

# ABBREVIATIONS

ABC	.....	AGGREGATE BASE COURSE
A.F.F.	.....	ABOVE FINISHED FLOOR
C.I.	.....	CAST IRON
C.M.U.	.....	CONCRETE MASONRY UNIT
DW	.....	DISHWASHER
F.O.P.	.....	FACE OF POST
F.O.S.	.....	FACE OF STUD
F.F.	.....	FINISHED FLOOR
FG	.....	FIBER GLASS
FLUOR.	.....	FLUORESCENT (LIGHT FIXTURE)
F.V.	.....	FIELD VERIFY
GSM	.....	GALVANIZED SHEET METAL
GFI	.....	GROUND FAULT CIRCUIT
GYP. BRD.	.....	GYPSPUM BOARD
I.B.C.	.....	INTERNATIONAL BUILDING CODE
I.C.C.	.....	INTERNATIONAL CODE COUNCIL
I.F.C.	.....	INTERNATIONAL FIRE CODE
I.M.C.	.....	INTERNATIONAL MECHANICAL CODE
I.P.C.	.....	INTERNATIONAL PLUMBING CODE
I.R.C.	.....	INTERNATIONAL RESIDENTIAL CODE
MFR.	.....	MANUFACTURER
MICRO	.....	MICROWAVE OVEN
N.E.C.	.....	NATIONAL ELECTRIC CODE
N.T.S.	.....	NOT TO SCALE
O.A.	.....	OVER ALL
O.C.	.....	ON CENTER
P.E.N.	.....	PERIMETER EDGE NAILING
PTDF	.....	PRESSURE TREATED DOUGLAS FIR
P.L.F.	.....	PER LINEAR FOOT
REF	.....	REFRIGERATOR
R	.....	RISER (ø 16R=16 RISERS)
SPECS.	.....	SPECIFICATIONS
SS	.....	STAINLESS STEEL
TEMP.	.....	TEMPERED GLASS
TC	.....	TRASH COMPACTOR
TYP.	.....	TYPICAL
U.O.N.	.....	UNLESS OTHERWISE NOTED
WC	.....	WATER CLOSET
WP	.....	WATER PROOF
WI	.....	WROUGHT IRON
WWF	.....	WELDED WIRE FABRIC

# POOLS, SPA'S & HOT TUBS

SWIMMING POOL IS DEFINED AS ANY CONTAINED BODY OF WATER 18 INCHES (457 MM) AT ANY POINT. THIS INCLUDES ABOVEGROUND, ABOVE GROUND AND ON-GROUND SWIMMING POOLS AND HOT TUBS AND SPAS.

## BARRIER REQUIREMENTS

THE PROVISIONS OF THIS CHAPTER SHALL CONTROL THE DESIGN OF BARRIERS FOR RESIDENTIAL SWIMMING POOLS, SPAS AND HOT TUBS. THESE DESIGN CONTROLS ARE INTENDED TO PROVIDE PROTECTION AGAINST POTENTIAL DROWNING AND NEAR DROWNING BY RESTRICTING ACCESS TO SWIMMING POOLS, SPAS AND HOT TUBS.

AN OUTDOOR SWIMMING POOL, INCLUDING AN IN-GROUND, ABOVE-GROUND OR ON-GROUND POOL, HOT TUB OR SPA SHALL BE SURROUNDED BY A BARRIER WHICH SHALL COMPLY WITH THE FOLLOWING:

