MCDONALD DR PHOENIX 85018	4329 E MCDONALD DR PHOENIX AZ 85018
169-22-013	ADAM J LUBER REVOCABLE TRUST	4330 E MCDONALD DR PARADISE VALLEY 85253	4330 E MCDONALD DR PARADISE VALLEY AZ 85253
169-22-014	MICHAEL RIDEOUT TRUST	6020 N 43RD ST PARADISE VALLEY 85253	6020 N 43RD ST PARADISE VALLEY AZ USA 85253
169-22-015	KENNETH R CURRY TRUST	6002 N 43RD ST PARADISE VALLEY 85253	6002 N 43RD ST PARADISE VALLEY AZ USA 85253
169-22-016	DAVIES ROBERT A	4222 E MCDONALD DR PARADISE VALLEY 85253	4222 E MCDONALD DR PARADISE VALLEY AZ 85253
169-22-017	ABRAHAM FRIEDMAN GST NON-EXEMPT TRUST ETAL	6005 N 42ND ST PARADISE VALLEY 85253	6005 N 42ND ST PARADISE VALLEY AZ 85253
169-22-018	LYONS RICHARD T	6043 N 42ND ST PARADISE VALLEY 85253	6043 N 42ND ST PARADISE VALLEY AZ 85253
169-22-019	ENDE ERIC/KEENAN BECKY	6113 N 42ND ST PARADISE VALLEY 85253	6113 N 42ND ST PARADISE VALLEY AZ 85253
169-22-020	BURGESS REVOCABLE TRUST	6012 N 42ND ST PARADISE VALLEY 85253	6012 N 42ND ST PARADISE VALLEY AZ 85253
169-22-021	SHNIDERMAN BRIAN S/LAURA B TR	4156 E MCDONALD DR PARADISE VALLEY 85253	4156 E MCDONALD DR PARADISE VALLEY AZ 85253
169-22-022	BARRADAS FAMILY TRUST	4138 E MCDONALD DR PARADISE VALLEY 85253	138 E MCDONALD DR PARADISE VALLEY AZ 85253
169-22-023	KOSIBA ADRIANA P/FRANK J III	6039 N 41ST PL PARADISE VALLEY 85253	6039 N 41ST PL PARADISE VALLEY AZ 85253
169-22-024	KIDO RAYMOND/LEONG-KIDO CAROL	6040 N 41ST PL PARADISE VALLEY 85253	6040 N 41ST PL PARADISE VALLEY AZ 85253
169-22-026B	LADOMATO REVOCABLE TRUST	4108 E MCDONALD DR PARADISE VALLEY 85253	4108 E MCDONALD DR PARADISE VALLEY AZ 85253
169-22-029	ARNELL BRENDEN FAMILY TRUST	4324 E MCDONALD DR PARADISE VALLEY 85253	4324 E MCDONALD DR PARADISE VALLEY AZ 85253-3933
169-22-030	MESQUITE LANE TRUST	4316 E MCDONALD DR PARADISE VALLEY 85253	PO BOX 10567 PHOENIX AZ 85064-0567
169-22-031	KARSA MICHAEL JOSEPH	6033 N 43RD ST PARADISE VALLEY 85253	6033 N 43RD ST PARADISE VALLEY AZ USA 85253
169-22-032	FRIEL KEVIN M	6030 N 43RD ST PARADISE VALLEY 85253	6030 N 43RD ST PARADISE VALLEY AZ 85253
169-22-033	WEINLEIN CRAIG W/CHRISTINE E	6041 N 41ST ST PARADISE VALLEY 85253	6041 N 41ST ST PARADISE VALLEY AZ 85253
169-22-034	INSPIRED LIFE REVOCABLE TRUST	4101 E KEIM DR PARADISE VALLEY 85253	4101 E KEIM DR PARADISE VALLEY AZ 85253
169-22-035	ARROYO PROPERTIES LLC	4117 E KEIM DR PARADISE VALLEY 85253	3104 E CAMELBACK RD STE 1001 PHOENIX AZ 85016
169-22-036	HERRICK RONALD L/KNIGHTON CASTON	4129 E KEIM DR PARADISE VALLEY 85253	1716 W OCEANFRONT NEWPORT BEACH CA 92663
169-22-037	GRACE TRUST	4135 E KEIM DR PARADISE VALLEY 85253	4135 E KEIM DR PARADISE VALLEY AZ 85253
169-22-038	NEVEU MARK J/MCGIMSEY DENISE L	6031 N 41ST PL PARADISE VALLEY 85253	6031 N 41ST PL PARADISE VALLEY AZ 85253
169-22-039	MELLEN JOINT LIVING TRUST	6049 N 41ST PL PARADISE VALLEY 85253	6049 N 41ST PL PARADISE VALLEY AZ 85253
169-22-040	BARNIER JEROME P JR TR	4141 E KEIM DR PARADISE VALLEY 85253	4141 E KEIM DR PHOENIX AZ 85253
169-22-041	HATTEN FAMILY TRUST	6024 N 42ND ST PARADISE VALLEY 85253	6645 N 39TH WAY PARADISE VALLEY AZ USA 85253
169-22-042	LEVINE WILLIAM S/SUSAN GOLDWATER TR	4201 E KEIM DR PARADISE VALLEY 85253	1702 E HIGHLAND AVE STE 310 PHOENIX AZ 85016
169-22-043	EVANS JAY C/KAREN D TR	4237 E KEIM DR PARADISE VALLEY 85253	4237 E KIEM DR PARADISE VALLEY AZ 85253
169-22-044	MICHAEL A DINAN REVOCABLE TRUST	4275 E KEIM DR PARADISE VALLEY 85253	307 N GATEWAY BLVD PHOENIX AZ USA 85008
169-22-045	KIDESS REEM	4301 E KEIM DR PARADISE VALLEY 85253	4301 E KEIM DR PARADISE VALLEY AZ 85253
169-22-046	HAZELWOOD DAN/ELIZABETH BLAISE	4329 E KEIM DR PARADISE VALLEY 85253	4329 E KEIM DR PARADISE VALLEY AZ 85253
169-22-047A	TEETER WAYNE A/CATHARINE R	4343 E KEIM DR PARADISE VALLEY 85253	4343 E KEIM DR PARADISE VALLEY AZ 85253
169-22-048A	MEHTA PUNEET	6038 N 44TH ST PARADISE VALLEY 85253	6038 N 44TH ST PARADISE VALLEY AZ 85253
169-22-049	HOFSTETTER KENNETH TR	4338 E KEIM DR PARADISE VALLEY 85253	4338 KEIM RD PARADISE VALLEY AZ 85253
169-22-050	DIANE K SHAH LIVING TRUST	4320 E KEIM DR PARADISE VALLEY 85253	1016 FIFTH AVE APT 5D NEW YORK NY 10028
169-22-051	ANTO FLO LLC	6134 N 44TH ST PARADISE VALLEY 85253	8800 N 65TH ST PARADISE VALLEY AZ 85253
169-22-052	MOULTON REVOCABLE TRUST	4339 E ROSE LN PARADISE VALLEY 85253	2117 E BEAVER LAKE DR SE SAMMAMISH WA 98075
169-22-053	WIGHT JACK R/NELLIE A	4321 E ROSE LN PARADISE VALLEY 85253	4321 E ROSE LN PARADISE VALLEY AZ 85253
169-22-054	PANANIDES ALEX N TR	4310 E KEIM DR PARADISE VALLEY 85253	503 BATH ST SANTA BARBARA CA 93101
169-22-055	HELDT FRANK E/PATRICIA S TR	4306 E KEIM DR PARADISE VALLEY 85253	4306 E KEIM DR PARADISE VALLEY AZ 85253
169-22-056	CUNNINGHAM DAVID E/YVONNE TR	4305 E ROSE LN PARADISE VALLEY 85253	4305 E ROSE LN PARADISE VALLEY AZ 85253
169-22-057	MANN REVOCABLE LIVING TRUST	4250 E KEIM DR PARADISE VALLEY 85253	3219 E CAMELBACK RD #832 PHOENIX AZ 85018
169-22-058	LOFTIN MARK C/NANCY C TR	4230 E KEIM DR PARADISE VALLEY 85253	4230 E KEIM DR PARADISE VALLEY AZ 85253

