

PARADISE VALLEY GENERAL NOTES

1. A GRADING PERMIT IS REQUIRED PER TOWN OF PARADISE VALLEY CODE SECTION 5-10-5.
2. PAU/EXCAVATION PERMITS, WHEN REQUIRED, MUST BE OBTAINED PRIOR TO OR CONCURRENTLY WITH THE GRADING PERMIT.
3. THE GRADING CONTRACTOR MUST OWE LOCATION FOR WASTING EXCESS EXCAVATION, AND A LETTER FROM OWNER GIVING PERMISSION FOR DURING PRIOR TO A STARTING ONSITE CONSTRUCTION. IF EXCESS EXCAVATION EXCEED 50 CUBIC YARDS THE DUMPING SITE WILL ALSO REQUIRE A GRADING AND DRAINAGE PLAN.
4. TOWN ENGINEER'S OFFICE SHALL BE NOTIFIED BEFORE ANY ONSITE CONSTRUCTION BEGINS. 948--7411.
5. CERTIFICATION OF FINISH FLOORS OR BUILDING PADS IS RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER AND SHALL BE SUBMITTED PRIOR TO A REQUEST FOR CERTIFICATE OF OCCUPANCY OR FINAL INSPECTION.
6. A SEPARATE PERMIT IS NECESSARY FOR ANY OFFSITE CONSTRUCTION.
7. ALL APPROVED GRADING AND DRAINAGE PLANS SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATION FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
8. DRAINWELLS, WHEN REQUIRED, MUST BE INSTALLED MINIMUM 5 FEET INTO PERMEABLE STRATA OR PERCOLATION AREAS. DRAINWELLS MUST BE INSTALLED WITH A MINIMUM 1% SLOPE TO THE STREET OR DRAINAGE FACILITY OR WHEN WALL PIPES ARE PLACED WITHIN ANY DRAINWELLS, ALL DRAINWELLS MUST OBTAIN A PERMIT FROM ADO.
9. THE APPROVED GRADING AND DRAINAGE PLANS, INCLUDING BUT NOT LIMITED TO, RETENTION AREAS AND OTHER DRAINAGE FACILITIES, DRAINAGE PATTERNS, WALLS, CURBS, ASPHALT PAVEMENT, AND BUILDING FLOOR ELEVATION. CONTRACTOR SHALL PROVIDE LEVEL BOTTOM IN ALL RETENTION BASINS AT ELEVATIONS AS SHOWN ON THE PLANS.
10. RETENTION BASINS SIDE SLOPES SHALL NOT EXCEED 2:1 ON PRIVATE PROPERTY UNLESS NOTED OTHERWISE ON THE PLANS.
11. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND CORRELATING DEPTHS OF ALL THE EXISTING UTILITY LINES WITHIN THE PROPOSED RETENTION AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONDUCT SUBMITTAL OF A PROPOSED PLAN REVISION.
12. ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTOR DITCHES, PIPES, PROTECTIVE BEAMS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT BUILDING OR PROPERTY FROM STORM RUNOFF MUST BE COMPLETED PRIOR TO ANY STRUCTURE BEING BUILT.
13. SOILS COMPACTION TEST RESULTS MUST BE SUBMITTED TO THE TOWN ENGINEER'S OFFICE FOR BUILDING PADS THAT HAVE ONE (1) FOOT OR MORE OF FILL MATERIAL INDICATED. THIS INFORMATION MUST BE SUPPLIED PRIOR TO REQUEST FOR FINAL INSPECTION.
14. THE DESIGN ENGINEER SHALL INDICATE ALL KNOWN EXISTING UNDERGROUND UTILITIES WITHIN PROPOSED RETENTION AREAS. THE BASINS SHOULD BE DESIGNED TO MAINTAIN A MINIMUM 15" OF COVER OVER UTILITY LINES.
15. ALL GRADING FOR OCCUPATION OF ANY BUILDING IS DENIED UNTIL GRADING AND DRAINAGE IMPROVEMENTS ARE COMPLETED.
16. STAKING FINISH FLOOR ELEVATIONS IS THE RESPONSIBILITY OF THE OWNER AND HIS ENGINEER. THE OWNER'S ENGINEER SHALL SUBMIT TWO SEALED COPIES OF THIS GRADING AND DRAINAGE PLAN DESIGNATED AS RECORD DRAWING (EACH COPY BEARING AN ORIGINAL SIGNATURE) AND TWO COPIES OF A CERTIFICATION OF CONSTRUCTED FINISH FLOOR ELEVATIONS PRIOR TO THE REQUEST FOR FINAL INSPECTION.
17. CONTRACTOR SHALL VERIFY IN FIELD ALL UTILITY POINT OF CONNECTIONS.

HILLSIDE NOTES

1. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL ALL HILLSIDE STIPULATIONS AND ALL TOWN CODE REQUIREMENTS ARE COMPLETED INCLUDING, BUT NOT LIMITED TO LANDSCAPING, FIRE FLOW, FIRE SAFETY AND ALL ONSITE AND OFFSITE IMPROVEMENTS.
2. ALL OUTDOOR LIGHTING SHALL BE IN CONFORMANCE WITH SECTION 1023 OF THE TOWN CODE.
3. ALL EXCESS FILL MATERIAL SHALL BE REMOVED FROM THE SITE WITH NO NEW SPILL SLOPES.
4. NOISE FROM CONSTRUCTION THAT CAN BE HEARD OFF-SITE, INCLUDING, BUT NOT LIMITED TO, HYDRAULIC RAM HAMMERS, EQUIPMENT USED TO CUT THROUGH ROCK, WHICHEVER WITH AUDIBLE BACK-UP WARNING DEVICES, POWERED MACHINERY, TRUCK DELIVERY AND IDLING, MACHINERY WITH AUDIBLE BACK-UP WARNING DEVICES, TO USE BETWEEN THE HOURS OF 7:00 AM OR SUNRISE, WHICHEVER IS LATER, AND 6:00 PM AND SUNSET, WHICHEVER IS LATER, MONDAY THROUGH FRIDAY; SATURDAY FROM 9:00 AM TO 2:00 PM AND NO WORK ON SUNDAY OR LEGAL HOLIDAYS.
5. CONSTRUCTION STAKING AND/OR FENCING SHALL BE PLACED AROUND THE CONSTRUCTION SITE SO AS TO PROTECT THE UNDISTURBED NATURAL AREAS.
6. WHERE EXCAVATION IS TO OCCUR, THE TOP 4" OF EXCAVATED NATIVE SOIL SHALL REMAIN ON THE SITE AND SHALL BE REUSED IN THE MANNER THAT TAKES ADVANTAGE OF THE NATURAL SOIL SEED BANK IT CONTAINS.
7. NO LIGHTING OUTSIDE OF THE DISTURBED AREA.
8. ALL PROPERTY LINES TO BE IDENTIFIED BY AN ARIZONA REGISTERED LAND SURVEYOR PRIOR TO FIRST FOOTING INSPECTION.
9. ALL NAIVE PLANTS IN CONFLICT WITH CONSTRUCTION SHALL BE TRANSPLANTED ONSITE.
10. POOL/SPA WILL BE CONSTRUCTED UNDER SEPARATE PERMIT.
11. REMAINING WALLS SHALL NOT EXTEND MORE THAN 6" ABOVE THE MATERIAL THEY RETAIN.

FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

COMMUNITY NUMBER	PANEL NUMBER	SUFFIX	DATE OF FIRM (INDEX DATE)	FIRM ZONE	BASE FLOOD ELEVATION (IN AD ZONE, USE DEPTH)
040049	1765	L	10-16-13	X	

ENGINEER'S CERTIFICATION: THE LOWEST FLOOR ELEVATION(S) AND/OR FLOODPROOFING ELEVATION(S) ON THIS PLAN, ARE SUFFICIENTLY HIGH TO PROVIDE PROTECTION FROM FLOODING CAUSED BY A ONE-HUNDRED YEAR STORM.

EXISTING UTILITIES

CONTRACTOR TO VERIFY ALL TAP-IN LOCATIONS AND POINT OF CONNECTING OF ALL UTILITIES IN FIELD PRIOR TO COMMENCEMENT OF WORK.

DISTURBED AREA CALCULATIONS

AREA OF LOT = 43708 SF = 1.0034 AC
AREA UNDER ROOF = 10279 SF (23.5%)
BUILDING PAD SLOPE = 17%
VERTICAL = 26 FEET
HORIZONTAL = 153 FEET
ALLOWABLE DISTURBANCE = 11919 SF = 27.27%
EXISTING DISTURBANCE = 40175 SF
PROPOSED DISTURBANCE = 32681 SF
VOLUME OF CUT = 953 C.Y. VOLUME OF FILL = 2204 C.Y.
HILLSIDE ASSURANCE @\$29/CUBIC YARD OF CUT & FILL = \$7875

DRAINAGE NARRATIVE

DRAINAGE ON THE SITE IS SHEET FLOW MOVING FROM NORTH TO SOUTH THROUGH THE SITE. EXISTING DRIVEWAY ON THE NORTH SIDE WILL COLLECT FLOWS AND ROUTE TO THE EAST AND THEN DOWN DRIVEWAY. RETENTION WILL BE PROVIDED FOR 25% OF THE RETENTION REQUIRED FOR A FLAT LOT. CALCULATIONS ARE INCLUDED ON SHEET 2. THE REQUIRED RETENTION WILL BE PROVIDED IN A BASIN LOCATED SOUTHEAST OF THE NEW POOL.

