



VIEW 5



VIEW 1



VIEW 6



VIEW 2



VIEW 7



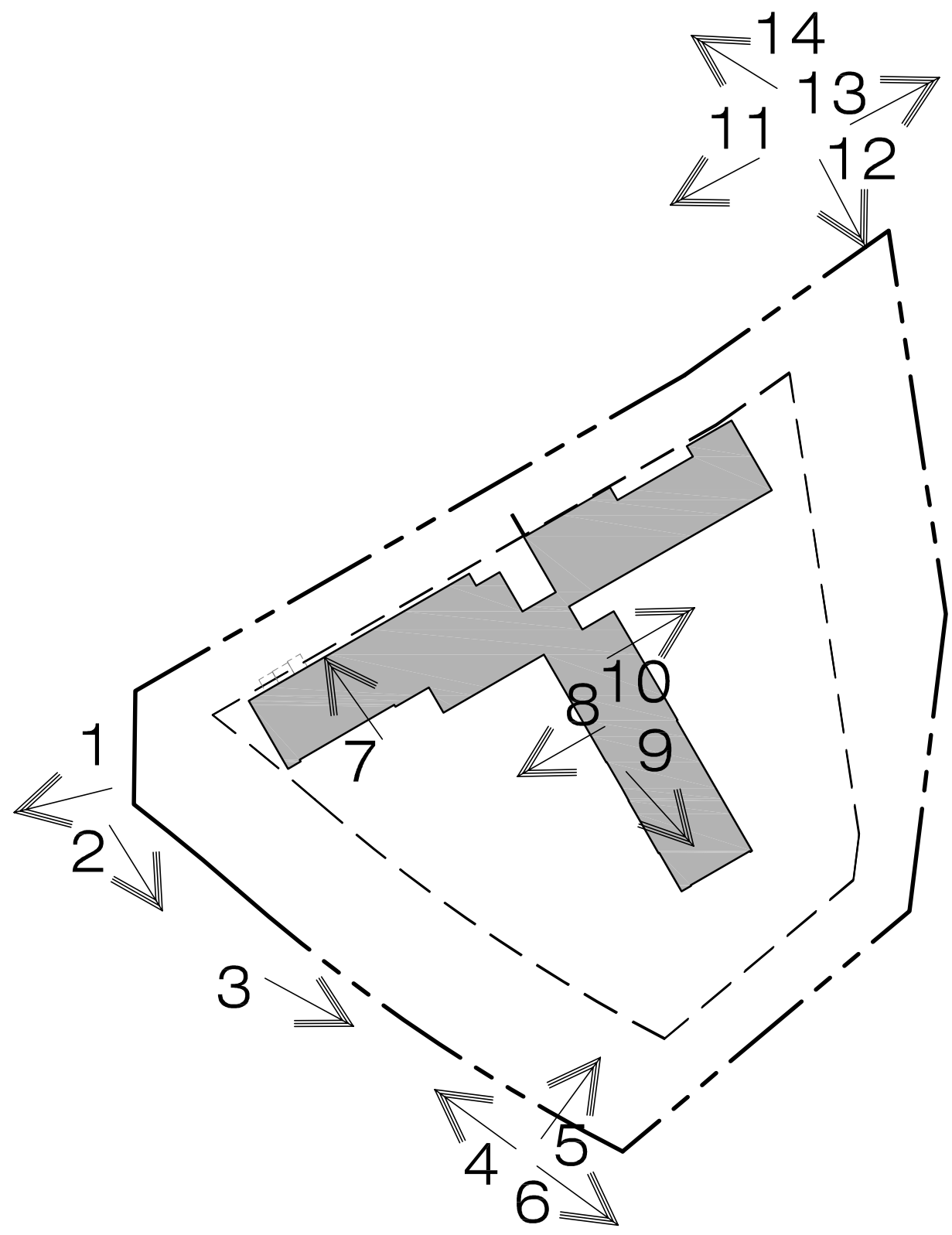
VIEW 3



VIEW 8

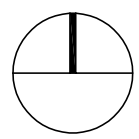


VIEW 4



1 | SITE KEY PLAN  
SCALE: 1"=50'

0' 25' 50' 100'



VIEW 13



VIEW 11



VIEW 9



VIEW 14



VIEW 12



VIEW 10

the construction zone  
1729 east osborn road  
phoenix, arizona 85016  
office 602.230.0383  
fax 602.230.0535

CONCEPTUAL HILLSIDE

vanderhoff residence

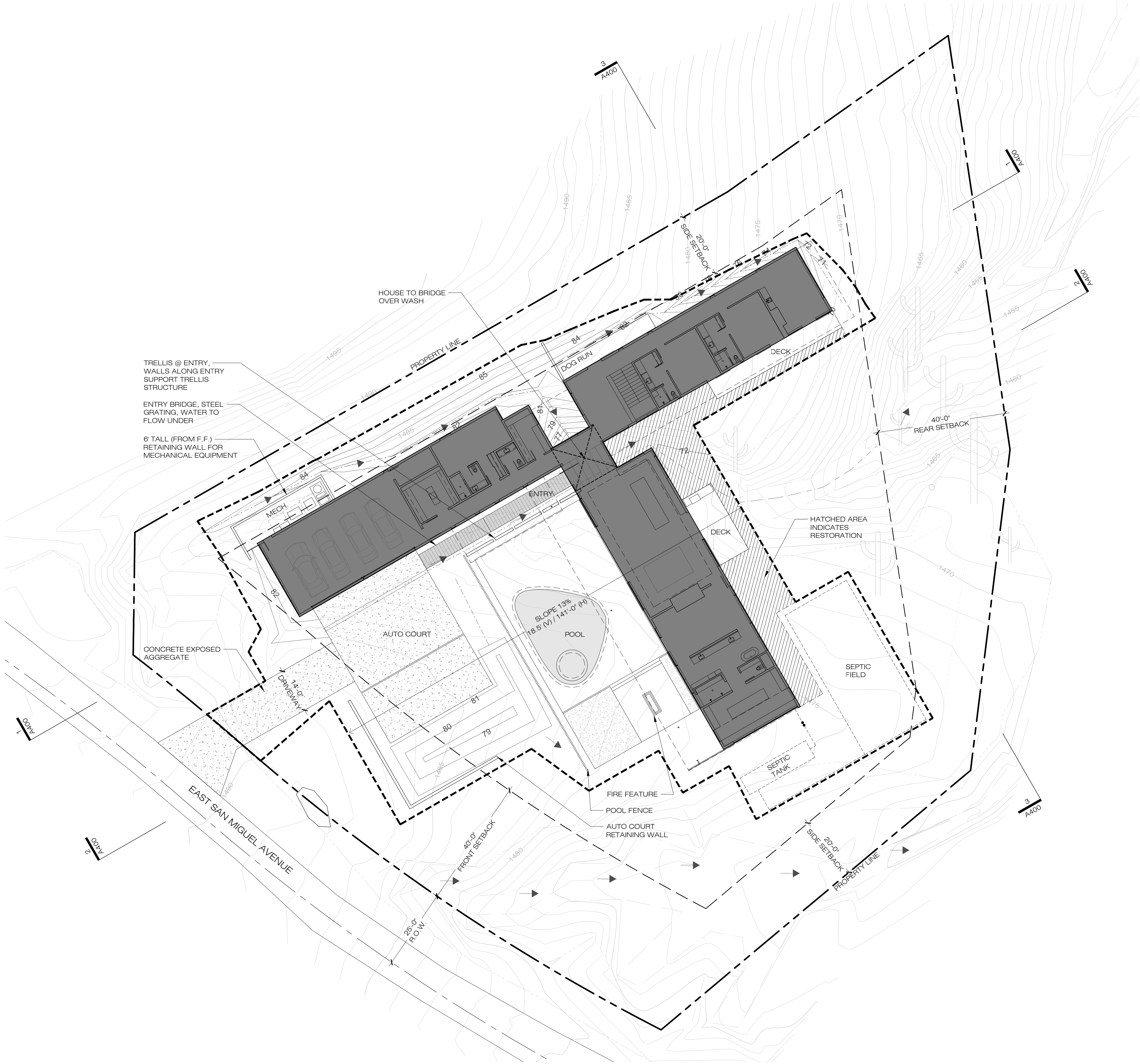
5340 e san miguel ave paradise valley, az 85253

SITE PHOTOS

G101

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SITE DATA

PROJECT DESCRIPTION	NEW TWO STORY SINGLE FAMILY RESIDENCE. THE SCOPE OF WORK SHALL ALSO INCLUDE FULL SITE WORK AND APPURTENANCES, INCLUDING A SPA AND LANDSCAPING.	
PROJECT ADDRESS	5340 EAST SAN MIGUEL AVENUE PARADISE VALLEY, ARIZONA 85253	
LEGAL DESCRIPTION	LOT 28, STONE CANYON AMENDED, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, IN BOOK 371 OF MAPS, PAGE 31.	
APN	172-47-085	
ZONING	R-43 (HILLSIDE)	
AREA OF LOT (NET)	49,929 SF (1.15 ACRES±)	
BUILDING SETBACKS	FRONT 40 FT REAR 40 FT SIDE 20 FT	

BUILDING AREA & FLOOR AREA RATIO

BUILDING / SITE AREA	CONDITIONED:	
	MAIN LEVEL	5,908 SF
	LOWER LEVEL	1,560 SF
	TOTAL GROSS LIVABLE	7,468 SF
	UNCONDITIONED:	
	GARAGE	1,234 SF
	PATIO:	
	POOL PATIO	2,440 SF
	TOTAL PATIOS	2,440 SF
	DECK:	
	LIVING DECK	250 SF
	BEDROOM DECK	270 SF
	TOTAL DECKS	520 SF
	ENTRY TRELLIS	395 SF (60% OPEN)
FLOOR AREA	GROSS LIVABLE	7,468 SF
	GARAGE	1,234 SF
	OVERHANGS	2,025 SF
	TRELLIS	198 SF
	TOTAL FLOOR AREA	10,925 SF (TOTAL FLOOR AREA)
FLOOR AREA RATIO	22 % (TOTAL FLOOR AREA / AREA OF LOT) (25% ALLOWED F.A.R.)	

FINISH FLOOR ELEVATIONS

LOWER LEVEL F.F. = 1471.5'  
UPPER LEVEL F.F. = 1483'

DISTURBANCE

AREA OF LOT (NET)	49,929 SF (1.15 ACRES±)	
BUILDING PAD SLOPE	13% (18.5' VERT. / 141'-0" HORIZ.)	
ALLOWABLE DISTURBED AREA	42.81% 21,374.6 SF	
DRIVEWAY & AUTO COURT REDUCTION	595 SF (2,378 x 25%)	
BUILDING FOOTPRINT	7,145 SF	
PROPOSED DISTURBED AREA	GROSS AREA	23,560 SF
	BUILDING FOOTPRINT	- 7,145 SF
	DRIVEWAY REDUCTION	- 595 SF
	RESTORATION	- 1,425 SF
	TOTAL NET DISTURBANCE	14,395 SF
	% OF LOT DISTURBANCE	28.83 %

\*NOTE: HATCHED AREAS THAT ARE MARKED FOR RESTORATION SHALL RESTORE NATURAL GRADE AND NATIVE VEGETATION.

GENERAL NOTE

THE SITE WITH IN THE PROPOSED DISTURBANCE WILL BE RE-VEGETATED AND RESTORED, TO MATCH THE SURROUND HILLSIDE, BACK TO THE HOUSE. NO CREDIT TO REDUCE THE DISTURBANCE CAN BE GIVEN SINCE THE NATURAL GRADE CAN NOT BE RESTORED.