169-22-059	FERRERA MICHAEL L	6149 N HOGAHN DR PARADISE VALLEY 85253	6149 N HOGAHN DR PARADISE VALLEY AZ 85253
169-22-064	FUNKE BENJAMIN	4001 E KEIM DR PARADISE VALLEY 85253	4001 E KEIM DR PARADISE VALLEY AZ 85253
169-22-069	JULIE BINDER BLEW REVOCABLE TRUST	6028 N 41ST ST PARADISE VALLEY 85253	6028 N 41ST ST PARADISE VALLEY AZ 85253
169-22-070	6040 PV 41 LLC	6040 N 41ST ST PARADISE VALLEY 85253	6040 N 41ST ST PARADISE VALLEY AZ 85253
169-22-071	TELLES DAVID G/LINDA J	4055 E KEIM DR PARADISE VALLEY 85253	4055 E KEIM DR PARADISE VALLEY AZ 85253
169-22-072A	CATHERINE LAUBACH DICKEY TRUST	6235 N HOGAHN DR PARADISE VALLEY 85253	6235 N HOGAHN DR PARADISE VALLEY AZ 85253
169-22-073A	DAVID AND SHARI PRESS LIVING TRUST	6150 N HOGAHN DR PARADISE VALLEY 85253	6150 N HOGAHN DR PARADISE VALLEY AZ 85253
169-22-074A	GEIMER PAUL CHARLES/SUZANNE MARY	6175 N HOGAHN DR PARADISE VALLEY 85253	6175 N HOGAHN DR PARADISE VALLEY AZ 85253
169-22-076B	CHRIST CHURCH OF THE ASCENSION	4015 E LINCOLN DR PARADISE VALLEY 85253	4015 E LINCOLN DR PARADISE VALLEY AZ 85253
169-22-080C	STICKNEY FAMILY TRUST	6204 N HOGAHN CIR PARADISE VALLEY 85253	6204 N HOGAHN CIR PARADISE VALLEY AZ USA 85253
169-22-080D	VILLAREAL ROLANDO L/AMOR C TR	6220 N HOGAHN CIR PARADISE VALLEY 85253	6220 HOGAHN CIRCLE PARADISE VALLEY AZ 85253
169-22-080G	WILLIAMS BRAD/MASSARAND KATHY M	6219 N HOGAHN CIR PARADISE VALLEY 85253	6219 N HOGAHN CIRCLE PARADISE VALLEY AZ 85253
169-22-080H	ROSS JOHN	6203 N HOGAHN CIR PARADISE VALLEY 85253	6203 N HOGAHN CIR PARADISE VALLEY AZ 85253
169-22-082	ZATERMAN REVOCABLE TRUST NUMBER 1	4200 E MARLETTE AVE PARADISE VALLEY 85253	25 HUNTWICK LN ENGLEWOOD CO 80113
169-22-083	JAYACHANDRAN FAMILY TRUST	4212 E MARLETTE AVE PARADISE VALLEY 85253	4212 E MARLETTE AVE PARADISE VALLEY AZ 85253
169-22-084	GOLDBERG STANLEY J TR/GOLDBERG LOIS ANN TR	4226 E MARLETTE AVE PARADISE VALLEY 85253	4226 E MARLETTE AVE PARADISE VALLEY AZ 85253
169-22-085	AL SAYDEE TRUST	4240 E MARLETTE AVE PARADISE VALLEY 85253	4240 E MARLETTE AVE PARADISE VALLEY AZ 85253
169-22-086	SINGH/KAUR FAMILY TRUST	4252 E MARLETTE AVE PARADISE VALLEY 85253	4252 E MARLETTE AVE PARADISE VALLEY AZ 85253
169-22-087	KIRSTEN ROMMESMO FAMILY IRREVOCABLE TRUST	4260 E CLAREMONT AVE PARADISE VALLEY 85253	4401 MAIN AVE FARGO ND 58103
169-22-088	WOSABA CHARLES L/MEGAN S TR	4265 E CLAREMONT AVE PARADISE VALLEY 85253	4265 E CLAREMONT PARADISE VALLEY AZ 85253
169-22-089	HOLYOAK GARTH W/KATHLEEN K TR	4255 E CLAREMONT AVE PARADISE VALLEY 85253	4255 E CLAREMONT ST PARADISE VALLEY AZ 85253
169-22-090	RED PEPPER 68 HOLDINGS LLC	4245 E CLAREMONT AVE PARADISE VALLEY 85253	200 N PHILLIPS AVE STE 301 SIOUX FALLS SD USA 57104
169-22-091	CREASMAN FAMILY TRUST	6340 N 44TH ST PARADISE VALLEY 85253	6340 N 44TH ST PARADISE VALLEY AZ 85253
169-22-092	ROBERT L SCHWARTZ AND JILL SCHWARTZ TRUST	4334 E ROSE LN PARADISE VALLEY 85253	4334 E ROSE LN PARADISE VALLEY AZ 85253
169-22-093	BEUCHAT MICHAEL C	4320 E ROSE LN PARADISE VALLEY 85253	4320 E ROSE LN PARADISE VALLEY AZ 85253
169-22-094	PV ROSE LLC	4300 E ROSE LN PARADISE VALLEY 85253	272 RAVINE RD BIRMINGHAM MI 48009
169-22-095	POST WILLIAM J/MARY KAY TR	4235 E CLAREMONT AVE PARADISE VALLEY 85253	4235 E CLAREMONT AVE PARADISE VALLEY AZ 85253
169-22-096	KUSHMAUL WILLIAM E/CAROLE M	4225 E CLAREMONT AVE PARADISE VALLEY 85253	4225 E CLAREMONT PARADISE VALLEY AZ 85253
169-22-097	YK WELLNITZ LIVING TRUST	4211 E CLAREMONT AVE PARADISE VALLEY 85253	4211 E CLAREMONT AVE PARADISE VALLEY AZ 85253
169-22-098	WILLS RALPH C TR	4201 E CLAREMONT AVE PARADISE VALLEY 85253	4201 CLAREMONT ST PARADISE VALLEY AZ 85253
169-22-099	E & D FAMILY TRUST	6200 N 42ND ST PARADISE VALLEY 85253	6200 N 42ND ST PARADISE VALLEY AZ USA 85253
169-22-100	LLOYD RIJAY TR	6212 N 42ND ST PARADISE VALLEY 85253	6212 N 42ND ST PARADISE VALLEY AZ 85253
169-22-101	MRT LIVING REVOCABLE TRUST	6228 N 42ND ST PARADISE VALLEY 85253	520 W WAGON WHEEL DR PHOENIX AZ 85021
169-22-102	M3P TRUST	6300 N 42ND ST PARADISE VALLEY 85253	6300 N 42ND ST PARADISE VALLEY AZ 85253
169-22-103	GIMBEL NEAL I/NANCY F	6312 N 42ND ST PARADISE VALLEY 85253	6312 N 42ND ST PARADISE VALLEY AZ 85253
169-22-104	WL42 LLC	6324 N 42ND ST PARADISE VALLEY 85253	25255 N 90TH WY SCOTTSDALE AZ 85258
169-22-105	BOSCO MICHAEL A JR/KATHRYN G TR	6301 N 42ND ST PARADISE VALLEY 85253	6301 N 42ND ST PARADISE VALLEY AZ 85253-3910
169-22-107	ROSENBLUM GERALD A/MARIANNE TR	6201 N 42ND ST PARADISE VALLEY 85253	6201 N 42ND ST PARADISE VALLEY AZ 85253
169-22-108	LOUIS A AND RUTHIE D MORGAN TRUST	4214 E CLAREMONT AVE PARADISE VALLEY 85253	4214 E CLAREMONT AVE PARADISE VALLEY AZ 85253
169-22-109	AMS TRUST I	4228 E CLAREMONT AVE PARADISE VALLEY 85253	7520 N 1ST ST PHOENIX AZ 85020
169-22-110	KOHNNEN FAMILY TRUST	4250 E CLAREMONT AVE PARADISE VALLEY 85253	4250 E CLAREMONT PARADISE VALLEY AZ 85253
169-22-113	SS MISSOURI LLC	4231 E MARLETTE AVE PARADISE VALLEY 85253	333 E OSBORN RD STE 300 PHOENIX AZ 85012-2322
169-22-114	KELLY FAMILY REVOCABLE TRUST	4223 E MARLETTE AVE PARADISE VALLEY 85253	4223 E MARLETTE AVE PARADISE VALLEY AZ 85253
169-22-115A	GUGLIELMI JOSEPH M/BARBARA E TR	6225 N 42ND ST PARADISE VALLEY 85253	6225 N 42ND ST PARADISE VALLEY AZ 85253
169-22-116	HOUSE JOHN RANDLE/PROVENZANO NICOLE DENISE	4201 E MARLETTE AVE PARADISE VALLEY 85253	4201 E MARLETTE AVE PARADISE VALLEY AZ USA 85253
169-22-117	MINER FAMILY TRUST	4031 E CLAREMONT AVE PARADISE VALLEY 85253	4031 E CLAREMONT ST PARADISE VALLEY AZ 85253
169-22-118	JONES STEVEN M/KELLY	4021 E CLAREMONT AVE PARADISE VALLEY 85253	4021 E CLAREMONT AVE PARADISE VALLEY AZ 85253
169-22-119	APPLEBAUM IRV/BEAMISH RICHARD TR	4011 E CLAREMONT AVE PARADISE VALLEY 85253	7 VARDON PL WINNIPEG MB CANADA R3K1X2
169-22-120	LANFORD ROBERT A/KATHLEEN C	4001 E CLAREMONT AVE PARADISE VALLEY 85253	4001 E CLAREMONT AVE PARADISE VALLEY AZ 85253
169-22-121	PROEBSTLE LIVING TRUST	4002 E CLAREMONT AVE PARADISE VALLEY 85253	7 ROBB FARM RD NORTH OAKS MN 55127
169-22-122	REYNOLDS FAMILY TRUST	4012 E CLAREMONT AVE PARADISE VALLEY 85253	4012 E CLAREMONT ST PARADISE VALLEY AZ 85253
169-22-124	RICHMANN FAMILY TRUST/JANET JORDAN-RICHMANN 2012 GIFT TRUST	4002 E KEIM DR PARADISE VALLEY 85253	4002 E KEIM DR PARADISE VALLEY AZ USA 85253
169-22-125	HANLEY LEE T/NANCY R TR	4040 E KEIM DR PARADISE VALLEY 85253	2425 E CAMELBACK RD STE 750 PHOENIX AZ 85016
169-22-126	HOBBS FAMILY LIVING TRUST	6250 N HOGAHN DR PARADISE VALLEY 85253	6250 N HOGAHN DR PARADISE VALLEY AZ 85253
169-22-127	HOBBS FAMILY LIVING TRUST	6201 N HOGAHN DR PARADISE VALLEY 85253	6250 N HOGAHN DR PARADISE VALLEY AZ 85253
169-22-130	KLOVAR INVESTMENTS LLC	4241 E MARLETTE AVE PARADISE VALLEY 85253	4241 E MARLETTE AVE PARADISE VALLEY AZ 85253
169-22-131	RUSSELL AND BONNIE GREY FAMILY TRUST	4120 E MCDONALD DR PARADISE VALLEY 85253	4649 E LAFAYETTE BLVD PHOENIX AZ 85018
169-22-132	UNITARIAN UNIVERSALIST CONGREGATION OF PHOENI	4027 E LINCOLN DR PARADISE VALLEY 85253	4027 E LINCOLN DR SCOTTSDALE AZ 85253
169-22-133	DFX LLC	6245 N HOGAHN DR PARADISE VALLEY 85253	3200 E CAMELBACK RD STE 295 PHOENIX AZ 85018
169-46-035	TABRON LA JUNE M/AVERY D	6516 N HILLSIDE DR PARADISE VALLEY 85253	656 COUNTRY CLUB DR BATTLE CREEK MI 49015
169-46-036	KHS REVOCABLE TRUST I	4414 E LINCOLN DR PARADISE VALLEY 85253	7725 N FOOTHILL DR S PARADISE VALLEY AZ USA 85253
169-52-021	TULI PARAMVIR SINGH/PRITPAL KAUR	6501 N 40TH PL PARADISE VALLEY 85253	6501 N 40TH PL PARADISE VALLEY AZ 85253
169-52-022	THONGTRANGAN KATE/ISSADA	4070 E LINCOLN DR PARADISE VALLEY 85253	4070 E LINCOLN DR PARADISE VALLEY AZ 85253
169-52-023	ALWAY MARK D	6520 N 41ST ST PARADISE VALLEY 85253	6520 N 41ST ST PARADISE VALLEY AZ 85253
169-52-028	LDK TRUST	6519 N 41ST ST PARADISE VALLEY 85253	6519 N 41ST ST PARADISE VALLEY AZ USA 85253
169-52-029	HTH REVOCABLE TRUST	6501 N 41ST ST PARADISE VALLEY 85253	6501 N 41ST ST PARADISE VALLEY AZ USA 85253
171-07-022	TMT TRUST	4120 E PALO VERDE DR PHOENIX 85018	4120 E PALO VERDE DR PHOENIX AZ 85018
171-07-023	MCIVER ROBERT C/KRISTINE H	4130 E PALO VERDE DR PHOENIX 85018	4130 E PALO VERDE DR PHOENIX AZ 85018
171-07-024	WILSON SARA/CHAD A	4136 E PALO VERDE DR PHOENIX 85018	4136 E PALO VERDE DR PHOENIX AZ 85018
171-51-020	COVILL RENSHAW REVOCABLE TRUST	4202 E PALO VERDE DR PHOENIX 85018	4202 E PALO VERDE DR PHOENIX AZ 85018
171-51-021	NELSON DEWAYNE RAY III/ANDREA LYNN	4250 E PALO VERDE DR PHOENIX 85018	4250 E PALO VERDE DR PHOENIX AZ 85018
171-51-022	NICOLE L BIDWILL REVOCABLE TRUST	4218 E PALO VERDE DR PHOENIX 85018	4218 E PALO VERDE DR PHOENIX AZ 85018
171-51-023	PEDULLA MICHAEL RAYMOND/AMY GIVEN	4226 E PALO VERDE DR PHOENIX 85018	4226 E PALO VERDE DR PHOENIX AZ 85018
171-51-024	FREELINGOS ELESSA	4302 E PALO VERDE DR PHOENIX 85018	PO BOX 7944 CHANDLER AZ 85246
171-51-025	RALSTON WILLIAM/BURKARD MARTHA	4310 E PALO VERDE DR PHOENIX 85018	4310 E PALO VERDE DR PHOENIX AZ USA 85018
171-51-026	BRADFORD CHRISTOPHER D/SARAH M	4316 E PALO VERDE DR PHOENIX 85018	4316 E PALO VERDE DR PHOENIX AZ 85018
171-51-027	SZATKOWSKI CHRISTPOHER LEE/COHEN HEATHER S	4322 E PALO VERDE DR PHOENIX 85018	4322 E PALO VERDE DR PHOENIX AZ 85018
171-51-039	MARIA C OSPINA TRUST	4309 E PALO VERDE DR PHOENIX 85018	4309 E PALO VERDE DR PHOENIX AZ USA 85018
171-51-040B	MCELLELLAN THOMAS W	4301 E PALO VERDE DR PHOENIX 85018	4301 E PALO VERDE DR PHOENIX AZ 85018
171-51-041	KIMBALL BRUCE ARNOLD/LAUREL H TR	4221 E PALO VERDE DR PHOENIX 85018	4221 E PALO VERDE DR PHOENIX AZ 85018
171-51-074A	DE LEON EZEQUIEL/MICHELLE	4333 E MCDONALD DR PHOENIX 85018	355 HIDDEN FALLS LAREDO TX 78041



REA
POSAL
-515-4300

**NOTICE OF
HEARING**
TOWN OF PARADISE VALLEY
4211 E. Claremont Ave.
Penalty for not doing so prior to date of hearing
shall be
for this date.

4211

AFFIDAVIT OF POSTING

STATE OF ARIZONA)

) ss:

County of Maricopa)

I, Yeali Wellnitz, depose and state that the attached notice, of proposed application Review of path & sitting Area w/ Sonoran Desert Vegetation located at 4211 E. Claremont Ave for the (Planning Commission/Town Council/Board of Adjustment/Hillside Committee) meeting date of May 11th, 2022, is a true and correct copy of a notice which I cause to be posted by the following day of the week _____, and on the following date May 3rd, 2022 in the following location(s):

4211 E. Claremont Ave.
Paradise Valley, AZ 85253

All in the Town of Paradise Valley, Arizona and County and State aforesaid, the same being public places in said County and in the following locations:

All to the Town of Paradise Valley, Arizona and County and State aforesaid.

DATED this 3rd day of May, 2022.

Signature

Yeali Wellnitz

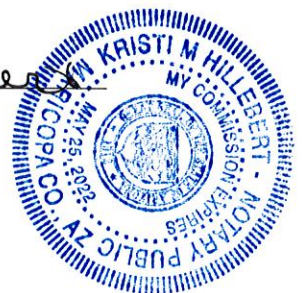
This affidavit was SUBSCRIBED AND SWORN to before me this 3rd day of May, 2022.

Kristin Hillbert

NOTARY PUBLIC

My commission expires:

May 25, 2022



4211 E. Claremont Project Update

Based upon feedback from the May 11, 2022 meeting with the Paradise Valley Hillside Building Committee we propose the following updates to our original plan:

- 1) Treat the DC Cobble rocks to darken their color.
 - a. Permeon is another mentioned product. Reached Eric Tyler and Tyler Mefferd to obtain additional product information.
 - b. Natina is a local firm with an available product, a "natural rock stain". I have a cost estimate and application notes.
 - c. The firm in charge of our path has recommended a stain available via Marvel Building Supply.
- 2) Remove all 13 vegetation lights from the visible portion of the path. Only 5 path lights will remain on the portion of the path visible from neighbors. Note, the path adjacent the east side of the home is below the elevation of the home and the soil.
- 3) Rake the entire disturbed area to integrate the rock and soil for a more natural look.
- 4) Replace the planned vegetation with a native seed mix. Currently seeking a "Desert Mountain Seed Mix" or "Sonoran Desert Shrub Seed Mix" from Native Seeds and Cactus Store.