NEUERMAN RESIDENCE

A PORTION OF SECTION 4, TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE G.&S.R.B.&M., MARICOPA COUNTY, ARIZONA.
5656 E. INDIAN BEND ROAD

OWNER

DONALD NEUERMAN REVOCABLE TRUST
3104 E. CAMELBACK RD. #713
PHOENIX, AZ 85016

LEGAL DESCRIPTION

LOT 38 OF CLUB ESTATES NO. 2 ACCORDING TO BOOK 91, PAGE 7, RECORDS OF MARICOPA COUNTY, ARIZONA

DESIGNER

DESIGN PROFILE
477 N. BOB L STREET
MESA, AZ 85201
PHONE: 480-461-8810
PLANS@DESIGNPROFILE.COM

SITE BENCHMARK

SET NAIL IN SOUTH FACE OF ROCK ON NORTH SIDE OF PROPERTY
ELEVATION = 1472.24 (NAVD 88 DATUM)

BENCHMARK

ODD'S PID 24523-1M, 5/8" REBAR AT THE SOUTHWEST CORNER OF SECTION 4
ELEVATION = 1458.27 (NAVD 88 DATUM)

SECTION 2307 NOTE

PROPOSED IMPROVEMENTS ARE IN COMPLIANCE WITH SECTION 2307 OF THE TOWN ZONING ORDINANCE.

SITE DATA

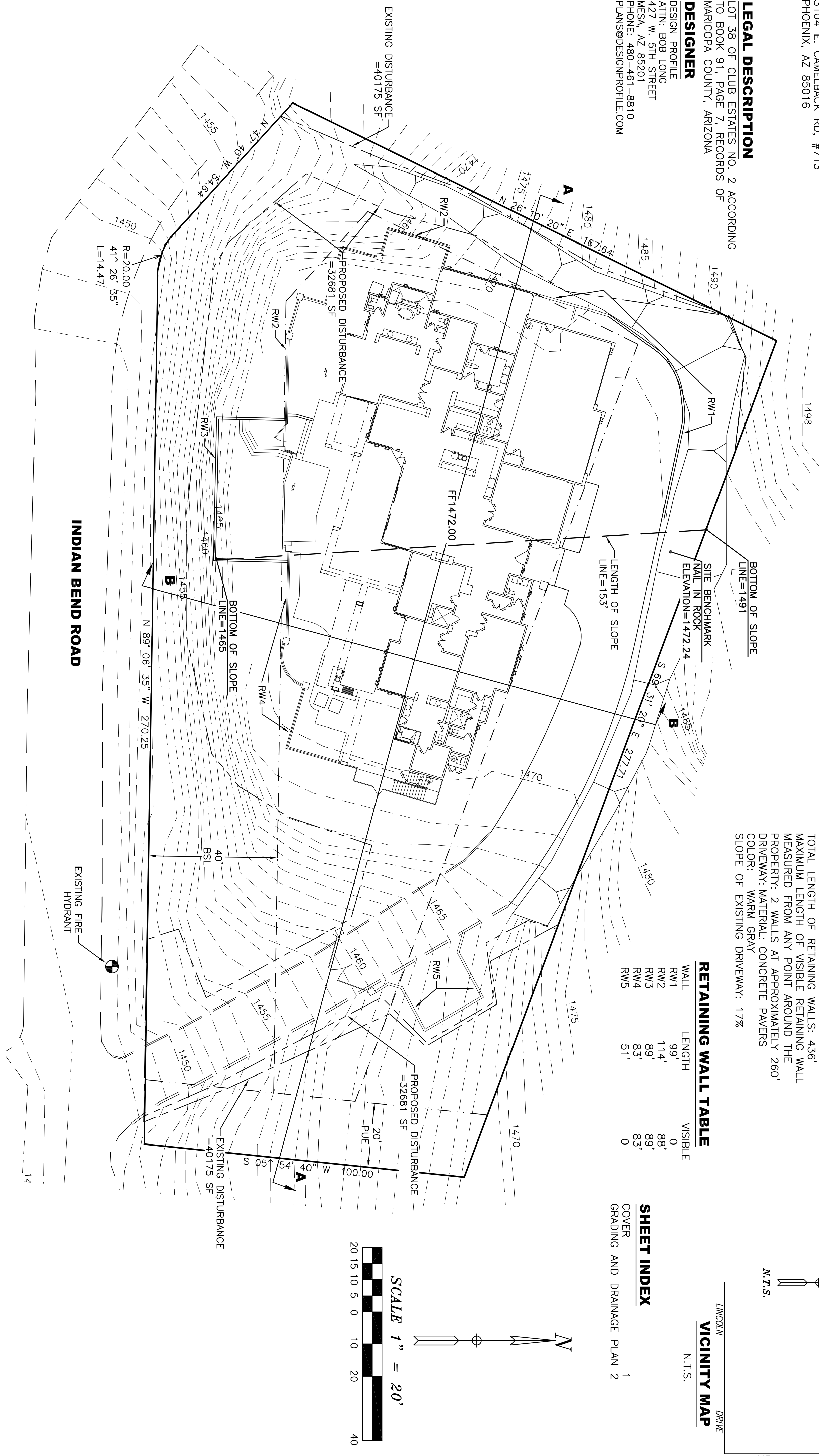
APN: 169-55-006
ZONING: R-43
TOTAL NET AREA = 43708 SF
= 1.0034 AC
NUMBER OF RETAINING WALLS: 5
TOTAL LENGTH OF VISIBLE RETAINING WALL MEASURED FROM ANY POINT AROUND THE PROPERTY: 2 WALLS AT APPROXIMATELY 260' COVER. MATERIAL: CONCRETE PAVERS
COLOR: WARM GRAY
SLOPE OF EXISTING DRIVEWAY: 17%

RETAINING WALL TABLE

WALL	LENGTH	VISIBLE
RW1	99'	0'
RW2	114'	88'
RW3	89'	89'
RW4	83'	83'
RW5	51'	0

SHEET INDEX

COVER 1
GRADING AND DRAINAGE PLAN 2



EARTHWORK QUANTITIES**

CUT 95 C.Y.
FILL 220 C.Y.
**QUANTITIES ARE FOR ENGINEER'S USE ONLY.
CONTRACTOR TO VERIFY

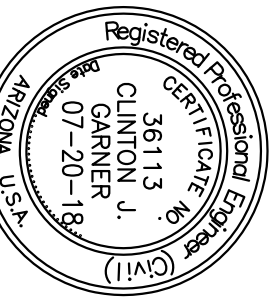
FINISH FLOOR CERTIFICATION:

I HEREBY CERTIFY THAT THE FINISHED FLOOR OF THE MAIN RESIDENCE WILL BE FREE FROM INUNDATION FROM A 100-YEAR PEAK RUNOFF EVENT IF DEVELOPED FROM A DISTURBED AREA WITH THE APPROVED PLANS. THIS HOUSE IS OVER 100 FEET ABOVE 100-YEAR FLOOD ELEVATION.

