

7070 N. 59th Place, Paradise Valley, AZ 85253

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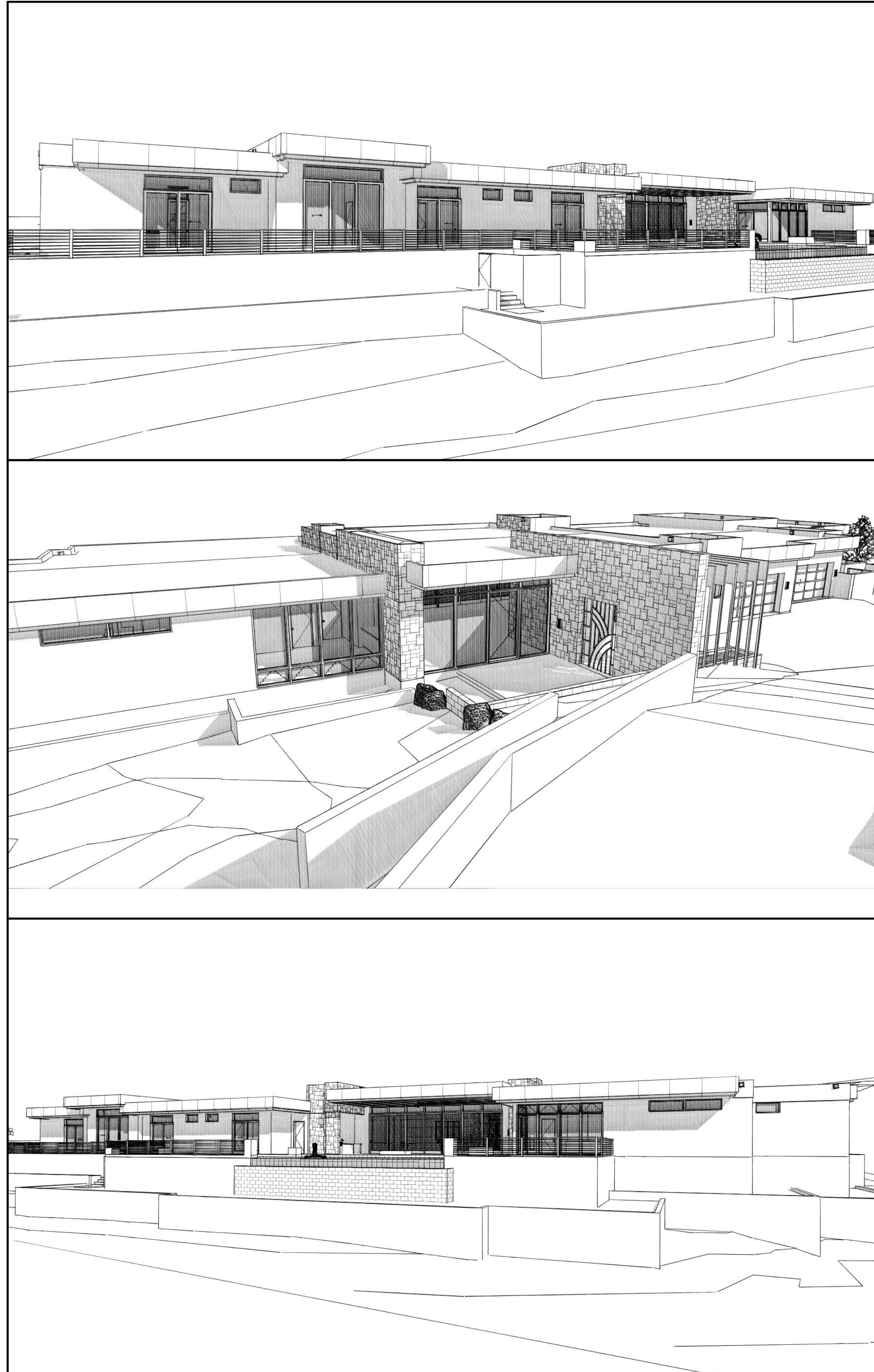
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COVER SHEET

SDA-0

not for construction



ABBREVIATIONS									
A.B.	ANCHOR BOLTS	DIM.	DIMENSION	GL.	GLASS	MFR.	MANUFACTURER	R.D.	ROOF DRAIN
A.B.C.	AGGREGATE BASE COURSE	DN.	DOWN	GND.	GROUND	MIN.	MINIMUM	R.D.L.	ROOF DRAIN LEADER
A.C.	AIR CONDITIONING	D.P.	DRAINAGE PIPE	GSN.	GENERAL STRUCTURAL NOTES	M.O.	MASONRY OPENING	RE.	REFER
AGGR.	AGGREGATE	DR.	DOOR	GYP.	GYPSPUM	MISC.	MISCELLANEOUS	REINF.	REINFORCING
ALUM.	ALUMINUM	DWG.	DRAWING	H.B.	HOLE BOMB	MCD.	MODULAR	S.F.	SQUARE FEET OR FOOT
APPROX.	APPROXIMATE	EA.	EACH	H.C.	HOLLOW CORE	MTL.	METAL	R.O.W.	RIGHT OF WAY
ARCH.	ARCHITECTURAL	E.J.	EXPANSION JOINT	HDWR.	HARDWARE	MULL.	MULLION	RM.	ROOM
B.O.	BOTTOM OF	EC.	ELECTRICAL CONTRACTOR	HDWR.	HARDWARE	N.	NORTH	REQD.	REQUIRED
BD.	BOARD	ELEC.	ELECTRICAL	HORIZ.	HORIZONTAL	N.I.C.	NOT IN CONTRACT	S.C.	SOLID CORE
BTUM.	BTUMINOUS	ENCL.	ENCLOSURE	HR.	HOLE	N.O. (#)	NOM. (#)	S.F.	SQUARE FEET OR FOOT
BLK.	BLOCK	EQ.	EQUAL	HT.	HEIGHT	NOM.	NOMINAL	SECT.	SECTION
B.L.G.	BLOCKING	EQUIP.	EQUIPMENT	HHV.	HOT WATER HEATER	N.T.S.	NOT TO SCALE	SHLV.	SHELVE (S)
BM.	BEAM	E.W.	EACH WAY	I.A.	INSIDE DIAMETER	O.A.	OVER ALL	SHT.	SHEET
BRG.	BEARING	EXH.	EXHAUST	IN.	INCH	O.C.	ON CENTER	SIM.	SIMILAR
C.J.	COMPOSED JOINT	EX-AGG.	EXPOSED AGGREGATE	INSUL.	INSULATION	O.D.	OUTSIDE DIAMETER	SPEC.	SPECIFICATION
C.B.	CERAMIC TILE	EXIST.	EXISTING	INT.	INTERIOR	O.H.	OVERHEAD	SQ.	SQUARE
CAB.	CABINET	EXP.	EXPOSED	INV.	INVERT	OPP.	OPPOSITE	STD.	STANDARD
CATV.	CABLE TV	EXT.	EXTERIOR	JST.	JOIST	PERIM.	PERIMETER	STRU.	STRUCTURAL
CER.	CERAMIC	F.D.	FLOOR DRAIN	JT.	JOINT	PERF.	PERFORATED	T.O.	TOP OF
COL.	COLUMN	FIN.	FINISH FLOOR ELEVATION	KIT.	KITCHEN	PERM.	PERMANENT	TELE.	TELEPHONE
CEILING	CEILING	FLA.	FLASHING	LAV.	LAVATORY	PERP.	PERPENDICULAR	TEMP.	TEMPERARY OR TEMPERED
CLR.	CLEAR	FNR.	FLOOR	L.G.	LENGTH	P.L.	PROPERTY LINE	THK.	THICKNESS
C.M.U.	CONCRETE MASONRY UNITS	FLR.	FLOOR	L.GTH.	LENGTH	PLYWD.	PLYWOOD	TV.	TELEVISION
CNTR.	COUNTER	FND.	FOUNDATION	LIN.	LINEAL	PLUMB.	PLUMBING	TYP.	TYPICAL
CONC.	CONCRETE	FT.	FOOT OR FEET	L.L.	LIVE LOAD	PREFAB.	PREFABRICATED	UL	UNDERWRITERS LAB INC.
CONNL.	CONNECTION	FT.	FOOT OR FEET	L.W.C.	LIGHT WEIGHT CONCRETE	PREFIN.	PREFINISHED	U.O.N.	UNLESS OTHERWISE NOTED
CONST.	CONSTRUCTION	FURN.	FURNISHING	M.A.S.	MASONRY	PROJ.	PROJECT	VERT.	VERTICAL
CONT.	CONTINUOUS	FURN.	FURNISHING (ED)	MATL.	MATERIAL	PSI.	POUNDS PER SQ. IN.	W.	WITH
CONTR.	CONTRACTOR	FURR.	FURRING	MAX.	MAXIMUM	PT.	POINTS	W.C.	WATER CLOSET
CPT.	CARPET	GA.	GALUGE	MECH.	MECHANICAL	P.U.E.	PUBLIC UTILITY EASEMENT	WD.	WOOD
CORRIDOR	GALV.	G.C.	GALVANIZED	MEMB.	MEMBRANE	REF.	REFRIGERATOR	WID.	WIDEN
DET.	DETAIL	G.C.	GENERAL CONTRACTOR	MEP.	MECH., ELECT. & PLUMB.			WT.	WEIGHT

GENERAL NOTES

STANDARDS AND REGULATIONS

1. PERFORM ALL WORK IN CONFORMANCE WITH APPLICABLE BUILDING CODES, REGULATIONS, ORDINANCES, UTILITY PROVIDER REQUIREMENTS AND SIMILAR STANDARDS.

2. OBTAIN ALL REQUIRED PERMITS AND SIMILAR RELEASES REQUIRED FOR CONSTRUCTION AND OCCUPANCY. FURNISH COPIES OF ALL SUCH ITEMS TO OWNER AND ARCHITECT WITHIN TEN (10) DAYS OF RECEIPT. IF PERMITS ARE ISSUED SUBJECT TO CERTAIN CONDITIONS OR REVISIONS TO THE WORK, OR IF PERMITS ARE DELAYED FOR ANY REASON, NOTIFY THE ARCHITECT IMMEDIATELY.

3. OBTAIN ALL REQUIRED INSPECTIONS OF THE WORK AS REQUIRED BY THE GOVERNING MUNICIPALITY, REGULARLY UPDATE OWNER AND ARCHITECT REGARDING THE STATUS OF INSPECTIONS.

4. MISCELLANEOUS SITE STRUCTURES, POOLS, SPAS, FENCES, SITE WALLS, RETAINING WALLS, AND GAS STORAGE TANKS REQUIRE SEPARATE PERMITS.

5. ALL PRODUCTS LISTED BY ICC/N.E.R NUMBER(S) SHALL BE INSTALLED PER THE REPORT AND MANUFACTURERS WRITTEN INSTRUCTIONS. PRODUCT SUBSTITUTIONS FOR PRODUCTS LISTED SHALL ALSO HAVE AN ICC APPROVED EVALUATION REPORT(S) OR BE APPROVED.

6. PROVIDE ENGINEERED TRUSS DESIGNS FOR ALL PREFABRICATED TRUSSES FOR REVIEW AND APPROVAL BY THE GOVERNING JURISDICTION.

ADMINISTRATION OF THE WORK:

1. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE MEANS, METHODS AND SEQUENCE OF CONSTRUCTION.

2. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SAFETY OF ALL CONSTRUCTION PERSONNEL AND AUTHORIZED VISITORS.

3. VISIT JOB SITE AND INSPECT THE PREMISES TO BECOME FULLY ACQUAINTED WITH CONDITIONS RELATED TO THE WORK. LAID OUT WORK AS SOON AS POSSIBLE. REPORT ANY KNOWN DISCREPANCIES BETWEEN THE DOCUMENTS AND ACTUAL CONDITIONS TO THE ARCHITECT FOR RESOLUTION PRIOR TO PROCEEDING WITH WORK RELATED TO THE DISCREPANCY.

4. TAKE PRECAUTIONS TO MAINTAIN AND PROTECT SYSTEMS AND FINISHES. ANY DAMAGES TO SUCH FINISHES SHALL BE IMMEDIATELY REPAIRED IN A MANNER ACCEPTABLE TO THE ARCHITECT. IF SATISFACTORY REPAIRS CANNOT BE MADE, REPLACE SYSTEMS AND FINISHES WITH LIKE- NEW QUALITY CONSTRUCTION ACCEPTABLE TO THE ARCHITECT AT NO COST TO THE OWNER.

5. REMOVE AND PROPERLY DISPOSE OF ALL CONSTRUCTION AND DEMOLITION DEBRIS. OBTAIN APPROVAL OF OWNER (AND BUILDING OWNER, IF APPLICABLE) FOR DETAILS RELATED TO REMOVAL OF TRASH, INCLUDING SUCH ISSUES AS PATH OF TRAVEL, USE OF STAIRS AND ELEVATORS, REMOVAL OF WINDOWS, LOCATION OF CHUTES AND DUMPSTER, ETC., PRIOR TO REMOVAL OF DEBRIS. CLEAN AND REPAIR ANY DAMAGES TO EXISTING SYSTEMS SOILED OR DAMAGED BY DEBRIS REMOVAL PROCESS. IF CLEANING AND REPAIR DOES NOT RETURN SYSTEMS TO ORIGINAL CONDITION, INSTALL NEW SYSTEMS AT NO COST TO THE OWNER.

6. BECOME FAMILIAR WITH AND COMPLY WITH OWNER'S (OR BUILDING OWNER'S) PROCEDURES FOR MAINTAINING A SECURE SITE AND BUILDING.

7. EXAMINE SUBSTRATE CONDITION AND/OR SITE CONDITIONS WHICH AFFECT THE QUALITY OF EACH PRODUCT TO BE INSTALLED. IF ANY CONDITIONS EXIST WHICH WILL HAVE A DETRIMENTAL EFFECT ON THE QUALITY OF THE INSTALLATION, THE INSTALLER SHALL IMMEDIATELY NOTIFY THE CONTRACTOR. INSTALLATION SHALL NOT PROCEED UNTIL THE UNSATISFACTORY CONDITIONS ARE CORRECTED. INSTALLATION SHALL SIGNIFY ACCEPTANCE OF THE CONDITIONS.

8. MAINTAIN PERMITTED CONSTRUCTION DOCUMENTS AND ALL RECORD DOCUMENTS ON SITE AT ALL TIMES.

9. SUPERVISE AND COORDINATE THE WORK USING SKILL AND ATTENTION. COORDINATE THE WORK OF ALL TRADES. NOTIFY THE ARCHITECT IMMEDIATELY UPON DISCOVERY OF CONFLICTS THAT PREVENT THE WORK FROM BEING COMPLETED AS DESIGNED.

USE OF CONSTRUCTION DOCUMENTS:

1. DO NOT SCALE DRAWINGS, ONLY WRITTEN DIMENSIONS OR KEYED NOTES SHALL BE USED. CONTACT ARCHITECT IF CLARIFICATION OR ADDL. INFORMATION IS REQUIRED.

2. THE DRAWINGS ARE SCHEMATIC IN NATURE. MODIFICATIONS IN DUCTS, PIPING, CONDUIT AND WIRING MAY BE REQUIRED TO ACCOMMODATE ACTUAL FIELD CONDITIONS.

3. DO NOT REPRODUCE DRAWINGS FOR SUBMITTALS. SUBMITTALS WITH REPRODUCTIONS OF THESE DRAWINGS OR PORTIONS OF THESE DRAWINGS WILL BE REJECTED AND RETURNED WITHOUT APPROVAL OF ARCHITECT.

4. DIMENSIONS ARE AS FOLLOWS UNLESS NOTED OTHERWISE:
A) TO FACE OF STUD OF PARTITION OR EXTERIOR WALL.
B) TO CENTERLINE OF COLUMNS.
C) TO TOP OF STRUCTURAL FLOOR.
D) TO BOTTOM OF FINISHED CEILING.
E) TO FACE OF CONCRETE WALL.

MATERIALS:

1. ISOLATE ALL DISSIMILAR METAL MATERIALS WITH A NON-METALLIC SEPARATOR.

2. MAINTAIN FIRE RESISTANCE RATINGS OF MEMBRANE PENETRATIONS IN GARAGE WALLS.

3. ALL MATERIALS USED IN AIR DISTRIBUTION/RETURN SHALL HAVE A FLAME- SPREAD RATING OF 25 AND SHALL BE APPROVED BY LOCAL BUILDING CODE AUTHORITIES.

4. ALL MATERIALS USED IN FIRE-RATED ASSEMBLIES SHALL BE APPROVED BY U.I. OR OTHER RECOGNIZED STANDARD FOR USE IN SUCH ASSEMBLIES.

MATERIALS CONTINUED:

5. ALL STEEL PRODUCTS USED IN THE EXTERIOR WALLS SHALL BE STAINLESS OR GALVANIZED. ALL EXTERIOR STEEL SHALL BE GALVANIZED UNLESS NOTED OR SPECIFIED OTHERWISE.

6. ALL SHEET METAL FLASHING SHALL ALLOW FOR THERMAL MOVEMENT OF THE MATERIAL WITHOUT DEFLECTION AND OILCANNING.

7. EXTERIOR WALL, BOTTOM SILL PLATES, SHALL BE PRESSURE TREATED OR EQUAL, AND SHALL BEAR EXTENDED MINIMUM 6 INCHES ABOVE FINISHED GRADE. (R319.1)

8. LUMBER SHALL BEAR AN APPROVED GRADING STAMP. (R602.1)

9. LATH MUST BE CORROSION RESISTANT WITH A MINIMUM 1" 20 GA. GALVANIZED WIRE FABRIC LATH.

10. GYPSPUM BOARD APPLIED TO A CEILING SHALL BE 1/2" WHEN FRAMING MEMBERS ARE 16" O.C. OR 5/8" WHEN FRAMING MEMBERS ARE 24" O.C. OR USE LABELED 1/2" SAG-RESISTANT GYPSPUM CEILING BOARD. TABLE R702.3.5(d).

11. EXTERIOR WALL PENETRATIONS BY PIPES, DUCTS, OR CONDUITS SHALL BE CAULKED. (R307.6)

12. MINIMUM INSULATION SHALL BE: EXT. WALLS R-19, CEILINGS R-38.

13. WALLS AND SOFFITS OF ENCLOSED USABLE SPACE UNDER INTERIOR STAIRWAYS SHALL BE PROTECTED ON THE ENCLOSED SIDE BY A MINIMUM 5/8" TYPE "X" GYPSPUM BOARD.

14. EXTERIOR LOCATIONS SHALL NOT USE GYPSPUM WALLBOARD ON THE CEILING UNLESS THERE IS 1'-0" OF PROTECTION BY A BEAM OR WALL OR HORIZONTAL DISTANCE OF 10'-0". IT IS NECESSARY TO USE AN EXTERIOR MATERIAL SUCH AS SOFFIT BOARD APPROVED FOR THE LOCATION.

15. SHOWER AREA WALLS SHALL BE FINISHED WITH A SMOOTH, HARD, NONABSORBENT SURFACE, SUCH AS CERAMIC TILE, TO A HEIGHT OF NOT LESS THAN 6' ABOVE DRAIN INLET. WATER RESISTANT GYPSPUM WALLBOARD SHALL NOT BE INSTALLED OVER A VAPOR RETARDER IN A SHOWER OR TUB COMPARTMENT. CEMENT, FIBER-CEMENT OR GLASS MAT GYPSPUM BACKERS INSTALLED IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS SHALL BE USED AS BACKERS FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL PANELS IN SHOWER AREAS. (R702.4.2).

16. PROVIDE 5/8" TYPE "X" GYPSPUM BOARD ON ALL INTERIOR CEILINGS AND WALLS, U.N.O.

17. GLASS AT SHOWER ENCLOSURES SHALL BE TEMPERED OR APPROVED EQUAL WITH A MINIMUM 1'-10" CLEAR OPENING.

18. GLASS WITHIN HAZARDOUS AREAS; I.E.:
a. ALL GLASS WITHIN 1'-0" OF THE FLOOR
b. ALL GLASS WITHIN 5'-0" OF WATER (POOL) SHALL BE SAFETY GLASS.

19. STUCCO SYSTEM SHALL MEET STANDARDS BY SB ICC ESR # 1607.

20. MASONRY BED AND HEAD JOINTS SHALL BE 3/8 INCH-THICK. THE THICKNESS OF THE BED JOINT OF THE STARTING COURSE PLACED OVER FOUNDATIONS SHALL NOT BE LESS THAN 1/4 INCH AND NOT MORE THAN 3/4 INCH. MORTAR JOINT THICKNESS SHALL BE WITHIN THE FOLLOWING TOLERANCES FROM THE SPECIFIED DIMENSIONS: 1. BED JOINT: +1/8 INCH, 2. HEAD JOINT: 1/4 INCH + 3/8 INCH, 3. COLLAR JOINTS: 1/4 INCH + 3/8 INCH. (R602.2.1)

21. A MINIMUM 0.021" (26 GA.) CORROSION RESISTANT WEEP SCREED WITH A MINIMUM OF 4" ABOVE THE GRADE OR 2" ABOVE PAVED SURFACES SHALL BE A TYPE WHICH WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEATHER RESISTIVE BARRIER AND EXTERIOR LATH SHALL COVER AND TERMINATE ON THE ATTACHMENT FLANGE OF THE SCREED.

22. M.A.G. ONE-COAT STUCCO COMPLIANCE PROGRAM - ALL ONE-COAT STUCCO SYSTEMS SHALL BE APPLIED BY MANUFACTURER-APPROVED INSTALLERS. TWO (2) LAYERS OF AN APPROVED WEATHER-RESISTIVE BARRIER SHALL BE INSTALLED OVER THE WOOD BASED SHEATHING.

FIRE BLOCKING NOTES:

1. FIRE BLOCKING SHALL COMPLY WITH R602.8

2. AT CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING FLOOR LEVELS AND AT MAX. 10'-0" INTERVALS BOTH HORIZONTAL & VERTICAL.

3. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS SOFFITS, DROPPED CEILINGS, COVE CEILINGS, AND TOPS OF FRAMED COLUMNS.

4. IN CONCEALED SPACES BETWEEN STAIR STRINGERS, AT THE TOP AND BOTTOM OF THE RUN AND AT EACH CLEAR OPENING OF THE WINDOW WITH THE RUN OF STAIRS, IF THE WALLS UNDER THE STAIRS ARE UNFINISHED.

5. IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES, AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS, USE NON-COMBUSTIBLE MATERIALS.

6. AT OPENINGS BETWEEN ATTIC SPACES AND CHIMNEY CHASES FOR FACTORY-BUILT CHIMNEYS.

7. WALLS HAVING PARALLEL OR STAGGERED STUDS FOR SOUND CONTROL SHALL HAVE FIRE BLOCKS OF MINERAL FIBER OR GLASS FIBER OR OTHER APPROVED NON-RIGID MATERIAL.

8. THE INTEGRITY OF ALL FIRE BLOCKING, AND DRAFT STOPS, SHALL BE MAINTAINED.

9. FLOOR-CEILING ASSEMBLIES WITH A CONCEALED SPACE IN EXCESS OF 1,000 SQUARE FEET SHALL HAVE DRAFT STOPS INSTALLED THAT DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS.

STANDARD GENERAL NOTES:

1. REFER TO CIVIL DRAWINGS FOR GRADING, DRAINAGE AND ADDITIONAL TOPOGRAPHIC INFORMATION.

2. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES 3% MINIMUM FOR THE FIRST 10'-0".

3. AN APPROVED GRADING & DRAINAGE PLAN SHALL BE KEPT ON SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED REVISION.

ELECTRICAL GENERAL NOTES CONTINUED:

8. THE TWO OR MORE 20-AMPERE SMALL APPLIANCE BRANCH CIRCUITS SHALL HAVE NO OTHER OUTLETS, EXCEPT THE RECEPTACLE INSTALLED SOLELY FOR ELECTRIC SUPPLY TO AN ELECTRICAL CLOCK IN THE KITCHEN/DINING/BREAKFAST AREAS OR RECEPTACLES FOR SUPPLEMENTAL EQUIPMENT AND LIGHTING FOR GAS-FIRED RANGES, OVENS, OR COUNTER-MOUNTED UNITS.

7. RECEPTACLE OUTLETS FOR RANGES AND CLOTHES DRYERS SHALL BE A 3-POLE WITH GROUND TYPE, FOUR-WIRE, GROUNDING-TYPE FLEXIBLE CORDS WILL BE REQUIRED FOR CONNECTION OF RANGES AND CLOTHES DRYERS. THE BONDING JUMPER SHALL NOT BE CONNECTED BETWEEN THE NEUTRAL TERMINAL AND THE FRAME OF THE APPLIANCE. FLEXIBLE CORDS SHALL BE USED ONLY WHERE THE FLEXIBLE CORD SUPPLYING AN APPLIANCE SHALL TERMINATE IN A GROUNDING-TYPE ATTACHMENT PLUG.