- THE TOP OF THE BARRIER SHALL BE AT LEAST 60 INCHES (1524 MM) ABOVE GRADE MEASURED ON THE SIDE OF THE BARRIER WHICH FACES AWAY FROM THE SWIMMING POOL. THE TOP OF THE BARRIER THAT SEPARATES THE SWIMMING POOL ONLY FROM HABITABLE SPACES ON THE SAME PROPERTY SHALL BE AT LEAST 48 INCHES (1219 MM) ABOVE GRADE MEASURED ON THE SIDE OF THE BARRIER WHICH FACES AWAY FROM THE SWIMMING POOL. THE MAXIMUM VERTICAL CLEARANCE BETWEEN GRADE AND THE BOTTOM OF THE BARRIER SHALL BE 2 INCHES (51 MM). THE MAXIMUM VERTICAL CLEARANCE AT THE BOTTOM OF THE BARRIER MAY BE INCREASED TO 4 INCHES (102 MM) WHEN GRADE IS A SOLID SURFACE SUCH AS CONCRETE. THE BARRIER SHALL BE AT LEAST 20 INCHES FROM THE WATER'S EDGE.
- OPENINGS IN THE BARRIER SHALL NOT ALLOW PASSAGE OF A 4 INCH DIAMETER (102 MM) SPHERE. ANY DECORATIVE DESIGN WORK SUCH AS PROTRUSIONS, INDENTATIONS OR CUTOUTS WHICH MAKE THE BARRIER EASILY CLIMBABLE IS PROHIBITED.
- SOLID BARRIERS WHICH DO NOT HAVE OPENINGS, SUCH AS MASONRY OR STONE WALL, SHALL NOT CONTAIN INDENTATIONS OR PROTRUSIONS EXCEPT FOR NORMAL CONSTRUCTION TOLERANCES AND TOOLED MASONRY JOINTS.
- THERE SHALL BE AT LEAST 45 INCHES BETWEEN HORIZONTAL ELEMENTS.
- MAXIMUM MESH SIZE FOR CHAIN LINK FENCES SHALL BE A 2 1/4 INCH (57 MM) SQUARE UNLESS THE FENCE HAS SLATS FASTENED AT THE TOP OR THE BOTTOM WHICH REDUCE THE OPENINGS TO NOT MORE THAN 1 3/4 INCHES (44 MM). CHAIN LINK FENCING SHALL NOT BE LESS THAN 11 GAUGE.
- WHERE THE BARRIER IS COMPOSED OF DIAGONAL MEMBERS, SUCH AS A LATTICE FENCE, THE MAXIMUM OPENING FORMED BY THE DIAGONAL MEMBERS SHALL NOT BE MORE THAN 1 3/4 INCHES (44MM).
- ACCESS GATES SHALL COMPLY WITH THE REQUIREMENTS OF THIS SECTION, ITEMS 1 THROUGH 6, AND SHALL BE EQUIPPED TO ACCOMMODATE A LOOKING DEVICE. PEDESTRIAN ACCESS GATES SHALL OPEN OUTWARD AWAY FROM THE POOL AND SHALL BE SELF-CLOSING AND HAVE A SELF-LATCHING DEVICE. GATES OTHER THAN PEDESTRIAN ACCESS GATES SHALL BE LOCKABLE. WHERE THE RELEASE MECHANISM OF THE SELF-LATCHING DEVICE IS LOCATED LESS THAN 54 INCHES (1372 MM) FROM THE BOTTOM OF THE GATE, THE RELEASE MECHANISM AND OPENINGS SHALL COMPLY WITH THE FOLLOWING:
  - THE RELEASE MECHANISM SHALL BE LOCATED ON THE POOL SIDE OF THE GATE AT LEAST 3 INCHES (76 MM) BELOW THE TOP OF THE GATE; AND
  - THE GATE AND BARRIER SHALL HAVE NO OPENING LARGER THAN 1/2 INCH (13 MM) WITHIN 18 INCHES (457 MM) OF THE RELEASE MECHANISM.
- WHERE A WALL OF A DWELLING SERVES AS PART OF THE BARRIER, ONE OF THE FOLLOWING CONDITIONS SHALL BE MET:
  - IN LIEU OF THE BARRIER BETWEEN THE DWELLING AND THE SWIMMING POOL, THE SWIMMING POOL SHALL BE EQUIPPED WITH A POWERED SAFETY COVER IN COMPLIANCE WITH ASTM F1348; OR
  - DOORS WITH DIRECT ACCESS TO THE POOL THROUGH THAT WALL SHALL BE EQUIPPED WITH AN ALARM WHICH PRODUCES AN AUDIBLE WARNING WHEN THE DOOR AND/OR ITS SCREEN, IF PRESENT, ARE OPENED. THE ALARM SHALL BE LISTED IN ACCORDANCE WITH UL 2017. THE AUDIBLE ALARM SHALL ACTIVATE WITHIN 7 SECONDS AND SOUND CONTINUOUSLY FOR A MINIMUM OF 30 SECONDS AFTER THE DOOR AND/OR ITS SCREEN, IF PRESENT, ARE OPENED AND BE HEARD THROUGHOUT THE HOUSE DURING NORMAL HOUSEHOLD ACTIVITIES. THE ALARM SHALL AUTOMATICALLY RESET UNDER ALL CONDITIONS. THE ALARM SYSTEM SHALL BE EQUIPPED WITH A MANUAL MEANS, SUCH AS TOUCH PAD OR SWITCH, TO TEMPORARILY DEACTIVATE THE ALARM FOR A SINGLE OPENING. DEACTIVATION SHALL LAST FOR NOT MORE THAN 15 SECONDS. THE DEACTIVATION SWITCHES SHALL BE LOCATED AT LEAST 54 INCHES (1372 MM) ABOVE THE THRESHOLD OF THE DOOR; OR
  - OTHER MEANS OF PROTECTION, SUCH AS SELF-CLOSING DOORS WITH SELF-LATCHING DEVICES, WHICH ARE APPROVED BY THE GOVERNING BODY, SHALL BE ACCEPTABLE SO LONG AS THE DEGREE OF PROTECTION AFFORDED IS NOT LESS THAN THE PROTECTION AFFORDED BY ITEM 8.1 OR 8.2 DESCRIBED ABOVE. SELF-CLOSING AND SELF LATCHING DEVICES SHALL BE INSTALLED ON ALL DOORS WITH DIRECT ACCESS TO THE POOL AREA, WITH THE RELEASE MECHANISM LOCATED A MINIMUM OF FIFTY-FOUR INCHES ABOVE THE FLOOR.
- WHERE AN ABOVE-GROUND POOL STRUCTURE IS USED AS A BARRIER OR WHERE THE BARRIER IS MOUNTED ON TOP OF THE POOL STRUCTURE, AND THE MEANS OF ACCESS IS A LADDER OR STEPS:
  - THE LADDER OR STEPS SHALL BE CAPABLE OF BEING SECURED, LOCKED OR REMOVED TO PREVENT ACCESS; OR
  - THE LADDER OR STEPS SHALL BE SURROUNDED BY A BARRIER WHICH MEETS THE REQUIREMENTS OF THIS SECTION, ITEMS 1 THROUGH 9, WHEN THE LADDER OR STEPS ARE SECURED, LOCKED OR REMOVED, ANY OPENING CREATED SHALL NOT ALLOW THE PASSAGE OF A 4 INCH DIAMETER (102 MM) SPHERE.
- PET DOORS WHICH PROVIDE DIRECT ACCESS TO THE POOL AREA ARE PROHIBITED UNLESS THEY MEET THE REQUIREMENTS OF ITEM 2 OR ARE EQUIPPED WITH AN ALARM THAT MEETS ITEM 8.2.
- WINDOWS WITH ACCESS TO THE POOL AREAS WILL BE PROTECTED IN THE FOLLOWING WAYS:
  - EMERGENCY ESCAPE OR RESCUE WINDOWS FROM SLEEPING AREAS WITH ACCESS TO THE SWIMMING POOL WILL BE EQUIPPED WITH A LATCHING DEVICE NOT LESS THAN 54 INCHES (1372 MM) ABOVE THE FLOOR.
  - ALL OTHER OPENABLE WINDOWS WITH SIMILAR ACCESS WILL ALSO BE EQUIPPED WITH A LATCHING DEVICE NOT LESS THAN 54 INCHES (1372 MM) ABOVE THE FLOOR OR SHALL BE EQUIPPED WITH KEY LOCK DEVICE THAT PREVENTS OPENING THE WINDOW MORE THAN 4 INCHES (102 MM).

WALLS SURROUNDING AN INDOOR SWIMMING POOL SHALL COMPLY WITH ITEM B.

BARRIERS SHALL BE LOCATED TO PROHIBIT PERMANENT STRUCTURES, EQUIPMENT OR SIMILAR OBJECTS FROM BEING USED TO CLIMB THEM.

SPAS OR HOT TUBS WITH A SAFETY COVER WHICH COMPLIES WITH ASTM F 1346 SHALL BE EXEMPT FROM THE PROVISIONS OF THIS SECTION.

# FIRE SPRINKLERS

- PROVIDE AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM PER NFPA 13D. (UNDER SEPERATE PERMIT)
- A WATER METER W/ DOMESTIC LINE AS REQUIRED FOR C.O.S. TS & A'S, SECT 8.1.1.3 - RESIDENTIAL FIRE SPRINKLER SYSTEM.
- A SEPARATE PERMIT IS REQUIRED FROM THE FIRE DEPT. FOR FIRE SPRINKLER SYSTEM.
- MEET PROVISIONS OF 2015 IFC AMMENDMENTS - ORD. 4045 AND SRC 36-18 AUTOMATIC FIRE SPRINKLER SYSTEM - SEC. 903.

# JACUZZI TYPE TUB

- PROVIDE REMOVABLE PANEL OF SUFFICIENT SIZE TO ACCESS PUMP.
- CIRCULATION PUMP SHALL BE LOCATED ABOVE THE CROWN WEIR OF THE TRAP.
- PUMP AND CIRCULATION PIPING SHALL BE SELF-DRAINING.
- SUCTION FITTINGS SHALL COMPLY WITH THE LISTED STANDARDS.
- PROVIDE G.F.I. CIRCUIT (N.E.C. ARTICLE 680.70).

## AG104 SPAS AND HOT TUBS.

FOR A NONSELF-CONTAINED AND SELF-CONTAINED SPA OR HOT TUB, PROTECTION SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 103.1.

EXCEPTION: A SELF-CONTAINED SPA OR HOT TUB EQUIPPED WITH A LISTED SAFETY COVER SHALL BE EXEMPT FROM THE REQUIREMENTS OF SECTION 103.1.

