

1 **ASCENSION LUTHERAN CHURCH**
2 **7100 N MOCKINGBIRD LANE**
3 **SPECIAL USE PERMIT HISTORY**

4
5 **[Prepared 02-01-2021]**

6
7 May 21, 2019 Minor SUP Amendment (SUP-19-03)

8
9 *Approval of a new monument sign along Mockingbird Lane to replace the existing*
10 *monument sign, subject to the following stipulations:*

- 11
12
13 1. All improvements to the property shall be in substantial compliance with the
14 Narrative, Plans, and Documents:
15 a) The Project Narrative;
16 b) Sheet 1 of 4, prepared by Arizona Commercial Signs and dated May 3,
17 2019;
18 c) Sheet 2 of 4, prepared by Arizona Commercial Signs and dated May 3,
19 2019;
20 d) Sheet 3 of 4, prepared by Arizona Commercial Signs and dated May 3,
21 2019; and
22 e) Sheet 4 of 4, prepared by Arizona Commercial Signs and dated May 3,
23 2019.
24
25 2. The Ascension Luther Church and the Town shall sign and record a Waiver of
26 Rights and Remedies agreement under A.R.S. § 12-1134 (Proposition 207
27 Waiver) in the form provided by the Town Attorney within 10 calendar days of
28 the approval of this amendment to the Special Use Permit.
29
30 3. Sign illumination shall be turned off at 10:00p.m., except for special events.
31
32 4. All existing Special Use Permit stipulations shall remain in full force and effect,
33 unless changed or modified by the Minor Amendment SUP 19-03.
34
35 5. Non-illuminated address numbers shall be placed on the east side of the sign,
36 facing Mockingbird Lane.
37

38 August 15, 2017 Building Permit (BD18-41222)

39
40 *Approval to add restroom facilities and interior entry vestibule underneath a portion*
41 *of an existing covered patio located at the southwest part of the church that was*
42 *deemed in substantial compliance with the existing Special Use Permit. No new*
43 *stipulations.*
44
45

46 January 21, 2003

Minor SUP Amendment (SUP-02-01)

47
48 *Approval of a Minor SUP amendment authorizing the use of a high-pressure sodium*
49 *light source, rather than a low-pressure sodium light source, for the bollard parking*
50 *lot lights approved by the Planning Commission on November 19, 2002, subject to*
51 *the following stipulations:*

- 52
53 1. Amending Stipulation 7 from SUP 02-01 that All parking lot lighting shall be
54 installed in compliance with the Lighting Plan, ES-1, presented to the Planning
55 Commission on December 17, 2002 [*No updated plans on record*]; and
56
57 2. The three different zoning of the lights to be operational by January 31, 2003.
58

59 November 19, 2002

Minor SUP Amendment (SUP-02-01)

60
61 *Approval of a minor SUP amendment for the installation of 93 additional parking*
62 *spaces, 37 new bollard lights, additional parking lot landscaping, and an access gate*
63 *along Hummingbird Lane, subject to the following stipulations:*

- 64
65 1. The Special Use Permit for the proposed amendment shall be in substantial
66 conformance with:
67
 - 68 • The Site Plan dated April 18, 2002, prepared by Evans, Kuhn, and
 - 69 • The Landscape Plan dated May 28, 2002, prepared by Laskin and
 - 70 • The Electrical Plan dated July 26, 2002, prepared by Peterson
 - 71 • The Grading and Drainage Plans dated July 23, 2002 prepared by
 - 72 Associates, --sheets ES-1 to ES-3.
 - 73 Evans, Kuhn, and Assoc., Inc. – sheets C1.01 to C1.05.
 - 74
 - 75
76 2. The bollard lights shall not be lit before dusk or after 10 p.m. daily.
77
78 3. The improvements to Meadowlark Lane shall be completed within close
79 proximity of the parking lot improvements in coordination with the Town
80 Engineer.
81
82 4. Decomposed granite shall be installed on the unimproved areas of the site that
83 will be used for overflow parking. The granite shall be desert colored at a size
84 acceptable to the Town Engineer.
85 5. The parking lot gate shall remain open during all church activities that require
86 parking in the north lot.
87
88 6. The location of the bollards in the south parking lot are lowered and moved to
89 the end of the parking island similar to those in the north parking lot.
90
91 7. All new parking lot bollard light fixtures shall be low-pressure sodium light
92 sources.

- 93
- 94 8. All light fixtures will be on automated timers.
- 95
- 96 9. All overflow parking must be accessible via drive curb cuts as shown in sheet
- 97 C-1.
- 98
- 99 10. The north gate will be located 30-feet back of the existing curb as shown on
- 100 sheet C-1.
- 101
- 102 11. Extend the landscaping design from the west end of the property to the south
- 103 end side of the property boundary on the north side of Meadowlark Lane in
- 104 keeping with the approved landscape plan.
- 105
- 106 12. To allow the Applicant to delay the interior landscaping portion of the plan
- 107 but complete the perimeter landscaping concurrent with the hard scape
- 108 improvements
- 109
- 110

111 December 7, 1999 Minor SUP Amendment (SUP-99-07)

112

113 *Approval to modify previously approved columbarium design, subject to the following*

114 *stipulations:*

115

- 116 1. The applicant shall submit a mylar of the revised master plan and memorial
- 117 garden site plan reflecting the columbarium design changes prior to the
- 118 issuance of a building permit.
- 119
- 120 2. All landscaping for the memorial garden shall conform to the landscape plan
- 121 approved as part of the January 9, 1997 amendment to the special use permit.
- 122

123 May 12, 1998 Minor SUP Amendment (SUP-98-01)

124

125 *Approval by the Special Use Permit Review Committee (SUPREC) to add an*

126 *accessible ramp on east side of church, along with low level lighting and landscape*

127 *modifications adjacent to the ramp area, subject to the following stipulations:*

128

- 129 1. That no building permit be issued until Town staff is satisfied with the
- 130 maintenance of existing landscaping on the Church property.
- 131
- 132 2. That new proposed landscaping be installed at the applicant's convenience,
- 133 but within 12 months after commencement of the ramp construction.
- 134
- 135
- 136

137 January 9, 1997

Major SUP Amendment (SUP-96-01)

138
139 *Approval to authorize a preschool and allow for the construction of a memorial*
140 *garden, subject to the following stipulations:*

- 141
142 1. That the memorial garden plan be approved including the proposed six
143 columbaria each to be constructed within a three-month time frame from start
144 to finish after issuance of a building permit, but that the proposed parking lot
145 lighting and restroom addition be shown on the Master Plan for information
146 purposes only, and that no construction related to either of these features may
147 take place until the Church applies for and receives approval of a major
148 amendment to their Special Use Permit.
149
- 150 2. That a preschool be authorized with a limit of no more than 46 children on the
151 property on any one day with hours of operation restricted to 9:00 a.m. to 4
152 p.m.
153
- 154 3. That the Church submit the revised Master Plan and Landscape Plan as
155 approved by the Council clearly showing all structures shown for construction
156 at this time and those shown for information purposes only on 24 x 36 inch
157 mylar to the Planning Department no later than 30 days after Town Council
158 approval. [*No plans on record*]
159
- 160 4. The connection to the sewer shall be made within 1 year of the completion of
161 the first columbarium but in any event, within 18 months of approval of this
162 amendment to the special use permit.
163

164 April 10, 1995

Minor SUP Amendment (SUP-95-01)

165
166 *Approval by the Special Use Permit Review Committee (SUPREC) to construct an 8'*
167 *tall wall on the south side of the church building to screen a cooling tower, subject to*
168 *the following stipulations:*

- 169
170 1. As shown on the submitted plan marked Exhibit A, Sheets 1 and 2.
171
172

173 October 17, 1994 Minor SUP Amendment (SUP-94-01)
174 *[SUP-19-03 approved by the Planning Commission on May 21, 2019 voids this approval*
175 *as this sign will be replaced with the new monument sign]*
176

177 *Approval by the Special Use Permit Review Committee (SUPREC) for a new*
178 *monument sign along Mockingbird Lane to replace the existing monument sign,*
179 *subject to the following stipulations:*
180

- 181 1. Sign illumination shall be turned off at 10:00 p.m. except for special events.
- 182
- 183 2. New sign shall be no closer to the street than the existing sign.
- 184
- 185 3. Any additional plan material added shall conform to the right-of-way
- 186 guidelines plant palette.
- 187
- 188 4. The sign letters shall be a blue which matches the existing blue trim on the
- 189 building.
- 190

191 September 22, 1989 Minor SUP Amendment (SUP-89-01)
192

193 *Approval by the Special Use Permit Review Committee (SUPREC) to construct a 6'*
194 *tall wall to house a courtyard at the rear entrance to the church, subject to the*
195 *following stipulations:*
196

- 197 1. The addition of a six foot wall within the church property only.
- 198

199 April 19, 1985 Minor SUP Amendment (SUP-85-01)
200

201 *Approval of the construction of a 6' tall wall to house a children's playground, a*
202 *waste pen and electrical equipment, subject to the following stipulations:*
203

- 204 1. No outdoor lighting or address system will be allowed.
- 205
- 206 2. Approval is subject to the submittal of plans to the Planning Department
- 207
- 208 3. All parking Shall have a 60' setback from any residential property line.
- 209

210 September 8, 1977 Major SUP Amendment (SUP-77-01)
211

212 *Approval to convert the church use into a Special Use Permit, subject to the*
213 *following stipulations recorded at the Maricopa County Recorder in Docket 12447*
214 *Pages 1435- 1436. There are no specific stipulations provided. However, the Special*
215 *use Permit allows the property to be "used for religious purposes and such other*
216 *uses as are reasonably related to the functions of the Church" as provided in the site*
217 *plan dated September 1977.*

pharmacy, she urged the Commission not to allow controlled substances there. She expressed that they do not need another urgent care and expressed her concerns with having one there. She expressed further input on uses on the property.

Paul Couture commented that he is disappointed with the applicant because they are unwilling to compromise. He read emails he received from neighbors. He pointed specifics in which the applicants have not compromised with neighbor's desires. He noted that business hours of 8:00 a.m. to 5:00 p.m. would be better than 7:00 a.m. to 7:00 p.m. He indicated they need a compromise on both sides and all he is seeing the applicant do is adding more landscaping.

John Nelson stated that he does not feel this site should be enlarged in any way and would be a mistake.

Chairman Wainwright closed the public comments and thanked those that made comments. He also noted that comments could be emailed in.

No Reportable Action

5. PUBLIC HEARINGS

A. 19-223

Consideration of a proposed monument sign at the Ascension Lutheran Church - Minor Special Use Permit Amendment (SUP 19-03)
7100 N. Mockingbird Lane (APN: 174-51-033)

George Burton, Planner, introduced the item and shared the background and scope of the request. He noted that the Commission needs to decide if this is considered a minor special use permit (SUP) and if so to approve or deny the request. He then reviewed the stipulations.

Commissioner Campbell indicated that he felt since they have been able to consolidate their signage they should have more leeway for a bigger sign. Mr. Burton clarified what parts of the sign were illuminated. Commissioner Georgelos asked if they could take the brightness down a little. Pat Hurley, applicant, indicated they will have a vinyl shielding on it which will make it subtler.

Mr. Hurley shared more details on the sign. He stated he feels the sign complies in principle and that they have made it as small as possible. Commissioner Wastchak indicated he is supportive of the changes that have been made to the sign.

Commissioner Georgelos asked if the church has reached out to the neighbors about the sign changes. Mr. Hurley indicated they have complied

with the noticing requirements.

Commissioner Lewis stated that he is very good friends with Mr. Hurley, but he does not feel that he has a conflict of interest.

Chairman Wainwright opened the meeting for public comment.

Mr. Hurley stated that people at the church are very excited about the sign change.

Jay Harris, representative of St Barnabus church, asked if the capital improvement project for the widening of Mockingbird Lane will impact the proposed setback for the sign. It was indicated that it should not affect it.

Chairman Wainwright closed the meeting for public comment.

A motion was made by Commissioner Wastchak, seconded by Commissioner Lewis, to deem the requested amendment as a minor amendment to the Special Use Permit zoning per the criteria listed in Section 1102.7.B of the Zoning Ordinance. The motion carried by the following vote:

Aye: 7 - Commissioner Wainwright, Commissioner Anton, Commissioner Campbell, Commissioner Covington, Commissioner Georgelos, Commissioner Lewis and Commissioner Wastchak

A motion was made by Commissioner Campbell, seconded by Commissioner Anton, to replace an existing monument sign with a new monument sign located at the Ascension Lutheran Church at 7100 N. Mockingbird Lane, subject to the following stipulations:

- 1. All improvements to the property shall be in substantial compliance with the Narrative, Plans, and Documents:**
 - a. The Project Narrative;**
 - b. Sheet 1 of 4, prepared by Arizona Commercial Signs and dated May 3, 2019;**
 - c. Sheet 2 of 4, prepared by Arizona Commercial Signs and dated May 3, 2019;**
 - d. Sheet 3 of 4, prepared by Arizona Commercial Signs and dated May 3, 2019;**
 - and**
 - e. Sheet 4 of 4, prepared by Arizona Commercial Signs and dated May 3, 2019.**
- 2. The Ascension Lutheran Church and the Town shall sign and record a Waiver of Rights and Remedies agreement under A.R.S. § 12-1134 (Proposition 207 Waiver) in the form provided by the Town Attorney within 10 calendar days of the approval of this amendment to the Special Use Permit.**
- 3. Sign illumination shall be turned off at 10:00p.m., except for special events.**
- 4. All existing Special Use Permit stipulations shall remain in full force and effect, unless changed or modified by the Intermediate Amendment SUP 19-03.**
- 5. Non-illuminated address numbers shall be placed on the east side of the sign, facing Mockingbird Lane.**

The motion carried by the following vote:

Aye: 7 - Commissioner Wainwright, Commissioner Anton, Commissioner Campbell, Commissioner Covington, Commissioner Georgelos, Commissioner Lewis and Commissioner Wastchak

6. STUDY SESSION ITEMS (Continued)

A. 19-226

Citizen Review Session Regarding Approval of Town Manager Recommendations on Changes to Article XI, Section 1102.2.B of the Zoning Ordinance

Deborah Robberson, Deputy Town Attorney, introduced the code change to have a distance requirement between a medical marijuana dispensary and residential property. She gave background behind the code change. She noted some of the standards in surrounding cities. She then reviewed the next steps and clarified a public hearing would be held for this on June 4, 2019.

Commissioner Campbell commented that it may not be reasonable to enact a zoning ordinance that excludes medical marijuana dispensary entirely. Indicated he would like to have an executive session that addresses this matter. Ms. Robberson suggested that they wait for the next meeting when Town Attorney, Andrew Miller, is present.

Chairman Wainwright opened the meeting up for public comment. None were offered.

No Reportable Action

B. 19-222

Discussion of Camelback Lands 6 Lot Split (LS-19-05)
5307 North Invergordon Road (APN: 173-20-026)

Mr. Burton introduced the item and shared the background of the request.

Paul Mood, Town Engineer, explained further details about site drainage and noted some potential existing drainage problems.

Mr. Burton noted they will have a public hearing for this on June 4, 2019 and that the applicant did notify all neighbors in a 500-foot radius. He added that if it gets a unanimous approval from the Commission on June 4, 2019 it will not need to move to Council.

Discussion was made on covenants, conditions, and restrictions (CC&R). Chairman Wainwright stated the applicant should be aware of CC&R's and litigations that have happened concerning them.

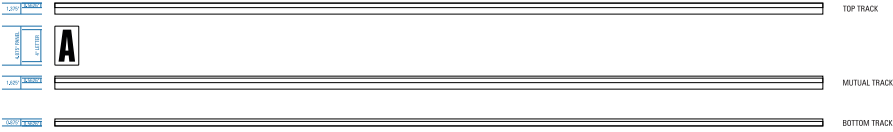
Rob Cullum commented on previous litigations and the drainage of the property. He stated they are fine complying with the storm water drainage,

Ascension Lutheran Church has been experiencing congregational growth over the past two years. The congregation has united behind a recently completed strategic plan. The upgrade and restoration of the building, a Frank Lloyd Wright inspired design by architect William Wesley Peters who was the first apprentice in Frank Lloyd Wright's Fellowship in 1932, is one of Ascension's top priorities. The current church sign is dated, in need of repair, and inadequate for the church's current needs. Due to its design there is limited space for communicating. It is on the ground and hard to see. The current sign does not reflect the iconic design of Ascension's, from its towering spire to its unique pentagon shaped building.

The new sign is far more in keeping the Frank Lloyd Wright design. It will enhance the church architecture. It will provide Ascension with a more updated communication tool. The colors in the building are picked up in the sign. Although both signs are double sided, the new sign is raised higher off the ground for better visibility. The subtle back lighting from within will make it easier to read at night and still maintain the quiet tranquility of Ascension's property and surrounding neighborhood.

There is a wide variety of church signs on Lincoln Drive, Paradise Valley Methodist Church, Paradise Valley Bible Church, and The Franciscan Renewal Retreat Center. Each sign reflects the spirit of their church community. All are attractive in their own way. We at Ascension would like to add another enhancement to Paradise Valley and our church community.

GEMINI / WAGNER ZIP TRACK SYSTEM



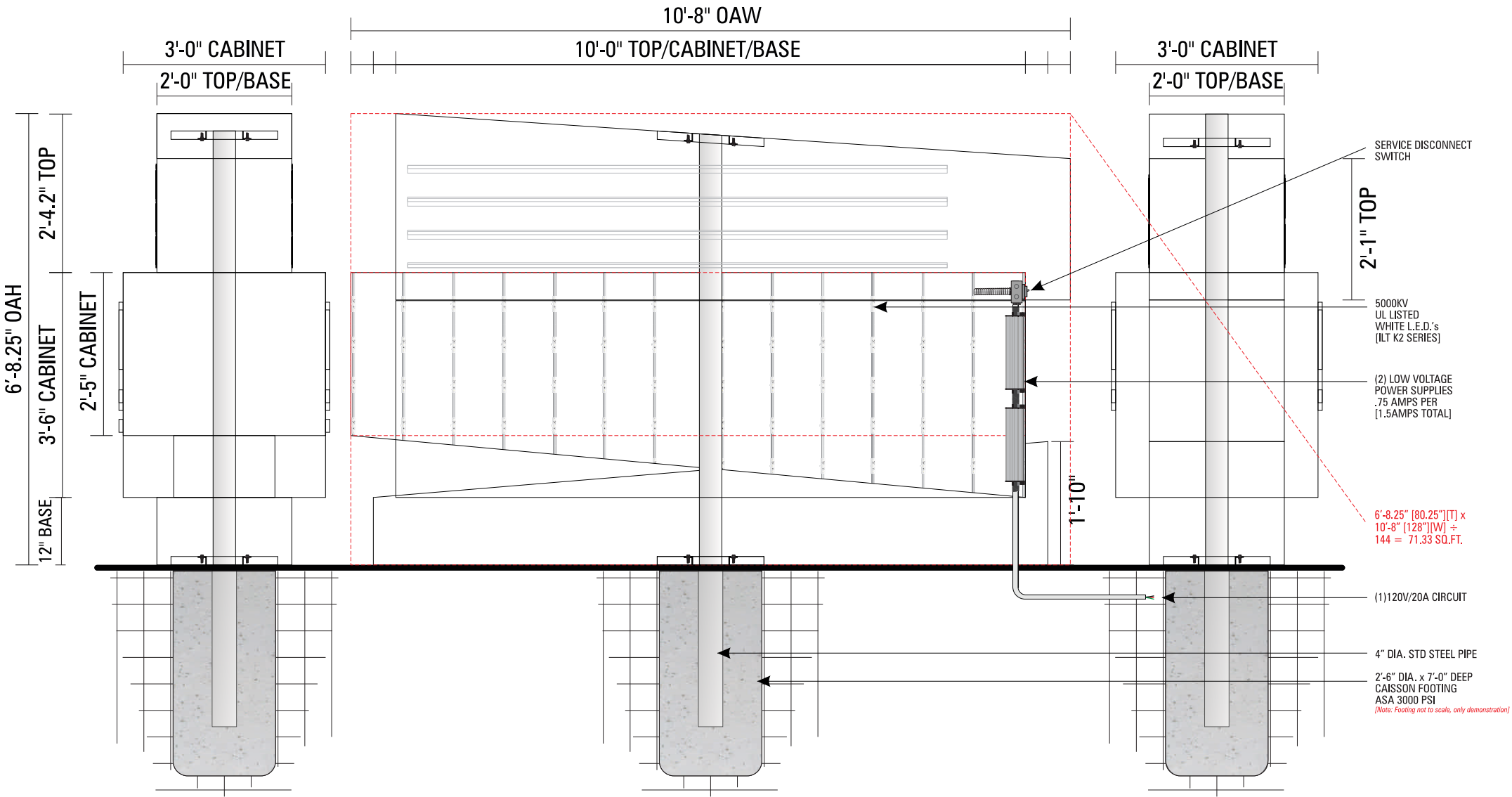
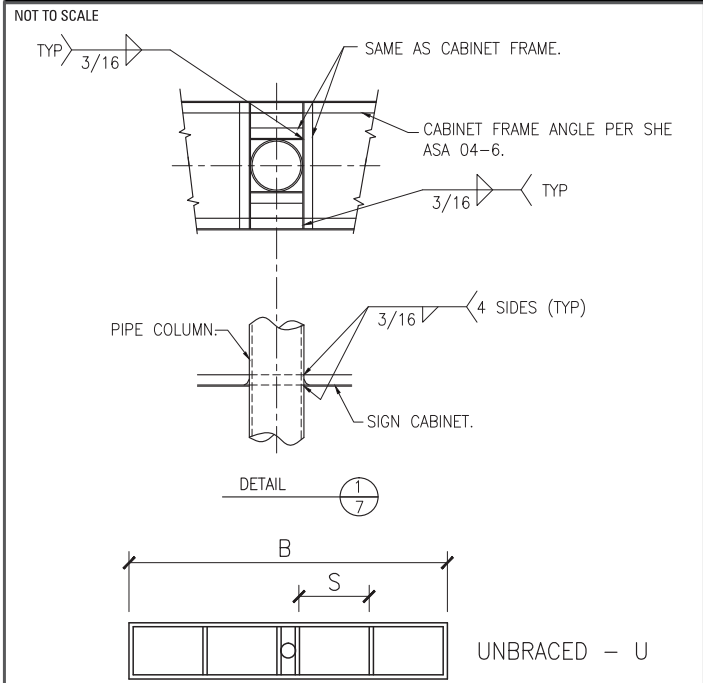
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A D/F INTERNALLY-ILLUMINATED MONUMENT STRUCTURE W/ZIP TRACK SYSTEM

SCALE: 1/2" = 1'-0" 71.33 SQ.FT. TOTAL PER SIGN FACE/SIDE

SADDLE/ASA - BUILT TO ASA STANDARDS



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ARIZONA COMMERCIAL SIGNS
4018 E. WINSLOW • PHOENIX AZ 85040
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PROJECT NAME:

ASCENSION LUTHERAN CHURCH
7100 NORTH MOCKINGBIRD LANE
PARADISE VALLEY, ARIZONA 85253

CONTACT: THOMAS MUELLER
PHONE: 480-948-6050
EMAIL: ASCENSIONOFFICE@AOL.COM

CONTACT REP:

GARY DANKS - 480-577-3363

DESIGNER:

CHRIS HEARN

DESIGN NUMBER:

ASCENSION LUTHERAN 03-15-18 - R13 PERMIT

SCALE:

AS NOTATED

DATE:

03/15/2018 10:27 AM MST, per. 05/03/2019 11:00 AM MST

REVISIONS:

1	(A) 3-LINE ZIP, BOLD "ASCENSION", P# ON BASE, MATTE	04/10/18	CH
2	COLOR SCHEMATIC UPDATE, De5187 WEATHERED SADDLE	09/25/18	CH
3	(A4) CLIENT CHOICE, OPTION "LUTHERAN CHURCH" TEAL	09/27/18	CH
4	CLIENT/PASTOR REVISIONS, PROVIDED NEW LOGO	11/01/18	CH
5	BACK TO TEAL REVEALS	11/02/18	CH

LANDLORD / DEVELOPER APPROVAL
SIGNATURE & DATE:

CUSTOMER APPROVAL
SIGNATURE & DATE:

SHEET:

2 OF 4
PERMIT

VINYL LOGISTICS

A

D/F INTERNALLY-ILLUMINATED MONUMENT STRUCTURE
W/ZIP TRACK SYSTEM

SCALE: 1/2" = 1'-0"

71.33 SQ.FT. TOTAL PER SIGN FACE/SIDE

3M™ Scotchcal™ Translucent Graphic Film Series 3630

3M™ Envision™ Translucent Film Series 3730

Product Bulletin 3630/3730

Release L, April 2017

Product Description

- 2-mil, vinyl translucent films, available in crisp, clear colors (many with simulated PANTONE® color references)
- For Screen Printing, Cut Graphics, and Thermoforming
 - Use film series 3630 for fluorescent lighting applications
 - Use film series 3730 for LED applications

Product Features

- Matte surface finish eliminates glare and provides uniform color in reflected and transmitted light
- Pressure sensitive, permanent adhesive adheres to rigid and flexible substrates
- Synthetic, lay-flat liner that is not affected by water or humidity
- Cut electronically
- Thermoformable
- Permanent film
- Expected Performance Life of 7 years (unwarranted period for unprinted film with no graphic protection, applied to a flat, vertical, outdoor surface)

Recommended Types of Graphics and End Uses

- For indoor or outdoor use on internally-illuminated sign faces
- First and second surface application on rigid substrates
- First surface applications only on flexible substrates
- Thermoforming on rigid plastic substrates
- For use with fluorescent bulbs or LEDs. Typically for best results, 3M recommends:
 - film 3630 for fluorescent light applications
 - film 3730 for LED applications

When constructed and used as described in this Bulletin, these types of graphics and end uses may be warranted by the 3M™ MCS™ Warranty. Please read the entire Bulletin for details.

Special Considerations

3M recommends weeding before thermoforming when using film with red pigments. The red pigments available to film manufacturers today can stain plastic when thermoformed.

3M is very successful at helping you match day/night colors when the same color density is required in front lit and backlit graphics to maximize the effectiveness of your sign. Please contact 3M for assistance when this is a concern.

Recommended Compatible Products

Screen Printing Inks

- 3M™ Screen Printing Ink Series 1900
- 3M™ Screen Printing UV Ink Series 9800

Quick Links

[3M Graphics Warranties](#)

[Technical Information Selector](#)

[Safety Data Sheets \(SDS\)](#)

[Flammability](#)

[Videos](#)

Some of these links lead to web-based resources that are not product-specific.

3M™ Scotchcal™ Translucent Graphic Film Series 3630

3M™ Envision™ Translucent Film Series 3730

Application Characteristics

Characteristic	Value
Finished Graphic Application Recommendation	Surface type: Flat, without rivets Surface type*: 3M flexible substrates; rigid substrates such as flat acrylic, polycarbonate**, high temperature co-polyester sheet, glass Application method: Wet or Dry, typical Application temperature: 60 °F (16°C) minimum air, substrate
Temperature Range After Application	-50 to +170 °F (-45 to +77 °C) (not for extended periods of time at the extremes) Low temperatures impacts on film applied to flexible substrates may result in cracking of the film and/or substrate
Recommended Light Source (for best results)	Film 3630: Fluorescent bulbs Film 3730: LEDs
Graphic Removal	Permanent

*These films typically adhere to solar-grade polycarbonate substrate. However, some lots of this substrate may inhibit adhesion. See 3M Instruction Bulletin 5.7 for additional information.
**Polycarbonate substrates require oven drying before use to remove moisture from the polycarbonate that will cause the film to bubble. Refer to manufacturers instructions for proper drying times and temperatures.

IMPORTANT NOTE

The user is responsible for determining and complying with all applicable building codes that affect the use of materials in interior and exterior awning, banner and sign face applications, including flammability standards. For more information on flammability requirements, contact your local building code officials. For information on the results of flammability testing on 3M flexible substrates, call 1-800-328-3908.

Colors

Colors shown on monitor and when printed are approximate representations of actual color available.

Some of these products are a simulation of the closest PANTONE®-identified color standard. Consult current PANTONE Color Publications for accurate color. PANTONE® is a trademark or registered trademark of Pantone LLC in the United States and/or other countries.

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IMPORTANT NOTE

All color references are based on reflected, not transmitted, light viewing.



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Nationwide Sign Systems

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CONTACT REP:

GARY DANKS - 480-577-3363

DESIGNER:

CHRIS HEARN

DESIGN NUMBER:

ASCENSION LUTHERAN 03-15-18 - R13 PERMIT

SCALE:

AS NOTATED

DATE:

03/15/2018 10:27 AM MST, per. 05/03/2019 11:00 AM MST

REVISIONS:			
<div></div> 1	(A) 3-LINE ZIP, BOLD "ASCENSION", P# ON BASE, MATTE	04/10/18	CH
<div></div> 2	COLOR SCHEMATIC UPDATE, D65187 WEATHERED SADDLE	09/25/18	CH
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LANDLORD / DEVELOPER APPROVAL
SIGNATURE & DATE:

CUSTOMER APPROVAL
SIGNATURE & DATE:

SHEET:

3 OF 4

PERMIT

PROJECT PERMIT INFORMATION:

PROJECT ADDRESS:

7100 WEST MOCKINGBIRD LANE
PARADISE VALLEY, ARIZONA 85253

PROJECT SUBDIVISION:

MEADOWLARK ACRES LOT 1-3

ARIZONA PARCEL NUMBER [APN]:

174-51-033

PROPERTY ZONING:

SUP-P

[PUC]:

9270

MARICOPA COUNTY RECORDS [MCR]:

194-11

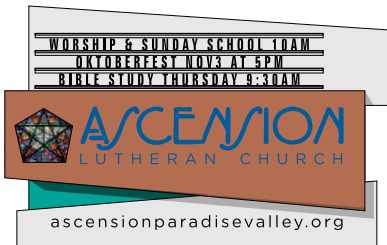
JURISDICTION:

TOWN OF PARADISE VALLEY



PROJECT DETAILS:

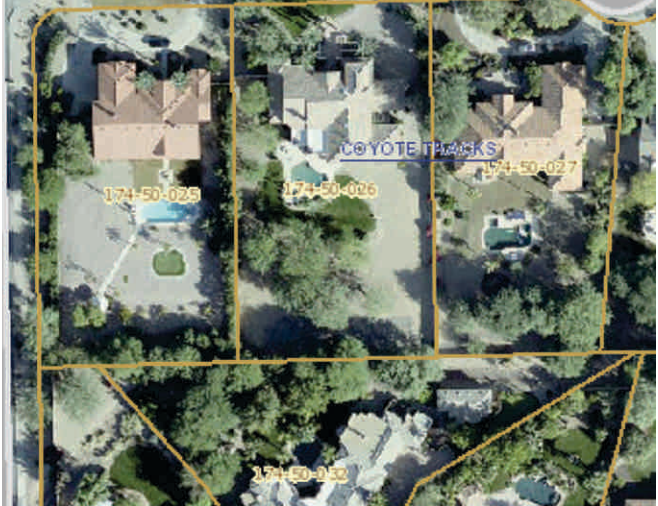
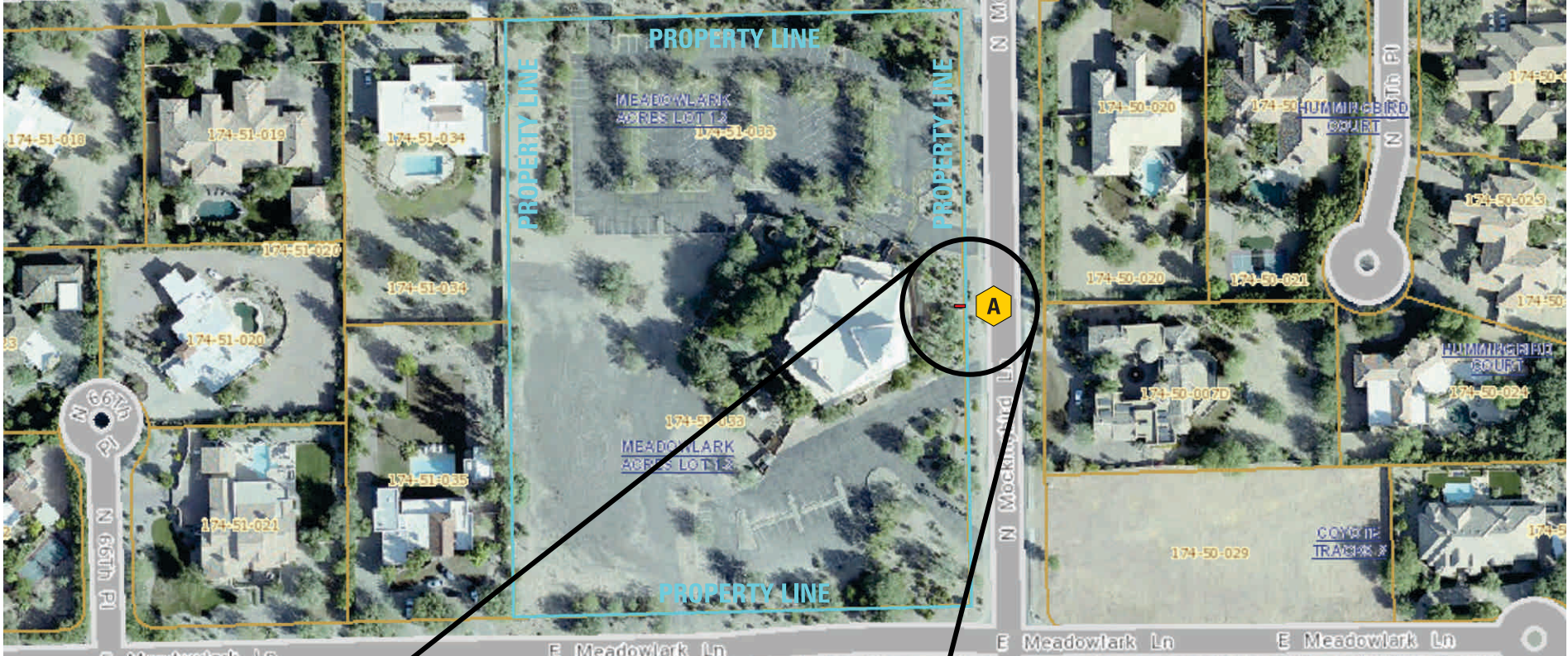
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SCALE: 3/16" = 1'-0"

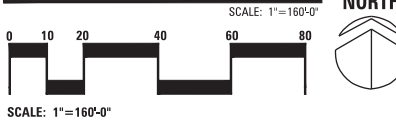
NOTES:

Notes section with horizontal lines for text entry.



- PROPERTY LINE
- NEW MONUMENT
- BACK OF CURB
- SIGHT VISIBILITY TRIANGLE

FULL SITE PLAN



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REVISIONS:

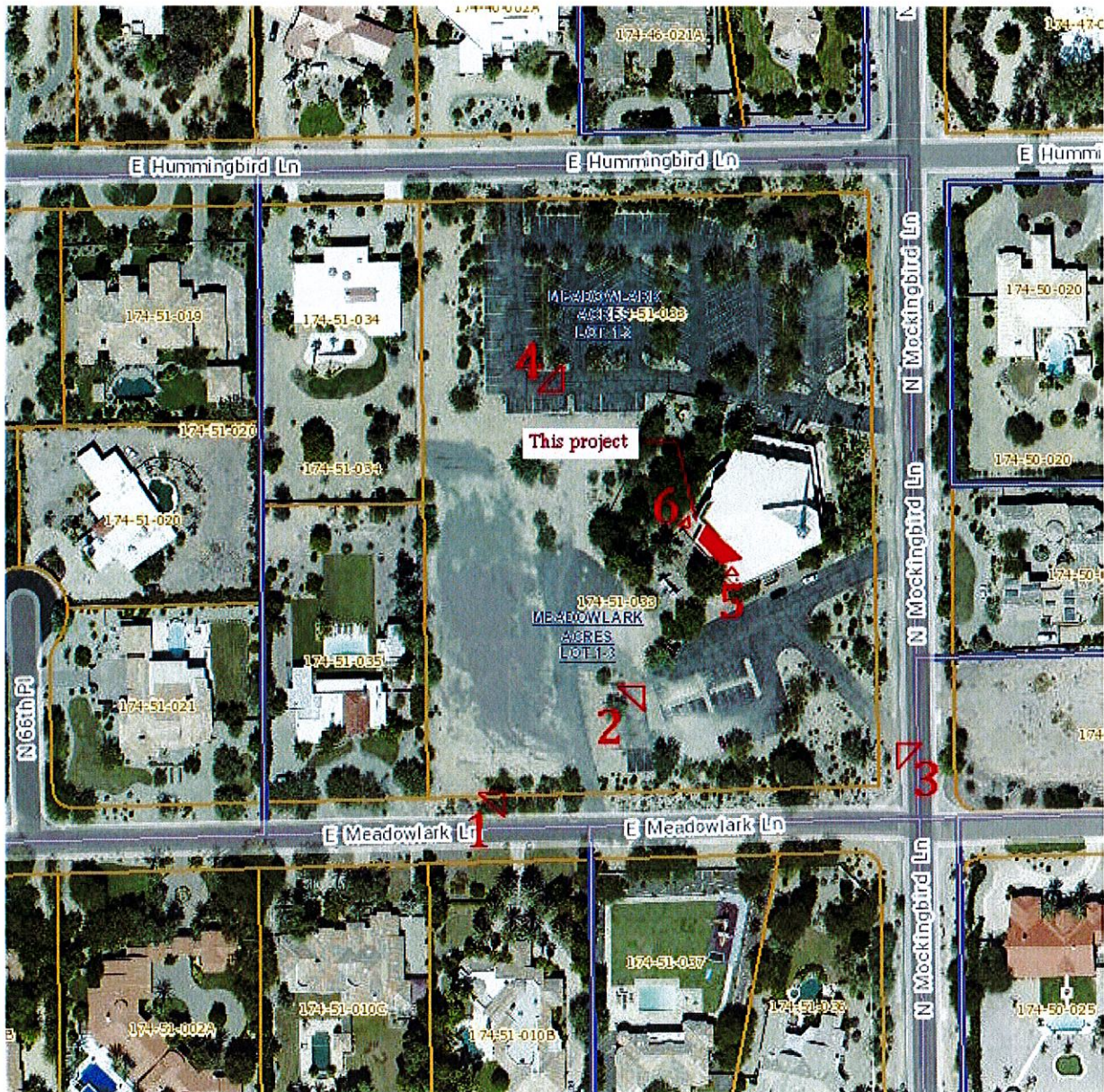
- (A) 3-LINE ZIP, BOLD "ASCENSION", P# ON BASE, MATTE 04/10/18 CH
- COLOR SCHEMATIC UPDATE, De5187 WEATHERED SADDLE 09/25/18 CH
- (A4) CLIENT CHOICE, OPTION "LUTHERAN CHURCH" TEAL 09/27/18 CH
- CLIENT/PASTOR REVISIONS, PROVIDED NEW LOGO 11/01/18 CH
- BACK TO TEAL REVEALS 11/02/18 CH

LANDLORD / DEVELOPER APPROVAL
SIGNATURE & DATE:

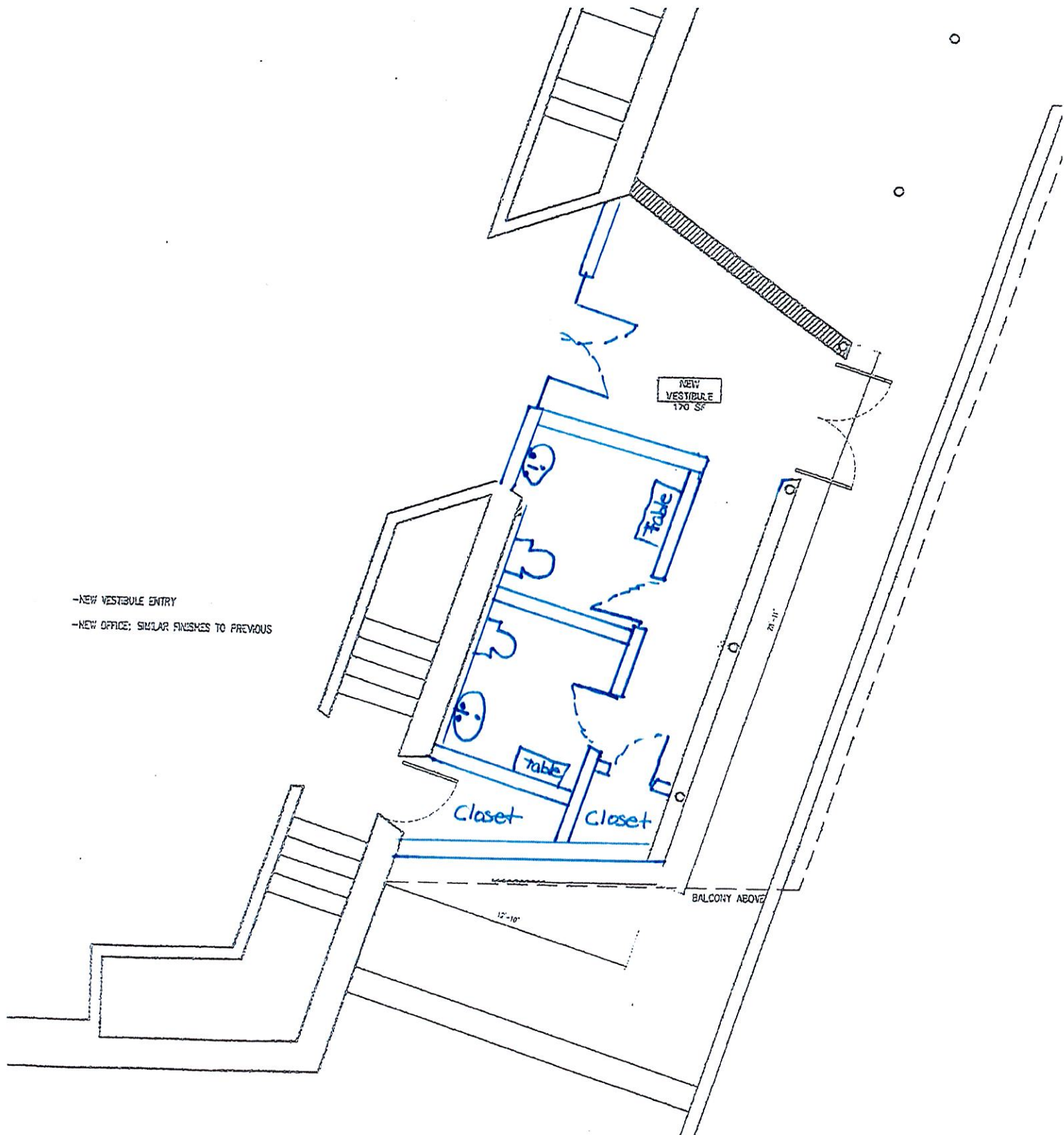
CUSTOMER APPROVAL
SIGNATURE & DATE:

SHEET:

4 OF 4
PERMIT



08-15-17
BD 18-41222



- NEW VESTIBULE ENTRY
- NEW OFFICE: SIMILAR FINISHES TO PREVIOUS

08-15-17

THIS IS A COPY

Commissioner Mahrle made a motion to approve the November 5, 2002 work session meeting minutes as amended. Seconded by Commissioner Werner.