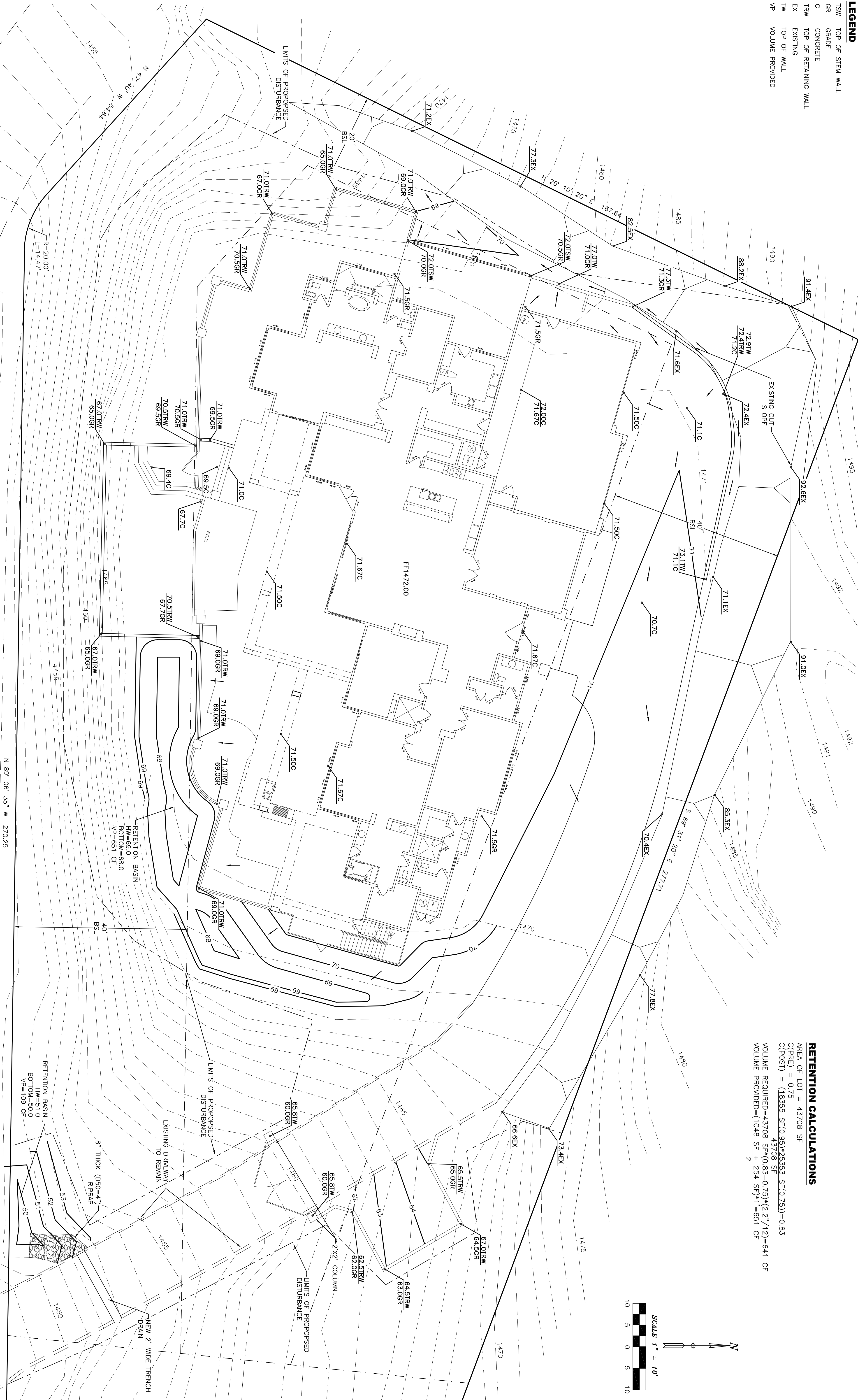
REGISTERED CIVIL ENGINEER 07-20-18



Long term solutions. Call before you dig.

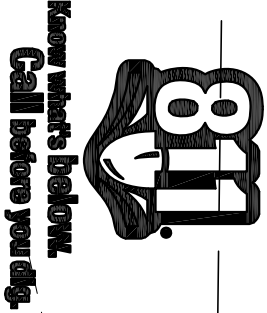
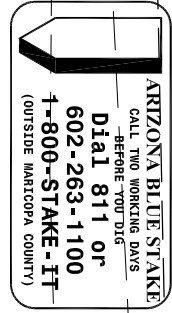
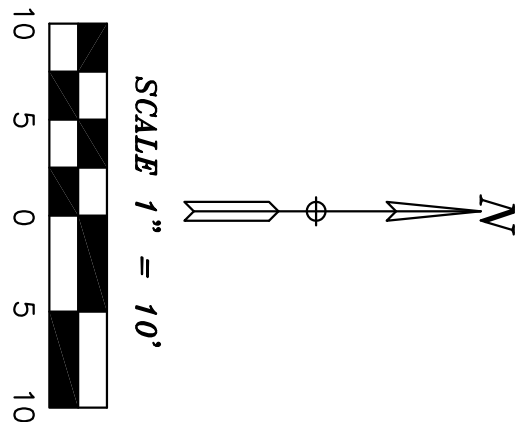


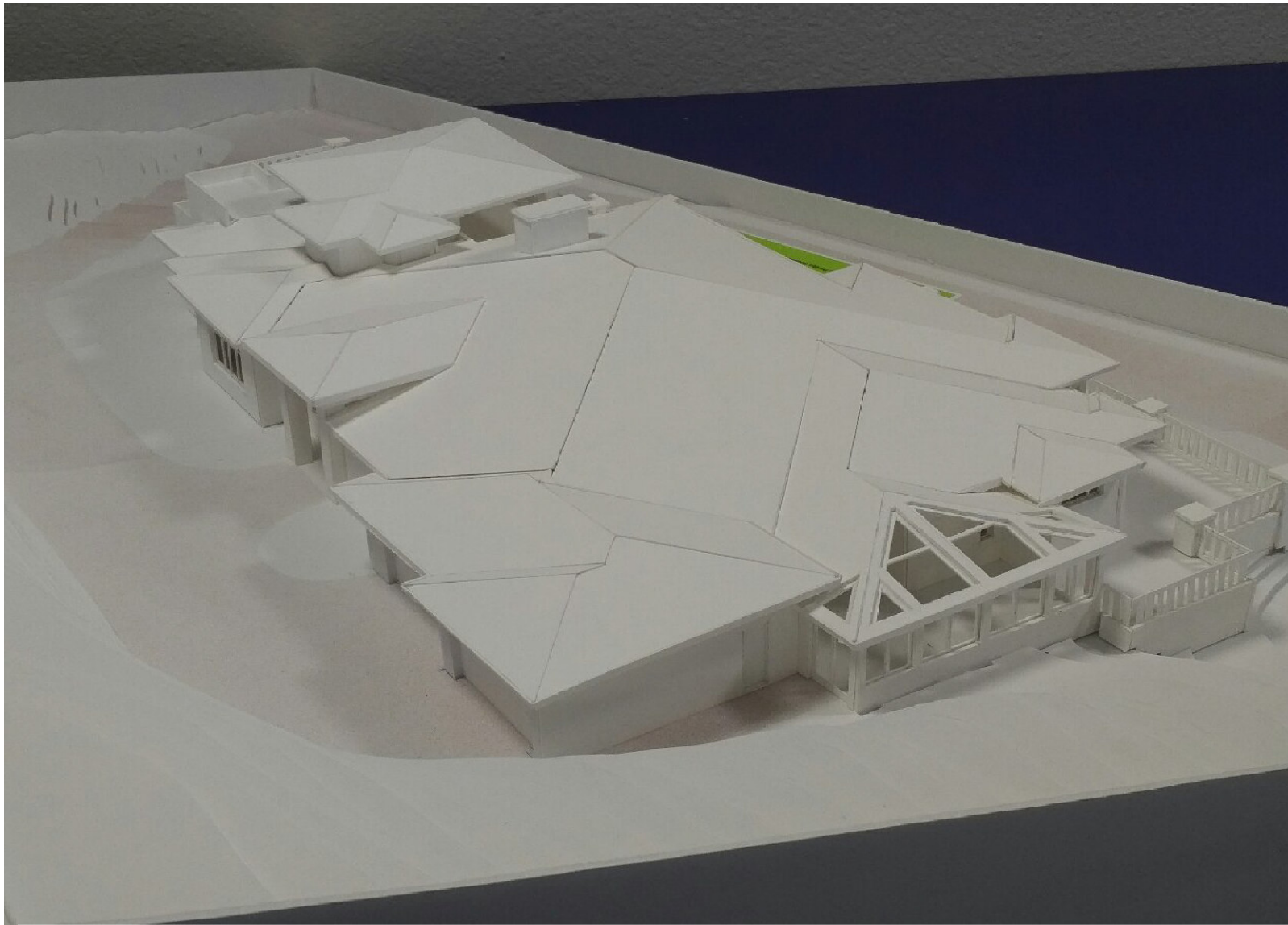
- LEGEND**
- TSW TOP OF STEM WALL
 - GR GRADE
 - C CONCRETE
 - TRW TOP OF RETAINING WALL
 - EX EXISTING
 - VP TOP OF WALL
 - VOLUME PROVIDED



RETENTION CALCULATIONS

AREA OF LOT = 43708 SF
C(PRE) = 0.75
C(POST) = (18355 SF(0.95)*25353 SF(0.75))=0.83
VOLUME REQUIRED=43708 SF*(0.83-0.75)*(2.2'/12)=641 CF
VOLUME PROVIDED=(1048 SF + 254 SF)*1=651 CF





