



P.O.Box 80311
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THE NEW RESIDENCE ON
East San Miguel Avenue

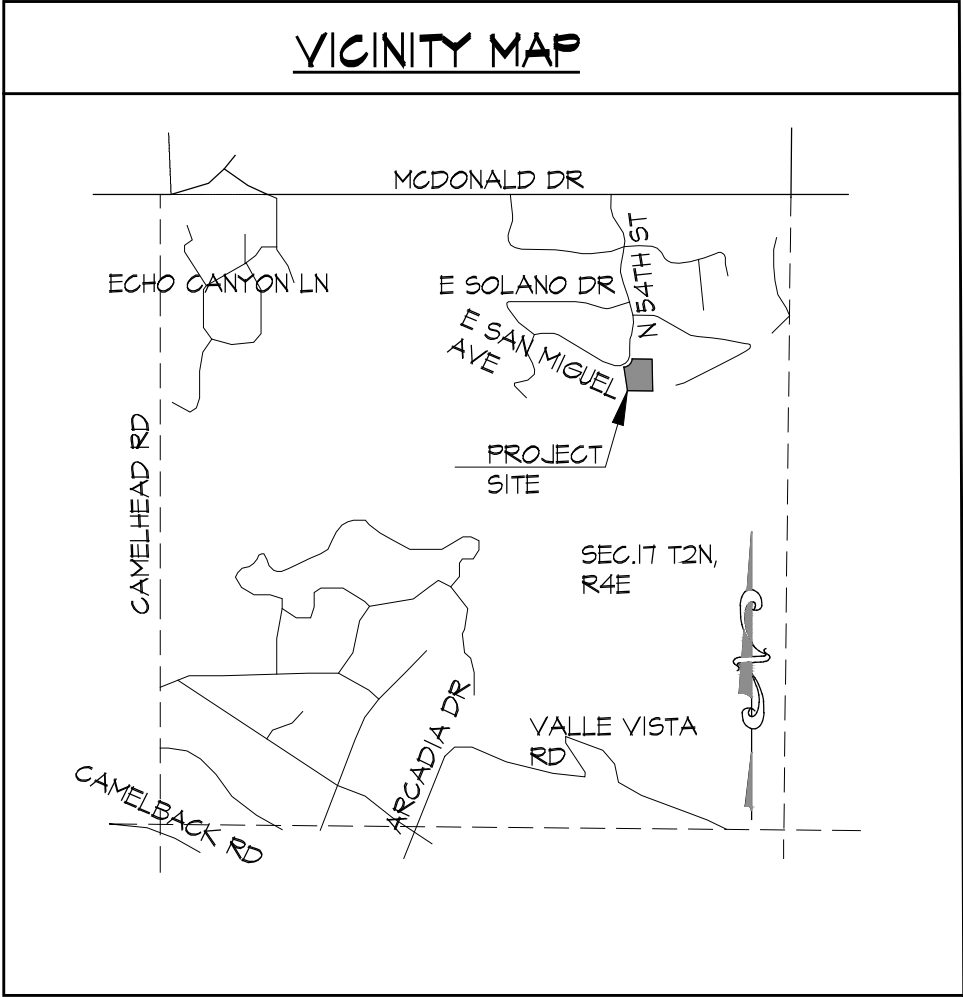
5405 E San Miguel Ave.
Paradise Valley, AZ 85253

SET ISSUED:
07.24.2020

THE NEW RESIDENCE ON EAST SAN MIGUEL AVE.

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IS.01	NATIVE PLANT INVENTORY

PROJECT TEAM	
OWNER:	JRM 5405 LLC PO BOX 2656 SCOTTSDALE, AZ 85252
DESIGNER:	AJ DESIGN STUDIO P.O. BOX 80311 PHOENIX, AZ 85060 CONTACT : AGNIESZKA JASTRZEBSKA (AJ)
CIVIL ENGINEER:	LAND DEVELOPMENT GROUP 8808 N CENTRAL AVE, S 288 PHOENIX, AZ 85020 CONTACT: NICK PROGANOV
LANDSCAPE ARCHITECT:	DESIGN ETHICS, LLC 7525 EAST 6TH AVENUE SCOTTSDALE, AZ 85251 CONTACT: BRANDON FAUL



COVER PAGE
RENDERING

Scale: _____

Drawn by: _____ AJ

Checked by: _____ AJ

Sheet No: _____

A0.1



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1 STREET VIEW TOWARDS: NORTH & EAST



SOUTH



WEST



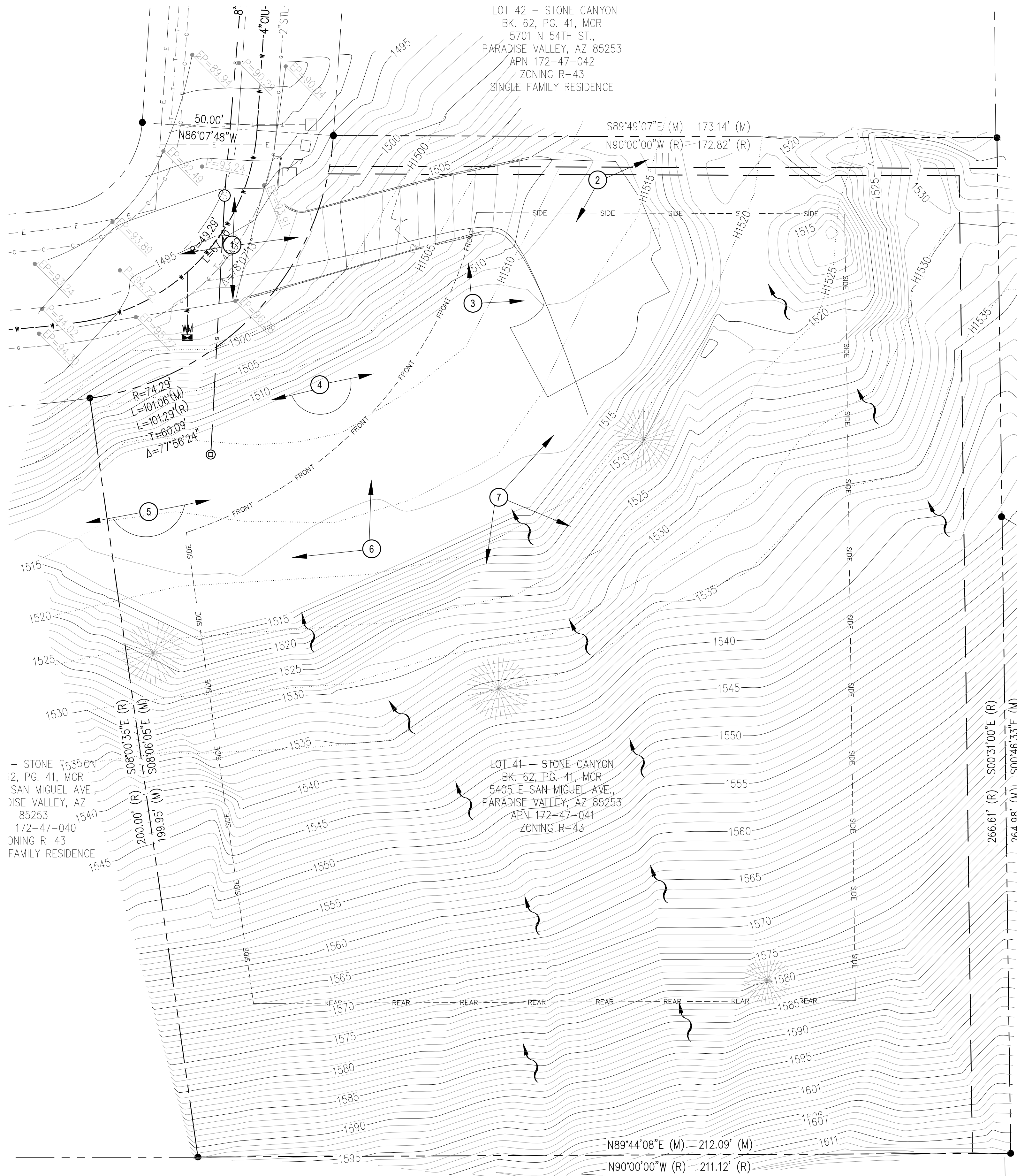
2 PANORAMA VIEW TOWARDS: SOUTH & WEST



3 NORTH



EAST



AERIAL PHOT SITE PLAN

1/16"=1'-0"

1

LOT 19 - STONE CANYON
BK. 81, PG. 34, MI
5500 E SAN MIGUEL
PARADISE VALLEY, AZ
APN 172-47-06
ZONING R-43
VACANT LOT



4 PANORAMA VIEW EAST / SOUTH / WEST



5 PANORAMA VIEW EAST / SOUTH / WEST



6 WEST



NORTH



7 EAST



SOUTH



SOUTH

THE NEW RESIDENCE ON
East San Miguel Avenue

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07.24.2020

AERIAL SITE PLAN
W/ SITE PHOTOS

Scale: 1"=10'-0"
Drawn by: AJ
Checked by: AJ
Sheet No:

AE1.1

Sheet of



LOOKING NORTH



LOOKING WEST



LOOKING NORTH WEST



LOOKING SOUTH EAST



LOOKING EAST



LOOKING WEST



LOOKING SOUTH



LOOKING SOUTH



LOOKING WEST



LOOKING SOUTH



LOOKING SOUTH



LOOKING EAST



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Paradise Valley, AZ 85253

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SITE PHOTOS

Scale: 1"=10'-0"
Drawn by: AJ
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Sheet No:

AE1.2

Sheet of



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THE NEW RESIDENCE ON
East San Miguel Avenue

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AE 1.3



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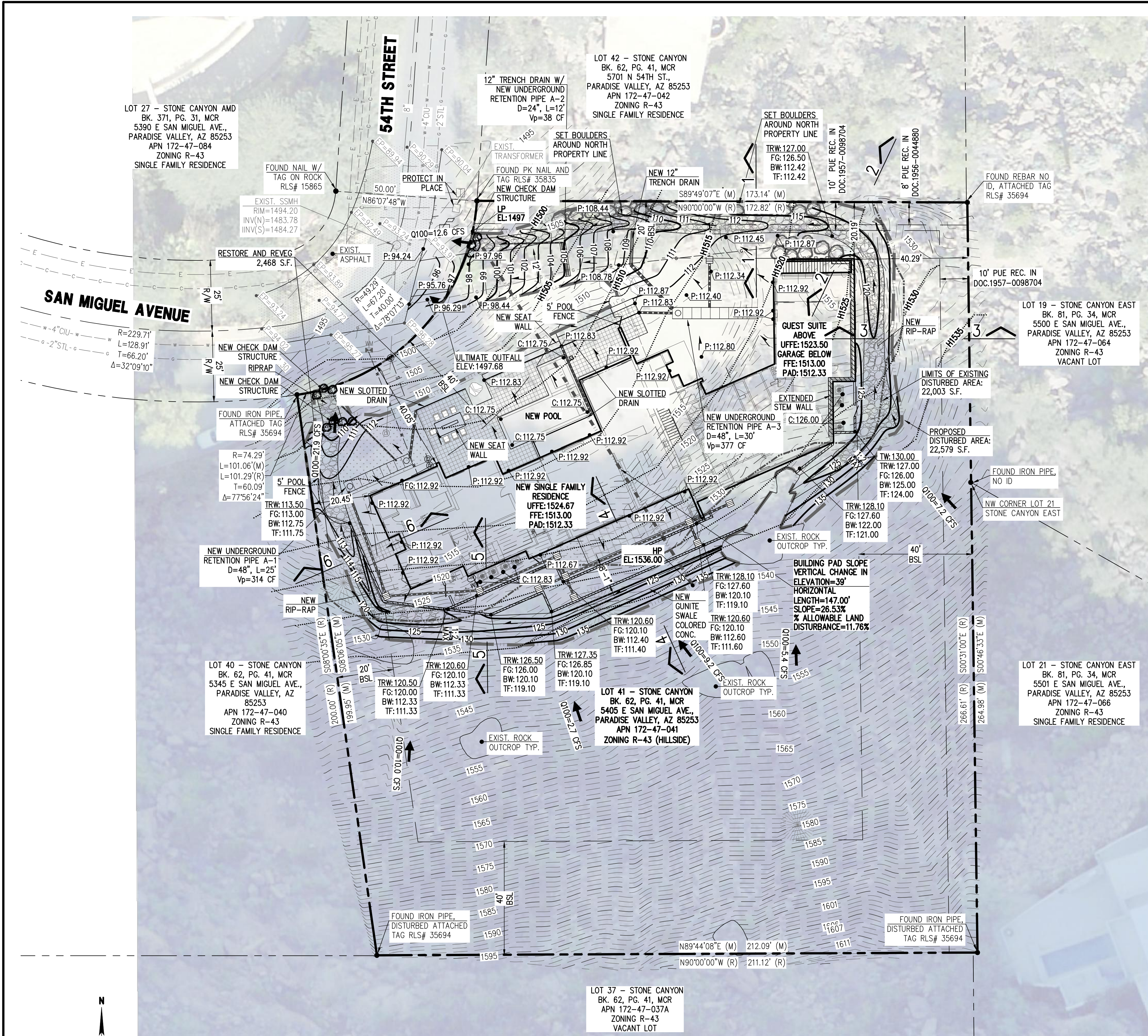
5405 E San Miguel Ave.
Paradise Valley, AZ 85253

SET ISSUED:
07.24.2020

3D MODEL
VIEWS

Scale:
Drawn by: JS
Checked by: AJ
Sheet No:

AE 1.4



REVISIONS:	DATE:	SCALE: 1"=20'	DATE: 07/22/20
		DESIGNED BY: NP	JOB: 2004080
		DRAWN BY: ZA	VERSION: 1.2
		CHECKED BY: JI	PLOT DATE: 07/22/20

AERIAL TOPOGRAPHIC EXHIBIT

MCDRAE RESIDENCE
LOT 41 - STONE CANTON
5405 E SAN MIGUEL AVE.,
PARADISE VALLEY, AZ 85253

P. 602.889.1984 | F. 602.445.9482
8808 N CENTRAL AVE., SUITE 288
PHOENIX, AZ 85020
PHOENIXVALDESIGN.COM

land
DEVELOPMENT GROUP

PRELIMINARY
NOT FOR CONSTRUCTION

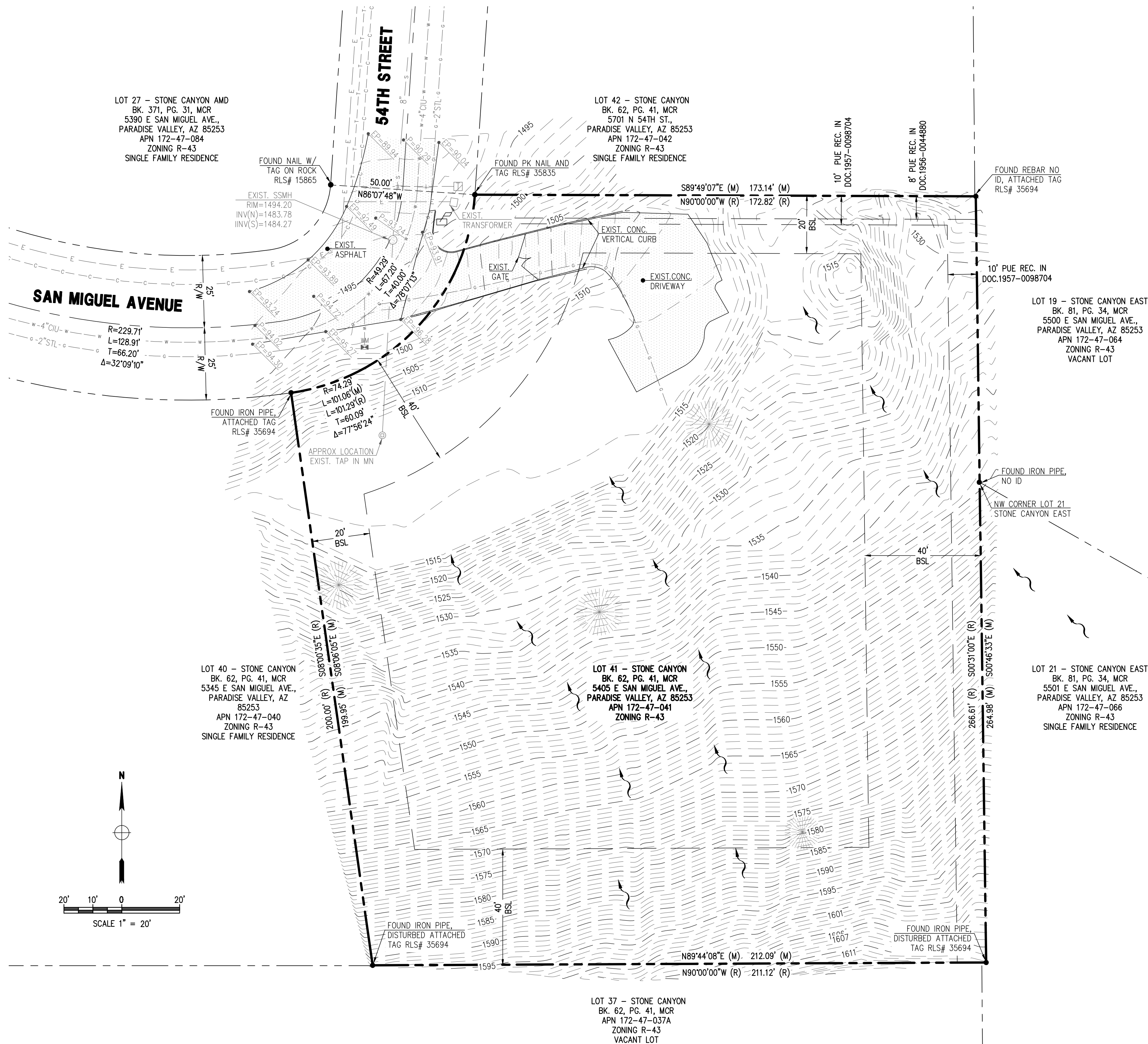
AE

Contact Arizona 811 at least two full working days before you begin excavation

ARIZONA 811
Call 811 or click Arizona811.com

BOUNDARY & TOPOGRAPHIC SURVEY
5405 E SAN MIGUEL AVE, PARADISE VALLEY, AZ 85253
LOT 41 - STONE CANYON

A SUBDIVISION PLAT RECORDED IN BOOK 62 OF MAPS, PAGE 41, MCR.,
LOCATED IN A PORTION OF THE N 1/2 OF THE S 1/2 OF THE NE 1/4 OF SECTION 17, T.2N, R.4E
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA



GENERAL NOTES

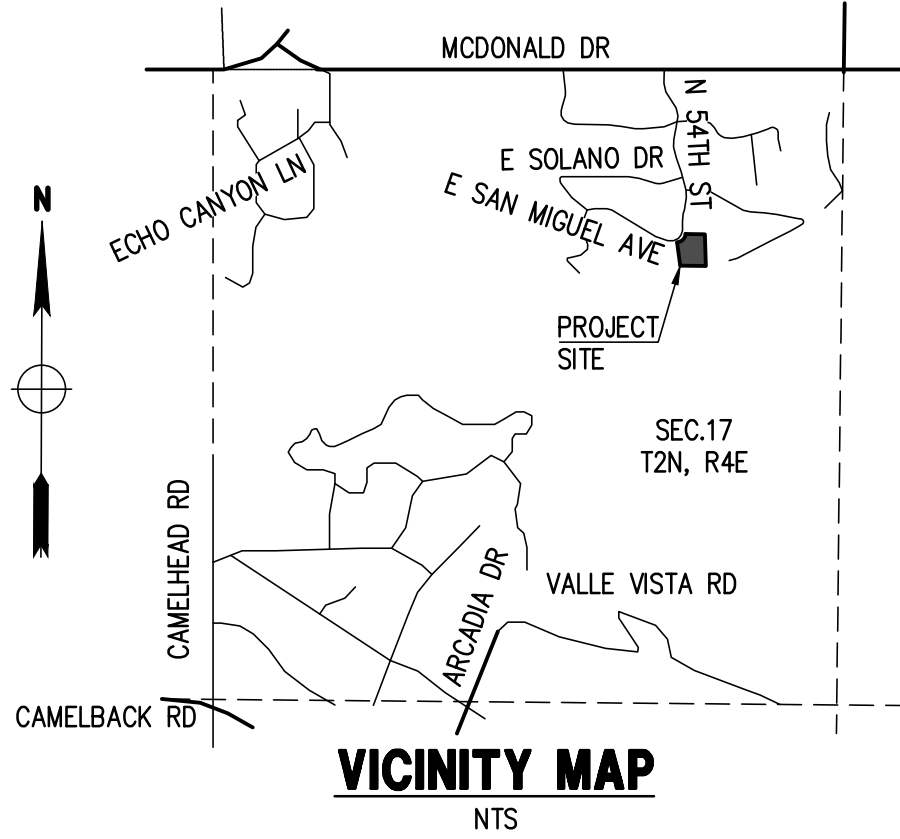
- THE PREMISES SURVEYED HAVE NO KNOWN DISCREPANCIES, BOUNDARY LINE CONFLICTS, ENCROACHMENTS, OVERLAPPING OF IMPROVEMENTS, EASEMENTS OR RIGHT-OF-WAYS EXCEPT AS SHOWN, AND HAS ACCESS TO OR FROM A DEDICATED ROADWAY.
- THIS IS AN ABOVE GROUND SURVEY. THE UNDERGROUND UTILITIES AS SHOWN ARE BASED ON INFORMATION PROVIDED BY THE VARIOUS UTILITY COMPANIES AND THESE LOCATIONS SHOULD BE CONSIDERED APPROXIMATE. THERE MAY BE ADDITIONAL UNDERGROUND UTILITIES, NOT SHOWN ON THIS DRAWING. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN HEREON ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE AT THE TIME OF THE SURVEY.
- BUILDING SETBACK LINES, ZONING, FLOOD AREA ZONES, AND ADDRESSES THAT MAY BE SHOWN ARE SUPPLIED BY THE GOVERNING AGENCY OR TAKEN FROM THE BEST AVAILABLE RECORDS. THE SURVEYOR WILL NOT ACCEPT RESPONSIBILITY FOR THE ACCURACY OF ANY INFORMATION SUPPLIED BY OTHERS.
- EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS MAP, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: EASEMENTS, OTHER THAT POSSIBLE EASEMENTS, WHICH WERE VISIBLE AT THE TIME OF MAKING THIS SURVEY; BUILDING SETBACK LINES; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS; ZONING OR OTHER LAND USE REGULATIONS, AND ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- THE DESCRIPTION OF PROPERTY BOUNDARIES AND EASEMENTS SHOWN HEREON, REPRESENT THAT INFORMATION PROVIDED ON BOOK 62 OF MAPS, PAGE 41, QUITCLAIM DEED REC. DOC. 2009-1199361 RECORDS OF MARICOPA COUNTY, ARIZONA.
- EVERY DOCUMENT OF RECORD REVIEWED AND CONSIDERED AS A PART OF THIS SURVEY IS NOTED HEREON. ONLY THE DOCUMENTS NOTED HEREON WERE SUPPLIED OR AVAILABLE TO THE SURVEYOR AT THE TIME OF THE SURVEY. THERE MAY EXIST OTHER DOCUMENTS OF RECORD, WHICH WOULD AFFECT THIS PARCEL.
- ANY INFORMATION SHOWN WHICH MAY VARY FROM THE CONTENTS OF THE REPORT(S) NOTED ABOVE, REPRESENTS INFORMATION AND MEASUREMENTS FOUND DURING THE COURSE OF THE SURVEY.
- ON-SITE PLANT INFORMATION SHOWN HEREON IS FOR REFERENCE ONLY. SURVEYOR ASSUMES NO LIABILITY FOR THE EVALUATION, SALVAGEABILITY, REMOVAL AND/RELOCATION OF ON-SITE PLANT MATERIALS.
- ALL MEASURED BEARINGS AND DISTANCES EQUAL RECORD UNLESS NOTED OTHERWISE.
- THE SURVEY MAP WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
- ANY AERIAL MAPS SHOWN ON THIS PLAN ARE FOR REFERENCE ONLY AND DO NOT NECESSARILY DEPICT THE EXACT CURRENT CONDITIONS.
- BUILDING SETBACKS FOR THIS PROPERTY ARE PER TOWN OF PARADISE VALLEY ZONING DISTRICT. OWNER OR OWNERS ARCHITECT TO VERIFY SETBACKS WITH CITY OR ANY HOA JURISDICTION.

LEGEND

- FOUND REBAR OR AS NOTED
- PROPERTY LINE
- EASEMENT LINE
- MONUMENT LINE
- SEWER CLEANOUT
- SEWER MANHOLE
- MAILBOX
- TELECOMMUNICATIONS PEDISTAL
- SEWER LINE
- COMMUNICATIONS LINE
- CATV, PHONE
- GAS LINE
- WATER LINE
- ELECTRIC LINE
- EXISTING CONTOUR
- EXIST. DRAINAGE FLOW
- EXIST. SPOT ELEVATION
- PALO VERDE

ABBREVIATIONS

- BSL BUILDING SETBACK LINE
- EG EXISTING GRADE
- EL ELEV
- EP ELEVATION
- EP EDGE OF PAVEMENT
- ESMT EASEMENT
- EX, EXIST. EXISTING
- G GUTTER, GAS
- INV INVERT
- (M) MEASURED
- MCR MARICOPA COUNTY RECORDER
- MH MANHOLE
- P, P/MT PAVEMENT
- PUE PUBLIC UTILITY EASEMENT
- (R), REC. RECORDED
- R RADIUS
- R/W RIGHT OF WAY
- T TANGENT, TELEPHONE
- TPV TOWN OF PARADISE VALLEY
- W WEST, WATERLINE
- WM WATER METER



OWNER

CLINTON MCCALLUM
PO BOX 6167,
SCOTTSDALE, AZ 85261

SITE DATA

APN: 172-47-041
ADDRESS: 5405 E SAN MIGUEL AVE.,
PARADISE VALLEY, AZ 85253
ZONING: R-43
LOT AREA: 57,377 S.F. (1.317 AC.)
QS #: 20-40

BENCHMARK

BRASS CAP FLUSH AT THE INTERSECTION OF 56TH STREET AND
MCDONALD LANE HAVING AN ELEVATION OF 1417.53, TOWN OF
PARADISE VALLEY (NAVD 88) DATUM, GDACS# 24544-1.

BASIS OF BEARINGS

THE FOUND NORTH LINE OF LOT 41, STONE CANYON, BOOK 62 OF
MAPS, PAGE 41, THE BEARING OF WHICH IS S89°49'07"E, ASSUMED.

LEGAL DESCRIPTION

LOT 41, STONE CANYON, A SUBDIVISION RECORDED IN BOOK 62
OF MAPS, PAGE 41, RECORDS OF MARICOPA COUNTY, ARIZONA.

SURVEY REFERENCES

- MARICOPA COUNTY PARCEL 825-17-01-01.
- MARICOPA COUNTY PARCEL 825-17-01-02.
- MARICOPA COUNTY PARCEL 825-17-01-03.
- MARICOPA COUNTY PARCEL 825-17-01-04.
- QUITCLAIM DEED RECORDED IN DOC. NO. 2009-1199361.
- RECORDED PLAT PER BOOK 62 OF MAPS, PAGE 41, M.C.R.
- SPECIAL WARRANTY DEED RECORDED IN DOC. NO. 1957-0098704.
- GRANT OF EASEMENT RECORDED IN DOCKET 1877, PAGE 49.
- DECLARATION OF RESTRICTION RECORDED IN DOCKET 1531, PAGE 207.

UTILITIES

WATER: EPCOR
SANITARY SEWER: CITY OF PHOENIX
ELECTRIC: APS
TELEPHONE: CENTURY LINK, COX COMMUNICATIONS
NATURAL GAS: SOUTHWEST GAS
CABLE TV: CENTURY LINK, COX COMMUNICATIONS

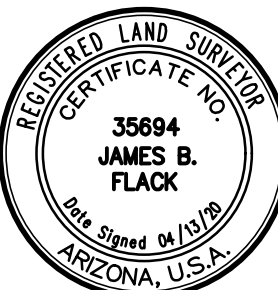
FLOOD INSURANCE RATE MAP (FIRM) DATA

COMMUNITY #	PANEL #	SUFFIX	BASE FLOOD ELEVATION
040049	1765 OF 4425	L	N/A
MAP #	PANEL DATE	FIRM INDEX DATE	ZONE
04013C	10/16/2013	11/04/2015	X*

*AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

CERTIFICATE OF SURVEY

THIS IS TO CERTIFY THAT THIS MAP AND THE SURVEY ON WHICH IT IS
BASED WERE MADE IN ACCORDANCE WITH THE CURRENT "MINIMUM
STANDARDS FOR ARIZONA BOUNDARY AND TOPOGRAPHIC SURVEYS",
AND THAT THE SURVEY SHOWN HEREON IS TRUE AND CORRECT TO
THE BEST OF MY KNOWLEDGE AND BELIEF AND WAS SURVEYED AND
DRAWN UNDER MY DIRECTION IN THE MONTH OF APRIL, 2020.



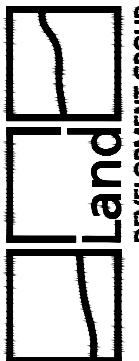
JAMES FLACK, RLS

04/13/20
DATE

BOUNDARY & TOPOGRAPHIC
SURVEY MAP

LOT 41 - STONE CANTON
5405 E SAN MIGUEL AVE.,
PARADISE VALLEY, AZ 85253

P. 602 889 1984 | F. 602 445 9482
8808 N CENTRAL AVE., SUITE 288
PHOENIX, AZ 85020
PHOENIXLANDSCAPE.COM



TOWN OF PARADISE VALLEY NOTES

1. GRADING SHALL BE IN CONFORMANCE WITH 2018 IBC.
2. PRIOR TO FIRST FOOTING INSPECTION OF ANY TYPE, ALL PROPERTY PINS SHALL BE PLACED BY A REGISTERED LAND SURVEYOR OF THE STATE OF ARIZONA, AND PROPERTY LINES MUST BE PHYSICALLY IDENTIFIED PRIOR TO INSPECTION.
3. WHERE EXCAVATION IS TO OCCUR THE TOP 4" OF EXCAVATED NATIVE SOIL SHALL REMAIN ON THE SITE AND SHALL BE REUSED IN A MANNER THAT TAKES ADVANTAGE OF THE NATURAL SOIL SEED BANK IT CONTAINS.
4. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) SPECIFICATIONS AND STANDARD DETAILS.
5. ALL EXTERIOR SITE LIGHTING SHALL COMPLY WITH REQUIREMENTS OF SECTION 2208 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES FOR FUTURE TYPE, LOCATION, HEIGHT, WATTAGE BASED UPON FIXTURES INSTALLED.
6. A DUST CONTROL PLAN MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
7. A SEPARATE PERMIT IS NECESSARY FOR ANY OFFSITE CONSTRUCTION.
8. AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
9. EAVE PROJECTIONS INTO REQUIRED SETBACKS ARE LIMITED TO A MAXIMUM OF 24" PURSUANT TO SECTION 1008 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES.
10. ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
11. ALL NEW AND EXISTING ELECTRICAL SERVICE TO BE BURIED UNDERGROUND PER THE TOWN OF PARADISE VALLEY STANDARDS.
12. POOL, SPA, BARBECUE AND ANY PROPOSED STRUCTURES OVER 8 INCHES ABOVE GRADE REQUIRE SEPARATE PERMIT APPLICATIONS.
13. POOLS SHALL BE CONSTRUCTED BY SEPARATE PERMIT AND SECURED FROM UNWANTED ACCESS PER SECTION 5-2-2 OF THE TOWN OF PARADISE VALLEY ORDINANCES.
14. A SETBACK CERTIFICATION IS REQUIRED AND MUST BE GIVEN TO TOWN INSPECTOR AT STEM WALL INSPECTION.
15. MAIL BOX TO COMPLY WITH THE TOWN OF PARADISE VALLEY STANDARDS FOR MAIL BOXES IN THE R.O.W. FOR HEIGHT, WIDTH AND BREAK AWAY FEATURES.
16. ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE. ALL LAWN AREAS ADJOINING WALKS OR SLABS WILL BE GRADED TO 2" BELOW THE TOP OF SLAB. TYPICAL FINISHED GRADE AROUND PERIMETER OF BUILDING IS MINUS 6" BELOW FINISHED FLOOR UNLESS SPECIFIED OTHERWISE.
17. ALL MATERIAL TO BE UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95% PER ASTM D698.
18. SOILS COMPACTION TEST RESULTS MUST BE SUBMITTED TO THE TOWN ENGINEER'S OFFICE FOR BUILDING PADS THAT HAVE ONE (1) FOOT OR MORE OF FILL MATERIAL INDICATED. THIS INFORMATION MUST BE SUPPLIED PRIOR TO REQUEST FOR FINAL INSPECTION.
19. TRENCH BED SHALL BE FREE OF ROCKS AND DEBRIS.
20. REGULATION II RULE 20-3 OF THE MARICOPA COUNTY HEALTH DEPARTMENT, BUREAU OF AIR POLLUTION CONTROL SHALL BE OBSERVED AND ENFORCED.
21. ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL CITY OR TOWN UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
22. THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL STATE, AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO THE CONSTRUCTION COVERED BY THIS PLAN.
23. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
24. ALL CONSTRUCTION IN THE PUBLIC RIGHTS-OF-WAY OR IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) UNIFORM STANDARD SPECIFICATIONS AND UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION.
25. THE TOWN ONLY APPROVES THE SCOPE, NOT THE DETAIL, OF ENGINEERING DESIGNS; THEREFORE, IF CONSTRUCTION QUANTITIES ARE SHOWN ON THESE PLANS, THEY ARE NOT VERIFIED BY THE TOWN.
26. THE APPROVAL OF PLANS IS VALID FOR SIX (6) MONTHS; IF AN ENCROACHMENT PERMIT FOR THE CONSTRUCTION HAS NOT BEEN ISSUED WITHIN SIX MONTHS, THE PLANS MUST BE RESUBMITTED TO THE TOWN FOR RE-APPROVAL.
27. A PUBLIC WORKS INSPECTOR WILL INSPECT ALL WORKS WITHIN THE TOWN OF PARADISE VALLEY RIGHTS-OF-WAY AND IN EASEMENTS. NOTICE INSPECTION SERVICES 24 HOURS PRIOR TO BEGINNING CONSTRUCTION BY CALLING 480- 312-5750.
28. WHENEVER EXCAVATION IS NECESSARY, CALL THE BLUE STAKE CENTER, 602-263-1100, TWO WORKING DAYS BEFORE EXCAVATION BEGINS. THE CENTER WILL SEE THAT THE LOCATION OF THE UNDERGROUND UTILITY LINES IS IDENTIFIED FOR THE PROJECT. CALL "COLLECT" IF NECESSARY.
29. ENCROACHMENT PERMITS ARE REQUIRED FOR ALL WORK IN PUBLIC RIGHTS-OF-WAY AND EASEMENTS GRANTED FOR PUBLIC PURPOSES. AN ENCROACHMENT PERMIT WILL BE ISSUED BY THE TOWN ONLY AFTER THE REGISTRANT HAS PAID A BASE FEE PLUS A FEE FOR INSPECTION SERVICES. COPIES OF ALL PERMITS MUST BE RETAINED ON-SITE AND BE AVAILABLE FOR INSPECTION AT ALL TIMES. FAILURE TO PRODUCE THE REQUIRED PERMITS WILL RESULT IN IMMEDIATE SUSPENSION OF ALL WORK UNTIL THE PROPER PERMIT DOCUMENTATION IS OBTAINED.
30. ALL EXCAVATION AND GRADING THAT IS NOT IN THE PUBLIC RIGHTS-OF-WAY OR NOT IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO CHAPTER 70, EXCAVATION AND GRADING, OF THE LATEST EDITION OF THE IBC BY THE ICC. A PERMIT FOR THIS GRADING MUST BE SECURED FROM THE TOWN FOR A FEE ESTABLISHED BY THE UNIFORM BUILDING CODE.
31. EXCAVATIONS SHALL COMPLY WITH REQUIREMENTS OF OSHA EXCAVATION STANDARDS (29 CFR, PART 1926, SUBPART P). UNDER NO CIRCUMSTANCES WILL THE CONTRACTORS BE ALLOWED TO WORK IN A TRENCH LOCATED WITHIN THE TOWN'S RIGHT-OF-WAY WITHOUT PROPER SHORING OR EXCAVATION METHODS.
32. ON DEMOLITION, GRADING, REMODELING AND NEW CONSTRUCTION PROJECTS, PERMITTEE MUST NOTIFY ADJACENT PROPERTY OWNERS REGARDING THE NATURE OF THE PROJECT, THE TIME PERIOD FOR CONSTRUCTION, AND ANY UNUSUAL ACTIVITIES THAT MAY CAUSE DISRUPTION OF THE NORMAL COURSE OF TRAFFIC DURING CONSTRUCTION.
33. ALL PERMITTEES MUST POST A 6 SQUARE FOOT (2'X3') IDENTIFICATION SIGN, MADE OF DURABLE MATERIAL, IN THE FRONT YARD OF SUBJECT PROPERTY AND NOT IN THE TOWN RIGHT-OF-WAY. THE SIGN MAY NOT EXCEED A MAXIMUM OF 6 FEET IN HEIGHT FROM GRADE TO TOP OF THE SIGN. THE SIGN MUST INCLUDE THE PERMITTEE OR COMPANY NAME, PHONE NUMBER, TYPE OF WORK, AND ADDRESS OF PROJECT.
34. WHEN DEEMED NECESSARY, A 6-FOOT HIGH CHAIN LINK FENCE MUST BE INSTALLED AROUND THE CONSTRUCTION AREA TO PREVENT ANY POTENTIAL SAFETY HAZARD FOR THE PUBLIC. THE FENCE SHALL BE SETBACK AT LEAST TO FEET FROM ALL RIGHTS-OF-WAY AND HAVE A 50-FOOT STREET CORNER SITE TRIANGLE WHERE APPLICABLE.
35. CLEAR ACCESS FOR NEIGHBORING PROPERTIES AND EMERGENCY VEHICLES MUST BE MAINTAINED AT ALL TIMES. CONSTRUCTION RELATED VEHICLES MUST BE LEGALLY PARKED ONLY ON ONE SIDE OF THE STREET OR JOB SITE PROPERTY. IF A STAGING AREA IS NEEDED ON A PROPERTY OTHER THAN THE CONSTRUCTION SITE FOR CONSTRUCTION SUPPLIES AND EQUIPMENT, THE PERMITTEE MUST OBTAIN PROPERTY OWNER AND TOWN APPROVAL FIRST AND MUST INFORM THE ADJACENT PROPERTY OWNERS OF THE LOCATION OF STAGING AREA, AND TIME AND HOURS DURING THE DAY THE AREA WILL BE USED.
36. EXCEPT AS OUTLINED IN ITEM 4, ALL CONSTRUCTION DEBRIS AND EQUIPMENT MUST BE CONTAINED ON SITE AT ALL TIMES. CONTRACTOR AND PROPERTY OWNER MUST MAINTAIN THE JOB SITE FREE OF LITTER AND UNSIGHTLY MATERIALS AT ALL TIMES. CONSTRUCTION MATERIALS ARE PROHIBITED IN THE TOWN RIGHT-OF-WAY OR NEAR ADJACENT PROPERTIES.
37. BUILDING CONSTRUCTION MUST NOT START SOONER THAN SUNRISE AND MUST STOP NO LATER THAN SUNSET. ALSO, ORDINANCE #561 IMPOSES RESTRICTIONS ON CONSTRUCTION WORK ON SATURDAYS, SUNDAYS AND MAJOR BUSINESS HOLIDAYS. HILLSIDE PROJECTS MAY HAVE ADDITIONAL RESTRICTIONS. EQUIPMENT WITH AUDIBLE REVERSE DIRECTION WARNINGS MUST NOT BE OPERATED PRIOR TO 7:00 A.M. THE USE AND OPERATION OF FUEL-FIRED GENERATORS ON ANY CONSTRUCTION SITE, NEW, EXISTING OR REMODELING, IS PROHIBITED UNLESS DUE TO A HARDSHIP TOWN APPROVAL IS OBTAINED.
38. THE CONTRACTOR AND PROPERTY OWNER WILL BE LIABLE FOR ANY DAMAGE DONE TO ANY PUBLIC PROPERTY AS A RESULT OF ANY CONSTRUCTION OR CONSTRUCTION RELATED ACTIVITIES. NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL AFFECTED RIGHTS-OF-WAY ARE CLEANED AND/OR REPAIRED TO THEIR ORIGINAL CONDITION AND UNTIL ANY AND ALL DAMAGES TO AFFECTED PROPERTIES ARE RESTORED TO ORIGINAL CONDITION, OR UNTIL SUCH TIME THAT A WRITTEN, SIGNED AND LEGALLY BINDING AGREEMENT HAS BEEN REACHED BY THE PARTIES INVOLVED TO REMEDY ANY VIOLATION WITHIN A REASONABLE TIME PERIOD, AND UNTIL ALL REQUIRED FEES ARE PAID IN FULL.
40. THE NATURAL FLOW OF RAINWATER AND OTHER SURFACE DRAINAGE FROM THE PROPERTY MAY NOT BE ALTERED IN ANY WAY.
41. A KEY SWITCH SHALL BE REQUIRED ON ALL NEW AND EXISTING ELECTRIC ENTRY CONTROL GATES. THE KEY SWITCH SHALL BE INSTALLED IN A LOCATION ON THE GATE CONTROL PANEL THAT IS READILY VISIBLE AND ACCESSIBLE. KNOX BOX ORDER FORMS ARE AVAILABLE AT THE PARADISE VALLEY BUILDING DEPARTMENT.
42. ALL EQUIPMENT OF ALL TRADES ON OR AFFECTING THE JOB MUST BE CLEANED ONLY IN A PRE-DETERMINED AND DESIGNATED AREA. DEBRIS AND RUNOFF FROM SAID AREA MAY NOT EXTEND BEYOND THE BUILDING AREA.
43. PROPERTY OWNER, BUILDER, OR GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR CONTROLLING DUST FROM THE SITE AT ALL TIMES. ALL MEANS NECESSARY SHALL BE USED BY THE BUILDER OR GENERAL CONTRACTOR TO CONTROL THE EXISTENCE OF DUST CAUSED BY ANY EARTHWORK, SPRAY APPLICATION OF MATERIALS, OR OTHER DUST-CAUSING PRACTICES REQUIRED BY THE CONSTRUCTION PROCESS.
44. AN INSPECTION FEE WILL BE CHARGED IF THE INSPECTION IS REQUIRED AS A RESULT OF A CODE VIOLATION.
45. FOR DEMOLITION INSPECTION OWNER OR PERMITTEE SHALL NOTIFY OSHA FOR ASBESTOS INSPECTION. ALL DEMOLITIONS AND ALL RENOVATION ACTIVITIES THAT WILL DISTURB FRIABLE ASBESTOS CONTAINING MATERIALS MUST BE REPORTED TO THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT.

NATIVE PLANTS

ALL NATIVE PLANTS IMPACTED BY CONSTRUCTION SHALL BE RELOCATED ON SITE. SEE LANDSCAPE PLAN AND NATIVE PLANT INVENTORY AND SALVAGE PLAN.

UTILITIES

WATER: EPCOR
SANITARY SEWER: CITY OF PHOENIX
ELECTRIC: APS
TELEPHONE: CENTURY LINK, COX COMM.
NATURAL GAS: SOUTHWEST GAS
CABLE TV: CENTURY LINK, COX COMM.