# REQUIRED RESIDENTIAL NOTES

- ALL PRODUCTS LISTED BY I.C.C./N.E.R. NUMBER(S) SHALL BE INSTALLED PER THE REPORT AND MANUFACTURER'S WRITTEN INSTRUCTIONS. PRODUCTS SUBSTITUTIONS FOR PRODUCT(S) LISTED SHALL ALSO HAVE AN ICC APPROVED EVALUATION REPORT(S) OR BE APPROVED.
- EXTERIOR WALL, BOTTOM SILL PLATES, SHALL BE PRESSURE TREATED OR EQUAL, AND SHALL BEAR/EXTEND MINIMUM 6" ABOVE FINISH GRADE. (2015 IRC SEC. R317.1)
- MISCELLANEOUS SITE STRUCTURES, POOLS, SPAS, FENCES, SITE WALLS, RETAINING WALLS, AND GAS STORAGE TANKS REQUIRE SEPARATE PERMITS.
- ALL EXITS TO BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE.
- DOORS LEADING INTO HOUSE FROM GARAGE SHALL BE SELF-CLOSING, SELF-LATCHING. (2015 IRC R302.5.1)
- EXTERIOR WALL PENETRATIONS BY PIPES, DUCTS OR CONDUITS SHALL BE CAULKED. (2015 IRC R302.4.1)
- PROVIDE ROOF ATTIC VENTILATION UNLESS INSULATION IS APPLIED DIRECTLY TO UNDERSIDE OF ROOF SHEATHING.
- ENERGY CONSERVATION REQUIREMENTS: CEILING/ATTIC R-VALUE = R-38 (MIN.), FRAME WALL R-VALUE =R-19 (MIN.), MASONRY WALL R-VALUE = R-4 (MIN.), WINDOW U-VALUE = 0.40 (MAX.), SOLAR HEAT GAIN COEFFICIENT = 0.25 (MAX.), SUPPLY AND RETURN AIR DUCT INSULATION VALUE OF R-8/(MIN.)
- LUMBER SHALL BEAR AN APPROVED GRADING STAMP. (R502.1)
- PROVIDE ENGINEERED TRUSS DESIGNS FOR ALL PREFABRICATED TRUSSES FOR REVIEW AND APPROVAL BY THE TOWN OF PARADISE VALLEY
- FIRE BLOCKING SHALL COMPLY WITH (2015 IRC R302.1.1)
- WINDOWS LOCATED MORE THAN 72" ABOVE FINISHED GRADE SHALL HAVE THE LOWEST PART OF CLEAR OPENING OF THE WINDOW TO BE MINIMUM 24 INCHES ABOVE THE FLOOR IN WHICH IT SERVES (R613.2)
- GYPSPUM BOARD APPLIED TO A CEILING SHALL BE 1/2" WHEN FRAMING MEMBERS ARE 16" O.C. OR 5/8" WHEN FRAMING MEMBERS 24" O.C. OR USE LABELED 1/2" SAG-RESISTANT GYPSPUM CEILING BOARD. TABLE R702.3.5 (d)
- SHOWERS AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE (P2708.3)
- SHOWER AREA WALLS SHALL BE FINISHED WITH A SMOOTH, HARD NON-ABSORBENT SURFACE, SUCH AS CERAMIC TILE, TO A HEIGHT OF NOT LESS THAN 72 INCHES ABOVE THE DRAIN INLET. WATER-RESISTANT GYPSPUM BOARD SHALL NOT BE INSTALLED OVER A VAPOR RETARDER IN A SHOWER OR TUB COMPARTMENT. CEMENT, FIBER-CEMENT OR GLASS MAT GYPSPUM BACKERS INSTALLED WITH MANUFACTURER'S RECOMMENDATIONS SHALL BE USED AS BACKERS FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL PANELS IN SHOWER AREAS (R702.3.4)
- PLUMBING FIXTURES SHALL COMPLY WITH THE FOLLOWING CONSERVATION REQUIREMENTS: TABLE P2903.2 WATER CLOSETS- TANK TYPE 1.6 GAL/FLUSH, SHOWER HEAD - 2.5 GAL/MINUTE, FAUCETS - 2.2 GAL/MINUTE PROVIDE AERATOR.
- WATER TREATMENT SYSTEMS - SHALL BE EQUIPPED WITH AND AUTOMATIC SHUTOFF TO PREVENT CONTINUOUS FLOW WHEN NOT IN USE.
- DOMESTIC DISH WASHING MACHINES CONNECTED TO A DISPOSER SHALL HAVE THE DISCHARGE INSTALLED AS HIGH AS POSSIBLE (P2717.3)
- HOT WATER RECIRCULATION PUMPS, PROVIDE A HOT WATER DEMAND CONTROLLED RECIRCULATION PUMP FOR WATER HEATERS LOCATED MORE THAN 20 FEET FROM FURTHEST FIXTURE SERVED. A MANUAL CONTROL OR OCCUPANT SENSOR SWITCH SHALL OPERATE THE PUMP WITH AN AUTOMATIC TEMPERATURE SENSOR SHUT-OFF (M2005.5 AMENDED)
- SUPPLY AND RETURN DUCTS SHALL BE INSULATED TO A MINIMUM R-8. DUCTS IN FLOOR TRUSSES SHALL BE INSULATED TO A MINIMUM R-6 (N1103.2.1)
- REGISTERS, DIFFUSERS AND GRILLES SHALL BE MECHANICALLY FASTENED TO RIGID SUPPORTS OR STRUCTURAL MEMBERS ON AT LEAST TWO OPPOSITE SIDES IN ADDITION TO BEING CONNECTED TO THE DUCTWORK THEY SERVE.
