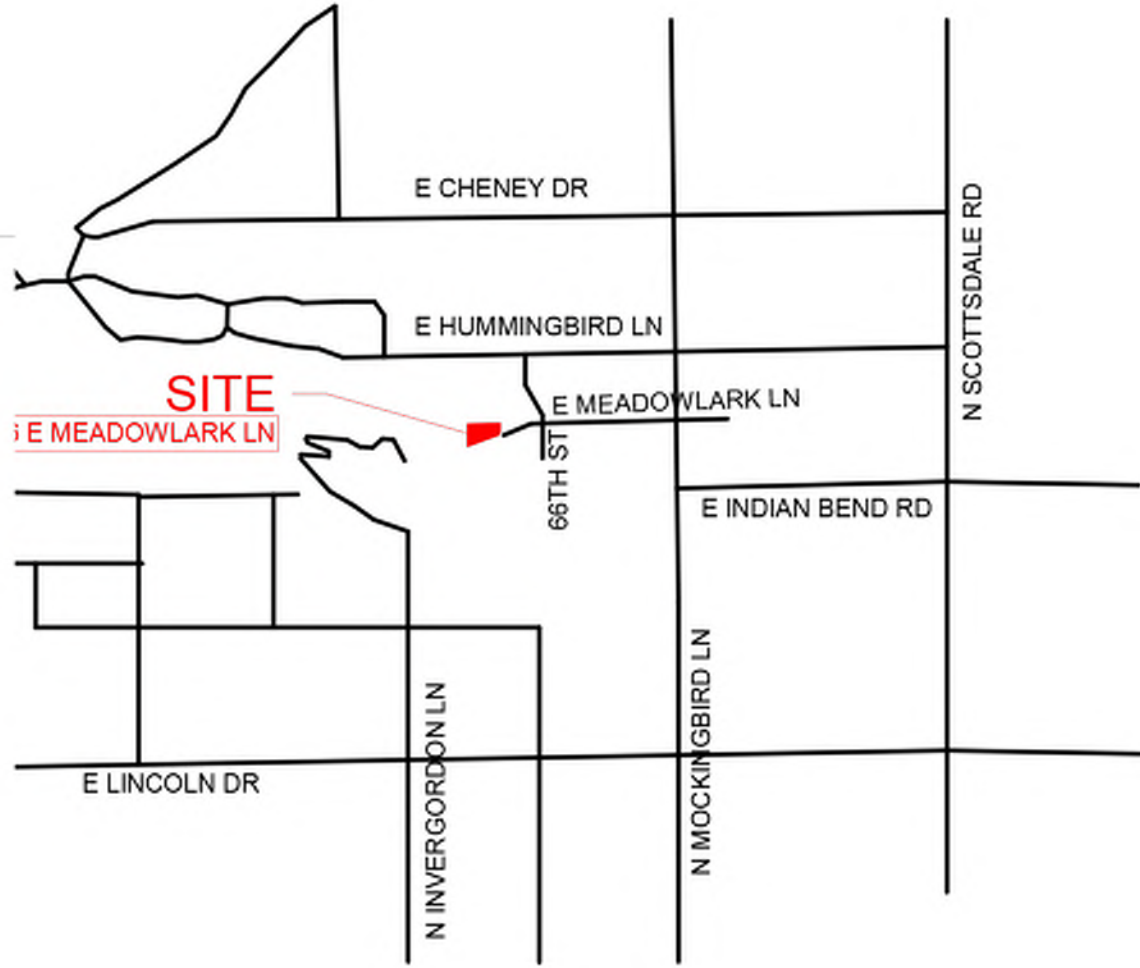




00 30 00 PROJECT DESCRIPTION

TOWN OF PARADISE VALLEY HILLSIDE ZONED PROPERTY. THIS PROJECT IS NEW CONSTRUCTION OF A DESERT MODERN SINGLE FAMILY HOME OF 7900 SQFT LIVABLE. 6900 SQFT ON A MAIN LEVEL AND 1000 SQFT ON A LOWER LEVEL. THIS PROPERTY HAS BEEN PREVIOUSLY DEVELOPED. ALL EXISTING CONSTRUCTION HAS BEEN DEMOLISHED AND REMOVED BY PREVIOUS OWNERS. THE SITE TOPOGRAPHY WAS MODIFIED BY PREVIOUS OWNERS FROM THE ORIGINAL NATURAL GRADES AND DOES NOT CURRENTLY REFLECT NATURAL GRADES

SHEET LIST

- HS1 COVER SHEET
- HS2 SITE PHOTOGRAPHS
- HS3.1 RENDERINGS
- HS3.2 RENDERINGS
- HS4 AERIAL PHOTO W/ IMPROV.
- HS5.1 SURVEY 1 OF 2
- HS5.2 SURVEY 2 OF 2
- HS6.1 GRADING AND DRAINAGE 1 OF 3
- HS6.2 GRADING AND DRAINAGE 2 OF 3
- HS6.3 GRADING AND DRAINAGE 3 OF 3
- HS7 SITE DEVELOPMENT PLAN
- HS8.1 SITE SECTION
- HS8.2 BUILDING ELEVATIONS
- HS8.3 BUILDING ELEVATIONS
- HS9 BUILDING LIGTHING
- HS10 LANDSCAPE AND LIGHTING PLAN
- HS11 FINISH BOARD

REVISIONS	
1	*****
2	*****

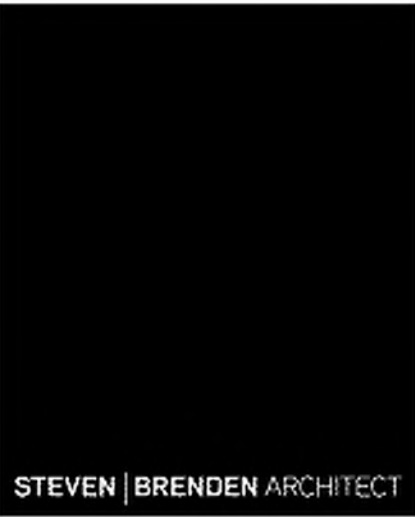


EXPIRES 12/31/2021

ISSUED 03/31/21

COVER SHEET

HS1



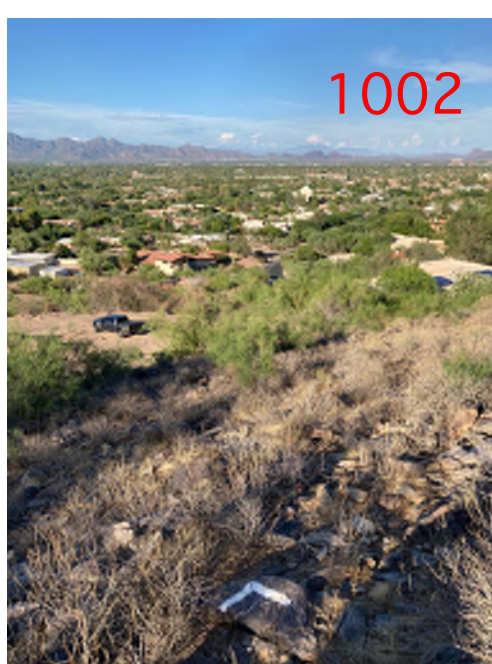
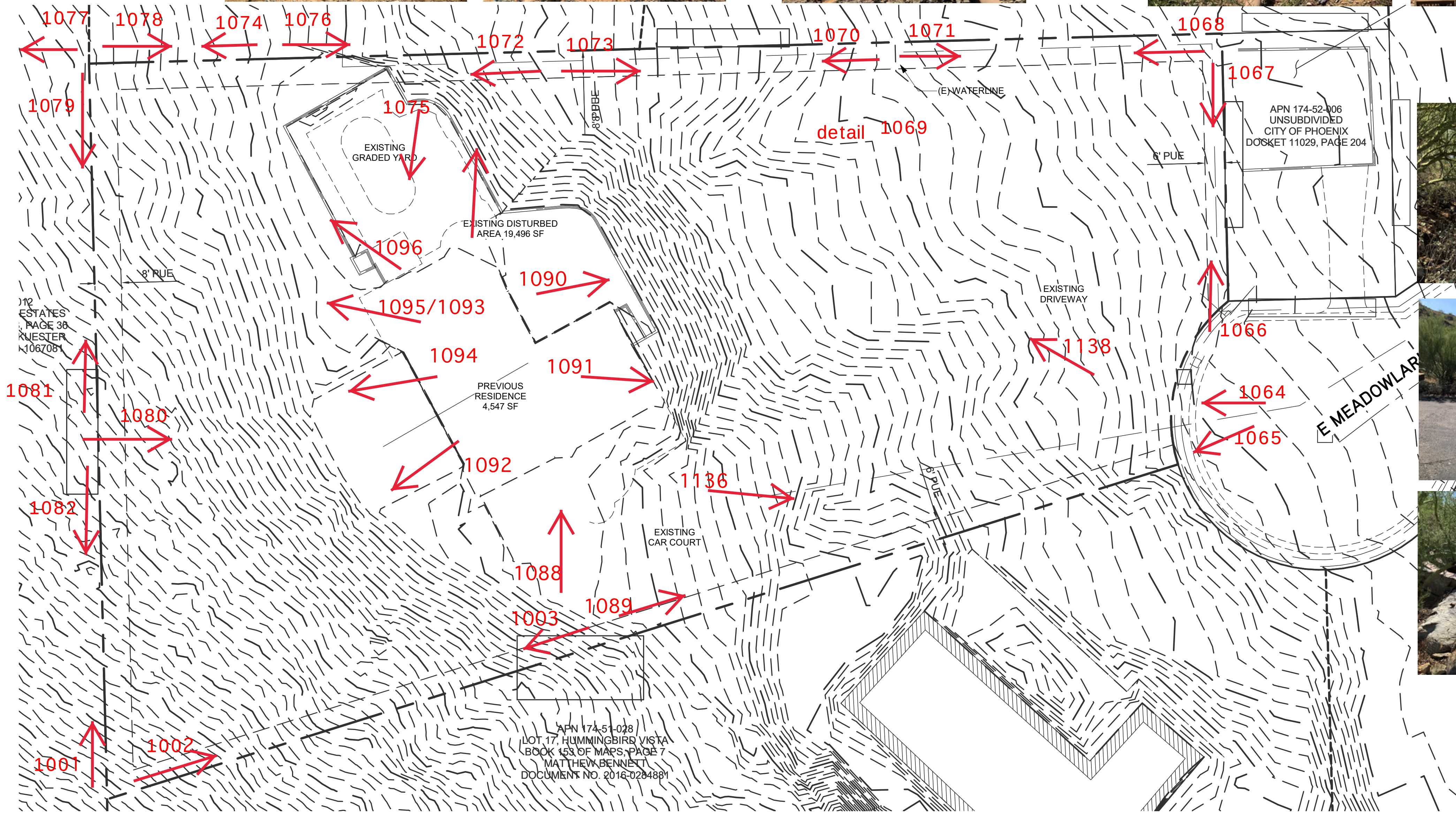
STEVEN BRENDEN ARCHITECT, LLC

4324 E McDONALD DRIVE
PARADISE VALLEY ARIZONA 85253
REQUEST@BRENDENSTUDIO.COM
(PH) 602.277.6409

PROJECT 2101

6516 E MEADOWLARK LANE

MEADOWLARK



STEVEN BRENDEN ARCHITECT, LLC
4324 E McDONALD DRIVE
PARADISE VALLEY, ARIZONA 85253
(P/F) 602.277.6409 REQUEST@BRENDENSTUDIO.COM PROJECT 2101
6516 E MEADOWLARK LANE
MEADOWLARK

**FORMAL
REVIEW**

REVISIONS	
1	REVISION
2	REVISION



ISSUED 03/31/21
SITE PHOTOGRAPHS

HS2

STEVEN | BRENDEN ARCHITECT



FRONT



ROCK DIRT



STEVEN BRENDEN ARCHITECT, LLC
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PARADISE VALLEY ARIZONA 85253
(PH) 602.277.6409 REQUEST@BRENDENSTUDIO.COM PROJECT 2101
6516 E MEADOWLARK LANE
MEADOWLARK

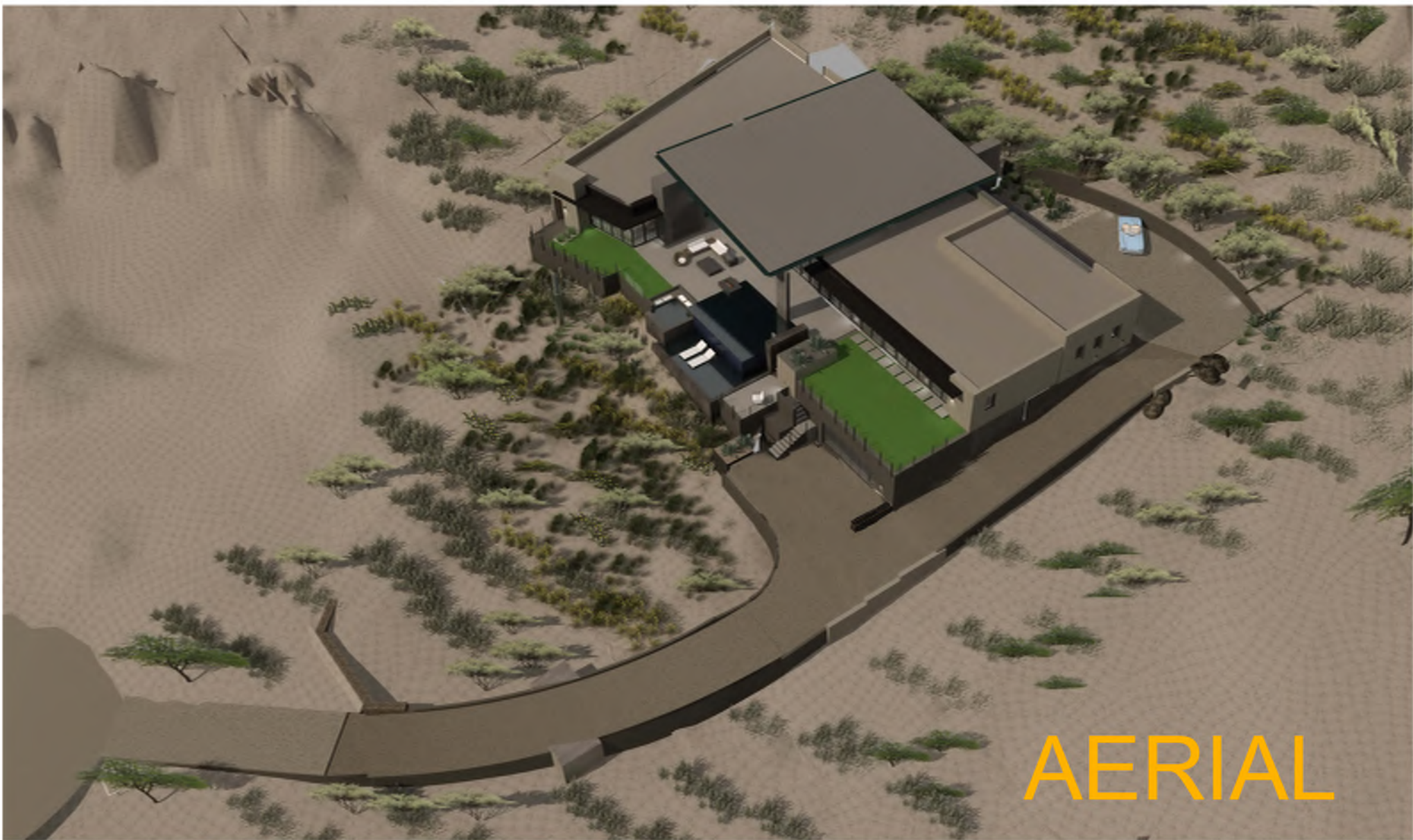
HILLSIDE
FORMAL
REVIEW

REVISIONS	
1	
2	

REGISTERED ARCHITECT
38477
STEVEN JAMES
BRENDEN
ARIZONA, U.S.A.
ISSUED 08/03/2021
MODEL RENDERINGS

HS3.1

STEVEN | BRENDEN ARCHITECT



AERIAL



ARRIVAL



ENTRY



FRONT AERIAL MID

STEVEN BRENDEN ARCHITECT
PARADISE VALLEY ARIZONA



DESERT

STEVEN BRENDEN ARCHITECT, LLC

4324 E McDONALD DRIVE
PARADISE VALLEY ARIZONA 85253
(PH) 602.277.6409 REQUEST@BRENDENSTUDIO.COM

PROJECT 2101

6516 E MEADOWLARK LANE

MEADOWLARK

HILLSIDE
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REVIEW

REVISIONS	
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ISSUED 08/03/2021 MODEL RENDERINGS