ENGINEERS NOTES

1. MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION INCLUDING LATEST REVISION AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL TOWN OR CITY) ARE INCORPORATED INTO THIS PLAN IN THEIR ENTIRETY.
2. ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL CITY OR TOWN UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
3. GRADING SHALL BE IN CONFORMANCE WITH 2018 IBC SEC. 1803 AND APPENDIX J.
4. 5% MINIMUM SLOPE AWAY FROM BUILDING FOR A MINIMUM 10' U.N.O.
5. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) SPECIFICATIONS AND STANDARD DETAILS.
6. A DUST CONTROL PLAN MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
7. A SEPARATE PERMIT IS NECESSARY FOR ANY OFFSITE CONSTRUCTION.
8. AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
9. ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTOR DITCHES, PIPES, PROTECTIVE BERMS, BARRIER WALLS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT ADJACENT BUILDINGS OR PROPERTY FROM STORM RUNOFF MUST BE COMPLETED PRIOR TO BUILDING CONSTRUCTION.
10. ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
11. ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE. ALL LAWN AREAS ADJOINING WALKS OR SLABS WILL BE GRADED TO 2" BELOW THE TOP OF SLAB. TYPICAL FINISHED GRADE AROUND PERIMETER OF BUILDING IS MINUS 6" BELOW FINISHED FLOOR UNLESS SPECIFIED OTHERWISE.
12. ALL MATERIAL TO BE UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95% PER ASTM D698.
13. THE QUANTITIES AND SITE CONDITIONS DEPICTED IN THESE PLANS ARE FOR INFORMATIONAL PURPOSES ONLY AND ARE SUBJECT TO ERROR AND OMISSION. CONTRACTORS SHALL SATISFY THEMSELVES AS TO ACTUAL QUANTITIES AND SITE CONDITIONS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
14. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
15. THE CONTRACTOR IS RESPONSIBLE FOR ALL METHODS, SEQUENCING, AND SAFETY CONCERNS ASSOCIATED WITH THIS PROJECT DURING CONSTRUCTION, UNLESS SPECIFICALLY ADDRESSED OTHERWISE IN THIS PLAN OR ELSEWHERE.
16. A REASONABLE EFFORT HAS BEEN MADE TO SHOW THE LOCATIONS OF EXISTING UNDERGROUND FACILITIES AND UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND/OR FACILITIES CAUSED DURING THEIR CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL CALL 48 HOURS IN ADVANCE FOR BLUE STAKE (1-800-STAKE-IT) PRIOR TO ANY EXCAVATION.
17. THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION OF CONSTRUCTION AFFECTING UTILITIES AND THE COORDINATION OF ANY NECESSARY UTILITY RELOCATION WORK.
18. ALL PAVING, GRADING, EXCAVATION, TRENCHING, PIPE BEDDING, CUT, FILL AND BACKFILL SHALL COMPLY WITH THE RECOMMENDATIONS SET FORTH IN THE SOILS (GEOTECHNICAL) REPORT FOR THIS PROJECT IN ADDITION TO THE REFERENCED REQUIRED SPECIFICATIONS AND DETAILS.
19. THE CONTRACTOR IS TO VERIFY THE LOCATION AND THE ELEVATIONS OF ALL EXISTING UTILITIES AT POINTS OF TIE-IN PRIOR TO COMMENCING ANY NEW CONSTRUCTION. SHOULD ANY LOCATION OR ELEVATION DIFFER FROM THAT SHOWN ON THESE PLANS, THE CONTRACTOR SHALL CONTACT THE OWNER'S AGENT.
20. CONTRACTOR TO VERIFY AND COORDINATE ALL DIMENSIONS AND SITE LAYOUT WITH ARCHITECTURE'S FINAL SITE PLAN AND FINAL BUILDING DIMENSIONS BEFORE STARTING WORK. REPORT DISCREPANCIES TO OWNER'S AGENT.
21. COORDINATION BETWEEN ALL PARTIES IS ESSENTIAL PART OF CONTRACT.
22. CONTRACTOR IS RESPONSIBLE FOR PROJECT AND SITE CONDITIONS, AND TO WORK WITH WEATHER CONDITIONS AS THE PROJECT SITE MAY BE LOCATED IN A FLOOD PRONE AREA AND SUBJECT TO FLOODING AND ITS HAZARDS.
23. THE CONTRACTOR IS TO VERIFY THE LOCATION, ELEVATION, CONDITION, AND PAVEMENT CROSS-SLOPE OF ALL EXISTING SURFACES AT POINTS OF TIE-IN AND MATCHING, PRIOR TO COMMENCEMENT OF GRADING, PAVING, CURB AND GUTTER, OR OTHER SURFACE CONSTRUCTION. SHOULD EXISTING LOCATIONS, ELEVATIONS, CONDITION, OR PAVEMENT CROSS-SLOPE DIFFER FROM THAT SHOWN ON THESE PLANS, RESULTING IN THE DESIGN INTENT REFLECTED ON THESE PLANS NOT ABLE TO BE CONSTRUCTED, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AGENT IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ALL COSTS ASSOCIATED WITH CORRECTIVE ACTION IF THESE PROCEDURES ARE NOT FOLLOWED.
24. CONTRACTOR IS RESPONSIBLE TO COORDINATE UTILITY CROSSINGS AT CULVERT CROSSINGS BEFORE STARTING WORK ON CULVERT. COORDINATE WITH OWNER REPRESENTATIVE. VERIFY UTILITY LINES AND/OR CONDUITS ARE IN PLACE BEFORE STARTING CULVERT WORK.
25. ALL ON-SITE UTILITIES PER OTHERS.
26. THIS PROJECT REQUIRES A REGULAR ONGOING MAINTENANCE PROGRAM FOR THE DESIGNED DRAINAGE SYSTEM(S) TO PRESERVE THE DESIGN INTEGRITY AND THE ABILITY TO PERFORM ITS OPERATIONAL INTENT. FAILURE TO PROVIDE MAINTENANCE WILL JEOPARDIZE THE DRAINAGE SYSTEM(S) PERFORMANCE AND MAY LEAD TO ITS INABILITY TO PERFORM PROPERLY AND/OR CAUSE DAMAGE ELSEWHERE IN THE PROJECT.
27. IF A DISCREPANCY IS FOUND BETWEEN ENGINEER'S PLAN OR SURVEYOR'S STAKING AND THE ARCHITECTURAL PLAN, ENGINEER SHALL BE NOTIFIED IMMEDIATELY. FAILURE TO NOTIFY ENGINEER SHALL NEGATE ENGINEER'S LIABILITY.
28. ALL DISTURBED AREAS ARE TO BE ROPED AND ROPING MUST MATCH PLAN.
29. VEGETATION OUTSIDE OF CONSTRUCTION AREA TO REMAIN.
30. AREAS OUTSIDE THE WALL AND CUT AND FILL SLOPES SHALL BE REVEGETATED WITH SIMILAR PLANT TYPES AND DENSITIES FOUND ON THE SITE. REVEGETATION SHALL BE COMPLETED PRIOR TO OCCUPANCY AND THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
31. MECHANICAL EQUIPMENT SHALL BE SCREENED TO A MINIMUM OF ONE FOOT ABOVE TOP OF EQUIPMENT.
32. ANY FUTURE IMPROVEMENTS SHOWN HEREON SHALL REQUIRE A SEPARATE PERMIT.
33. ANY POINTS OF DRAINAGE CONSTRUCTION SHOULD BE PROTECTED AGAINST EROSION WITH NATIVE STONE.
34. THIS PLAN IS DESIGNED TO SHOW SITE GRADING AND DRAINAGE CONTRACTOR SHALL USE THE ARCHITECTURAL SITE PLAN TO DETERMINE FINAL HOUSE, WALL, STEP, ETC., LOCATIONS AND ELEVATIONS.
35. ALL DRAINAGE FACILITIES TO BE MAINTAINED BY HOMEOWNER.
36. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR SITE AND RETAINING WALLS LAYOUT, DIMENSIONS, AND DETAILS. TOP OF FOOTING ELEVATIONS SHOWN IN PLAN ARE APPROXIMATE ONLY. ACTUAL TOP OF FOOTINGS TO BE DETERMINED AT TIME OF CONSTRUCTION AND TO BE A MINIMUM OF SIX INCHES BELOW EXISTING NATURAL GRADE OR FINISHED GRADE WHICHEVER IS LOWER (TYPICAL).
37. REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT, DIMENSIONS AND ELEVATIONS.
38. REFER TO STRUCTURAL DRAWINGS, DETAILS AND CALCULATIONS FOR ALL PROPOSED RETAINING WALLS.
39. FOR CHANGE IN ELEVATION THAT ARE GREATER THAN 30", PROVIDE 36" HIGH GUARDRAILS FOR TOTAL OF 42" FALL PROTECTION BARRIER U.N.O.
40. CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE - 5% MIN SLOPE FOR TOTAL 10 FEET, U.N.O.
41. ALL WATER AND SEWER LINES AND CONNECTIONS MUST BE INSTALLED PER IPC 2018, MAG AND TOWN OF PARADISE VALLEY SUPPLEMENT TO MAG.
42. WATERPROOF ALL EXTERIOR WALLS 18" ABOVE FINISH GRADE-(BITUTHENE® 3000 HC MEMBRANE W/ GRACE PROTECTION 03 OR APPROVED EQUAL).
43. ALL PIPES AND FITTINGS SHALL BE INSTALLED PER MANUFACTURE'S SPECIFICATIONS AND DETAILS.
44. ABANDONMENT OF EXISTING AND INSTALLATION OF NEW SEPTIC SYSTEMS SHALL BE PERFORMED IN ACCORDANCE WITH THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT RULES AND STANDARDS, AND WILL REQUIRE SEPARATE PERMIT.
45. COORDINATE RIPRAP COLOR WITH LANDSCAPE PLANS AND DETAILS.
46. VERIFY AND COORDINATE WITH LANDSCAPE PLANS FINAL LOCATION AND GRATE TYPE OF SPECIFIED AREA DRAINS AND TRENCH DRAINS.
47. VERIFY AND COORDINATE WITH ARCHITECTURAL AND LANDSCAPE PLANS LOCATION AND HEIGHT OF ALL SITE WALLS.
48. DISTURBED AREA: TOTAL ACRES = 0.52 ACRES < 1 ACRE; NPDES PERMIT IS NOT REQUIRED.
49. REFER TO ARCHITECTURAL PLANS AND DETAILS FOR DEMOLITION AND REMOVAL OF ANY EXISTING BUILDING STRUCTURES, SITE WALLS, POOL AND PAVEMENT ETC.
50. REFER TO GEOTECHNICAL REPORT FOR SPECIFIC RECOMMENDATIONS AND MAXIMUM ALLOWED FILL AND CUT SLOPES. STABILITY OF EXISTING ROCK PINNING AND NET SHALL BE INSPECTED AND APPROVED BY GEOTECHNICAL ENGINEER.

UTILITIES NOTES

HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THE PLAN ARE APPROXIMATE ONLY AND WILL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO START OF CONSTRUCTION WORK. CALL BLUE STAKE ® (602) 263-1100.

FIRE SPRINKLER SYSTEM

FIRE SPRINKLER SYSTEM TO BE INSTALLED PER THE REQUIREMENTS OF THE TOWN OF PARADISE VALLEY AND IN ACCORDANCE WITH I.B.C. SECT. 904.2.2 AMD. AND I.F.C. SECT. 1003.2.1 AMD.

PRELIMINARY GRADING & DRAINAGE PLAN
MCDADE RESIDENCE
5405 E SAN MIGUEL AVE, PARADISE VALLEY, AZ 85253
LOT 41 - STONE CANYON

A SUBDIVISION PLAT RECORDED IN BOOK 62 OF MAPS, PAGE 41, MCR.,
LOCATED IN A PORTION OF THE N 1/2 OF THE S 1/2 OF THE NE 1/4 OF SECTION 17, T.2N, R.4E
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

LEGEND

- FOUND REBAR OR AS NOTED
- — — — — PROPERTY LINE
- — — — — EASEMENT LINE
- — — — — MONUMENT LINE
- ⊙ SEWER CLEANOUT
- ⊙ SEWER MANHOLE
- ✉ MAILBOX
- TELECOMMUNICATIONS PEDISTAL
- SEWER LINE
- COMMUNICATIONS LINE
- CATV, PHONE
- GAS LINE
- WATER LINE
- ELECTRIC LINE
- EXISTING CONTOUR
- EXIST. DRAINAGE FLOW
- EXIST. SPOT ELEVATION
- PALO VERDE
- EXISTING DISTURBED AREA
- PROPOSED DISTURBED AREA
- DRAINAGE FLOW ARROW
- PROPOSED SPOT ELEVATION
- PROPOSED CONTOUR
- TP: XX.XX
TW:XX.XX
TRW:XX.XX
FG:XX.XX
(BW:XX.XX)
TF:XX.XX
- STORM DRAIN PIPE
- RETAINING WALL/AGAINST BUILDING
- EXTENDED BUILDING STEM WALL

ABBREVIATIONS

- BSL BUILDING SETBACK LINE
- EG EXISTING GRADE
- EL, ELEV ELEVATION
- EP EDGE OF PAVEMENT
- ESMT EASEMENT
- EX, EXIST. EXISTING
- G GUTTER, GAS
- INV INVERT
- (M) MEASURED
- MCR MARICOPA COUNTY RECORDER
- MH MANHOLE
- P, PWT PAVEMENT
- PUE PUBLIC UTILITY EASEMENT
- (R), REC. RECORDED
- R RADIUS
- R/W RIGHT OF WAY
- TPV TANGENT, TELEPHONE
- T TOWN OF PARADISE VALLEY
- W WEST, WATERLINE
- WM WATER METER

DRAINAGE STATEMENT

1. ULTIMATE STORM OUTFALL IS LOCATED NEAR THE MIDDLE OF NORTHWESTERLY PROPERTY CURVE AT ELEVATION OF 1497.68.
2. PROPOSED DEVELOPMENT DOES NOT IMPACT DRAINAGE CONDITIONS OF ADJOINING LOTS.
3. EXISTING DRAINAGE PATTERNS ARE PRESERVED.
4. THE MINIMUM FINISH FLOOR ELEVATIONS SHOWN ARE SAFE FROM INUNDATION DURING A 100-YEAR PEAK RUN-OFF EVENT IF CONSTRUCTED PER THE APPROVED CIVIL PLANS.
5. PROPOSED STORM DRAIN SYSTEM SHALL BE INSPECTED AND CLEANED FROM DEBRIS AND SILT AFTER EVERY MAJOR STORM EVENT.
6. RIPRAP AND BOULDERS ARE SPECIFIED AT ALL POINTS OF DISCHARGE TO MITIGATE EROSION AND TO CONVERT CONCENTRATED FLOWS BACK TO SHEET FLOWS.
7. ON-SITE RETENTION IS PROPOSED FOR THE 100-YEAR STORM EVENT FOR PRE VS POST DEVELOPMENT CONDITIONS. THE RUNOFF GENERATED IS BY THE ROOF, HARDCAPE AND AUTO-COURT AREA.

PROJECT DESCRIPTION

NEW SINGLE FAMILY RESIDENCE, POOL, RETAINING WALLS AND NEW SITE IMPROVEMENTS WITH ON-SITE RETENTION.

DISTURBED AREA CALCULATIONS

AREA OF LOT:	57,377 S.F. (1,317 AC.)
TOTAL FLOOR AREA:	13,349 S.F.
FLOOR AREA RATIO:	23.27% < 25%
(TOTAL FLOOR AREA/AREA OF LOT)	
BUILDING PAD SLOPE:	26.53%
VERTICAL:	39'
HORIZONTAL:	147'
ALLOWABLE NET DISTURBED AREA:	6,748 S.F. (11.76%)
GROSS EXISTING DISTURBED AREA:	22,003 S.F.
GROSS PROPOSED DISTURBED AREA:	22,579 S.F.
LESS TEMPORARY AREAS OF DISTURBANCE	
TO BE RESTORED AND REVEGETATED:	2,468 S.F.
LESS 50% OF NEW DRIVEWAY:	0.5*1,183=592 S.F.
LESS BUILDING FOOTPRINT AREA:	6,936 S.F.
PROPOSED NET DISTURBED AREA:	12,583 S.F.
ALLOWED SLOPES STEEPER	
THAN NATURAL GRADE (5% MAX.):	2,869 S.F. (5%)
PROPOSED SLOPES STEEPER	
THAN NATURAL GRADE:	1,812 S.F. (3.2%)
VOLUME OF CUT:	3,555 C.Y.
VOLUME OF FILL:	50 C.Y.
TOTAL CUT & FILL:	3,605 C.Y.
HILLSIDE ASSURANCE =	35 TIMES THE GRADING PERMIT FEE. = \$121,345
GRADING PERMIT FEE:	\$3,467 (\$142 FIRST 100 CY / \$95 EA. ADDITIONAL 100 CY).
ALL QUANTITIES LISTED ON THESE PLANS ARE ESTIMATES ONLY. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF THE QUANTITIES AND BASE THEIR BIDS ON THEIR ESTIMATES.	

BENCHMARK

BRASS CAP FLUSH AT THE INTERSECTION OF 56TH STREET AND MCDONALD LANE HAVING AN ELEVATION OF 1417.53, TOWN OF PARADISE VALLEY (NAVD 88) DATUM, GDACS# 24544-1.

BASIS OF BEARINGS

THE FOUND NORTH LINE OF LOT 41, STONE CANYON, BOOK 62 OF MAPS, PAGE 41, THE BEARING OF WHICH IS S89°49'07"E, ASSUMED.

FLOOD INSURANCE RATE MAP (FIRM) DATA

COMMUNITY #	PANEL #	SUFFIX	BASE FLOOD ELEVATION
040049	1765 OF 4425	L	
MAP #	PANEL DATE	FIRM INDEX DATE	ZONE
04013C	10/16/2013	11/04/2015	X*

*AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

AS-BUILT CERTIFICATION

I HEREBY CERTIFY THAT THE "RECORD DRAWING" MEASUREMENTS AS SHOWN HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

REGISTERED ENGINEER/ LAND SURVEYOR DATE

REGISTRATION NUMBER

GEOTECHNICAL ENGINEER

VANN ENGINEERING, INC
9013 N 24TH AVE., SUITE 7
PHOENIX, AZ 85021
P: 302-943-6997

EARTHWORK QUANTITIES

CUT: 3,522 C.Y.
POUT FROM PIPES: 33 C.Y.
FILL: 50 C.Y.
NET CUT: 3,505 C.Y.

ALL QUANTITIES LISTED ON THESE PLANS ARE ESTIMATES ONLY. NO SHRINK OR SWELL IS ASSUMED. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF THE QUANTITIES AND BASE THEIR BIDS ON THEIR ESTIMATES.

LEGAL DESCRIPTION

LOT 41, STONE CANYON, A SUBDIVISION RECORDED IN BOOK 62 OF MAPS, PAGE 41, RECORDS OF MARICOPA COUNTY, ARIZONA.

GRADING SPECIFICATIONS

1. EXCAVATION AND GRADING OF THIS SITE IS CLASSIFIED AS "ENGINEERED GRADING" PER 2018 I.B.C. AND WILL BE PERFORMED ACCORDINGLY.
2. THE CONTRACTOR WILL RETAIN A SOILS ENGINEER DURING CONSTRUCTION TO INSPECT PROGRESS OF CONSTRUCTION, CONCERNING PREPARATION OF GROUND TO RECEIVE FILLS, TESTING AND REQUIRED COMPACTION STABILITY OF ALL FINISH SLOPES INCLUDING CUT SLOPES.
3. COMPACTION SHALL COMPLY WITH M.A.G. SECTION 601 AND PROVISIONS AS SET FORTH IN THE SOILS REPORT.
4. BEARING MATERIALS FOR FILL UNDER RESIDENCE PAD IF NATIVE MATERIAL IS USED. LARGE ROCK FRAGMENTS MUST BE REMOVED THAT ARE IN EXCESS OF SIX INCHES. REMAINING MATERIAL MUST BE SMALLER PARTICLES OF SAND AND ROCK THAT CAN BE COMPACTED INTO A DENSE CONDITION.
5. CUT-SLOPES: MAXIMUM ROCK CUT SLOPE TO BE 1.0 FEET HORIZONTAL TO 3.0 FEET VERTICAL PER GEOTECHNICAL STUDY.
6. FILL SLOPES: MAXIMUM FILL SLOPE TO BE 2.0 FEET HORIZONTAL TO 1.0 FEET VERTICAL.
7. COMPACTION FILL MATERIAL MUST BE PLACED ON LEVELED BENCHES CUT INTO UNDISTURBED EXISTING HILLSIDE. PLACE FILL IN HORIZONTAL LIFTS OF THICKNESS COMPATIBLE WITH THE COMPACTION EQUIPMENT USED. COMPACT TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM A.S.T.M. DENSITY AT THE OPTIMUM MOISTURE CONTENT OF ± TWO PERCENT. THIS PERTAINS TO ALL ENGINEERED STRUCTURAL FILL SUPPORTING STRUCTURES AND INCLUDING FILL UNDER ANY OF THE RETAINING WALLS. COMPACTION TEST RESULTS SHALL BE SUBMITTED TO THE SOILS ENGINEER AND TOWN OF PARADISE VALLEY BUILDING AND SAFETY DEPARTMENT.
8. ANY RETAINING WALLS ADJACENT TO THE PROPERTY LINES WILL BE UNDER THE SCOPE OF SPECIAL INSPECTION BY THE SOILS ENGINEER. THE DEVELOPER SHALL NOTIFY THE ADJOINING PROPERTY OWNERS IN WRITING, TEN DAYS PRIOR TO START OF CONSTRUCTION ON THESE WALLS PER SECTION 2903-B OF IBC. THE DEVELOPER WILL HAVE TO PROVIDE MEANS OF PROTECTION OF ADJACENT PROPERTY WHILE THIS WORK IS UNDER CONSTRUCTION.
9. ALL EXPOSED CUT AND FILL SHALL BE TREATED WITH AN APPROVED AGING AGENT TO MINIMIZE TO VISUAL CONTINUITY.

TOWN OF PARADISE VALLEY HILLSIDE NOTES

- A. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL ALL HILLSIDE STIPULATIONS AND ALL TOWN CODE REQUIREMENTS ARE COMPLETED INCLUDING, BUT NOT LIMITED TO LANDSCAPING, GROUND RESTORATION, FIRE FLOW, FIRE SAFETY, AND ALL ONSITE AND OFFSITE IMPROVEMENTS.
- B. ALL OUTDOOR LIGHTING SHALL BE IN CONFORMANCE WITH ARTICLE XXII OF THE TOWN ZONING ORDINANCE.
- C. ALL EXCESS FILL MATERIAL SHALL BE REMOVED FROM THE SITE WITH NO NEW SPILL SLOPES.
- D. THE USE OF HYDROLOGIC RAM HAMMERS, OR OTHER HEAVY EQUIPMENT USED TO CUT THROUGH ROCK, INCLUDING MACHINERY WITH AUDIBLE BACK UP WARNING DEVICES SHALL BE LIMITED TO USE BETWEEN THE HOURS OF 7:00AM OR SUNRISE, WHICHEVER IS LATER, AND 6:00PM OR SUNSET, WHICHEVER IS EARLIER, MONDAY THROUGH FRIDAY, WITH LIMITED WORK ON SATURDAY AND NO WORK ON SUNDAY OR LEGAL HOLIDAYS. RAM HAMMERS AND OTHER HEAVY EQUIPMENT CANNOT BE USED ON SATURDAYS WITHOUT A WAIVER FROM THE TOWN MANAGER.
- E. CONSTRUCTION STAKING AND/OR FENCING SHALL BE PLACES AROUND THE CONSTRUCTION SITE SO AS TO PROTECT THE UNDISTURBED NATURAL AREA.
- F. ALL RETAINING WALLS SHALL NOT EXTEND MORE THAN 6 INCHES ABOVE THE MATERIAL THEY RETAIN (WITH EXCEPTION OF DRIVEWAY RETAINING WALLS IN ACCORDANCE WITH 2207.VI.6).

FINISH FLOOR CERTIFICATION

I HEREBY CERTIFY THAT THE FINISHED FLOOR ELEVATION OF THE PROPOSED NEW OFFICE SHOWN ON THE PLAN OF 1513.00 IS MINIMUM OF 12" ABOVE THE 100-YEAR STORM ELEVATION OF 1512.00 ACCORDING TO THE TOWN OF PARADISE VALLEY CODE OF ORDINANCE.

Nick Padanilam

REGISTERED CIVIL ENGINEER

08/21/20

DATE:

APPROVAL

THIS SET OF PLANS HAS BEEN REVIEWED FOR COMPLIANCE WITH TOWN OF PARADISE VALLEY REQUIREMENTS PRIOR TO ISSUANCE OF PERMIT. THE TOWN NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. THIS COMPLIANCE APPROVAL SHALL NOT PREVENT THE TOWN ENGINEER FROM REQUIRING CORRECTIONS OF ERRORS OR OMISSIONS IN THE PLANS TO BE FOUND IN VIOLATION OF LAWS OR ORDINANCES.

TOWN ENGINEER
TOWN OF PARADISE VALLEY

DATE

OWNER

JRM 5405 LLC
P.O. BOX 26566
SCOTTSDALE, AZ 85252

SITE DATA

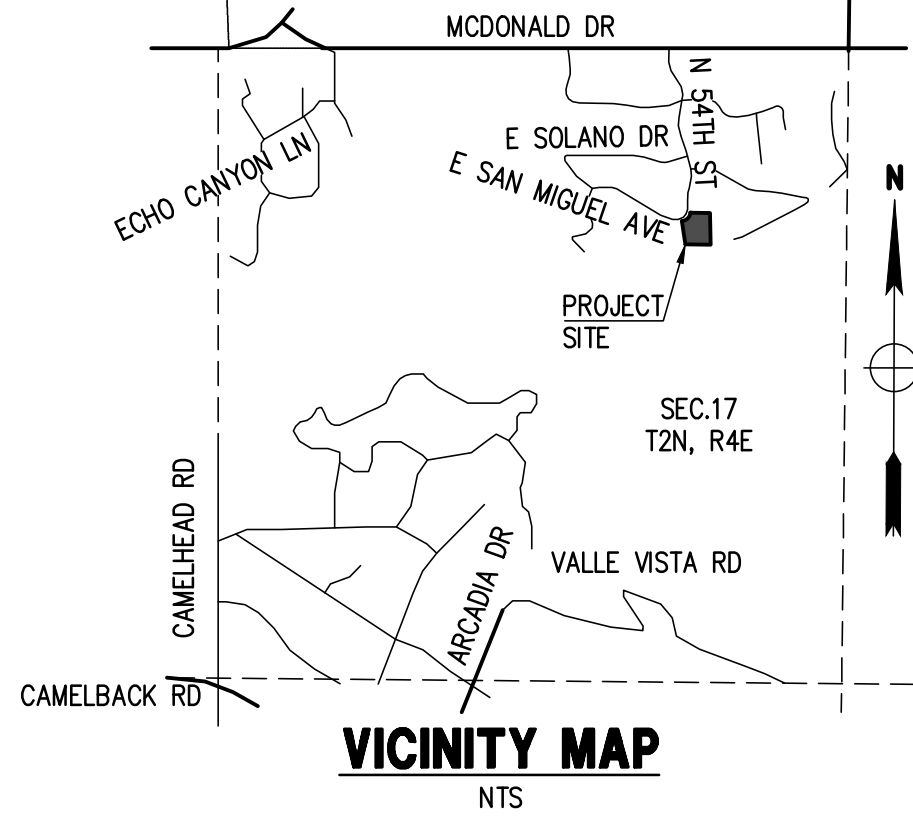
APN: 172-47-041
ADDRESS: 5405 E SAN MIGUEL AVE.,
PARADISE VALLEY, AZ 85253
R-43
ZONING: LOT AREA: 57,377 S.F. (1,317 AC.)
QS #: 20-40
TOTAL AREA UNDER ROOF: 13,349 S.F.
FLOOR AREA RATIO: 23.27% < 25%

ARCHITECT

AJ DESIGN STUDIO
P.O. BOX 80311
PHOENIX, AZ 85060
P: 480-990-0303
F: 602-954-6328

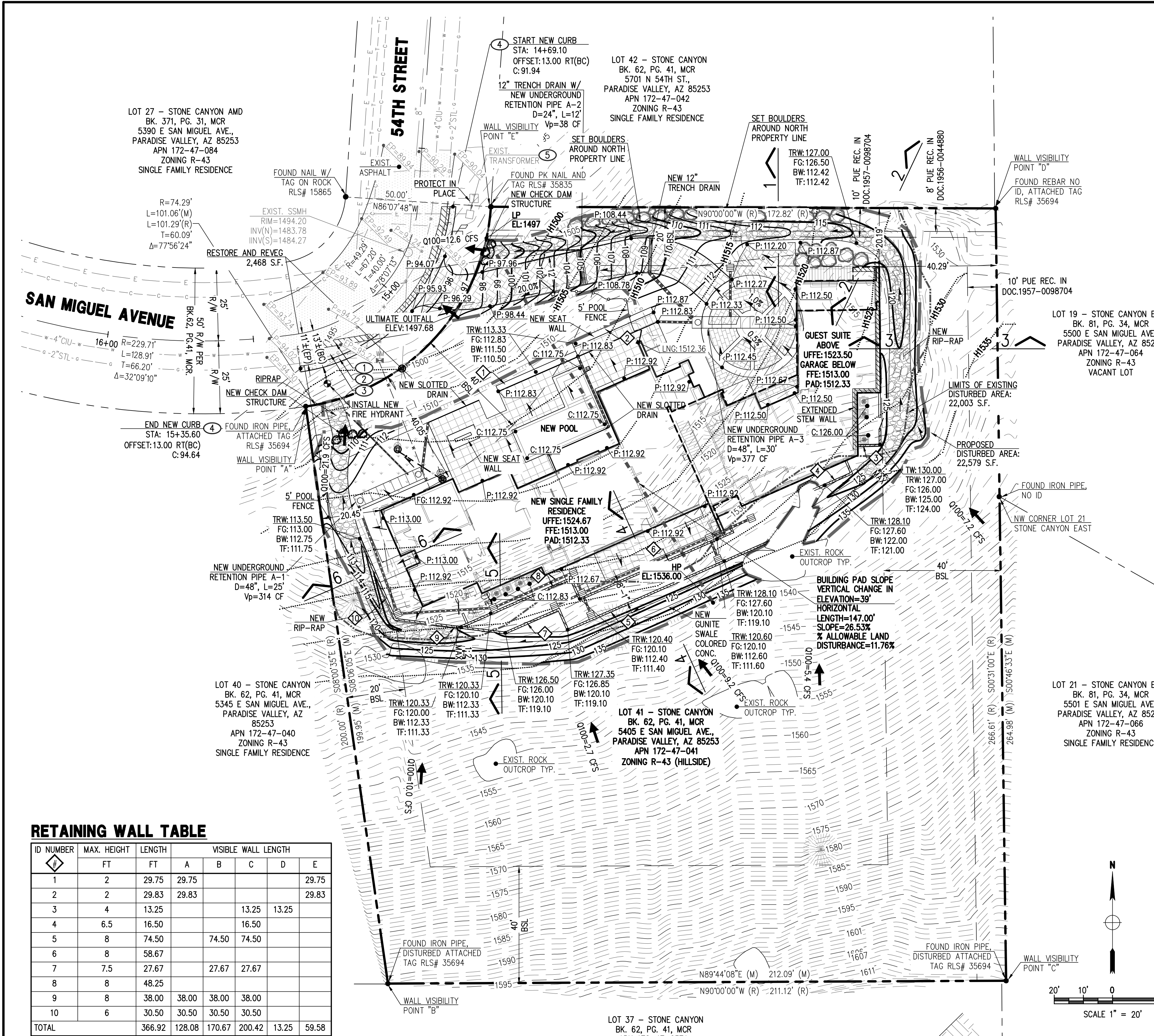
CIVIL ENGINEER

LAND DEVELOPMENT GROUP
8808 N CENTRAL AVE, SUITE 288
PHOENIX, AZ 85020
P: 602-889-1984
CONTACT: NICK PRODANOV, PE



DATE:	08/21/20	SCALE:	N.T.S.	DESIGNED BY:	NP	DRAWN BY:	ZA	CHECKED BY:	JJ
JOB:	2004080	DATE:		REVISIONS:					
VERSION:	2.3								
PLOT DATE:	08/21/20								

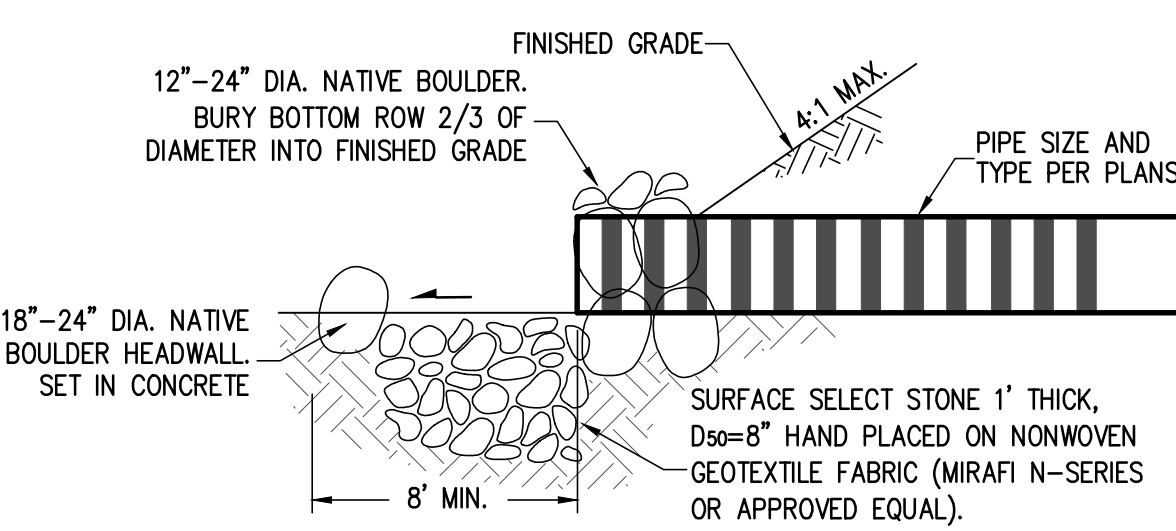
PRELIMINARY
GRADING & DRAINAGE PLAN



RETAINING WALL TABLE

ID NUMBER	MAX. HEIGHT FT	LENGTH FT	VISIBLE WALL LENGTH					
			A	B	C	D	E	
1	2	29.75	29.75					29.75
2	2	29.83	29.83					29.83
3	4	13.25			13.25	13.25		
4	6.5	16.50			16.50			
5	8	74.50		74.50	74.50			
6	8	58.67						
7	7.5	27.67		27.67	27.67			
8	8	48.25						
9	8	38.00	38.00	38.00	38.00			
10	6	30.50	30.50	30.50	30.50			
TOTAL		366.92	128.08	170.67	200.42	13.25	59.58	

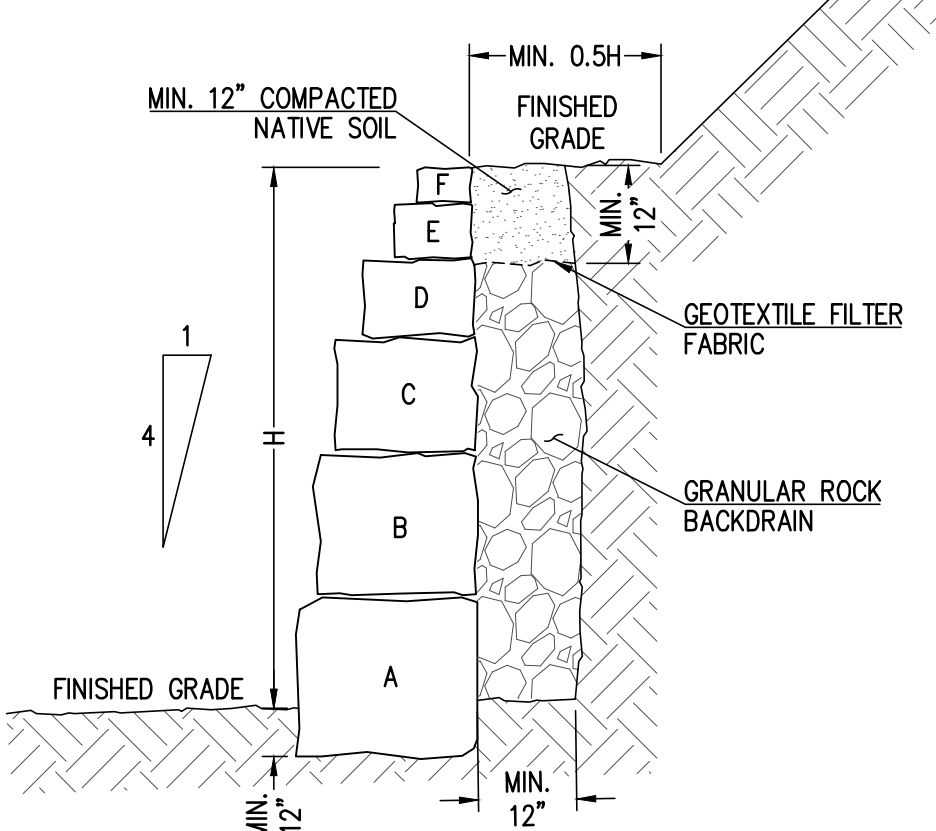
FOR LOCATIONS IDENTIFIED WITH KEYNOTE. MAXIMUM LENGTH OF RETAINING WALLS VISIBLE FROM ANY POINT ON THE PROPERTY LINE = 157.5' < 300'. ALL WALL LENGTHS LISTED ABOVE ARE FOR PERMITTING PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ACCURACY OF WALL QUANTITIES AS SHOWN. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS AND DETAILS FOR WALL CONSTRUCTION, HEIGHT AND FINISH.



DETAIL 3 - PIPE OUTLET DETAIL
N.T.S.

OFFSITE PAVING KEY-NOTES

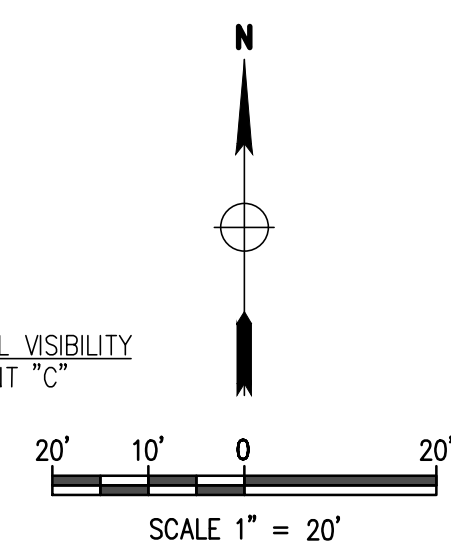
- SAWCUT & REMOVE 2' MIN. A.C. PAVEMENT IN KIND TO PROVIDE A CLEAN STRAIGHT EDGE. (20 S.Y.)
- CONSTRUCT 2' WIDE RIBBON CURB PER MAG STD DET 220-1, TYPE B. (82 L.F.)
- CONSTRUCT 2" A.C. PAVEMENT OVER 6" A.B.C. OR MATCH EXISTING STREET SECTION, WHICHEVER IS GREATER PER MAG STANDARD SPECIFICATIONS. (29 S.Y.)
- MATCH EXISTING GRADE. (PAVEMENT GRADE OR CONTINUED SLOPE OF EXIST. ROADWAY.)
- EXISTING TRANSFORMER TO BE RELOCATED 4' BEHIND NEW CURB.



RETAINING BOULDER DETAIL
N.T.S.

ROCK SIZE		ROCK WEIGHT (POUNDS)		AVERAGE DIMENSIONS (FT.)	
1	50 TO 200			0.7 TO 1.1	
2	200 TO 650			1.1 TO 1.6	
3	650 TO 1950			1.6 TO 2.3	
4	1950 TO 3900			2.3 TO 2.9	
5	3900 TO 5850			2.9 TO 3.3	

ROCK SIZE DESIGNATION						
WALL HEIGHT H (FT.)	A	B	C	D	E	F
3	3	2	-	-	-	-
6	4	3	2	-	-	-
8	5	4	3	2	-	-

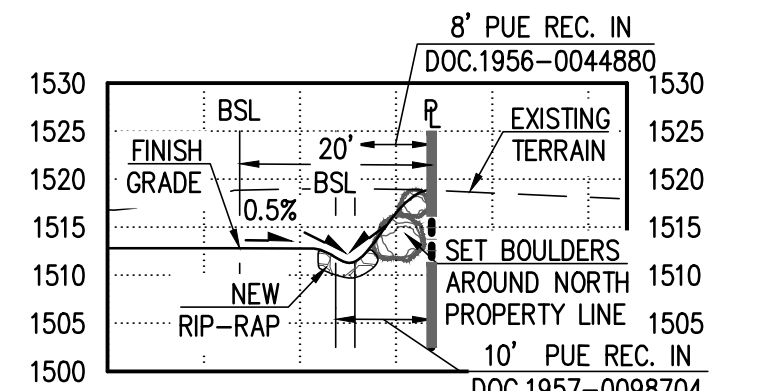


ON-SITE RETENTION FOR THE PRE VS. POST DEVELOPMENT RUNOFF FROM 100-YEAR, 2-HOUR STORM EVENT									
$V = D \times A \times (C_w \text{ post} - C_w \text{ pre}) / 12$ D - RAINFALL DEPTH = 2.22" A - TRIBUTARY AREA, SF C_w - WEIGHTED RUNOFF COEFFICIENT									
$V_f = (D \times A \times C_w \text{ post}) / 12$ D_f - RAINFALL DEPTH = 0.5" FIRST FLUSH A - TRIBUTARY AREA, SF C_w - WEIGHTED RUNOFF COEFFICIENT									
DRAINAGE AREA	AREA S.F.	RUNOFF COEFFICIENT C _w	VOLUME REQUIRED PRE VS POST C.F.	VOLUME REQUIRED FIRST FLUSH C.F.	UNDERGROUND PIPE ID	STORM WATER RETENTION METHOD	PIPE LENGTH L.F.	DIAMETER FT.	VOLUME PROVIDED C.F.
A	17,397*	0.18	579	616	A1	UNDERGROUND HDPE PIPE	L=25'	D=48"	314
					A2	UNDERGROUND HDPE PIPE	L=12'	D=24"	38
					A3	UNDERGROUND HDPE PIPE	L=30'	D=48"	377
TOTAL			579	616					729

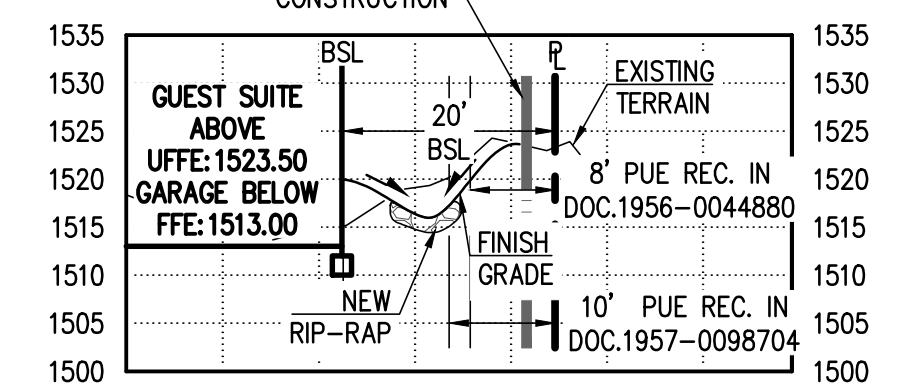
WEIGHTED RUNOFF COEFFICIENT, C _w PRE- DEVELOPMENT			
SURFACE TYPE	RUNOFF COEFFICIENT C	AREA SF	C*AREA
PAVEMENT & ROOF	0.95	0	0
NATIVE HILLSIDE	0.70	17,397	12,178
TOTAL		17,397	12,178
$C_w = C * \text{AREA} / \text{TOTAL AREA}$			
			0.70

WEIGHTED RUNOFF COEFFICIENT, C _w POST- DEVELOPMENT			
SURFACE TYPE	RUNOFF COEFFICIENT C	AREA SF	C*AREA
PAVEMENT & ROOF	0.95	12,794	12,154
NATIVE HILLSIDE	0.70	4,602	3,222
TOTAL		17,397	15,376
$C_w = C * \text{AREA} / \text{TOTAL AREA}$			
			0.88

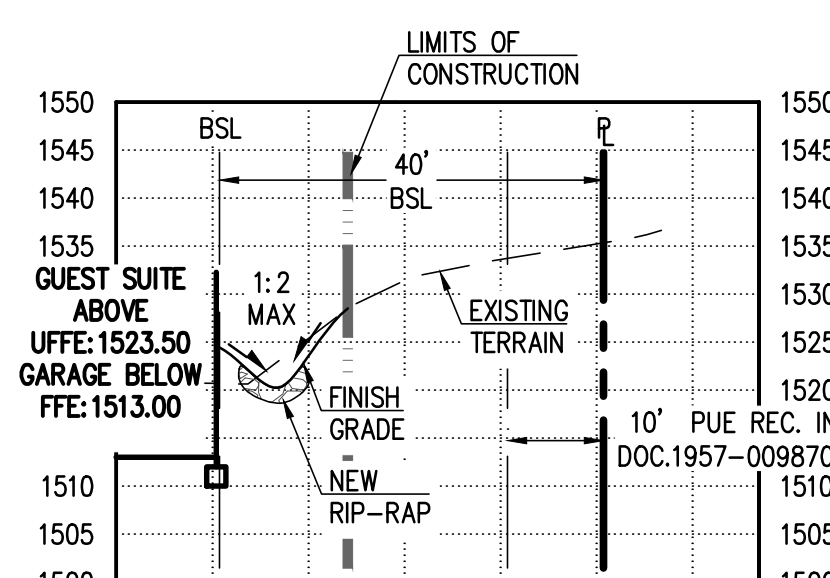
*AREAS THAT CARRY OFFSITE FLOWS ARE EXCLUDED FROM THE ONSITE RETENTION. DRAINAGE EASEMENTS WILL BE DEDICATED IN ACCORDANCE WITH THE TOWN'S STORMWATER DESIGN MANUAL.