The motion passed by a vote of five (5) to zero (0), with Commissioner Strom abstaining.

Commissioner Werner made a motion to approve the November 19, 2002 work session meeting minutes as presented. Seconded by Commissioner Mahrle.

The motion passed by a vote of six (6) to zero (0).

Commissioner Mahrle made a motion to approve the November 19, 2002 regular meeting minutes as presented. Seconded by Commissioner Werner.

The motion passed by a vote of six (6) to zero (0).

Commissioner Mahrle made a motion to approve the December 3, 2002 work session meeting minutes as presented. Seconded by Commissioner Werner.

The motion passed by a vote of six (6) to zero (0).

Commissioner Strom made a motion to approve the December 17, 2002 work session meeting minutes as presented. Seconded by Commissioner Werner.

The motion passed by a vote of six (6) to zero (0).

REGULAR BUSINESS

PUBLIC HEARING Consideration of a request for an amendment to the existing Special Use Permit for Ascension Lutheran Church, located at 7100 N. Mockingbird Lane, authorizing the use of a high-pressure sodium light source, rather than a low-pressure sodium light source, for the bollard parking lot lights approved by the Planning Commission on November 19, 2002.

Mr. Arshadi presented this case as per the project coordination packet. Staff recommends the Planning Commission approve the proposed minor amendment to the Special Use Permit for Ascension Lutheran Church, authorizing the use of a high-pressure sodium light source for the parking lot lighting in compliance with the Lighting Plan, ES-1, presented to the Planning Commission on December 17, 2002.

Commissioner Adams inquired why would they have to go to 12 feet to change from high-pressure to low-pressure. Mr. Arshadi stated based on the information given by the applicant it was presented that due to the large size of the low-pressure sodium lamp and the wattage necessary to provide ample light (100 watts) the lamp could not fit into the bollard fixture. The applicant would either have to change to a 12' pole fixture or reduce the wattage in the lamp. He remarked the idea was to maintain the three-foot bollards.

Mr. Arshadi reported at the December 17, 2003 work study session, staff reported to the Planning Commission new information regarding the changes in technology and it was concluded based on the new information it would be better to use the high pressure sodium light source bollard rather than 12-foot high lighting poles.

Commissioner Strom stated he has observed the new light fixtures and felt the applicant has done a fine job. In addition, they have done a great job on the landscaping. Commissioner Werner agreed.

Parker Adeleman, Project Manager, stated he is available to answer any questions.

Chairman Campbell opened public testimony.

Barbara Parker, 6122 E. Quartz Mountain Road, inquired if the fixtures that are installed currently are low or high pressure. Chairman Campbell replied it is high pressure.

Ms. Parker stated the light spilled over that is cast from these lights appears to reflect more on the street area than it does in the parking lot. She further stated the parking lot is darker than the street. She noted the lights appear to be on every evening. She inquired if the Town has an ordinance regarding the hours of operation. Mr. Arshadi stated the lights are allowed to be on until 10:00 p.m.

Ms. Parker inquired if it was necessary to have the parking lot lights on even when there is no business or activity being conducted at the church.

Commissioner Strom stated the Commission stipulated that the parking lot would be lit in three zones to correspond with the activity levels. Scott Crawford reported they are currently working out the bugs on the three zones. He further reported they should be fixed by the end of the week.

Ms. Parker inquired about the foot-candles. Mr. Crawford provided information on the photometric study. He reported there would not be spill over at the property line.

Carol Adams, 6200 E. Quartz Mountain Road, stated they did a beautiful job with the landscaping. She further stated she was pleased to hear the lights would be done in zones. She commented as long as they keep the height of the lights low it does not matter if they use high or low pressure. She further commented she does not want them to have the lights on when nothing is going on.

Michael B. Seip, 6740 E. Hummingbird Lane, stated he just wants them to ensure that there is the least amount of spill over and glare to their properties.

Chairman Campbell closed public testimony.

Commissioner Strom stated he would suggest they approve this request with the additional stipulation that the zoning of the lights is operation in the near future.

Commissioner Strom moved to approve SUP-02-01 for the proposed minor amendment to the Special Use Permit for Ascension Lutheran Church, authorizing the use of a high-pressure sodium light source, rather than a low-pressure sodium light source, for the bollard parking lot lights approved by the Planning Commission on November 19, 2002, subject to the 12 approved stipulations with the following amendment to Stipulation No. 7:

- All parking lot lighting shall be installed in compliance with the Lighting Plan, ES-1, presented to the Planning Commission on December 17, 2002.

And with the additional stipulation:

- The three different zoning of the lights to be operational by January 31, 2003.

Seconded by Commissioner Werner.

Commissioner Adams recommended staff test the lighting prior to the January 31, 2003 when all three of the zones are going to ensure they are at the proper levels and report to the Commission. Mr. Arshadi stated staff would coordinate that with the church.

The motion passed by a vote of six (6) to zero (0).

PUBLIC MEETING: Consideration of a request for a proposed lot split of an approximate 2.5 gross acre parcel of land located at the northeast corner of Sage Drive and 74th Street, 5311 N. 74th Street.

Mr. Michaud stated the applicant has requested a continuance to the next regular Planning Commission meeting.

Kenny Walton, 5211 N. 74th Street, applicant, stated he is requesting the continuance because last week he retained legal counsel and his legal counsel was not able to get out of a prior commitment to attend the hearing.

Chairman Campbell stated there are citizens present to comment on this case so he will open public testimony.

Catherine Jennings, 7401 E. Sage, stated she would save her comments to see what happens after the continuance.

Susan Speirs, 7450 E. Sage Drive, stated she was prepared to make a presentation but would save her comments for the actual hearing. She requested the Commission continue

**TOWN OF PARADISE VALLEY
PLANNING & ZONING COMMISSION
NOVEMBER 19 2002**

FILE COPY

MINUTES

PRESENT: Scott LeMarr, Chairman
George Adams, Commissioner
Thomas Campbell, Commissioner
Gary Linthicum, Commissioner
Richard Mahrle, Commissioner
Dolf Strom, Commissioner
Louis Werner, Commissioner

STAFF: Hamid Arshadi, Community Development Director
Eva Cutro, Senior Planner
Jim Davis, Deputy Town Attorney

CALL TO ORDER

The regular meeting of the Town of Paradise Valley Planning Commission was called to order by Chairman Campbell at 7:05 p.m.

ROLL CALL

A formal roll call confirmed members present as stated above.

MINUTES APPROVAL

Commissioner LeMarr made a motion to approve the October 15, 2002 work session meeting minutes as presented. Second by Commissioner Mahrle.

The motion passed by a vote of seven (7) to zero (0).

Commissioner LeMarr made a motion to approve the October 15, 2002 regular meeting minutes as presented. Second by Commissioner Mahrle.

The motion passed by a vote of seven (7) to zero (0).

REGULAR BUSINESS

PUBLIC MEETING: Consideration of a request for a minor amendment to the existing Special Use Permit for the Ascension Lutheran Church, located at 7100 N Mockingbird Lane, for additional parking spaces, parking lot lighting, an access gate, and additional parking lot lighting.

Ms. Cutro presented this case as per the project coordination packet. Staff is recommending that the Planning Commission approve SUP-02-01 for the proposed minor amendment to the Special Use Permit for Ascension Lutheran Church, involving the installation of 93 additional parking spaces, 37 new bollard lights, additional parking lot landscaping, and an access gate along Hummingbird Lane, subject to the following stipulations.

1. The Special Use Permit for the proposed amendment shall be in substantial conformance with:
 - The Site Plan dated April 18, 2002, prepared by Evans, Kuhn, and Assoc., Inc.
 - The Landscape Plan dated May 28, 2002, prepared by Laskin and Assoc., Inc.-sheets LA-1 to LA-6.
 - The Electrical Plan dated July 26, 2002, prepared by Peterson Associates, --sheets ES-1 to ES-3.
 - The Grading and Drainage Plans dated July 23, 2002 prepared by Evans, Kuhn, and Assoc., Inc. – sheets C1.01 to C1.05.
2. The bollard lights shall not be lit before dusk or after 10 PM daily.
3. The improvements to Meadowlark Lane shall be completed within thirty-six months in coordination with the Town Engineer.
4. Decomposed granite shall be installed on the unimproved areas of the site that will be used for overflow parking. The granite shall be desert colored at a size acceptable to the Town Engineer.
5. The parking lot gate shall remain open during all church activities that require parking in the north lot.

Commissioner LeMarr inquired if the Applicant would have a problem if they shortened the time frame on improvements on Meadowlark Lane.

Parker Adeleman, Project Manager, stated the reason behind the request for 36 months to make the improvements on Meadowlark Lane is to allow the congregation time to get the financing in place.

Commissioner LeMarr inquired if the Applicant had an estimate for the cost of those improvements. Mr. Keil, General Contractor, stated he would estimate \$70,000 to \$100,000. Commissioner LeMarr stated he would estimate \$15,000 to \$20,000. He further stated they should look at the improvement of the asphalt and the curb from a safety perspective. Commissioner Mahrle stated he felt the 36-month time frame was appropriate.

Commissioner Werner stated the design as presented is fantastic and is a huge improvement. He expressed his concern that as you drive through you would be at eye level with the bollard fixtures and the Applicant might want to consider alternatives for down lighting the bollards. He stated he would request the Applicant look at using low

pressure sodium lights that would create a softer light background and protect the night sky, which is in concert with the General Plan. Scott Gray stated the lighting is designed to go down and out. He stated he felt the high sodium works for what they are trying to accomplish.

Commissioner Werner suggested moving the bollard location in the south parking lot to the end of the parking island. Mr. Adeleman stated they would make that adjustment.

Commissioner Werner remarked he knows the Commission has stipulated in other SUP cases that low-pressure sodium lights are required. He further remarked he would hate to diverge from that.

Mr. Adeleman presented information on their budget for landscaping and hard scape improvements.

Mr. Adeleman reported a neighborhood meeting was held at the church. The Neighborhood concerns included lighting and landscaping. Those concerns have been addressed.

Commissioner Strom requested information on the lighting zones. Mr. Adeleman provided an overview of the zones. He reported one parking lot would be manually controlled. Commissioner Strom expressed his concerns regarding the lighting being manually controlled. He suggested it be stipulated that all light fixtures be on automatic timers.

Chairman Campbell asked Commissioner Linthicum if it would be economical to complete that perimeter landscaping concurrent with the hard scape improvements. Commissioner Linthicum replied that would be the most efficient approach. A discussion ensued that the improvements on Meadowlark are only ten percent of the budget.

Commissioner Werner stated regarding overflow parking the Commission should consider stipulating that all overflow parking must be accessible by drive curb cuts. It was noted that landscaping along that frontage should keep people from driving through it to get out.

Commissioner Werner stated the gatehouse should be located 30-feet back of the existing curb. Mr. Adeleson provided an overview of how the gate would be used.

(There was no public testimony.)

Mr. Davis remarked Commissioner Strom had indicated in study session that he lived in this neighborhood. He requested Commissioner Strom state on the record that he does not have a conflict of interest.

Commissioner Strom state he lives at 6543 E. Meadowlark Lane. He further stated he felt he could be fair and impartial in his decision.

Commissioner Werner moved to approve SUP-02-01 for the proposed minor amendment to the Special Use Permit for Ascension Lutheran Church, involving the installation of 93 additional parking spaces, 37 new bollard lights, additional parking lot landscaping, and an access gate along Hummingbird Lane, subject to the five stipulations as noted and with the following additional stipulations:

6. The location of the bollards in the south parking lot are lowered and moved to the end of the parking island similar to those in the north parking lot.
7. All new parking lot bollard light fixtures shall be low-pressure sodium light sources.
8. All light fixtures will be will be on automated timers.
9. All overflow parking must be accessible via drive curb cuts as shown in sheet C-1.
10. The north gate will be located 30-feet back of the existing curb as shown on sheet C-1.

Commissioner Werner stated he would defer to Commissioner LeMarr for the existing stipulations.

Commissioner LeMarr seconded the motion with the following additions and amendments to the stipulations:

Revision to Stipulation No. 3 that the improvement to Meadowlark Lane is completed within close proximity of the parking lot improvements.

11. Extend the landscaping design from the west end of the property to the south end side of the property boundary on the north side of Meadowlark Lane in keeping with the approved landscape plan.
12. To allow the Applicant to delay the interior landscaping portion of the plan but complete the perimeter landscaping concurrent with the hard scape improvements.

Commissioner Werner stated he would accept those additions to the motion.

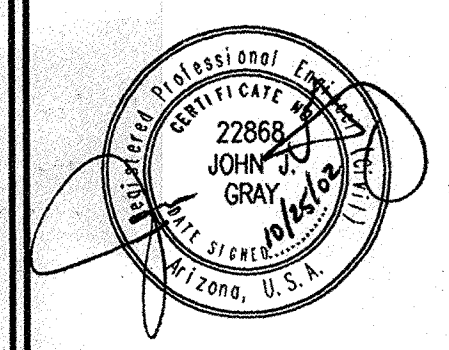
The motion passed by a vote of seven (7) to zero (0).

FUTURE AGENDA ITEMS

Mr. Arshadi stated the Commission would review the Hillside Code at the December 3 and January 7 meetings.

SITE PLAN
ASCENSION LUTHERAN CHURCH
7100 NORTH MOCKINGBIRD LANE
PARADISE VALLEY, ARIZONA

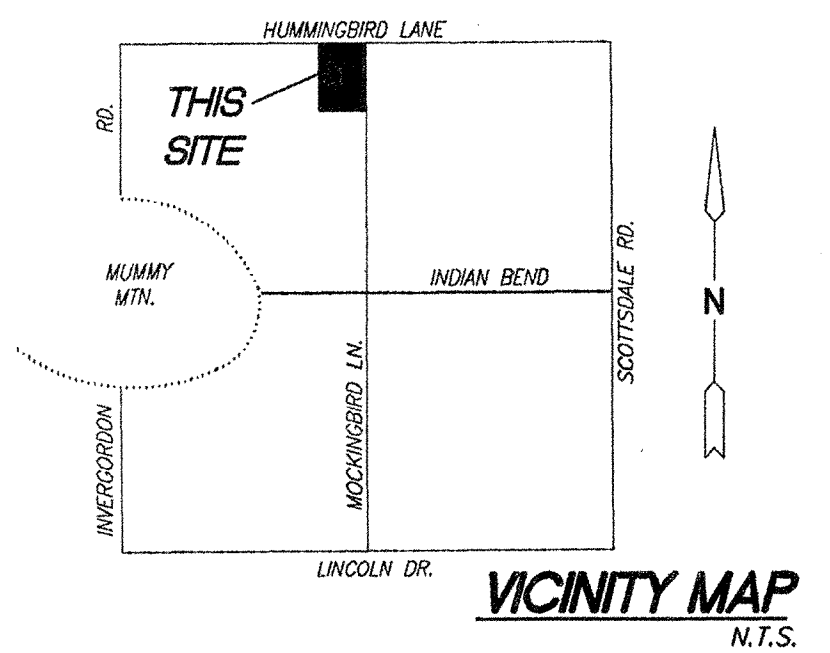
REVISIONS	
DRAWING STATUS:	



DATE ISSUED	04/18/02
DESIGNED BY	JAG
DRAWN BY	JAG
CHECKED BY	JAG
PROJECT NO.	4929
DRAWING NO.	C-1.00

C-1.00
SITE PLAN
1"=40'

SPECIAL USE PERMIT
MINOR AMENDMENT



OWNER/ SITE ADDRESS

ASCENSION LUTHERAN CHURCH
7100 NORTH MOCKINGBIRD LANE
PARADISE VALLEY, ARIZONA 85263

CLIENT

CCG CONSTRUCTION, LLC
3333 EAST CAMELBACK RD.
SUITE 250
PHOENIX, ARIZONA 85018

ENGINEER

EVANS, KUHN & ASSOCIATES
727 EAST BETHANY HOME ROAD
SUITE D-225
PHOENIX, ARIZONA 85014

LEGAL DESCRIPTION

LOT 1 OF MEADOWLARK ACRES ACCORDING TO BOOK 194 PAGE 11
RECORDS OF MARICOPA COUNTY, ARIZONA

AREA INFORMATION AND PROJECT DATA

AREA=275,250 sq. ft. = 6.32 acres
ALLOWABLE HEIGHT = 75 FEET
ACTUAL BUILDING HEIGHT = 57 FEET
ALLOWABLE SPIRE HEIGHT = 100 FEET
ACTUAL SPIRE HEIGHT = 100 FEET
TOTAL FLOOR AREA = 15,823 sq. ft.
TOTAL FOOTPRINT AREA = 11,691 sq. ft.
LOT COVERAGE = 4.25%
ALLOWABLE COVERAGE = 20%
NORTH PARKING AREA = 70,656 sq.ft.
NORTH PARKING AREA LANDSCAPE = 18,130 sq.ft. = 25.7%
SOUTH PARKING AREA = 28,346 sq.ft.
SOUTH PARKING AREA LANDSCAPE = 10,130 sq.ft. = 35.7%

SUMMARY OF THE PARKING CALCULATIONS

PARKING ALLOWED		
TOTAL NUMBER OF SEATS IN THE SANCTUARY AT BUILD-OUT, PROVIDE ONE SPACE PER THREE SEATS (PER SECTION 6 OF THE ZONING ORDINANCE)	800 SEATS	266 SPACES
TOTAL ALLOWED		266 SPACES

EXISTING PARKING

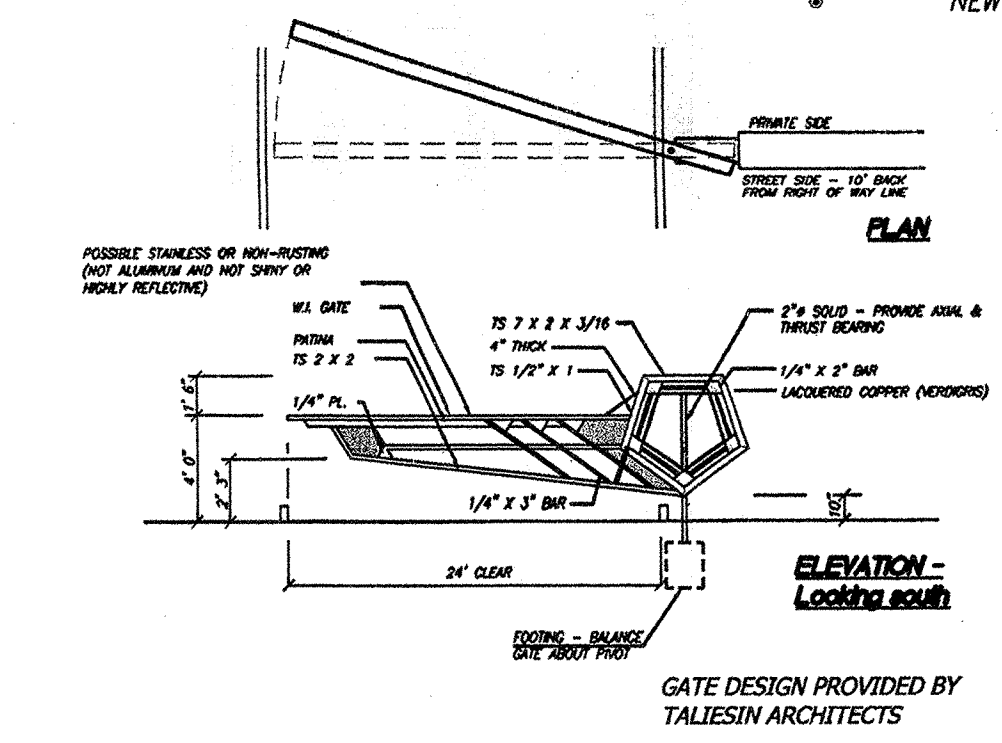
NORTH LOT	69 SPACES
SOUTH LOT	42 SPACES
ACCESSIBLE	3 SPACES
TOTAL	114 SPACES

PARKING TO BE PROVIDED

NORTH LOT	158 SPACES
SOUTH LOT	42 SPACES
ACCESSIBLE	7 SPACES
TOTAL	207 SPACES

LEGEND

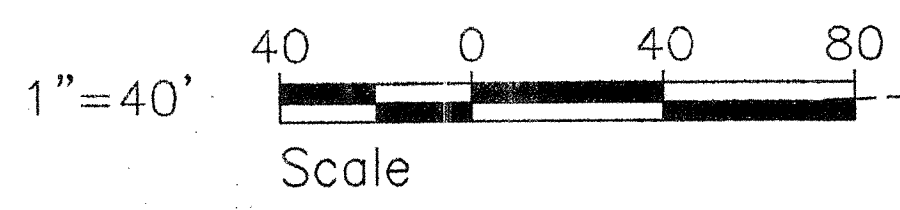
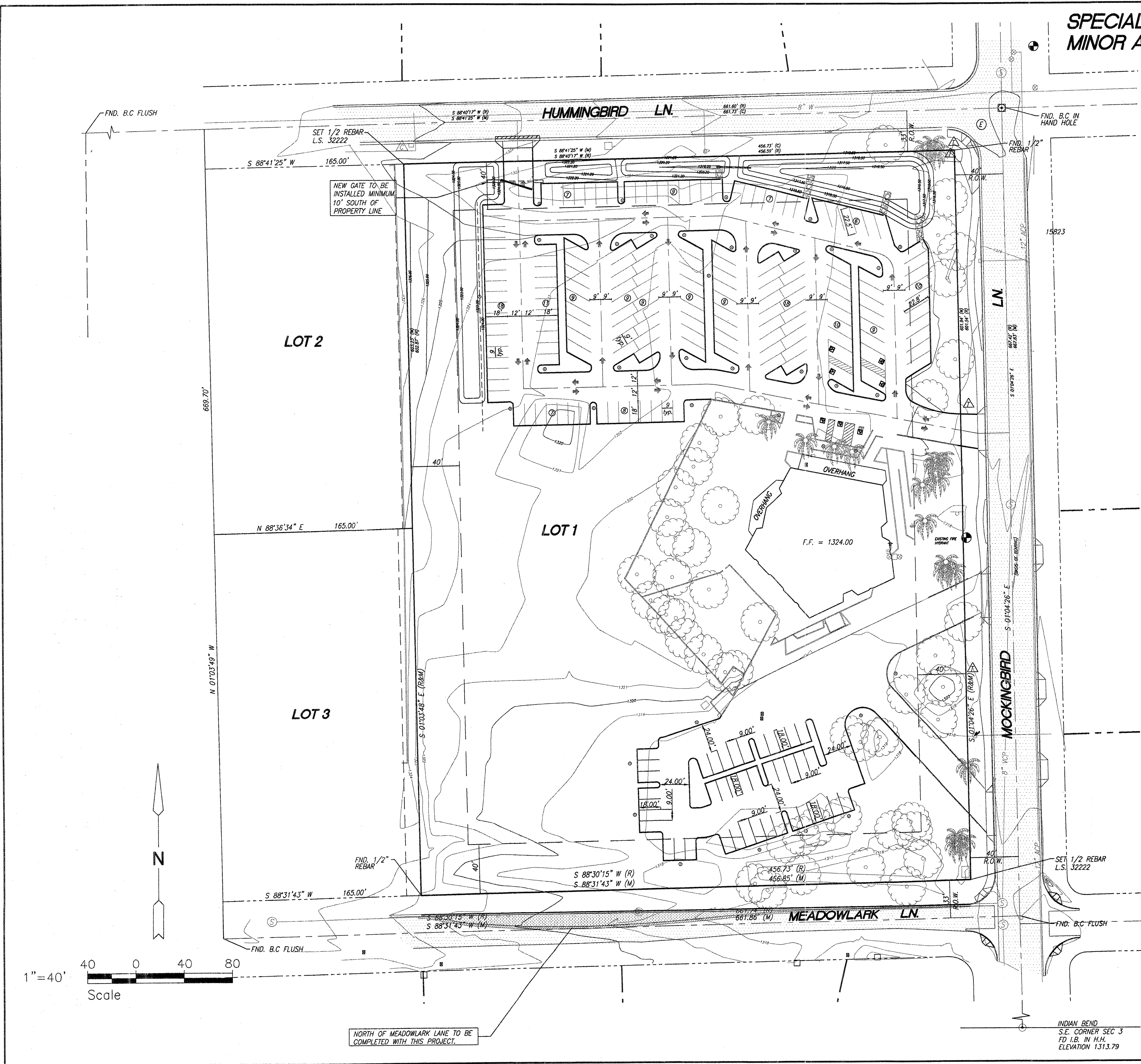
- MONUMENT LINE/CENTERLINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- EASEMENT LINE
- ELECTRIC LINE
- GAS LINE
- SEWER LINE
- WATER LINE
- EXISTING CONCRETE
- EXISTING PAVEMENT
- BRASS CAP FLUSH
- BRASS CAP IN HANDHOLE
- FOUND 1/2" REBAR
- SANITARY SEWER MANHOLE
- ELECTRIC MANHOLE
- WATER VALVE
- FIRE HYDRANT
- TELEPHONE PEDESTAL
- M.C.R. MARICOPA COUNTY RECORDS
- (R) RECORD COURSE
- (C) CALCULATED COURSE
- (M) MEASURED COURSE
- B.S.L. BUILDING SETBACK LINE
- NEW PARKING LOT BOLLARD LIGHTS



GATE DESIGN PROVIDED BY
TALIESIN ARCHITECTS

CALL TWO WORKING DAYS
BEFORE YOU DO
263-1100
HISE MARICOPA COUNTY

EXTERNAL DRAWINGS



NORTH OF MEADOWLARK LANE TO BE
COMPLETED WITH THIS PROJECT.

INDIAN BEND
S.E. CORNER SEC 3
TD 1.8 IN H.H.
ELEVATION 1313.79

EXISTING LANDSCAPE AND IRRIGATION NOTES:

1. Site verify all existing conditions prior to bidding. Any discrepancies are to be brought to the Landscape Architect immediately.

2. All plant material designated as "existing to remain" shall be protected during all phases of construction. Any tree that dies due to lack of water, lack of maintenance or care, neglect or vandalism shall be replaced by a like type tree, (minimum 48" box). At no additional cost to owner. Palms that die shall be replaced with like type, height and size. All shrubs and groundcover shall be replace with 5 gallon plants.

3. Landscape areas disturbed by new construction shall be repaired with new decomposed granite matching existing. Blend all disturbed areas with undisturbed so there is smooth transition between all edges. Replace all disturbed, broken or damaged headers with matching type.

4. All existing plant material and adjacent plant material shall have uninterrupted watering during all phases of construction. This shall include but not be limited to; hand watering, temporary above ground irrigation, existing system ... etc.
5. The existing irrigation system shall be protected, maintained and repaired during all phases of construction. The existing system is tied in adjacent properties. All equipment such as mainline, wires, lateral heads and etc. shall be repaired and replaced to maintain continuous water.

6. Provide new schedule 40 sleeves at all new drives. (See sleeve schedule for size.) Any existing irrigation system is to be maintained at all times during construction and guarantee 100% coverage.

7. All existing trees to remain, shall be selectively pruned per Landscape Architects direction.

8. All existing shrubs within the sight distance lines and sight visibility triangles shall be selectively pruned to a maximum height of 30" at maturity.

9. All trees shall be lifted to clear height of 7'.

GENERAL LANDSCAPING NOTES

1. The Landscape Architect, or his representative, reserve the right to refuse any plant materials he deems unacceptable. (See specifications)

2. Site verify all conditions prior to bidding and start of construction. Any discrepancies are to be brought to the attention of the L.A. in writing immediately.

3. The Landscape Architect is to approve any and all substitutions.

4. Plant list provided for contractor's convenience only. Plans take precedence.

5. Double stake all 15 gallon, 24", and 36" box trees as required.

6. Sprinkler Contractor must guarantee 100% coverage in all landscape areas.

7. Soil shall be raked and free from rocks, roots, weeds, etc.

8. Finished grade in groundcover, granite and lawn areas shall be 1" below adjacent header, paving, curbing, etc.

9. Plants shall be quality material having a growth habit which is normal for the species and be sound, vigorous, healthy, and free from insects and injury.

10. Groundcover and/or decomposed granite shall extend under shrubs unless noted.

11. After all work is completed, the contractor shall remove all materials not incorporated in the Scope of Work from the job site.

12. Grading shall include all excavation, settlement, handling, import, distribution, transportation, and disposal necessary to bring ground to finish grade as shown on the plan. (once general contractor has provided finish grade within 1/10 of 1')

13. All earthwork is to be done so that all water drains away from all structures.

14. A pre-emergent herbicide is to be applied to all granite areas before and after the granite has been laid. Include all river rock areas.

15. All underground conduits are to be located before digging. If doubt exists coordinate with the general contractor and call Blue Stake at (602) 263-1100.

16. All material to be guaranteed for a period of one (1) year after final acceptance.

17. Landscape contractor shall provide arbor guards to all trees located in turf areas.

18. Contractor is responsible for all required sleeving whether it is shown on the plans or not.

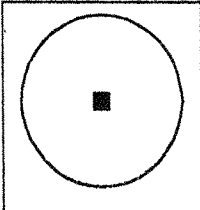
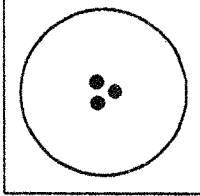
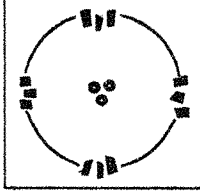
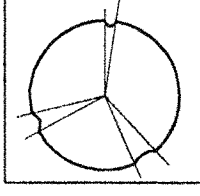
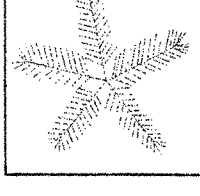
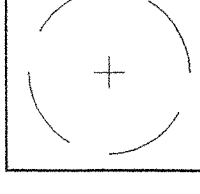
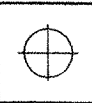


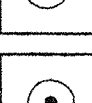

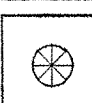

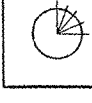


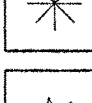
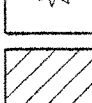


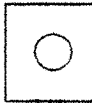
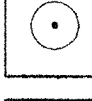



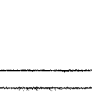
19. Landscape Architect to approve all mounding and grades prior to planting.

20. Landscape Architect to approve placement of all trees, salvaged material and boulders prior to installation.

21. All correspondence with the Landscape Architect shall be done in writing through the general contractor. No exceptions!

LANDSCAPE LEGEND

ALL TREES TO MEET OR EXCEED A.N.A. SPECIFICATIONS
(U.O.N. - UNLESS OTHERWISE NOTED)

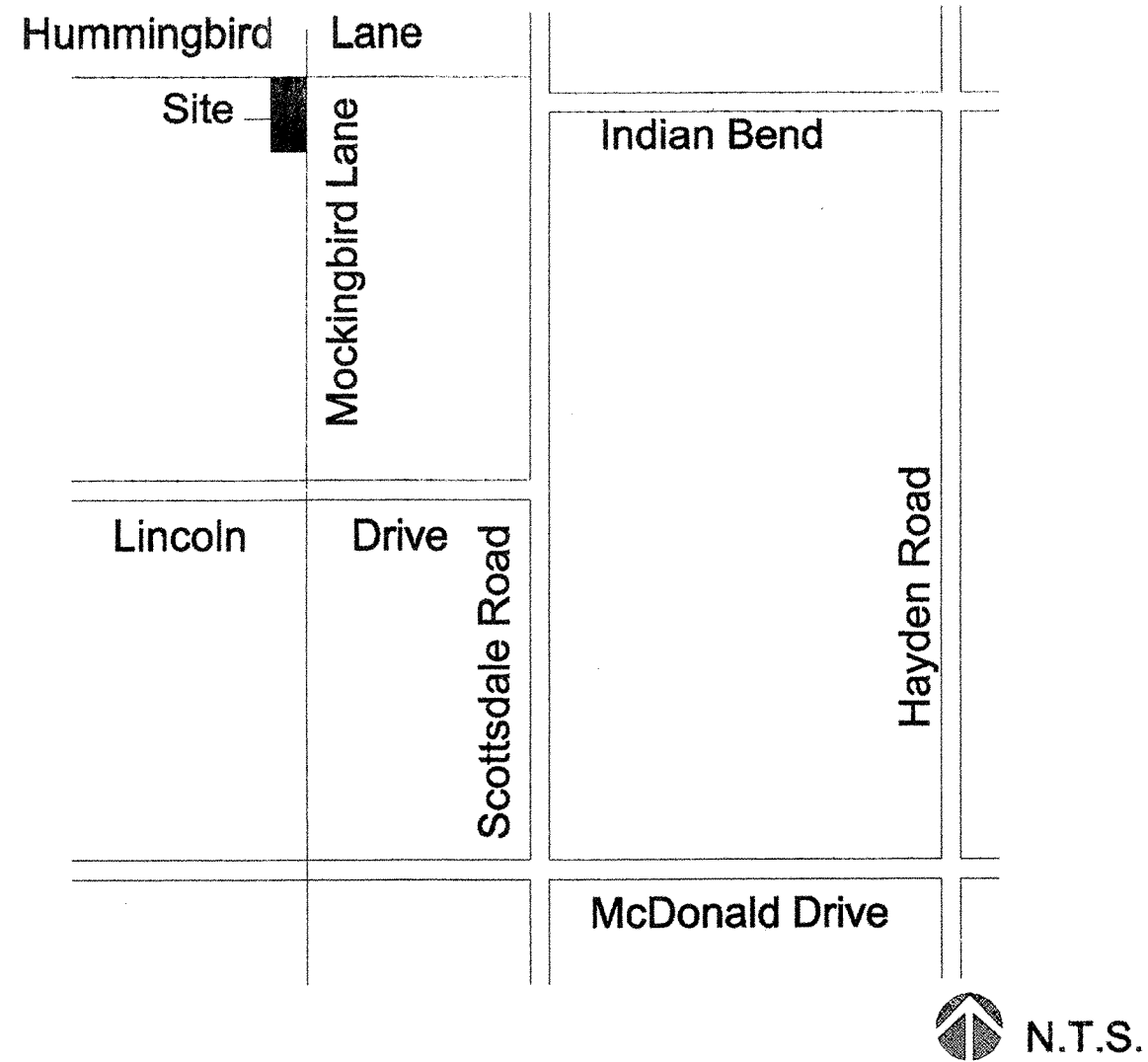
TREES	SIZE	QTY.
 Desert Museum Cercidium hybrid	24" Box u.o.n.	14
 Thornless Honey Mesquite Prosopis grandulosa grandulosa	24" Box u.o.n.	33
 Ironwood Olneya tesota	24" Box u.o.n.	10
 Sweet Acacia Acacia farnesina	24" Box u.o.n.	5
 Existing Palm to remain		
 Existing Tree to remain		
SHRUBS	SIZE	
 Mexican Bird of Paradise Caesalpinia mexicana	5 Gallon	
 Green Cassia Cassia nemophila	5 Gallon	
 Valentine's Bush Eremophyla "valentine"	5 Gallon	
 Green Cloud Sage Leucophyllum frutescens	5 Gallon	
 Fairy Duster Calliandra eriophylla	5 Gallon	
 Red Yucca Hesperaloe parviflora	5 Gallon	
 Brittlebush Encelia farinosa	5 Gallon	
 Desert Globemallow Sphaeralcea ambigua	5 Gallon	
 Golden Eye Viguira multiflora	1 Gallon	
 Desert Marigold Baileyia multiradiata	1 Gallon	
GROUNDCOVERS/ACCENTS		
 Desert Spoon Dasylirion wheeleri	5 Gallon	
 Agave sp. Agave murpheyi	5 Gallon	
 Peruvian Verbena Verbena peruviana	1 Gallon	3' o.c.
 Mexican Evening Primrose Oenothera berlandieri	1 Gallon	3' o.c.
 Gold Mound Lantana Lantana montivdensis "Gold Mound"	1 Gallon	3' o.c.
 Sierra Gold Dalea Dalea capitata	1 Gallon	
 Dwarf Trailing Acacia Acacia redolens "Desert Carpet"	1 Gallon	
 Fishhook Barrel Ferocactus wislizeni	3' min.	
 Decomposed Granite	3/4" Minus "Madison Gold", 2" minimum thickness in all landscape areas. (Match existing)	
 Surface Select Granite Boulders	3'x3'x3' 2700 lbs. min.	