1) The Project

- a. Lot 16 of Clearview Edition subdivision
- b. Lot Area: 44,935 sq ft or 1.03 acres, per Maricopa County Assessor's Office
- c. Disturbed Area Info
 - **Building Pad Slope: 7.2%**
 - Vertical: 12.5 feet
 - Horizontal: 173 feet
 - **Site Slope: 7.4%**
 - Vertical: 20 feet
 - Horizontal: 271 feet (shortest)
 - **Allowable Disturbed Area per Table 1, Article XXII: 60% for a 10% slope**
 - Allowable Disturbed Area: 26,961 sq ft
 - Existing Disturbed Area including Total Livable Footprint, Garage, and Driveway:
 - 23,817 sq ft
 - 53%
 - **Proposed Additional Disturbed Area: 1732 sq ft**
 - 309 ft path, 5 ft wide: 1545 sq ft
 - Two 3 ft x 3 ft trees: 18 sq ft
 - Paver pad: 169 sq ft
 - **Net Proposed Disturbed Area Calculation: 17,200 sq ft or 38.2%**
 - Proposed Gross Disturbed Area: 25,549 sq ft
 - Subtract Total Livable Footprint: 6612 sq ft
 - Subtract Attached Garage Footprint: 1737 sq ft
 - Subtract Driveway Credit (50% of total area): 0 sq ft
 - Equals Net Proposed Disturbed Area: 17,200 sq ft or 38.2%
- d. Natural Path out to an open area to view Phoenix Mountain Preserve
 - i. No change in grade/slope or elevation.
 - ii. Strongly encourages humans to stay on the path and avoid the natural vegetation, rocks, etc.
 - iii. Outlined with DC Cobble Rip Rap (same used on 6149 E. Indian Bend and approved by Hillside Committee). This local rock matches some of the natural rock and "gravel" colors. Drainage can and will flow around the edges of each rock. → The DC Cobble will be treated to darken their color.
 - iv. Similar to paths in Desert Botanical Gardens, Phoenix Mountain Preserve, etc.
 - v. Path location winds to avoid most vegetation and not disturb cactus, palo verde and creosote.
 - vi. Add ~0.25" ¼ minus to slightly smooth the path.

- e. Steps to provide a more stable path
 - i. Step is made from DC Cobble
 - ii. Conform to the terrain grade and elevation. These are not classic steps with an approximate 6" Tread Depth (vertical rise) and a horizontal top surface. These steps have a rise of 3-6" and the horizontal surface and ascending path match the terrain grade.
- f. Natural looking sitting area
 - i. Mega Libre pavers of Bella color. This color clearly matches the surrounding natural dirt/rock. The pavers have been cut such that the resulting paver area is a natural looking feature (not square, rectangular, circular and without typical man-made edges).
 - ii. Two "love seats" of bronze metallic finish, very narrow metal construction to minimize the viewable area. They have no glare or reflection and have no cloth or wood surface.
 - iii. The intent is to sit or stand and enjoy the view. No other structures, firepits, etc.
- g. Revegetate with Native Seed Mix
- h. Add Low Voltage Lighting, compliant with section 2208.
 - i. 12 Total low voltage lights, <0.25fc 10' from fixture, <0.25fc at property line, >10' from property line, <250 lumens, all mounted, no up-lights.
- i. Remove silt from a natural desert swale.
 - i. Remove silt and sand from natural swale.
 - ii. This swale is ~3" deep. Natural lining (no rip rap or gravel).



Feature Information

(1 of 1)

Clear ?

169-22-097

Owner Information

Owner Name: YK WELLNITZ LIVING TRUST
Property Address: 4211 E CLAREMONT AVE PARADISE VALLEY 85253
Mailing Address: 4211 E CLAREMONT AVE PARADISE VALLEY AZ 85253
Deed Number: 200300426
Sale Date: 04/1/2020
Sale Price: \$2,095,000

Property Information

Lat/Long: 33.528210, -111.989429
S/T/R: 7 2N 4E
Jurisdiction: PARADISE VALLEY
Zoning: R-43
PUC: 0171
Lot Size (sq ft): 44935
MCR #: 195-46
Subdivision: CLEARVIEW EDITION
Lot #: 16
Floor: 1
Construction Year: 1994
Living Space (sq ft): 5,676

Valuation Information

Tax Year:	2022	2021
FCV:	\$2,080,800	\$1,961,200
LPV:	\$2,005,722	\$1,910,211
Legal Class:	3.1	3.1



[Zoom to](#)

...



- Current Gross Disturbed Area 23,817 sq ft





Action Report

File #: 22-239

To: Hillside Building Committee

From: Hugo Vasquez; Hillside Development Administrator Jose Mendez; Hillside Development Planner

Date: June 8th, 2022

Subject: Combined review of a natural-looking path and sitting area with Sonoran Desert vegetation 4211 E Claremont Avenue (APN: 169-22-097). (continued)

Narrative: The proposed project shall construct a sitting area and path with additional landscaping and landscape/pathway lighting. The new project has an application date of October 4th, 2021 and will be reviewed under the current Hillside Development Regulations.

Lot Data		
1.	Area of Lot	1.032 ac or 44,935 ft ²
2.	Area Under Roof	No Change
3.	Floor Area Ratio	No Change
4.	Building Site Slope	7.20%
5.	Allowable Disturbed Area	26,961 ft ² (60.00%)
6.	Existing Net Disturbed Area	15,468 ft ² (34.42%)
7.	Proposed Net Disturbed Area	17,200 ft ² (38.28%)
8.	Maximum Building Height	No Change
9.	Overall Height	No Change
10.	Volume of Cut/Fill	No Change
11.	Hillside Assurance	\$0

Background

The property contains a single family residence originally constructed in 1994. The Town was recently notified that the property had created a landscaped path and created disturbances without hillside approval. The applicant intends to complete the landscaped path, landscaping, and lighting if approved by the Hillside Building Committee. The Hillside Building Committee elected to continue the application during the May 11th, 2022 meeting after providing feedback to the applicant. The applicant has now proposed reduced the scope of work and has also proposed additional desert varnish treatment to the DC cobble rip rap.

Hardscape

A mix of gray and brown pavers (LRV 12-37), DC cobble rip rap, and decomposed granite (Madison Gold) are proposed for the walking path and sitting area surfaces taking 1,732 ft² of disturbance. DC cobble rip rap has been proposed for the path border. The applicant has proposed to use Natina desert varnish (or equivalent) to blend the DC cobble rip rap

more effectively to the surrounding area. All materials shall have an LRV of 38 or less.

Landscape Lighting

Proposed landscape lighting shall be provided by four (4) downward aimed spotlights (164 lumens actual / 250 lumens allowable) on the steeper steps along the east side of the residence and eight (8) path lights (150 lumens actual / 250 lumens allowable). The applicant previously proposed the use of seventeen (17) downward-aimed spotlights (164 lumens actual / 250 lumens allowable) and eight (8) path lights (150 lumens actual / 250 lumens allowable). All light sources shall have a maximum color temperature of 3000K.

Landscaping

The applicant shall provide a native desert seed mix to the area in lieu of the previously proposed landscaping. Landscape vegetation previously proposed is provided on the table below:

Cacti / Accents / Shrubs	Cacti / Accents / Shrubs	Cacti / Accents / Shrubs
Hopseed Bush	Purple Sage	Golden Barrel
Desert Spoon	Yellow Bells	Training Lantana
Organ Pipe	Native Mesquite	Mexican Bird of Paradise
Trailing Purple Lantana	Argentine Cerus	Yucca Alfolia
Agave		

Land Disturbance

An existing net disturbance of 34.42% (15,468 ft²) currently exists on the lot and the building pad slope of 7.20% allows a disturbance of 60.00% (26,961 ft²) the lot. The applicant has proposed a net disturbed area of approximately 38.28% (17,200 ft²), which is less than the allowable disturbance.

Grading and Drainage

No grading work has been proposed. The applicant shall construct the path in a manner that does not negatively affect storm water flow. If future grading work is required, the applicant shall submit a grading permit applicant for review.

Sewer

The property has an existing connection to a public sewer system.

Hillside Safety Improvement Plan

The applicant was not required to submit a Hillside Safety Improvement Plan based on the proposed scope of work.

Combined Plan Review

Should the Hillside Committee wish to approve this application, staff suggests the following stipulations:

1. Any changes to the Hillside-approved plans may result in delays in permit plan review and inspection processes. Any proposed changes should be reported to the Staff to determine compliance with Hillside Development Regulations. Changes may be subject to a Staff, Chair, or Committee review.
2. The Applicant shall submit a Construction Staging Plan to the Town per the Hillside Safety Improvement Measures and Process Manual for review and approval prior to being issued a building permit.
3. The Applicant shall submit a liability insurance policy for the proposed project in the amount of \$2 million per occurrence and \$5 million aggregate naming the Town of Paradise Valley as an additional insured prior to being issued a building permit.

4. Prior to issuance of a permit, the Applicant shall submit a Hillside Assurance in the amount of \$0.
5. All construction parking shall be located on the property as much as possible. Any offsite parking shall be confined to the adjacent streets along the immediate property frontage. All offsite parking shall be located on the same side of the street. No construction materials will be allowed to be stored on the Town's right-of-way.
6. All recommendations provided in the Safety Improvement Plan shall be followed by the applicant. An Arizona Registered Engineer contracted by the applicant shall review, for compliance with the recommendations provided in the Safety Improvement Plan, the proposed plans prior to submitting for a permit. The contracted Arizona Registered Engineer shall provide a sealed letter stating that the plans submitted are in accordance with the Safety Improvement Plan. Any field work related to the Safety Improvement Plan, including but not limited to rock bolting, rock cuts, mesh placement, and boulder stabilization methods, shall be inspected by a qualified Special Inspector contracted by the applicant. The qualified inspector shall be required to provide a written verification that the improvements were completed per plan prior to the final approval.
7. No final approval or certificate of occupancy shall be issued until all Hillside stipulations and all Town Code requirements are complied with, including, but not limited to, landscaping, fire flow, fire safety and all onsite and offsite improvements.
8. The limits of construction and proposed disturbed areas shall be clearly staked in the field, with visible roping, prior to demolition and during construction and shall conform to the approved individual site analysis plan. Photos of the staking shall be provided prior to issuance of a demolition and/or building permit.
9. Noise from construction that can be heard off-site, including, but not limited to, hydraulic ram hammers, equipment used to cut through rock, machinery with audible back-up warning devices, powered machinery, truck delivery and idling, constant and persistent hammering, shall comply with Article 8-10, Nuisance Noise, as set forth in the Town Code. Heavy Equipment and construction-related deliveries are generally limited between the hours of 7:00 a.m. and 5:00 p.m. Monday through Friday; no work on Saturday, Sunday or legal holidays. Exceptions include a one hour early start time in summer, time exceptions granted by the Town Manager, and construction not defined as Heavy Equipment or deliveries that can occur outside the 7:00 a.m. to 5:00 p.m., Monday through Friday, time frame.
10. The Hillside Building Committee review is not a complete building permit review of grading and drainage plans. Additional comments may be generated during the building permit review process. Offsite improvements such as curb installation may be required during the permitting process.
11. Desert varnish, such as Eonite or equivalent, shall be provided on all exposed rock cuts.
12. Natural stone selections shall not exceed the maximum allowable LRV of 38, unless explicitly approved by the Hillside Building Committee. Care should be taken when selecting to ensure that the maximum LRV is not exceeded. Failure to comply with may result in delays obtaining a Certificate of Occupancy.
13. A landscape as-built plan shall be provided by the landscape designer at the time of the Final Hillside inspection and prior to the issuance of a Certificate of Occupancy. See Stipulation #1 for more information.
14. A suitable desert seed mix shall be provided for all undisturbed areas requiring revegetation and all retention basins. Any existing non-native fountain or buffel grasses shall be removed from the property.



Maricopa County Assessor's Office Parcel Viewer



4211 E CLAREMONT AVE



Show search results for 4211 E CLARE...



