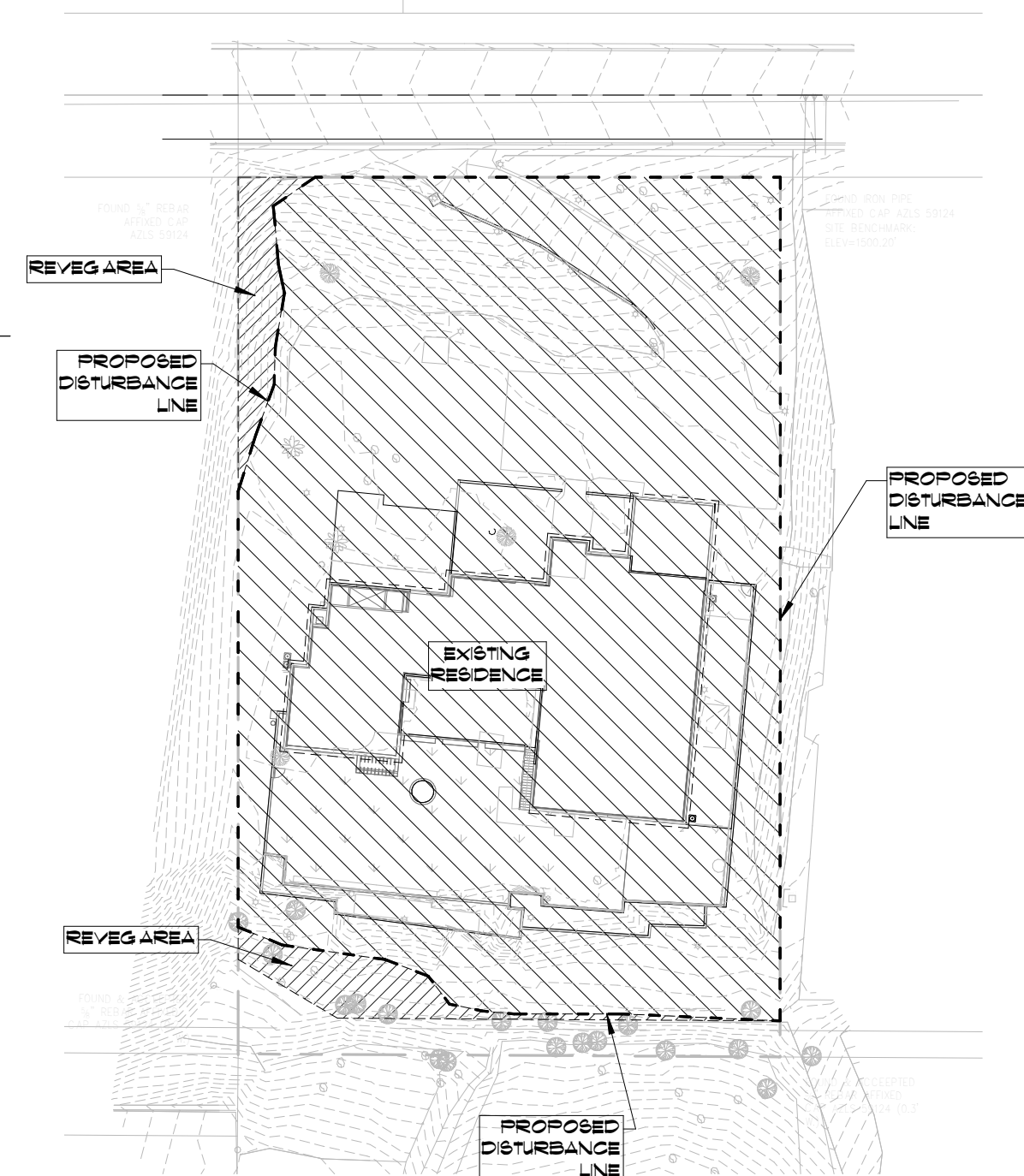
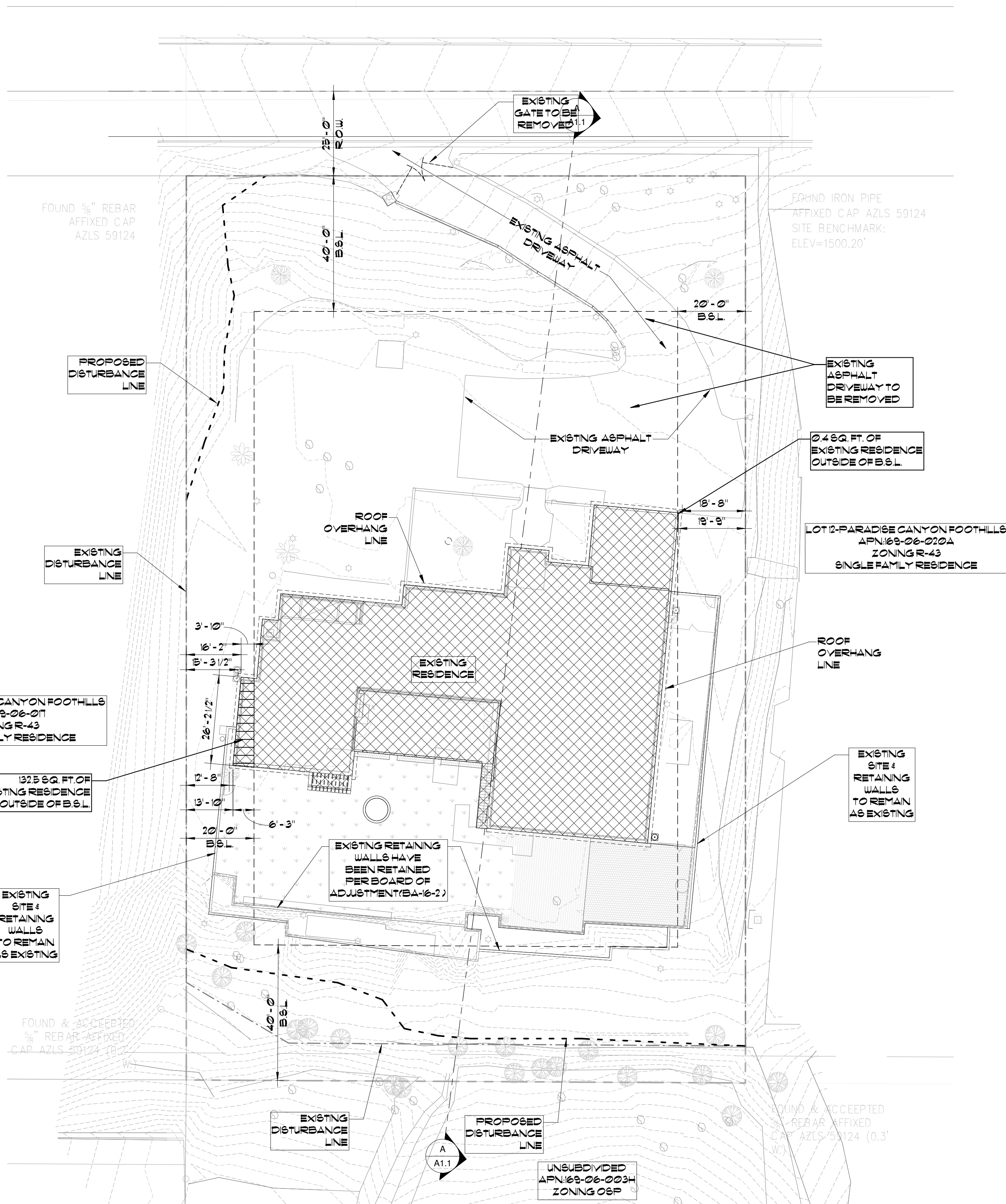


EXISTING SITE DISTURBANCE

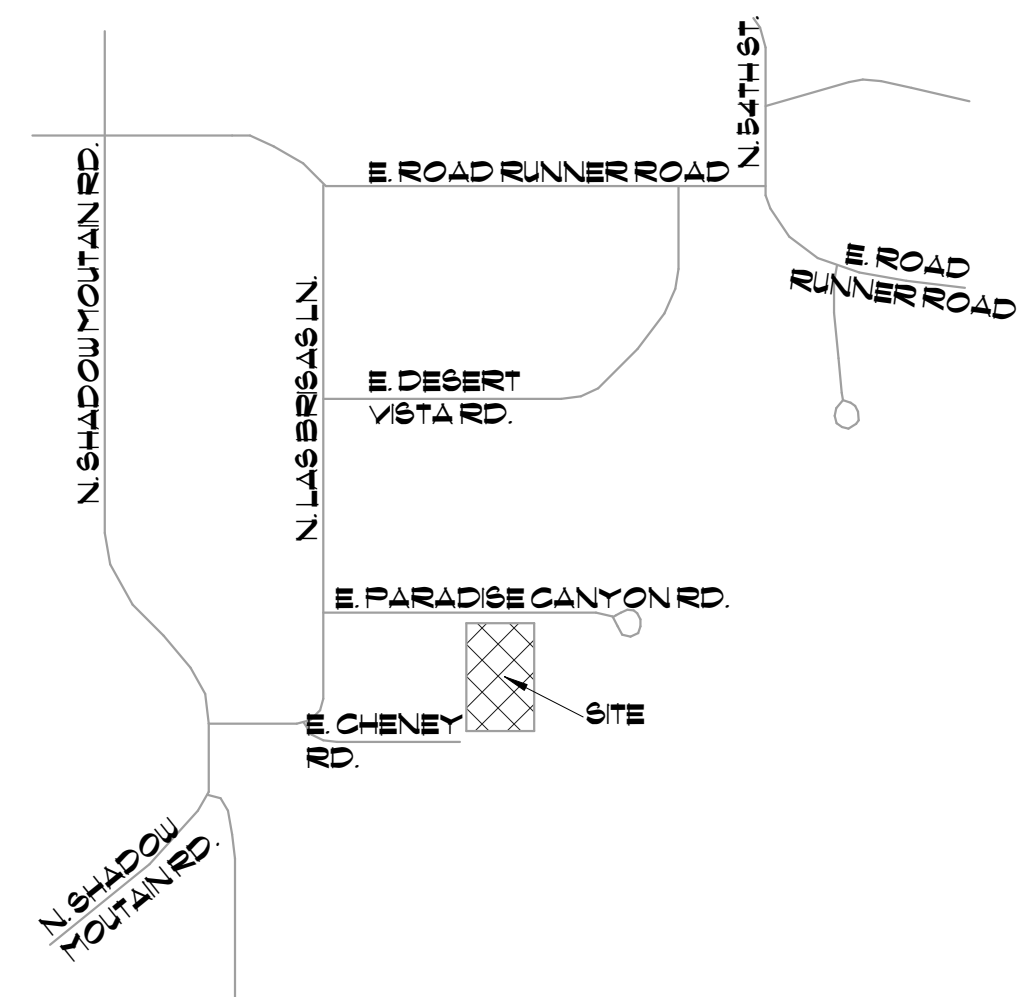
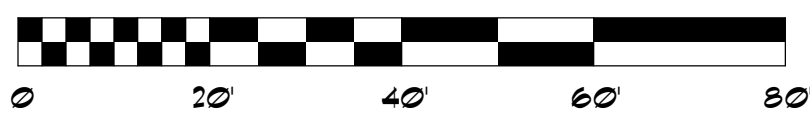


PROPOSED SITE DISTURBANCE



SITE PLAN

GRAPHIC SCALE: 1 INCH = 20 FEET



VICINITY MAP

SITE INFORMATION

OWNER:
TOBY AND JENNIFER THOMAS TRUST

SITE ADDRESS:
5301 E PARADISE CANYON RD.
PARADISE VALLEY, AZ 85253

A.P.N.:
169-06-018

ZONING:
R-43

NET LOT SIZE:
44,116 SQ. FT.

PERCENTAGE OF EXISTING HOME REMODELED:
75%

BUILDING PAD SLOPE:
9.21%

EXISTING NET LOT DISTURBANCE:
34,002 SQ. FT. (77.08%)

PROPOSED NET DISTURBANCE:
24,392 SQ. FT. (55.29%)

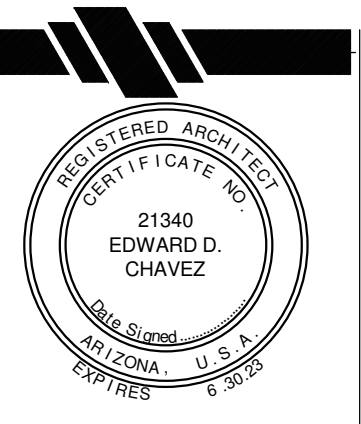
EXISTING F.A.R.:
8,825 SQ. FT. (21.3%)

LEGAL DESCRIPTION:
LOT TEN, PARADISE CANYON FOOTHILLS,
ACCORDING TO THE PLAT OF RECORD IN THE
OFFICE OF THE COUNTY RECORDER OF
MARICOPA COUNTY, ARIZONA, RECORDED IN
BOOK 139 OF MAPS, PAGE 27.

SITE NOTE:

ALL OTHER IMPROVEMENTS WILL COMPLY WITH
THE HILLSIDE CODE.

