



FRONT ELEVATION

1-ROOF VENTILATION SHALL COMPLY WITH IRC R806. ENCLOSED ATTIC AND RAFTER SPACES TO HAVE CLEAR VENTILATION TO THE OUTSIDE VENTS. 1/50 OF SPACE VENTILATED FOR GABLE VENTS, 1/300 OF SPACE VENTILATED FOR BOTH GABLE AND RAFTER VENTS WITH MIN. 50% OF VENTILATION REQUIRED AT EAVE VENTS. PITCHED ROOF AREAS UNDER ROOF SQ. FT. = 2644 SF / 300 = 8.81 SF REQ'D

**REQUIRED ATTIC VENT. 8.81**  
**PROVIDED ATTIC VENT. 13.60**

2-PROVIDE MIN. 4" SHEAR PANELS WITHIN 8' OF EACH CORNER AND 28" OC BRACE ALL EXTERIOR WALLS. ALL MAJOR INTERIOR PARTITIONS BRACE WITH 2x4. UNLESS NOTED OTHERWISE, ALL SHEAR WALL BRACING SHALL COMPLY WITH IRC R602.

3-EXTERIOR GUARDRAILS SHALL BE A MIN. OF 36" HIGH, WITH INTERMEDIATE RAILINGS SPACED SUCH THAT A 4" SPHERE CANNOT PASS BETWEEN THEM, AS PER IRC R312

4-SEE SHEET 2 FOR SECURITY NOTES

5-TILE SHOWN: MONIER: TILE OR EQUAL KC REPORT #ER-1841. INSTALL PER EVALUATION REPORT AND TABLE NO. R508.3.1

6-STUCCO SHOWN: "ULTRA KOTE" (1) COAT OR EQ. W/ LATH KC #ESR-147L

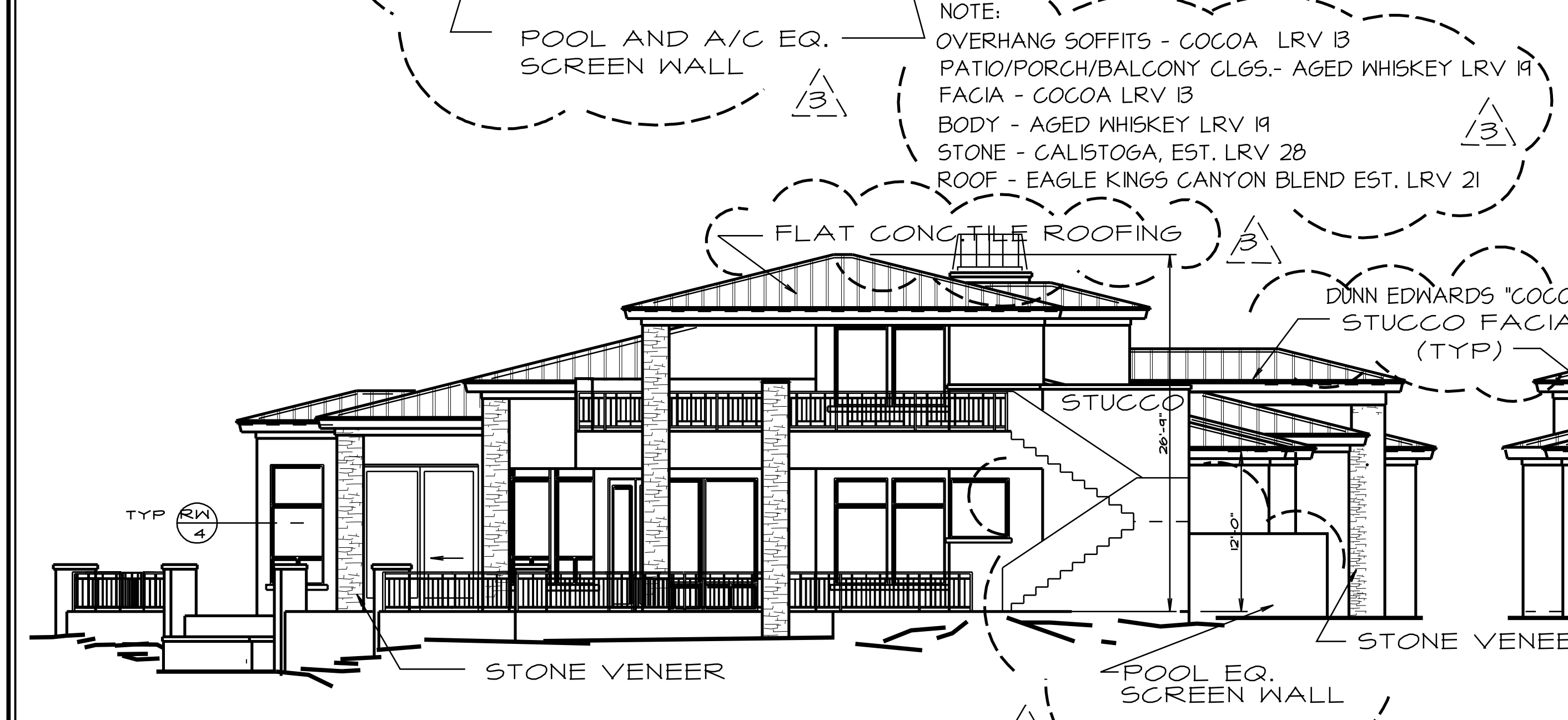
7-PROVIDE (2) LAYERS OF GRADE "D" KRAFT WATER PROOF BUILDING PAPER OVER ALL WOOD BASED WALL SHEATHING, OR PROVIDE (1) LAYER OF TYPE 15 ASPHALT-SATURATED ORGANIC FELT PAPER, RC R703

8-PROVIDE 1 LAYER OF GRADE D PAPER OR 1 LAYER OF TYPE 15 FELT OVER WOOD FRAMING, RC R703

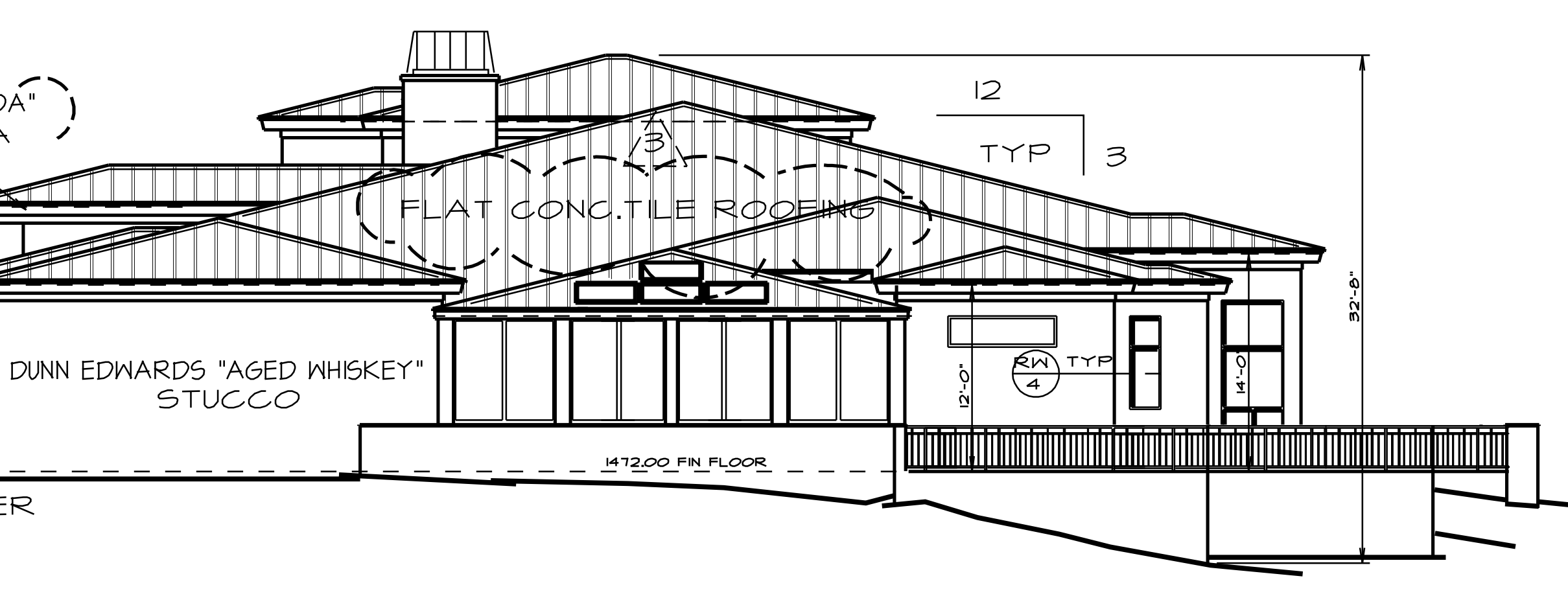
9-BALCONIES, LANDINGS, EXTERIOR STAIRWAYS AND SIMILAR SURFACES EXPOSED TO THE WEATHER AND SEALED UNDERLATH SHALL BE WATERPROOFED. DECK FRAMING TO SLOPE 1/4" PER FOOT.

10-PREPLACE CHIMNEY MINIMUM 2' ABOVE 10'-0" AWAY FROM ANY PORTION OF ROOF OR BUILDING AND MIN. 5' HIGHEST ADJACENT ROOF SURFACE, R1001.6.

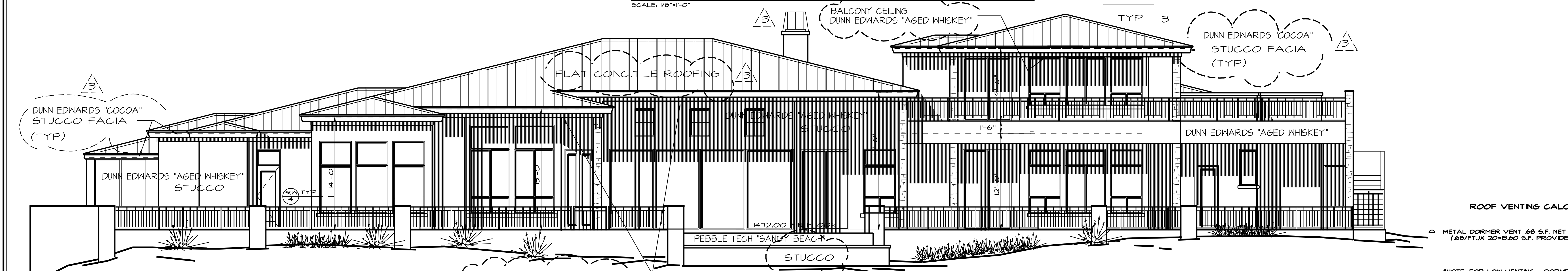
11-FLASH OVER DOOR AND WINDOW OPENINGS WITH AN APPROVED WEATHER RESISTANT BUILDING PAPER, GRADE "D" KRAFT OR ASPHALT SATURATED ORGANIC FELT PAPER.