- THE CLOTHES DRYER SHALL BE PROVIDED WITH A 4-INCH DIAMETER EXHAUST DUCT TO THE EXTERIOR AND SHALL NOT EXCEED A TOTAL LENGTH OF 35 FEET, UNLESS AN ENGINEERED DUCT SYSTEM IS PROVIDED (M1501.3)
- EXHAUST AIR FROM KITCHENS, BATHROOMS AND TOILET ROOMS SHALL NOT BE RE-CIRCULATED WITHIN A RESIDENCE OR TO ANOTHER DWELLING UNIT AND SHALL BE EXHAUSTED DIRECTLY TO THE OUTDOORS. EXHAUST AIR FROM KITCHENS, BATHROOMS AND TOILET ROOMS SHALL NOT DISCHARGE INTO AN ATTIC, CRAWL SPACE OR OTHER AREAS INSIDE THE BUILDING. M1506.2
- PROVIDE IC-RATED RECESSED LIGHT FIXTURES INSTALLED IN INSULATED CEILINGS (N1102.4.3)
- FIXTURES LOCATED IN DAMP OR WET LOCATIONS SHALL BE "LISTED" TO BE SUITABLE FOR SUCH LOCATION. (E3903.8)
- PROVIDE GFCI PROTECTION FOR RECEPTACLES WITHIN 6' OF ALL LAVATORIES, SINKS AND BASINS. (E3802.7)
- PROVIDE GFCI PROTECTED RECEPTACLES AT AL EXTERIOR, BATHROOM AND GARAGE LOCATIONS. (E3802.1, 2)
- PROVIDE A WALL MOUNTED GFCI PROTECTED RECEPTACLE OUTLET WITHIN 36" OF A BATHROOM OR POWDER ROOM LAVATORY (E3801.6)
- ALL 120-VOLT BRANCH CIRCUITS IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUN ROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS AND SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A COMBINATION TYPE AFCI (E3802.11)
- RECEPTACLE OUTLETS SHALL BE INSTALLED SO THAT NO POINT ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6 FEET MEASURED HORIZONTALLY, FROM AN OUTLET IN THAT SPACE, INCLUDING ANY WALL SPACE 2 FEET OR MORE IN WIDTH (E3802.2)
- PROVIDE A MINIMUM OF TWO 20-AMP SMALL APPLIANCE BRANCH CIRCUITS FOR THE KITCHEN/DINING/BREAKFAST. (E3803.3)
- THE TWO OR MORE 20-AMPERE SMALL APPLIANCE BRANCH CIRCUITS SHALL HAVE NO OTHER OUTLETS, EXCEPT THE CLOTHES DRYER, INSTALLED FOR ELECTRICAL SUPPLY TO AN ELECTRICAL CLOCK IN THE KITCHEN/DINING/BREAKFAST AREAS OR RECEPTACLES FOR SUPPLEMENTAL EQUIPMENT AND LIGHTING FOR GAS-FIRED RANGES, OVENS OR COUNTER MOUNTED UNITS. (E3803.2)
- RECEPTACLE OUTLETS FOR RANGES AND CLOTHES DRYERS SHALL BE 3-POLE WITH GROUND TYPE. FOUR-WIRE, GROUNDING -TYPE FLEXIBLE CORDS WILL BE REQUIRED FOR CONNECTION OF RANGES AND CLOTHES DRYERS. THE BONDING JUMPER SHALL NOT BE CONNECTED BETWEEN THE NEUTRAL TERMINAL AND THE FRAME OF THE APPLIANCE. FLEXIBLE CORDS SHALL BE USED ONLY WHERE THE FLEXIBLE CORD SUPPLYING AN APPLIANCE SHALL TERMINATE IN A GROUNDING-TYPE ATTACHMENT PLUG. (E4001.3)
- PROVIDE A CONCRETE ENCASED GROUNDING ELECTRODE OF NOT LESS THAN 20 FEET OF #4 BARE COPPER (200 AMPERE SERVICE) (E3508.1, 2)
- PROVIDE BONDING TO THE WATER PIPING, GAS AND METAL BUILDING SYSTEMS. (MINIMUM #4 FOR 200-AMP SERVICE (E3503.1)
- ALL METAL PIPING SYSTEMS, METAL PARTS OF ELECTRICAL EQUIPMENT, AND PUMP MOTORS ASSOCIATED WITH THE HYDRO MASSAGE TUB SHALL BE BONDED TOGETHER USING A COPPER BONDING JUMPER, INSULATED, COVERED, OR BARE, NOT SMALLER THAN NO. 8 SOLID. METAL PARTS OF LISTED EQUIPMENT INCORPORATING AN APPROVED SYSTEM OF DOUBLE INSULATION AND PROVIDING A MEANS FOR GROUNDING INTERNAL NON-ACCESSIBLE, NON-CURRENT-CARRYING METAL PARTS SHALL NOT BE BONDED (E4102.2, 4)
- R607.2.1 MASONRY BED AND HEAD JOINTS, SHALL BE 3/8" THICK. THE THICKNESS OF THE BED JOINT OF THE STARTING COURSE PLACED OVER FOUNDATIONS SHALL NOT BE LESS THAN 1/4" INCH AND NOT MORE THAN 3/4 INCH. MORTAR JOINT THICKNESS SHALL BE WITHIN THE FOLLOWING TOLERANCES FROM THE SPECIFIED DIMENSIONS:
  - BED JOINT + 1/8 INCH
  - HEAD JOINT: 1/4 INCH + 3/8 INCH
  - COLLAR JOINTS: 1/4 INCH +3/8 INCH
- PROVIDE COMBUSTION AIR TO ALL FIREPLACES IN ALL LOCATIONS WITH AIR INTAKE LOCATED AT AN ELEVATION NO HIGHER THAN THE FIREBOX. (R1006.1)