THE SITE RETAINING WALLS WILL BE/HAVE BEEN
RETAINED PER APPROVED/PERMITTED BY
BOARD OF ADJUSTMENT (BA-16-2)



THOMAS RESIDENCE

EDWARD D. CHAVEZ
AIA ARCHITECT
7602355-9600

(H A V E Z) • A I A
ARCHITECTURE • DEVELOPMENT • COMMERCIAL • RESIDENTIAL • INTERIOR DESIGN

4720 EAST CHOLLA STREET PHOENIX, ARIZONA
602.493.9711 / 992-8600 / EMAIL: ECHAVEZ@ECHAVEZ.NET

SINCE 1972

date	layout	date	revisions

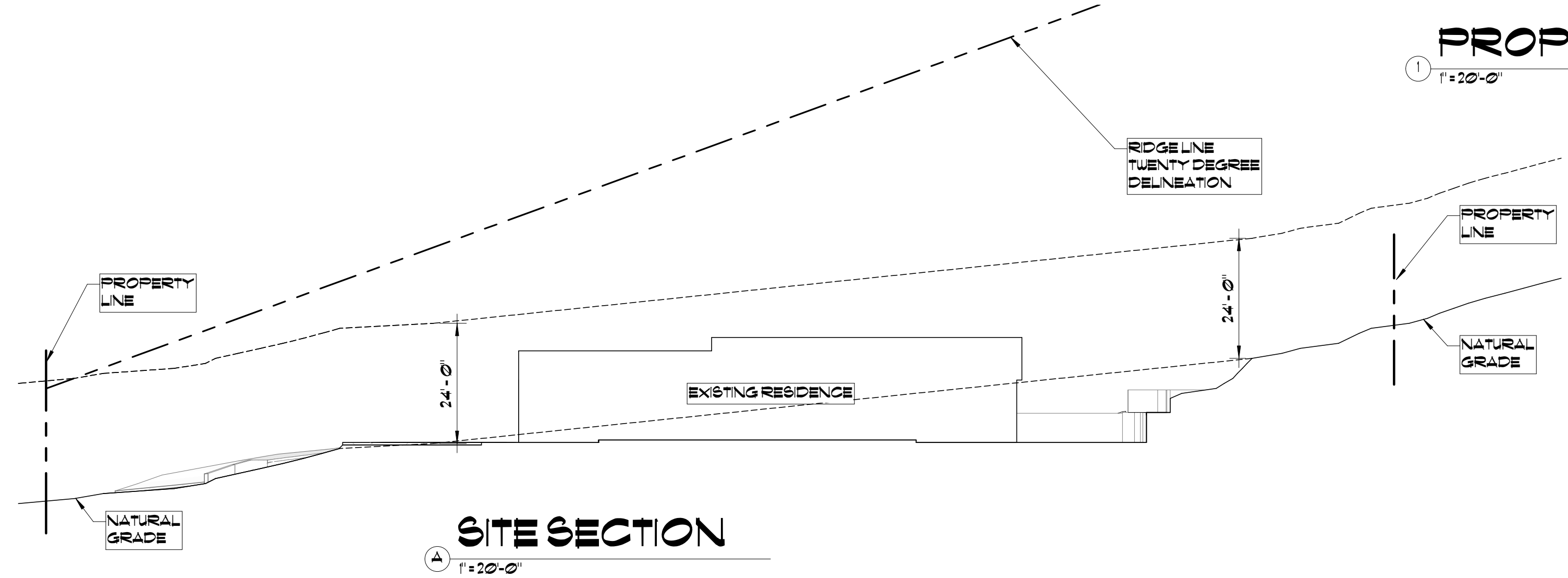
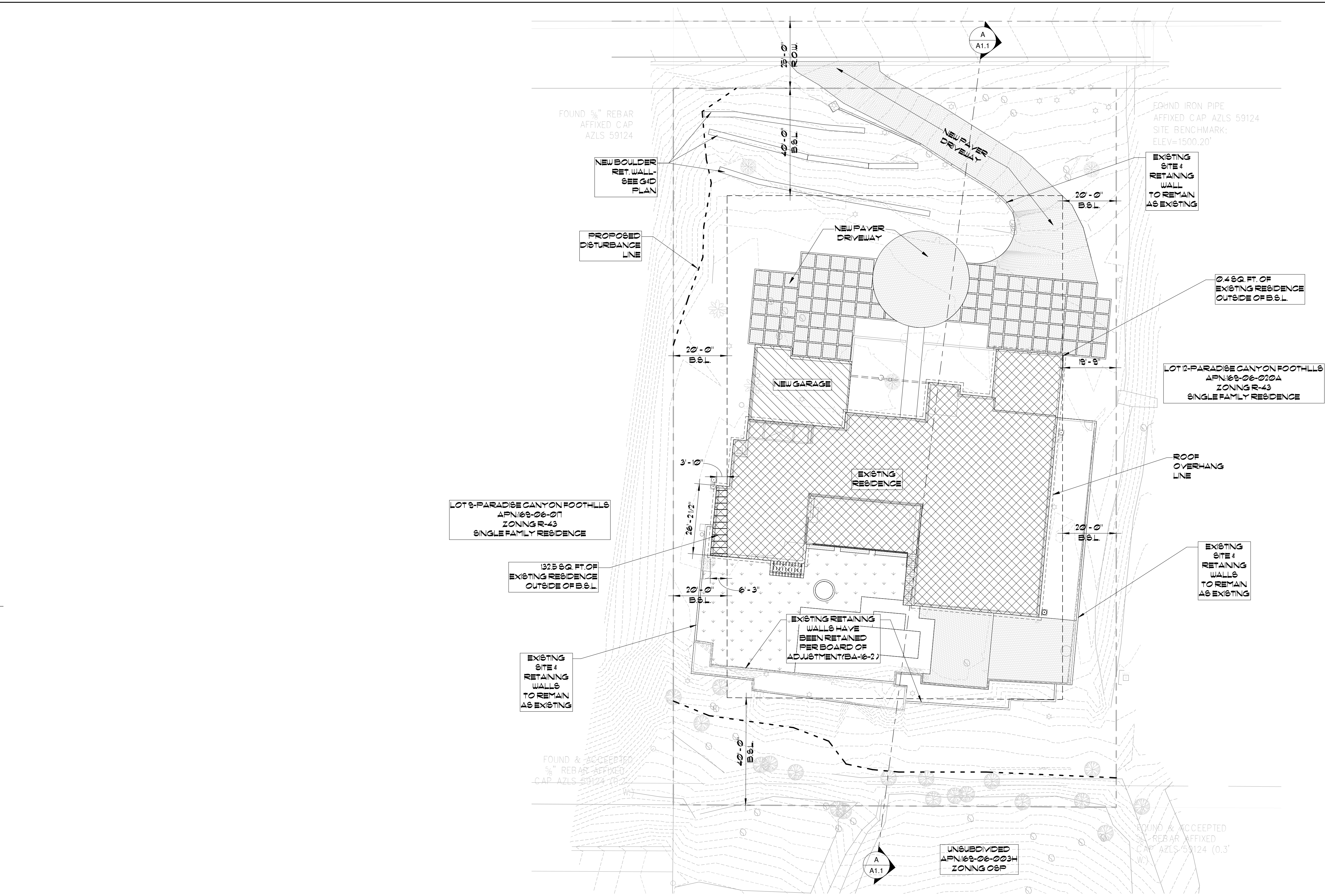
JOB NUMBER

SHEET DESCRIPTION
SITE PLAN

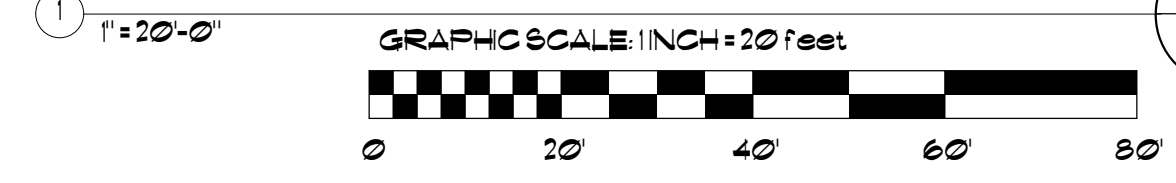
DATE
JUNE 21, 2021

A1



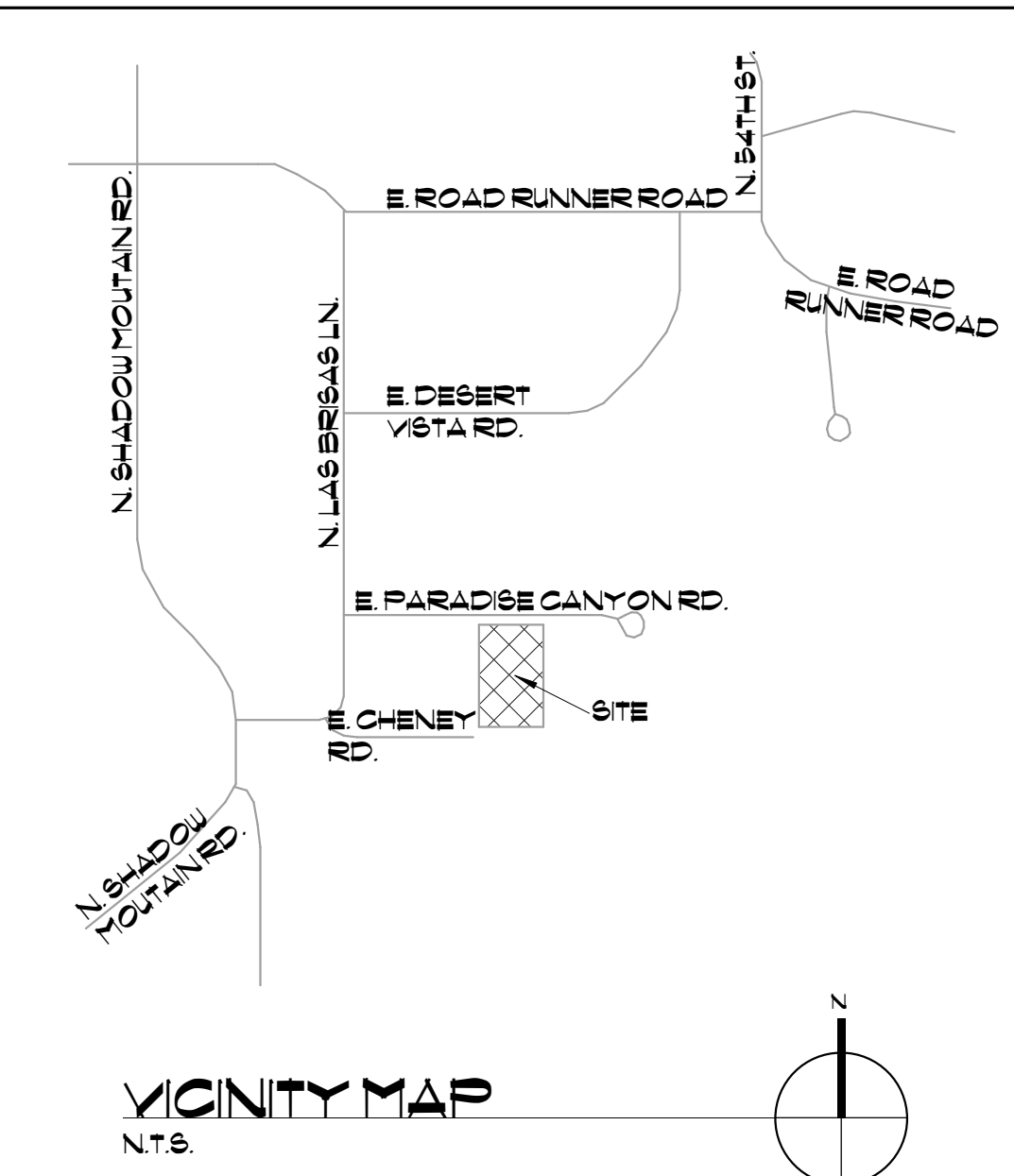


PROPOSED SITE PLAN



SQUARE FOOTAGE

EXISTING SQUARE FOOTAGE	
LIVABLE- GARAGE AND STORAGE- COVERED AREA-	6,607 SQ. FT. 696 SQ. FT. 8,000 SQ. FT.
TOTAL:	8,103 SQ. FT.
ADDITION SQUARE FOOTAGE:	
LIVABLE- GARAGE AND STORAGE- COVERED AREA-	0 SQ. FT. 952 SQ. FT. 406 SQ. FT.
TOTAL:	1,358 SQ. FT.
TOTAL SQUARE FOOTAGE:	
LIVABLE- GARAGE AND STORAGE- COVERED AREA-	6,607 SQ. FT. 1,648 SQ. FT. 1,206 SQ. FT.
TOTAL:	9,461 SQ. FT.



SITE INFORMATION

OWNER:
TOBY AND JENNIFER THOMAS TRUST

SITE ADDRESS:
5301 E. PARADISE CANYON RD.
PARADISE VALLEY, AZ 85253

A.P.N.:
169-06-018

ZONING:
R-43

NET LOT SIZE:
44,111 SQ. FT.

PERCENTAGE OF EXISTING HOME REMODELED:
75%

BUILDING PAD SLOPE:
10.43%

EXISTING NET LOT DISTURBANCE:
34,002 SQ. FT. (77.08%)

PROPOSED NET DISTURBANCE:
24,392 SQ. FT. (55.29%)

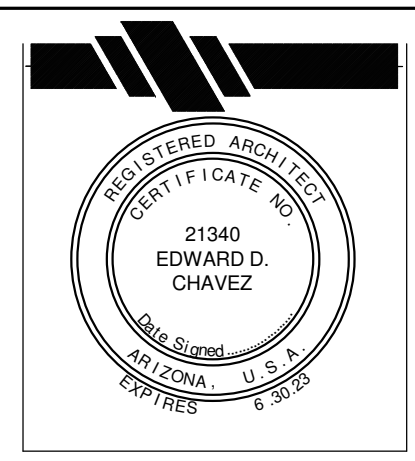
PROPOSED F.A.R.:
9.461 SQ. FT. (21.4%)

LEGAL DESCRIPTION:
LOT TEN, PARADISE CANYON FOOTHILLS,
ACCORDING TO THE PLAT OF RECORD IN THE
OFFICE OF THE COUNTY RECORDER OF
MARICOPA COUNTY, ARIZONA, RECORDED IN
BOOK 139 OF MAPS, PAGE 27.

SITE NOTE:

ALL OTHER IMPROVEMENTS WILL COMPLY WITH
THE HILLSIDE CODE.

THE SITE RETAINING WALLS WILL BE/HAVE BEEN
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BOARD OF ADJUSTMENT (BA-16-2)



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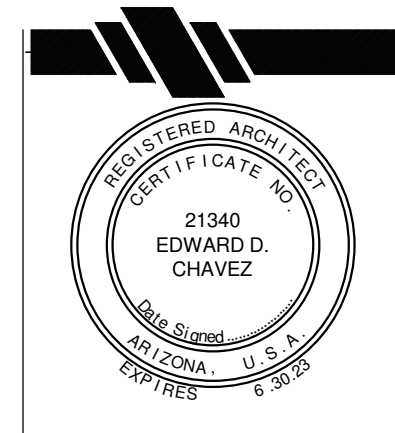
date	layout	date	revisions

JOB NUMBER: _____

SHEET DESCRIPTION:
PROPOSED SITE PLAN

DATE: JUNE 21, 2021

A11



THOMAS RESIDENCE

CHAVEZ ASSOCIATES PROVIDES ALL LEVELS OF ARCHITECTURAL DESIGN SERVICES, BUT NOT LIMITED TO THE OVERALL CONCEPT, AS WELL AS ARCHITECTURAL AND CONSTRUCTION OF DESIGN ELEMENTS. LEGAL ACTION IS PRESENT TO SECTION 102 OF THE ARCHITECT ACT, 11-10, AS AWARENESS OF THE ARCHITECT'S PROFESSIONAL RESPONSIBILITY AND THE ARCHITECT'S OBLIGATION TO THE PUBLIC. THESE DOCUMENTS ARE VALID ONLY IF THE SIGNATURE & SEAL OF THE ARCHITECT ARE PRESENT.