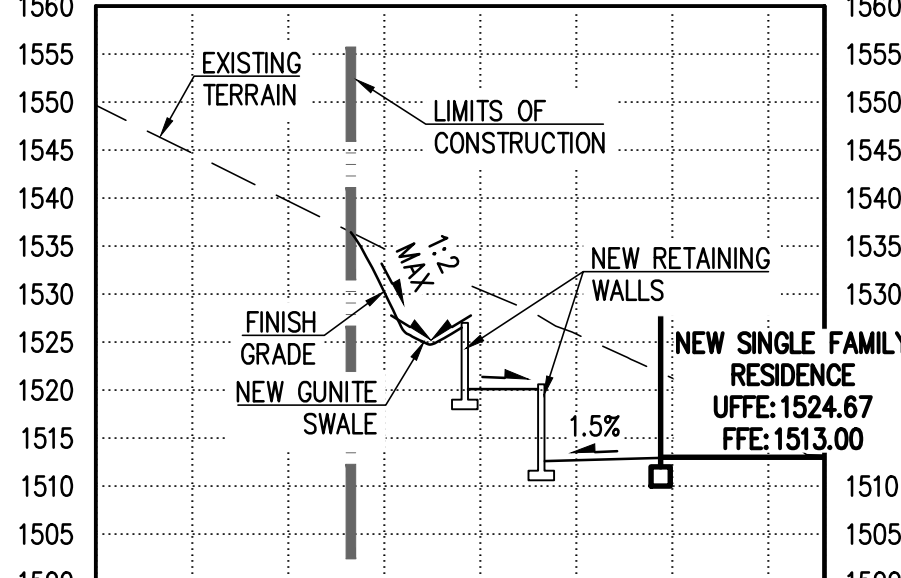
CROSS SECTION 1 - 1
SCALE HOR. 1" = 20', VER. 1" = 20'



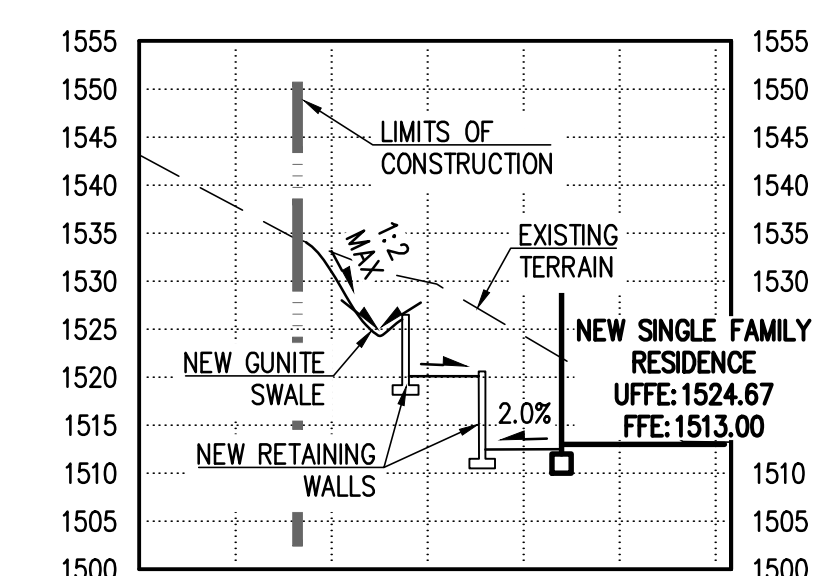
CROSS SECTION 2 - 2
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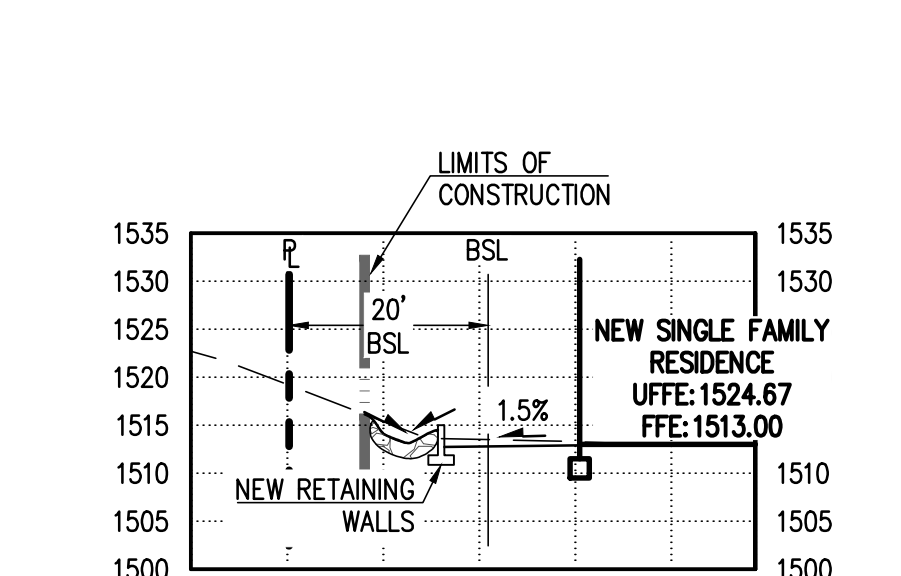
CROSS SECTION 3 - 3
SCALE HOR. 1" = 20', VER. 1" = 20'



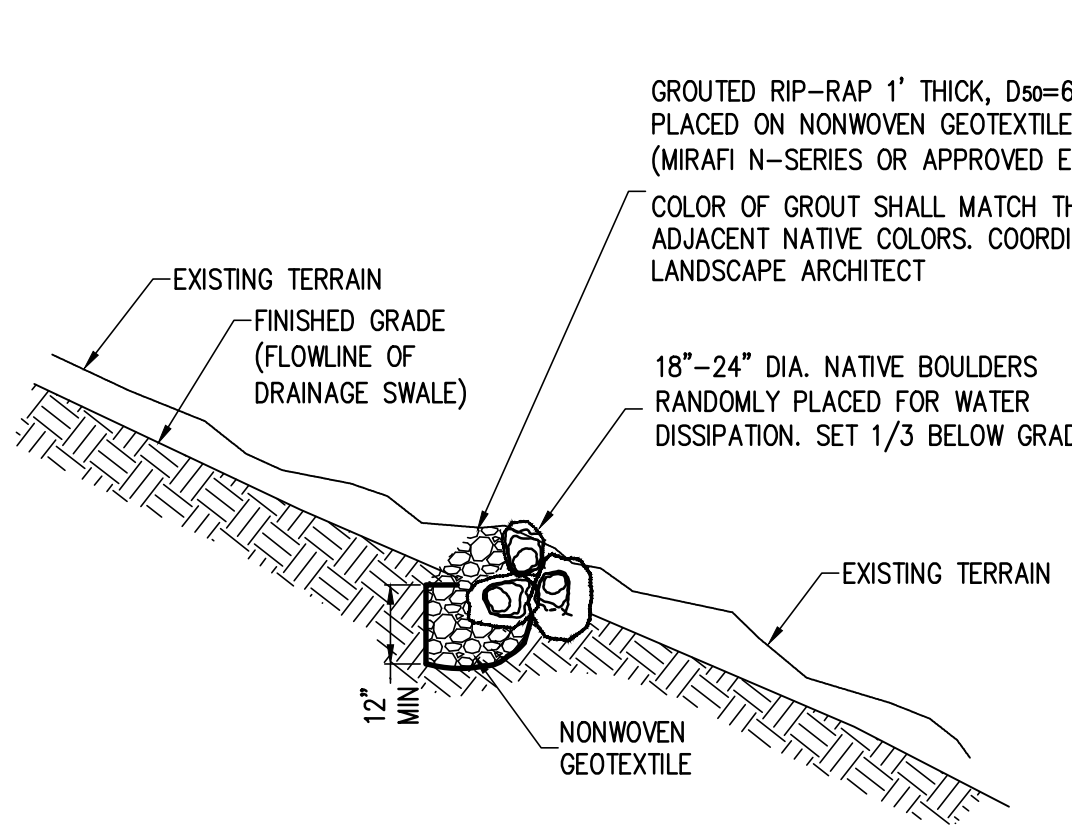
CROSS SECTION 4 - 4
SCALE HOR. 1" = 20', VER. 1" = 20'



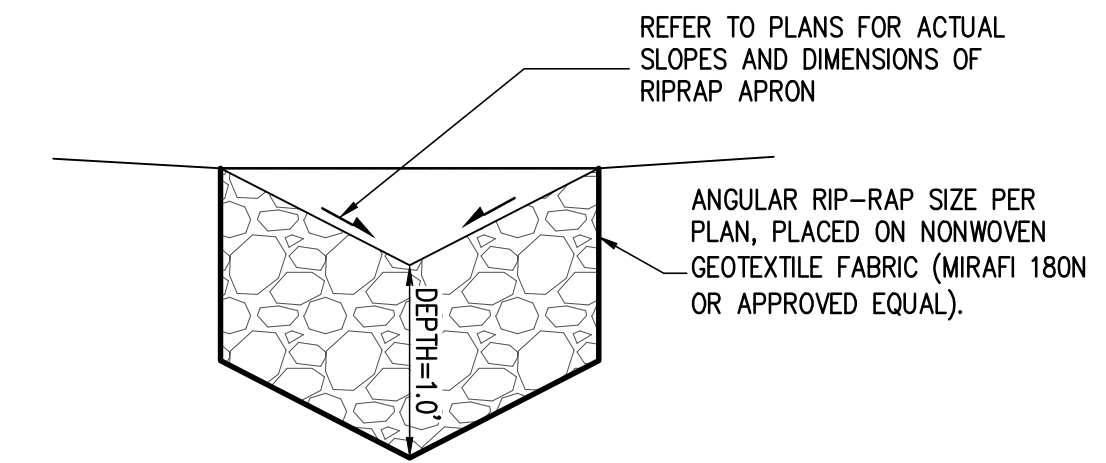
CROSS SECTION 5 - 5
SCALE HOR. 1" = 20', VER. 1" = 20'



CROSS SECTION 6 - 6
SCALE HOR. 1" = 20', VER. 1" = 20'



CHECK DAM DETAIL
N.T.S.



RIP-RAP DRAINAGE SWALE DETAIL
N.T.S.



DATE: 08/21/20
SCALE: HOR. 1" = 20', VER. 1" = 20'
DESIGNED BY: NP
DRAWN BY: ZA
CHECKED BY: JL
PLOT DATE: 08/21/20

REVISIONS:

DATE:					

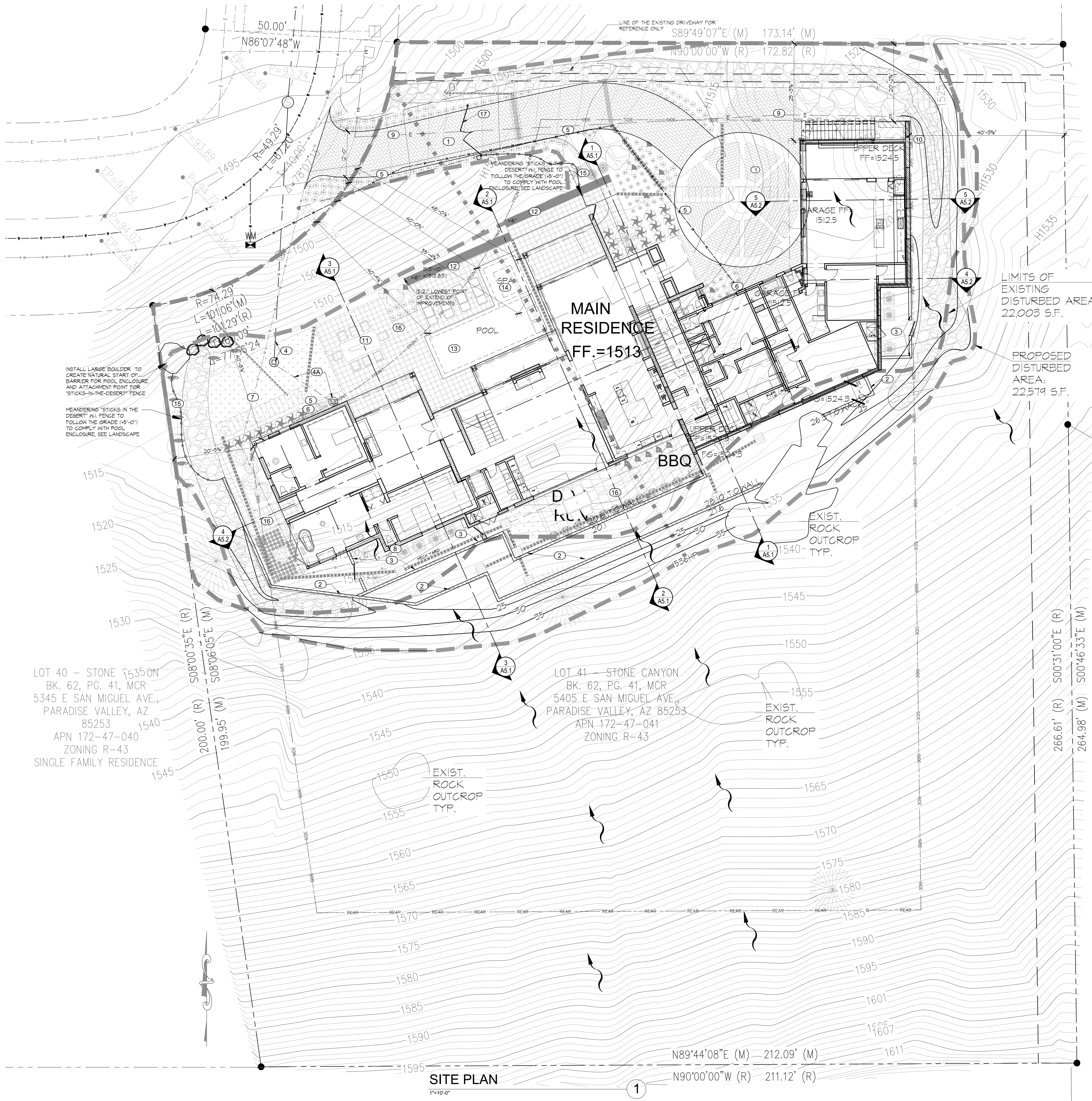
PRELIMINARY
GRADING & DRAINAGE
IMPROVEMENT PLAN
CROSS SECTIONS
DETAILS

MCDADE RESIDENCE
LOT 41 - STONE CANTON
5405 E SAN MIGUEL AVE.,
PARADISE VALLEY, AZ 85253

P. 602.889.1984 | F. 602.445.9482
8808 N CENTRAL AVE., SUITE 288
PHOENIX, AZ 85020
PHOENIXDVG.COM

REGISTERED PROFESSIONAL ENGINEER
LAND DEVELOPMENT
N.T.S.

C-2
2 OF 2



PROJECT DATA

TAX ASSESSOR'S NUMBER 172-47-041
LEGAL DESCRIPTION STONE CANYON, LOT 41
MCR 62-41
ZONING R-43
OWNER JRM 5405 LLC
PO BOX 2656
SCOTTSDALE, AZ 85252
SITE ADDRESS 5405 E SAN MIGUEL AVE
PARADISE VALLEY, AZ 85252
LOT AREA 56586 SQ FT

LIVABLE/AIR CONDITIONED AREAS:
1ST FLOOR 5,094 SQ FT
2ND FLOOR 5,136 SQ FT
GUEST HOUSE 1,175 SQ FT
TOTAL 11,405 SQ FT

NON-LIVABLE AREAS:
4 CAR GARAGES 1,591 SQ FT
MECHANICAL AND STORAGE ROOMS 594 SQ FT
GARAGES & MECH ROOMS TOTAL 2,185 SQ FT

COVD. PATIOS AND PORCHES
1ST FLOOR 426 SQ FT
2ND FLOOR 658 SQ FT
ROOF OVERHANGS 341 SQ FT
TOTAL 1,425 SQ FT

TOTAL AREA UNDER ROOF 13,549 SQ FT

FOOTPRINT FOR DISTURBED AREA CALCS 6,956 SQ FT
LOT COVERAGE 13,349 SQ FT / 51,511 SQ FT = 25.21%
BUILDING HEIGHT @ HIGHEST PT. - 24'-0" ABOVE ADJ. GRADE

DISTURBED AREA CALCULATIONS

VERTICAL 3/4" / HORIZONTAL 1/4" = 26.55%
BUILDING PAD SLOPE
ALLOWABLE NET DISTURBED 11.76% = 6,148 SQ FT
GROSS EXISTING DISTURBED AREA 22,003 SQ FT
GROSS PROPOSED DISTURBED AREA 22,579 SQ FT
LESS CREDITS FOR:
TO BE RESTORED & REVEGETATED 2,468 SQ FT
50% OF NEW DRIVEWAY 1,183 / 2 = 592 SQ FT
BUILDING FOOTPRINT 6,956 SQ FT
PROPOSED NET DISTURBED AREA 12,588 SQ FT

SITE PLAN KEY NOTES

1. NEW DRIVEWAY AT EXISTING LOCATION
2. RETAINING WALL, SLOTTED TO MATCH THE HOUSE. SEE G4D FOR TOP OF WALL INFO.
3. MECHANICAL AND POOL EQUIPMENT YARDS SITE WALLS - ACQUITA-WALL - SOUND WAVE ABSORPTION MASONRY 1'-0" ABOVE HIGHEST POINT OF EQUIPMENT
4. EXISTING ON SITE SEWER TAP AND EXISTING SEWER LINE.
- 4A. NEW SEWER LINE TO HOUSE.
5. WATER LINE
6. WATER SHUT OFF VALVE, WATER PRESSURE TO MEET FIRE SAFETY STANDARDS
7. GAS LINE
8. GAS METER
9. ELECTRICAL LINE
10. SEE
11. FIRE PIT - SEE LANDSCAPE DRAWINGS
12. SEAT BENCH 16" ABOVE ADJ. FG - SEE LANDSCAPE FOR DETAILS
13. POOL
14. SPA
15. POOL ENCLOSURE FENCE, SEE DETAIL 2
16. SEE LANDSCAPE FOR FINISHES
17. NEW AUTOMATED GATE (12) 6'-0"x5'-0" AT EXISTING GATE LOCATION, DESIGN TBD



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THE NEW RESIDENCE ON
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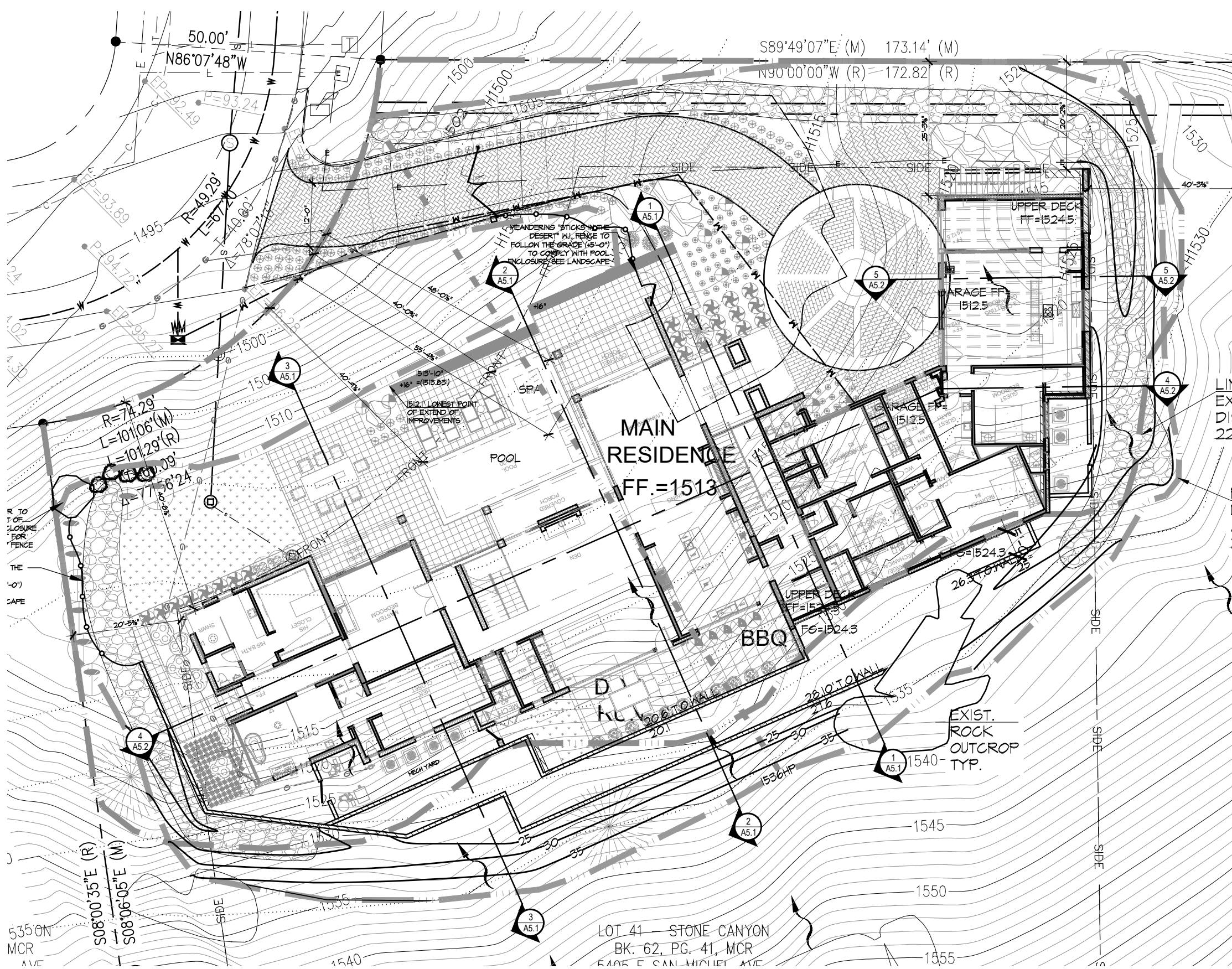
SET ISSUED:
07.24.2020

SITE PLAN

Scale: 1"=10'-0"
Drawn by: AJ
Checked by: AJ
Sheet No:

A1.1

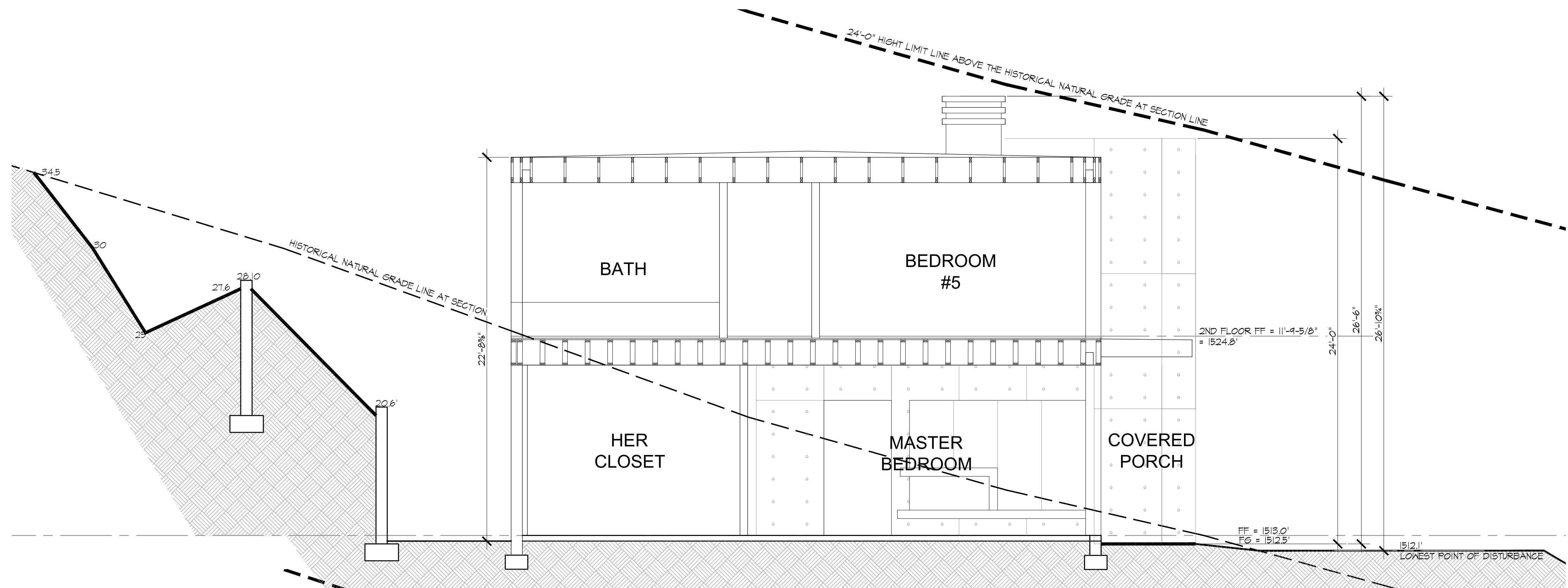
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SECTION CUTS KEY

1"=20'-0"

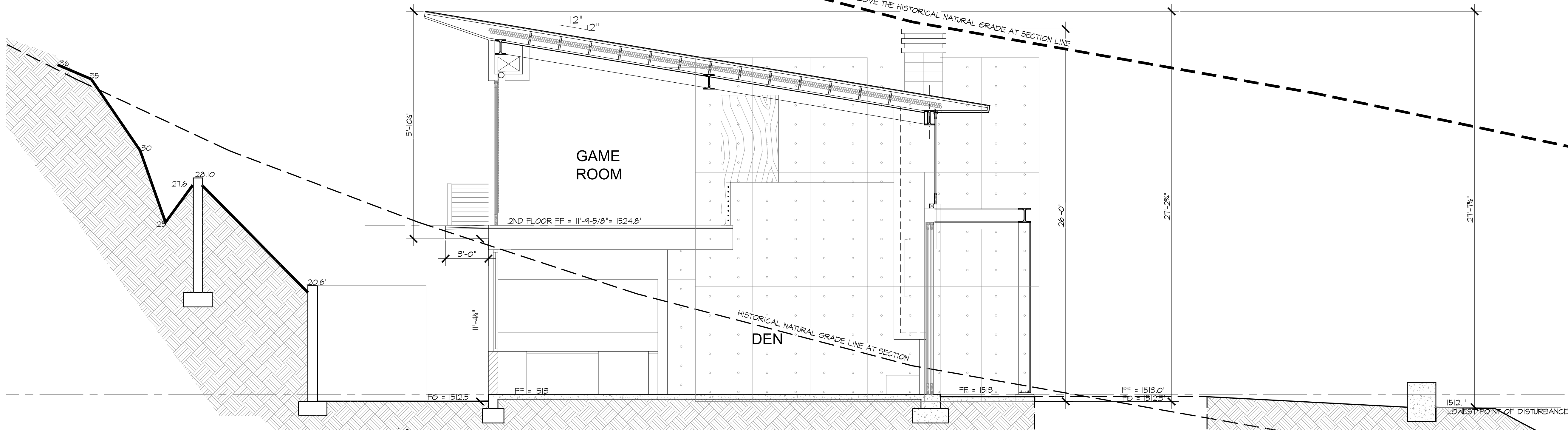
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BUILDING SECTION

1/4"=1'-0"

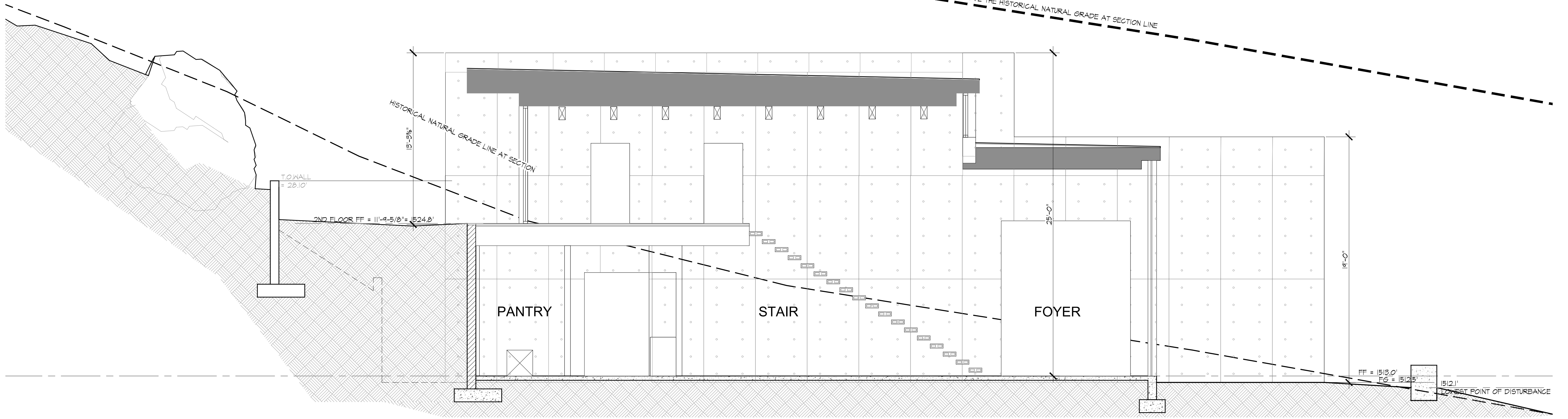
3



BUILDING SECTION

1/4"=1'-0"

2



BUILDING SECTION

1/4"=1'-0"

1



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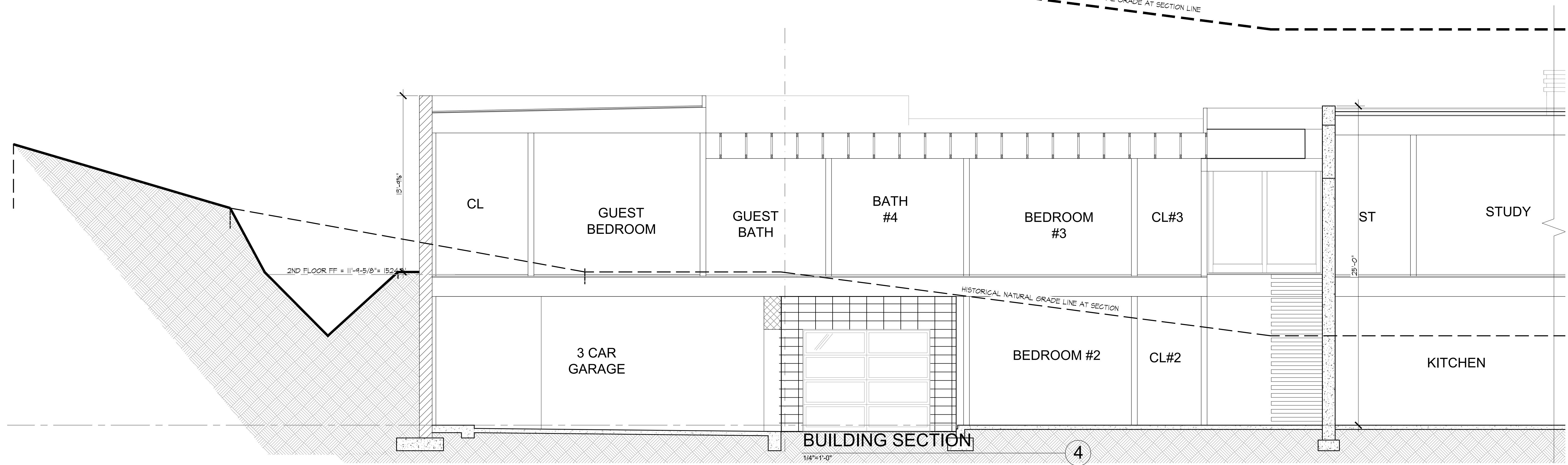
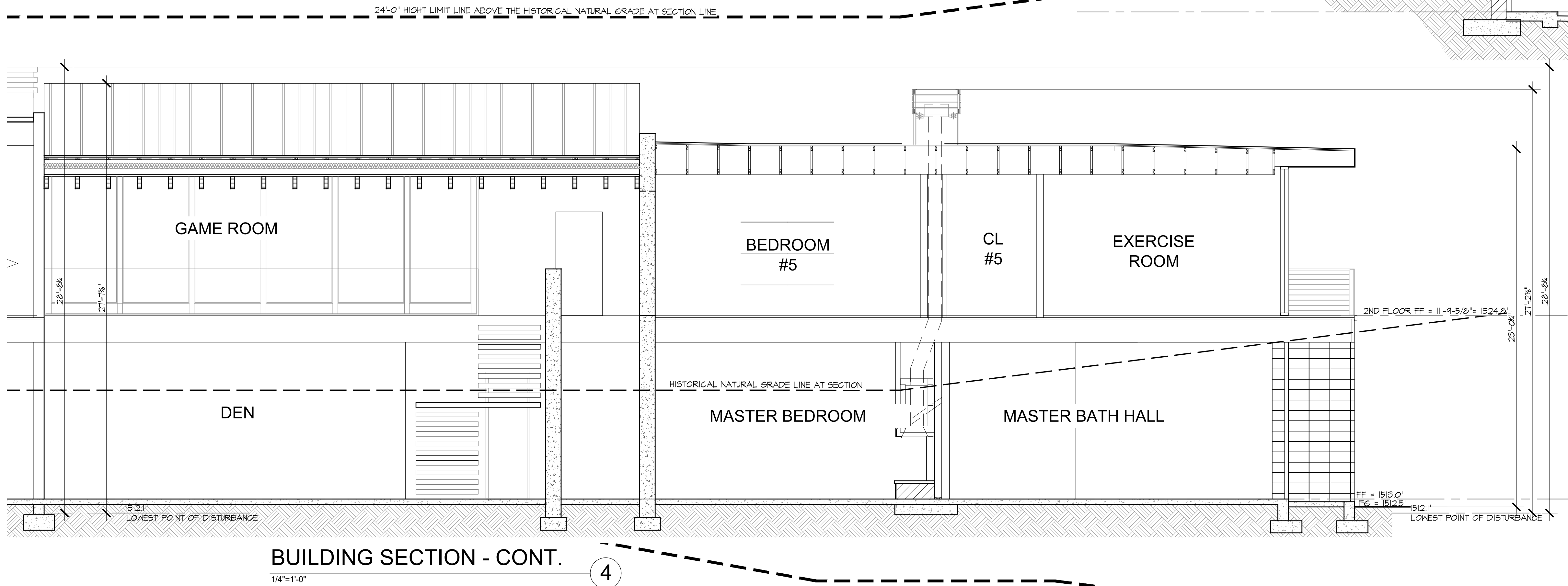
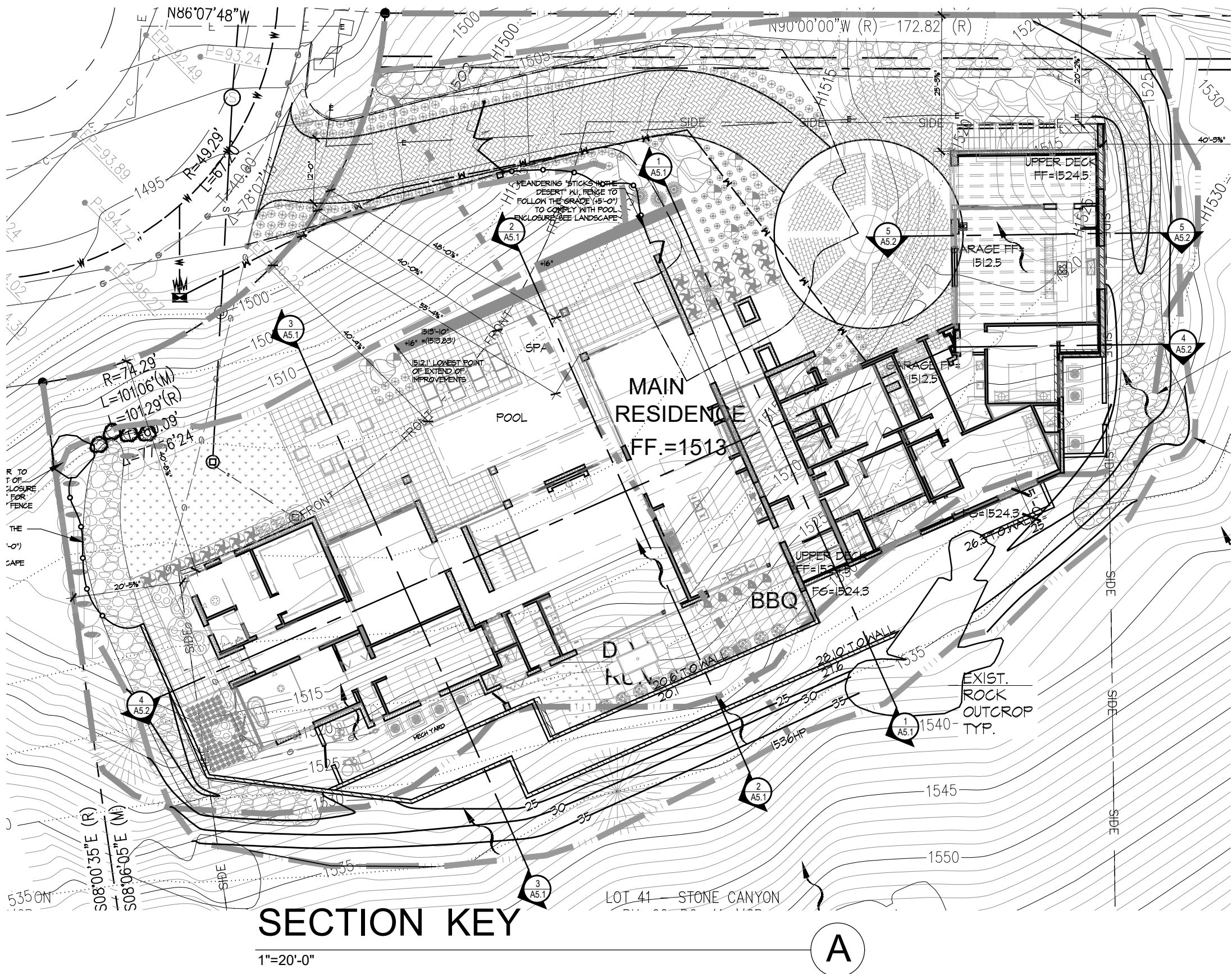
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THE NEW RESIDENCE ON
East San Miguel Avenue
5405 E San Miguel Ave.
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SET ISSUED:
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BUILDING
SECTIONS

Scale: 1/4"=1'-0"
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Sheet No:



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THE NEW RESIDENCE ON
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07.24.2020

BUILDING
SECTIONS

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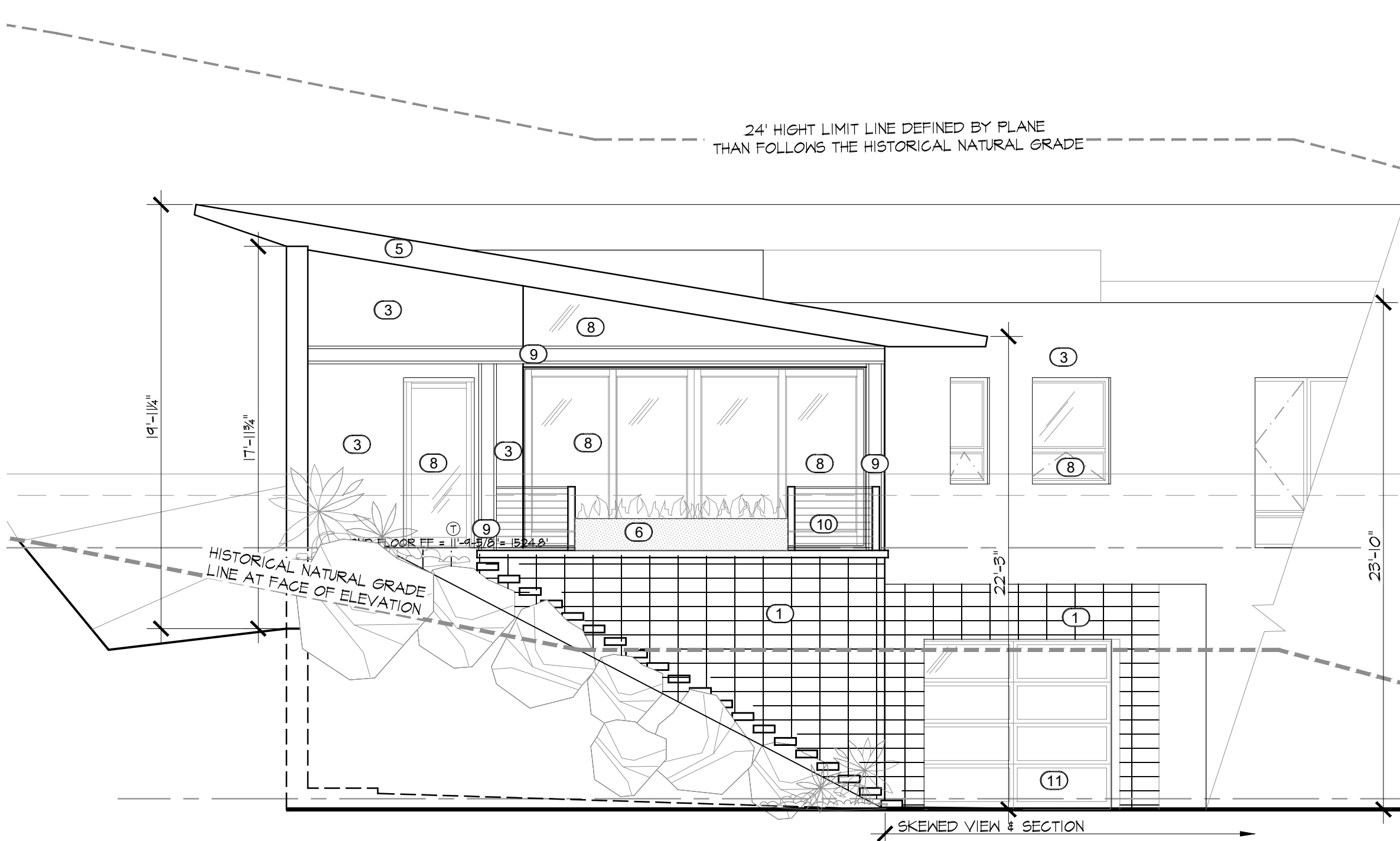
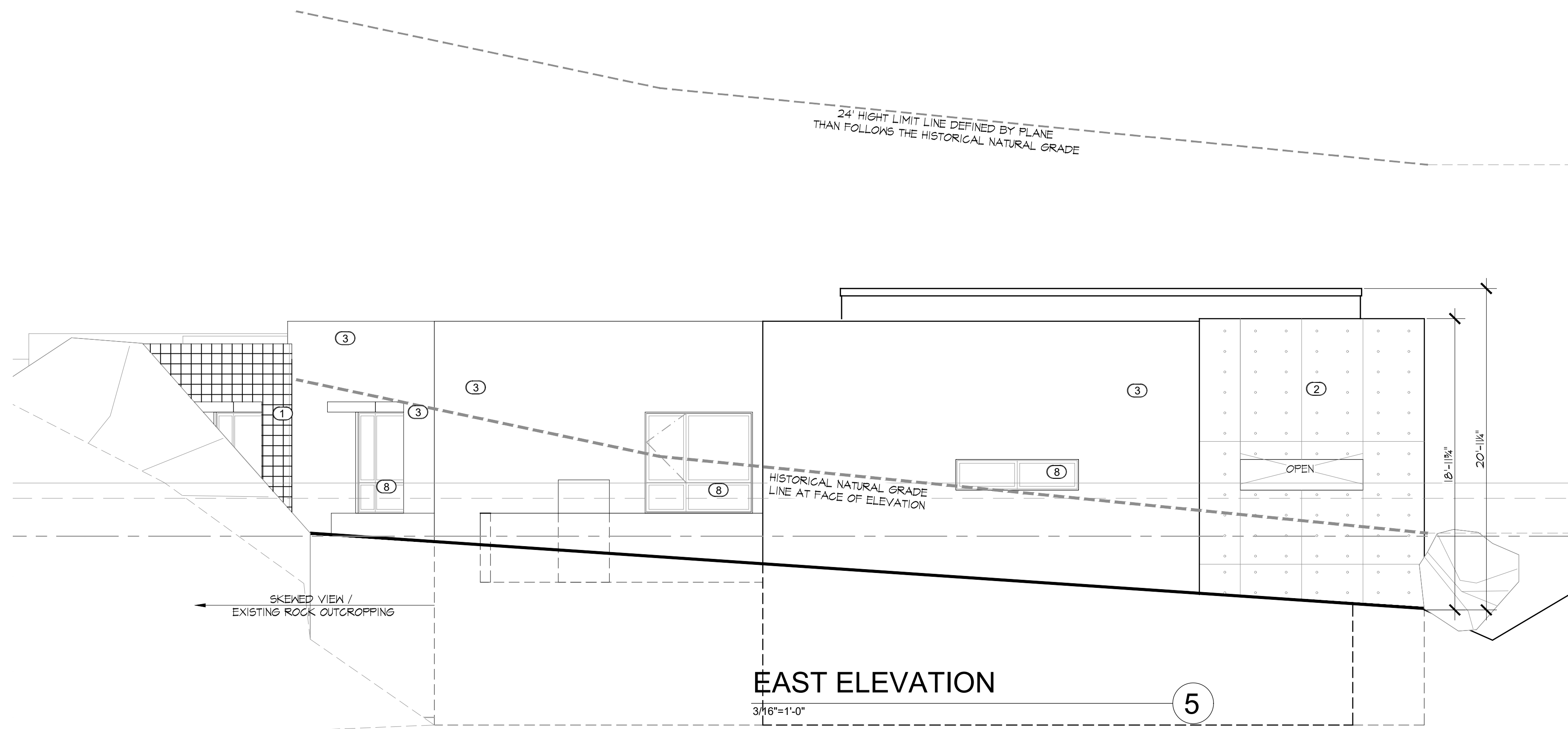