# PERSPECTIVE VIEW



# GENERAL NOTES

- BUILDING CODE DESIGN DATA - ALL CONSTRUCTION WITHIN PARADISE VALLEY SHALL COMPLY WITH THE FOLLOWING CODES AND AMMENDMENTS PER THEIR ADOPTING ORDINANCES:

2015 INTERNATIONAL BUILDING CODE	2015 INTERNATIONAL RESIDENTIAL CODE	2015 INTERNATIONAL FIRE CODE	2015 INTERNATIONAL PLUMBING CODE	2015 INTERNATIONAL MECHANICAL CODE	2014 NATIONAL ELECTRICAL CODE	2015 INTERNATIONAL PROPERTY MAINTENANCE CODE	2015 INTERNATIONAL ENERGY CONSERVATION CODE	2015 INTERNATIONAL FUEL GAS CODE
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- CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA - TABLE R301.2 (1) AMENDED

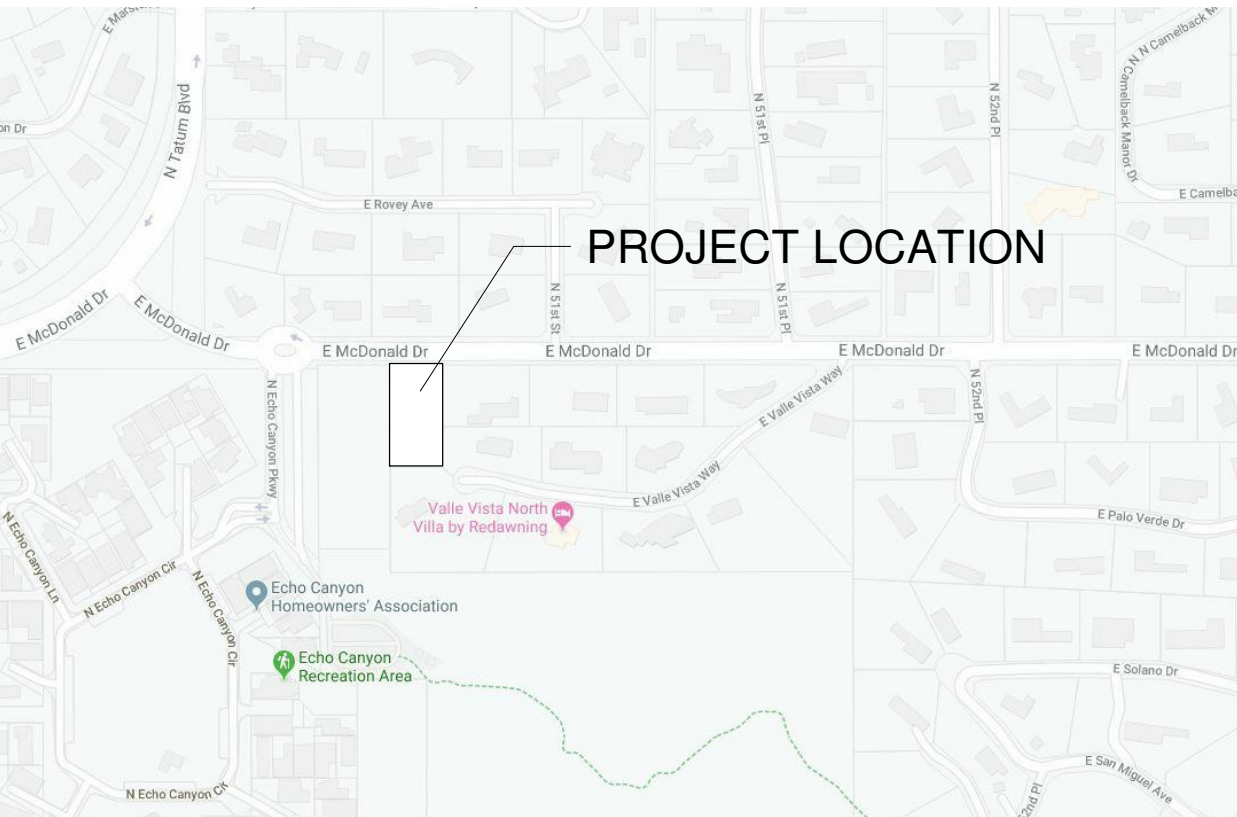
ROOF SNOW LOAD	WIND	SEISMIC DESIGN CATEGORY 1-6	SUBJECT TO DAMAGE FROM WEATHERING <sup>1</sup>	FROST LINE DEPTH <sup>2</sup>	TERMITES <sup>3</sup>	DECAY <sup>4</sup>	WINTER DESIGN TEMP. <sup>5</sup>	FLOOD HAZARDS <sup>6</sup>
	SPEED <sup>7</sup> (MPH)							
0	115 EXPOSURE B	B	NEGIGABLE	12" BELOW FINAL GRADE	MODERATE TO HEAVY	NONE TO SLIGHT	34 DEGREES	NFIP 040049
- DRAWINGS MAY NOT BE SCALED. ALL DIMENSIONS RELATED TO DETAILS NOT SPECIFICALLY SHOWN, SHALL BE OF THE SAME NATURE AS OTHER SIMILAR CONDITIONS. VERIFY ALL DIMENSIONS PRIOR TO STARTING WORK.
- THE CONTRACTOR SHALL NOTIFY BOWMAN DESIGN GROUP OF ANY DISCREPANCIES ON DRAWINGS. REQUIRING CLARIFICATION OR REVISIONS PRIOR TO COMMENCING WITH WORK.
- ALL CHIMNEYS SHALL HAVE APPROVED SPARK ARRESTORS.
- ANY ENGINEERING DESIGN PROVIDED BY OTHERS AND SUBMITTED FOR REVIEW, SHALL BEAR THE SEAL AND SIGNATURE OF AN ENGINEER REGISTERED IN ARIZONA.
- FINISH FLOOR ELEVATION (AS BUILT) SHALL BE CERTIFIED BY THE CITY FOR THE FEDERAL EMERGENCY MANAGEMENT ASSOCIATION WHERE REQUIRED.
- OPTIONS ARE FOR THE CONTRACTORS CONVENIENCE. THEY SHALL BE RESPONSIBLE FOR ALL CHANGES NECESSARY IF THEY CHOOSE AN OPTION AND SHALL COORDINATE ALL DETAILS. THE COST OF ADDITIONAL DESIGN WORK NECESSITATED BY SELECTION OF AN OPTION SHALL BE BORNE BY THE CONTRACTOR.
- THE COST OF ADDITIONAL DESIGN WORK DUE TO ERRORS OR OMISSIONS IN CONSTRUCTION SHALL BE INCURRED BY THE CONTRACTOR.
- DETAILS ON THE STRUCTURAL DRAWINGS ARE TYPICAL. VERIFY ALL DIMENSIONS WITH THE DESIGNER'S DRAWINGS. NO STRUCTURAL CHANGES FROM THE APPROVED PLANS SHALL BE MADE IN THE FIELD, UNLESS PRIOR TO MAKING CHANGES, WRITTEN APPROVAL IS OBTAINED FROM THE ENGINEER. IF CHANGES ARE MADE WITHOUT APPROVAL, SUCH CHANGES SHALL BE THE LEGAL AND FINANCIAL RESPONSIBILITY OF THE CONTRACTOR OR SUBCONTRACTOR INVOLVED AND IT SHALL BE THEIR RESPONSIBILITY TO REPLACE OR REPAIR PER ENGINEER.

# SCOPE OF WORK

## SCOPE OF WORK

THIS PROJECT IS AN EXISTING SINGLE STORY 4 BEDROOM PLUS STUDY, 2 AND A HALF BATHROOM, 2 CAR GARAGE RESIDENTIAL BUILDING THAT IS TO BE REMODELED WITH AN ADDITION TO BE A 3 BEDROOM PLUS STUDY, 3 BATHROOM, 4 CAR GARAGE RESIDENTIAL BUILDING.

# VICINITY MAP



# SQUARE FOOTAGES

EXISTING LIVABLE:	3,032 SF
NEW LIVABLE:	637 SF
TOTAL LIVABLE:	3,669 SF
EXISTING GARAGE/MECH:	553 SF
NEW GARAGE:	509 SF
TOTAL GARAGE/MECHANICAL:	1,062 SF
EXISTING COVERED PATIOS (FRONT/BACK):	272 SF
NEW COVERED PATIOS:	576 SF
TOTAL COVERED PATIOS:	848 SF
TOTAL UNCOVERED PATIO:	280 SF
OVERHANGS:	260 SF

NET LOT AREA:	1.01 ACRES = 43,573 SF
ALLOWABLE F.A.R. (25%)	10,893 SF
PROPOSED LOT COVERAGE:	6,119 SF
TOTAL FLOOR AREA RATIO:	14.0%

# SHEET INDEX

- A0.1 COVER SHEET
- A1.0 DEMO PLAN
- GD100 GRADING AND DRAINAGE PLAN
- L1 LANDSCAPE PLAN
- L2 LANDSCAPE PLAN
- A0.2 LAND SURVEY
- A0.3 PROPERTY PHOTOS
- A0.4 PROPERTY RENDERINGS
- A0.5 SITE CROSS SECTIONS
- A0.6 MATERIAL BOARD
- A1.1 ARCH. SITE PLAN
- A1.1a ARCH. SITE PLAN
- A1.1b ARCH. SITE PLAN
- A1.1c LIGHTING PLAN
- A1.2 OPEN SPACE DIAGRAM
- A1.3 OPEN SPACE SECTIONS
- A2.1 FLOOR PLAN
- A3.1 REFLECTED CEILING PLAN
- A4.1 ROOF PLAN
- A5.1 BUILDING SECTIONS
- A6.1 EXTERIOR ELEVATIONS
- A8.1 DOOR & WINDOW SCHEDULE
- A9.1 DOOR & WINDOW DETAILS
- E2.1 ELECTRIC PLAN

BOWMAN  
DESIGN  
GROUP

ARCHITECTURE | PLANNING | DESIGN

## OWNER

JOHN MITCHELL  
5001 E McDONALD DR  
PARADISE VALLEY, AZ 85253  
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## ARCHITECTURE

BOWMAN DESIGN GROUP  
7150 E CAMELBACK RD, SUITE 444  
SCOTTSDALE, AZ 85251  
480.702.3900  
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## CIVIL ENGINEER

WERK URBAN DESIGN  
455 N 3RD ST, SUITE 1010  
PHOENIX, AZ 85004  
602.429.9922 EXT: 700  
NEIL@WERKURBANDESIGN.COM

## MPE ENGINEER

EFFICIENCY MECHANICAL  
P.O. BOX 718  
GILBERT, AZ 85299  
480.497.5178  
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## CONTRACTOR

RAINMAKER CONSTRUCTION/AVOMOS  
2802 E WASHINGTON ST  
PHOENIX, AZ 85034  
480.265.7434  
TONY@AVOMOS.COM

## ZONING:

R-43

## APN:

172-04-009

## SITE AREA:

43,573 (1.01 AC.)