HS3.2

STEVEN | BRENDEN ARCHITECT



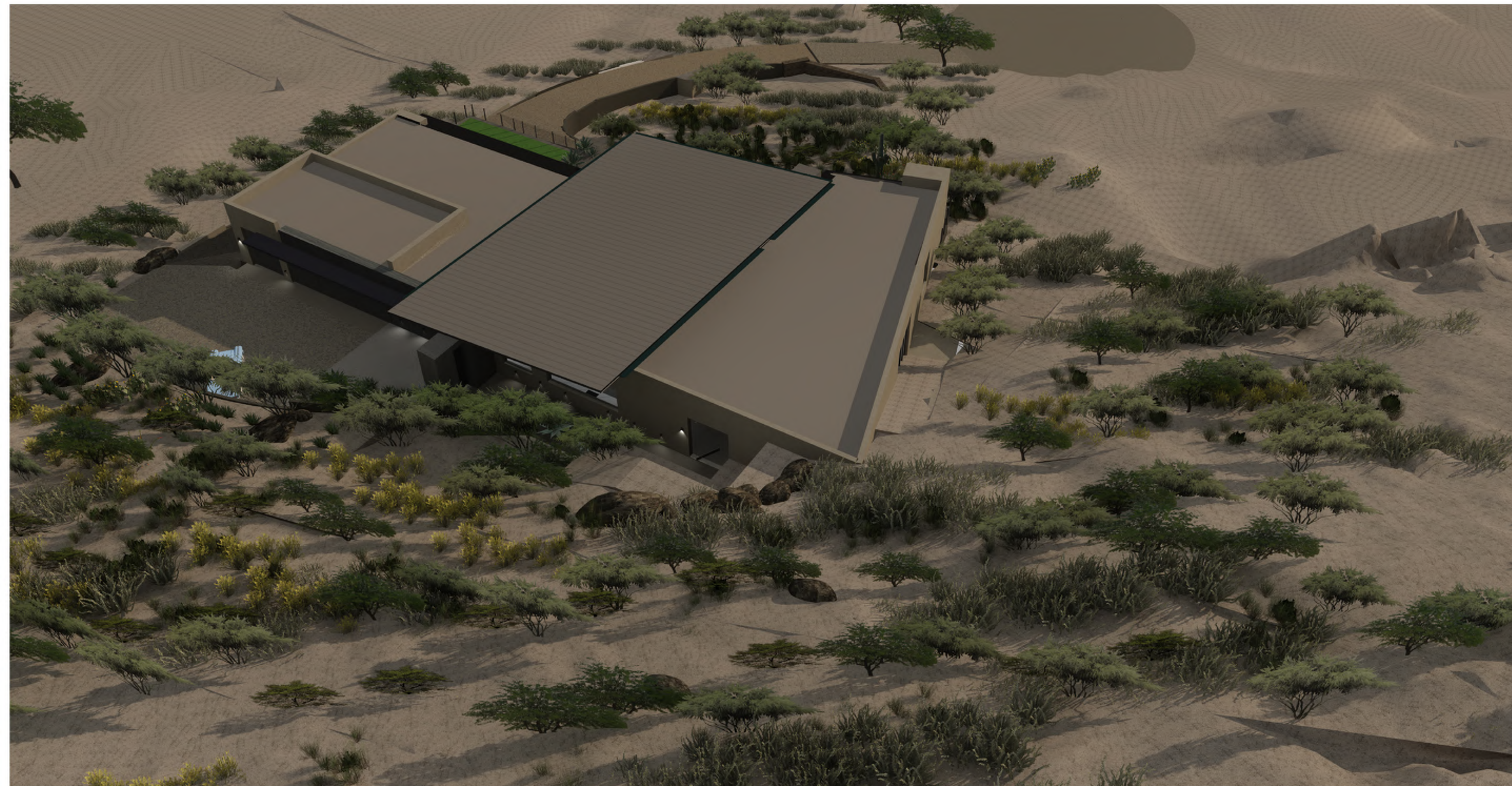
PATIO POOL



STEVEN BRENDEN ARCHITECT
PARADISE VALLEY ARIZONA



AERIAL ARRIVAL



AERIAL REAR YARD

HILLSIDE FORMAL REVIEW

STEVEN BRENDEN ARCHITECT, LLC
4324 E McDONALD DRIVE
PARADISE VALLEY, ARIZONA 85243
REQUEST@BRENDENSTUDIO.COM
(P/F) 602.277.6409 PROJECT 2101

6516 E MEADOWLARK LANE

MEADOWLARK

REVISIONS	
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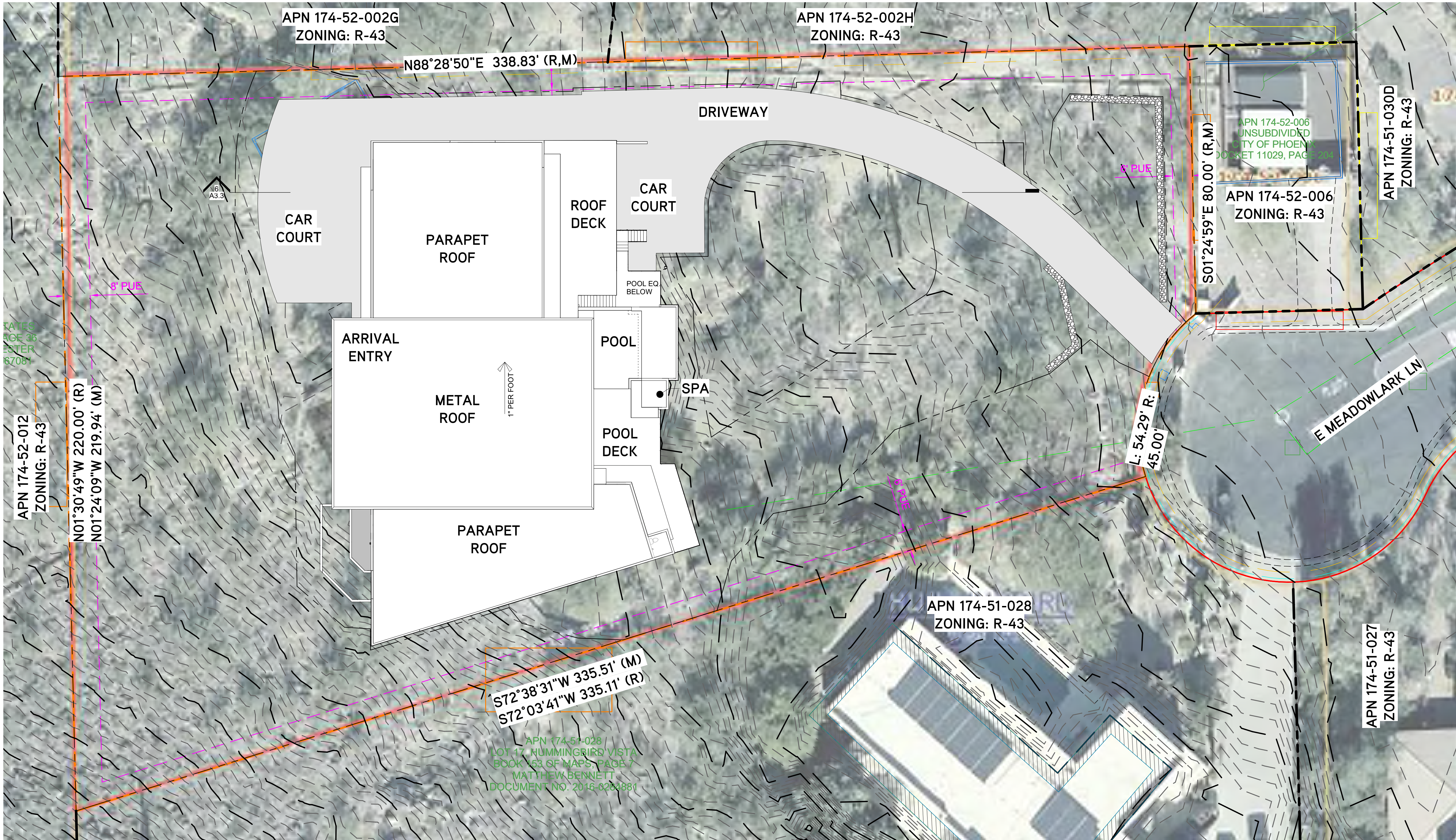
ISSUED 03/31/21

MODEL RENDERINGS

HS3.3

STEVEN | BRENDEN ARCHITECT

11/10/21 10:55 AM
11/10/21 10:55 AM
11/10/21 10:55 AM



① AERIAL W/ TOPO
1/16" = 1'-0"

REVISIONS	
1	REVISION
2	REVISION



EXPIRES 12/31/2021

ISSUED 11/01/21

HS4.1

STEVEN | BRENDEN ARCHITECT

HILLSIDE
FORMAL
REVIEW

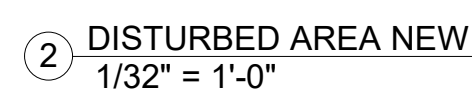
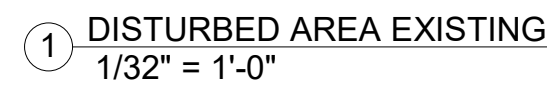
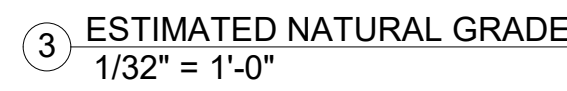
AERIAL PHOTO W/ IMPROVEMENTS & TOPO

STEVEN BRENDEN ARCHITECT, LLC

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(P/F) 602.277.8409
REQUEST@BRENDENSTUDIO.COM
PROJECT 2101

6516 E MEADOWLARK LANE

MEADOWLARK



11/1/21 10:55:19 PM
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(P/F) 602.277.6409
PROJECT 2101

6516 E MEADOWLARK LANE

MEADOWLARK

HILLSIDE FORMAL REVIEW

REVISIONS	
1	-----
2	-----



EXPIRES 12/31/2021

ISSUED 11/01/21

DISTURBED AREA DIAGRAMS

HS4.2

STEVEN | BRENDEN ARCHITECT



ALL ENCUMBRANCES MAPPED HEREON WERE DEDICATED PER BOOK 153 OF MAPS
PAGE 7 (SCHEDULE B, ITEM 5).

1. TAXES FOR THE YEAR 2020, A LIEN NOT YET DUE AND PAYABLE.
(AFFECTS THE SURVEYED PARCEL - BLANKET EFFECT - NOT MAPPABLE)

3. WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS.
(AFFECTS THE SURVEYED PARCEL - BLANKET EFFECT - NOT MAPPABLE)

5. EASEMENTS, RESTRICTIONS, RESERVATIONS, CONDITIONS AND SET-BACK LINES AS SET FORTH ON THE PLAT RECORDED IN BOOK 153 OF MAPS, PAGE 7.
(AFFECTS THE SURVEYED PARCEL - MAPPED HEREON)

7. ALL MATTERS AS SET FORTH IN RESOLUTION NO. 523 RECORDED APRIL 09, 1987 AS 87-217524 OF OFFICIAL RECORDS.
(AFFECTS THE SURVEYED PARCEL - BLANKET EFFECT - NOT MAPPABLE)

9. RIGHTS OF TENANT(S) IN THE LAND, IF ANY, AND RIGHTS OF ALL PARTIES CLAIMING BY THROUGH OR UNDER SAID TENANT(S).
(AFFECTS THE SURVEYED PARCEL - BLANKET EFFECT - NOT MAPPABLE)

10. A DEED OF TRUST TO SECURE AN ORIGINAL INDEBTEDNESS OF \$ 990,000.00 AND ANY OTHER AMOUNTS OR OBLIGATIONS SECURED THEREBY, RECORDED _____ AS _____ OF OFFICIAL RECORDS.
DATED: _____
TRUSTOR: LAWRENCE J. ROSEN, A _____ MAN AND SANDRA H. ROSEN, A _____ WOMAN
TRUSTEE: _____
BENEFICIARY: WELLS FARGO BANK NA
(EFFECT UNKNOWN - DOCUMENT NOT PROVIDED - NOT MAPPABLE)

LOT 18 OF HUMMINGBIRD VISTA, RECORDED AS BOOK 153 OF MAPS, PAGE 7,
RECORDS OF MARICOPA COUNTY, BEING A SUBDIVISION OF A PARCEL OF LAND
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 3,
TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER MERIDIAN,
MARICOPA COUNTY, ARIZONA

SURVEY NOTES

PURSUANT TO TABLE "A", ITEM 3, FLOOD ZONE INFORMATION IS SHOWN IN THE FLOOD ZONE CERTIFICATION.

PURSUANT TO TABLE "A", ITEM 5, VERTICAL RELIEF SHOWN HEREON IS AT 1.0 FOOT
CONTOUR INTERVAL PER THE INDICATED BENCHMARK AND DATUM.

PURSUANT TO TABLE "A", ITEM 11, NO PHYSICAL LOCATION OF UNDERGROUND UTILITIES WAS PERFORMED IN THE FIELD IN CONJUNCTION WITH THIS SURVEY. UTILITIES SHOWN ARE A COMPILATION OF FIELD LOCATED SURFACE EVIDENCE AND UNDERGROUND UTILITY LINE LOCATIONS FROM THE BEST AVAILABLE SOURCES, INCLUDING BLUESTAKE MARKINGS AS LOCATED IN THE FIELD AND MAPS AS SUPPLIED BY UTILITY PROVIDERS. NOT ALL MAPS WERE AVAILABLE AS OF THE DATE OF THIS SURVEY.

PURSUANT TO TABLE "A", ITEM 16, THERE IS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.

ADJOINING RIGHTS-OF-WAY ARE MAPPED PER INFORMATION FROM THE MARICOPA COUNTY ASSESSOR UNLESS NOTED OTHERWISE.

SOURCES USED IN THE PREPARATION OF THIS SURVEY INCLUDE:
BOOK 153 OF MAPS, PAGE 7 (R)
BOOK 1519 OF MAPS, PAGE 46

LEGAL DESCRIPTION

CONTAINING 57,596 SQUARE FEET OR 1.322 ACRES, MORE OR LESS

FLOOD ZONE CERTIFICATION

UNSHADED ZONE "X" AS DEFINED BY FEMA IS:
AREAS DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOOD PLAIN

BASIS OF BEARING

THE BASIS OF BEARINGS FOR THIS SURVEY IS NORTH 88°58'50" EAST ALONG THE NORTH LINE OF LOT 18 OF HUMMINGBIRD VISTA, ACCORDING TO BOOK 1519 OF MAPS, PAGE 46, MARICOPA COUNTY RECORDS.

BENCHMARK

TOWN OF PARADISE VALLEY BRASS CAP FLUSH IN PAVEMENT OF MEADOWLARK LANE
CUL-DE-SAC.

ELEVATION = 1372.55 (NAVD88 DATUM)

CERTIFICATION

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED
WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL
REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND
ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 8, 11, 13, 16 AND 17 OF
TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 06/17/2020.