EDWARD D. CHAVEZ
AIA ARCHITECT
7602352-9600

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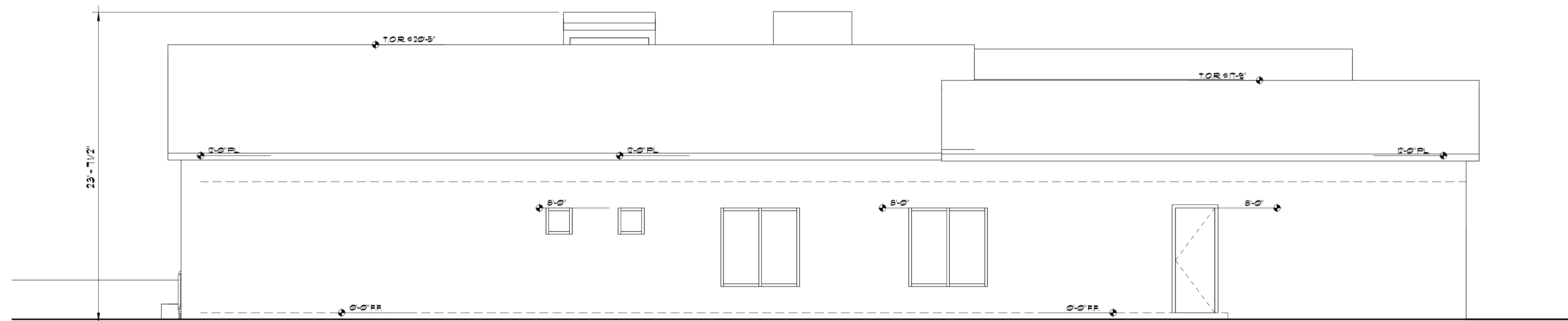
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date	layout	date	revisions

JOB NUMBER

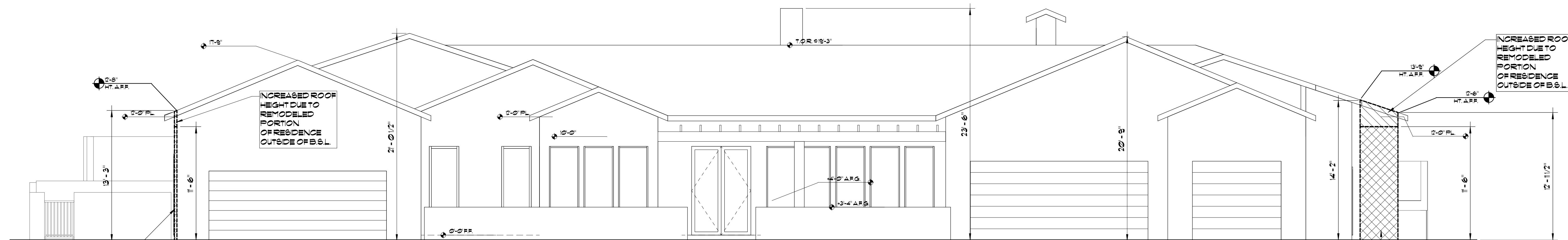
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EXTERIOR ELEVATIONS