Feature Information

(1 of 1)

Clear



169-22-097

Owner Information

Owner Name: YK WELLNITZ LIVING TRUST
Property Address: 4211 E CLAREMONT AVE PARADISE VALLEY 85253
Mailing Address: 4211 E CLAREMONT AVE PARADISE VALLEY AZ 85253
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Sale Price: \$2,095,000

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S/T/R: 7 2N 4E
Jurisdiction: PARADISE VALLEY
Zoning: R-43
PUC: 0171
Lot Size (sq ft): 44935
MCR #: 195-46
Subdivision: CLEARVIEW EDITION
Lot #: 16
Floor: 1
Construction Year: 1994
Living Space (sq ft): 5,676

Valuation Information

Tax Year:	2022	2021
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LPV:	\$2,005,722	\$1,910,211
Legal Class:	3.1	3.1



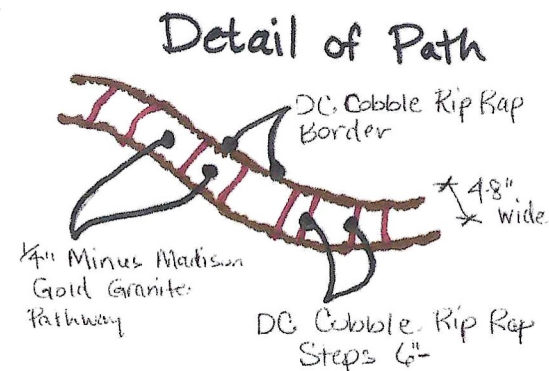
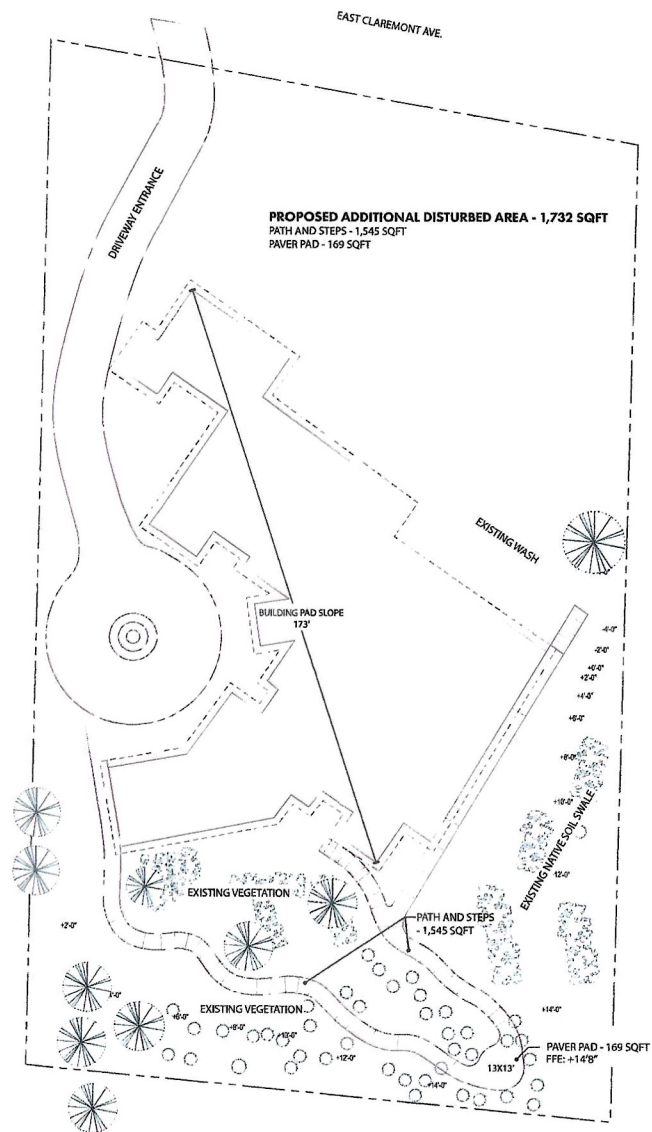
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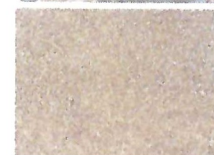


- Current Gross Disturbed Area 23,817 sq ft





Note: 13'x13' Paver Pad at
top is Mega-Libre
Bella Color
Non Reflective Paver





1 SITE PLAN
SCALE: 1/16" = 1'-0"

SITE PLAN

 1/16" = 1'-0"

4211 EAST CLAREMONT AVE. PARADISE VALLEY AZ 85253

LIGHTING KEY

SYM	QTY	NAME
	4 4	VEGETATION LOW VOLTAGE LIGHT. LEONLITE 4WLED GRANDEN LIGHT 3000K, 164 LUMENS, BRONZE
	8	PATH LIGHTS. MOON RAYS LOW VOLTAGE, RUBBED BRONZE 2700K, 150 LUMENS

Moonrays 95804 Cable - Galena Landscape Low Volt Lights, Rubbed, Bronze mushroom path lights



Technical Details

Brand	Moonrays
Manufacturer	Moonrays
Part Number	95804
Item Weight	14.4 pounds
Product Dimensions	11 x 6.75 x 6.75 inches
Country of Origin	China
Item model number	60854
Assembled Height	6.75 inches
Assembled Length	11 inches
Assembled Width	6.75 inches
Item Package Quantity	1
Style	Garden
Color	Bronze
Material	Steel
Finish Type	Bronze
Included Components	Electrical & Wiring Plug Electrical adapter cable
Voltage	12 Volts
Shield Material	Plastic, Aluminum
Power Source	Corded-electric
Batteries Included?	No
Warranty	11 watts (150 Lumens) Incandescent light bulbs

LEONLITE 4W LED Landscape Spotlight, AC/DC 12V Low Voltage Garden Lights, IP65 Waterproof Non-Dimmable, ETL Listed, Bronze Aluminum Housing, 3000K Warm White



Technical Details

Color/Warm White (3000K)	
Manufacturer	LEONLITE
Part Number	74790
Item Weight	11.2 ounces
Product Dimensions	4.75 x 3.03 x 11.73 inches
Country of Origin	China
Item model number	74790
Size	6 Pack
Color	Warm White (3000K)
Style	Modern
Finish	Aluminum/Glass
Material	Aluminum, Polycarbonate
Power Source	AC/DC
Voltage	12 Volts
Wattage	4 watts
Type of Bulb	LED
Luminous Flux	164 Lumens
Plug Profile	Surface
Special Features	46,000hrs long lifespan, ETL Listed landscape



2 LANDSCAPE PLAN
SCALE: 1/8" = 1'-0"

LANDSCAPE PLAN

4211 EAST CLAREMONT AVE. PARADISE VALLEY AZ 85253

1/8" = 1'-0"

[illegible]

Aerial photo, 1/2



Aerial photo, 2/2



- South West Stake
 - Facing North Along West Lot Line



- Facing North East



- Facing East Along South Lot Line



- South Lot Line Stake, corner stake for Lot 57 & Lot 56 on E. Keim Drive.
 - Facing West Along South Lot Line