DATE OF PLAT OR MAP: 06/25/2020

RICHARD G. ALCOCER
REGISTRATION NUMBER 33851
4550 N. 12TH STREET
PHOENIX, ARIZONA 85014
(602)-264-6831
CVLSURVEY@CVLCI.COM

HILLSIDE FORMAL REVIEW

NO.	REVISION	DATE

Coe & Van Loo Consultants, Inc.

A.L.T.A. / N.S.P.S. LAND TITLE SURVEY

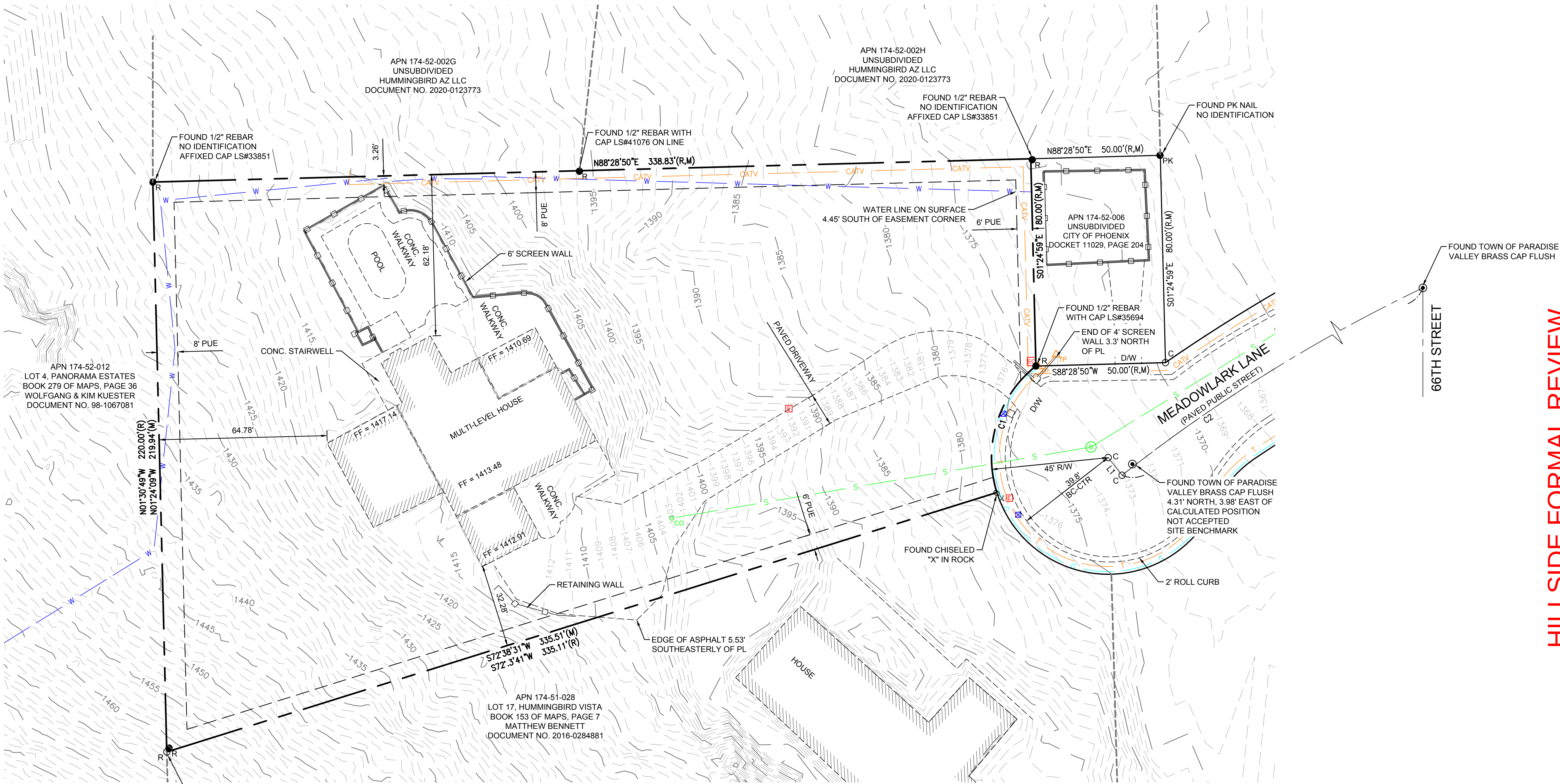
1 SHEET
OF

CVL Contact: M. RUSSO

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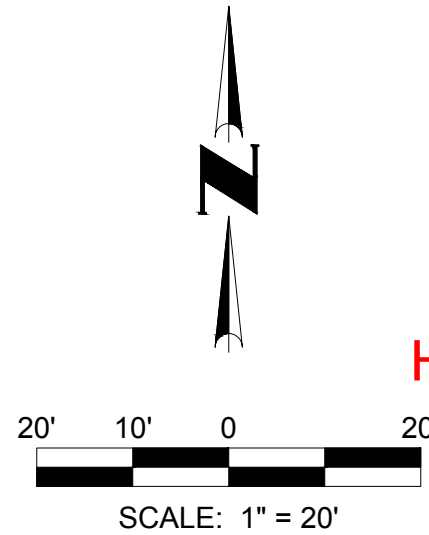
CURVE TABLE						
NO.	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD-BEARING
C1	54.29'	45.00'	069°07'44"	31.00	51.06	S17°10'09"W
C2	397.10'	618.92'	036°45'40"	205.65	390.32	S70°07'26"W

LINE TABLE		
NO.	BEARING	LENGTH
L1	N38°15'24"W	8.66'



(R)	RECORD INFORMATION PER BOOK 153 OF MAPS, PAGE 7	PL	PROPERTY LINE	$\bigcirc_R$	SET 1/2" REBAR WITH CAP LS#33851	— W —	ABOVE GROUND WATER LINE
(M)	MEASURED INFORMATION	PUE	PUBLIC UTILITY EASEMENT	$\square_{\text{E}}$	ELECTRIC CABINET	— S —	UNDERGROUND SEWER LINE
APN	ASSESSOR PARCEL NUMBER	R/W	RIGHT-OF-WAY	$\square_{\text{J}}$	JUNCTION BOX	— G —	UNDERGROUND GAS LINE
BC	BACK OF CURB	$\bigcirc_C$	CALCULATED POSITION - NOTHING FOUND, NOTHING SET	$\bigcirc_{\text{S}}$	MANHOLE SANITARY SEWER	— T —	UNDERGROUND TELEPHONE LINE
CONC.	CONCRETE	$\odot$	FOUND BRASS CAP FLUSH	$\bigcirc_{\text{CO}}$	CLEANOUT	— CATV —	UNDERGROUND CABLE TV LINE
D/W	DRIVEWAY	$\bullet_{\text{PK}}$	FOUND PK-NAIL	$\bullet_{\text{W}}$	WATER VALVE	— 1400 —	MAJOR CONTOUR LINE
FF=	FINISHED FLOOR	$\bullet_R$	FOUND REBAR	$\square_{\text{W}}$	WATER METER	--- ---	MINOR CONTOUR LINE
ML	MONUMENT LINE	$\bigcirc_X$	FOUND MARKED STONE	---	PROPERTY LINE	— [] —	WALL AS NOTED

LEGEND



HILLSIDE FORMAL REVIEW

CVL CONSULTANTS
CELEBRATING 60 YEARS
4550 North 12th Street
Phoenix, AZ 85014
Phone: 602-264-8931
www.cvl.com

DATE

REVISION

NO.

A.L.T.A. / N.S.P.S. LAND TITLE SURVEY

ROSEN RESIDENCE
PARADISE VALLEY, ARIZONA

2 SHEET OF 2

CVL Contact: M. RUSSO
CVL Project #: 01-02591-02
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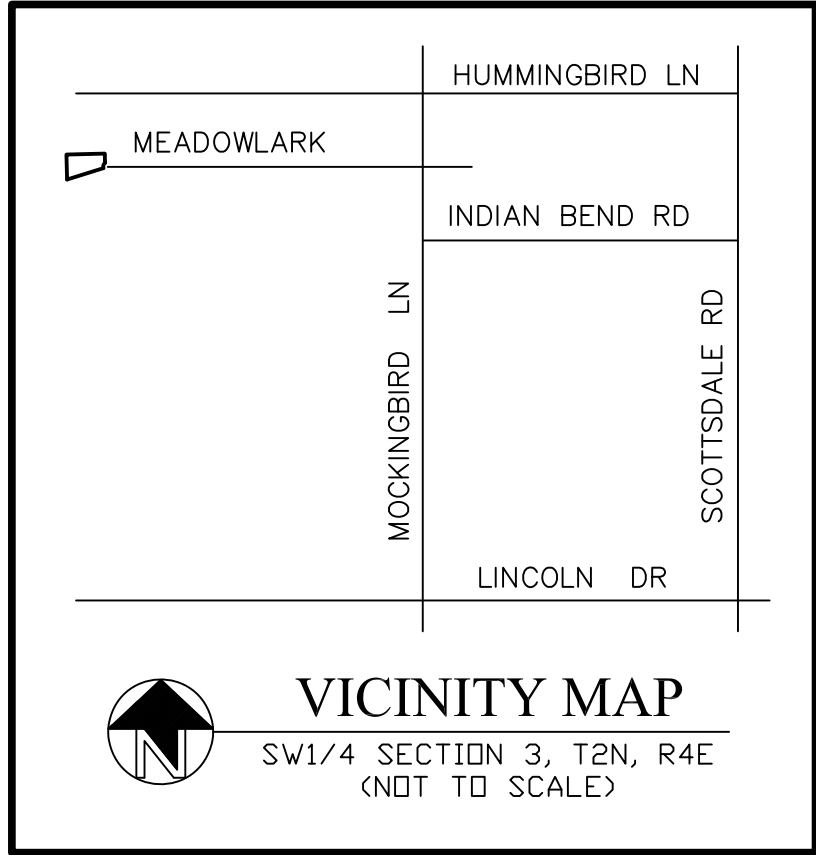
ROSEN RESIDENCE
PARADISE VALLEY, ARIZONA

MEADOWLARK
6516 E. MEADOWLARK LN
PARADISE VALLEY, AZ
GRADING & DRAINAGE PLAN

OWNER / DEVELOPER
NATHAN JENSEN
11355 E STANTON AVE
MESA, AZ 85212-7035
520.975.6552

ARCHITECT
STEVEN | BRENDEN ARCHITECT
4324 E. McDONALD DRIVE
PARADISE VALLEY, AZ 85253
GARTH A AUGER
602.748.8549
GARTH@BRENDENSTUDIO.COM

SURVEYOR
CVL CONSULTANTS
4550 N 12TH STREET
PHOENIX, AZ 85014
602.264.6831



PROJECT DESCRIPTION
CONSTRUCT NEW HOUSE ON
PREVIOUSLY DEVELOPED LOT.

HILLSIDE NOTES

- NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL ALL HILLSIDE STIPULATIONS AND ALL TOWN CODE REQUIREMENTS ARE COMPLIED INCLUDING, BUT NOT LIMITED TO LANDSCAPING, GROUND RESTORATION, FIRE FLOW, FIRE SAFETY AND ALL ONSITE AND OFFSITE IMPROVEMENTS.
- ALL OUTDOOR LIGHTING SHALL BE IN CONFORMANCE WITH ARTICLE XXII OF THE TOWN ZONING ORDINANCE.
- ALL EXCESS FILL MATERIAL SHALL BE REMOVED FROM THE SITE WITH NO NEW SPILL SLOPES.
- THE USE OF HYDRAULIC RAM HAMMERS, OR OTHER HEAVY EQUIPMENT USED TO CUT THROUGH ROCK, INCLUDING MACHINERY WITH AUDIBLE BACK UP WARNING DEVICES SHALL BE LIMITED TO USE BETWEEN THE HOURS OF 7:00AM OR SUNRISE, WHICHEVER IS LATER, AND 6:00PM OR SUNSET, WHICHEVER IS EARLIER, MONDAY THROUGH FRIDAY, WITH LIMITED WORK ON SATURDAY AND NO WORK ON SUNDAY OR LEGAL HOLIDAYS. RAM HAMMERS AND OTHER HEAVY EQUIPMENT CANNOT BE USED ON SATURDAYS WITHOUT A WAIVER FROM THE TOWN MANAGER.
- CONSTRUCTION STAKING AND / OR FENCING SHALL BE PLACED AROUND THE CONSTRUCTION SITE SO AS TO PROTECT THE UNDISTURBED NATURAL AREA.
- ALL RETAINING WALLS SHALL NOT EXTEND MORE THAN 6 INCHES ABOVE THE MATERIAL THEY RETAIN (WITH EXCEPTION OF DRIVEWAY RETAINING WALLS IN ACCORDANCE WITH 2207.VI.6)

UTILITY PROVIDERS

WATER: CITY OF PHOENIX
SEWER: CITY OF PHOENIX
ELECTRIC: APS
TELEPHONE: CENTURYLINK
NATURAL GAS: SW GAS
CABLE TV: COX

RETENTION CALCULATIONS

HILLSIDE VOLUME REQUIRED, $V = C \cdot I \cdot A$
PRE-VS-POST VOLUME
POST RUNOFF OF DEVELOPED AREA: $C = 0.95$
PRE DEVELOPED RUNOFF FOR HILLSIDE: $C = 0.75$
 $V_{req} = (0.95 \cdot 0.75) (2.21 / 12) (30,891 \text{ SF}) = 1,138 \text{ CF}$
 $A = \text{GROSS DISTURBED AREA}$
BASED ON THE PROPOSED DEVELOPMENT, THE HILLSIDE SLOPE OVER THE BUILDING PAD IS 15%, THEREFORE BASED ON FIGURE 3A, 75% IS THE PRO-RATED REQUIRED RETENTION VOLUME.
THUS, $V_{req} = (0.75) (1,129 \text{ CF}) = 847 \text{ CF}$

FIRST FLUSH VOLUME:
 $V = CIA = (1)(0.5"/12)(30,891 \text{ SF}) = \mathbf{1,287 \text{ CF}}$
THEREFORE, 1ST FLUSH VOLUME GOVERNS;
SITE IS BROKEN INTO 2 DRAINAGE AREAS AND EACH CALCULATED FOR 1ST FLUSH

TOTAL VOLUME PROVIDED = $\mathbf{1,328 \text{ CF}}$
DA1: $VR = (1.0)(0.5"/12)(14,737 \text{ SF}) = 614 \text{ CF}$
B1: $VP = (1/2)(384 \text{ SF} + 863 \text{ SF})(1.0') = 623 \text{ CF}$

DA2: $VR = (1.0)(0.5"/12)(16,154 \text{ SF}) = 673 \text{ CF}$
B2: $VP = (1/2)(406 \text{ SF} + 877 \text{ SF})(1.1') = 705 \text{ CF}$

NOTE: ALL RETENTION BASINS ARE TO DRAIN WITHIN 36 HOURS.