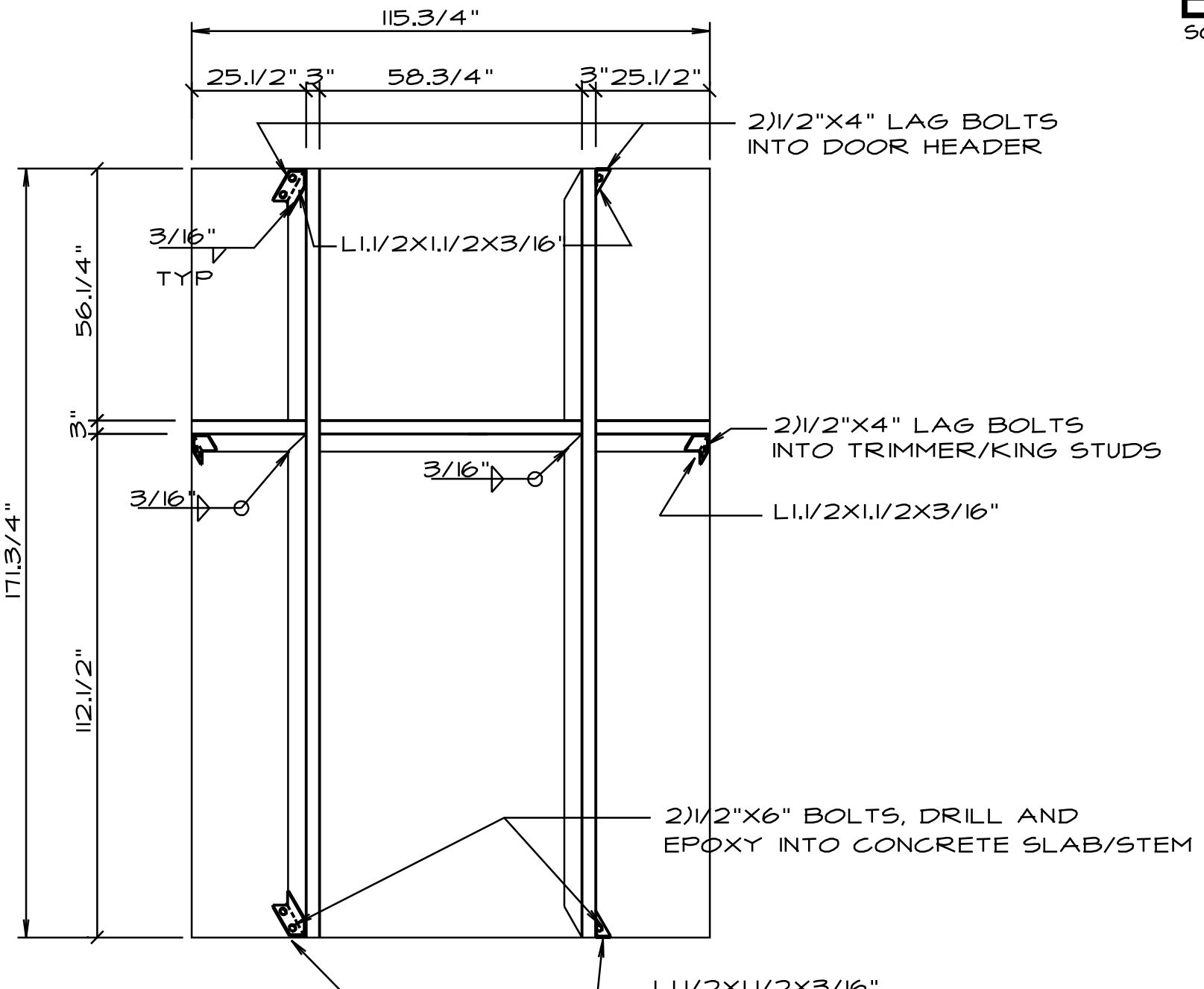
LEFT ELEVATION



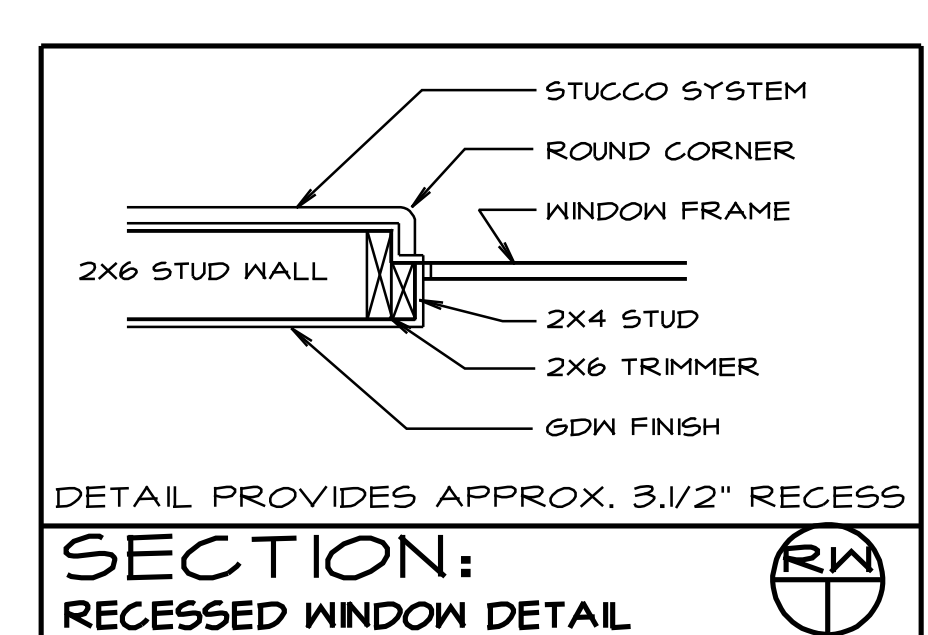
RIGHT ELEVATION



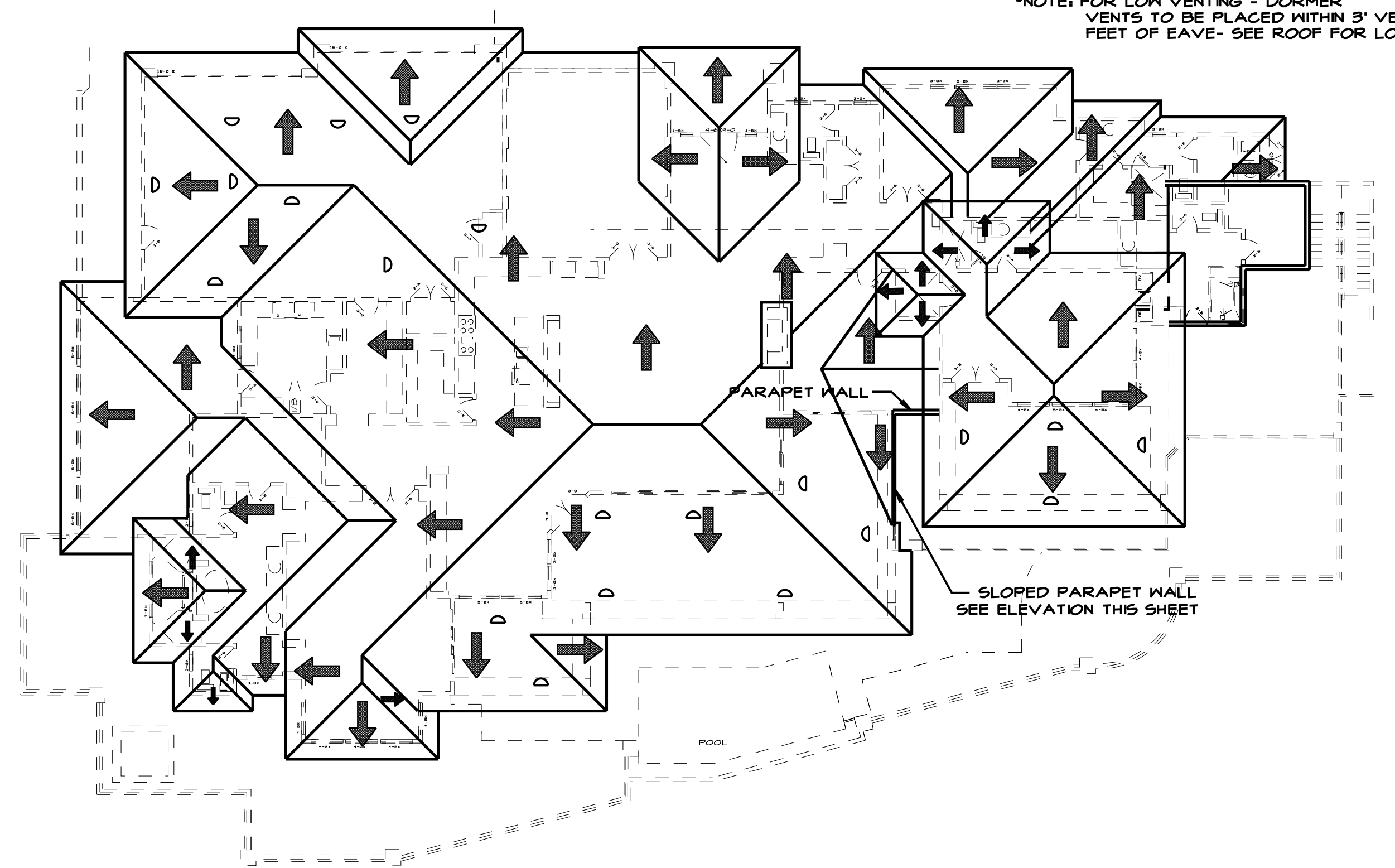
REAR ELEVATION



ENTRY DOOR FRAME



SECTION: RECESSED WINDOW DETAIL



ROOF PLAN

**DESIGN PROFILE**

WEBSITE/EMAIL: [www.designprofile.com](http://www.designprofile.com)  
(480) 461-8780

ALISON INC.  
4321 WEST 5TH STREET  
DENVER, CO 80202  
(480) 461-8810

1-800-264-2786

**JOB NAME: NEJERMAN RESIDENCE**

DATE: 08.15.18  
1 REV: 10.31.18  
2 REV: 01.22.19  
3 REV: 05.05.19.20

IRC

ASSUMED ORIGINAL GRADE LINE

EXISTING GRADE LINE

LINE OF 24' HEIGHT LIMIT

EXISTING GRADE LINE

SECTION 'A'

EXISTING GRADE LINE

ASSUMED ORIGINAL GRADE LINE

EXISTING GRADE LINE

SECTION 'B'

EXISTING GRADE LINE

ASSUMED ORIGINAL GRADE LINE

EXISTING GRADE LINE

SECTION 'C'

SITE SECTIONS

SCALE: 3/16"=1'-0"

DESIGNER'S SEAL  
I, JAMES M. HARRIS, P.E.,  
A PROFESSIONAL ENGINEER,  
DO HEREBY CERTIFY THAT I  
AM THE DESIGNER OF THE  
PROJECT SHOWN ON THESE  
PLANS, AND THAT I AM  
NOT PROVIDING MY SERVICES  
TO ANY OTHER PROJECT  
WHICH COULD BE AFFECTED  
BY THE DESIGN OF THIS  
PROJECT.  
DATE: 05/28/19  
JAMES M. HARRIS, P.E.  
PIONEER DESIGN & ENGINEERING, INC.  
1001 N. 10TH STREET  
SUITE 100  
PHOENIX, ARIZONA 85016  
(602) 461-8810  
WWW.PIONEERDESIGN.COM

**DESIGN PROFILE**

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JOB NAME: NEUERMAN RESIDENCE  
5656 E. INDIAN BEND RD.

DATE: 05.28.19	1	REVISED	IRC
	2	REVISED	
	3	REVISED	



DISTURBED AREA CALCULATIONS AND LOT INFORMATION:

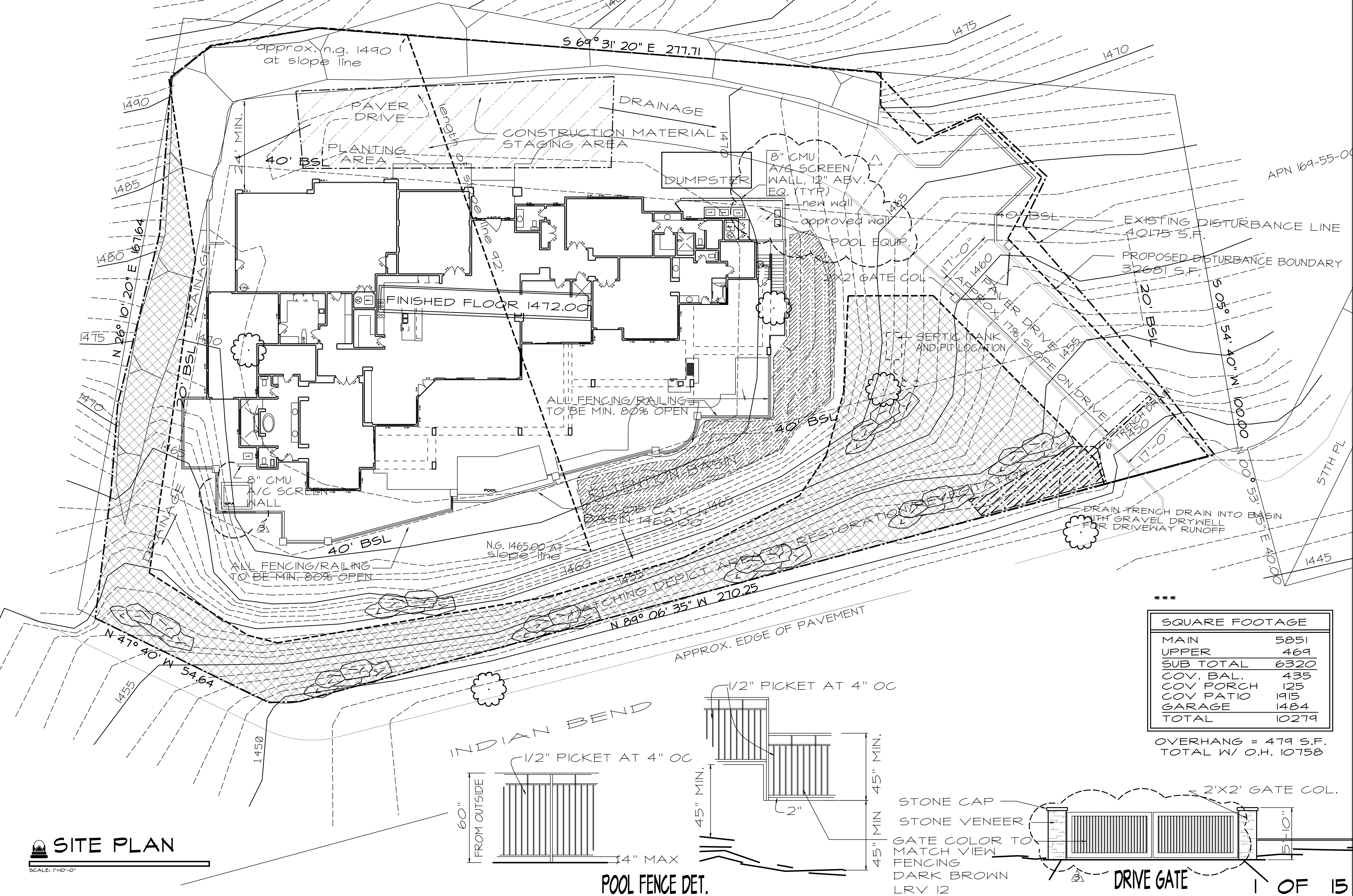
AREA OF LOT 43708 S.F. 1.0034 ACRES  
AREA UNDER ROOF 10758 S.F. \*\*\*  
FLOOR AREA RATIO 24.6 %

BUILDING PAD SLOPE 17%  
VERT 26' HOR. 153'  
ALLOWABLE DISTURBANCE 27.27% (11919 S.F.)

EXISTING DISTURBED AREA +/-40175 S.F.  
PROPOSED DISTURBED AREA 32681 S.F.