## LEGAL ADDRESS: 5001 E McDONALD DR.

PARADISE VALLEY, AZ 85253

## REV #

## DATE

CAMELBACK  
ESTATE

COVER SHEET

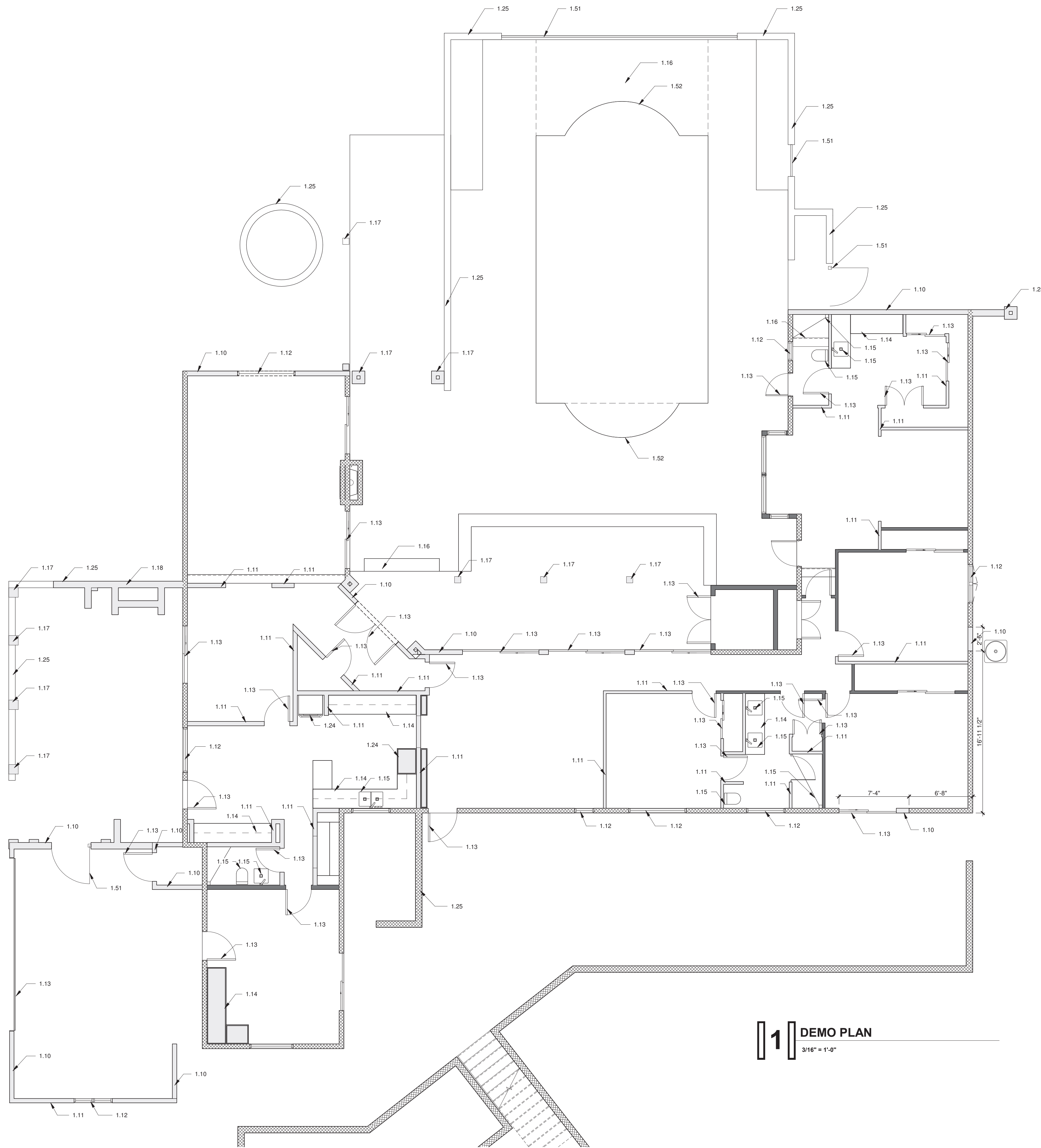
Project number	19-12
Date	4/08/2020
Drawn by	DJB
Checked by	DJB

A0.1

Scale	1/2" = 1'-0"
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KEYNOTES

- 1.10 DEMO EXISTING EXTERIOR WALL - BRACE/SHORE AS REQUIRED - LOWER STEM AS REQUIRED  
1.11 DEMO EXISTING INTERIOR WALL  
1.12 DEMO EXISTING WINDOW  
1.13 DEMO EXISTING DOOR, FRAME, AND ASSOCIATED HARDWARE  
1.14 DEMO EXISTING MILLWORK/ SHELVING  
1.15 DEMO EXISTING FIXTURE - CAP ALL DRAINS AS REQUIRED  
1.16 DEMO EXISTING CONCRETE AS INDICATED  
1.17 DEMO EXISTING POST/ COLUMN-VERIFY WITH STRUCTURAL  
1.18 DEMO EXISTING FIREPLACE  
1.24 DEMO EXISTING APPLIANCE  
1.25 DEMO EXISTING LOW WALL, SITE WALL, PLYNTH, STOOP  
1.51 DEMO EXISTING EXTERIOR GATE OR RAILING  
1.52 PARTIAL DEMO OF EXISTING POOL, COORDINATE WITH NEW DESIGN



**1** DEMO PLAN  
3/16" = 1'-0"



FOR: SCHEMATIC DESIGN

REV # DATE

CAMELBACK  
ESTATE

DEMO PLAN

Project number 19-12

Date 01/09/2020

Drawn by DJB

Checked by DJB

A1.0

Scale As indicated

1. PRIOR TO THE FIRST INSPECTION OF STRUCTURES WITHIN 3 FEET OF A SETBACK LINE, THE PROPERTY PINS SHALL BE PLACED BY A REGISTERED CIVIL ENGINEER OR LAND SURVEYOR OF THE STATE OF ARIZONA, AND THE PROPERTY LINE(S) IDENTIFIED.

2. WHERE EXCAVATION IS TO OCCUR THE TOP 4" OF EXCAVATED NATIVE SOIL SHALL REMAIN ON THE SITE AND SHALL BE REUSED IN A MANNER THAT TAKES ADVANTAGE OF THE NATURAL SOIL SEED BANK IT CONTAINS.

3. ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL MUNICIPALITY UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS.

4. THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL, STATE, AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO THE CONSTRUCTION COVERED BY THIS PLAN.

5. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.

6. ALL EXTERIOR SITE LIGHTING SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS FOR TYPE, LOCATION, HEIGHT, WATTAGE, AND LUMEN BASED UPON THE FIXTURES INSTALLED PURSUANT TO SECTION 1023 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCE FOR NON-HILLSIDE PROPERTIES. SECTION 2208 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCE FOR HILLSIDE PROPERTIES, OR AS SPECIFIED IN THE SPECIAL USE PERMIT FOR SPECIAL USE PERMIT PROPERTIES.