PERCOLATION

PER INFILTROMETER DATA FROM THE SOILS REPORT PREPARED BY VANN ENGINEERING, THE STABILIZED PERCOLATION RATE IS 0.0781 CF/HR/FT²

THEREFORE, DRAIN TIME =
 $662 \text{ CF} / 0.0781 / 447 \text{ SF} = 19 \text{ HOURS} < 36 \text{ HOURS}$; THEREFORE, OKAY

AS-BUILT CERTIFICATION

I HEREBY CERTIFY THAT THE "RECORD DRAWING" MEASUREMENTS AS SHOWN HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

REGISTERED ENGINEER / LAND SURVEYOR DATE

REGISTRATION NUMBER

SHEET INDEX

SHEET 1: COVER + NOTES
SHEET 2: GRADING & DRAINAGE PLAN
SHEET 3: DRAINAGE EXHIBIT

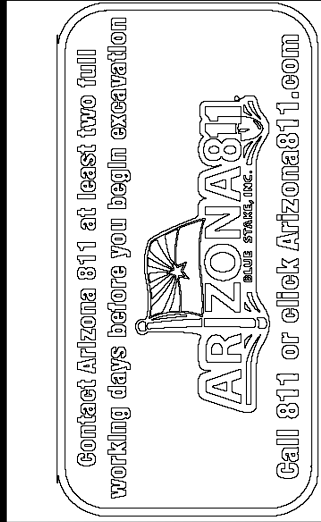
APPROVED

TOWN ENGINEER DATE

THIS SET OF PLANS HAS BEEN REVIEWED FOR COMPLIANCE WITH TOWN OF PARADISE VALLEY REQUIREMENTS PRIOR TO ISSUANCE OF PERMIT. THE TOWN NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. THIS COMPLIANCE APPROVAL SHALL NOT PREVENT THE TOWN ENGINEER FROM REQUIRING CORRECTIONS OF ERRORS OR OMISSIONS IN THE PLANS TO BE FOUND IN VIOLATION OF LAWS OR ORDINANCES.

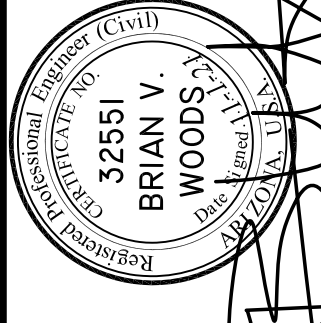
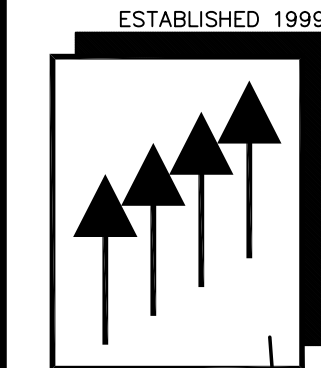
GENERAL NOTES

- PRIOR TO THE FIRST INSPECTION OF STRUCTURES WITHIN 3 FEET OF A SETBACK LINE, THE PROPERTY PINS SHALL BE PLACED BY A REGISTERED CIVIL ENGINEER OR LAND SURVEYOR OF THE STATE OF ARIZONA, AND THE PROPERTY LINE(S) IDENTIFIED.
- WHERE EXCAVATION IS TO OCCUR THE TOP 4" OF EXCAVATED NATIVE SOIL SHALL REMAIN ON THE SITE AND SHALL BE REUSED IN A MANNER THAT TAKES ADVANTAGE OF THE NATURAL SOIL SEED BANK IT CONTAINS.
- ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL MUNICIPALITY UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS.
- THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL STATE, AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO THE CONSTRUCTION COVERED BY THIS PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
- ALL EXTERIOR SITE LIGHTING SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS FOR TYPE, LOCATION, HEIGHT, WATTAGE, AND LUMEN BASED UPON THE FIXTURES INSTALLED PURSUANT TO SECTION 1023 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCE FOR NON-HILLSIDE PROPERTIES, SECTION 2208 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCE FOR HILLSIDE PROPERTIES, OR AS SPECIFIED IN THE SPECIAL USE PERMIT FOR SPECIAL USE PERMIT PROPERTIES.
- A DUST CONTROL PLAN AND PERMIT MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
- A SEPARATE RIGHT-OF-WAY PERMIT IS NECESSARY FOR ANY OFF-SITE CONSTRUCTION.
- AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
- EAVE PROJECTIONS INTO REQUIRED SETBACKS ARE LIMITED TO A MAXIMUM OF 24" PURSUANT TO SECTION 1008 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES.
- ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
- ALL NEW AND EXISTING ELECTRICAL SERVICE LINES SHALL BE BURIED PER THE TOWN OF PARADISE VALLEY REQUIREMENTS.
- IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE TO ARRANGE FOR THE RELOCATION AND RELOCATION COSTS OF ALL UTILITIES, AND TO SUBMIT A UTILITY RELOCATION SCHEDULE PRIOR TO THE ISSUANCE OF AN ENGINEERING CONSTRUCTION PERMIT.
- EXISTING AND/OR NEW UTILITY CABINETS AND PEDESTALS SHALL BE LOCATED A MINIMUM OF 4" BEHIND ULTIMATE BACK OF CURB LOCATION.
- POOL, SPA, BARBECUE AND ANY PROPOSED STRUCTURES OVER 8" ABOVE GRADE REQUIRE SEPARATE PERMIT APPLICATIONS.
- POOLS SHALL BE CONSTRUCTED BY SEPARATE PERMIT AND SECURED FROM UNWANTED ACCESS PER TOWN CODE, ARTICLE 5-2.
- ALL FILL MATERIAL UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95%.
- SETBACK CERTIFICATION IS REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO STEM WALL INSPECTION.
- FOR BUILDING PADS THAT HAVE 1' OR MORE OF FILL MATERIAL, SOILS COMPACTION TEST RESULTS ARE REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO PRE-SLAB INSPECTION.
- FINISHED FLOOR ELEVATION CERTIFICATION IS REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO FRAMING INSPECTION.
- MAIL BOXES SHALL COMPLY WITH THE TOWN OF PARADISE VALLEY STANDARDS FOR MAIL BOXES IN THE RIGHT-OF-WAY FOR HEIGHT, WIDTH AND BREAK AWAY FEATURES.
- ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE.
- TRENCH BEDDING AND SHADING SHALL BE FREE OF ROCKS AND DEBRIS.
- THE TOWN ONLY APPROVES THE SCOPE OF WORK AND NOT THE ENGINEERING DESIGN. ANY CONSTRUCTION QUANTITIES SHOWN ARE NOT VERIFIED BY THE TOWN.
- THE APPROVAL OF THE PLANS IS VALID FOR 180 DAYS. IF A PERMIT FOR CONSTRUCTION HAS NOT BEEN ISSUED WITHIN 180 DAYS, THE PERMIT MUST BE RENEWED.
- A TOWN INSPECTOR WILL INSPECT ALL WORK WITHIN THE TOWN'S RIGHTS-OF-WAY. NOTIFY TOWN INSPECTION SERVICES TO SCHEDULE A PRECONSTRUCTION MEETING PRIOR TO STARTING CONSTRUCTION.
- WHENEVER EXCAVATION IS NECESSARY, CALL ARIZONA811 BY DIALING 811 OR 602-263-1100, TWO (2) WORKING DAYS BEFORE EXCAVATION BEGINS.
- EXCAVATIONS SHALL COMPLY WITH REQUIREMENTS OF OSHA EXCAVATION STANDARDS (29 CFR, PART 1926, SUBPART P). UNDER NO CIRCUMSTANCES WILL THE CONTRACTORS BE ALLOWED TO WORK IN A TRENCH LOCATED WITHIN THE TOWN'S RIGHT-OF-WAY WITHOUT PROPER SHORING OR EXCAVATION METHODS.
- PERMIT HOLDER SHALL POST A 6 SQUARE FOOT (2'X3') IDENTIFICATION SIGN, MADE OF DURABLE MATERIAL, IN THE FRONT YARD OF SUBJECT PROPERTY AND NOT IN THE TOWN'S RIGHT-OF-WAY. THE SIGN MAY NOT EXCEED A MAXIMUM OF 6 FEET IN HEIGHT FROM GRADE TO TOP OF THE SIGN. THE SIGN MUST INCLUDE THE PERMITTEE OR COMPANY NAME, PHONE NUMBER, TYPE OF WORK, ADDRESS OF PROJECT AND TOWN CONTACT NUMBER, 480-348-3556.
- WHEN DEEMED NECESSARY, A 6-FOOT HIGH CHAIN LINK FENCE MUST BE INSTALLED AROUND THE CONSTRUCTION AREA TO PREVENT ANY POTENTIAL SAFETY HAZARD FOR THE PUBLIC. THE FENCE SHALL BE SETBACK AT LEAST 10 FEET FROM ALL RIGHTS-OF-WAY AND HAVE A 50-FOOT STREET CORNER SITE TRIANGLE WHERE APPLICABLE.
- CLEAR ACCESS FOR NEIGHBORING PROPERTIES AND EMERGENCY VEHICLES MUST BE MAINTAINED AT ALL TIMES. CONSTRUCTION RELATED VEHICLES MUST BE LEGALLY PARKED ONLY ON ONE SIDE OF THE STREET OR JOB SITE PROPERTY.
- ALL CONSTRUCTION DEBRIS AND EQUIPMENT MUST BE CONTAINED ON SITE AT ALL TIMES. CONTRACTOR AND PROPERTY OWNER MUST MAINTAIN THE JOB SITE FREE OF LITTER AND UNSIGHTLY MATERIALS AT ALL TIMES. CONSTRUCTION MATERIALS ARE PROHIBITED IN THE TOWN'S RIGHT-OF-WAY.
- CONSTRUCTION ACTIVITIES ARE PERMITTED BETWEEN THE HOURS OF 7 AM AND 5 PM MONDAY THROUGH CONSTRUCTION ACTIVITIES MAY START ONE (1) HOUR EARLIER DURING THE SUMMER (MAY 1ST THROUGH SEPTEMBER 30TH).
- THE USE AND OPERATION OF FUEL-FIRED GENERATORS IS PROHIBITED UNLESS DUE TO A HARDSHIP. TOWN APPROVAL SHALL BE REQUIRED.
- THE CONTRACTOR AND PROPERTY OWNER SHALL BE LIABLE FOR ANY DAMAGE DONE TO ANY PUBLIC PROPERTY AS A RESULT OF ANY CONSTRUCTION OR CONSTRUCTION RELATED ACTIVITIES. NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL AFFECTED RIGHTS-OF-WAY ARE CLEANED AND/OR REPAIRED TO THEIR ORIGINAL CONDITION AND UNTIL ANY AND ALL DAMAGES TO AFFECTED PROPERTIES ARE RESTORED TO ORIGINAL CONDITION.
- A KEYED SWITCH SHALL BE REQUIRED ON ALL NEW AND EXISTING ELECTRIC ENTRY GATES. THE KEYED SWITCH SHALL BE INSTALLED IN A LOCATION THAT IS READILY VISIBLE AND ACCESSIBLE. KNOX BOX ORDER FORMS ARE AVAILABLE AT THE TOWN'S BUILDING SAFETY DEPARTMENT.
- PROPERTY OWNER, BUILDER, OR GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR CONTROLLING DUST FROM THE SITE AT ALL TIMES. ALL MEANS NECESSARY SHALL BE USED BY THE BUILDER OR GENERAL CONTRACTOR TO CONTROL THE EXISTENCE OF DUST CAUSED BY ANY EARTHWORK, SPRAY APPLICATION OF MATERIALS, OR OTHER DUST-CAUSING PRACTICES REQUIRED BY THE CONSTRUCTION PROCESS.
- APPROVAL OF THESE PLANS ARE FOR PERMIT PURPOSES ONLY AND SHALL NOT PREVENT THE TOWN FROM REQUIRING CORRECTION OF ERRORS IN THE PLANS WHERE SUCH ERRORS ARE SUBSEQUENTLY FOUND TO BE IN VIOLATION OF ANY LAW, ORDINANCE, HEALTH, SAFETY, OR OTHER DESIGN ISSUES.
- ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTION DITCHES, PIPES PROTECTIVE BERMS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT PROPOSED AND EXISTING IMPROVEMENTS FROM RUNOFF OR DAMAGE FROM STORM WATER, MUST BE CONSTRUCTED PRIOR TO THE CONSTRUCTION OF ANY IMPROVEMENTS.



GRADING & DRAINAGE
ENGINEERS, INC
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MEADOWLARK
6516 E. MEADOWLARK LN, PARADISE VALLEY
GRADING & DRAINAGE PLAN

PROJECT

11/01/21

JOB NO.
21-1716

SHEET
HS6.1
1 OF 3

HILLSIDE FORMAL REVIEW

MEADOWLARK

6516 E. MEADOWLARK LN
PARADISE VALLEY, AZ

GRADING & DRAINAGE PLAN

CONSTRUCTION NOTES

- 1 REMOVE EXISTING DRIVEWAY AND ANY FILL SLOPES. RESTORE & REVEGETATE AREA
- 2 CONSTRUCT 8" MAX HIGH RETAINING WALL PER STRUCTURAL ENGINEER'S DETAIL
- 3 PROVIDE 2" MIN. DRAINAGE CHANNEL TO BE 18" LOWER THAN ADJACENT RETAINING WALL TOP, 2% MIN. DRAINAGE SLOPE; PROVIDE FULLY EMBEDDED 4" RIPRAP ON SLOPE ADJACENT WALL
- 4 6" MIN. BACKFILL AGAINST WALL TO PUSH DRAINAGE AWAY FROM SOUTH-FACING WALL
- 5 CONSTRUCT RETENTION BASIN PER CONTOURS / ELEVATIONS SHOWN; USE BOULDER WALL AS REQUIRED ON DOWNHILL PORTION; INTEGRATE GEOTEXTILE FABRIC TO HELP SEAL IN VOLUME; REVEGETATE AREA
- 6 HOUSE WALL TO BE WATERPROOFED, RETAINING WALL (SEE STRUCTURAL ENGINEER'S DETAIL) 1" MIN. HIGHER THAN ADJACENT FINISHED GRADE, TYPICAL
- 7 INSTALL POOL BACKWASH LINE TO RETENTION BASIN. REVEG OVER LINE
- 8 CONSTRUCT CONCRETE PAVERS DRIVEWAY; 18% MAX SLOPE
- 9 INSTALL 2" MIN. SLOTTED DRAIN PIPE ACROSS DRIVEWAY; DRAIN / PIPE INTO RETENTION BASIN; SLOT PIPE MUST BE ABLE TO WITHSTAND VEHICLE TRAFFIC
- 10 INSTALL STAGGERED BOULDERS / SPILLWAY; 3' MIN. WIDTH BETWEEN BOULDERS & WALL, 2% MIN. DRAIN SLOPE; GRADE SHALL BE 18" LOWER THAN ADJACENT TOP OF RETAINING WALL
- 11 INSTALL POOL BARRIER FENCE, 5' MIN. TALL, PER ARCHITECTURAL PLANS

NOTE

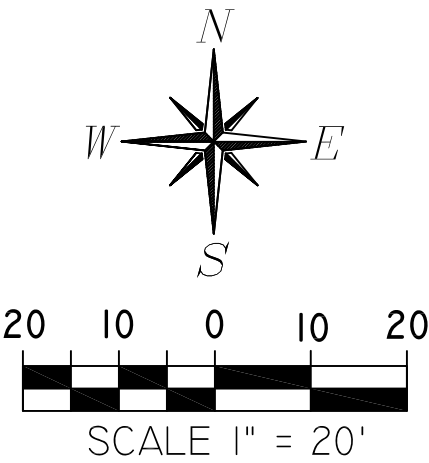
- EXISTING LOT WAS PREVIOUSLY DEVELOPED.
- ALL DEMOLITION BY SEPARATE PLAN AND PERMIT
- CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITIES.
- ALL FILL SHALL BE COMPACTED TO 95% MIN, INTERLOCKED, AND SAFEGUARDED AGAINST WATER SEEPAGE; PER MAG SECTION 211
- SEE LANDSCAPE PLAN AND NATIVE PLANT INVENTORY & SALVAGE PLAN.
- SEE ARCHITECTURAL PLANS FOR ALL BUILDING INFO, DIMENSIONS, ETC.
- CONTRACTOR TO RESTORE NATURAL GRADE OUTSIDE OF THE BUILDING ENVELOPE SHOWN AS WELL AS THE REVEG / RESTORE AREA SHOWN HATCHED.