(EXISTING DISTURBED TO BE RESTORED AND  
RE-VEGETATED TO AS CLOSE TO NATURAL  
GRADE AND APPEARANCE AS POSSIBLE)

TOTAL OF RETAINING WALLS 5  
TOTAL LENGTH OF ALL RETAINING WALLS 377 L/F  
MAXIMUM HEIGHT OF RETAINING WALLS <8'  
MAXIMUM LENGTH OF VISIBLE RETAINING WALLS 260 L/F  
EXISTING DRIVEWAY - ASPHALT  
DRIVEWAY MATERIAL PROPOSED  
BROWN / GRAY PAVERS (LRV <38)  
EXISTING DRIVEWAY WIDTH 17'  
SLOPE OF DRIVEWAY APPROX. 17%



**DESIGN PROFILE**

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JOB NAME: NEUERMAN RESIDENCE  
5656E. INDIAN BEND RD.

DATE: 08.15.18  
1 REV: 10.31.18  
2 REVISED: 01.22.19  
3 REVISED: 05.18.20

IRC






QUANTITY	DESC.	MANU. MODEL	WATTS	LUMEN	COLOR TEMP
14	REC. CANNISTER	JUNO 4" IC 600 LUMEN	20 WATT MAX	600	2700
8	EXT. WALL LIGHT	LUNA EXT WALL SCONCE	11 WATT	500	2700
		HINCKLEY LIGHTING			

**4" IC 600 LUMEN LED DOWNLIGHT  
NEW CONSTRUCTION  
IC TILED (G4 06LM) RECESSED HOUSING  
HYPERBOLIC TRIMS**

PHOTOMETRIC REPORT		CANDLEPOWER DISTRIBUTION		AVERAGE INITIAL FOOTCANDLES		INITIAL FOOTCANDLES	
Test Report # P-030-0402		Vertical		Average Initial Footcandles (cd/m²)		(One Unit: 8.46V, 24.3° Beam)	
Casting No. C-1130 0.04A 33K		Degrees		Casting 6.05 Watt 500L Feet		Degrees in Illuminated Field	
Casting No. C-1130 0.04A 33K		Vertical		Casting 6.05 Watt 500L Feet		Illuminated Beam Diameter	
Casting No. C-1130 0.04A 33K		Vertical		Casting 6.05 Watt 500L Feet		Illuminated Beam Diameter	
Casting No. C-1130 0.04A 33K		Vertical		Casting 6.05 Watt 500L Feet		Illuminated Beam Diameter	
Casting No. C-1130 0.04A 33K		Vertical		Casting 6.05 Watt 500L Feet		Illuminated Beam Diameter	
Casting No. C-1130 0.04A 33K		Vertical		Casting 6.05 Watt 500L Feet		Illuminated Beam Diameter	
Casting No. C-1130 0.04A 33K		Vertical		Casting 6.05 Watt 500L Feet		Illuminated Beam Diameter	
Casting No. C-1130 0.04A 33K		Vertical		Casting 6.05 Watt 500L Feet		Illuminated Beam Diameter	
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Casting No. C-1130 0.04A 33K		Vertical		Casting 6.05 Watt 500L Feet		Illuminated Beam Diameter	
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Casting No. C-1130 0.04A 33K		Vertical		Casting 6.05 Watt 500L Feet		Illuminated Beam Diameter	
Casting No. C-1130 0.04A 33K		Vertical		Casting 6.05 Watt 500L Feet		Illuminated Beam Diameter	
Casting No. C-1130 0.04A 33K		Vertical					



ish 24 inch

# EXTERIOR LIGHTING PLAN

SCALE: 1"=10'-0"

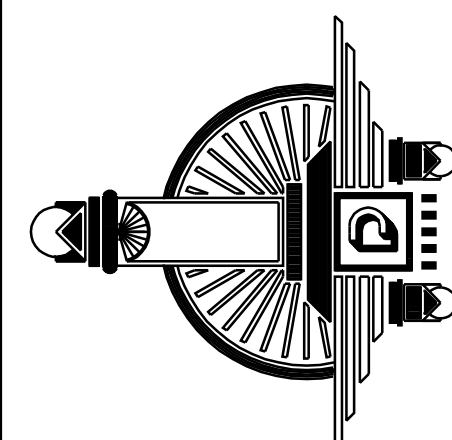
## EXTERIOR WALL LIGHTS

**JOB NAME:NEJERMAN RESIDENCE  
5656E. INDIAN BEND RD.**

1-800-264-2786

# DESIGN

**ARIZONA**  
DESIGN PROFILE, INC.  
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MESA, ARIZONA 85201  
(480) 461-8810



**ppbblle**

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plans@designprofile.com  
**(FAX) 461-8780**

ALL WORK PERFORMED ON  
BY A LICENSED CONTRACTOR  
IN ACCORDANCE WITH NATIONAL  
SMALL FIRM AND MIDDLE CLASS  
AND ASSURE RESPONSIBILITY FOR  
ALL CLAIMS DUE TO ANY OMISSIONS  
OR ERRORS IN THE DESIGN AND/OR  
THESE PLANS. THE MINORITY  
OF THIS CONTRACT. ALL  
BE PERFORMED OR COATED WITHOUT  
THE DESIGN FIRM'S WRITTEN  
UNDER A WRIT OF PROSECUTION. THE  
AS AGREED TO IN THE SALE OF THIS  
REQUIRES A RELEASE OF RIGHTS  
BY DESIGN PROFILE









## DIGITAL MODEL IMAGES

DATE: 07/6/8

REVISID

2	REVISED
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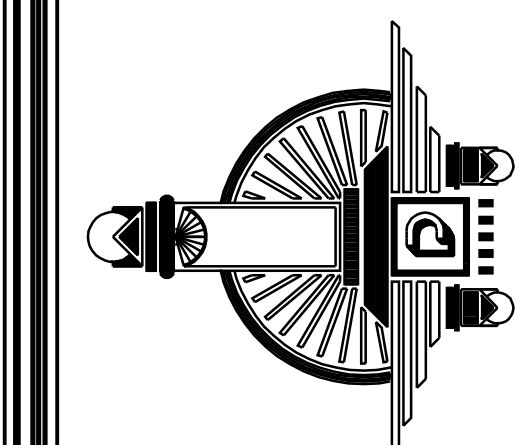
3 REVISÉ

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**JOB NAME: NEUERMAN RESIDENCE  
5656 E. INDIAN BEND RD.**

1-800-264-2786

**DESIGN PROFILE, INC.**  
ARIZONA  
DESIGN PROFILE, INC.  
1000 N. CENTRAL AVENUE  
MESA, ARIZONA 85201  
(480) 461-8810



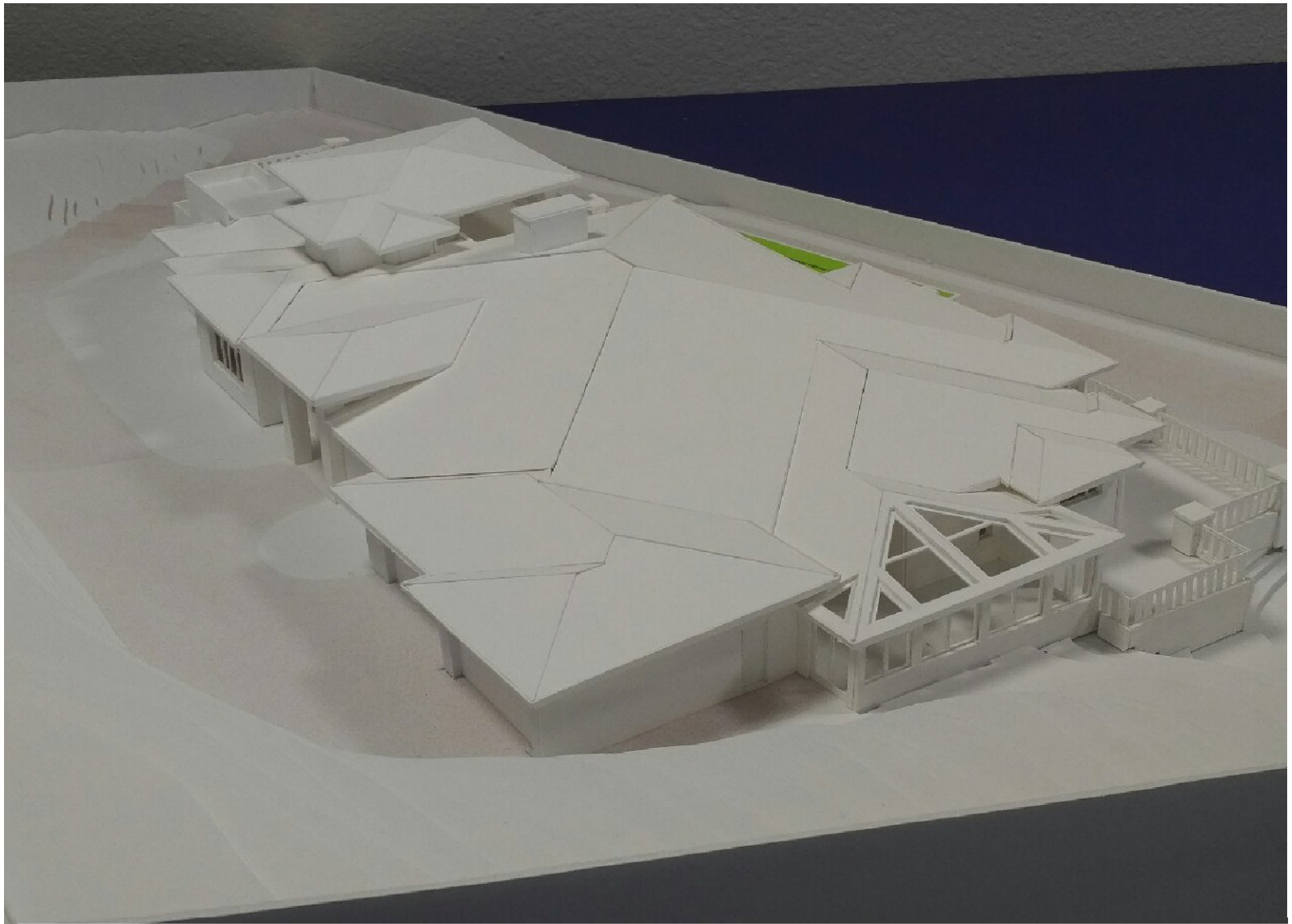
**RGB I**

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**(FAX) 461-8780**

**PROFILE**

[illegible]