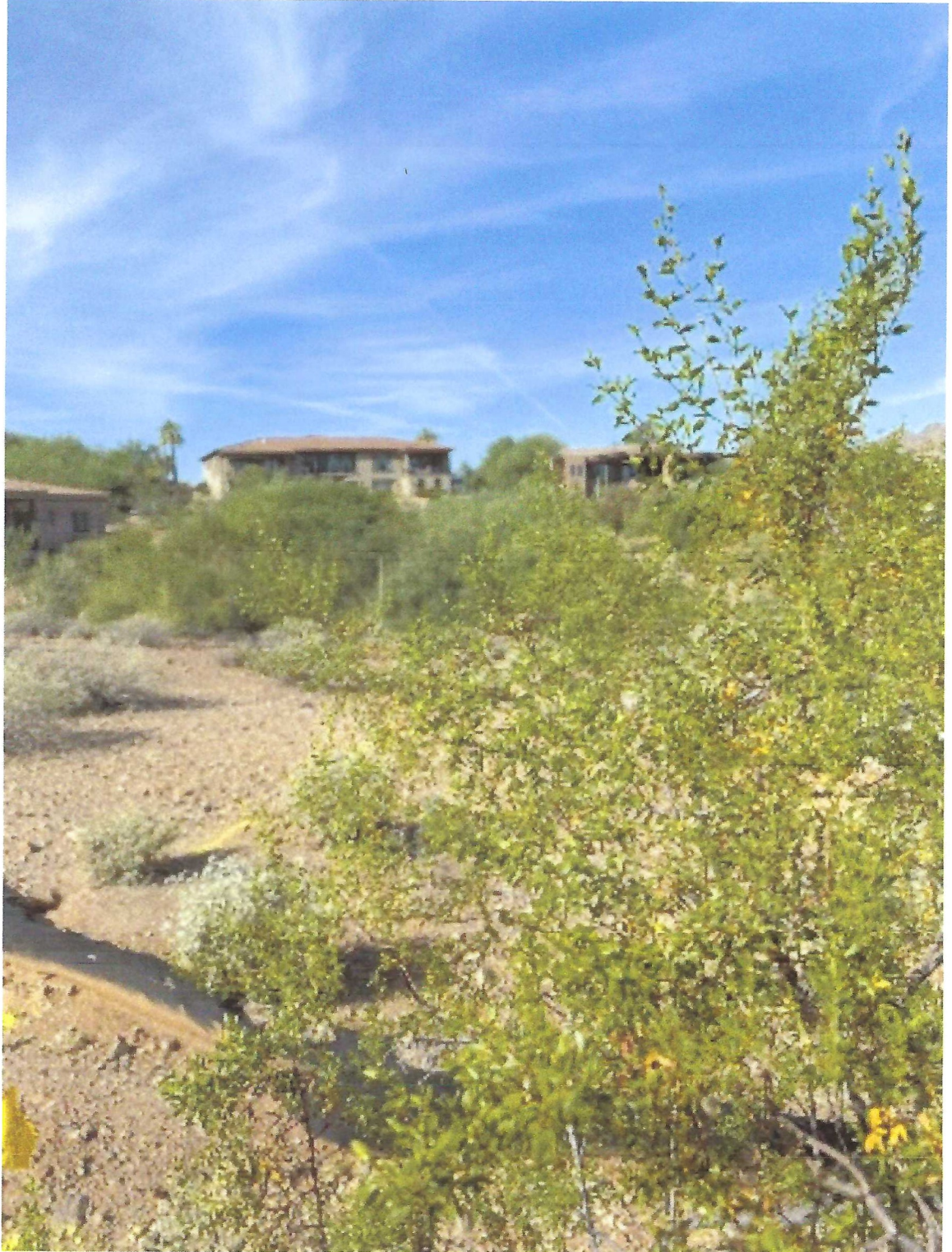
- Facing North



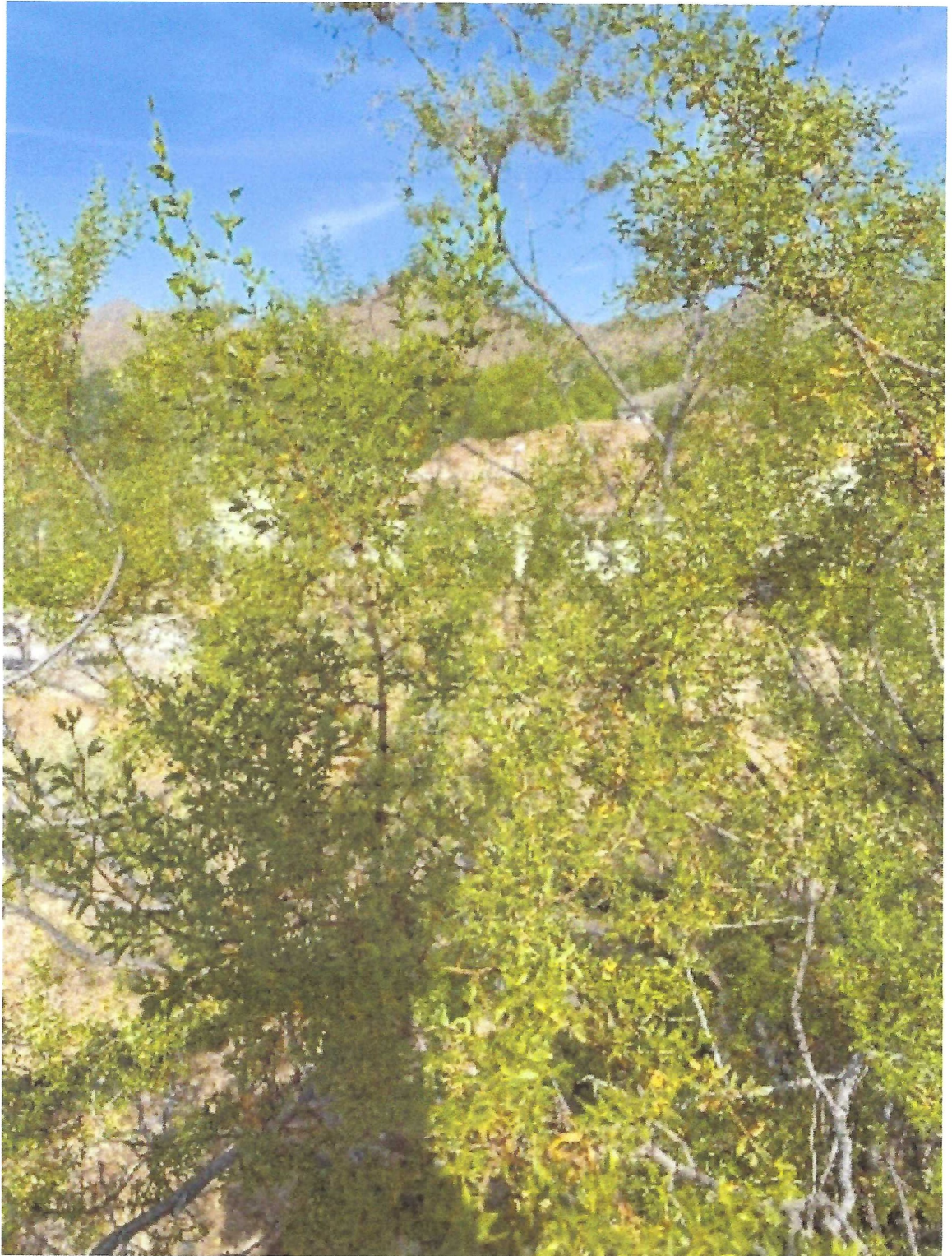
- Facing East Along South Lot Line



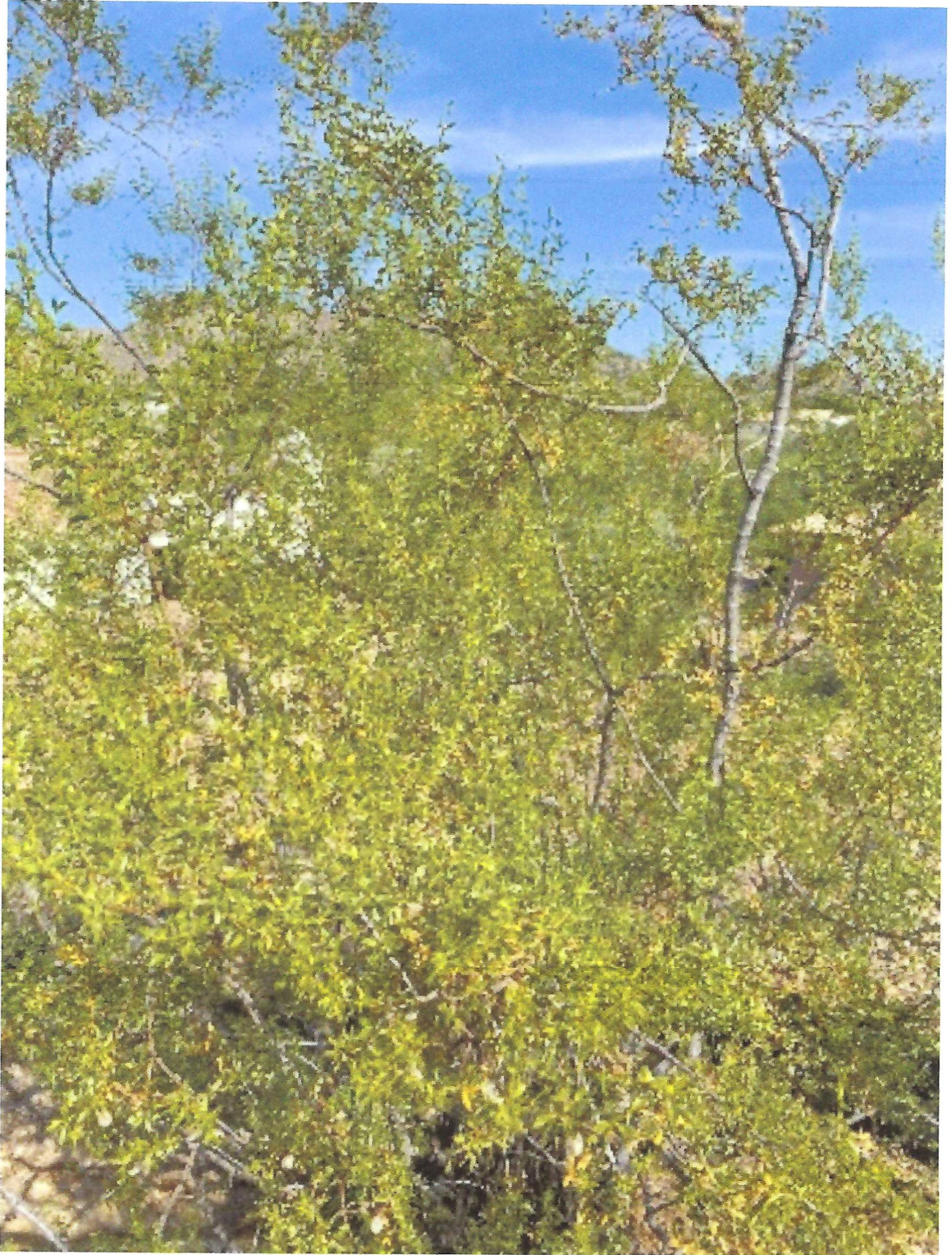
- South East Stake; all views blocked by Creosote bush
 - Facing West Along South Lot Line



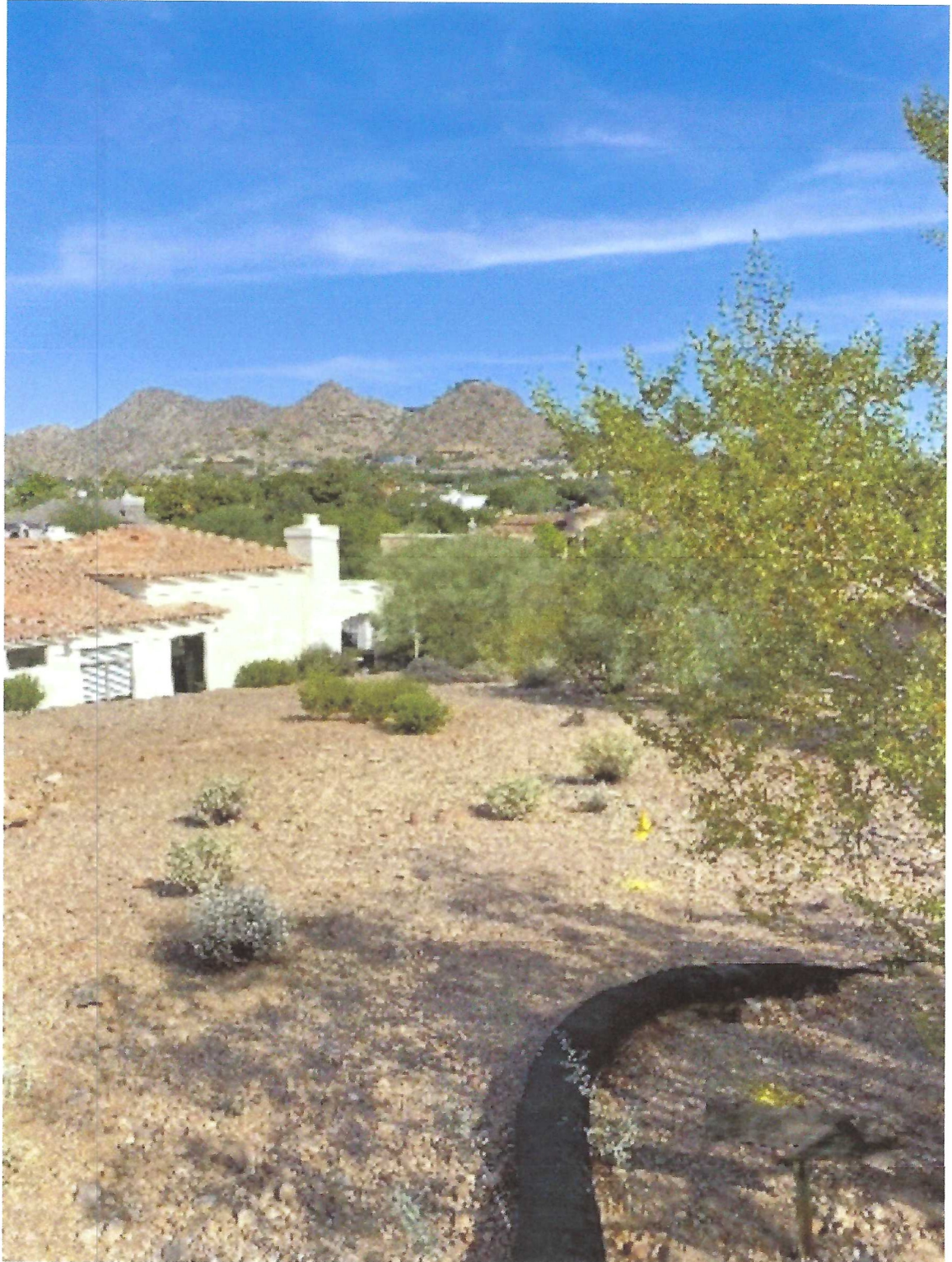
- Facing North West



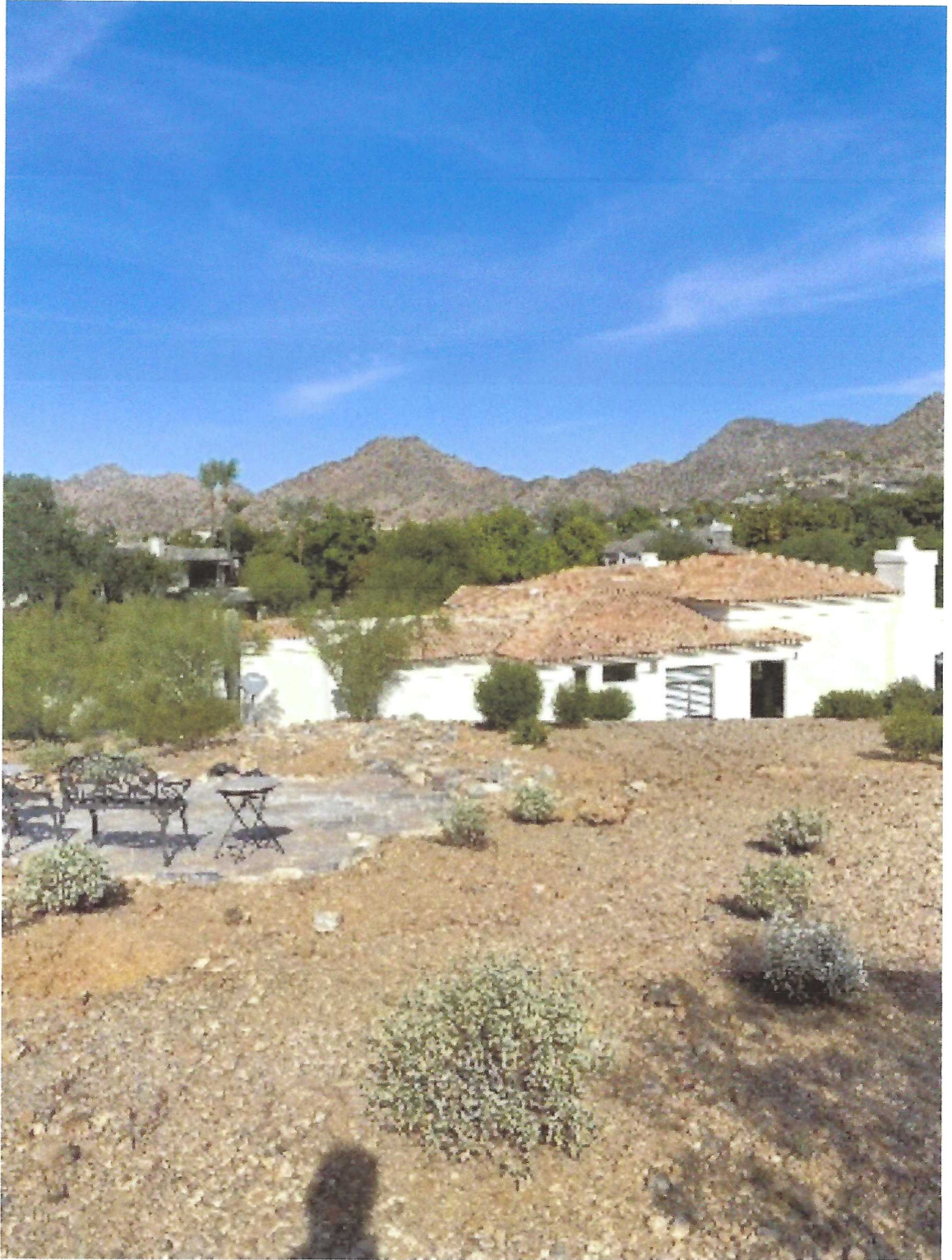
- Facing North Along East Lot Line



- To the side of Creosote bush by South East Stake
 - Facing Towards the East Lot Line



- Facing North West



- Facing West Along South Lot Line



- Natural Swale East of Home



○

4211 E. Claremont Project Narrative

- Overview:
 - We are in a mini valley. To view our property on the south side of the home, a person must look down from an adjacent property or use binoculars from a hillside property north of Lincoln.
 - The building pad slope and property slope are less than 10%.
 - We are not materially changing the grade/slope or elevation.
 - The Project Plan
 - Outline a natural looking path from the home to an open area to view the mountains.
 - Add a natural looking sitting area.
 - Add Sonoran Desert approved vegetation.
 - Add Low Voltage Lighting, section 2208 compliant.
 - Add Irrigation for the vegetation.
 - Remove silt from a natural desert wash.
 - We are avoiding most vegetation, especially classic desert (cactus, palo verde and creosote) vegetation.
 - We are not removing rocks, boulders or dirt from the property.

1) The Project

- a. Lot 16 of Clearview Edition subdivision
- b. Lot Area: 44,935 sq ft or 1.03 acres, per Maricopa County Assessor's Office
- c. Disturbed Area Info
 - **Building Pad Slope: 7.2%**
 - Vertical: 12.5 feet
 - Horizontal: 173 feet
 - **Site Slope: 7.4%**
 - Vertical: 20 feet
 - Horizontal: 271 feet (shortest)
 - **Allowable Disturbed Area per Table 1, Article XXII: 60% for a 10% slope**
 - Allowable Disturbed Area: 26,961 sq ft
 - Existing Disturbed Area including Total Livable Footprint, Garage, and Driveway:
 - 23,817 sq ft
 - 53%
 - **Proposed Additional Disturbed Area: 1732 sq ft**
 - 309 ft path, 5 ft wide: 1545 sq ft
 - Two 3 ft x 3 ft trees: 18 sq ft
 - Paver pad: 169 sq ft
 - **Net Proposed Disturbed Area Calculation: 17,200 sq ft or 38.2%**
 - Proposed Gross Disturbed Area: 25,549 sq ft
 - Subtract Total Livable Footprint: 6612 sq ft
 - Subtract Attached Garage Footprint: 1737 sq ft
 - Subtract Driveway Credit (50% of total area): 0 sq ft
 - Equals Net Proposed Disturbed Area: 17,200 sq ft or 38.2%
- d. Natural Path out to an open area to view Phoenix Mountain Preserve
 - i. No change in grade/slope or elevation.
 - ii. Strongly encourages humans to stay on the path and avoid the natural vegetation, rocks, etc.
 - iii. Outlined with DC Cobble Rip Rap (same used on 6149 E. Indian Bend and approved by Hillside Committee). This local rock matches some of the natural rock and "gravel" colors. Drainage can and will flow around the edges of each rock.
 - iv. Similar to paths in Desert Botanical Gardens, Phoenix Mountain Preserve, etc.
 - v. Path location winds to avoid most vegetation and not disturb cactus, palo verde and creosote.
 - vi. Add ~0.25" ¼ minus to slightly smooth the path.