NATIVE PLANT STATEMENT

ALL NATIVE PLANTS IMPACTED BY CONSTRUCTION SHALL BE RELOCATED ON SITE. SEE LANDSCAPE PLAN AND NATIVE PLANT INVENTORY & SALVAGE PLAN

LEGEND

	DRAINAGE DIRECTION
	FINISHED ELEVATION
	EX. CONTOUR ELEVATION
	NEW CONTOUR ELEVATION
	PROPERTY LINE
	BUILDING ENVELOPE (GROSS DISTURBANCE)
	LOWEST NATURAL GRADE
	BUILDING SETBACK LINE
	TOP OF WALL
	TOP OF RETAINING WALL
	LOWEST ADJACENT GRADE
	TOP OF BOULDER WALL
	REVEG / RESTORE AREA



SECTION A-A

SCALE
VERTICAL: 1"=20'
HORIZONTAL: 1"=20'

SECTION B-B

SCALE
VERTICAL: 1"=20'
HORIZONTAL: 1"=20'

SECTION C-C

SCALE
VERTICAL: 1"=20'
HORIZONTAL: 1"=20'

GRADING & DRAINAGE

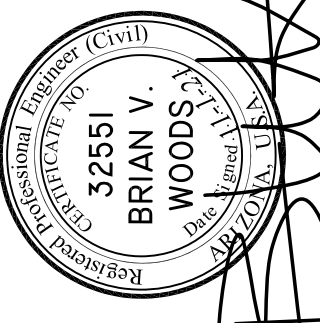
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MEADOWLARK

6516 E. MEADOWLARK LN, PARADISE VALLEY
GRADING & DRAINAGE PLAN

PROJECT

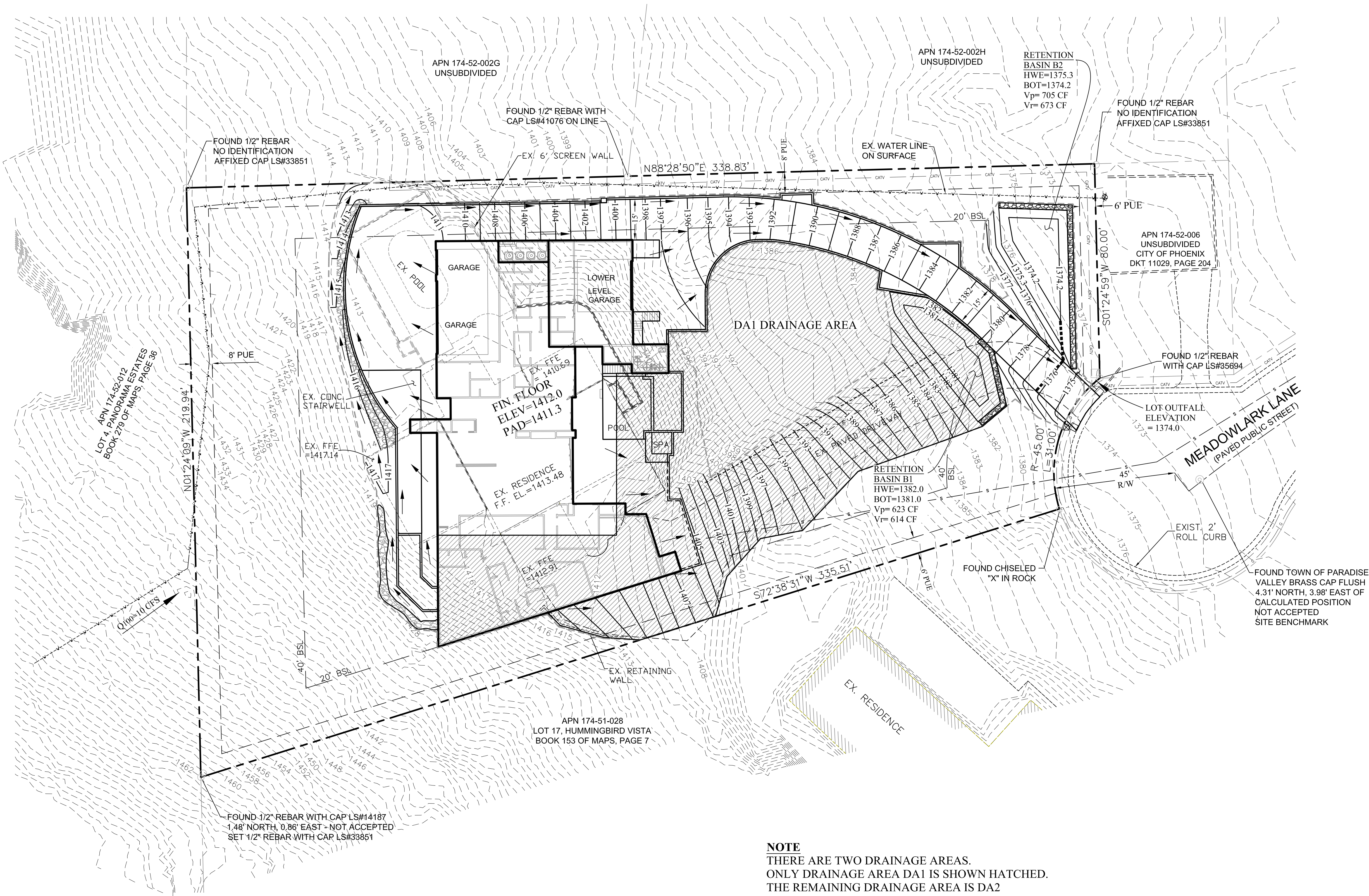
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21-1716

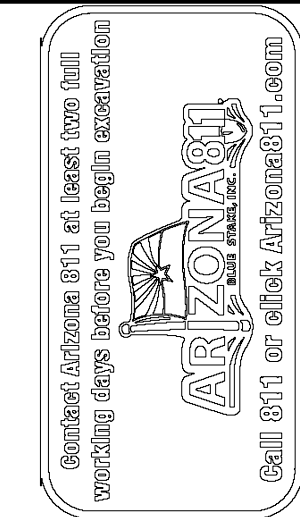
SHEET
HS6.2
2 OF 3

MEADOWLARK

6516 E. MEADOWLARK LN
PARADISE VALLEY, AZ
DRAINAGE EXHIBIT



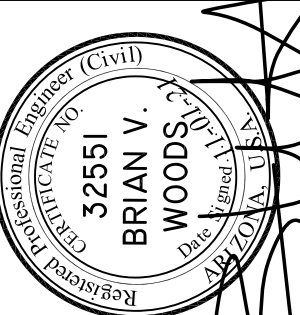
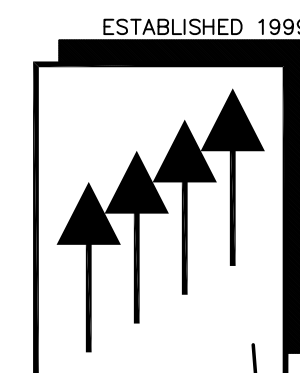
NOTE
THERE ARE TWO DRAINAGE AREAS.
ONLY DRAINAGE AREA DA1 IS SHOWN HATCHED.
THE REMAINING DRAINAGE AREA IS DA2



**GRADING & DRAINAGE
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MEADOWLARK

6516 E. MEADOWLARK LN, PARADISE VALLEY
DRAINAGE EXHIBIT

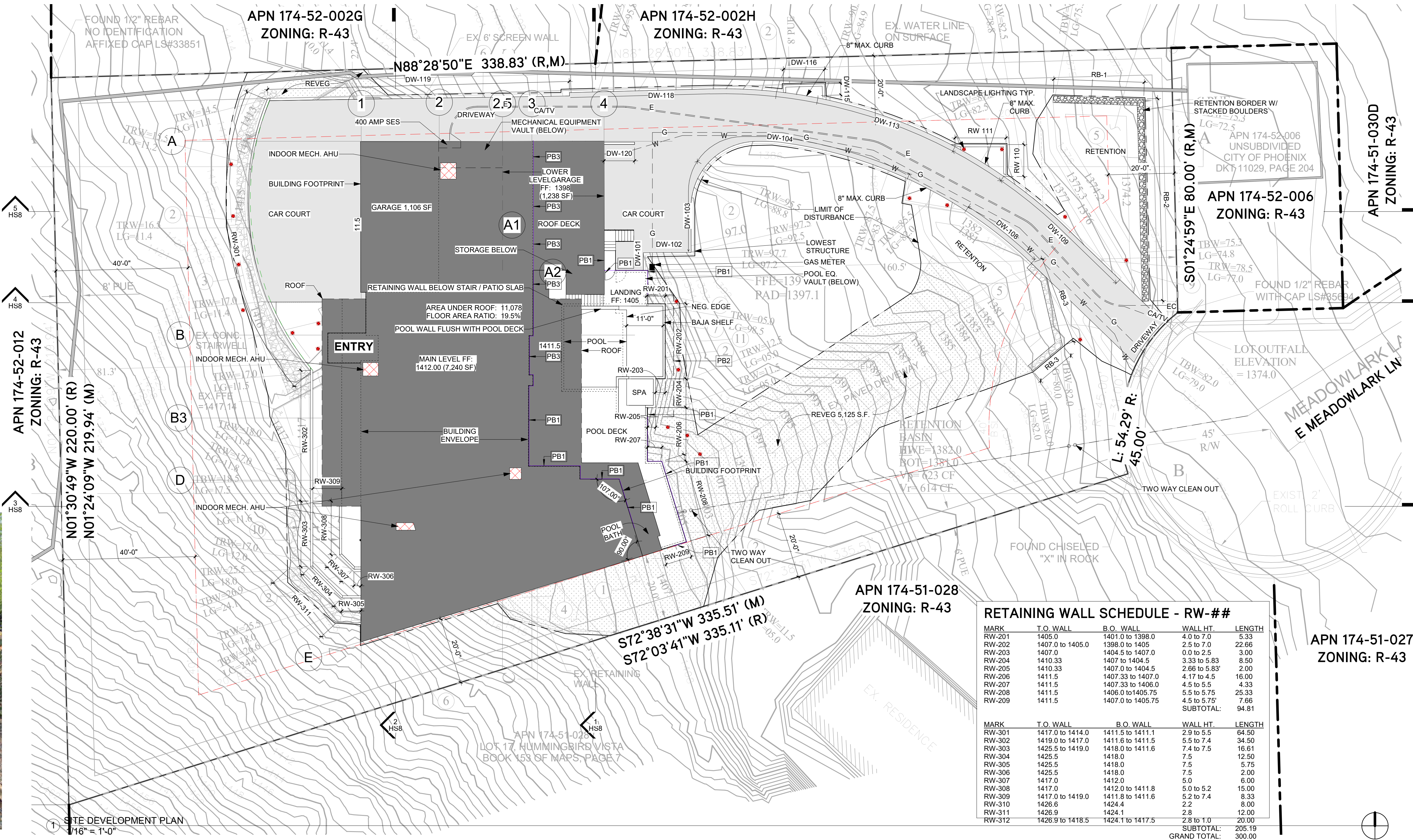
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JOB NO.
21-1716

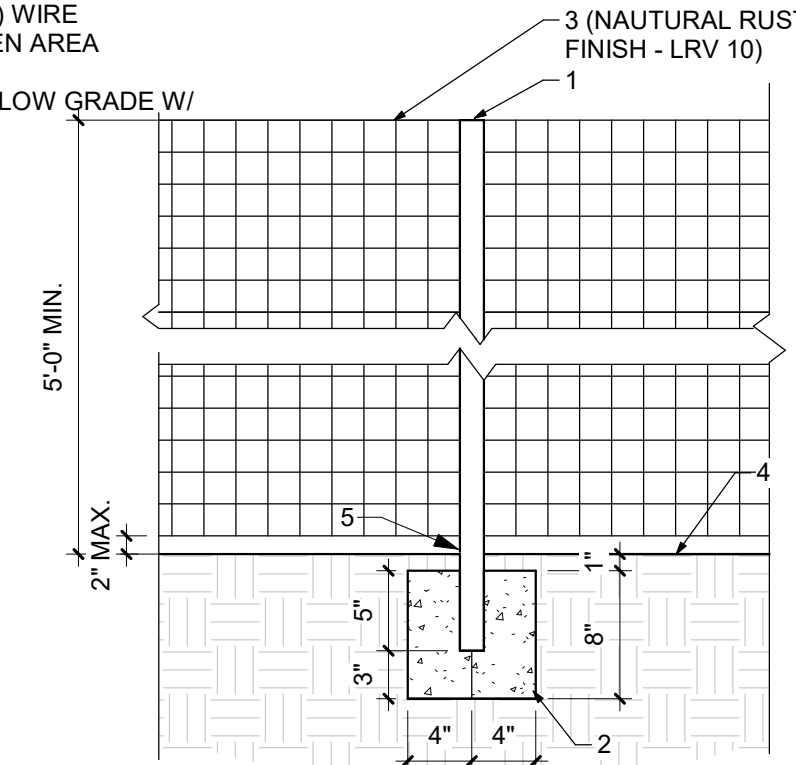
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HS6.3
3 OF 3

HILLSIDE FORMAL REVIEW



DETAIL NOTES

- 1-1/2"x3-1/2"x3/16" TUBE STEEL POST 6'-0" O.C. - CAP TOP OF POST
- 8" DIAM. CONCRETE COLD ROLLED WELDED, 2" X 2" MESH (1.8130" X 1.8130") OPENING 0.187" THICK (6-1/4 GAUGE) WIRE DIAMETER, 82% OPEN AREA
- FINISHED GRADE
- PROTECT STEEL BELOW GRADE W/ TAPE OR PAINT



2 POOL FENCE
1" = 1'-0"

POOL BARRIER KEY NOTES

- PB1 RETAINING WALL + PATIO DECK MIN. 5'-0" TO MAX. 8'-0"
PB2 POOL BARRIER, METAL VIEW FENCE, MIN 5' TALL MIN. 80% OPEN VIEW - LRV 10
PB3 DOOR OR WINDOW BETWEEN HOUSE AND POOL EQUIPMED WITH ALARM AND LATCHING MECHANISM LOCATED 94" A.F.F.