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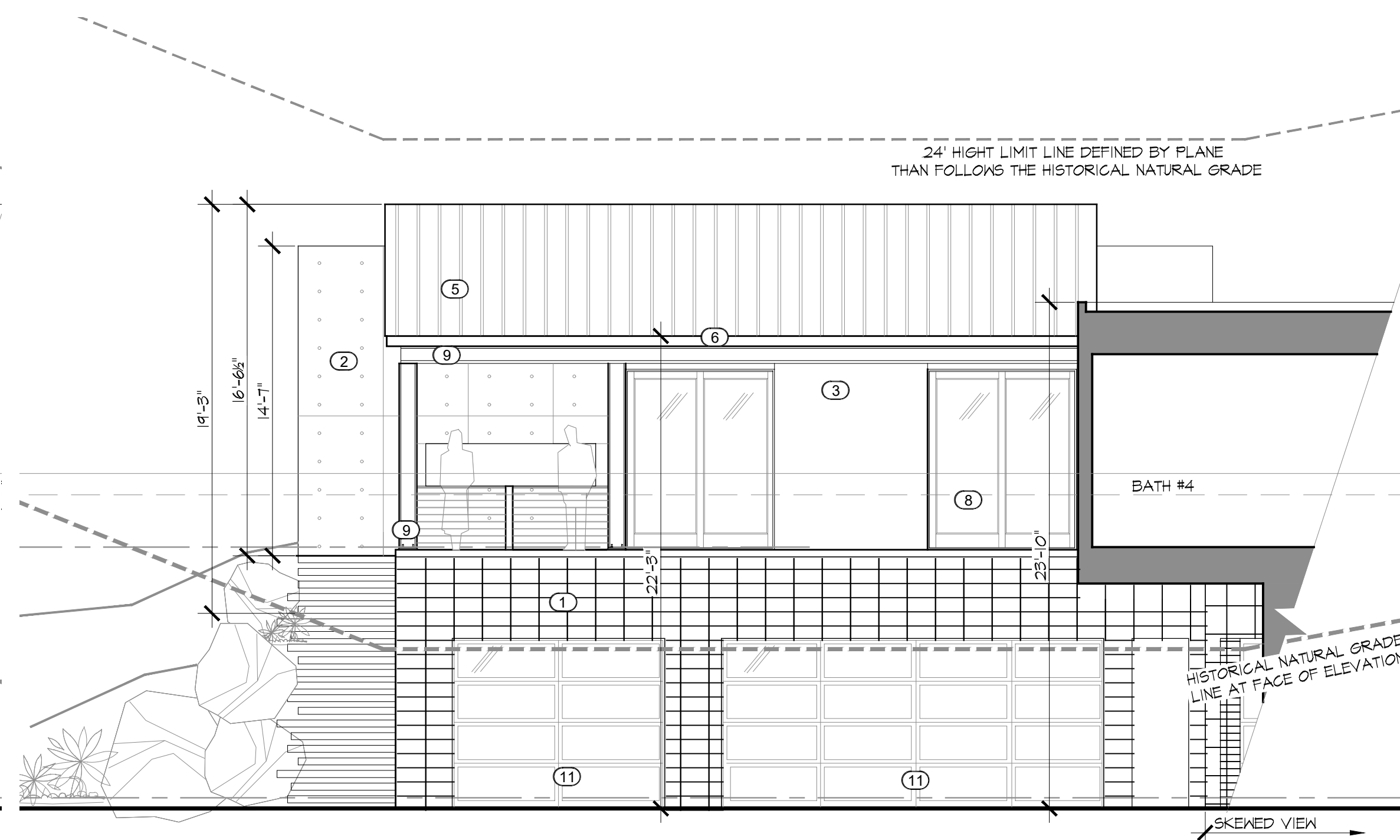
EXTERIOR FINISHES LEGEND	
EXPOSED CMU: (1)	TRENDSTONE GROUND FACE MASONRY UNITS, COLOR OPAL BY OLDCASTLE SUPERLIGHT - ECHELON - TRENNYTH, STACK BOND, LRV/38
CAST IN PLACE CONCRETE: (2)	4X8 FORM WORK PANELS WITH SNAP OFF TIES COLOR: GREY LRV/38
STUCCO: (3)	DUNN EDWARDS DEC751 ASH GREY 150% DARKER, SAND TEXTURE, LRV 38
FOAM ROOF: (4)	FOAM ROOFING WITH BLENDED GRANULES: R675 ESTATE GREY GRANULES BY LUCAS ROOFING LRV/38
METAL ROOF: (5)	STANDING SEAM ROOFING, SITE PULLED SHEET METAL COIL BY OCM (OLD COUNTRY MILLWORK INC) MIDNIGHT COAL, LRV/38
METAL FACIA: (6)	SHEET METAL WITH PVDF FINISH BY OCM, COLOR: MIDNIGHT COAL, LRV/38
SOFFITS & OVERHANGS: (7)	SAME SHEET METAL AS FACIA SEE ABOVE
DOOR / WINDOW COLOR: (8)	FLEETWOOD 3070 SERIES DOOR AND WINDOW, SLIM LINE ANODIZED FINISH, BLACK ANODIZED, LRV/38
EXPOSED K-SHAPED BEAMS AND COLUMNS: (9)	CLEAR COATED RAK STEEL, LRV/38
EXTERIOR GUARDRAIL: (10)	4"x36" BEND STEEL PLATE POSTS W/STEEL CABLES, PAINTED DE6310 CHARCOAL SMUDGE, LRV II 80% CLR. OPEN MIN.
GARAGE DOORS: (11)	AVANTE COLLECTION BY CLOPAY OVERHEAD DOOR, ALUMINUM FRAME, BLACK ANODIZED LRV 38, GLASS: GRAY TINTED FINISH, INSULATED TEMPERED GLASS.
CUSTOM METAL CHIMNEY CAP: (12)	CUSTOM METAL PAINTED DE6310 CHARCOAL SMUDGE, LRV II
AUTOCOURT & DRIVEWAY: (13)	BELGARD PAVER "GRAPHITE BLEND" LRV/38
PATIOES & WALKWAYS: (14)	ARTISTIC PAVER "SILVER SAND" LRV < 38
ACQUASTA-WALL - SYSTEM - ALL MECHANICAL YARDS WALL: (15)	SOUND WAVE ABSORPTION MASONRY UNIT BY OLD CASTLE ARCHITECTURAL / SUPERLITE BLOCK, STACK BOND, IN TRENDSTONE FINISH, COLOR OPAL
STICKS-IN-DESERT FENCING: (16)	PAINTED DE6310 CHARCOAL SMUDGE, LRV II

GENERAL NOTES
1. ALL EXTERIOR MATERIAL PALETTE SHALL BE IN ACCORDANCE WITH SECTION 220711.D
2. ALL EXTERIOR LIGHTING SHALL COMPLY WITH SECTION 2208



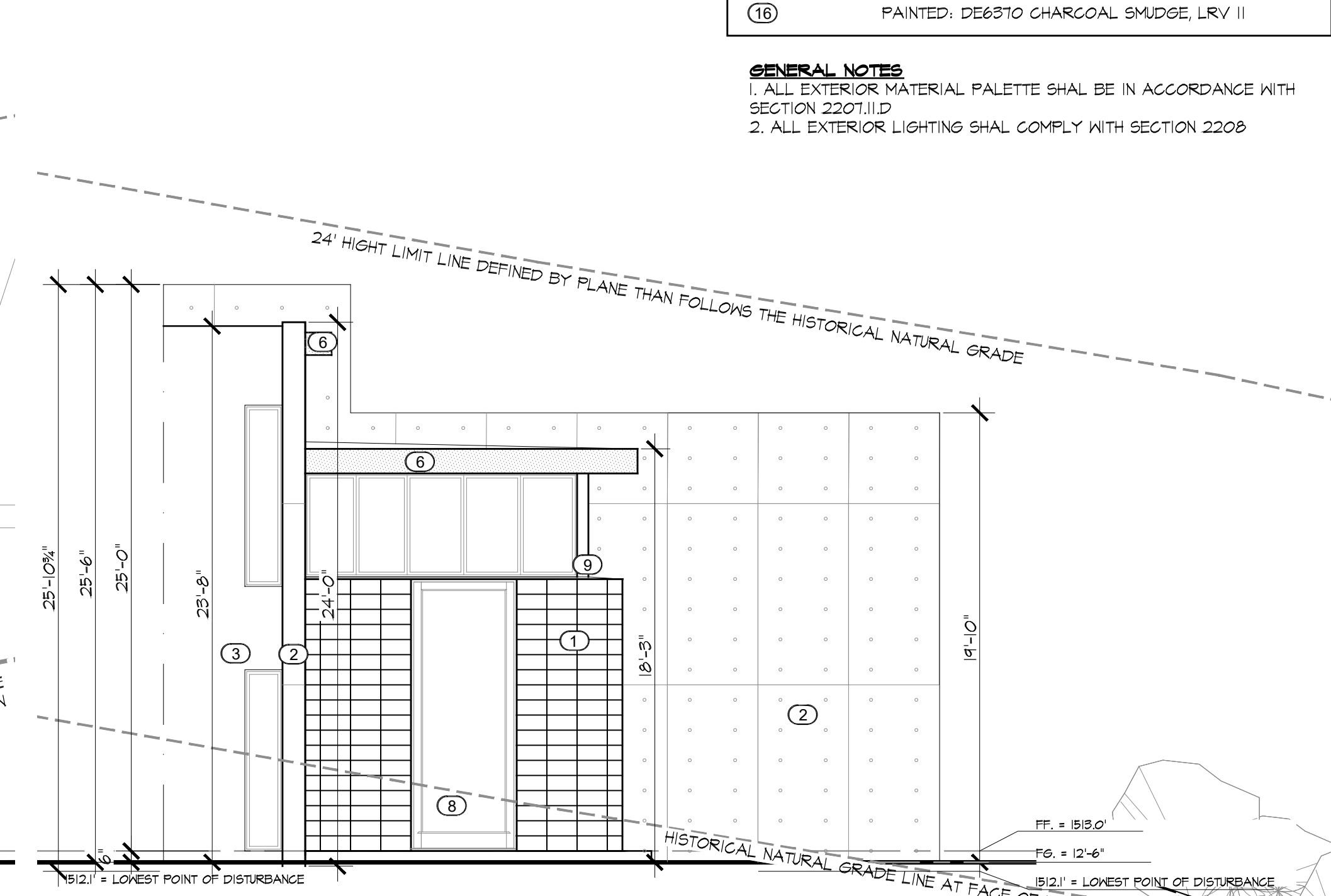
AUTOCOURT - NORTH ELEVATION
3/16"=1'-0"

4



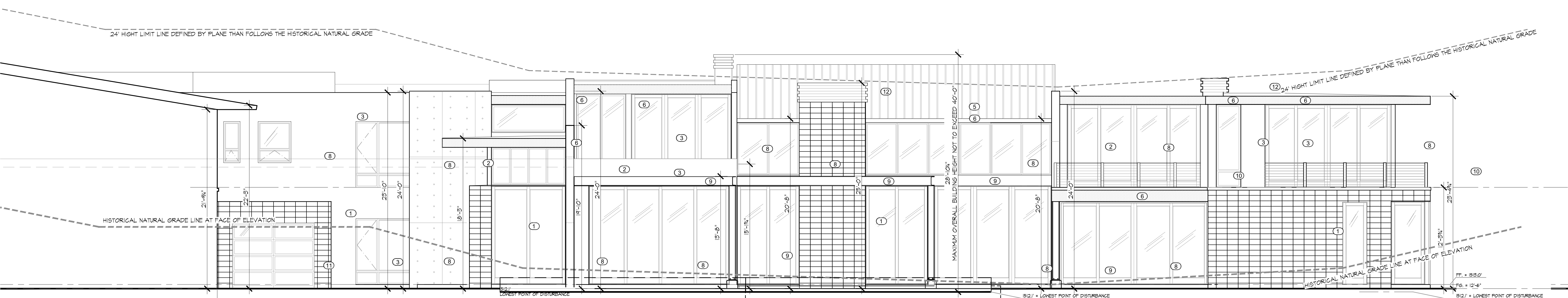
AUTOCOURT - WEST ELEVATION
3/16"=1'-0"

3



FRONT ENTRY - EAST ELEVATION
3/16"=1'-0"

2



FRONT VIEW - NORTH ELEVATION
3/16"=1'-0"

1

THE NEW RESIDENCE ON
East San Miguel Avenue

SET ISSUED:
07.24.2020

EXTERIOR ELEVATIONS

Scale: 1/4"=1'-0"
Drawn by: AJ
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Sheet No:

A6.1

Sheet of

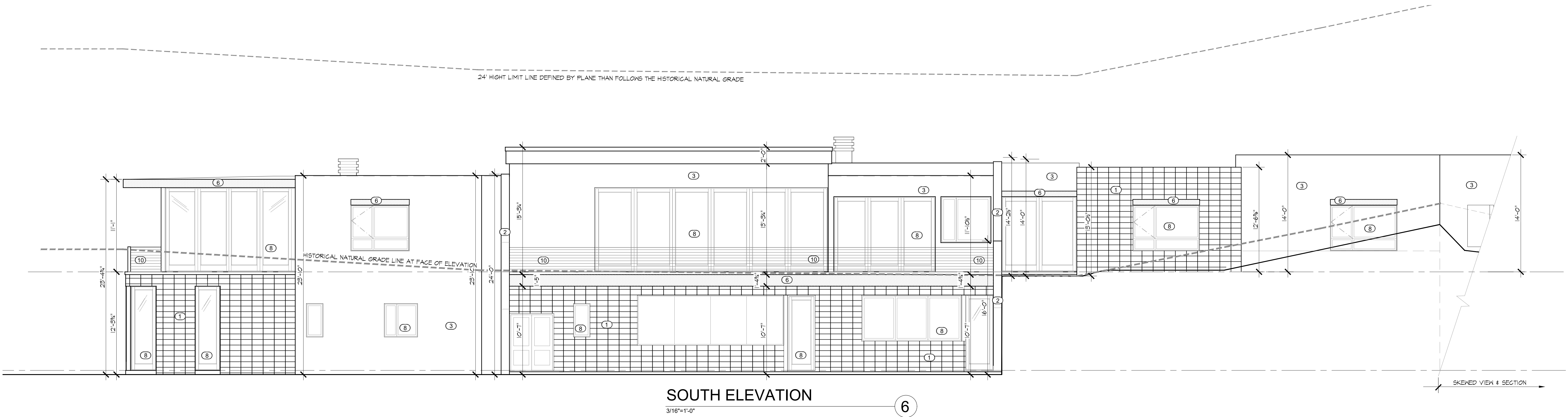
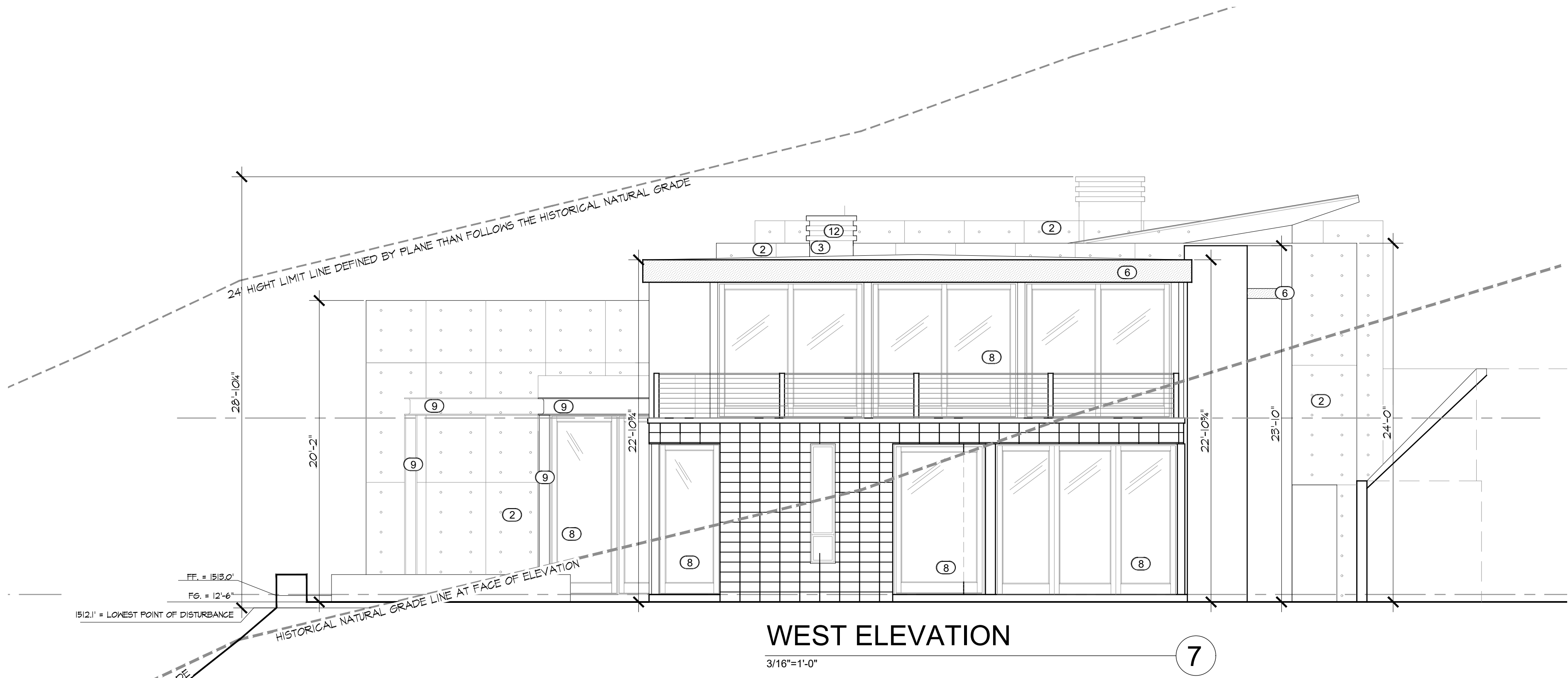


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EXTERIOR FINISHES LEGEND	
EXPOSED CMU: (1)	TRENDSTONE GROUND FACE MASONRY UNITS, COLOR OPAL, BY OLDCASTLE SUPERLIGHT - ECHELON - TRENYTH, STACK BOND, LRV/38
CAST IN PLACE CONCRETE: (2)	4X8 FORM WORK PANELS WITH SNAP OFF TIES COLOR: GREY LRV/38
STUCCO: (3)	DUNN EDWARDS DEC781 ASH GREY 150% DARKER, SAND TEXTURE, LRV 38
FOAM ROOF: (4)	FOAM ROOFING WITH BLENDED GRANULES, R673 ESTATE GREY GRANULES BY LUCAS ROOFING LRV/38
METAL ROOF: (5)	STANDING SEAM ROOFING, SITE PULLED SHEET METAL COIL BY OCM (OLD COUNTRY MILLWORK INC) MIDNIGHT COAL, LRV/38
METAL FACIA: (6)	SHEET METAL WITH PVDF FINISH BY OCM, COLOR: MIDNIGHT COAL, LRV/38
SCOFFITS & OVERHANGS: (7)	1 SAME SHEET METAL AS FACIA SEE ABOVE
DOOR / WINDOW COLOR: (8)	FLEETWOOD 3070 SERIES DOOR AND WINDOW SLIM LINE ANODIZED FINISH: BLACK ANODIZED, LRV/38
EXPOSED W-SHAPE I BEAMS AND COLUMNS: (9)	CLEAR COATED RAW STEEL, LRV/38
EXTERIOR GUARDRAIL: (10)	4"x36" BEND STEEL PLATE POSTS W/STEEL CABLES, PAINTED DE6870 CHARCOAL SMUDGE, LRV II 80% GLR, OPEN MIN.
GARAGE DOORS: (11)	AVANTE COLLECTION BY CLOPAY OVERHEAD DOOR, ALUMINUM FRAME, BLACK ANODIZED LRV 38, GLASS: GRAY TINTED FINISH INSULATED TEMPERED GLASS,
CUSTOM METAL CHIMNEY CAP: (12)	CUSTOM METAL PAINTED DE6870 CHARCOAL SMUDGE, LRV II
AUTOCOURT & DRIVEWAY: (13)	BELGARD PAVER 'GRAPHITE BLEND' LRV/38
PATIOS & WALKWAYS: (14)	ARTISTIC PAVER 'SILVER SAM' LRV 38
ACQUA-MAL - SYSTEM - ALL MECHANICAL YARDS WALL: (15)	SOUND WAVE ABSORPTION MASONRY UNIT BY OLD CASTLE ARCHITECTURAL / SUPERLITE BLOCK, STACK BOND, IN TRENDSTONE FINISH, COLOR OPAL
STICKS-IN-DESERT FENCING: (16)	PAINTED: DE6870 CHARCOAL SMUDGE, LRV II

GENERAL NOTES
1. ALL EXTERIOR MATERIAL PALETTE SHALL BE IN ACCORDANCE WITH SECTION 2207.II.D
2. ALL EXTERIOR LIGHTING SHALL COMPLY WITH SECTION 2208



THE NEW RESIDENCE ON
East San Miguel Avenue

5405 E San Miguel Ave.
Paradise Valley, AZ 85253

SET ISSUED:
07.24.2020

EXTERIOR ELEVATIONS

Scale: 1/4"=1'-0"
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Sheet No:

A6.2

Sheet of



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THE NEW RESIDENCE FOR
TOM & NANCY TURELLI

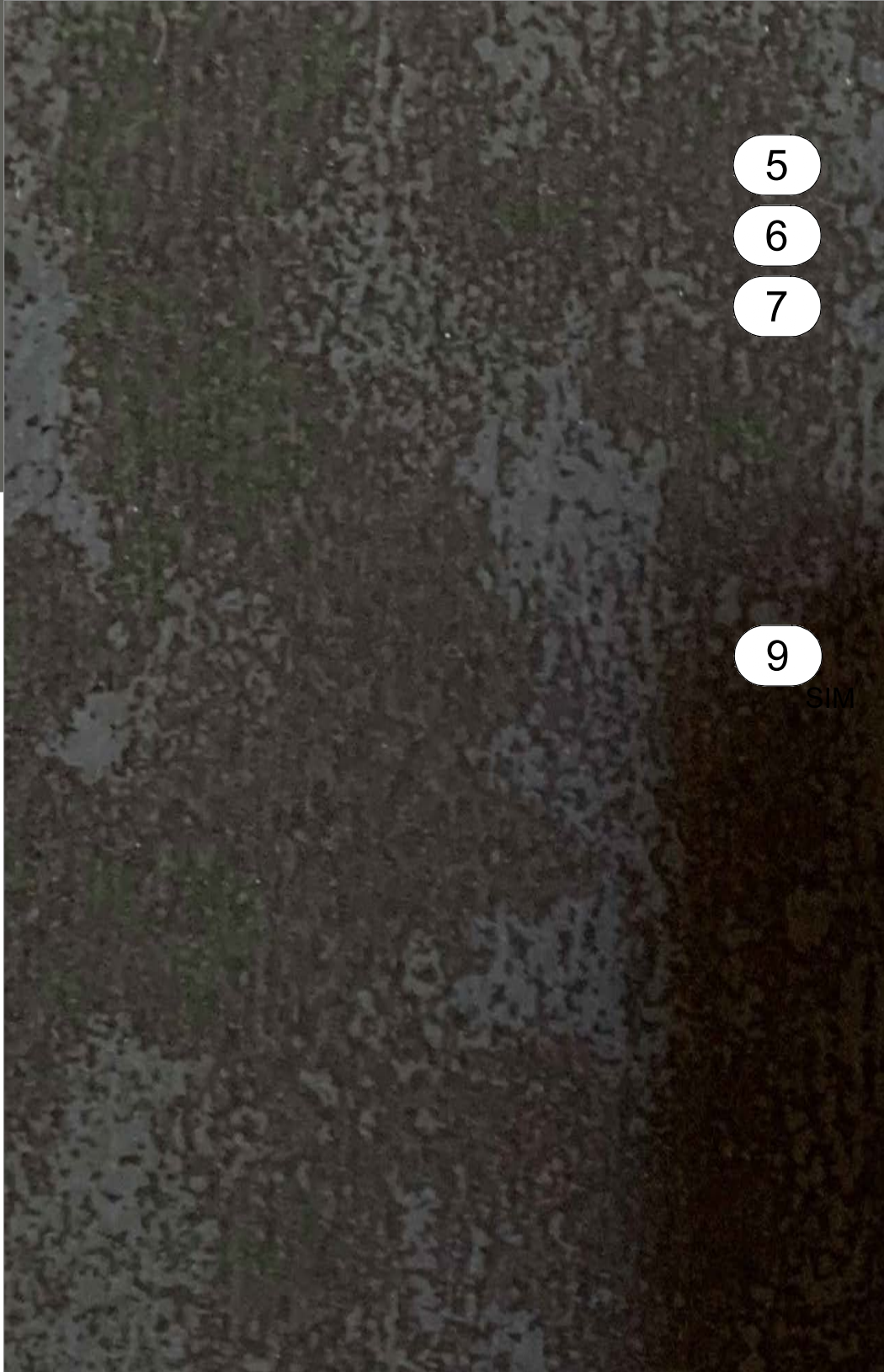
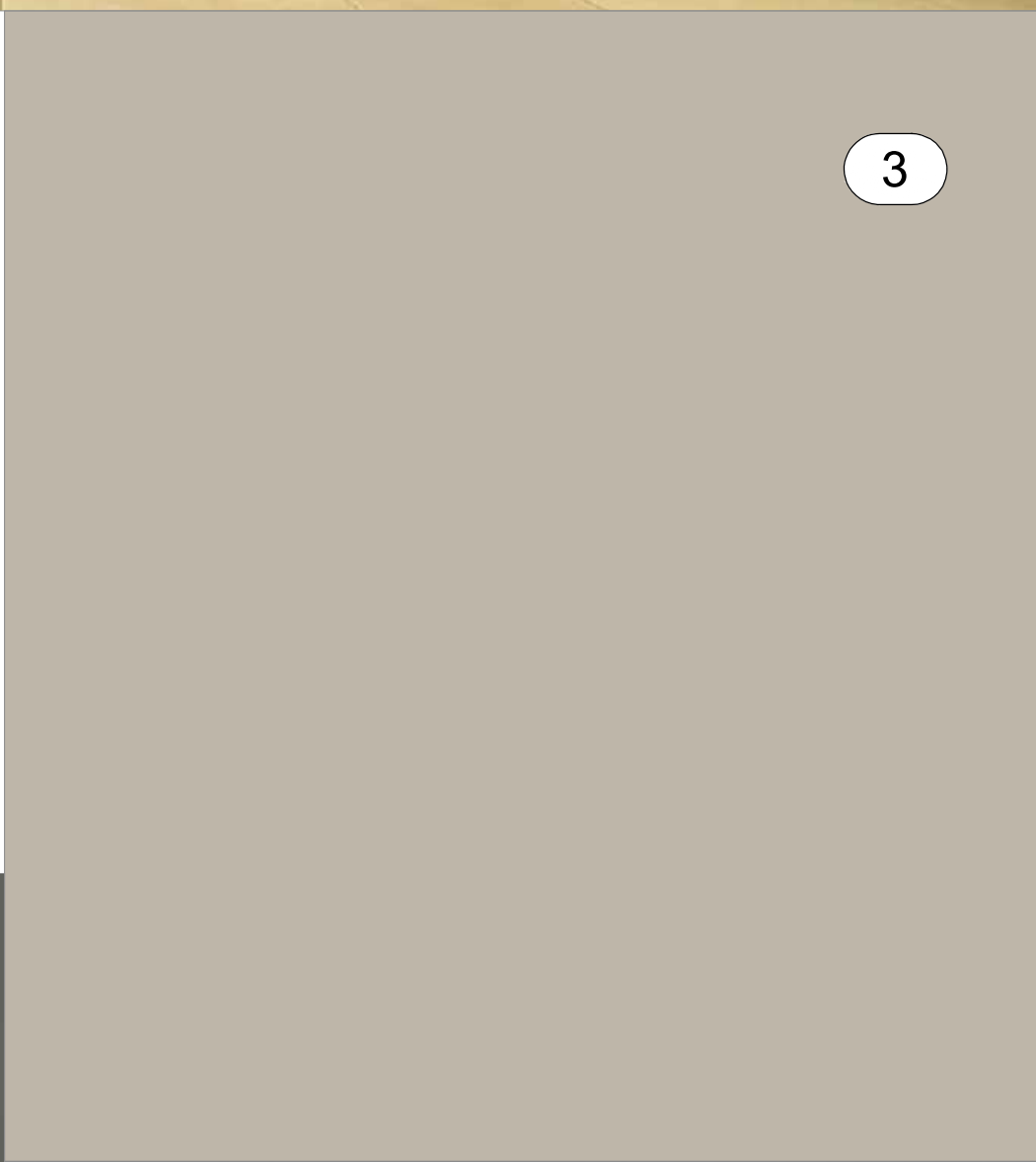
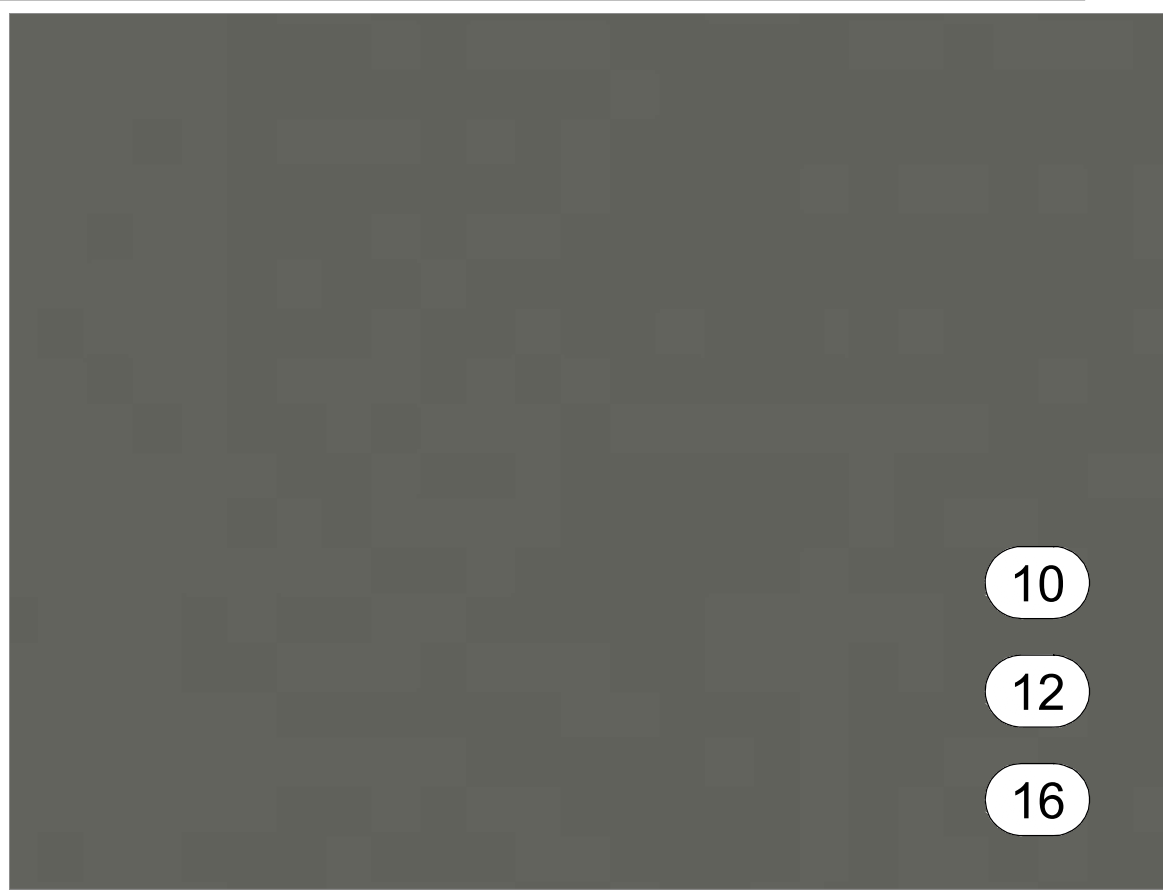
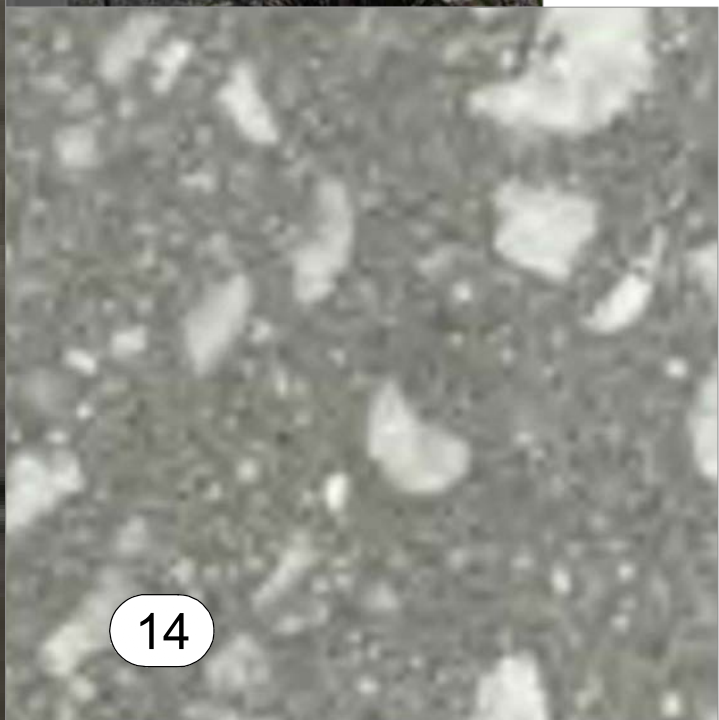
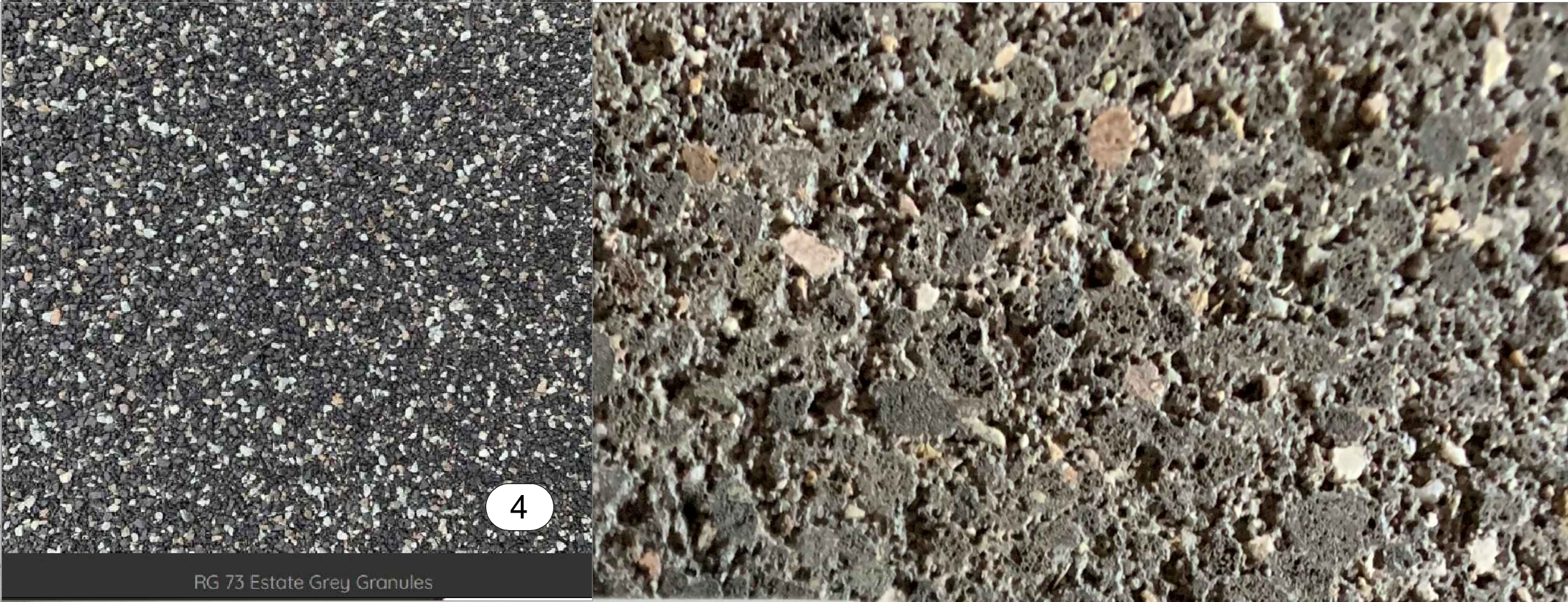
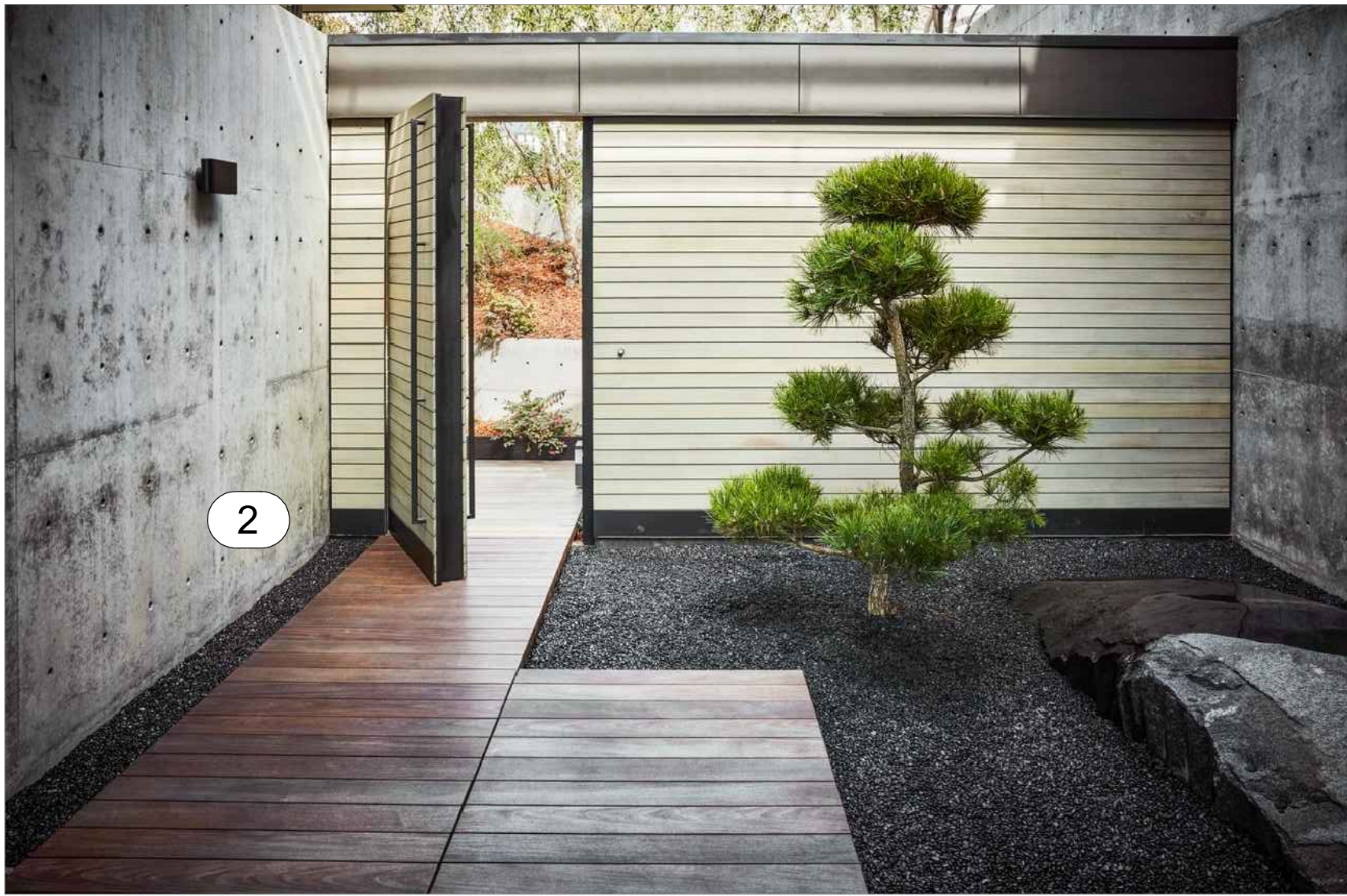
SET ISSUED:
08.01.2020

MATERIAL BOARD

Scale: _____
Drawn by: _____
Checked by: _____
Sheet No: _____

A6.3

Sheet of



EXTERIOR FINISHES LEGEND

- EXPOSED CMU:**
(1) TRENDSTONE GROUND FACE MASONRY UNITS, COLOR OPAL, BY OLDCASTLE SUPERLIGHT - ECHELON - TRENDWTH, STACK BOND, LRV/38
- CAST IN PLACE CONCRETE:**
(2) 4XB FORM WORK PANELS WITH SNAP OFF TIES, COLOR: GREY LRV/38
- STUCCO:**
(3) DUNN EDWARDS DECTE/1 ASH GREY 150% DARKER, SAND TEXTURE, LRV 38
- FOAM ROOF:**
(4) FOAM ROOFING WITH BLENDED GRANULES: R675 ESTATE GREY GRANULES BY LUCAS ROOFING LRV/38
- METAL ROOF:**
(5) STANDING SEAM ROOFING, SITE PULLED SHEET METAL COIL BY OCM (OLD COUNTRY MILLWORK, INC.) MIDNIGHT COAL, LRV/38
- METAL FACIA:**
(6) SHEET METAL WITH PVDF FINISH BY OCM, COLOR: MIDNIGHT COAL, LRV/38
- SOFFITS & OVERHANGS:**
(7) SAME SHEET METAL AS FACIA SEE ABOVE
- DOOR / WINDOW COLOR:**
(8) FLEETWOOD 3070 SERIES DOOR AND WINDOW, SLIM LINE ANODIZED FINISH, BLACK ANODIZED, LRV/38
- EXPOSED IN-SHAPE L BEAMS AND COLUMNS:**
(9) CLEAR COATED RAW STEEL, LRV/38
- EXTERIOR GUARDRAIL:**
(10) 4"X36" BEND STEEL PLATE POSTS W/STEEL CABLES, PAINTED DE6870 CHARCOAL SMUDGE, LRV II 80% CLR, OPEN MIN.
- GARAGE DOORS:**
(11) AVANTE COLLECTION BY GLOPAY OVERHEAD DOOR, ALUMINUM FRAME, BLACK ANODIZED, LRV 38, GLASS: GRAY TINTED FINISH INSULATED TEMPERED GLASS
- CUSTOM METAL CHIMNEY CAP:**
(12) CUSTOM METAL PAINTED:DE6870 CHARCOAL SMUDGE, LRV II
- AUTOCOURT & DRIVEWAY:**
(13) BELGARD PAVER "GRAPHITE BLEND" LRV/38
- PATIOES & WALKWAYS:**
(14) ARTISTIC PAVER "SILVER SAM" LRV < 38
- ACQUSTA-WAL - SYSTEM - ALL MECHANICAL YARDS WALL:**
(15) SOUND WAIVE ABSORPTION MASONRY UNIT BY OLD CASTLE ARCHITECTURAL / SUPERLITE BLOCK, STACK BOND, IN TRENDSTONE FINISH, COLOR OPAL
- STOCKS-IN-DESERT FENCING:**
(16) PAINTED: DE6870 CHARCOAL SMUDGE, LRV II



Hinkley Vapor 28" Outdoor Wall Light

PRODUCT DETAILS

Brighten the exterior of your home with the attractive style of this Vapor large outdoor wall light.

Additional Info:

Designed with aluminum, this Vapor large outdoor wall light by Hinkley exudes a sleek and industrial personality. The bronze finish is rich and attractive, and sure to complement surrounding details. The crackle glass completes the design with exceptional detail and character.

- 28" high x 4 3/4" wide. Extends 3 3/4" from the wall. Backplate is 4 3/4" square.
- Includes one 35 watt GU-10 base bulb. Maximum 35 watt bulb. 500 LUMENS
- Vapor contemporary large outdoor wall light by Hinkley.

HINKLEY

Shop all Hinkley.

- Bronze finish. Aluminum construction. Crackle glass.
- Wet location rated for outdoor use. Can also be used indoors. ADA compliant



Modern Forms Double Down 18" H Black LED Outdoor Wall Light



PRODUCT DETAILS

Back in the radiant bliss of minimalist-inspired modern charm with this black LED wall light, full of sleek lines and cascading glow.

Additional Info:

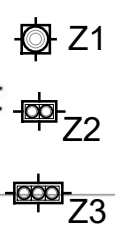
Sleek metallic shine marries modern simplicity in the clean lines of this two-light outdoor wall light by Modern Forms. Constructed of solid aluminum, install with the lights pointing up or down for a stunning, cascading glow. Brighten up the side of any house with the dimmable energy-efficient LED

- 18" high x 5" wide. Extends 4" from the wall.
- Backplate is 16 1/4" high x 4" wide x 3/4" deep.
- Includes two dimmable 5.5 watt high-powered replaceable LED modules; 275 lumen light output, comparable to a 25 watt incandescent. 3000K color temperature. 90 CRI.
- Two-light energy-efficient LED outdoor wall light from the Double Down collection by Modern Forms.
- Black finish over solid aluminum construction.
- Can be installed with lights pointing up or down.
- ADA compliant design.
- Smooth and continuous dimming with an electronic low voltage (ELV) dimmer.
- LEDs average 50,000 hours at 3 hours per day.
- CEC Title 24 compliant. Dark sky friendly.
- Universal input voltage driver (120V-240V-277V) located in 4" junction box.
- Custom CCT options available by special order.