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CONCEPTUAL HILLSIDE

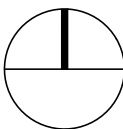
vanderhoff residence

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SITE PLAN

05.24.21

A100

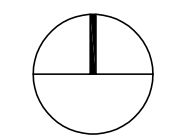






1 | AERIAL CONTEXT SITE PLAN  
SCALE: 1"=30'

0' 15' 30' 60'



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CONCEPTUAL HILLSIDE

vanderhoff residence

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05.24.21  
AERIAL CONTEXT PLAN

A101

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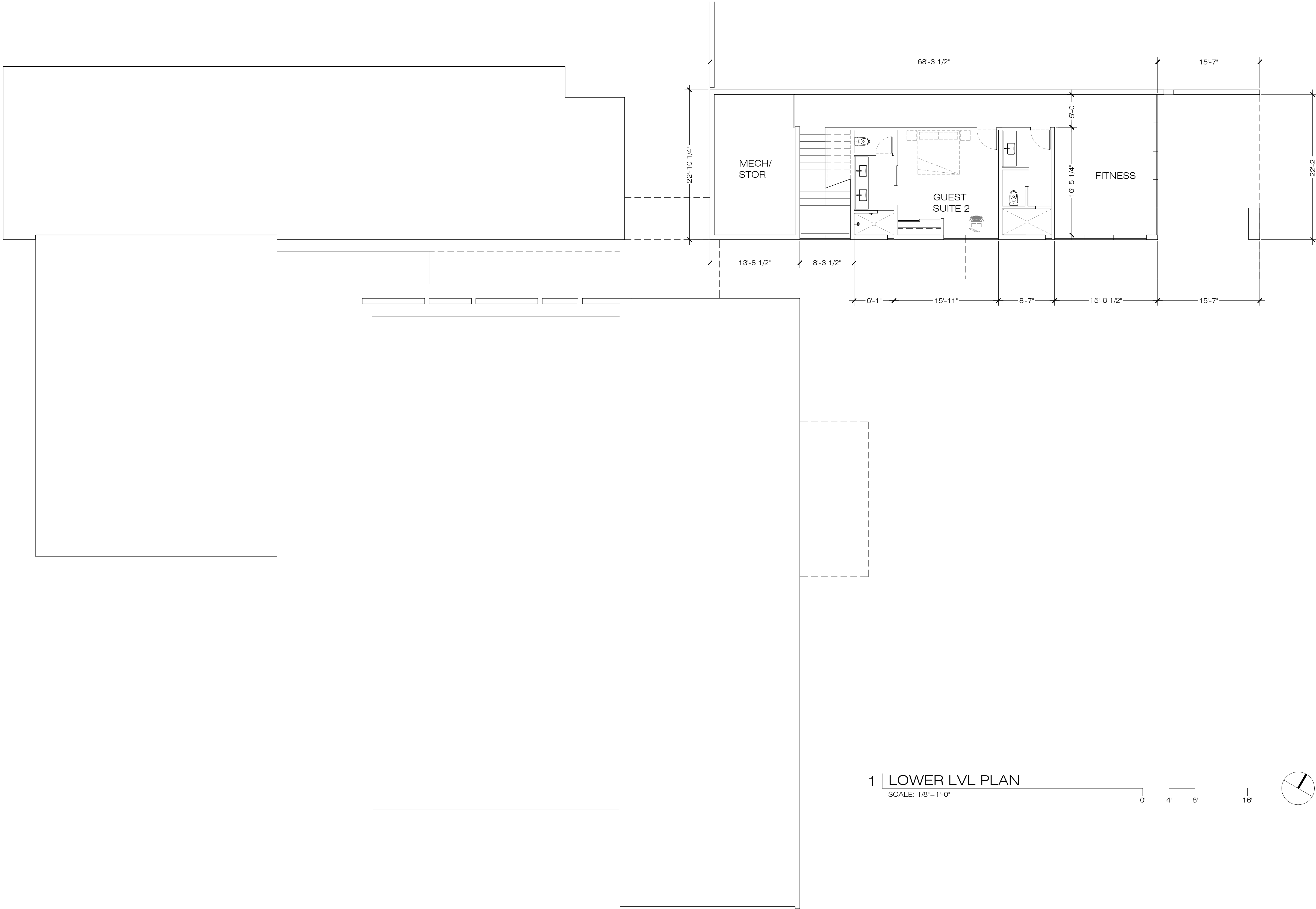
# CONCEPTUAL HILLSIDE

5340 e san miguel ave paradise valley, az 85253

05.24.2\*

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# A200



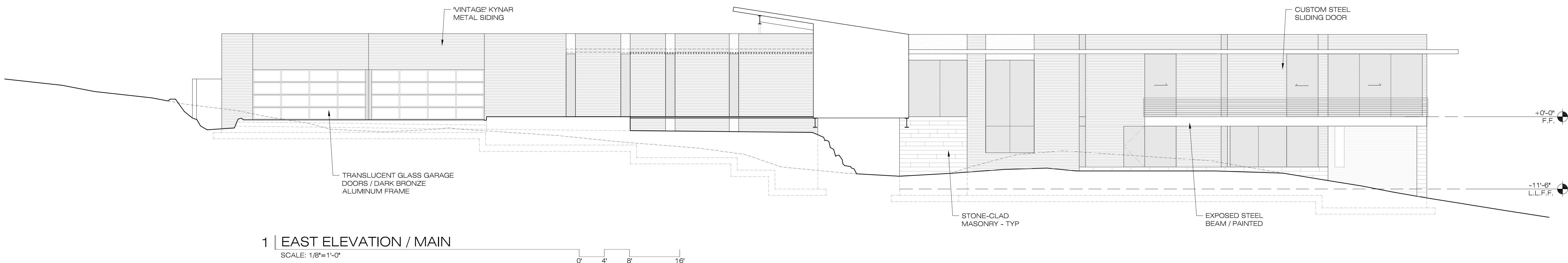
A201

**vanderhoff**residence  
5340 e san miguel ave paradise valley, az 85253  
05.24.21  
**LOWER LEVEL FLOOR PLAN**

**CONCEPTUAL HILLSIDE**

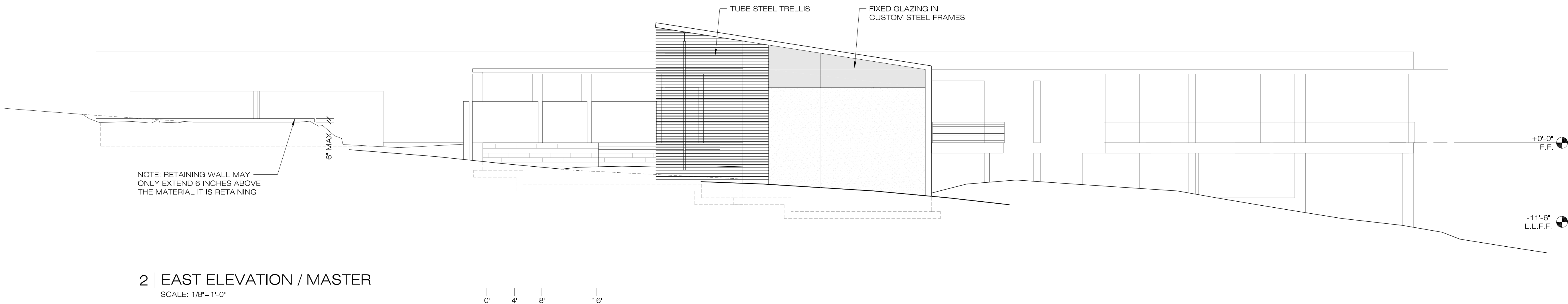
the construction zone  
1729 east osborn road  
phoenix, arizona 85016  
office 602.230.0383  
fax 602.230.0535

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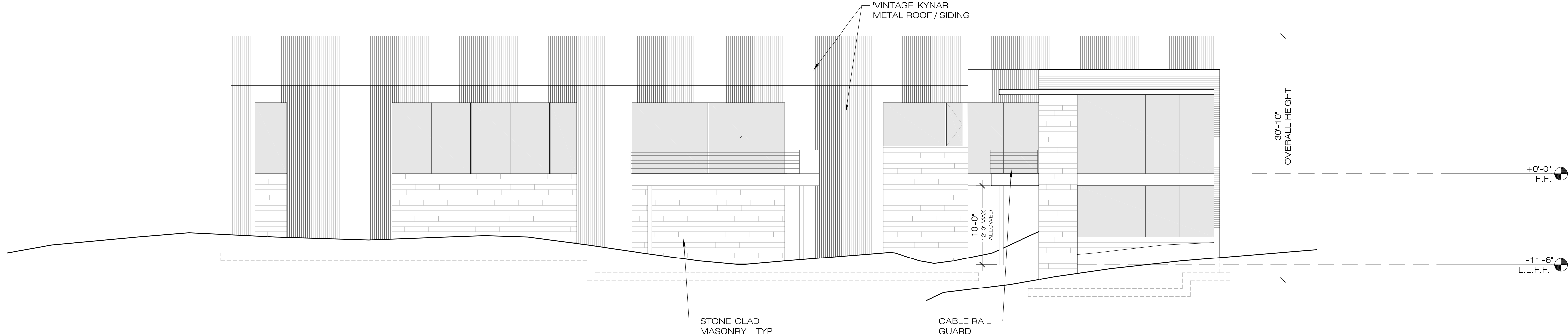
1 | EAST ELEVATION / MAIN

SCALE: 1/8"=1'-0"



2 | EAST ELEVATION / MASTER

SCALE: 1/8"=1'-0"



3 | NORTH ELEVATION

SCALE: 1/8"=1'-0"

the construction zone  
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CONCEPTUAL HILLSIDE

vanderhoff residence

5340 e san miguel ave paradise valley, az 85253

BUILDING ELEVATIONS

05.24.21

A300

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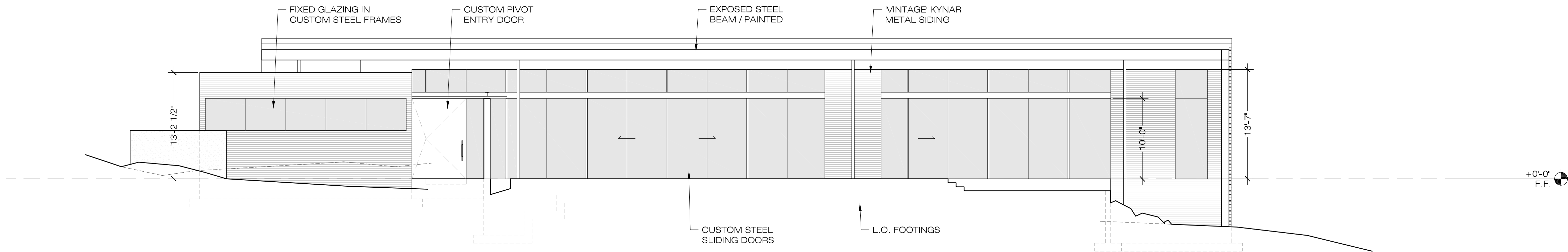
CONCEPTUAL HILLSIDE

vanderhoff residence

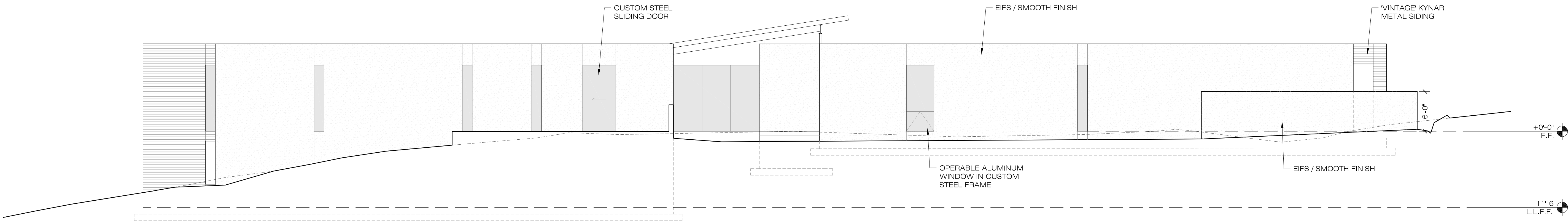
5340 e san miguel ave paradise valley, az 85253