IRRIGATION LEGEND

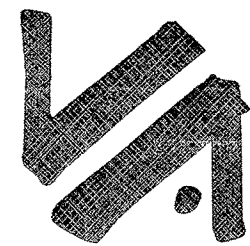
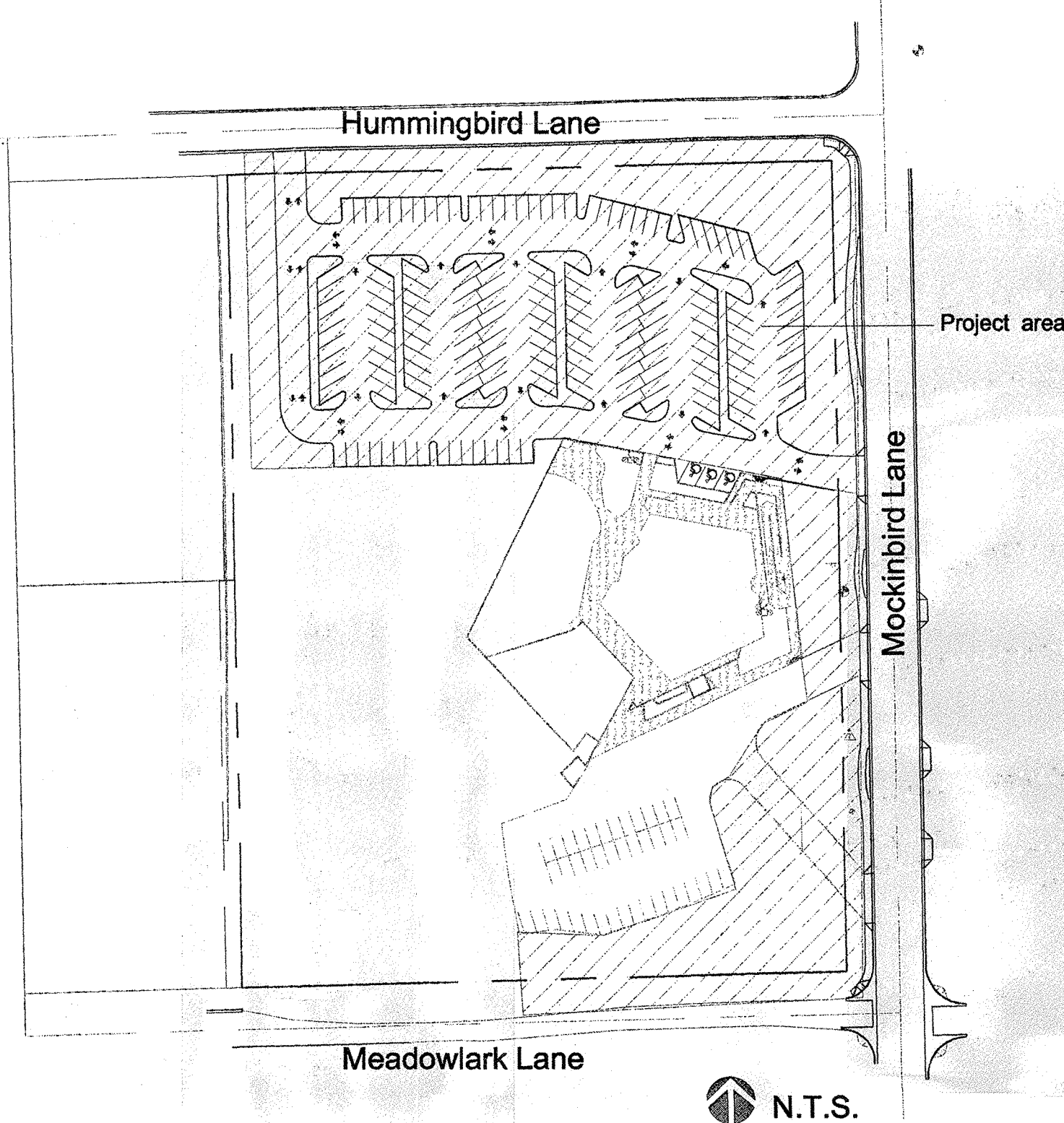
Sch 40 PVC Sleeve
(Size Per Sleeving Schedule)

SLEEVEING SCHEDULE: Contractor is responsible for all sleeving whether shown or not.
Mainline Sleeves
Drip Lateral Sleeves
Lateral From Valve To Regulators
Wires

Vicinity Map



Site Plan



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Ascension Lutheran Church
Parking Lot Extension
7100 N. Mockinbird Lane, Paradise Valley, Arizona
Cover Sheet

DRAWN

SL

CHECKED

HAL

SHEET SCALE

1"=20'

DATE

05.28.02

REVISIONS

07.22.02

CITY NUMBERS

SHEET NUMBER

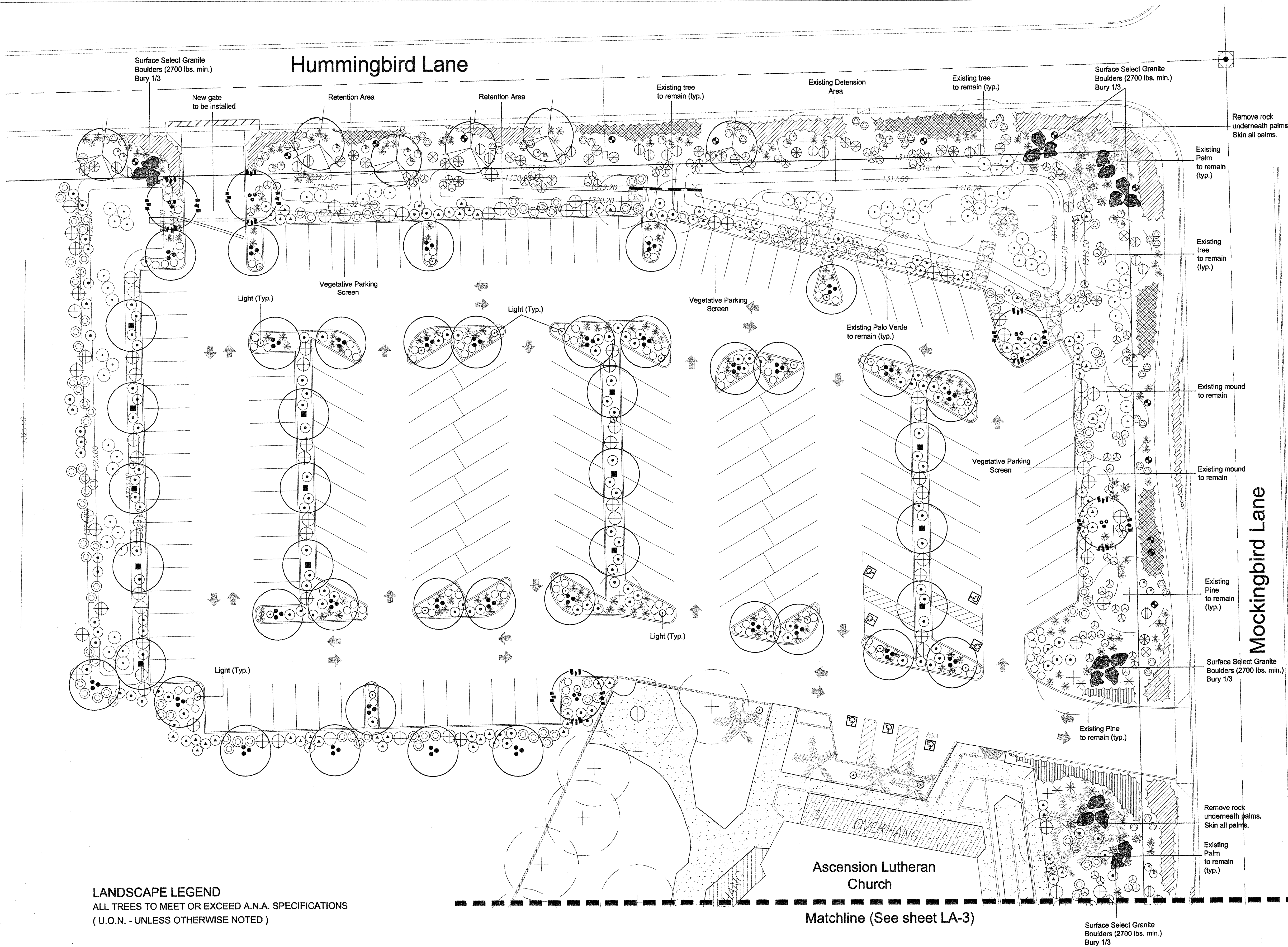
LA-1

1

of

6

263-1100
Blue Stake Company
GRAPHIC COLLECTION



NOTES:

1. Leave all existing river rock in place.
2. Remove all existing shrubs.
3. Trim and prune existing trees.
4. All of the mounds to be 36" high, including plantings.

LANDSCAPE LEGEND (CONT.)

ALL TREES TO MEET OR EXCEED A.N.A. SPECIFICATIONS
(U.O.N. - UNLESS OTHERWISE NOTED)

SHRUBS	SIZE
Mexican Bird of Paradise <i>Caesalpinia mexicana</i>	5 Gallon
Green Cassia <i>Cassia nemophila</i>	5 Gallon
Valentine's Bush <i>Eremophylla "valentine"</i>	5 Gallon
Green Cloud Sage <i>Leucophyllum frutescens</i>	5 Gallon
Fairy Duster <i>Calliandra eriophylla</i>	5 Gallon
Red Yucca <i>Hesperaloe parviflora</i>	5 Gallon
Brittlebush <i>Encelia farinosa</i>	5 Gallon
Desert Globemallow <i>Sphaeralcea ambigua</i>	5 Gallon
Golden Eye <i>Viguiera multiflora</i>	1 Gallon
Desert Marigold <i>Baileya multiradiata</i>	1 Gallon

GROUNDCOVERS/ACCENTS

Desert Spoon <i>Dasyliion wheeleri</i>	5 Gallon	
Agave sp. <i>Agave murpheyi</i>	5 Gallon	
Peruvian Verbena <i>Verbena peruviana</i>	1 Gallon	3' o.c.
Mexican Evening Primrose <i>Oenothera berlandieri</i>	1 Gallon	3' o.c.
Gold Mound Lantana <i>Lantana montividenis "Gold Mound"</i>	1 Gallon	3' o.c.
Sierra Gold Dalea <i>Dalea capitata</i>	1 Gallon	
Dwarf Trailing Acacia <i>Acacia redolens "Desert Carpet"</i>	1 Gallon	
Fishhook Barrel <i>Ferocactus wislizeni</i>	3' min.	
Decomposed Granite 3/4" Minus "Madison Gold" 2" minimum thickness in all landscape areas. (Match existing)		
Surface Select Granite Boulders in all landscape areas.	3'x3'x3' 2700 lbs. min.	

LANDSCAPE LEGEND

ALL TREES TO MEET OR EXCEED A.N.A. SPECIFICATIONS
(U.O.N. - UNLESS OTHERWISE NOTED)

TREES	SIZE	QTY.
Desert Museum <i>Cercidium hybrid</i>	24" Box u.o.n.	14
Thornless Honey Mesquite <i>Prosopis grandulosa grandulosa</i>	36" Box u.o.n.	33
Ironwood <i>Olneya tesota</i>	36" Box u.o.n.	10

TREES	SIZE	QTY.
Sweet Acacia <i>Acacia farnesina</i>	36" Box u.o.n.	5
Existing Palm to remain		
Existing Tree to remain		

Matchline (See sheet LA-2)

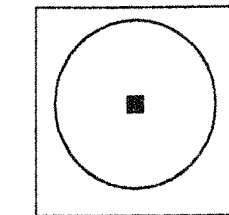
Ascension Lutheran Church

Mockingbird Lane

Meadowlark Lane

LANDSCAPE LEGEND
ALL TREES TO MEET OR EXCEED A.N.A. SPECIFICATIONS
(U.O.N. - UNLESS OTHERWISE NOTED)

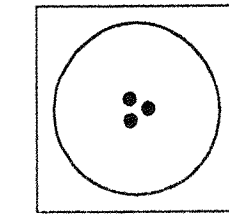
TREES SIZE QTY.



Desert Museum
Cercidium hybrid

24" Box u.o.n.

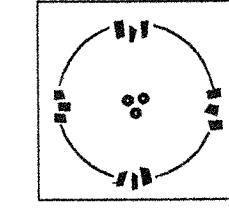
14



Thornless Honey Mesquite
Prosopis grandulosa grandulosa

36" Box u.o.n.

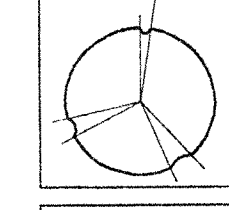
33



Ironwood
Olneya tesota

36" Box u.o.n.

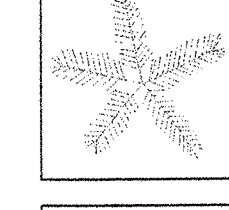
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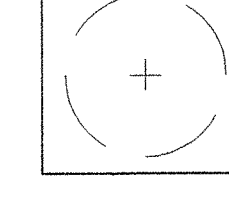
Sweet Acacia
Acacia farnesina

36" Box u.o.n.

5



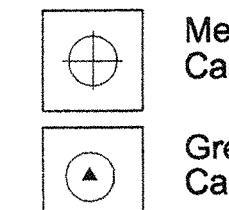
Existing Palm
to remain



Existing Tree
to remain

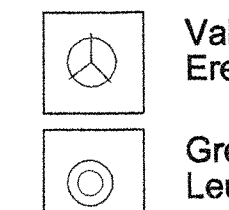
SHRUBS

SIZE



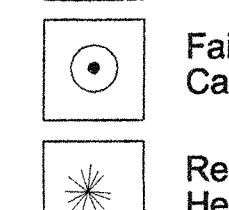
Mexican Bird of Paradise
Caesalpinia mexicana

5 Gallon



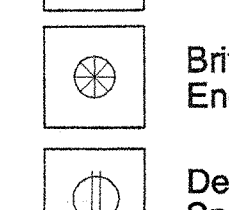
Green Cassia
Cassia nemophila

5 Gallon



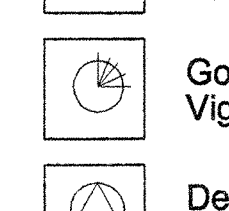
Valentine's Bush
Eremophylla "valentine"

5 Gallon



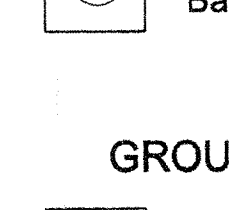
Green Cloud Sage
Leucophyllum frutescens

5 Gallon



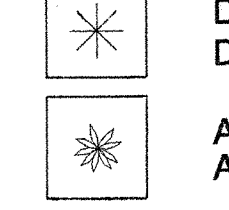
Fairy Duster
Calliandra eriophylla

5 Gallon



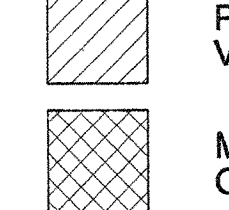
Red Yucca
Hesperaloe parviflora

5 Gallon



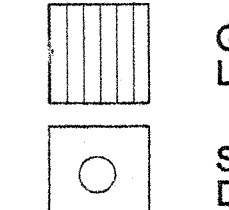
Brittlebush
Encelia farinosa

5 Gallon



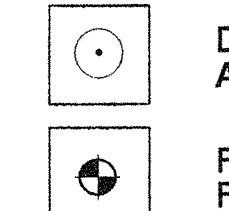
Desert Globemallow
Sphaeralcea ambigua

5 Gallon



Golden Eye
Viguiera multiflora

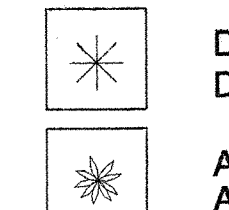
1 Gallon



Desert Marigold
Baileya multiradiata

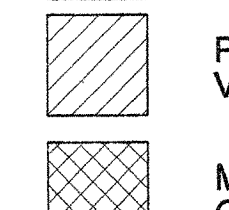
1 Gallon

GROUNDCOVERS/ACCENTS



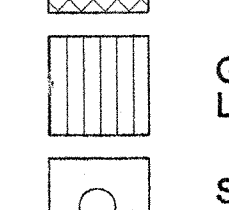
Desert Spoon
Dasylirion wheeleri

5 Gallon



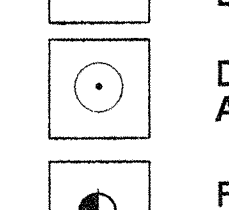
Agave sp.
Agave murpheyi

5 Gallon



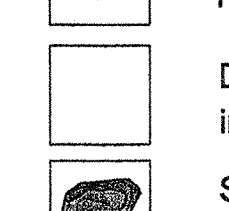
Peruvian Verbena
Verbena peruviana

1 Gallon



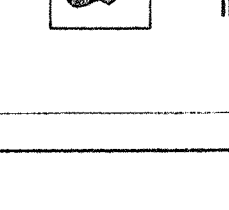
Mexican Evening Primrose
Oenothera berlandieri

1 Gallon



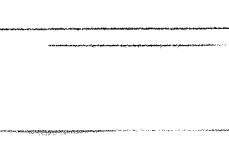
Gold Mound Lantana
Lantana montividenis "Gold Mound"

1 Gallon



Sierra Gold Dalea
Dalea capitata

1 Gallon



Dwarf Trailing Acacia
Acacia redolens "Desert Carpet"

1 Gallon

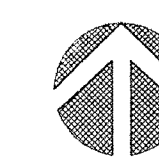
Fishhook Barrel
Ferocactus wislizeni

3' min.

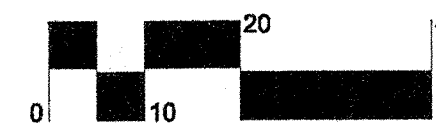
Decomposed Granite 3/4" Minus "Madison Gold", 2" minimum thickness
in all landscape areas. (Match existing)

Surface Select Granite Boulders
in all landscape areas.

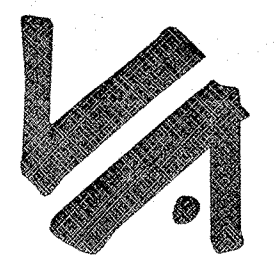
3'x3'x3'
2700 lbs. min.



Scale: 1" = 20'0"



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Ascension Lutheran Church
Parking Lot Extension
7100 N. Mockingbird Lane, Paradise Valley, Arizona
Landscape Plan

DRAWN
SL

CHECKED
HAL

SHEET SCALE
1"=20'

DATE
05.28.02

REVISIONS
1 07.22.02

CITY NUMBERS

SHEET NUMBER

LA-3

3
of
6

This is a detailed site plan for the Ascension Lutheran Church. The plan includes the following elements:

- Building:** The church building is located in the lower right portion of the plan. It features a main rectangular structure with a steeple and several smaller, attached sections. The roofline is indicated by a dashed line.
- Parking Lots:** There are two main parking areas. One is a large lot on the left side of the building, and the other is a smaller lot on the right side, adjacent to the building. Both lots are filled with diagonal lines representing parking spaces.
- Driveways and Access:** Several driveways and access points are shown, with arrows indicating the direction of traffic flow. These include a main entrance driveway from the left, a side driveway from the top, and a rear driveway from the right.
- Elevation Contours:** The plan includes numerous contour lines with numerical values such as 1316.50, 1317.50, 1318.50, 1319.50, 1320.20, 1321.20, 1322.20, 1323.00, 1324.00, and 1325.00. These lines represent the ground's elevation and are used to show the building's placement relative to the terrain.
- Other Features:** The plan also shows a "DRIVEWAY" label, a "PARKING" label, and a "DRIVEWAY" label. There are also several small circles and squares scattered throughout the plan, likely representing trees, shrubs, or other landscape features.

3"
3"
3"
3"

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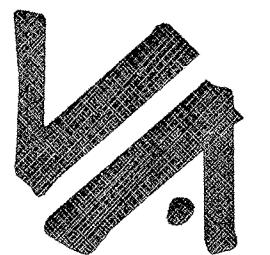
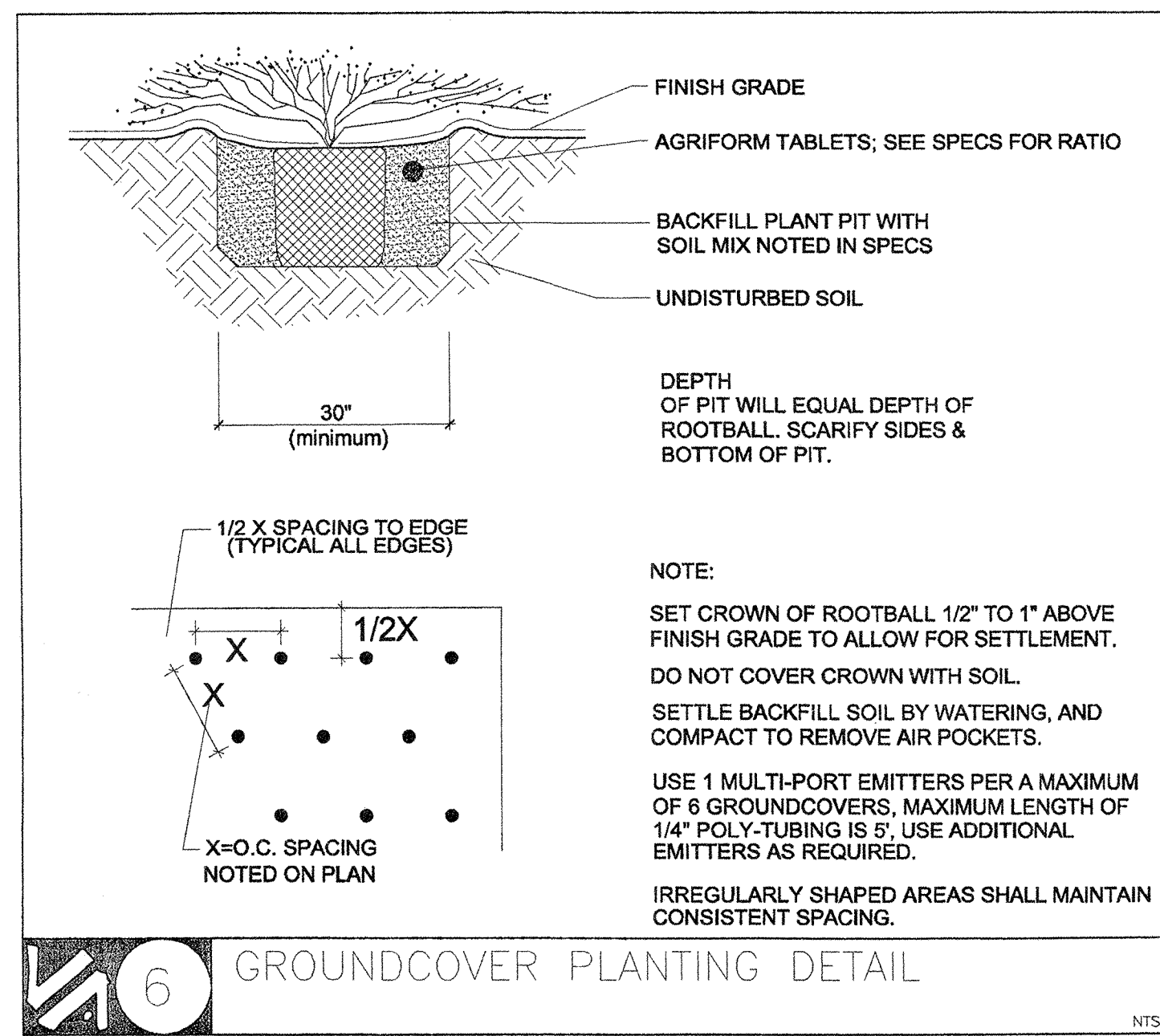
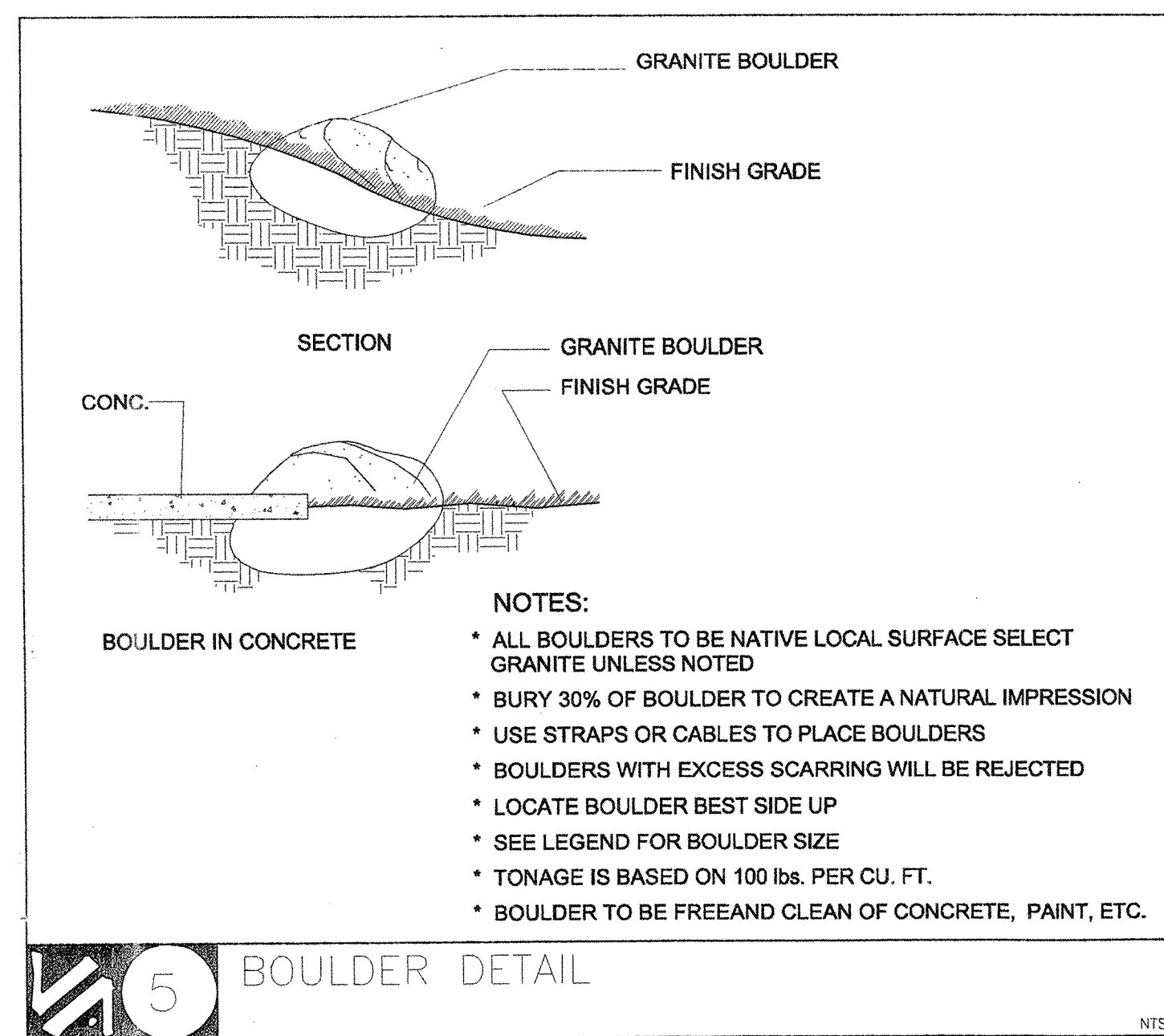
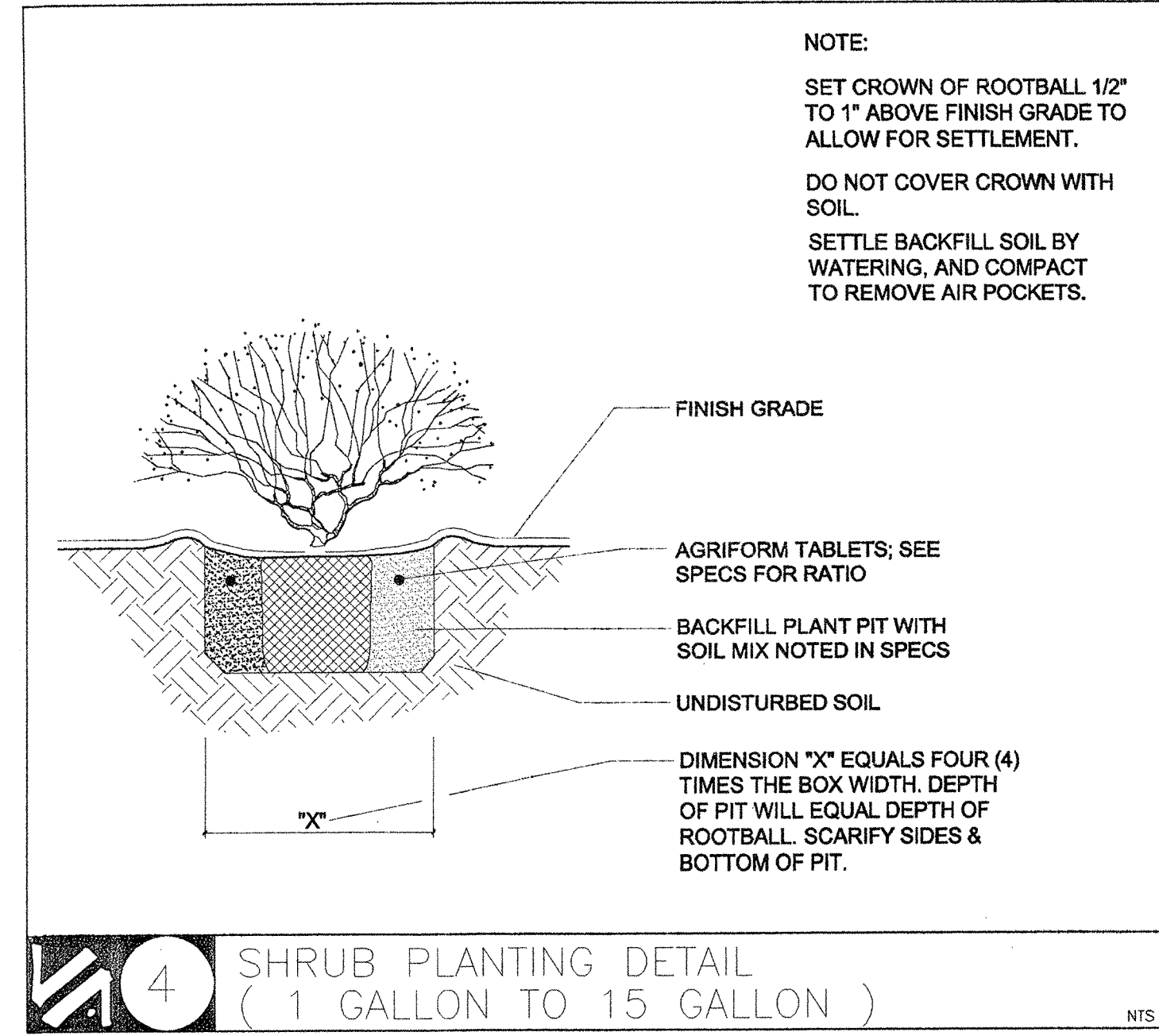
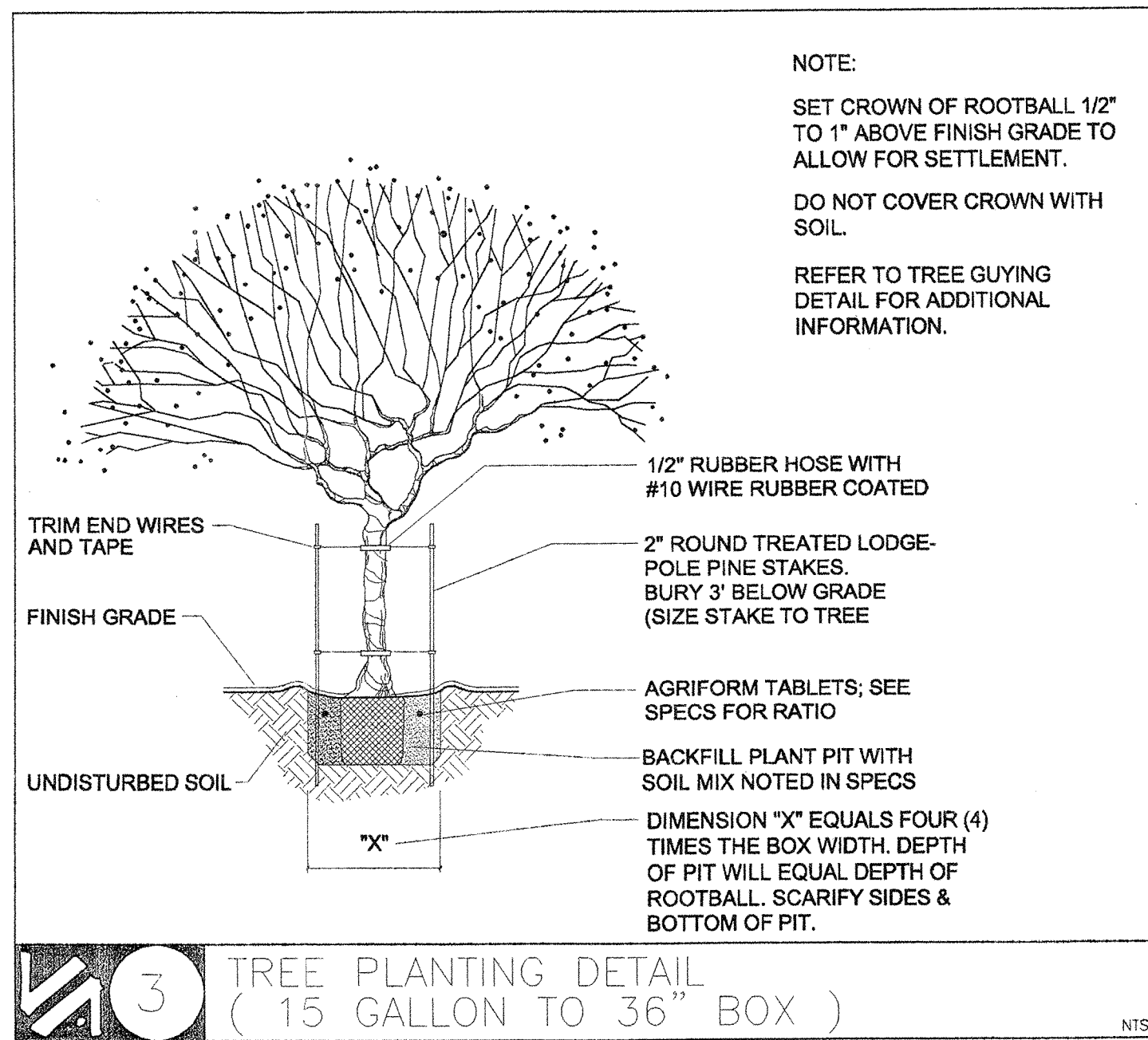
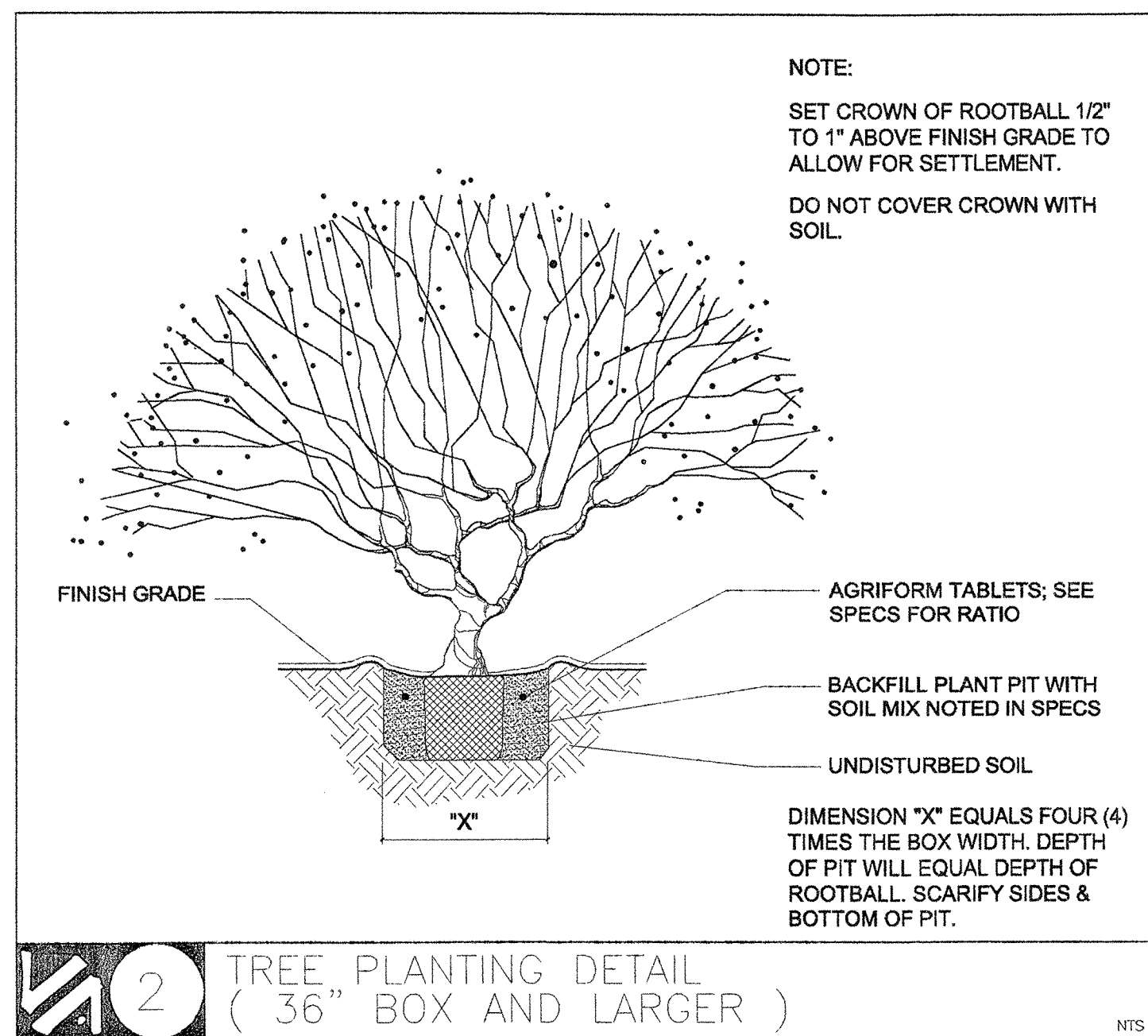
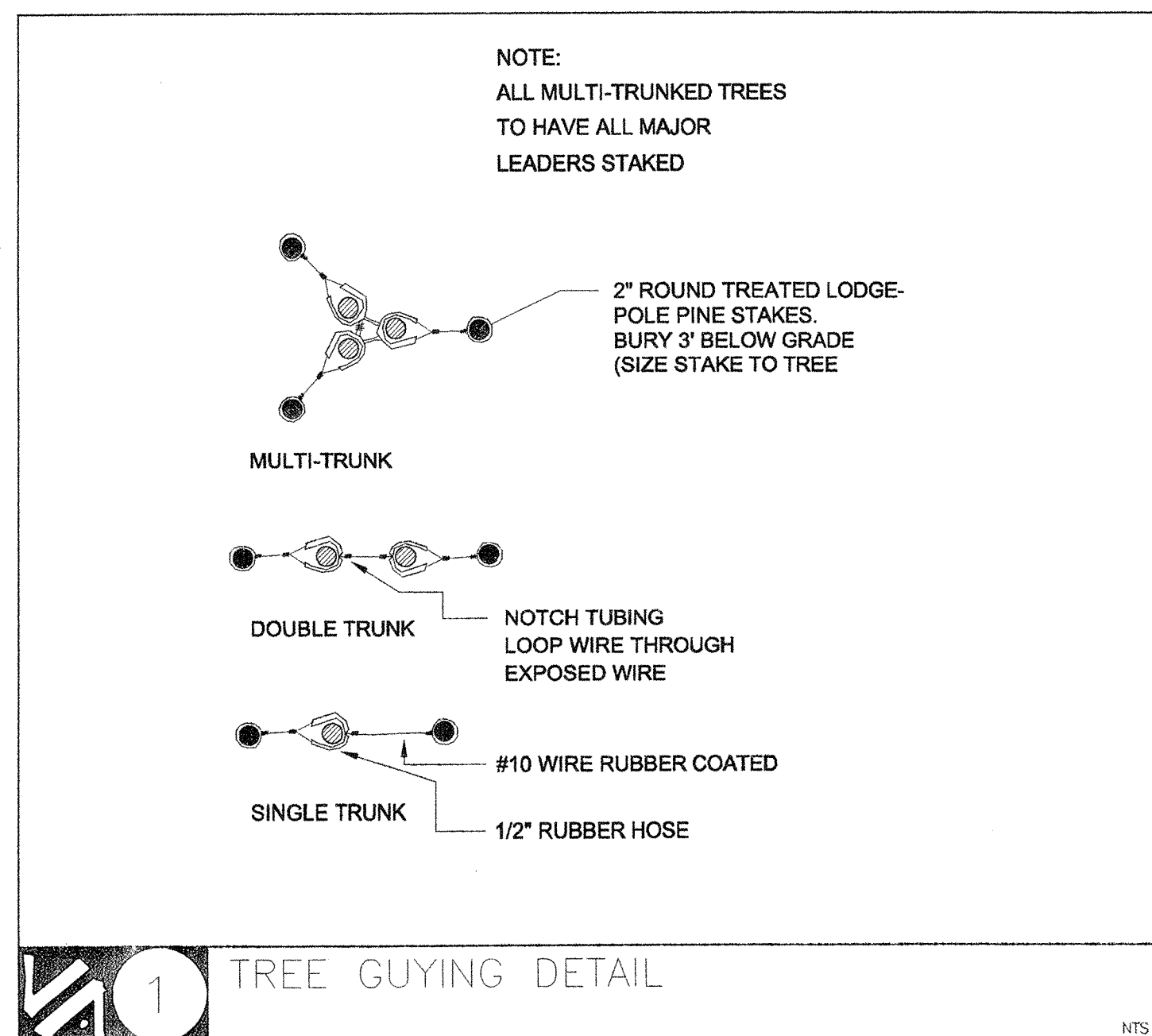
DRAWN
SL
CHECKED
HAL
SHEET SCALE
1"=20'
DATE
05.28.02
REVISIONS
07.22.02

CITY NUMBERS

SHEET NUMBER

LA-4
4
of
6

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Ascension Lutheran Church
Parking Lot Extension
7100 N. Mockingbird Lane, Paradise Valley, Arizona
Landscape Details

DRAWN

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HAL

SHEET SCALE

1"=20'

DATE

05.28.02

REVISIONS

07.22.02

CITY NUMBERS

SHEET NUMBER

LA-5

5

of

6

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PART 1 - GENERAL

1.01 WORK INCLUDED

A. The work included under these specifications shall consist of the furnishing of all labor, material, permits, tools and equipment necessary for the complete installation of the landscaping materials as shown on the drawings and as described in the following specifications.

1.02 QUALITY ASSURANCE

A. For standard products, the manufacturer's analysis will be acceptable. For all other materials, analysis shall be by a recognized laboratory.

B. Analysis shall be made in accordance with the current methods of the Association of Official Agricultural Chemists.

C. Soils shall be analyzed for their composition and fertility in sustaining plant growth and health.

D. All plants furnished under this specification shall be from nursery grown stock, and they must meet the ARIZONA NURSERY ASSOCIATION of the American Association of Nurserymen, Inc. requirements as to sizing, grading, and quality. Plant materials specified shall conform with the nomenclature of STANDARDIZED PLANT NAMES, Second Edition. The Landscape Architect reserves the right to refuse all plant material based on overall appearance and quality regardless of specifications.

E. Plants of the species specified shall be furnished in the variety, size, grade, and quality indicated. Specifications and planting plans shall be strictly adhered to and no changes or substitutions will be allowed prior to bidding without written permission of the Landscape Architect, Owner, or Owner's Representative.

F. By submitting a proposal and accepting award of the Contract, the Contractor acknowledges that he has investigated the supply of planting stock available and has obtained firm commitments from his suppliers assuring delivery of the specific plant materials as required for completion of the project.

G. All plant materials shall be grown in accordance with good horticulture practices and shall bear evidence of proper nursery care during growth under climate conditions similar to those in the locality of the project for at least two (2) years. They shall have been previously transplanted or stem pruned according to standard nursery practice and inspected by State Central Agencies.

H. All plants shall be freshly dug. No heeled in plant or plants from cold storage will be accepted. Plants shall be typical of their species or variety and have normal habits of growth, be healthy and vigorous, well branched, and have dense foliage when in leaf. All plants, including root systems, shall be free of disease, disfiguring knots, sunscald, insect pests, eggs or larvae, dead or broken branches, bark abrasions, and have healthy well developed root systems. The root systems of container grown plants shall be sufficiently developed to hold the earth intact upon removal from the container.

I. Planting, sodding, and seeding shall be performed by personnel familiar with planting procedures and under the supervision of a qualified planting foreman.

1.03 SUBMITTALS

A. Submit a soil fertility test of the planting soil for approval by the Landscape Architect prior to delivery of soil to the project site. Test reports shall indicate the location of the source for soil.

B. Upon completion of the work, submit a schedule satisfactory to the Landscape Architect for the maintenance of all plant material.

PART 2 - PRODUCTS

2.01 SOD

A. Approved nursery grade cultivated grass sod, species and cultivar as indicated on the drawings with strong, fibrous root system; free from stones and burned or bare spots.