DATE
JUNE 21, 2021



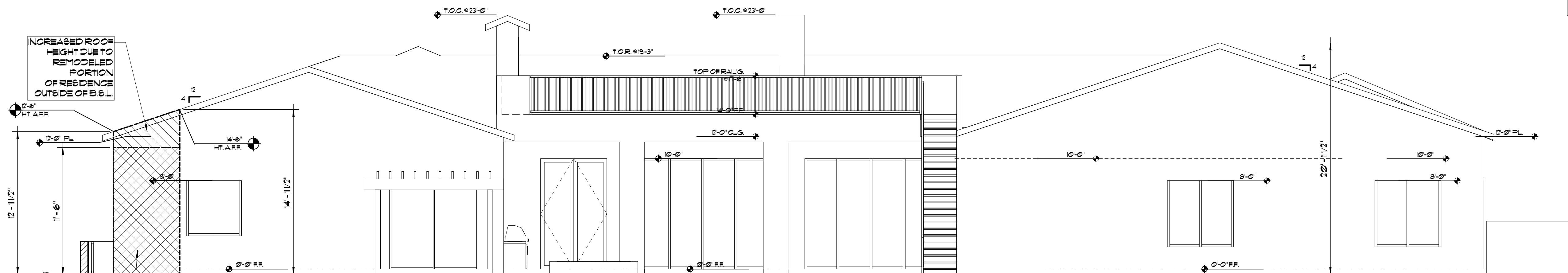
EAST ELEVATION

① 3/16\"/>



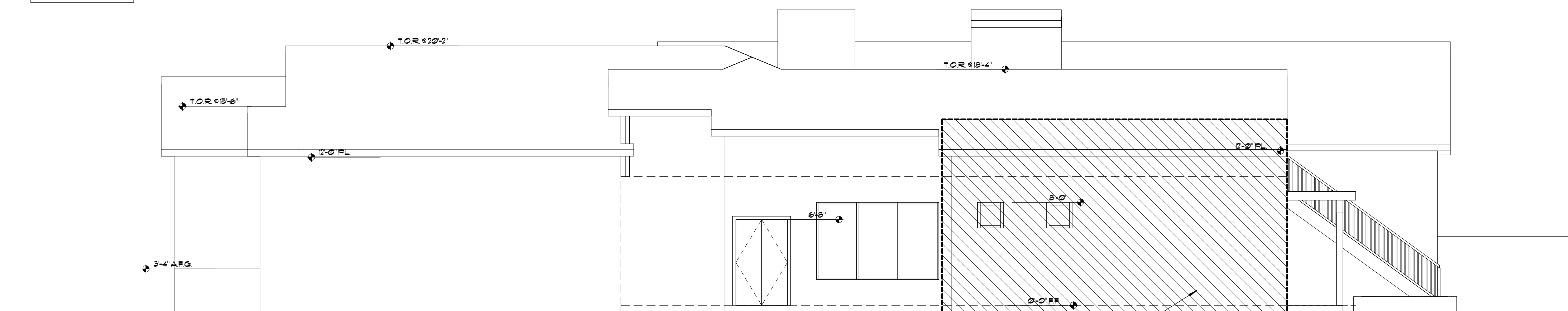
NORTH ELEVATION

② 3/16\"/>



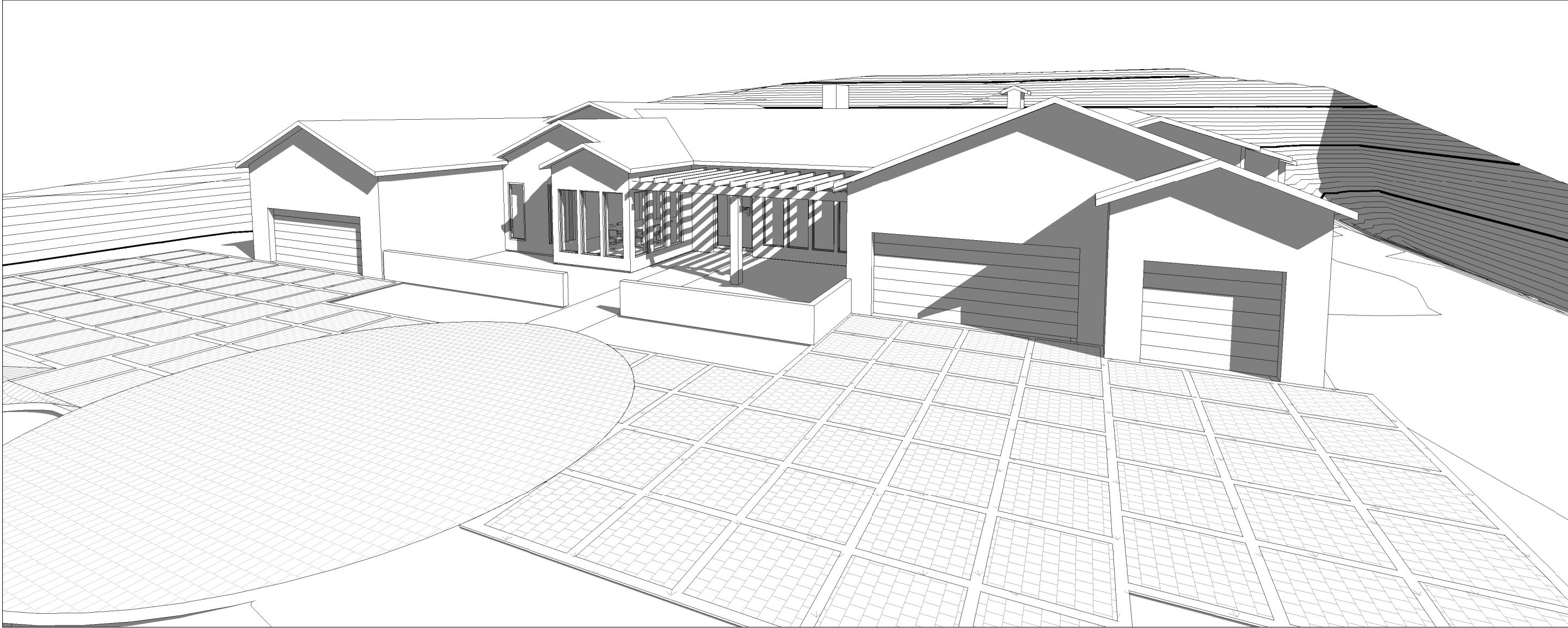
SOUTH ELEVATION

③ 3/16\"/>

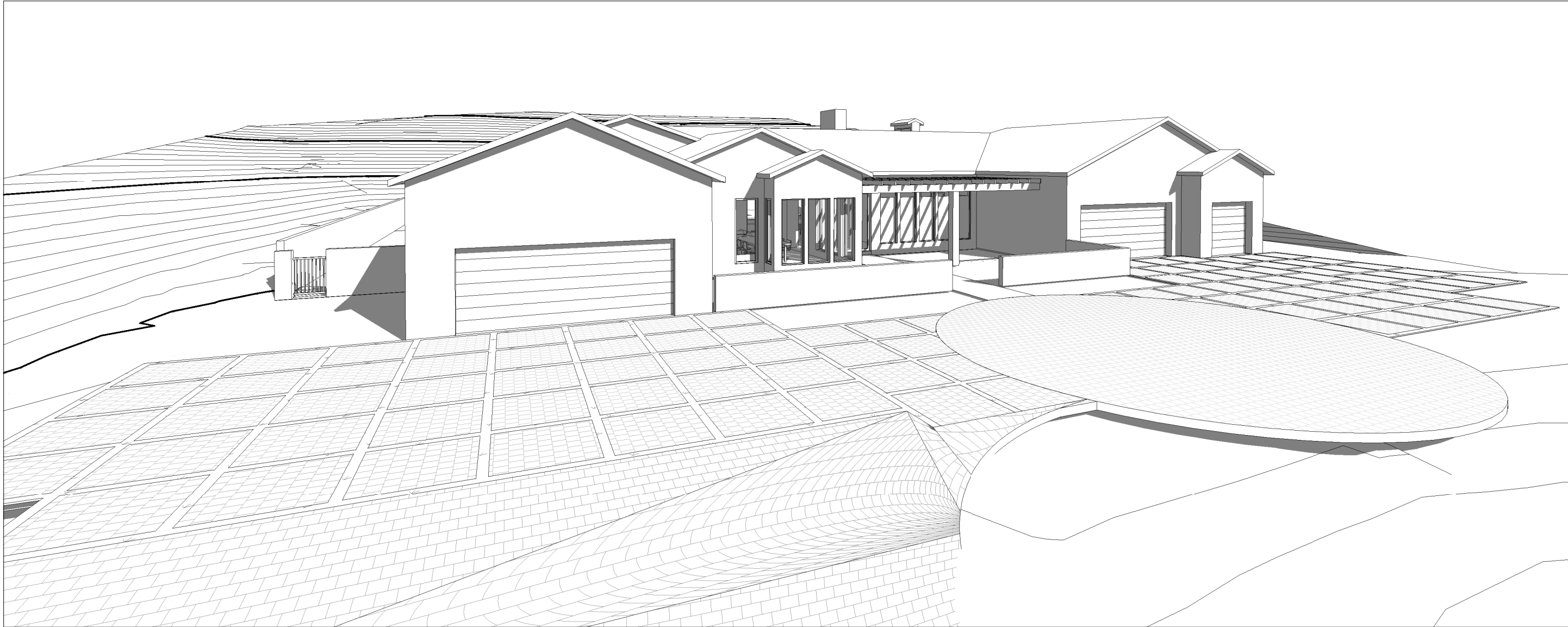


WEST ELEVATION

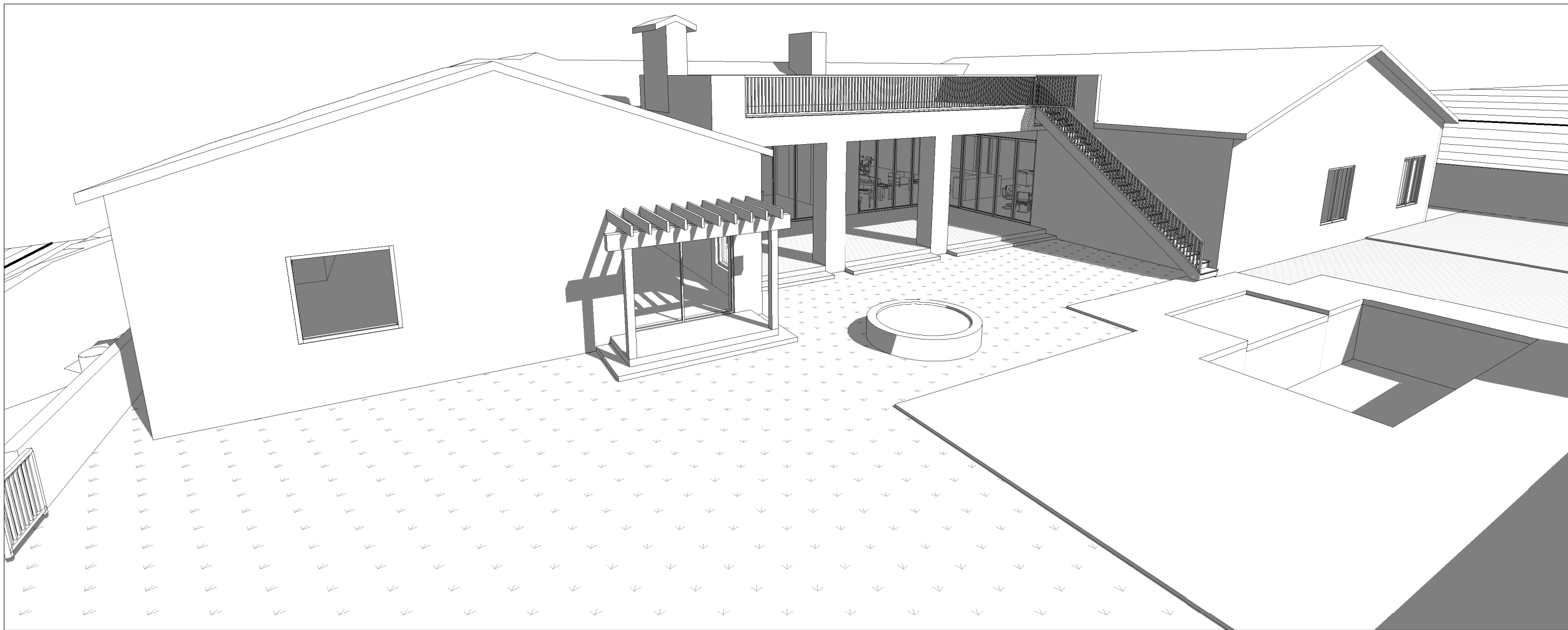
④ 3/16\"/>



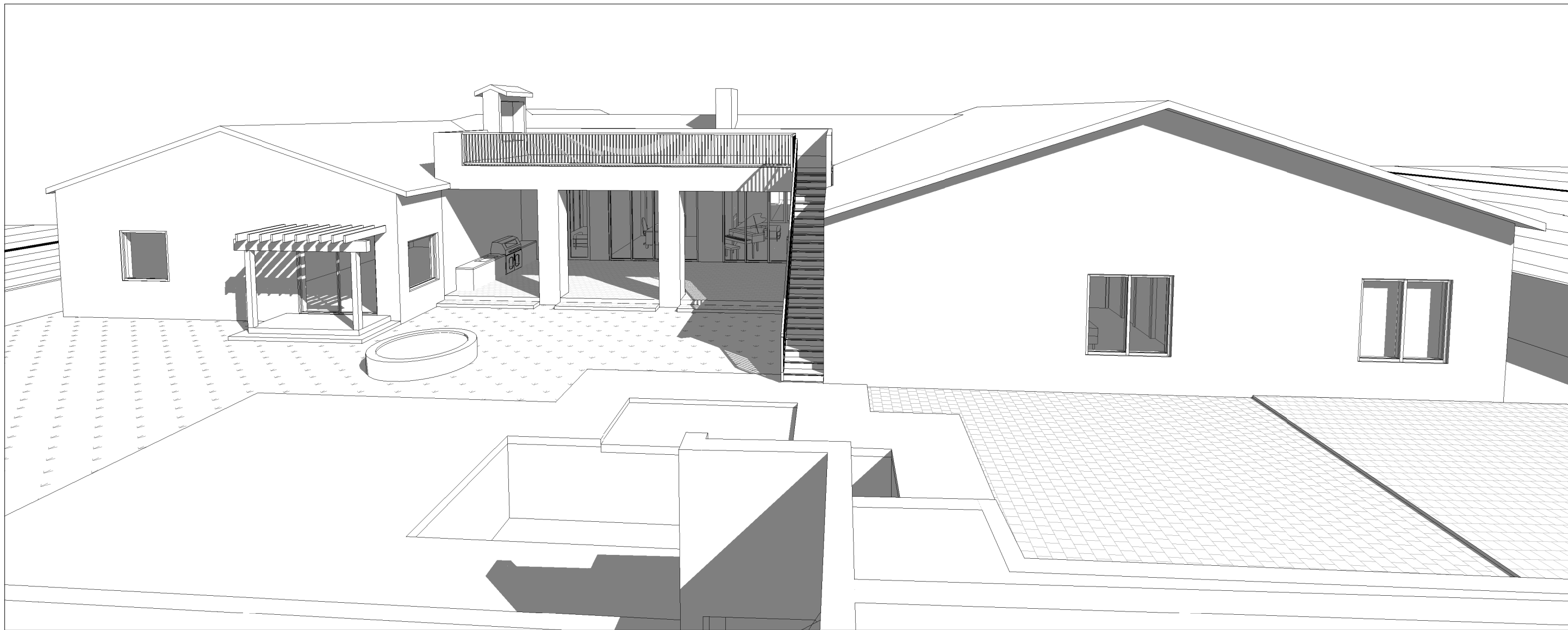
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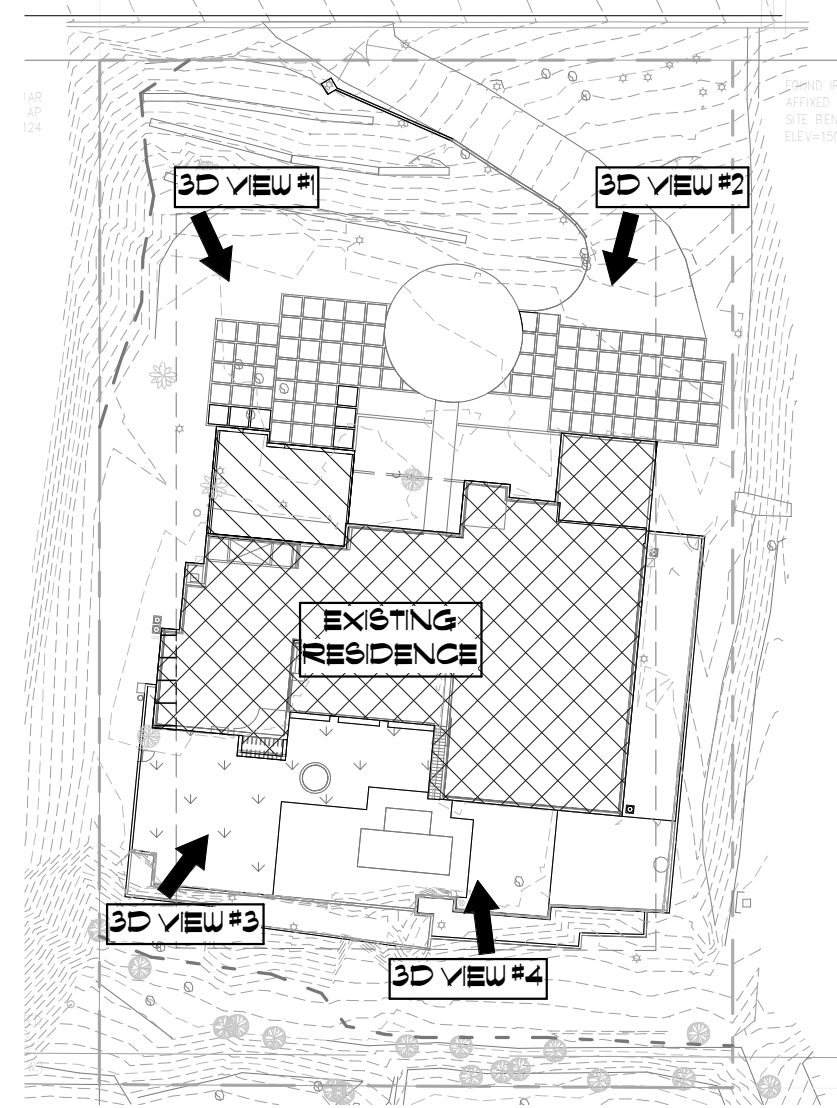
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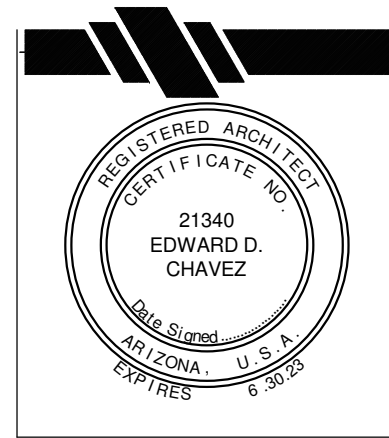
3 R-Exterior View 3



4 R-Exterior View 4



3D VIEW KEY MAP
1"=50'-0"



THOMAS RESIDENCE

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AIA ARCHITECT
7602355-9600

(CHAVEZ) • AIA

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SINCE 1972

date	layout	date	revisions

JOB NUMBER

SHEET DESCRIPTION
RENDER 6

DATE
JUNE 21, 2021





20'-0" B.S.L.

40'-0" B.S.L.

**Exhibit "A":
5315 E
Paradise
Canyon Rd.**

**Exhibit "B":
5334 E Paradise
Canyon Rd.**





N89°59'50"W

40'-0" B.S.L.

190'

169-06-023

15

N00°00'10"E

235'


190'

**Exhibit "D":
5302 E. Paradise
Canyon Rd.**


Historical Aerial Photography




7/29/2021, 10:58:46 AM




Maricopa County




Spot Elevations




10 Ft. Contours




Local



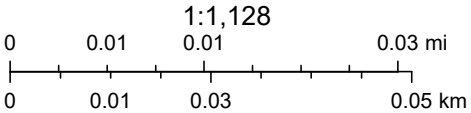
Image



High : 255



Low : 0



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand),

EXHIBIT E

TOWN OF PARADISE VALLEY NOTES

1. PRIOR TO THE FIRST INSPECTION OF STRUCTURES WITHIN 3 FEET OF A SETBACK LINE, THE PROPERTY PINS SHALL BE PLACED BY A REGISTERED CIVIL ENGINEER OR LAND SURVEYOR OF THE STATE OF ARIZONA, AND THE PROPERTY LINE(S) IDENTIFIED.
2. WHERE EXCAVATION IS TO OCCUR THE TOP 4" OF EXCAVATED NATIVE SOIL SHALL REMAIN ON THE SITE AND SHALL BE RETURNED IN A MANNER THAT TAKES ADVANTAGE OF THE NATURAL SOIL SEED BANK IT CONTAINS.
3. ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL MUNICIPALITY UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS.
4. THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL, STATE, AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO THE CONSTRUCTION COVERED BY THIS PLAN.
5. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
6. ALL EXTERIOR SITE LIGHTING SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS FOR TYPE, LOCATION, HEIGHT, WATTAGE, AND LUMEN BASED UPON THE FIXTURES INSTALLED PURSUANT TO SECTION 1023 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCE FOR NON-HILLSIDE PROPERTIES, SECTION 2208 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCE FOR HILLSIDE PROPERTIES, OR AS SPECIFIED IN THE SPECIAL USE PERMIT FOR SPECIAL USE PERMIT PROPERTIES.
7. A DUST CONTROL PLAN AND PERMIT MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
8. A SEPARATE RIGHT-OF-WAY PERMIT IS NECESSARY FOR ANY OFF-SITE CONSTRUCTION.
9. AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
10. EAVE PROJECTIONS INTO REQUIRED SETBACKS ARE LIMITED TO A MAXIMUM OF 24" PURSUANT TO SECTION 1008 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES.
11. ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
12. ALL NEW AND EXISTING ELECTRICAL SERVICE LINES SHALL BE BURIED PER THE TOWN OF PARADISE VALLEY REQUIREMENTS.
13. IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE TO ARRANGE FOR THE RELOCATION AND RELOCATION COSTS OF ALL UTILITIES, AND TO SUBMIT A UTILITY RELOCATION SCHEDULE PRIOR TO THE ISSUANCE OF AN ENGINEERING CONSTRUCTION PERMIT.
14. EXISTING AND/OR NEW UTILITY CABINETS AND PEDESTALS SHALL BE LOCATED A MINIMUM OF 4' BEHIND ULTIMATE BACK OF CURB LOCATION.
15. POOL, SPA, BARBEQUE AND ANY PROPOSED STRUCTURES OVER 8' ABOVE GRADE REQUIRE SEPARATE PERMIT APPLICATIONS.
16. POOLS SHALL BE CONSTRUCTED BY SEPARATE PERMIT AND SECURED FROM UNWANTED ACCESS PER TOWN CODE, ARTICLE 5-2.
17. ALL FILL MATERIAL UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95%.
18. SETBACK CERTIFICATION IS REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO STEM WALL INSPECTION.
19. FOR BUILDING PADS THAT HAVE 1' OR MORE OF FILL MATERIAL, SOILS COMPACTION TEST RESULTS ARE REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO PRE-SLAB INSPECTION.
20. FINISHED FLOOR ELEVATION CERTIFICATION IS REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO FRAMING INSPECTION.
21. MAIL BOXES SHALL COMPLY WITH THE TOWN OF PARADISE VALLEY STANDARDS FOR MAIL BOXES IN THE RIGHT-OF-WAY FOR HEIGHT, WIDTH AND BREAK AWAY FEATURES.
22. ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE.
23. TRENCH BEDDING AND SHADING SHALL BE FREE OF ROCKS AND DEBRIS.
24. THE TOWN ONLY APPROVES THE SCOPE OF WORK AND NOT THE ENGINEERING DESIGN. ANY CONSTRUCTION QUANTITIES SHOWN ARE NOT VERIFIED BY THE TOWN.
25. THE APPROVAL OF THE PLANS IS VALID FOR 180 DAYS. IF A PERMIT FOR CONSTRUCTION HAS NOT BEEN ISSUED WITHIN 180 DAYS, THE PERMIT MUST BE RENewed.
26. A TOWN INSPECTOR WILL INSPECT ALL WORK WITHIN THE TOWN'S RIGHTS-OF-WAY. NOTIFY TOWN INSPECTION SERVICES TO SCHEDULE A PRECONSTRUCTION MEETING PRIOR TO STARTING CONSTRUCTION.
27. WHENEVER EXCAVATION IS NECESSARY, CALL ARIZONA811 BY DIALING 811 OR 602-263-1100, TWO (2) WORKING DAYS BEFORE EXCAVATION BEGINS.
28. EXCAVATIONS SHALL COMPLY WITH REQUIREMENTS OF OSHA EXCAVATION STANDARDS (29 CFR, PART 1926, SUBPART P). UNDER NO CIRCUMSTANCES WILL THE CONTRACTORS BE ALLOWED TO WORK IN A TRENCH LOCATED WITHIN THE TOWN'S RIGHT-OF-WAY WITHOUT PROPER SHORING OR EXCAVATION METHODS.
29. PERMIT HOLDER SHALL POST A 6 SQUARE FOOT (2'x3') IDENTIFICATION SIGN, MADE OF DURABLE MATERIAL, IN THE FRONT YARD OF SUBJECT PROPERTY AND NOT IN THE TOWN'S RIGHT-OF-WAY. THE SIGN MAY NOT EXCEED A MAXIMUM OF 6 FEET IN HEIGHT FROM GRADE TO TOP OF THE SIGN. THE SIGN MUST INCLUDE THE PERMITTEE OR COMPANY NAME, PHONE NUMBER, TYPE OF WORK, ADDRESS OF PROJECT AND TOWN CONTACT NUMBER, 480-348-3556.
30. WHEN DEEMED NECESSARY, A 6-FOOT-HIGH CHAIN LINK FENCE MUST BE INSTALLED AROUND THE CONSTRUCTION AREA TO PREVENT ANY POTENTIAL SAFETY HAZARD FOR THE PUBLIC. THE FENCE SHALL BE SETBACK AT LEAST 10 FEET FROM ALL RIGHTS-OF-WAY AND HAVE A 50-FOOT STREET CORNER SITE TRIANGLE WHERE APPLICABLE.
31. CLEAR ACCESS FOR NEIGHBORING PROPERTIES AND EMERGENCY VEHICLES MUST BE MAINTAINED AT ALL TIMES. CONSTRUCTION RELATED VEHICLES MUST BE LEGALLY PARKED ONLY ON ONE SIDE OF THE STREET OR JOB SITE PROPERTY.
32. ALL CONSTRUCTION DEBRIS AND EQUIPMENT MUST BE CONTAINED ON SITE AT ALL TIMES. CONTRACTOR AND PROPERTY OWNER MUST MAINTAIN THE JOB SITE FREE OF LITTER AND UNSIGHTLY MATERIALS AT ALL TIMES. CONSTRUCTION MATERIALS ARE PROHIBITED IN THE TOWN'S RIGHT-OF-WAY.
33. CONSTRUCTION ACTIVITIES ARE PERMITTED BETWEEN THE HOURS OF 7 AM AND 5 PM MONDAY THROUGH CONSTRUCTION ACTIVITIES MAY START ONE (1) HOUR EARLIER DURING THE SUMMER (MAY 1ST THROUGH SEPTEMBER 30TH).
34. THE USE AND OPERATION OF FUEL-FIRED GENERATORS IS PROHIBITED UNLESS DUE TO A HARDSHIP. TOWN APPROVAL SHALL BE REQUIRED.
35. THE CONTRACTOR AND PROPERTY OWNER SHALL BE LIABLE FOR ANY DAMAGE DONE TO ANY PUBLIC PROPERTY AS A RESULT OF ANY CONSTRUCTION OR CONSTRUCTION RELATED ACTIVITIES. NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL AFFECTED RIGHTS-OF-WAY ARE CLEANED AND/OR REPAIRED TO THEIR ORIGINAL CONDITION AND UNTIL ANY AND ALL DAMAGES TO AFFECTED PROPERTIES ARE RESTORED TO ORIGINAL CONDITION.
36. A KEYSWITCH SHALL BE REQUIRED ON ALL NEW AND EXISTING ELECTRIC ENTRY GATES. THE KEYSWITCH SHALL BE INSTALLED IN A LOCATION THAT IS READILY VISIBLE AND ACCESSIBLE. KNOX BOX ORDER FORMS ARE AVAILABLE AT THE TOWN'S BUILDING SAFETY DEPARTMENT.
37. PROPERTY OWNER, BUILDER, OR GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR CONTROLLING DUST FROM THE SITE AT ALL TIMES. ALL MEANS NECESSARY SHALL BE USED BY THE BUILDER OR GENERAL CONTRACTOR TO CONTROL THE EXISTENCE OF DUST CAUSED BY ANY EARTHWORK, SPRAY APPLICATION OF MATERIALS, OR OTHER DUST-CAUSING PRACTICES REQUIRED BY THE CONSTRUCTION PROCESS.
38. APPROVAL OF THESE PLANS ARE FOR PERMIT PURPOSES ONLY AND SHALL NOT PREVENT THE TOWN FROM REQUIRING CORRECTION OF ERRORS IN THE PLANS WHERE SUCH ERRORS ARE SUBSEQUENTLY FOUND TO BE IN VIOLATION OF ANY LAW, ORDINANCE, HEALTH, SAFETY, OR OTHER DESIGN ISSUES.
39. ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTION DITCHES, PIPES PROTECTIVE BERMS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT PROPOSED AND EXISTING IMPROVEMENTS FROM RUNOFF OR DAMAGE FROM STORM WATER, MUST BE CONSTRUCTED PRIOR TO THE CONSTRUCTION OF ANY IMPROVEMENTS.