VIEW FROM NORTH WEST



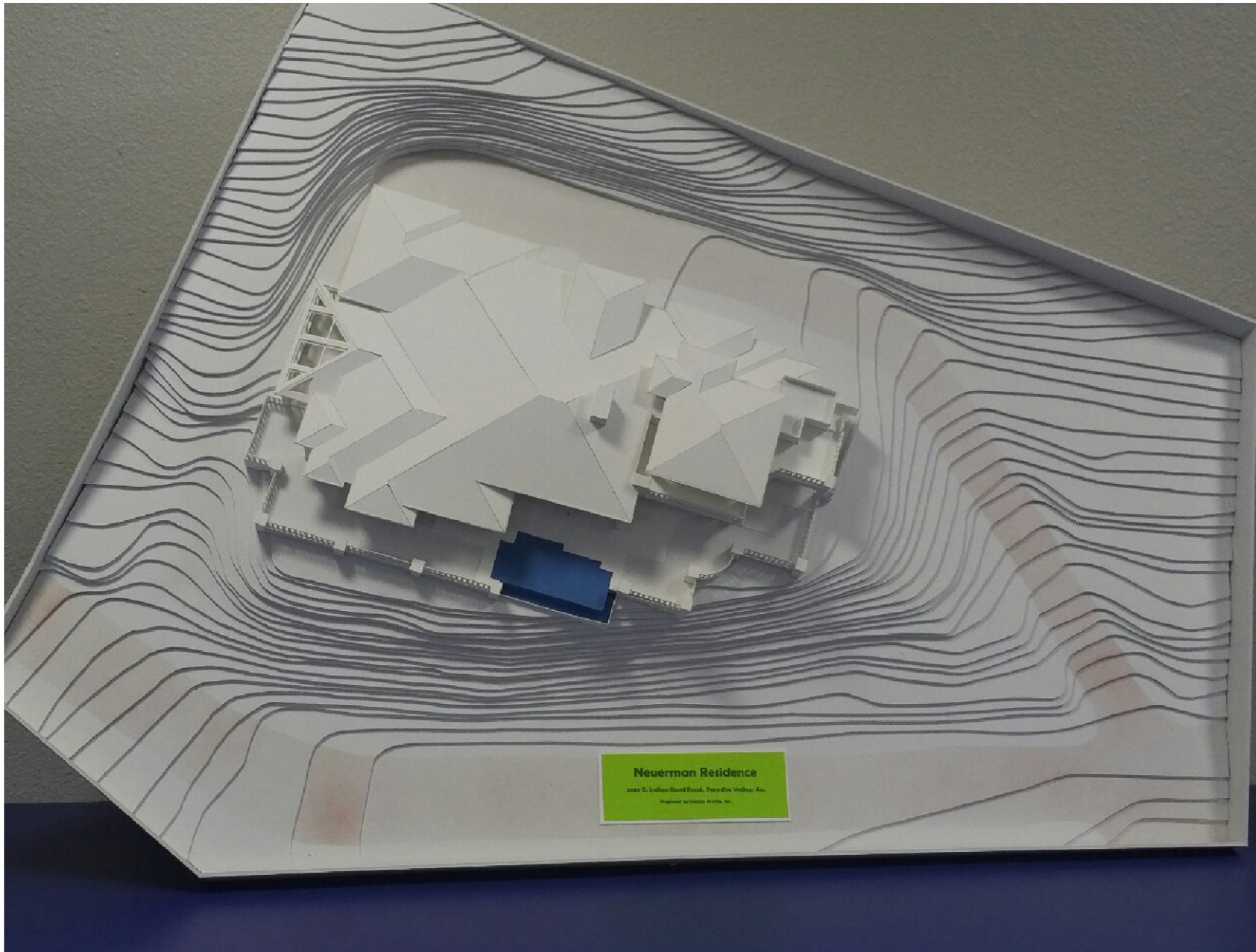
VIEW FROM NORTH



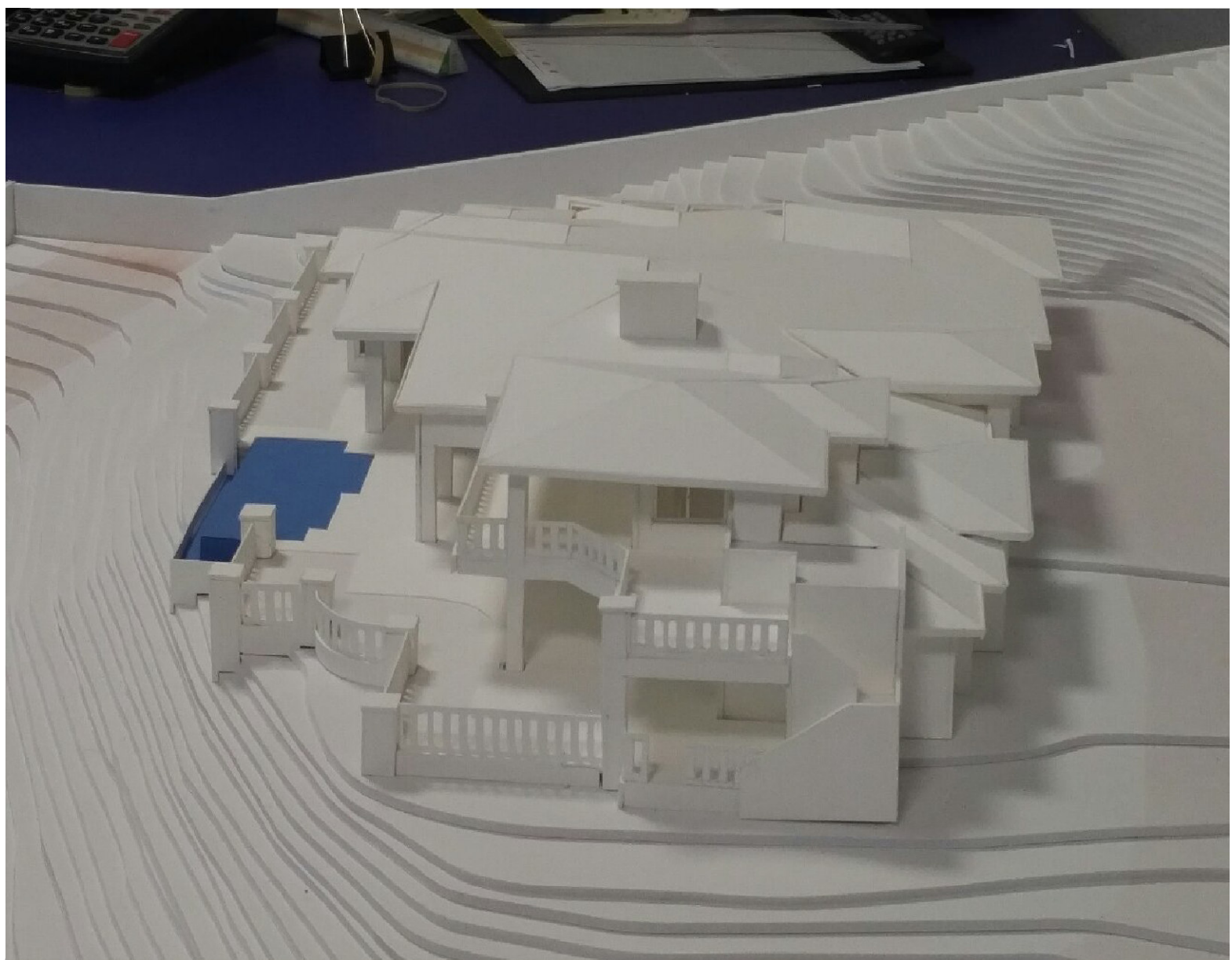
VIEW FROM NORTH EAST



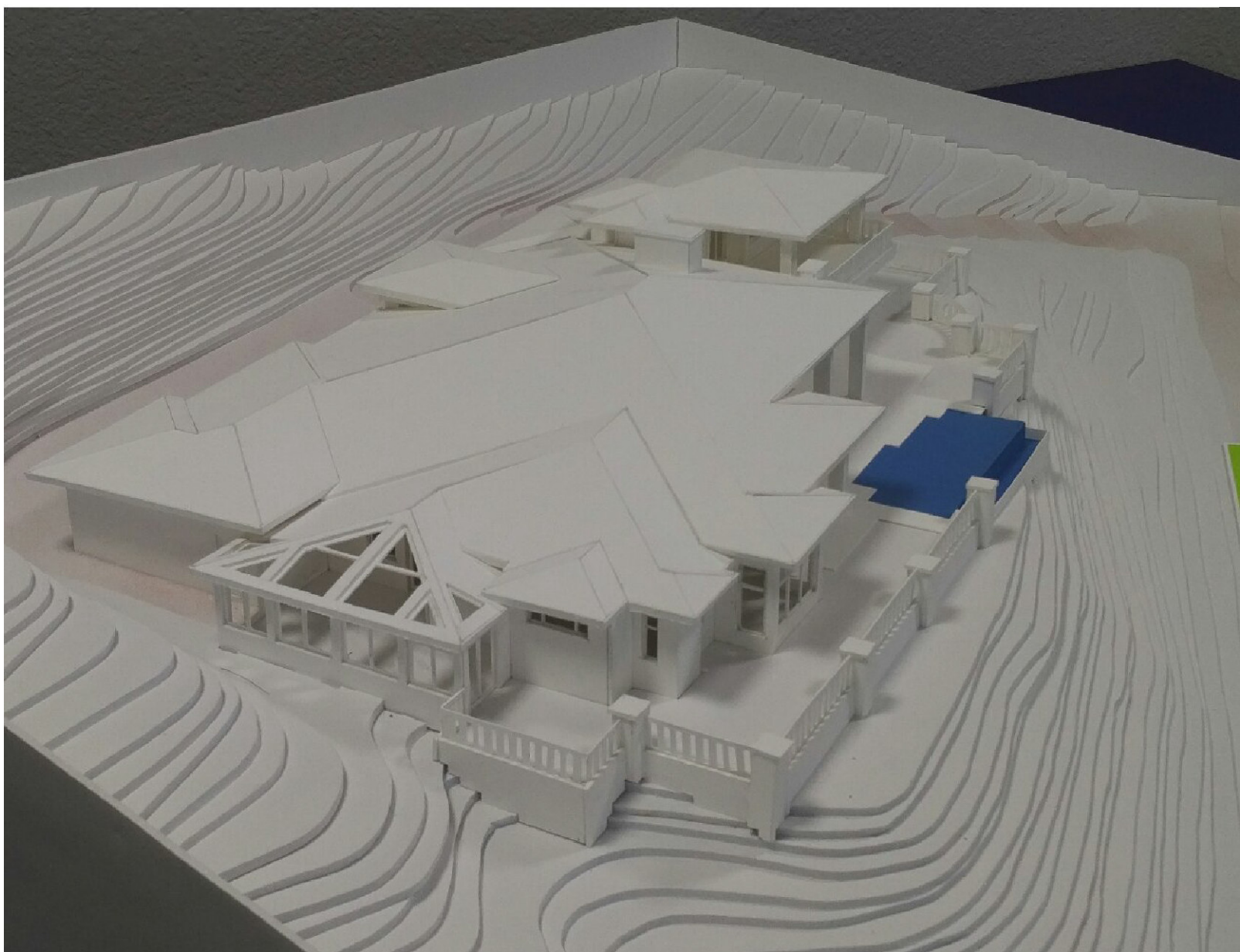
VIEW FROM WEST



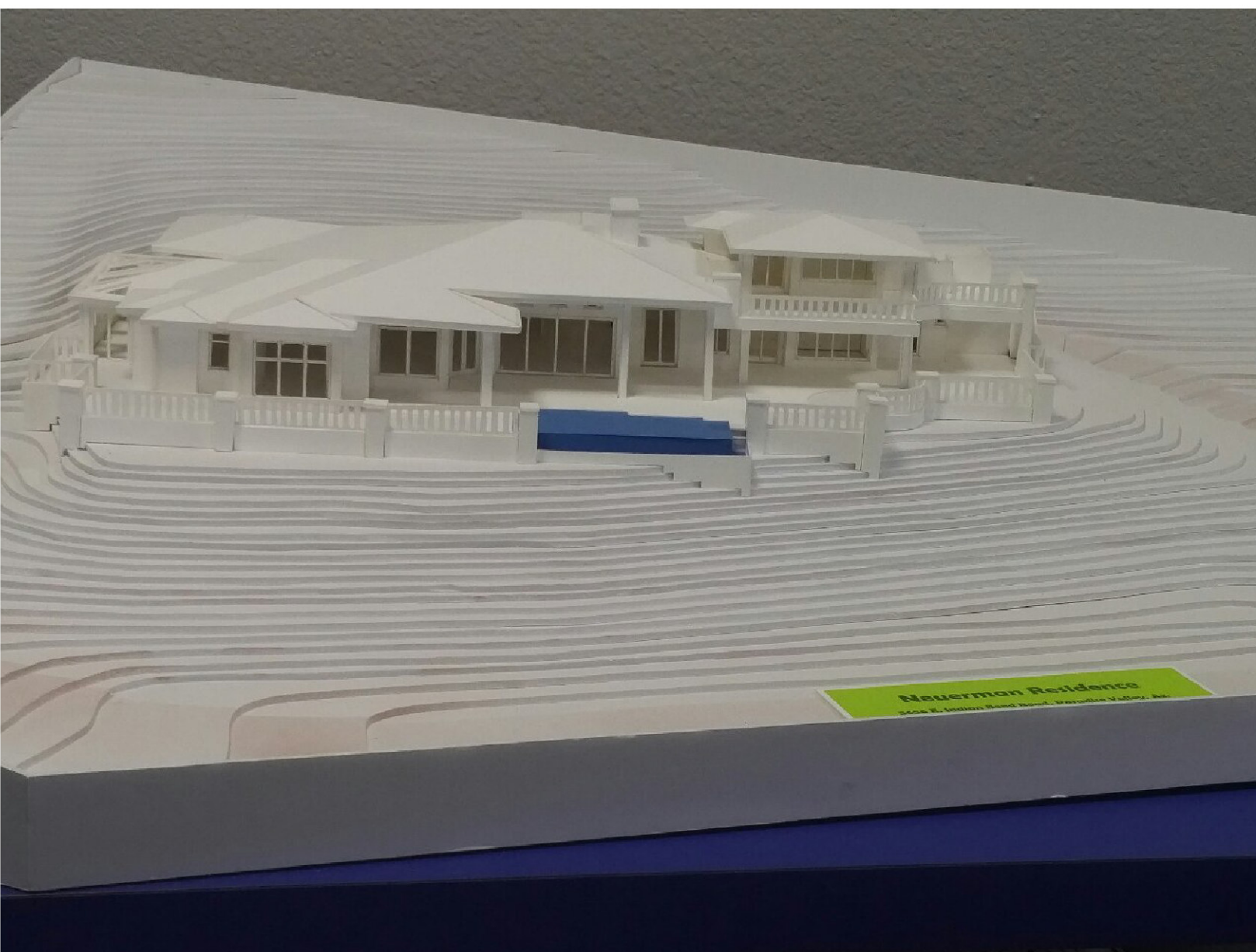
OVERHEAD VIEW



VIEW FROM EAST



VIEW FROM SOUTH WEST



VIEW FROM SOUTH



VIEW FROM SOUTH EAST

NEUERMAN RESIDENCE

5656 E. Indian Bend Road, Paradise Valley  
prepared by Design Profile, inc.



# Map

39

38

PAVEMENT

PAVEMENT

PAVEMENT

INDIAN BEND ROAD

5TH PL

N89°06'35"W

S 69°31'20" E 277.71'

S 05°54'40" N 100.00'

N 89°06'35" W 270.25'

278.43'

N 47°40' W 54.84'

N 89°06'35" W 270.36'