DRIVEWAY WALL SCHEDULE - DW-##

MARK	T.O. WALL	B.O. WALL	WALL HT.	LENGTH
DW-101	1397.5 to 1398.5	1397.2 to 1398.4	0.3 to 0.1	6.33
DW-102	1397.5	1392.5 to 1397.2	5.0 to 0.3	14.10
DW-103	1395.5 to 1397.5	1389.5 to 1392.5	7.0 to 5.0	28.00
DW-104	1385.5 to 1395.5	1382.5 to 1388.5	4.3 to 7.0	65.66
DW-105	1386.5	1383.0 to 1382.8	2.5 to 4.3	6.66
DW-106	1386.5	1380.5 to 1383.0	6.0 to 2.5	19.00
DW-107	NOT USED			
DW-108	1385.5 to 1382.5	1380.5 to 1380.9	3.0 to 0.4	25.50
DW-109	1378.5 to 1383.0	1377.0 to 1379.1	1.5 to 2.1	39.00
DW-110	1385.5	1379.0 to 1379.2	6.5 to 6.3	10.00
DW-111	1385.5	1381.0 to 1379.0	4.5 to 6.5	16.33
DW-112	NOT USED			
DW-113	1385.5	1379.2 to 1381.0	6.3 to 4.5	43.33
DW-114	NOT USED			
DW-115	1391.0	1384.5 to 1384.3	6.5 to 6.3	3.66
DW-116	1391.0	1384.5 to 1386.0	6.5 to 5.0	12.33
DW-117	1391.0	1386.0	5.0	1.33
DW-118	1392.0 to 1401.0	1386.0 to 1397.0	6.0 to 4.0	62.50
DW-119	1400.85 to 1414.5	1397.5 to 1411.1	3.25 to 3.4	89.00
DW-120	1399.50 to 1397.50	1399.0 TO 1397	0.5	10.33

RETENTION BORDER SCHEDULE - RB-##

MARK	T.O. BORDER	B.O. BORDER	HEIGHT	LENGTH
RB-1	1375.8 to 1375.3	1375.3 to 1372.5	0.2 to 2.8	27.00
RB-2	1375.3	1372.5 to 1374.8	2.8 to 0.5	61.00
RB-3	1382	1379 TO 1380	2.0 to 3.0	39.00

RETAINING WALL SCHEDULE - RW-##

MARK	T.O. WALL	B.O. WALL	WALL HT.	LENGTH
RW-201	1405.0	1401.0 to 1398.0	4.0 to 7.0	5.33
RW-202	1407.0 to 1405.0	1398.0 to 1405	2.5 to 7.0	22.66
RW-203	1407.0	1404.5 to 1407.0	0.0 to 2.5	3.00
RW-204	1410.33	1407.0 to 1404.5	3.33 to 5.83	8.50
RW-205	1410.33	1407.0 to 1404.5	2.66 to 5.83	2.00
RW-206	1411.5	1407.33 to 1407.0	4.17 to 4.5	16.00
RW-207	1411.5	1407.33 to 1406.0	4.5 to 5.5	4.33
RW-208	1411.5	1406.0 to 1405.75	5.5 to 5.75	25.33
RW-209	1411.5	1407.0 to 1405.75	4.5 to 5.75	7.66
SUBTOTAL:				94.81
MARK	T.O. WALL	B.O. WALL	WALL HT.	LENGTH
RW-301	1417.0 to 1414.0	1411.5 to 1411.1	2.9 to 5.5	64.50
RW-302	1419.0 to 1417.0	1411.6 to 1411.5	5.5 to 7.4	34.50
RW-303	1425.5 to 1419.0	1418.0 to 1411.6	7.4 to 7.5	16.61
RW-304	1425.5	1418.0	7.5	12.50
RW-305	1425.5	1418.0	7.5	5.75
RW-306	1425.5	1418.0	7.5	2.00
RW-307	1417.0	1412.0	5.0	6.00
RW-308	1417.0	1412.0 to 1411.8	5.0 to 5.2	15.00
RW-309	1417.0 to 1419.0	1411.8 to 1411.6	5.2 to 7.4	8.33
RW-310	1426.6	1424.4	2.2	8.00
RW-311	1426.9	1424.1	2.8	12.00
RW-312	1426.9 to 1418.5	1424.1 to 1417.5	2.8 to 1.0	20.00
SUBTOTAL:				205.19
GRAND TOTAL:				300.00

PROPERTY DATA

OWNER:	GREG KOVACS (OWNER'S REP)	LOT AREA	56,761 SF APPROX 1.303 ACRES
ADDRESS	6516 MEADOWLARK LANE PARADISE VALLEY, 85253	AREA UNDER ROOF	10,921 SF
PARCEL #	174-51-029	FLOOR AREA RATIO	19.2% (10,921 / 56,761)
SUBDIVISION	HUMMINGBIRD VISTA	BUILDING PAD SLOPE	15%
LOT #	18	VERTICAL	18 FEET
ZONING	R-43 HILLSIDE	HORIZONTAL	120 FEET
BUILDING HEIGHTS		ALLOWED DISTURBED AREA	34.11% (19,361 SF)
BLDG MAX HT (STORY)	2	EXISTING DISTURBED AREA	34.4% (19,476 SF)
BLDG MAX HT (CUMULATIVE)	40'		
BLDG MAX HT (PARALLEL N.G.)	24'	GROSS DISTURBED AREA	30,649 SF
ACSY FRONT	16'	MINUS TOTAL LIVABLE AREA	7,230 SF
BLDG FRONT	40'	MINUS ATTACHED GARAGE AREA	1,851 SF
BLDG SIDE	20'	MINUS DRIVEWAY CREDIT	0 SF
BLDG REAR	40'	MINUS RETENTION BASIN CREDIT	1,766 SF
ACSY FRONT	60'	MINUS RESTORED AREAS	5,382 SF
ACSY SIDE	20'	NET PROPOSED DISTURBED AREA	14,420 SF
ACSY REAR	20'		

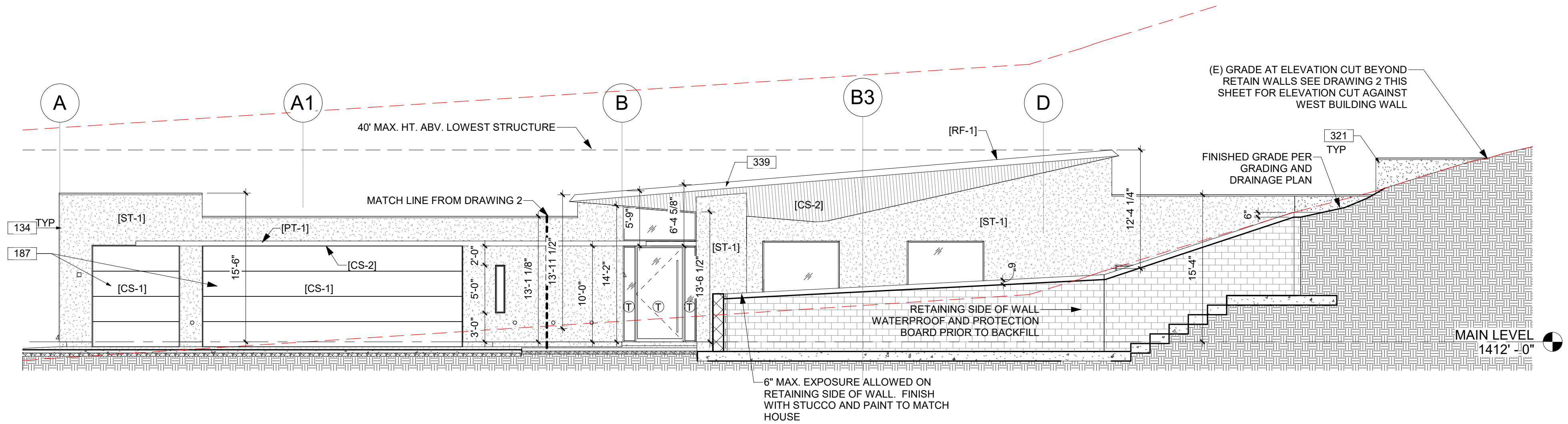
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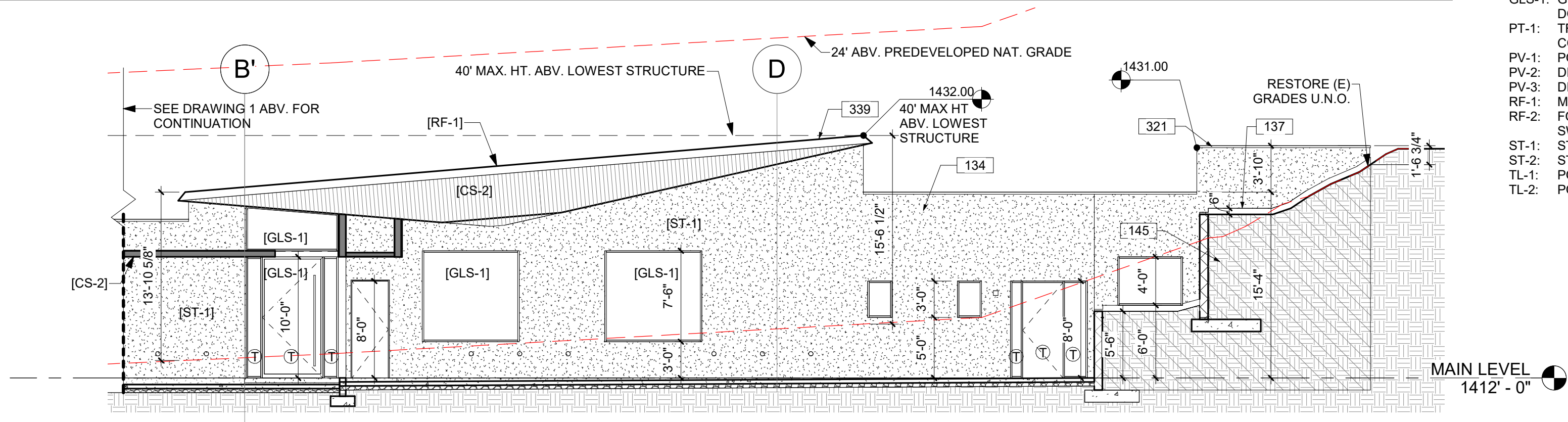
EXPIRES 12/31/2021

HS7

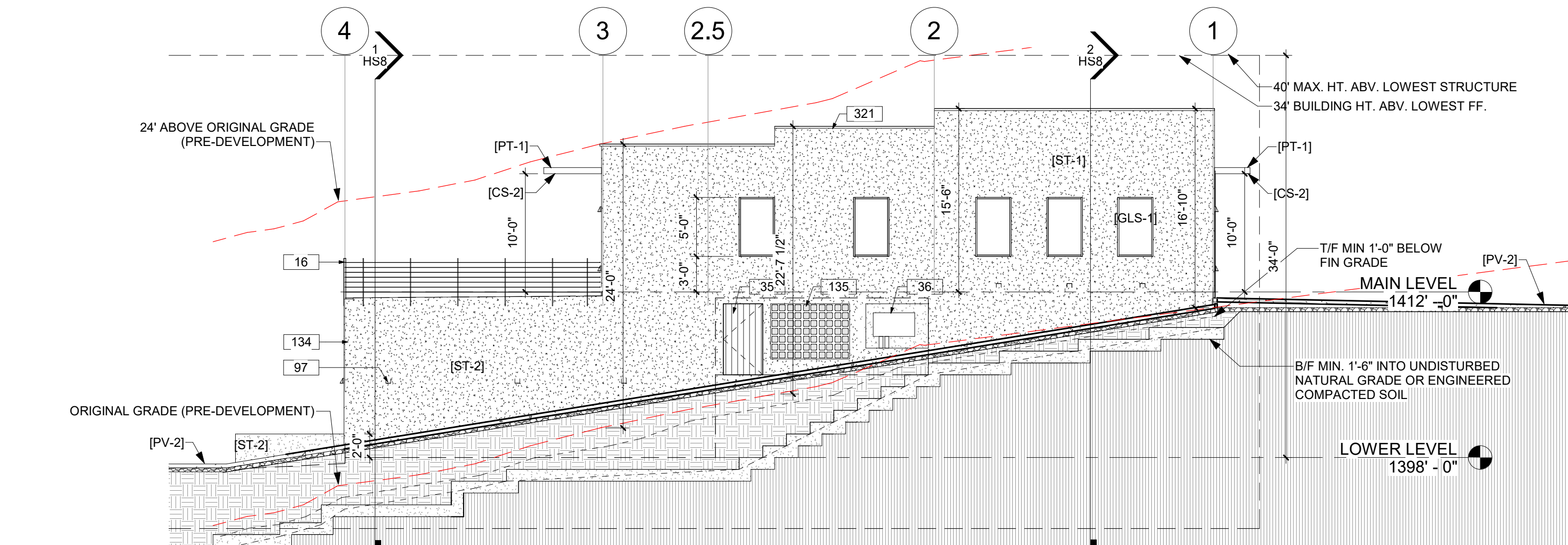
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11/01/2025 10:27:05 AM



1 WEST ELEVATION
1/8" = 1'-0"



2 WEST ELEVATION UP CLOSE
1/8" = 1'-0"



3 NORTH ELEV UP CLOSE
1/8" = 1'-0"

STUCCO NOTES

EXTERIOR PORTLAND CEMENT STUCCO OVER WOOD FRAME / SHEATHING

- WEATHER RESISTIVE BARRIER:
 - TWO LAYERS NO. 15 ASPHALT FELT OR OTHER APPROVED WRB
 - APPLIED HORIZONTALLY LAPPED MIN. 2". VERTICAL LAPS MIN. 6"
 - INSTALL CONT. TO TOP OF WALL.
- LATH:
 - CORROSION RESISTANT EXPANDED METAL (STUCCO THICKNESS 3/4")
 - CORROSION RESISTANT WOVEN WIRE (STUCCO THICKNESS 7/8"
 - ATTACHMENT: CORROSION RESISTANT 1 5/8" LONG 11 GA. NAILS W/ 7/16" HEAD OR 7/8" LONG 16 GA. STAPLES SPACED NOT LESS THAN 6" O.C.
- LATH OVER FOAM:
 - INTO WOOD FRAMING MIN 1 1/4" PENETRATION
 - SEE FASTENING REQUIREMENTS TABLE FOR FOAM THICKNESS AND NAILING REQUIREMENTS
- STUCCO ACCESSORIES:
 - 26 GA. CORROSION RESISTANT WEEP SCREED OR PLASTIC WEEP SCREED SET AT OR BELOW FOUNDATION PLATE LINE
 - MIN. 3/5" VERTICAL ATTACHMENT FLANGE
 - WRB SHALL LAP THE ATTACHMENT FLANGE
 - EXTERIOR LATH SHALL COVER AND TERMINATE ON THE ATTACHMENT FLANGE OF THE WEEP SCREED.

FASTENER	FASTENER VERT. SP.	16" O.C. HORIZ. SPACE CLADDING WT. 11 PSF MAX. THICKNESS FOAM
.113" D NAIL	6"	1"
	8"	1"
	12"	1"
.120" D NAIL	6"	1.5"
	8"	1"
	12"	1"
.131" D NAIL	6"	1.5"
	8"	1"
	12"	1"
.162" D NAIL	6"	1"
	8"	1"
	12"	1"

KEYNOTE LEGEND

- 16 PATIO GUARD RAILING MINIMUM 3'-0" HIGH WITH LESS THAN 4" SPACING BETWEEN MEMBERS & 200# MIN LOAD HORIZONTAL LOAD RESISTANCE.
- 35 TUBE STEEL GATE W/1/4" METAL MESH VERMIN PROOF FIXED IN PLACE.
- 36 400A SES AND METER - PROVIDE UFFER GROUNDING PER ELECTRICAL SHEET E-1.
- 97 OUTDOOR RATED FIXTURE, VAPOR PROOF LENS, EXTERIOR RATED BACK BOX, GASKET AND OR SEALANT AS REQUIRED.
- 134 PORTLAND CEMENT STUCCO WALL FINISH - SEE EXTERIOR WALL FINISH NOTES ON SHEET A2.1.
- 135 8X8X16 CMU ROTATED TO ALLOW MECHANICAL ROOM VENTING WITH 1/4" METAL MESH SCREEN FIXED IN PLACE.
- 137 SEPARATION REQUIRED FINISHED GRADE TO STUCCO WEEP SCREED - PAINT SAME AS BUILDING COLOR ABOVE.
- 145 SELF-ADHERING SHEET WATERPROOFING SYSTEM - SEE SPEC SECTION 07.13.26 SHEET A0.2.
- 187 INSULATED OVERHEAD SECTIONAL GARAGE DOOR WITH CS-1 COMPOSITE SIDING.
- 321 PREFINISHED PARAPET CAP.
- 339 PREFINISHED METAL ROOF RAKE SIDE FASCIA - SEE SHEET A5.1.