VIEW FROM NORTH WEST



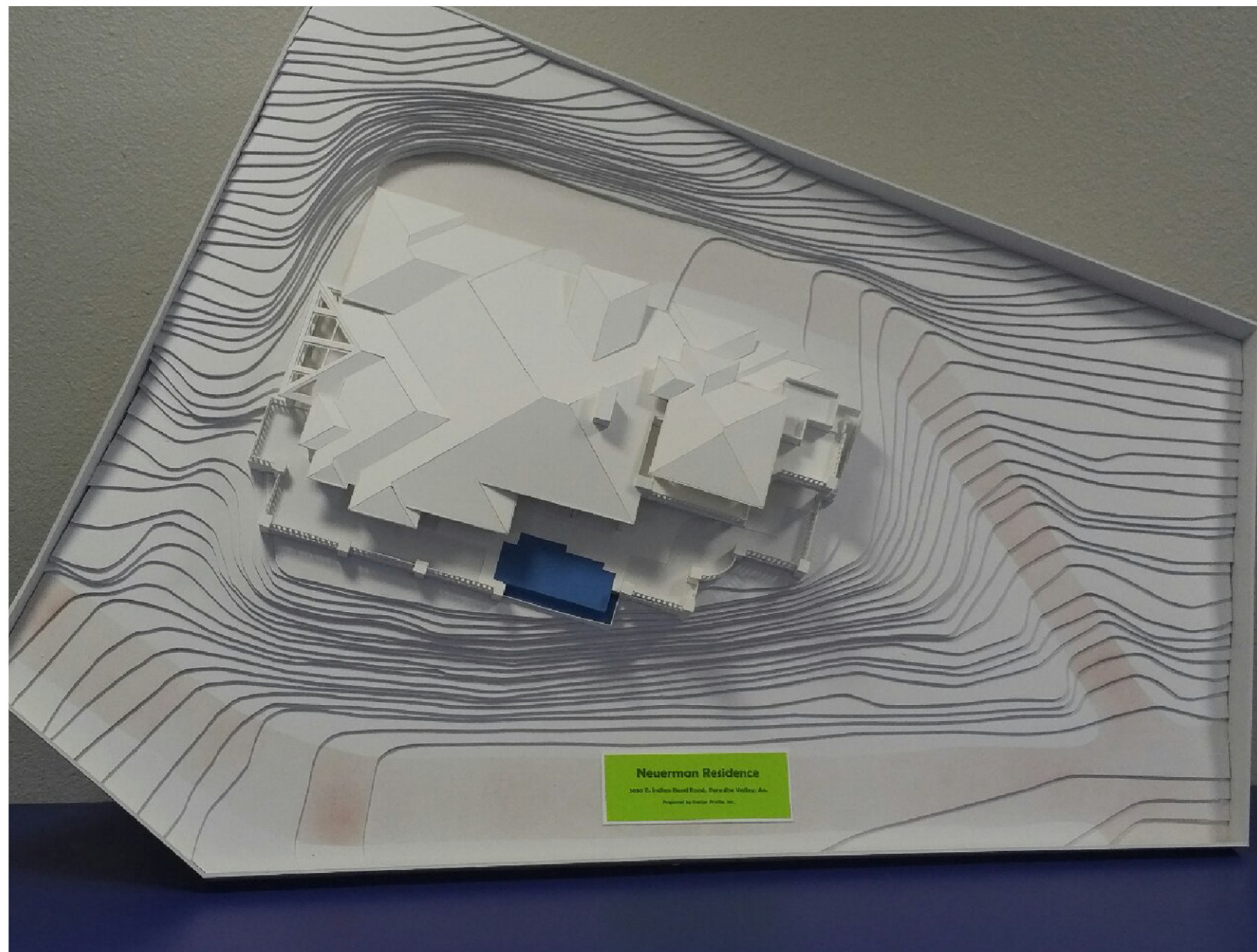
VIEW FROM NORTH



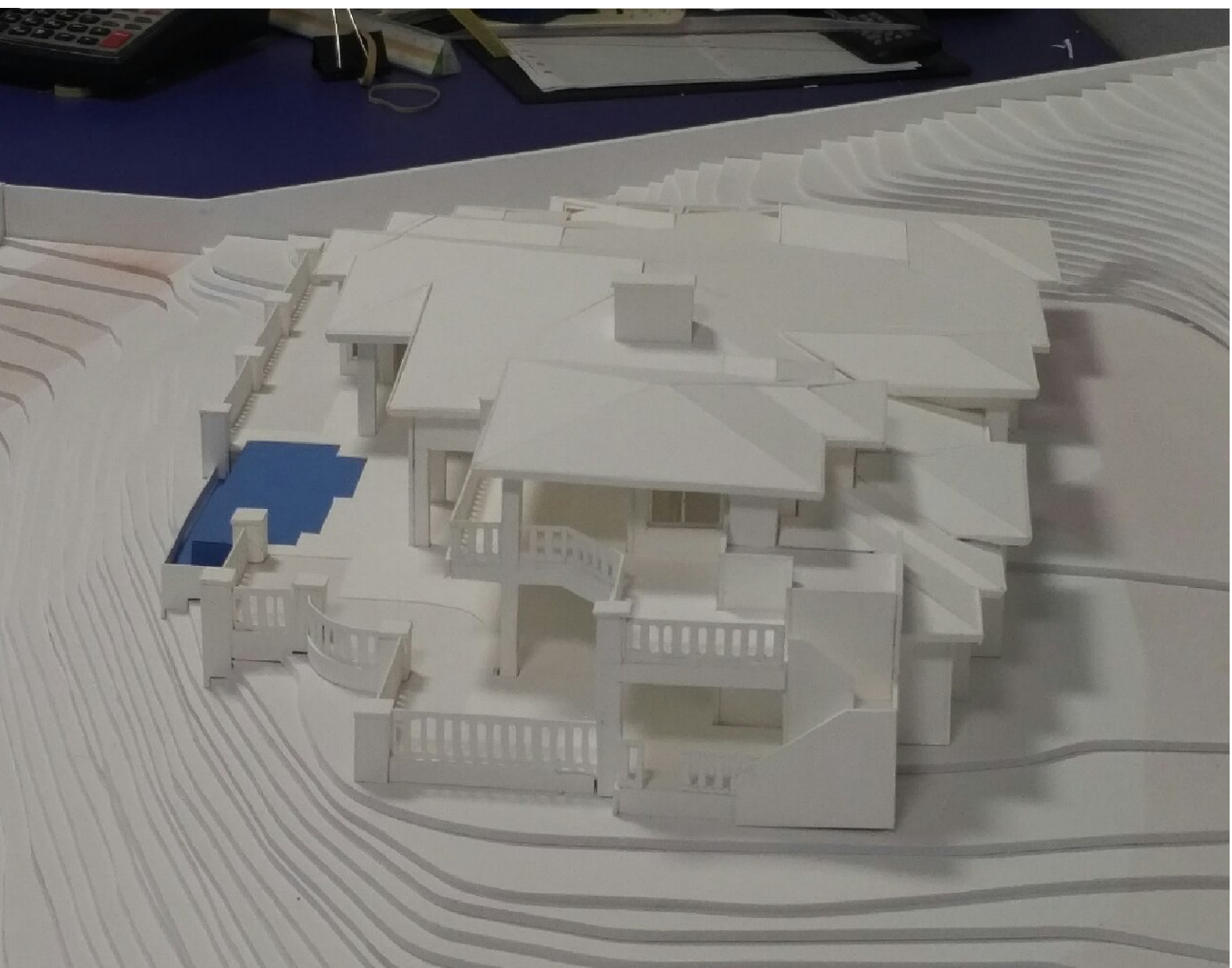
VIEW FROM NORTH EAST



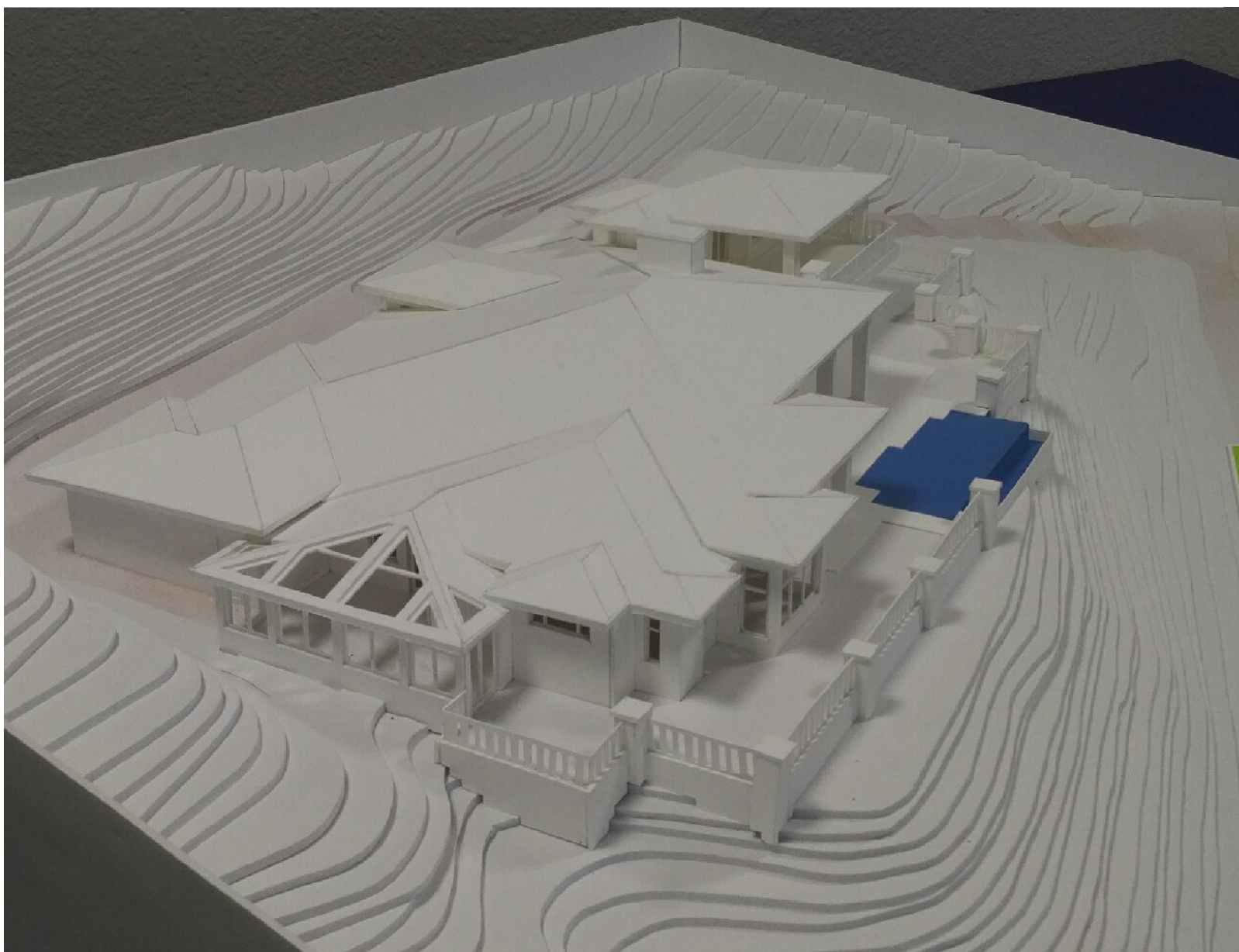
VIEW FROM WEST



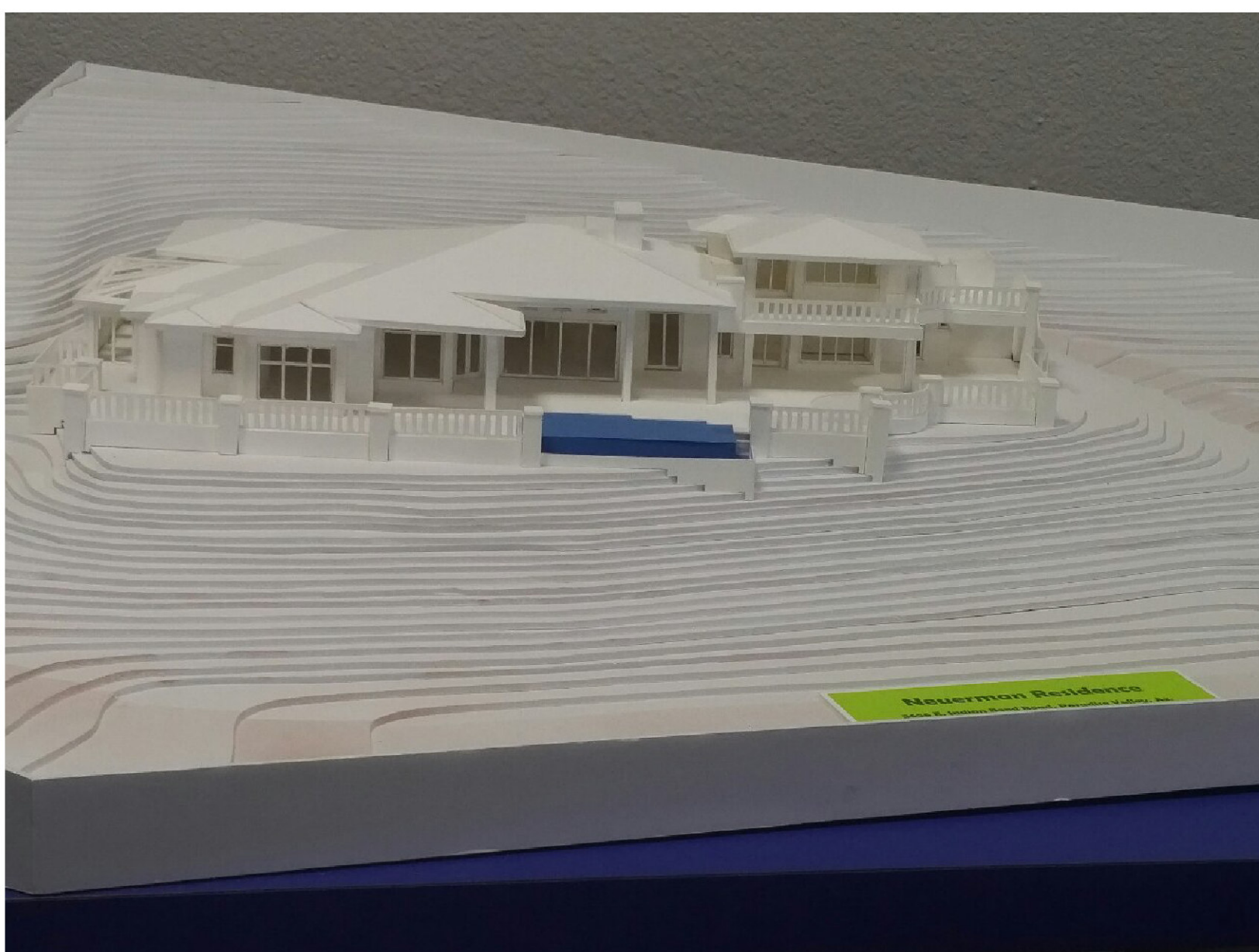
OVERHEAD VIEW



VIEW FROM EAST



VIEW FROM SOUTH WEST



VIEW FROM SOUTH



VIEW FROM SOUTH EAST

NEUERMAN RESIDENCE

5656 E. Indian Bend Road, Paradise Valley
prepared by Design Profile, inc.



DIGITAL MODEL IMAGES

DATE: 07/6/8

REVISED

2 REVISED

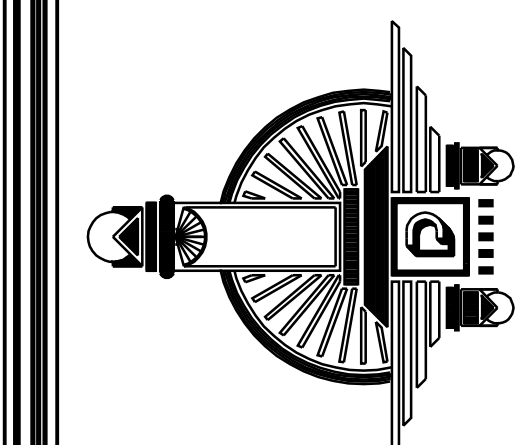