7. A DUST CONTROL PLAN AND PERMIT MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATION, AS AMENDED, IS REQUIRED.

8. A SEPARATE RIGHT-OF-WAY PERMIT IS NECESSARY FOR ANY OFF-SITE CONSTRUCTION.

9. AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.

10. EAVE PROJECTIONS INTO REQUIRED SETBACKS ARE LIMITED TO A MAXIMUM OF 24" PURSUANT TO SECTION 1008 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES.

11. ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.

12. ALL NEW AND EXISTING ELECTRICAL SERVICE LINES SHALL BE BURIED PER THE TOWN OF PARADISE VALLEY REQUIREMENTS.

13. THE CONTRACTOR SHALL BE RESPONSIBLE OF THE PERMITTEE TO ARRANGE FOR THE RELOCATION AND RELOCATION COSTS OF ALL UTILITIES, AND TO SUBMIT A UTILITY RELOCATION SCHEDULE PRIOR TO THE ISSUANCE OF AN ENGINEERING CONSTRUCTION PERMIT.

14. EXISTING AND/OR NEW UTILITY CABINETS AND PEDESTALS SHALL BE LOCATED A MINIMUM OF 4' BEHIND ULTIMATE BACK OF CURB LOCATION.

15. POOL, SPA, BARBECUE AND ANY PROPOSED STRUCTURES OVER 8' ABOVE GRADE REQUIRE SEPARATE PERMIT APPLICATIONS.

16. POOLS SHALL BE CONSTRUCTED BY SEPARATE PERMIT AND SECURED FROM UNWANTED ACCESS PER TOWN CODE, ARTICLE 5-2.

17. ALL FILL MATERIAL UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95%.

18. SETBACK CERTIFICATION IS REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO STEM WALL RELOCATION.

19. FOR BUILDING PADS THAT HAVE 1' OR MORE OF FILL MATERIAL, SOILS COMPACTION TEST RESULTS ARE REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO PRE-SLAB INSPECTION.

20. FINISHED FLOOR ELEVATION CERTIFICATION IS REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO FRAMING INSPECTION.

21. MAIL BOXES SHALL COMPLY WITH THE TOWN OF PARADISE VALLEY STANDARDS FOR MAIL BOXES IN THE RIGHT-OF-WAY FOR HEIGHT, WIDTH AND BREAK AWAY FEATURES.

22. ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE.

23. TRENCHE BEDDING AND SHADING SHALL BE FREE OF ROCKS AND DEBRIS.

24. THE TOWN WILL ONLY APPROVE THE SCOPE OF WORK AND NOT THE ENGINEERING DESIGN. ANY CONSTRUCTION QUANTITIES SHOWN ARE NOT VERIFIED BY THE TOWN.

25. THE APPROVAL OF THE PLANS IS VALID FOR 180 DAYS. IF A PERMIT FOR CONSTRUCTION HAS NOT BEEN ISSUED WITHIN 180 DAYS, THE PERMIT MUST BE RENEWED.

26. A TOWN INSPECTOR WILL INSPECT ALL WORK WITHIN THE TOWN'S RIGHTS-OF-WAY. NOTIFY TOWN INSPECTION SERVICES TO SCHEDULE A PRECONSTRUCTION MEETING PRIOR TO STARTING CONSTRUCTION.

27. WHENEVER EXCAVATION IS NECESSARY, CALL ARIZONA811 BY DIALING 811 OR 602-263-1100, TWO (2) WORKING DAYS BEFORE EXCAVATION BEGINS.

28. EXCAVATIONS SHALL COMPLY WITH REQUIREMENTS OF OSHA EXCAVATION STANDARDS (29 CFR, PART 1926, SUBPART P). UNDER NO CIRCUMSTANCES WILL THE CONTRACTORS BE ALLOWED TO WORK IN A TRENCH LOCATED WITHIN THE TOWN'S RIGHT-OF-WAY WITHOUT PROPER SHORING OR EXCAVATION METHODS.

29. THE PROPERTY HOLDER SHALL POST A 6 SQUARE FOOT (2'X3') IDENTIFICATION SIGN, MADE OF DURABLE MATERIAL, IN THE FRONT YARD OF SUBJECT PROPERTY AND NOT IN THE TOWN'S RIGHT-OF-WAY. THE SIGN MAY NOT EXCEED A MAXIMUM OF 6 FEET IN HEIGHT FROM GRADE TO TOP OF THE SIGN. THE SIGN MUST INCLUDE THE PERMITTEE OR COMPANY NAME, PHONE NUMBER, TYPE OF WORK, ADDRESS OF PROJECT AND TOWN CONTACT NUMBER, 480-348-3556.

30. WHEN DEEMED NECESSARY, A 6-FOOT HIGH CHAIN LINK FENCE MUST BE INSTALLED AROUND THE CONSTRUCTION AREA TO PREVENT ANY POTENTIAL SAFETY HAZARD FOR THE PUBLIC. THE FENCE SHALL BE SETBACK AT LEAST 10 FEET FROM ALL RIGHTS-OF-WAY AND HAVE A 50-FOOT STREET CORNER SITE TRIANGLE WHERE APPLICABLE.

31. CLEAR ACCESS FOR NEIGHBORING PROPERTIES AND EMERGENCY VEHICLES MUST BE MAINTAINED AT ALL TIMES. CONSTRUCTION RELATED VEHICLES MUST BE LEGALLY PARKED ONLY ON ONE SIDE OF THE STREET OR JOB SITE PROPERTY.

32. ALL CONSTRUCTION DEBRIS AND EQUIPMENT MUST BE CONTAINED ON SITE AT ALL TIMES. CONTRACTOR AND PROPERTY OWNER MUST MAINTAIN THE JOB SITE FREE OF LITTER AND UNSIGHTLY MATERIALS AT ALL TIMES. CONSTRUCTION MATERIALS ARE PROHIBITED IN THE TOWN'S RIGHT-OF-WAY.

33. CONSTRUCTION ACTIVITIES ARE PERMITTED BETWEEN THE HOURS OF 7 AM AND 5 PM MONDAY THROUGH CONSTRUCTION ACTIVITIES MAY START ONE (1) HOUR EARLIER DURING THE SUMMER (MAY 1ST THROUGH SEPTEMBER 30TH).

34. THE USE AND OPERATION OF FUEL-FIRED GENERATORS IS PROHIBITED UNLESS DUE TO A HARDSHIP, TOWN APPROVAL SHALL BE REQUIRED.

35. THE CONTRACTOR AND PROPERTY OWNER SHALL BE LIABLE FOR ANY DAMAGE DONE TO ANY PUBLIC PROPERTY AS A RESULT OF ANY CONSTRUCTION OR CONSTRUCTION RELATED ACTIVITIES. NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL AFFECTED RIGHTS-OF-WAY ARE CLEANED AND/OR REPAIRED TO THEIR ORIGINAL CONDITION AND UNTIL ANY AND ALL DAMAGES TO AFFECTED PROPERTIES ARE RESTORED TO ORIGINAL CONDITION.