GENERAL ELEVATION NOTES

- A. ALL EXTERIOR MATERIAL PALETTE SHALL BE IN ACCORDANCE WITH SECTION 2207.II.D.
- B. ALL EXTERIOR LIGHTING SHALL COMPLY WITH SECTION 2208
- C. STUCCO SPECIFICATION FOUND ON SHEET A.02

FINISH MATERIAL REFERENCE KEY

- CS-1: COMPOSITE SIDING (EBONY SLATE) - LRV 9
- CS-2: COMPOSITE SIDING (MYSTIC CEDAR) - LRV 9
- GLS-1: GLAZING (SOLAR BAN 60 - CLEAR)
- DOOR & WINDOW FRAMES (MATTIE BLACK) - LRV 9
- PT-1: TRIM, FASCIA, RAILING (PAINT OR FACTORY APPLIED FINISH) COLOR TO MATCH PAC CLAD MATTIE BLACK) - LRV 9
- PV-1: PORCELAIN PATIO PAVERS (VILAGIO RETREAT GRAY) LRV 25
- PV-2: DRIVEWAY PAVES FIELD COLOR (GRAPHITE) LRV25
- PV-3: DRIVEWAY PAVES ACCENT COLOR (FOUNDRY) LRV 25
- RF-1: METAL ROOF (PAC CLAD MUSKET GRAY) - LRV 13 - 19
- RF-2: FOAM FLAT ROOF (COLORANT COATING - MANOR HOUSE SW 7505) - LRV 9
- ST-1: STUCCO (BISON BEIGE DEC 750) - LRV 27
- ST-2: STUCCO (MANOR HOUSE SW 7505) - LRV 11
- TL-1: PORCELAIN TILE (EBONY) - LRV 25
- TL-2: PORCELAIN TILE (CEMENTO BLACK) - LRV 9

REVISIONS
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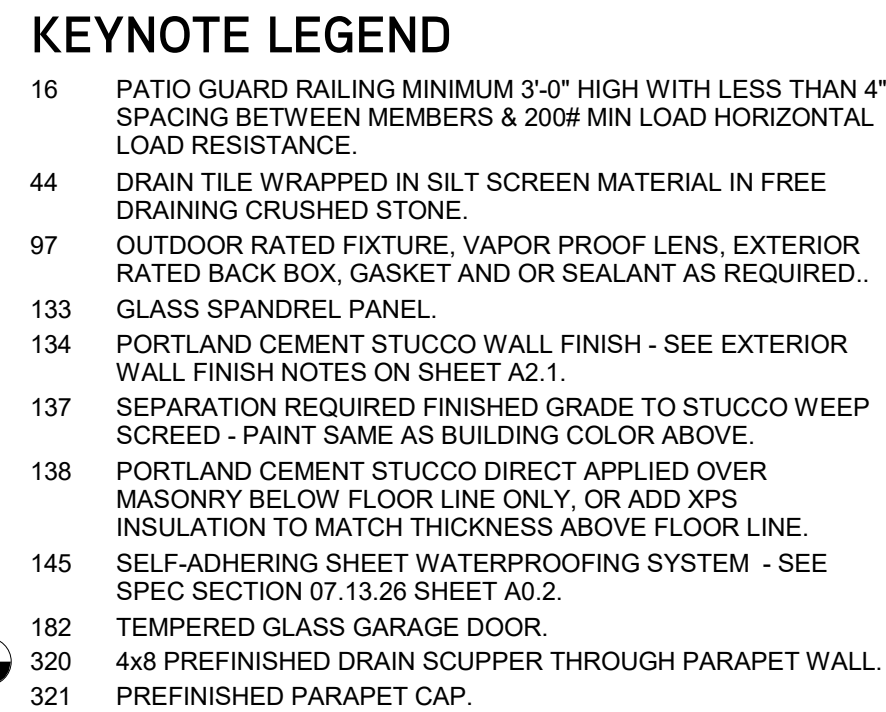


EXPIRES 12/31/2021

ISSUED 11/01/21

EXTERIOR ELEVATIONS

HS8.1



A. ALL EXTERIOR MATERIAL PALETTE SHALL BE IN ACCORDANCE WITH SECTION 2207.II.D.

B. ALL EXTERIOR LIGHTING SHALL COMPLY WITH SECTION 2208

C. STUCCO SPECIFICATION FOUND ON SHEET A.02

CS-1	COMPOSITE SIDING (EBONY SLATE) - LR v 9
CS-2	COMPOSITE SIDING (MYSTIC CEDAR) - LR v 9
GL-1	GLAZING (SOLAR BARRIER) - CLEAR
PL-1	DOOR & WINDOW FRAMES (MATTIE BLACK) - LR v 9
	TRIM, FASCIA, RAILING (PAINT OR FACTORY APPLIED FINISH COLOR TO MATCH PAC CLAD MATTIE BLACK) - LR v 9
PV-1	PAVER FIELD COLOR (SANDY TAN) (GRAY) LR v25
PV-2	DRIVEWAY PAVER FIELD COLOR (GRAPHITE) LR v25
PV-3	DRIVEWAY PAVER ACCENT COLOR (FOUNDRY) LR v25
RF-1	METAL ROOF (PAC CLAD MUSKET GRAY) - LR 13 - 19
RF-2	FOAM FLAT ROOF (COLORANT COATING - MANOR HOUSE SW 7505) - LR 19
ST-1	STUCCO (BISON BEIGE DEC 750) - LR 27
ST-2	STUCCO (MANOR HOUSE SW 7505) - LR 11
TL-1	PORCELAIN TILE (PERGOLINO) - LR 9
TL-2	PORCELAIN TILE (CEMENTO BLACK) - LR 9

1/8" = 1'-0"

40' MAX. BLD. HT. FROM LOWEST STRUCTURE

3'-10"

15'-4"

321

320

134

[ST-1]

[GLS-1]

[PT-1]

16

[ST-2]

MAIN LEVEL
1412' - 0"

REVISIONS	
1	-----
2	-----



EXPIRES 12/31/2021

SSUED 11/01/21

EXTERIOR ELEVATIONS

HS8.2

STEVEN | BRENDEN ARCHITECT

UP- 12V LED Accent Light
with Variable Lumen Output (VLO)

16015-16017



OVERVIEW
The VLO Accent Light is unsurpassed in both style and performance. The VLO combines advanced LED, Driver & Optic technology with premium materials. A single fixture provides the installer the option to select three different lumen outputs reducing installation complexity and increasing install versatility.

FEATURES
• High lumen in small body
• Variable lumen output
• Advanced optics provide superb center to edge uniformity
• Available beam angle: 10°, 30° & 60°
• Complete wired system for improved reliability
• Advanced ESD protection (3 kV)
• IP66 rated

PERFORMANCE	Lumen 1	Lumen 2	Lumen 3
Output Position	100	250	300
Lumen output	9-15	9-15	9-15
Input Voltage	3-15	15-15	15-15
Power (W) @ 12VAC	2	16	16
Power (W) @ 12VDC	2	16	16
Efficiency (lm/W) @ 12VDC	50	16	16
Weight	10W	25W	25W

SPECIFICATIONS

Fixture	Integrated LED
Light Source	11 High Output LED
Number of LEDs	2700K, 3000K
Color Temperature	80
Color Rendering Index	15000
Beam Angles	10°, 30°, 60°
Dimming	Fixture can be used in UP or DOWN position
Input	
Input Voltage Range	9-15V AC or DC with no loss in light output
Input Frequency	47-63Hz
Input Current	80mA max @ 12VAC
Input Current	94 Max
Efficiency	> 50 lm/W @ 12VDC
Power Factor	> 0.7 @ 6V
Output	
Lumen Level 1 (low)	100
Lumen Level 2 (med)	250
Lumen Level 3 (high)	300
Beam Angle	10°, 30°, 60°
Environmental	
Environmental Protection Rating	IP66
Operating Ambient Temperature	-25°C to +40°C
Expected Life Time (L70)	30K Hours
Mechanical & Housing Specification	
Length	6.5" / 165mm
Width	2.0" / 50.5mm
Height	3.3" / 84.5mm
Housing Material	Aluminum, Brass
Housing Color & Surface	Black, ACP, White, CBR, MBT
Weight	Alum: 13.5oz / 0.39kg, Brass: 30oz / 0.85kg

FINISHES

Finish	Material
ACP	Aluminum
MBT	Matte Black
CBR	Brushed Brass
WHT	White

AVAILABLE FINISHES

ACP	MBT	CBR	WHT
Aluminum	Matte Black	Brushed Brass	White

KICHLER

DN- EXTERIOR RECESSED DOWN LIGHT

Model	Size	Width	Delivered lumens	LED lumens	CR	Color Temp	Voltage
RD250-3K	2"	8.4"	600 lm	750 lm	90	3000 K	120V
RD450-3K	4"	16.4"	1200 lm	1500 lm	90	3000 K	120V
RD650-3K	6"	24.4"	1800 lm	2250 lm	90	3000 K	120V

Specifications

Every fixture includes a junction box with integrated dimmable driver. Corrosion resistant. Superior LED performance and lifespan. Regulated light source. Minimal heat emission. Aluminum construction. IC certified for use in direct contact with insulation. Air-tight certified per ASTM E283-04. 40° beam angle. Suitable for wet locations. Refer to website for dimmer compatibility. Ideal operating temperature: -20° to +40° C. 5-year warranty.

Finish

• BK	Black
• SG	Satin Nickel
• WH	White

Accessories

• JBP-100	100-watt rough-in plate
• JBP-150	150-watt rough-in plate
• JBP-200	200-watt rough-in plate

Order example

RD250-3K-3K
Dimmable RD250-3K 2" square recessed LED fixture in satin nickel finish.

Note

Other Color Temp and Finish available, but may require HOGs and longer lead times. Please contact your DLS representative for more information.

S - step light wall mounted

Model	Width	Delivered lumens	LED lumens	CR	Color Temp	Voltage
SD250-3K	3"	600 lm	750 lm	90	3000 K	120V

Specifications

Die-cast aluminum housing. Over 10,000 hours of service life. Warm white light output. Custom light source. Low power consumption. Excellent color-rendering. Superior light color consistency. Aesthetic profile. Dimmable. Includes a junction box approved for concrete applications. Suitable for wet locations. Refer to website for dimmer compatibility. Ideal operating temperature: -20° to +40° C. 5-year warranty.

Finish

• BK	Black
• SG	Satin grey
• WH	White

Order example

SD250-3K-3K
Dimmable SD250-3K 3" square wall light in satin nickel finish.



SEE SHEET HS10 FOR WALL
LIGHT - W FIXTURE CUT SHEET

1 SITE DEVELOPMENT PLAN
1/8" = 1'-0"

QTY	SYMBOL	TYPE	FINISH	LUMENS	TEMP.
06	• W	WALL MOUNTED DOWN LIGHT	BLACK	200	3000 K
33	• S	WALL MOUNTED STEP LIGHT	BLACK	285	3000K
06	• DN	RECESSED CEILING DOWN LIGHT	BLACK	750	3000K
19	• UP	LANDSCAPE STAKE UP LIGHT	BLACK	150	3000K

○ LIGHT FIXTURE SCHEDULE
12" = 1'-0"

HILLSIDE
FORMAL
REVIEW

REVISIONS
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ISSUED 11/01/21

HS9

BUILDING LIGHTING PLAN

STEVEN | BRENDEN ARCHITECT

STEVEN BRENDEN ARCHITECT, LLC

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PARADISE VALLEY, ARIZONA 85253

REQUEST@BRENDENSTUDIO.COM

PROJECT 2101

6516 E MEADOWLARK LANE

MEADOWLARK

Wall
Sconce

Dawn Outdoor LED Wall Sconce
By Kuzco Lighting

Finish: Black.

- Stone slate texture
- Designed in 2016
- Material: Metal
- Dimmer Range: 10%-100%
- ETL Listed Wet
- Warranty: 1 year, 5 years for LED module
- Made in China

Fixture: Width 8", Height 8", Depth 3.5"

- 8 Watt (200 Lumens) 120 Volt Integrated LED: CRI: 80 Color Temp: 3000K
Lifespan: 50000 hours

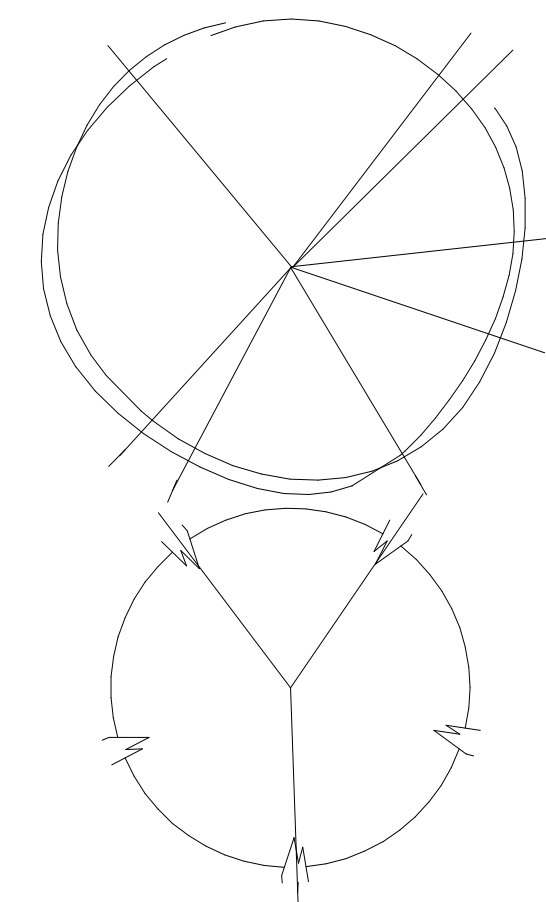
Product URL:

Rating: ETL Listed Web

Product ID: KUZP135758



LIGHT FIXTURE LEGEND						
QTY	SYMBOL	TYPE	FINISH	LUMENS	TEMP.	
06		WALL MOUNTED DOWN LIGHT	BLACK	200	3000 K	
33		WALL MOUNTED STEP LIGHT	BLACK	285	3000K	
06		RECESSED CEILING DOWN LIGHT	BLACK	750	3000K	
19		LANDSCAPE STAKE UP LIGHT	BLACK	150	3000K	



T-PV Foothills Paloverde
Parkinsonia microphylla
24" box
Quantity 24

T-MQ NATIVE MESQUITE
PROSOPIS (ARIZONA NATIVE)
24" BOX
QUANTITY 6

P-CS CREOSOTE
LARREA TRIDENTATA
15 GAL
QUANTITY 24

P-BB BRITTAL BUSH
ENCELIA FARINOSA
5 GAL
QUANTITY 60

P-DM DESERT MILKWEED
ASCLEPIAS SUBULATA
5 GAL
QUANTITY 20

P-CD CANDELILLA
EUPHORBIA ANTISYPHILITICA
5 GAL
QUANTITY 12

C-SG8 SAGUARO
CARNEGIEA GIGANTEA
8' MIN, SPEAR
QUANTITY 2

C-SG4 SAGURAO
CARNEGIEA GIGANTEA
4' MIN, SPEAR
QUANTITY 4

C-OC Ocotillo
FOUQUIERIA SPLENDENS
7' MIN, 6 STALK MIN
QUANTITY 24

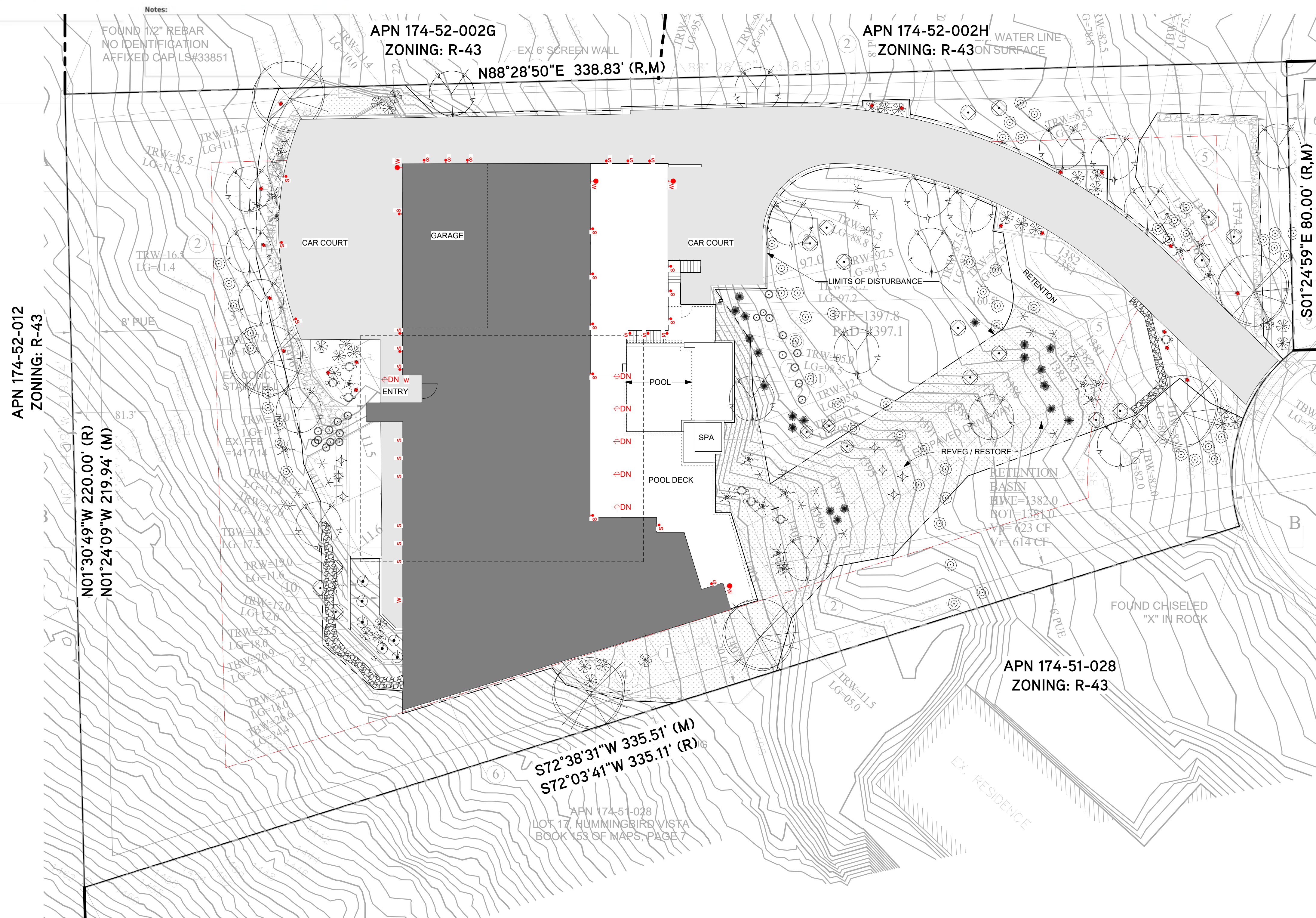
C-PP PRICKLE PEAR
OPUNTIA RAFIDA
15 GAL
QUANTITY 20