8. PROVIDE IC-RATED RECESSED LIGHT FIXTURES INSTALLED IN INSULATED CEILINGS.

9. PROVIDE AND INSTALL SINGLE PHASE ELECTRICAL SERVICE AS NOTED ON ELECTRICAL DRAWINGS

10. SMOKE DETECTORS SHALL BE INSTALLED AT A POINT CENTRALLY LOCATED IN THE HALLWAY OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA AND BE A MINIMUM OF 3'-0" FROM ALL DUCT OPENINGS. EACH SMOKE DETECTOR SHALL BE PERMANENTLY WIRED AND INTERCONNECTED WITH BATTERY BACK-UP.

11. PERFORM ALL WORK IN ACCORDANCE WITH LOCAL AND NATIONAL ELECTRICAL CODES.

12. ALL WIRE SHALL BE COPPER.

13. PROVIDE PRIMARY AND SECONDARY OVERCURRENT PROTECTION FOR ALL 12-VOLT TRANSFORMERS WHERE NOTED. REQUIRED TO THE CITY ENGINEER'S OFFICE.

14. COORDINATE LOCATION AND INSTALLATION OF ALL LIGHTING EQUIPMENT WITH ALL SUBCONTRACTORS (I.E., FRAMING, MECHANICAL, CABINETRY, ETC.). PRIOR TO ROUGH-IN, PROVIDE AND INSTALL SOLID WOOD BLOCKING FOR ALL FIXTURES IN DRYWALL CEILINGS FOR SECURE SOLID ATTACHMENT OF DEVICES.

15. ALL SUBSTITUTIONS ARE TO BE APPROVED IN WRITING BY THE OWNER.

16. PRIOR TO DRYWALL INSTALLATION, ALL ADJUSTABLE FIXTURES ARE TO BE VERIFIED AFTER ROUGH-IN INSTALLATION IN FIELD BY THE ARCHITECT AND OWNER.

17. ALL RECESSED TRIMS AND/OR TRIM RINGS ARE TO BE ALLOWED TO MATCH PAINT COLOR OR WOOD STAIN OF CEILING IN ROOM.

18. ALL DEVICES (I.E., RECEPTACLES, PHONE JACKS, TV JACKS, ETC.) AT NEW AND EXISTING LOCATIONS SHALL BE DECORA STYLE, COLOR TO BE SELECTED. LOCATION OF ALL DEVICES (ABOVE) SHALL BE VERIFIED IN FIELD BY ARCHITECT AND INSTALLED PER CODE.

19. OUTLET BOXES IN THE WALL BETWEEN THE RESIDENCE AND GARAGE SHALL BE METAL OR UL-APPROVED FIRE RESISTIVE PLASTIC. OUTLET BOXES IN GARAGE CEILING SHALL BE METAL.

20. PRE-WIRE AUDIO/VISUAL, SOUND SYSTEM AND SECURITY SYSTEM. LOCATIONS TO BE DETERMINED ON SITE BY ARCHITECT, OWNER AND CONSULTANT.

21. PRE-WIRE FOR ROOF-MOUNTED SATELLITE TELEVISION SYSTEM TO BE COORDINATED WITH OWNER/ARCHITECT.

22. ALL LAMPS MUST BE ELECTRIC. WHERE HALOGEN LAMPS ARE SPECIFIED, USE MR-16 GE CONSTANT COLOR SERIES. IMPROPER LAMPS TO BE REPLACED AT CONTRACTOR'S EXPENSE.

23. ALL FIXTURES IN CLOTHES CLOSETS SHALL COMPLY WITH (E903.1.2) REGARDING DISTANCES FROM STORAGE AREA AND TYPE OF FIXTURE (COVERED REQUIRED).

24. ELECTRICAL BOXES WHICH SUPPORT CEILING FANS TO BE UL LISTED FOR FAN SUPPORT PER (E401.6).

25. INSTALL ALL RECEPTACLES CENTERED AT 1'-0" AFF PER CODE, OR UNLESS NOTED OTHERWISE, INSTALL HORIZONTALLY IN WOOD BASE.

26. ALL SWITCHES AND DIMMER DEVICES ARE TO BE CENTERED AT 3'-4" A.F.F.

27. PROVIDE GFCI PROTECTION FOR RECEPTACLES WITHIN 6'-0" OF ALL LAVATORIES, SINKS AND BASINS.

28. PROVIDE GFCI PROTECTED RECEPTACLES AT ALL EXTERIOR, BATHROOM AND GARAGE LOCATIONS.

29. PROVIDE A CONCRETE ENCASED GROUNDING ELECTRODE OF NOT LESS THAN 20 FEET OF #4 BARE COPPER. (E360B.1.2).

30. PROVIDE BONDING TO WATER PIPING, GAS AND METAL BUILDING SYSTEMS. (E360B.9, E360B.7).

31. ALL METAL PIPING SYSTEMS, METAL PARTS OF ELECTRICAL EQUIPMENT, AND PUMP MOTORS ASSOCIATED WITH THE HYDRO MASSAGE TUB SHALL BE BONDED TOGETHER USING A COPPER BONDING JUMPER, INSULATED, COVERED, OR BARE, NOT SMALLER THAN NO. 8 BOLD. (E420B).

32. 15- AND 20-AMPERE RECEPTACLE INSTALLED IN BATHROOMS, GARAGES AND GRADE-LEVEL PORTIONS OF UNFINISHED ACCESSORY BUILDINGS USED FOR STORAGE OR WORK AREAS, AND INSTALLED OUTDOORS SHALL HAVE GFCI PROTECTION FOR PERSONNEL. (E3902.1-3)

33. ELECTRICAL FIXTURES LOCATED IN DAMP OR WET LOCATIONS SHALL BE "LISTED" TO BE SUITABLE FOR SUCH A LOCATION. (E4003.9)

34. ALL BRANCH CIRCUITS THAT SUPPLY 15- AND 20-AMPERE OUTLETS INSTALLED IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS AND SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A COMBINATION TYPE ARC-FAULT CIRCUIT INTERRUPTER (AFCI) INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. (E3902.12)

35. IN AREAS SPECIFIED IN SECTION E3901.1 15- AND 20-AMPERE RECEPTACLES SHALL BE TAMPER-RESISTANT. (E4002.14).

36. PROVIDE SMOKE ALARMS (R314).

37. APPROVED CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL-FIRED APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. (R315).

38. PROVIDE A SWITCH FOR THE STAIRWAY WHEN THERE ARE 6 MORE RISERS. (R303.7.1)

PLUMBING GENERAL NOTES:

1. PLUMBING FIXTURES SHALL COMPLY WITH THE FOLLOWING GRADE SHALL HAVE THE LOWEST PART OF CLEAR OPENING OF 1.6 GAL./FLUSH, SHOWER HEADS: 2.5GAL./MINUTE, FAUCETS: 2.2GAL./MINUTE, PROVIDE AERATOR. (TABLE P2903.2.2)

2. HOT WATER SHALL BE THE LEFT FITTING AT ALL FAUCETS.

3. PROVIDE AN EXPANSION TANK AT THE WATER HEATER IF A BACKFLOW PREVENTER IS ON OR TO BE INSTALLED ON THE WATER LINE OR AT THE METER.

4. SHOWERS AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE. (P270B.3)

5. DOMESTIC DISHWASHING MACHINES CONNECTED TO A DISPOSER SHALL HAVE THE DISCHARGE INSTALLED AS HIGH AS POSSIBLE.

6. SOLDERERS AND FLUX HAVING A LEAD CONTENT IN EXCESS OF TWO TENTHS OF ONE PERCENT (2%) SHALL NOT BE USED IN THE INSTALLATION OR REPAIR OF ANY PLUMBING.

7. HOT WATER RECIRCULATION PUMPS. PROVIDE A HOT WATER DEMAND CONTROLLED RECIRCULATION PUMP FOR WATER HEATERS LOCATED MORE THAN 20 FEET FROM FURTHEST FIXTURE SERVED. A MANUAL CONTROL, OR OCCUPANT SENSOR SWITCH SHALL OPERATE THE PUMP WITH AN AUTOMATIC TEMPERATURE SENSOR SHUT-OFF.

8. WATER TREATMENT SYSTEMS: SHALL EQUIPPED WITH AN AUTOMATIC OR READILY ACCESSIBLE MANUAL SHUTOFF TO PREVENT CONTINUOUS FLOW WHEN NOT IN USE. (N1103.4.1)

PLUMBING GENERAL NOTES CONTINUED:

9. HOT WATER RECIRCULATION PUMPS. CIRCULATING HOT WATER SYSTEMS SHALL BE PROVIDED WITH AN AUTOMATIC OR READILY ACCESSIBLE MANUAL SWITCH THAT CAN TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE. A MANUAL CONTROL OR OCCUPANT SENSOR SWITCH SHALL OPERATE THE PUMP WITH AN AUTOMATIC TEMPERATURE SENSOR SHUT-OFF (N1103.4.1 AMENDED).

10. WHERE A LISTED DECORATIVE APPLIANCE IS INSTALLED, THE FIREPLACE DAMPER OPEN SHALL COMPLY WITH LISTED DECORATIVE APPLIANCE MANUFACTURERS INSTALLATION INSTRUCTIONS. (G2434, G2435, G2453.1).

HVAC GENERAL NOTES:

1. REGISTERS, DIFFUSERS AND GRILLES SHALL BE MECHANICALLY FASTENED TO RIGID SUPPORTS OR STRUCTURAL MEMBERS ON AT LEAST TWO OPPOSITE SIDES IN ADDITION TO BEING CONNECTED TO THE DUCTWORK THEY SERVE.

2. THE CLOTHES DRYER SHALL BE INSTALLED WITH A 4" DIAMETER EXHAUST DUCT TO THE EXTERIOR AND SHALL NOT EXCEED A TOTAL LENGTH OF 25'-0", UNLESS AN ENGINEERED DUCT SYSTEM IS PROVIDED. THE DUCT SHALL TERMINATE NOT LESS THAN 3'-0" FROM A PROPERTY LINE OR FROM OPENINGS INTO A BUILDING.

3. SUBMIT TO ARCHITECT SHOP DRAWINGS OF ALL MECHANICAL WORK PRIOR TO FABRICATION.

4. EXHAUST AIR FROM KITCHENS, BATHROOMS AND TOILET ROOMS SHALL NOT BE RE-CIRCULATED WITHIN A RESIDENCE OR TO ANOTHER DWELLING UNIT. SHALL NOT DISCHARGE INTO AN ATTIC, AND/OR CRAWL SPACE AND SHALL BE EXHAUSTED DIRECTLY TO THE OUTDOORS. M1601.2

5. SUPPLY AND RETURN DUCTS SHALL BE INSULATED TO A MINIMUM R-8. DUCTS IN FLOOR TRUSSES SHALL BE INSULATED TO MINIMUM R-6. (M1103.3.1).

6. DRYER EXHAUST DUCTS SHALL CONFORM TO THE REQUIREMENTS OF SECTIONS M1502.4.5 AMENDED), M1502.4.1 THRU M1502.4.6.

7. AT LEAST ONE THERMOSTAT SHALL BE PROVIDED FOR EACH SEPARATE HEATING AND COOLING SYSTEM. (N1103.1).

8. THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF SECTION M1507 OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING. (N1103.5).

9. DUCTS, AIR HANDLERS, AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH SECTION M1601.4.1. (N1103.2.2). DUCT TIGHTNESS SHALL BE VERIFIED BY EITHER OF THE FOLLOWING:

1. POST-CONSTRUCTION TEST: TOTAL LEAKAGE SHALL BE LESS OR EQUAL TO 4 CFM PER 100 SQUARE FEET OF CONDITIONED FLOOR AREA WHEN TESTED AT A PRESSURE DIFFERENTIAL OF 0.1 INCHES W.G. (25PA) ACROSS THE ENTIRE SYSTEM, INCLUDING THE MANUFACTURERS AIR HANDLER ENCLOSURE. ALL REGISTER BOOTS SHALL BE TAPED OR OTHERWISE SEALED DURING TEST.

2. ROUGH-IN-TEST: TOTAL LEAKAGE SHALL BE LESS THEN OR EQUAL TO 4 CFM OVER 100 FEET2 OF CONDITIONED FLOOR AREA WHEN TESTED AT A PRESSURE DIFFERENTIAL OF 0.1 INCHES W.G. (25PA) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURERS AIR HANDLER ENCLOSURE. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST. IF THE AIR HANDLER IS NOT INSTALLED AT THE TIME OF THE TEST, TOTAL LEAKAGE SHALL BE LESS THEN OR EQUAL TO 3 CFM PER 100 SQUARE FEET OF CONDITIONED FLOOR AREA

10. PROVIDE OUTSIDE COMBUSTION AIR TO ALL INDOOR ENCLOSURES, WITH AN AIR INTAKE NOT LOCATED HIGHER THAN THE FIREBOX. (R100B.2)

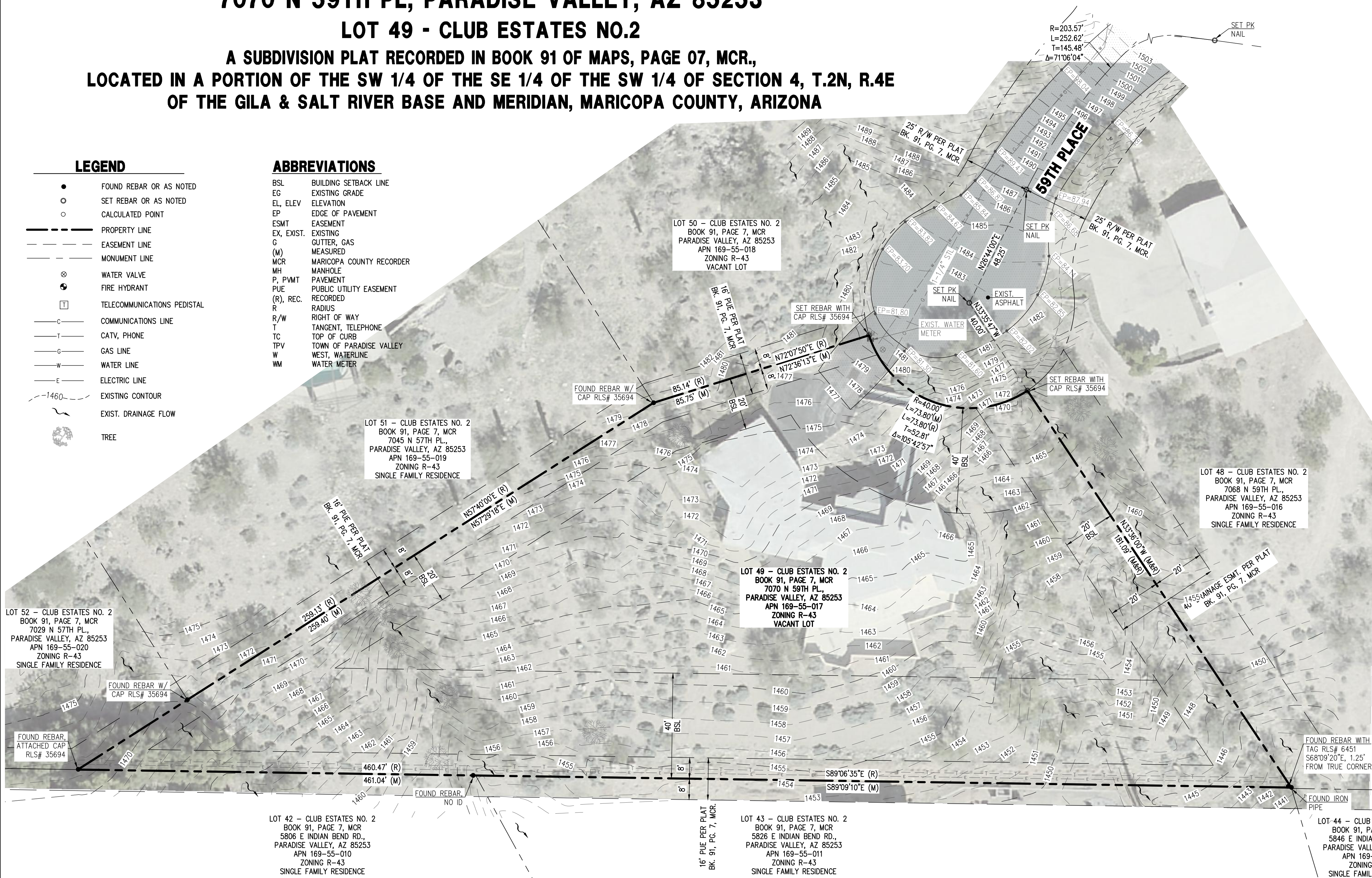
ENERGY REQUIREMENTS:

BOUNDARY & TOPOGRAPHIC SURVEY
7070 N 59TH PL, PARADISE VALLEY, AZ 85253
LOT 49 - CLUB ESTATES NO.2

A SUBDIVISION PLAT RECORDED IN BOOK 91 OF MAPS, PAGE 07, MCR.,
LOCATED IN A PORTION OF THE SW 1/4 OF THE SE 1/4 OF THE SW 1/4 OF SECTION 4, T.2N, R.4E
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

- LEGEND**
- FOUND REBAR OR AS NOTED
 - SET REBAR OR AS NOTED
 - CALCULATED POINT
 - PROPERTY LINE
 - - - EASEMENT LINE
 - - - MONUMENT LINE
 - ⊗ WATER VALVE
 - ⊙ FIRE HYDRANT
 - [T] TELECOMMUNICATIONS PEDISTAL
 - COMMUNICATIONS LINE
 - CATV, PHONE
 - GAS LINE
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 - ELECTRIC LINE
 - - - EXISTING CONTOUR
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 - TREE

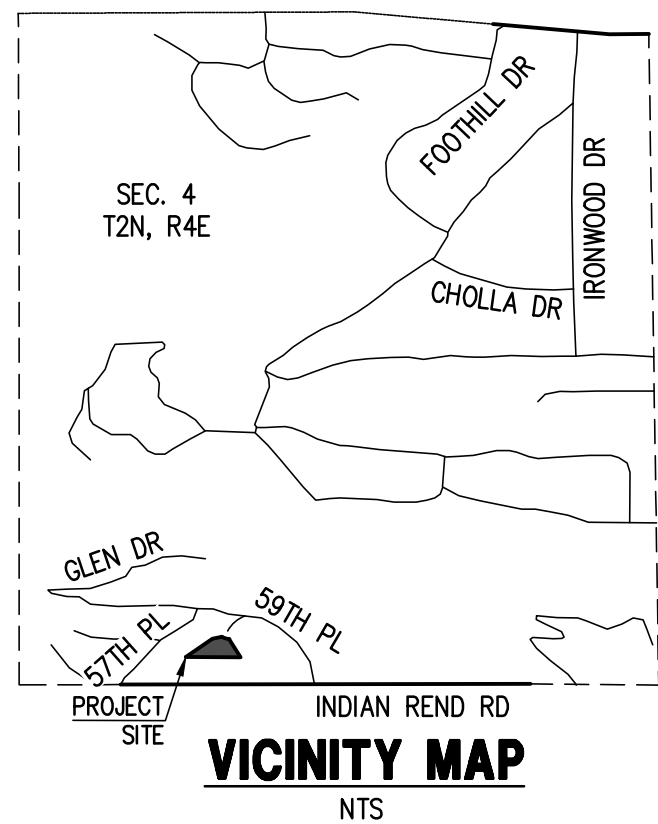
- ABBREVIATIONS**
- BSL BUILDING SETBACK LINE
 - EG EXISTING GRADE
 - EL ELEV
 - EP EDGE OF PAVEMENT
 - ESMT EASEMENT
 - EX, EXIST. EXISTING
 - G GUTTER, GAS
 - (M) MEASURED
 - MCR MARICOPA COUNTY RECORDER
 - MH MANHOLE
 - P, PVMT PAVEMENT
 - PUE PUBLIC UTILITY EASEMENT
 - (R), REC. RECORDED
 - R RADIUS
 - R/W RIGHT OF WAY
 - T TANGENT, TELEPHONE
 - TC TOP OF CURB
 - TPV TOWN OF PARADISE VALLEY
 - W WEST, WATERLINE
 - WM WATER METER



GENERAL NOTES

- THE PREMISES SURVEYED HAVE NO KNOWN DISCREPANCIES, BOUNDARY LINE CONFLICTS, ENCROACHMENTS, OVERLAPPING OF IMPROVEMENTS, EASEMENTS OR RIGHT-OF-WAYS EXCEPT AS SHOWN, AND HAS ACCESS TO OR FROM A DEDICATED ROADWAY.
- THIS IS AN ABOVE GROUND SURVEY. THE UNDERGROUND UTILITIES AS SHOWN ARE BASED ON INFORMATION PROVIDED BY THE VARIOUS UTILITY COMPANIES AND THESE LOCATIONS SHOULD BE CONSIDERED APPROXIMATE. THERE MAY BE ADDITIONAL UNDERGROUND UTILITIES, NOT SHOWN ON THIS DRAWING. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN HEREON ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE AT THE TIME OF THE SURVEY.
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- FACTS WHICH AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- THE DESCRIPTION OF PROPERTY BOUNDARIES AND EASEMENTS SHOWN HEREON, REPRESENT THAT INFORMATION PROVIDED ON BOOK 91 OF MAPS, PAGE 07, WARRANTY DEED REC. DOC. 2020-0091113 RECORDS OF MARICOPA COUNTY, ARIZONA.
 - EVERY DOCUMENT OF RECORD REVIEWED AND CONSIDERED AS A PART OF THIS SURVEY IS NOTED HEREON. ONLY THE DOCUMENTS NOTED HEREON WERE SUPPLIED OR AVAILABLE TO THE SURVEYOR AT THE TIME OF THE SURVEY. THERE MAY EXIST OTHER DOCUMENTS OF RECORD, WHICH WOULD AFFECT THIS PARCEL.
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OWNER

CHRISTA PETRACCA
6120 E INDIAN BEND RD.,
PARADISE VALLEY, AZ 85253

SITE DATA

APN: 169-55-017
ADDRESS: 7070 N 59TH PL.,
PARADISE VALLEY, AZ 85253
ZONING: R-43
LOT AREA: 44,750 S.F. (1.027 AC.)
QS #: 23-41

BENCHMARK

BRASS CAP FLUSH AT THE INTERSECTION OF 56TH STREET AND LINCOLN DRIVE, HAVING AN ELEVATION OF 1363.43' (NAVD 88) DATUM, GDACS# 24534-1.

BASIS OF BEARINGS

THE MONUMENT LINE OF 59TH PLACE, THE BEARING OF WHICH IS N26°44'00"E.

LEGAL DESCRIPTION

LOT 49, OF CLUB ESTATES NO. 2, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 91 OF MAPS, PAGE 7.

SURVEY REFERENCES

- MARICOPA COUNTY PARCEL 825-04-03-04.
- WARRANTY DEED RECORDED IN DOC. NO. 2020-0091113.
- RECORDED PLAT PER BOOK 91 OF MAPS, PAGE 07, M.C.R.

UTILITIES

WATER: EPCOR WATER COMPANY
SANITARY SEWER: SEPTIC
ELECTRIC: APS
TELEPHONE: CENTURY LINK, COX COMMUNICATIONS
NATURAL GAS: SOUTHWEST GAS
CABLE TV: CENTURY LINK, COX COMMUNICATIONS

FLOOD INSURANCE RATE MAP (FIRM) DATA

COMMUNITY #	PANEL #	SUFFIX	BASE FLOOD ELEVATION
040049	1765 OF 4425	L	N/A
MAP #	PANEL DATE	FIRM INDEX DATE	ZONE
040130	10/16/2013	11/04/2015	X*

*AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

CERTIFICATE OF SURVEY

THIS IS TO CERTIFY THAT THIS MAP AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE CURRENT "MINIMUM STANDARDS FOR ARIZONA BOUNDARY AND TOPOGRAPHIC SURVEYS", AND THAT THE SURVEY SHOWN HEREON IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND WAS SURVEYED AND DRAWN UNDER MY DIRECTION IN THE MONTH OF APRIL, 2020.