2.02 PLANTING SOIL FOR PLANT PITS AND BEDS

A. Fertile, friable, natural loam containing a liberal amount of humus, capable of sustaining vigorous plant growth. The pH value of the planting soil shall not be higher than 7.5 or lower than 5.5. It shall be free of any admixture of subsoil, stones, lumps, clods of hard earth, plants, or their roots, sticks, and other extraneous matter. Do not use planting soil for planting operations while in a frozen or muddy condition.

2.03 PEAT

A. Acceptable peat moss consisting of at least 73% organic content of natural occurrence. It shall be brown, clean, low in content of mineral and woody materials, milky acid, and granulated or shredded.

2.04 FERTILIZER

A. Commercial Fertilizer: A complete fertilizer, conforming to FS 0-24-24, Type I, Grade A, part of the elements of which are derived from organic sources containing the following percentages by weight:

10% nitrogen 5% nitrogen
10% phosphoric acid -or- 10% phosphoric acid
10% potash 5% potash

B. Organic Fertilizer: An organic activated fertilizer containing a minimum of five percent (5%) nitrogen, three percent (3%) phosphoric acid, and other basic elements by weight.

C. Deliver fertilizer mixed as specified in standard size bags, showing weights, analysis, and name of manufacturer. Store in weatherproof storage place in such manner that it will be kept dry and its effectiveness not impaired.

D. The Landscape Architect reserves the right to vary the percentages of the components of the fertilizers subject to the results of the soil fertility tests.

2.05 WATER

A. Shall be furnished by the General Contractor. The Contractor shall furnish all necessary hose, equipment, attachments, and accessories for the adequate irrigation of all planted areas as may be required to complete the work as specified.

2.06 PLANT MATERIAL

A. All old abrasions and cuts shall be completely calloused over. All shrubs shall be measured when their branches are in their normal position. Height and spread dimensions specified refer to the main body of the plant and not from branch or root tip to tip.

B. Shrubs shall be matched specimens from single block source.

C. Evergreen trees not fully branched from top to bottom will be rejected, and those with terminal leaders exceeding twelve (12") inches in length will also be rejected. During the spring planting seasons, any evergreen plant delivered with new growth in an advanced stage of candling out will be rejected.

D. Plants shall not be pruned before delivery. Trees which have damaged or crooked leaders, or multiple leaders, unless specified, will be rejected. Trees with bark abrasions, sunscalds, disfiguring knots, or fresh cuts of limbs over one and a quarter inches (1 1/4") which have not completely calloused will be rejected. Plants shall be freshly dug or container grown. Heeled in plants or plants from cold storage will not be accepted.

E. Plants shall be true to species and variety, and shall conform to measurements specified on the Drawings. Plants larger than specified may be used if approved by the Landscape Architect. Use of such plants shall not increase contract price. If larger plants are approved, the ball of earth shall be increased proportionally with the size of plant.

F. Substitutions of plant materials will not be permitted unless authorized in writing by the Landscape Architect. Proof must be submitted that use of nearest equivalent size of variety with corresponding adjustment of Contract Price. Such proof shall be substantiated and submitted in writing.

G. It shall be the responsibility of the Contractor to determine required quantities of plants, as no compensation will be made for error in plant quantities. If plant counts occur on plant legend, it is for the convenience of the contractor only. Verify plant counts with plan. In case of discrepancy, plan shall govern.

H. Each plant shall be properly identified with legible waterproof tags securely fastened. Tags shall remain on the plants until after final acceptance and then be promptly removed by the Contractor.

PART 3 - INSTALLATION

3.01 INSPECTION OF PLANT MATERIAL

A. Plants shall be subject to inspection and approval by Landscape Architect at place of growth and upon delivery. Written request for inspection of plant materials at place of growth shall be submitted to the Landscape Architect at least ten (10) calendar days prior to delivery. This written request shall state place of growth and quantity of plants to be inspected. Landscape Architect reserves the right to waive inspection. Such approval shall not impair the right of inspection and rejection upon delivery at the project site or during the progress of the work for size and condition of balls or roots, diseases, insects, and latent defects or injuries. Rejected plants must be immediately removed from the project site.

B. Certificates of inspection of plant materials as may be required by Federal, State or other authorities to accompany shipments and be furnished to Owner upon completion of project.

3.02 DIGGING AND HANDLING

A. Digging shall be done the same season of planting and shall be done by hand as to not injure plants and to meet size requirements. No plant other than the required samples shall be dug or delivered to the site until the required inspections have been made and the plants or samples approved.

B. Dig balled and burlapped (BB) plants with firm, unbroken natural balls of earth, of sufficient diameter and depth to include the fibrous and feeding roots. No synthetic or mudded in balls will be accepted. No plants moved with a ball will be accepted if the ball is cracked or broken before or during planting operations.

C. Roots or ball of all plants shall be adequately protected at all times from excessive exposure to wind, sun, rain, hail, etc. Balled and burlapped plants that cannot be planted immediately on delivery shall be set on the ground and well protected with soil, wet moss or other acceptable insulating material. Bare rooted plants shall be planted or heeled in immediately upon delivery.

D. All plant material shall be handled carefully to prevent injury to rootballs, trunks, or branches. Any plant suffering damage sufficient to impair its health and/or natural form will be rejected. No plant shall be bound with wire or rope at any time so as to damage the bark or break branches.

3.03 FERTILIZING SOD SUBSOIL

A. Apply fertilizer at a rate recommended by manufacturer. Apply after line grading and prior to compaction. Mix thoroughly into upper two (2") inches of topsoil.

B. Lightly water to aid the breakdown of fertilizer.

C. Apply fertilizer within forty-eight (48) hours.

3.04 LAYING SOD

A. Lay sod as soon as possible after delivery to prevent deterioration.

B. Lay sod closely knit together with no open joints visible, and pieces not overlapped. Lay smooth and flush with adjoining grass areas. Finish grade to be one and a half inches (1 1/2") below paving and top of surface curbs.

C. Immediately water sodded areas after installation. Water in sufficient amount to saturate sod and upper four inches (4") of soil.

D. After sod and soil has dried sufficiently to prevent damage, roll sodded areas to ensure good bond between sod and soil and to remove minor depressions and irregularities. Ensure rolling equipment weight not over 250 lbs. or less than 150 lbs.

3.05 TIME OF PLANTING

A. The contractor shall notify the Landscape Architect in writing when other divisions of the work have progressed sufficiently to commence landscape work, including placing of topsoil to finish grade. Thereafter, conduct planting operations under favorable weather conditions.

B. Any plant material installed during typical off seasons (hot summer months or freezing winter months) shall be done at the Contractor's own risk and the Contractor shall be held responsible for replacement of any plant material damaged due to these adverse conditions.

3.06 PLANTING OPERATIONS

A. General

1. The Contractor shall coordinate all aspects of the landscape operations with all aspects of the site construction. The work shall proceed as the indicated portions of the site become available, consistent with the seasonal limitations for landscape planting.

2. The Contractor shall be responsible for any damage to utilities construction, sitework construction, and underground sprinkler systems and shall bear the full cost to repair the damage. Accomplishment of repairs shall be equal to the original installation prior to damage. Any damage shall be immediately reported to the Landscape Architect and repairs shall be approved by him before it is buried.

3. Maintain all trench or grade stakes for work under other Sections until the removal is approved by the Landscape Architect.

4. The Contractor shall stake plant location, shrub pits, and other planting areas and secure the Landscape Architect's approval before starting excavation of same, making adjustments as necessary.

5. Unless otherwise directed by Landscape Architect, indication of plant on drawings is to be interpreted as including digging, watering, furnishing plant of specified size, work of planting, mulching, growing, staking, wrapping, and watering.

B. Plant Pits and Beds

1. Plant pits shall be excavated with vertical sides, large enough to allow twelve (12") inches of space around the ball in all directions. Adjust depth as necessary to permit a minimum of twelve (12") inches planting soil under the ball when the plant is set at the proper depth.

2. Planting pit backfill for all trees and shrubs shall be as follows:

1. 2/3 parts by volume on site soil.

2. 1/3 parts by volume forest mulch.

3. One pound 13-20-0 per cubic yard of mix.

3. Planting pits shall be backfilled with prepared backfill and be water settled to a grade level. The soil in the setting of plant the finish grade level after settlement will be the same as that at which plants were grown. Agriform tablets to be used with each planting (six (6) for 36" box, three (3) for 15 gallon, two (2) for 5 gallon, and one (1) for 1 gallon).

C. Installations

1. Set plants in center of pits, plumb and straight and at such a level that after settlement the crown of the plant shall be two (2") inches below finish grade and forming a shallow trough directly over the ball of earth and slightly smaller than the pit to facilitate watering. Space all plants as shown.

2. Set balled and burlapped plants upon a well tamped layer of planting soil. Backfill around soil with planting soil in six to eight (6" - 8") inch lifts, each thoroughly tamped and puddled to top of pit. Avoid air pockets. Remove all ropes and wires from tops and sides of balls. No burlap shall be pulled out from under the balls.

3. Plants supplied in containers shall be installed immediately upon being removed from their containers. Removal of plants from containers shall be in a manner that will not disturb the root system or the soil in which they were planted. Under no conditions shall the plant be removed from the containers by pulling on the main stem or plant growth. No plants shall be installed with their containers remaining attached, except as noted on the drawings.

4. Before installing bare root plants, planting soil shall be placed and compacted to a depth of twelve (12") inches in the bottom of the plant pit. The plants shall be installed with their roots evenly distributed and spread in their natural position, with the planting soil being carefully placed and compacted around the roots so as to leave no air space.

D. Pruning, Wrapping, Mulching, Staking, and Spraying

1. Pruning

a. Plants shall not be pruned prior to delivery unless Landscape Architect gives written permission. Pruning will occur only at time of planting and according to standard horticultural practice and at the direction of the Landscape Architect. Amount of pruning shall be limited and is not to exceed thirty-three (33%) percent of total plant as necessary to remove dead or injured twigs and branches and to compensate for root loss resulting from transplanting. Do not cut leaders.

b. Remove all dead wood, suckers, and broken or badly bruised branches.

c. Pruning shall be done with clean, sharp tools according to standard horticultural practices. Cuts shall be made at an angle and shall be smooth.

d. Cuts over 3/4" inch diameter shall be painted over with approved tree paint. Paint shall cover all exposed cambium as well as other exposed living tissue.

e. Injured cambium and bark will be replaced with a material tracked back to living tissue and removed. Smooth and shave wounds so as not to retain water. Treat wound with paint.

2. Staking and Guying

a. Stake or guy all trees per detail. Trees which blow down, sway excessively, or are otherwise injured because of improper bracing shall be replaced at Contractor's expense.

3. Spraying

a. All groundcover and non-lawn areas shall be treated with pre-emergent.

b. Decomposed Granite

a. Prior to placing, the area shall be totally free of weeds using chemical control. Apply a pre-emergence control (Surflan or prior approved equivalent) according to manufacturer's recommendations. The decomposed granite shall be evenly distributed at the designated areas to a depth of two (2") inches. After placing and grading, lightly water to remove fine materials from the surface and water settle or roll to an extent satisfactory to the Landscape Architect. Apply second application of pre-emergence control according to manufacturer's recommendations.

b. Decomposed granite shall match size and color on plans, shall be free from lumps or balls of clay and shall not contain calcareous coating, coliche, organic matter or deleterious substances. Color and source of decomposed granite shall be approved by the Landscape Architect. All material shall be from a single production source and shall present a uniform appearance. Material containing clumps which will not disintegrate with a shovel blow shall be rejected.

5. Workmanship

a. Install rock to a depth as indicated on the plans (typically two (2") inches thick).

6. Workmanship - Berms

a. Earth berms (mounding) shall take the form indicated on the plans. The Landscape Architect shall inspect and approve all finished grades prior to any planting.

7. Cleaning Up

a. Keep all areas of this project in a clean, neat, and orderly condition at all times. Trash burning and disposal shall not be done on the site. Prior to acceptance put all areas of the work in a finished condition acceptable to the Landscape Architect.

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B. Acceptance: After inspection, the Contractor will be notified in writing by the Landscape Architect of all work of this Section, exclusive of the possible replacement of plants subject to reinspection and guarantee, or if there are and deficiencies of the requirements for completion of the work.

C. Upon acceptance made by the Landscape Architect, the Contractor's maintenance is terminated and the guarantee period begins.

3.10 PLANT GUARANTEE AND REPLACEMENT/FINAL ACCEPTANCE

A. The guarantee is for a period of one (1) year from date of acceptance by the Landscape Architect. The guarantee is for all new plant material, lawns, transplants, and existing plant material.

B. At the end of the guarantee period, the Landscape Architect shall respect all guaranteed work for Final Acceptance upon written request of Contractor. Request shall be received at least ten (10) calendar days before anticipated date for final inspection. Upon final inspection and reinspection of replacements or repairs necessary in judgment of Landscape Architect at that time, Landscape Architect shall certify in writing to Owner as to Final Acceptance of plantings. Contractor shall replace, without cost to Owner, as soon as weather conditions permit, and within specified planting period, all dead plants and all plants not in vigorous, thriving conditions as determined by Landscape Architect at the end of guarantee period. Plants shall be free of dead or dying branches and branch tips, and shall bear foliage of normal density, size, and color. Replacements shall closely match adjacent specimens of same species and shall be equal in size to previously planted specimens, including increased growth since planting Replacement shall be subject to all requirements of this Specification. If replacement plant material is not acceptable at end of two month period following replacement, Owner may elect subsequent replacement or credit for each item. Owner will retain sufficient amount from Contractor's payment to cover estimated cost of possible replacements at time of initial inspection for acceptance, including materials and labor. Contractor shall receive final payment only after all replacements have been made and approved.

C. Portions of lawns and/or plantings may be accepted in part upon Landscape Architect's approval.

PART 4 - MISCELLANEOUS AND GENERAL NOTES

4.01 FINISH GRADING AND GRADING

A. The General Contractor to provide Landscape Contractor finish grade within + 0.1 of a foot as shown on the civil grading plan and landscape plan.

B. All mounding, berms, and finish grading to be approved by the Landscape Architect prior to planting or irrigation work.

4.02 GENERAL NOTES

A. The Landscape Contractor at his own expense shall procure all permits, certificates, and licenses required of him by law for the execution of this work. He shall comply with all state, county, and local laws, ordinances, rules, or regulations relating to the performance of this work. All deductions or additions will be made through a change order issued by the Architect. Changes made without a change order are not considered part of the contract and payment cannot be guaranteed.

B. The Contractor shall visit and inspect site to thoroughly inform himself of all existing conditions. Any discrepancies between existing conditions and those shown on drawings should immediately be brought to the attention of the Landscape Architect.

C. The Contractor shall coordinate with the Landscape Architect to provide irrigation to existing materials.

4.03 EXCAVATION

A. The Contractor shall do all necessary excavation for the proper installation of his work. Machine trenchers used on the site shall be of an approved type to cut smooth-bottom trenches on uniform slopes. Trenches shall be no wider than necessary to lay the pipe, except where necessary to make joints. Over excavating shall be backfilled and carefully tamped to provide a smooth and firm bearing surface for laying the pipe. When necessary, Contractor must provide barricades and lights for public protection. Minimum depth of cover shall be at least eighteen (18") inches for the main piping, and at least twelve (12") inches for the lateral branch lines.

4.04 PIPE INSTALLATION

A. All pipe lines shall be installed in the locations and of the sizes indicated, and of the materials specified. Pipe shall be laid accurately to the line and grade required, with full uniform bearing on the trench bottom. No piping shall be laid on the soft fill or other unstable material. No direct contact, with other piping or structures, will be permitted at crossing. Interior of piping shall be kept clear of foreign matter before installation, and shall be kept clean by means of plugged or capped ends after leaving into the trench. The supply main lines shall be flushed out and tested for leaks, with control valves in place, before backfilling of the joints. All lateral piping sections shall be flushed out before sprinkler heads are attached. All pipe shall be installed in strict accordance with recommendations of the manufacturer. This shall apply to thrust blocking, handling, storage, depth of cover, expansion allowance, testing, etc.

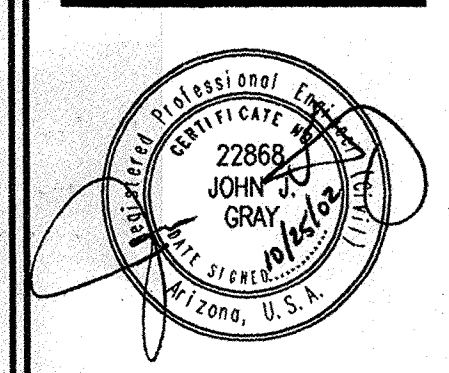
B. Under existing drives or sidewalks, the Contractor shall either saw out concrete and replace it to the former condition or install the pipe by boring or jacking under the area.

C. As soon as the work has been installed, inspected and accepted, all excavations and trenches shall be filled and water settled with fine earth materials, free from clods, rocks, or other unsuitable substances. Trenches must be left flush with adjacent finished grade after compacting to the original density of the soil. Flooding of trenches will be permitted downstream of zone valves. Care shall be taken to place any previously tilled and fertilized soil in the top portion of the trench, and subsoil will not be allowed in the top six (6") inches of the

Evans, Kuhn & Associates, Inc.
727 E. Bethany Home Rd.
Phoenix, Az 85014
602.241.0782 phone
602.248.9158 fax

SITE PLAN
ASCENSION LUTHERAN CHURCH
7100 NORTH MOCKINGBIRD LANE
PARADISE VALLEY, ARIZONA

REVISIONS	
DRAWING STATUS:	

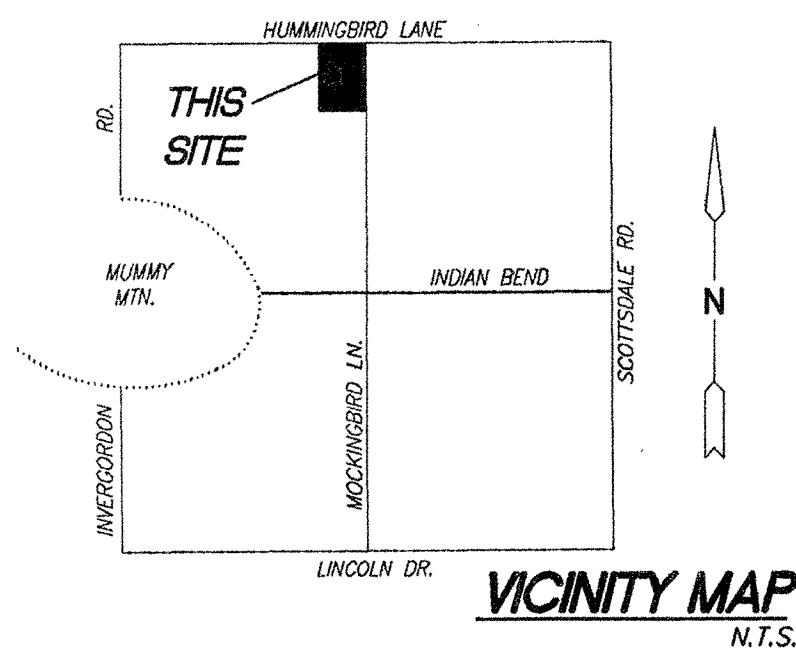


DATE ISSUED 04/18/02
DESIGNED BY
DRAWN BY JAG
CHECKED BY JAG
PROJECT NO. 4929
DRAWING NO.

C-1.00
SITE PLAN

1"=40'

SPECIAL USE PERMIT MINOR AMENDMENT



OWNER/ SITE ADDRESS

ASCENSION LUTHERAN CHURCH
7100 NORTH MOCKINGBIRD LANE
PARADISE VALLEY, ARIZONA 85263

CLIENT

CCG CONSTRUCTION, LLC
3333 EAST CAMELBACK RD.
SUITE 250
PHOENIX, ARIZONA 85018

ENGINEER

EVANS, KUHN & ASSOCIATES
727 EAST BETHANY HOME ROAD
SUITE D-225
PHOENIX, ARIZONA 85014

LEGAL DESCRIPTION

LOT 1 OF MEADOWLARK ACRES ACCORDING TO BOOK 194 PAGE 11
RECORDS OF MARICOPA COUNTY, ARIZONA

AREA INFORMATION AND PROJECT DATA

AREA=275,250 sq. ft. = 6.32 acres
ALLOWABLE HEIGHT = 75 FEET
ACTUAL BUILDING HEIGHT = 57 FEET
ALLOWABLE SPIRE HEIGHT = 100 FEET
ACTUAL SPIRE HEIGHT = 100 FEET
TOTAL FLOOR AREA = 15,823 sq. ft.
TOTAL FOOTPRINT AREA = 11,691 sq. ft.
LOT COVERAGE = 4.25%
ALLOWABLE COVERAGE = 20%
NORTH PARKING AREA = 70,656 sq.ft.
NORTH PARKING AREA LANDSCAPE = 18,130 sq.ft. = 25.7%
SOUTH PARKING AREA = 28,346 sq.ft.
SOUTH PARKING AREA LANDSCAPE = 10,130 sq.ft. = 35.7%

SUMMARY OF THE PARKING CALCULATIONS

PARKING ALLOWED		
TOTAL NUMBER OF SEATS IN THE SANCTUARY AT BUILD-OUT, PROVIDE ONE SPACE PER THREE SEATS (PER SECTION 6 OF THE ZONING ORDINANCE)	800 SEATS	266 SPACES
TOTAL ALLOWED		266 SPACES

EXISTING PARKING

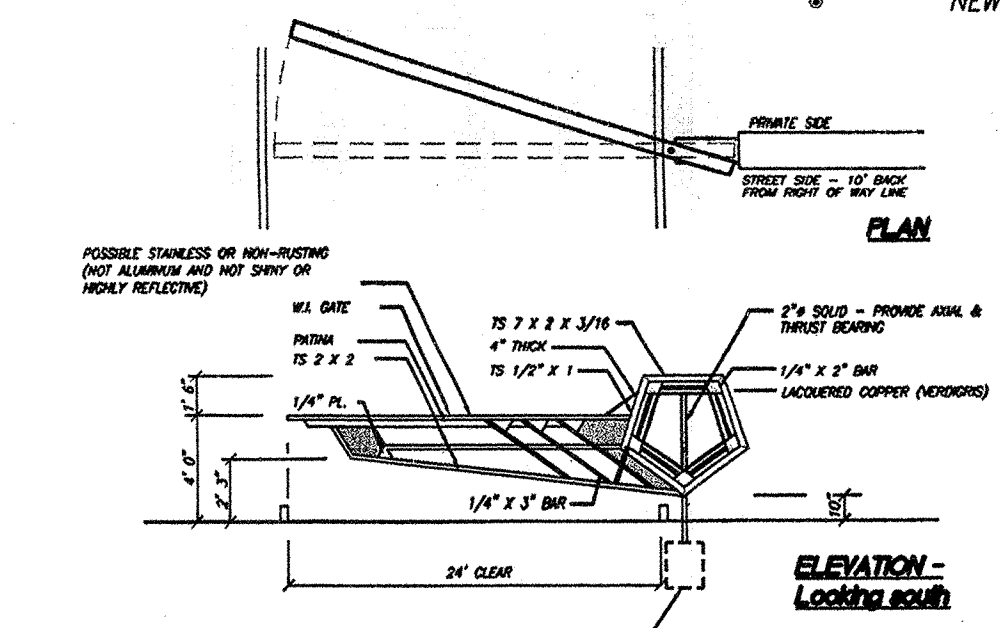
NORTH LOT	69 SPACES
SOUTH LOT	42 SPACES
ACCESSIBLE	3 SPACES
TOTAL	114 SPACES

PARKING TO BE PROVIDED

NORTH LOT	158 SPACES
SOUTH LOT	42 SPACES
ACCESSIBLE	7 SPACES
TOTAL	207 SPACES

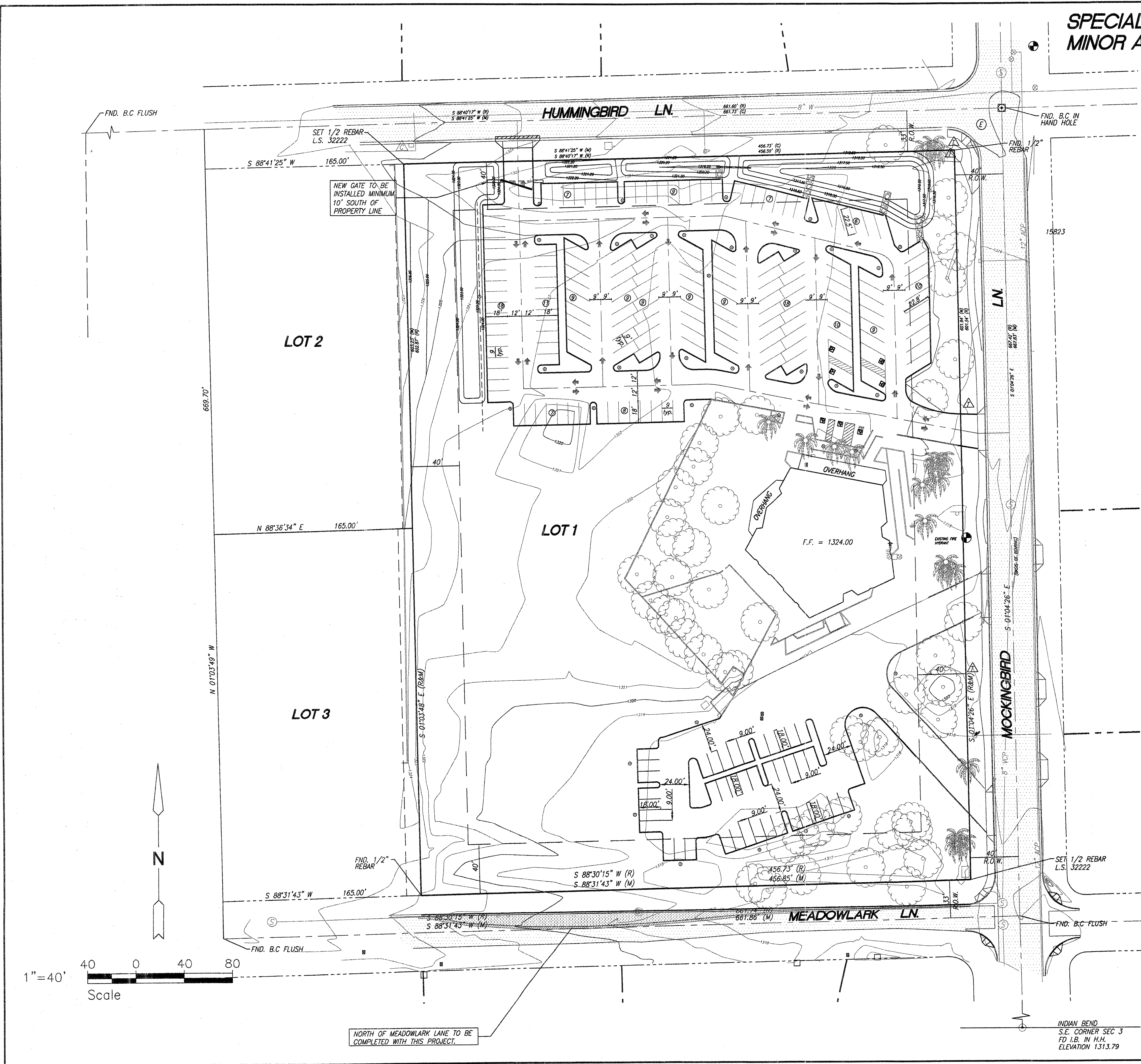
LEGEND

- | | |
|--------------------------|--------------------------------|
| MONUMENT LINE/CENTERLINE | BRASS CAP IN HANDHOLE |
| PROPERTY LINE | FOUND 1/2" REBAR |
| RIGHT-OF-WAY LINE | SANITARY SEWER MANHOLE |
| EASEMENT LINE | ELECTRIC MANHOLE |
| ELECTRIC LINE | WATER VALVE |
| GAS LINE | FIRE HYDRANT |
| SEWER LINE | TELEPHONE PEDESTAL |
| WATER LINE | M.C.R. MARICOPA COUNTY RECORDS |
| EXISTING CONCRETE | (R) RECORD COURSE |
| EXISTING PAVEMENT | (C) CALCULATED COURSE |
| BRASS CAP FLUSH | (M) MEASURED COURSE |
| | B.S.L. BUILDING SETBACK LINE |
| | NEW PARKING LOT BOLLARD LIGHTS |



CALL TWO WORKING DAYS BEFORE YOU DO
263-1100
HOUSE MARICOPA COUNTY

EXTERNAL DRAWINGS



GRADING AND DRAINAGE PLANS
FOR
ASCENSION LUTHERAN CHURCH

7100 NORTH MOCKINGBIRD LANE
PARADISE VALLEY, ARIZONA

GENERAL NOTES
(EVANS, KUHN and ASSOCIATES, INC.)

1. EXISTING UNDERGROUND UTILITIES WERE COMPILED FROM THE LATEST AVAILABLE UTILITY RECORDS AND SHOULD BE CONSIDERED APPROXIMATE IN LOCATION AND POSSIBLY INCOMPLETE. EXACT LOCATION MUST BE DETERMINED IN THE FIELD. CALL "BLUE-STAKE" A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO EXCAVATION.
2. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, CENTERLINE OF RIGHT-OF-WAY OR CENTERLINE OF STRUCTURE UNLESS NOTED OTHERWISE.
3. CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING PIPE AT PROPOSED CONNECTIONS PRIOR TO NEW PIPE INSTALLATION. NOTIFY ENGINEER IMMEDIATELY OF CONFLICTS OR DISCREPANCIES.
4. IT SHALL BE THE RESPONSIBILITY OF THE BIDDER TO VERIFY ALL QUANTITIES INCLUDING EXCAVATION, BORROW, EMBANKMENT, SHRINK OR SWELL, GROUND COMPACTION, HAUL AND ANY OTHER ITEMS AFFECTING HIS BID TO COMPLETE THE WORK TO THE ELEVATIONS SHOWN ON THE PLANS AND TO BASE HIS BID SOLELY UPON HIS OWN VERIFIED QUANTITIES IRRESPECTIVE OF THE INFORMATION FURNISHED. IT SHALL BE THE BIDDERS RESPONSIBILITY TO NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION, OR ANY MAJOR DISCREPANCIES.
5. ALL CONSTRUCTION ON SITE SHALL CONFORM TO MAG STANDARD SPECIFICATIONS AND DETAILS, UNLESS MODIFIED ON THE PLANS.
6. CONTRACTOR TO COMPLY WITH ALL ADA REQUIREMENTS RELATING TO CONSTRUCTION.
7. CONTRACTOR SHALL PROVIDE DUST CONTROL FOR ALL UNPAVED AREAS DURING CONSTRUCTION. OWNER IS RESPONSIBLE FOR PROVIDING APPROPRIATE GROUND COVER AND/OR DUST CONTROL MAINTENANCE AS NECESSARY AFTER CONSTRUCTION IS COMPLETED AND ACCEPTED.

The City of Paradise Valley "Storm Drainage Design Manual" was used as the basis for the design of storm water management for this project.

RETENTION SUMMARY

NET AREA, (A) 84,429 s.f.
RUNOFF COEFFICIENT, (C) 0.90
DESIGN STORM DEPTH, (d) 1.25 in.

RETENTION REQUIRED:

$$V_R = 7200 \cdot d \cdot A \cdot C$$

V_R = 15,700 cu. ft.

RETENTION PROVIDED: 15,791 cu. ft.

contour	area	volume
21.2	1474	1091
20.2	707	385
19.2	62	31

1506 cu. ft.

contour	area	volume
19.5	6604.0	5833
18.5	5061.0	4345
17.5	3628.0	2961
16.5	2294.0	1147

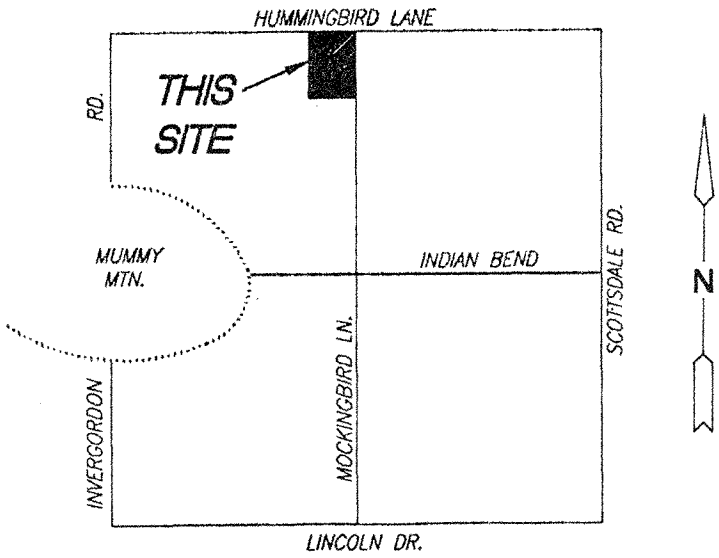
14285 cu. ft.

BASIN A AND D ONLY COLLECT WATER RUNOFF INSIDE THEIR AREAS

The proposed drainage facilities are designed to handle the runoff from the 100-year, 2-hour frequency storm for on-site runoff. The ultimate site outfall elevation 1318.82 is located on the east property line of the site onto Mockingbird Lane.

The finished floor is set adequately above the outfall protecting the building from flooding. The retention for the 100-year frequency storm will drain in less than 36 hours.

The proposed improvements for this project do not increase discharge from the site and comply with City of Paradise Valley drainage design requirements.



VICINITY MAP
N.T.S.

ENGINEER'S ESTIMATE OF QUANTITIES

PAVING

ASPHALT PAVING SURFACE 7289 SY
SAWCUT, REMOVE & REPLACE PAVEMENT 119 SY

CONCRETE

EXTRUDED CURB 2,780 L.F.
RIP-RAP SPILLWAY 4 EA.
VERTICAL CURB & GUTTER 460 L.F.

DRAINAGE

STORM WATER PIPE 19 L.F.
12" P.V.C. SDR 35 SD

SHEET INDEX

C1.01 COVER SHEET
C1.02 GRADING & DRAINAGE PLAN
C1.03 HORIZONTAL CONTROL & PAVING PLAN
C1.04 SECTION & DETAILS
C1.05 SOUTH SIDE IMPROVEMENTS

OWNER/ SITE ADDRESS

ASCENSION LUTHERAN CHURCH
7100 NORTH MOCKINGBIRD LANE
PARADISE VALLEY, ARIZONA 85263

ENGINEER/SURVEYOR

EVANS, KUHN & ASSOCIATES, INC.
727 E. BETHANY HOME ROAD, SUITE D-225
PHOENIX, ARIZONA 85014
PHONE: (602) 241-0782
FAX: (602) 248-9158

CONTRACTOR

CCG CONSTRUCTION, LLC
3333 EAST CAMELBACK RD.
SUITE 250
PHOENIX, ARIZONA 85018

ESTIMATED
EARTHWORK QUANTITIES

CUT - 759 C.Y.
FILL - 450 C.Y.

NOTE: QUANTITIES SHOWN ARE IN PLACE ESTIMATES WITH ADJUSTMENTS MADE FOR SCARIFICATION, SHRINKAGE, OR COMPACTION LOSSES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EARTHWORK QUANTITIES AND BASING HIS BID UPON HIS ESTIMATED QUANTITY.

BASIS OF BEARINGS

ASSUMED BEARING OF S01°04'26"E ALONG THE MONUMENT LINE OF MOCKINGBIRD LANE AS SHOWN ON THE RECORDED PLAT FOR MEADOWLARK ACRES, BOOK 194, PAGE 11, M.C.R.

LEGAL DESCRIPTION

LOT 1 OF MEADOWLARK ACRES ACCORDING TO BOOK 194, PAGE 11, RECORDS OF MARICOPA COUNTY, ARIZONA

AREA AND PROJECT DATA

AREA=275,250 sq. ft. = 6.32 acres
ALLOWABLE HEIGHT = 75 FEET
ACTUAL BUILDING HEIGHT = 57 FEET
ALLOWABLE SPIRE HEIGHT = 100 FEET
ACTUAL SPIRE HEIGHT = 100 FEET
TOTAL FLOOR AREA = 15,823 sq. ft.
TOTAL FOOTPRINT AREA = 11,691 sq. ft.
LOT COVERAGE = 4.25%
ALLOWABLE COVERAGE = 20%
NORTH PARKING AREA = 70,656 sq. ft.
NORTH PARKING AREA LANDSCAPE = 18,130 sq. ft. = 25.7%

BENCHMARK

PARADISE VALLEY BENCH #70 BRASS CAP FLUSH 775'± WEST OF INTERSECTION OF 66TH STREET AND HUMMINGBIRD LANE.
ELEVATION = 1373.75

FLOODPLAIN

THE SUBJECT PARCEL LIES WITHIN FLOOD ZONE "X" AS DELINEATED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM MAP NO. 04013C1695G DATED 7/19/2001.

FLOOD ZONE "X" IS DEFINED AS AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD.

LEGEND

C=	CONCRETE PAVEMENT GRADE	POWER POLE	NEW CURB
P=	ASPHALT PAVEMENT GRADE	FIRE HYDRANT	EXISTING CURB & GUTTER
FG=	PROPOSED FINISHED GRADE	TRANSFORMER	RIGHT-OF-WAY LINE
S/W=	SIDEWALK GRADE	SEWER CLEANOUT	PROPERTY LINE
X1096.00	EXISTING GRADE	M.C.R.	EASEMENT LINE
ELECTRIC BOX, IRRIGATION VALVE BOX,		D/W	RIDGE LINE
DOWN GUY WIRE		T	GRADE BREAK
POWER POLE		G	NEW RETAINING WALL
DIRECTION OF RUNOFF FLOW		8" VCP	HIGH WATER ELEVATION (100 YR. FLOOD INUNDATION)
TRAFFIC SIGN		Brass Cap in Hand Hole	P.U.E. = PUBLIC UTILITY EASEMENT
EXISTING BOLLARD		Brass Cap Flush	Monument Line / Centerline
DRYWELL		EXISTING STREET LIGHT	Building
WATER OR GAS VALVE		EXISTING WATER VALVE	Existing Concrete
		EXISTING TREE	
		EXISTING ASPHALT PAVEMENT	
		PROPOSED CONCRETE SIDEWALK	
		EXISTING SEWER MANHOLE	
		EXISTING METER BOX/ IRRIG. CONTROL BOX	

EXTERNAL
DRAWINGS

FILE COPY

DO NOT REMOVE FROM FILE

Minor ASUP PLAT WENT TO

COUNCIL PLANNING AND ZONING

ON 11-19-02



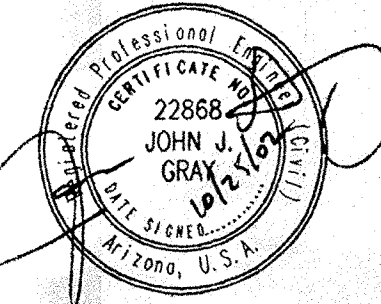
Evans, Kuhn
& Associates, Inc.
727 E. Bethany Home Rd.
Phoenix, Az 85014
602.241.0782 phone
602.248.9158 fax

GRADING AND DRAINAGE PLAN
ASCENSION LUTHERAN CHURCH
7100 NORTH MOCKINGBIRD LANE
PARADISE VALLEY, ARIZONA

REVISIONS

1 REVISED 9/20/02

DRAWING STATUS:



DATE ISSUED

7/23/02

DESIGNED BY

PJT

DRAWN BY

PJT

CHECKED BY

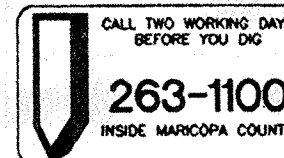
JUG

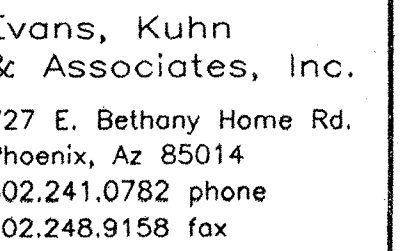
PROJECT NO.

4929

DRAWING NO.