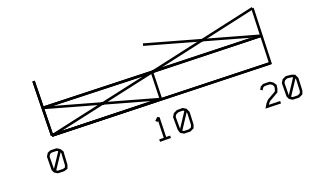
APN 169-55-005A

APN 169-55-007

APN 169-55-008

Maricopa County GIS, Maricopa County Assessors Office

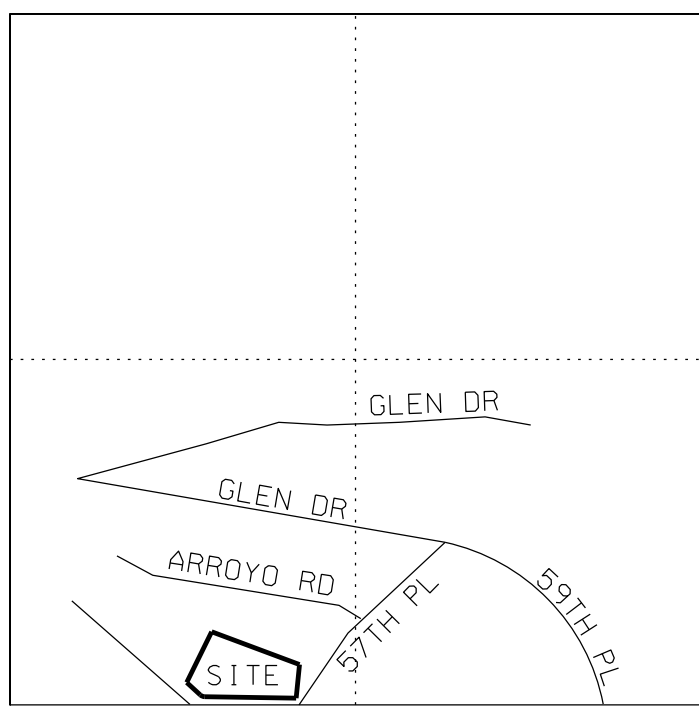
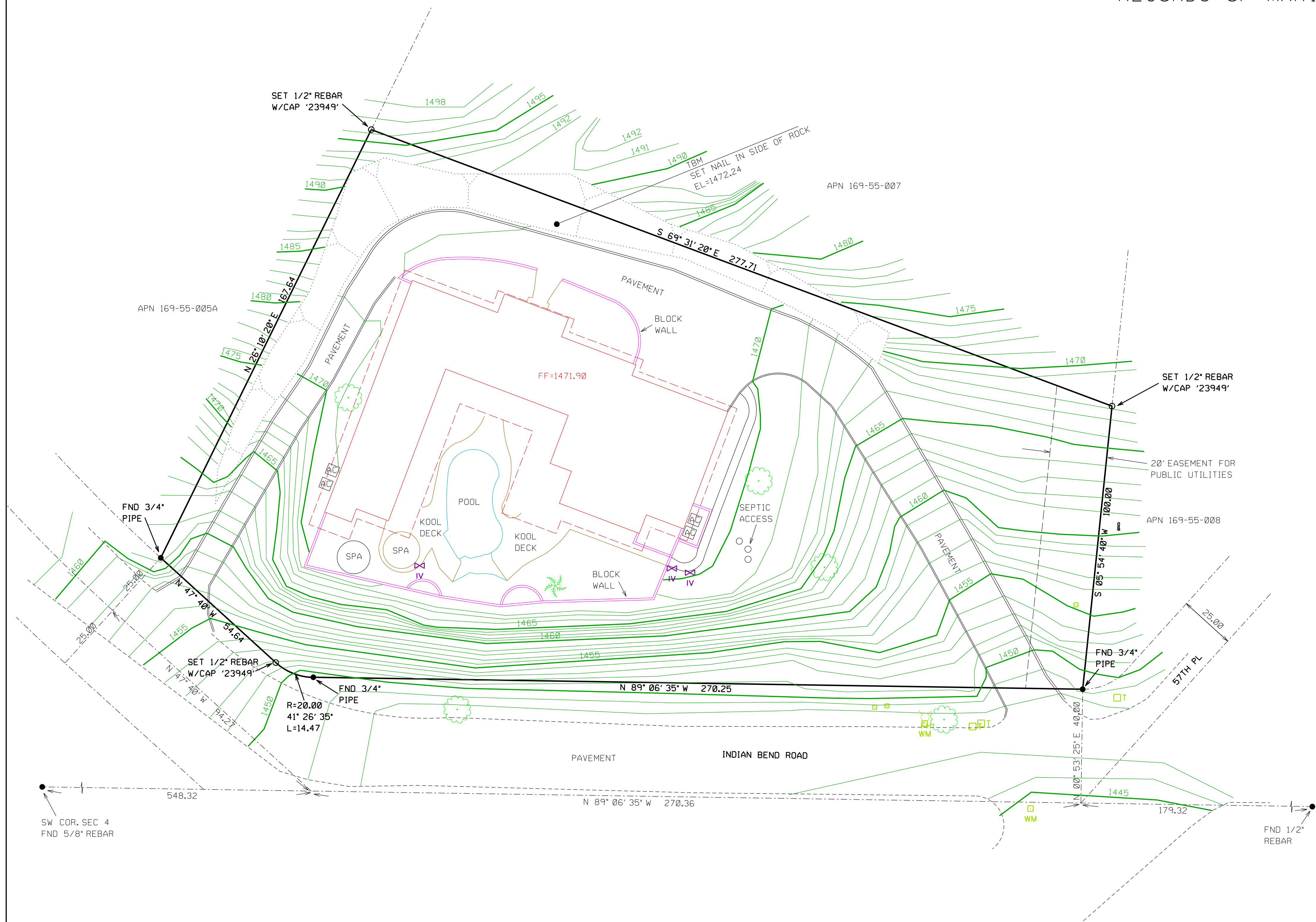
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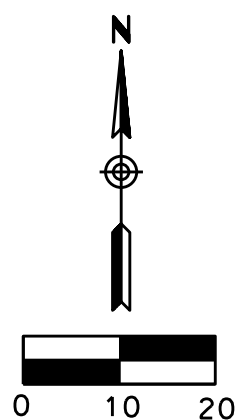
5A



BOUNDARY AND TOPOGRAPHIC SURVEY  
of  
LOT 38, CLUB ESTATES 2  
ACCORDING TO BOOK 91 OF MAPS, PAGE 7  
RECORDS OF MARICOPA COUNTY, ARIZONA



VICINITY MAP  
SW 1/4 SECTION 4  
T.2.N., R.4.E.  
N.T.S.



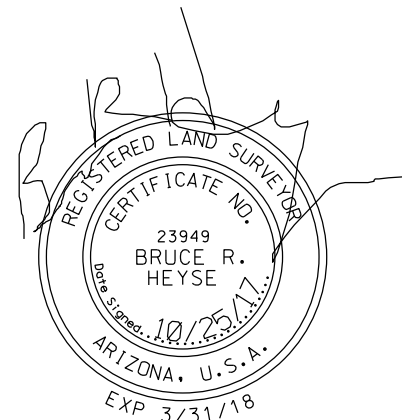
BENCHMARK  
MCDOT GDACS POINT 24523-1M  
FND 5/8" REBAR  
SW COR SEC. 4  
ELEVATION = 1458.269 NAVD88 DATUM

SITE BENCHMARK  
SET NAIL IN S.FACE ROCK  
OPPOSITE FRONT DOOR  
ELEVATION = 1472.24 NAVD88 DATUM

LEGEND	
TC	= TOP OF CURB
BW	= BLOCK WALL
TB	= TOP OF BANK
FF	= FINISHED FLOOR
G	= GROUND SHOT
SM	= SURVEY MONUMENT
F	= FENCE
PAD	= BUILDING PAD
RD	= EDGE OF ROAD
D	= CENTERLINE DITCH
P	= PAVEMENT
EP	= EDGE OF PAVEMENT
OT	= TELEPHONE RISER
WM	= WATER METER
FH	= FIRE HYDRANT
ET	= ELECTRIC TRANSFORMER
WV	= WATER VALVE
SL	= STREET LIGHT
CL	= CONTOUR LINE
ER	= EDGE OF ROAD
CLW	= CENTERLINE OF WASH
EW	= EDGE OF WASH
BW	= BLOCK WALL
T	= TREE
PT	= PALM TREE
SR	= SET 1/2" REBAR W/CAP "23949"
FM	= FND MONUMENT AS NOTED
BSL	= BUILDING SETBACK LINE
DG	= DOWN GUY
EJB	= ELECTRIC JUNCTION BOX
SC	= SAGUARO CACTUS
SM	= SEWER MANHOLE

Certification

I Bruce R. Heyse hereby certify that this survey was performed on the ground under my supervision during the month of October, 2017, and that all corners were found or set as shown hereon, and that there are no encroachments or improvements onto contiguous property nor any encroachments from adjoining property onto the subject property other than those shown hereon.



BRH Surveying, L.L.C.

BOUNDARY AND TOPOGRAPHIC SURVEY

NOTES:

PROJ#: 221-310

DWG. NO

ROS1

BRUCE R. HEYSE, R.L.S.

LOT 38, CLUB ESTATES 2

APN 169-55-006

DATE: OCTOBER 25, 2017

SHEET 1 OF 1

LAND SURVEYING

ACCORDING TO BOOK 91 OF MAPS, PG 7

5656 E. INDIAN BEND RD

SCALE: 1" = 20'

DRAWN: BRH

1915 E. VELVET DRIVE

RECORDS OF MARICOPA COUNTY, ARIZONA

PARADISE VALLEY, AZ 85253

APPROVED: BRH

EXP 3/31/18



PARADISE VALLEY GENERAL NOTES

1. PRIOR TO THE FIRST INSPECTION OF STRUCTURES WITHIN 3 FEET OF A SETBACK LINE, THE PROPERTY PINS SHALL BE PLACED BY A REGISTERED CIVIL ENGINEER OR LAND SURVEYOR OF THE STATE OF ARIZONA, AND THE PROPERTY LINE(S) IDENTIFIED.
2. WHERE EXCAVATION IS TO OCCUR THE TOP 4" OF EXCAVATED NATIVE SOIL SHALL REMAIN ON THE SITE AND SHALL BE REUSED IN A MANNER THAT TAKES ADVANTAGE OF THE NATURAL SOIL SEED BANK IT CONTAINS.
3. ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL MUNICIPALITY UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS.
4. THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL STATE, AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO THE CONSTRUCTION COVERED BY THIS PLAN.
5. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
6. ALL EXTERIOR SITE LIGHTING SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS FOR TYPE, LOCATION, HEIGHT, WATTAGE, AND LUMEN BASED UPON THE FIXTURES INSTALLED PURSUANT TO SECTION 1023 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCE FOR NON-HILLSIDE PROPERTIES, SECTION 2208 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCE FOR HILLSIDE PROPERTIES, OR AS SPECIFIED IN THE SPECIAL USE PERMIT FOR SPECIAL USE PERMIT PROPERTIES.
7. A DUST CONTROL PLAN AND PERMIT MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
8. A SEPARATE RIGHT-OF-WAY PERMIT IS NECESSARY FOR ANY OFF-SITE CONSTRUCTION.
9. AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION. AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
10. EAVE PROJECTIONS INTO REQUIRED SETBACKS ARE LIMITED TO A MAXIMUM OF 24" PURSUANT TO SECTION 1008 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES.
11. ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
12. ALL NEW AND EXISTING ELECTRICAL SERVICE LINES SHALL BE BURIED PER THE TOWN OF PARADISE VALLEY REQUIREMENTS.
13. IT SHALL BE THE RESPONSIBILITY OF THE PERMITEE TO ARRANGE FOR THE RELOCATION AND RELOCATION COSTS OF ALL UTILITIES, AND TO SUBMIT A UTILITY RELOCATION SCHEDULE PRIOR TO THE ISSUANCE OF AN ENGINEERING CONSTRUCTION PERMIT.
14. EXISTING AND/OR NEW UTILITY CABINETS AND PEDESTALS SHALL BE LOCATED A MINIMUM OF 4' BEHIND ULTIMATE BACK OF CURB LOCATION.
15. POOL, SPA, BARBEQUE AND ANY PROPOSED STRUCTURES OVER 8" ABOVE GRADE REQUIRE SEPARATE PERMIT APPLICATIONS.
16. POOLS SHALL BE CONSTRUCTED BY SEPARATE PERMIT AND SECURED FROM UNWANTED ACCESS PER TOWN CODE, ARTICLE 5-2.
17. ALL FILL MATERIAL UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95%.
18. SETBACK CERTIFICATION IS REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO STEM WALL INSPECTION.
19. FOR BUILDING PADS THAT HAVE 1' OR MORE OF FILL MATERIAL, SOILS COMPACTION TEST RESULTS ARE REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO PRE-SLAB INSPECTION.
20. FINISHED FLOOR ELEVATION CERTIFICATION IS REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO FRAMING INSPECTION.
21. MAIL BOXES SHALL COMPLY WITH THE TOWN OF PARADISE VALLEY STANDARDS FOR MAIL BOXES IN THE RIGHT-OF-WAY FOR HEIGHT, WIDTH AND BREAK AWAY FEATURES.
22. ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE.
23. TRENCH BEDDING AND SHADING SHALL BE FREE OF ROCKS AND DEBRIS.
24. THE TOWN ONLY APPROVES THE SCOPE OF WORK AND NOT THE ENGINEERING DESIGN. ANY CONSTRUCTION QUANTITIES SHOWN ARE NOT VERIFIED BY THE TOWN.
25. THE APPROVAL OF THE PLANS IS VALID FOR 180 DAYS. IF A PERMIT FOR CONSTRUCTION HAS NOT BEEN ISSUED WITHIN 180 DAYS, THE PERMIT MUST BE RENEWED.
26. A TOWN INSPECTOR WILL INSPECT ALL WORK WITHIN THE TOWN'S RIGHTS-OF-WAY. NOTIFY TOWN INSPECTION SERVICES TO SCHEDULE A PRECONSTRUCTION MEETING PRIOR TO STARTING CONSTRUCTION.
27. WHENEVER EXCAVATION IS NECESSARY, CALL ARIZONA811 BY DIALING 811 OR 602-263-1100, TWO (2) WORKING DAYS BEFORE EXCAVATION BEGINS.
28. EXCAVATIONS SHALL COMPLY WITH REQUIREMENTS OF OSHA EXCAVATION STANDARDS (29 CFR, PART 1926, SUBPART F). UNDER NO CIRCUMSTANCES WILL THE CONTRACTORS BE ALLOWED TO WORK IN A TRENCH LOCATED WITHIN THE TOWN'S RIGHT-OF-WAY WITHOUT PROPER SHORING OR EXCAVATION METHODS.
29. PERMIT HOLDER SHALL POST A 6 SQUARE FOOT (2'X3') IDENTIFICATION SIGN, MADE OF DURABLE MATERIAL, IN THE FRONT YARD OF SUBJECT PROPERTY AND NOT IN THE TOWN'S RIGHT-OF-WAY. THE SIGN MAY NOT EXCEED A MAXIMUM OF 6 FEET IN HEIGHT FROM GRADE TO TOP OF THE SIGN. THE SIGN MUST INCLUDE THE PERMITEE OR COMPANY NAME, PHONE NUMBER, TYPE OF WORK, ADDRESS OF PROJECT AND TOWN CONTACT NUMBER, 480-348-3556.
30. WHEN DEEMED NECESSARY, A 6-FOOT HIGH CHAIN LINK FENCE MUST BE INSTALLED AROUND THE CONSTRUCTION AREA TO PREVENT ANY POTENTIAL SAFETY HAZARD FOR THE PUBLIC. THE FENCE SHALL BE SETBACK AT LEAST 10 FEET FROM ALL RIGHTS-OF-WAY AND HAVE A 50-FOOT STREET CORNER SITE TRIANGLE WHERE APPLICABLE.
31. CLEAR ACCESS FOR NEIGHBORING PROPERTIES AND EMERGENCY VEHICLES MUST BE MAINTAINED AT ALL TIMES. CONSTRUCTION RELATED VEHICLES MUST BE LEGALLY PARKED ONLY ON ONE SIDE OF THE STREET OR JOB SITE PROPERTY.
32. ALL CONSTRUCTION DEBRIS AND EQUIPMENT MUST BE CONTAINED ON SITE AT ALL TIMES. CONTRACTOR AND PROPERTY OWNER MUST MAINTAIN THE JOB SITE FREE OF LITTER AND UNSIGHTLY MATERIALS AT ALL TIMES. CONSTRUCTION MATERIALS ARE PROHIBITED IN THE TOWN'S RIGHT-OF-WAY.
33. CONSTRUCTION ACTIVITIES ARE PERMITTED BETWEEN THE HOURS OF 7 AM AND 5 PM MONDAY THROUGH FRIDAY. CONSTRUCTION ACTIVITIES MAY START ONE (1) HOUR EARLIER DURING THE SUMMER (MAY 1ST THROUGH SEPTEMBER 30TH).
34. THE USE AND OPERATION OF FUEL-FIRED GENERATORS IS PROHIBITED UNLESS DUE TO A HARDSHIP. TOWN APPROVAL SHALL BE REQUIRED.
35. THE CONTRACTOR AND PROPERTY OWNER SHALL BE LIABLE FOR ANY DAMAGE DONE TO ANY PUBLIC PROPERTY AS A RESULT OF ANY CONSTRUCTION OR CONSTRUCTION RELATED ACTIVITIES. NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL AFFECTED RIGHTS-OF-WAY ARE CLEANED AND/OR REPAIRED TO THEIR ORIGINAL CONDITION AND UNTIL ANY AND ALL DAMAGES TO AFFECTED PROPERTIES ARE RESTORED TO ORIGINAL CONDITION.
36. A KEYED SWITCH SHALL BE REQUIRED ON ALL NEW AND EXISTING ELECTRIC ENTRY GATES. THE KEYED SWITCH SHALL BE INSTALLED IN A LOCATION THAT IS READILY VISIBLE AND ACCESSIBLE. KNOX BOX ORDER FORMS ARE AVAILABLE AT THE TOWN'S BUILDING SAFETY DEPARTMENT.
37. PROPERTY OWNER, BUILDER, OR GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR CONTROLLING DUST FROM THE SITE AT ALL TIMES. ALL MEANS NECESSARY SHALL BE USED BY THE BUILDER OR GENERAL CONTRACTOR TO CONTROL THE EXISTENCE OF DUST CAUSED BY ANY EARTHWORK, SPRAY APPLICATION OF MATERIALS, OR OTHER DUST-CAUSING PRACTICES REQUIRED BY THE CONSTRUCTION PROCESS.
38. APPROVAL OF THESE PLANS ARE FOR PERMIT PURPOSES ONLY AND SHALL NOT PREVENT THE TOWN FROM REQUIRING CORRECTIONS OF ERRORS IN THE PLANS WHERE SUCH ERRORS ARE SUBSEQUENTLY FOUND TO BE IN VIOLATION OF ANY LAW, ORDINANCE, HEALTH, SAFETY, OR OTHER DESIGN ISSUES.
39. ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTION DITCHES, PIPES PROTECTIVE BERMS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT PROPOSED AND EXISTING IMPROVEMENTS FROM RUNOFF OR DAMAGE FROM STORM WATER, MUST BE CONSTRUCTED PRIOR TO THE CONSTRUCTION OF ANY IMPROVEMENTS.