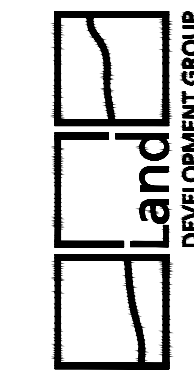
JAMES FLACK, RLS

04/17/20
DATE

BOUNDARY & TOPOGRAPHIC
SURVEY MAP

LOT 49 - CLUB
ESTATES NO. 2
7070 N 59TH PL.,
PARADISE VALLEY, AZ 85253

P. 602 889 1984 | F. 602 445 9482
8808 N CENTRAL AVE., SUITE 288
PHOENIX, AZ 85020
PHOENIXVALDEVELOPMENT.COM



BOUNDARY & TOPOGRAPHIC SURVEY
7070 N 59TH PL, PARADISE VALLEY, AZ 85253
LOT 49 - CLUB ESTATES NO.2

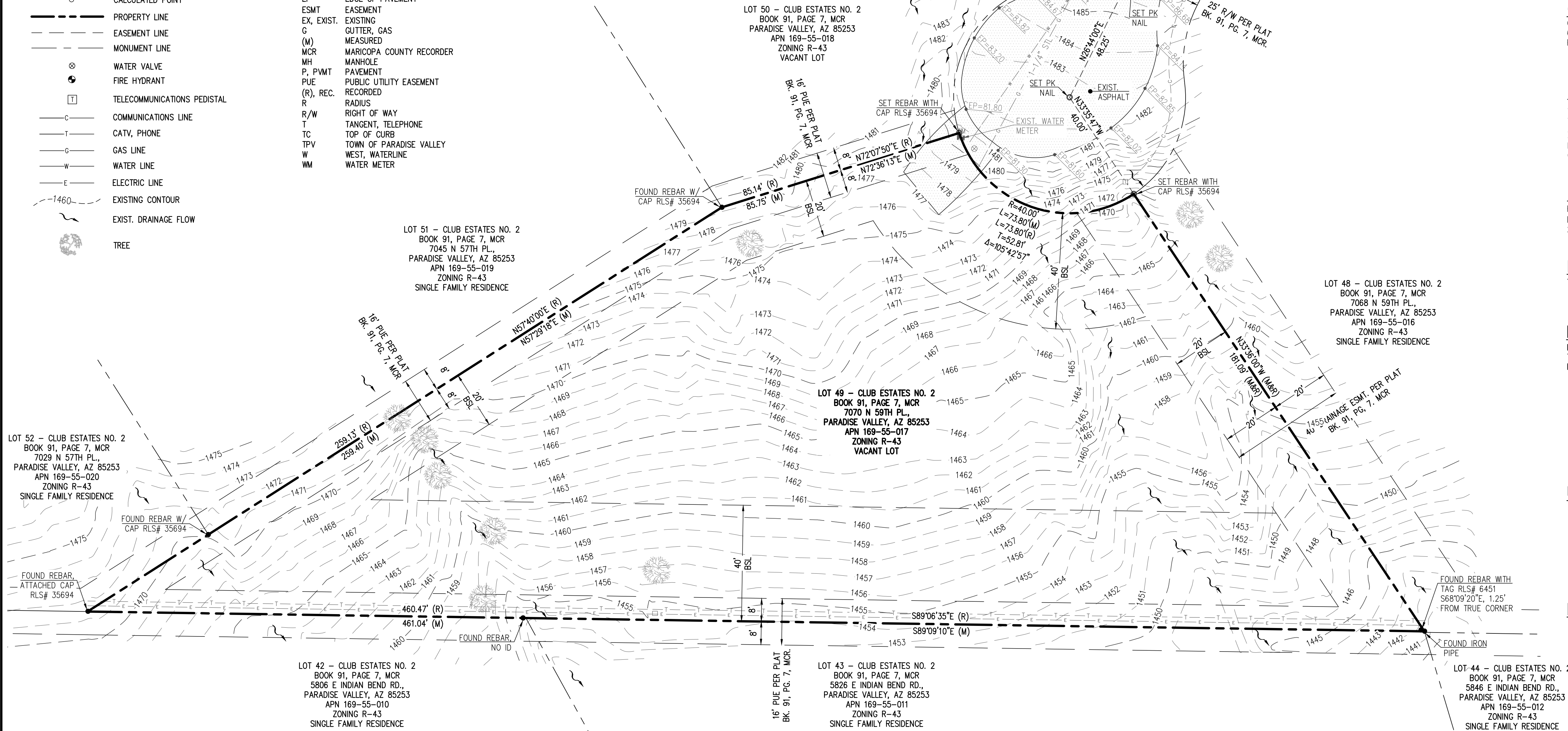
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ABBREVIATIONS

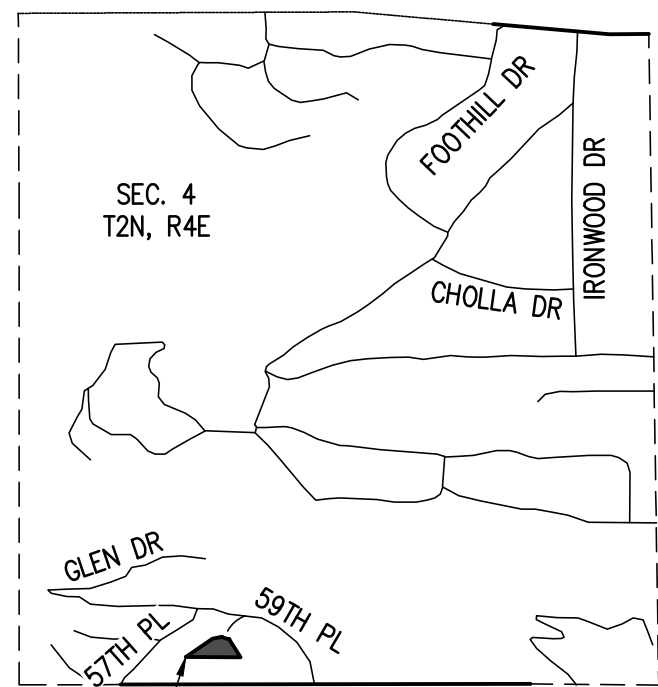
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VICINITY MAP

NTS

OWNER

CHRISTA PETRACCA
6120 E INDIAN BEND RD.,
PARADISE VALLEY, AZ 85253

SITE DATA

APN: 169-55-017.
ADDRESS: 7070 N 59TH PL.,
T PARADISE VALLEY, AZ 85253
ZONING: R-43
LOT AREA: 44,750 S.F. (1.027 AC.)
QS #: 23-41

BENCHMARK

BRASS CAP FLUSH AT THE INTERSECTION OF 56TH STREET AND LINCOLN DRIVE, HAVING AN ELEVATION OF 1363.43' (NAVD 88) DATUM, GDACS# 24534-1.

BASIS OF BEARINGS

THE MONUMENT LINE OF 59TH PLACE, THE BEARING OF WHICH IS N26°44'00"E.

LEGAL DESCRIPTION

LOT 49, OF CLUB ESTATES NO. 2, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 91 OF MAPS, PAGE 7.

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SANITARY SEWER: SEPTIC
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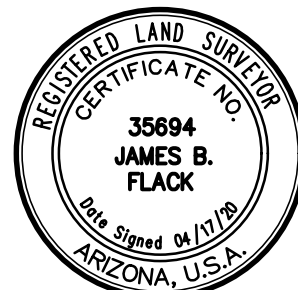
FLOOD INSURANCE RATE MAP (FIRM) DATA

COMMUNITY #	PANEL	SUFFIX	BASE FLOOD
040049	1765 OF 4425	L	ELEVATION
MAP #	PANEL DATE	FIRM INDEX DATE	ZONE
040130	10/16/2013	11/04/2015	X*

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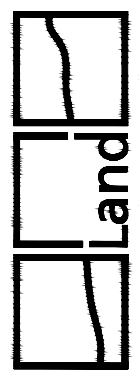
JAMES FLACK, RLS

04/17/20
DATE

BOUNDARY & TOPOGRAPHIC
SURVEY MAP

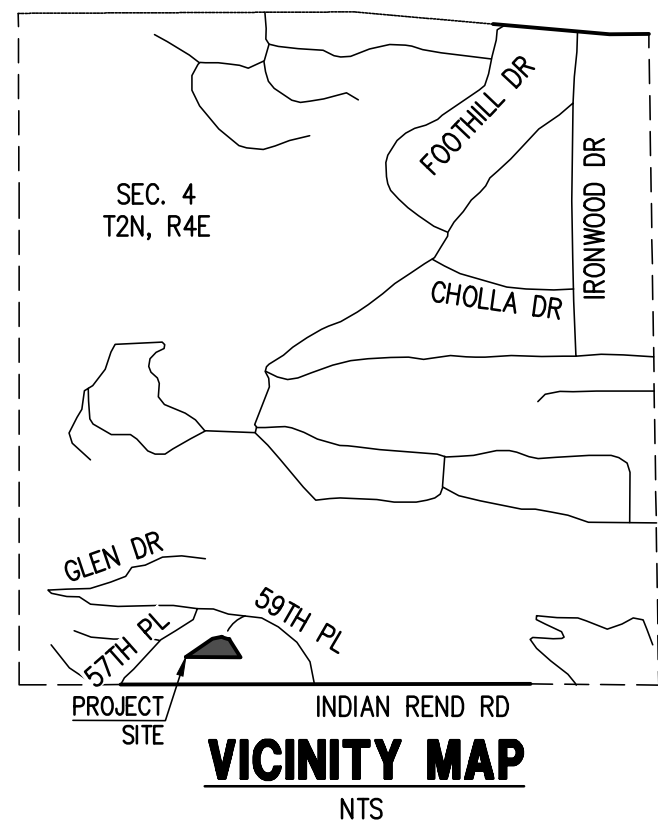
LOT 49 - CLUB
ESTATES NO. 2
7070 N 59TH PL.,
PARADISE VALLEY, AZ 85253

P. 602 889 1984 | F. 602 445 9482
8808 N CENTRAL AVE., SUITE 288
PHOENIX, AZ 85020
PHOENIXLANDING.COM



CONSTRUCTION STAKING PLAN
7070 N 59TH PL, PARADISE VALLEY, AZ 85253
LOT 49 - CLUB ESTATES NO.2

A SUBDIVISION PLAT RECORDED IN BOOK 91 OF MAPS, PAGE 07, MCR.,
LOCATED IN A PORTION OF THE SW 1/4 OF THE SE 1/4 OF THE SW 1/4 OF SECTION 4, T.2N, R.4E
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OWNER
CHRISTA PETRACCA
6120 E INDIAN BEND RD.,
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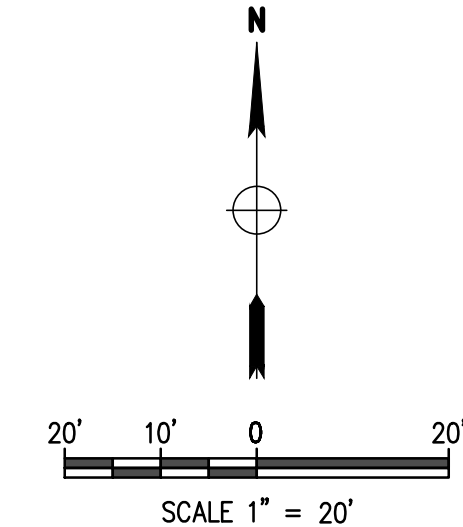
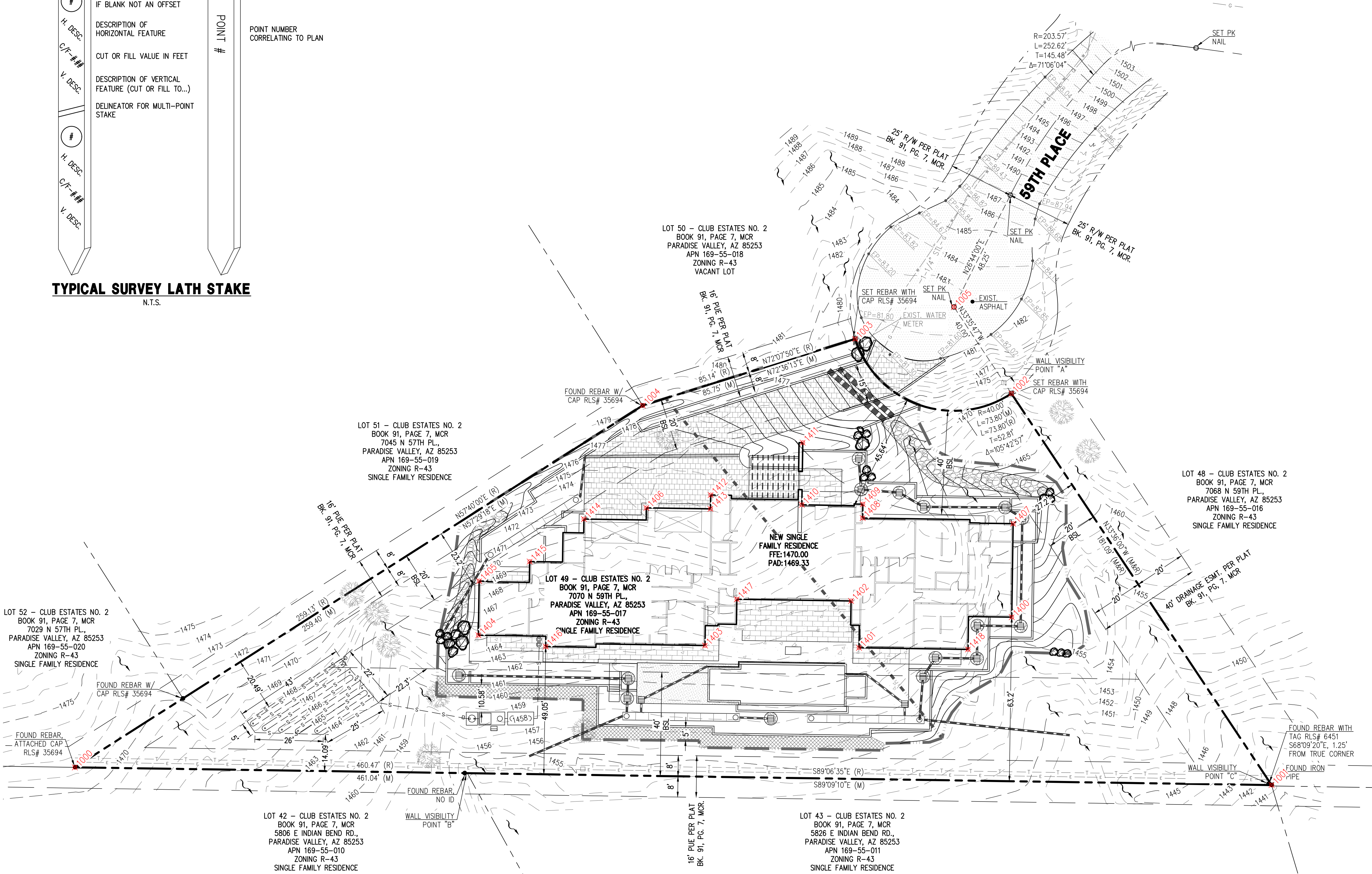
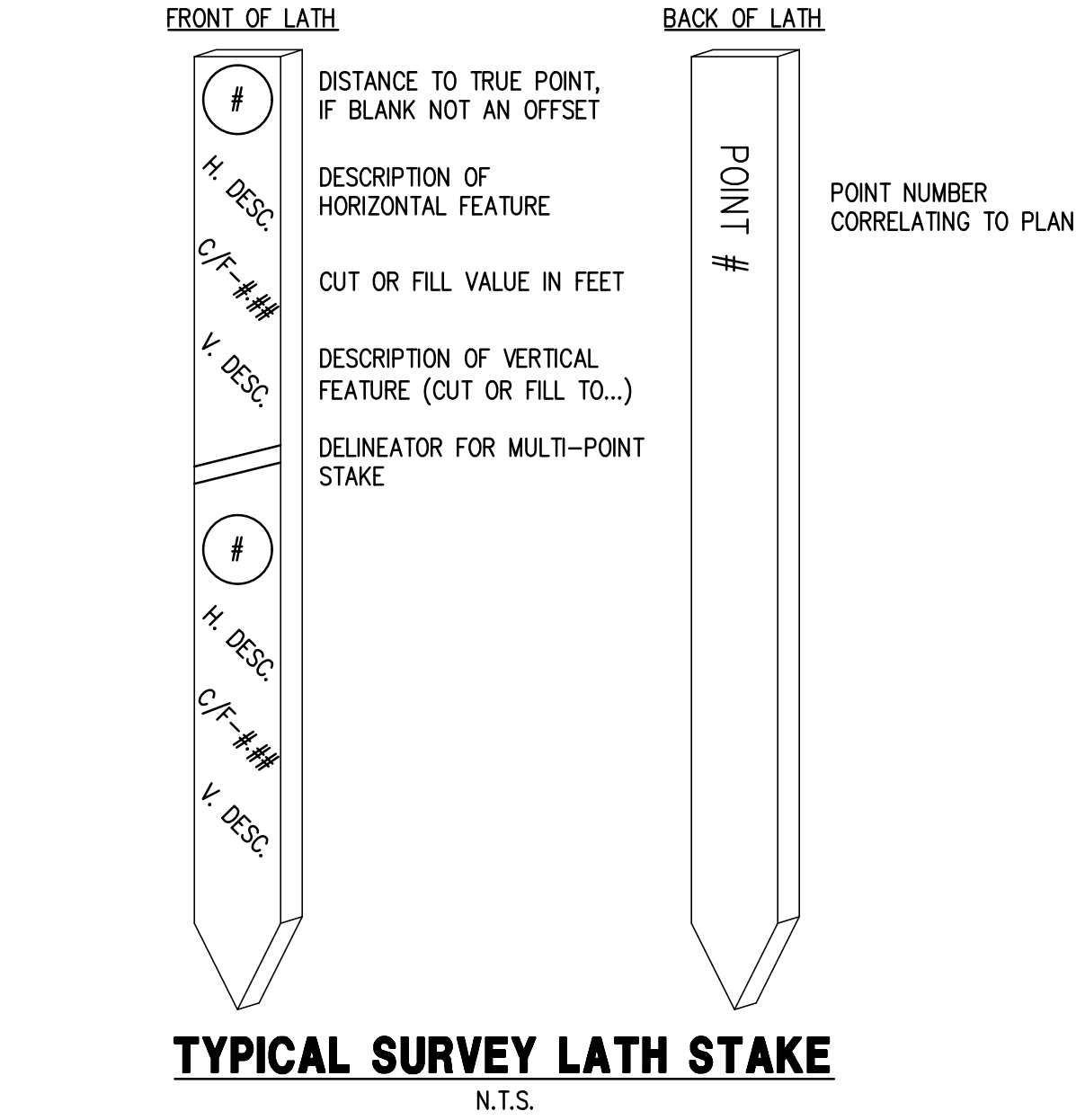
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BENCHMARK
BRASS CAP FLUSH AT THE INTERSECTION OF 56TH STREET AND LINCOLN
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BASIS OF BEARINGS
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LEGAL DESCRIPTION
LOT 49, OF CLUB ESTATES NO. 2, ACCORDING TO THE PLAT OF RECORD IN
THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA,
RECORDED IN BOOK 91 OF MAPS, PAGE 7.

- STAKING PLAN NOTES**
1. STAKING PLAN PRESENTED HEREIN IS BASED ON THE LATEST CAD FILES PROVIDED BY THE ARCHITECT AND/OR STRUCTURAL ENGINEER.
 2. CONTRACTOR SHALL VERIFY AND COORDINATE DIMENSIONS AND POINTS SHOWN ON THIS STAKING PLAN WITH THE APPROVED SITE PLAN, FOUNDATION PLAN AND STRUCTURAL DETAILS. REPORT ANY DISCREPANCIES BEFORE SETTING FORMS IN PLACE AND POURING CONCRETE.
 3. SEE STRUCTURAL AND MEP PLANS FOR LOCATION AND PLACEMENT OF HOLDOWNS, LOCATION OF UTILITY OPENINGS AND PIPE CROSSINGS.



Contact Arizona 811 at least two full
working days before you begin excavation

ARIZONA811
Call 811 or click Arizona811.com

REVISIONS:	DATE:	SCALE: 1"=20'	DESIGNED BY: NP	DRAWN BY: ZA	CHECKED BY: JF	DATE: 08/25/20	JOB: 2004082	VERSION: 1.1	PLOT DATE: 08/25/20
CONSTRUCTION STAKING PLAN									
LOT 49 - CLUB ESTATES NO. 2 7070 N 59TH PL., PARADISE VALLEY, AZ 85253									
<p>P. 602 889 1984 F. 602 445 9482 8808 N CENTRAL AVE., SUITE 288 PHOENIX, AZ 85020 PHOENIXADGEN.COM</p> <p>Land DEVELOPMENT GROUP</p> <p>REGISTERED PROFESSIONAL ENGINEER CERTIFICATE NO. 41005 NICKOLA J. PRODANOV SINCE 1988 U.S.A. Arizona</p> <p>CS-1 1 OF 1</p>									

