



6/2/2020

George Pasquel III
Withey Morris, PLC
2525 E Arizona Biltmore Cir Ste A-212
Phoenix, AZ 85016

RE: 7-ZN-2016#2
Palmeraie Phase II

Dear Mr. Pasquel:

The Planning & Development Services Division has completed the review of the above referenced development application submitted on 5/11/2020. The following **2nd Review Comments** represent the review performed by our team, and is intended to provide you with guidance for compliance with city codes, policies, and guidelines related to this application.

Zoning Ordinance and Scottsdale Revise Code Significant Issues

The following code and ordinance related issues have been identified in the second review of this application, and shall be addressed in the resubmittal of the revised application material. Addressing these items is critical to scheduling the application for public hearing, and may affect the City Staff's recommendation. Please address the following:

Zoning:

1. The proposed rezoning application is to add the Planned Shared Development zoning overlay district to the entire Palmeraie property. For the next submittal, please submit a Zoning Boundary Exhibit (with dimensions) that incorporates the entirety of the Palmeraie site, not just the Phase II portion. (Zoning Ordinance, Sec. 1.305.)
2. Please note that per the stipulations of the prior zoning case on the site (Ord. No. 4289), all off-site infrastructure required for Phase I will be a requirement of this phase if not constructed prior to development of this Phase.

TIMA:

3. The site plan provided indicates a north-south road within Paradise Valley as Palmeraie Drive and the east-west road extending from the 6750 North signal is labeled Spectrum Drive. In multiple instances of the TIMA, the east-west road is referred to as Palmeraie Drive which may cause confusion.
4. Please revise Table 6 to verify Internal capture trip volumes with what is included in Appendix E.

5. Please revise Table 6 to verify Saturday peak hour trips – ITE's Trip Generation Manual provides data for all land use codes used (though may be at different times). The TIMA appears to overestimate base trips by roughly 380 compared to ITE rates.
6. Please revise Figures 9 and 11 to verify ADTs presented.
7. Please revise the traffic and improvement analysis to verify summary of Scottsdale Road and Indian Bend Road matches Table 8 and Table 8 matches applicable reports in appendix. Also verify summary of Scottsdale Road and 6750 North/Palmeria Drive & Scottsdale Road and Lincoln Drive matches Table 8.
8. Please revise Table 9 to correct an issue for Scottsdale Road and 6750 North, northbound left – a 95th percentile demand of 460' while providing only 160' will likely often block the through lane causing an unacceptable safety condition.
9. Please revise Figure 12 and instances throughout related to the following:
 - a. Scottsdale Road and Indian Bend Road – 2nd SB left turn lane already exists. 2016 existing condition may remain the same, but please indicate in narrative of existing conditions and include in future conditions.
 - b. Scottsdale Road and Indian Bend Road – prior case has stipulation to add southbound right turn lane. Include in proposed conditions.
 - c. Scottsdale Road and Indian Bend Road – EB right turn lane shows conversion to 2nd through lane which is not reflected in analysis. Please verify.
 - d. Scottsdale Road and 6750 – Verify 2nd EB left turn lane.
 - e. Scottsdale Road and 6750 – NB left turn condition – geometry and/or site design must change so that vehicles making this turn do not cause blockage to Scottsdale Road.
 - f. Indian Bend Road between Intersection A and Intersection 3 – cross section indicating an EB left turn may need to be updated with roundabout condition.

Circulation:

10. Per the stipulations of the prior zoning case for the project (Ord. No. 4289), "Before any Certificate of Occupancy is issued for Phase I of the development project, the developer shall construct transit facility improvements (transit pad and shelter, landscaping, bench and trash can) on N. Scottsdale Road just south of E. Indian Bend Road (existing bus bay). The improvements shall conform to COS Standard Detail #2264, and be consistent with the Scottsdale Road Streetscape Design Guidelines. Any portion of the transit facility improvements that extend outside of the N. Scottsdale Road right-of-way shall be contained within a transit facility easement dedicated to the City by the owner prior to issuance of any building permit for Phase I of the development project. Final design and location of transit facility improvements shall be subject to the review and approval of Transportation Department staff." Please update the project plans accordingly to show these required improvements.

Drainage:

11. A revised Preliminary G&D Plan has not been submitted with the 2nd submittal of the case. Although a set of the Preliminary G&D Plan is included in the revised Preliminary Drainage Report, it is the same one from the 1st submittal. Also, the 2nd cycle of the Preliminary Drainage Report appears to be identical to the 1st submittal except for the cover page. Therefore, a DRAINAGE review was not done in the 2nd cycle. A thorough review of the Preliminary G&D Plan and the Preliminary Drainage Report will be done in the next cycle.