NATIVE PLANTS

ALL NATIVE PLANTS IMPACTED BY CONSTRUCTION SHALL BE RELOCATED ON SITE. SEE LANDSCAPE PLAN AND NATIVE PLANT INVENTORY AND SALVAGE PLAN.

DRAINAGE STATEMENT

1. ULTIMATE STORM OUTFALL IS LOCATED AT THE NORTHWEST PROPERTY CORNER AT ELEVATION OF 1493.50.
2. REMODEL OF EXISTING FAMILY RESIDENCE AND NEW ADDITIONS, GARAGE, POOL AND SITE IMPROVEMENTS ARE PROPOSED WITH THIS PROJECT.
3. PROPOSED DEVELOPMENT DOES NOT IMPACT DRAINAGE CONDITIONS OF ADJOINING LOTS.
4. HISTORIC DRAINAGE PATTERNS ARE PRESERVED.
5. THE MINIMUM FINISH FLOOR ELEVATIONS SHOWN ARE SAFE FROM INUNDATION DURING A 100-YEAR PEAK RUN-OFF EVENT IF CONSTRUCTED PER THE APPROVED CIVIL PLANS.
6. PROPOSED STORM DRAIN SYSTEM SHALL BE INSPECTED AND CLEANED FROM DEBRIS AND SILT AFTER EVERY MAJOR STORM EVENT.
7. CHECK DAMS, RIPRAP AND BouldERS ARE SPECIFIED AT ALL POINTS OF DISCHARGE TO MITIGATE EROSION AND TO CONVERT CONCENTRATED FLOWS BACK TO SHEET FLOWS.
8. ON-SITE RETENTION IS PROVIDED FOR THE PRE VS. POST DEVELOPMENT RUNOFF FROM 100-YEAR, 2-HOUR STORM EVENT.

PRELIMINARY GRADING & DRAINAGE PLAN
5301 E PARADISE CANYON RD., PARADISE VALLEY, AZ 85253
LOT 10 - PARADISE CANYON FOOTHILLS

A SUBDIVISION PLAT RECORDED IN BOOK 139 OF MAPS, PAGE 27, MCR.,
LOCATED IN A PORTION OF THE NW 1/4 OF THE NW 1/4 OF THE SE 1/4 OF SECTION 5, T.2N, R.4E
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

ENGINEERS NOTES

1. MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION INCLUDING LATEST REVISION AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL TOWN OR CITY) ARE INCORPORATED INTO THIS PLAN IN THEIR ENTIRETY.
2. ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL CITY OR TOWN UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
3. GRADING SHALL BE IN CONFORMANCE WITH 2015 IBC SEC. 1803 AND APPENDIX J.
4. 5% MINIMUM SLOPE AWAY FROM BUILDING FOR A MINIMUM 10', U.N.O.
5. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) SPECIFICATIONS AND STANDARD DETAILS.
6. A DUST CONTROL PLAN MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
7. A SEPARATE PERMIT IS NECESSARY FOR ANY OFFSITE CONSTRUCTION.
8. AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
9. ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTOR DITCHES, PIPES, PROTECTIVE BERMS, BARRIER WALLS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT ADJACENT BUILDINGS OR PROPERTY FROM STORM RUNOFF MUST BE COMPLETED PRIOR TO BUILDING CONSTRUCTION.
10. ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
11. ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE. ALL LAWN AREAS ADJOINING WALKS OR SLABS WILL BE GRADED TO 2" BELOW THE TOP OF SLAB. TYPICAL FINISHED GRADE AROUND PERIMETER OF BUILDING IS MINUS 6" BELOW FINISHED FLOOR UNLESS SPECIFIED OTHERWISE.
12. ALL MATERIAL TO BE UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95% PER ASTM D698.
13. THE QUANTITIES AND SITE CONDITIONS DEPICTED IN THESE PLANS ARE FOR INFORMATIONAL PURPOSES ONLY AND ARE SUBJECT TO ERROR AND OMISSION. CONTRACTORS SHALL SATISFY THEMSELVES AS TO ACTUAL QUANTITIES AND SITE CONDITIONS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
14. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
15. THE CONTRACTOR IS RESPONSIBLE FOR ALL METHODS, SEQUENCING, AND SAFETY CONCERNS ASSOCIATED WITH THIS PROJECT DURING CONSTRUCTION, UNLESS SPECIFICALLY ADDRESSED OTHERWISE IN THIS PLAN OR ELSEWHERE.
16. A REASONABLE EFFORT HAS BEEN MADE TO SHOW THE LOCATIONS OF EXISTING UNDERGROUND FACILITIES AND UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND/OR FACILITIES CAUSED DURING THEIR CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL CALL 48 HOURS IN ADVANCE FOR BLUE STAKE (1-800-STAKE-IT) PRIOR TO ANY EXCAVATION.
17. THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION OF CONSTRUCTION AFFECTING UTILITIES AND THE COORDINATION OF ANY NECESSARY UTILITY RELOCATION WORK.
18. ALL PAVING, GRADING, EXCAVATION, TRENCHING, PIPE BEDDING, CUT, FILL AND BACKFILL SHALL COMPLY WITH THE RECOMMENDATIONS SET FORTH IN THE SOILS (GEOTECHNICAL) REPORT FOR THIS PROJECT IN ADDITION TO THE REFERENCED REQUIRED SPECIFICATIONS AND DETAILS.
19. THE CONTRACTOR IS TO VERIFY THE LOCATION AND THE ELEVATIONS OF ALL EXISTING UTILITIES AT POINTS OF TIE-IN PRIOR TO COMMENCING ANY NEW CONSTRUCTION. SHOULD ANY LOCATION OR ELEVATION DIFFER FROM THAT SHOWN ON THESE PLANS, THE CONTRACTOR SHALL CONTACT THE OWNER'S AGENT.
20. THE CONTRACTOR TO VERIFY AND COORDINATE ALL DIMENSIONS AND SITE LAYOUT WITH ARCHITECTURE'S FINAL SITE PLAN AND FINAL BUILDING DIMENSIONS BEFORE STARTING WORK. REPORT DISCREPANCIES TO OWNER'S AGENT.
21. COORDINATION BETWEEN ALL PARTIES IS ESSENTIAL PART OF CONTRACT.
22. CONTRACTOR IS RESPONSIBLE FOR PROJECT AND SITE CONDITIONS, AND TO WORK WITH WEATHER CONDITIONS AS THE PROJECT SITE MAY BE LOCATED IN A FLOOD PRONE AREA AND SUBJECT TO FLOODING AND ITS HAZARDS.
23. THE CONTRACTOR IS TO VERIFY THE LOCATION, ELEVATION, CONDITION, AND PAVEMENT CROSS-SLOPE OF ALL EXISTING SURFACES AT POINTS OF TIE-IN AND MATCHING, PRIOR TO COMMENCEMENT OF GRADING, PAVING, CURB AND GUTTER, OR OTHER SURFACE CONSTRUCTION. SHOULD EXISTING LOCATIONS, ELEVATIONS, CONDITION, OR PAVEMENT CROSS-SLOPE DIFFER FROM THAT SHOWN ON THESE PLANS, RESULTING IN THE DESIGN INTENT REFLECTED ON THESE PLANS NOT ABLE TO BE CONSTRUCTED, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AGENT IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ALL COSTS ASSOCIATED WITH CORRECTIVE ACTION IF THESE PROCEDURES ARE NOT FOLLOWED.
24. CONTRACTOR IS RESPONSIBLE TO COORDINATE UTILITY CROSSINGS AT CULVERT CROSSINGS BEFORE STARTING WORK ON CULVERT. COORDINATE WITH OWNER REPRESENTATIVE. VERIFY UTILITY LINES AND/OR CONDUITS ARE IN PLACE BEFORE STARTING CULVERT WORK.
25. ALL ON-SITE UTILITIES PER OTHERS.
26. THIS PROJECT REQUIRES A REGULAR ONGOING MAINTENANCE PROGRAM FOR THE DESIGNED DRAINAGE SYSTEM(S) TO PRESERVE THE DESIGN INTEGRITY AND THE ABILITY TO PERFORM ITS OPERATIONAL INTENT. FAILURE TO PROVIDE MAINTENANCE WILL JEOPARDIZE THE DRAINAGE SYSTEM(S) PERFORMANCE AND MAY LEAD TO ITS INABILITY TO PERFORM PROPERLY AND/OR CAUSE DAMAGE ELSEWHERE IN THE PROJECT.
27. IF A DISCREPANCY IS FOUND BETWEEN ENGINEER'S PLAN OR SURVEYOR'S STAKING AND THE ARCHITECTURAL PLAN, ENGINEER SHALL BE NOTIFIED IMMEDIATELY. FAILURE TO NOTIFY ENGINEER SHALL NEGATE ENGINEER'S LIABILITY.
28. ALL DISTURBED AREAS ARE TO BE ROPED AND ROPING MUST MATCH PLAN.
29. VEGETATION OUTSIDE OF CONSTRUCTION AREA TO REMAIN.
30. AREAS OUTSIDE THE WALL AND CUT AND FILL SLOPES SHALL BE REVEGETATED WITH SIMILAR PLANT TYPES AND DENSITIES FOUND ON THE SITE. REVEGETATION SHALL BE COMPLETED PRIOR TO OCCUPANCY AND THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
31. MECHANICAL EQUIPMENT SHALL BE SCREENED TO A MINIMUM OF ONE FOOT ABOVE TOP OF EQUIPMENT.
32. ANY FUTURE IMPROVEMENTS SHOWN HEREON SHALL REQUIRE A SEPARATE PERMIT.
33. ANY POINTS OF DRAINAGE CONCENTRATION SHOULD BE PROTECTED AGAINST EROSION WITH NATIVE STONE.
34. THIS PLAN IS DESIGNED TO SHOW THE GRADING AND DRAINAGE. CONTRACTOR SHALL USE THE ARCHITECTURAL SITE PLAN TO DETERMINE FINAL HOUSE, WALL, STEP, ETC., LOCATIONS AND ELEVATIONS.
35. ALL DRAINAGE FACILITIES TO BE MAINTAINED BY HOMEOWNER.
36. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR SITE AND RETAINING WALLS LAYOUT, DIMENSIONS, AND DETAILS. TOP OF FOOTING ELEVATIONS SHOWN IN PLAN ARE APPROXIMATE ONLY. ACTUAL TOP OF FOOTINGS TO BE DETERMINED AT TIME OF CONSTRUCTION AND TO BE A MINIMUM OF SIX INCHES BELOW EXISTING NATURAL GRADE OR FINISHED GRADE WHICHEVER IS LOWER (TYPICAL).
37. REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT, DIMENSIONS AND ELEVATIONS.
38. REFER TO STRUCTURAL DRAWINGS, DETAILS AND CALCULATIONS FOR ALL PROPOSED RETAINING WALLS.
39. FOR CHANGE IN ELEVATION THAT ARE GREATER THAN 30", PROVIDE 36" HIGH GUARDRAILS FOR TOTAL OF 42" FALL PROTECTION BARRIER U.N.O.
40. ALL WATER AND SEWER LINES AND CONNECTIONS MUST BE INSTALLED PER IPC 2015, MAG AND CITY OF PHOENIX SUPPLEMENT TO MAG.
41. ALL PIPES AND FITTINGS SHALL BE INSTALLED PER MANUFACTURE'S SPECIFICATIONS AND DETAILS.
42. ABANDONMENT OR REMOVAL OF EXISTING SEPTIC SYSTEMS SHALL BE PERFORMED IN ACCORDANCE WITH THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT RULES AND STANDARDS, AND WILL REQUIRE SEPARATE PERMIT.
43. COORDINATE RIPRAP COLOR WITH LANDSCAPE PLANS AND DETAILS.
44. VERIFY AND COORDINATE WITH ARCHITECTURAL AND LANDSCAPE PLANS LOCATION AND HEIGHT OF ALL SITE WALLS.
45. DISTURBED AREA 0.781 < 1 ACRE; NPDES PERMIT IS NOT REQUIRED.
46. REFER TO ARCHITECTURAL PLANS AND DETAILS FOR DEMOLITION OF EXISTING BUILDING STRUCTURE, SITE WALLS AND PAVEMENT.
47. VERIFY AND COORDINATE WITH LANDSCAPE PLANS FINAL LOCATION AND GRATE TYPE OF SPECIFIED AREA DRAINS AND TRENCH DRAINS.