3 REVISED

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**JOB NAME: NEUERMAN RESIDENCE
5656 E. INDIAN BEND RD.**

1-800-264-2786

DESIGN



RGB I

WEBSITE/E-MAIL
www.designrprofile.com
plans@designrprofile.com
(FAX) 461-8780

PROFILE

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AREA OF LOT 43708 S.F. 1.0034 ACRES
AREA UNDER ROOF 10279 S.F. ***
FLOOR AREA RATIO 23.5 %

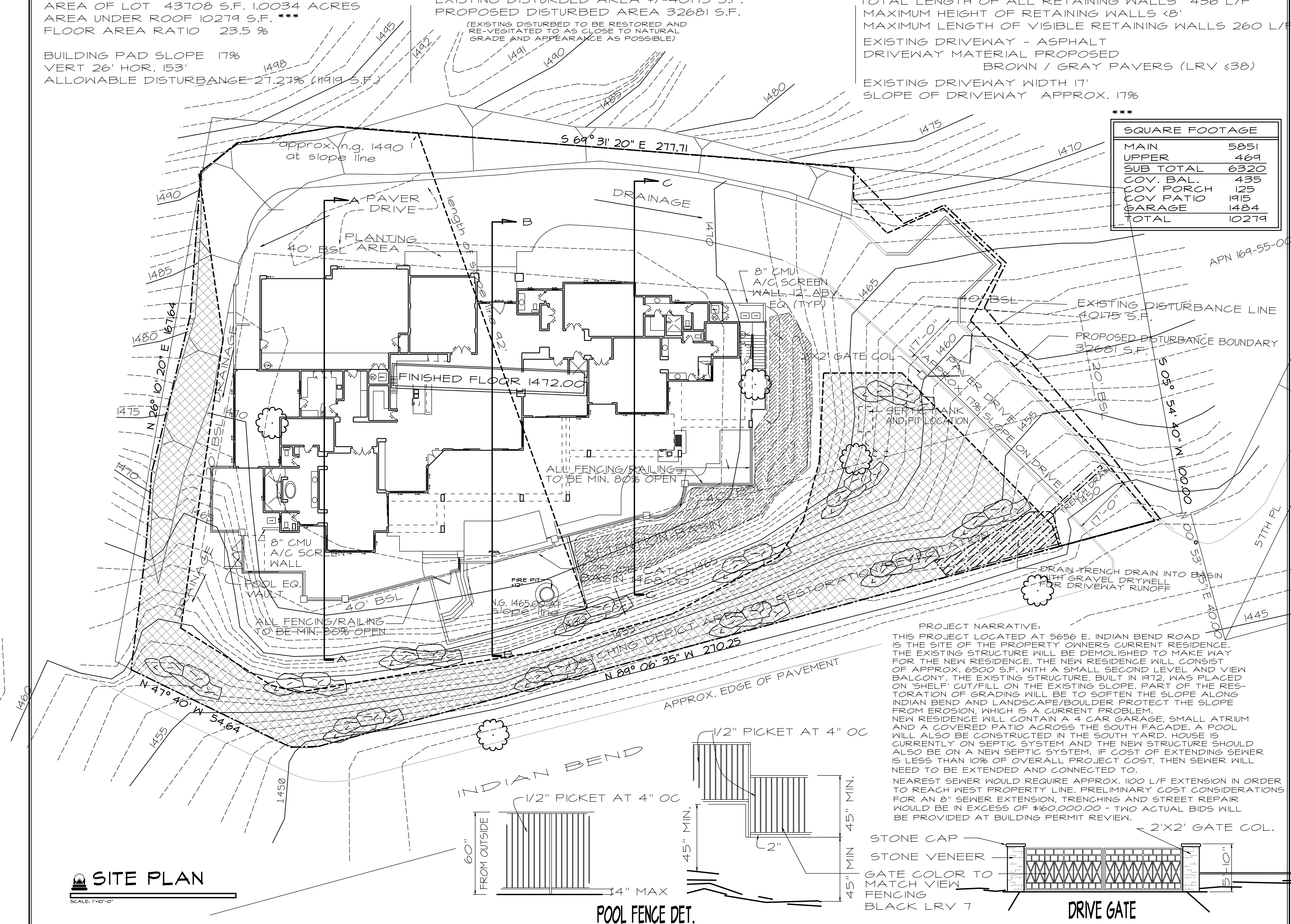
BUILDING PAD SLOPE 17%
VERT 26' HOR. 153'
ALLOWABLE DISTURBANCE 27.27% (1419 S.F.)