C1.01
COVER
SHEET

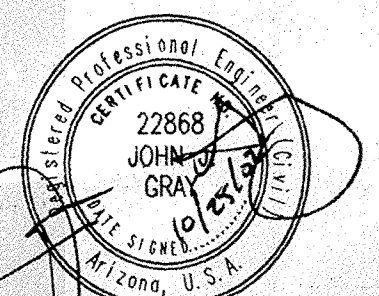




GRADING AND DRAINAGE PLAN
ASCENSION LUTHERAN CHURCH
7100 NORTH MOCKINGBIRD LANE
PARADISE VALLEY, ARIZONA

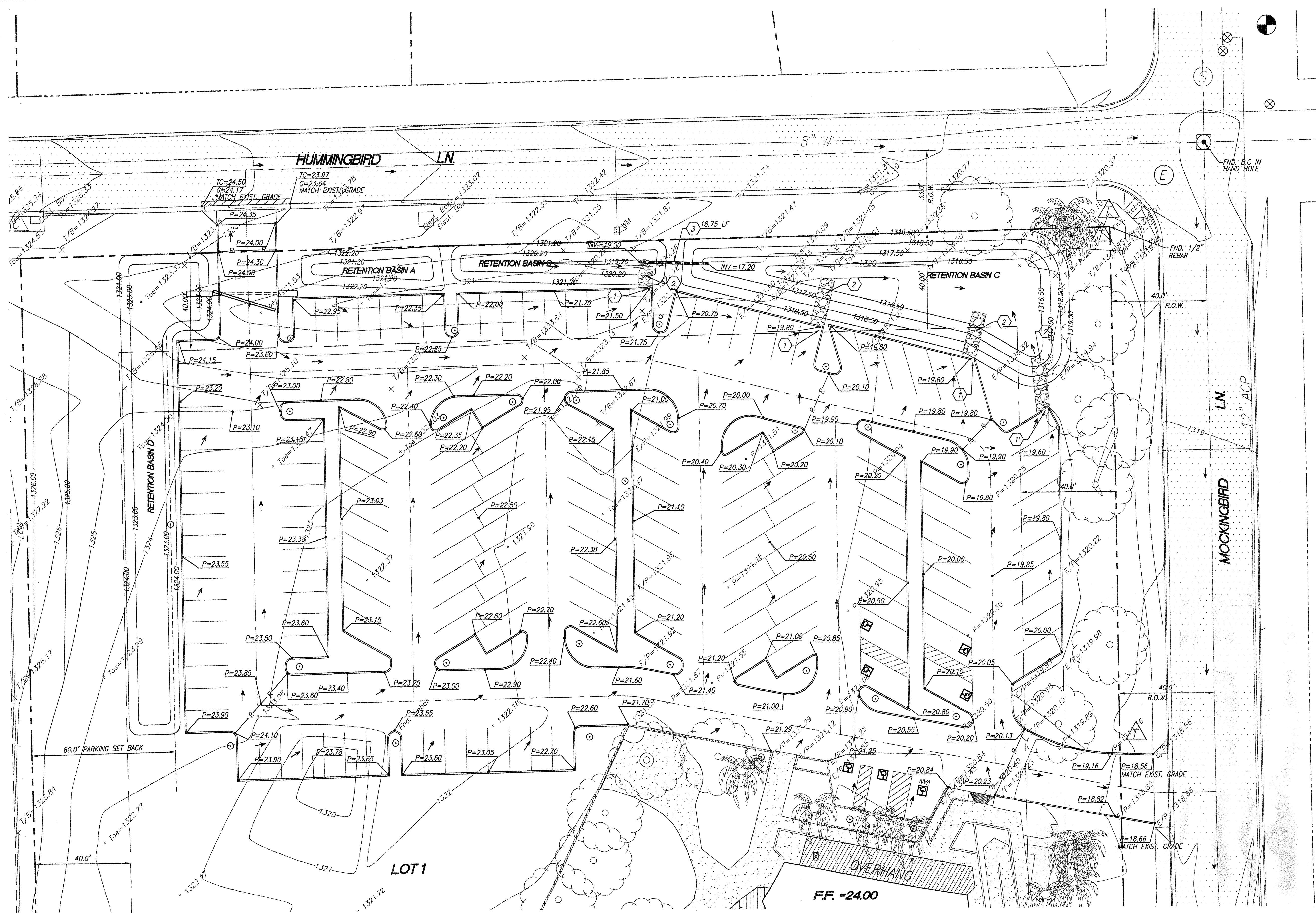
REVISIONS	
1	REVISED 9/20/02
2	REVISED 10/25/02

DRAWING STATUS:



DATE ISSUED	7/23/02
DESIGNED BY	PTT
DRAWN BY	PTT
CHECKED BY	JJG
PROJECT NO.	4929
DRAWING NO.	

C1.02
**GRADING &
DRAINAGE
PLAN**
1"=20'

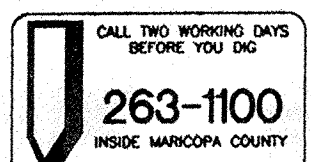


CONSTRUCTION NOTES

- 1 CONSTRUCT CURB OPENING PER DETAIL ON SHEET C1.04.
- 2 CONSTRUCT RIP-RAP SPILLWAY PER DETAIL, ON SHEET C1.04, 6" MINIMUM DIAMETER STONE ONE FOOT THICK TO BOTTOM OF BASIN.
- 3 INSTALL 12" PVC, SDR 35 STORM DRAIN.

1"=20'

Scale



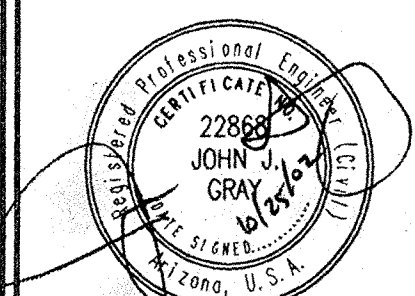


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GRADING AND DRAINAGE PLAN
ASCENSION LUTHERAN CHURCH
7100 NORTH MOCKINGBIRD LANE
PARADISE VALLEY, ARIZONA

REVISIONS	
1	REVISED 9/20/02
2	REVISED 10/25/02

DRAWING STATUS:



DATE ISSUED 7/23/02
DESIGNED BY PTT
DRAWN BY PTT
CHECKED BY JWC
PROJECT NO. 4929
DRAWING NO.

C1.03
PAVING &
HORIZONTAL
CONTROL PLAN
1"=20'

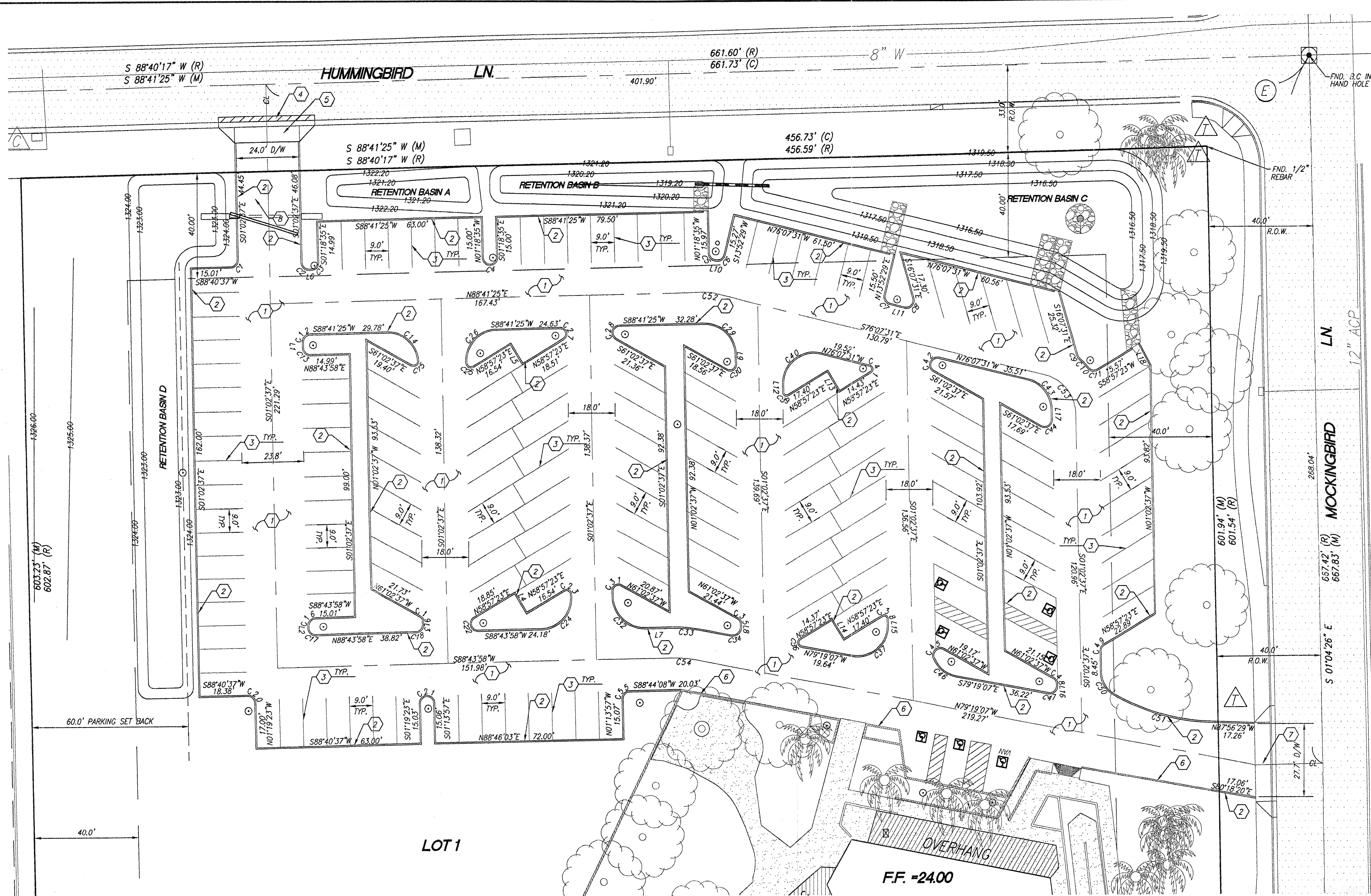
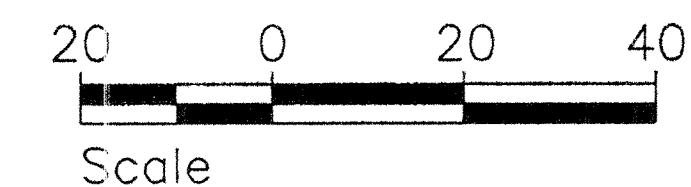
CURVE TABLE				
CURVE	LENGTH	RADIUS	TANGENT	DELTA
C1	4.70	3.00'	2.99'	89°43'14"
C2	4.71	3.00'	3.00'	90°00'00"
C3	4.73	3.00'	3.01'	90°15'57"
C4	9.42	3.00'	INFINITE	180°00'00"
C5	4.20	3.00'	2.52'	80°09'44"
C6	4.43	3.00'	2.73'	84°39'12"
C7	4.71	3.00'	3.00'	90°00'00"
C8	6.28	3.00'	5.20'	120°00'00"
C9	1.70	3.00'	0.87'	32°30'32"
C10	4.89	27.50'	2.45'	10°11'44"
C11	4.33	3.00'	2.64'	82°36'18"
C12	4.70	3.00'	2.99'	89°44'03"
C13	4.72	3.00'	3.01'	90°13'25"
C14	18.11	12.00'	11.28'	86°28'35"
C15	4.32	2.00'	3.74'	123°47'22"
C16	4.70	3.00'	2.99'	89°46'35"
C17	4.72	3.00'	3.01'	90°13'25"
C18	4.70	3.00'	2.99'	89°46'35"
C19	2.09	2.00'	1.15'	60°00'00"
C20	4.71	3.00'	3.00'	90°00'00"
C21	9.29	3.00'	136.32'	177°28'43"
C22	7.87	3.00'	11.28'	150°13'25"
C23	4.19	2.00'	3.46'	120°00'00"
C24	18.80	12.00'	11.95'	89°46'35"
C25	4.19	2.00'	3.46'	120°00'00"
C26	18.79	12.00'	11.94'	89°44'03"
C27	6.56	2.50'	9.42'	150°15'57"
C28	7.84	3.00'	11.09'	149°44'03"
C29	19.69	12.50'	12.56'	90°15'57"
C30	5.24	2.50'	4.33'	120°00'00"
C31	5.24	2.50'	4.33'	120°00'00"
C32	19.68	12.50'	12.55'	90°13'25"
C33	11.78	56.50'	5.91'	11°56'45"
C34	6.21	3.50'	4.30'	101°43'31"
C35	2.62	2.50'	1.44'	60°00'00"
C36	4.83	2.00'	5.25'	138°16'29"
C37	21.31	12.00'	14.75'	101°43'31"
C38	3.14	1.50'	2.60'	120°00'00"
C39	3.14	1.50'	2.60'	120°00'00"
C40	21.97	12.00'	15.62'	104°55'06"
C41	3.54	1.50'	3.63'	135°04'54"
C42	8.64	3.00'	22.66'	164°55'06"
C43	15.73	12.00'	9.22'	75°04'54"
C44	6.28	3.00'	5.20'	120°00'00"
C45	7.49	3.00'	8.97'	143°01'59"
C46	11.57	12.00'	6.28'	55°14'30"
C47	5.33	3.00'	3.69'	101°43'31"
C48	3.14	3.00'	1.73'	60°00'00"
C49	3.14	3.00'	1.73'	60°00'00"
C50	10.61	10.00'	5.86'	60°46'21"
C51	39.05	80.00'	19.92'	27°57'53"
C52	4.11	15.50'	2.07'	15°11'04"
C53	20.31	15.50'	11.91'	75°04'54"
C54	9.38	45.00'	4.71'	11°56'45"
C55	4.71	3.00'	3.00'	89°58'06"

LINE TABLE		
LINE	LENGTH	BEARING
L1	2.29'	S01°02'37"E
L2	1.00'	S01°02'37"E
L3	1.77'	N01°02'37"W
L4	9.00'	S31°02'37"E
L5	9.00'	S31°02'37"E
L6	0.93'	S88°57'23"W
L7	9.93'	N88°43'58"E
L8	1.30'	N01°02'37"W
L9	3.59'	N01°02'37"W
L10	0.62'	N81°28'19"W
L11	5.89'	S76°07'31"E
L12	3.00'	S01°02'37"E
L13	9.00'	S31°02'37"E
L14	9.00'	S31°02'37"E
L15	2.72'	S01°02'37"E
L16	0.85'	N01°02'37"W
L17	3.82'	N01°02'37"W
L18	9.26'	N28°12'38"W

CONSTRUCTION NOTES

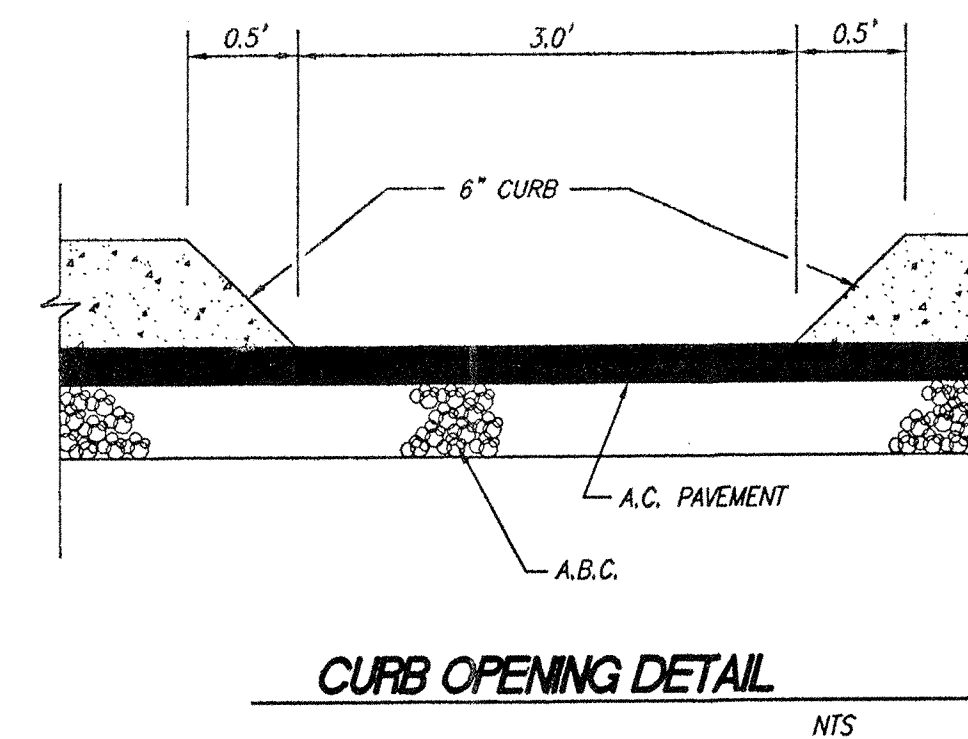
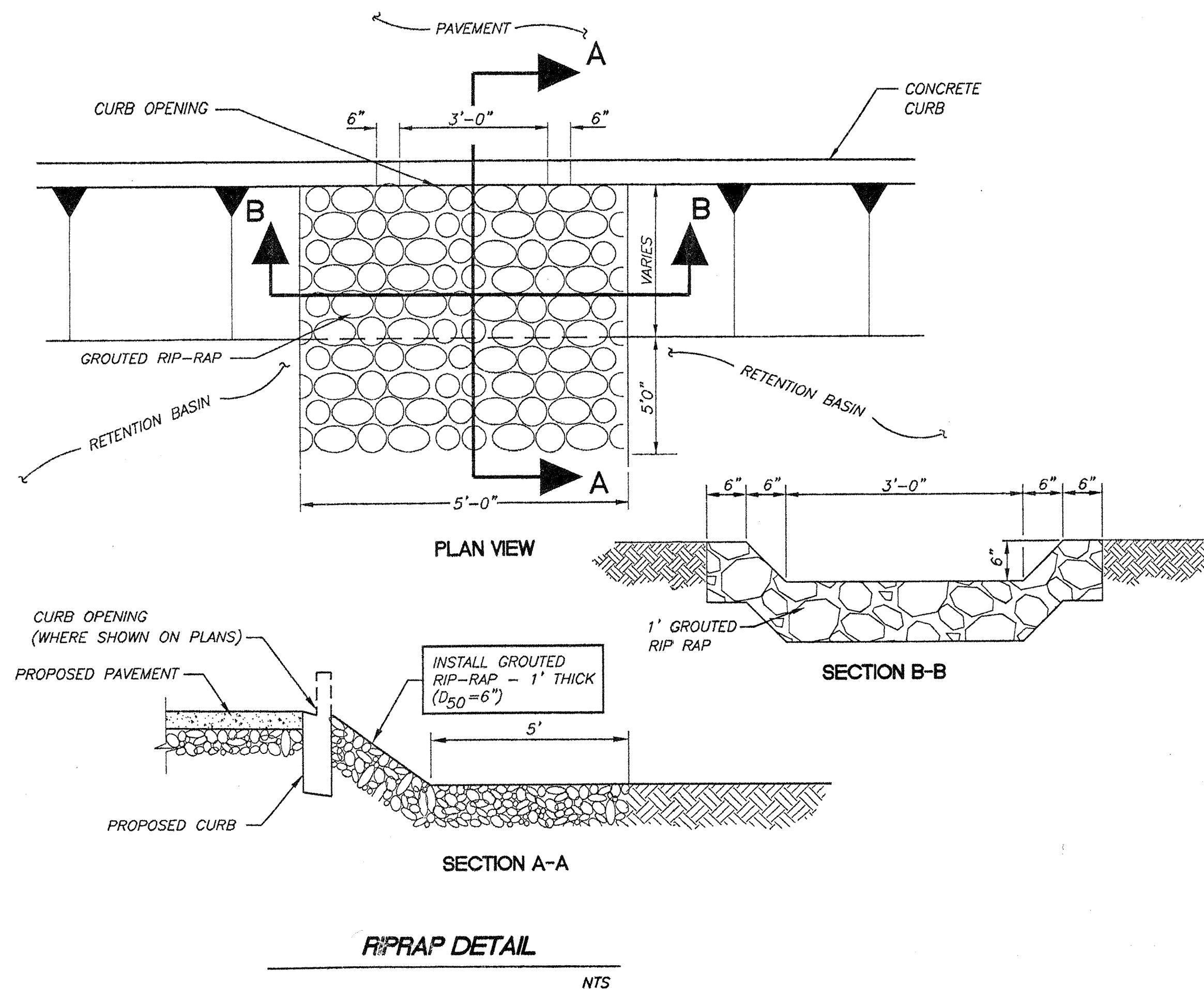
- 1 CONSTRUCT 2" A.C. (C-3/4 MIX) OVER 4" A.B.C. PAVEMENT.
- 2 CONSTRUCT EXTRUDED CURB PER DETAIL ON SHEET C1.04.
- 3 PAINT 4" WIDE WHITE PARKING STRIPE. (TYPICAL)
- 4 SAWCUT AND REMOVE EXISTING CURB & GUTTER 2' MIN. INTO EXISTING PAVEMENT. REPLACE PAVEMENT IN-KIND OR WITH 3" AC OVER 6" ABC WHICHEVER IS GREATER.
- 5 CONSTRUCT 24" DRIVEWAY ENTRANCE PER MAG STD. DET. 263.
- 6 EXISTING EXTRUDED CURB TO REMAIN IN PLACE.
- 7 EXISTING DRIVEWAY TO REMAIN IN PLACE.
- 8 CONSTRUCT ACCESS GATE, SEE DETAIL ON SHEET C-1.04.

1"=20'

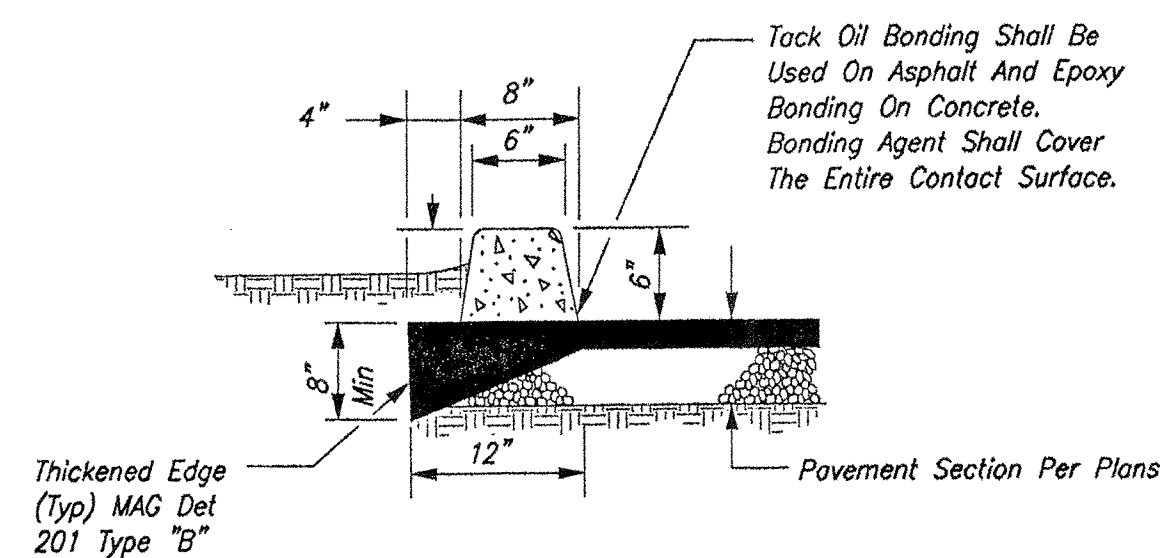


EXTERNAL
DRAWINGS

EXTERNAL
DRAWINGS



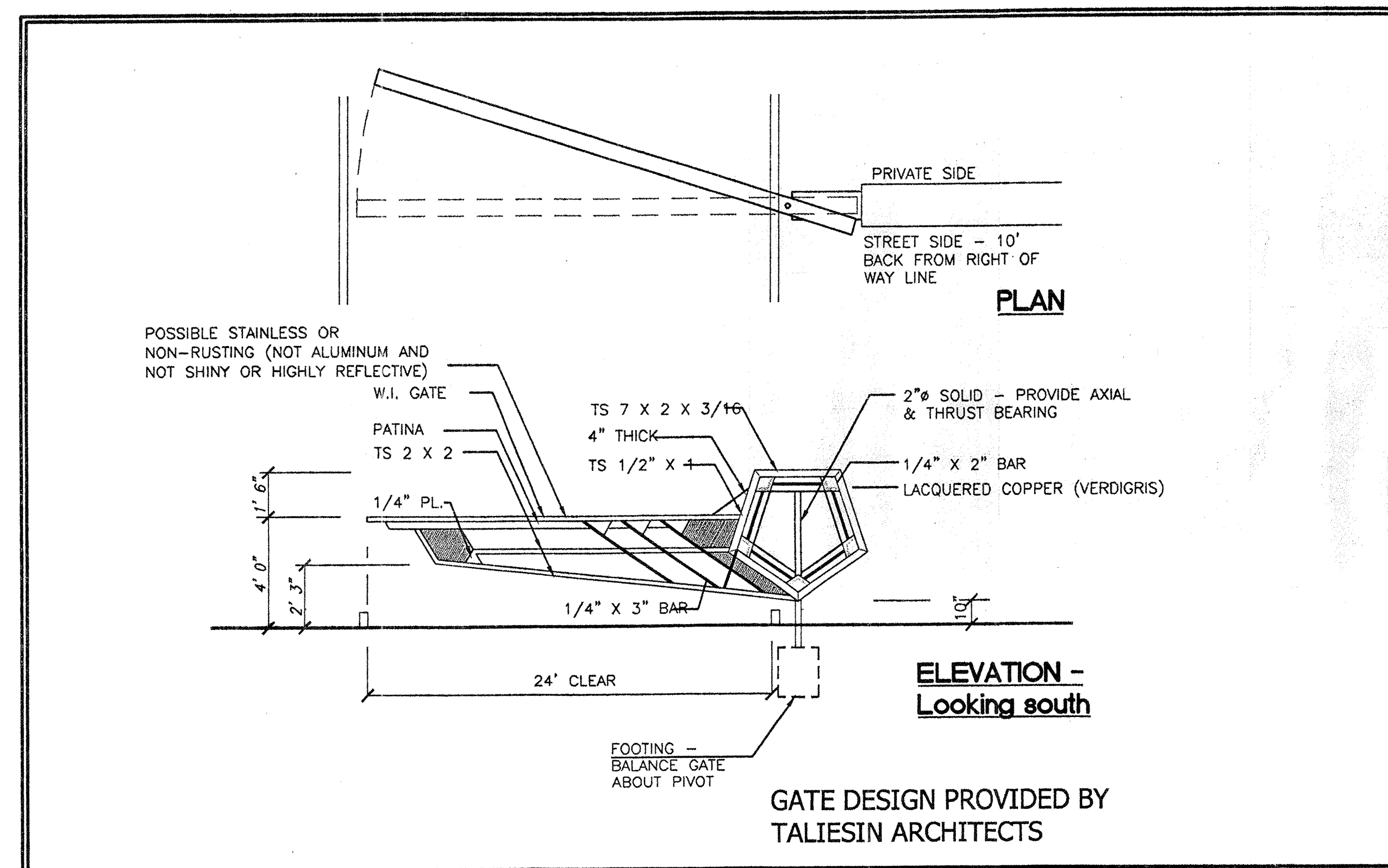
Extruded Curb Shall Have A Tooled Joint Every 10 feet And At Least 3 Per Each Small Radius Curve



Note: Extruded Curb Shall Be Placed By Qualified Applicators. All Material Utilized Shall Be Delivered To The Job Site In Transit Mixers As Per, M.A.C. Specs. 725.

EXTRUDED CURB DETAIL

(Not to Scale)

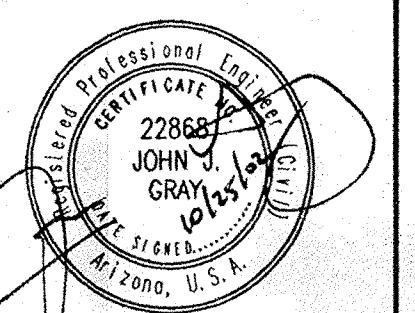


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GRADING AND DRAINAGE PLAN
ASCENSION LUTHERAN CHURCH
7100 NORTH MOCKINGBIRD LANE
PARADISE VALLEY, ARIZONA

REVISIONS	
1	REVISED 9/20/02
2	REVISED 10/25/02

DRAWING STATUS:



DATE ISSUED	7/23/02
DESIGNED BY	PTT
DRAWN BY	PTT
CHECKED BY	JUG
PROJECT NO.	4929
DRAWING NO.	

C1.04
SECTION
AND DETAILS

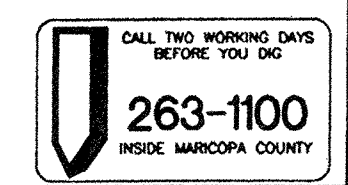
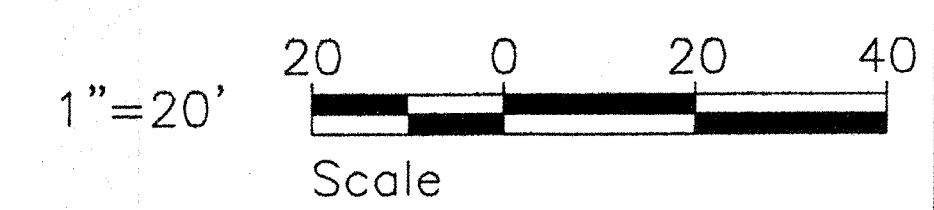


EXTERNAL
DRAWINGS



CONSTRUCTION NOTES

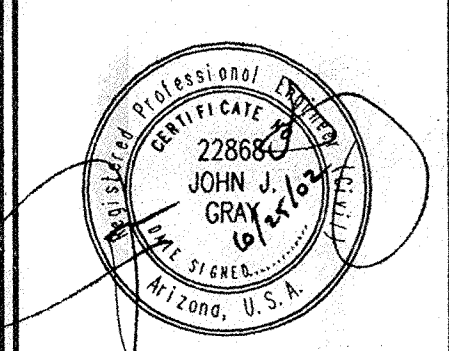
- 1 CONSTRUCT CURB & GUTTER PER MAG STD DETAIL 220, TYPE A.
- 2 CONSTRUCT 3" A.C. (C-3/4 MIX) OVER 6" A.B.C. PAVEMENT.
- 3 SAWCUT AND REMOVE EXISTING EDGE OF PAVEMENT 2' MIN. INTO EXISTING PAVEMENT. REPLACE PAVEMENT IN-KIND OR WITH 3" AC C-3/4 MIX OVER 6" ABC, WHICHEVER IS GREATER.
- 4 ADJUST EXISTING SEWER MANHOLE RIM TO MATCH NEW GRADE.
- 5 CONSTRUCT EXTRUDED CURB PER DETAIL ON SHEET C1.04.
- 6 PAINT 4" WIDE WHITE PARKING STRIPE. (TYPICAL)
- 7 EXISTING CURB TO REMAIN IN PLACE.
- 8 EXISTING DRIVEWAY TO REMAIN IN PLACE.
- 9 CONSTRUCT 2" A.C. (C-3/4 MIX) OVER 4" A.B.C. PAVEMENT.



EKA
Evans, Kuhn
& Associates, Inc.
727 E. Bethany Home Rd.
Phoenix, Az 85014
602.241.0782 phone
602.248.9158 fax

SOUTH SIDE IMPROVEMENTS
ASCENSION LUTHERAN CHURCH
7100 NORTH MOCKINGBIRD LANE
PARADISE VALLEY, ARIZONA

REVISIONS	
DRAWING STATUS:	



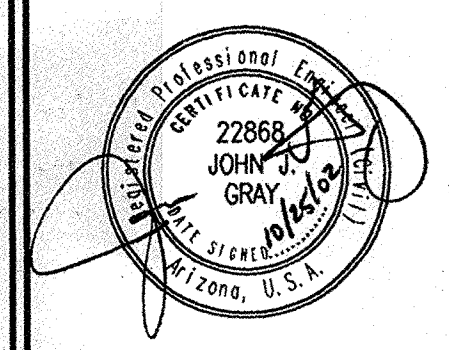
DATE ISSUED 7/23/02
DESIGNED BY PTT
DRAWN BY PTT
CHECKED BY JUC
PROJECT NO. 4929
DRAWING NO.

C1.05
SOUTH SIDE
IMPROVEMENT
PLAN
1"=20'

Evans, Kuhn
& Associates, Inc.
727 E. Bethany Home Rd.
Phoenix, Az 85014
602.241.0782 phone
602.248.9158 fax

SITE PLAN
ASCENSION LUTHERAN CHURCH
7100 NORTH MOCKINGBIRD LANE
PARADISE VALLEY, ARIZONA

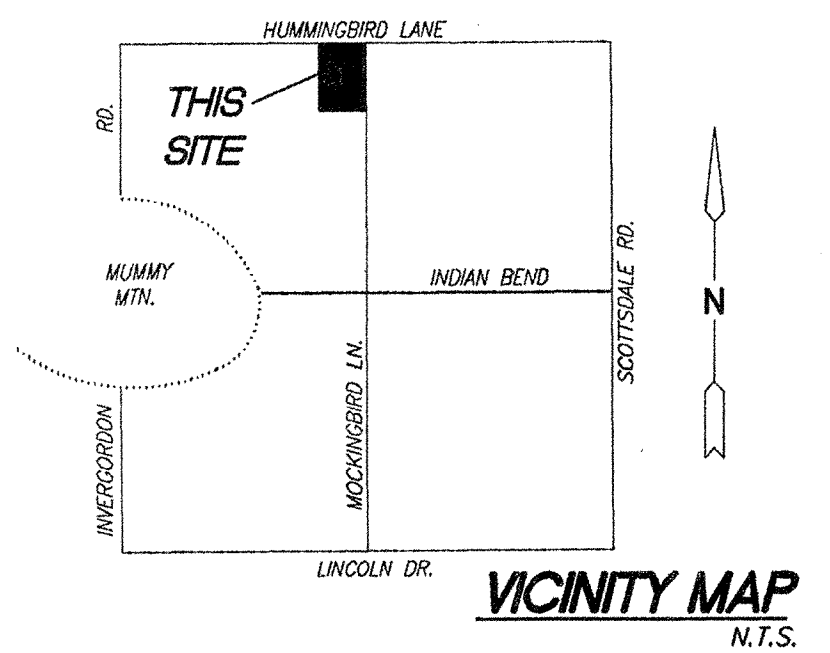
REVISIONS	
DRAWING STATUS:	



DATE ISSUED 04/18/02
DESIGNED BY
DRAWN BY JAG
CHECKED BY JAG
PROJECT NO. 4929
DRAWING NO.

C-1.00
SITE PLAN
1"=40'

SPECIAL USE PERMIT MINOR AMENDMENT



OWNER/ SITE ADDRESS

ASCENSION LUTHERAN CHURCH
7100 NORTH MOCKINGBIRD LANE
PARADISE VALLEY, ARIZONA 85263

CLIENT

CCG CONSTRUCTION, LLC
3333 EAST CAMELBACK RD.
SUITE 250
PHOENIX, ARIZONA 85018

ENGINEER

EVANS, KUHN & ASSOCIATES
727 EAST BETHANY HOME ROAD
SUITE D-225
PHOENIX, ARIZONA 85014

LEGAL DESCRIPTION

LOT 1 OF MEADOWLARK ACRES ACCORDING TO BOOK 194 PAGE 11
RECORDS OF MARICOPA COUNTY, ARIZONA

AREA INFORMATION AND PROJECT DATA

AREA=275,250 sq. ft. = 6.32 acres
ALLOWABLE HEIGHT = 75 FEET
ACTUAL BUILDING HEIGHT = 57 FEET
ALLOWABLE SPIRE HEIGHT = 100 FEET
ACTUAL SPIRE HEIGHT = 100 FEET
TOTAL FLOOR AREA = 15,823 sq. ft.
TOTAL FOOTPRINT AREA = 11,691 sq. ft.
LOT COVERAGE = 4.25%
ALLOWABLE COVERAGE = 20%
NORTH PARKING AREA = 70,656 sq.ft.
NORTH PARKING AREA LANDSCAPE = 18,130 sq.ft. = 25.7%
SOUTH PARKING AREA = 28,346 sq.ft.
SOUTH PARKING AREA LANDSCAPE = 10,130 sq.ft. = 35.7%

SUMMARY OF THE PARKING CALCULATIONS

PARKING ALLOWED		
TOTAL NUMBER OF SEATS IN THE SANCTUARY AT BUILD-OUT, PROVIDE ONE SPACE PER THREE SEATS (PER SECTION 6 OF THE ZONING ORDINANCE)	800 SEATS	266 SPACES
TOTAL ALLOWED		266 SPACES

EXISTING PARKING

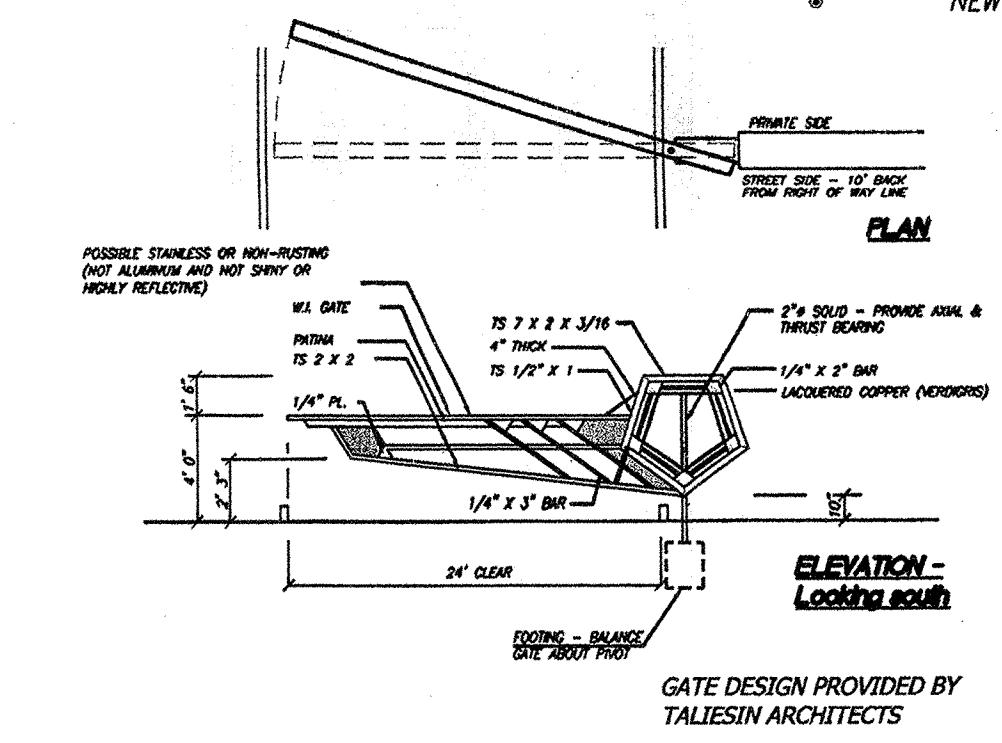
NORTH LOT	69 SPACES
SOUTH LOT	42 SPACES
ACCESSIBLE	3 SPACES
TOTAL	114 SPACES

PARKING TO BE PROVIDED

NORTH LOT	158 SPACES
SOUTH LOT	42 SPACES
ACCESSIBLE	7 SPACES
TOTAL	207 SPACES

LEGEND

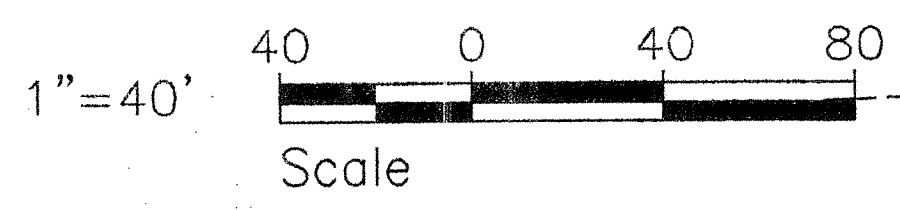
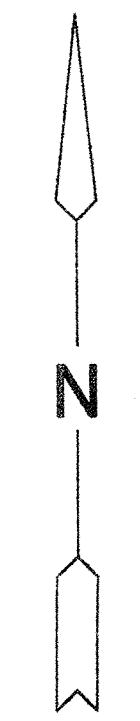
- | | |
|--------------------------|--------------------------------|
| MONUMENT LINE/CENTERLINE | BRASS CAP IN HANDHOLE |
| PROPERTY LINE | FOUND 1/2" REBAR |
| RIGHT-OF-WAY LINE | SANITARY SEWER MANHOLE |
| EASEMENT LINE | ELECTRIC MANHOLE |
| ELECTRIC LINE | WATER VALVE |
| GAS LINE | FIRE HYDRANT |
| SEWER LINE | TELEPHONE PEDESTAL |
| WATER LINE | M.C.R. MARICOPA COUNTY RECORDS |
| EXISTING CONCRETE | (R) RECORD COURSE |
| EXISTING PAVEMENT | (C) CALCULATED COURSE |
| BRASS CAP FLUSH | (M) MEASURED COURSE |
| | B.S.L. BUILDING SETBACK LINE |
| | NEW PARKING LOT BOLLARD LIGHTS |



GATE DESIGN PROVIDED BY
TALIESIN ARCHITECTS

CALL TWO WORKING DAYS
BEFORE YOU DO
263-1100
HOUSE MARICOPA COUNTY

EXTERNAL
DRAWINGS



NORTH OF MEADOWLARK LANE TO BE
COMPLETED WITH THIS PROJECT.

INDIAN BEND
S.E. CORNER SEC 3
TD 1.8 IN H.H.
ELEVATION 1313.79

GRADING AND DRAINAGE PLANS
FOR
ASCENSION LUTHERAN CHURCH

7100 NORTH MOCKINGBIRD LANE
PARADISE VALLEY, ARIZONA

GENERAL NOTES
(EVANS, KUHN and ASSOCIATES, INC.)

1. EXISTING UNDERGROUND UTILITIES WERE COMPILED FROM THE LATEST AVAILABLE UTILITY RECORDS AND SHOULD BE CONSIDERED APPROXIMATE IN LOCATION AND POSSIBLY INCOMPLETE. EXACT LOCATION MUST BE DETERMINED IN THE FIELD. CALL "BLUE-STAKE" A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO EXCAVATION.
2. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, CENTERLINE OF RIGHT-OF-WAY OR CENTERLINE OF STRUCTURE UNLESS NOTED OTHERWISE.
3. CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING PIPE AT PROPOSED CONNECTIONS PRIOR TO NEW PIPE INSTALLATION. NOTIFY ENGINEER IMMEDIATELY OF CONFLICTS OR DISCREPANCIES.
4. IT SHALL BE THE RESPONSIBILITY OF THE BIDDER TO VERIFY ALL QUANTITIES INCLUDING EXCAVATION, BORROW, EMBANKMENT, SHRINK OR SWELL, GROUND COMPACTION, HAUL AND ANY OTHER ITEMS AFFECTING HIS BID TO COMPLETE THE WORK TO THE ELEVATIONS SHOWN ON THE PLANS AND TO BASE HIS BID SOLELY UPON HIS OWN VERIFIED QUANTITIES IRRESPECTIVE OF THE INFORMATION FURNISHED. IT SHALL BE THE BIDDERS RESPONSIBILITY TO NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION, OR ANY MAJOR DISCREPANCIES.
5. ALL CONSTRUCTION ON SITE SHALL CONFORM TO MAG STANDARD SPECIFICATIONS AND DETAILS, UNLESS MODIFIED ON THE PLANS.
6. CONTRACTOR TO COMPLY WITH ALL ADA REQUIREMENTS RELATING TO CONSTRUCTION.
7. CONTRACTOR SHALL PROVIDE DUST CONTROL FOR ALL UNPAVED AREAS DURING CONSTRUCTION. OWNER IS RESPONSIBLE FOR PROVIDING APPROPRIATE GROUND COVER AND/OR DUST CONTROL MAINTENANCE AS NECESSARY AFTER CONSTRUCTION IS COMPLETED AND ACCEPTED.