LEGEND

⊙	BRASS CAP FLUSH
●	FOUND REBAR OR AS NOTED
○	CALCULATED POINT
----	PROPERTY LINE
----	EASEMENT LINE
----	MONUMENT LINE
WM	WATER METER
⊕	WATER VALVE
⊕	FIRE HYDRANT
□	TRANSFORMER
CTV	CABLE TV RISER
☐	MAILBOX
Ⓜ	SEWER CLEANOUT
A/C	A/C UNIT
Ⓜ	ELECTRIC METER
Ⓜ	GAS METER
Ⓜ	SPORT HOOP
Ⓜ	WATER BACK FLOW DEVICE
Ⓜ	FLOOD IRRIGATION VALVE
★	LIGHT POLE
Ⓜ	BOULDER
---	GAS LINE
---	CATV, PHONE
---	SEWER LINE
---	WATER LINE
---	ELECTRIC LINE
---	COMMUNICATIONS LINE
---	FENCE
---	EXISTING CONTOUR
---	EXIST. DRAINAGE FLOW
★	PALM TREE
★	TREE
★	PALO VERDE TREE
★	SAQUARO
★	OLIVE TREE
xxx	PROPOSED SPOT ELEVATION
xx	PROPOSED CONTOUR
----	EXISTING DISTURBED AREA
----	PROPOSED DISTURBED AREA
----	STORM DRAIN PIPE

ABBREVIATIONS

BC	BACK OF CURB
BSL	BUILDING SETBACK LINE
CL	CENTERLINE
DE	DRAINAGE EASEMENT
EG	EXISTING GRADE
EL, ELEV	ELEVATION
EP	EDGE OF PAVEMENT
ESMT	EASEMENT
EX, EXIST.	EXISTING
FG	FINISH GRADE
FND	FOUND
G	GUTTER, GAS
INV	INVERT
(M)	MEASURED
MCR	MARICOPA COUNTY RECORDER
MH	MANHOLE
P, PWMT	PAVEMENT
PUE	PUBLIC UTILITY EASEMENT
(R), REC.	RECORDED
R	RADIUS
R/W	RIGHT OF WAY
T	TANGENT, TELEPHONE
TC	TOP OF CURB
TG	TOP OF GRATE
W	WEST, WATERLINE
WM	WATER METER

DISTURBED AREA CALCULATIONS

AREA OF LOT:	44,112 S.F. (1.013 AC.)
TOTAL FLOOR AREA:	8,825 S.F.
FLOOR AREA RATIO:	20.00% < 25%
(TOTAL FLOOR AREA/AREA OF LOT)	
BUILDING PAD SLOPE:	9.21%
VERTICAL:	27'
HORIZONTAL:	259'
ALLOWABLE NET DISTURBED AREA:	23,670 S.F. (53.66%)
GROSS EXISTING DISTURBED AREA:	42,031 S.F. (95.28%)
LESS BUILDING FOOTPRINT AREA:	8,825 S.F.
EXIST. NET DISTURBED AREA:	34,002 S.F. (77.08%)
PROPOSED NEW IMPROVEMENTS WITHIN	
EXISTING DISTURBANCE AREA:	42,031 S.F.
GROSS PROPOSED DISTURBED AREA:	39,668 S.F.
LESS TEMPORARY AREAS OF DISTURBANCE	
TO BE RESTORED AND REVEGETATED:	0 S.F.
LESS 100% REWORK OF EXIST. DRIVEWAY:	5,666 S.F.
LESS NEW BUILDING FOOTPRINT AREA:	8,825 S.F.
PROPOSED NET DISTURBED AREA:	24,392 S.F. (55.29%)
ALLOWED SLOPES STEEPER	
THAN NATURAL GRADE (5% MAX.):	2,206 S.F. (5%)
PROPOSED SLOPES STEEPER	
THAN NATURAL GRADE (AREA):	2,206 S.F. (5%)
VOLUME OF CUT:	393 C.Y.
VOLUME OF FILL:	179 C.Y.
TOTAL CUT & FILL:	572 C.Y.
HILLSIDE ASSURANCE = 35 TIMES THE GRADING PERMIT FEE. = \$21,595	
GRADING PERMIT FEE: \$617 (\$142 FIRST 100 CY / \$95 EA. ADDITIONAL 100 CY).	
ALL QUANTITIES LISTED ON THESE PLANS ARE ESTIMATES ONLY.	
THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF THE QUANTITIES AND BASE THEIR BIDS ON THEIR ESTIMATES.	

GRADING SPECIFICATIONS

1. EXCAVATION AND GRADING OF THIS SITE IS CLASSIFIED AS "ENGINEERED GRADING" PER 2015 I.B.C. AND WILL BE PERFORMED ACCORDINGLY.
2. THE CONTRACTOR WILL RETAIN A SOILS ENGINEER DURING CONSTRUCTION TO INSPECT PROGRESS OF CONSTRUCTION, CONCERNING PREPARATION OF GROUND TO RECEIVE FILLS, TESTING AND REQUIRED COMPACTION STABILITY OF ALL FINISH SLOPES INCLUDING CUT SLOPES.
3. COMPACTION SHALL COMPLY WITH M.A.G. SECTION 601 AND PROVISIONS AS SET FORTH IN THE SOILS REPORT.
4. BEARING MATERIALS FOR FILL UNDER RESIDENCE PAD IF NATIVE MATERIAL IS USED. LARGE ROCK FRAGMENTS MUST BE REMOVED THAT ARE IN EXCESS OF SIX INCHES. REMAINING MATERIAL MUST BE SMALLER PARTICLES OF SAND AND ROCK THAT CAN BE COMPACTED INTO A DENSE CONDITION.
5. MAXIMUM PARTICLE SIZE: 6 INCHES
6. PERCENT PASSING NO. 4 SIEVE: 35% TO 70%
7. PERCENT PASSING NO. 200 SIEVE: 25% MAX.
8. PLASTICITY INDEX: 10% MAX.
9. CUT-SLOPES: MAXIMUM ROCK CUT SLOPE TO BE 1.0 FEET HORIZONTAL TO 3.0 FEET VERTICAL PER GEOTECHNICAL STUDY.
10. FILL SLOPES: MAXIMUM FILL SLOPE TO BE 2.0 FEET HORIZONTAL TO 1.0 FEET VERTICAL.
11. COMPACTION FILL MATERIAL MUST BE PLACED ON LEVELED BENCHES CUT INTO UNDISTURBED EXISTING HILLSIDE. PLACE FILL IN HORIZONTAL LIFTS OF THICKNESS COMPATIBLE WITH THE COMPACTION EQUIPMENT USED. COMPACT TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM A.S.T.M. DENSITY AT THE OPTIMUM MOISTURE CONTENT OF ± TWO PERCENT. THIS PERTAINS TO ALL ENGINEERED STRUCTURAL FILL SUPPORTING STRUCTURES AND INCLUDING FILL UNDER ANY OF THE RETAINING WALLS. COMPACTION TEST RESULTS SHALL BE SUBMITTED TO THE SOILS ENGINEER AND TOWN OF PARADISE VALLEY BUILDING AND SAFETY DEPARTMENT.
12. ANY RETAINING WALLS ADJACENT TO THE PROPERTY LINES WILL BE UNDER THE SCOPE OF SPECIAL INSPECTION BY THE SOILS ENGINEER. THE DEVELOPER SHALL NOTIFY THE ADJOINING PROPERTY OWNERS IN WRITING, TEN DAYS PRIOR TO START OF CONSTRUCTION ON THESE WALLS PER SECTION 2903-B OF IBC. THE DEVELOPER WILL HAVE TO PROVIDE MEANS OF PROTECTION OF ADJACENT PROPERTY WHILE THIS WORK IS UNDER CONSTRUCTION.
13. ALL EXPOSED CUT AND FILL SHALL BE TREATED WITH AN APPROVED AGING AGENT TO MINIMIZE TO VISUAL CONTINUITY.
14. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL ALL HILLSIDE STIPULATIONS AND ALL TOWN CODE REQUIREMENTS ARE COMPLIED INCLUDING, BUT NOT LIMITED TO LANDSCAPING, GROUND RESTORATION, FIRE FLOW, FIRE SAFETY AND ALL ON-SITE AND OFFSITE IMPROVEMENTS.
15. ALL OUTDOOR LIGHTING SHALL BE IN CONFORMANCE WITH ARTICLE XXII OF THE TOWN ZONING ORDINANCE.
16. ALL EXCESS FILL MATERIAL SHALL BE REMOVED FROM THE SITE WITH NO NEW SPILL SLOPES.
17. THE USE OF HYDRAULIC RAM HAMMERS, OR OTHER HEAVY EQUIPMENT USED TO CUT THROUGH ROCK, INCLUDING MACHINERY WITH AUDIBLE BACK UP WARNING DEVICES SHALL BE LIMITED TO USE BETWEEN THE HOURS OF 7:00AM OR SUNRISE, WHICHEVER IS LATER, AND 6:00PM OR SUNSET, WHICHEVER IS EARLIER, MONDAY THROUGH FRIDAY, WITH LIMITED WORK ON SATURDAY AND NO WORK ON SUNDAY OR LEGAL HOLIDAYS.
18. CONSTRUCTION STAKING AND/OF FENCING SHALL BE PLACED AROUND THE CONSTRUCTION SITE SO AS TO PROTECT THE UNDISTURBED NATURAL AREAS.

FINISH FLOOR CERTIFICATION

I HEREBY CERTIFY THAT FINISHED FLOOR ELEVATION SHOWN ON THE PLAN OF 1510.69 IS MINIMUM OF 12" ABOVE THE 100-YEAR STORM ELEVATION OF 1509.00 ACCORDING TO THE TOWN OF PARADISE VALLEY CODE OF ORDINANCE.

Nick Prodanov

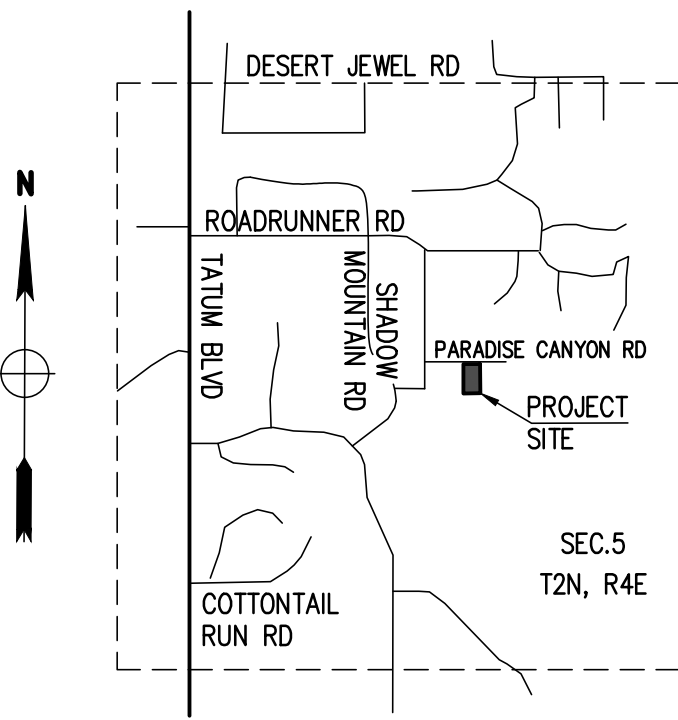
REGISTERED CIVIL ENGINEER

02/08/20

DATE:

UTILITIES

WATER: EPCOR
SANITARY SEWER: TOWN OF PARADISE VALLEY
ELECTRIC: APS
TELEPHONE: CENTURY LINK, COX COMMUNICATIONS
NATURAL GAS: SOUTHWEST GAS
CABLE TV: CENTURY LINK, COX COMMUNICATIONS



VICINITY MAP
NTS

OWNER

TOBY & JENNIFER THOMAS
5301 PARADISE CANYON RD.,
PARADISE VALLEY, AZ 85253

SITE DATA

APN: 169-06-018
ADDRESS: 5301 E PARADISE CANYON RD.,
PARADISE VALLEY, AZ 85253
ZONING: R-43
LOT AREA: 44,112 S.F. (1.013 AC.)
QS #: 24-40
TOTAL LOT COVERAGE: 8,825 S.F.
FLOOR AREA RATIO: 20.00% < 25%
DISTURBED AREA: 38,883 S.F. (0.892 AC.)