TOWN OF PARADISE VALLEY NOTES

1. GRADING SHALL BE IN CONFORMANCE WITH 2015 IBC.
2. PRIOR TO FIRST FOOTING INSPECTION OF ANY TYPE, ALL PROPERTY PINS SHALL BE PLACED BY A REGISTERED LAND SURVEYOR OF THE STATE OF ARIZONA, AND PROPERTY LINES MUST BE PHYSICALLY IDENTIFIED PRIOR TO INSPECTION.
3. WHERE EXCAVATION IS TO OCCUR THE TOP 4" OF EXCAVATED NATIVE SOIL SHALL REMAIN ON THE SITE AND SHALL BE REUSED IN A MANNER THAT TAKES ADVANTAGE OF THE NATURAL SOIL SEED BANK IT CONTAINS.
4. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) SPECIFICATIONS AND STANDARD DETAILS.
5. ALL EXTERIOR SITE LIGHTING SHALL COMPLY WITH REQUIREMENTS OF SECTION 2208 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES FOR FUTURE TYPE, LOCATION, HEIGHT, WATTAGE BASED UPON FIXTURES INSTALLED.
6. A DUST CONTROL PLAN MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
7. A SEPARATE PERMIT IS NECESSARY FOR ANY OFFSITE CONSTRUCTION.
8. AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
9. EAVE PROJECTIONS INTO REQUIRED SETBACKS ARE LIMITED TO A MAXIMUM OF 24" PURSUANT TO SECTION 1008 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES.
10. ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
11. ALL NEW AND EXISTING ELECTRICAL SERVICE TO BE BURIED UNDERGROUND PER THE TOWN OF PARADISE VALLEY STANDARDS.
12. POOL, SPA, BARBECUE AND ANY PROPOSED STRUCTURES OVER 8 INCHES ABOVE GRADE REQUIRE SEPARATE PERMIT APPLICATIONS.
13. POOLS SHALL BE CONSTRUCTED BY SEPARATE PERMIT AND SECURED FROM UNWANTED ACCESS PER SECTION 5-2-2 OF THE TOWN OF PARADISE VALLEY ORDINANCES.
14. A SETBACK CERTIFICATION IS REQUIRED AND MUST BE GIVEN TO TOWN INSPECTOR AT STEM WALL INSPECTION.
15. MAIL BOX TO COMPLY WITH THE TOWN OF PARADISE VALLEY STANDARDS FOR MAIL BOXES IN THE R.O.W. FOR HEIGHT, WIDTH AND BREAK AWAY FEATURES.
16. ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE. ALL LAWN AREAS ADJOINING WALKS OR SLABS WILL BE GRADED TO 2" BELOW THE TOP OF SLAB. TYPICAL FINISHED GRADE AROUND PERIMETER OF BUILDING IS MINUS 6" BELOW FINISHED FLOOR UNLESS SPECIFIED OTHERWISE.
17. ALL MATERIAL TO BE UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95% PER ASTM D698.
18. SOILS COMPACTION TEST RESULTS MUST BE SUBMITTED TO THE TOWN ENGINEER'S OFFICE FOR BUILDING PADS THAT HAVE ONE (1) FOOT OR MORE OF FILL MATERIAL INDICATED. THIS INFORMATION MUST BE SUPPLIED PRIOR TO REQUEST FOR FINAL INSPECTION.
19. TRENCH BED SHALL BE FREE OF ROCKS AND DEBRIS.
20. REGULATION II RULE 20-3 OF THE MARICOPA COUNTY HEALTH DEPARTMENT, BUREAU OF AIR POLLUTION CONTROL SHALL BE OBSERVED AND ENFORCED.
21. ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL CITY OR TOWN UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
22. THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL STATE, AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO THE CONSTRUCTION COVERED BY THIS PLAN.
23. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
24. ALL CONSTRUCTION IN THE PUBLIC RIGHTS-OF-WAY OR IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) UNIFORM STANDARD SPECIFICATIONS AND UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION.
25. THE TOWN ONLY APPROVES THE SCOPE, NOT THE DETAIL, OF ENGINEERING DESIGNS; THEREFORE, IF CONSTRUCTION QUANTITIES ARE SHOWN ON THESE PLANS, THEY ARE NOT VERIFIED BY THE TOWN.
26. THE APPROVAL OF PLANS IS VALID FOR SIX (6) MONTHS; IF AN ENCROACHMENT PERMIT FOR THE CONSTRUCTION HAS NOT BEEN ISSUED WITHIN SIX MONTHS, THE PLANS MUST BE RESUBMITTED TO THE TOWN FOR RE-APPROVAL.
27. A PUBLIC WORKS INSPECTOR WILL INSPECT ALL WORKS WITHIN THE TOWN OF PARADISE VALLEY RIGHTS-OF-WAY AND IN EASEMENTS. NOTICE INSPECTION SERVICES 24 HOURS PRIOR TO BEGINNING CONSTRUCTION BY CALLING 480- 312-5750.
28. WHENEVER EXCAVATION IS NECESSARY, CALL THE BLUE STAKE CENTER, 602-263-1100, TWO WORKING DAYS BEFORE EXCAVATION BEGINS. THE CENTER WILL SEE THAT THE LOCATION OF THE UNDERGROUND UTILITY LINES IS IDENTIFIED FOR THE PROJECT. CALL "COLLECT" IF NECESSARY.
29. ENCROACHMENT PERMITS ARE REQUIRED FOR ALL WORK IN PUBLIC RIGHTS-OF-WAY AND EASEMENTS GRANTED FOR PUBLIC PURPOSES. A PERMIT SHALL BE ISSUED ONLY AFTER THE TOWN ONLY AFTER THE REGISTRANT HAS PAID A BASE FEE PLUS A FEE FOR INSPECTION SERVICES. COPIES OF ALL PERMITS MUST BE RETAINED ON-SITE AND BE AVAILABLE FOR INSPECTION AT ALL TIMES. FAILURE TO PRODUCE THE REQUIRED PERMITS WILL RESULT IN IMMEDIATE SUSPENSION OF ALL WORK UNTIL THE PROPER PERMIT DOCUMENTATION IS OBTAINED.
30. ALL EXCAVATION AND GRADING THAT IS NOT IN THE PUBLIC RIGHTS-OF-WAY OR NOT IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO CHAPTER 70, EXCAVATION AND GRADING, OF THE LATEST EDITION OF THE IBC BY THE ICC. A PERMIT FOR THIS GRADING MUST BE SECURED FROM THE TOWN FOR A FEE ESTABLISHED BY THE UNIFORM BUILDING CODE.
31. EXCAVATIONS SHALL COMPLY WITH REQUIREMENTS OF OSHA EXCAVATION STANDARDS (29 CFR, PART 1926, SUBPART P). UNDER NO CIRCUMSTANCES WILL THE CONTRACTORS BE ALLOWED TO WORK IN A TRENCH LOCATED WITHIN THE TOWN'S RIGHT-OF-WAY WITHOUT PROPER SHORING OR EXCAVATION METHODS.
32. ON DEMOLITION, GRADING, REMODELING AND NEW CONSTRUCTION PROJECTS, PERMITTEE MUST NOTIFY ADJACENT PROPERTY OWNERS REGARDING THE NATURE OF THE PROJECT, THE TIME PERIOD FOR CONSTRUCTION, AND ANY UNUSUAL ACTIVITIES THAT MAY CAUSE DISRUPTION OF THE NORMAL COURSE OF TRAFFIC DURING CONSTRUCTION.
33. ALL PERMITTEES MUST POST A 6 SQUARE FOOT (2'x3") IDENTIFICATION SIGN, MADE OF DURABLE MATERIAL, IN THE FRONT YARD OF SUBJECT PROPERTY AND NOT IN THE TOWN RIGHT-OF-WAY. THE SIGN MAY NOT EXCEED A MAXIMUM OF 6 FEET IN HEIGHT FROM GRADE TO TOP OF THE SIGN. THE SIGN MUST INCLUDE THE PERMITTEE OR COMPANY NAME, PHONE NUMBER, TYPE OF WORK, AND ADDRESS OF PROJECT.
34. WHEN DEEMED NECESSARY, A 6-FOOT HIGH CHAIN LINK FENCE MUST BE INSTALLED AROUND THE CONSTRUCTION AREA TO PREVENT ANY POTENTIAL SAFETY HAZARD FOR THE PUBLIC. THE FENCE SHALL BE SETBACK AT LEAST 10 FEET FROM ALL RIGHTS-OF-WAY AND HAVE A 50-FOOT STREET CORNER SITE TRIANGLE WHERE APPLICABLE.
35. CLEAR ACCESS FOR NEIGHBORING PROPERTIES AND EMERGENCY VEHICLES MUST BE MAINTAINED AT ALL TIMES. CONSTRUCTION RELATED VEHICLES MUST BE LEGALLY PARKED ONLY ON ONE SIDE OF THE STREET OR JOB SITE PROPERTY. IF A STAGING AREA IS NEEDED ON A PROPERTY OTHER THAN THE CONSTRUCTION SITE FOR CONSTRUCTION SUPPLIES AND EQUIPMENT, THE PERMITTEE MUST OBTAIN PROPERTY OWNER AND TOWN APPROVAL FIRST AND MUST INFORM THE ADJACENT PROPERTY OWNERS OF THE LOCATION OF STAGING AREA, AND TIME AND HOURS DURING THE DAY THE AREA WILL BE USED.
36. EXCEPT AS OUTLINED IN ITEM 4, ALL CONSTRUCTION DEBRIS AND EQUIPMENT MUST BE CONTAINED ON SITE AT ALL TIMES. CONTRACTOR AND PROPERTY OWNER MUST MAINTAIN THE JOB SITE FREE OF LITTER AND UNSIGHTLY MATERIALS AT ALL TIMES. CONSTRUCTION MATERIALS ARE PROHIBITED IN THE TOWN RIGHT-OF-WAY OR NEAR ADJACENT PROPERTIES.
37. BUILDING CONSTRUCTION MUST NOT START SOONER THAN SUNRISE AND MUST STOP NO LATER THAN SUNSET. ALSO, ORDINANCE #561 IMPOSES RESTRICTIONS ON CONSTRUCTION WORK ON SATURDAYS, SUNDAYS AND MAJOR BUSINESS HOLIDAYS. HILLSIDE PROJECTS MAY HAVE ADDITIONAL RESTRICTIONS. EQUIPMENT WITH AUDIBLE REVERSE DIRECTION WARNINGS MUST NOT BE OPERATED PRIOR TO 7:00 A.M.
38. THE USE AND OPERATION OF FUEL-FIRED GENERATORS ON ANY CONSTRUCTION SITE, NEW, EXISTING OR REMODELING, IS PROHIBITED. TOWN APPROVAL IS OBTAINED PRIOR TO OPERATION.
39. THE CONTRACTOR AND PROPERTY OWNER WILL BE LIABLE FOR ANY DAMAGE DONE TO ANY PUBLIC PROPERTY AS A RESULT OF ANY CONSTRUCTION OR CONSTRUCTION RELATED ACTIVITIES, NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL AFFECTED RIGHTS-OF-WAY ARE CLEANED AND/OR REPAIRED TO THEIR ORIGINAL CONDITION AND UNTIL ANY AND ALL DAMAGES TO AFFECTED PROPERTIES ARE RESTORED TO ORIGINAL CONDITION, OR UNTIL SUCH TIME THAT A WRITTEN, SIGNED AND LEGALLY BINDING AGREEMENT HAS BEEN REACHED BY THE PARTIES INVOLVED TO REMEDY ANY VIOLATION WITHIN A REASONABLE TIME PERIOD, AND UNTIL ALL REQUIRED FEES ARE PAID IN FULL.
40. THE NATURAL FLOW OF RAINWATER AND OTHER SURFACE DRAINAGE FROM THE PROPERTY MAY NOT BE ALTERED IN ANY WAY.
41. A KEY SWITCH SHALL BE REQUIRED ON ALL NEW AND EXISTING ELECTRIC ENTRY CONTROL GATES. THE KEY SWITCH SHALL BE INSTALLED IN A LOCATION ON THE GATE CONTROL PANEL THAT IS READILY VISIBLE AND ACCESSIBLE. KNOX BOX ORDER FORMS ARE AVAILABLE AT THE PARADISE VALLEY BUILDING DEPARTMENT.
42. ALL EQUIPMENT OF ALL TRADES ON OR AFFECTING THE JOB MUST BE CLEANED ONLY IN A PRE-DETERMINED AND DESIGNATED AREA. DEBRIS AND RUNOFF FROM SAID AREA MAY NOT EXTEND BEYOND THE BUILDING AREA.
43. PROPERTY OWNER, BUILDER, OR GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR CONTROLLING DUST FROM THE SITE AT ALL TIMES. ALL MEANS NECESSARY SHALL BE USED BY THE BUILDER OR GENERAL CONTRACTOR TO CONTROL THE EXISTENCE OF DUST CAUSED BY ANY EARTHWORK, SPRAY APPLICATION OF MATERIALS, OR OTHER DUST-CAUSING PRACTICES REQUIRED BY THE CONSTRUCTION PROCESS.
44. AN INSPECTION FEE WILL BE CHARGED IF THE INSPECTION IS REQUIRED AS A RESULT OF A CODE VIOLATION.
45. FOR DEMOLITION INSPECTION OWNER OR PERMITTEE SHALL NOTIFY OSHA FOR ASBESTOS INSPECTION. ALL DEMOLITIONS AND ALL RENOVATION ACTIVITIES THAT WILL DISTURB FRIABLE ASBESTOS CONTAINING MATERIALS MUST BE REPORTED TO THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT.

ENGINEERS NOTES

1. MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION INCLUDING LATEST REVISION AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL TOWN OR CITY) ARE INCORPORATED INTO THIS PLAN IN THEIR ENTIRETY.
2. ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL CITY OR TOWN UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
3. GRADING SHALL BE IN CONFORMANCE WITH 2015 IBC SEC. 1803 AND APPENDIX J.
4. 5% MINIMUM SLOPE AWAY FROM BUILDING FOR A MINIMUM 10', U.N.O.
5. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) SPECIFICATIONS AND STANDARD DETAILS.
6. A DUST CONTROL PLAN MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
7. A SEPARATE PERMIT IS NECESSARY FOR ANY OFFSITE CONSTRUCTION.
8. AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
9. ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTOR DITCHES, PIPES, PROTECTIVE BERMS, BARRIER WALLS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT ADJACENT BUILDINGS OR PROPERTY FROM STORM RUNOFF MUST BE COMPLETED PRIOR TO BUILDING CONSTRUCTION.
10. ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
11. ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE. ALL LAWN AREAS ADJOINING WALKS OR SLABS WILL BE GRADED TO 2" BELOW THE TOP OF SLAB. TYPICAL FINISHED GRADE AROUND PERIMETER OF BUILDING IS MINUS 6" BELOW FINISHED FLOOR UNLESS SPECIFIED OTHERWISE.
12. ALL MATERIAL TO BE UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95% PER ASTM D698.
13. THE QUANTITIES AND SITE CONDITIONS DEPICTED IN THESE PLANS ARE FOR INFORMATIONAL PURPOSES ONLY AND ARE SUBJECT TO ERROR AND OMISSION. CONTRACTORS SHALL SATISFY THEMSELVES AS TO ACTUAL QUANTITIES AND SITE CONDITIONS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
14. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
15. THE CONTRACTOR IS RESPONSIBLE FOR ALL METHODS, SEQUENCING, AND SAFETY CONCERNS ASSOCIATED WITH THIS PROJECT DURING CONSTRUCTION, UNLESS SPECIFICALLY ADDRESSED OTHERWISE IN THIS PLAN OR ELSEWHERE.
16. A REASONABLE EFFORT HAS BEEN MADE TO SHOW THE LOCATIONS OF EXISTING UNDERGROUND FACILITIES AND UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND/OR FACILITIES CAUSED DURING THEIR CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL CALL 48 HOURS IN ADVANCE FOR BLUE STAKE (1-800-STAKE-11) PRIOR TO ANY EXCAVATION.
17. THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION OF CONSTRUCTION AFFECTING UTILITIES AND THE COORDINATION OF ANY NECESSARY UTILITY RELOCATION WORK.
18. ALL PAVING, GRADING, EXCAVATION, TRENCHING, PIPE BEDDING, CUT, FILL AND BACKFILL SHALL COMPLY WITH THE RECOMMENDATIONS SET FORTH IN THE SOILS (GEOTECHNICAL) REPORT FOR THIS PROJECT IN ADDITION TO THE REFERENCED REQUIRED SPECIFICATIONS AND DETAILS.
19. THE CONTRACTOR IS TO VERIFY THE LOCATION AND THE ELEVATIONS OF ALL EXISTING UTILITIES AT POINTS OF TIE-IN PRIOR TO COMMENCING ANY NEW CONSTRUCTION. SHOULD ANY LOCATION OR ELEVATION DIFFER FROM THAT SHOWN ON THESE PLANS, THE CONTRACTOR SHALL CONTACT THE OWNER'S AGENT.
20. CONTRACTOR TO VERIFY AND COORDINATE ALL DIMENSIONS AND SITE LAYOUT WITH ARCHITECTURE'S FINAL SITE PLAN AND FINAL BUILDING DIMENSIONS BEFORE STARTING WORK. REPORT DISCREPANCIES TO OWNER'S AGENT.
21. COORDINATION BETWEEN ALL PARTIES IS ESSENTIAL PART OF CONTRACT.
22. THE CONTRACTOR IS RESPONSIBLE FOR PROJECT AND SITE CONDITIONS, AND TO WORK WITH WEATHER CONDITIONS AS THE PROJECT SITE MAY BE LOCATED IN A FLOOD PRONE AREA AND SUBJECT TO FLOODING AND ITS HAZARDS.
23. THE CONTRACTOR IS TO VERIFY THE LOCATION, ELEVATION, CONDITION, AND PAVEMENT CROSS-SLOPE OF ALL EXISTING SURFACES AT POINTS OF TIE-IN AND MATCHING, PRIOR TO COMMENCEMENT OF GRADING, PAVING, CURB AND GUTTER, OR OTHER SURFACE CONSTRUCTION. SHOULD EXISTING LOCATIONS, ELEVATIONS, CONDITION, OR PAVEMENT CROSS-SLOPE DIFFER FROM THAT SHOWN ON THESE PLANS, RESULTING IN THE DESIGN INTENT REFLECTED ON THESE PLANS NOT ABLE TO BE CONSTRUCTED, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AGENT IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ALL COSTS ASSOCIATED WITH CORRECTIVE ACTION IF THESE PROCEDURES ARE NOT FOLLOWED.
24. CONTRACTOR IS RESPONSIBLE TO COORDINATE UTILITY CROSSINGS AT CULVERT CROSSINGS BEFORE STARTING WORK ON CULVERT. COORDINATE WITH OWNER REPRESENTATIVE. VERIFY UTILITY LINES AND/OR CONDUITS ARE IN PLACE BEFORE STARTING CULVERT WORK.
25. ALL ON-SITE UTILITIES PER OTHERS.
26. THIS PROJECT REQUIRES A REGULAR ONGOING MAINTENANCE PROGRAM FOR THE DESIGNED DRAINAGE SYSTEM(S) TO PRESERVE THE DESIGN INTEGRITY AND THE ABILITY TO PERFORM ITS OPERATIONAL INTENT. FAILURE TO PROVIDE MAINTENANCE WILL JEOPARDIZE THE DRAINAGE SYSTEM(S) PERFORMANCE AND MAY LEAD TO IT'S INABILITY TO PERFORM PROPERLY AND/OR CAUSE DAMAGE ELSEWHERE IN THE PROJECT.
27. IF A DISCREPANCY IS FOUND BETWEEN ENGINEER'S PLAN OR SURVEYOR'S STAKING AND THE ARCHITECTURAL PLAN, ENGINEER SHALL BE NOTIFIED IMMEDIATELY. FAILURE TO NOTIFY ENGINEER SHALL NEGATE ENGINEER'S LIABILITY.
28. ALL DISTURBED AREAS ARE TO BE ROPED AND ROPING MUST MATCH PLAN.
29. VEGETATION OUTSIDE OF CONSTRUCTION AREA TO REMAIN.
30. AREAS OUTSIDE THE WALL AND CUT AND FILL SLOPES SHALL BE REVEGETATED WITH SIMILAR PLANT TYPES AND DENSITIES FOUND ON THE SITE. REVEGETATION SHALL BE COMPLETED PRIOR TO OCCUPANCY AND THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
31. MECHANICAL EQUIPMENT SHALL BE SCREENED TO A MINIMUM OF ONE FOOT ABOVE TOP OF EQUIPMENT.
32. ANY FUTURE IMPROVEMENTS SHOWN HEREON SHALL REQUIRE A SEPARATE PERMIT.
33. ANY POINTS OF DRAINAGE CONCENTRATION SHOULD BE PROTECTED AGAINST EROSION WITH NATIVE STONE.
34. THIS PLAN IS DESIGNED TO SHOW SITE GRADING AND DRAINAGE CONTRACTOR SHALL USE THE ARCHITECTURAL SITE PLAN TO DETERMINE FINAL HOUSE, WALL, STEP, ETC., LOCATIONS AND ELEVATIONS.
35. ALL DRAINAGE FACILITIES TO BE MAINTAINED BY HOMEOWNER.
36. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR SITE AND RETAINING WALLS LAYOUT, DIMENSIONS, AND DETAILS. TOP OF FOOTING ELEVATIONS SHOWN IN PLAN ARE APPROXIMATE ONLY. ACTUAL TOP OF FOOTING ELEVATIONS TO BE DETERMINED AT TIME OF CONSTRUCTION AND TO BE A MINIMUM OF SIX INCHES BELOW EXISTING NATURAL GRADE OR FINISHED GRADE WHICHEVER IS LOWER (TYPICAL).
37. REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT, DIMENSIONS AND ELEVATIONS.
38. REFER TO STRUCTURAL DRAWINGS, DETAILS AND CALCULATIONS FOR ALL PROPOSED RETAINING WALLS.
39. FOR CHANGE IN ELEVATION THAT ARE GREATER THAN 30", PROVIDE 36" HIGH GUARDRAILS FOR TOTAL OF 42" FALL PROTECTION BARRIER U.N.O.
40. ALL WATER AND SEWER LINES AND CONNECTIONS MUST BE INSTALLED PER IPC 2015, MAG AND CITY OF PHOENIX SUPPLEMENT TO MAG.
41. ALL PIPES AND FITTINGS SHALL BE INSTALLED PER MANUFACTURE'S SPECIFICATIONS AND DETAILS.
42. ABANDONMENT OR REMOVAL OF EXISTING SEPTIC SYSTEMS SHALL BE PERFORMED IN ACCORDANCE WITH THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT RULES AND STANDARDS, AND WILL REQUIRE SEPARATE PERMIT.
43. COORDINATE RIPRAP COLOR WITH LANDSCAPE PLANS AND DETAILS.
44. VERIFY AND COORDINATE WITH ARCHITECTURAL AND LANDSCAPE PLANS LOCATION AND HEIGHT OF ALL SITE WALLS.
45. DISTURBED AREA 0.61 < 1 ACRE; NPDES PERMIT IS NOT REQUIRED.
46. REFER TO ARCHITECTURAL PLANS AND DETAILS FOR DEMOLITION OF EXISTING BUILDING STRUCTURE, SITE WALLS AND PAVEMENT.
47. VERIFY AND COORDINATE WITH LANDSCAPE PLANS FINAL LOCATION AND GRATE TYPE OF SPECIFIED AREA DRAINS AND TRENCH DRAINS.
48. CONTRACTOR TO COORDINATE ALL ELEVATIONS OF RETAINING, FREE STANDING AND STEM WALLS WITH ARCHITECT, LANDSCAPE ARCHITECT AND STRUCTURAL ENGINEER. LDG ASSUMES NO LIABILITY FOR LACK OF COORDINATION BETWEEN THE PROJECT STAKEHOLDERS.

LEGEND

- FOUND REBAR OR AS NOTED
- SET REBAR OR AS NOTED
- CALCULATED POINT
- PROPERTY LINE
- EASEMENT LINE
- MONUMENT LINE
- ⊗ WATER VALVE
- ⊕ FIRE HYDRANT
- ⌈ TELECOMMUNICATIONS PEDISTAL
- COMMUNICATIONS LINE
- CATV, PHONE
- GAS LINE
- WATER LINE
- ELECTRIC LINE
- 1460' --- EXIST. DRAINAGE FLOW
- ⊗ TREE
- PROPOSED SPOT ELEVATION
- PROPOSED CONTOUR
- EXISTING DISTURBED AREA
- PROPOSED DISTURBED AREA
- STORM DRAIN PIPE
- CATCH BASIN
- RETAINING WALL
- EXTENDED STEM
- TRW:XX.XX
FG:XX.XX
BW:XX.XX
TF:XX.XX
- TOP OF RETAINING WALL
- FINISH GRADE
- BOTTOM OF WALL
- TOP OF FOOTING

ABBREVIATIONS

- BC BACK OF CURB
- BSL BUILDING SETBACK LINE
- CL CENTERLINE
- DE DRAINAGE EASEMENT
- EG EXISTING GRADE
- EL, ELEV ELEVATION
- EP EDGE OF PAVEMENT
- ESMT EASEMENT
- EX, EXIST. EXISTING
- FG FINISH GRADE
- FND FOUND
- G GUTTER, GAS
- INV INVERT
- (M) MEASURED
- MCR MARICOPA COUNTY RECORDER
- MH MANHOLE
- P, PWMT PAVEMENT
- PUE PUBLIC UTILITY EASEMENT
- (R), REC. RECORDED
- R RADIUS
- R/W RIGHT OF WAY
- T TANGENT, TELEPHONE
- TC TOP OF CURB
- TG TOP OF GRATE
- W WEST, WATERLINE
- WM WATER METER

DRAINAGE STATEMENT

1. ULTIMATE STORM OUTFALL IS LOCATED AT THE SOUTHEASTERLY PROPERTY CORNER AT AN ELEVATION OF 1441.56.
2. PROPOSED DEVELOPMENT DOES NOT IMPACT DRAINAGE CONDITIONS OF ADJOINING LOTS.
3. RETENTION IS PROVIDED FOR THE 100-YEAR, 2-4-HOUR STORM EVENT.
4. THE FINISH FLOOR ELEVATION OF 1470.00 IS SAFE FROM INUNDATION DURING A 100-YEAR PEAK RUN-OFF EVENT IF CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS.

DISTURBED AREA CALCULATIONS

- AREA OF LOT: 44,750 S.F. (1.027 AC.)
TOTAL UNDER ROOF AREA: 10,549 S.F.
FLOOR AREA RATIO: 23.57% < 25%
(TOTAL FLOOR AREA/AREA OF LOT)
BUILDING PAD SLOPE: 14%
VERTICAL: 24.00'
HORIZONTAL: 169.00'
ALLOWABLE NET DISTURBED AREA: 17,099 S.F. (38.21%)
EXISTING DISTURBED AREA: 24,978 S.F. (55.82%)
GROSS PROPOSED DISTURBED AREA: 29,949 S.F.
LESS TEMPORARY AREAS OF DISTURBANCE TO BE RESTORED AND REVEGETATED: 3,585 S.F.
LESS 25% OF NEW DRIVEWAY(2,824 SF): 706 S.F.
LESS BUILDING FOOTPRINT AREA: 8,569 S.F.
PROPOSED NET DISTURBED AREA: 17,089 S.F.
ALLOWED SLOPES STEEPER THAN NATURAL GRADE (5% MAX.): 2,200 S.F. (5%)
PROPOSED SLOPES STEEPER THAN NATURAL GRADE: 0 S.F. (0%)
VOLUME OF CUT: 803 C.Y.
VOLUME OF FILL: 3,057 C.Y.
TOTAL CUT & FILL: 3,860 C.Y.
HILLSIDE ASSURANCE = 35 TIMES THE GRADING PERMIT FEE. = \$131,320
GRADING PERMIT FEE: \$3,752 (\$142 FIRST 100 CY / \$95 EA. ADDITIONAL 100 CY).
ALL QUANTITIES LISTED ON THESE PLANS ARE ESTIMATES ONLY. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF THE QUANTITIES AND BASE THEIR BIDS ON THEIR ESTIMATES.