- e. Steps to provide a more stable path
 - i. Step is made from DC Cobble
 - ii. Conform to the terrain grade and elevation. These are not classic steps with an approximate 6" Tread Depth (vertical rise) and a horizontal top surface. These steps have a rise of 3-6" and the horizontal surface and ascending path match the terrain grade.
- f. Natural looking sitting area
 - i. Mega Libre pavers of Bella color. This color clearly matches the surrounding natural dirt/rock. The pavers have been cut such that the resulting paver area is a natural looking feature (not square, rectangular, circular and without typical man-made edges).
 - ii. Two "love seats" of bronze metallic finish, very narrow metal construction to minimize the viewable area. They have no glare or reflection and have no cloth or wood surface.
 - iii. The intent is to sit or stand and enjoy the view. No other structures, firepits, etc.
- g. Add Sonoran Desert approved vegetation, referencing Town of Paradise Valley Landscape Guidelines.



Susanna (602)570-2224

Chilo (602)405-6815

Arizonalandscape.com
 Susanna@azlandpool.com
 1701 E Campo Bello Dr
 Phx. Az. 85022

QTY - Plant Legend - Botanical Name - Size

- 9 Hopsed Bush - *Dodonaea viscosa* - 5 gallon
- 6 Purple Sage Chihuahua - *Leucophyllum laevigatum* - 5 gallon
- 27 Golden Barrel Cactus - *Echinocactus grusonii* - 5 gallon
- 6 Smooth Blade Desert Spoon - *Dasylistrion wheeleri* - 5 gallon
- 14 Yellow Bells - *Tecoma stans* - 5 gallon
- 7 Lantana Trailing - *Lantana montevidensis* goldmound 5 gallon
- 8 Organ Pipe Cactus - *Stenocereus thurberi* - 5 gallon
- 2 Native or Velvet Mesquite - *Prosopis juliflora* or *velutina* - 25 gallon
- 12 Mexican Bird of Paradise - *Caesalpinia gilliesii*
- 6 Trailing Purple Lantana - *Lantana montevidensis* 5 gallon
- 12 Argentine Cereus - *Trichocereus* spp - 5 gallon
- 14 Yucca Alfolia - *Aloifolia* - 5 gallon
- 11 Agave - *Parryi* - 5 gallon

- h.
 - i.
- i. Add Low Voltage Lighting, compliant with section 2208.
 - i. 25 Total low voltage lights, <0.25fc 10' from fixture, <0.25fc at property line, >10' from property line, <250 lumens, all mounted, no up-lights.
 - 1. 7 of the 25 low voltage lights shielded from outside view by the home and property grade.
 - 2. 17 low voltage lights for low illumination of vegetation or boulders/terrain.
 - 3. 8 of the 25 low voltage lights are randomly placed walkway lights.
 - 4. No lights to illuminate the property walls or home.
- j. Remove silt from a natural desert swale.
 - i. Remove silt and sand from natural swale.
 - ii. This swale is ~3" deep. Natural lining (no rip rap or gravel).

2) Vegetation in the area that will not be impacted:

- a. Brittle Bush – some
- b. Triangle Bursage (ragweed) - lots
- c. White Ratany – 1
- d. Buck-horn/Teddy Bear Cholla – 2
- e. Saguaro - 2
- f. Creosote – ~8
- g. Purple Rock Cress, aka Texas Sage - ~8
- h. Natural Palo Verde - ~10
- i. Rainbow Cactus – 1
- j. Strawberry Hedgehog Cactus – 2



Feature Information

(1 of 1)

Clear ?

169-22-097

Owner Information

Owner Name: YK WELLNITZ LIVING TRUST
Property Address: 4211 E CLAREMONT AVE PARADISE VALLEY 85253
Mailing Address: 4211 E CLAREMONT AVE PARADISE VALLEY AZ 85253
Deed Number: 200300426
Sale Date: 04/1/2020
Sale Price: \$2,095,000

Property Information

Lat/Long: 33.528210, -111.989429
S/T/R: 7 2N 4E
Jurisdiction: PARADISE VALLEY
Zoning: R-43
PUC: 0171
Lot Size (sq ft): 44935
MCR #: 195-46
Subdivision: CLEARVIEW EDITION
Lot #: 16
Floor: 1
Construction Year: 1994
Living Space (sq ft): 5,676

Valuation Information

Tax Year:	2022	2021
FCV:	\$2,080,800	\$1,961,200
LPV:	\$2,005,722	\$1,910,211
Legal Class:	3.1	3.1



[Zoom to](#)

...



- Current Gross Disturbed Area 23,817 sq ft





Action Report

File #: 22-197

To: Hillside Building Committee

From: Hugo Vasquez; Hillside Development Administrator Jose Mendez; Hillside Development Planner

Date: May 11th, 2022

Subject: Combined review of a natural-looking path and sitting area with Sonoran Desert vegetation 4211 E Claremont Avenue (APN: 169-22-097).

Narrative: The proposed project shall construct a sitting area and path with additional landscaping and landscape/pathway lighting. The new project has an application date of October 4th, 2021 and will be reviewed under the current Hillside Development Regulations.

Lot Data		
1.	Area of Lot	1.032 ac or 44,935 ft ²
2.	Area Under Roof	No Change
3.	Floor Area Ratio	No Change
4.	Building Site Slope	7.20%
5.	Allowable Disturbed Area	26,961 ft ² (60.00%)
6.	Existing Net Disturbed Area	15,468 ft ² (34.42%)
7.	Proposed Net Disturbed Area	17,200 ft ² (38.28%)
8.	Maximum Building Height	No Change
9.	Overall Height	No Change
10.	Volume of Cut/Fill	No Change
11.	Hillside Assurance	\$0

Background

The property contains a single family residence originally constructed in 1994. The Town was recently notified that the property had created a landscaped path and created disturbances without hillside approval. An additional comment was made regarding the native landscaping that was removed from the site and that the residence was painted in a non-conforming color (white). The applicant intends to complete the landscaped path, landscaping, and lighting if approved by the Hillside Building Committee.

Hardscape

A mix of gray and brown pavers (LRV 12-37), DC cobble rip rap, and decomposed granite (Madison Gold) are proposed for the walking path and sitting area surfaces taking 1,732 ft² of disturbance. DC cobble rip rap has been proposed for the path border. All materials shall have an LRV of 38 or less.

Landscape Lighting

Proposed landscape lighting shall be provided by seventeen (17) downward aimed spotlights (164 lumens actual / 250 lumens allowable) and eight (8) path lights (150 lumens actual / 250 lumens allowable). All light sources shall have a maximum color temperature of 3000K.

Landscaping

Proposed site vegetation is provided on the table below:

Cacti / Accents / Shrubs	Cacti / Accents / Shrubs	Cacti / Accents / Shrubs
Hopseed Bush	Purple Sage	Golden Barrel
Desert Spoon	Yellow Bells	Training Lantana
Organ Pipe	Native Mesquite	Mexican Bird of Paradise
Trailing Purple Lantana	Argentine Cerus	Yucca Alfolia
Agave		

Land Disturbance

An existing net disturbance of 34.42% (15,468 ft²) currently exists on the lot and the building pad slope of 7.20% allows a disturbance of 60.00% (26,961 ft²) the lot. The applicant has proposed a net disturbed area of approximately 38.28% (17,200 ft²), which is less than the allowable disturbance.

Grading and Drainage

No grading work has been proposed. The applicant shall construct the path in a manner that does not negatively affect storm water flow. If future grading work is required, the applicant shall submit a grading permit applicant for review.

Sewer

The property has an existing connection to a public sewer system.

Hillside Safety Improvement Plan

The applicant was not required to submit a Hillside Safety Improvement Plan based on the proposed scope of work.

Combined Plan Review

Should the Hillside Committee wish to approve this application, staff suggests the following stipulations:

1. Any changes to the Hillside-approved plans may result in delays in permit plan review and inspection processes. Any proposed changes should be reported to the Staff to determine compliance with Hillside Development Regulations. Changes may be subject to a Staff, Chair, or Committee review.
2. The Applicant shall submit a Construction Staging Plan to the Town per the Hillside Safety Improvement Measures and Process Manual for review and approval prior to being issued a building permit.
3. The Applicant shall submit a liability insurance policy for the proposed project in the amount of \$2 million per occurrence and \$5 million aggregate naming the Town of Paradise Valley as an additional insured prior to being issued a building permit.
4. Prior to issuance of a permit, the Applicant shall submit a Hillside Assurance in the amount of \$0.
5. All construction parking shall be located on the property as much as possible. Any offsite parking shall be confined to the adjacent streets along the immediate property frontage. All offsite parking shall be located on the same side of the street. No construction materials will be allowed to be stored on the Town's right-of-way.

6. All recommendations provided in the Safety Improvement Plan shall be followed by the applicant. An Arizona Registered Engineer contracted by the applicant shall review, for compliance with the recommendations provided in the Safety Improvement Plan, the proposed plans prior to submitting for a permit. The contracted Arizona Registered Engineer shall provide a sealed letter stating that the plans submitted are in accordance with the Safety Improvement Plan. Any field work related to the Safety Improvement Plan, including but not limited to rock bolting, rock cuts, mesh placement, and boulder stabilization methods, shall be inspected by a qualified Special Inspector contracted by the applicant. The qualified inspector shall be required to provide a written verification that the improvements were completed per plan prior to the final approval.
7. No final approval or certificate of occupancy shall be issued until all Hillside stipulations and all Town Code requirements are complied with, including, but not limited to, landscaping, fire flow, fire safety and all onsite and offsite improvements.
8. The limits of construction and proposed disturbed areas shall be clearly staked in the field, with visible roping, prior to demolition and during construction and shall conform to the approved individual site analysis plan. Photos of the staking shall be provided prior to issuance of a demolition and/or building permit.
9. Noise from construction that can be heard off-site, including, but not limited to, hydraulic ram hammers, equipment used to cut through rock, machinery with audible back-up warning devices, powered machinery, truck delivery and idling, constant and persistent hammering, shall comply with Article 8-10, Nuisance Noise, as set forth in the Town Code. Heavy Equipment and construction-related deliveries are generally limited between the hours of 7:00 a.m. and 5:00 p.m. Monday through Friday; no work on Saturday, Sunday or legal holidays. Exceptions include a one hour early start time in summer, time exceptions granted by the Town Manager, and construction not defined as Heavy Equipment or deliveries that can occur outside the 7:00 a.m. to 5:00 p.m., Monday through Friday, time frame.
10. The Hillside Building Committee review is not a complete building permit review of grading and drainage plans. Additional comments may be generated during the building permit review process. Offsite improvements such as curb installation may be required during the permitting process.
11. Desert varnish, such as Eonite or equivalent, shall be provided on all exposed rock cuts.
12. Natural stone selections shall not exceed the maximum allowable LRV of 38, unless explicitly approved by the Hillside Building Committee. Care should be taken when selecting to ensure that the maximum LRV is not exceeded. Failure to comply with may result in delays obtaining a Certificate of Occupancy.
13. A landscape as-built plan shall be provided by the landscape designer at the time of the Final Hillside inspection and prior to the issuance of a Certificate of Occupancy. See Stipulation #1 for more information.
14. A suitable desert seed mix shall be provided for all undisturbed areas requiring revegetation and all retention basins. Any existing non-native fountain or buffel grasses shall be removed from the property.
15. The residence shall be painted in a complaint color. Proposed color shall be reviewed and approved by Staff and Chair.



Maricopa County Assessor's Office Parcel Viewer



4211 E CLAREMONT AVE



Show search results for 4211 E CLARE...