BUILDING ELEVATIONS

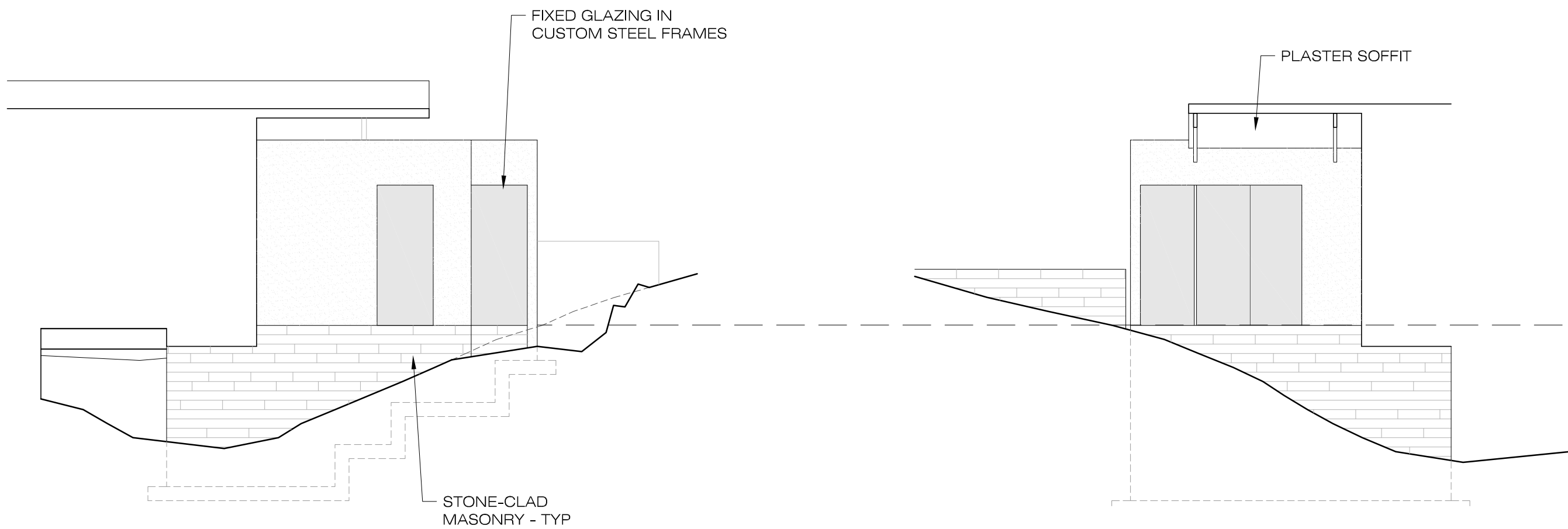
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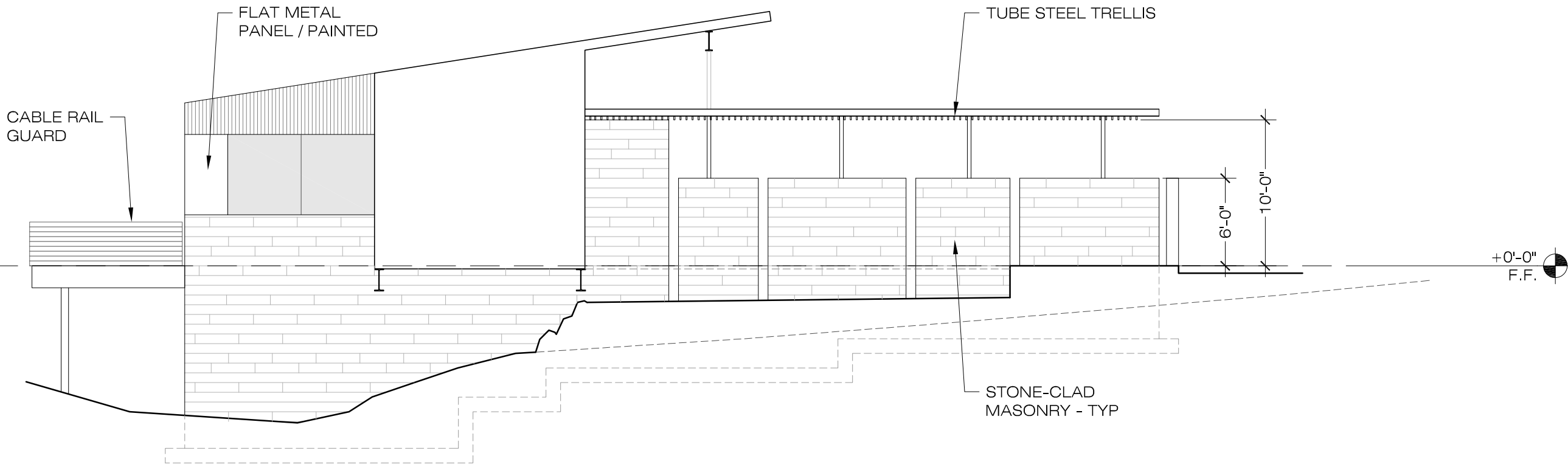
1 | SOUTH ELEVATION  
SCALE: 1/8"=1'-0"



2 | WEST ELEVATION  
SCALE: 1/8"=1'-0"

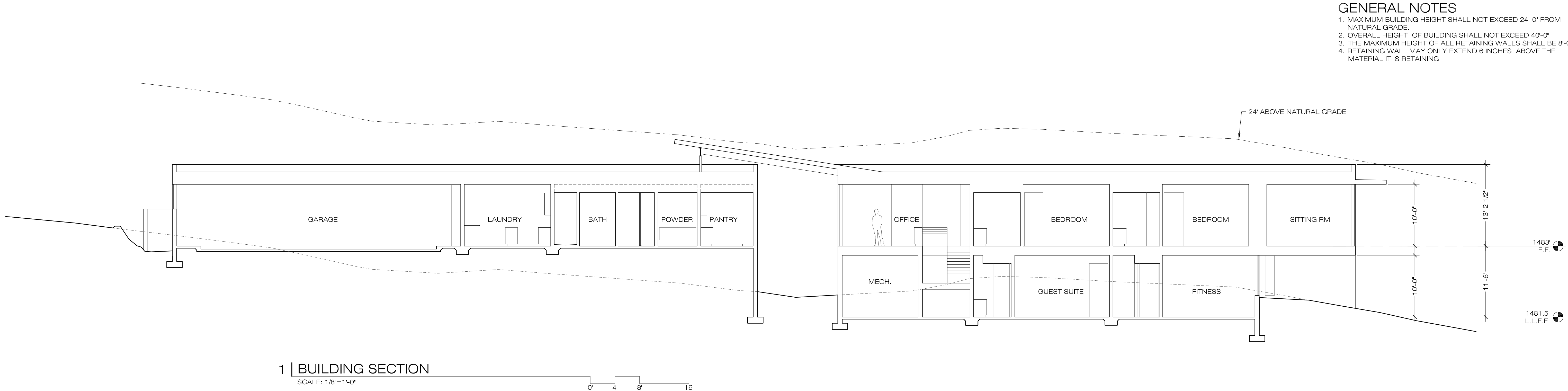


4 | OFFICE ELEVATION  
SCALE: 1/8"=1'-0"



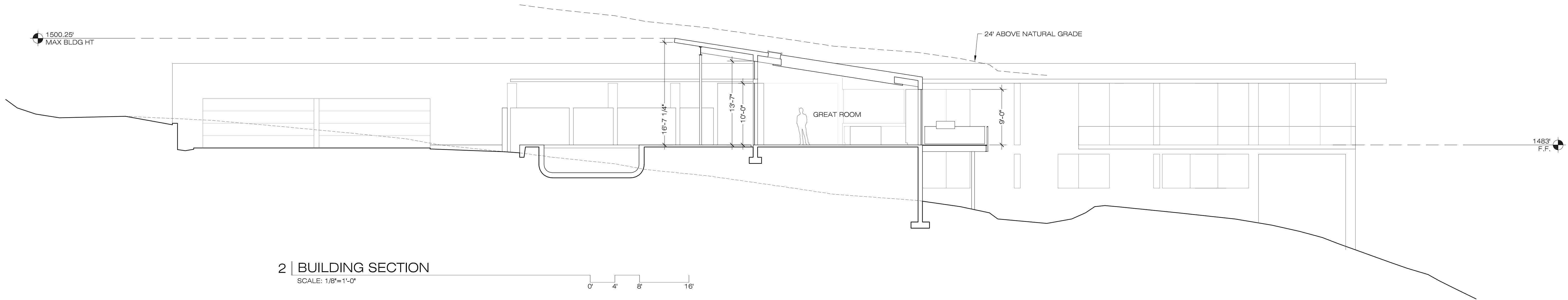
3 | ENTRY WALL ELEVATION  
SCALE: 1/8"=1'-0"

5 | PANTRY/GUEST ELEVATION  
SCALE: 1/8"=1'-0"



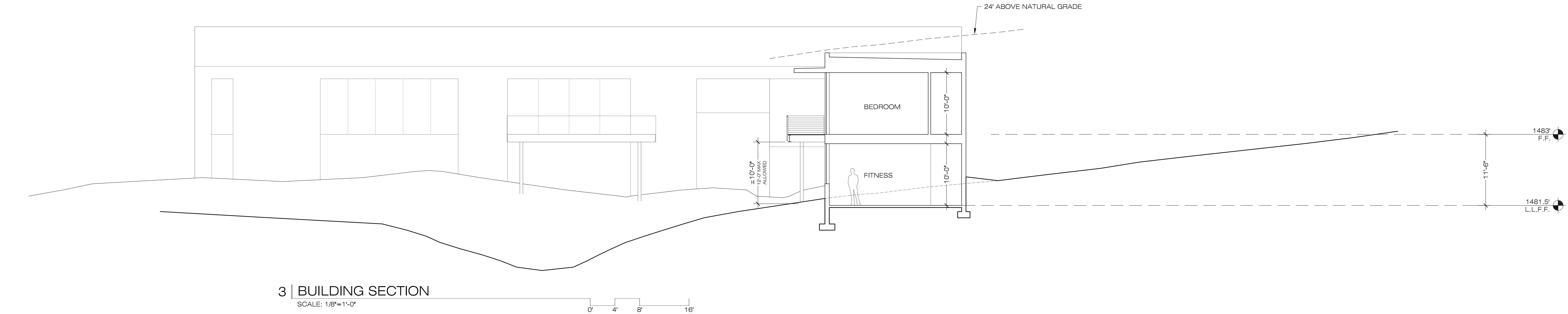
1 | BUILDING SECTION

SCALE: 1/8"=1'-0"



2 | BUILDING SECTION

SCALE: 1/8"=1'-0"



3 | BUILDING SECTION

SCALE: 1/8"=1'-0"

- GENERAL NOTES
1. MAXIMUM BUILDING HEIGHT SHALL NOT EXCEED 24'-0" FROM NATURAL GRADE.
  2. OVERALL HEIGHT OF BUILDING SHALL NOT EXCEED 40'-0".
  3. THE MAXIMUM HEIGHT OF ALL RETAINING WALLS SHALL BE 8'-0".
  4. RETAINING WALL MAY ONLY EXTEND 6 INCHES ABOVE THE MATERIAL IT IS RETAINING.