The City of Paradise Valley "Storm Drainage Design Manual" was used as the basis for the design of storm water management for this project.

RETENTION SUMMARY

NET AREA, (A)	84,429 sq. ft.
RUNOFF COEFFICIENT, (C)	0.90
DESIGN STORM DEPTH, (d)	1.25 in.

RETENTION REQUIRED:

$$V_R = 7200 \cdot d \cdot A \cdot C$$

$$V_R = 15,700 \text{ cu. ft.}$$

RETENTION PROVIDED: 15,791 cu. ft.

contour	area	volume
21.2	1474	1091
20.2	707	385
19.2	62	31

1506 cu. ft.

contour	area	volume
19.5	6604.0	5833
18.5	5061.0	4345
17.5	3628.0	2961
16.5	2294.0	1147

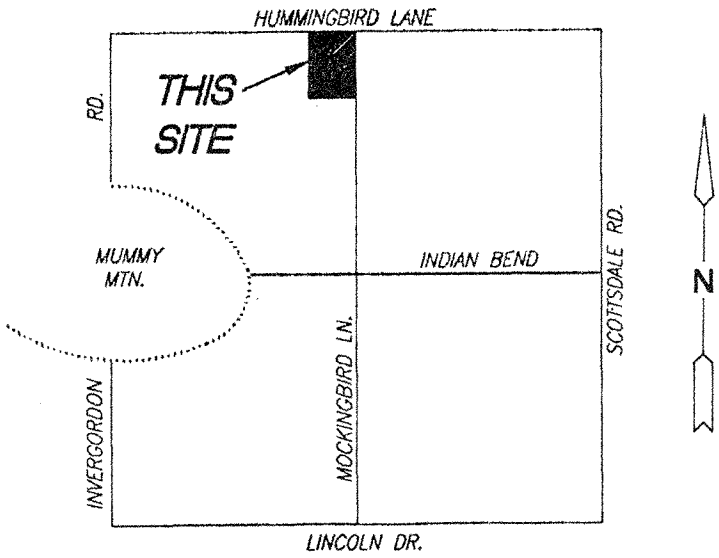
14285 cu. ft.

BASIN A AND D ONLY COLLECT WATER RUNOFF INSIDE THEIR AREAS

The proposed drainage facilities are designed to handle the runoff from the 100-year, 2-hour frequency storm for on-site runoff. The ultimate site outfall elevation 1318.82 is located on the east property line of the site onto Mockingbird Lane.

The finished floor is set adequately above the outfall protecting the building from flooding. The retention for the 100-year frequency storm will drain in less than 36 hours.

The proposed improvements for this project do not increase discharge from the site and comply with City of Paradise Valley drainage design requirements.



VICINITY MAP
N.T.S.

ENGINEER'S ESTIMATE OF QUANTITIES

PAVING

ASPHALT PAVING SURFACE	7289 SY
SAWCUT, REMOVE & REPLACE PAVEMENT	119 SY

CONCRETE

EXTRUDED CURB	2,780 L.F.
RIP-RAP SPILLWAY	4 EA.
VERTICAL CURB & GUTTER	460 L.F.

DRAINAGE

STORM WATER PIPE	19 L.F.
12" P.V.C. SDR 35 SD	

SHEET INDEX

- C1.01 COVER SHEET
- C1.02 GRADING & DRAINAGE PLAN
- C1.03 HORIZONTAL CONTROL & PAVING PLAN
- C1.04 SECTION & DETAILS
- C1.05 SOUTH SIDE IMPROVEMENTS

OWNER/ SITE ADDRESS

ASCENSION LUTHERAN CHURCH
7100 NORTH MOCKINGBIRD LANE
PARADISE VALLEY, ARIZONA 85263

ENGINEER/SURVEYOR

EVANS, KUHN & ASSOCIATES, INC.
727 E. BETHANY HOME ROAD, SUITE D-225
PHOENIX, ARIZONA 85014
PHONE: (602) 241-0782
FAX: (602) 248-9158

CONTRACTOR

CCG CONSTRUCTION, LLC
3333 EAST CAMELBACK RD.
SUITE 250
PHOENIX, ARIZONA 85018

ESTIMATED
EARTHWORK QUANTITIES

CUT - 759 C.Y.
FILL - 450 C.Y.

NOTE: QUANTITIES SHOWN ARE IN PLACE ESTIMATES WITH ADJUSTMENTS MADE FOR SCARIFICATION, SHRINKAGE, OR COMPACTION LOSSES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EARTHWORK QUANTITIES AND BASING HIS BID UPON HIS ESTIMATED QUANTITY.

BASIS OF BEARINGS

ASSUMED BEARING OF S01°04'26"E ALONG THE MONUMENT LINE OF MOCKINGBIRD LANE AS SHOWN ON THE RECORDED PLAT FOR MEADOWLARK ACRES, BOOK 194, PAGE 11, M.C.R.

LEGAL DESCRIPTION

LOT 1 OF MEADOWLARK ACRES ACCORDING TO BOOK 194, PAGE 11, RECORDS OF MARICOPA COUNTY, ARIZONA

AREA AND PROJECT DATA

AREA=275,250 sq. ft. = 6.32 acres
ALLOWABLE HEIGHT = 75 FEET
ACTUAL BUILDING HEIGHT = 57 FEET
ALLOWABLE SPIRE HEIGHT = 100 FEET
ACTUAL SPIRE HEIGHT = 100 FEET
TOTAL FLOOR AREA = 15,823 sq. ft.
TOTAL FOOTPRINT AREA = 11,691 sq. ft.
LOT COVERAGE = 4.25%
ALLOWABLE COVERAGE = 20%
NORTH PARKING AREA = 70,656 sq. ft.
NORTH PARKING AREA LANDSCAPE = 18,130 sq. ft. = 25.7%

BENCHMARK

PARADISE VALLEY BENCH #70 BRASS CAP FLUSH 775'± WEST OF INTERSECTION OF 66TH STREET AND HUMMINGBIRD LANE.
ELEVATION = 1373.75

FLOODPLAIN

THE SUBJECT PARCEL LIES WITHIN FLOOD ZONE "X" AS DELINEATED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM MAP NO. 04013C1695G DATED 7/19/2001.

FLOOD ZONE "X" IS DEFINED AS AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD.

LEGEND

C=	CONCRETE PAVEMENT GRADE	POWER POLE	NEW CURB
P=	ASPHALT PAVEMENT GRADE	FIRE HYDRANT	EXISTING CURB & GUTTER
FG=	PROPOSED FINISHED GRADE	TRANSFORMER	RIGHT-OF-WAY LINE
S/W=	SIDEWALK GRADE	SEWER CLEANOUT	PROPERTY LINE
x1096.00	EXISTING GRADE	M.C.R.	EASEMENT LINE
ELECTRIC BOX, IRRIGATION VALVE BOX,		D/W	RIDGE LINE
DOWN GUY WIRE		T	GRADE BREAK
POWER POLE		G	NEW RETAINING WALL
DIRECTION OF RUNOFF FLOW		8" VCP	HIGH WATER ELEVATION (100 YR. FLOOD INUNDATION)
TRAFFIC SIGN		Brass Cap in Hand Hole	P.U.E. = PUBLIC UTILITY EASEMENT
EXISTING BOLLARD		Brass Cap Flush	Monument Line / Centerline
DRYWELL		EXISTING STREET LIGHT	Building
WATER OR GAS VALVE		EXISTING WATER VALVE	Existing Concrete
		EXISTING TREE	
		EXISTING ASPHALT PAVEMENT	
		PROPOSED CONCRETE SIDEWALK	
		EXISTING SEWER MANHOLE	
		EXISTING METER BOX/ IRRIG. CONTROL BOX	

FILE COPY

DO NOT REMOVE FROM FILE

Minor ASUP PLAT WENT TO

COUNCIL PLANNING AND ZONING

ON 11-19-02



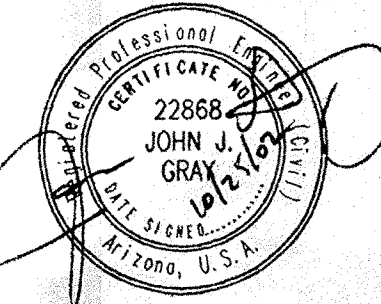
Evans, Kuhn
& Associates, Inc.
727 E. Bethany Home Rd.
Phoenix, Az 85014
602.241.0782 phone
602.248.9158 fax

GRADING AND DRAINAGE PLAN
ASCENSION LUTHERAN CHURCH
7100 NORTH MOCKINGBIRD LANE
PARADISE VALLEY, ARIZONA

REVISIONS

1 REVISED 9/20/02

DRAWING STATUS:



DATE ISSUED

7/23/02

DESIGNED BY

PJT

DRAWN BY

PJT

CHECKED BY

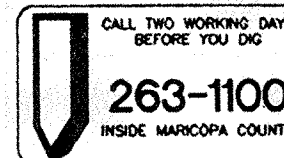
JUG

PROJECT NO.

4929

DRAWING NO.

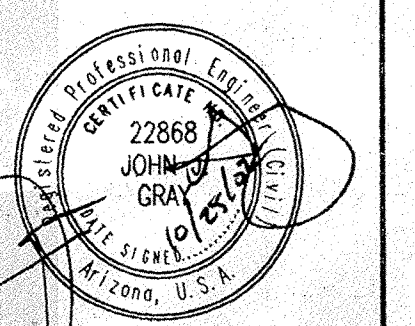
C1.01
COVER
SHEET



GRADING AND DRAINAGE PLAN
ASCENSION LUTHERAN CHURCH
7100 NORTH MOCKINGBIRD LANE
PARADISE VALLEY, ARIZONA

REVISIONS	
1	REVISED 9/20/02
2	REVISED 10/25/02

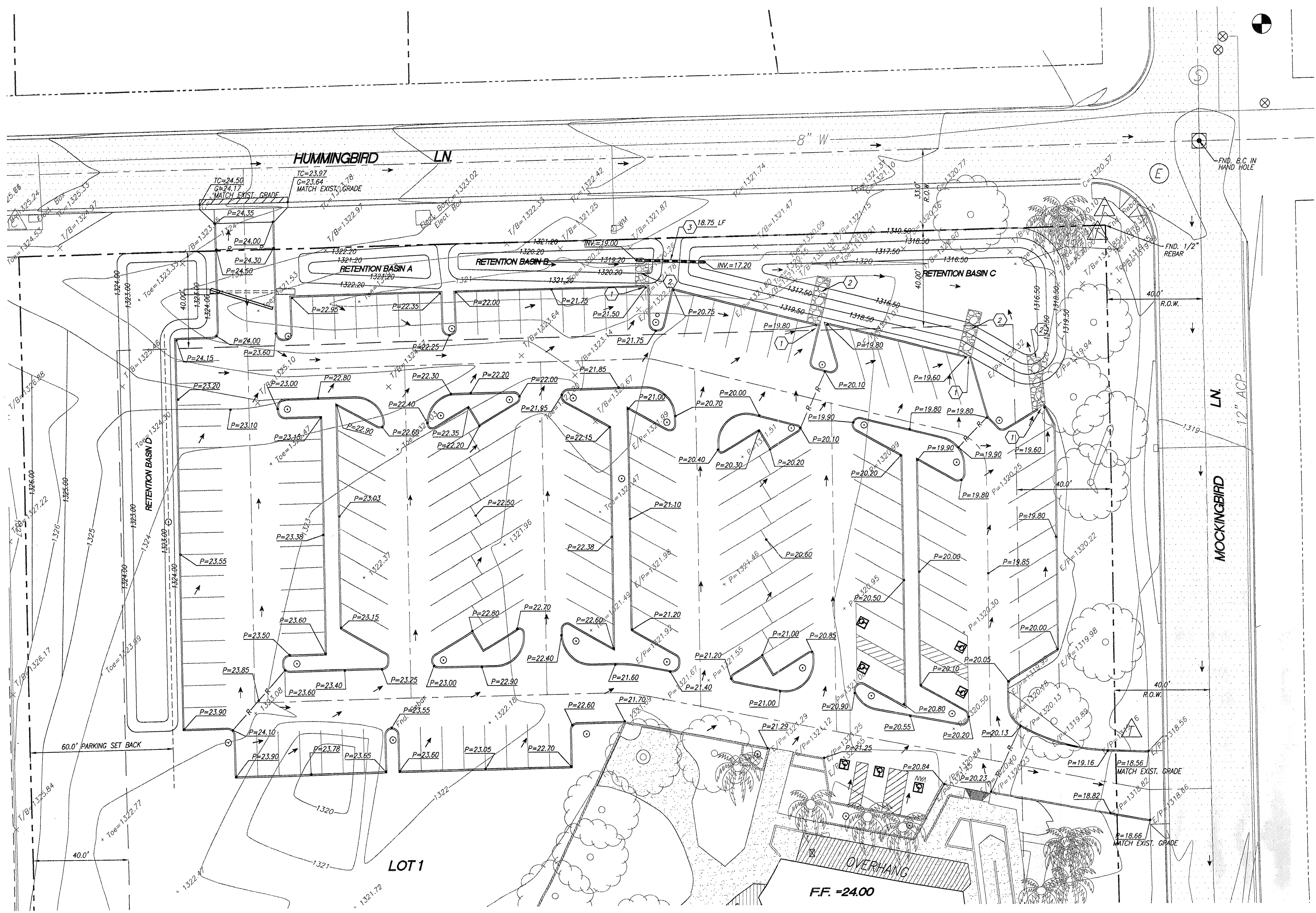
DRAWING STATUS:



DATE ISSUED	7/23/02
DESIGNED BY	PIT
DRAWN BY	PIT
CHECKED BY	JUG
PROJECT NO.	4929
DRAWING NO.	

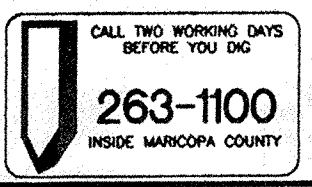
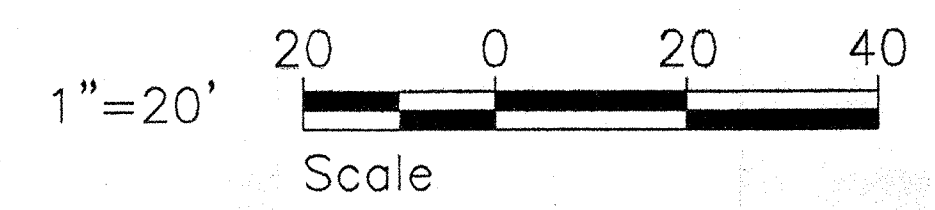
C1.02
GRADING & DRAINAGE PLAN
 1"=20'

EXTERNAL
DRAWINGS



CONSTRUCTION NOTES

- 1 CONSTRUCT CURB OPENING PER DETAIL ON SHEET C1.04.
- 2 CONSTRUCT RIP-RAP SPILLWAY PER DETAIL, ON SHEET C1.04, 6" MINIMUM DIAMETER STONE ONE FOOT THICK TO BOTTOM OF BASIN.
- 3 INSTALL 12" PVC, SDR 35 STORM DRAIN.

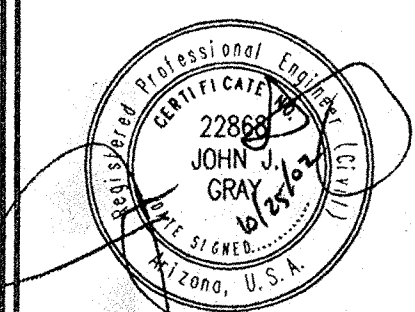




Evans, Kuhn
& Associates, Inc.
727 E. Bethany Home Rd.
Phoenix, Az 85014
602.241.0782 phone
602.248.9158 fax

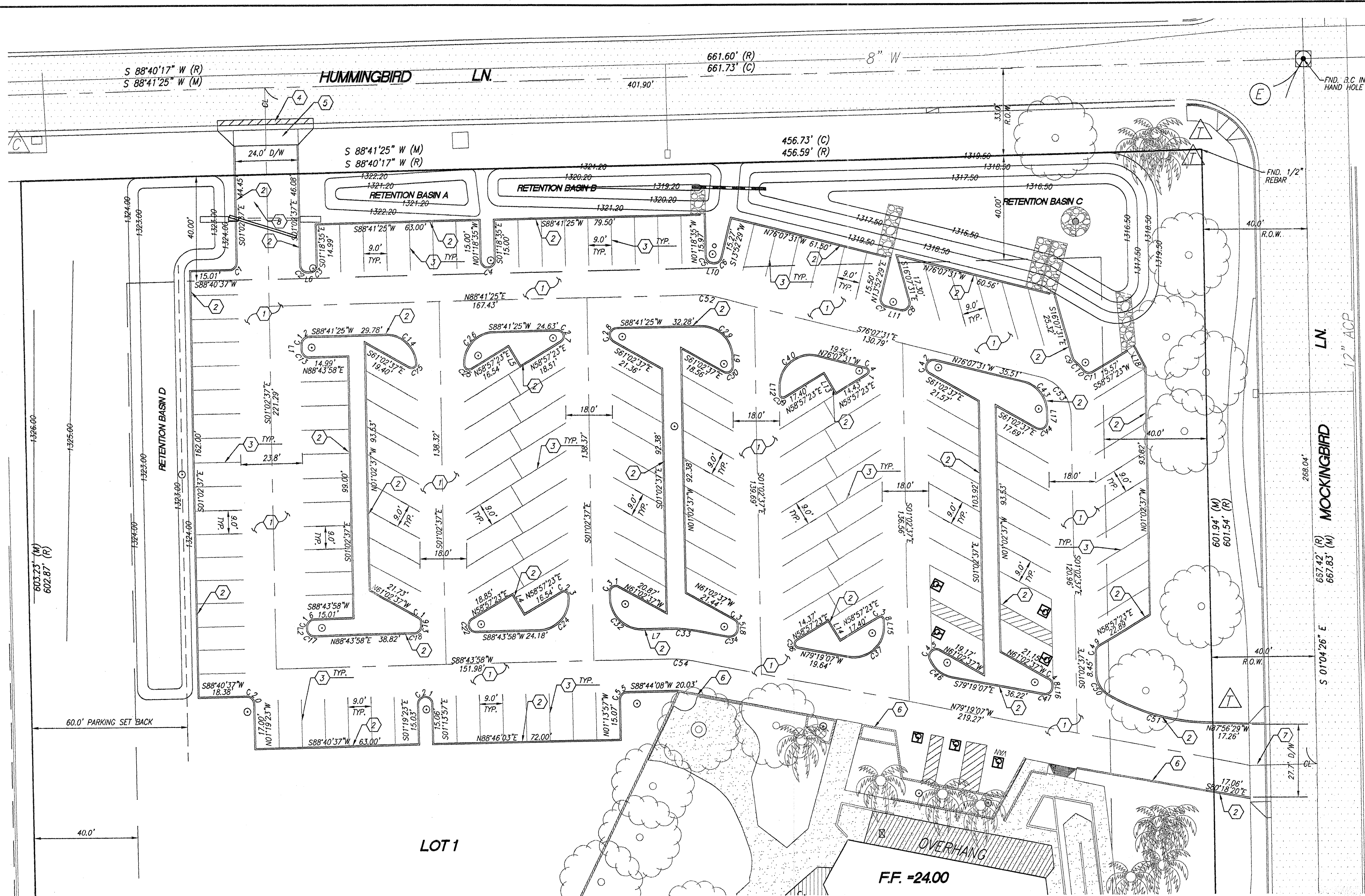
GRADING AND DRAINAGE PLAN
ASCENSION LUTHERAN CHURCH
7100 NORTH MOCKINGBIRD LANE
PARADISE VALLEY, ARIZONA

REVISIONS	
1	REVISED 9/20/02
2	REVISED 10/25/02
DRAWING STATUS:	



DATE ISSUED	7/23/02
DESIGNED BY	PTT
DRAWN BY	PTT
CHECKED BY	JWG
PROJECT NO.	4929
DRAWING NO.	

C1.03
PAVING & HORIZONTAL CONTROL PLAN
1"=20'

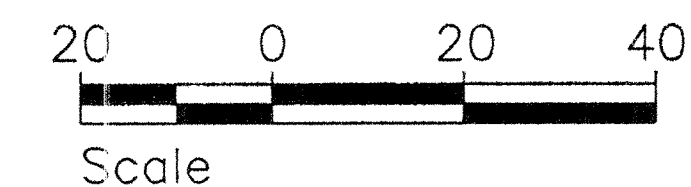


LINE TABLE		
LINE	LENGTH	BEARING
L1	2.29'	S01°02'37"E
L2	1.00'	S01°02'37"E
L3	1.77'	N01°02'37"W
L4	9.00'	S31°02'37"E
L5	9.00'	S31°02'37"E
L6	0.93'	S88°57'23"W
L7	9.93'	N88°43'58"E
L8	1.30'	N01°02'37"W
L9	3.59'	N01°02'37"W
L10	0.62'	N81°28'19"W
L11	5.89'	S76°07'31"E
L12	3.00'	S01°02'37"E
L13	9.00'	S31°02'37"E
L14	9.00'	S31°02'37"E
L15	2.72'	S01°02'37"E
L16	0.85'	N01°02'37"W
L17	3.82'	N01°02'37"W
L18	9.26'	N28°12'38"W

CONSTRUCTION NOTES

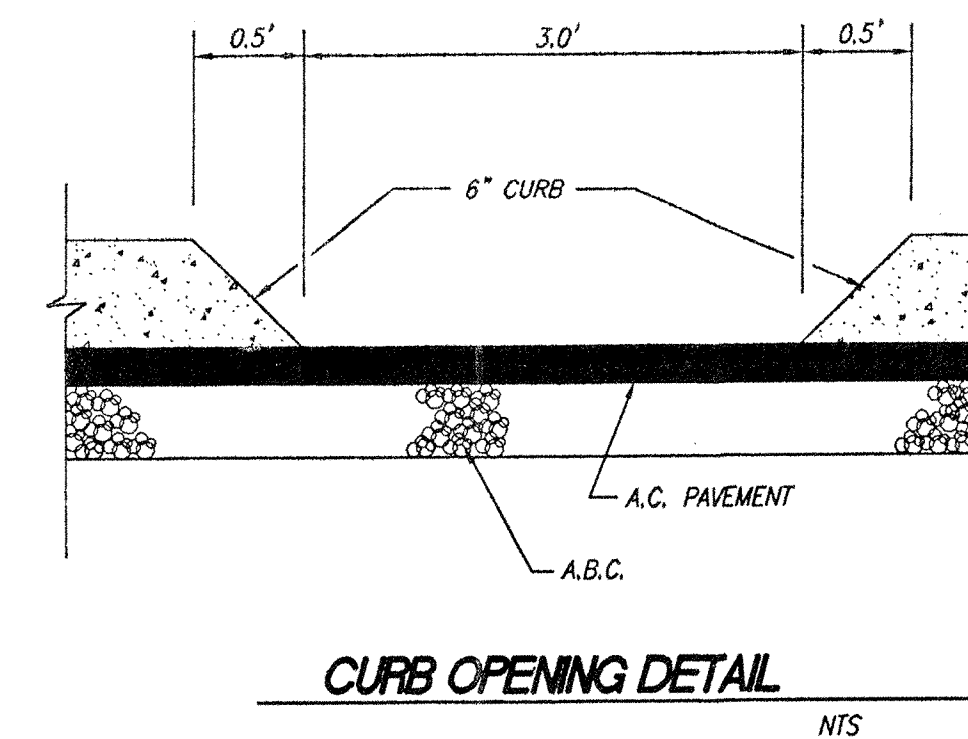
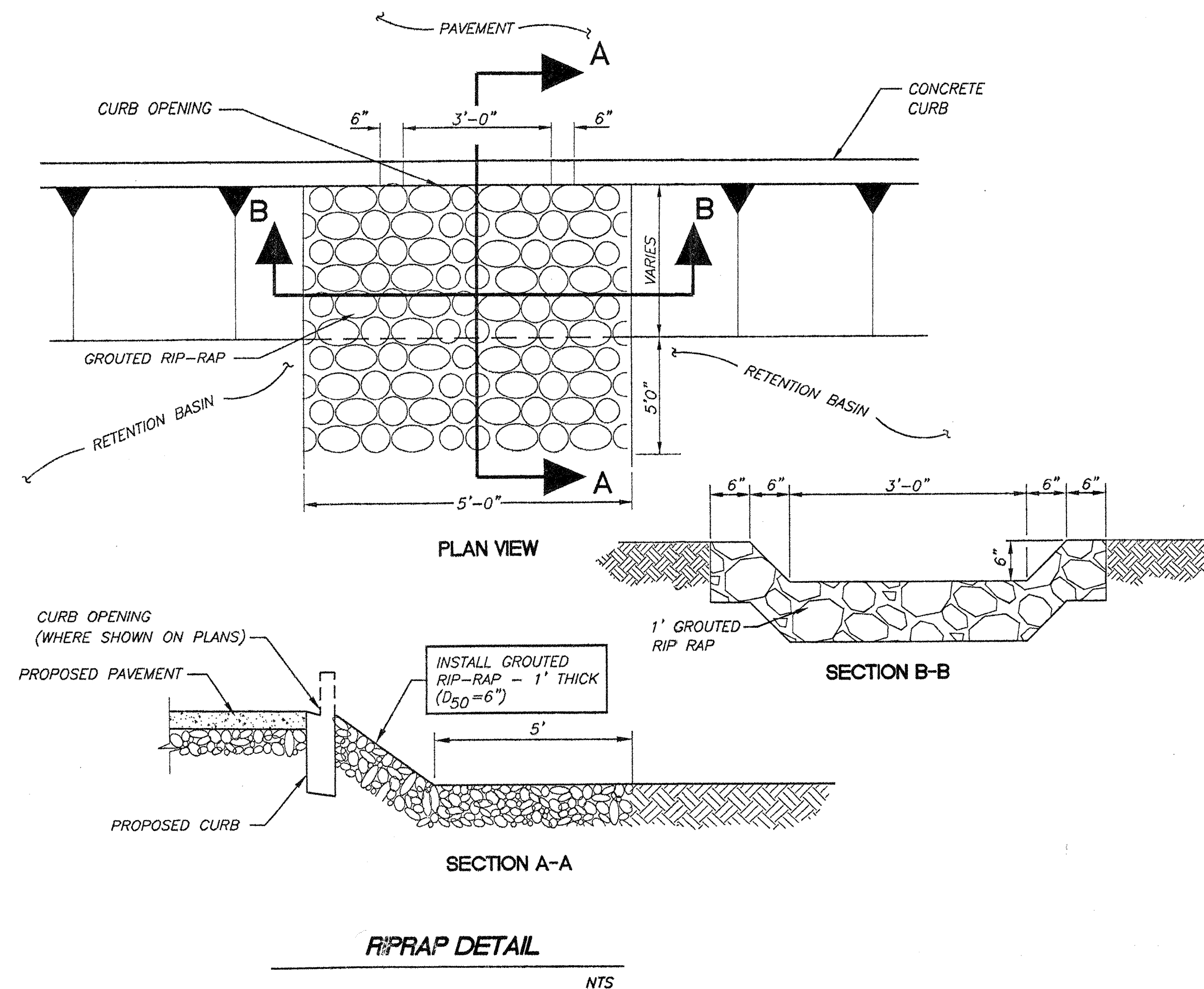
1. CONSTRUCT 2" A.C. (C-3/4 MIX) OVER 4" A.B.C. PAVEMENT.
2. CONSTRUCT EXTRUDED CURB PER DETAIL ON SHEET C1.04.
3. PAINT 4" WIDE WHITE PARKING STRIPE. (TYPICAL)
4. SAWCUT AND REMOVE EXISTING CURB & GUTTER 2' MIN. INTO EXISTING PAVEMENT. REPLACE PAVEMENT IN-KIND OR WITH 3" AC OVER 6" ABC WHICHEVER IS GREATER.
5. CONSTRUCT 24" DRIVEWAY ENTRANCE PER MAG STD DET. 263.
6. EXISTING EXTRUDED CURB TO REMAIN IN PLACE.
7. EXISTING DRIVEWAY TO REMAIN IN PLACE.
8. CONSTRUCT ACCESS GATE, SEE DETAIL ON SHEET C-1.04.

1"=20'

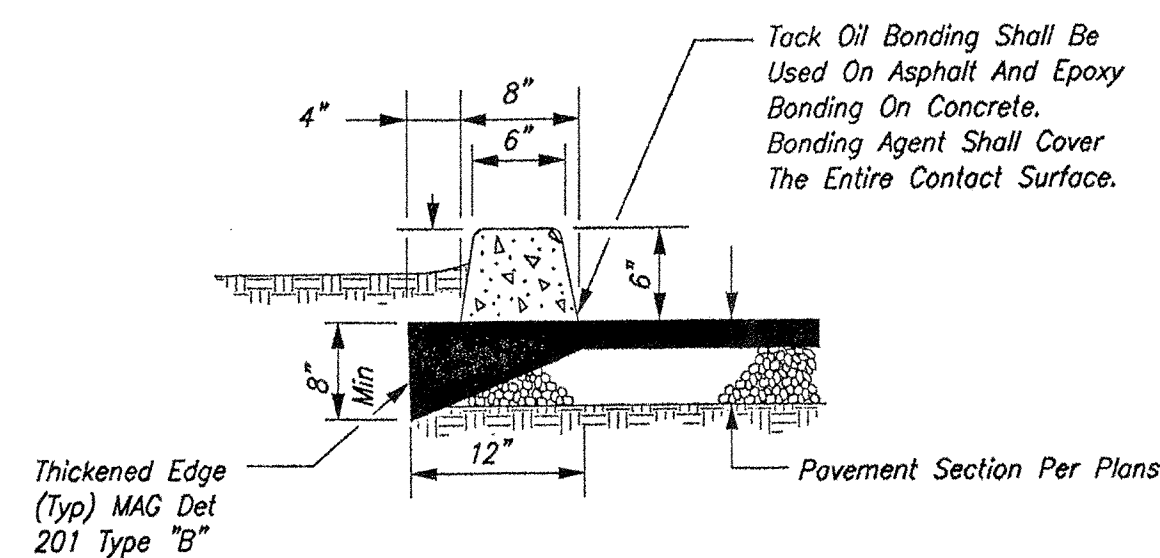


CALL TWO WORKING DAYS BEFORE YOU DIG
263-1100
HOPE MARICOPA COUNTY

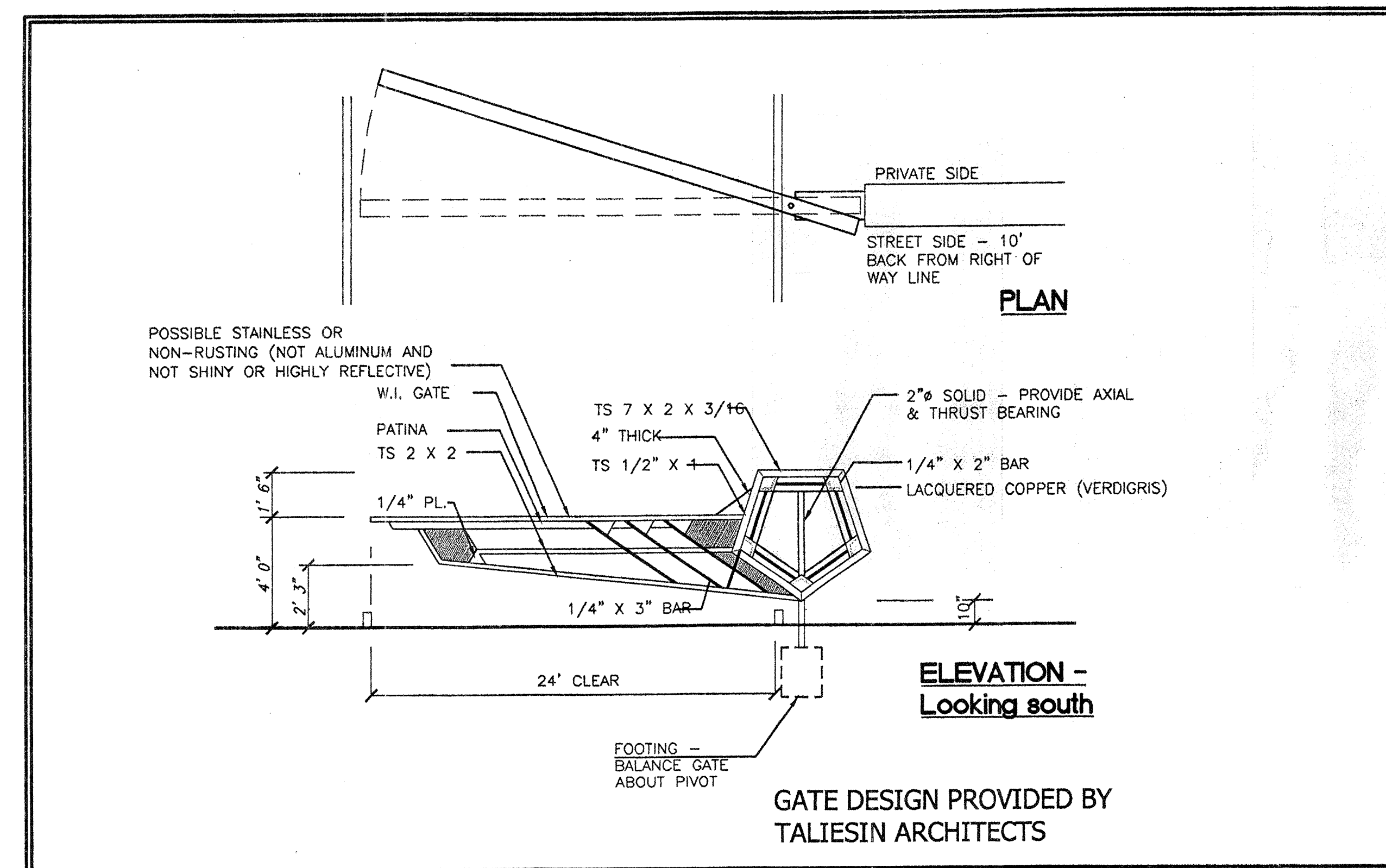
EXTERNAL
DRAWINGS



Extruded Curb Shall Have A Tooled Joint Every 10 feet And At Least 3 Per Each Small Radius Curve



Note: Extruded Curb Shall Be Placed By Qualified Applicators. All Material Utilized Shall Be Delivered To The Job Site In Transit Mixers As Per. M.A.C. Specs. 725.



CALL TWO WORKING DAYS BEFORE YOU DIG
602-263-1100
INSIDE MARICOPA COUNTY



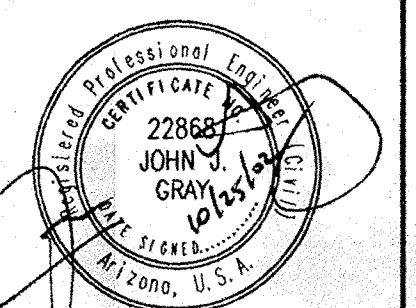
Evans, Kuhn
& Associates, Inc.
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GRADING AND DRAINAGE PLAN
ASCENSION LUTHERAN CHURCH
7100 NORTH MOCKINGBIRD LANE
PARADISE VALLEY, ARIZONA

REVISIONS

1	REVISED 9/20/02
2	REVISED 10/25/02

DRAWING STATUS



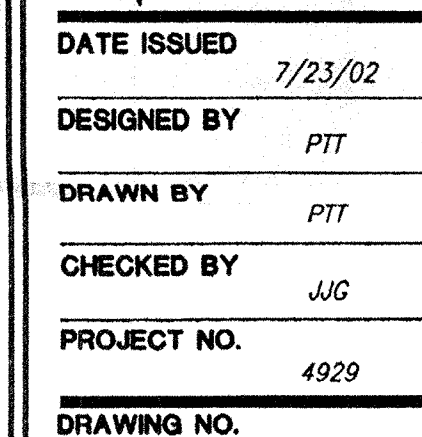
DATE ISSUED 7/23/02
DESIGNED BY PTT
DRAWN BY PTT
CHECKED BY JGG
PROJECT NO. 4929
DRAWING NO.

C104
SECTION
AND DETAILS

SOUTH SIDE IMPROVEMENTS
ASCENSION LUTHERAN CHURCH
7100 NORTH MOCKINGBIRD LANE
PARADISE VALLEY, ARIZONA

REVISIONS	

DRAWING STATUS.



C1.05
SOUTH SIDE
IMPROVEMENT
PLAN
1"=20'

[illegible]

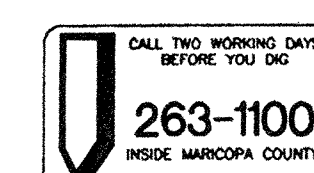
CONSTRUCTION NOTES

- | | | | |
|---|---|---|--|
| 1 | CONSTRUCT CURB & GUTTER PER MAG STD DETAIL 220, TYPE A. | 6 | PAINT 4" WIDE WHITE PARKING STRIPE. (TYPICAL) |
| 2 | CONSTRUCT 3" A.C. (C-3/4 MIX) OVER 6" A.B.C. PAVEMENT. | 7 | EXISTING CURB TO REMAIN IN PLACE. |
| 3 | SAWCUT AND REMOVE EXISTING EDGE OF PAVEMENT 2' MIN. INTO EXISTING PAVEMENT. REPLACE PAVEMENT IN-KIND OR WITH 3" AC C-3/4 MIX OVER 6" ABC, WHICHEVER IS GREATER. | 8 | EXISTING DRIVEWAY TO REMAIN IN PLACE. |
| 4 | ADJUST EXISTING SEWER MANHOLE RIM TO MATCH NEW GRADE | 9 | CONSTRUCT 2" A.C. (C-3/4 MIX) OVER 4" A.B.C. PAVEMENT. |
| 5 | CONSTRUCT EXTRUDED CURB PER DETAIL ON SHEET C1.04. | | |

1" = 20'

A horizontal scale bar with alternating black and white segments. Above the bar, the numbers 20, 0, 20, and 40 are marked. The bar is divided into four equal segments, each representing 20 feet. The first segment (0 to 20) is white, the second (20 to 40) is black, the third (40 to 60) is white, and the fourth (60 to 80) is black.

Scale



Commissioner Adams recommended continuing the minutes to December 21, 1999 meeting. Commissioner Coffman seconded the motion and all were in favor.

REGULAR BUSINESS

CONTINUED MEETING: Consideration of a proposed preliminary plat for a four-lot subdivision located on the southwest corner of Berneil Drive and Scottsdale Road.

Mr. Pascoe explained that the staff had recommended a continuance to the January 4, 2000 meeting to give the applicant the opportunity to provide on the landscape plans Scottsdale Road widening standards and to explain how the landscaping would be maintained for the subdivision. The continuance would also provide the applicant with the opportunity to contact the eventual home builder of the property to approach the Commission for any questions.

Commissioner LeMarr made a motion to continue the applicant's request to the January 4, 2000 meeting, but he also stated that he had done research into the property. With his resources it was not indicated that the applicant was the owner of the subject property. He stated that he was concerned about that.

Chairman Clarke directed that question to staff as to how staff verifies ownership.

Mr. Pascoe explained that staff requires a title report be submitted with any application, which verifies ownership of the property.

Commissioner Cohen offered an amendment to the motion to continue the item to the January 4, 2000 meeting, and not to continue the item any further without demonstration of good faith from the applicant.

Commissioner Adams seconded the motion and all were in favor.

PUBLIC MEETING: Consideration of a proposed minor amendment to the Special Use Permit for Ascension Lutheran Church, located at 7100 North Mockingbird Lane, to change the design of previously approved columbariums for the memorial garden.

Michelle Bickerton presented the staff report.

Chairman Clarke asked if staff had received any complaints on the applicant's request.

Ms. Bickerton replied that staff had not received any inquiries, positive or negative, regarding the applicant's request, and that staff was not aware of any violations of the existing special use permit.

Commissioner Cohen asked why there was a stipulation requesting a mylar of the site plans.

Planning Commission Minutes
December 7, 1999

Ms. Bickerton explained that any time there is a site plan change approved at either the Commission or Council level, staff requests a mylar to have an updated copy for Town records.

Commissioner Benson asked if there was a change in the presentation technology from previous presentations.

Ms. Bickerton explained that staff was trying out a new software program called Microsoft Power Point for presentations at both the Commission and Council levels.

Commissioner Benson recommended a change in staff report layout. Instead of using the word "enforcement" to discuss violations or complaints of special use permits, he recommended that staff consider using the word "compliance".

Commissioner Benson asked if there was any timing associated with the 1997 approval for the columbariums in the memorial garden.

Ms. Bickerton explained that staff did not see any expiration date or time limit for construction of the 1997 special use permit. Staff was under the impression that after approval in 1997, the applicant received bids for construction and it was determined the cost of the proposed design of the columbariums was substantial. This resulted in a request for a design change to save in construction costs.