12. If the client intends to replace the previously proposed 3-barrel 10'X5' box culvert with a 2-barrel box culvert, then such changes must be clearly demonstrated both on the Preliminary G&D Plan and in the Preliminary Drainage Report in the next submittal.
13. Please note that the email attachment that the applicant included in an earlier email does not match with the communications that Stormwater staff had with the Engineer. The engineer was supposed to propose a 2-12'X6' box culvert to be consistent with the Master Drainage Report that CVL prepared for the Ritz-Carlton site for the Town of Paradise Valley. The email attachment contains some calculations for a 2-10'X5' box culvert and not for a 2-12'X6' box culvert.

Water and Waste Water:

14. Please submit the revised Water and Wastewater Basis of Design Reports to your Project Coordinator with the rest of the resubmittal material identified in Attachment A. The Basis of Design Reports shall be updated to follow DSPM flow criteria of Sec. 7-1.403. Please contact Water Resources staff Richard Sacks for more information.

Significant Policy Related Issues

The following policy related issues have been identified in the second review of this application. While these issues may not be critical to scheduling the application for public hearing, they may affect the City Staff's recommendation pertaining to the application and should be addressed with the resubmittal of the revised application material. Please address the following:

Circulation:

15. All minor intersections should use type CL driveways that allow pedestrians to cross without having to yield to vehicles; sidewalk should be continuous. (DSPM 5-3.200; DSPM Sec. 5-3.205; COS Standard Detail #2256, COS Standard Detail Drawings - 2015 Revision)
16. There should be a more direct sidewalk connection to the existing transit stop on Scottsdale Road. (DSPM 2.1-310; 2008 Transportation Master Plan: Ch. 7, Sec. 8)

Engineering:

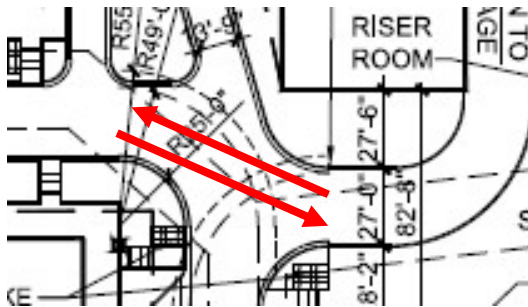
17. The second submittal of the project plans did not address Comments #18, #19 and #20 from the 1st Review Comment Letter. Please provide additional plans and diagrams to demonstrate compliance with the comments outlined in Comments #18, #19 and #20 of the 1st Review Comment Letter. (Zoning Ordinance, Sec. 1.305.)
18. Please update the project plans to provide a minimum 6-foot-wide accessible pedestrian route from the ground floor retail of Building T of the development to each abutting public/private street that provides a pedestrian sidewalk/multi-use trail. (DSPM, Sec. 2-1.310)

Technical Corrections

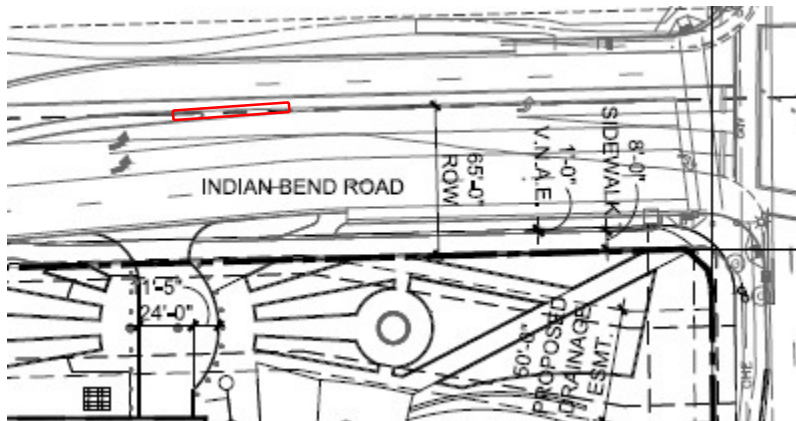
The following technical ordinance or policy related corrections have been identified in the second review of the project. While these items are not as critical to scheduling the case for public hearing, they will likely affect a decision on the final plans submittal (construction and improvement documents) and should be addressed as soon as possible. Correcting these items before the hearing may also help clarify questions regarding these plans. Please address the following:

Circulation:

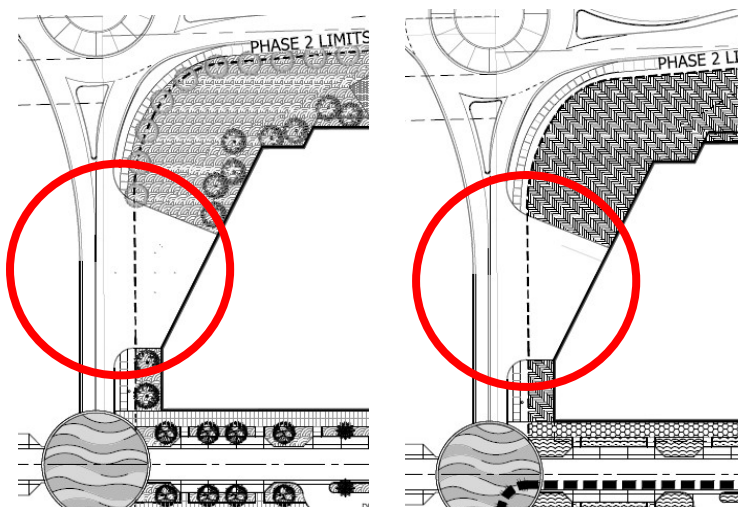
19. Provide more detail regarding the internal circular intersection designs. It's not clear how the sidewalk connections will be maintained across the intersection and what type of curb is proposed.
20. Provide more detail regarding the eastern driveway on Indian Bend Road. There is a note on the landscape plan that identifies this as a drop-off, but it doesn't seem wide enough and the drop off appears to be on the exiting side of the driveway.
21. This offset intersection is poor design and will lead to vehicles cutting diagonally across the intersection instead of making proper turns. The drives should align or be offset further.



22. The raised median in Indian Bend needs to be extended further east to prevent drivers from making left-turns into the site driveway.



23. This service area needs to have limited access. Vehicles will not be allowed to make left-turns this close to the roundabout. How does the sidewalk continue across this entry? This needs a lot of work to make it function appropriately.



24. Identify loading areas for residential buildings that accommodate moving trucks, service vehicles, and delivery trucks that do not block main access drives.

Please resubmit the revised application requirements and additional/supplemental information identified in Attachment A, Resubmittal Checklist, and a written summary response addressing the comments/corrections identified above as soon as possible for further review. The City will then review the revisions to determine if the application is to be scheduled for a hearing date, or if additional modifications, corrections, or additional/supplemental information is necessary.

PLEASE CALL 480-312-7000 TO SCHEDULE A RESUBMITTAL MEETING WITH ME PRIOR TO YOUR PLANNED RESUBMITTAL DATE. DO NOT DROP OFF ANY RESUBMITTAL MATERIAL WITHOUT A SCHEDULED MEETING. RESUBMITTAL MATERIAL THAT IS DROPPED OFF MAY NOT BE ACCEPTED AND RETURN TO THE APPLICANT.

The Planning & Development Services Division has had this application in review for 58 Staff Review Days since the application was determined to be administratively complete.

These **2nd Review Comments** are valid for a period of 180 days from the date on this letter. The Zoning Administrator may consider an application withdrawn if a revised submittal has not been received within 180 days of the date of this letter (Section 1.305. of the Zoning Ordinance).

If you have any questions, or need further assistance please contact me at 480-312-7713 or at bcarr@ScottsdaleAZ.gov.

Sincerely,

Brad Carr, AICP, LEED-AP
Planning & Development Area Manager

ATTACHMENT A
Resubmittal Checklist

Case Number: **7-ZN-2016#2**

Please provide one digital copy of the following documents with the:

- ☒ COVER LETTER – Respond to all the issues identified in this 2nd Review Comment Letter
- ☒ Revised Traffic Impact Mitigation Analysis (TIMA)
- ☒ Revised Preliminary Drainage Report
- ☒ Revised Wastewater Basis of Design Report
- ☒ Development Plan items

1. Project Narrative
2. Context Aerial
3. Zoning Boundary Exhibit (currently incomplete)
4. Phasing Plan
5. Site Plan – Overall
6. Site Plan – Enlarged
7. Open Space Plan
8. Pedestrian & Vehicular Circulation Plan (north & south areas)
9. Landscape Plan
10. Building Elevations (black & white)
11. Building Elevations (color)
12. Perspectives (color)
13. Stepbacks Exhibit
14. Site Sections
15. Refuse Plan
16. Fire Hydrant Plan

Please Note: Three (3) copies of all Development Plan items must be submitted on 8 ½" x 11" archival (acid free paper) after the Planning Commission hearing.