GRADING SPECIFICATIONS

1. EXCAVATION AND GRADING OF THIS SITE IS CLASSIFIED AS "ENGINEERED GRADING" PER 2015 I.B.C. AND WILL BE PERFORMED ACCORDINGLY.
2. THE CONTRACTOR WILL RETAIN A SOILS ENGINEER DURING CONSTRUCTION TO INSPECT PROGRESS OF CONSTRUCTION, CONCERNING PREPARATION OF GROUND TO RECEIVE FILLS, TESTING AND REQUIRED COMPACTION STABILITY OF ALL FINISH SLOPES INCLUDING CUT SLOPES.
3. COMPACTION SHALL COMPLY WITH M.A.G. SECTION 601 AND PROVISIONS AS SET FORTH IN THE SOILS REPORT.
4. BEARING MATERIALS FOR FILL UNDER RESIDENCE PAD IF NATIVE MATERIAL IS USED. LARGE ROCK FRAGMENTS MUST BE REMOVED THAT ARE IN EXCESS OF SIX INCHES. REMAINING MATERIAL MUST BE SMALLER PARTICLES OF SAND AND ROCK THAT CAN BE COMPACTED INTO A DENSE CONDITION.
MAXIMUM PARTICLE SIZE 6 INCHES
PERCENT PASSING NO. 4 SIEVE 35% TO 70%
PERCENT PASSING NO. 200 SIEVE 25% MAX.
PLASTICITY INDEX 10% MAX.
5. CUT-SLOPES: MAXIMUM ROCK CUT SLOPE TO BE 1.0 FEET HORIZONTAL TO 3.0 FEET VERTICAL PER GEOTECHNICAL STUDY.
6. FILL SLOPES: MAXIMUM FILL SLOPE TO BE 2.0 FEET HORIZONTAL TO 1.0 FEET VERTICAL.
7. COMPACTION FILL MATERIAL MUST BE PLACED ON LEVELED BENCHES OUT INTO UNDISTURBED EXISTING HILLSIDE. PLACE FILL IN HORIZONTAL LIFTS OF THICKNESS COMPATIBLE WITH THE COMPACTION EQUIPMENT USED. COMPACT TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM A.S.T.M. DENSITY AT THE OPTIMUM MOISTURE CONTENT OF ± TWO PERCENT. THIS PERTAINS TO ALL ENGINEERED STRUCTURAL FILL SUPPORTING STRUCTURES AND INCLUDING FILL UNDER ANY OF THE RETAINING WALLS. COMPACTION TEST RESULTS SHALL BE SUBMITTED TO THE SOILS ENGINEER AND TOWN OF PARADISE VALLEY BUILDING AND SAFETY DEPARTMENT.
8. ANY RETAINING WALLS ADJACENT TO THE PROPERTY LINES WILL BE UNDER THE SCOPE OF SPECIAL INSPECTION BY THE SOILS ENGINEER. THE DEVELOPER SHALL NOTIFY THE ADJOINING PROPERTY OWNERS IN WRITING, TEN DAYS PRIOR TO START OF CONSTRUCTION ON THESE WALLS PER SECTION 2903-B OF IBC. THE DEVELOPER WILL HAVE TO PROVIDE MEANS OF PROTECTION OF ADJACENT PROPERTY WHILE THIS WORK IS UNDER CONSTRUCTION.
9. ALL EXPOSED CUT AND FILL SHALL BE TREATED WITH AN APPROVED AGING AGENT TO MINIMIZE TO VISUAL CONTINUITY.
10. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL ALL HILLSIDE STIPULATIONS AND ALL TOWN CODE REQUIREMENTS ARE COMPLIED INCLUDING, BUT NOT LIMITED TO LANDSCAPING, GROUND RESTORATION, FIRE FLOW, FIRE SAFETY AND ALL ONSITE AND OFFSITE IMPROVEMENTS.
11. ALL OUTDOOR LIGHTING SHALL BE IN CONFORMANCE WITH ARTICLE XXII OF THE TOWN ZONING ORDINANCE.
12. ALL EXCESS FILL MATERIAL SHALL BE REMOVED FROM THE SITE WITH NO NEW SPILL SLOPES.
13. THE USE OF HYDRAULIC RAM HAMMERS, OR OTHER HEAVY EQUIPMENT USED TO CUT THROUGH ROCK, INCLUDING MACHINERY WITH AUDIBLE BACK UP WARNING DEVICES SHALL BE LIMITED TO USE BETWEEN THE HOURS OF 7:00AM OR SUNRISE, WHICHEVER IS LATER, AND 6:00PM OR SUNSET, WHICHEVER IS EARLIER, MONDAY THROUGH FRIDAY, WITH LIMITED WORK ON SATURDAY AND NO WORK ON SUNDAY OR LEGAL HOLIDAYS.
14. CONSTRUCTION STAKING AND/OR FENCING SHALL BE PLACED AROUND THE CONSTRUCTION SITE SO AS TO PROTECT THE UNDISTURBED NATURAL AREAS.

TOWN OF PARADISE VALLEY HILLSIDE NOTES

- A. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL ALL HILLSIDE STIPULATIONS AND ALL TOWN CODE REQUIREMENTS ARE COMPLIED INCLUDING, BUT NOT LIMITED TO LANDSCAPING, GROUND RESTORATION, FIRE FLOW, FIRE SAFETY, AND ALL ONSITE AND OFFSITE IMPROVEMENTS.
- B. ALL OUTDOOR LIGHTING SHALL BE IN CONFORMANCE WITH ARTICLE XXII OF THE TOWN ZONING ORDINANCE.
- C. ALL EXCESS FILL MATERIAL SHALL BE REMOVED FROM THE SITE WITH NO NEW SPILL SLOPES.
- D. THE USE OF HYDRAULIC RAM HAMMERS, OR OTHER HEAVY EQUIPMENT USED TO CUT THROUGH ROCK, INCLUDING MACHINERY WITH AUDIBLE BACK UP WARNING DEVICES SHALL BE LIMITED TO USE BETWEEN THE HOURS OF 7:00AM OR SUNRISE, WHICHEVER IS LATER, AND 6:00PM OR SUNSET, WHICHEVER IS EARLIER, MONDAY THROUGH FRIDAY, WITH LIMITED WORK ON SATURDAY AND NO WORK ON SUNDAY OR LEGAL HOLIDAYS. RAM HAMMERS AND OTHER HEAVY EQUIPMENT CANNOT BE USED ON SATURDAYS WITHOUT A WAIVER FROM THE TOWN MANAGER.
- E. CONSTRUCTION STAKING AND/OR FENCING SHALL BE PLACES AROUND THE CONSTRUCTION SITE SO AS TO PROTECT THE UNDISTURBED NATURAL AREA.
- F. ALL RETAINING WALLS SHALL NOT EXTEND MORE THAN 6 INCHES ABOVE THE MATERIAL THEY RETAIN (WITH EXCEPTION OF DRIVEWAY RETAINING WALLS IN ACCORDANCE WITH 2207.V.6).

UTILITIES

- WATER: EPORC WATER COMPANY
SANITARY SEWER: SEPTIC
ELECTRIC: APS
TELEPHONE: CENTURY LINK, COX COMMUNICATIONS
NATURAL GAS: SOUTHWEST
CABLE TV: CENTURY LINK, COX COMMUNICATIONS

SHEET INDEX

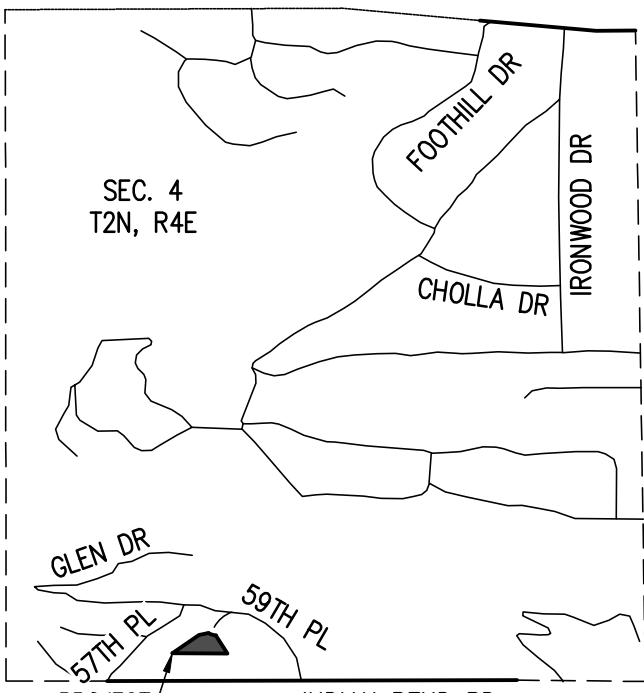
- C-1 COVER SHEET
C-2 IMPROVEMENT PLAN

EARTHWORK QUANTITIES

- CUT: 784 C.Y.
CUT FROM PIPES: 39 C.Y.
FILL: 3,057 C.Y.
NET FILL: 2,254 C.Y.

FIRE SPRINKLER SYSTEM

- FIRE SPRINKLER SYSTEM TO BE INSTALLED PER THE REQUIREMENTS OF THE TOWN OF PARADISE VALLEY AND IN ACCORDANCE WITH I.B.C. SECT. 904.2.2 AMD. AND 2015 IFC, SEC. 903.



VICINITY MAP

NTS

OWNER

- CHRISTA PETRACCA
6120 E INDIAN BEND RD.,
PARADISE VALLEY, AZ 85253

ARCHITECT

- TAMMEN + ROSE ARCHITECTURE, LLC
3634 E PARADISE DR.,
PHOENIX, AZ 85028
P: 480 467 8006

SITE DATA

- APN: 160-55-017
ADDRESS: 7070 N 59TH PL,
PARADISE VALLEY, AZ 85253
ZONING: R-43
LOT AREA: 44,750 S.F. (1.027 AC.)
QS #: 23-41

BENCHMARK

- BRASS CAP FLUSH AT THE INTERSECTION
OF 56TH STREET AND LINCOLN DRIVE,
HAVING AN ELEVATION OF 1363.43'
(NAVD 88) DATUM, GDACS# 24534-1.

CIVIL ENGINEER

- LAND DEVELOPMENT GROUP, LLC
8808 N CENTRAL AVE, SUITE 288
PHOENIX, AZ 85020
CONTACT: NICK PRODANOV, PE
P: 602-889-1984

BASIS OF BEARINGS

- THE MONUMENT LINE OF 59TH PLACE, THE BEARING OF WHICH IS N26°44'00"E.

LEGAL DESCRIPTION

- LOT 49, OF CLUB ESTATES NO. 2, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 91 OF MAPS, PAGE 7.

PROJECT DESCRIPTION

- NEW SINGLE FAMILY RESIDENCE, POOL, DRIVEWAY
AND SITE IMPROVEMENTS WITH ON LOT RETENTION

FLOOD INSURANCE RATE MAP (FIRM) DATA

COMMUNITY #	PANEL #	SUFFIX	BASE FLOOD ELEVATION
040049	1765 OF 4425	L	N/A
MAP #	PANEL DATE	FIRM INDEX DATE	ZONE
04013C	10/16/2013	11/04/2015	X*

- *AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

AS-BUILT CERTIFICATION

- I HEREBY CERTIFY THAT THE "RECORD DRAWING" MEASUREMENTS AS SHOWN HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

REGISTERED ENGINEER/ LAND SURVEYOR

DATE

REGISTRATION NUMBER

FINISH FLOOR CERTIFICATION

- I HEREBY CERTIFY THAT FINISHED FLOOR ELEVATIONS SHOWN ON THE PLAN OF 1470.00 IS MINIMUM OF 12" ABOVE THE 100-YEAR STORM ELEVATION OF 1469.00 ACCORDING TO THE TOWN OF PARADISE VALLEY CODE OF ORDINANCE.

Nick Prodanov

Registered CIVIL ENGINEER

08/27/20

DATE:

APPROVAL

- THIS SET OF PLANS HAS BEEN REVIEWED FOR COMPLIANCE WITH TOWN OF PARADISE VALLEY REQUIREMENTS PRIOR TO ISSUANCE OF PERMIT. THE TOWN NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. THIS COMPLIANCE APPROVAL SHALL NOT PREVENT THE TOWN ENGINEER FROM REQUIRING CORRECTIONS OF ERRORS OR OMISSIONS IN THE PLANS TO BE FOUND IN VIOLATION OF LAWS OR ORDINANCES.

TOWN ENGINEER
TOWN OF PARADISE VALLEY

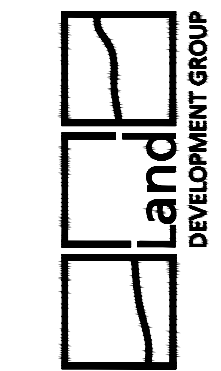
DATE



PRELIMINARY
GRADING & DRAINAGE
COVER SHEET

LOT 49 - CLUB
ESTATES NO. 2
7070 N 59TH PL.,
PARADISE VALLEY, AZ 85253

P: 602 889 1984 | F: 602 445 9482
8808 N CENTRAL AVE., SUITE 288
PHOENIX, AZ 85020
PHOENIX@LDG.COM

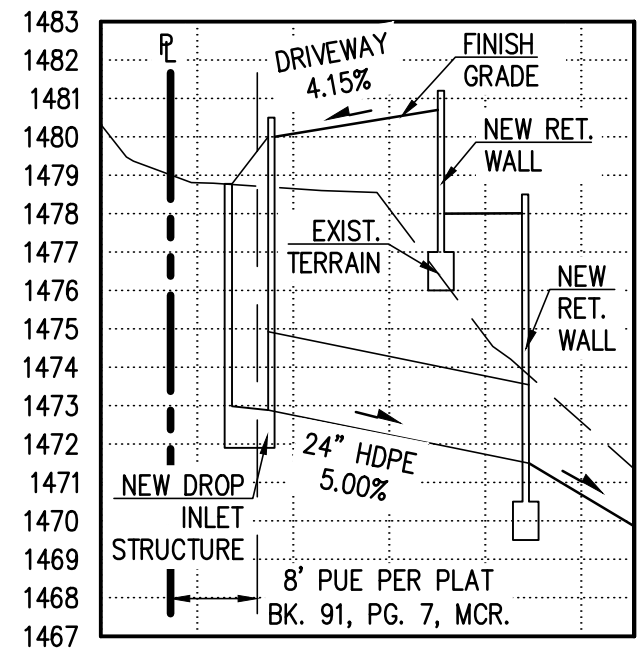


RETAINING WALL TABLE

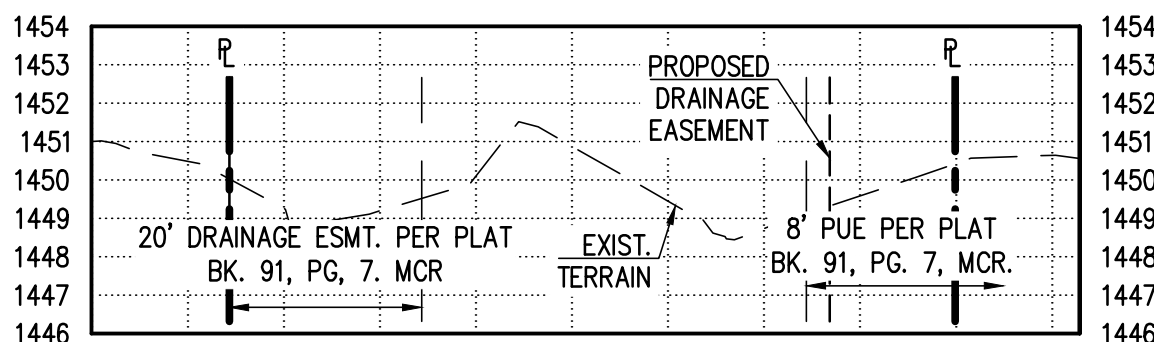
ID NUMBER	MAX. HEIGHT	LENGTH	VISIBLE WALL LENGTH		
#	FT	FT	A	B	C
1	4.5	85.70	85.7		
2	8	55.40			
3	7	34.60			
4	6	103.70	100.00		
5	5.5	43.90	22.30		
6	6	23.90	23.90		
7	5	30.50			
8	2	25.00			
9	7	53.60	47.30		
10	8	22.00			22
11	8	37.00			37
12	8	16.70			16.7
13	8	12.7			12.7
14	8	31			31
15	8	23.3			23.3
16	8	26.4			26.4
17	8	61.3		61.3	61.30
18	8	47.4		47.4	
19	7	15.3		15.3	
20	8	63		63	
21	8	13.7		43	
22	7	8		8	
23	7	45.4		45.4	
24	7	43		43	
25	7	25.3		25.30	
26	7	14.6		14.60	
TOTAL		962.40	279.20	283.40	270.30

FOR LOCATIONS IDENTIFIED WITH KEYNOTE

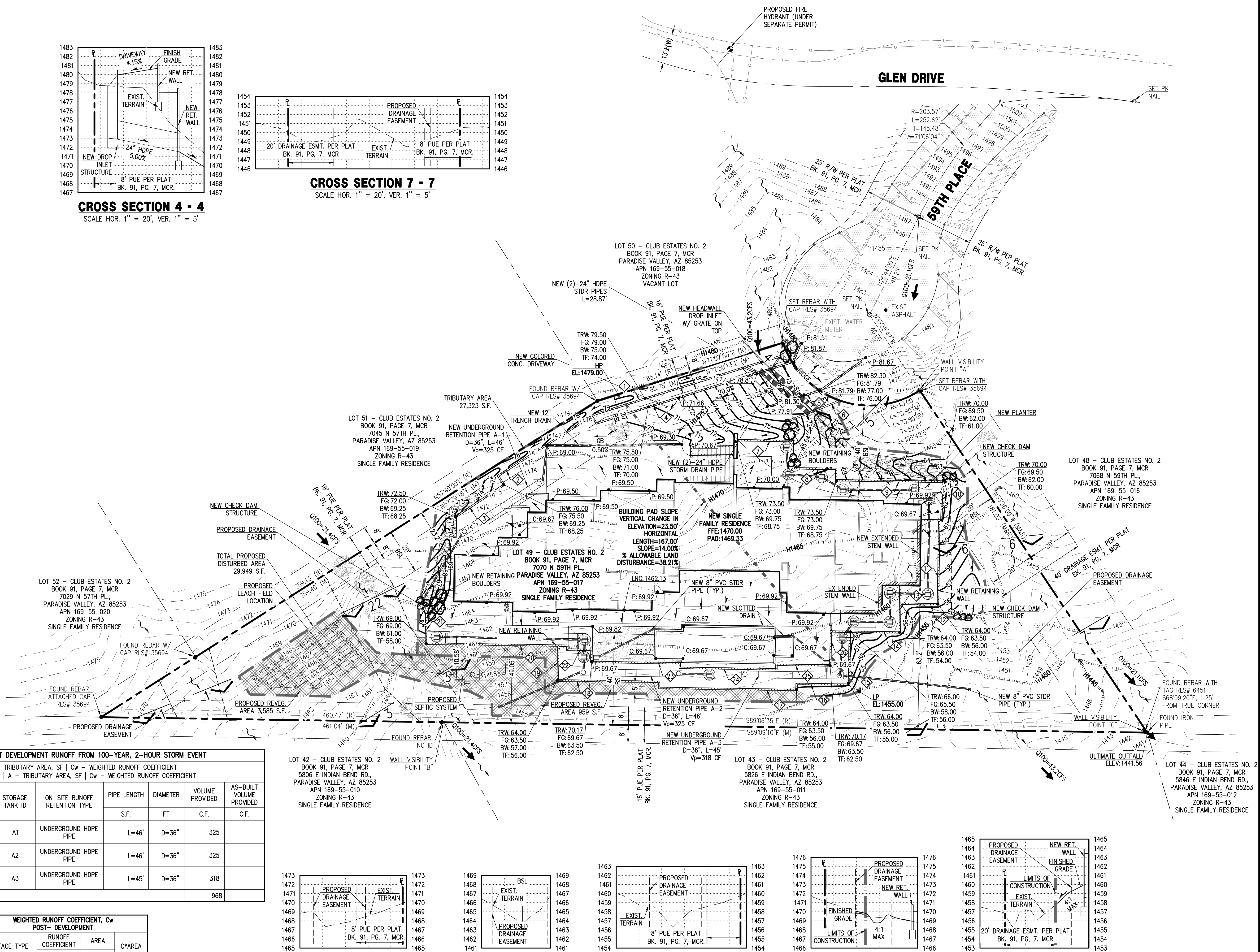
MAXIMUM LENGTH OF RETAINING WALLS VISIBLE FROM ANY POINT ON THE PROPERTY LINE = 284' < 300'. ALL WALL LENGTHS LISTED ABOVE ARE FOR PERMITTING PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ACCURACY OF WALL QUANTITIES AS SHOWN. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS AND DETAILS FOR WALL CONSTRUCTION, HEIGHT AND FINISH.



CROSS SECTION 4 - 4
SCALE HOR. 1" = 20', VER. 1" = 5'



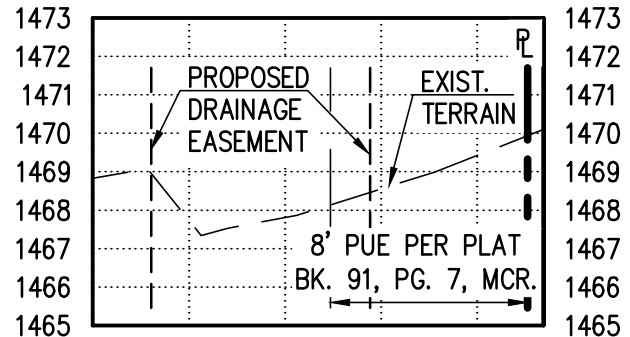
CROSS SECTION 7 - 7
SCALE HOR. 1" = 20', VER. 1" = 5'



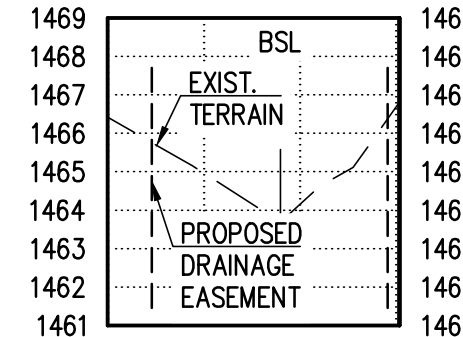
ON-SITE RETENTION FOR THE PRE VS. POST DEVELOPMENT RUNOFF FROM 100-YEAR, 2-HOUR STORM EVENT							
V=Dx(Ax(Cw,post)-Cw,pre)/12 D = RAINFALL DEPTH = 2.22" A = TRIBUTARY AREA, SF Cw = WEIGHTED RUNOFF COEFFICIENT							
Vf=(Df(Ax(Cw,post)/12 Df = RAINFALL DEPTH = 0.5" FIRST FLUSH A = TRIBUTARY AREA, SF Cw = WEIGHTED RUNOFF COEFFICIENT							
DRAINAGE AREA	AREA	RUNOFF COEFFICIENT	VOLUME REQUIRED PRE VS POST	VOLUME REQUIRED FIRST FLUSH	STORAGE TANK ID	ON-SITE RUNOFF RETENTION TYPE	PIPE LENGTH
	S.F.	Cw	C.F.	C.F.			S.F.
A	27,323	0.15	758	968	A1	UNDERGROUND HDPE PIPE	L=46'
					A2	UNDERGROUND HDPE PIPE	L=46'
					A3	UNDERGROUND HDPE PIPE	L=45'
TOTAL			758	968			968

WEIGHTED RUNOFF COEFFICIENT, Cw PRE- DEVELOPMENT			
SURFACE TYPE	RUNOFF COEFFICIENT	AREA	C*AREA
PAVEMENT & ROOF	0.95	0	0
NATIVE HILLSIDE	0.70	27,323	19,126
TOTAL		27,323	19,126
Cw = C * AREA / TOTAL AREA			
			0.70

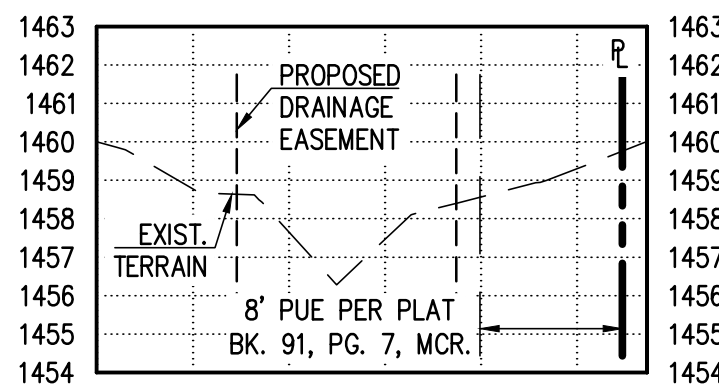
WEIGHTED RUNOFF COEFFICIENT, Cw POST- DEVELOPMENT			
SURFACE TYPE	RUNOFF COEFFICIENT	AREA	C*AREA
PAVEMENT & ROOF	0.95	16,371	15,553
NATIVE HILLSIDE	0.70	10,952	7,666
TOTAL		27,323	23,219
Cw = C * AREA / TOTAL AREA			
			0.85



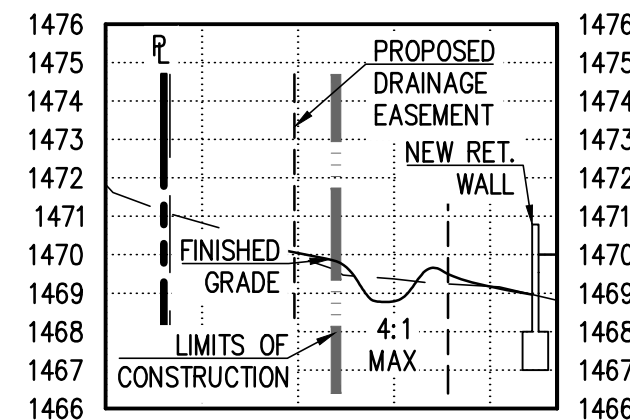
CROSS SECTION 1 - 1
SCALE HOR. 1" = 20', VER. 1" = 5'



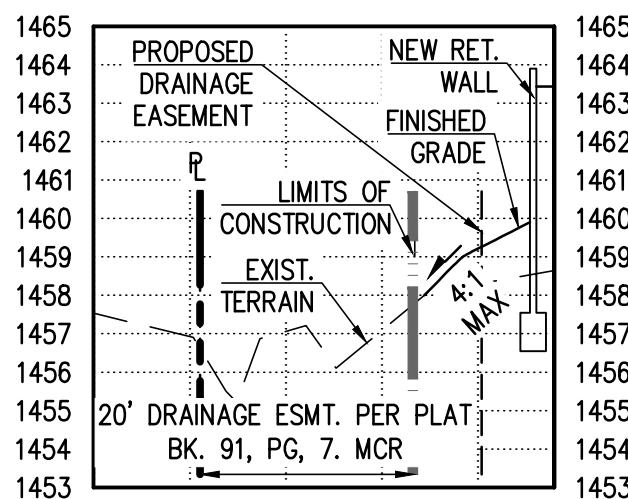
CROSS SECTION 2 - 2
SCALE HOR. 1" = 20', VER. 1" = 5'