Mr. Pascoe explained that there was a requirement that the applicant hook up to the sewer by Spring 1999 as part of the 1997 special use permit approval. The applicant had hooked up the sewer as required.

Chairman Clarke asked if the applicant had any words to share with the Commission.

The applicant stated there was nothing to discuss and that staff had addressed the applicant's request.

Chairman Clarke opened the meeting to the public and asked the audience if anyone wanted to speak. There were none.

Chairman Clarke asked for a motion.

Commissioner Benson made a motion to approve the applicant's request as a minor amendment to the Special Use Permit. Commissioner Cohen seconded the motion and all were in favor.

Commissioner Benson made a motion to approve the applicant's request for a minor amendment to the special use permit with the following stipulations:

1. The applicant shall submit a mylar of the revised master plan and memorial garden site plan reflecting the columbarium design changes prior to the issuance

- of the building permit.
2. All landscaping for the memorial garden shall conform to the landscape plan approved as part of the January 9, 1997 amendment to the special use permit.

Commissioner Coffman seconded the motion and all were in favor.

PUBLIC MEETING: Consideration of a proposed amendment to the Special Use Permit for Tesseract School, located at 4800 E. Doubletree Ranch Road, to add a shade structure over a portion of an existing basketball court area on the western side of the school building and a security gate near the existing pre-school classrooms.

Ms. Bickerton presented the staff report.

Chairman Clarke asked staff why they didn't include that the property used to be called the Foothills Swim Club in their background study.

Ms. Bickerton explained that in doing research, ownership information regarding the Foothills Swim Club didn't turn up until after the staff report had been completed. Staff would make sure that information was included in the action report.

Commissioner Cohen asked if it is policy for the affidavit of mailing to include the residents name along with the property address. In looking through the packet, he noticed that the Tesseract notices said "resident". He asked for an explanation.

Mr. Pascoe stated that it is policy that notices are sent by first class mail, but it is practice to include the name and address in the affidavit of mailing.

There was discussion of Tesseract's compliance with their enrollment.

Commissioner Benson asked if staff evaluated the entire existing special use permit when an application came through, in addition to looking at the applicant's compliance with the special use permit.

Mr. Pascoe explained that if there had been no previous complaints or violations, no exhaustive research is done with the special use permit. If problems do exist, staff does a more exhaustive research.

Jill Kessler, executive director of Tesseract School, introduced Dr. Lubber.

Dr. Lubber, 9116 N. Morning Glory Road, discussed skin care statistics and the responsibility of the Town and government to protect children. He stated the Town should require shade structures in all open areas and encouraged the Planning Commission to see that all schools had shade structures.

Chairman Clarke encouraged Dr. Lubber to get with staff to suggest that sort of policy.

LOT 2
MEADOWLARK ACRES
BK 194, PG 11, MCR

LOT 3
MEADOWLARK ACRES
BK 194, PG 11, MCR

HUMMINGBIRD LANE

EXISTING CHURCH
BUILDING

PLAYGROUND
EQUIPMENT
ON SAND

MEADOWLARK LANE

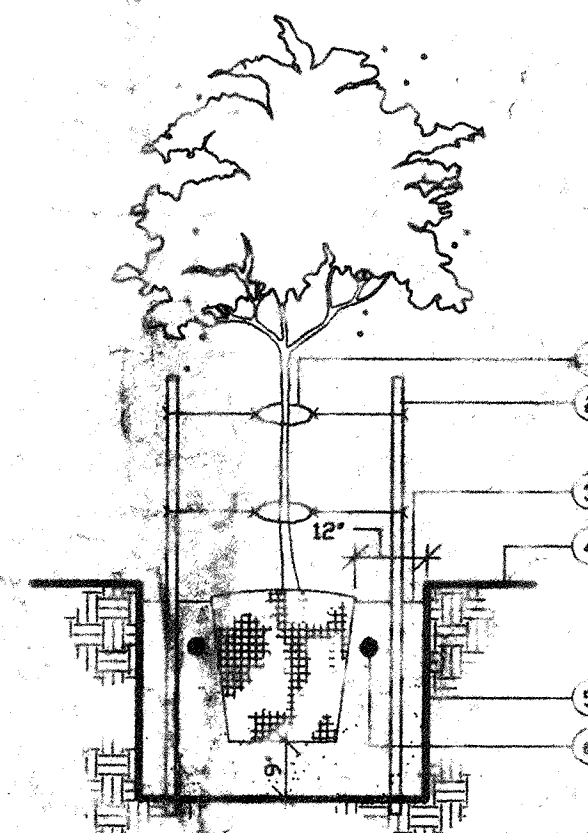
MOCKINGBIRD LANE

PROPOSED LANDSCAPE

- CERCIDIUM FLORIDUM
BLUE PALO VERDE
24" BOX
- DASYLERION WHEELERII
DESERT SPOON
5 GALLON
- CASSIA PHYLLODENIA
CASSIA
5 GALLON
- AMBROSIA DELTOIDEA
BURR SAGE
GALLON

EXISTING LANDSCAPE

- EXISTING TREES
TO REMAIN
- MEXICAN FAN PALM
AFRICAN SUMAC
ABORVITE
ALLEPO PINE
PALO VERDE
MESQUITE
- EXISTING SHRUBS
TO REMAIN
- CREOSOTE
CASSIA
ACACIA
JUNIPER
BRITTLE BUSH
YUCCA
AGAVE
LANTANA
JUSTICIA
OLEANDER

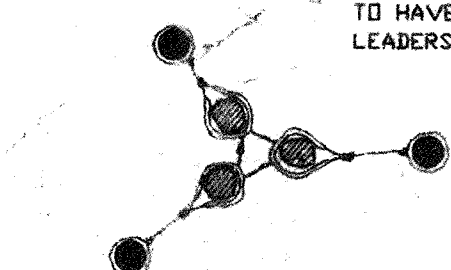


- 1/2" RUBBER HOSE WITH #10 WIRE
- TWO 2" RODS BY 8' LONG GREEN
TREE STAKES BURY 3" BELOW GRADE
- 4" BASIN
- GRADE
- ROUGHEN SIDES OF PLANT PIT TO
PREVENT GLAZING
- AGRIFORM TABLETS

BACKFILL PLANT PIT WITH SOIL MIX
NOTED IN SPECS.

DOUBLE STAKING DETAIL

NOTE:
MULTI-TRUNKED TREES
TO HAVE ALL MAJOR
LEADERS STAKED



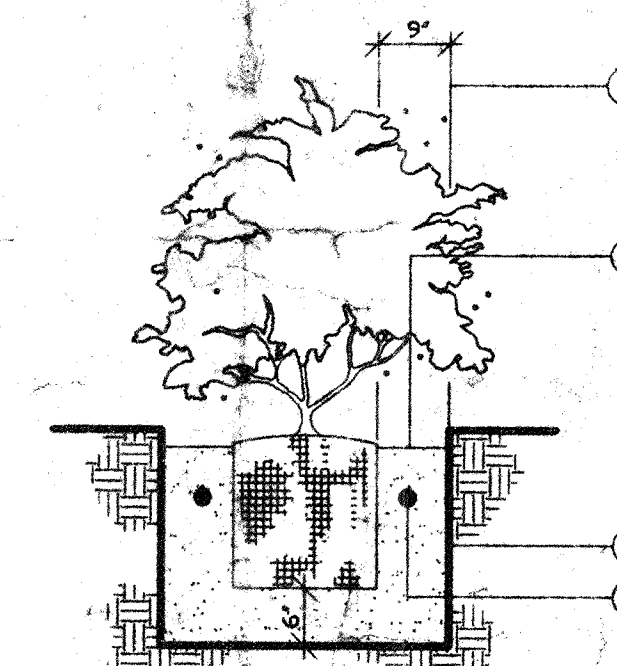
MULTI-TRUNK

DOUBLE-TRUNK

SINGLE-TRUNK

- NOTCH TUBING LOOP
WIRE THROUGH
EXPOSED WIRE
- #10 WIRE RUBBER COATED
- 1/2" RUBBER HOSE

TREE GUYING DETAIL



- MINIMUM DIMENSION FOR 5 GAL. PLANTS
- 2" BASIN
- ROUGHEN SIDES OF PLANT PIT TO
PREVENT GLAZING
- AGRIFORM TABLETS SEE SPECS. FOR
RATIO

BACKFILL PLANT PIT WITH SOIL MIX
NOTED IN SPECS.

SHRUB PLANTING DETAIL

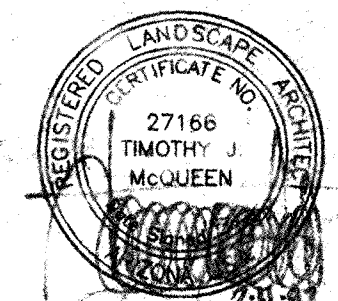


APPROVED BY

DATE

T.J. McQUEEN & ASSOCIATES, INC.
LANDSCAPE ARCHITECTURE
URBAN DESIGN
SITE PLANNING
1121 East Missouri Ave., Suite 218
Phoenix, Arizona 85014
(602) 265-0320
FAX 265-6619

**STEPHEN
G.
BUNYARD
ARCHITECT**
3444 E. ORAIBI DR.
PHOENIX, AZ. 85024
(602) 569-5677



DESIGNED BY	
DRAWN BY	
CHECKED BY	
DATE	

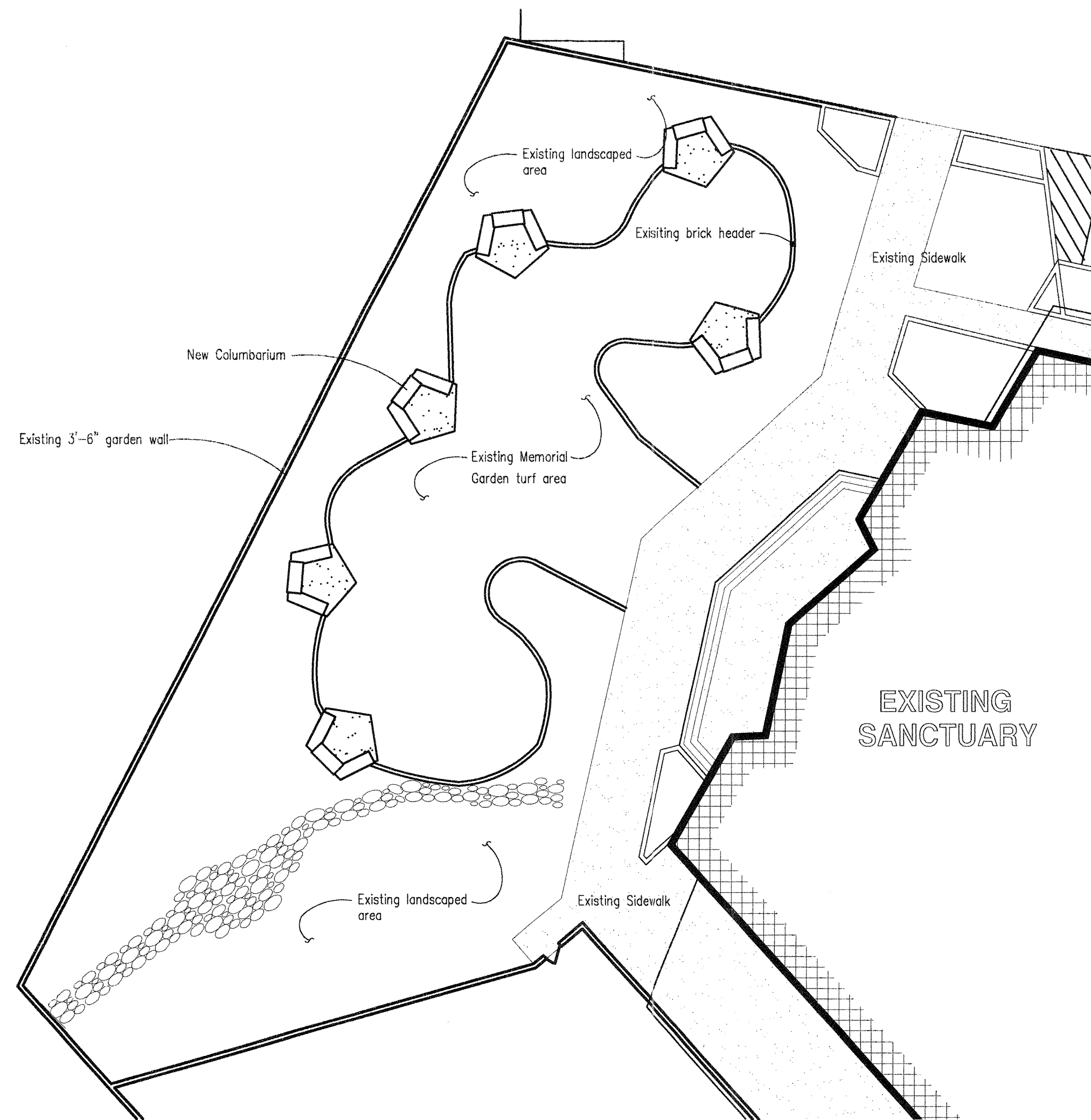
ASCENSION LUTHERAN CHURCH
MASTER PLAN
7100 N. MOCKINGBIRD LANE
SCOTTSDALE, AZ. 85253

REVISION:	

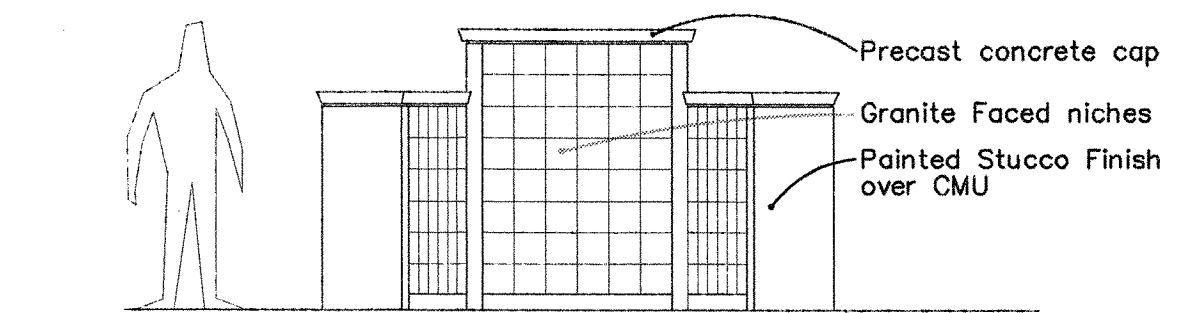
ISSUED FOR	
DATE	
DRAWING NUMBER	

SHEET 3 OF 4

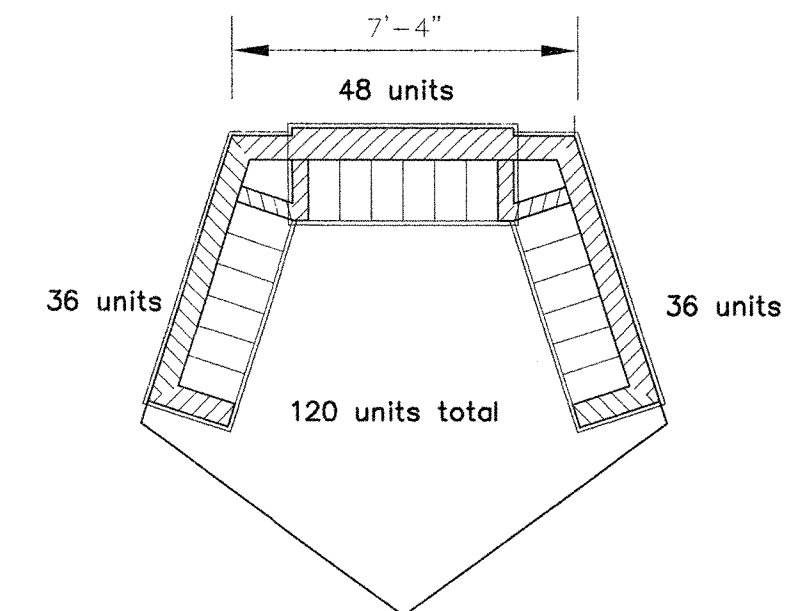
L-100



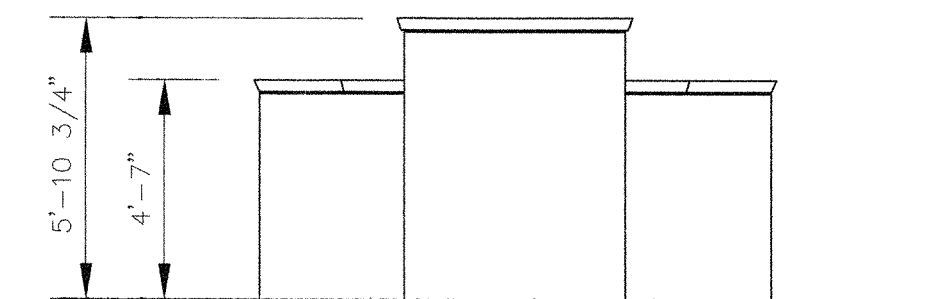
MERMORIAL GARDEN SITE PLAN
SCALE: 1/16" = 1'-0"



Front Elevation



Plan



Rear Elevation

COLUMBARIUM PLAN / ELEVATIONS
SCALE: 1/4" = 1'-0"

STEPHEN G. BUNYARD
ARCHITECT
3444 E. Oraibi Drive
Phoenix, Az. 85050
(602) 534-8077



DESIGNED: SGB

DRAWN: SGB

CHECKED: SGB

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Ascension Lutheran Church
Minor Amendment to Special Use Permit
7100 N. MOCKINGBIRD LANE
SCOTTSDALE, AZ. 85253

REVISION:	
5-1-99	Revise Columbarium Design

ISSUED FOR Special Use Permit
DATE: 5/1/99

DRAWING NUMBER: PAGE 2 OF 4

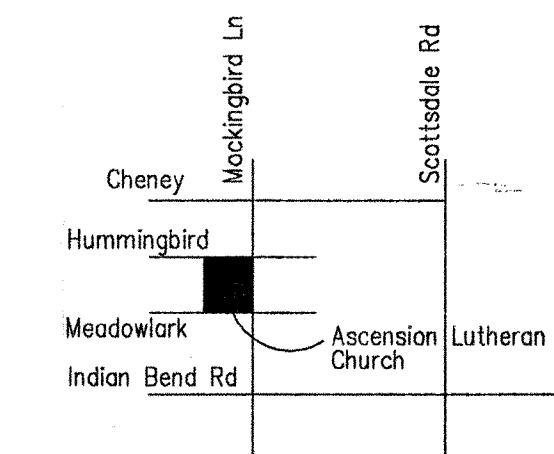
AMP-2

SUBMITTAL # 2

☐ NEEDS CORRECTIONS

☒ APPROVED *pending*

Vicinity Map



Drawing Index

AMP-1 (1 OF 4)	OVERALL MASTER PLAN
AMP-2 (2 OF 4)	MEMORIAL GARDEN SHHET
L-101 (3 OF 4)	PREVIOUS LANDSCAPE AMENDMENTS
LMP-1 (4 OF 4)	LANDSCAPE MASTER PLAN

LEGAL DESCRIPTION

Northeast Quarter of the Southeast Quarter of the Southwest Quarter of Section Three (3), Township Two (2) North, Range Four (4) East of the Gila and Salt River Base and Meridian.

EXCEPT the North 33 Feet and the East 40 feet and the South 33 feet and the West 165 feet of the Northeast Quarter of the Southeast Quarter of the Southwest Quarter of said Section Three (3).

APN# 174-51-033

PROJECT DATA

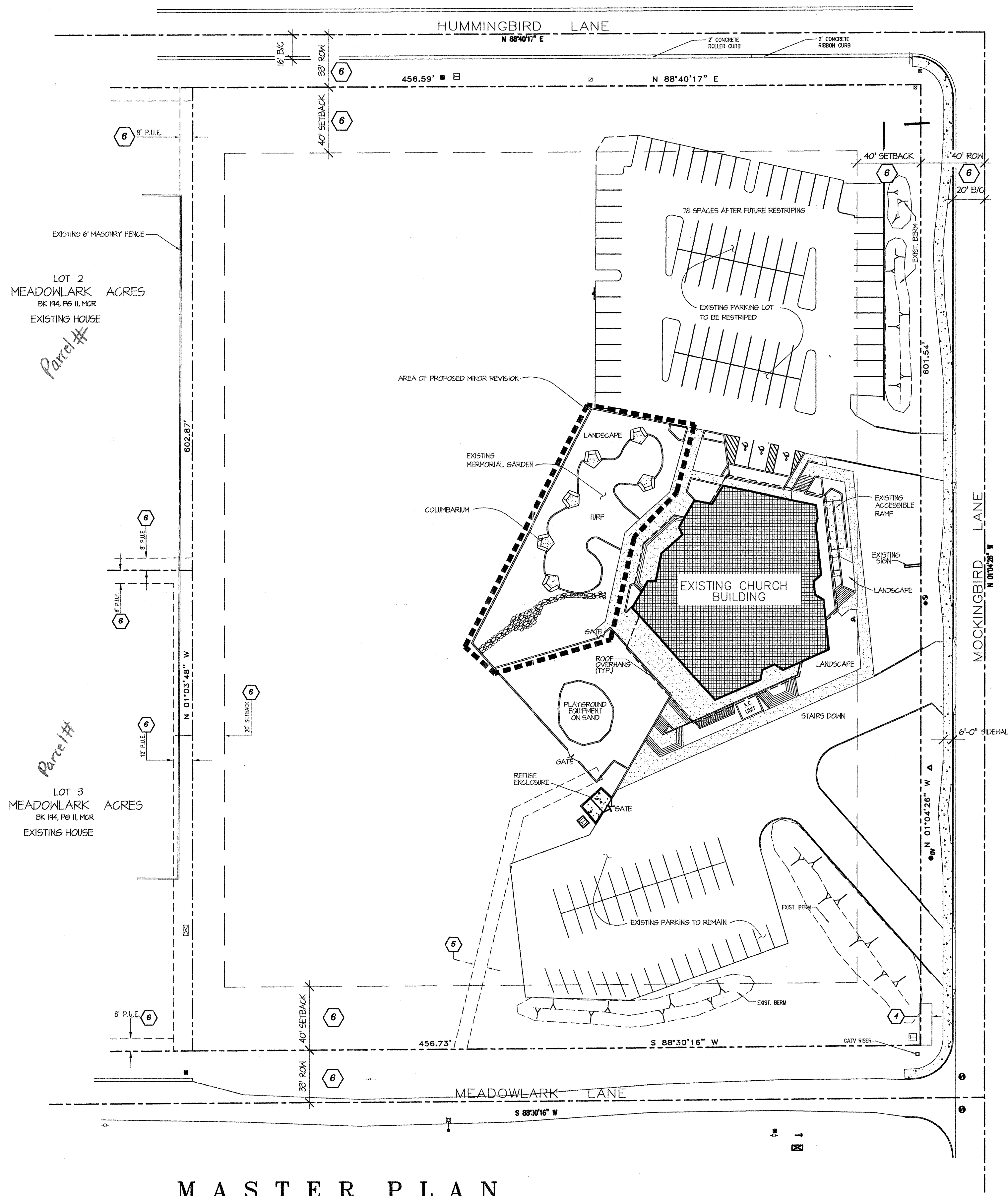
Owner:	Ascension Lutheran Church	948-6050
Net Proport Area:	299,867 S.F.	(6.884 ACRES)
Lot Coverage	14,851 S.F.	(4.9% Coverage)
Existing Building Height	57'	
Existing Spire Height	100'	
Required Parking	$\pm 22,000 \text{ S.F. Gross Building Area} / 300 = 74 \text{ parking Spaces}$ 3 Accessible Spaces Required	
Existing Parking	113 spaces	
	3 Accessible Spaces	

LEGEND

	A.C. PAVEMENT		ELEC. TRANSFORMER ON PAD
	CONCRETE		TELEPHONE PEDESTAL
	EDGE OF BUILDING		SANITARY SEWER MANHOLE
	CMU WALL		ELECTRIC MANHOLE
	GAS VALVE		ELECTRIC BOX
	JUNCTION BOX		FIRE HYDRANT
	WATER METER		WATER VALVE
	POWER POLE		SIGN POST & PANEL
	DOWN GUY		FIRE RISER

SCHEDULE "B" RESTRICTIONS

- 4 8' WIDE EASEMENT FOR UNDERGROUND ELECTRIC LINES
- 5 8' WIDE EASEMENT FOR UNDERGROUND ELECTRIC LINES
- 6 EASEMENTS AS NOTED PER "MEADOWLARK ACRES", BOOK 194 OF MAPS, PAGE 11, M.C.R.



MASTER PLAN

STEPHEN G. BUNYARD
ARCHITECT
3444 E. Oraibi Drive
Phoenix, Az. 85050
(602) 534-8077



DESIGNED:	SCB
DRAWN:	SCB
CHECKED:	SCB

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STEPHEN G. BUNYARD ARCHITECT.

Ascension Lutheran Church
Minor Amendment to Special Use Permit
7100 N. MOCKINGBIRD LANE
SCOTTSDALE, AZ. 85253

REVISION	DATE	BY	DESCRIPTION
1	12-1-94		Revise Columbarium Design

ISSUED FOR Special Use Permit
DATE: 11/4/96
DRAWING NUMBER: PAGE 1 OF 4

AMP-1

Special Use Permit Review Committee Minutes
May 12, 1998

Judy Lenz, preschool director for the Church, explained that a handicap student is starting in the fall and the Church needs the handicap accessible ramp to fulfill the needs of that student and others needing accessibility.

There was discussion of landscaping on church property and the Town Landscape Guidelines.

There was discussion of the existing plant palette on the Church property.

Pastor David Kupka said he would like to sit with Ms. Taylor to discuss the unmaintained landscape.

Brent Maxwell, Family Life director, concurred with Pastor Kupka's request to sit with the neighbor to discuss landscaping.

Committee Member Benson moved to reconsider his original motion that the application is minor in nature; seconded by Chairman Cole.

There was discussion of the status of the application if not approved.

Mr. Pascoe said the application would be left undecided and probably be processed as a major amendment to the Church's Special Use Permit.

Dan Kline, general contractor for the ramp construction, said the ramp is required by the ADA.

Committee Member Moya directed staff to act on an administrative level when Federal laws are at issue for Special Use Permit applications.

The motion passed 3 - 0.

Mr. McCullough presented staff's report to the SUPREC Committee.

There was discussion of stipulations with regard to landscape maintenance and the installation of new landscaping.

Chairman Cole closed the public hearing.

Committee Member Benson moved to approve the minor amendment to the Special Use Permit of Ascension Lutheran Church to construct a handicap ramp and install landscaping and outdoor walkway lighting with the following stipulations:

1. That no building permit be issued until Town staff is satisfied with the maintenance of existing landscaping on the Church property.
2. That new proposed landscaping be installed at the applicant's convenience, but within 12 months after commencement of the ramp construction.

Special Use Permit Review Committee Minutes
May 12, 1998

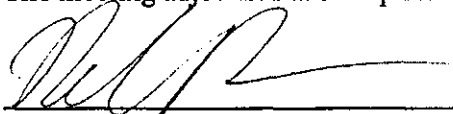
Seconded by Chairman Cole.

There was discussion of ADA requirements for the handicap accessible ramp and Church bathrooms.

The motion passed 3 - 0.

ADJOURNMENT

The meeting adjourned at 5:10 p.m.

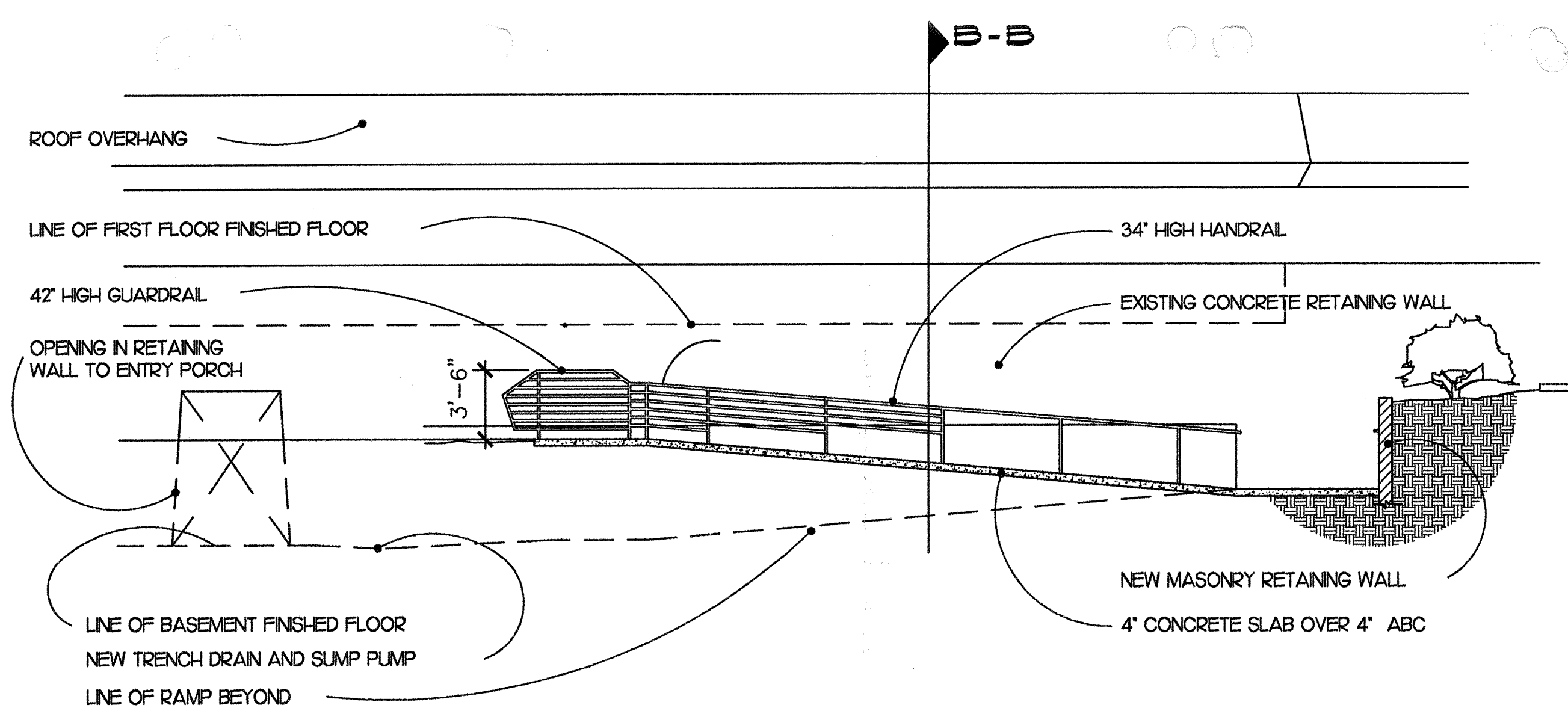


Neal Pascoe, Secretary

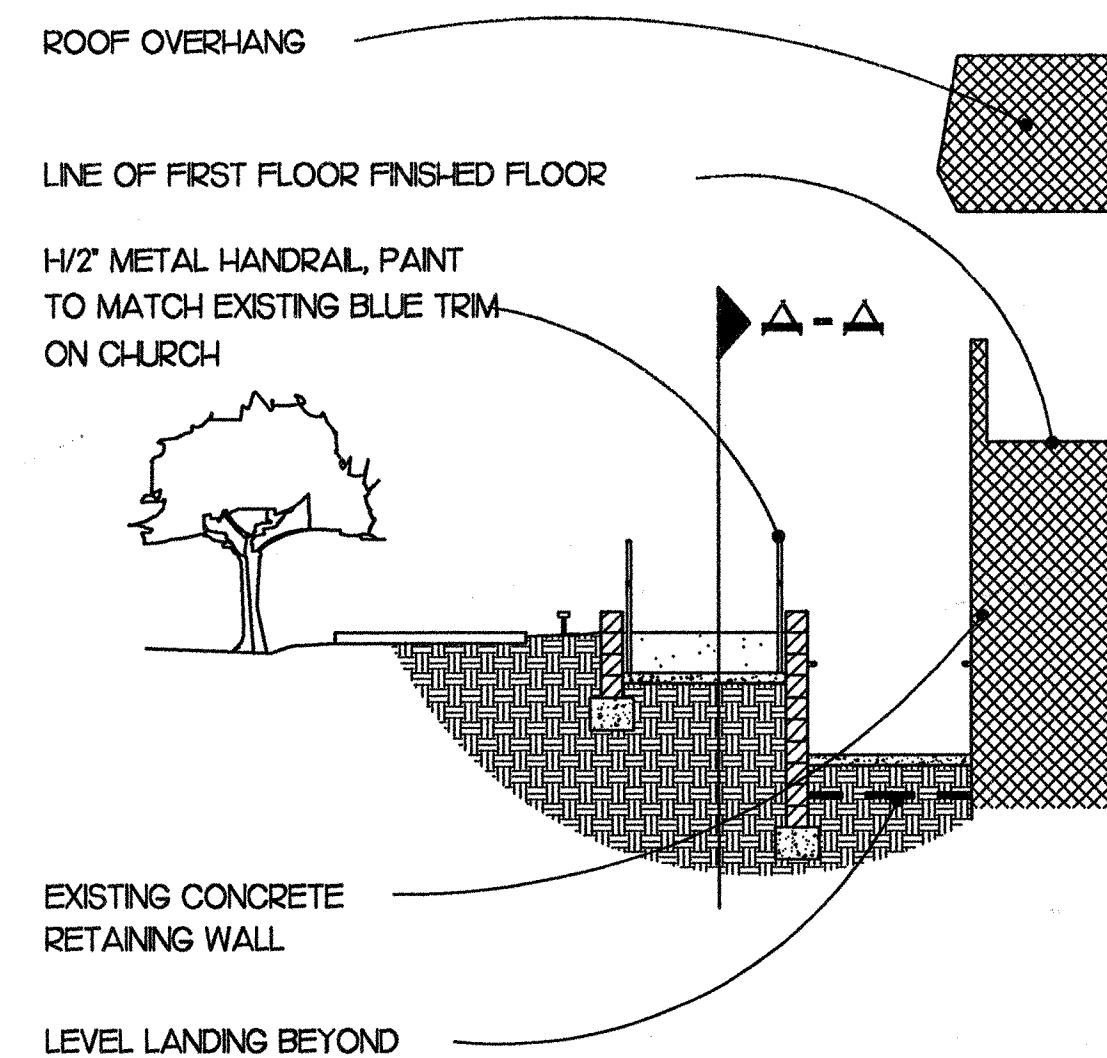


Jane Cole, SUPREC Chairman

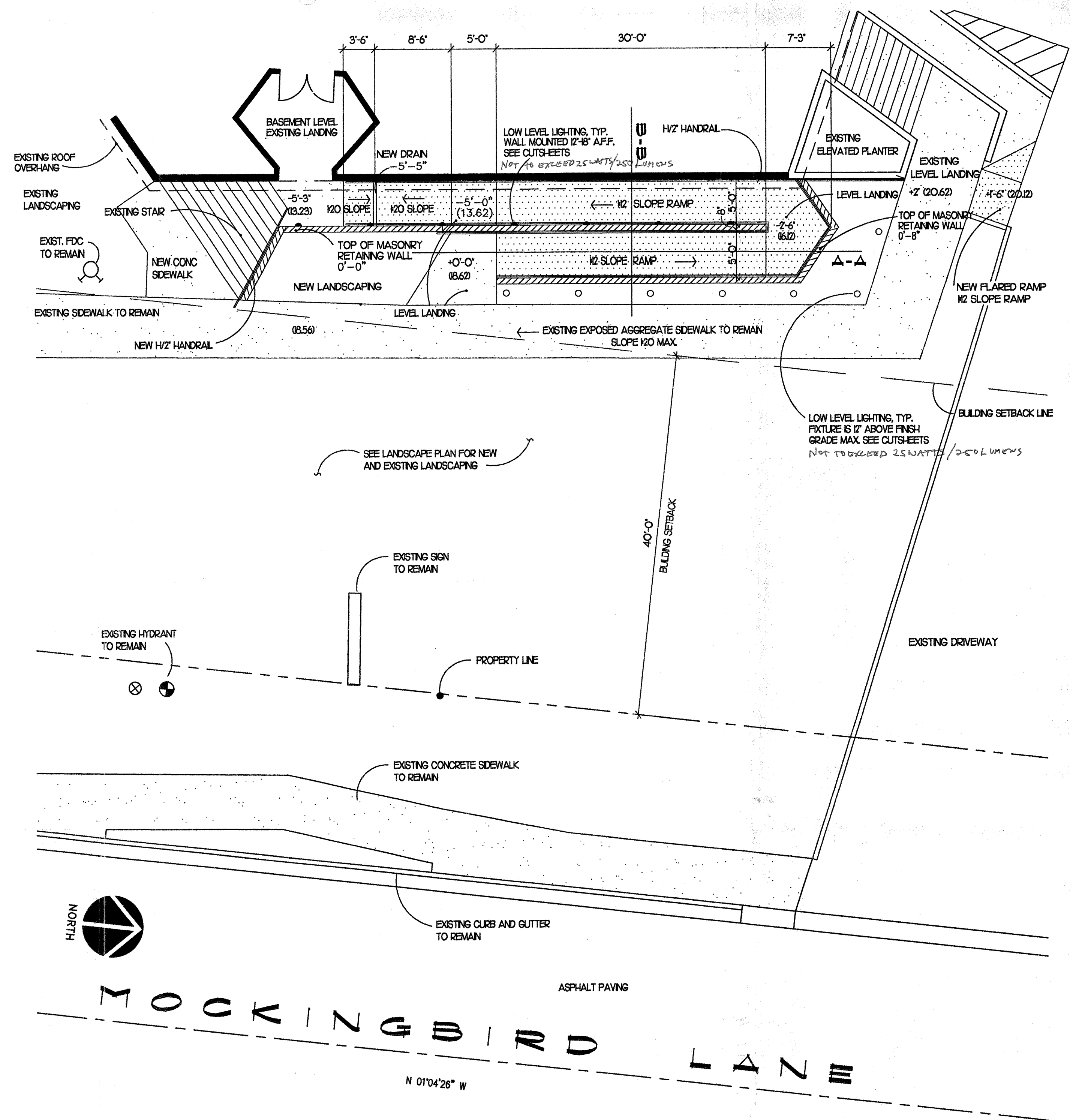
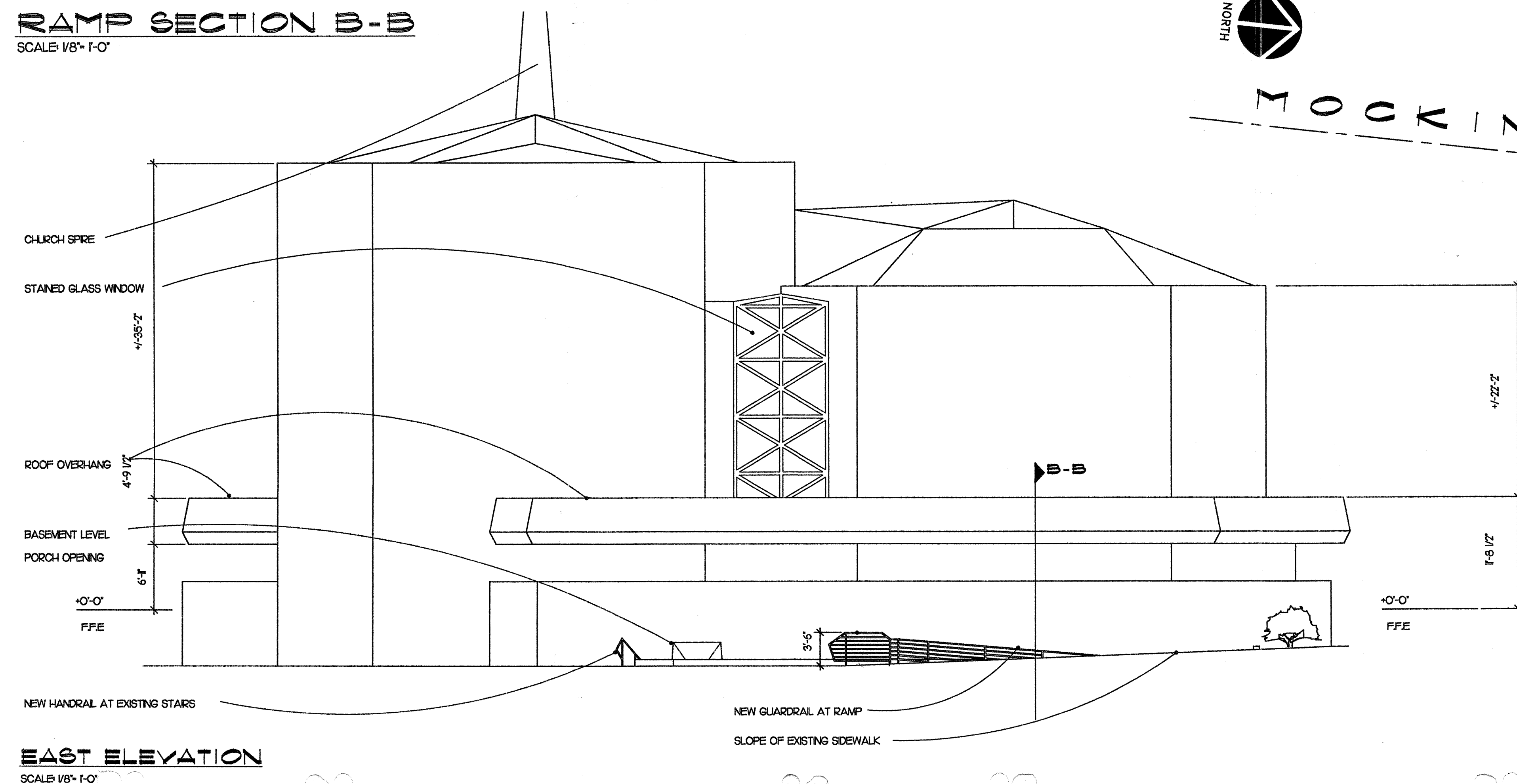
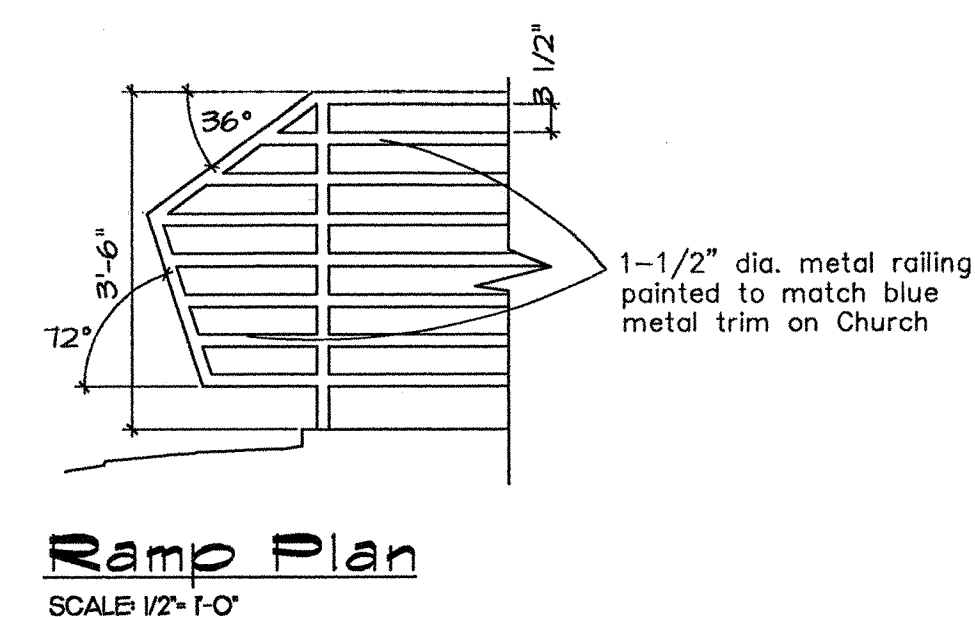
May 18, 1998



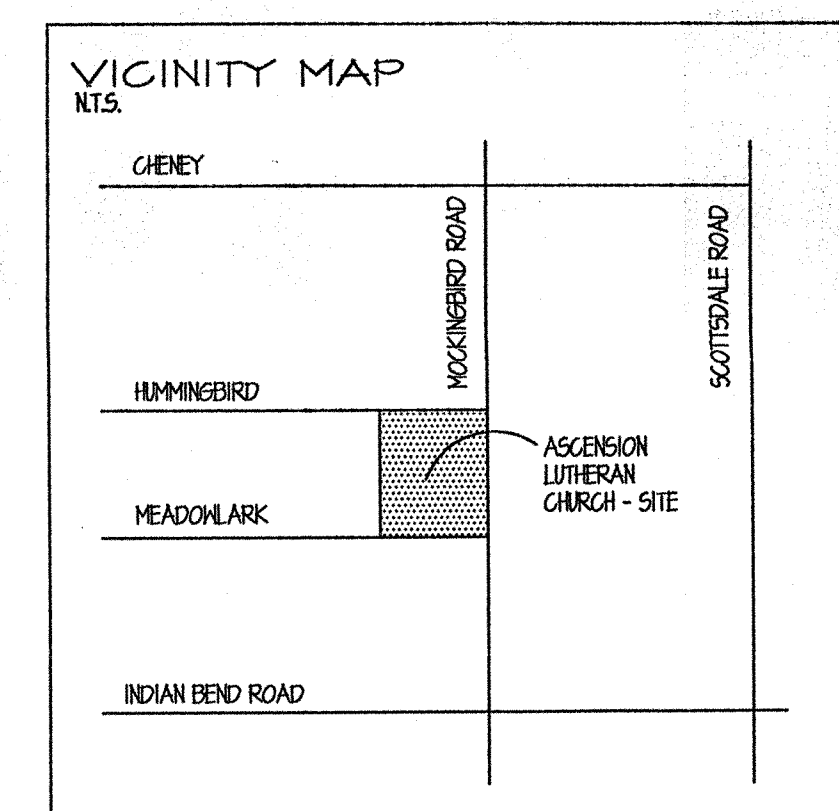
RAMP SECTION A-A
SCALE: 1/8" = 1'-0"



RAMP SECTION B-B
SCALE: 1/8" = 1'-0"



PLAN VIEW
SCALE: 1" = 10'-0"



PROJECT DATA
N.T.S.
APN # 174-51-33
LEGAL: NE 1/4, SE 1/4, SW 1/4, SEC. 3 T.2N.