EXISTING DISTURBED AREA +/-40175 S.F.
PROPOSED DISTURBED AREA 32681 S.F.

(EXISTING DISTURBED TO BE RESTORED AND
RE-VEGETATED TO AS CLOSE TO NATURAL
GRADE AND APPEARANCE AS POSSIBLE)

TOTAL OF RETAINING WALLS 5
TOTAL LENGTH OF ALL RETAINING WALLS 436 L/F
MAXIMUM HEIGHT OF RETAINING WALLS <8'
MAXIMUM LENGTH OF VISIBLE RETAINING WALLS 260 L/F
EXISTING DRIVEWAY - ASPHALT
DRIVEWAY MATERIAL PROPOSED
BROWN / GRAY PAVERS (LRV <38)
EXISTING DRIVEWAY WIDTH 17'
SLOPE OF DRIVEWAY APPROX. 17%

SQUARE FOOTAGE	
MAIN	5851
UPPER	469
<u>SUB TOTAL</u>	<u>6320</u>
COV. BAL.	435
COV PORCH	125
COV PATIO	1915
GARAGE	1484
<u>TOTAL</u>	<u>10279</u>



DESIGN PROFILE

**JOB NAME: NEUERMAN RESIDENCE
5656 E. INDIAN BEND RD.**

DATE: 07/6/8

DATE: 01/11/2025	REVISED
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REVISED	
REVISED	

RC:

ASSUMED ORIGINAL GRADE LINE

EXISTING GRADE LINE

LINE OF 24' HEIGHT LIMIT

EXISTING GRADE LINE

SECTION 'A'

EXISTING GRADE LINE

ASSUMED ORIGINAL GRADE LINE

EXISTING GRADE LINE

SECTION 'B'

EXISTING GRADE LINE

ASSUMED ORIGINAL GRADE LINE

EXISTING GRADE LINE

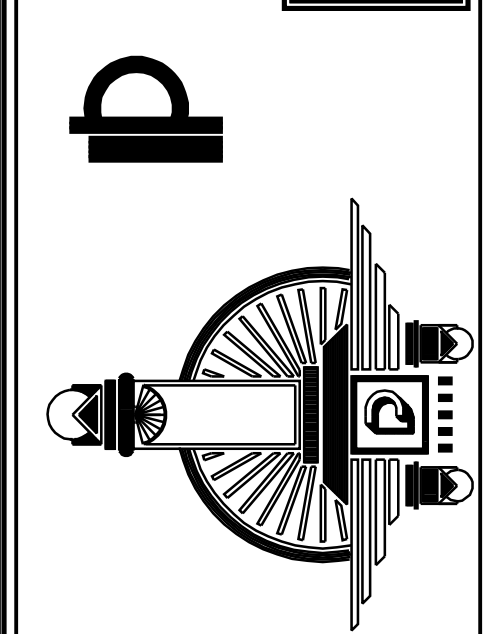
SECTION 'C'

SITE SECTIONS

SCALE: 3/16"=1'-0"

DESIGNER'S SEAL
I hereby certify that I am a duly Licensed Professional Engineer in the State of Arizona, License No. 12345, and that I am the Designer of the above project.
DATE: 05/28/18
SIGNATURE: [Signature]
PRINTED NAME: [Name]
ADDRESS: [Address]
PHONE: [Phone]
FAX: [Fax]

WEBSITE/EMAIL
pioneerdesignprofile.com
(FAX) 461-8780



ARIZONA
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2225 W. 5TH STREET
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JOB NAME: NEUERMAN RESIDENCE
5656 E. INDIAN BEND RD.

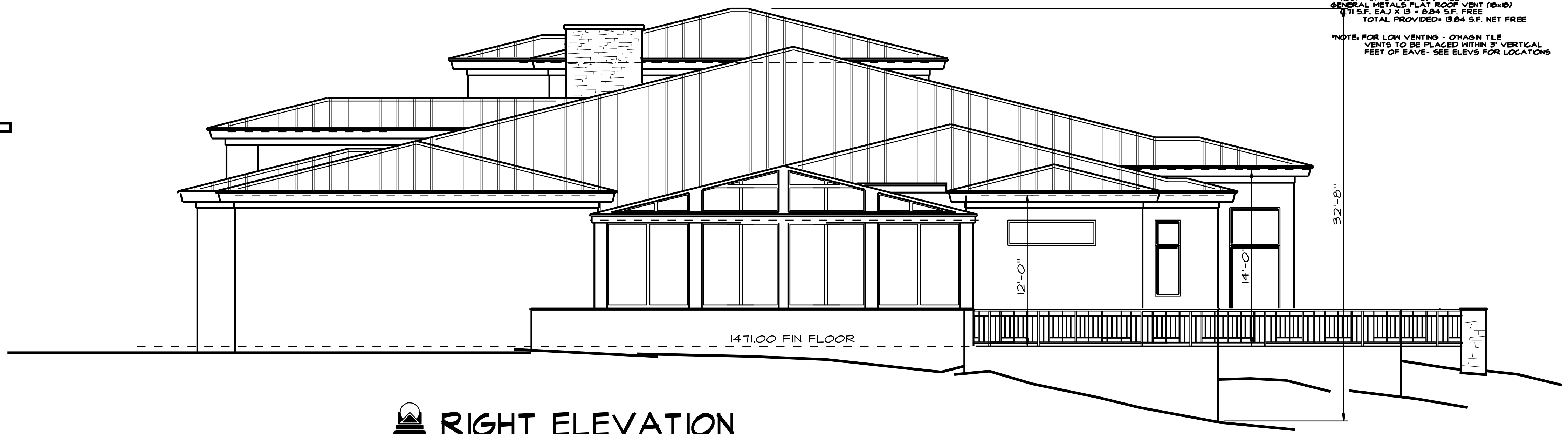
DATE: 05.28.18	1	REVISED
	2	REVISED
	3	REVISED
		IRC



FRONT ELEVATION



LEFT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

ROOF VENTILATION SHALL COMPLY WITH IRC R900.
1-ROOF VENTILATION SHALL BE PROVIDED TO HAVE CLEAR
UNOBSTRUCTED ACCESS TO THE ROOF VENT. VENTS
OR GABLE VENTS SHALL BE BOTH GABLE VENTS AND/OR
PITCHED ROOF AREAS
UNDER ROOF 60 FT + 0000 SF / 900 + 0000 SF REQD
FLAT ROOF AREAS
UNDER ROOF 60 FT + 0000 SF / 900 + 0000 SF REQD
REQUIRED ATTIC VENT. 00.00
PROVIDED ATTIC VENT. 00.00
2-PROVIDE TWO (2) SHEAR FRAMES WITHIN 6" OF EACH
CORNER AND BRACE WITH 2X4 BRACE WITH 3/4" DIA.
NAILS NOTED OTHERWISE. ALL SHEAR WALL BRACING
SHALL COMPLY WITH IRC R602
3-EXTERIOR GUARDRAILS SHALL BE A MIN. OF 36" HIGH
WITH INTERMEDIATE BALUNGS SPACED SUCH THAT A 4"
SPHERE CANNOT PASS BETWEEN THEM. AS PER IRC R302
4-SEE SHEET 2 FOR SECURITY NOTES
5-TILE SHOWN VENEER TILE OR EQUAL ICS REPORT
TABLE NO. R100.3.1 FOR EVALUATION REPORT AND
6-5/8"X8" SHOWN "ULTRA KOTE" (1) COAT OR EQ. W/ LATH
7-PROVIDE (2) LAYERS OF GRADE D KRAFT WATER PROOF
OR PROVIDE (1) LAYER OF TYPE B ASPHALT-SATURATED
ORGANIC FELT PAPER. ICS R705
8-PROVIDE 1 LAYER OF GRADE D PAPER OR 1 LAYER OF
TYPE B FELT OVER WOOD FRAMING. ICS R705
9-BALCONIES, LANDINGS, EXTERIOR STAIRWAYS AND
SIMILAR SURFACES EXPOSED TO THE WEATHER AND SEALED
UNDERNEATH SHALL BE WATERPROOFED. DECK FRAMING
TO SLOPE 1/4" PER FOOT.
10-REPLACE CHIMNEY MINIMUM 2" ABOVE 12'-0" AWAY FROM
ANY EARTH OR ROOF SURFACE. MINIMUM 2" AWAY
FROM HIGHEST ADJACENT ROOF SURFACE ROOFS.
11-FLASH OVER DOOR AND WINDOW OPENINGS WITH AN
APPROVED WEATHER RESISTANT BUILDING PAPER GRADE
D KRAFT OR ASPHALT-SATURATED ORGANIC FELT PAPER