CIVIL ENGINEER

LAND DEVELOPMENT GROUP, LLC
8808 N CENTRAL AVE, SUITE 288
PHOENIX, AZ 85020
CONTACT: NICK PRODANOV, PE
P: 602 889 1984

LEGAL DESCRIPTION

LOT TEN (10), PARADISE CANYON FOOTHILLS, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 139 OF MAPS, PAGE 27.

BENCHMARK

FOUND 2" ALUMINUM CAP IN POT HOLE, STAMPED "T.2N, R.4E, 1/4 SS S8 2004, RLS# 21782", BEING THE SOUTH QUARTER COR. OF SEC.5 T.2N, R.4E, HAVING AN ELAVATION OF 1401.451" (NAVOD88) DATUM, GDACS# 24522-2M.

BASIS OF BEARINGS

THE CENTER LINE OF PARADISE CANYON ROAD EAST OF LAS BRISAS PER BOOK 139, PAGE 27, MCR, THE BEARING OF WHICH IS N89°59'50"W.

FLOOD INSURANCE RATE MAP (FIRM) DATA

COMMUNITY #	PANEL #	SUFFIX	BASE FLOOD ELEVATION
040049	1765 OF 4425	L	N/A
MAP #	PANEL DATE	FIRM INDEX DATE	ZONE
04013C	10/16/2013	11/04/2015	X*

*AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

PROJECT DESCRIPTION

REMODEL OF EXISTING SINGLE FAMILY RESIDENCE AND NEW ADDITIONS, NEW DRIVEWAY, NEW POOL AND SITE IMPROVEMENTS WITH ON SITE RETENTION.

SHEET INDEX

- C1 - COVER SHEET
- C2 - PRELIMINARY IMPROVEMENT PLAN

AS-BUILT CERTIFICATION

I HEREBY CERTIFY THAT THE "RECORD DRAWING" MEASUREMENTS AS SHOWN HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

REGISTERED ENGINEER/ LAND SURVEYOR DATE

REGISTRATION NUMBER

APPROVAL

THIS SET OF PLANS HAS BEEN REVIEWED FOR COMPLIANCE WITH TOWN OF PARADISE VALLEY REQUIREMENTS PRIOR TO ISSUANCE OF PERMIT. THE TOWN NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. THIS COMPLIANCE APPROVAL SHALL NOT PREVENT THE TOWN ENGINEER FROM REQUIRING CORRECTIONS OF ERRORS OR OMISSIONS IN THE PLANS TO BE FOUND IN VIOLATION OF LAWS OR ORDINANCES.

TOWN ENGINEER
TOWN OF PARADISE VALLEY

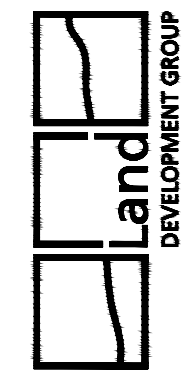
DATE

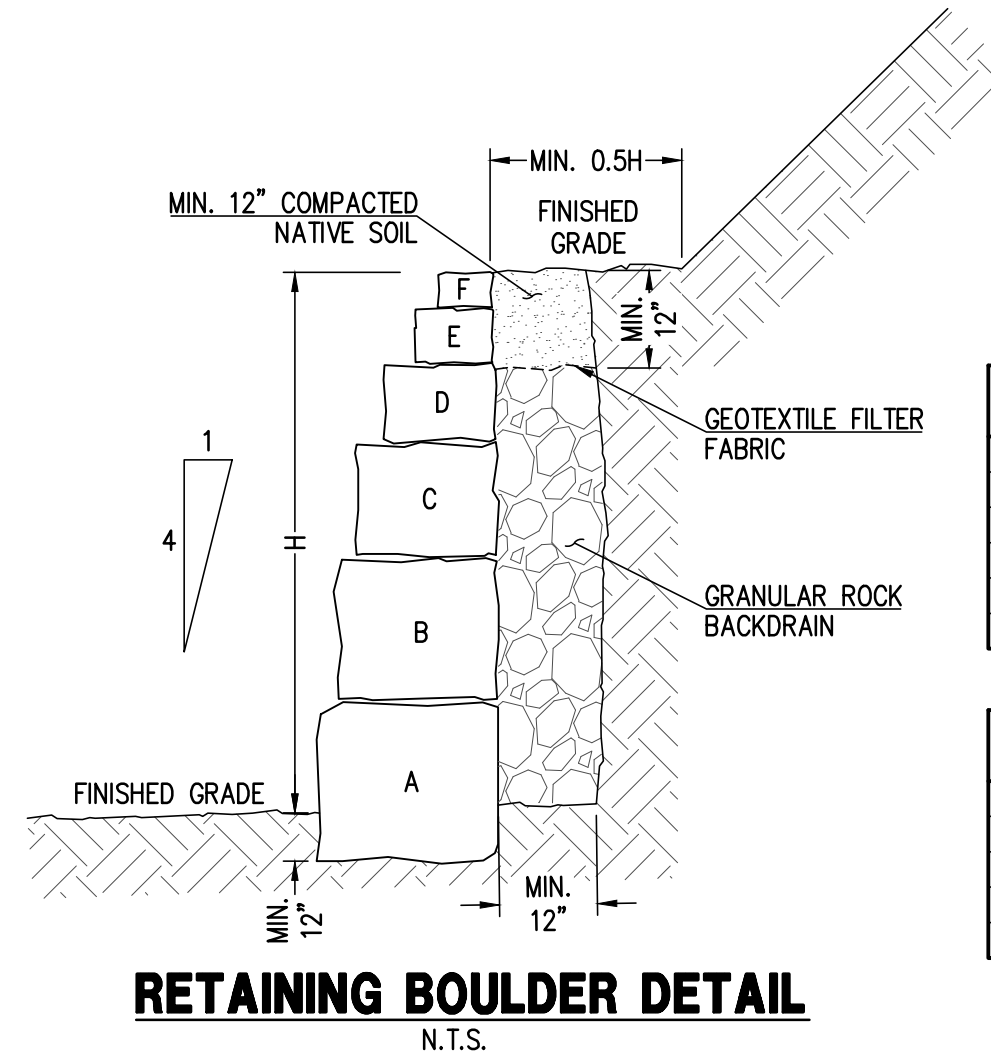
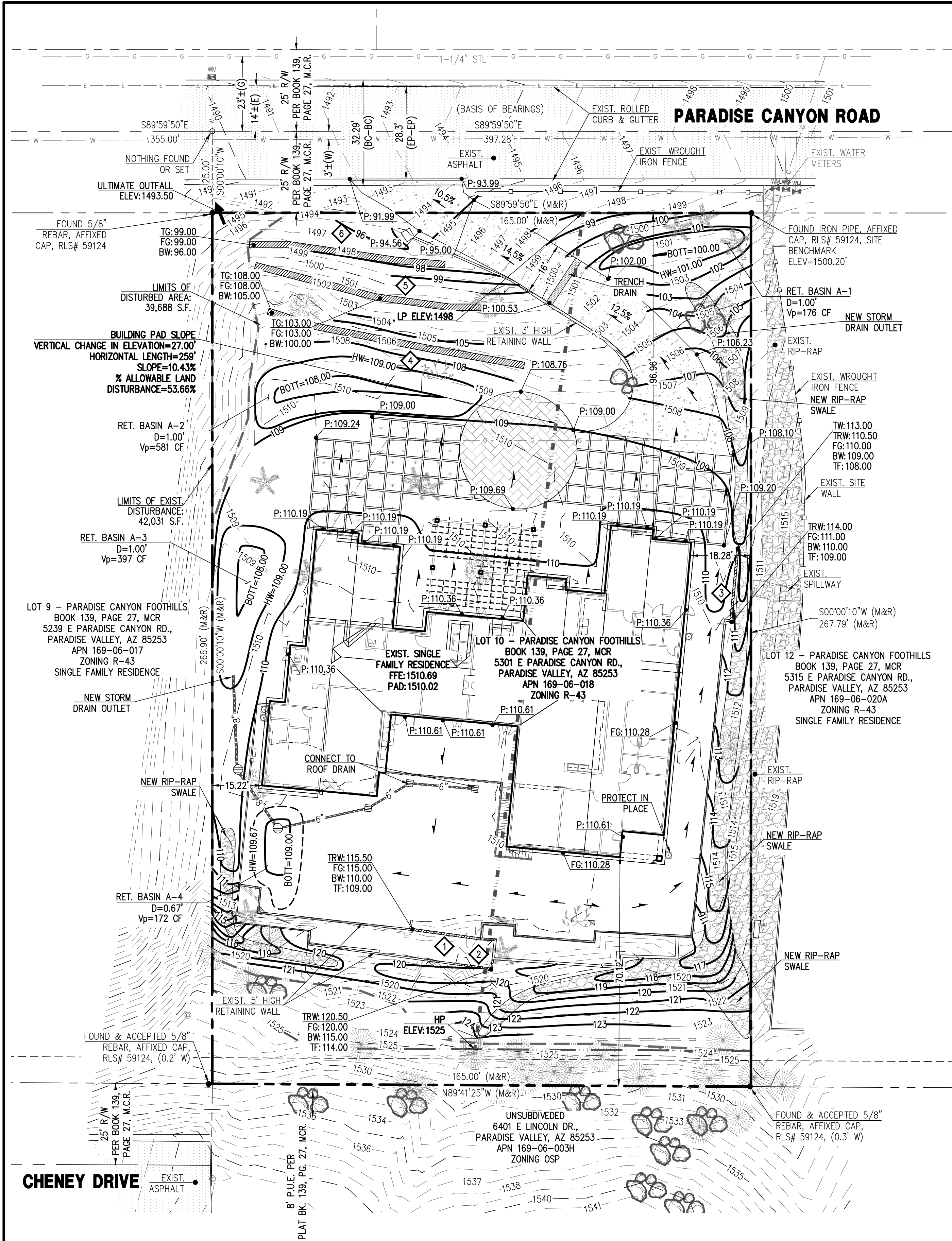


PRELIMINARY
GRADING & DRAINAGE
COVER SHEET

LOT 10 - PARADISE
CANYON FOOTHILLS
5301 E PARADISE
CANYON RD.,
PARADISE VALLEY, AZ85253

P 602 889 1984 | F 602 445 9482
8808 N CENTRAL AVE, SUITE 288
PHOENIX, AZ 85020
PHOENIX@LDG.COM





ROCK SIZE		
ROCK SIZE (PERSON)	ROCK WEIGHT (POUNDS)	AVERAGE DIMENSIONS (FT.)
1	50 TO 200	0.7 TO 1.1
2	200 TO 650	1.1 TO 1.6
3	650 TO 1950	1.6 TO 2.3
4	1950 TO 3900	2.3 TO 2.9
5	3900 TO 5850	2.9 TO 3.3
6	5850 TO 7800	3.3 TO 3.7

ROCK SIZE DESIGNATION						
WALL HEIGHT H (FT.)	A	B	C	D	E	F
3	3	2	-	-	-	-
6	4	3	2	-	-	-
9	5	4	3	2	-	-
12	6	5	4	3	2	-
15	6	6	5	4	3	2

PERCENT PASSING	SIZE	D ₅₀ CLASS, INCHES			
		4	6	8	12
100 TO 90	1.5 D ₅₀	6	8	12	18
85 TO 70	1.3 D ₅₀	5	7	10	16
50 TO 30	1.0 D ₅₀	4	6	8	12
15 TO 5	0.67 D ₅₀	3	4	5	8
5 TO 0	0.50 D ₅₀	2	3	4	6

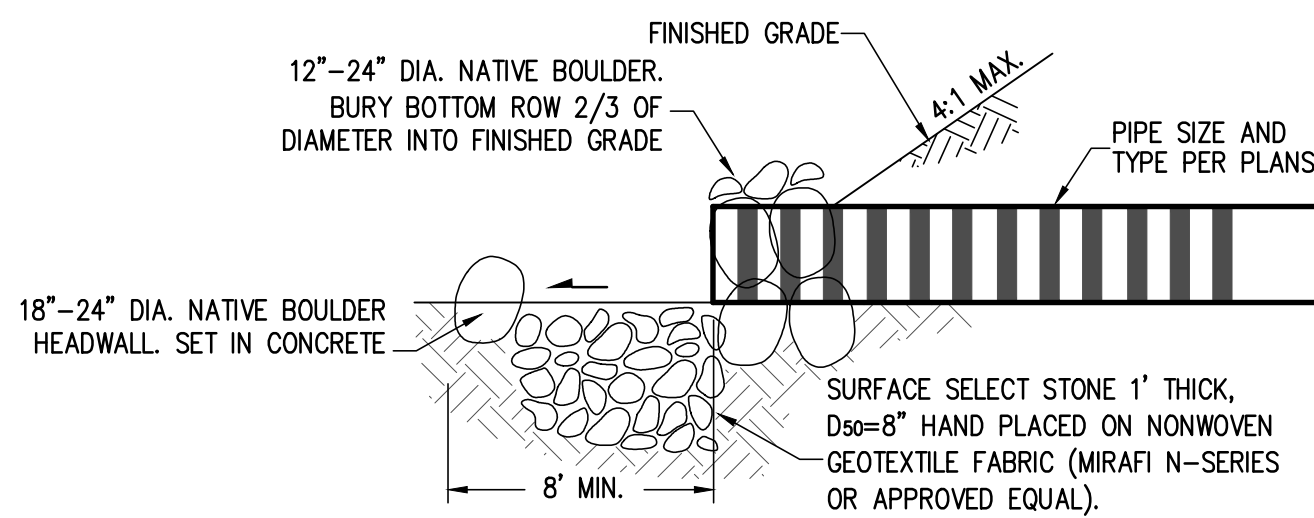
RIP-RAP GRADATION TABLE
N.T.S.