Feature Information

(1 of 1)

Clear



169-22-097

Owner Information

Owner Name: YK WELLNITZ LIVING TRUST
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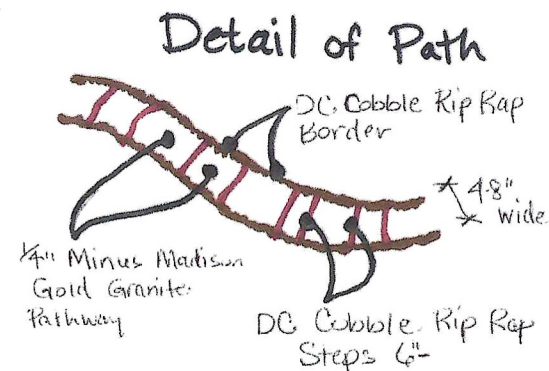
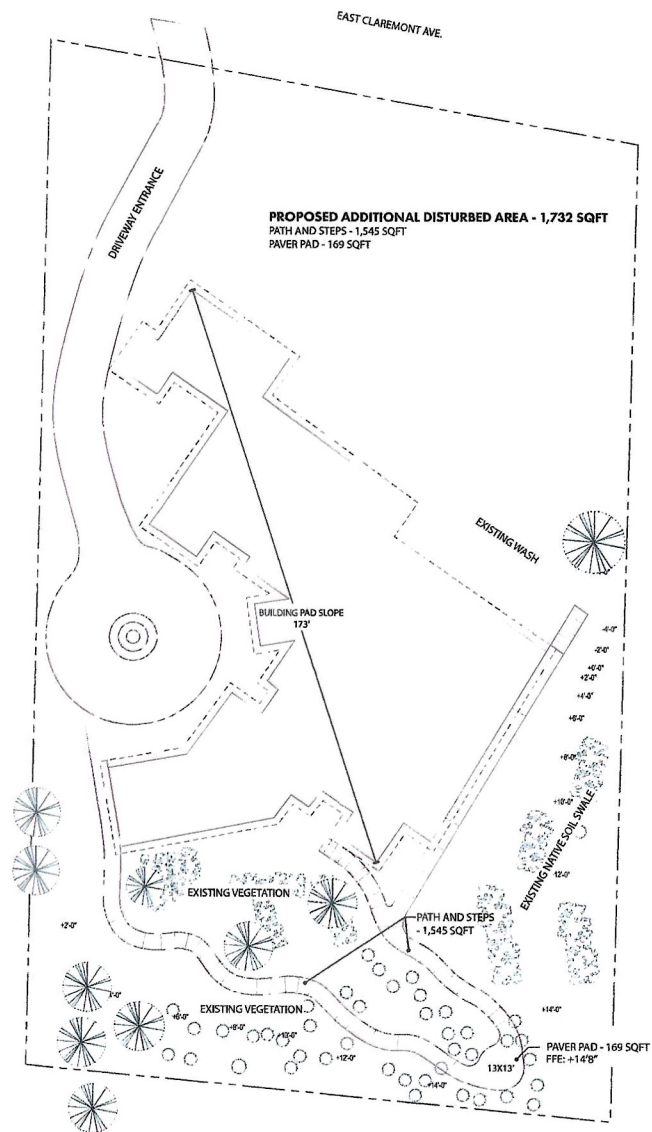
Zoom to

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- Current Gross Disturbed Area 23,817 sq ft






Note: 13'x13' Paver Pad at top is Mega-Libre Bella Color Non Reflective Paver



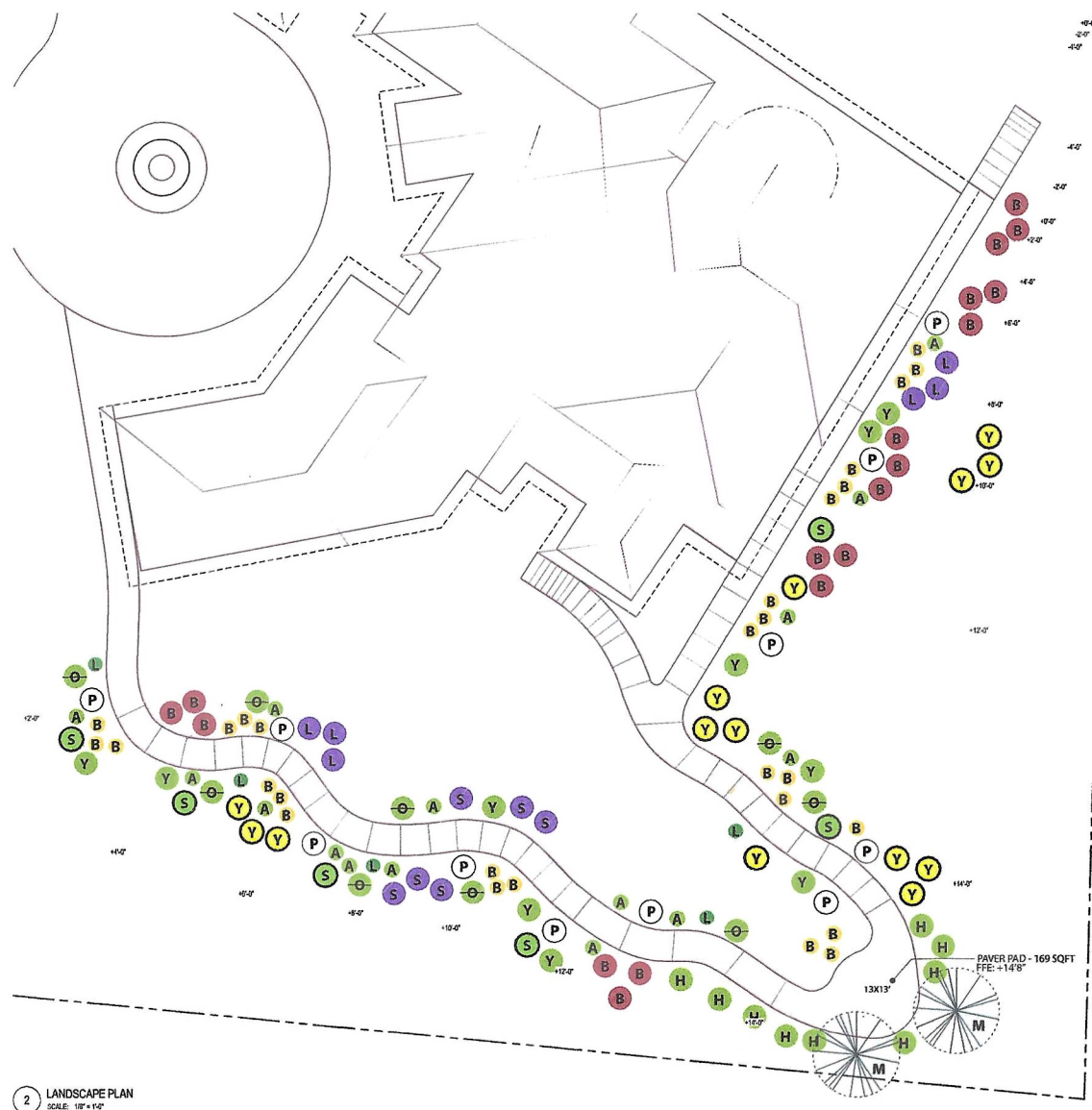
1 SITE PLAN
SCALE: 1/16" = 1'-0"

SITE PLAN



 1/16" = 1'-0"

4211 EAST CLAREMONT AVE. PARADISE VALLEY AZ 85253

SYM	QTY	NAME
H	9	HOPSEED BUSH - DODONAEA VISCOSA - 5 GALLON
S	6	PURPLE SAGE CHIHUAHUA - LEUCOPHYLUM LAVIGATION - 5 GALLON
B	27	GOLDEN BARREL CACTUS - ECHINOCACTUS GRUSONII - 5 GALLON
S	6	SMOOTH BLADE DESERT SPOON - DASYLIRION WHEELERI - 5 GALLON
Y	14	YELLOW BELLS - TECOMA STANS - 5 GALLON
L	7	LANTANA TRAILING LANTANA MONTEVIDENSIS GOLDMOUND - 5 GALLON
C	8	ORGAN PIPE CACTUS - STENOCERUS THURBER - 5 GALLON
M	2	NATIVE OR VELVET MESQUITE - PROSOPIS JULIFLORA OR VELUTINA - 25 GALLON
B	12	MEXICAN BIRD OF PARADISE - CAESALPINIA GILLIESII
L	6	TRAILING PURPLE LANTANA - LANTANA MONTEVIDENSIS - 5 GALLON
A	12	ARGENTINE CERUS - TRICHOCEREUS SPP - 5 GALLON
Y	14	YUCCA ALFOLIA - ALOIFOLIA - 5 GALLON
P	11	AGAVE - PARRYI - 5 GALLON




LIGHTING KEY

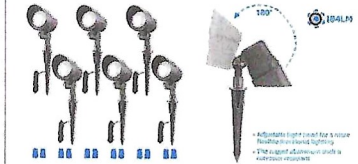
SYM	QTY	NAME
	17	VEGETATION LOW VOLTAGE LIGHT. LEONLITE 4WLED GRANDEN LIGHT 3000K, 164 LUMENS, BRONZE
	8	PATH LIGHTS. MOON RAYS LOW VOLTAGE, RUBBED BRONZE 2700K, 150 LUMENS

 Moonrays 95804 Cable - Galena Landscape Low Volt Lights, Rubbed, Bronze mushroom path lights

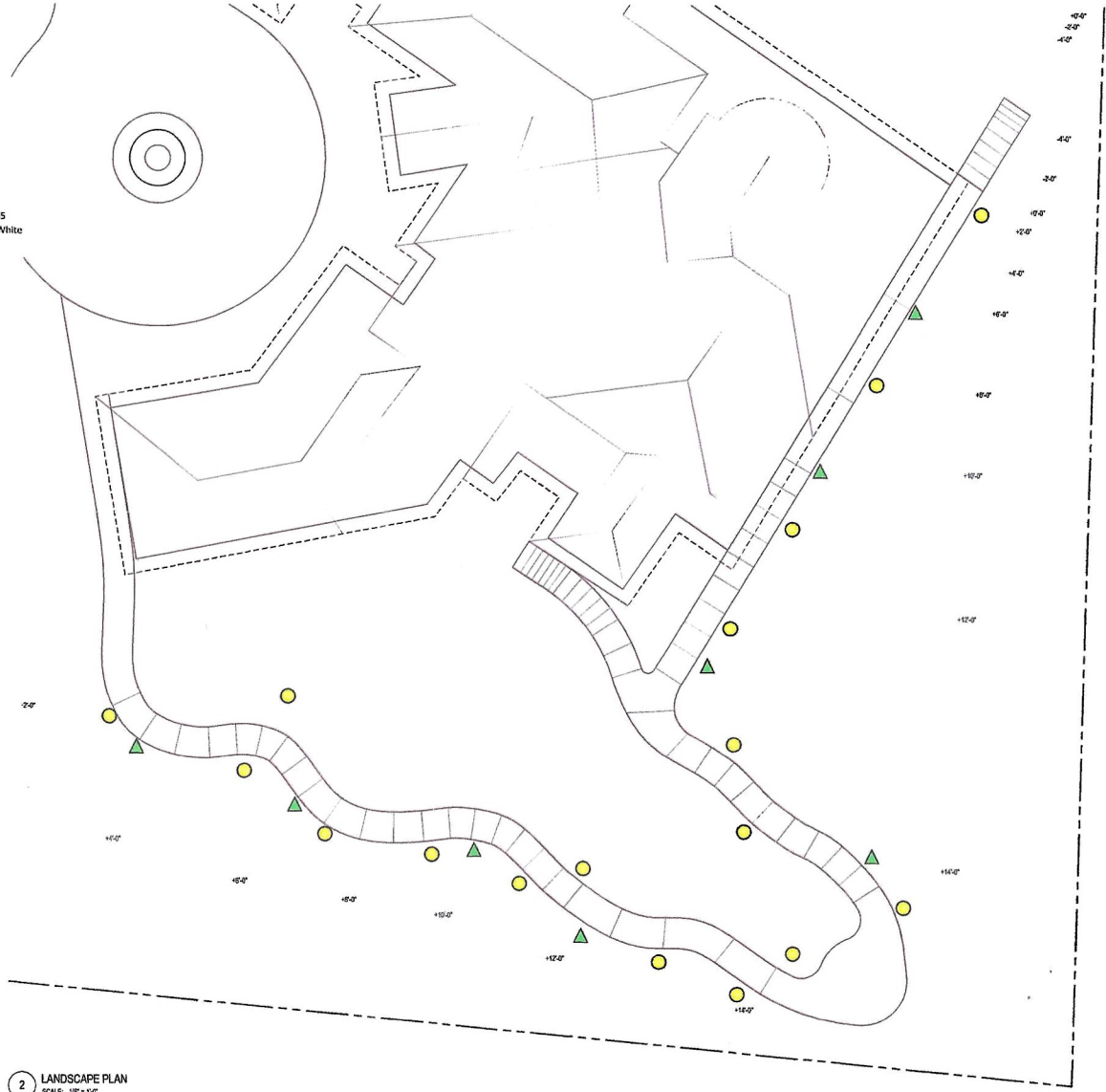


Technical Details	
Brand	Moonrays
Manufacturer	Moonrays
Part Number	95804
Item Weight	12.4 ounces
Product Dimensions	11 x 6.75 x 5.75 inches
Country of Origin	China
Item model number	95804
Assembled height	6.75 inches
Assembled length	11 inches
Assembled width	6.75 inches
Item Package Quantity	1
Style	Galena
Color	Bronze
Material	Aluminum
Finish Type	Bronze
Included Components	Electrical & Mounting Bracket Electrical extension cords
Voltage	12 Volts
Shade Material	Plastic: Aluminum
Power Source	Corded electric
Batteries Included?	No
Wattage	11 watts (150 Lumens) <i>As shown by the bulb</i>

 LEONLITE 4W LED Landscape Spotlight, AC/DC 12V Low Voltage Garden Lights, IP65 Waterproof Non-Dimmable, ETL Listed, Bronze Aluminum Housing, 3000K Warm White