HILLSIDE NOTES

1. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL ALL HILLSIDE STIPULATIONS AND ALL TOWN CODE REQUIREMENTS ARE COMPLIED INCLUDING, BUT NOT LIMITED TO LANDSCAPING, GROUND RESTORATION, FIRE FLOW, FIRE SAFETY AND ALL ONSITE AND OFFSITE IMPROVEMENTS.
2. ALL OUTDOOR LIGHTING SHALL BE IN CONFORMANCE WITH ARTICLE XXII OF THE TOWN ZONING ORDINANCE.
3. ALL EXCESS FILL MATERIAL SHALL BE REMOVED FROM THE SITE WITH NO NEW SPILL SLOPES.
4. THE USE OF HYDRAULIC RAM HAMMERS, OR OTHER HEAVY EQUIPMENT USED TO CUT THROUGH ROCK, INCLUDING MACHINERY WITH AUDIBLE BACK UP WARNING DEVICES SHALL BE LIMITED TO USE BETWEEN THE HOURS OF 7:00AM OR SUNRISE, WHICHEVER IS LATER, AND 6:00PM OR SUNSET, WHICHEVER IS EARLIER, MONDAY THROUGH FRIDAY, WITH LIMITED WORK ON SATURDAY AND NO WORK ON SUNDAY OR LEGAL HOLIDAYS. RAM HAMMERS AND OTHER HEAVY EQUIPMENT CANNOT BE USED ON SATURDAYS WITHOUT A WAIVER FROM THE TOWN MANAGER.
5. CONSTRUCTION STAKING AND /OR FENCING SHALL BE PLACED AROUND THE CONSTRUCTION SITE SO AS TO PROTECT THE UNDISTURBED NATURAL AREA.
6. ALL RETAINING WALLS SHALL NOT EXTEND MORE THAN 6 INCHES ABOVE THE MATERIAL THEY RETAIN (WITH EXCEPTION OF DRIVEWAY RETAINING WALLS IN ACCORDANCE WITH 2207.VI.6).

FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

COMMUNITY NUMBER	PANEL NUMBER	SUFFIX	DATE OF FIRM (INDEX DATE)	FIRM ZONE	BASE FLOOD ELEVATION (IN AO ZONE, USE DEPTH)
040049	1765	L	10-16-13	X	
	10-16-13				

ENGINEER'S CERTIFICATION: THE LOWEST FLOOR ELEVATION(S) AND/OR FLOODPROOFING ELEVATION(S) ON THIS PLAN, ARE SUFFICIENTLY HIGH TO PROVIDE PROTECTION FROM FLOODING CAUSED BY A ONE-HUNDRED YEAR STORM.

DRAINAGE NARRATIVE

DRAINAGE ON THE SITE IS SHEET FLOW MOVING FROM NORTH TO SOUTH THROUGH THE SITE. EXISTING DRIVEWAY ON THE NORTH SIDE WILL COLLECT FLOWS AND ROUTE TO THE EAST AND THEN DOWN DRIVEWAY. RETENTION WILL BE PROVIDED FOR DIFFERENCE BETWEEN PRE AND POST. CALCULATIONS ARE INCLUDED ON SHEET 2. THE REQUIRED RETENTION WILL BE PROVIDED IN A BASIN LOCATED SOUTHEAST OF THE NEW POOL.

DISTURBED AREA CALCULATIONS

AREA OF LOT= 43708 SF= 1.0034 AC  
AREA UNDER ROOF= 10279 SF (23.5%)  
BUILDING PAD SLOPE= 17%  
VERTICAL = 26 FEET  
HORIZONTAL = 153 FEET  
ALLOWABLE DISTURBANCE= 11919 SF = 27.27%  
EXISTING DISTURBANCE = 40175 SF  
PROPOSED DISTURBANCE = 32681 SF  
VOLUME OF CUT= 95± C.Y. VOLUME OF FILL= 220± C.Y.  
HILLSIDE ASSURANCE @\$25/CUBIC YARD OF CUT & FILL= \$7875

NEUERMAN RESIDENCE

A PORTION OF SECTION 4, TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE  
G.&S.R.B.&M., MARICOPA COUNTY, ARIZONA.  
5656 E. INDIAN BEND ROAD

OWNER

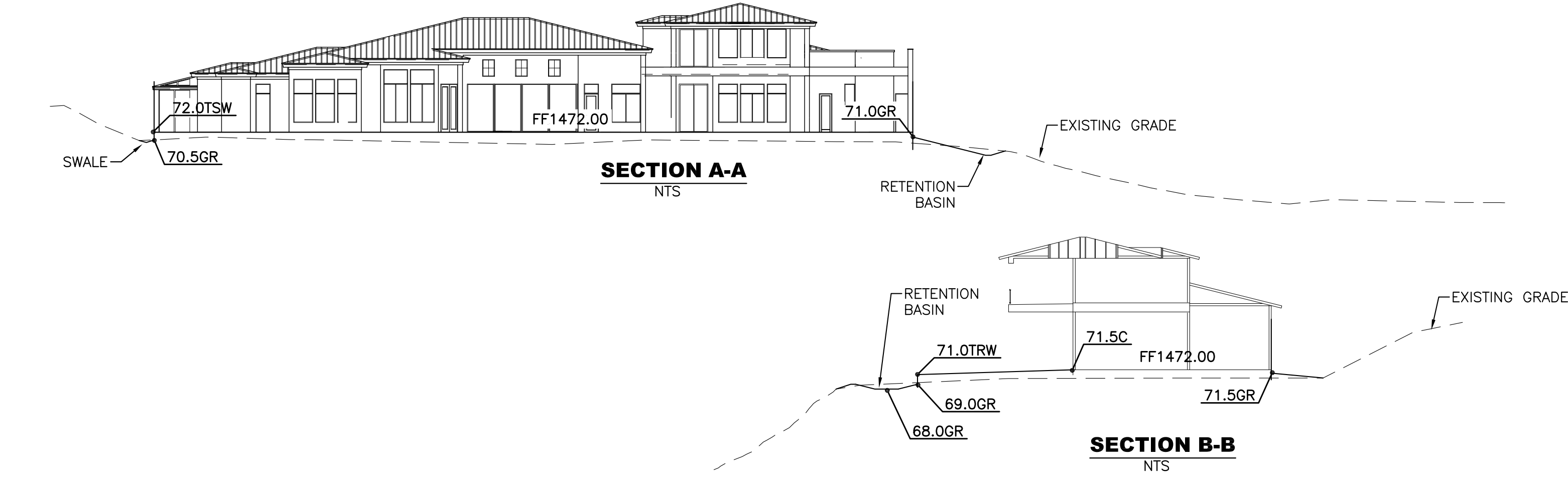
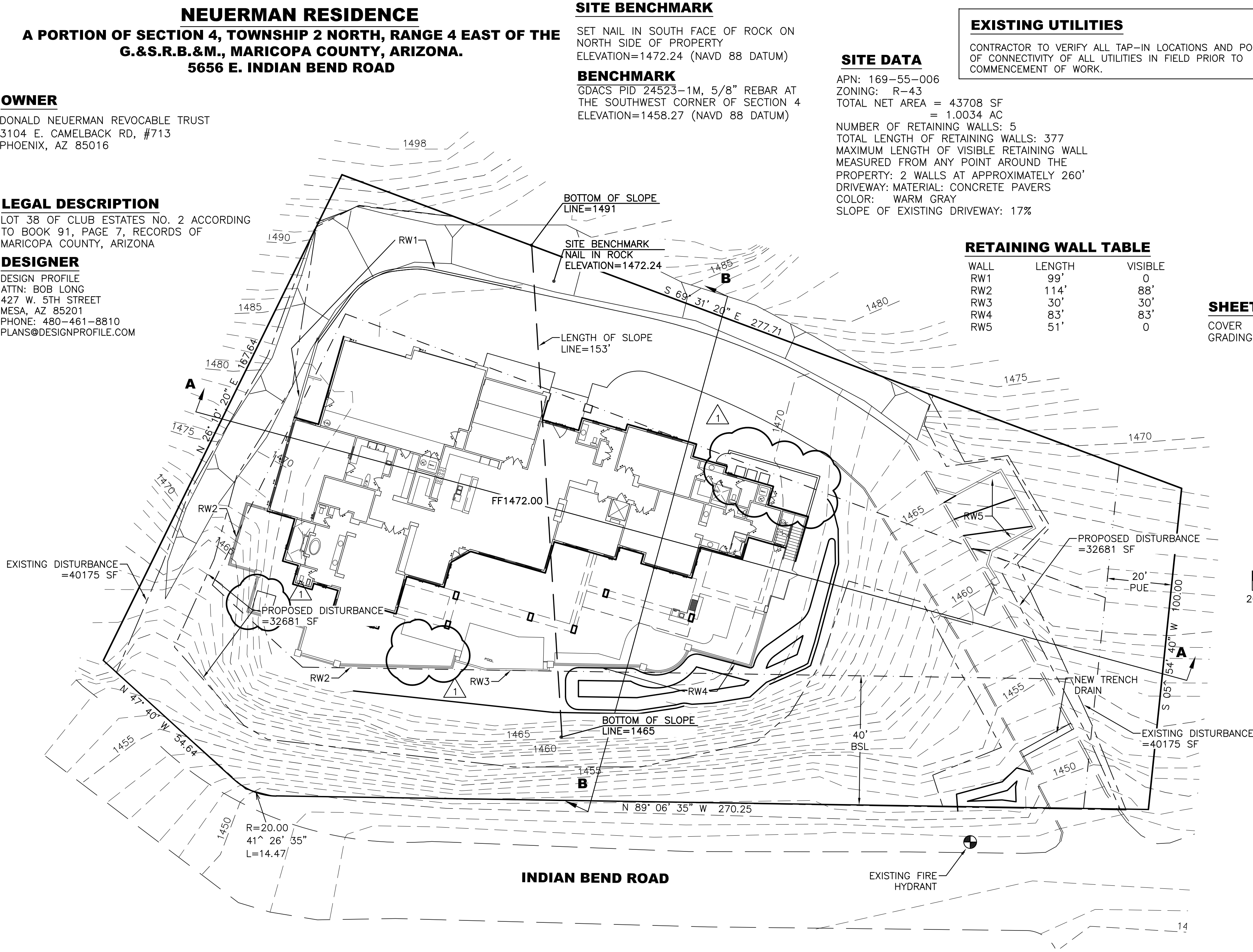
DONALD NEUERMAN REVOCABLE TRUST  
3104 E. CAMELBACK RD, #713  
PHOENIX, AZ 85016