Shop all Modern Forms

MT-3LD111 - 1 Light Mini LED Multiple Spots



PRODUCT DESCRIPTION

Integral housing adjustable recessed spot light.

FEATURES

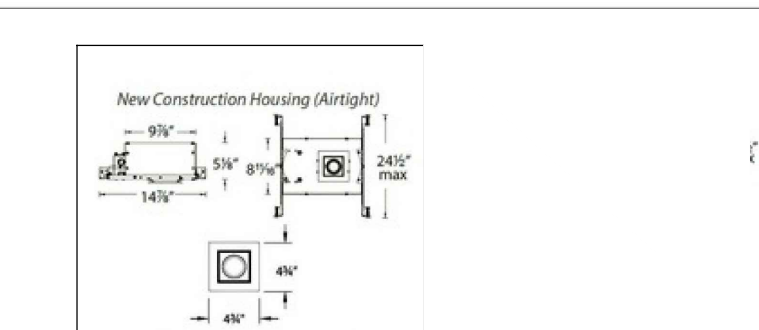
- Energy Star® rated
- Title 24 California Energy Commission Compliant (90 CRI versions)
- Individually adjustable luminaires
- Complete unit includes housing & trim
- All housings are Non-IC rated
- 30° visual cutoff for glare control
- 25° vertical tilt, 350° horizontal rotation.

FIXTURE PERFORMANCE

Model	Type	Color Temp	Watts	Lumens	Efficacy	CRI
MT-3LD111NA-F30	New Construction	3000K	11W	755	69 Ln/W	85
MT-3LD111R-F30	Remodel	3000K	11W	755	69 Ln/W	85
MT-3LD111NA-F30	New Construction	3000K	11W	670	59 Ln/W	90
MT-3LD111R-F30	Remodel	3000K	11W	670	59 Ln/W	90

Body Finish: White / Black Reflector
Lamp: 1 x LED/11W/120V LED
Wattage: 11W
Dimmer: Low Voltage Electronic
Dimensions: 6"W x 4.6"H x 4.1"D

Technical Information
Luminous Flux: 670 lumens
Lumens/Watt: 60.91
Lamp Color: 3000 K
Color Rendering: 90 CRI
Beam Angle: 25°
Lamp Life: 60,000 hours
Function: Adjustable Accent
Ceiling Type: Drywall with Trim
Housing Type: New Construction NON IC
Housing Height: 5"
Aperture Shape: Rectangular
Aperture Size: 0.000"



WAC LIGHTING
Responsible Lighting®

Fixture Type: Z1
Catalog Number:
Project: SAN MIGUEL
Location:

SPECIFICATIONS

Construction: Die-cast aluminum heat sink painted black. Trim, housing and junction box are 20 gauge steel. Frame and hanger bars are heavy gauge galvanized steel.

J-Box (New Construction): Seven knockouts and four Romex® style wiring connectors provided for ease of installation. Rated for branch wiring.

Driver: 120V Input

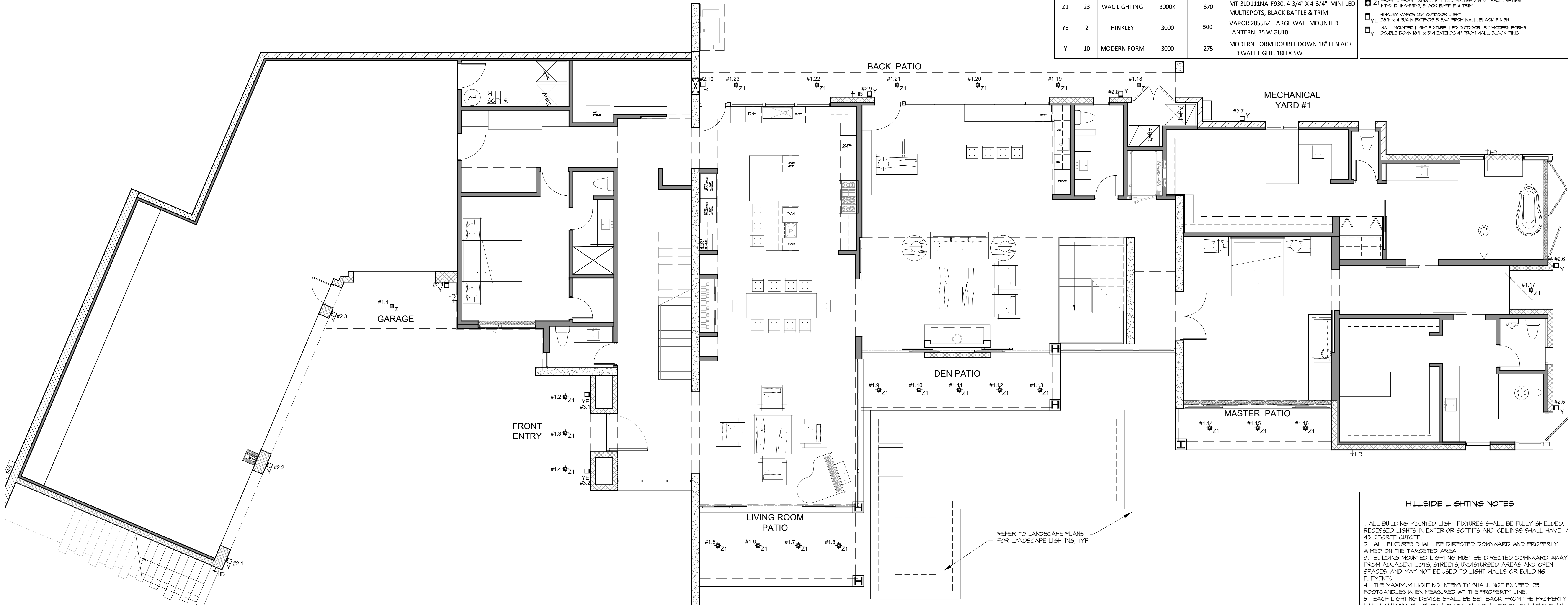
Light Source: High output LED (included with housing)

Dimming: Dim to 10% with electronic low voltage (ELV) dimmer.

Mounting: Supplied with hanger bars, adjustable from 14 1/2" - 25" to accommodate various joist construction and grid sizes. Hanger bars include a captive mounting "screw-nail" for ease of installation. Accommodates surface up to 1" thick.

Finish: Abrasion resistant powder coat paint in Black (BK).
Standards: ETL & CETL listed.

Address: 1718 W. Fullerton Ave.



EXTERIOR LIGHT FIXTURE SCHEDULE - 1ST FLOOR					
TYPE	QTY	MFG	COLOR TEMP	LUMENS	DESCRIPTION
Z1	23	WAC LIGHTING	3000K	670	MT-3LD111NA-F30, 4-3/4" X 4-3/4" X 4-3/4" MINI LED MULTISPOTS, BLACK BAFFLE & TRIM
YE	2	HINKLEY	3000	500	VAPOR 2855BZ, LARGE WALL MOUNTED LANTERN, 35 W GU10
Y	10	MODERN FORM	3000	275	MODERN FORM DOUBLE DOWN 18" H BLACK LED WALL LIGHT, 18H X 5W

FIXTURE LEGEND

- Z1 4-3/4" X 4-3/4" X 4-3/4" SINGLE MINI LED MULTISPOTS BY WAC LIGHTING
- YE HINKLEY VAPOR 28" OUTDOOR LIGHT
- Y 28" H X 4-3/4" W EXTENDS 3-5/4" FROM WALL, BLACK FINISH
- WALL MOUNTED LIGHT FIXTURE LED OUTDOOR BY MODERN FORMS
- DOUBLE DOWN 18" X 5" W EXTENDS 4" FROM WALL, BLACK FINISH

HILLSIDE LIGHTING NOTES

1. ALL BUILDING MOUNTED LIGHT FIXTURES SHALL BE FULLY SHIELDED. RECESSED LIGHTS IN EXTERIOR SOFFITS AND CEILINGS SHALL HAVE A 45 DEGREE CUTOFF.
2. ALL FIXTURES SHALL BE DIRECTED DOWNWARD AND PROPERLY AIMED ON THE TARGETED AREA.
3. BUILDING MOUNTED LIGHTING MUST BE DIRECTED DOWNWARD AWAY FROM ADJACENT LOTS, STREETS, UNDISTURBED AREAS AND OPEN SPACES, AND MAY NOT BE USED TO LIGHT WALLS OR BUILDING ELEMENTS.
4. THE MAXIMUM LIGHTING INTENSITY SHALL NOT EXCEED 25 FOOT-CANDLES WHEN MEASURED AT THE PROPERTY LINE.
5. EACH LIGHTING DEVICE SHALL BE SET BACK FROM THE PROPERTY LINE A MINIMUM OF 10' OR A DISTANCE EQUAL TO OR GREATER THAN THE HEIGHT OF THE DEVICE ABOVE NATURAL OR EXCAVATED GRADE, WHICHEVER IS GREATER. AS AN EXCEPTION, ENTRY MONUMENTS MAY BE LIGHTED PROVIDED THE LIGHTING SOURCE DOES NOT EXCEED THE EQUIVALENT PROJECTED BRIGHTNESS OF 250 LUMENS.
6. ALL LUMINAIRES SHALL BE SUBJECT TO THE FOLLOWING LIMITATIONS:
 - A. LUMINAIRES SHALL NOT EXCEED 750 LUMENS WHEN ATTACHED TO A STRUCTURE AND CONFINED TO THE IMMEDIATE VICINITY OF A BUILDING ENTRANCE OR OUTDOOR LIVING AREA.
 - B. LUMINAIRES SHALL NOT EXCEED 250 LUMENS FOR ALL OTHER USES.
 - C. LUMINAIRES SHALL NOT EXCEED 150 LUMENS FOR LANDSCAPE UP-LIGHTING.
 - D. MOTION SENSOR/ DETECTOR LIGHT FIXTURES ARE PERMITTED FOR SECURITY LIGHTING. SECURITY LIGHTING MUST BE CONTROLLED SEPARATELY FROM ALL OTHER LIGHTING.
 - E. SECURITY LIGHTS MUST BE ON TIMERS THAT REGULATE THEIR OPERATION TIME TO A MAXIMUM OF 10 MINUTES AND LIMITED TO LAMPS WITH A MAXIMUM OF 750 LUMENS.
 - F. ROPE LIGHT SHALL NOT EXCEED 3.6 WATTS PER INCANDESCENT ROPE LIGHT

1ST FLOOR LIGHTING PLAN

3/16"=1'-0"

1



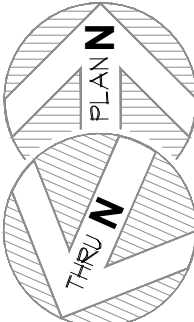
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fax: 602 954 6328
www.ajdesignstudio.com

THE NEW RESIDENCE ON
East San Miguel Avenue

5405 E San Miguel Ave.
Paradise Valley, AZ 85253

SET ISSUED:
07.24.2020



LIGHTING PLAN

Scale: 3/16"=1'-0"
Drawn by: AJ
Checked by: AJ
Sheet No:

E1.1

Sheet of



Hinkley Vapor 28" Outdoor Wall Light

PRODUCT DETAILS

Brighten the exterior of your home with the attractive style of this Vapor large outdoor wall light.

Additional Info:

Designed with aluminum, this Vapor large outdoor wall light by Hinkley exudes a sleek and industrial personality. The bronze finish is rich and attractive, and sure to complement surrounding details. The crackle glass completes the design with exceptional detail and character.

- 28" high x 4 3/4" wide. Extends 3 3/4" from the wall. Backplate is 4 3/4" square.
- Includes one 35 watt GU-10 base bulb. Maximum 35 watt bulb.
- Vapor contemporary large outdoor wall light by Hinkley.

HINKLEY

Shop all Hinkley.

- Bronze finish. Aluminum construction. Crackle glass.
- Wet location rated for outdoor use. Can also be used indoors. ADA compliant



Modern Forms Double Down 18" H Black LED Outdoor Wall Light



PRODUCT DETAILS

Back in the radiant bliss of minimalist-inspired modern charm with this black LED wall light, full of sleek lines and cascading glow.

Additional Info:

Sleek metallic shine marries modern simplicity in the clean lines of this two-light outdoor wall light by Modern Forms. Constructed of solid aluminum, install with the lights pointing up or down for a stunning, cascading glow. Brighten up the side of any house with the dimmable energy-efficient LED

- 18" high x 5" wide. Extends 4" from the wall.
- Backplate is 16 1/4" high x 4" wide x 3/4" deep.

- Includes two dimmable 5.5 watt high-powered replaceable LED modules: 275 lumen light output, comparable to a 25 watt incandescent. 3000K color temperature. 90 CRI.

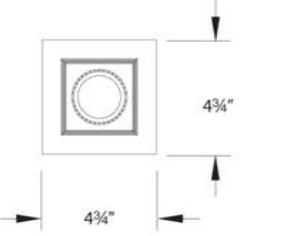
- Two-light energy-efficient LED outdoor wall light from the Double Down collection by Modern Forms.

- Black finish over solid aluminum construction.
- Can be installed with lights pointing up or down.
- ADA compliant design.
- Smooth and continuous dimming with an electronic low voltage (ELV) dimmer.
- LEDs average 50,000 hours at 3 hours per day.
- CEC Title 24 compliant. Dark sky friendly.
- Universal input voltage driver (120V-240V-277V) located in 4" junction box.
- Custom CCT options available by special order.



Shop all Modern Forms

MT-3LD111 - 1 Light
Mini LED Multiple Spots



WAC LIGHTING
Responsible Lighting®

Fixture Type: Z1
Catalog Number:
Project: SAN MIGUEL
Location:

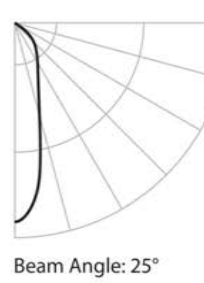
PRODUCT DESCRIPTION

Integral housing adjustable recessed spot light.

FEATURES

- Energy Star® rated
- Title 24 California Energy Commission Compliant (90 CRI versions)
- Individually adjustable luminaires
- Complete unit includes housing & trim
- All housings are Non-IC rated
- 30° visual cutoff for glare control
- 25° vertical tilt, 350° horizontal rotation.

PHOTOMETRY



SPECIFICATIONS

Construction: Die-cast aluminum heat sink painted black. Trim, housing and junction box are 20 gauge steel. Frame and hanger bars are heavy gauge galvanized steel.

J-Box (New Construction): Seven knockouts and four Romex® style wiring connectors provided for ease of installation. Rated for branch wiring.

Driver: 120V input

Light Source: High output LED (included with housing)

Dimming: Dim to 10% with electronic low voltage (ELV) dimmer. Mounting: Supplied with hanger bars, adjustable from 14 1/2" - 25" to accommodate various joist construction and grid sizes. Hanger bars include a captive mounting "screw-nail" for ease of installation. Accommodates surface up to 1" thick. 4 1/2" x 4 1/2" cutout. See instruction sheet for details on installation using spackle ring.

Finish: Abrasion resistant powder coat paint in Black (BK).

Standards: ETL & CETL listed.

FIXTURE PERFORMANCE

Model	Type	Color Temp	Watts	Lumens	Efficacy	CRI
MT-3LD111NA-F30	New Construction	3000K	11W	755	69 Ln/W	85
MT-3LD111R-F30	Remodel					
MT-3LD111NA-F30	New Construction	3000K	11W	670	59 Ln/W	90
MT-3LD111R-F30	Remodel					

Body Finish: White / Black Reflector
Lamp: 1 x LED (11W/120V LED)
Wattage: 11W
Dimmer: Low Voltage Electronic
Dimensions: 6"W x 4.6"H x 4.1"D

Technical Information
Luminous Flux: 670 lumens
Lumens/Watt: 60.91
Lamp Color: 3000 K
Color Rendering: 90 CRI
Beam Angle: 25°
Lamp Life: 60,000 hours
Function: Adjustable Accent
Ceiling Type: Drywall with Trim
Housing Type: New Construction NON IC
Housing Height: 5"
Aperture Shape: Rectangular
Aperture Size: 0.000"



Address: 1718 W. Fullerton Ave.

EXTERIOR LIGHT FIXTURE SCHEDULE - 2ND FLOOR				
TYPE	QTY	MFG	COLOR TEMP	DESCRIPTION
Z1	12	WAC LIGHTING	3000K	MT-3LD111NA-F30, 4-3/4" X 4-3/4" MINI LED MULTISPOTS, BLACK BAFFLE & TRIM
YE	1	HINKLEY	3000	VAPOR 28558Z, LARGE WALL MOUNTED LANTERN, 35 W GU10
Y	8	MODERN FORM	3000	MODERN FORM DOUBLE DOWN 18" H BLACK LED WALL LIGHT, 18H X 5W

FIXTURE LEGEND	
⚙ Z1	4-3/4" X 4-3/4" SINGLE MINI LED MULTISPOTS BY WAC LIGHTING
⚙ Z1	MT-3LD111NA-F30, BLACK BAFFLE & TRIM
⚙ YE	HINKLEY VAPOR 28" OUTDOOR LIGHT
⚙ Y	WALL MOUNTED LIGHT FIXTURE LED OUTDOOR BY MODERN FORMS
⚙ Y	DOUBLE DOWN 18" X 5" EXTENDS 4" FROM WALL, BLACK FINISH



2ND FLOOR LIGHTING PLAN

3/16"=1'-0"

2

HILLSIDE LIGHTING NOTES

1. ALL BUILDING MOUNTED LIGHT FIXTURES SHALL BE FULLY SHIELDED. RECESSED LIGHTS IN EXTERIOR SOFFITS AND CEILINGS SHALL HAVE A 45 DEGREE CUTOFF.
2. ALL FIXTURES SHALL BE DIRECTED DOWNWARD AND PROPERLY AIMED ON THE TARGETED AREA.
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4. THE MAXIMUM LIGHTING INTENSITY SHALL NOT EXCEED 25 FOOT-CANDLES WHEN MEASURED AT THE PROPERTY LINE.
5. EACH LIGHTING DEVICE SHALL BE SET BACK FROM THE PROPERTY LINE A MINIMUM OF 10' OR A DISTANCE EQUAL TO OR GREATER THAN THE HEIGHT OF THE DEVICE ABOVE NATURAL OR EXCAVATED GRADE, WHICHEVER IS GREATER. AS AN EXCEPTION, ENTRY MONUMENTS MAY BE LIGHTED PROVIDED THE LIGHTING SOURCE DOES NOT EXCEED THE EQUIVALENT PROJECTED BRIGHTNESS OF 250 LUMENS.
6. ALL LUMINAIRES SHALL BE SUBJECT TO THE FOLLOWING LIMITATIONS:
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 - E. SECURITY LIGHTS MUST BE ON TIMERS THAT REGULATE THEIR OPERATION TIME TO A MAXIMUM OF 10 MINUTES AND LIMITED TO LAMPS WITH A MAXIMUM OF 750 LUMENS.
 - F. ROPE LIGHT SHALL NOT EXCEED 3.6 WATTS PER INCANDESCENT ROPE LIGHT

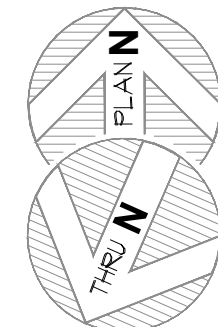


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THE NEW RESIDENCE ON
East San Miguel Avenue

SET ISSUED:
07.24.2020



LIGHTING PLAN

Scale: 3/16"=1'-0"
Drawn by: AJ
Checked by: AJ
Sheet No:

E1.2

Sheet of

5405 EAST SAN MIGUEL

project consultants

owners:	architecture:
JOHN MCDADE 6458 EAST EXETER SCOTTSDALE, AZ 85251 PHONE: 602.628.3888 EMAIL: jm.2@icloud.com	AJ DESIGN STUDIO P.O.BOX 80311 PHOENIX, AZ 85060 CONTC: AGNIESZKA JASTRZEBSKA PHONE: 602.881.2508 EMAIL: aj@ajdesignstudio.com

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sheet index

SHEET	TITLE
L.01	COVER SHEET & NOTES
L.02	LANDSCAPE PLAN
L.03	HARDSCAPE DETAILS
L.04	LIGHTING PLAN
L.05	LIGHTING CUTSHEETS & DETAILS
L.06 - L.07	LANDSCAPE & IRRIGATION DETAILS
IS.01	NATIVE PLANT INVENTORY

planting notes

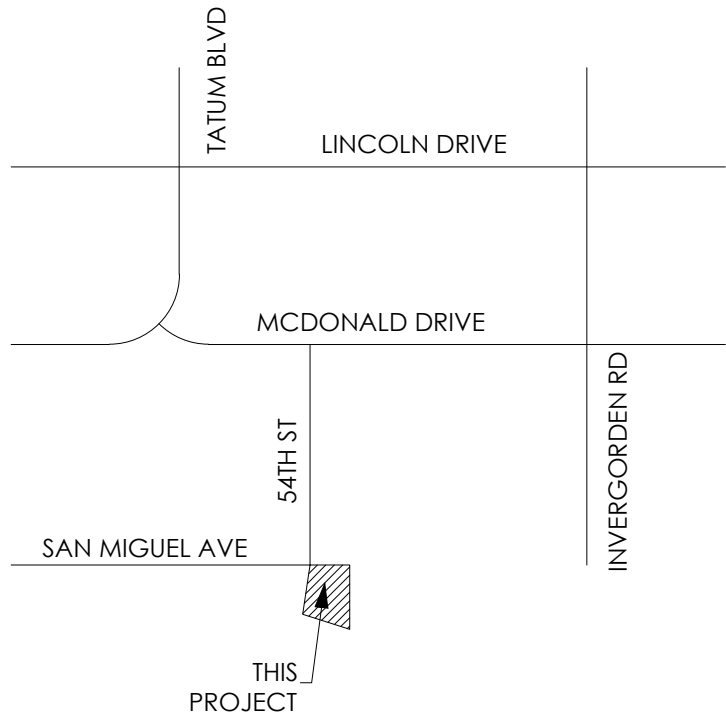
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1. THE SUB-CONTRACTOR SHALL MARK AND CONFIRM LOCATIONS OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION. CONFLICTS SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT FOR RESOLUTION.
2. PLANT MATERIALS SPECIFIED SHALL BE SUBJECT TO HAND SELECTION BY THE LANDSCAPE ARCHITECT AT THE NURSERY.
3. FINISH GRADE OR TOP OF D.G. (WHICHEVER IS HIGHER) SHALL BE 1-1/2" BELOW ADJACENT CONCRETE OR OTHER PAVED SURFACES.
4. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON PLANTING PLAN. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ACCURATE PLANT COUNTS. IF ANY DISCREPANCIES SHOULD ARISE WITH REGARDS TO PLANT QUANTITIES THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT WITHIN A PERIOD OF 48 HOUR FOR DISCUSSION.
5. CONTRACTOR TO STAKE ALL TREE, PALM, AND SHRUB LOCATIONS FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO PLANTING.
6. LANDSCAPE ARCHITECT WILL NOT BE RESPONSIBLE FOR LOCATION AND PLACEMENT OF TREES AND PALMS UNLESS THE LOCATION WAS APPROVED BY LANDSCAPE ARCHITECT.
7. ALL TREE AND PALM CANOPIES MUST BE A MINIMUM OF 3'-5' FROM ANY BUILDING WALLS OR BUILDING WINDOWS WHEN THE PLANT REACHES ITS MATURE SIZE.
8. ALL PLANT MATERIALS SHALL BE SIZED ACCORDING TO THE ARIZONA NURSERY ASSOCIATION STANDARDS. PLANT MATERIAL SIZES NOT ESTABLISHED PER A.N.A. STANDARDS SHALL BE SIZED ACCORDING TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
9. ALL NEWLY INSTALLED TREES ARE TO BE STAKED IN PLACE PER THE LANDSCAPE ARCHITECT'S DETAILS FOUND WITHIN THE PLAN SET OR WITHIN THE LANDSCAPE ARCHITECT'S DETAIL AND SPECIFICATION BOOKLET DEVELOPED FOR THE PROJECT.
10. ACID ETCH IMPERVIOUS SOILS AS REQUIRED AT PROPOSED TREE LOCATIONS TO ENSURE PLANT HEALTH AND VITALITY.
11. SUB-CONTRACTOR TO TREAT ALL D.G. AREAS WITHIN THE LIMITS OF CONSTRUCTION WITHONE FINAL APPLICATION OF AN APPROVED PRE-EMERGENT HERBICIDE AT THE TIME OF ACCEPTANCE BY THE OWNER.
12. CACTI SHALL RECEIVE NO SUPPLEMENTAL IRRIGATION UNLESS OTHERWISE NOTED OR IDENTIFIED WITHIN THE LANDSCAPE ARCHITECTS IRRIGATION DRAWINGS.
13. NO PLANT SUBSTITUTIONS, TYPE, OR QUANTITY DEVIATIONS FROM THE APPROVED LANDSCAPE OR IRRIGATION PLANS WITHOUT PERMISSION FROM THE LANDSCAPE ARCHITECT.
14. EXISTING TREES AND SHRUBS IN R.O.W. TO REMAIN OR BE RELOCATED BY CONTRACTOR. ANY PLANT MATERIAL DAMAGED OR DESTROYED WILL BE REPLACED IN KIND BY THE CONTRACTOR.
15. ALL LANDSCAPE AREAS SHALL RECEIVE 2" DESERT PAVEMENT UNLESS NOTED. COLOR TO BE SELECTED BY OWNER UNLESS NOTED. ALL D.G. SAMPLES SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR APPROVAL.
16. ROUGH GRADING TO WITHIN +0.10 FOOT, INCLUDING ALL BERMS AND/OR SWALES AND RETENTION AREAS WILL BE PROVIDED BY BUILDER / DEVELOPER OR THE OWNER'S AGENT PRIOR TO PLANT INSTALLATION.
17. ANY DISCREPANCIES FOUND BETWEEN PLANS, SPECIFICATIONS, AND SITE SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR RESOLUTION.
18. THE LANDSCAPE ARCHITECT HAS THE OPTION TO REJECT ANY PLANT MATERIALS DEEMED UNACCEPTABLE UPON DELIVERY TO SITE.
19. ACKNOWLEDGE REQUIREMENT OF COUNTY DUST CONTROL PERMIT AND LANDSCAPE PERMIT FOR ALL LANDSCAPE WORK WITHIN THE PROJECT ON RESIDENTIAL, COMMERCIAL, AND INDUSTRIAL SUBDIVISIONS.
20. TREES, SHRUBS, VINES, GROUNDCOVER, AND TURF WHICH HAVE TO BE REPLACED UNDER TERMS OF THE GUARANTEE, SHALL BE GUARANTEED FOR AN ADDITIONAL SIXTY (90) DAYS FROM THE DATE OF REPLACEMENT.
21. ALL POOLS, SIGNS AND MONUMENT WALLS REQUIRE A SEPARATE BUILDING APPROVAL AND PERMITS.
22. THE CONTRACTOR SHALL PROVIDE ALL REQUIRED SHOP DRAWINGS TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO THE BEGINNING OF CONSTRUCTION. REQUIRED SHOP DRAWINGS MAY INCLUDE BUT ARE NOT LIMITED TO WALLS, COLUMNS, ENTRY GATES, POOL FENCE AND/OR WATER FEATURES. SHOULD A DISPUTE ARISE WITH ANY DESIGN ELEMENT REQUIRING SHOP DRAWINGS, THE LANDSCAPE ARCHITECT SHALL ONLY ASSUME RESPONSIBILITY IF THE SHOP DRAWINGS IN QUESTION HAVE BEEN REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT.
23. ALL TREES WITHIN THE SIGHT TRIANGLE AND DISTANCE AREAS SHALL BE MAINTAINED TO A MINIMUM CANOPY CLEARANCE OF 7'-0'.
24. TREES ADJACENT TO PEDESTRIAN WALKWAYS ARE TO HAVE A MINIMUM CLEARANCE OF 6'-8
25. THERE ARE EXISTING TREES ON SITE.

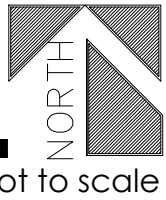
irrigation notes

(not approved by city)

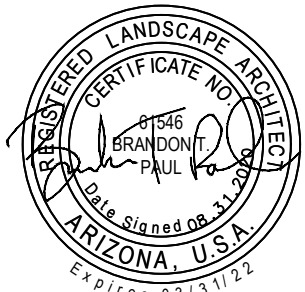
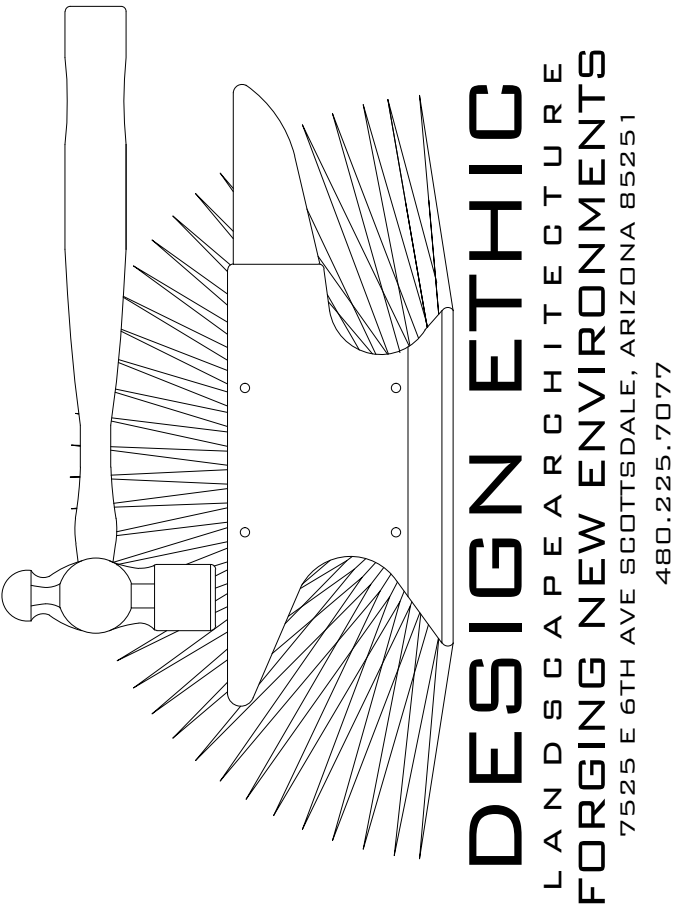
1. IRRIGATION DESIGN SHALL COMPLY WITH THE INTENT OF THE CITY/TOWN OF PHOENIX WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE.
2. CONTRACTOR TO CONTACT THE LOCAL UNDERGROUND UTILITY SERVICES FOR UTILITY LOCATION AND IDENTIFICATION.
3. STAKE ALL UTILITIES, INCLUDING SEWER AND DRAINAGE PRIOR TO ANY EXCAVATION. CONFLICTS SHALL BE REPORTED TO THE ARCHITECT/LANDSCAPE ARCHITECT FOR RESOLUTION.
4. PERFORM EXCAVATION IN THE VICINITY OF UNDERGROUND UTILITIES WITH CARE AND IF NECESSARY, BY HAND. THE CONTRACTOR BEARS FULL RESPONSIBILITY FOR THIS WORK AND DISRUPTION OR DAMAGE TO UTILITIES SHALL BE REPAIRED IMMEDIATELY AT NO EXPENSE TO THE OWNER.
5. REFER TO CIVIL ENGINEER'S UTILITY AND PRECISE GRADING PLANS FOR UTILITY LOCATION AND FINAL GRADING. IF ACTUAL SITE CONDITIONS VARY FROM WHAT IS SHOWN ON THE PLANS, CONTACT THE ARCHITECT FOR DIRECTION AS TO HOW TO PROCEED. VERIFY LOCATIONS OF PERTINENT SITE IMPROVEMENTS INSTALLED UNDER OTHER SECTIONS. IF ANY PART OF THIS PLAN CANNOT BE FOLLOWED DUE TO SITE CONDITIONS, CONTACT ARCHITECT FOR INSTRUCTIONS PRIOR TO COMMENCING WORK.
6. THE DESIGN OF THE IRRIGATION SYSTEM SHALL BE THE RESPONSIBILITY OF OF THE CONTRACTOR PER THE PROJECT SPECIFICATIONS. THE CONTRACTOR SHALL SUBMIT IRRIGATION AS-BUILT DESIGN DRAWINGS AND ASSOCIATED DOCUMENTATION TO THE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. THE IRRIGATION SYSTEM SHALL BE RUN WITH A FULLY AUTOMATED IRRIGATION CONTROLLER. RUN TIME SHALL BE ADJUSTED ACCORDING TO SEASON, LOCATION AND PLANT PERFORMANCE. DRIP EMITTERS SHALL BE USED FOR ALL PLANT MATERIAL EXCEPT SOD AND POSSIBLY PERENNIAL GROUNDCOVERS. THESE AREAS SHALL BE IRRIGATED WITH SPRAY EMITTERS APPROPRIATELY DESIGNED TO AVOID OVERSPRAY ONTO IMPERMEABLE SURFACES AND ADJACENT PAVING.
7. IRRIGATION EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
8. IF THERE ARE ANY DISCREPANCIES WITH VALVE SIZES, METER SIZES, MAINLINE SIZES, WATER PRESSURE, COVERAGE, CONTROLLER SIZES, OBSTRUCTIONS, GRADE DIFFERENCES OR LAYOUT - THE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT WITHIN ONE BUSINESS DAY TO DISCUSS AND ADDRESS THE ISSUE(S).
9. DEPTH OF BURY OF THE MAINLINE SHALL BE A MINIMUM OF 18". DEPTH OF BURY ON LATERAL PIPING SHALL BE A MINIMUM OF 12". THE MAIN LINE AND LATERAL LINES SHALL BE SCHEDULE 40 PVC SOLVENT WELD PIPE WITH INTEGRAL SOLVENT WELD BELLS. CURVED TRENCHES AND BENDING OF PIPE TO AVOID FITTINGS WILL NOT BE ACCEPTED.
10. FOR METERS THAT OPERATE MORE GALLONS PER MINUTE (G.P.M.) THAN THE METER'S CAPACITY, CONTRACTOR SHALL PROGRAM THE CONTROLLER TO OPERATE VALVES TO THE MAXIMUM METER CAPACITY. A METER MAY NEED TO HAVE SEVERAL RUN TIMES TO OPERATE ALL VALVES ASSOCIATED WITH THE METER.
11. POINT OF CONNECTION: A CONNECTION TO POTABLE WATER FOR IRRIGATION PURPOSES WILL BE MADE ON THE PROPERTY, SEE UTILITY PLANS FOR EXAC'T LOCATION OF METER. VALVE BOXES AND EQUIPMENT SHALL BE SHIELDED FROM VIEW, CONTRACTOR TO VERIFY WATER PRESSURE AT WATER METER PRIOR TO START OF WORK. A BOOSTER PUMP MAY BE REQUIRED IF THE PRESSURE IS TOO LOW.
12. BACKFLOW PREVENTOR TO BE VERIFIED IN FIELD BY LANDSCAPE ARCHITECT OR OWNER PRIOR TO INSTALLATION.
13. ELECTRICAL POWER/PEDESTAL(S) LOCATIONS TO BE PROVIDED BY OTHERS. FINAL LOCATION OF CONTROLLER TO BE STAKED AND APPROVED BY LANDSCAPE ARCHITECT OR OWNER PRIOR TO INSTALLATION.
14. ALL 24 VOLT WIRING FROM CONTROLLER TO ELECTRIC VALVES SHALL BE MINIMUM 14 GAUGE SOLID COPPER DIRECT BURIAL WIRE.
15. PER ARIZONA HOUSE BILL 2256, A BLUE 18 GAUGE TRACER WIRE SHALL BE INSTALLED WITH 2" AND LARGER MAINLINES. 6" INCHES OF WHICH SHALL BE COILED INSIDE THE CONTROLLER.
16. MAINLINE AND LATERAL PIPING IS SCHEMATIC. LOCATE ALL MAINLINES AND EQUIPMENT OUTSIDE OF THE PUBLIC R.O.W. AND P.U.E. BUT WITHIN THE LANDSCAPE AREAS. CONTRACTOR TO ADJUST AS NECESSARY IN FIELD.
17. ALL MAINLINES, LATERAL LINES AND WIRING UNDER PAVEMENT TO BE IN SEPARATE SCHEDULE 80 PVC SLEEVES. PVC SCHEDULE SLEEVES SHALL BE A MINIMUM INSIDE DIAMETER OF 2 TIMES THE IRRIGATION LINE DIAMETER. VALVE WIRING SHALL BE WITHIN SEPARATE ADJACENT SLEEVE.
18. THE CONTRACTOR SHALL PROVIDE IN-LINE AND/OR SPRINKLER CHECK VALVES AS REQUIRED THROUGHOUT THE IRRIGATION SYSTEM LOCATED WITHIN A SLOPED AREAS TO PREVENT LOW IRRIGATION HEAD DRAINAGE.
19. PROVIDE SEPARATE VALVES FOR TREES AND SHRUBS. ALL DRIP ZONE PVC SHALL BE A MINIMUM 3/4" CLASS 200.
20. ALL PIPING IS TO BE FLUSHED FOR A PERIOD OF 10 MINUTES PRIOR TO THE INSTALLATION OF EMITTERS. CONTRACTOR SHALL BE RESPONSIBLE FOR NECESSARY FLUSHING OF SYSTEM DUE TO CLOGGING FOR THE DURATION OF THE LANDSCAPE MAINTENANCE PER SPECIFICATIONS.
21. MAXIMUM LENGTH OF MICROTUBING ON DRIP ZONE TO BE 5'. WITH 6" MIN. EXPOSED AT THE EMITTER END.
22. CONTRACTOR TO GUARANTEE 100% IRRIGATION COVERAGE FOR ALL LAWN AREAS. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT OF ANY LAWN AREAS WITHOUT FULL COVERAGE.
23. IRRIGATION HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE UNLESS OTHERWISE SPECIFIED.



vicinity map



not to scale



5405 EAST SAN MIGUEL
PARADISE VALLEY, AZ 85253

COVER SHEET & NOTES

PROJECT:

JOB NO: 20-010

DATE:

DRAWN BY: B. PAUL

SUBMITTED: 08.31.2020

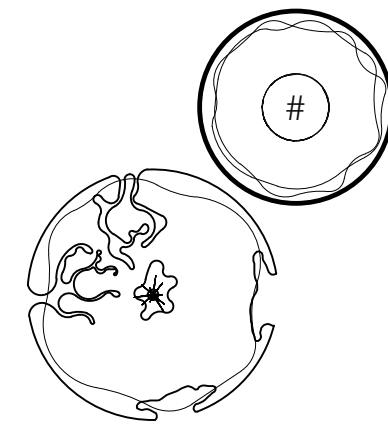
REVISED:

SHEET





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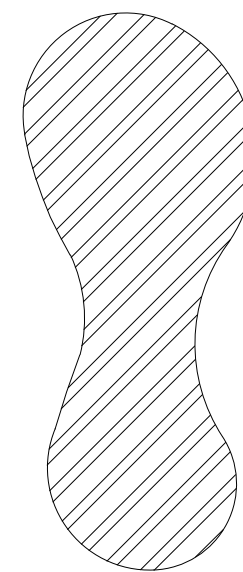
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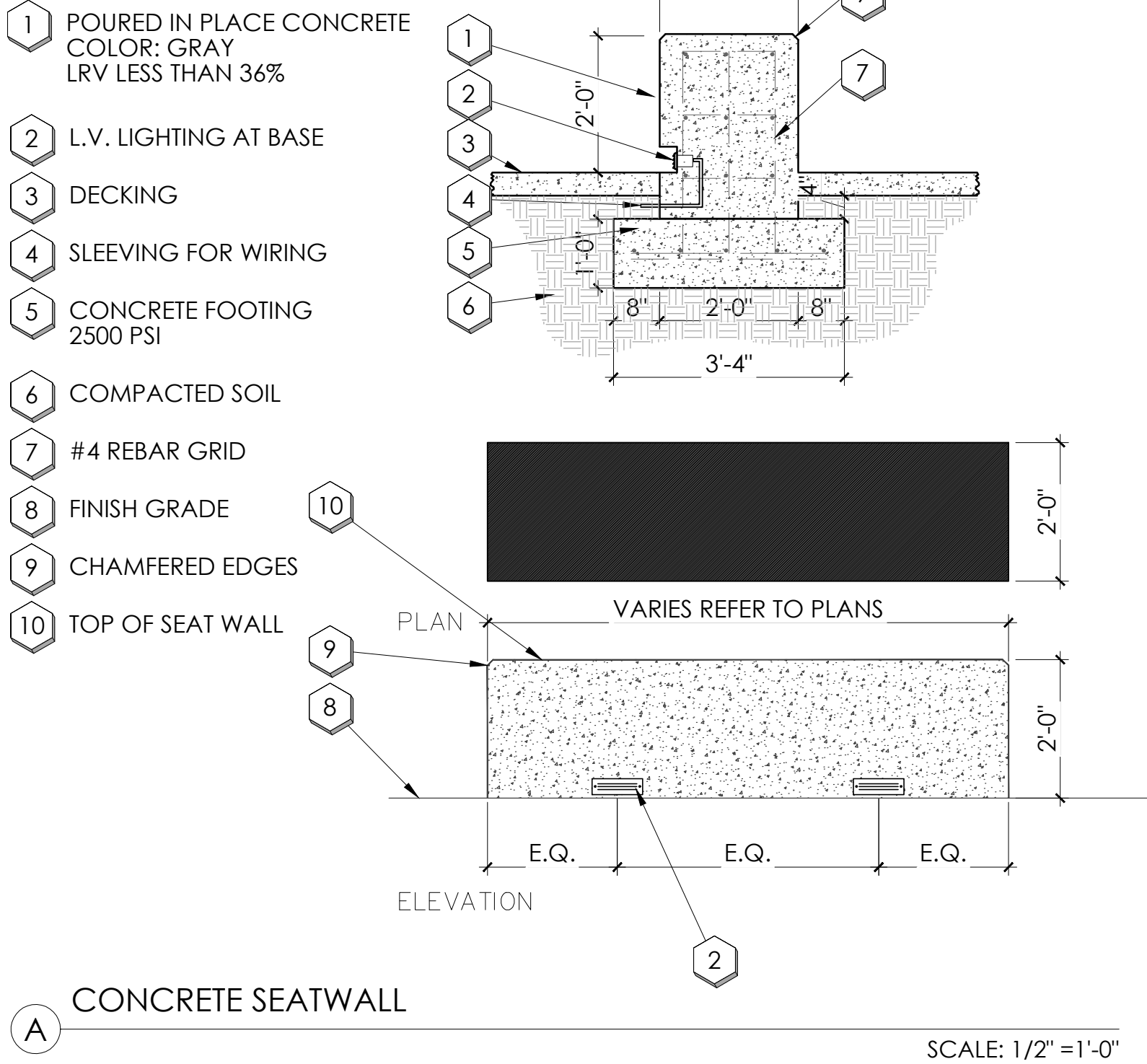
	botanical name common name	emitters	size	qty	comments
salvaged tree					
trees	PRESERVE IN PLACE TREE SEE INVENTORY SALVAGE PLAN			3	
shrubs	OLNEYA TESOTA DESERT IRONWOOD	(5 @ 1.0 GPH)	48" BOX	3	8.0 H., 6.0 W., 2.0 CAL. STAKE IN PLACE
accents	SIMMONDSIA CHINENSIS JOJOBA	(1 @ 1.0 GPH)	5 GAL.	7	

hardscape			
	POURED IN CONCRETE SEATWALL	60 L.F.	LRV LESS THAN 36%
	BELGARD DRIVEWAY PAVER HOLLAND STONE - "GRAPHITE BLEND"	4" X 8" 80 MM	2,667 SF LRV LESS THAN 36%
	ARTISTIC PAVER PATIO DESERTLOCK COLLECTION - "SILVER SAM"	16" X 16"	2,167 SF LRV LESS THAN 36%
	SELECT GRANITE BOULDERS PIT RUN ROCK	+/-20	SALVAGED FROM SITE