Technical Details	
Manufacturer	LEONLITE
Part Number	74709
Item Weight	11.2 ounces
Product Dimensions	4.16 x 1.63 x 11.7 inches
Country of Origin	China
Item model number	74709
Size	G Pack
Color	Warm White (3000K)
Style	Modern
Finish	Aluminum/Aluminum
Material	Aluminum: Polycarbonate
Power Source	AC/DC
Voltage	12 Volts
Wattage	4 watts
Type of Bulb	LED
Lumens Flux	164 Lumens
Beam Profile	Spotlight
Special Features	40,000hrs long lifespan, ETL listed landscape



2 LANDSCAPE PLAN
SCALE: 1/8" = 1'-0"

LANDSCAPE PLAN

 1/8" = 1'-0"

4211 EAST CLAREMONT AVE. PARADISE VALLEY AZ 85253

02/26/22

[illegible]

Aerial photo, 1/2



Aerial photo, 2/2



- South West Stake
 - Facing North Along West Lot Line



- Facing North East



- Facing East Along South Lot Line



- South Lot Line Stake, corner stake for Lot 57 & Lot 56 on E. Keim Drive.
 - Facing West Along South Lot Line



- Facing North



- Facing East Along South Lot Line



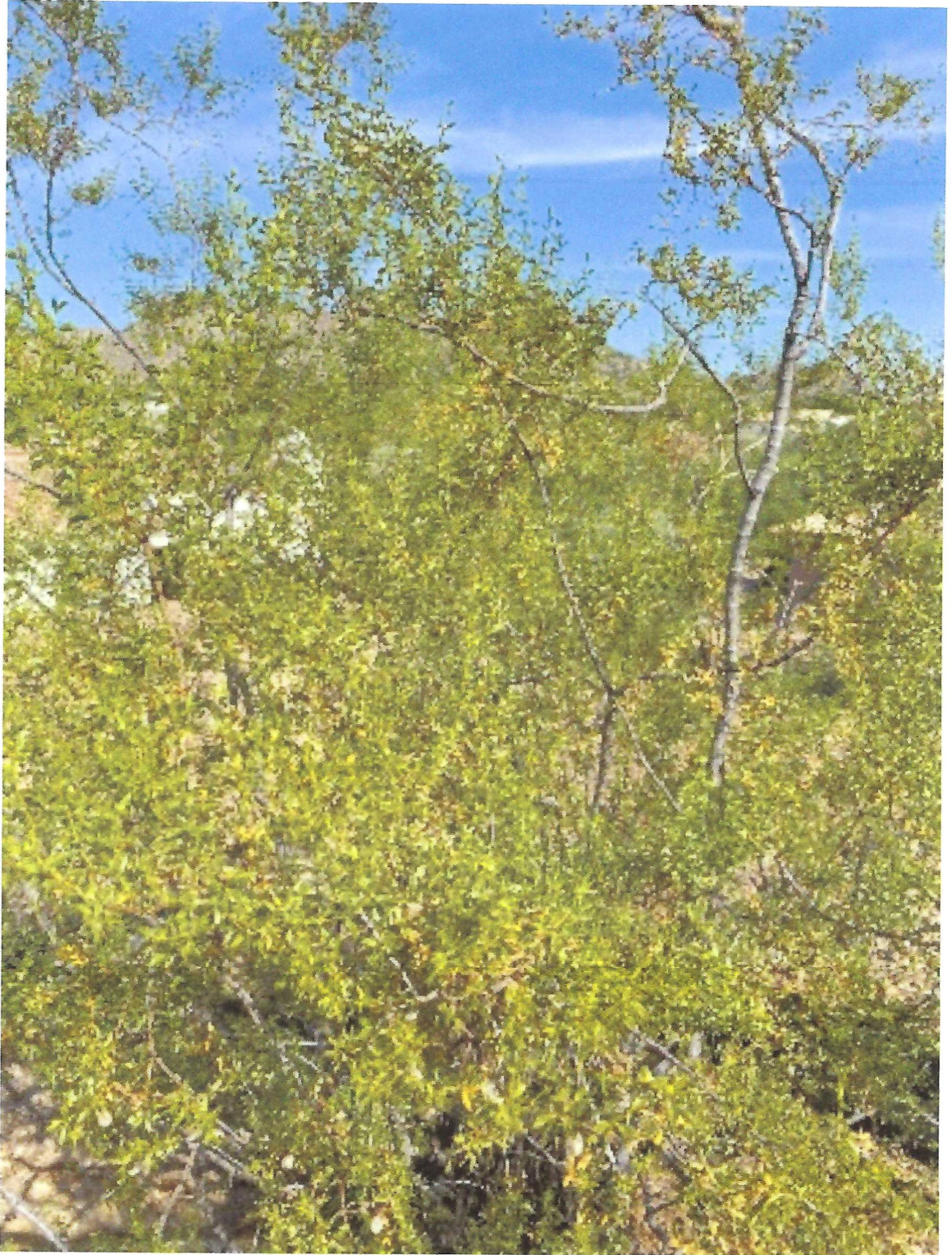
- South East Stake; all views blocked by Creosote bush
 - Facing West Along South Lot Line



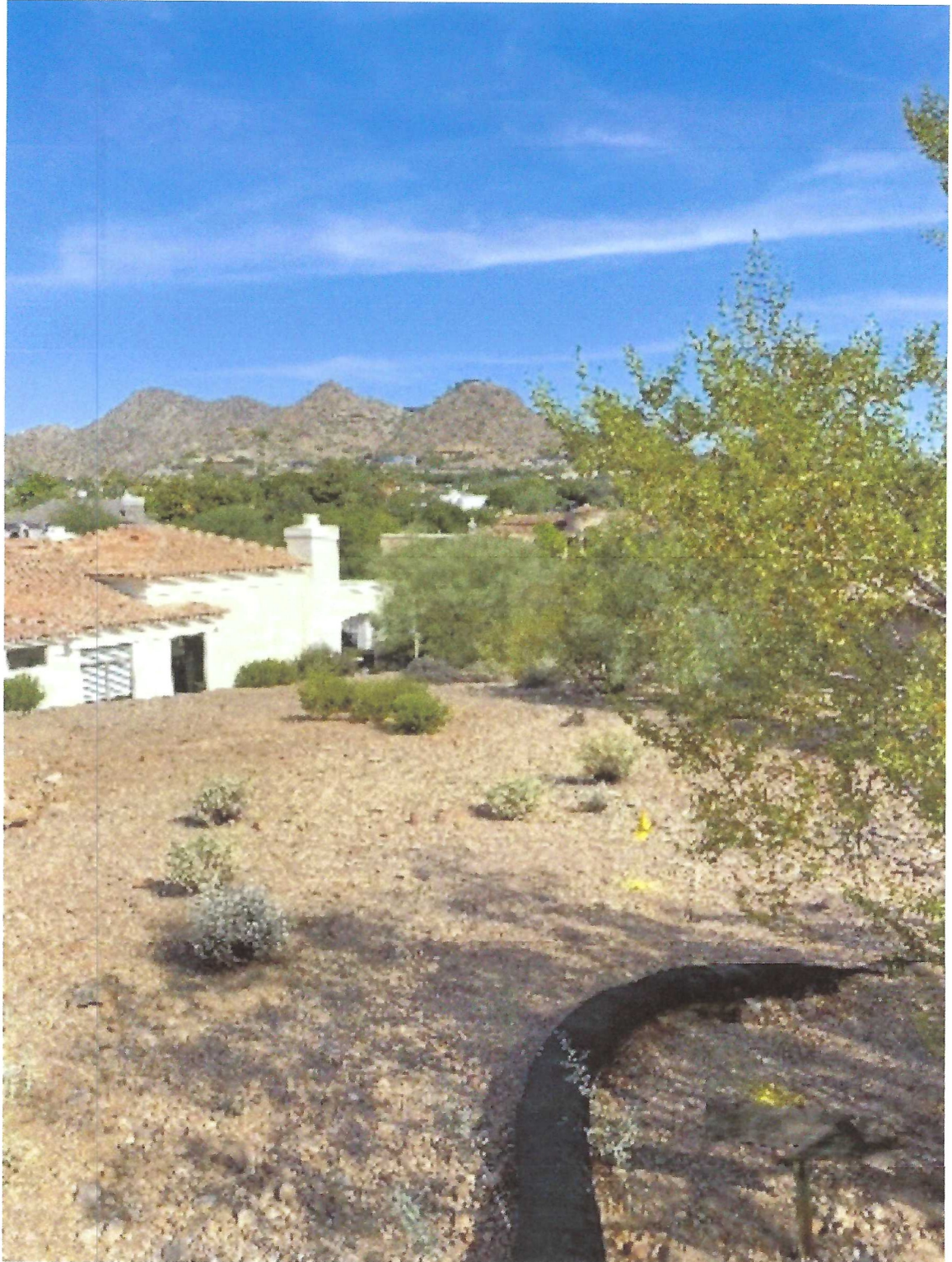
- Facing North West



- Facing North Along East Lot Line



- To the side of Creosote bush by South East Stake
 - Facing Towards the East Lot Line



- Facing North West



- Facing West Along South Lot Line

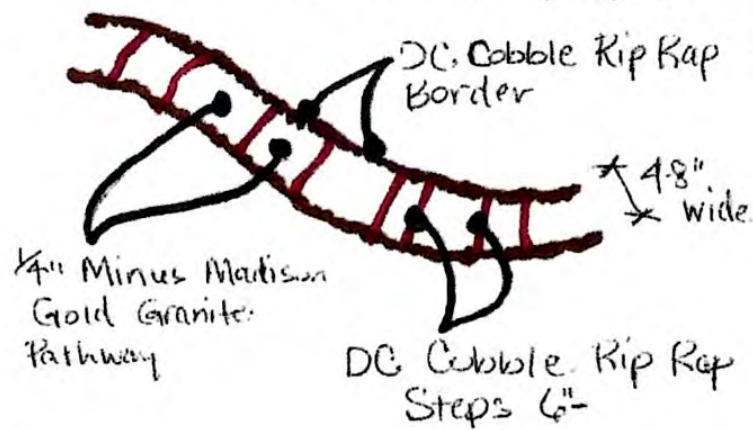


- Natural Swale East of Home



○

Detail of Path



Note: 13'x13' Paver Pad at top is Mega-Libre Bella Color

Non Reflective Paver

Material Board =



1. Path Border Material: and step
 - 5"~9" Rip Rap
 - DC Cobble Color
 - Arizona Desert Looking Natural Color rock (mixed to AZ)



2. Path Material:
 - 1/4\" Minus Granite
 - Madison Gold Color



3. 13'x13' Paver Pad
 - Mega-Libre Bella Color
 - Non Reflective Paver
 - Natural desert grout

Keith Melnitz
4211 E. Claremont Ave
P.O. Box 42 (480) 250-0035



LRV 37

LRV 12

Hugo Vasquez

From: Dan Mann <Dan@3engineering.com>
Sent: Monday, May 2, 2022 9:21 AM
To: Hugo Vasquez
Subject: 4211 E Claremont

External email: use caution with links & attachments

Hi Hugo,

We received the notification letter for 4211 E Claremont. I just had a couple items I was hoping could be addressed. It appears landscape has been removed from the hillside (mainly mature trees). You can see the difference on the assessors website between the 2022 aerial and the 2021 aerial. Is there a landscape revegetation plan as a part of this project that will put these trees back in place along with any other natural vegetation that was removed? The other item is the color of the house. It was a tan color back in 2019 and sometime since then was painted. I just want to make sure this meets the LRV values per the hillside ordinance. Below are a past and current image.

Also, as a side note since drainage was brought up at our hearing about this property. I just wanted to bring up that it appears some grading and landscaping was done on the property next door APN 169-22-098 4201 E Claremont. I want to make it known that we are not responsible for any potential drainage issues on either of these properties because of the modifications made to both properties.





Thanks,

Dan G. Mann, P.E. | President

3engineering

6370 E. Thomas Rd., Suite # 200 | Scottsdale, AZ 85251
O: (602) 334-4387 | C: (602) 402-9017 | F: (602) 490-3230
dan@3engineering.com | www.3engineering.com





To The Hillside Building Committee:

5/10/2022

The drone photos that were taken on 5/5/22 show the view from 6149 N. Hogahn Drive.

We (Mike & Donna Ferrera) oppose of this project as this is a complete destruction of the natural desert hillside and an eye sore from our property and the surrounding residences.

The destruction of the desert hillside began well over a year ago without hillside approval or permission from the Town of PV. There have been several trees, shrubs and bushes removed from the area when the "natural looking path" was created. Several wheelbarrows of dirt and rock were removed from the hillside in order to level the grade for the flagstone pad. A small riding tractor was also brought into the project to move the desert earth. Large patio furniture was also dragged up the hill to this location; 2 large wrought iron double love seats and 2 round tables.

We notified the Hillside Development at the Town of Paradise Valley when the concrete for the flagstone patio was poured in order to put a stop to the permanent damage that is being done to the natural desert preserve.

After reviewing the applicant's 'Project Narrative' and learning that there will be landscape lighting installed, we believe this will be a complete distraction and intrusion to our property and view as well as other nearby residences with hillside views.

We strongly oppose this proposed project and emphasize to the board that the desert hillside be restored to its original condition and remain a natural true preserved desert hillside environment.

If this project is approved, this will set a strong precedent for other hillside properties to create similar projects and damage the natural desert hillside that should be protected and preserved which is the very reason why the Hillside Development Regulations are in place.

Thank you for considering our opposition.

Mike & Donna Ferrera
6149 N. Hogahn Drive
Paradise Valley



