LEGAL DESCRIPTION

LOT 38 OF CLUB ESTATES NO. 2 ACCORDING TO BOOK 91, PAGE 7, RECORDS OF MARICOPA COUNTY, ARIZONA

DESIGNER

DESIGN PROFILE  
ATTN: BOB LONG  
427 W. 5TH STREET  
MESA, AZ 85201  
PHONE: 480-461-8810  
PLANS@DESIGNPROFILE.COM



SITE BENCHMARK

SET NAIL IN SOUTH FACE OF ROCK ON NORTH SIDE OF PROPERTY  
ELEVATION=1472.24 (NAVD 88 DATUM)

BENCHMARK

GDACS PID 24523-1M, 5/8" REBAR AT THE SOUTHWEST CORNER OF SECTION 4  
ELEVATION=1458.27 (NAVD 88 DATUM)

EXISTING UTILITIES

CONTRACTOR TO VERIFY ALL TAP-IN LOCATIONS AND POINT OF CONNECTIVITY OF ALL UTILITIES IN FIELD PRIOR TO COMMENCEMENT OF WORK.

SITE DATA

APN: 169-55-006  
ZONING: R-43  
TOTAL NET AREA = 43708 SF  
= 1.0034 AC  
NUMBER OF RETAINING WALLS: 5  
TOTAL LENGTH OF RETAINING WALLS: 377  
MAXIMUM LENGTH OF VISIBLE RETAINING WALL MEASURED FROM ANY POINT AROUND THE PROPERTY: 2 WALLS AT APPROXIMATELY 260'  
DRIVEWAY: MATERIAL: CONCRETE PAVERS  
COLOR: WARM GRAY  
SLOPE OF EXISTING DRIVEWAY: 17%

RETAINING WALL TABLE

WALL	LENGTH	VISIBLE
RW1	99'	0
RW2	114'	88'
RW3	30'	30'
RW4	83'	83'
RW5	51'	0

SHEET INDEX

COVER 1  
GRADING AND DRAINAGE PLAN 2

VICINITY MAP

N.T.S.

SCALE 1" = 20'

EARTHWORK QUANTITIES\*\*

CUT 95 C.Y.  
FILL 220 C.Y.

\*\*QUANTITIES ARE FOR ENGINEER'S USE ONLY. CONTRACTOR TO VERIFY

FINISH FLOOR CERTIFICATION:

I HEREBY CERTIFY THAT THE FINISHED FLOOR OF THE MAIN RESIDENCE WILL BE FREE FROM INUNDATION FROM A 100-YEAR PEAK RUNOFF EVENT IF DEVELOPED IN ACCORDANCE WITH THE APPROVED PLANS. THIS HOUSE IS GREATER THAN 1 FOOT ABOVE 100-YEAR FLOOD ELEVATION.

*Clinton J. Garner*  
REGISTERED CIVIL ENGINEER

03-20-19  
DATE



ASBUILT CERTIFICATION

I HEREBY CERTIFY THAT THE "RECORD DRAWING" MEASUREMENTS AS SHOWN HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

REGISTERED ENGINEER/LAND SURVEYOR

DATE

REGISTRATION NUMBER

APPROVAL

TOWN ENGINEER

DATE

05-28-20

REVISION

ADD MECH'L YARD, REMOVE STAIRS, ADD SPA

NEUERMAN RESIDENCE  
GRADING AND DRAINAGE PLAN  
5656 E. INDIAN BEND ROAD  
PARADISE VALLEY, AZ

JOB NUMBER 17-168  
DRAWING CVR17168  
DATE 03-20-19  
SHEET 1 OF 2

GarnerGroup  
engineering

EMAIL: CLINTON@GARNERGROUP.COM  
(P) 480-292-2673 (F) 480-287-9019  
2064 E. NORCROFT ST. MESA, AZ 85213

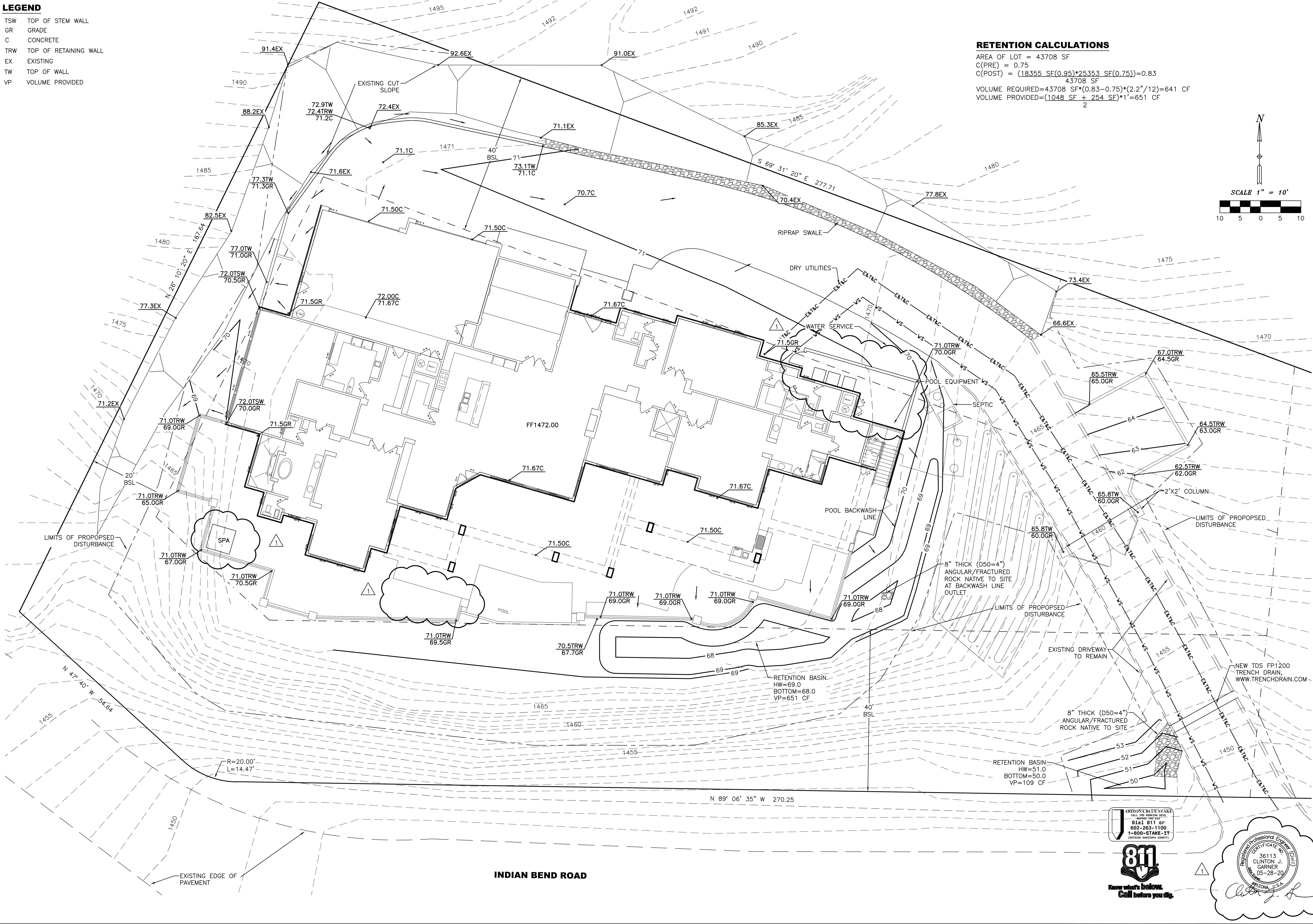
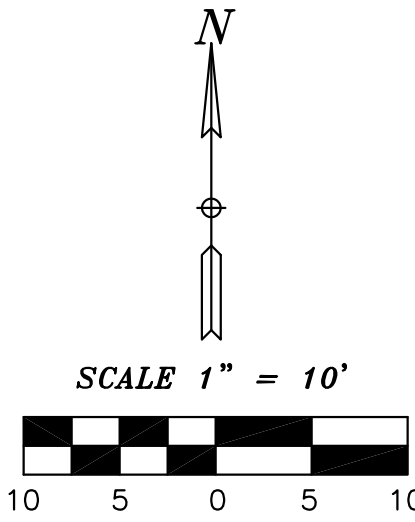


LEGEND

TSW TOP OF STEM WALL  
GR GRADE  
C CONCRETE  
TRW TOP OF RETAINING WALL  
EX EXISTING  
TW TOP OF WALL  
VP VOLUME PROVIDED

RETENTION CALCULATIONS

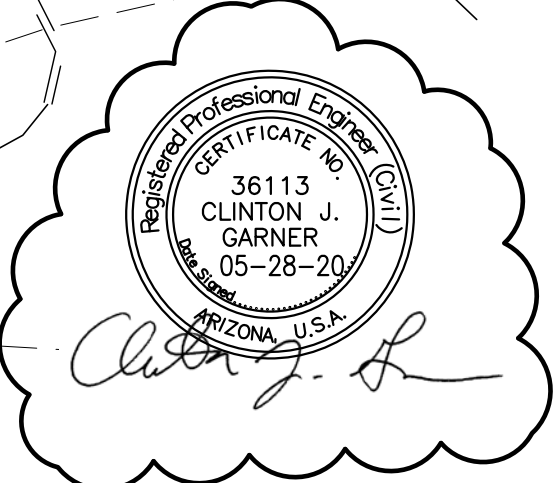
AREA OF LOT = 43708 SF  
C(PRE) = 0.75  
C(POST) =  $(18355 \text{ SF}(0.95)*25353 \text{ SF}(0.75))=0.83$   
43708 SF  
VOLUME REQUIRED= $43708 \text{ SF}*(0.83-0.75)*(2.2"/12)=641 \text{ CF}$   
VOLUME PROVIDED= $(1048 \text{ SF} + 254 \text{ SF})*1'=651 \text{ CF}$



GRADING AND DRAINAGE PLAN  
5656 E. INDIAN BEND ROAD  
PARADISE VALLEY, AZ

JOB NUMBER 17-168  
DRAWING GD17168  
DATE 01-22-19  
SHEET 2 OF 2

GarnerGroup  
engineering  
EMAIL:CLINT@GARNERGROUPAZ.COM  
(P) 480-292-2673 (F) 480-287-9019  
2064 E. NORCROFT ST. MESA, AZ 85213





NOT  
USED

## LEGEND

---	PROPERTY LINE
---	EASEMENT LINE
---	BUILDING SETBACK LINE
84	EXISTING CONTOUR LINE
84	PROPOSED CONTOUR LINE
---	PROPOSED BUILDING ENVELOPE
---	CONSTRUCTION FENCE
TVF	TOP OF VIEW FENCE
TW	TOP OF WALL
TRW	TOP OF RETAINING WALL
GR	GRADE
TF	TOP OF FOOTING

## LIGHTING SCHEDULE

SYM.	PRODUCT	MAN.	MODEL	LU.	C.T.	QTY
LOW VOLTAGE LIGHTING						
PL	PATH LIGHT	FX	BD-1LED-12R-AB	34	4,500K	27
UL	UP LIGHT	FX	CC-1LED-AB	59	4,500K	6
WL	WALL / STEP LIGHT	FX	CP-1LED-AB	10	4,500K	2
TRF	TRANSFORMER	FX	PX-600W-TPC-BZ	N/A	N/A	1
NOTES						
1. ALL LOW VOLTAGE LIGHT FIXTURES SHALL BE SUPPLIED FROM FX. LUMINAIRE OR EQUAL. IF SUBSTITUTIONS ARE MADE, CONTRACTOR SHALL SUPPLY CUT SHEETS & APPROVE WITH OWNER AND COMMUNITY.						
2. INSTALL PER MANUFACTURER'S DETAILS AND SPECIFICATIONS.						
3. GENERAL CONTRACTOR SHALL SUPPLY 120V TO TRANSFORMER.						
4. CONTRACTOR TO COORDINATE POWER AND LIGHT SWITCHING CONTROLS WITH GENERAL CONTRACTOR FOR COLUMN SCONCES						