CROSS SECTION 3 - 3
SCALE HOR. 1" = 20', VER. 1" = 5'



CROSS SECTION 5 - 5
SCALE HOR. 1" = 20', VER. 1" = 5'

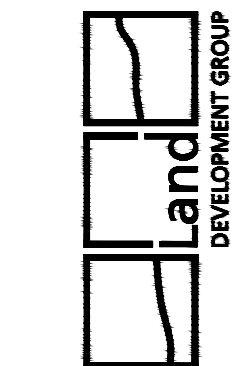


CROSS SECTION 6 - 6
SCALE HOR. 1" = 20', VER. 1" = 5'

**PRELIMINARY
GRADING & DRAINAGE
IMPROVEMENT PLAN**

**LOT 49 - CLUB
ESTATES NO. 2
7070 N 59TH PL.,
PARADISE VALLEY, AZ 85253**

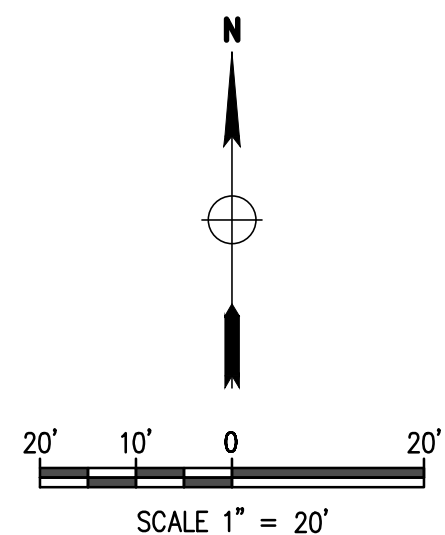
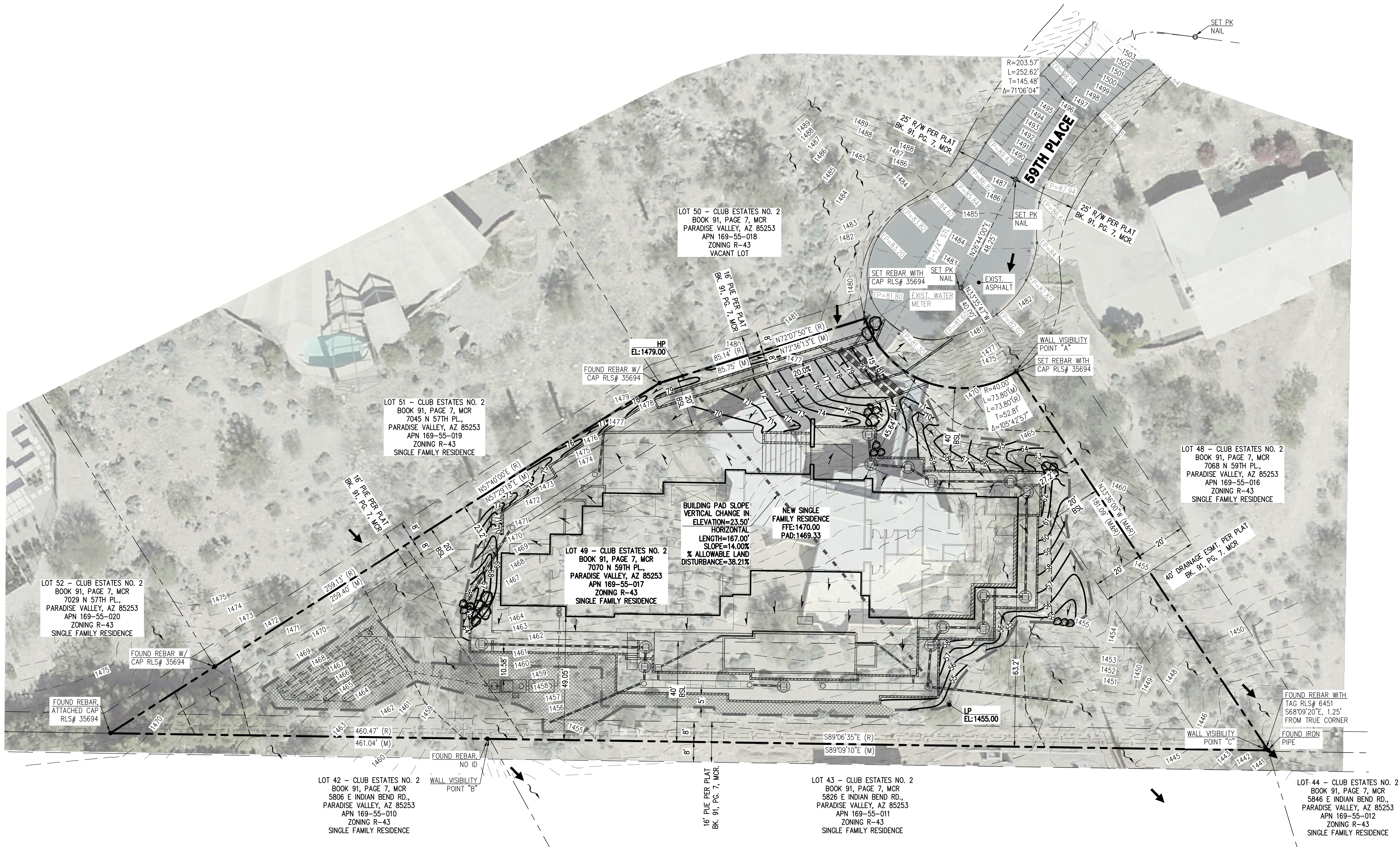
P. 602 889 1984 | F. 602 445 9482
8808 N CENTRAL AVE., SUITE 288
PHOENIX, AZ 85020
PHOENIXDRAINAGE.COM



C-2
2 OF 2

DATE: 08/27/20
JOB: 2004082
DESIGNED BY: NP
DRAWN BY: ZA
CHECKED BY: JJ
SCALE: 1"=20'
REVISIONS:

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Contact Arizona 811 at least two full working days before you begin excavation

ARIZONA 811

Call 811 or click Arizona811.com

AERIAL TOPOGRAPHIC EXHIBIT

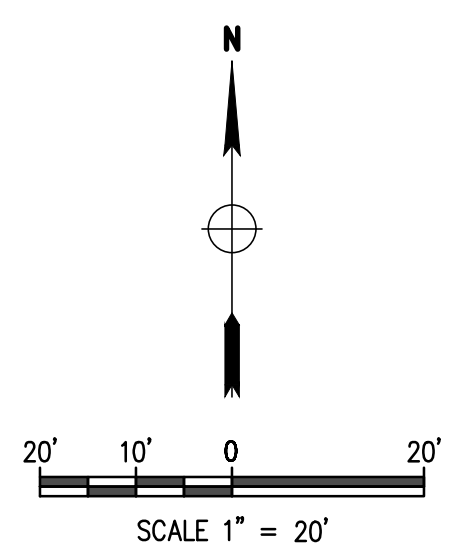
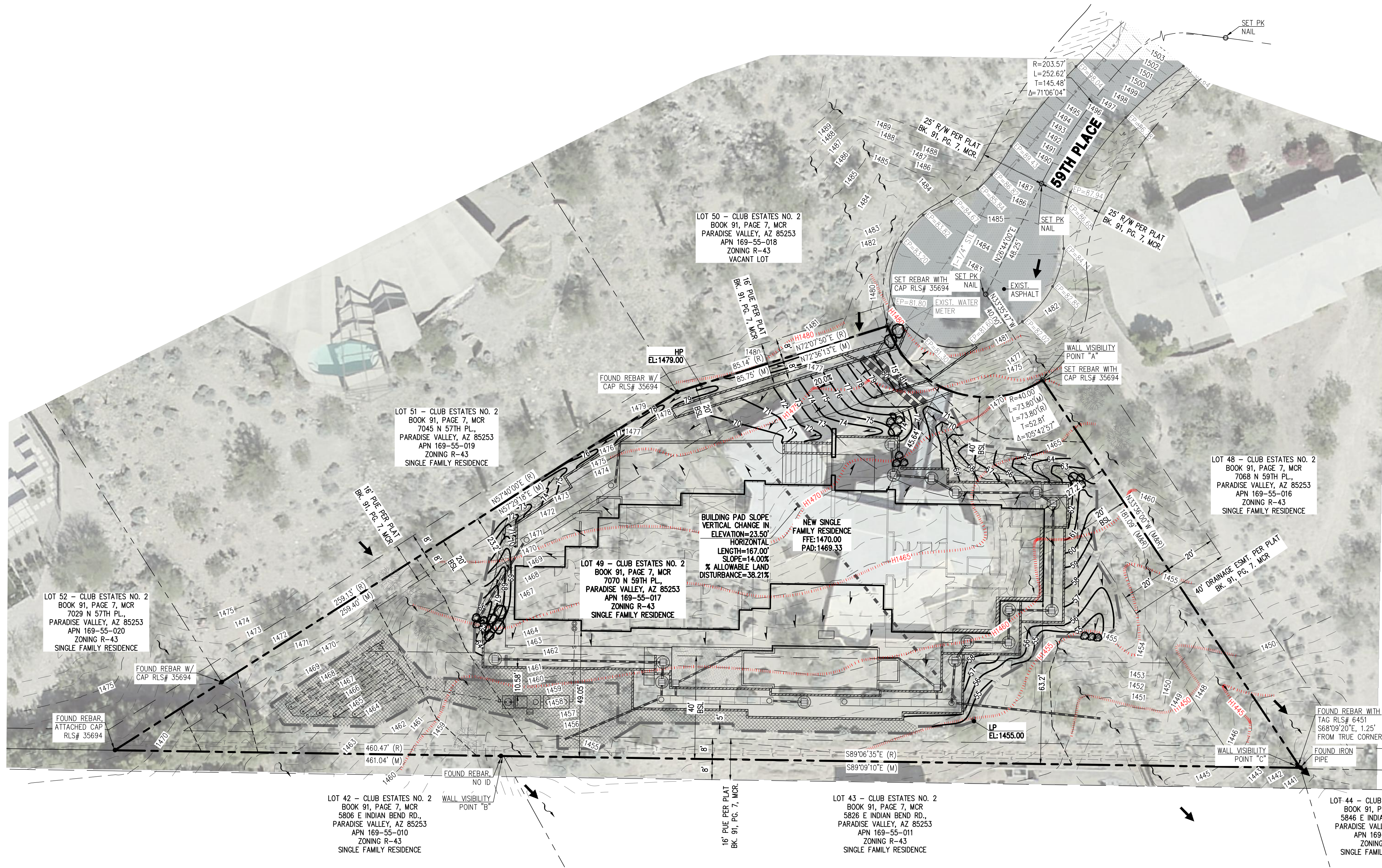
LOT 49 - CLUB ESTATES NO. 2
ESTATES NO. 2
7070 N 59TH PL.,
PARADISE VALLEY, AZ 85253

P 602 889 1984 | F 602 445 9482
8808 N CENTRAL AVE., SUITE 288
PHOENIX, AZ 85020
PHOENIXADGEN.COM



REVISIONS:	DATE:	SCALE: 1"=20'	DATE: 08/27/20
		DESIGNED BY: NP	JOB: 2004082
		DRAWN BY: ZA	VERSION: 2.2
		CHECKED BY: JJ	PLOT DATE: 08/27/20

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REVISIONS:		DATE:	SCALE: 1"=20'	DESIGNED BY: NP	DATE: 08/27/20
				DRAWN BY: ZA	JOB: 2004082
				CHECKED BY: JJ	VERSION: 2.2
					PLOT DATE: 08/27/20

HISTORIC TOPOGRAPHIC EXHIBIT

LOT 49 - CLUB ESTATES NO. 2
ESTATES NO. 2
7070 N 59TH PL.,
PARADISE VALLEY, AZ 85253

P 602 889 1984 | F 602 445 9482
8808 N CENTRAL AVE., SUITE 288
PHOENIX, AZ 85020
PHOENIXDENG.COM

land
DEVELOPMENT GROUP

REGISTERED PROFESSIONAL ENGINEER
41005
NICKOLA J. PRODOANOV
SINCE 01/01/08
REGISTERED U.S.A.

HT
1 OF 1

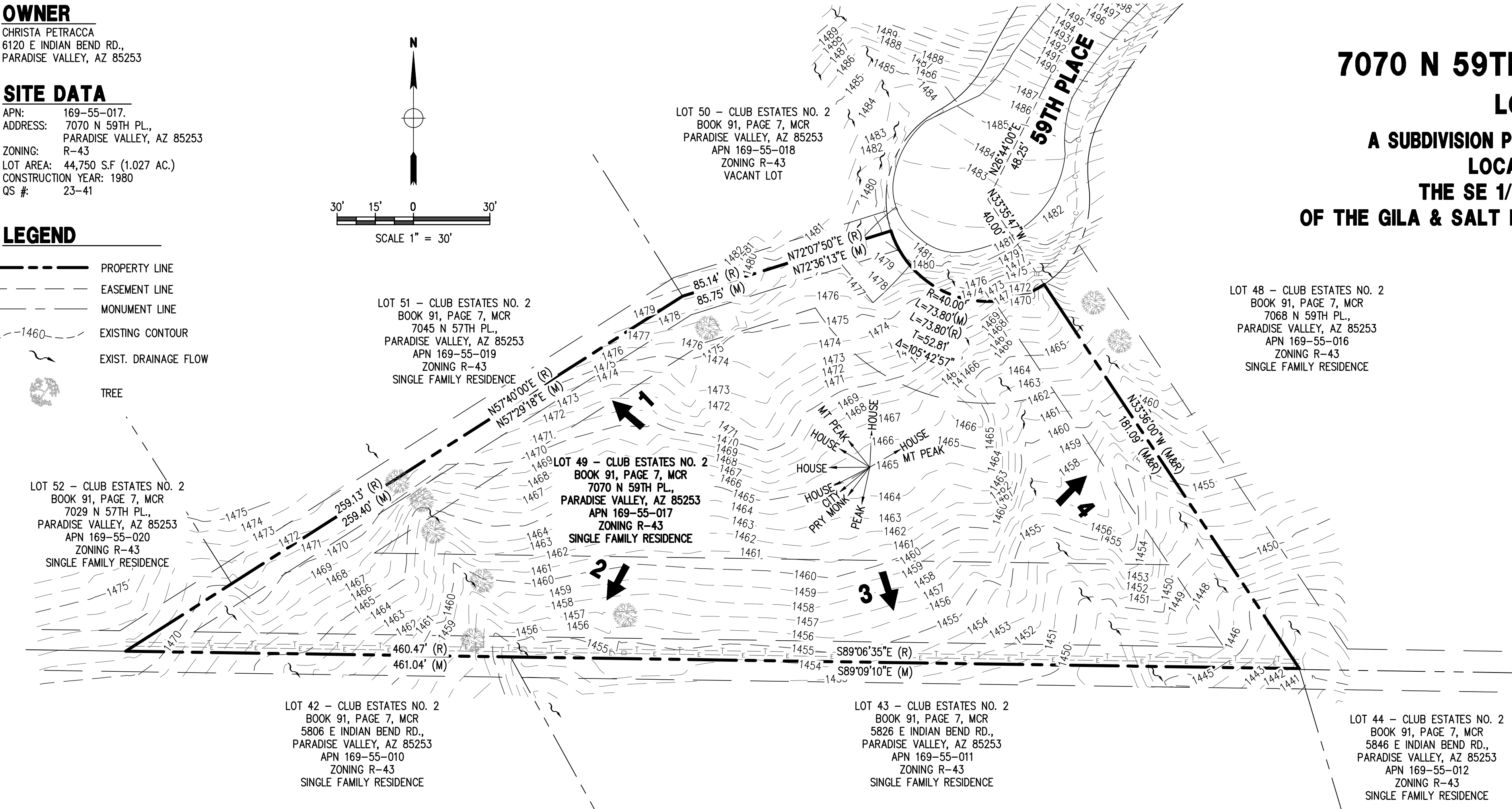
Contact Arizona 811 at least two full working days before you begin excavation
ARIZONA811
Call 811 or click Arizona811.com

OWNER
CHRISTA PETRACCA
6120 E INDIAN BEND RD.,
PARADISE VALLEY, AZ 85253

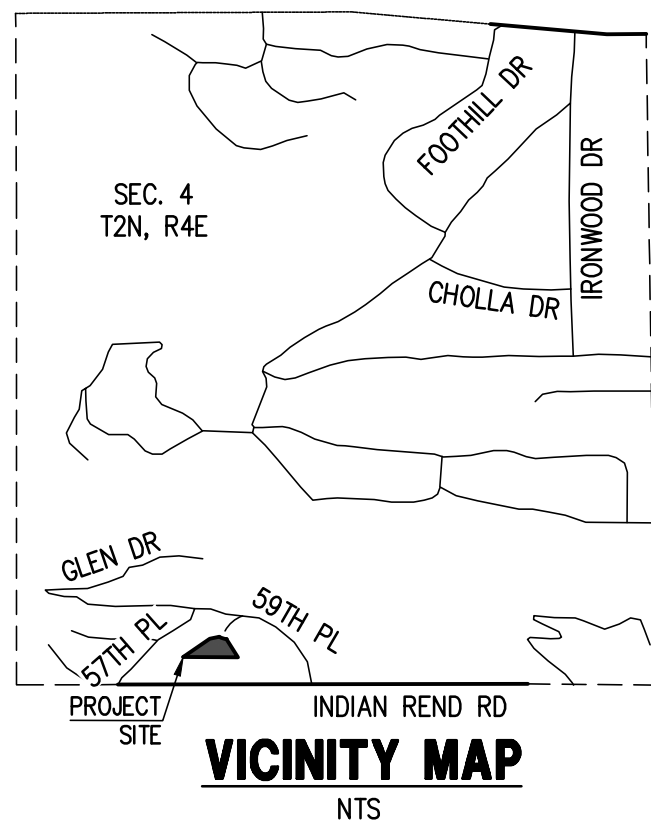
SITE DATA
APN: 169-55-017
ADDRESS: 7070 N 59TH PL,
PARADISE VALLEY, AZ 85253
ZONING: R-43
LOT AREA: 44,750 S.F. (1.027 AC.)
CONSTRUCTION YEAR: 1980
QS #: 23-41

LEGEND

- PROPERTY LINE
- EASEMENT LINE
- MONUMENT LINE
- EXISTING CONTOUR
- EXIST. DRAINAGE FLOW
- TREE



PHOTOS EXHIBIT
7070 N 59TH PL, PARADISE VALLEY, AZ 85253
LOT 49 - CLUB ESTATES NO.2
A SUBDIVISION PLAT RECORDED IN BOOK 91 OF MAPS, PAGE 07, MCR.,
LOCATED IN A PORTION OF THE SW 1/4 OF
THE SE 1/4 OF THE SW 1/4 OF SECTION 4, T.2N, R.4E
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA



DATE: 08/26/20	DESIGNED BY: NP	CHECKED BY: NP
JOB: 2004082	DRAWN BY: ZA	
VERSION: 1.1		
PLOT DATE: 08/26/20		

REVISIONS:	DATE:	SCALE: 1"=30'

PHOTOS EXHIBIT
LOT 49 - CLUB ESTATES NO. 2 7070 N 59TH PL., PARADISE VALLEY, AZ 85253

P. 602 889 1984 | F. 602 445 9482
8808 N CENTRAL AVE., SUITE 288
PHOENIX, AZ 85020
PHOENIXVALLEYGROUP.COM

land
DEVELOPMENT GROUP

REGISTERED PROFESSIONAL ENGINEER
CERTIFICATE NO. 41005
NICKOLA J. PRODANOV
SINCE 2010 U.S.A.
N. J. Prodman
AE

1 OF 1

MARK	DATE	DESCRIPTION
	8/28/20	Town of Paradise Valley Formal Hillside Review - 2
	7/20/20	Town of Paradise Valley Formal Hillside Review

Berlanti Residence
7070 N. 59th Place
Paradise Valley, AZ 85253

tammen + rose
architecture

480 467 8006
joanna@trarchitect.com
tammenrosearchitecture.com

PROJECT NO: 20016
DRAWN BY: BJ, KW
COPYRIGHT T+R architecture

SHEET TITLE
**DIMENSIONED
AND NOTED SITE
PLAN
(SDA-1)**

A1.1

MATERIALS KEY

STONE - TELLURIDE NATURAL STONE
MOUNTAIN ASH, LRV 27

STUCCO - OMEGA 1-KOTE STUCCO SYSTEM
(ESR-1194) WITH 1" FOAM OVER MIN. 2
INDEPENDENT LAYERS OF 15# BUILDING PAPER
(OR EQUAL) WEATHER BARRIER. SEE DETAIL -
PAINT, DUNN EDWARDS - BARNWOOD GRAY
DET 620, LRV 31

DRIVEWAY PAVERS - ACKER STONE, COLOR ANTIQUE
PEWTER, 3 PIECE PATTERN, 6x3; 6x9; 6x6, LRV
14.79

METAL FASCIA - MATTE BLACK LRV 26.8

METAL RAIL - MATTE BLACK LRV 26.8

METAL GATE - MATTE BLACK LRV 26.8

SPLIT FACE CMU - BELGARD SIERRA, LRV 13.48

GLAZING - NON-REFLECTIVE LOW E GLASS
AVERAGE U VALUE .38
AVERAGE SOLAR HEAT GAIN COEFFICIENT .23
AVERAGE VISIBLE LIGHT TRANSMITTANCE .49

TYPICAL SOFFIT - EXTERIOR SOFFIT BOARD - PAINT,
DUNN EDWARDS - BARNWOOD GRAY DET
620, LRV 31

SOFFIT AT ENTRY AND POOL PATIO - PINE TONGUE
AND GROOVE, STAINED LRV32

EXTERIOR MATERIAL PALETTE SHALL BE IN
ACCORDANCE WITH SECTION 2207.II.D

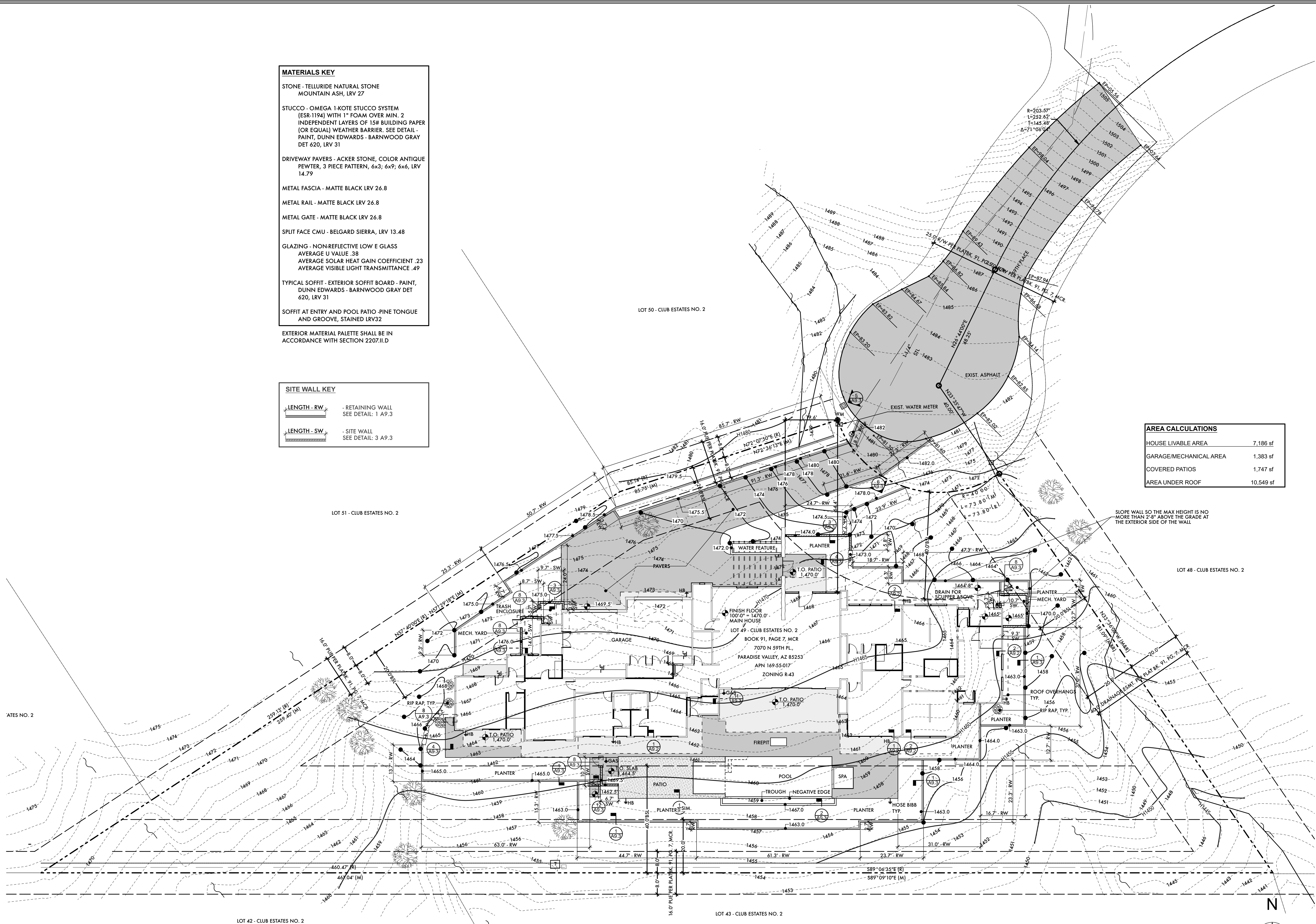
SITE WALL KEY

LENGTH - RW - RETAINING WALL
SEE DETAIL: 1 A9.3

LENGTH - SW - SITE WALL
SEE DETAIL: 3 A9.3

AREA CALCULATIONS

HOUSE LIVABLE AREA	7,186 sf
GARAGE/MECHANICAL AREA	1,383 sf
COVERED PATIOS	1,747 sf
AREA UNDER ROOF	10,549 sf



1 Site Plan
SCALE: 1/16" = 1'-0"

not for construction

MARK	DATE	DESCRIPTION
	8/17/20	Town of Paradise Valley Formal Hillside Review - 2
	7/20/20	Town of Paradise Valley Formal Hillside Review