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CONCEPTUAL HILLSIDE

vanderhoff residence

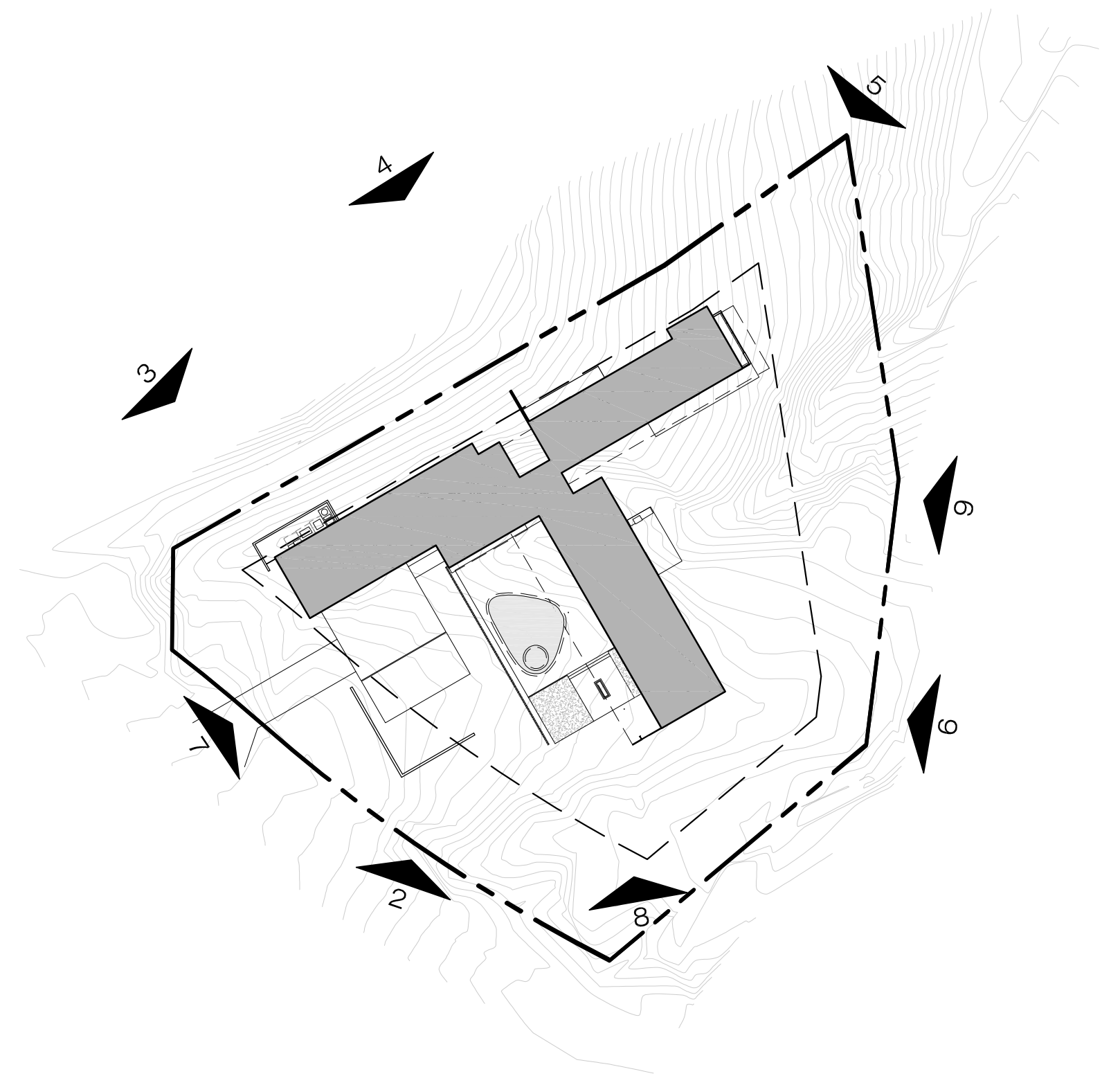
5340 e san miguel ave paradise valley, az 85253

BUILDING SECTIONS

A400

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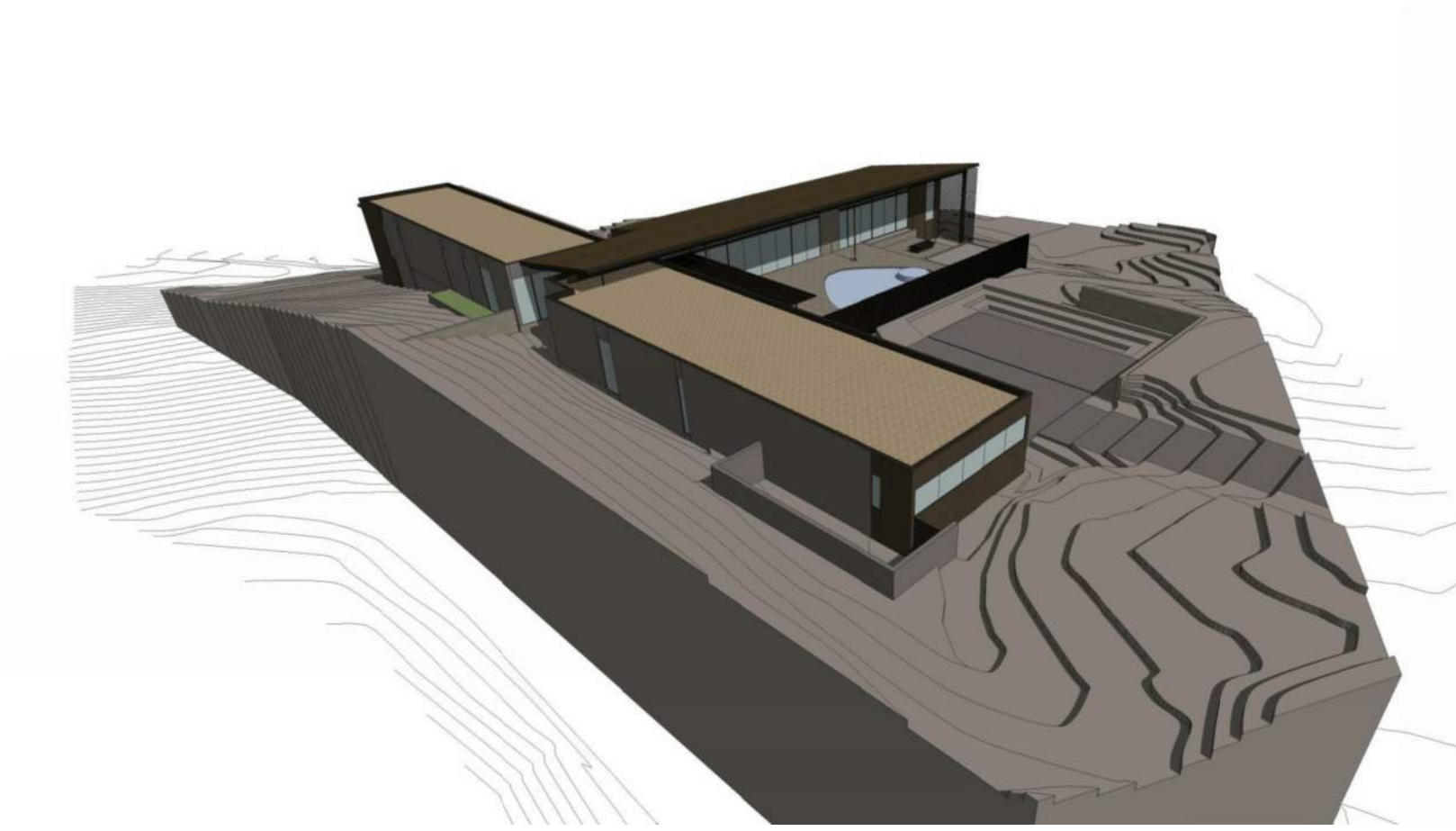




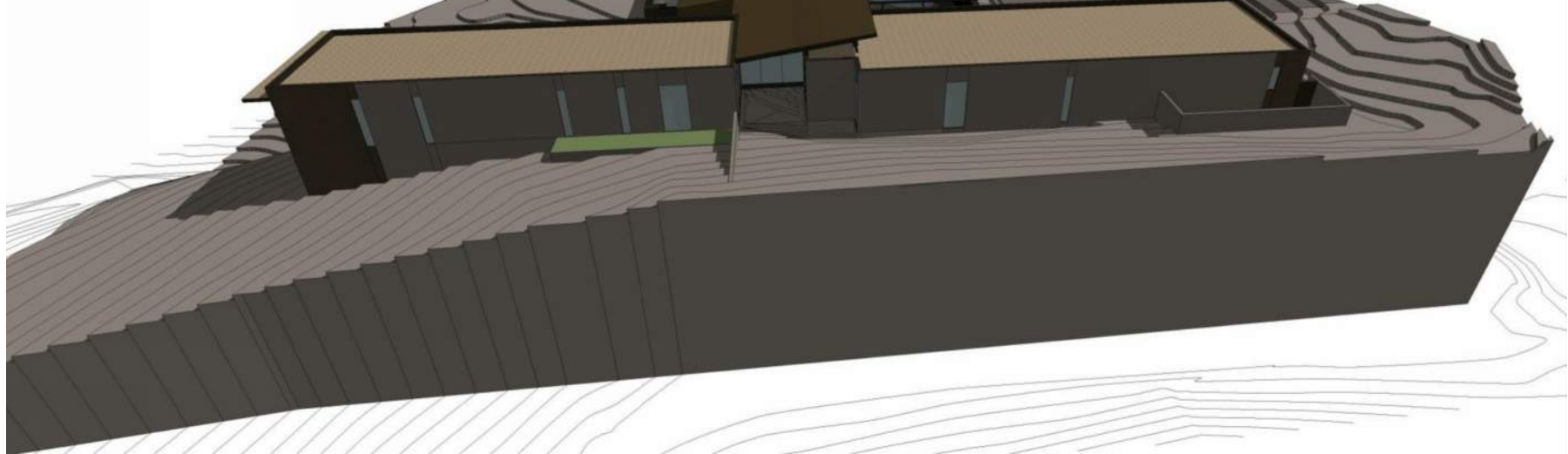
01| KEY PLAN  
SCALE: 1"=50'



02| AERIAL VIEW  
N.T.S.



03| AERIAL VIEW  
N.T.S.