## HARDSCAPE SCHEDULE

KEY	SYMBOL	MATERIAL	QTY
PA		PAVERS WITH 6" BORDER	6,267 S.F.
TR		TRAVERTINE NOCHE NUEVO - LRV 30	778 L.F.
SS		STEPPING STONES 24" SQ.	3,024 S.F.
STP		STEP PAVES 12" WIDE	497 L.F.
COP		POOL COPING 12" WIDE	15 L.F.
EDG		LANDSCAPE EDGING 4" WIDE PAVES	20 L.F.
		PHOENIX PAVES - NATIVE COLOR - LRV 21	44 L.F.
		TRAVERTINE, NOCHE NUEVO - LRV-30	138 L.F.
		PHOENIX PAVES - NATIVE COLOR-LRV 21	

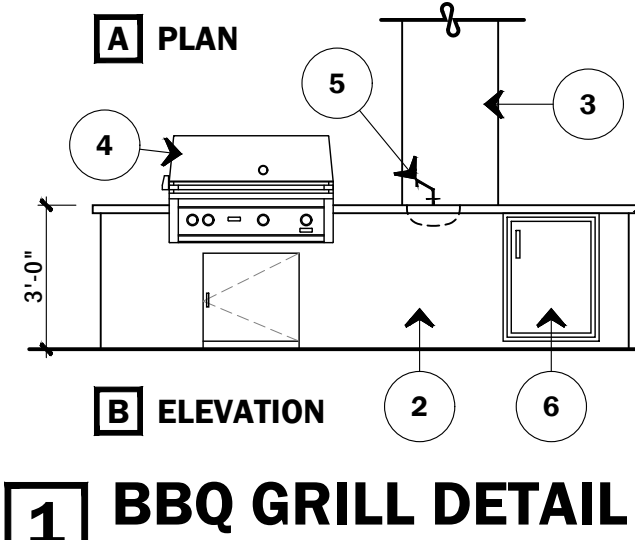
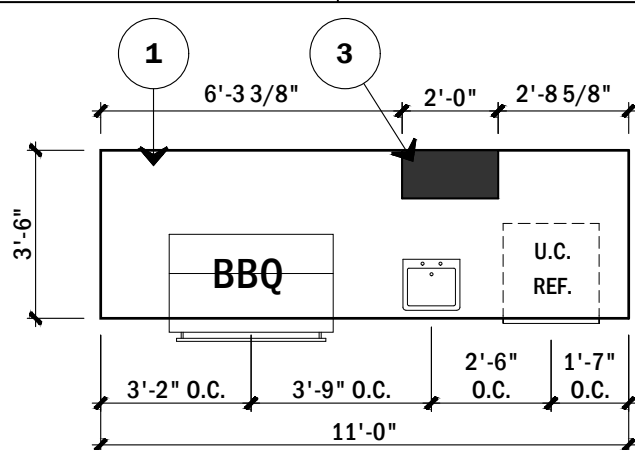
## KEYED NOTES

X.X	EXISTING
X.1	EXISTING ASPHALT LINE, DO NOT DISTURB
X.2	EXISTING CURB, DO NOT DISTURB
X.3	EXISTING ROCK FACE, DO NOT DISTURB
X.4	EXISTING LANDSCAPE, DO NOT DISTURB
A.X	ARCHITECTURE
A.1	AC UNIT, SEE ARCH. PLANS FOR MORE INFO
L.X	LANDSCAPE / HARDSCAPE
L.1	FURNITURE, SHOWN FOR REFERENCE ONLY BY OWNER
L.2	WALL MOUNT LOW VOLTAGE LIGHTING CONTROLLER, SEE LIGHTING SCHEDULE FOR MORE INFORMATION

W.X	WALLS / GATES
W.1	CMU WALL. SEE CIVIL PLAN FOR HEIGHTS SEE ARCH. PLANS FOR DETAIL
W.2	FENCE. SEE CIVIL PLAN FOR HEIGHTS, SEE ARCH. PLANS FOR DETAIL
W.3	COLUMN, COLUMN SHALL BE 8" HIGHER THAN THE WALL OR FENCE NEXT TO IT. SEE ARCH. PLANS FOR DETAIL
W.4	GATE. SEE PLAN FOR SIZE. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR OWNER APPROVAL, SEE ARCH. PLANS FOR DETAIL
W.5	36" TALL BBQ COUNTER WITH BBQ, SINK, AND UNDER MOUNT FRIDGE, SEE DETAIL 1, THIS SHEET

## SITE DATA

OWNER:	DONALD NEUERMAN
ADDRESS:	5656 E INDIAN BEND RD PARADISE VALLEY, AZ 85253
APN:	169-55-006
ZONING:	R1-43
SITE AREA:	43,708 S.F.



- KEYED NOTES:**
- 2" - 3" COUNTERTOP, GRANITE OR EQUAL LRV-30
  - CMU WITH STUCCO FINISH COLOR: DE686 AGED WISKEY, LRV-19
  - EXISTING HOUSE COLUMN
  - BBQ, SIZE CHOSEN BY OWNER
  - VEGETABLE SINK
  - UNDER COUNTER FRIDGE

## LANDSCAPE LEGEND & SCHEDULE

SYMBOL	BOTANICAL NAME COMMON NAME	SIZE	QTY
EXISTING TREES AND CACTI			
	EXISTING PALO VERDE TO REMAIN IN PLACE		
TREES			
	CERCIDIUM MICROPHYLLUM LITTLE LEAF PALO VERDE - MULTI TRUNK	24" BOX	5
	PROSOPIS VELUTINA NATIVE MESQUITE - MULTI TRUNK	24" BOX	1
SHRUBS			
	TECOMA X 'ORANGE JUBILEE' CREOSOTE BUSH	5 GAL.	10
	LARREA TRIDENTATA CREOSOTE BUSH	5 GAL.	11
	SIMMONDSIA CHINENSIS JOJOBA	5 GAL.	5
	ERICAMERIA LARICIFOLIA TURPENTINE BUSH	1 GAL.	6
	JUSTICIA CALIFORNICA CHUPAROSA	1 GAL.	14
	CALLIANDRA CALIFORNICA BAJA RED FAIRY DUSTER	1 GAL.	4
CACTI & ACCENTS			
	FOUQUIERIA SPLENDENS OCOTILLO	12 CANE MINIMUM BOXED	6
	YUCCA GLORIOSA SPANISH DAGGER	15 GAL.	1
	DASYLIRION WHEELERI DESERT SPOON	5 GAL.	7
	HESPERALOE FUNIFERA GIANT HESPERALOE	5 GAL.	11
	ALOE X 'BLUE ELF' BLUE ELF ALOE	1 GAL.	39
	AGAVE WEBERI WEBER'S AGAVE	5 GAL.	16
	AGAVE BLUE GLOW BLUE GLOW AGAVE	1 GAL.	39
	AGAVE VICTORIAE-REGINAE QUEEN VICTORIA AGAVE	5 GAL.	16
	ECHINOCEREUS GRUSONII GOLDEN BARREL CACTUS	1 GAL.	32

## REVEGETATION SEED MIX & NOTES

	SPECIES VARY SEE BELOW	± 11,237 S.F.
ERICAMERIA LARICIFOLIA TURPENTINE BUSH	5.0	CERCIDIUM MICROPHYLLUM 1.0
AMBROSIA DELTOIDEA TRIANGLE LEAF BURSAGE	1.0	FOOTHILLS PALO VERDE 0.5
ERIOGONUM FASCICULATUM DESERT BUCKWHEAT	1.0	BAILEYA MULTIRADIATA DESERT MARIGOLD
PROSOPIS VELUTINA NATIVE MESQUITE	1.0	LUPINUS SPARSIFLORUS 0.5
CALLIANDRA ERIOPHYLLA PINK FAIRY DUSTER	0.5	DESERT LUPINE 0.5
CERCIDIUM FLORIDUM BLUE PALO VERDE	1.0	ESCHSCHOLZIA MEXICANA 0.5
VIGUIERIA DELTOIDEA GOLDEN EYE	.05	PHACELIA CAMPANULARIA 0.5

- NOTES**
- RIP OR SCARIFY ALL AREAS TO BE SEED TO A MINIMUM DEPTH OF 4".
  - COVER ALL AREAS THAT HAVE EXCESSIVE AMOUNTS OF HARD GRANITE (HARDPAN) OR ALKALINE SOIL WITH A MINIMUM OF 6" OF FRIABLE TOPSOIL AFTER RIPPING.
  - BROADCAST SEED MIX AT THE RATES DESCRIBED IN THE LANDSCAPE SCHEDULE IN A UNIFORM MANNER ENSURING THAT ALL AREAS ARE EVENLY COVERED. EITHER MECHANICAL OR HAND BROADCASTING METHODS ARE ACCEPTABLE.
  - HYDRO-SEEDING IS NOT AN APPROVED METHOD FOR APPLYING RE-VEGETATION SEED MIX.
  - MECHANICALLY DRAG OR RAKE ALL SEEDED AREAS AFTER ALL SEED IS UNIFORMLY APPLIED.
  - IDEALLY THIS SHOULD HAPPEN AFTER THE BOXED PLANT MATERIAL IS INSTALLED, AND BEFORE THE SMALL CONTAINERIZED PLANTS ARE INSTALLED.
  - NO SUPPLEMENTAL IRRIGATION IS REQUIRED.

POTS	SIZE	QTY
POT	18" - 36" DIAMETER	2
TYPE AND PLANTS SELECTED BY OWNER, CONTRACTOR TO PROVIDE IRRIGATION THROUGH SLEEVES ON SEPARATE VALVE PLANTS PER POT:		
(2) PORTULACARIA AFRA - ELEPHANT FOOD		
(1) AGAVE 'BLUE GLOW' - BLUE GLOW AGAVE		
TURF	SIZE	QTY
ARTIFICIAL TURF	709 S.F.	
BY ARIZONA TURF MASTERS		
TOP DRESSING	SIZE	QTY
DECOMPOSED GRANITE	5,873 S.F.	
SIZE: 1/2" SCREENED COLOR: SANTA FE SLATE FROM PIONEER SAND (OR EQUAL) 2" MIN DEPTH IN ALL LANDSCAPE AREAS		
NATURAL DESERT PAVEMENT	11,237 S.F.	
SIZE: 1/4" MINUS UP TO 6" NATURAL ROCK SALVAGED FROM SITE		
RIP RAP	387 S.F.	
SIZE: 4" - 8" COLOR: SANTA FE BROWN FROM PIONEER SAND (OR EQUAL) SEE CIVIL ENG. PLANS FOR THICKNESS		



LANDSCAPE ARCHITECTURE  
+ PLANNING  
+ SITE DESIGN  
+ CONSTRUCTION  
+ MANAGEMENT

1150 N. COUNTRY CLUB DRIVE  
SUITE 111  
MESA, AZ 85201  
PH: 480-878-4708  
WWW.THOMAS-CROWLEY.COM

T+C P-NO.

22009

SEAL



EXPIRES 12/31/22

PROJECT

APN: 169-55-006  
**NEUERMAN RESIDENCE**  
LOT 38, CLUB ESTATES 2  
5656 E INDIAN BEND ROAD  
PARADISE VALLEY, AZ 85253

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**STAKE IT** CALL TWO WORKING DAYS BEFORE YOU DIG

ARIZONA BLUE STAKE 602-263-1100  
1-800-STAKE IT  
OUTSIDE MARICOPA COUNTY

ISSUE/REVISION	DATE
CLIENT REVIEW	03.17.2020
CLIENT COMMENTS	04.09.2020
CLIENT COMMENTS	04.29.2020
CLIENT COMMENTS	05.13.2020
TOWN COMMENTS	5.26.2020

SHEET NAME

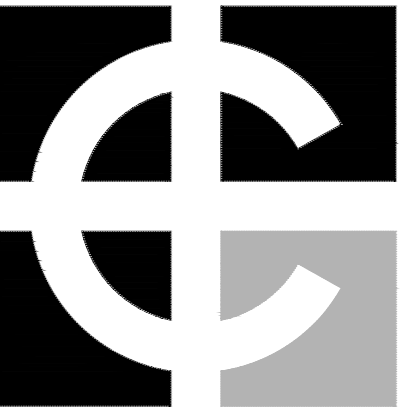
**LANDSCAPE PLAN**

SHEET # SHEET REFERENCE

1 OF 2

L1





THOMAS + CROWLEY

LANDSCAPE ARCHITECTURE  
+ PLANNING  
+ SITE DESIGN  
+ CONSTRUCTION  
MANAGEMENT

1150 N. COUNTRY CLUB DRIVE  
SUITE 11  
MESA, AZ 85201  
PH: 480-878-4708  
WWW.THOMAS-CROWLEY.COM

T+C P-NO.

22009

SEAL



EXPIRES 12/31/22

PROJECT

## NEUERMAN RESIDENCE

LOT 38, CLUB ESTATES 2  
5656 E INDIAN BEND ROAD  
PARADISE VALLEY, AZ 85253

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OUTSIDE MARICOPA COUNTY

ISSUE/REVISION	DATE
CLIENT REVIEW	03.17.2020
CLIENT COMMENTS	04.09.2020
CLIENT COMMENTS	04.29.2020
CLIENT COMMENTS	05.13.2020
TOWN COMMENTS	5.26.2020

SHEET NAME

## LANDSCAPE PLAN

SHEET # SHEET REFERENCE

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L2



### NOTE:

SEE SHEET L1 FOR ALL SCHEDULES, LEGENDS, QUANTITIES, AND KEYED NOTES

SCALE: 1" = 10'