C-TC TREE CHOLLA
OPUNTIA IMBRICATA
15 GAL
QUANTITY 8

C-DP DESERT SPOON
DASYLIRION WHEELERI
15 GAL
QUANTITY 20

 C-C-AG AGAVE AMERICANA
15 GAL
QUANTITY 35

 C-MF MEXICAN FENCE POST
PACYCEREUS MARGINATUS
5 GAL
QUANTITY 9



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8318 E MEADOWLARK LANE
MEADOWLARK

HILLSIDE FORMAL REVIEW

REVISIONS	
1	-----
2	-----



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LANDSCAPE AND LS LIGHTING PLAN

HS10

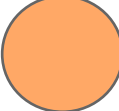
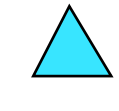
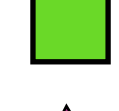
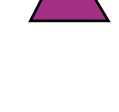
STEVEN | BRENDEN ARCHITECT

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C:\Users\jamesb\OneDrive\Documents\Projects\516 Meadowlark\516 Meadowlark.dwg
Plotted by: jamesb



① NATIVE PLANT PLAN
1/16" = 1'-0"

-  FOOTHILLS PALO VERDE CERCIDIUM
-  NATIVE MESQUITE PROSOPIS
-  CREOSOTE BUSH LARREA TRIDENTATA
-  SAGUARO CARNEGIEA GIGANTEA
-  CHOLLA OPUNTIA ACANTHOCARPA
-  BARREL CACTUS FEROCACTUS CYLINDRACEUS

NATIVE LANDSCAPE

GENERAL NOTES

1. THIS SITE HAS BEEN PREVIOUSLY DEVELOPED MOST OF THE SITE HAS BEEN DISTURBED AND MODIFIED.
2. THIS SITE HAS LIMITED NATIVE PLANTS
-FOOTHILLS PALO VERDE , PARKINSONIA MICROPHYLLA
- MESQUITE PROSOPIS (ARIZONA NATIVE)
-SAGUARO CARNEGIEA GIGANTEA
-CREOSOTE BUSH LARREA TRIDENTATA
3. EXISITNG NATIVE PLANTS SHALL BE PRESERVED IN PLACE, SALVAGED FOR RELOCATION OR REPLACED IN KIND WHEN SALVAGE IS NOT VIABLE.



ISSUED 09/03/21

REVISIONS	
	_____
	_____

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PROJECT 2101

6516 E MEADOWLARK LANE

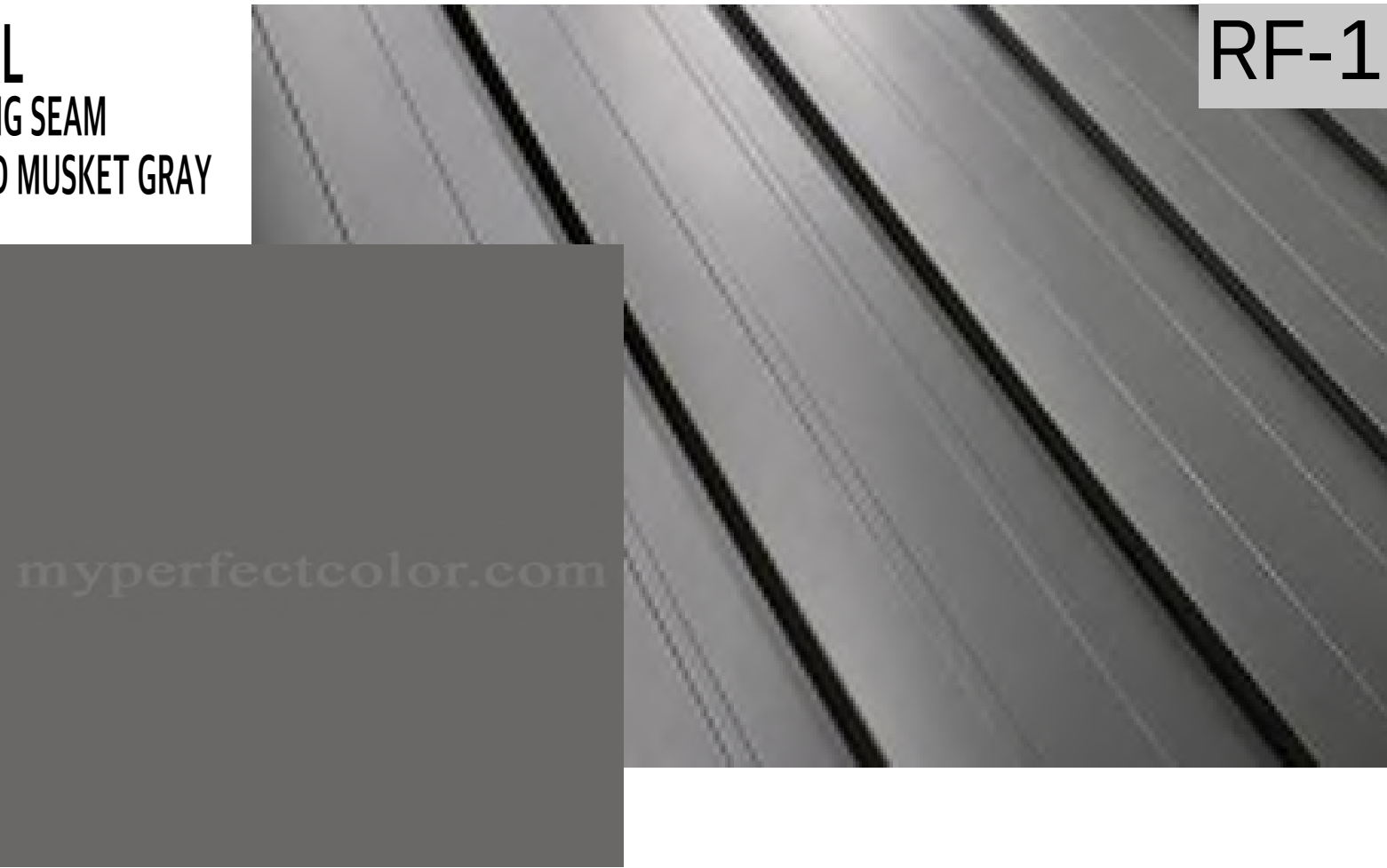
MEADOWLARK

NATIVE PLANT INVENTORY

L.O

STEVEN | BRENDEN ARCHITECT

ROOF METAL
TYPE: STANDING SEAM
COLOR: PAC CLAD MUSKET GRAY
LRV: 13-19



ROOF UNDERSIDE
TYPE: TRESPA PURA COMPOSITE SIDING FLUSH
COLOR: PU PU 24 MYSTIC CEDAR LRV: 9



ROOF PARAPET
TYPE: FOAM WITH COLORANT COATING
COLOR: SHERWIN WILLIAMS MANOR HOUSE
LRV: 11



DRIVE PAVERS
TYPE: BELGARD PLANK
COLOR: GRAPHITE FEILD
FOUNDRY ACCENT
LRV 25/LRV 25



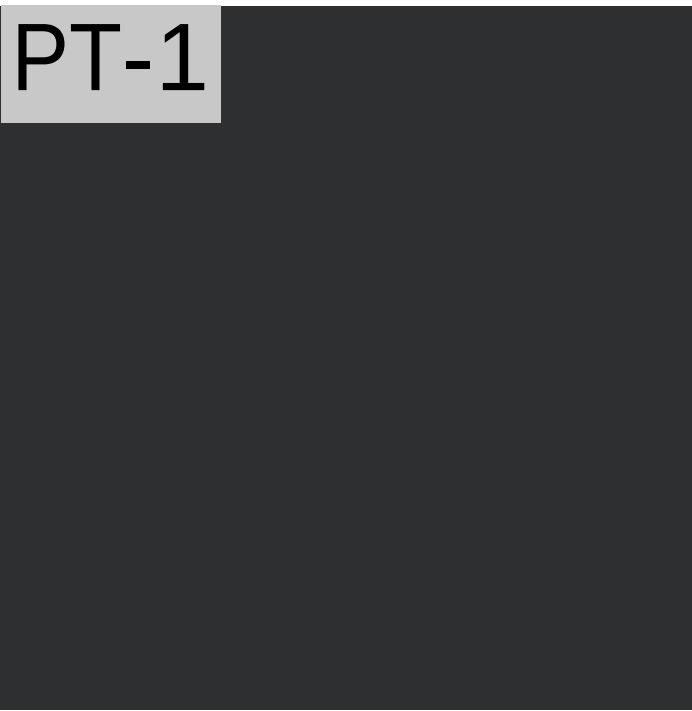
DOOR WINDOWS FRAME
TYPE: KOLBE BLACK ALLUMINUM
COLOR: STANDARD MATT BLACK
LRV: 9



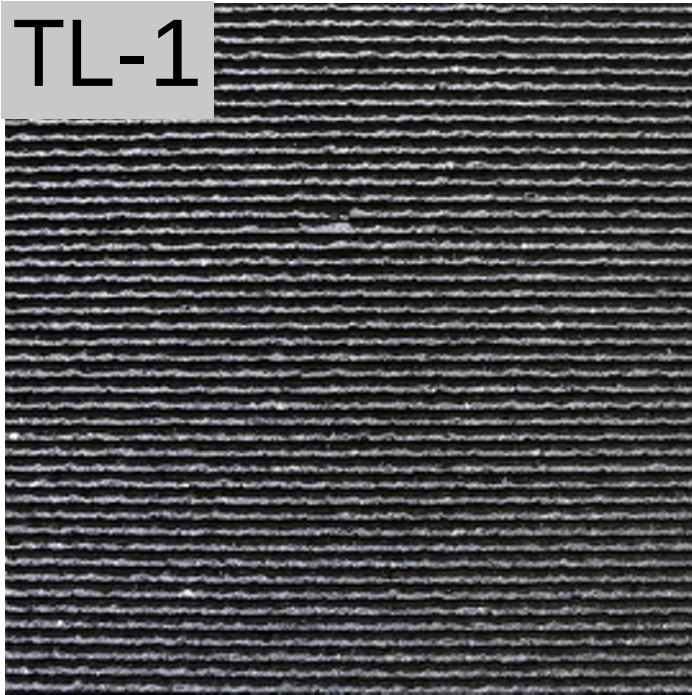
DOOR WINDOWS GLASS
TYPE: SOLARBAN 70 INSULATED
COLOR: CLEAR



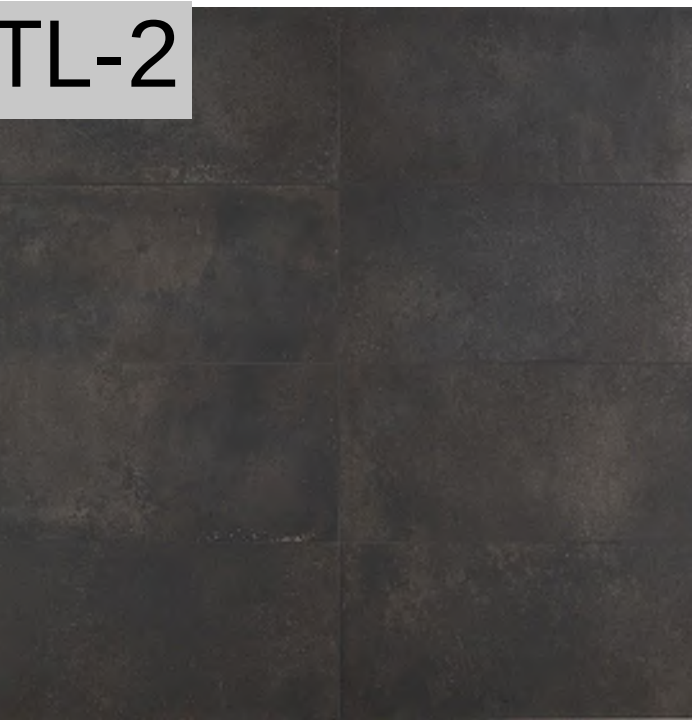
TRIM, FASCIA ,RAILING
TYPE: ALLUM BREAK METAL
COLOR: PAC CLAD MATT BLACK LRV: 9



ACCENT WALLS
TYPE: SOLSTICE STONE
COLOR: EBONY TEXTURED GROUND RIBBED
LRV 25



POOL EXTERIOR WET WALLS
TYPE: IRIS PORCELAIN TILE CLADDING MATT
COLOR: CEMENTO BLACK/TILE BAR BRONX BLACK
MATT FINSH WITH LEATER TEXTURE LRV 9



ARTIFICAL TURF
TYPE: ARIZONA SYNTHETIC GRASS
COLOR: CORONADP PET AND PLAY



WALLS PRIMARY
TYPE: PAINTED STUCCO FINE SAND
COLOR: DUNN EDWARDS
BISON BEIGE DEC 750 LRV: 27



WALLS SECONDARY
TYPE: PAINTED STUCCO HEAVEY SAND
COLOR: SHEWRWIN WILLIAMS
SW 7505 MANORHOUSE LRV: 11



WALLS ACCENT
GARAGE DOOR
TYPE: TRESPA PURA
COMPOSITE SIDING FLUSH
COLOR: PU 22 WOOD GRAIN
SLATE EBONY LRV: 9



PATIO PAVERS
TYPE: TEXTURED PORCELAIN TILE
COLOR: VILLAGIO RETREAT GRAY
MATT CONCRETE LRV 27



HILLSIDE
FORMAL
REVIEW

REVISIONS	
1	REVISION
2	REVISION



ISSUED 08/03/2021
FINSHES

HS11

STEVEN | BRENDEN ARCHITECT

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