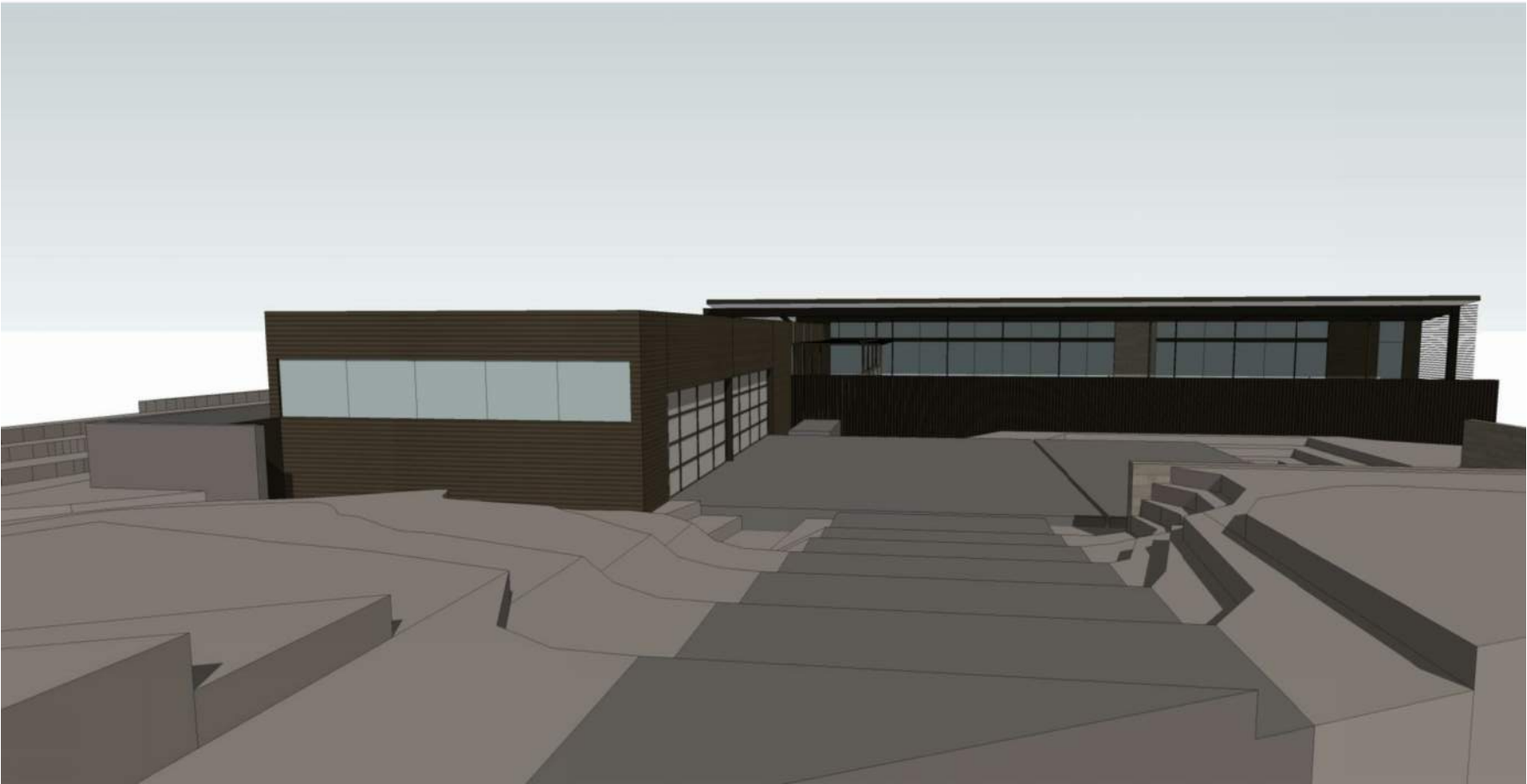
04| AERIAL VIEW  
N.T.S.



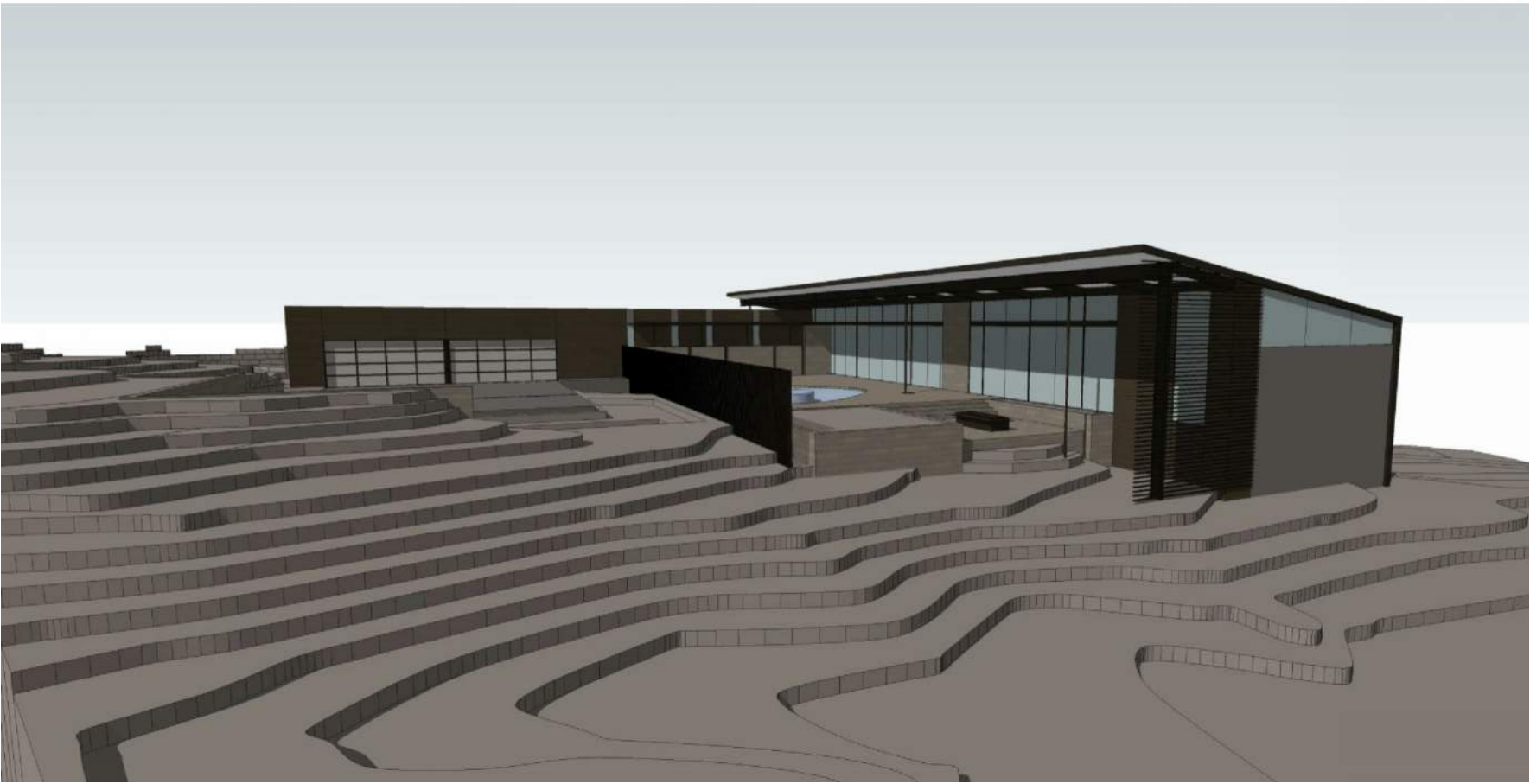
05| AERIAL VIEW  
N.T.S.



06| AERIAL VIEW  
N.T.S.



07| AERIAL VIEW  
N.T.S.



08| AERIAL VIEW  
N.T.S.



09| AERIAL VIEW  
N.T.S.

CONCEPTUAL HILLSIDE

vanderhoff residence

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3D MODEL PERSPECTIVES

the construction zone  
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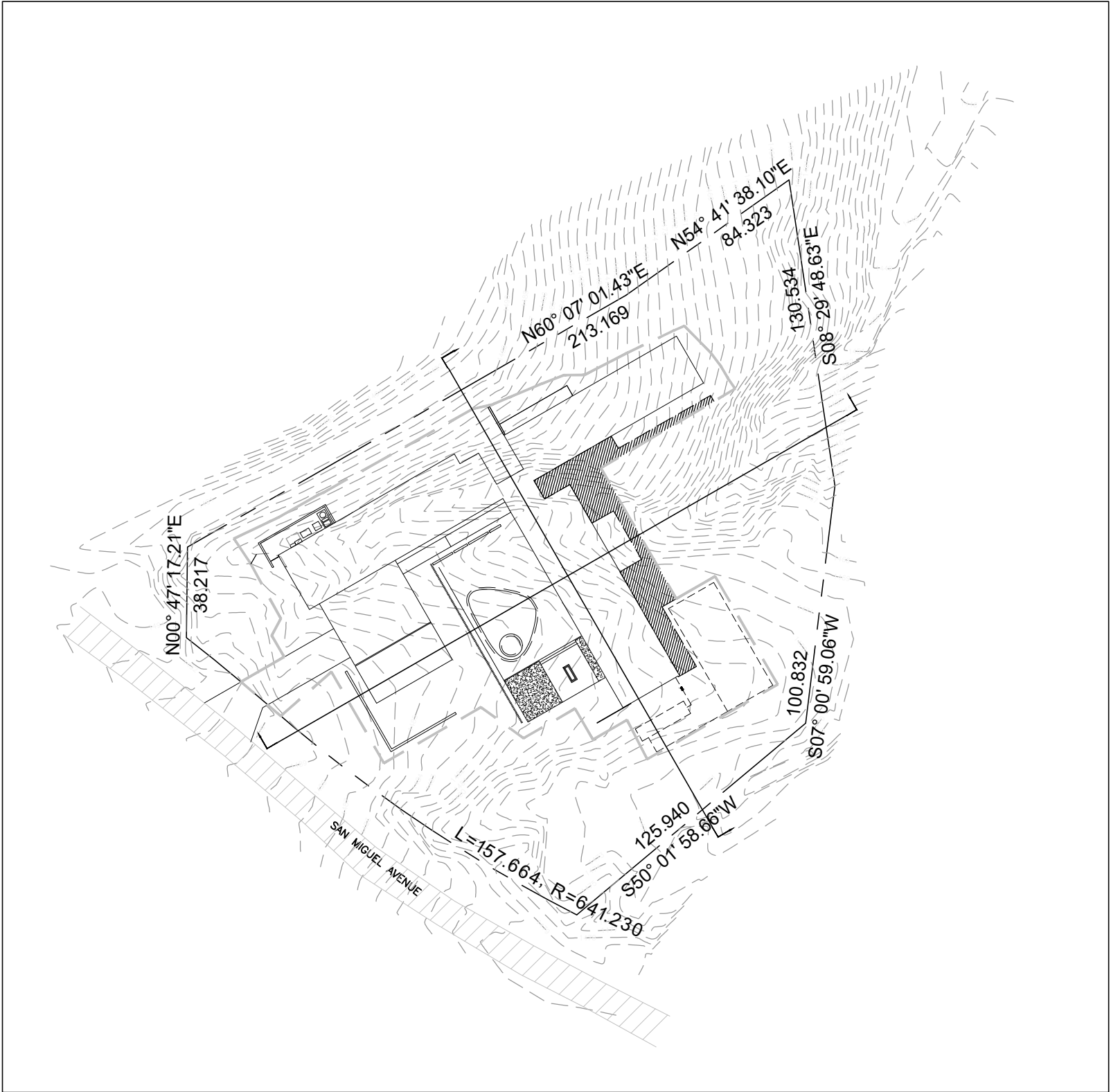


TOWN OF PARADISE VALLEY NOTES:

- PRIOR TO THE FIRST INSPECTION OF STRUCTURES WITHIN 3 FEET OF A SETBACK LINE, THE PROPERTY PINS SHALL BE PLACED BY A REGISTERED CIVIL ENGINEER OR LAND SURVEYOR OF THE STATE OF ARIZONA, AND THE PROPERTY LINE(S) IDENTIFIED.
- WHERE EXCAVATION IS TO OCCUR THE TOP 4" OF EXCAVATED NATIVE SOIL SHALL REMAIN ON THE SITE AND SHALL BE REUSED IN A MANNER THAT TAKES ADVANTAGE OF THE NATURAL SOIL SEED BANK IT CONTAINS.
- ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL MUNICIPALITY UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS.
- THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL STATE, AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO THE CONSTRUCTION COVERED BY THIS PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
- ALL EXTERIOR SITE LIGHTING SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS FOR TYPE, LOCATION, HEIGHT, WATTAGE, AND LUMEN BASED UPON THE FIXTURES INSTALLED PURSUANT TO SECTION 1023 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCE FOR NON-HILLSIDE PROPERTIES, SECTION 2208 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCE FOR HILLSIDE PROPERTIES, OR AS SPECIFIED IN THE SPECIAL USE PERMIT FOR SPECIAL USE PERMIT PROPERTIES.
- A DUST CONTROL PLAN AND PERMIT MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
- A SEPARATE RIGHT-OF-WAY PERMIT IS NECESSARY FOR ANY OFF-SITE CONSTRUCTION.
- AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
- EAVE PROJECTIONS INTO REQUIRED SETBACKS ARE LIMITED TO A MAXIMUM OF 24" PURSUANT TO SECTION 1008 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES.
- ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
- ALL NEW AND EXISTING ELECTRICAL SERVICE LINES SHALL BE BURIED PER THE TOWN OF PARADISE VALLEY REQUIREMENTS.
- IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE TO ARRANGE FOR THE RELOCATION AND RELOCATION COSTS OF ALL UTILITIES, AND TO SUBMIT A UTILITY RELOCATION SCHEDULE PRIOR TO THE ISSUANCE OF AN ENGINEERING CONSTRUCTION PERMIT.
- EXISTING AND/OR NEW UTILITY CABINETS AND PEDESTALS SHALL BE LOCATED A MINIMUM OF 4' BEHIND ULTIMATE BACK OF CURB LOCATION.
- POOL, SPA, BARBECUE AND ANY PROPOSED STRUCTURES OVER 8" ABOVE GRADE REQUIRE SEPARATE PERMIT APPLICATIONS.
- POOLS SHALL BE CONSTRUCTED BY SEPARATE PERMIT AND SECURED FROM UNWANTED ACCESS PER TOWN CODE, ARTICLE 5-2.
- ALL FILL MATERIAL UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95%.
- SETBACK CERTIFICATION IS REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO STEM WALL INSPECTION.19. FOR BUILDING PADS THAT HAVE 1' OR MORE OF FILL MATERIAL, SOILS COMPACTION TEST RESULTS ARE REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO PRE-SLAB INSPECTION.
- FINISHED FLOOR ELEVATION CERTIFICATION IS REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO STRAP AND SHEAR INSPECTION.
- MAIL BOXES SHALL COMPLY WITH THE TOWN OF PARADISE VALLEY STANDARDS FOR MAIL BOXES IN THE RIGHT OF-WAY FOR HEIGHT, WIDTH AND BREAK AWAY FEATURES.
- ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE.
- TRENCH BEDDING AND SHADING SHALL BE FREE OF ROCKS AND DEBRIS.
- THE TOWN ONLY APPROVES THE SCOPE OF WORK AND NOT THE ENGINEERING DESIGN. ANY CONSTRUCTION QUANTITIES SHOWN ARE NOT VERIFIED BY THE TOWN.
- THE APPROVAL OF THE PLANS IS VALID FOR 180 DAYS. IF A PERMIT FOR CONSTRUCTION HAS NOT BEEN ISSUED WITHIN 180 DAYS, THE PERMIT MUST BE RENEWED.
- A TOWN INSPECTOR WILL INSPECT ALL WORK WITHIN THE TOWN'S RIGHTS-OF-WAY. NOTIFY TOWN INSPECTION SERVICES TO SCHEDULE A PRECONSTRUCTION MEETING PRIOR TO STARTING CONSTRUCTION.
- WHENEVER EXCAVATION IS NECESSARY, CALL ARIZONA811 BY DIALING 811 or 602-263-1100, TWO (2) WORKING DAYS BEFORE EXCAVATION BEGINS.
- EXCAVATIONS SHALL COMPLY WITH REQUIREMENTS OF OSHA EXCAVATION STANDARDS (29 CFR, PART 1926, SUBPART P). UNDER NO CIRCUMSTANCES WILL THE CONTRACTORS BE ALLOWED TO WORK IN A TRENCH LOCATED WITHIN THE TOWN'S RIGHT-OF-WAY WITHOUT PROPER SHORING OR EXCAVATION METHODS.
- PERMIT HOLDER SHALL POST A 6 SQUARE FOOT (2'X3') IDENTIFICATION SIGN, MADE OF DURABLE MATERIAL, IN THE FRONT YARD OF SUBJECT PROPERTY AND NOT IN THE TOWN'S RIGHT-OF-WAY. THE SIGN MAY NOT EXCEED A MAXIMUM OF 6 FEET IN HEIGHT FROM GRADE TO TOP OF THE SIGN. THE SIGN MUST INCLUDE THE PERMITTEE OR COMPANY NAME, PHONE NUMBER. TYPE OF WORK, ADDRESS OF PROJECT AND TOWN CONTACT NUMBER, 480-348-3556.
- WHEN DEEMED NECESSARY, A 6-FOOT HIGH CHAIN LINK FENCE MUST BE INSTALLED AROUND THE CONSTRUCTION AREA TO PREVENT ANY POTENTIAL SAFETY HAZARD FOR THE PUBLIC. THE FENCE SHALL BE SETBACK AT LEAST 10 FEET FROM ALL RIGHTS-OF-WAY AND HAVE A 50-FOOT STREET CORNER SITE TRIANGLE WHERE APPLICABLE.
- CLEAR ACCESS FOR NEIGHBORING PROPERTIES AND EMERGENCY VEHICLES MUST BE MAINTAINED AT ALL TIMES. CONSTRUCTION RELATED VEHICLES MUST BE LEGALLY PARKED ONLY ON ONE SIDE OF THE STREET OR JOB SITE PROPERTY.
- ALL CONSTRUCTION DEBRIS AND EQUIPMENT MUST BE CONTAINED ON SITE AT ALL TIMES. CONTRACTOR AND PROPERTY OWNER MUST MAINTAIN THE JOB SITE FREE OF LITTER AND UNSIGHTLY MATERIALS AT ALL TIMES.
- CONSTRUCTION MATERIALS ARE PROHIBITED IN THE TOWN'S RIGHT-OF-WAY.
- CONSTRUCTION ACTIVITIES ARE PERMITTED BETWEEN THE HOURS OF 7 AM AND 5 PM MONDAY THROUGH FRIDAY. CONSTRUCTION ACTIVITIES MAY START ONE (1) HOUR EARLIER DURING THE SUMMER (MAY 1ST THROUGH SEPTEMBER 30TH).
- THE USE AND OPERATION OF FUEL-FIRED GENERATORS IS PROHIBITED UNLESS DUE TO A HARDSHIP. TOWN APPROVAL SHALL BE REQUIRED.
- THE CONTRACTOR AND PROPERTY OWNER SHALL BE LIABLE FOR ANY DAMAGE DONE TO ANY PUBLIC PROPERTY AS A RESULT OF ANY CONSTRUCTION OR CONSTRUCTION RELATED ACTIVITIES. NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL AFFECTED RIGHTS-OF-WAY ARE CLEANED AND/OR REPAIRED TO THEIR ORIGINAL CONDITION AND UNTIL ANY AND ALL DAMAGES TO AFFECTED PROPERTIES ARE RESTORED TO ORIGINAL CONDITION.
- A KEYED SWITCH SHALL BE REQUIRED ON ALL NEW AND EXISTING ELECTRIC ENTRY GATES. THE KEYED SWITCH SHALL BE INSTALLED IN A LOCATION THAT IS READILY VISIBLE AND ACCESSIBLE. KNOX BOX ORDER FORMS ARE AVAILABLE AT THE TOWN'S BUILDING SAFETY DEPARTMENT.
- PROPERTY OWNER, BUILDER, OR GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR CONTROLLING DUST FROM THE SITE AT ALL TIMES. ALL MEANS NECESSARY SHALL BE USED BY THE BUILDER OR GENERAL CONTRACTOR TO CONTROL THE EXISTENCE OF DUST CAUSED BY ANY EARTHWORK, SPRAY APPLICATION OF MATERIALS, OR OTHER DUST-CAUSING PRACTICES REQUIRED BY THE CONSTRUCTION PROCESS.
- APPROVAL OF THESE PLANS ARE FOR PERMIT PURPOSES ONLY AND SHALL NOT PREVENT THE TOWN FROM REQUIRING CORRECTION OF ERRORS IN THE PLANS WHERE SUCH ERRORS ARE SUBSEQUENTLY FOUND TO BE IN VIOLATION OF ANY LAW, ORDINANCE, HEALTH, SAFETY, OR OTHER DESIGN ISSUES.
- ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTION DITCHES, PIPES PROTECTIVE BERMS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT PROPOSED AND EXISTING IMPROVEMENTS FROM RUNOFF OR DAMAGE FROM STORM WATER, MUST BE CONSTRUCTED PRIOR TO THE CONSTRUCTION OF ANY IMPROVEMENTS

GRADING AND DRAINAGE PLAN  
FOR  
5340 E. SAN MIGUEL AVENUE, PARADISE VALLEY, AZ 85253

ASSESSOR PARCEL NO. 172-47-085  
LOT 28, STONE CANYON AMENDED, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, IN BOOK 371 OF MAPS, PAGE 31, M.C.R.



KEY MAP:

NOT TO SCALE

SHEET INDEX

C1	COVER SHEET
C2	GRADING AND DRAINAGE PLAN
C3	SECTIONS

SITE DATA:

ASSESSOR'S PARCEL NO. (APN): 172-47-085  
LEGAL DESCRIPTION: LOT 28, STONE CANYON AMENDED, BK 371, PG 31, MCR.

ZONING: R-43

LOT AREA: 49,929 SF = 1.15 ACRES

EARTHWORK:

CUT = 245 CY  
FILL = 874 CY  
NET FILL = 629 CY

LEGEND

20:1

FG 85.25

x 2178.45

DRAINAGE FLOW ARROW

PROPOSED GRADE

EXISTING GRADE

-----2180----- EXISTING CONTOUR  
-----2185----- PROPOSED CONTOUR  
- - - - - PROPERTY LINE  
===== PROPOSED WATER SERVICE  
===== PROPOSED WALL/FENCE

FINISH FLOOR ELEVATIONS

LOWER LEVEL F.F. = 1471.5'  
UPPER LEVEL F.F. = 1483'

DISTURBANCE

AREA OF LOT (NET) 49,929 SF (1.15 ACRES±)

BUILDING PAD SLOPE 13% (18.5' VERT. / 141'-0" HORIZ.)