ROOF VENTING CALC.
COR-A-VENT ROOF VENT
IC-ES LEGACY REPORT #850-A
(125FT X 40" = 5 SF FREE
OWASH 8X20 TLE VENT. IC-ES #850-A
(125FT X 34" = 4 SF FREE
SERIAL #2413 L.A. ROOF VENT (8x16)
(11 SF. 8X13 = 8 SF. FREE
TOTAL PROVIDED: 13.4 SF. NET FREE
NOTE: FOR LOW VENTS - OWASH TLE
VENTS TO BE PLACED WITHIN 3" VERTICAL
FEET OF EAVE- SEE ELEV FOR LOCATIONS

DATE: 07.16.18

1 REVISED

2 REVISED

3 REVISED

IRC

JOB NAME: NEUERMAN RESIDENCE

1-800-264-2786

DESIGN PROFILE

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info@alpinedesign.com
(480) 461-8810
(FAX) 461-8810

NOTES:
1-ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2-ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
3-ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
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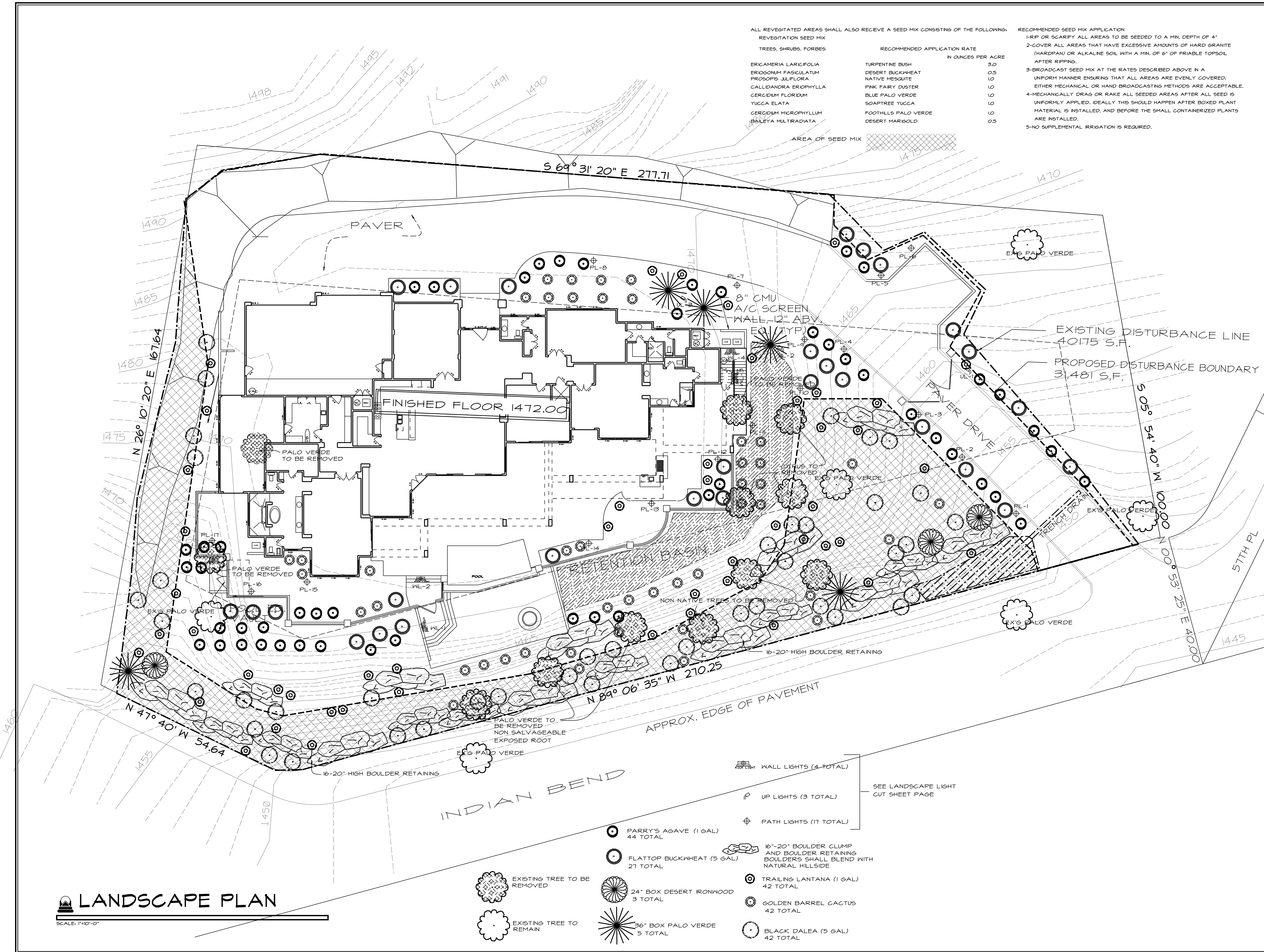
QUANTITY	DESC.	MANU. MODEL	WATTS	LUMEN	COLOR TEMP
14	REC. CANNISTER	JUNO 4" IC 600 LUMEN	20 WATT MAX	600	2700
8	EXT. WALL LIGHT	LUNA EXT WALL SCONCE	11 WATT	500	2700
		HINKLEY LIGHTING			

[illegible]

ALL REVEGETATED AREAS SHALL ALSO RECEIVE A SEED MIX CONSISTING OF THE FOLLOWING:

REVEGETATION SEED MIX	RECOMMENDED APPLICATION RATE
TREES, SHRUBS, FORBES	IN OUNCES PER ACRE
ERICAMERIA LARICIFOLIA	TURPENTINE BUSH 3.0
ERIOGONUM FASCICULATUM	DESERT BUCKWHEAT 0.5
PROSOPIS JULIFLORA	NATIVE MESQUITE 1.0
CALLIDANDRA ERIOPHYLLA	PINK FAIRY DUSTER 1.0
CERCIDIMUM FLORIDUM	BLUE PALO VERDE 1.0
YUCCA ELATA	SOAPTREE YUCCA 1.0
CERCIDIMUM MICROPHYLLUM	FOOTHILLS PALO VERDE 1.0
BAILEYA MULTIRADIATA	DESERT MARIGOLD 0.5

- RECOMMENDED SEED MIX APPLICATION
- 1-RIP OR SCARIFY ALL AREAS TO BE SEED TO A MIN. DEPTH OF 4"
 - 2-COVER ALL AREAS THAT HAVE EXCESSIVE AMOUNTS OF HARD GRANITE (HARDPAN) OR ALKALINE SOIL WITH A MIN. OF 6" OF FRIABLE TOPSOIL AFTER RIPPING.
 - 3-BROADCAST SEED MIX AT THE RATES DESCRIBED ABOVE IN A UNIFORM MANNER ENSURING THAT ALL AREAS ARE EVENLY COVERED. EITHER MECHANICAL OR HAND BROADCASTING METHODS ARE ACCEPTABLE.
 - 4-MECHANICALLY DRAG OR RAKE ALL SEEDING AREAS AFTER ALL SEED IS UNIFORMLY APPLIED. IDEALLY THIS SHOULD HAPPEN AFTER BOXED PLANT MATERIAL IS INSTALLED, AND BEFORE THE SMALL CONTAINERIZED PLANTS ARE INSTALLED.
 - 5-NO SUPPLEMENTAL IRRIGATION IS REQUIRED.



LANDSCAPE PLAN

DATE: 07/16/18

1 REVIS

2 REVIS

3 REVIS

IRC

JOB NAME: NEUERMAN RESIDENCE

5656 E. INDIAN BEND RD.

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LANDSCAPE LIGHTING CUT SHEETS

LANDSCAPE LIGHTING FIXTURE TABLE					
QUANTITY	DESC.	MANU. MODEL	WATTS	LUMEN	COLOR TEMP
3	SPOT LIGHT	KICHLER 12V	3 WATT LED (EQ. TO 20 W)	100	2700
	3 WATT LED	LED SPOTLIGHT			
17	PATH LIGHT	VOLT "CONE HEAD" BRASS	20 WATT MAX.	250	3000
		AREA LIGHT MODEL 310			
3	STEP LIGHT	VOLT LED "BRASS BUNKER"	12 WATT	180	2700
	AT STAIR RISER	LOUVERED STEP LIGHT			

SPOT,UP LIGHTS

12V LED Accent Light
with Variable Lumen Output (VLO)

16015-16017



PROJECT:
TYPE:

ORDERING:
COMMENTS:

OVERVIEW

The VLO Accent Light is unsurpassed in both style and performance. The VLO combines advanced LED, Driver & Optic technology with premium materials. A single fixture provides the installer the option to select three different lumen outputs reducing installation complexity and increasing infield versatility.