WEIGHTED RUNOFF COEFFICIENT, C _w PRE- DEVELOPMENT				WEIGHTED RUNOFF COEFFICIENT, C _w POST- DEVELOPMENT			
SURFACE TYPE	RUNOFF COEFFICIENT	AREA	C*AREA	SURFACE TYPE	RUNOFF COEFFICIENT	AREA	C*AREA
PAVEMENT & ROOF	0.95	15,340	14,573	PAVEMENT & ROOF	0.95	18,882	17,938
NATIVE HILLSIDE	0.70	23,543	16,480	NATIVE HILLSIDE	0.70	20,001	14,001
TOTAL		38,883	31,053	TOTAL		38,883	31,939
C _w = C * AREA / TOTAL AREA				C _w = C * AREA / TOTAL AREA			
0.80				0.82			

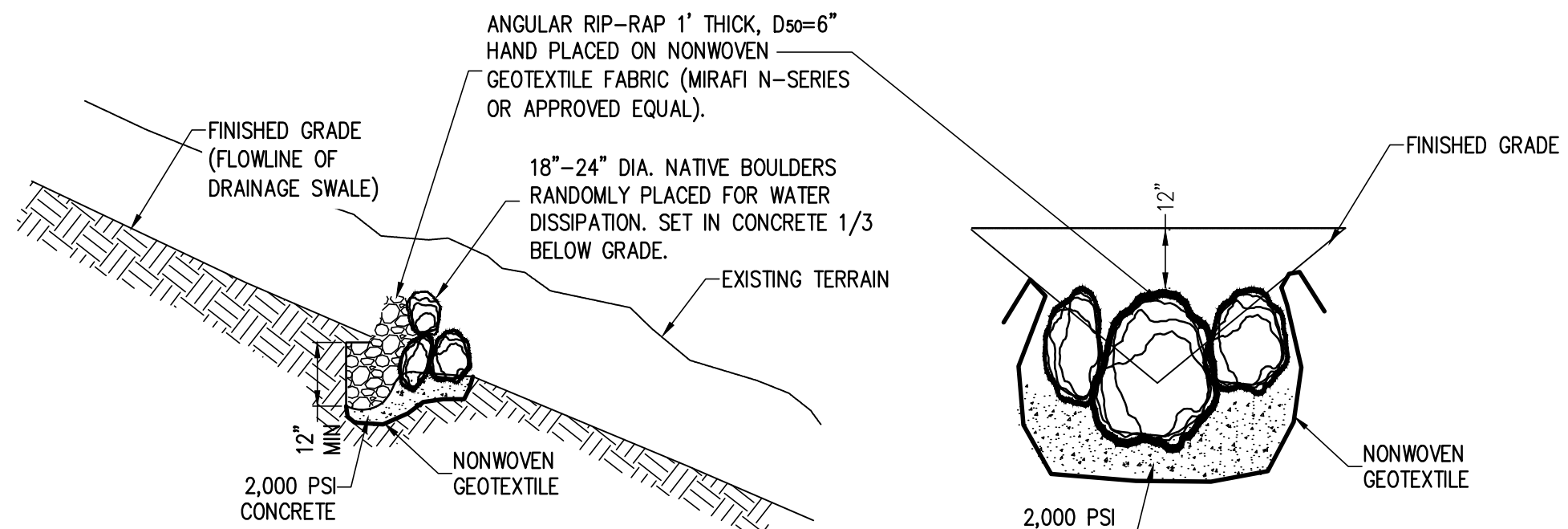
RETAINING WALL TABLE

ID NUMBER	MAX. HEIGHT	LENGTH
	FT	FT
1	5.5	22.00
2	5.5	13.00
3	4	24.00
4	2	80.00
5	2	79.00
6	2	60.00
TOTAL		278.00

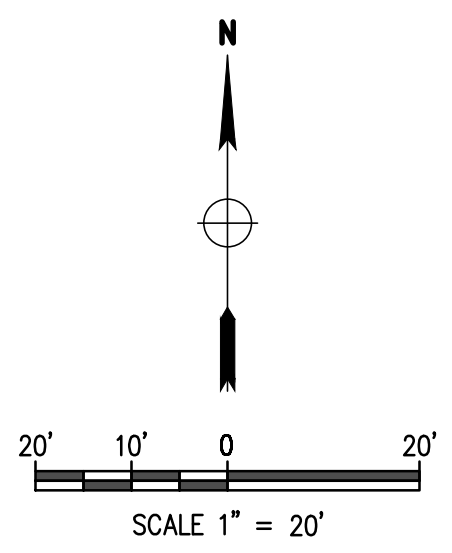
ON-SITE RETENTION FOR THE PRE VS. POST DEVELOPMENT RUNOFF FROM 100-YEAR, 2-HOUR STORM EVENT									
V=DxAx(C _{w,post} -C _{w,pre})/12 D - RAINFALL DEPTH = 2.21" A - TRIBUTARY AREA, SF C _w - WEIGHTED RUNOFF COEFFICIENT									
VF=(DfxAx(C _{w,post})/12 Df - RAINFALL DEPTH = 0.5" FIRST FLUSH A - TRIBUTARY AREA, SF C _w - WEIGHTED RUNOFF COEFFICIENT									
DRAINAGE AREA	AREA	RUNOFF COEFFICIENT	VOLUME REQUIRED PRE VS POST	VOLUME REQUIRED FIRST FLUSH	RETENTION BASIN ID	CONTOUR ELEVATION	CONTOUR AREA	DEPTH	VOLUME PROVIDED
	S.F.	C _w	C.F.	C.F.			S.F.	FT	C.F.
A	38,883	0.01	72	1,215	A1	HW 1,501.00	347	1.00	176
						BOTTOM 1,500.00	4		
					A2	HW 1,509.00	995	1.00	581
						BOTTOM 1,508.00	166		
					A3	HW 1,509.00	684	1.00	397
						BOTTOM 1,508.00	110		
					A4	HW 1,509.67	391	0.67	172
						BOTTOM 1,509.00	121		
TOTAL			72	1,215					1,325



DETAIL 3 - PIPE OUTLET DETAIL
N.T.S.



CHECK DAM DETAIL
N.T.S.



DATE: 02/08/20
JOB: 1909210
VERSION: 1.1
PLOT DATE: 02/08/20

SCALE: 1"=20'
DESIGNED BY: NP
DRAWN BY: CM
CHECKED BY: JL

REVISIONS:

PRELIMINARY
GRADING & DRAINAGE
IMPROVEMENT PLAN

LOT 10 - PARADISE
CANYON FOOTHILLS
5301 E PARADISE
CANYON RD.,
PARADISE VALLEY, AZ 85253

P 602 889 1984 | F 602 445 9482
8808 N CENTRAL AVE., SUITE 288
PHOENIX, AZ 85020
PHOENIX@LANDDEVELOPMENT.COM

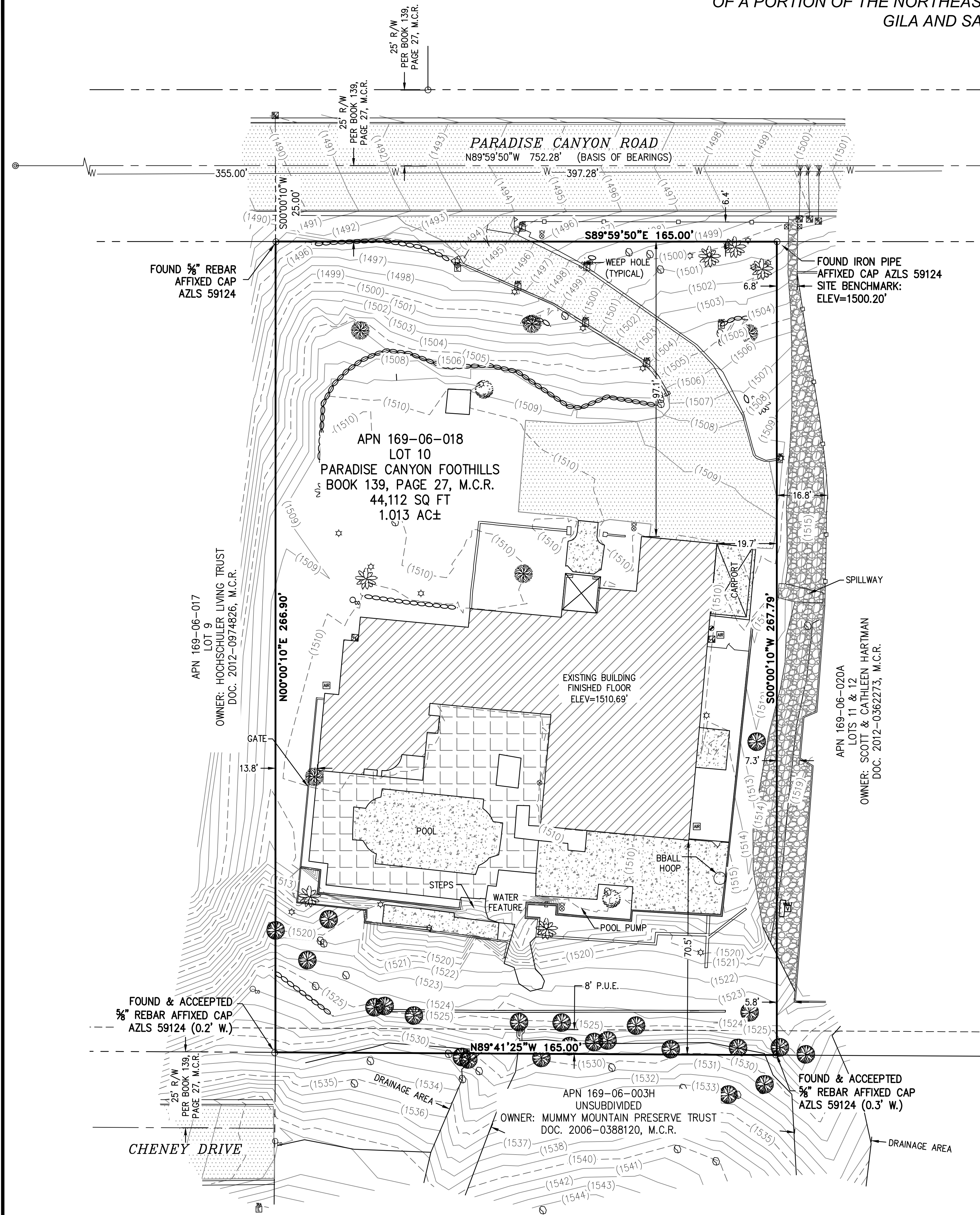
LAND
DEVELOPMENT
GROUP

REGISTERED PROFESSIONAL ENGINEER
PRELIMINARY
NOT FOR CONSTRUCTION
Arizona 811
N.T.S.

C-2
2 OF 2

"BOUNDARY AND TOPOGRAPHIC SURVEY"
OF A PORTION OF THE NORTHEAST QUARTER OF SECTION 5, TOWNSHIP 2 NORTH, RANGE 4 EAST, OF THE
GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA.

A.P.N. 169-06-018
OWNERS: TOBY AND JENNIFER THOMAS



LEGAL DESCRIPTION: (FROM DOC. # 2018-0899457 M.C.R.)

LOT TEN (10), PARADISE CANYON FOOTHILLS, ACCORDING TO PLAT RECORDED IN BOOK 139 OF MAPS,
PAGE 27, RECORDS OF MARICOPA COUNTY, ARIZONA.

RECORD DOCUMENTS USED:

WARRANTY DEED FILED IN DOCUMENT NO. 2018-0899457, M.C.R.
PLAT OF PARADISE CANYON FOOTHILLS FILED IN BOOK 139 OF MAPS, PAGE 27, M.C.R.

BENCHMARK:

THE BENCHMARK USED FOR THIS SURVEY WAS A 2" ALUMINUM CAP STAMPED "T2N R4E 1/4 S5 S8 2004
RLS 21782", IN POT HOLE BEING THE SOUTH QUARTER CORNER OF SECTION 5, TOWNSHIP 2 NORTH,
RANGE 4 EAST, OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, GDACS POINT ID
24522-2M PER BK. 734, PG. 10, M.C.R. HAVING AN ELEVATION OF 1,401.451' (NAVD88 DATUM).

SITE BENCHMARK BEING A FOUND IRON PIPE AT THE NORTHEAST CORNER OF THE SUBJECT PROPERTY,
HAVING AN ELEVATION OF 1500.20' (NAVD88 DATUM).

BASIS OF BEARINGS:

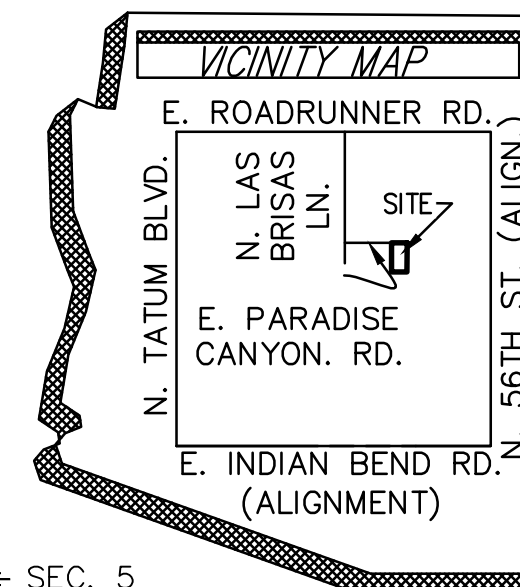
N 89° 59' 50" W, ALONG THE MONUMENTED CENTERLINE OF PARADISE CANYON ROAD EAST OF LAS
BRISAS, PER BOOK 139, PAGE 27, M.C.R., AS SHOWN HEREON.

NOTES:

- THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT AND THE PROPERTY IS
SUBJECT TO ALL MATTERS OF RECORD NOT SHOWN HEREON.
- PROPERTY ZONED: R-43 (CITY OF PARADISE VALLEY)

CERTIFICATION:

I, BRYAN O'CONNOR HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR IN THE STATE OF
ARIZONA; THAT THIS SURVEY CORRECTLY REPRESENTS A BOUNDARY AND TOPOGRAPHIC SURVEY
MADE BY MYSELF DURING THE MONTH OF DECEMBER, 2018; THAT THE TOPOGRAPHIC FEATURES
AND ELEMENTS OF THE PROPERTY SHOWN HEREON ARE TRUE AND CORRECT TO THE BEST OF MY
KNOWLEDGE AND BELIEF. THAT ALL MONUMENTS ACTUALLY EXIST AS SHOWN; THAT SAID
MONUMENTS ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.



Global Land Surveying LLC P.O. BOX 2132 PEORIA, ARIZONA 85380 623 330-6835	
Toby & Jennifer Thomas	DATE: 1/24/19
5301 E. Paradise Canyon	SCALE: AS SHOWN
Paradise Valley, AZ 85253	SHEET 1 OF 1
SEC. 5 T 2N R 4E	JOB# 1811047