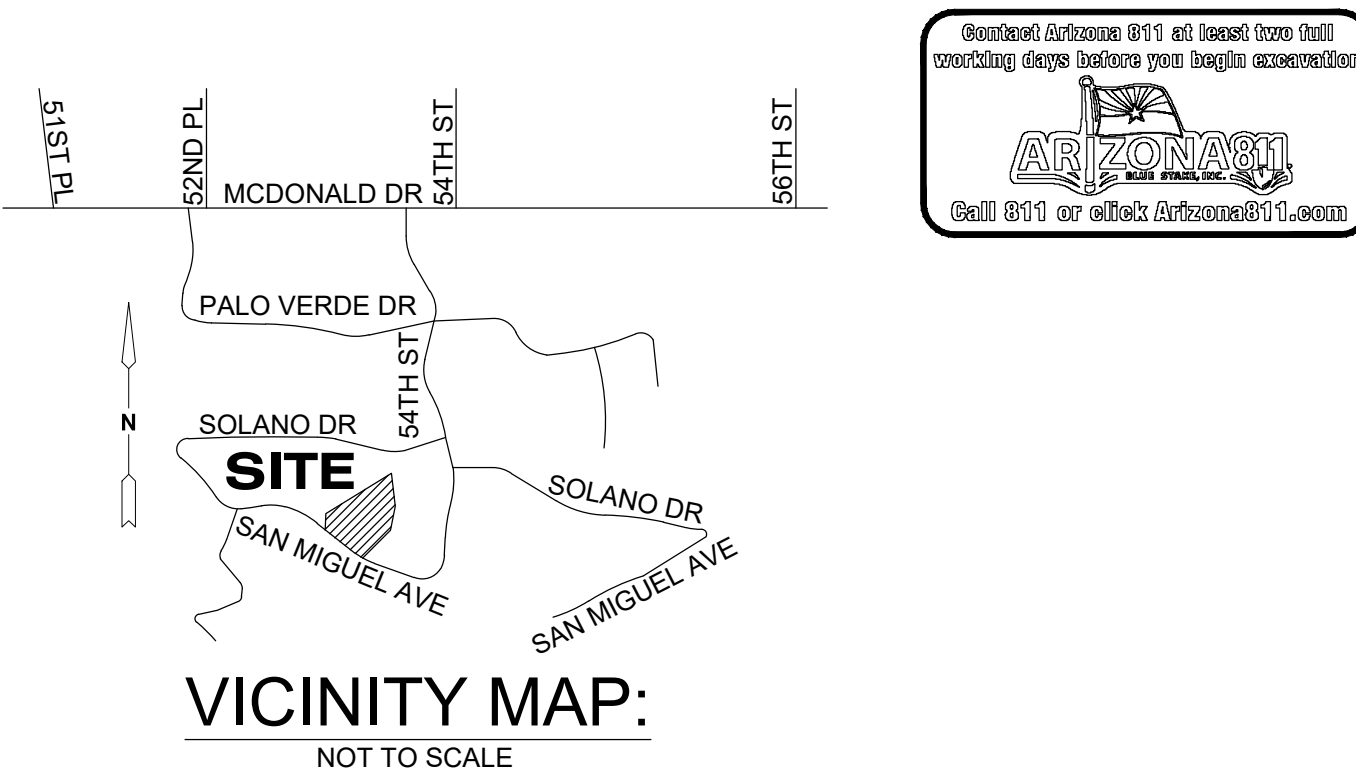
ALLOWABLE DISTURBED AREA 42.81%  
21,374.6 SF

DRIVEWAY & AUTO COURT REDUCTION 595 SF (2,378 x 25%)

BUILDING FOOTPRINT 7,145 SF

PROPOSED DISTURBED AREA  
GROSS AREA 23,560 SF  
BUILDING FOOTPRINT - 7,145 SF  
DRIVEWAY REDUCTION - 595 SF  
RESTORATION - 1,475 SF

TOTAL NET DISTURBANCE 14,395 SF  
% OF LOT DISTURBANCE 28.83 %



VICINITY MAP:

NOT TO SCALE

PROJECT CONTACTS:

OWNER:

RICHARD JAMES & SUZANNE M  
VANDERHOFF REVOCABLE LIVING TRUST  
5340 E. SAN MIGUEL AVENUE  
PARADISE VALLEY, AZ 85253  
TEL: 602.315.6694  
CONTACT: RICHARD JAMES VANDERHOFF

ENGINEER:

LARSON ENGINEERING, INC.  
6380 E. THOMAS ROAD, STE 300  
SCOTTSDALE, AZ 85251  
TEL: 480.212.4200  
EMAIL: MHRHA@LARSONENGR.COM  
CONTACT: MICHAEL HREHA, P.E.

ARCHITECT:

THE CONSTRUCTION ZONE  
1729 E. OSBORN ROAD  
PHOENIX, AZ 85016  
TEL: 602.230.0383  
CONTACT: ERIC VOLLMER

LEGAL DESCRIPTION:

LOT 28, STONE CANYON AMENDED, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, IN BOOK 371 OF MAPS, PAGE 31.  
EXCEPT ALL COAL AND OTHER MINERALS AS RESERVED UNTO THE UNITED STATES OF AMERICA AS SET FORTH IN PATENT TO SAID LAND.

BENCHMARK:

PID: AJ3699  
LAT: 33°31'25.68221"(N)  
LONG: 111°58'09.87142"(W)  
FD 1/2" IP 0.7" DN W/O ID, SET ABOVE IN CONC A 2" MARICOPA COUNTY AL CAP FL STAMPED "T2N R4E 1/4 S17 2004 RLS 21782" ELEVATION: 1404.395 (NAVD '88 DATUM)

I HEREBY CERTIFY THAT ALL ELEVATIONS REPRESENTED ON THIS PLAN ARE BASED ON NAVD1988 AND MEET THE FEMA BENCHMARK MAINTENANCE (BMM) CRITERIA.

MICHAEL HREHA, P.E. 01-30-2021  
NAME & TITLE SIGNATURE DATE

SITE BENCHMARK:

FOUND CITY OF SCOTTSDALE BRASS CAP FLUSH (NORTH ONE OF TWO) AT RADIUS POINT OF BAJADA ROAD CUL-DE-SAC, IN FRONT OF LOT 42.  
ELEV= 2470.53 (NAVD '88)

AS-BUILT CERTIFICATION:

I HEREBY CERTIFY THAT THE THE RECORD DRAWING MEASUREMENTS WERE MADE UNDER MY SUPERVISION OR AS NOTED AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

REGISTERED LAND SURVEYOR	DATE
REGISTRATION NUMBER	DATE
FIRM NAME	

FEMA INFORMATION:

COMMUNITY NUMBER	PANEL # PANEL DATE	SUFFIX	DATE OF FIRM (INDEX DATE)	FIRM ZONE	DEPTH (FT)
045013	C1765L 10/16/2013	L	10/16/2013	X	N/A

THE LOWEST FLOOR ELEVATION(S) AND/OR FLOOD PROOFING ELEVATION(S) ON THIS PLAN ARE SUFFICIENTLY HIGH TO PROVIDE PROTECTION FROM FLOODING CAUSED BY A 100-YEAR STORM, AND ARE IN ACCORDANCE WITH SCOTTSDALE REVISED CODE, CHAPTER 37 - FLOODPLAIN AND STORMWATER REGULATION

RETENTION CALCULATIONS:

PRE VS. POST RETENTION

PRE-DEVELOPMENT

SITE AREA: 49,929 SF  
RAINFALL (P): 2.2 INCHES  
C = 0.60 (DESERT CONDITIONS)  
Vr = 5,492 CF

POST DEVELOPMENT

SITE AREA:  
ROOFTOPS/PAVEMENT: 17,667 SF (C= 0.95)  
DESERT LANDSCAPE: 32,262 SF (C=0.60)

WEIGHTED C = 0.72  
RAINFALL (P): 2.2 INCHES  
Vr = 6,591 CF

PRE VS POST

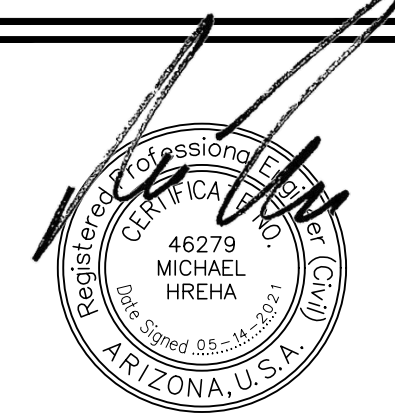
Vr = 6,591 -5492 = 1,099 CF



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Client:

Project Title:



Rev.	Date	Description

Project #: 62210037  
Drawn By: DAM  
Checked By: MH  
Issue Date: 05.14.2021

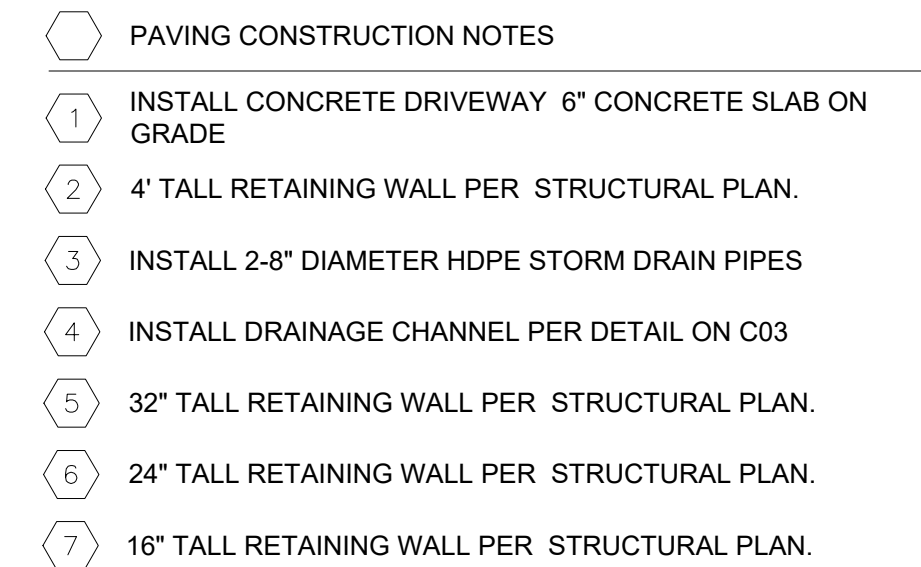
Sheet Title:

COVER SHEET

C01

Sheet: of





RETAINING WALL TABLE		
ID NUMBER	MAX HEIGHT FT	LENGTH FT
1	4	44
2	2.67	32
3	2.67	13
4	2	15
5	1.33	6

**Client:**

Project Title: **GRADING AND DRAINAGE PLAN**  
FOR  
**5340 E. SAN MIGUEL AVENUE, PARADISE VALLEY, AZ 85253**  
ASSESSOR PARCEL NO. 172-47-085  
LOT 28, STONE CANYON MEADOW, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER  
OF MARICOPA COUNTY, ARIZONA, IN BOOK 371 OF MAPS, PAGE 51, M.C.R.