FEATURES

- High lumens in small body
- Variable lumen output
- Advanced optics provide superb center to edge uniformity
- Available beam angle: 10°, 35° & 60°
- Complete sealed system for improved reliability
- Advanced ESD protection (6 kV)
- IP66 rated

PERFORMANCE

Output Position	Level 1	Level 2	Level 3
Lumen output:	100	250	300
Input voltage:	9-15	9-15	9-15
Power (W) @ 15VAC:	3.5	8.5	10
Power (W) @ 15VDC:	2	5.2	6.2
Efficacy (Lm/W @DC)	50	48	48
Halogen Replacements:	10W	24W	30W

SPECIFICATIONS

Fixture

Light Source: Integrated LED
Number of LEDs: 1 High Output LED
Color Temperature: 2700K, 3000K
Color Rendering Index: 80
Beam Angles: 10°, 35°, 60°
Binning: 3 Step
Fixture can be used in UP or DOWN position

Input

Input Voltage Range: 9 – 15V
AC or DC with no loss in light output
47 – 63Hz
Input Current: 877mA max@15VAC
Inrush Current: 9A Max
Efficiency: > 57L/W @ 12VDC
Power Factor: > 0.7 @ 15V

Output

Beam Spread (Beam): 30°
Lumen Level 1 (low): 100 (factory setting)

Environmental

Environmental Protection Rating: Wet, IP 66
Operation Ambient Temperature: -25°C - +40°C
Expected Life Time (L70): 50K Hours

Mechanical & Housing Specification

Length: 4.5" / 114 mm
Width: 2.0" / 50.5 mm
Height: 3.7" / 94.5 mm
Housing Material: Aluminum, Brass
Housing Color & Surface: Black/AZT
White/CBR Brass
Alum 13 oz / 0.36kg,
Brass 30oz / .9Kg

FIXTURE

Glass Lens

Tempered, shock resistance glass with high tolerance for thermal expansion and stress.

Body

A380 Aluminum, C360 Brass casting

Wire

18 AWG, SPT-1W, 105°C, 300V, 48" useable length

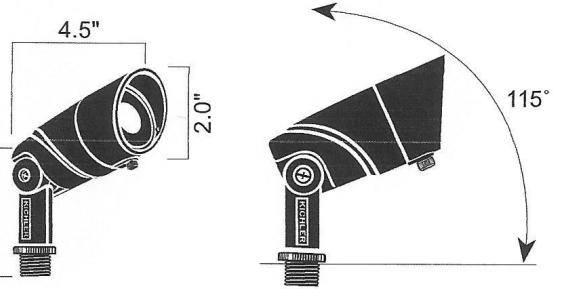
Optics

Custom reflector provides superior fixture beam angle. Available in 10°, 35° and 60°.

Included Accessories

Includes 8" slotted in-ground stake, 2 gel-filled wire nuts and lumen switching magnetic key.

Dimensions



AVAILABLE FINISHES

AZT

BKT

CBR

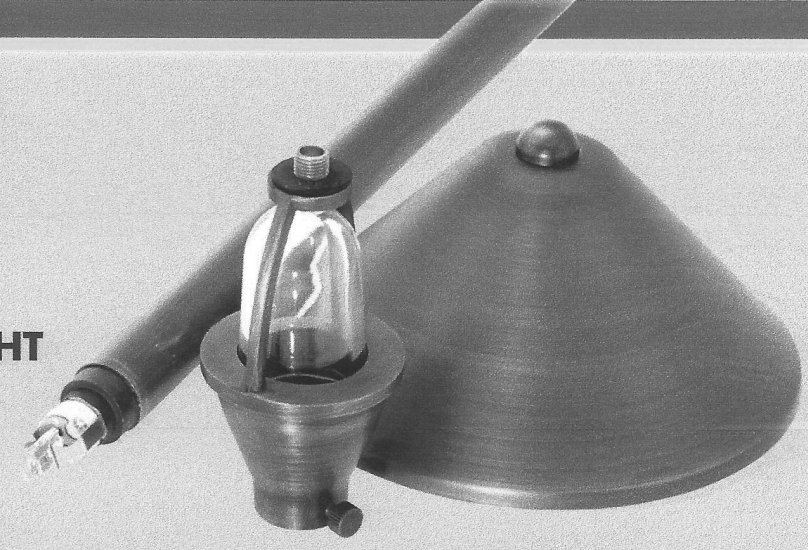
WHT

KICHLER

PATHWAY LIGHTS

CONEHEAD

CONEHEAD SOLID BRASS AREA LIGHT



PRODUCT NUMBER(S) 310, 310-C

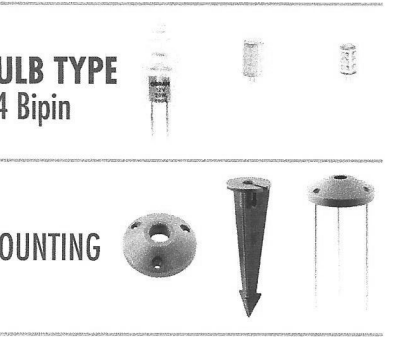
APPLICATIONS: Area, Path, Walkway, Driveway, Flower Bed

The Cone Head is a solid brass path and area light that accepts both LED and halogen G4 BiPin bulbs. The conehead style that produces a moderately focused beam spread meeting the lighting requirements of most traditional use path and area installations. Solid cast brass construction with pro-grade internal components and a lifetime warranty. Utilizes a design that makes changing the BiPin bulbs a piece of cake! The Conehead includes hot stem, and PVC Hammer® stake.

BULB TYPE

G4 BiPin

MOUNTING



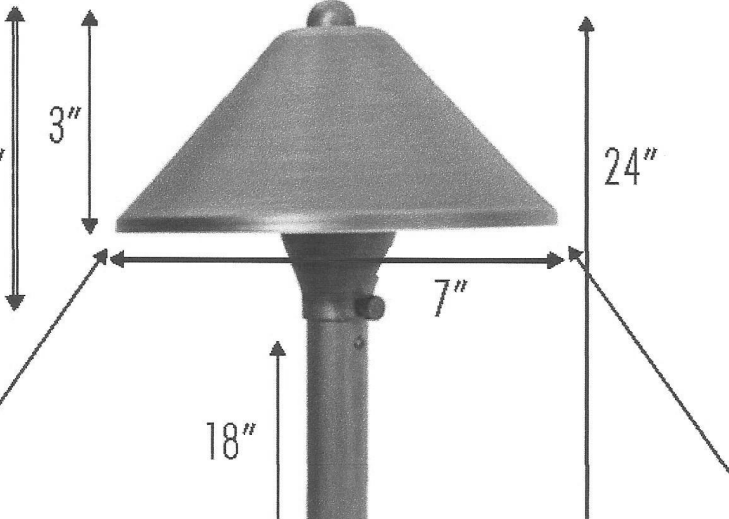
EXTENSIONS



Professional Quality Outdoor Lighting

VOLT® Lighting | 15406 N. Nebraska Avenue | Lutz, FL 33549 | T: 813-978-3700 | VOLTUSLIGHTING.com

Class: Outdoor Path/Area Light
Material: Cast Brass
Finish: Available in Bronze or Raw Copper (Copper Poling)
Wiring: 16 gauge SP12 tinned copper wiring available in 25' or 48' lengths
Lamp Type: BiPin, LED BiPin
Maximum Lamp Rating: 20 watts
Recommended Rating: 10-20 watts
Socket: Beryllium pre-gressed socket
Mountings: Large 10" PVC Hammer® Stake included
Mounting Options: Brass surface mount or Tident stake
Weight: 4 lbs.
Voltage: 12V AC
Warranty: VOLT® Lifetime Warranty



EXTERIOR WALL LIGHTS

LED "The Brass Bunker" Louvered Step Light

The LED Brass Bunker Louvered outdoor LED step light is a fixture that is truly unique. Designed for LED and rated for in-grade concrete pour applications, this fixture utilizes a solid cast brass body--- including the back canister! Most of the others guys use folded sheet metal box which ultimately results in water leakage. The LED Brass Bunker Louvered outdoor light is completely sealed and water tight. Featuring a rubber seal around wire exit, pressure fit rubber gaskets under the faceplate, and quality grade tinned coated copper lead wire. Professional grade internal components and lifetime warranty. It is outfitted with a VOLT® LED Bi-Pin that is 80% more efficient than a halogen lamp AND lasts 8-10 times longer. Energy savings and less maintenance—all while being green and utilizing the latest technology. The light from VOLT's® LED Brass Bunker Louvered outdoor light fixture matches the exact look of a halogen in both color and brightness – you will not see a difference in light quality or effect between a halogen or the VOLT® LED Brass Bunker Louvered outdoor light.

LED "The Brass Bunker" Louvered Step Light Features:

- Solid cast brass construction. Canister is solid cast brass
- Water tight---pressure rubber gasket, rubber seal around wire exit.
- Beryllium pre-dielectric greased socket. Silicon plug where lead wires exit fixture. Prevents ground moisture and insects from entering fixture.
- Lens flush with fixture so water cannot puddle.
- Frosted lens for smoother photometric results.
- Low voltage, 10-15 volts fixture
- Requires VOLT's® Low Voltage Transformer

DATE: 07.16.18

1 REVISION
2 REVISION
3 REVISION

IRC

JOB NAME: NEUERMAN RESIDENCE
5656 E. INDIAN BEND RD.

1-800-264-2186

DESIGN

PROFILE

ARIZONA
DESIGN
PIONEER PROFILE
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LUTZ, FL 33549
(480) 461-8810

WEBSITE/EMAIL
PIONEERPROFILE.COM
(FAX) 461-8780

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