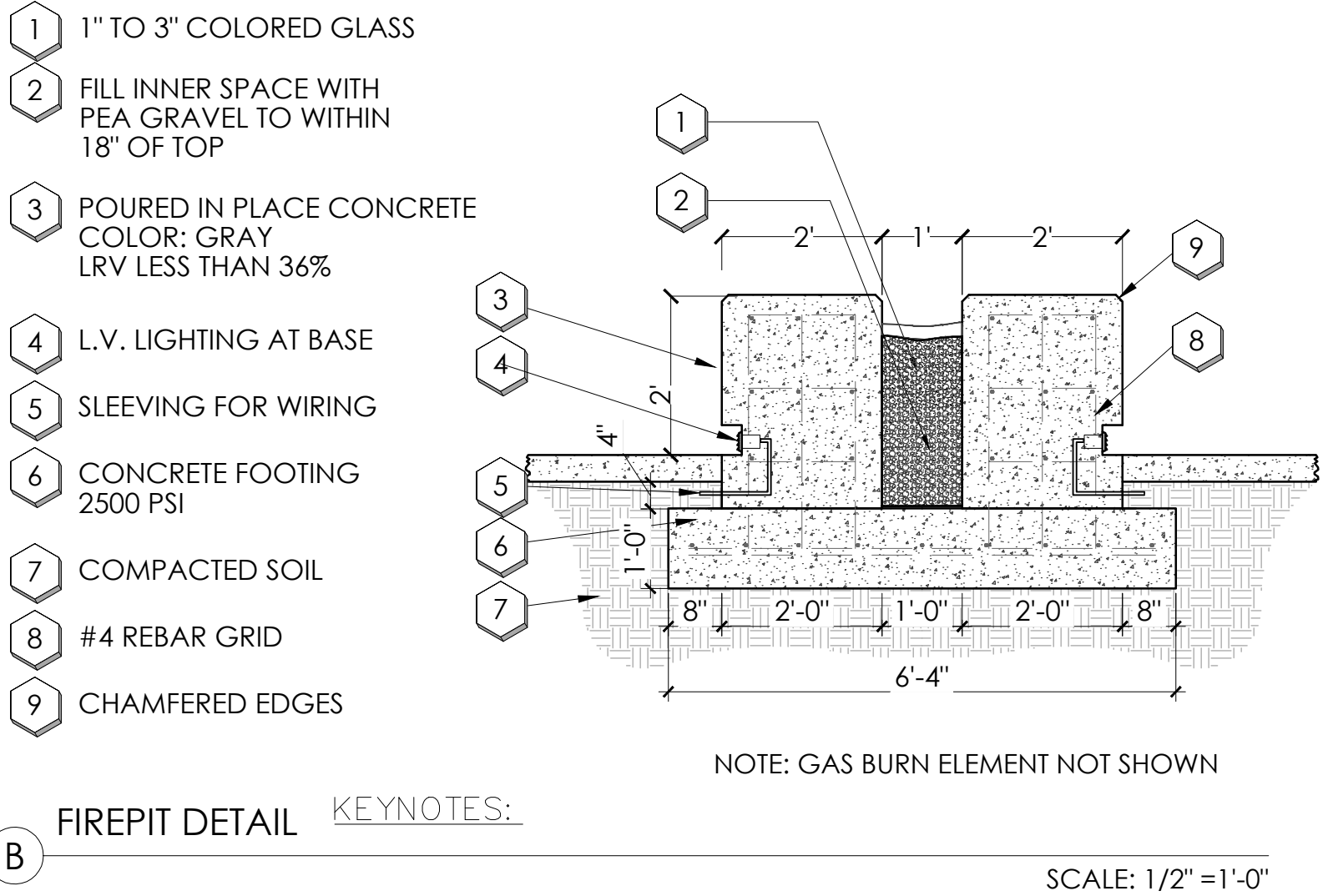


L.02 of L.07

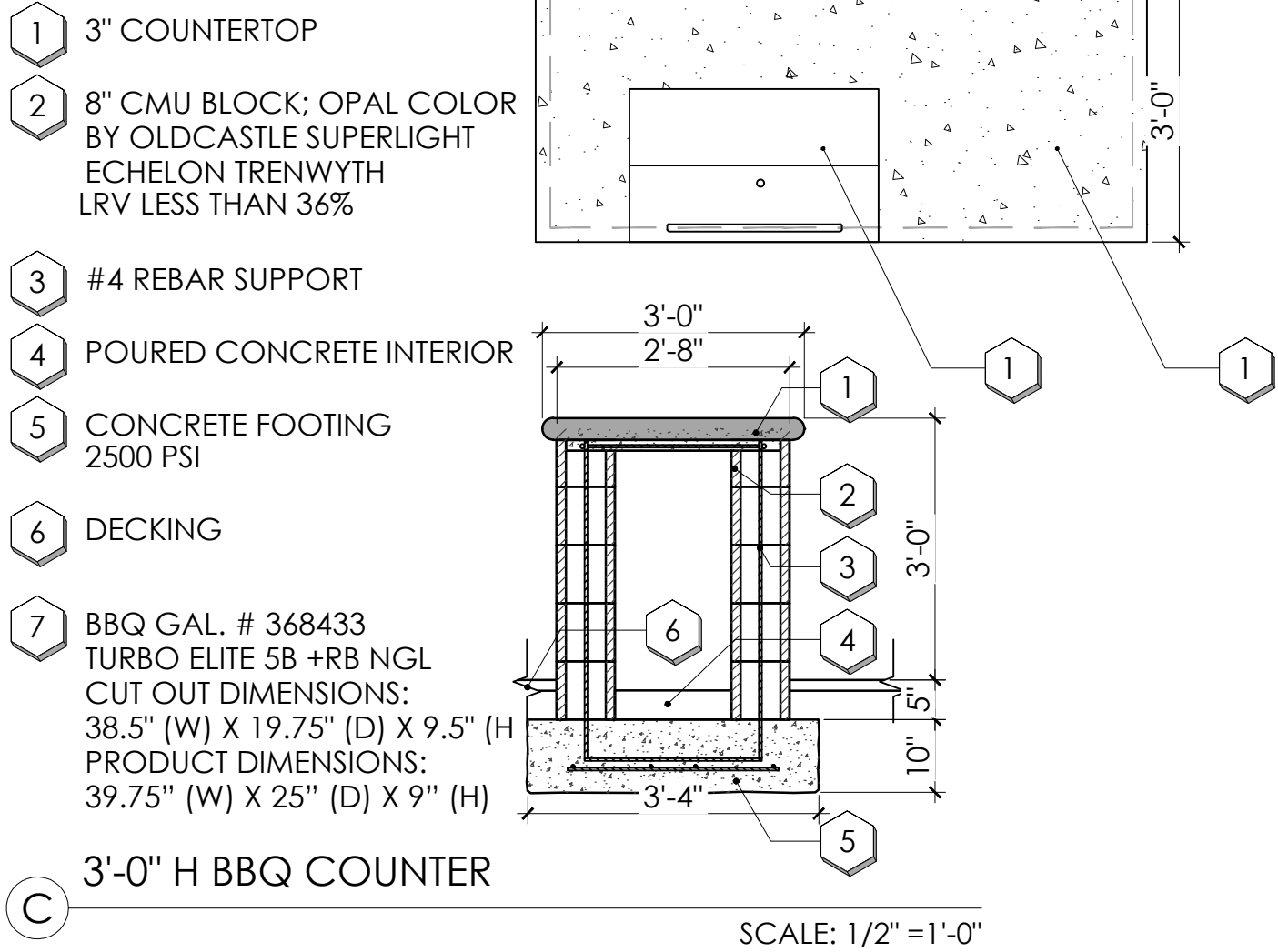
key notes



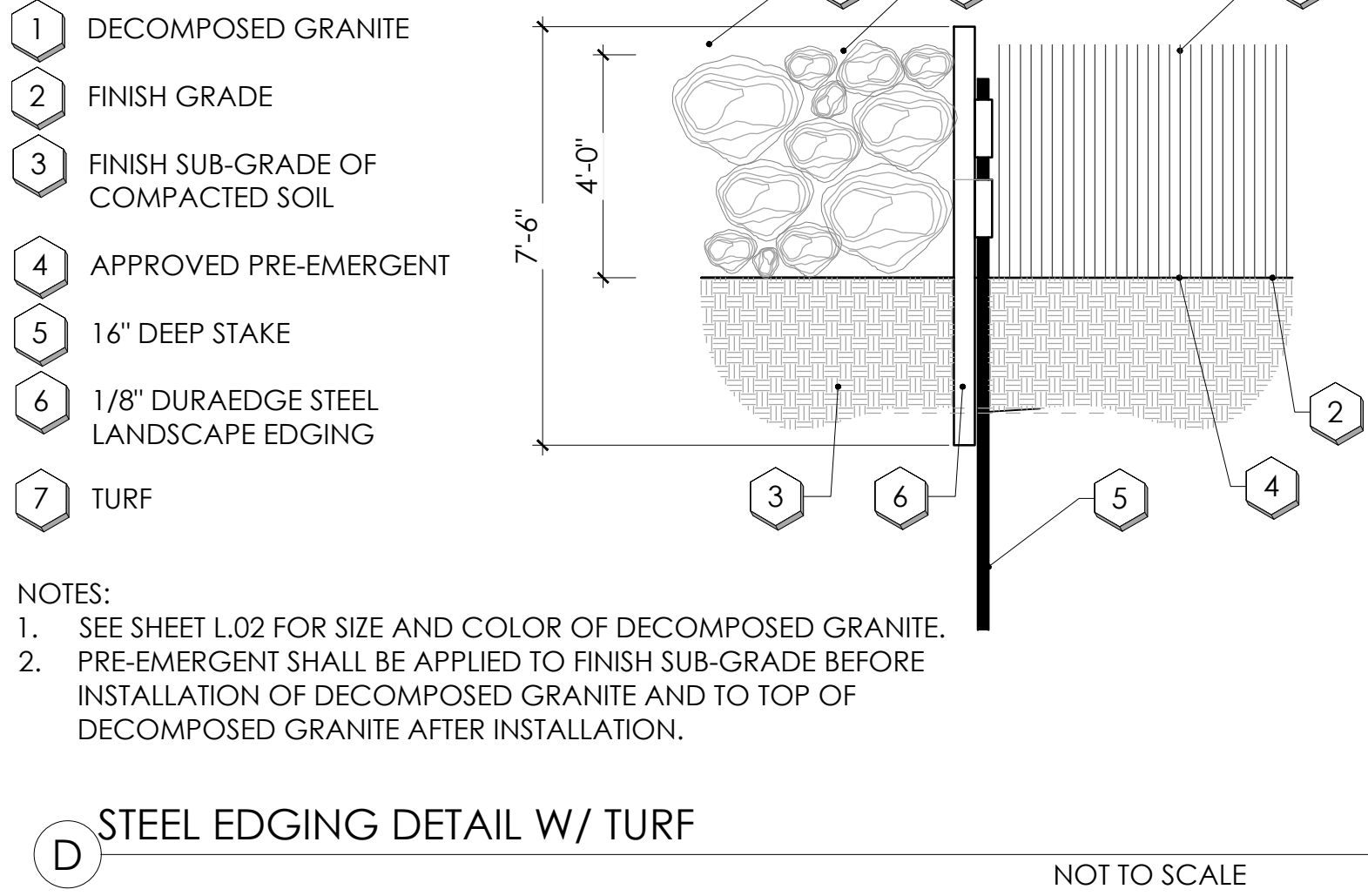
key notes



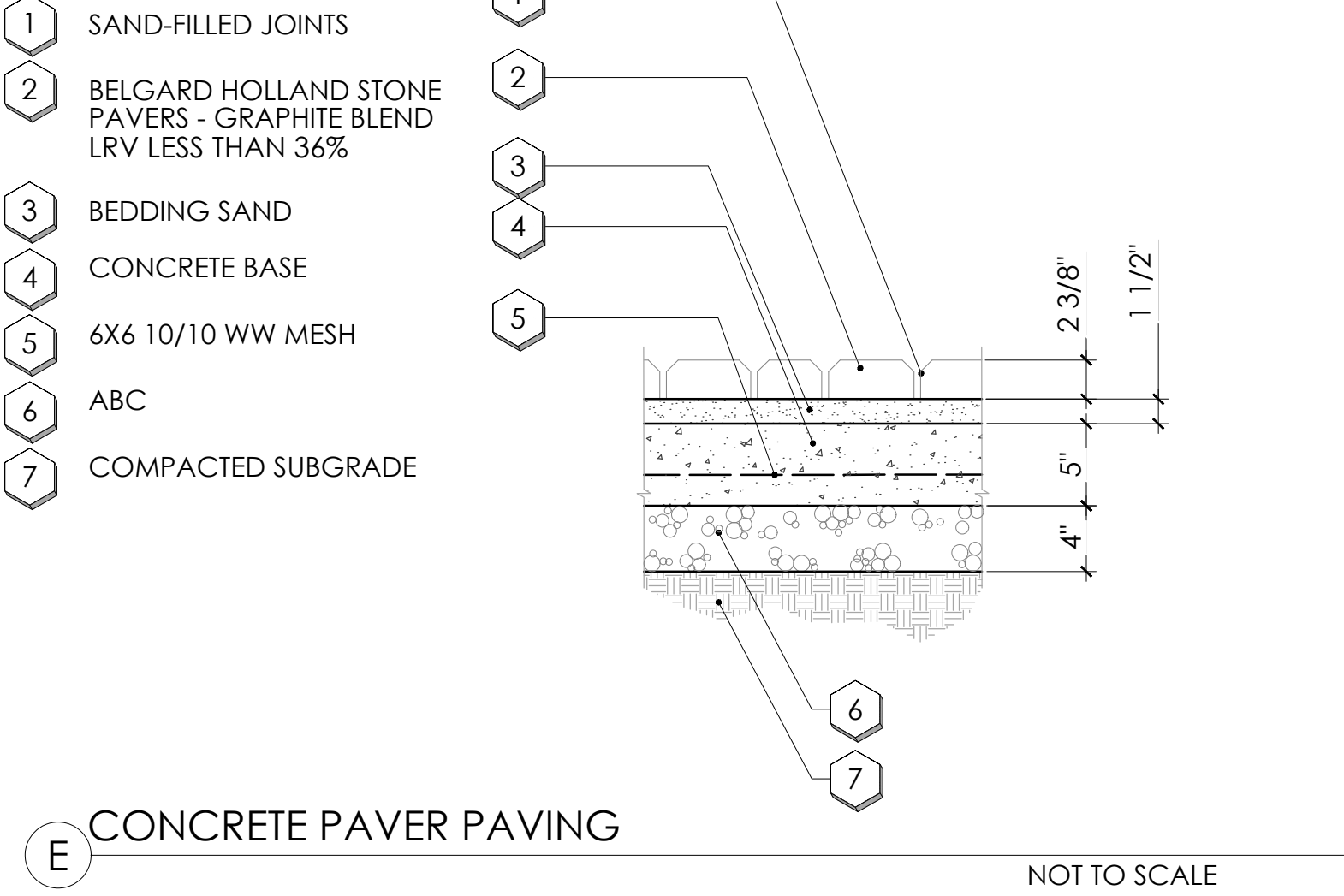
key notes



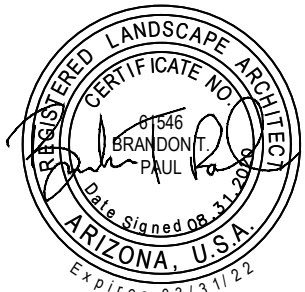
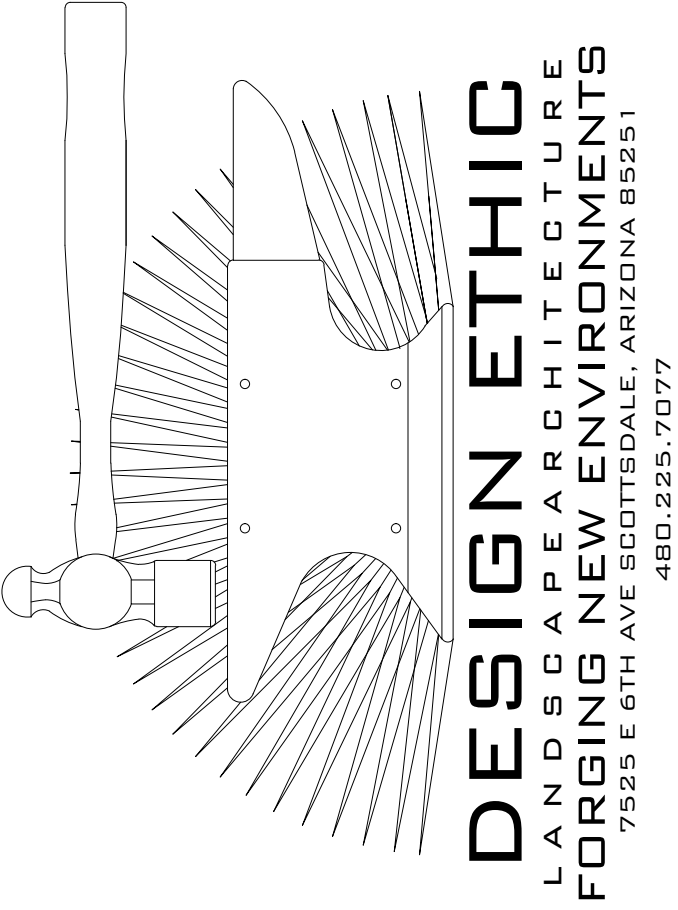
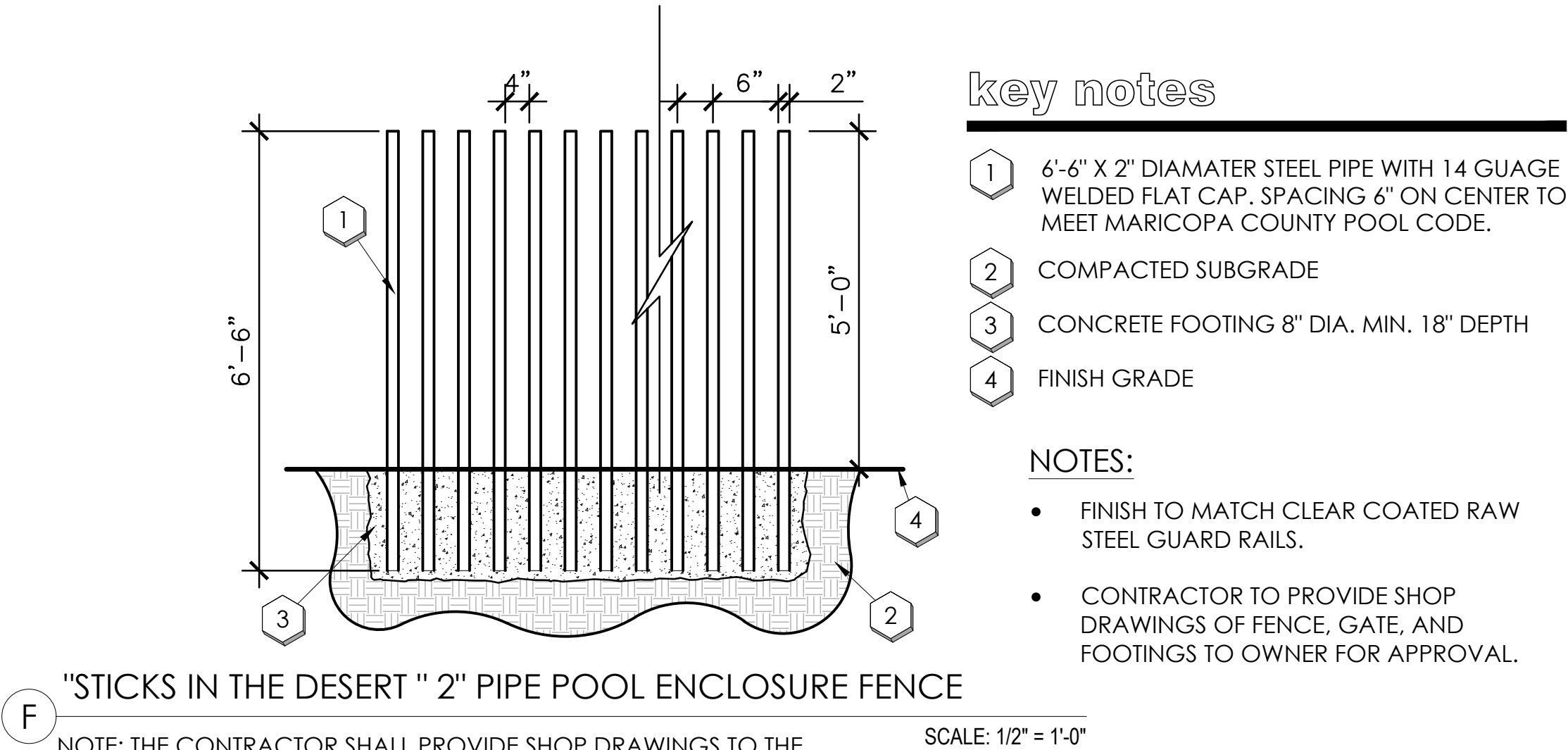
KEYNOTES:



KEYNOTES:



key notes

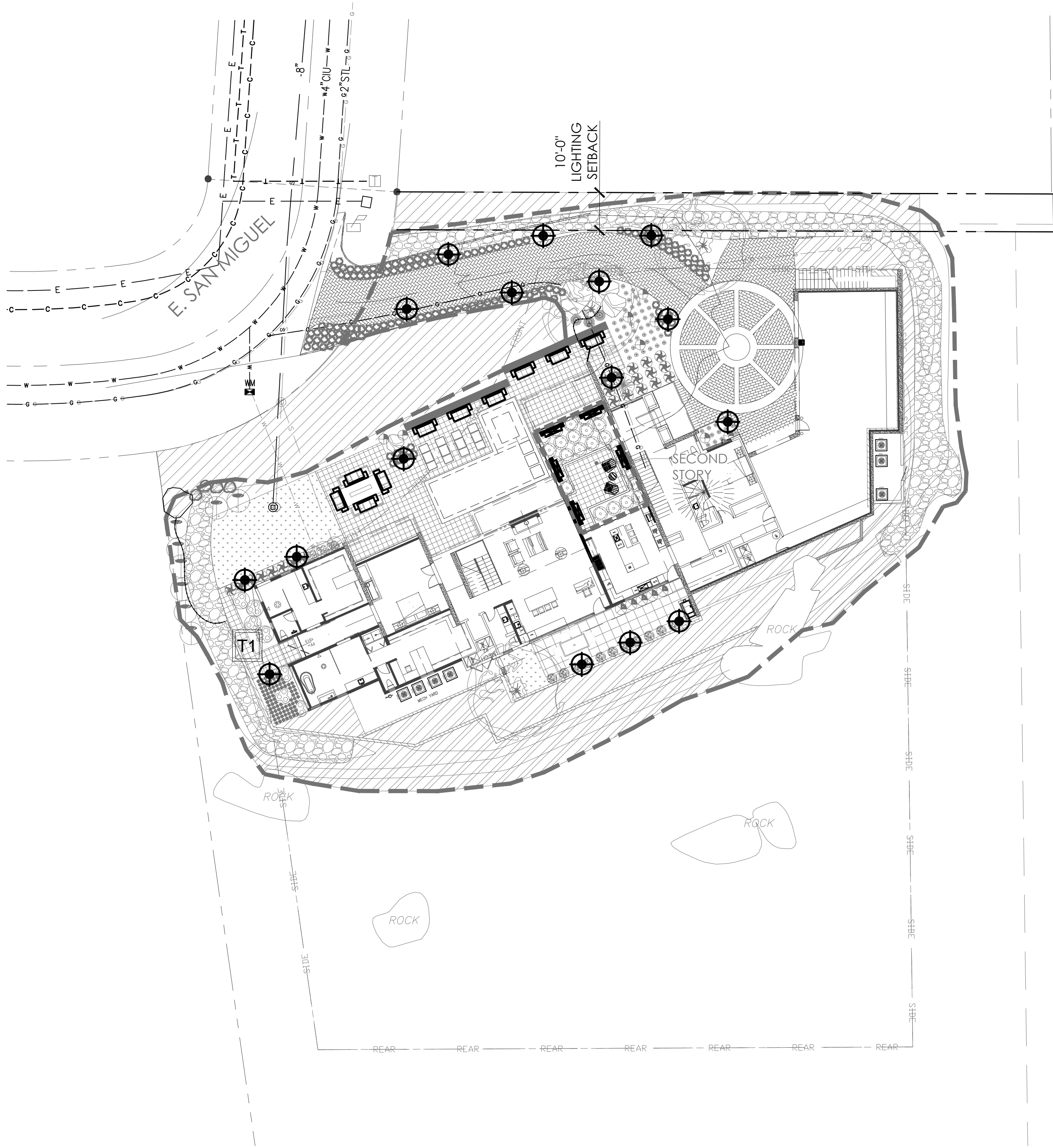


CALL TWO WORKING DAYS
BEFORE YOU DIG
602-263-1100
1-800-STAKE-IT
(OUTSIDE MARICOPA COUNTY)

5405 EAST SAN MIGUEL
PARADISE VALLEY, AZ 85253
HARDSCAPE DETAILS

PROJECT:
JOB NO: 20-010
DATE:
DRAWN BY: B. PAUL
SUBMITTED: 08.31.2020
REVISED:

SHEET
L.03 of L.07



lighting legend

SYMBOL	FIXTURE APPLICATION	PART NUMBER	DESCRIPTION	LIGHT COLOR	LUMENS	QTY
	PATH LIGHT	M-PL-ZD-1LED-SV	SV, 1LED BOARD, COLOR FILTERS, 2.4 VA, MOUNTING PLATE, NATURAL BRASS FINISH	2,700 K	74	16
	WALL LIGHT	LM-ZD-1LED-NP	NICKEL, 1LED BOARD, COLOR FILTERS, 2.4 VA, MOUNTING PLATE, NICKEL PLATE FINISH	2,700 K	10	12
	LEDGE LIGHT	LF-ZD-1LED-NP	SV, 1LED BOARD, COLOR FILTERS, 2.4 VA, MOUNTING PLATE, BRONZE FINISH	2,700 K	5	12
	TRANSFORMER	LZD-300-M	STAINLESS STEEL, 300W, DIGITAL ZONING AND DIMMING CONTROL W/ LCD DISPLAY	--		1

accessories/options

SSS	SUPER SLOT SPIKE
CDS	COMPARTMENT SPIKE
SJ	SUPER J-BOX
PM	POST MOUNT
MJ	MINI J-BOX (SMALL SURFACE MOUNT)
VB	VERSA BOX
WM	WALL MOUNT (JB DOWN LIGHT)
PDM	DECK MOUNT
HB	HEX BAFFLE
LS	LONG SHIELD
CW	COWLING GRATE (PE WELL LIGHT)
RG	RING GRATE (PE WELL LIGHT)

SCOPE OF WORK:

The supply and installation of a 12 volt landscape lighting system which includes the fixtures specified on Lighting Legend as well as the installation of low voltage transformers and direct burial cable necessary to complete layout as shown. This lighting plan is diagrammatic and is intended to show general fixture locations and utilities. Contractor is responsible for necessary line (120v) and low voltage (12v) work to complete the lighting design as shown.

STANDARDS:

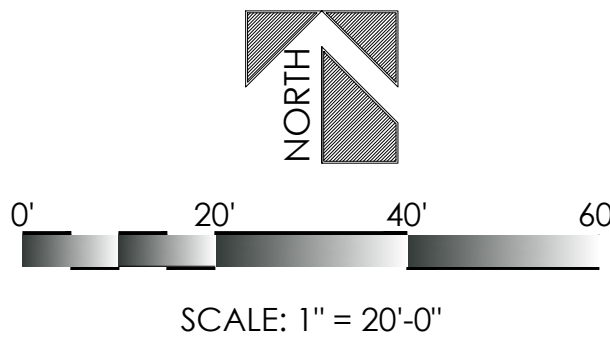
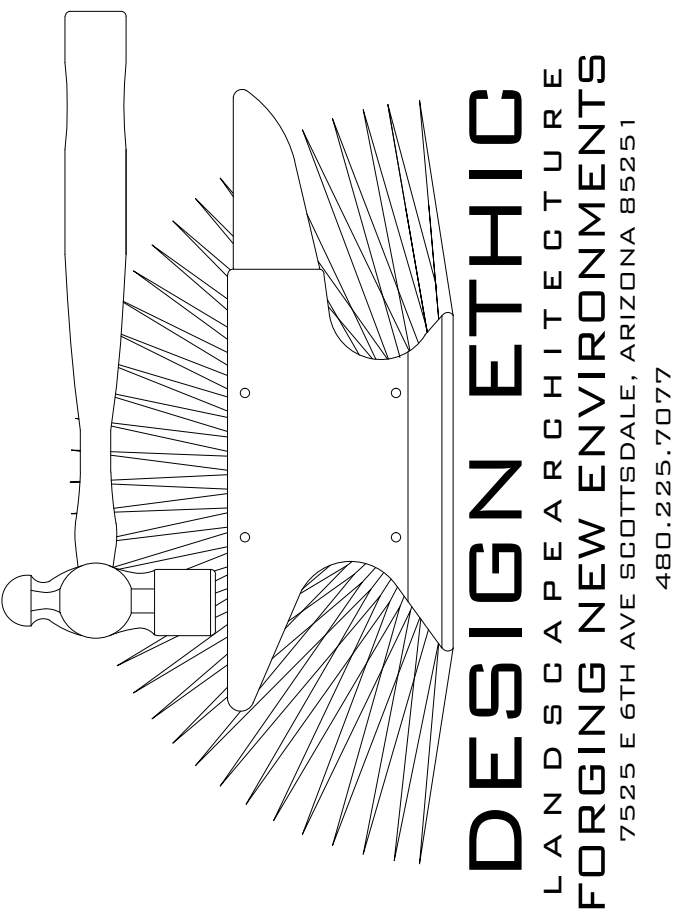
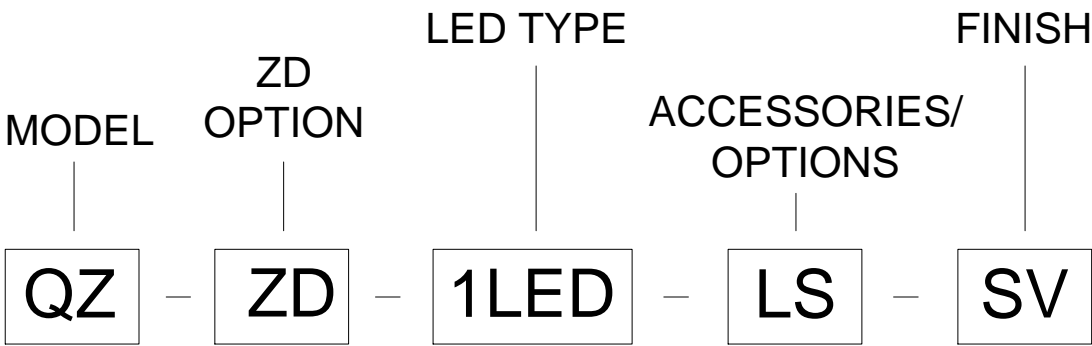
All work performed is to comply with the Uniform Building Code, and all local codes and ordinances. Contractor shall possess all necessary licenses to complete described work and shall carry general liability and workmen's compensation insurance. Contractor is to obtain all necessary permits to complete work described.

FXLANMOD 1 EACH CONTROLLER

FXLAM. 1. PER PROJECT

NOTE:A DEDICATED CAT5 CABLE TO BE RUN. DAISY CHAIN CONTROLLERS TOGETHER.

AN ADDITIONAL CAT5 TO RUN FROM A CONTROLLER TO A ROUTER WITHIN THE HOME.

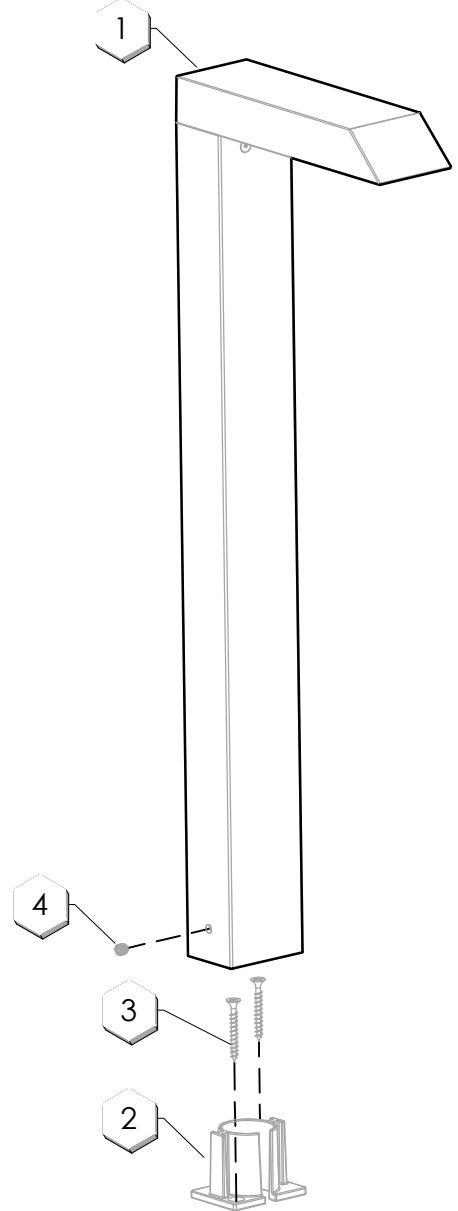


KEYNOTES:

- 1 FX LUMINAIRE M-PL FIXTURE. SEE PLAN LEGEND FOR COLOR TEMPERATURE, LUXOR OPTION, OR MOUNTING ACCESSORIES.
- 2 M-PL MOUNTING BASE (MPL-DM-XX)
- 3 MOUNTING SCREWS FOR BASE (2)
- 4 ALLEN SCREW FOR SECURING FIXTURE TO MOUNTING BASE. HAND TIGHTEN ONLY.

NOTES:

- A. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- B. ACCEPTS 10-15 VOLTS - AC OR DC.
- C. ALWAYS REFER TO FX PRODUCT INSTALLATION NOTES PRIOR TO INSTALLATION.



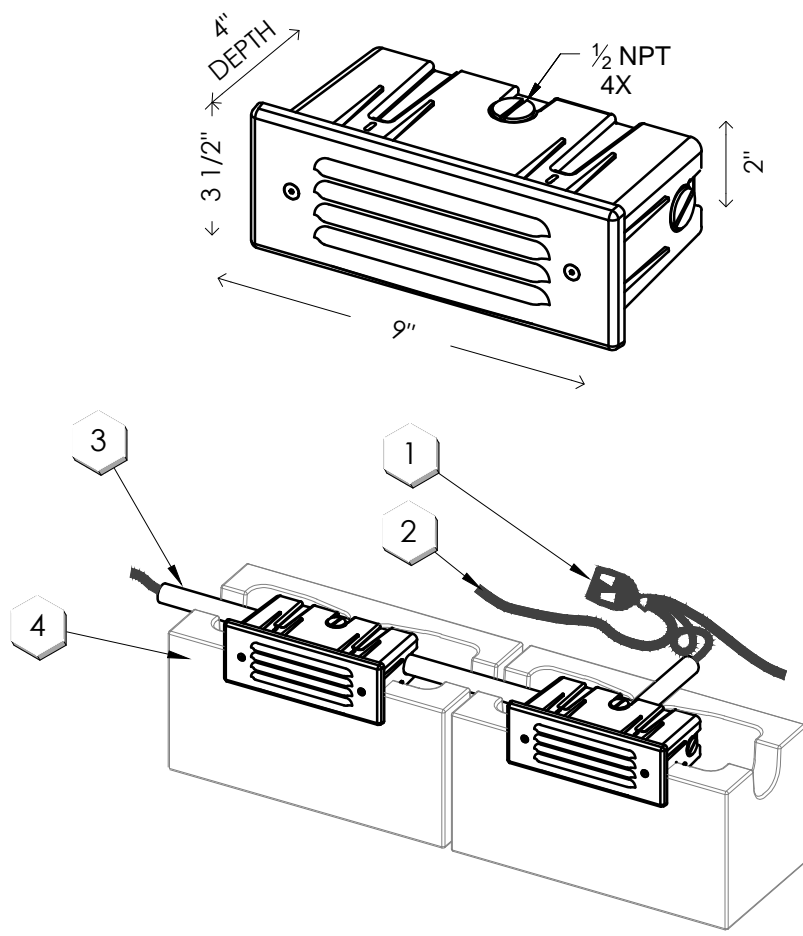
A M-PL PATH LIGHT

KEYNOTES:

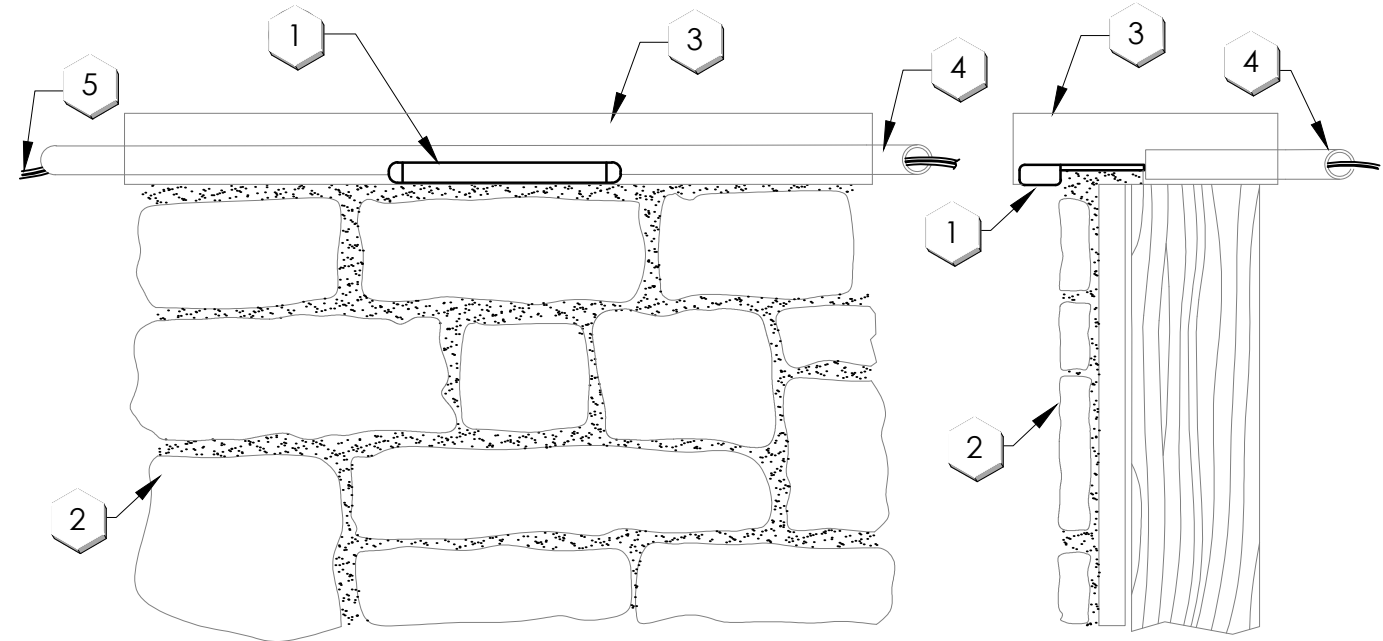
- 1 LITESPLICE
- 2 12 GA MAINLINE CABLE
- 3 BLUE OR GRAY ENT CONDUIT WITH STRANDED THHN WIRE SIZED TO MATCH WATTAGE LOAD.
- 4 IF WALL IS STUCCOED OR COATED USE THE "REUSABLE CONSTRUCTION" COVER TO KEEP CAVITY CLEAN AND CLEAR OF DEBRIS..

NOTES:

1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.



B WALL MOUNT



- 1 FX LUMINAIRE LF FIXTURE. SEE PLAN LEGEND FOR WATTAGE, BEAM SPREAD AND ACCESSORIES.
- 2 FAUX STONE WALL WITHIN LANDSCAPE. SEE PLANS AND LANDSCAPE DETAILS FOR TYPE OF CONSTRUCTION MATERIAL.
- 3 STONE CAPSTONE OR BENCH.
- 4 3/4" ELECTRICAL CONDUIT PER LOCAL CODE.
- 5 UF/UL, COPPER, LOW VOLTAGE CABLE. SPLICE WIRES ACCORDING TO FX RECOMMENDATIONS.

NOTES:

- A. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- B. ACCEPTS 10-15 VOLTS - AC OR DC.
- C. SEE PLAN LEGEND FOR LED BOARD OPTION, BEAMSPREADS, AND ACCESSORIES.
- D. ALWAYS REFER TO FX PRODUCT INSTALLATION NOTES PRIOR TO INSTALLATION.

C LEDGE LIGHT

5405 EAST SAN MIGUEL
PARADISE VALLEY, AZ 85253
LIGHTING PLAN & DETAILS

PROJECT:

JOB NO: 20-010

DATE:

DRAWN BY: B. PAUL

SUBMITTED: 08.31.2020

REVISED:

SHEET

L.04 of L.07

FXLuminaire.

LED Wall Lights



PROJECT _____

CATALOG# _____

TYPE _____

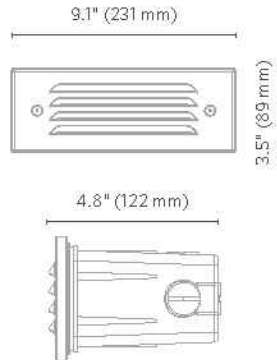
NOTES _____

LM Wall Light DESIGNER PREMIUM

Utilitarian recessed wall light in 2 LED. Available in copper.

Quick Facts

- Stamped copper construction
- Natural, powder coated, or antiqued copper finish
- Cree® integrated LEDs
- Tamper-resistant features
- Color temperature filters
- Compatible with Luxor® technology
- Phase and PWM dimmable
- Input voltage: 10-15V



LANDSCAPE LIGHTING

LM Wall Light SPECIFICATIONS

Output	2LED
Total Lumens*	14
Input Voltage	10 to 15V
Input Power (W)	4.2
VA	4.5
Efficacy (Lumens/Watt)	4
Color Rendering Index (CRI)	80+
Center Beam Candpower	9
Dimming	PWM, Phase**
RGBW Available	No
Luxor Compatibility	
Default	Zoning
ZD Option	Zoning/Dimming
Minimum Rated Life (L70)	50,000 Hrs
BUG Rating	B0-UH-G0

* Measured using the 3,900K CCT lens. Multipliers for other CCTs include 0.80 (2,700K), 0.65 (4,500K), and 0.65 (5,200K).
** For optimal performance, use a trailing-edge, phase-cut dimmer.

FX Luminaire
FX Luminaire is an industry-leading manufacturer of landscape and architectural lighting products with a focus on the advancement of LED technology and digital lighting control with zoning, dimming, and color adjustment capabilities. We offer a full spectrum of specification-driven lighting fixtures that can be utilized to create elegant, cutting-edge landscape lighting systems for commercial or residential applications. Our products are available exclusively via our extensive professional distributor network.

Materials
Stamped C10 copper faceplate, A380 aluminum housing, FBT construction box/sleeve, and stainless steel hardware.

Socket
Socket contains MoistureBlock™ technology, preventing moisture from wicking up into sealed areas of the fixture.

Lamp
Integrated module with Cree LEDs. Gold-plated connectors and conformal coated for maximum reliability and corrosion resistance. Proprietary on-board intelligent driver uses firmware-controlled temperature regulation, maximizing LED life. Field upgradable and replaceable, the LEDs are rated to 50,000 hrs. Maximum drive current: 1 A.

Wiring
18 AWG (1 mm); SPT-1W; 220°F (105°C); 300V; 10' (3 m) length.

Power
Input 10-15 VAC/VDC; 50/60 Hz. Remote transformer required (specify separately).

Housing
Die-cast aluminum housing with capacity for two 1LED integrated LEDs.

Faceplate
Stamped C10 copper with frosted polycarbonate lens.

Optics
Polycarbonate color temperature adjustment lenses included with fixture: 2,700K (pre-installed), 3,900K (no lens), 4,500K and 5,200K options specified separately. Color temperature lenses are field serviceable.

Construction Sleeve
Vertical and horizontal ½" (13 mm) NPT knockouts. Sleeve protector included, preventing caving during wall fabrication.

Lens
Polycarbonate lens with shock resistance and high tolerance for thermal expansion and stress.

Finish
Options of natural copper finish, antiqued finish with brushed (Antique Bronze) or tumbled (Antique Tumbled) effect, or TGIC powder coat finish. Antique finishes sealed with a clear TGIC powder coat layer.

Hardware
Tamper-resistant stainless steel fasteners included.

Ambient Operating Temperature
0°F to 140°F (-18°C to 60°C)

Weight
3.6 lbs. (1.6 kg)

IES Classification
Type IV

International Compliance
Compliant per IEC 60598-1 and IEC 60598-2-7 when used with International Wall Kit ("EKIT WALL").

Control
ZD option utilizes Luxor technology to zone light fixtures in up to 250 groups, dim each group in 1% increments between 0 and 100%.

Sustainability
Innovation meets conservation in the design and manufacturing of our products. Where we can, we use recycled materials while maintaining superior functionality. Our LED products provide high-quality light at optimal energy efficiency, lifespan, and durability.

Installation Requirements
Designed for recessed installation in a vertical wall in the down lighting position only.

Manufacturing
900F/201S ISO certified facility

Warranty
10-year limited warranty

Listings
UL LISTED 3Y18, RoHS COMPLIANT, CE, IP 64

FXLuminaire.

LED Path Lights



PROJECT _____

CATALOG# _____

TYPE _____

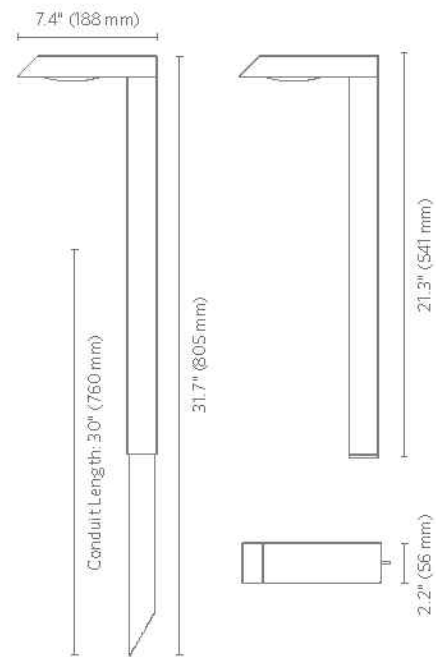
NOTES _____

M-PL Path Light DESIGNER PLUS

The ultra-modern M-PL path light combines the versatility of die-cast aluminum with minimalist aesthetics to complement a range of contemporary installations.