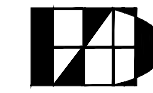
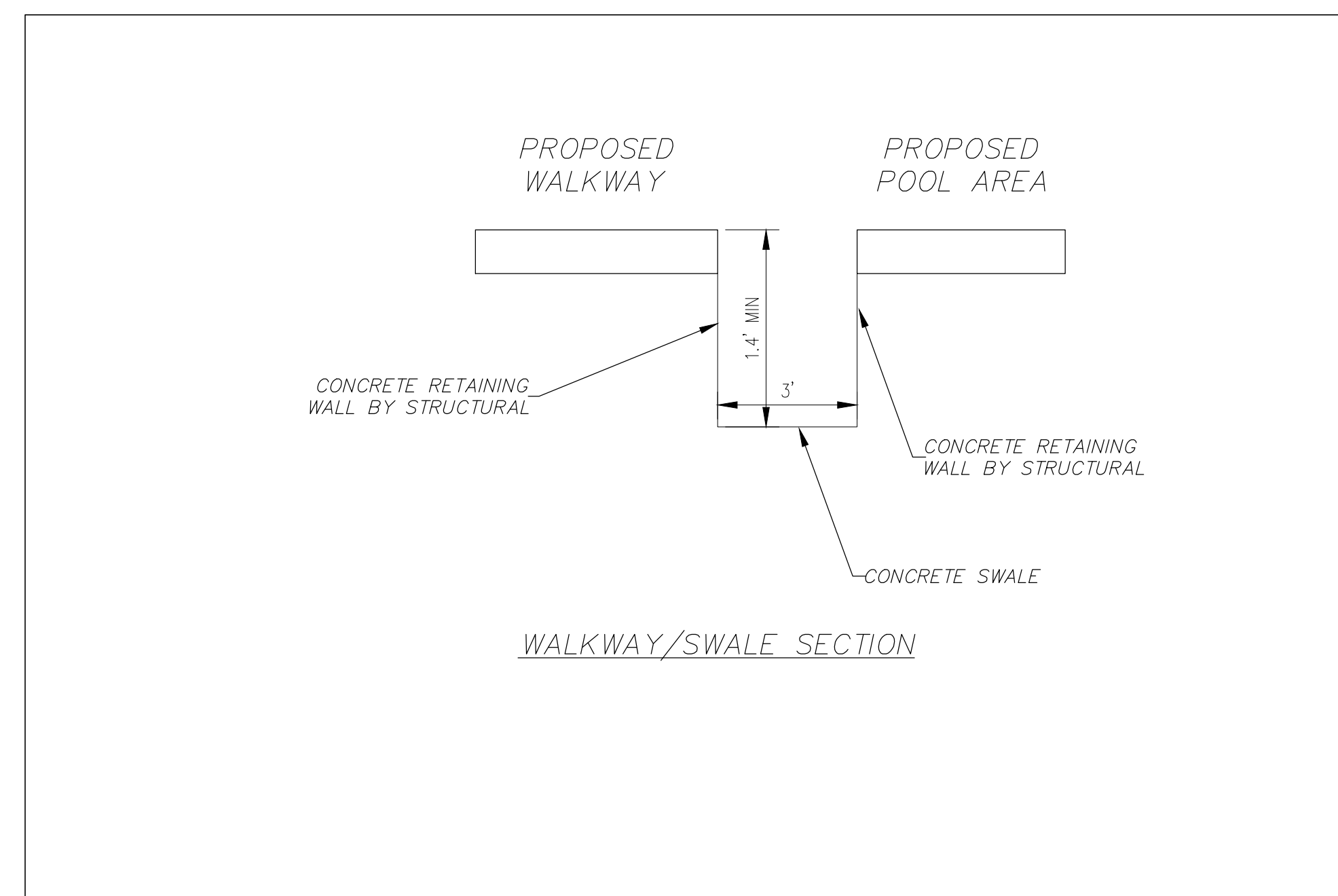
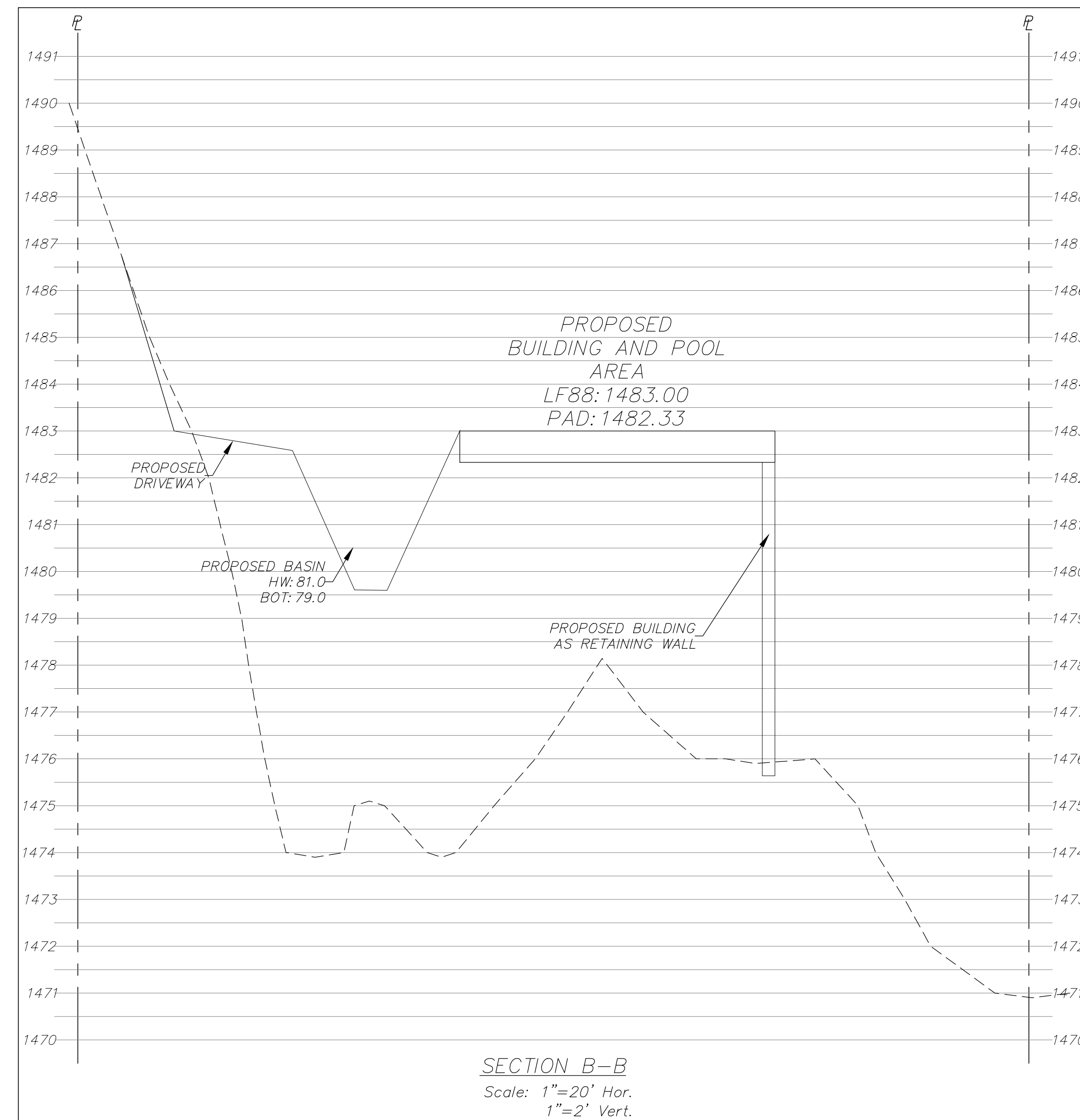
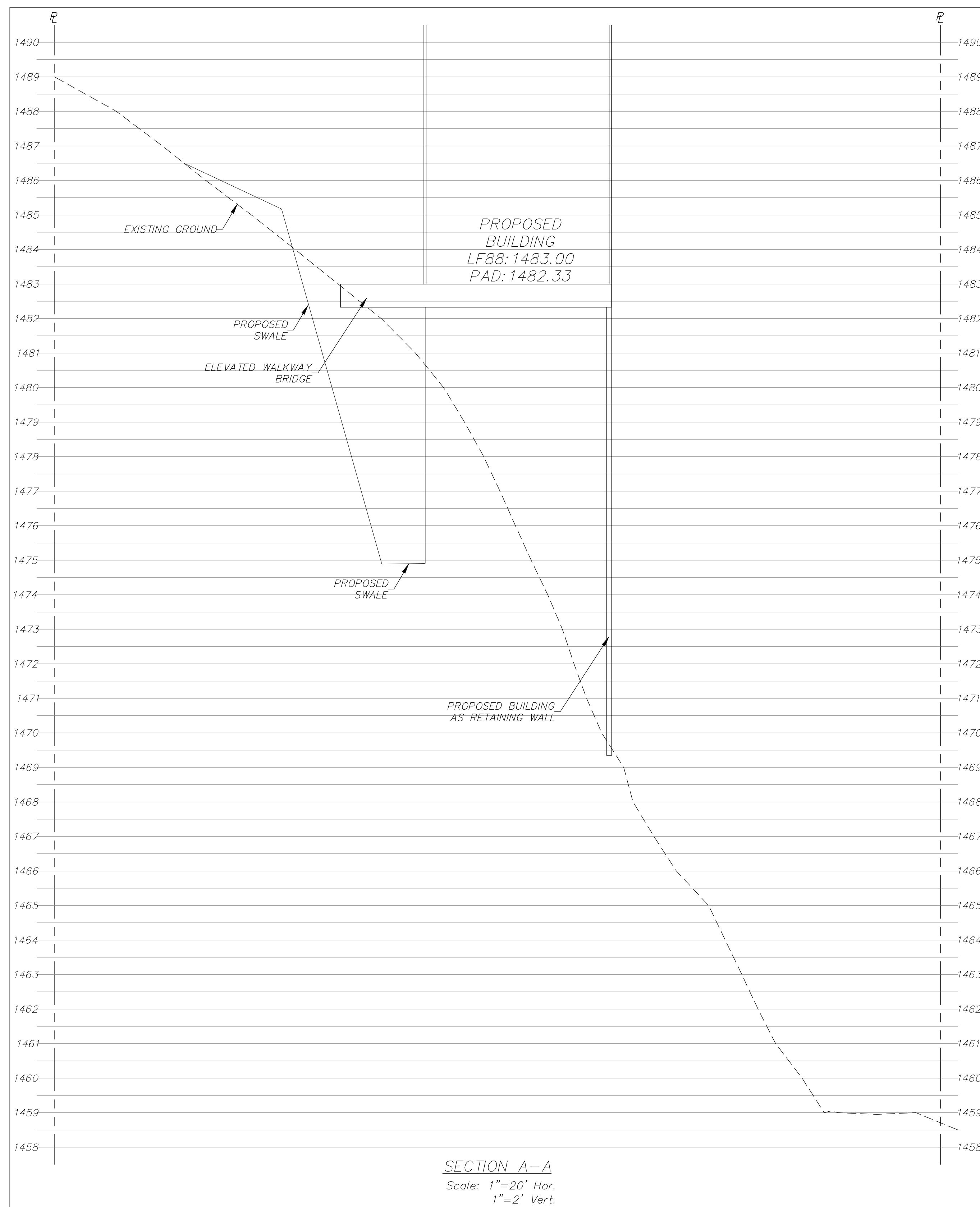
[illegible]

## GRADING & DRAINAGE PLAN

# C02

Sheet: 9





**Larson  
Engineering, Inc.**  
6263 N. Scottsdale Road, Suite 365  
Scottsdale, AZ, 85250  
480.212.4200 (f)480.212.4201  
[www.larsonengr.com](http://www.larsonengr.com)

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**Client:**

Project Title:

GRADING AND DRAINAGE PLAN  
FOR  
53340 E. SAN MIGUEL AVENUE, PARADISE VALLEY, AZ 85253  
ASSESSOR PARCEL NO. 172-47-086  
LOT 28, STONE CANYON AVENUED, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER  
OF MARICOPA COUNTY, ARIZONA, IN BOOK 371 OF MAPS, PAGE 31, M.C.R.



Rev.	Date	Description
Project #:	62210037	
Drawn By:	DAM	
Checked By:	MH	
Issue Date:	05.14.2021	
Sheet Title:		

## SECTIONS

**C03**

Sheet: 0