Berlanti Residence
7070 N. 59th Place
Paradise Valley, AZ 85253

tammen + rose
architecture

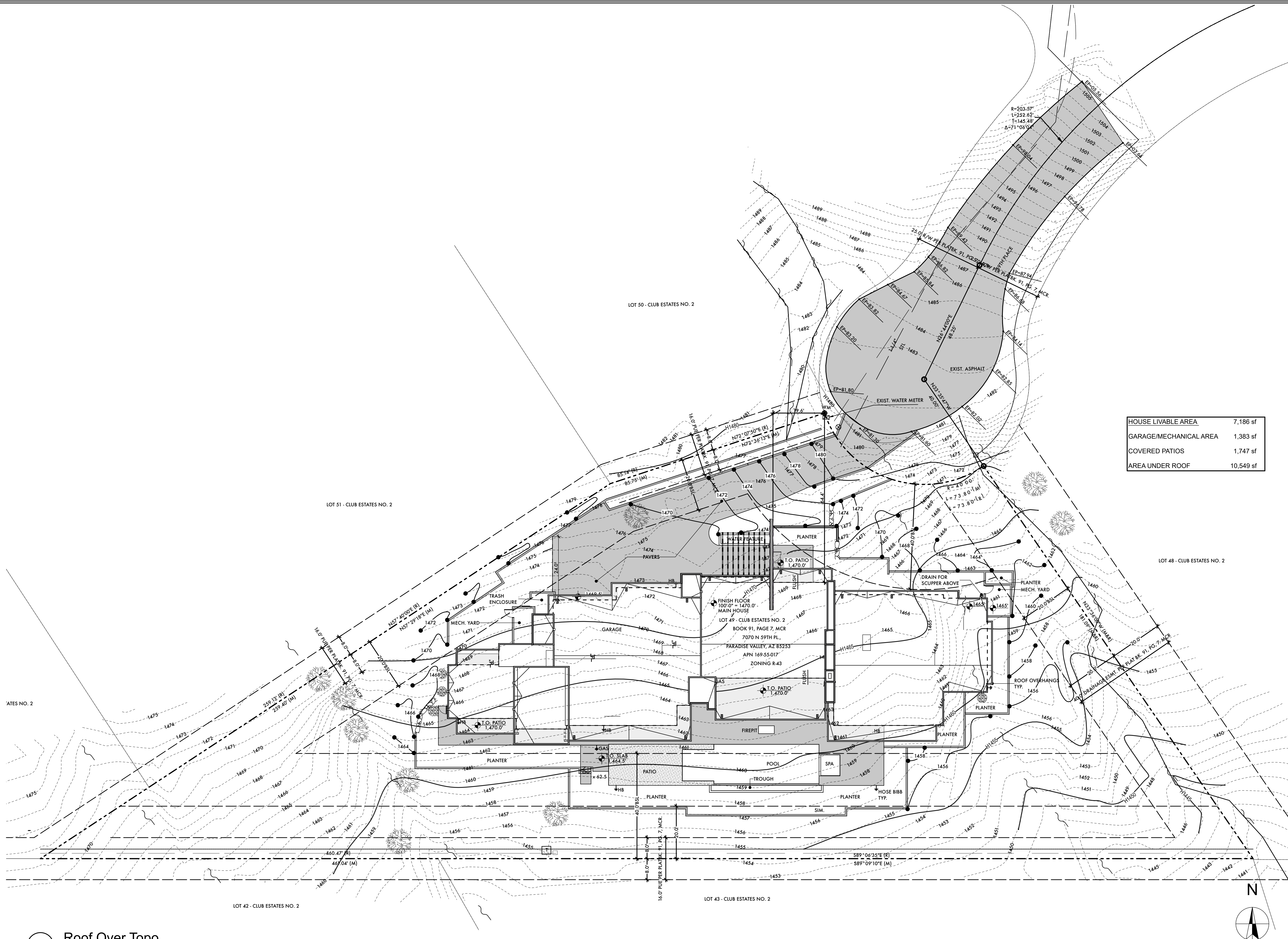
480 467 8006
joanna@trarchitect.com
tammenrosearchitecture.com

PROJECT NO: 20016
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SHEET TITLE

ROOF OVER TOPO

SDA-1a



HOUSE LIVABLE AREA	7,186 sf
GARAGE/MECHANICAL AREA	1,383 sf
COVERED PATIOS	1,747 sf
AREA UNDER ROOF	10,549 sf

1 Roof Over Topo
SCALE: 1/16" = 1'-0"

not for construction

A

B

C

D

E

F

WALL TYPES NOTES

1. TYP. @ ALL WOOD EXTERIOR STUCCO FINISH WALLS:
1/2 PLYWOOD SHEATHING, WEATHER RESISTANT WRAP, 1" STYROFOAM T & G BOARD, LATH AND STUCCO SYSTEM.
2. STUCCO - OMEGA 1-KOTE STUCCO SYSTEM (ESR-1194) WITH 1" FOAM OVER MIN. 2 INDEPENDENT LAYERS OF 15# BUILDING PAPER (OR EQUAL) WEATHER BARRIER. SEE DETAIL - PAINT, DUNN EDWARDS - BARNWOOD GRAY DET 620, LRV 31
3. DIMENSIONS ARE TO ROUGH FRAMING.
4. ALL ANGLES ARE 90 DEGREES UNLESS NOTED OTHERWISE.
5. PROVIDE FIRESTOPPING AT ALL DOUBLE WALLS AT MAX HEIGHT OF 10'.
6. 5/8" WATER PROOF GYP. BD OR CEMENT FIBER - CEMENT BOARD OR GLASS MAT GYP. BACKER AS REQUIRED AT ALL BATHROOMS.
7. ALL INTERIOR WALLS @ GARAGES AND MECHANICAL ROOMS SHALL HAVE 5/8" TYP. "X" GYP. BD.
8. PROVIDE R19 INSULATION AT ALL EXTERIOR WALLS.

HOUSE LIVABLE AREA	7,186 sf
GARAGE/MECHANICAL AREA	1,383 sf
COVERED PATIOS	1,747 sf
AREA UNDER ROOF	10,549 sf

T+R

Berlanti Residence
7070 N. 59th Place
Paradise Valley, AZ 85253

tammen + rose
architecture

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joanna@trarchitect.com
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SHEET TITLE

**DIMENSIONED
FLOOR PLAN**

(SDA-2)

A2.2

not for construction

MARK	DATE	DESCRIPTION
	8/17/20	Town of Paradise Valley Formal Hillside Review - 2
	7/20/20	Town of Paradise Valley Formal Hillside Review

Berlanti Residence
7070 N. 59th Place
Paradise Valley, AZ 85253

tammen + rose
architecture

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joanna@trarchitect.com
tammenrosearchitecture.com

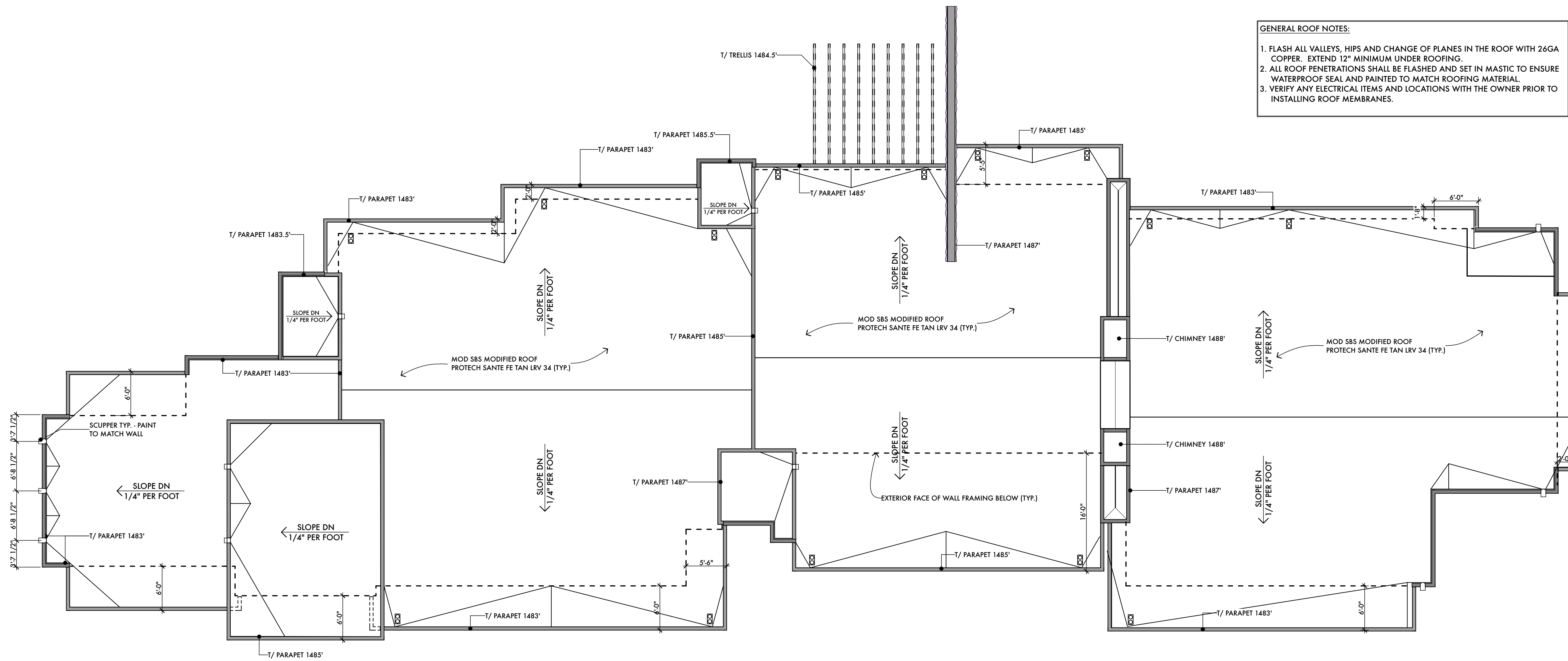
PROJECT NO: 20016
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SHEET TITLE

ROOF PLAN

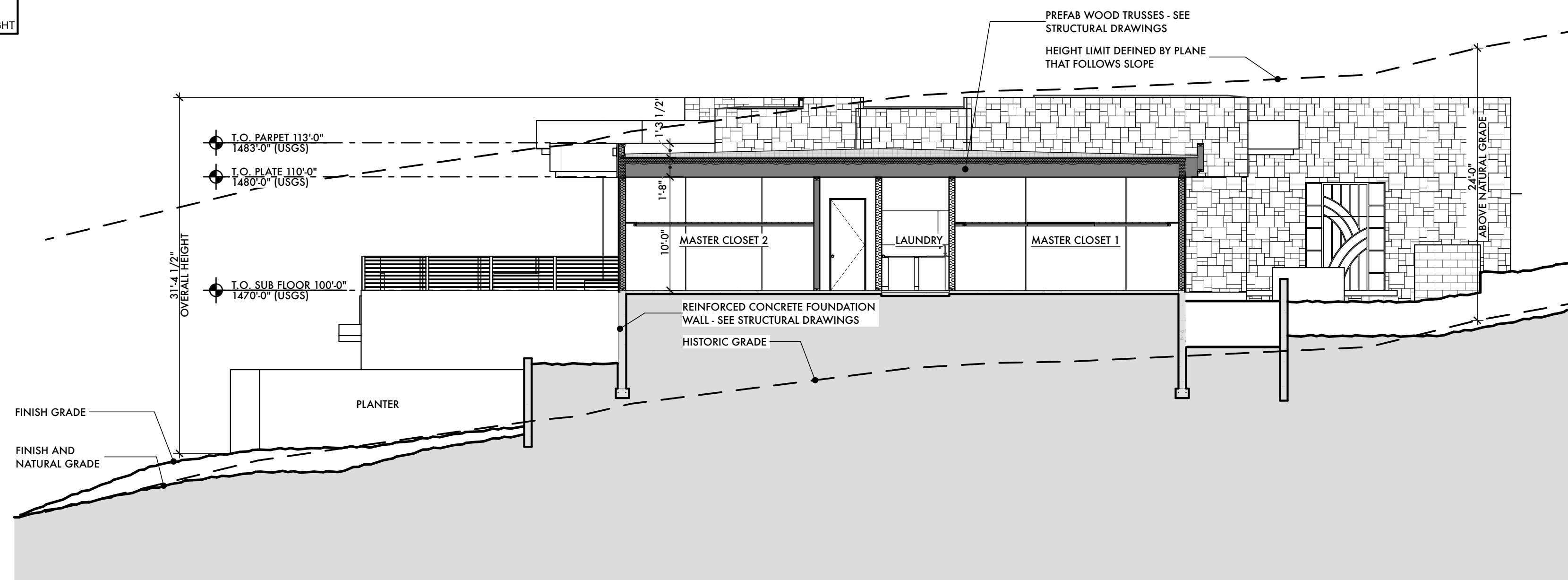
(SDA-3)

A4.1

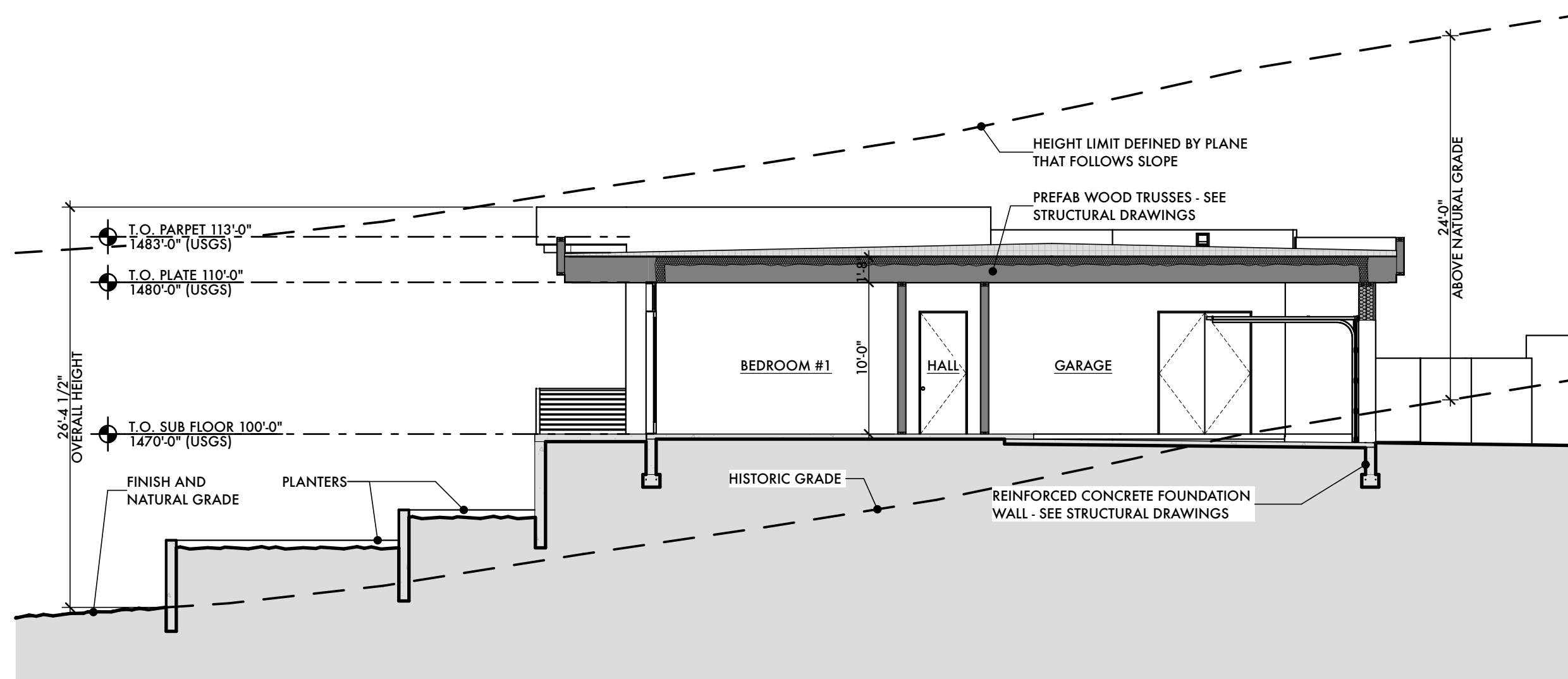
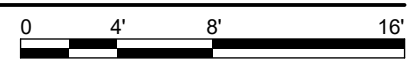


BUILDING HEIGHT CALCULATION:		
HIGHEST POINT OF BUILDING	1488.0'	
LOWEST POINT OF NATURAL GRADE	-1455.5'	
MAXIMUM OVERALL BUILDING HEIGHT	32.5' < 40' MAX ALLOWABLE BUILDING HEIGHT	

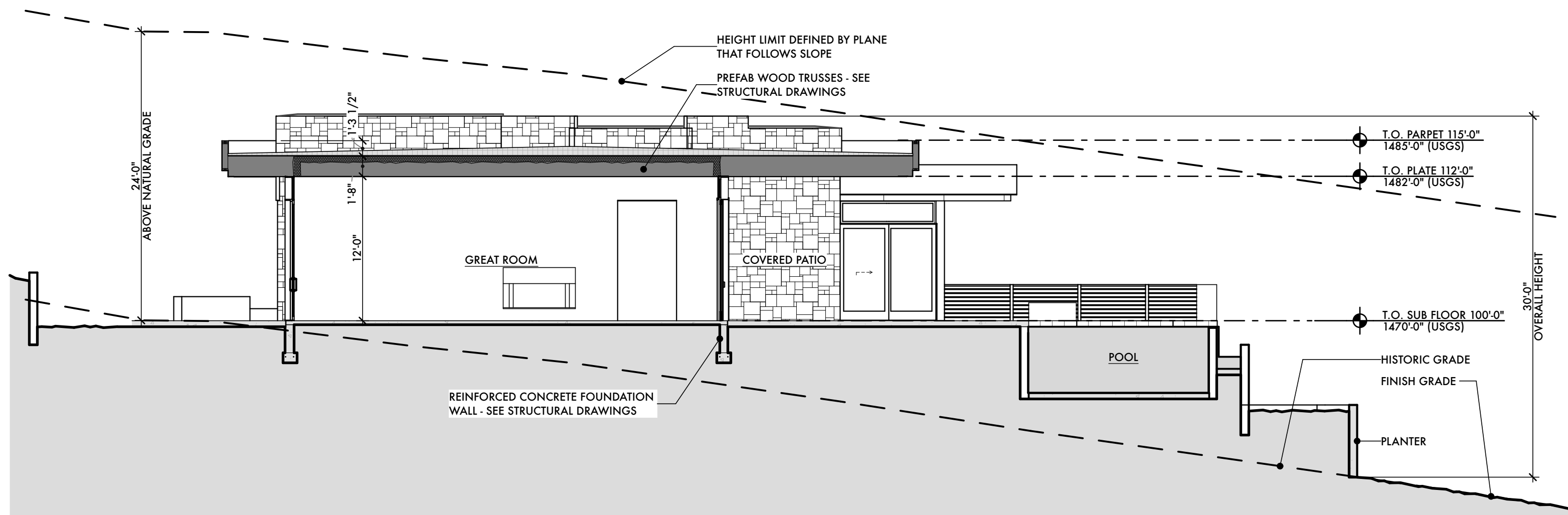
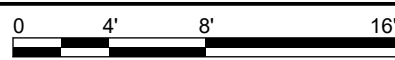
- NOTES:
1. AT ALL FRAMED WALLS PROVIDE R-19 ECO BATTS AT UNDERSIDE OF ROOF DECK PROVIDE R38 ICYNENE OPEN-CELL SPRAY FOAM (ESR - 1826)
 2. PROVIDE 5/8" TYPE "X" GYP. BD. AT ALL INTERIOR WALLS AND CEILINGS.



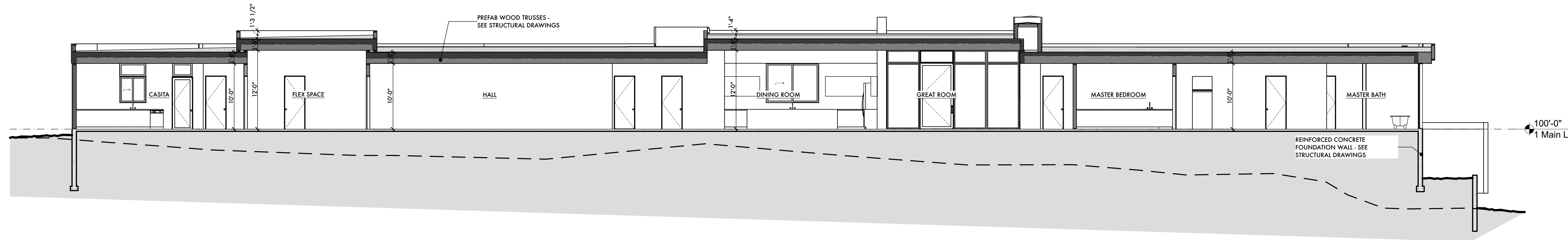
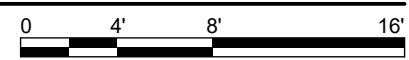
1 Section 1
SCALE: 1/8" = 1'-0"



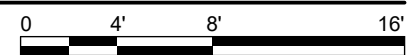
3 Section 3
SCALE: 1/8" = 1'-0"



2 Section 2
SCALE: 1/8" = 1'-0"



4 Section 4
SCALE: 1/8" = 1'-0"



not for construction

T+R

MARK	DATE	DESCRIPTION
	8/17/20	Town of Paradise Valley Formal Hillside Review - 2
	7/20/20	Town of Paradise Valley Formal Hillside Review

Berlanti Residence
7070 N. 59th Place
Paradise Valley, AZ 85253

tammen + rose
architecture
480 467 8006
joanna@trarchitect.com
tammenrosearchitecture.com

PROJECT NO: 20016
DRAWN BY: BJ, KW
COPYRIGHT T+R architecture

SHEET TITLE

BUILDING
SECTIONS
(SDA-5)

A5.1

Berlanti Residence
7070 N. 59th Place
Paradise Valley, AZ 85253tammen + rose
architecture480 467 8006
joanna@trarchitect.com
tammenrosearchitecture.com

PROJECT NO: 20016

DRAWN BY: BJ, KW

COPYRIGHT T+R architecture

SHEET TITLE

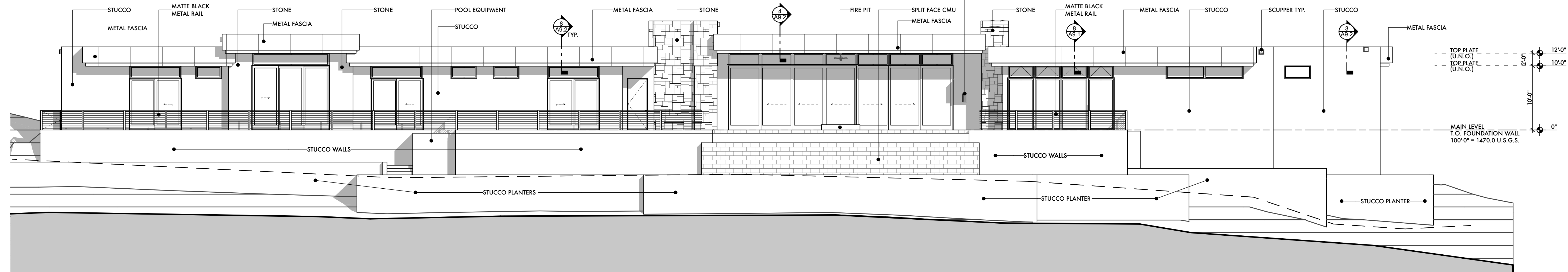
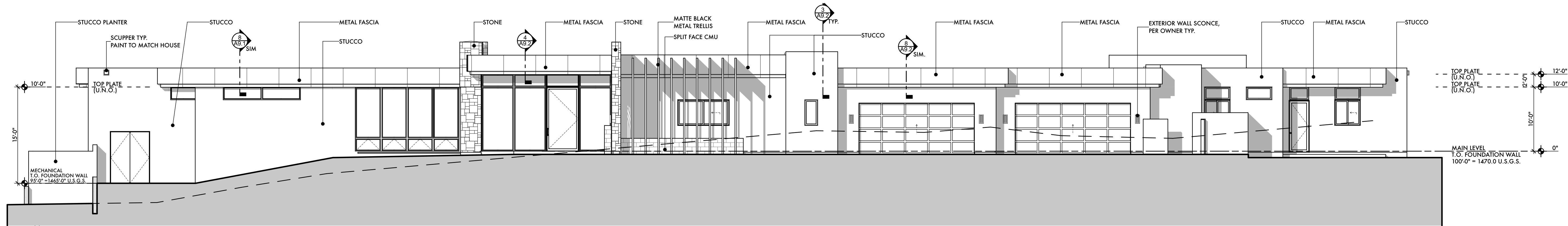
BUILDING
ELEVATIONS