Quick Facts

- Die-cast aluminum
- Two-layer marine-grade anodization and powder coat finish
- Cree® integrated LEDs
- Color temperature filters
- Compatible with Luxor® technology
- Phase and PWM dimmable
- Input voltage: 10-15V



LANDSCAPE LIGHTING

M-PL Path Light SPECIFICATIONS

Lamp	1LED
Halogen Lumen Output Equivalent	20W
Minimum Rated Life (L70)	50,000 hrs avg
Input Voltage	10 to 15V
VA Total (Use this number to size the transformer)	2.4
Watts Used	2.0
Lumens per Watt (Efficacy)	36
Max Lumens	73
CRI (Ra)	80+
Center Beam Candpower (CBCP)	85
Dimming	PWM, Phase**
RGBW Available	No
Luxor Compatibility	
Default	Zoning
ZD Option	Zoning/Dimming
ZDC Option	N/A
Minimum Rated Life (L70)	50,000 Hrs
CCT	
Amber Filter	2,700K
Frosted Filter	3,900K

FX Luminaire
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Materials
Die-cast aluminum A380 housing and extruded inner with stainless steel hardware.

Power
Input 10-15 VAC/VDC; 50/60Hz. Remote transformer required (specify separately).

Lamp
Integrated module with Cree LEDs. Gold-plated connectors and conformal coated for maximum reliability and corrosion resistance. Proprietary on-board intelligent driver uses firmware-controlled temperature regulation, maximizing LED life. Field upgradable and replaceable, the LEDs are rated to 50,000 hrs. Maximum drive current: 1 A.

Wiring
18 AWG (1 mm); SPT-1W; 220°F (105°C); 300V; 10' (3 m) length.

Housing
Die-cast aluminum housing with capacity for rectangular 1LED integrated LED.

Lens
Frosted polycarbonate lens with high tolerance for thermal expansion, stress, and abuse.

Finish
Two-layer protection of sulfuric acid anodization and polyester TGIC powder coat, providing superior outdoor weathering in all conditions. Tested to ASTM standards.

Weight
3.2 lbs. (1.45 kg)

Manufacturing
ISO 9001:2015 certified facility

Hardware
Tamper-resistant stainless steel hardware. Ships with 30" (762 mm) length of 1¼" (31 mm) conduit.

Ambient Operating Temperature
0°F to 140°F (-18°C to 60°C)

Installation Requirements
Designed for installation in the downward lighting direction only.

International Compliance
Compliant per IEC 60598-1 and IEC 60598-2-7 by selecting "s" option in parts builder.

Warranty
10-year limited warranty.

Listings
UL LISTED 3Y18, RoHS COMPLIANT, CE, IP 65

Learn more. Visit: fxl.com | +1760.744.5240

FXLuminaire.

LED Wall Lights



PROJECT _____

CATALOG# _____

TYPE _____

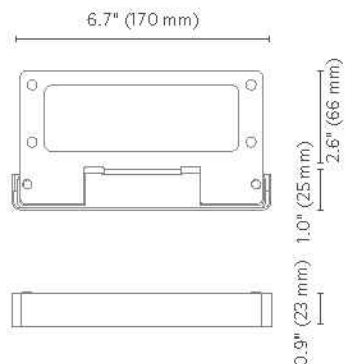
NOTES _____

LF DESIGNER PREMIUM

Under-the-cap hardscape wall light with modular bracket design for easy installation. 1LED. Available in brass, copper, stainless steel, and aluminum.

Quick Facts

- Die-cast brass or aluminum construction
- Stainless steel, brass, or copper faceplate as natural metal, powder coated, or antiqued
- Cree® integrated LEDs
- Tamper-resistant features
- Color temperature filters
- Compatible with Luxor® technology
- Phase and PWM dimmable
- Input voltage: 10-15V



LANDSCAPE LIGHTING

LF Ledge Light SPECIFICATIONS

Output	1LED
Total Lumens*	78
Input Voltage	10 to 15V
Input Power (W)	2.0
VA	2.4
Efficacy (Lumens/Watt)	37
Color Rendering Index (CRI)	80+
Max Candela	51
Dimming	PWM, Phase**
Luxor Compatibility	
Default	Zoning
ZD Option	Zoning/Dimming
ZDC Options	--
Minimum Rated Life (L90 B50)	55,000 Hrs
BUG Rating	B0-UO-G0

* Measured using the 3,900K CCT lens. Multipliers for other CCTs include 0.80 (2,700K), 0.65 (4,500K), and 0.65 (5,200K).
** For optimal performance, use a trailing-edge, phase-cut dimmer.

FX Luminaire
FX Luminaire is an industry-leading manufacturer of landscape and architectural lighting products with a focus on the advancement of LED technology and digital lighting control with zoning, dimming, and color adjustment capabilities. We offer a full spectrum of specification-driven lighting fixtures that can be utilized to create elegant, cutting-edge landscape lighting systems for commercial or residential applications. Our products are available exclusively via our extensive professional distributor network.

Materials
Die-cast C360 brass or A380 aluminum housing with stainless steel, brass, or copper faceplate (when applicable) and hardware.

Socket
Socket contains MoistureBlock™ technology, preventing moisture from wicking up into sealed areas of the fixture.

Lamp
Integrated module with Cree LEDs. Gold-plated connectors and conformal coated for maximum reliability and corrosion resistance. Proprietary on-board intelligent driver uses firmware-controlled temperature regulation, maximizing LED life. Field upgradable and replaceable, the LEDs are rated to 50,000 hrs. Maximum drive current: 1 A.

Optics
Polycarbonate color temperature adjustment lenses included with fixture: 2,700K (pre-installed), 3,900K (no lens). Color temperature lenses are field serviceable.

Wiring
18 AWG (1 mm); SPT-1W; 220°F (105°C); 300V; 10' (3 m) length.

Power
Input 10-15 VAC/VDC; 50/60 Hz. Remote transformer required (specify separately).

Housing
Die-cast brass or aluminum housing with capacity for rectangular 1LED integrated LED.

Faceplate
Stamped stainless steel, brass, or copper faceplate.

Lens
Frosted polycarbonate lens with high tolerance for thermal expansion, stress, and abuse.

Finish
Options of natural copper/brass, stainless steel finish, powder coated, or antiqued finish with brushed (Antique Bronze) or tumbled (Antique Tumbled) effect. Antique finishes sealed with a clear TGIC powder coat layer.

Hardware
Stainless steel acorn nuts for tamper-resistance and proper adjustment.

Ambient Operating Temperature
0°F to 140°F (-18°C to 60°C)

Weight
1.0 lb. (0.5 kg)

Sustainability
Innovation meets conservation in the design and manufacturing of our products. Where we can, we use recycled materials while maintaining superior functionality. Our LED products provide high-quality light at optimal energy efficiency, lifespan, and durability.

Installation Requirements
Designed for installation in the downward lighting direction only.

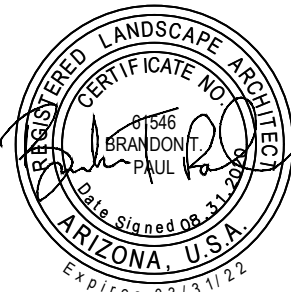
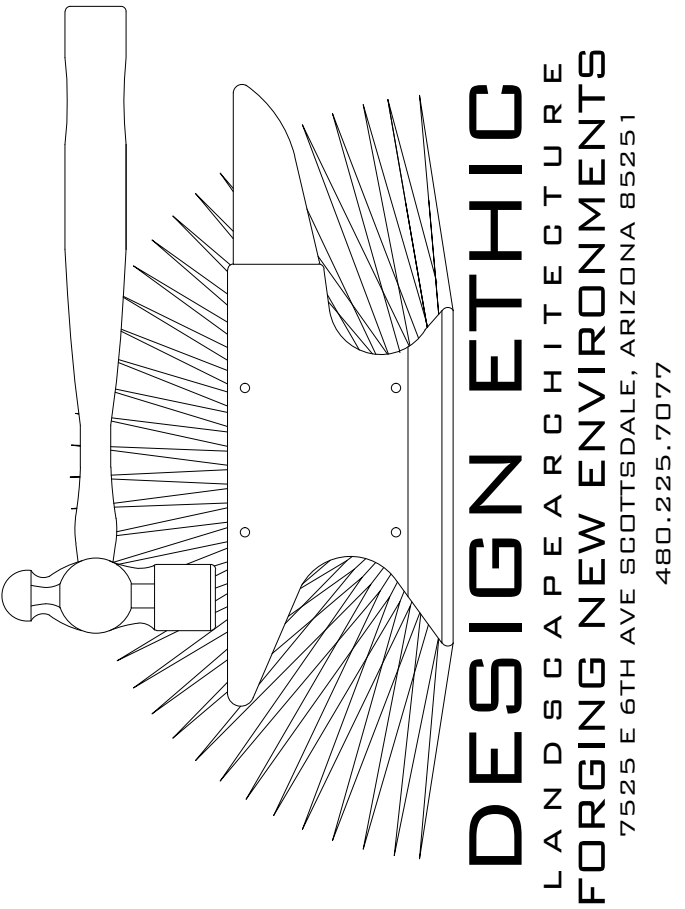
IES Classification
Type V

Manufacturing
9001:2015 ISO certified facility

Warranty
10-year limited warranty

Listings
UL LISTED 3Y18, RoHS COMPLIANT, CE, UL NOM

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(OUTSIDE MARICOPA COUNTY)

5405 EAST SAN MIGUEL
PARADISE VALLEY, AZ 85253
LIGHT FIXTURE CUTSHEETS

PROJECT:

JOB NO: 20-010

DATE:

DRAWN BY: B. PAUL

SUBMITTED: 08.31.2020

REVISED:

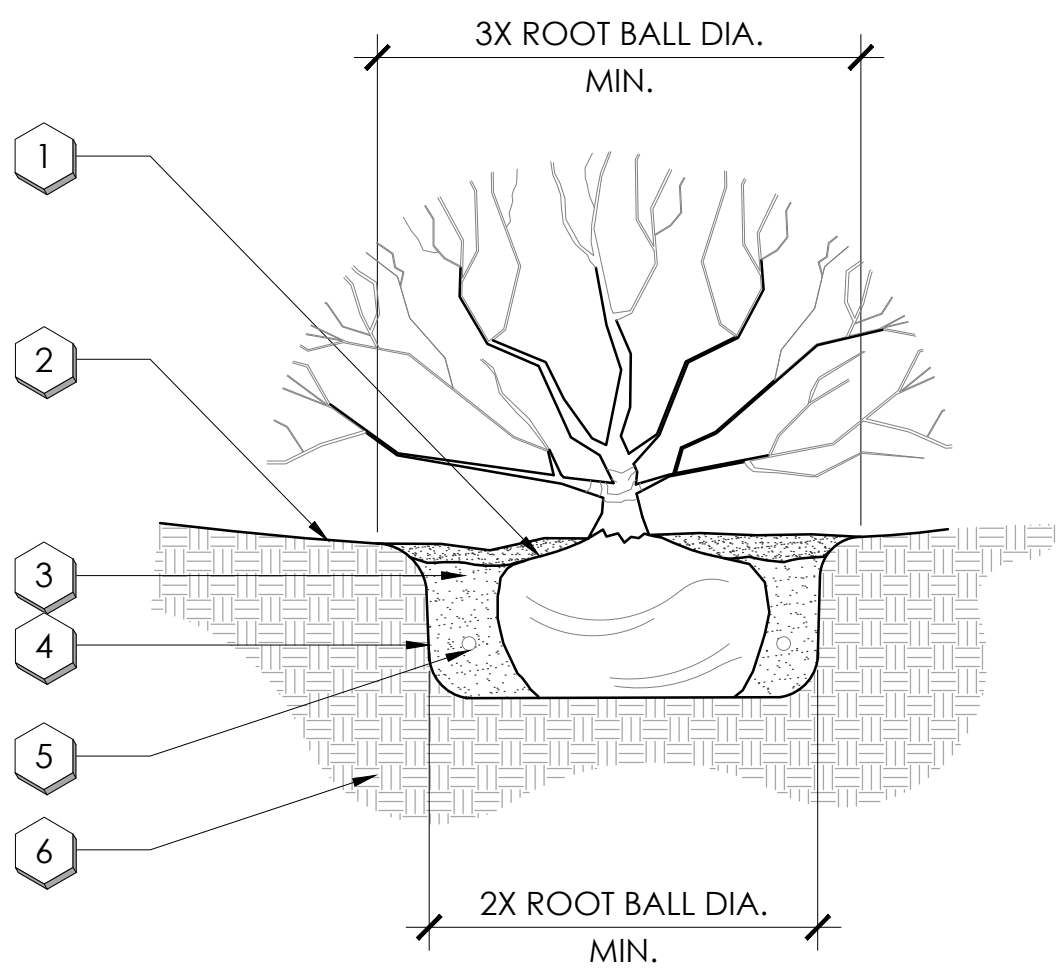
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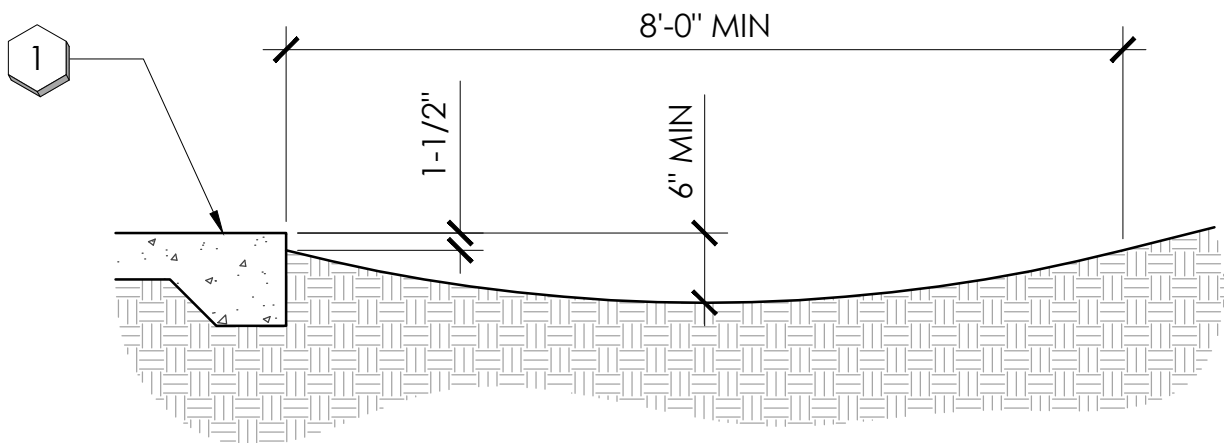
KEYNOTES:

- 1 TOP OF ROOT BALL AND WELL TO BE 2" BELOW SAUCER
- 2 FINISH GRADE MULCH PER SPECS.
- 3 BACKFILL W/ SPECIFIED SOIL MIX. WATER & TAMP TO REMOVE AIR POCKETS REFER TO SPECS.
- 4 SCARIFY SIDES OF PLANTING HOLE TO PREVENT GLAZING
- 5 FERTILIZER TABS PER SPECS. PLACE 6" BELOW FINISH GRADE.
- 6 SUBSOIL



KEYNOTES:

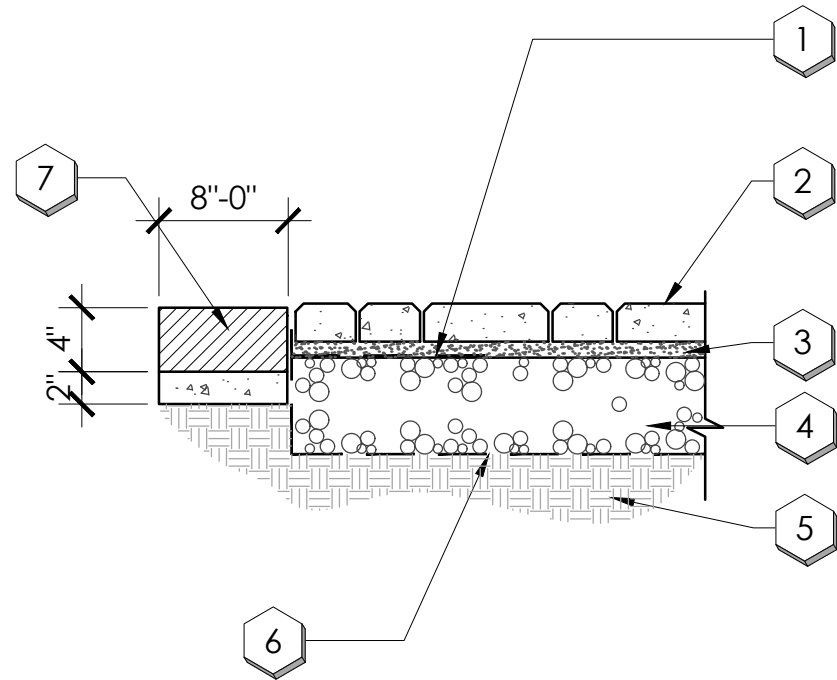
- 1 EDGE OF CONCRETE



NOTES:
1. SWALE ADJACENT TO CONCRETE CURB OR SIDEWALK FOR LANDSCAPE IRRIGATION WATER CONTROL.

KEYNOTES:

- 1 12" WIDE GEOTEXTILE ALONG PERIMETER TURN UP AT CURB (DO NOT COVER TOP OF BASE)
- 2 2-3/8" MIN. THICKNESS CONCRETE PAVER MATCH EXISTING STYLE & TYPE ALREADY INSTALLED ON PROPERTY.
- 3 1" TO 1-1/2" BEDDING SAND
- 4 6" MIN. DEPTH COMPACTED AGGREGATE BASE
- 5 COMPACTED SOIL SUBGRADE
- 6 GEOTEXTILE AS REQUIRED TURN UP AT SIDES TO COVER BASE
- 7 8" X 4" PAVER HEADER ON 2" CONCRETE. SLURRY. EDGES TO BE CLEAN AND FLUSH WITH BRICK EDGE FACING.



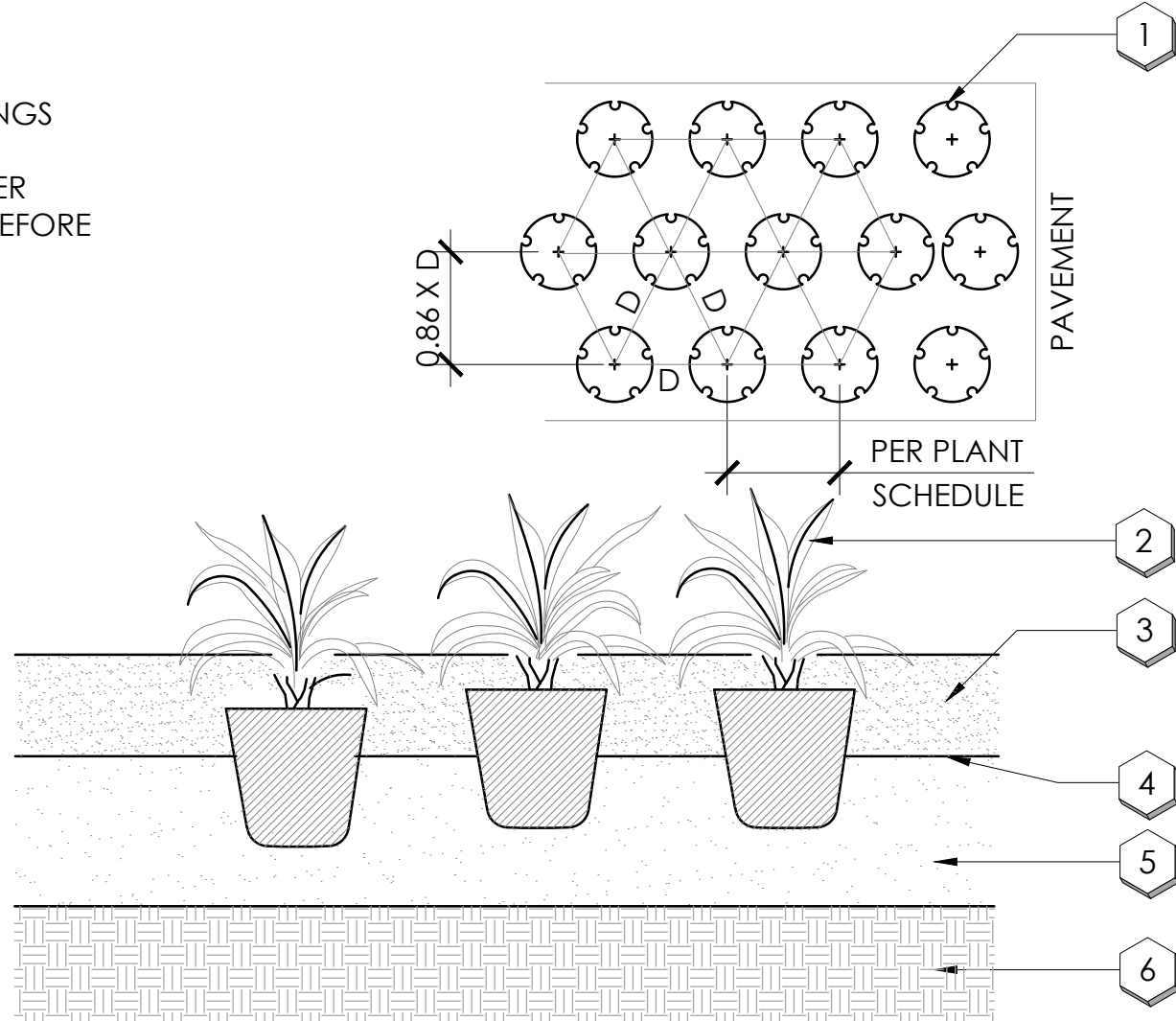
A SHRUB PLANTING

NOT TO SCALE

KEYNOTES:

- 1 ATYPICAL SPACING AT END ROW
- 2 PLANTS / SPACING AS PER DRAWINGS
- 3 MULCH LAYER, DEPTH & TYPE AS PER DRAWINGS AND SPECS; INSTALL BEFORE PLANTING
- 4 FINISH GRADE
- 5 PREPARE BED AS PER DRAWINGS OR SPECS
- 6 UNDISTURBED SUBGRADE

NOTES:
1. TILL 2" OF POTTING OR PLANTING SOIL OR APPROVED EQUAL TO A DEPTH OF 6"
2. D = ON CENTER DIMENSION

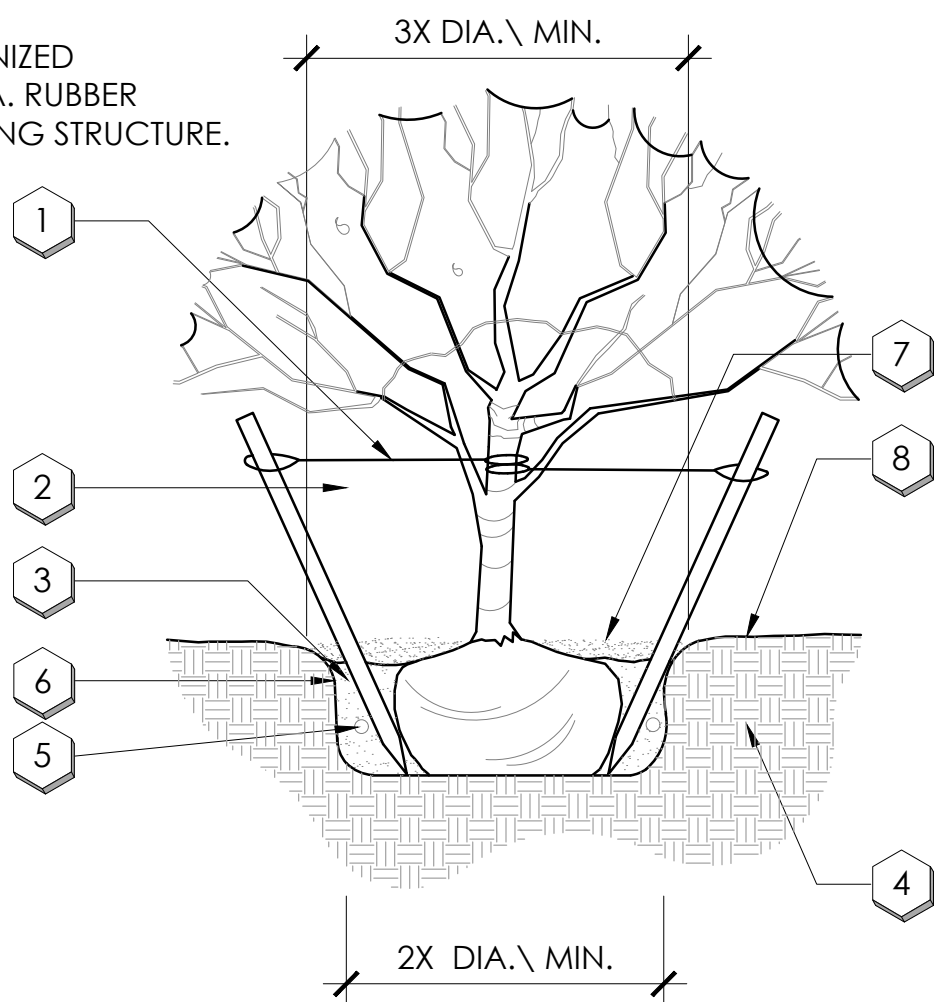


B SWALE

NOT TO SCALE

KEYNOTES:

- 1 TREE TIES SHALL BE 12 GAUGE GALVANIZED ZINC COATED WIRE ENCASED N 1" DIA. RUBBER HOSE. INSTALL ABOVE MAIN BRANCHING STRUCTURE.
- 2 (2) LODPOLE (LENGTH AS REQ'D) STAKES AT ANGLE INTO SUBGRADE (18" MIN.) PRIOR TO BACKFILLING TIE TO PRIMARY BRANCHES & AS NECESSARY FOR FIRM SUPPORT.
- 3 BACKFILL W/ SPECIFIED SOIL MIX. WATER & TAMP TO REMOVE AIR POCKETS REFER TO SPECS.
- 4 BREAKUP & LOOSEN SOIL HALF THE DEPTH OF THE ROOTBALL & 5 TIMES THE WIDTH OF THE ROOTBALL
- 5 FERTILIZER TABS PER SPECS. PLACE 6" BELOW FINISH GRADE.
- 6 SCARIFY SIDES OF PLANTING HOLE TO PREVENT GLAZING
- 7 SOIL GRADE
- 8 FINISH GRADE. MULCH PER SPECS.



NOTES:
1. 8" HIGH ARBOR GUARD TO BE PLACED AROUND TRUNK OF TREES LOCATED IN TURF AREAS.
2. TOP OF ROOT BALL AND WELL TO BE 4" BELOW FINISH GRADE.
3. SCORE ROOTBALL. MAKE VERTICAL CUT .25-.5 INCHES DEEP FOUR TIMES AROUND SIDES AND TWICE AROUND BOTTOM
4. WIRE SHALL NOT TOUCH OR RUB ADJACENT TRUNKS OR BRANCHES.
5. TREE TRUNK GUARDS REQUIRED FOR TREES WITHIN TURF.

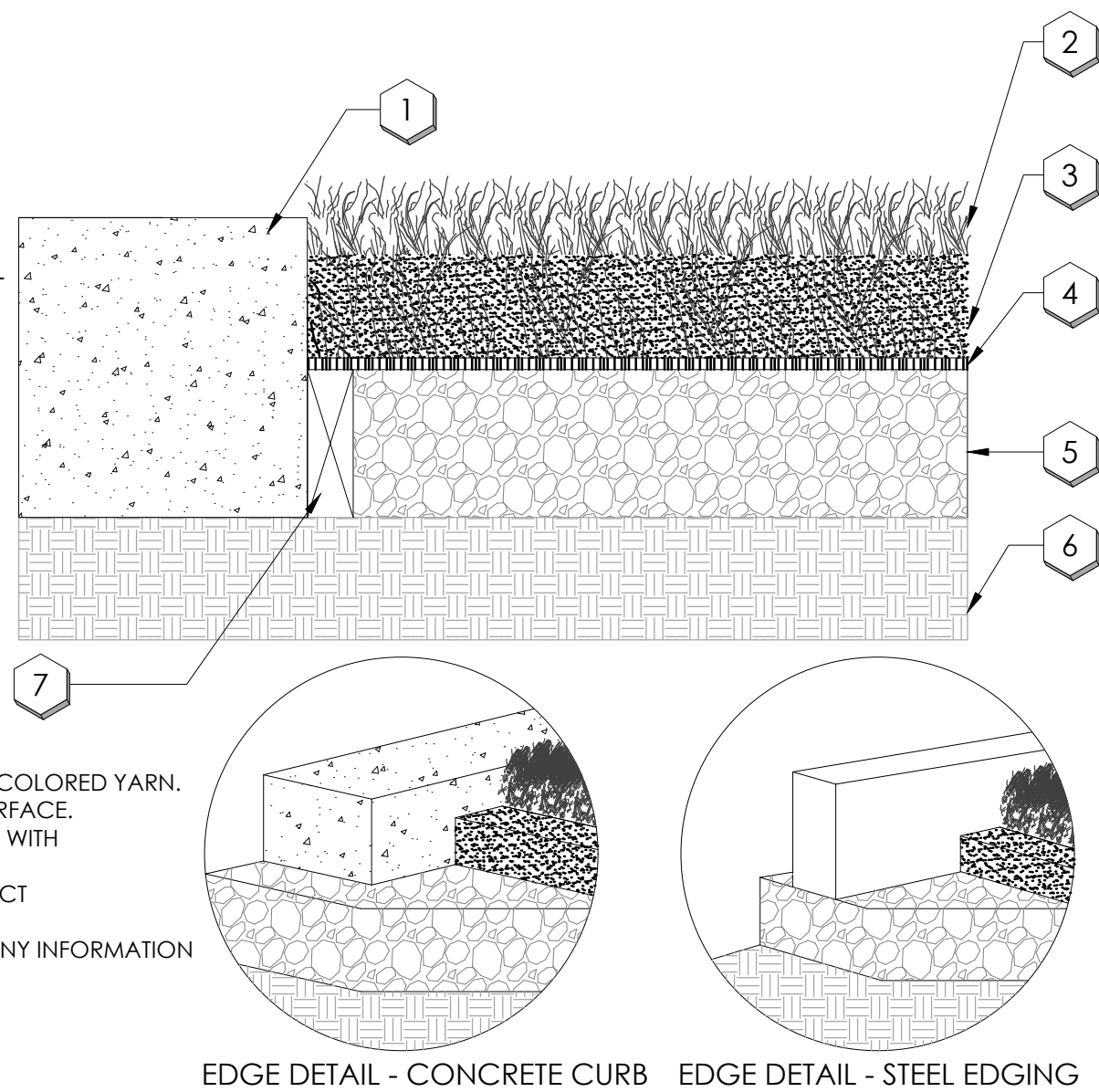
C BRICK PAVERS W/ PAVER HEADER

NOT TO SCALE

KEYNOTES:

- 1 4" - 6" CONCRETE CURBING
- 2 1 5/8" FIELDTURF ARTIFICIAL GRASS FIBER (5/8" EXPOSED FIBER)
- 3 WASHED SILICA SAND AND RECYCLED CRYOGENIC RUBBER INFILL
- 4 UltraDRAIN DRAINAGE SYSTEM (WEED BARRIER INTEGRATED INTO SYSTEM)
- 5 2"-4" CRUSHED STONE BASE AT 90% COMPACTION RATE
- 6 NATURAL SOIL SUB-GRADE
- 7 SYNTHETIC NAILER BOARD

NOTES:
1. DRAINAGE RATE > 250 INCHES PER HOUR.
2. ARTIFICIAL GRASS FIBER AVAILABLE IN FIELD GREEN COLORED YARN.
3. ADA COMPLIANT SYNTHETIC GRASS ACCESSIBLE SURFACE.
4. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
5. ALL DIMENSIONS ARE CONSIDERED TRUE AND REFLECT MANUFACTURER'S SPECIFICATIONS.
6. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info REFERENCE NUMBER 4124-002.



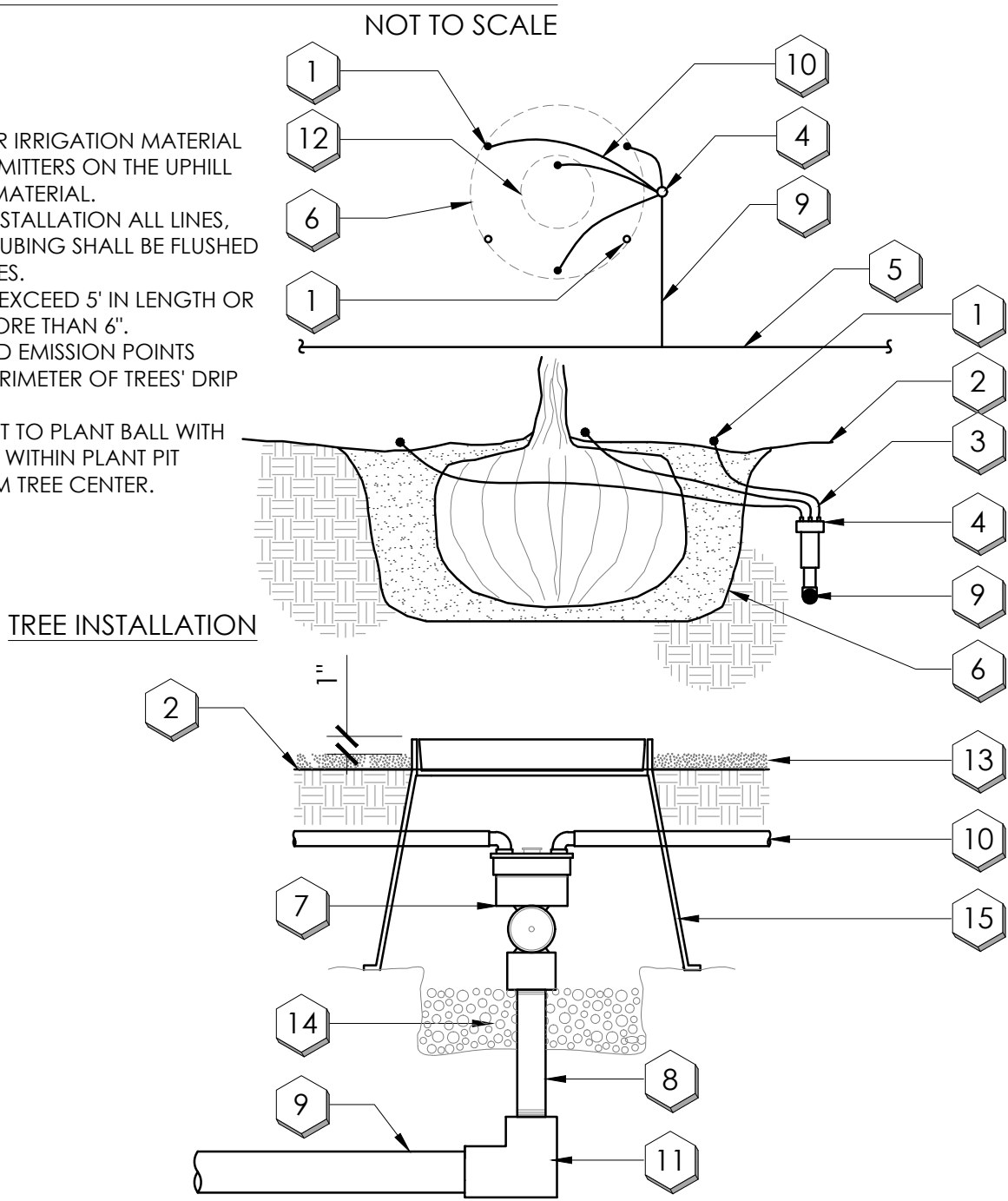
EDGE DETAIL - CONCRETE CURB EDGE DETAIL - STEEL EDGING

D GROUNDCOVER PLANTING

KEYNOTES:

- 1 EMISSION POINT WITH BUG PLUG
- 2 FINISH GRADE
- 3 MICROTUBING
- 4 DRIP EMITTER
- 5 PVC LATERAL
- 6 PLANT PIT
- 7 MULTI-PORT DRIP EMITTER
- 8 1/2" SCH. 80 PVC NIPPLE
- 9 DISTRIBUTION LATERAL LINE (NOT SHOWN ON PLANS)
- 10 0.160x0.220 MICROTUBING
- 11 SxT PVC FITTING
- 12 PLANT BALL
- 13 2" DECOMPOSED GRANITE TOP DRESSING
- 14 6" LAYER OF PEA GRAVEL
- 15 EMITTER ACCESS BOX (TAN COLOR)
- 16 FUTURE EMISSION POINT
- G MULTI-PORT EMITTER

NOTES:
1. INSTALL EMITTERS PER IRRIGATION MATERIAL SCHEDULE. PLACE EMITTERS ON THE UPHILL SIDE OF THE PLANT MATERIAL.
2. PRIOR TO EMITTER INSTALLATION ALL LINES INCLUDING MICROTUBING SHALL BE FLUSHED A MIN. OF 10 MINUTES.
3. MICROTUBING NOT EXCEED 5' IN LENGTH OR BE EXPOSED NOT MORE THAN 6".
4. SPACE EMITTERS AND EMISSION POINTS EVENLY AROUND PERIMETER OF TREES' DRIP ZONE.
5. ONE EMISSION POINT TO PLANT BALL WITH ADDITIONAL POINTS WITHIN PLANT PIT PERIMETER- 12" FROM TREE CENTER.



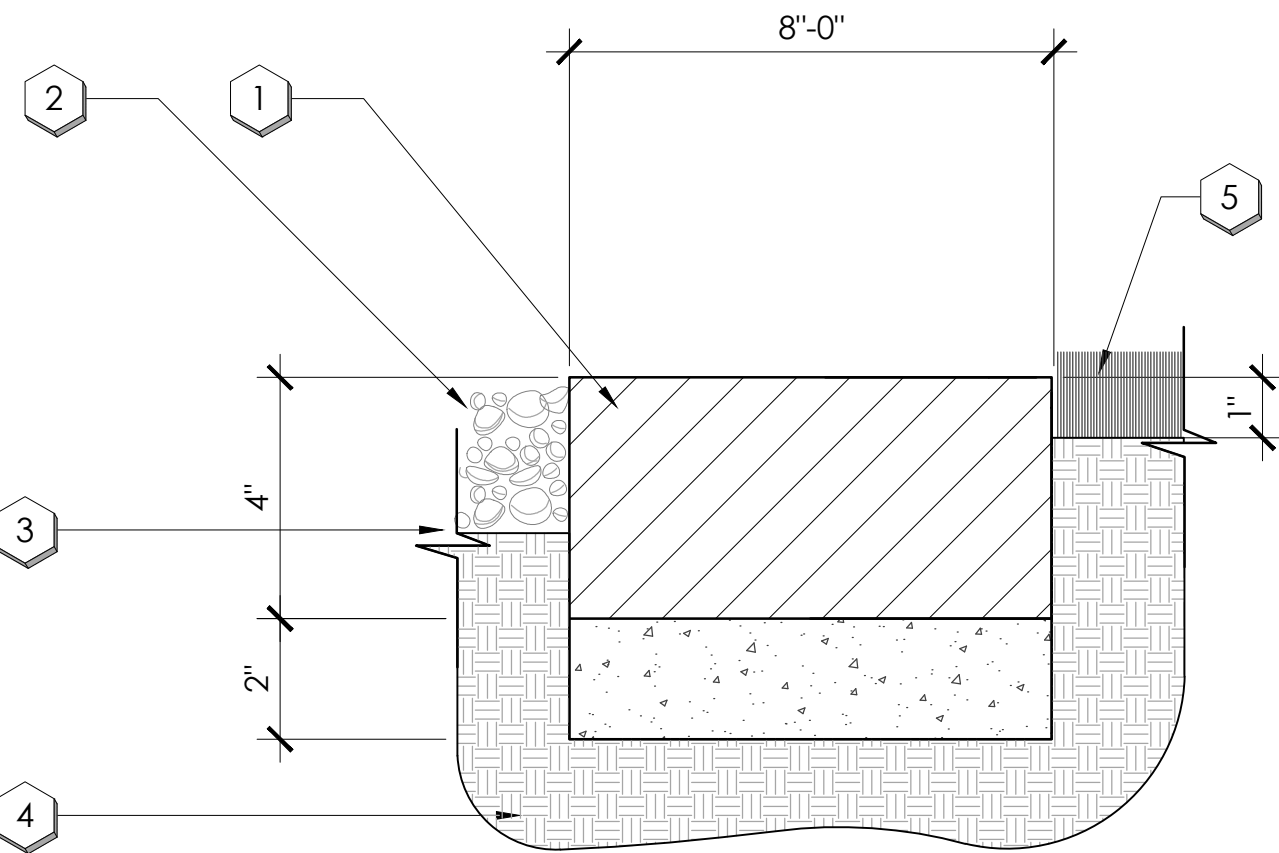
E TREE PLANTING

NOT TO SCALE

KEYNOTES:

- 1 8" X 4" PAVER HEADER ON 2" CONCRETE. SLURRY. EDGES TO BE CLEAN AND FLUSH WITH BRICK EDGE FACING.
- 2 FINISH GRADE OF DECOMPOSED GRANITE - DEPTH PER PLANS
- 3 FINISH SUB-GRADE
- 4 COMPACTED SUBGRADE
- 5 TURF

NOTES:
1. COMPACT GRADE TO 90% OF MAXIMUM ADJACENT TO EDGING TO AVOID SETTLING.



H 4" X 8" PAVER HEADER ON 2" CONCRETE SLURRY

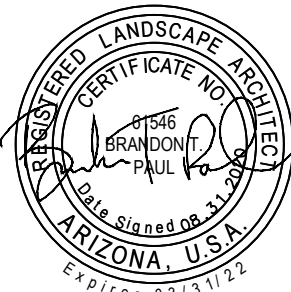
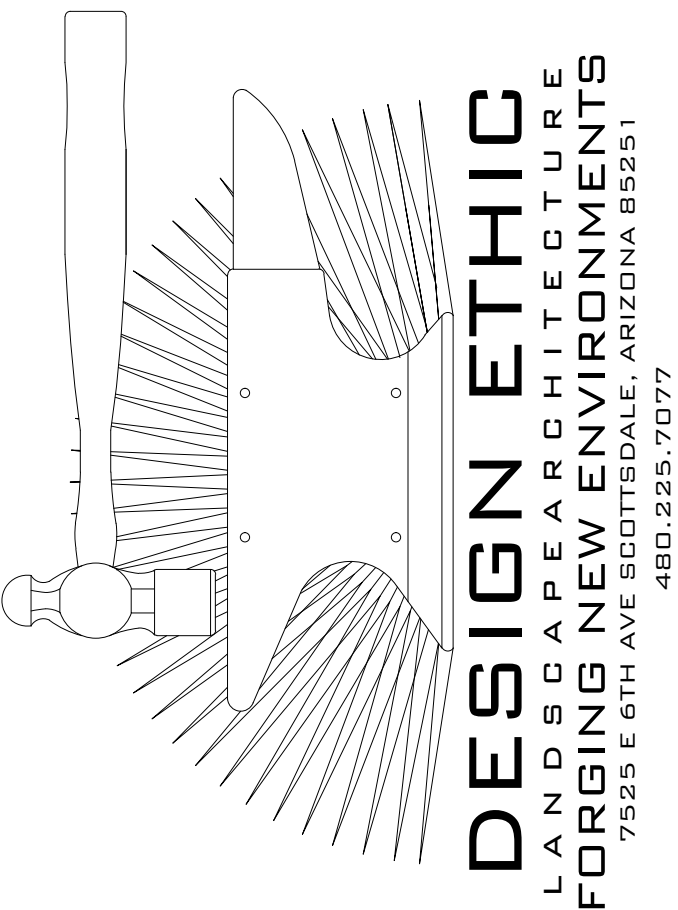
NOT TO SCALE

I NUTMEG LUSH (GF-LIT-R-ON)- PRODUCT DATA

NOT TO SCALE

PROPERTY	VALUE	UNITS	DESCRIPTION	ASTM
PILE YARN TYPE	FIELD GREEN / OLIVE GREEN		UV-RESISTANT POLYETHYLENE	N/A
YARN STRUCTURE	10800		RIDGED MONOFILAMENT	N/A
YARN DENIER	NUTMEG / OLIVE GREEN	DENIER		D1577
YARN STRUCTURE	5000		TEXTURED MONOFILAMENT	N/A
YARN DENIER	1.625	DENIER		D1577
PILE HEIGHT	65	INCHES		D5823
PILE WEIGHT	>7	OZ/SQUARE YARD		D5848
PRIMARY BACKING WEIGHT	22	OZ/SQUARE YARD		D5848
SECONDARY BACKING WEIGHT	94	OZ/SQUARE YARD		D5848
TOTAL WEIGHT	3/8 INCH CENTERS	OZ/SQUARE YARD		D5848
STITCH GUAGE	>9	LBS/FORCE		D5793
TUFF BIND	2 TO 3 PER SQUARE FOOT	LBS		D1335
TOTAL INFILL				N/A

NOTES:
1. N.B. VARIATION OF +/- .5% ON PILE HEIGHT IS WITHIN NORMAL MANUFACTURING TOLERANCES
2. EASYTURF RESERVES THE RIGHT TO MODIFY TECHNICAL SPECIFICATIONS ON THE ABOVE-MENTIONED PRODUCT.
3. DELIVERED PRODUCTS TOLERANCES CAN SLIGHTLY DIFFER FROM THE TECHNICAL DATA.
4. EASYTURF GUARANTEES THE TECHNICAL QUALITY OF THE PROPOSED ARTICLE.