APPROVAL
TOWN OF PARADISE VALLEY
PLANNING DIRECTOR
DATE

STEPHEN G. BUNYARD
ARCHITECT
3444 E. Oraibi Drive
Phoenix, AZ. 85024
(602) 569-5677



DESIGNED: SGB
DRAWN: SGB
CHECKED: SGB
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Ascension Lutheran Church
Special Use Permit Minor Amendment
Ramp Addition
7100 N. MOCKINGBIRD LANE
SCOTTSDALE, AZ. 85253

REVISION:
ISSUED FOR TOWN REVIEW
DATE: 4-6-98
DRAWING NUMBER:

A-100

**TOWN COUNCIL MEETING - MINUTES
JANUARY 9, 1997**

Councilmember Moya moved to amend stipulation 2 by replacing "children" with "preschool students". Councilman Thomas seconded the motion, which failed 2-5 with Mayor Davis, Vice Mayor Yoder and Councilmembers Cole, Hook, and Jackson voting no.

Councilmember Moya moved to stipulate that there must be a connection to the sewer within one year of the completion of the construction of the first columbarium. Vice Mayor Yoder asked if that would also replace the text in General Note 1 of the Master Plan and Councilmember Moya said yes. Councilman Hook asked that the connection to the sanitary sewer line not exceed 18 months from approval of this amendment to the special use permit. Councilmember Moya accepted the change and the stipulation was amended to read "The connection to the sewer shall be made within 1 year of the completion of the first columbarium but in any event, within 18 months of approval of this amendment to the special use permit". Councilmember Cole seconded the motion.

The applicant accepted the change. The amendment to the main motion carried 7-0.

The main motion carried 7-0.

The amended stipulations as approved by Council were as follows:

1. That the memorial garden plan be approved including the proposed six columbaria each to be constructed within a three-month time frame from start to finish after issuance of a building permit, but that the proposed parking lot lighting and restroom addition be shown on the Master Plan for information purposes only, and that no construction related to either of these features may take place until the Church applies for and receives approval of a major amendment to their Special Use Permit.
2. That a preschool be authorized with a limit of no more than 46 children on the property on any one day with hours of operation restricted to 9:00 a.m. to 4 p.m.
3. That the Church submit the revised Master Plan and Landscape Plan as approved by the Council clearly showing all structures shown for construction at this time and those shown for information purposes only on 24 x 36 inch mylar to the Planning Department no later than 30 days after Town Council approval.
4. The connection to the sewer shall be made within 1 year of the completion of the first columbarium but in any event, within 18 months of approval of this amendment to the special use permit.

Consideration of Ordinance #435 - Special Meetings

Mr. Siket presented Ordinance #435 on Special Meetings to conform the Town Code to the State Statutes regarding notices of special meetings of the Town Council.

Helen Harold felt residents should be notified five days in advance and felt the agenda should be more detailed.

950210213

MINOR AMENDMENT TO SPECIAL USE PERMIT

ASCENSION LUTHERAN CHURCH

Town of PV

38

Pursuant to Section XI of the Zoning Code of the Town of Paradise Valley, the Special Use Permit Review committee met on April 10, 1995, and agreed to permit the following minor amendment(s) to the existing special use permit approved by the Town Council on September 8, 1977, recorded Docket 12447, page 1435-1436, Maricopa County Recorder's Office.

These minor amendments are subject to the following conditions:

1. As show on the submitted plan marked Exhibit A, sheets 1 and 2.

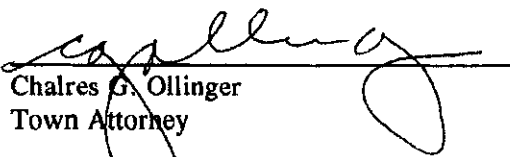
TOWN OF PARADISE VALLEY



ATTEST:

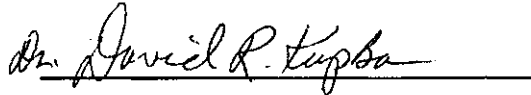


APPROVED AS TO FORM:



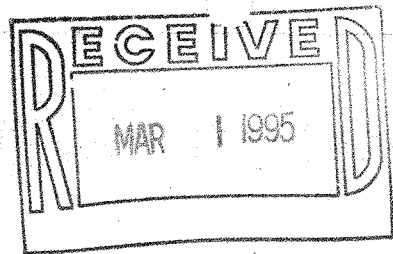
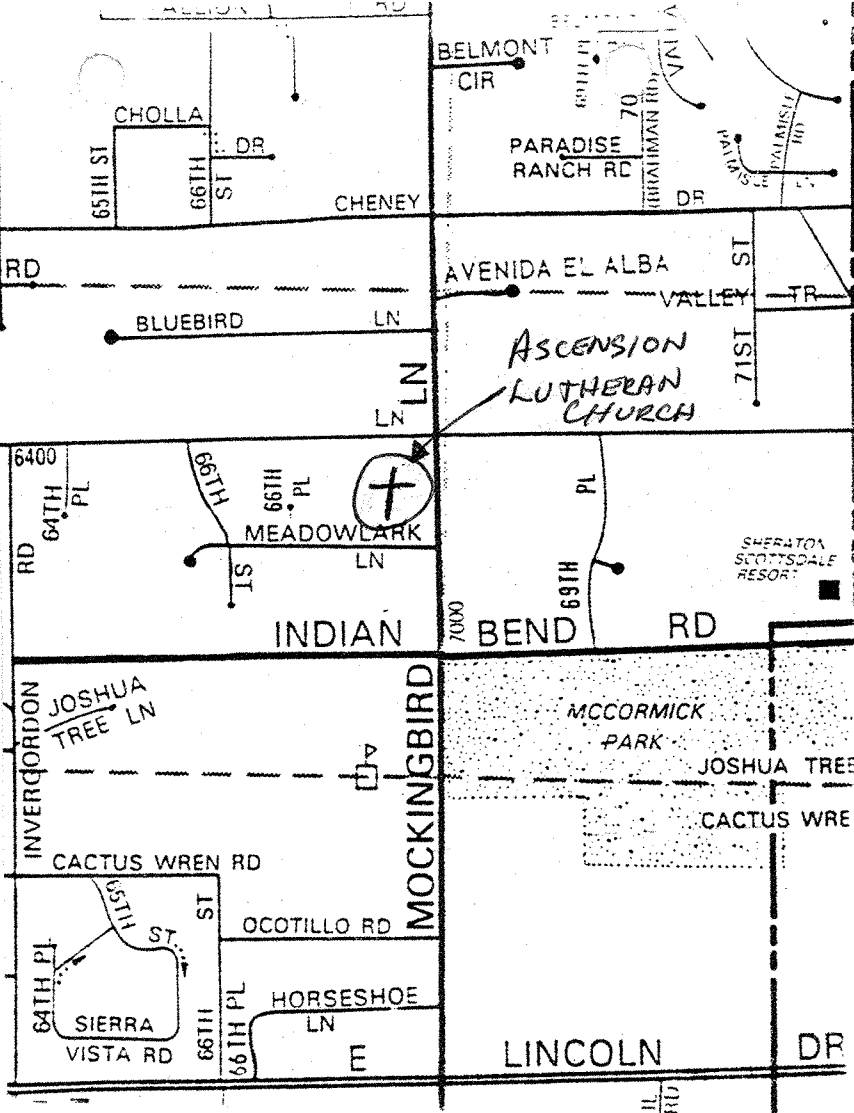
Charles G. Ollinger
Town Attorney

ACCEPTED AND AGREED TO BY:



BY:



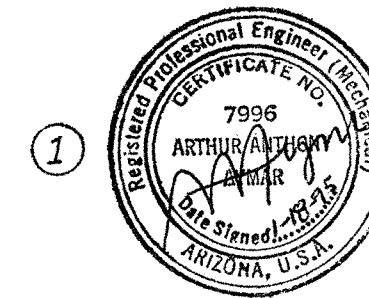


① EXHIBIT "A" - SECOND SHEET

ASCENSION LUTHERAN CHURCH
7100 NORTH MOCKINGBIRD LANE
SCOTTSDALE, AZ 85253

AIR CONDITIONING MODIFICATION PROJECT
INSTALLATION OF NEW WATER COOLING TOWER
LOCATION - SOUTH SIDE PARKING LOT

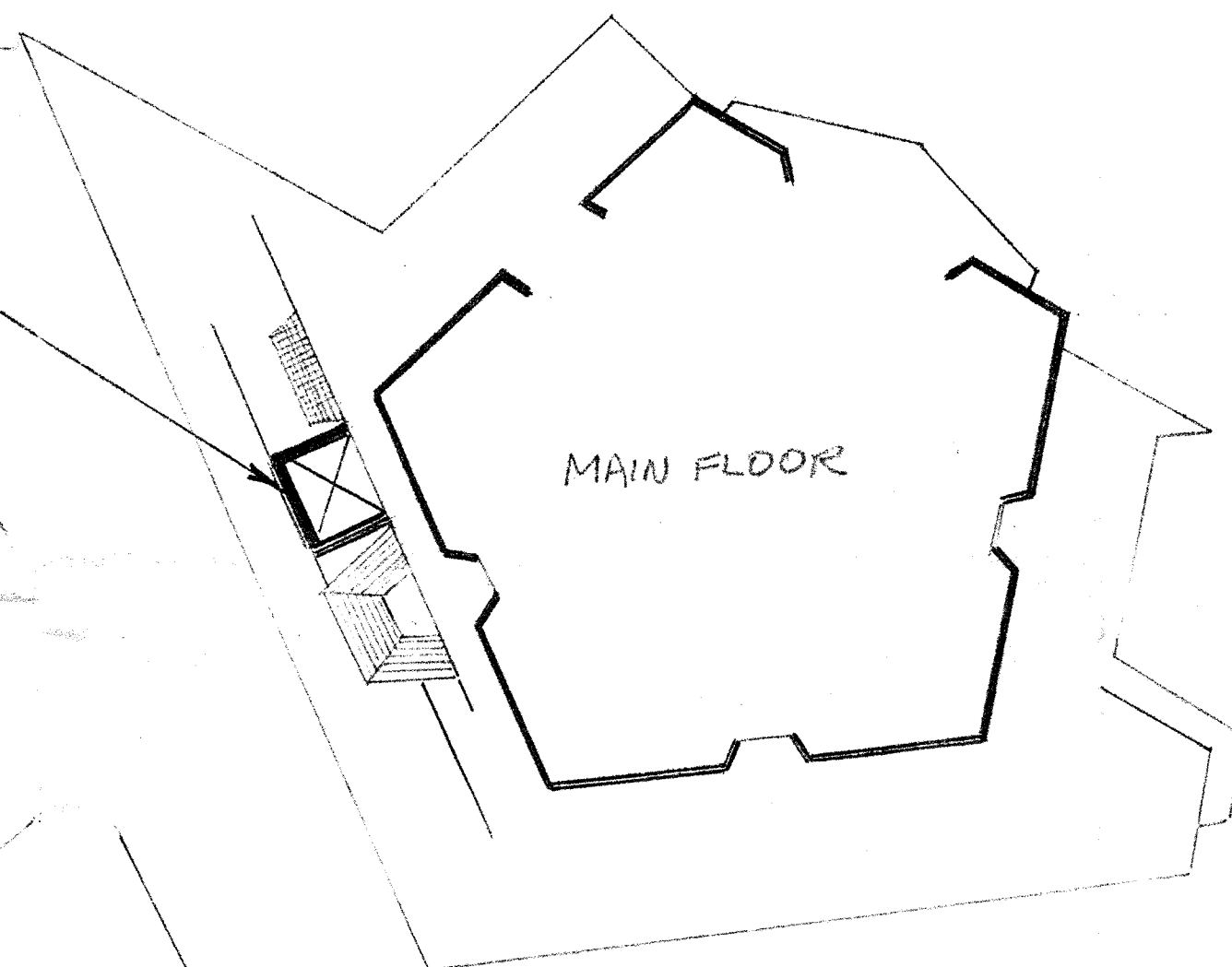
DRAWING BY: ARTHUR A. AYMAR, P.E.
JANUARY 18, 1995



① REVISED: 2-28-95

LOCATION OF COOLING TOWER
SEE INSTALLATION DWG. B

SOUTH PARKING LOT



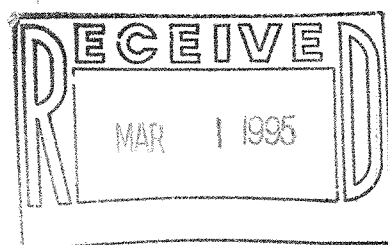
SCALE: 1" = 20'-0"



PROPERTY LINE

MOCKINGBIRD LANE

PLOT PLAN DWG. A



☐ NEEDS CORRECTIONS
☒ APPROVED *AP*

① EXHIBIT "A"

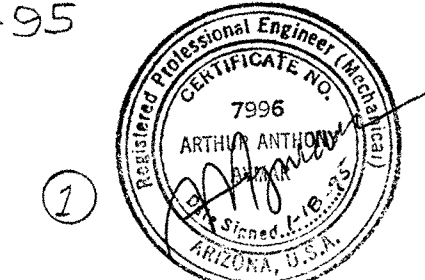
ASCENSION LUTHERAN CHURCH
7100 NORTH MOCKINGBIRD LANE
SCOTTSDALE, AZ 85253

AIR CONDITIONING MODIFICATION PROJECT
INSTALLATION OF NEW WATER COOLING TOWER
LOCATION - SOUTH SIDE PARKING LOT

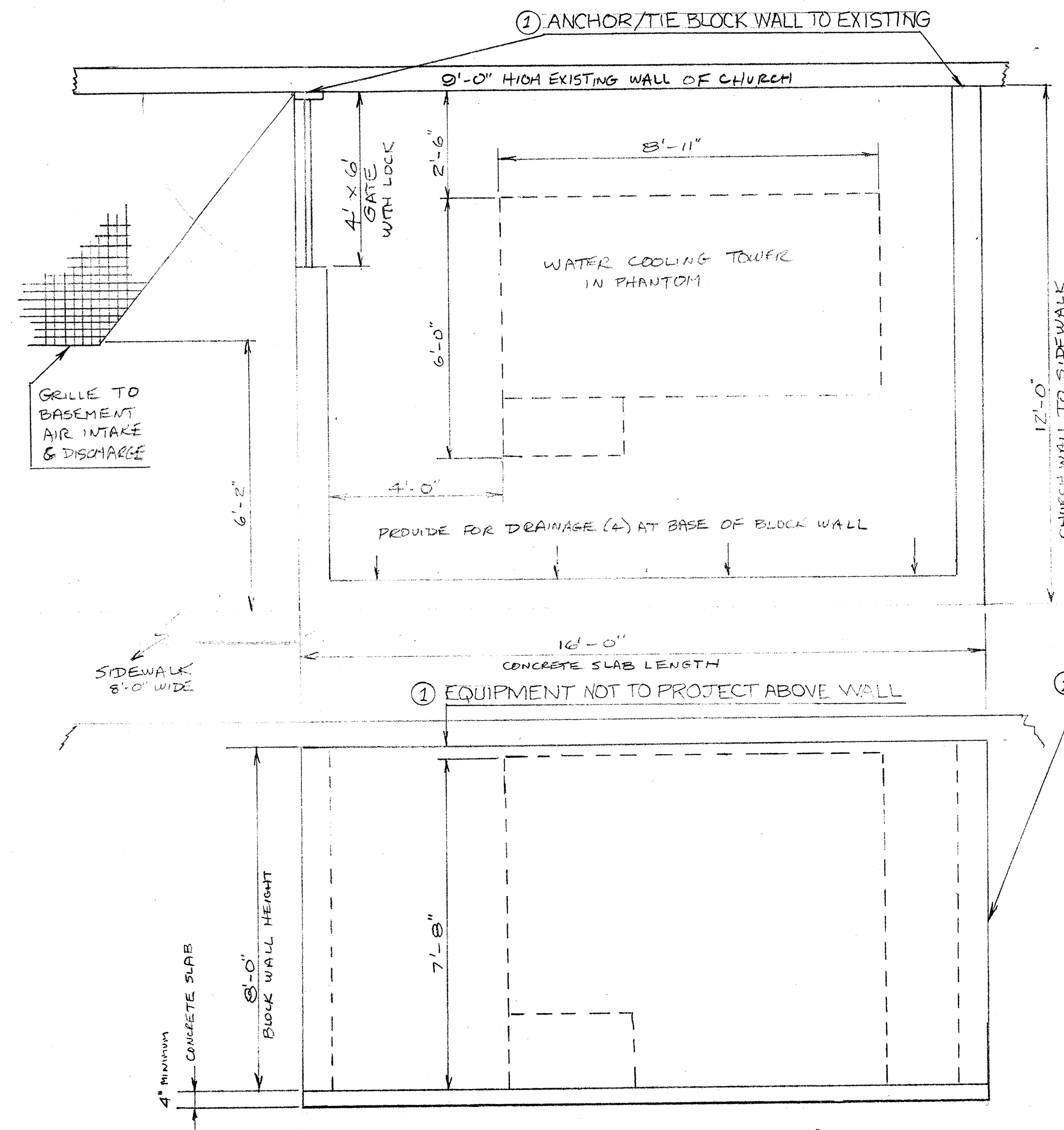
①
N

DRAWING BY: ARTHUR A. AYMAR, P.E.
JANUARY 18, 1995

① REVISED: 2-28-95

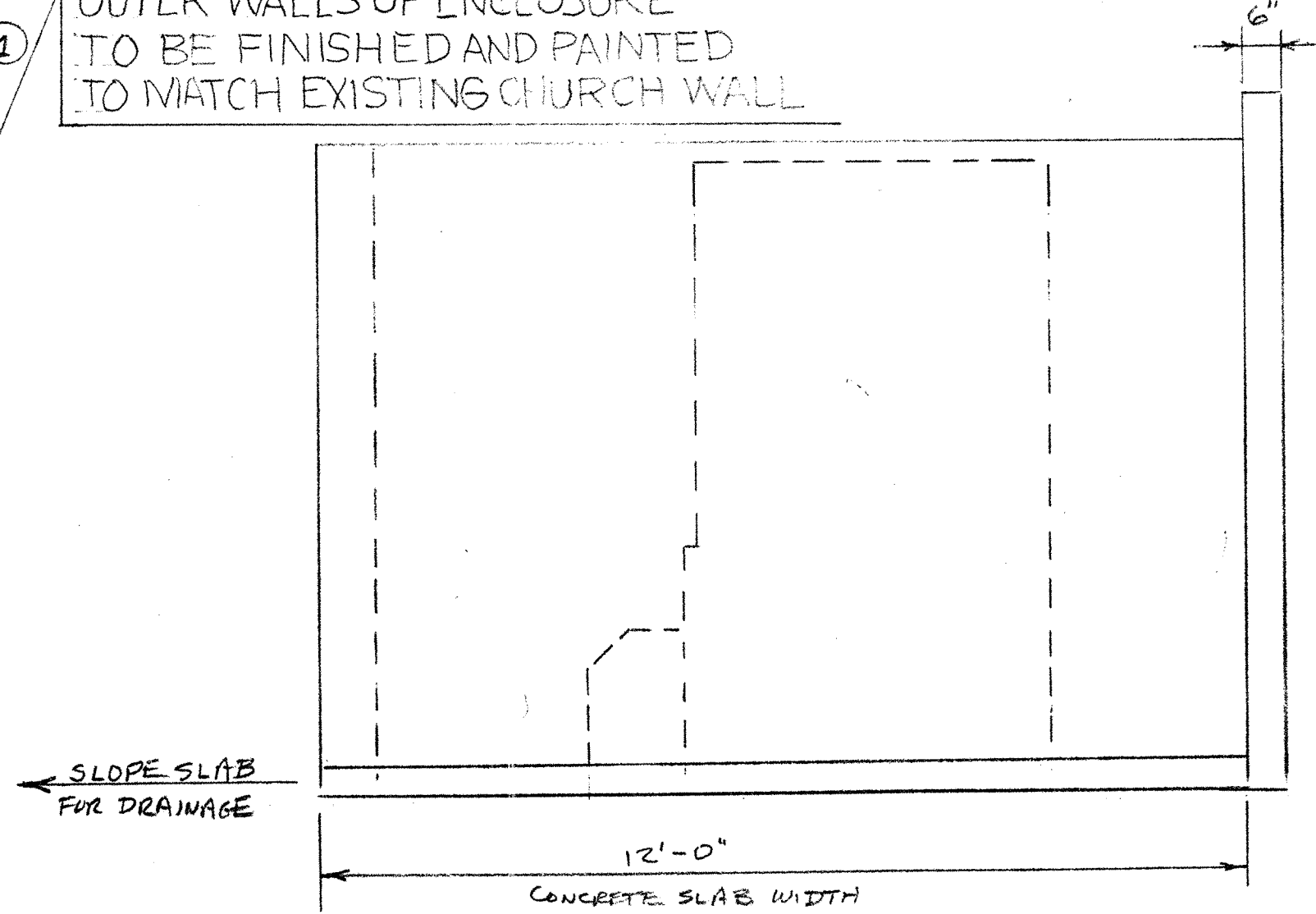


SCALE: 1" = 2'-0"



NOTE: CONCRETE SLAB TO BE MESH REINFORCED.
SURFACE TO BE FINISHED SMOOTH AND LEVEL.

① OUTER WALLS OF ENCLOSURE
TO BE FINISHED AND PAINTED
TO MATCH EXISTING CHURCH WALL



INSTALLATION DWG. B

MINOR AMENDMENT TO SPECIAL USE PERMITASCENSION LUTHERAN CHURCH

Pursuant to Section XI of the Zoning Code of the Town of Paradise Valley, the Special Use Permit Review committee met on October 17, 1994, and agreed to permit the following minor amendment(s) to the existing special use permit approved by the Town Council on September 8, 1977, recorded Docket 12447, page 1435-1436, Maricopa County Recorder's Office.

1. Replace existing sign.

These minor amendments are subject to the following conditions:

1. Sign illumination shall be turned off at 10:00 p.m. except for special events.
2. New sign shall be no closer to the street than the existing sign.
3. Any additional plan material added shall conform to the right-of-way guidelines plant palette.
4. The sign letters shall be a blue which matches the existing blue trim on the building.

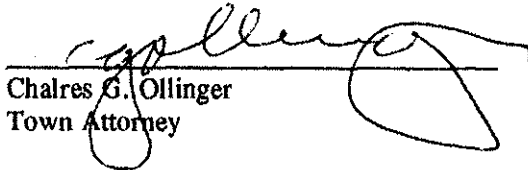
TOWN OF PARADISE VALLEY



ATTEST:

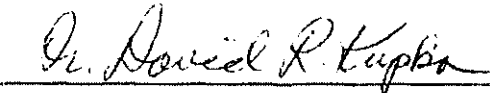


APPROVED AS TO FORM:

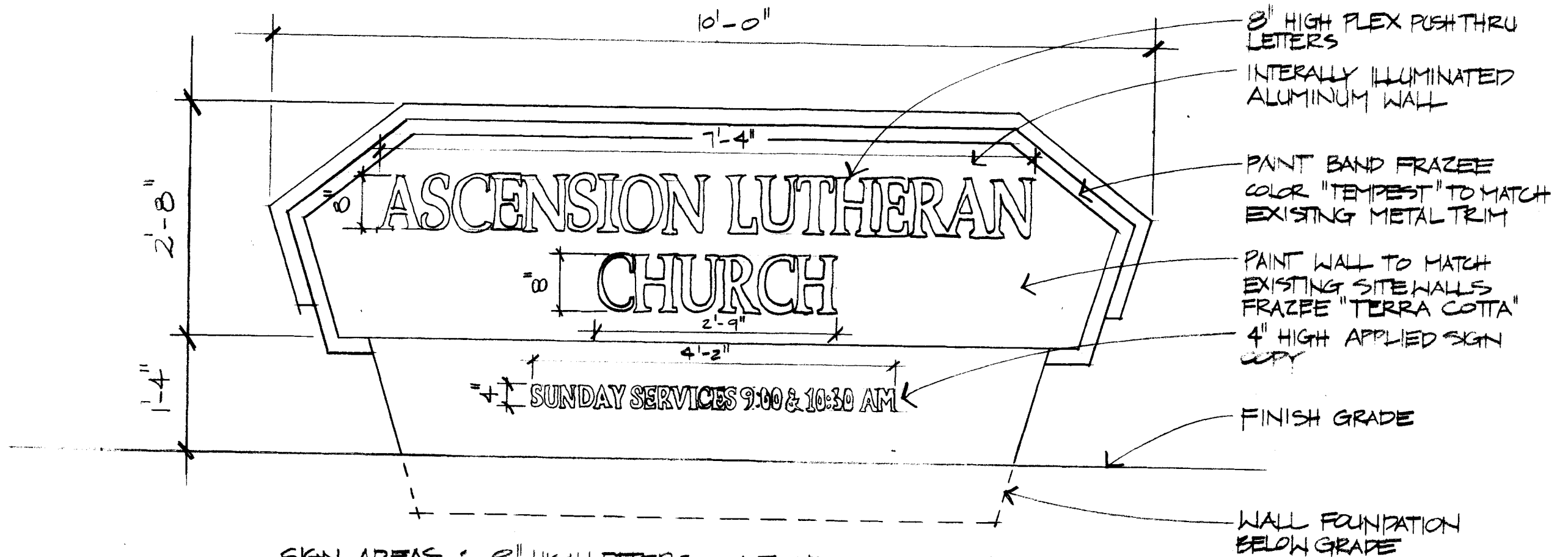


Charles G. Ollinger
Town Attorney

ACCEPTED AND AGREED TO BY:



BY: Senior Pastor



SIGN AREAS : 8" HIGH LETTERS 6.7 SF X 2 = 13.4 SF
 3" HIGH LETTERS = 1.4 SF X 2 = 2.8 SF
TOTAL SIGN AREA = 16.2 SF

WALL MOUNTED SIGN

SCALE: 3/4" = 1'-0"

ASCENSION
 6-7-94

LUTHERAN CHURCH 7100 N. MOCKINGBIRD LN.
 PARADISE VALLEY, ARIZONA

Paradise

RETURN TO DANE
HAWKINS & CAMPBELL

MINOR AMENDMENT TO SPECIAL USE PERMIT

MISC RCRD (XX)

CONGREGATION OF THE

ASCENSION LUTHERAN CHURCH

90 016712

Pursuant to Section XI of the Zoning Code of the Town of Paradise Valley, the Special Use Permit Review Committee met on September 22, 1989, and agreed to permit the following minor amendment(s) to the existing special use permit approved by the Town Council on September 8, 1977, recorded Docket 12447, page 1435-1436, Maricopa County Recorder's Office.

1. Richard Mybeck
2. George Adams
3. Muin M. Kalla
4. Bill Mead

These minor amendments are subject to the following conditions:

1. The addition of a six foot wall within the church property only.
- 2.
- 3.

TOWN OF PARADISE VALLEY

Robert W. Plenge
Robert W. Plenge, Mayor

ATTEST:

Mary Ann Brines
Mary Ann Brines, Town Clerk

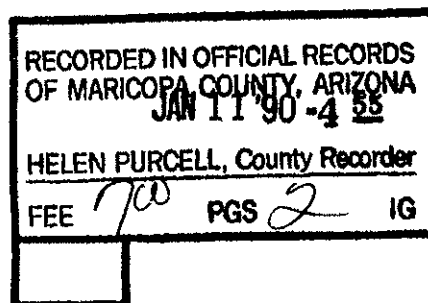
APPROVED AS TO FORM:

Charles G. Ollinger
Town Attorney

ACCEPTED AND AGREED TO BY

Ascension Lutheran Church

BY: _____



OPEN
FIELD

PROPOSED
6' WALL ADDITION.

OPEN
FIELD

EXISTING APPROVED
WALL

PROPOSED 3' WALL

PARKING Area

ASCENSION
LUTHERAN
CHURCH
BUILDING

LANE

MOCKINGBIRD

MINOR AMENDMENT TO SPECIAL USE PERMIT
ASCENSION LUTHERAN CHURCH
7100 North Mockingbird Lane


Pursuant to Section XI of the Zoning Code of the Town of Paradise Valley, the Special Use Permit Review Committee met on April 19, 1985, and agreed to permit the following minor amendment(s) to the existing special use permit approved by the Town Council on September 8, 1977, recorded Book 12447, page 1435, Maricopa County Recorder's Office.

1. The construction of a 6 foot wall to house a children's playground, a waste pen and electrical equipment.

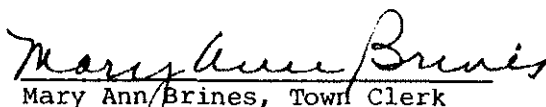
These minor amendments are subject to the following conditions:

1. No outdoor lighting or address system will be allowed.
2. Approval is subject to the submittal of plans to the Planning Department.
3. All parking shall have a 60' setback from any residential property line.

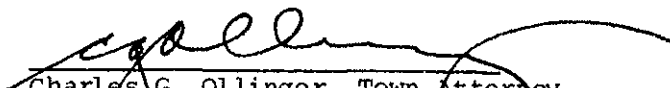
TOWN OF PARADISE VALLEY


Joan R. Lincoln, Mayor

ATTEST:

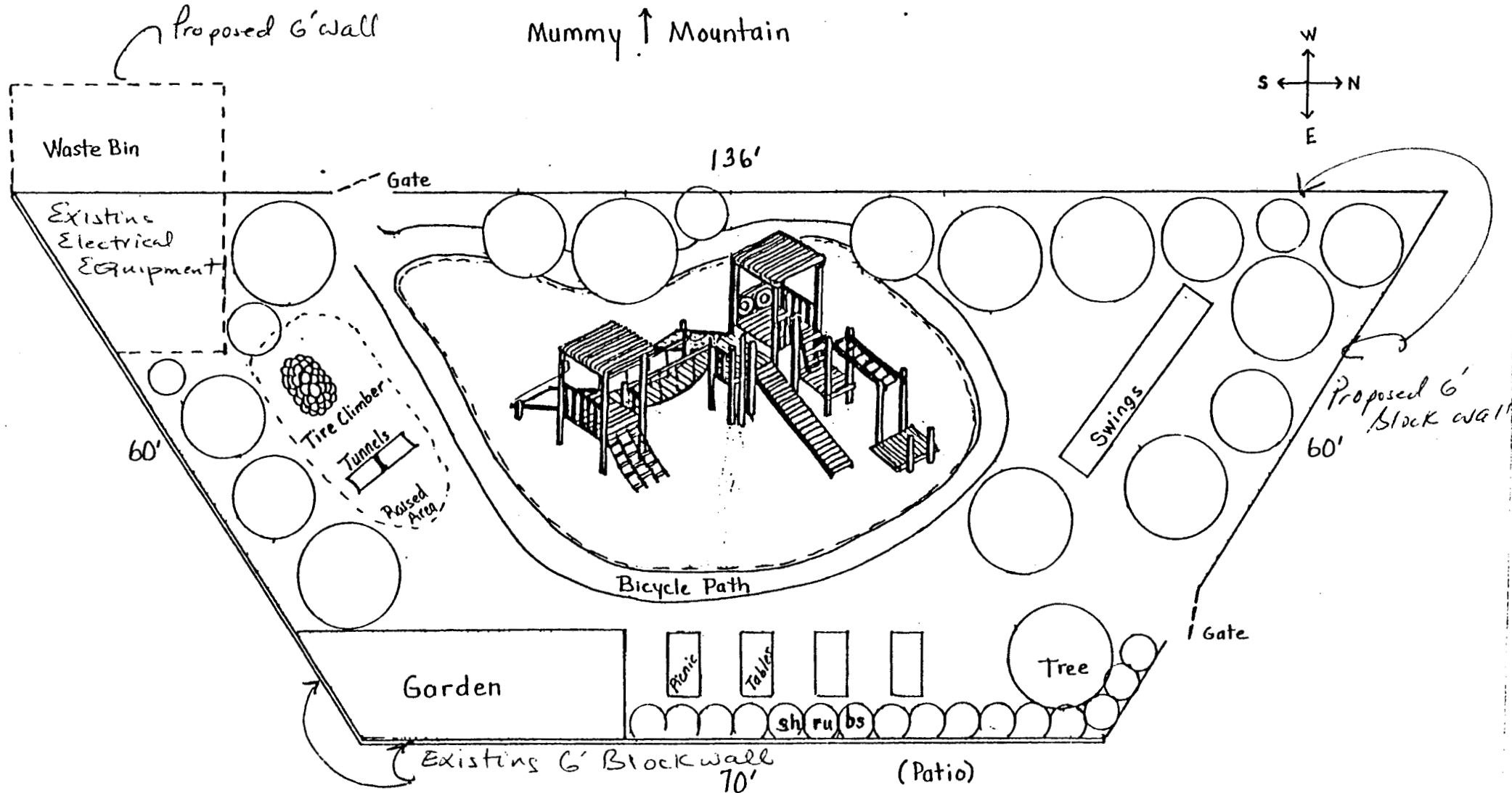

Mary Ann Brines, Town Clerk

APPROVED AS TO FORM:


Charles G. Ollinger, Town Attorney

ACCEPTED AND AGREED TO BY ASCENSION LUTHERAN CHURCH:

BY: 



ASCENSION PLAYGROUND

ASCENSION LUTHERAN CHURCH
7100 NORTH MOCKINGBIRD LANE

SPECIAL USE PERMIT

279044

PERMIT

GRANTOR: Town of Paradise Valley, Arizona
a municipal corporation

GRANTEE: Ascension Lutheran Church
(affiliated with the American Lutheran Church)
7100 North Mockingbird Lane
Paradise Valley, AZ 85253

This Special Use Permit is hereby issued to the
Ascension Lutheran Church for a church, pursuant to Section 1101
(n) of the Zoning Ordinance of the Town of Paradise Valley,
Arizona, for the use of the property hereinafter described upon
the terms and conditions hereinafter set forth:

1. Property: The property for which this Special Use Permit
is granted is located at 7100 North Mockingbird Lane, in the
Town of Paradise Valley, Arizona, and is that property which is
indicated as the Ascension Lutheran Church property on those
certain documents entitled "Site Plans for Ascension Lutheran
Church Special Use Permit, September, 1977" as certified and authen-
ticated as such Plans by the Paradise Valley Town Clerk. The
"Site Plans for Ascension Lutheran Church Special Use Permit, Sep-
tember, 1977" are hereby incorporated by reference into this
Special Use Permit and made an integral part hereof. The legal
description of the property subject to this Special Use Permit
is as follows:

NE $\frac{1}{4}$ SE $\frac{1}{4}$ SW $\frac{1}{4}$ of Section 3, T2N, R4E, G&SRB&M;
EXCEPT beginning at a point 33 feet South of the
Northwest corner of the NE $\frac{1}{4}$ SE $\frac{1}{4}$ SW $\frac{1}{4}$ of said
section; thence South 25 feet; thence East
75 feet; thence North 25 feet; thence West
75 feet to the Point of Beginning; EXCEPT the
North 33 feet and the East 40 feet and the
South 33 feet and the West 165 feet of the NE $\frac{1}{4}$
SE $\frac{1}{4}$ SW $\frac{1}{4}$ of said Section 3.

2. Nature of Use: Said Property may be used for religious
purposes and such other uses as are reasonably related to the
functions of the Church, as provided herein and in the "Site
Plans for Ascension Lutheran Church Special Use Permit, Septem-
ber, 1977", and there shall be no expansions, additions, or
changes or alterations to said real property, buildings,
structures or accessory uses without an express written amend-
ment to this Special Use Permit.

3. Severability-Unenforceable Provisions: Should any portion of this Permit be adjudicated to be unenforceable or invalid by a court of competent jurisdiction, such a determination shall not affect the balance of the provisions of this Special Use Permit.

4. Breach of Special Use Permit by Ascension Lutheran Church: This Special Use Permit shall become void and of no force and effect, at the option of the Paradise Valley Town Council, upon the failure of the grantee Special Use Permit holder to comply with any of the terms, conditions, or stipulations of this Special Use Permit. The Town Council shall provide notice to the grantee and an opportunity to be heard, prior to taking action pursuant to this paragraph.

GRANTED AND APPROVED BY THE MAYOR AND COMMON COUNCIL of the Town of Paradise Valley, Arizona, this 8 day of September, 1977.

Barbara vonAmmon
Barbara vonAmmon, Mayor

ATTEST:

Mary Ann Brines
Mary Ann Brines, Town Clerk

APPROVED AS TO FORM:

Roger A. McKee
Roger A. McKee, Town Attorney

ACCEPTED AND AGREED TO:

Conrad S. Linder
Pastor, Ascension Lutheran Church

Robert C. Egan MD
President of the Church Council of the Ascension Lutheran Church

STATE OF ARIZONA }
County of Maricopa } ss

I hereby certify that the within instrument was filed and recorded at request of

TOWN OF PARADISE VALLEY

SEP 23 1977 -12 10

In Docket 12447

on page 1435-1436

Witness my hand and official seal the day and year aforesaid.

Tom Freestone

County Recorder

By [Signature]
Deputy Recorder

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