(SDA-4)

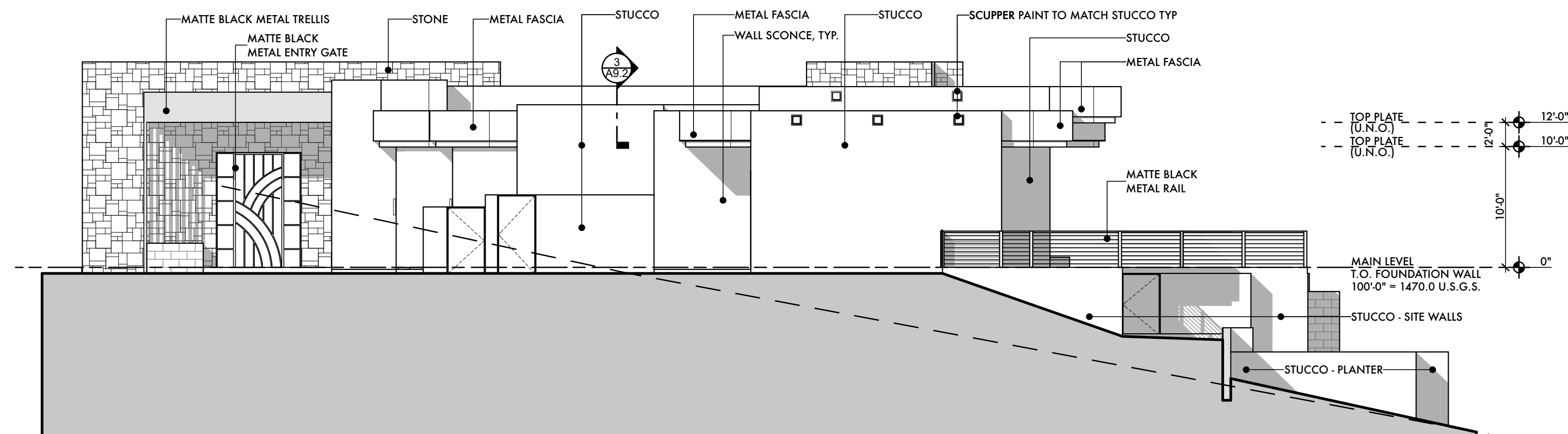
A6.1

1 North Elevation

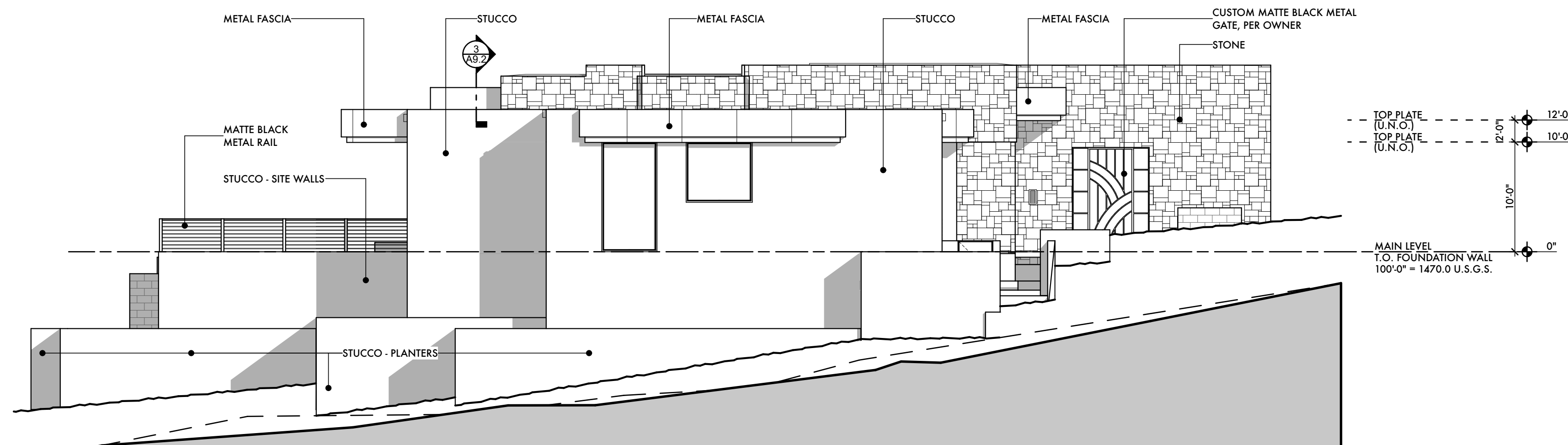
SCALE: 1/8" = 1'-0"

**2 South Elevation**

SCALE: 1/8" = 1'-0"

**3 West Elevation**

SCALE: 1/8" = 1'-0"

**4 East Elevation**

SCALE: 1/8" = 1'-0"

not for construction

PLANT LEGEND

SYMBOL	NAME	QTY	SIZE	NUMBER/TYPE OF DRAINERS
X	DESERT MUSEUM PALM VERDE	3	36" BOX	8C 2 GPH
W/UP 2A-2	TEXAS MTN. LAUREL	4	24" BOX	4C 2 GPH
	CHILEAN MESQUITE	4	36" BOX	8C 2 GPH
	AGAVE	9	BARE ROOT MIN 8" TALL W/ 6 CANES	NONE
*	DESERT SPIN	31	5 GAL.	1C 2 GPH
C	CREOSOTE	32	5 GAL.	1C 2 GPH
+	BRITTLE BUSH	70	1 GAL.	1C 1 GPH
①	DESERT MARIGOLD	85	1 GAL.	1C 1 GPH
+	AGAVE PARRYII TRUNCATA	23	15 GAL. PLANT MIN. 5' FROM FNDN.	1C 1 GPH
②	BLACKROOT DANSEY	74	1 GAL.	1C 1 GPH
④	GREENCLO. SAGE	30	5 GAL. PLANT MIN. 5' FROM FNDN.	1C 2 GPH
⑤	SALVIA GREGGII	38	5 GAL.	1C 1 GPH
⑥	SAO MOUND LANTANA	47	1 GAL.	1C 1 GPH
⑦	BOUGAINVILLEA BARR. MARST	14	5 GAL.	1C 2 GPH
⑧	TRAILING ROSEMARY	23	5 GAL.	1C 2 GPH

IRRIGATION SYSTEM

INSTALL AUTOMATIC IRRIGATION SYSTEM WITH FOLLOWING COMPONENTS:
 1. 1" REDUCED PRESSURE BACKFLOW PREVENTION DEVICE
 2. RACHIO 8 STA. INTERET CONNECTED CONTROLLER
 3. 6C 1" VALVES W/ 1/4" STRAINERS & 30 PSI REGULATORS
 4. VALVES AS FOLLOWS:
 1. FOR ALL TREES
 2. FOR BOUGAINVILLEA/ROSEMARY PLANTING
 3. FOR FRUIT YARD REVEGE PLANTING
 4. FOR FRUIT YARD WALLED PLANTING AREAS/CLOSE TO HOUSE
 5. FOR REAR YARD REVEGE PLANTING
 6. FOR REAR YARD WALLED PLANTING AREAS/CLOSE TO HOUSE
 7. PUT NO MORE THAN 3 VALVE ASSEMBLIES IN 1 JUMBO BOX
 8. 1" SCH. 40 MAINLINE BURIED MIN. 12" DEEP
 9. DRIP EMITTERS TO EACH PLANT AS PER SCHEDULE IN PLANT LEGEND

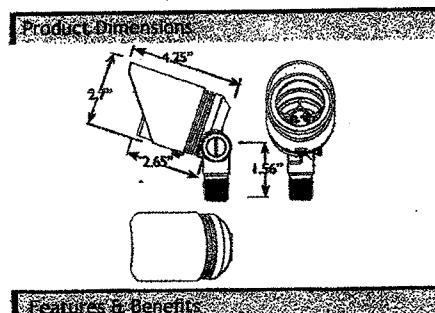
GENERAL NOTES:

1. ALL PLANTING AREAS WITHIN WALLED AREAS NEAR HOUSE AND PERL TO BE TOP DRESSED WITH 1/4" OF 3/4" MINUS MADISON GOLD D.G.
2. ALL DISTURBED AREAS/REVEGE AREAS TO BE TOP DRESSED WITH A MIXTURE OF NATIVE STONES FROM SITE AND 1/2" OF 1/2" MINUS MADISON GOLD D.G.
3. ALL RIP RAP SCALES TO BE LINED WITH WEED BARRIER FABRIC AND TOPPED WITH 3" OF MADISON GOLD BOULDERS

1. DENOTES EXISTING TREES & GACTI TO REMAIN (SEE SALVAGE PLAN)

VOLT™ Low Voltage Landscape Lighting All-Star™ Aluminum MR16 Spotlight - 2000 Series

The VOLT™ All-Star™ features a fully adjustable glare guard and is suitable and is perfect for almost any outdoor application. The adjustable glare guard allows you to fine tune your landscape lighting effects. This feature, comparable with almost any incandescent or LED spotlight, allows you to create broad beam spread flood effects, narrow spot light effects and almost any effect in between.



With superior light control, the All-Star™ gives you complete mastery over your lighting effects ensuring you only have light where you want it. This feature is standard, has a silicone plug where the lead wire exit to prevent pins and handles from entering the fixture, is made of solid cast aluminum and comes with a 5-Year Warranty.

Specifications:
 • Construction: Solid Cast Aluminum
 • Finish: Black or Bronze Powdercoating
 • Lead Wire: 48" (standard) or 25' (optional) 18AWG
 • Light Source: 12V Halogen® or LED (optional)
 • Glass: Clear or Bronze Tinted Glass
 • Light Source (not included): MR16 (LED or Halogen)
 • Maximum Lamp Rating: 70W
 • Recommended Lamp Rating: 70W
 • Operating Voltage: 12V AC
 • Shipping Weight: 0.8 lbs
 • Powered by: VOLT's Low Voltage Transformer

Features & Benefits:
 • Solid Cast Aluminum Construction
 • Durable powder coating in either black or bronze color
 • Silicone plug at lead wire exit prevents ground moisture and insects from entering luminaires through the wire
 • Water Tight Silicone O-Ring - keeps water from entering luminaire
 • Extra-long (4-inch) step resistant threading and solid zinc plated provide superior mounting stability
 • Heavy duty adjustable handle and adjustable glare guard allows light to be positioned

Warranty:
 • 5-Year Warranty

UL LISTED ENEC 40406

5-Year Warranty

UL LISTED ENEC 40406

5-Year Warranty

UL LISTED ENEC 40406

5-Year Warranty

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UL LISTED ENEC 40406

5-Year Warranty

UL LISTED ENEC 40406

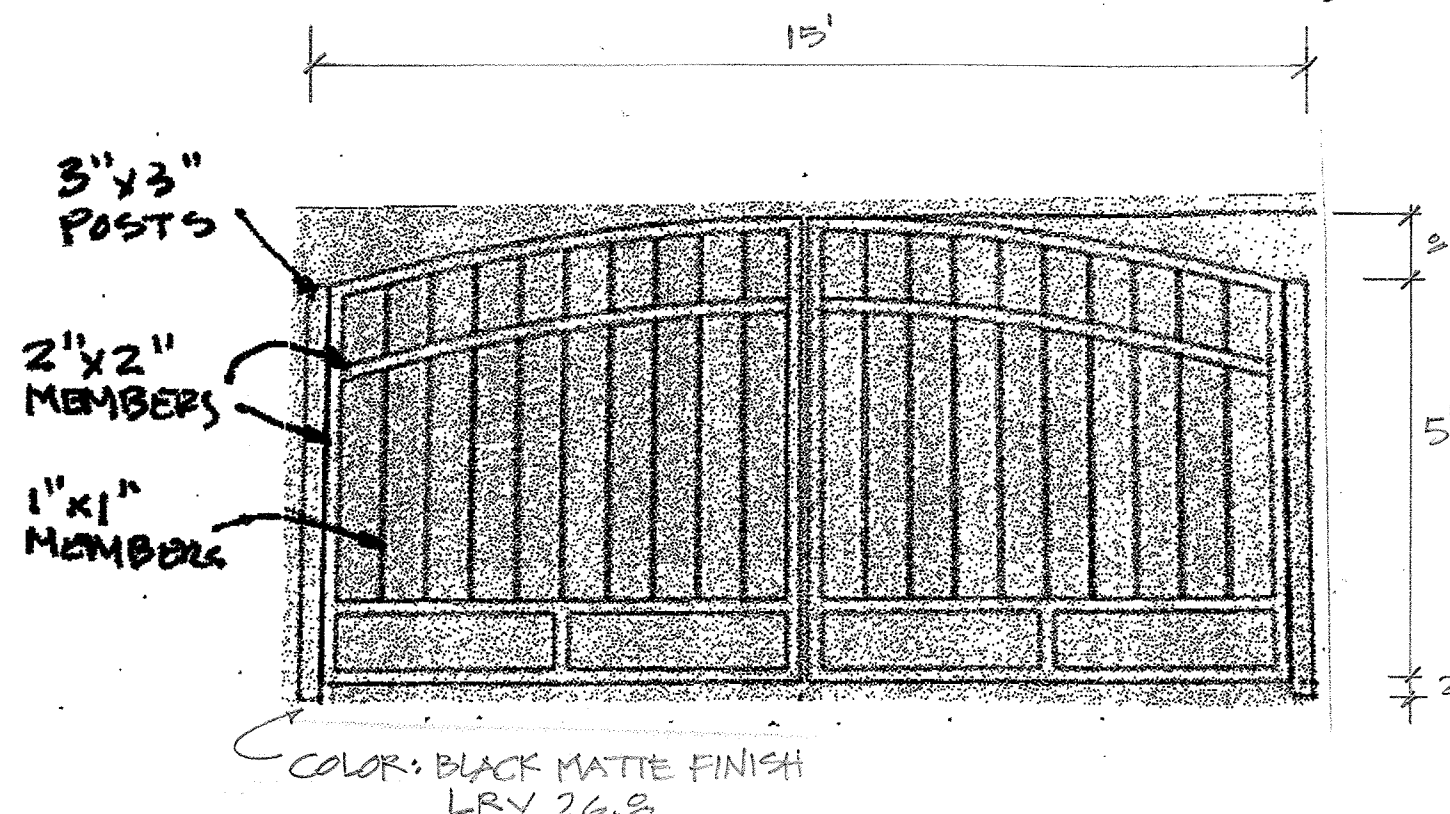
5-Year Warranty

UL LISTED ENEC 40406

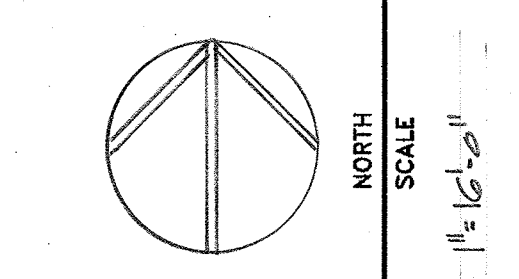
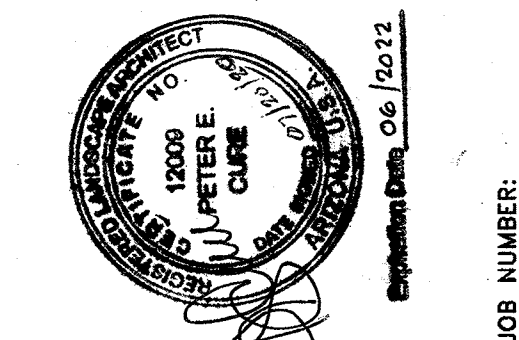
LOW VOLT LIGHTING LEGEND

SYMBOL	ITEM	QTY.
▲	MR16 SPOT 2000SERIES	17
●	PDO088 PATH LIGHT	11
□	600 WATT TRANSFORMER	2

NOTE: MAX. ALLOWABLE DISTURBED AREA = 17099 SF
 11000 = 17 UP LIGHTS ALLOWED



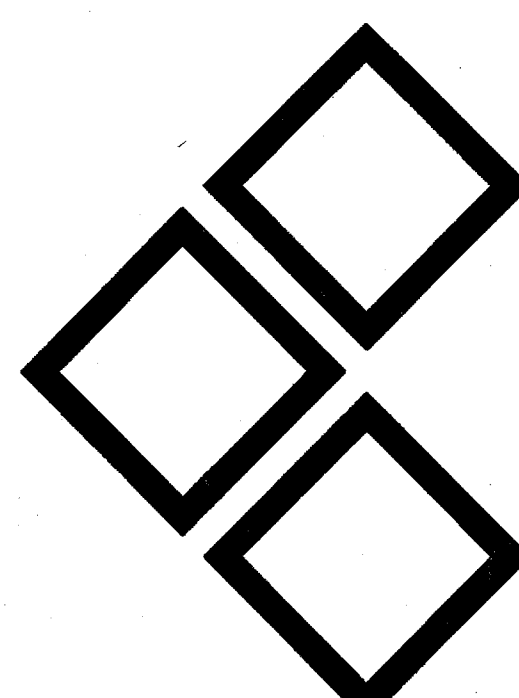
(A) GATE DETAIL
 NTS



DATE: 01/24/2020
 REV: 02/15/2020
 DRAWN BY: PEC
 SHEET: 1 OF 1

LANDSCAPE PLAN
 BERLANTI RESIDENCE
 7070 N. 54TH PLACE
 PARADEE VALLEY, AZ 85253

ARTERRA INC.
 LANDSCAPE ARCHITECTURE
 P.O. BOX 4449
 Cottonwood, Arizona 86326
 TEL: (602) 569-9800
 FAX: (602) 569-2693
 E-MAIL: artterra@aol.com



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NATIVE PLANT INVENTORY PLAN



NATIVE PLANT INVENTORY
TREE RELOCATORS, INC.
6502 N. 81st Place Scottsdale, AZ 85250
Tel: 480-947-1118
Fax: 480-361-9986
tree@nativeplants.com

To: Planning Department
Town of Paradise Valley

Date: 1-21-2020

ORDERED BY: Chris B.

Subject: Fairview Development

7070 N. 59th Place

Tag Colors: Red - Salvage
Blue - Unsavagable
White - Remain in Place

Remarks: Please look at the tag color designations and tag the tree as indicated before the tree is removed.

Tag#	Size	Species	Condition	Disposition	# Arms	Height	Width	Comments
1	12"	Palo Verde	Poor	Remain in Place				
2	3"	Barrel	Good	Salvageable				
3	12"	Palo Verde	Poor	Unsavagable				Trunk Disease
4	12"	Palo Verde	Poor	Unsavagable				Trunk Disease
5	10"	Palo Verde	Poor	Unsavagable				Exposed Roots
6	6"	Palo Verde	Poor	Unsavagable				Wash
7	3"	Barrel	Good	Salvageable				
8	3"	Barrel	Good	Salvageable				
9	8"	Palo Verde	Poor	Unsavagable				Exposed Roots
10	8"	Palo Verde	Poor	Unsavagable				Exposed Roots
11	8"	Saguaro	Good	Remain in Place				
12	3"	Barrel	Good	Salvageable	2			
13	45"	L.F. Barrel's	Good	Salvageable				
14	6"	Palo Verde	Poor	Unsavagable				Lateral root
15	12"	Palo Verde	Poor	Unsavagable				Trunk Disease
16	8"	Palo Verde	Poor	Unsavagable				Angled Trunk
17	8"	Palo Verde	Poor	Unsavagable				Lateral root
18	13"	Palo Verde	Poor	Unsavagable				Trunk Disease
19	4"	Palo Verde	Poor	Unsavagable				Lateral root
20	12"	Palo Verde	Good	Salvageable				
21	8"	Palo Verde	Poor	Unsavagable				Exposed Roots
22	4"	Palo Verde	Poor	Unsavagable				Lateral root
23	8"	Palo Verde	Poor	Unsavagable				Lateral root
24	4"	Palo Verde	Poor	Unsavagable				Lateral root
25	4"	Palo Verde	Poor	Unsavagable				Multiple Trunks
26	7"	Saguaro	Good	Salvageable				
27	6"	Palo Verde	Good	Salvageable				
28	6"	Palo Verde	Good	Salvageable				
29	6"	Saguaro	Good	Salvageable				
30	11"	Palo Verde	Poor	Unsavagable				Wash
31	11"	Palo Verde	Poor	Unsavagable				Wash
32	8"	Palo Verde	Poor	Unsavagable				Multiple Trunks
33	12"	Palo Verde	Poor	Unsavagable				Wash

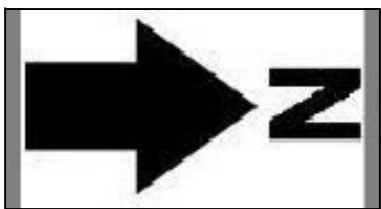
Tag#	Caliper	Species	Condition	Disposition	# Arms	Height	Width	Comments
34	7"	L.F. Barrel's	Good	Salvageable	2			
35	1.5"	Saguaro	Good	Salvageable				
36	4"	Saguaro	Good	Salvageable				
37	8"	Palo Verde	Poor	Unsavagable				Wash
38	12"	Palo Verde	Poor	Unsavagable				Wash
39	10"	Palo Verde	Poor	Unsavagable				Trunk Disease
40	5"	Saguaro	Good	Remain in Place				
41	12"	Palo Verde	Good	Remain in Place				
42	3"	Barrel	Good	Salvageable				
43	4"	L.F. Barrel's	Good	Salvageable	4			
44	4"	Palo Verde	Poor	Unsavagable				Lateral root

Native Plant Summary

Plant Totals	Tree	Cacti	Overall Totals
Remain in Place	2	2	4
Salvage	3	12	15
Destroy	25	0	25
Total	30	14	44

7070 N. 59th Place Paradise Valley, AZ

Indicates Existing Native Plant



PLANT SALVAGE CONTRACTOR:
Tree Relocators, Inc.
6502 N. 81st Place
Scottsdale, AZ
O. 480-947-6118 F. 480-361-4824
E. treerelocators@cox.net



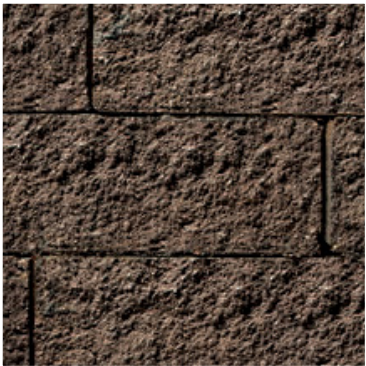
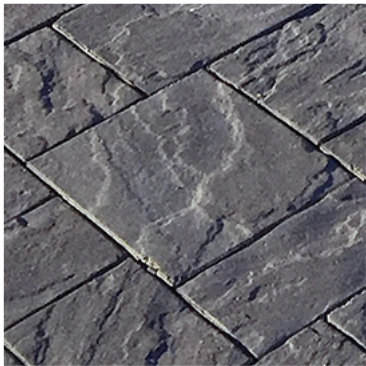
STAINED PINE SOFFIT LRV32

TELLURIDE NATURAL STONE - MOUNTAIN ASH LRV27

METAL FACIA, RAILINGS, AND ENTRY GATE - MATTE BLACK LRV26.8

ACKER STONE - ANTIQUE PEWTER LRV14.79

BELGARD - SIERRA LRV13.48



SBS MODIFIED ROOF PROTECH - SANTA FE TAN LRV34

DUNN EDWARDS - BARNWOOD GRAY DET620 LRV31
STUCCO / EXTERIOR GYPSUM SOFFIT BOARD

1 1/2" EMERALD/OLIVE GREEN TURF (KOOL K-9) SYNTHETIVC GRASS STORE

GLAZING

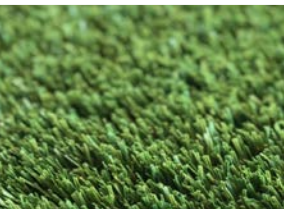
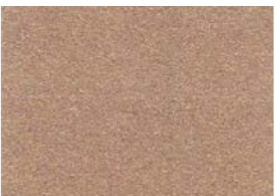
NON-REFLECTED GLASS .
LOW E GLASS .
AVERAGE U - VALUE .38
AVERAGE SOLAR HEAT GAIN COEFFICIENT .23
AVERAGE VISABLE LIGHT TRANSMITTANCE .49



EXTERIOR LIGHTING



CAN LIGHT



WALL SCONCE