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LANDSCAPE & IRRIGATION DETAILS

PROJECT:

JOB NO: 20-010

DATE:

DRAWN BY: B. PAUL
SUBMITTED: 08.31.2020

REVISED:

SHEET

L.06 of L.07

KEYNOTES:

- 1
- TWO CARSON INDUSTRIES # 1324-15 RECTANGULAR VALVE BOXES WITH A 1324 T-COVER. SUPPLY WITH STAINLESS STEEL LOCKING BOLTS
- 2
- "SURESPLICE" WIRE CONNECTOR (1 OF 2)
- 3
- DEDICATED MV WIRE: 1 - 12 AWG COMMON (WHITE) 1 - 14 AWG CONTROL (BLUE) 2 - 12 AWG SPARE (GREEN)
- 4
- NORMALLY CLOSED INTERNALLY PORTED CONTROL VALVE WITH 24 VOLT SOLENOID
- 5
- CLASS 150 - SCH. 80 PVC VAN STONE FLANGED FITTING (TYP.)
- 6
- PVC IRRIGATION MAINLINE PIPE - REFERENCE THE RESTRAINED JOINT REQUIREMENT DETAIL FOR RESTRAINED PVC IRRIGATION MAIPIPE LENGTHS ON UPSTREAM SIDE OF THE MASTER VALVE
- 7
- 3/4" CRUSHED GRAVEL SUMP 2 CU. FT.
- 8
- 4-INCH THICK CONCRETE SUPPORT BLOCK
- 9
- UNDISTURBED SOIL
- 10
- BRICK (1 OF 4)
- 11
- PVC IRRIGATION MAINLINE TO FLOW SENSOR
- 12
- FINISHED GRADE

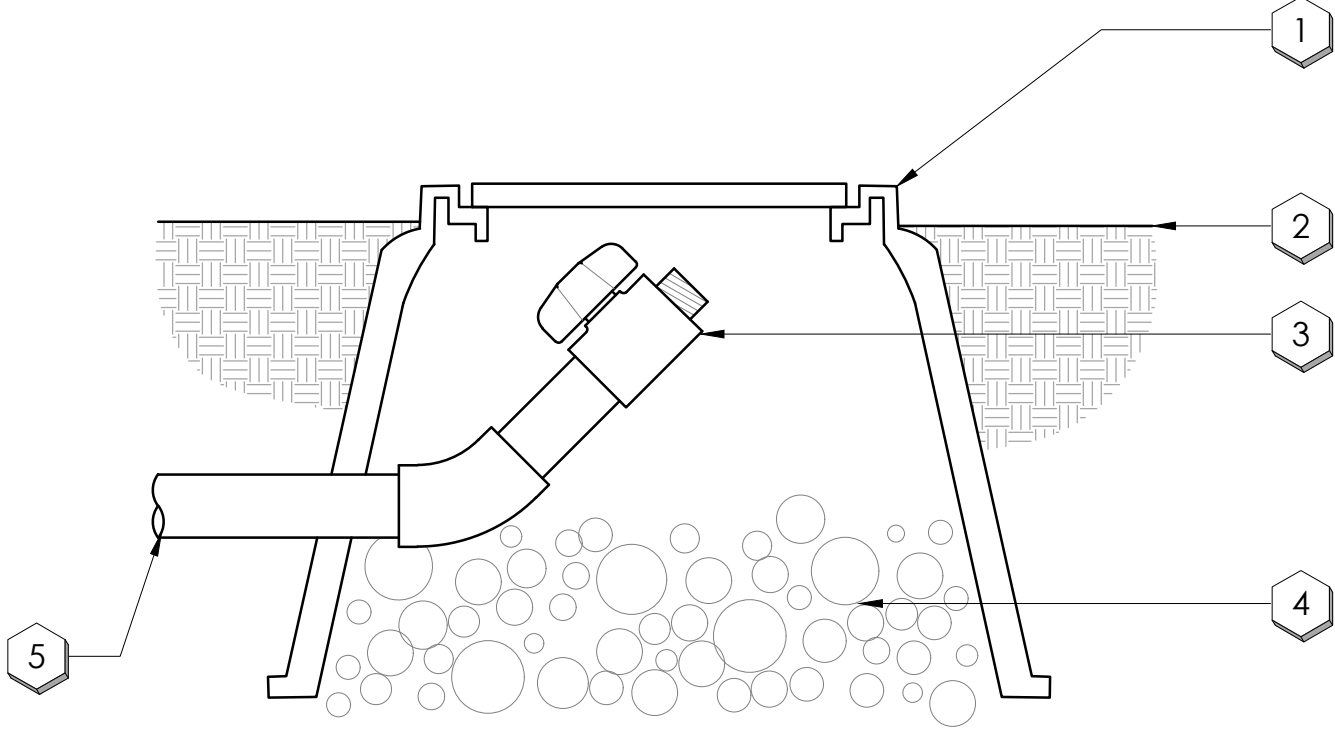
J

MASTER VALVE

NOT TO SCALE

KEYNOTES:

- 1
- BOLT DOWN LOCKING VALVE BOX
- 2
- FINISH GRADE
- 3
- BALL VALVE WITH FEMALE HOSE THREADS, LINE SIZE
- 4
- 6" LAYER OF PEA GRAVEL
- 5
- LATERAL LINE



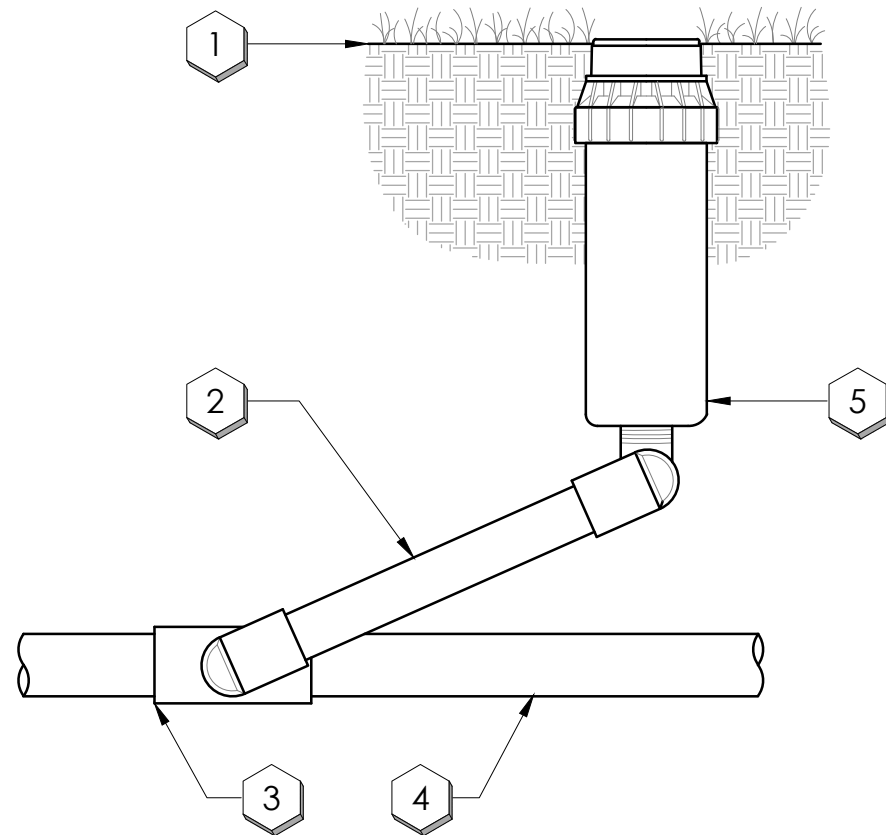
M

LATERAL LINE FLUSH VALVE

NOT TO SCALE

KEYNOTES:

- 1
- FINISH GRADE
- 2
- PREFABRICATED SWING JOINT
- 3
- TEE OR ELL AS REQUIRED
- 4
- LATERAL LINE
- 5
- SPRINKLER HEAD PER IRRIGATION MATERIAL SCHEDULE



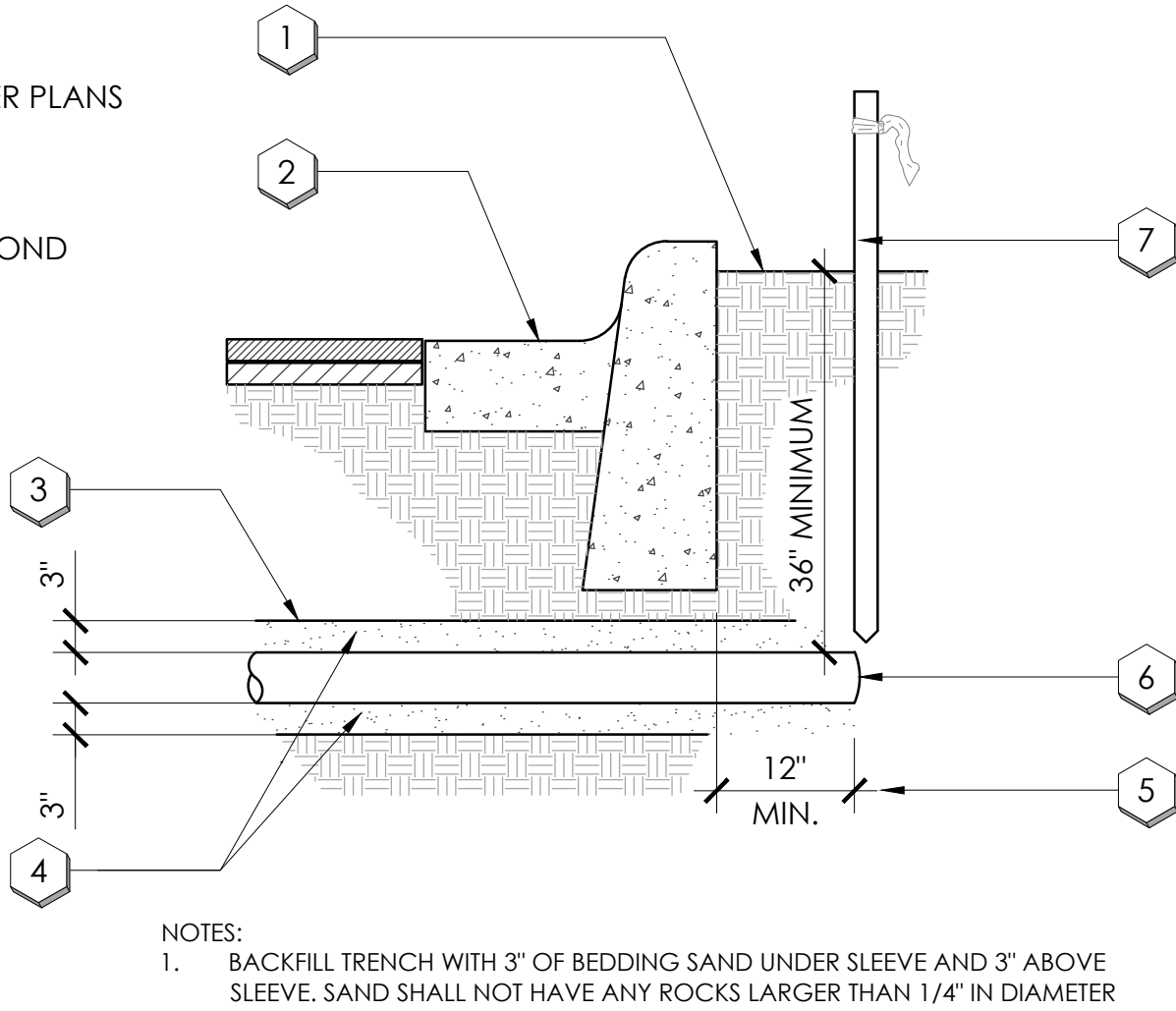
P

POP-UP SPRAY HEAD

NOT TO SCALE

KEYNOTES:

- 1
- FINISH GRADE BEYOND PAVEMENT EDGE
- 2
- CURB & GUTTER
- 3
- SLEEVE PIPE- DWV SCH 40 PVC SIZED PER PLANS
- 4
- BEDDING SAND
- 5
- EXTEND SLEEVE ENDS 12" MINIMUM BEYOND ALL HARDSCAPE EDGES
- 6
- SEAL SLEEVE ENDS WITH TAPE AND STAKE END LOCATIONS
- 7
- 2' x 4" x 48" STAKE W/ ORANGE RIBBON (TYP.)



NOTES:
1. BACKFILL TRENCH WITH 3" OF BEDDING SAND UNDER SLEEVE AND 3" ABOVE SLEEVE. SAND SHALL NOT HAVE ANY ROCKS LARGER THAN 1/4" IN DIAMETER

K

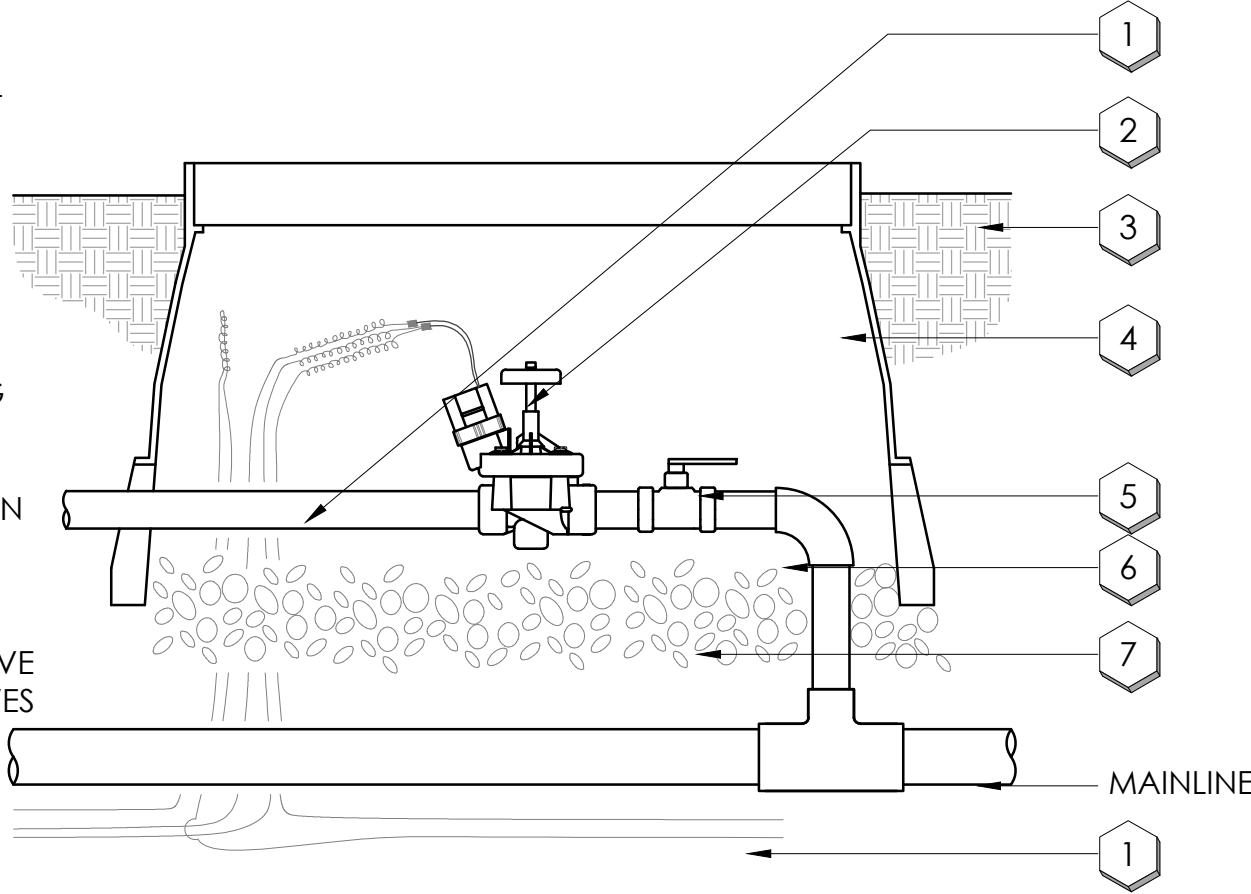
TYPICAL SLEEVING

NOT TO SCALE

KEYNOTES:

- 1
- WYE STRAINER AND PRESSURE REGULATOR, PER IRRIGATION MATERIAL SCHEDULE
- 2
- ELECTRIC REMOTE CONTROL VALVE, MODEL AND SIZE PER PLANS.
- 3
- FINISH GRADE
- 4
- PLASTIC VALVE BOX, WITH W/ LOCKING BOLT COVER SIZE AS REQUIRED TO ACCESS ALL EQUIPMENT. SET TOP OF VALVE BOX ABOVE FINISH GRADE 1/2" IN TURF AND 1" DECOMPOSED GRANITE.
- 5
- ISOLATION VALVE, PER IRRIGATION MATERIAL SCHEDULE. INSTALL ONE VALVE PER TAP (TWO REMOTE CONTROL VALVES MAX. PER TAP).
- 6
- SCH. 80 FITTING AS REQUIRED
- 7
- 6" LAYER OF PEA GRAVEL

NOTES:
1. USE DRY-TYPE WATERPROOF CONNECTORS.
2. PROVIDE EXPANSION COILS AT EACH WIRE CONNECTION IN VALVE BOX. WRAP WIRE AROUND 1/2" PIPE 15 TIMES.
3. MAINTAIN 6" BETWEEN VALVE AND TOP OF BOX.
4. EMBOSS COVER WITH 1/2" NUMBERS WHICH CORRESPOND TO VALVE NUMBERS AT IRRIGATION CONTROLLER.



N

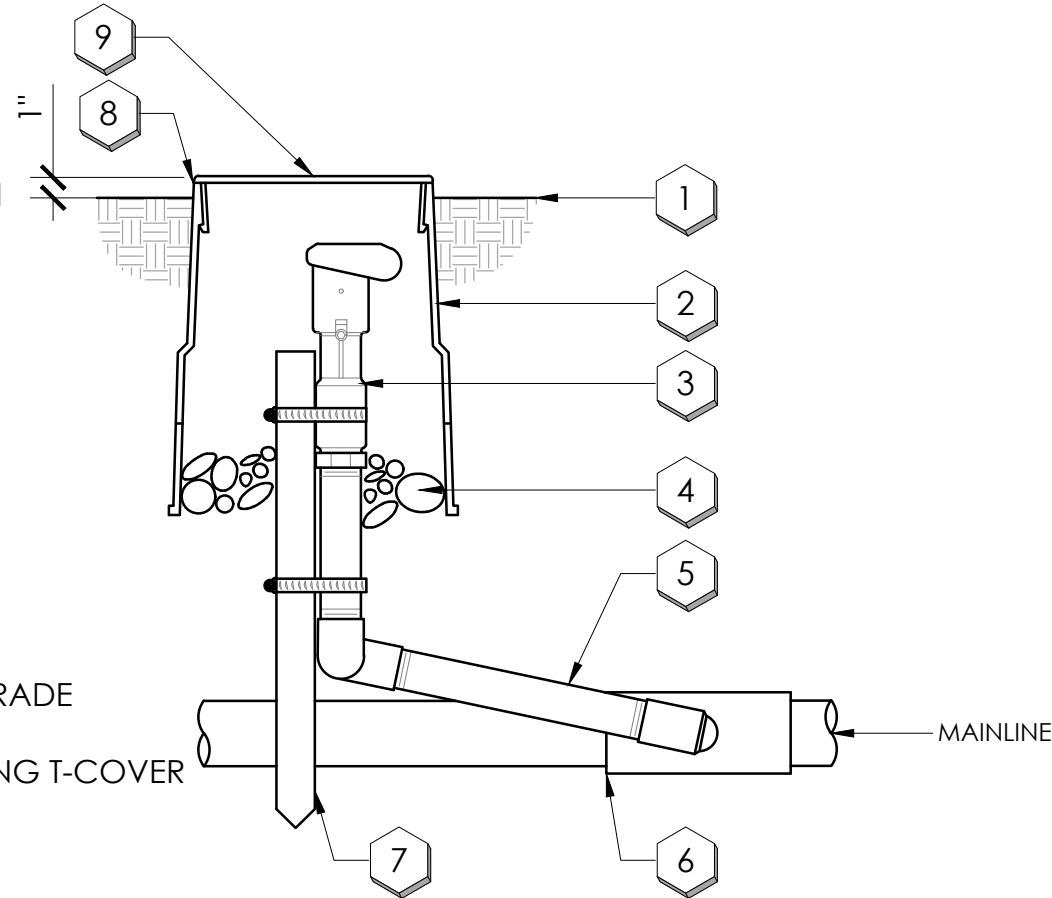
DRIP REMOTE CONTROL VALVE

NOT TO SCALE

KEYNOTES:

- 1
- FINISH GRADE
- 2
- BOLT DOWN LOCKING VALVE BOX
- 3
- QUICK-COUPLING VALVE, PER IRRIGATION MATERIAL SCHEDULE
- 4
- 6" LAYER OF PEA GRAVEL
- 5
- LASCO SWING JOINT
- 6
- TEE OR ELL AS REQUIRED
- 7
- 1" X 30" GALVANIZED ANGLE IRON WITH STAINLESS STEEL GEAR CLAMPS OR EQUIVALENT SUPPORT SYSTEM
- 8
- INSTALL VALVE BOX 1" ABOVE FINISHED GRADE
- 9
- 10" x 10 1/4" x 13" VALVE BOX WITH LOCKING T-COVER

NOTES:
1. FURNISH FITTINGS AND PIPING NOMINALLY SIZED IDENTICAL TO NOMINAL QUICK COUPLING VALVE INLET SIZE.



Q

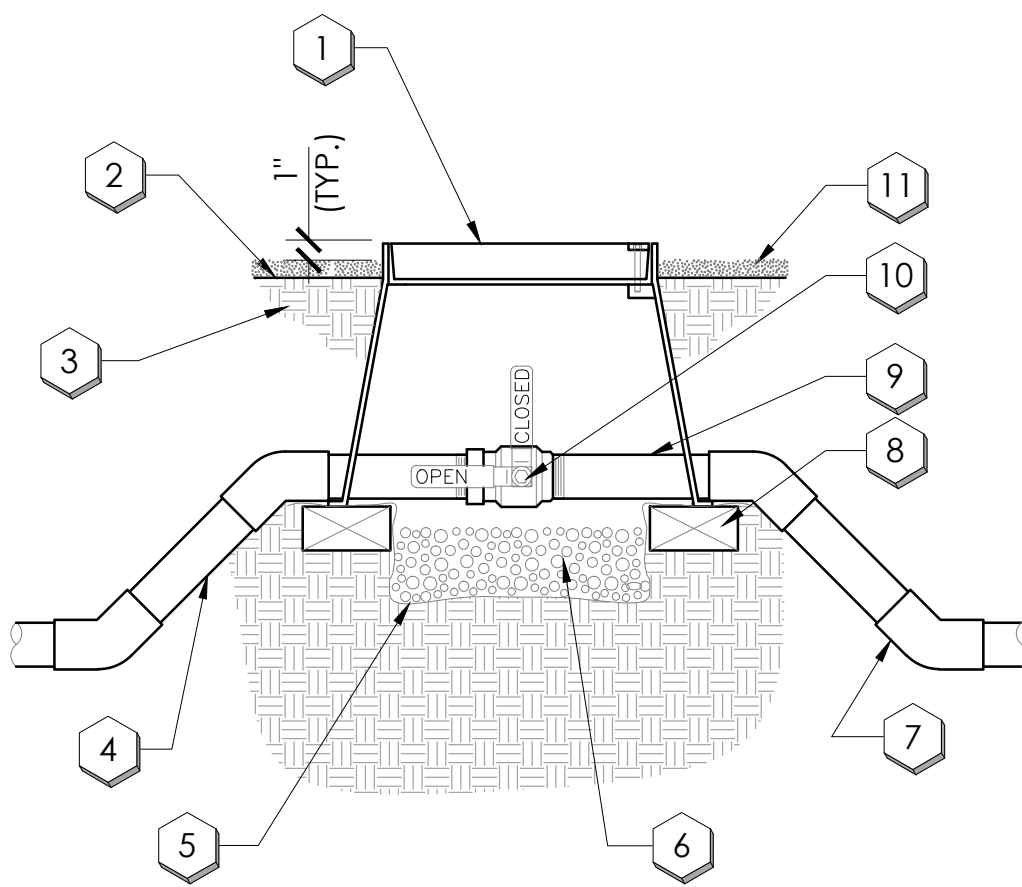
QUICK COUPLING VALVE

NOT TO SCALE

KEYNOTES:

- 1
- 10" x 10 1/4" x 13" VALVE BOX WITH LOCKING T-COVER
- 2
- FINISH GRADE
- 3
- SUBGRADE
- 4
- SCH 40 PVC MAINLINE
- 5
- GEOTEXTILE FABRIC
- 6
- 8" LAYER OF 3/4" CRUSHED AGGREGATE WITH 1" MIN. CLEARANCE TO BOTTOM OF VALVE
- 7
- 2' x 4" x 48" STAKE W/ ORANGE RIBBON (TYP.)
- 8
- SCH 80 PVC 45° ELL (TYPICAL {1 OF 4})
- 9
- BRICK PAVER (TYPICAL {1 OF 4})
- 10
- 10" SCH 80 PVC TOE NIPPLE (TYPICAL {1 OF 2})
- 11
- BRONZE FULL PORT BALL VALVE WITH STAINLESS STEEL HANDLE
- 12
- 2' DECOMPOSED GRANITE TOP DRESSING

NOTES:
1. NOMINAL SIZE OF BALL VALVE TO MATCH NOMINAL MAINLINE SIZE.
2. VALVE BOX TO INCLUDE STAINLESS STEEL BOLT AND WASHER.
3. EMBOSS COVER WITH "B.V." IN 1-INCH HIGH STENCIL LETTERS USING STYLUS TIP TORCH.
4. VALVE BOX SHALL BE PURPLE FOR USE WITH RECLAIMED WATER.



L

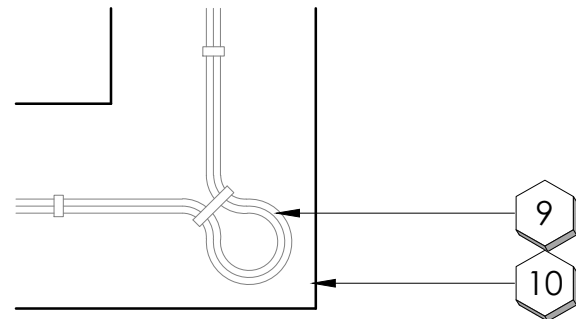
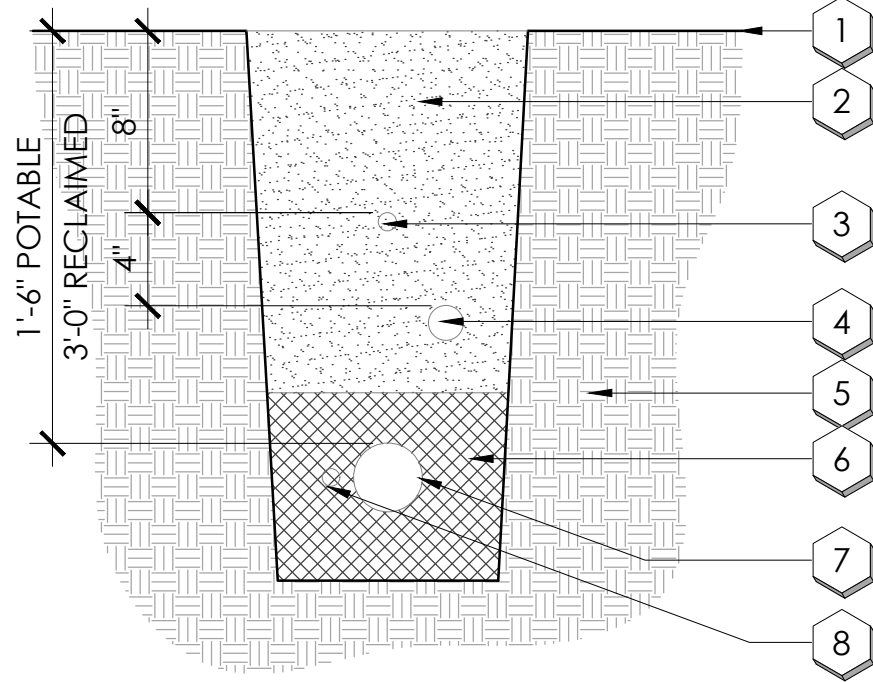
BALL VALVE ASSEMBLY

NOT TO SCALE

KEYNOTES:

- 1
- FINISH GRADE
- 2
- BACKFILL, CLEAN AND ROCK FREE
- 3
- DRIP TUBING
- 4
- LATERAL LINE
- 5
- NATIVE SOIL
- 6
- BEDDING PER SPECS
- 7
- MAINLINE PIPE
- 8
- CONTROL VALVE WIRING, TAPED AT 10'-0" INTERVALS
- 9
- TIE A LOOSE 24" LOOP IN ALL WIRING AT CHANGES OF DIRECTION GREATER THAN 30° UNTIE ALL LOOPS AFTER ALL CONNECTIONS HAVE BEEN MADE
- 10
- TRENCH

NOTES:
1. PLACE POTABLE AND RECLAIMED IRRIGATION LINES IN SEPARATE TRENCHES. PLACE ALL PIPE IN LANDSCAPE AREAS WITHIN SPECIFIED CONSTRUCTION LIMITS.
2. ALL WIRING TO BE INSTALLED PER LOCAL CODE.
3. ALL PLASTIC PIPING TO BE SNAKED IN TRENCHES.
4. ALL TRENCHES TO BE THOROUGHLY COMPACTED TO MATCH ADJACENT DENSITIES.
5. MAINTAIN 4" MIN. HORIZONTAL CLEARANCE BETWEEN PIPES AND/OR WIRING.



O

TRENCHING

NOT TO SCALE

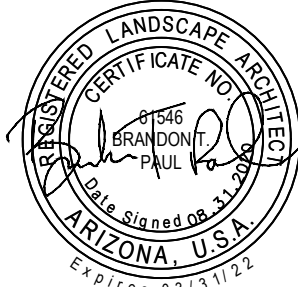
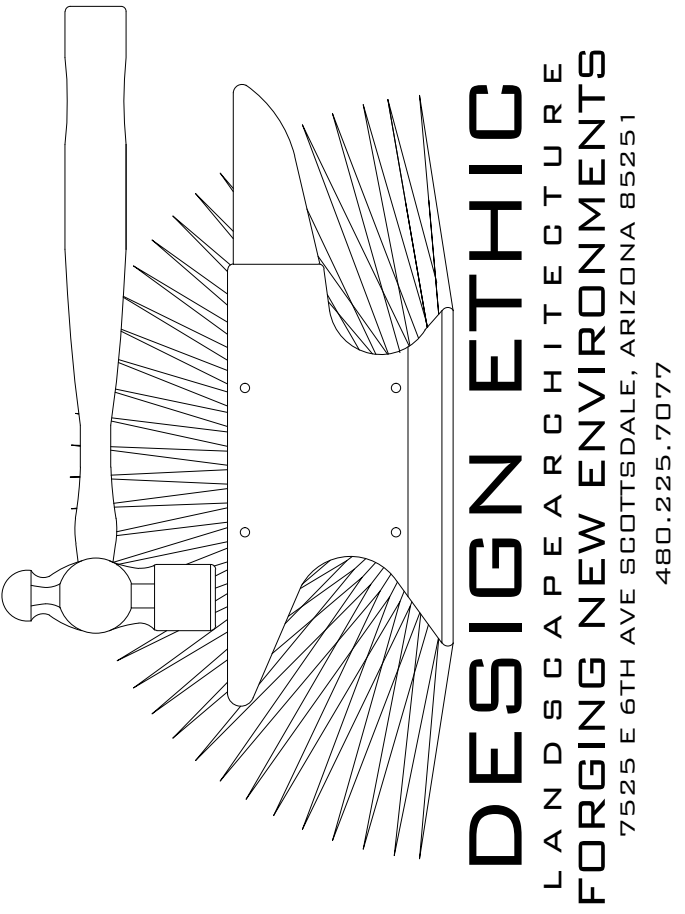
TEMPERATURE	TREES		
	1ST YEAR	2-5 YEARS	AFTER 5 YEARS
OVER 108 DEGREES	EVERY 2 DAYS	EVERY 10 DAYS	EVERY 3 WEEKS
OVER 100 DEGREES	ONCE A WEEK	EVERY 10 DAYS	GRADUALLY EXTEND INTERVALS TO EVERY 4 WEEKS
90-100 DEGREES	EVERY 10 DAYS	EVERY 2 WEEKS	GRADUALLY EXTEND INTERVALS TO EVERY 6 WEEKS
75-90 DEGREES	EVERY 2 WEEKS	EVERY 3 WEEKS	WATER IF NO RAINFALL FOR 60 DAYS
BELOW 75 DEGREES	EVERY 30 DAYS	EVERY 30 DAYS	WATER IF NO RAINFALL FOR 60 DAYS
TEMPERATURE	SHRUBS		
	1ST YEAR	2-5 YEARS	AFTER 5 YEARS
OVER 108 DEGREES	EVERY DAY	EVERY 3 DAYS	EVERY WEEK
OVER 100 DEGREES	ONCE A WEEK	EVERY 10 DAYS	EVERY 2 WEEKS
90-100 DEGREES	EVERY 10 DAYS	EVERY 2 WEEKS	EVERY 3 WEEKS
75-90 DEGREES	EVERY 2 WEEKS	EVERY 3 WEEKS	EVERY 4 - 5 WEEKS
BELOW 75 DEGREES	EVERY 30 DAYS	EVERY 30 DAYS	EVERY 4 - 5 WEEKS

NOTES:
1. SMALL PLANTS IN 1 GALLON CONTAINERS NEED TO BE WATERED TWICE A WEEK.
2. THE WATERING CHART IS PROVIDED AS A GUIDE ONLY AND MUST BE ADJUSTED FOR SPECIFIC TEMPERATURE AND ENVIRONMENTAL CONDITIONS. IT IS THE OWNER'S RESPONSIBILITY TO MAINTAIN ALL PLANT MATERIALS IN A THRIVING, HEALTHY CONDITIONS.

R

WATERING SCHEDULE

NOT TO SCALE



CALL TWO WORKING DAYS BEFORE YOU DIG
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1-800-STAKE-IT
(OUTSIDE MARICOPA COUNTY)

5405 EAST SAN MIGUEL
PARADISE VALLEY, AZ 85253
LANDSCAPE & IRRIGATION DETAILS

PROJECT:

JOB NO: 20-010

DATE:

DRAWN BY: B. PAUL

SUBMITTED: 08.31.2020

REVISED:

SHEET

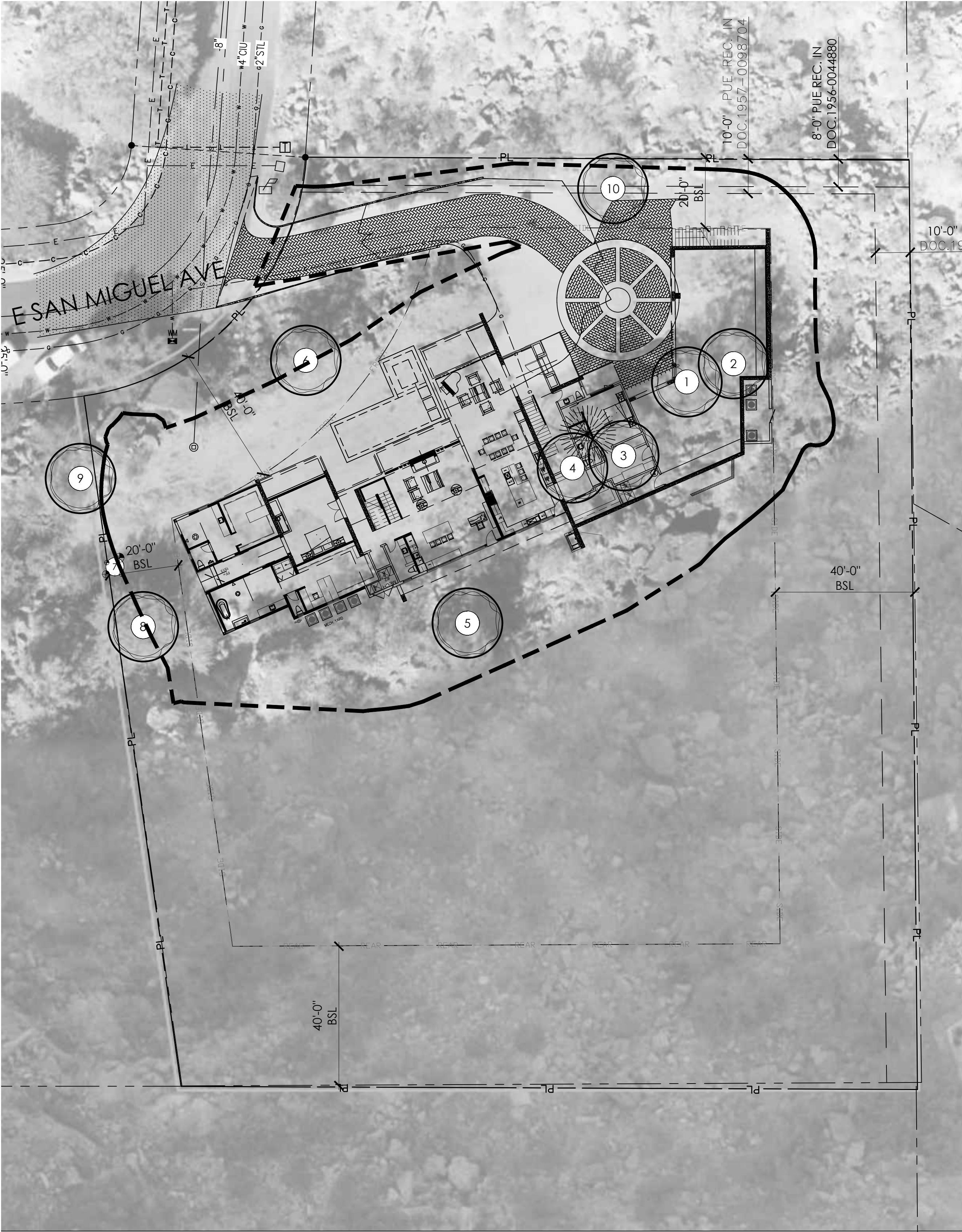
L.07 of L.07

5405 EAST SAN MIGUEL AVENUE

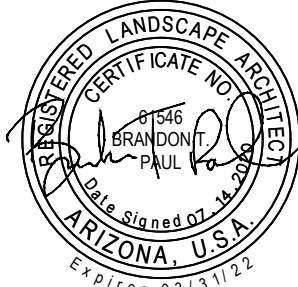
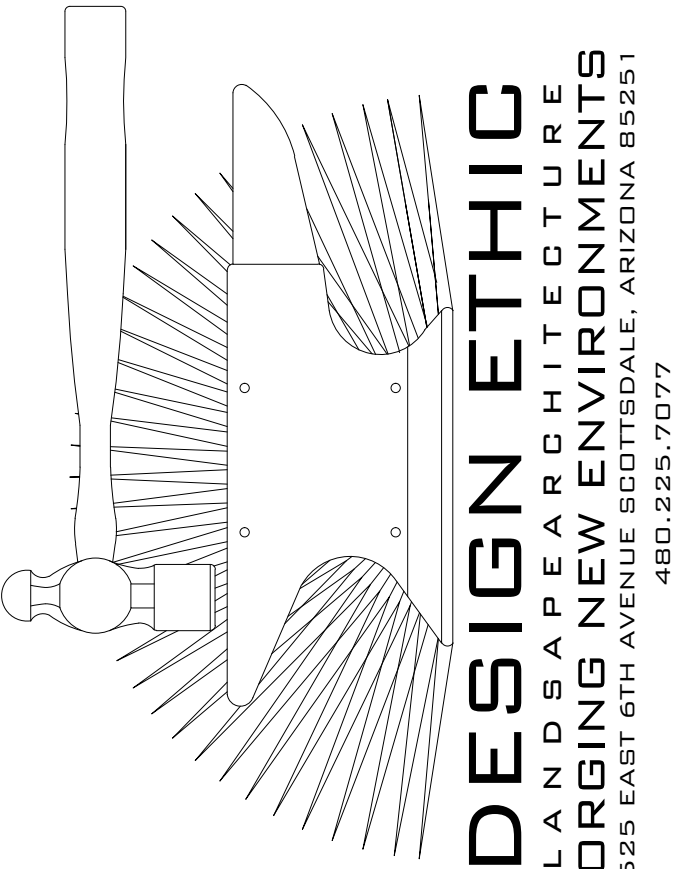
project consultants

landscape architecture:

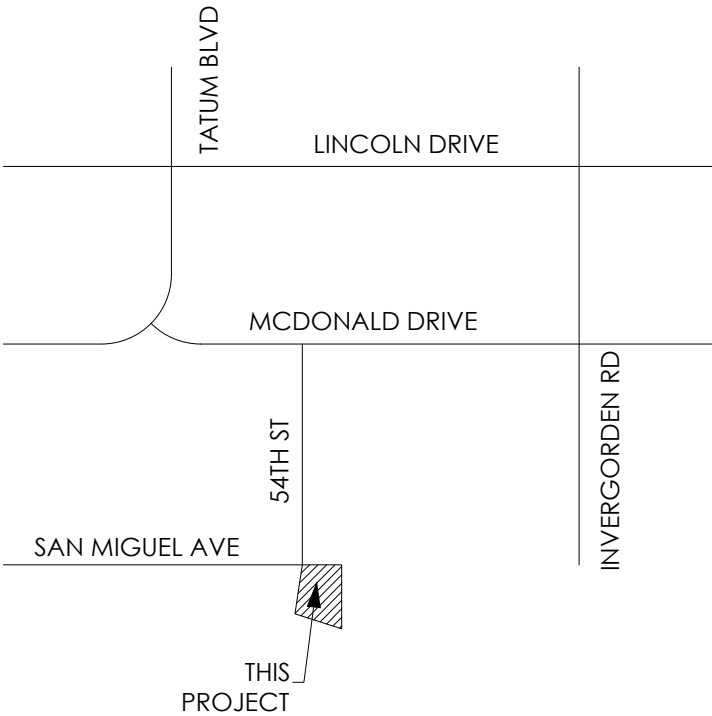
DESIGN ETHIC, LLC
7525 EAST 6TH AVENUE
SCOTTSDALE, ARIZONA 85251
CONTACT: BRANDON PAUL
PHONE: 480.225.7077
EMAIL: bpaul@designethic.net



Plant #	Inventory Designation	Intended Designation	Species	Scientific Name	Caliper (in)	Height (ft)	Comments
1	NS	D	FOOTHILLS PALO VERDE	PARKINSONIA MICROPHYLLUM	12	15	BROKEN CAMBIUM; DIE BACK; ROCKS; ON SLOPE
2	NS	D	FOOTHILLS PALO VERDE	PARKINSONIA MICROPHYLLUM	6	12	BROKEN CAMBIUM; DIE BACK; ROCKS; ON SLOPE
3	NS	D	FOOTHILLS PALO VERDE	PARKINSONIA MICROPHYLLUM	8	18	BROKEN CAMBIUM; DIE BACK; ROCKS; ON SLOPE
4	NS	D	FOOTHILLS PALO VERDE	PARKINSONIA MICROPHYLLUM	6	15	BROKEN CAMBIUM; EXPOSED ROOTS; ROCKS; ON SLOPE
5	NS	D	FOOTHILLS PALO VERDE	PARKINSONIA MICROPHYLLUM	14	20	BROKEN CAMBIUM; EXPOSED ROOTS; ROCKS; ON SLOPE
6	NS	PIP	FOOTHILLS PALO VERDE	PARKINSONIA MICROPHYLLUM	4	12	BROKEN CAMBIUM; ROCKS; ON SLOPE
7	NS	D	DESERT NIGHT BLOOMING CEREUS	PENIOCEREUS GREGGII	X	4	BROKEN ARM
8	NS	PIP	NATIVE MESQUITE	PROSOPIS JULIFLORA	10	25	LEANING; WIDE BASE
9	NS	PIP	FOOTHILLS PALO VERDE	PARKINSONIA MICROPHYLLUM	4	10	BROKEN CAMBIUM
10	NS	D	FOOTHILLS PALO VERDE	PARKINSONIA MICROPHYLLUM	4	12	BROKEN CAMBIUM; ROCKS; ON SLOPE



SCALE: 1" = 20'-0"



vicinity map



not to scale

PROJECT:

STONE CANYON - LOT 41
5405 EAST SAN MIGUEL AVENUE
PARADISE VALLEY, ARIZONA 85253

SHEET TITLE:

NATIVE PLANT INVENTORY

JOB NO: 20-017
DATE: 07.14.2020
DRAWN BY: B. PAUL
SUBMITTED: -
REVISED:

SHEET

IS.01 of IS.01