36. A KEYED SWITCH SHALL BE REQUIRED ON ALL NEW AND EXISTING ELECTRIC ENTRY GATES. THE KEYED SWITCH SHALL BE INSTALLED IN A LOCATION THAT IS READILY VISIBLE AND ACCESSIBLE. KNOX BOX ORDER FORMS ARE AVAILABLE AT THE TOWN'S BUILDING SAFETY DEPARTMENT.

37. PROPERTY OWNER, BUILDER, OR GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR CONTROLLING DUST FROM THE SITE AT ALL TIMES. ALL MEANS NECESSARY SHALL BE USED BY THE BUILDER OR GENERAL CONTRACTOR TO CONTROL THE EXISTENCE OF DUST CAUSED BY ANY EARTHWORK, SPRAY APPLICATION OF MATERIALS, OR OTHER PRACTICES REQUIRED BY THE CONSTRUCTION PROCESS.

38. APPROVAL OF THESE PLANS ARE FOR PERMIT PURPOSES ONLY AND SHALL NOT PREVENT THE TOWN FROM REQUIRING CORRECTION OF ERRORS IN THE PLANS WHERE SUCH ERRORS ARE SUBSEQUENTLY FOUND TO BE IN VIOLATION OF ANY LAW, ORDINANCE, HEALTH, SAFETY, OR OTHER DESIGN ISSUES.

39. ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTION DITCHES, PIPES PROTECTIVE BERMS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT PROPOSED AND EXISTING IMPROVEMENTS FROM RUNOFF OR DAMAGE FROM STORM WATER, MUST BE CONSTRUCTED PRIOR TO THE CONSTRUCTION OF ANY IMPROVEMENTS.

**SITE PLAN INFORMATION - PROPOSED BUILDING:**

NET AREA OF LOT: 43,573 SQ. FT. 1.01 AC TOTAL UNDER ROOF 5,999 SF  
FLOOR AREA RATIO: 13.8% (TOTAL FLOOR AREA/NET AREA OF LOT)  
BUILDING SITE SLOPE: 13.74%  
A. VERTICAL 40 FT  
B. HORIZONTAL 291 FT  
ALLOWABLE DISTURBED PERCENTAGE: 38.21%  
ALLOWABLE DISTURBED AREA: 16,649 SF  
GROSS DISTURBED AREA: 37,596 SF  
TOTAL LIVABLE FOOTPRINT: 3,669 SF - CREDIT AREA: 3,669 SF  
ATTACHED GARAGE FOOTPRINT: 1,062 SF - CREDIT AREA: 1,062 SF  
DRIVEWAY CREDIT @ 100%: 2,444 SF, NO NEW ASPHALT AREAS - CREDIT AREA: 2,444 SF  
RETENTION BASIN CREDIT @ 50%: 1,336 SF - CREDIT AREA: 668 SF  
RESTORED AREAS: 8,756 SF - CREDIT AREA: 8,756 SF  
ASPHALT DRIVEWAY @ 150%: 1,814 SF - CREDIT AREA: (2,721 SF)  
NET PROPOSED DISTURBED AREA: 23,716 SF (54.4%)

PERCENT OF LOT STEEPER THAN NATURAL GRADE (5% MAX) 3%  
VOLUME OF CUT 75 C.Y. VOLUME OF FILL 75 C.Y.  
HILLSIDE ASSURANCE @ \$35/CUBIC YARD OF CUT + FILL \$6,633

NET AREA OF LOT: 43,573 SQ. FT. 1.01 AC TOTAL UNDER ROOF 5,999 SF  
FLOOR AREA RATIO 13.8% (TOTAL FLOOR AREA/NET AREA OF LOT)  
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VOLUME OF CUT 75 C.Y. VOLUME OF FILL 75 C.Y.  
HILLSIDE ASSURANCE @ \$35/CUBIC YARD OF CUT + FILL \$6,633

DRIVEWAY:  
AREA: 1,814 SF ASPHALT; 2,444 SF PAVERS  
MATERIAL: ASPHALT & PAVERS

5001 E MCDONALD DRIVE  
PARADISE VALLEY, ARIZONA, 85253

JOHN MITCHELL  
5001 E MCDONALD DRIVE  
PARADISE VALLEY, AZ 85253  
480.760.5727  
IUMITCHELL02@YAHOO.COM  
CONTACT: JOHN MITCHELL

WERK URBAN DESIGN  
51 W 3RD ST, SUITE 450  
TEMPE, AZ 85281  
480.200.7187  
NEIL@WERKURBANDESIGN.COM  
CONTACT: NEIL HUCKLA

ADDRESS: 5001 E MCDONALD DR  
APN 172-04-009  
ZONING R-43  
AREA 43,573 SF (1.00 ACRES)  
CONSTRUCTION YEAR: 1963

NOTE: FOR ESTIMATING PURPOSES ONLY; ENGINEER MAKES NO WARRANTY OF ACCURACY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE EXACT QUANTITIES BASED ON THE PLANS. QUANTITIES DO NOT INCLUDE ANY TOPSOIL REMOVAL; ANY SHRINKAGE OR EXPANSION/SWELLING OF THE SOIL; OR WHETHER SOIL CAN BE REUSED ON-SITE. ASSUMED 4" CONCRETE SLAB AND 4" ABC ARE NOT INCLUDED IN VOLUME QUANTITIES.

CUT	75 CY
FILL	75 CY
NET	0 CY FILL

LOT 6, OF MIRADOR, ACCORDING TO THE PLAT  
RECORD IN THE OFFICE OF THE COUNTY RECORDER  
OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK  
67 OF MAPS, PAGE 15.

FRONT	40 FT
REAR	40 FT
SIDE	20 FT

THE MONUMENT LINE OF MCDONALD DRIVE, USING A BEARING OF SOUTH 89 DEGREES 43 MINUTES 30 SECONDS WEST, PER THE PLAT OF MIRADOR, RECORDED IN BOOK 67, PAGE 15, M.C.R.

BRASS CAP IN HANDHOLE FOUND AT THE  
NORTHWEST CORNER OF SECTION 17, TOWNSHIP 2N,  
RANGE 4E.  
ELEVATION = 1337.90 (NAV 88 DATUM)

FIELD SURVEY CONDUCTED BY KDM SURVEYING, LLC  
ON 07-18-19

PRE V POST  
 $V = C \cdot (P/12) \cdot A$   
 $V_{pre} = 0.95 \cdot (2.21/12) \cdot 13,920 + 0.85 \cdot (2.21/12) \cdot 29,653 = 7,077 \text{ CUBIC FT}$   
 $V_{post} = 0.95 \cdot (2.21/12) \cdot 16,420 + 0.85 \cdot (2.21/12) \cdot 27,153 = 7,123 \text{ CUBIC FT}$

FIRST FLUSH  
 $V_{ff} = (P/12) \cdot A$   
 $V_{ff} = (0.5/12) \cdot 43,573 = 1,816 \text{ CUBIC FT}$

RETENTION PROVIDED:  
 $V_p = (1,336 + 15) / 2 * 3 = 2,026$  CUBIC FT

WASH FLOW VOLUME:  
 $Q = ciA = 0.5 \times 2.21 \times 4,566 \text{ SF} = 0.12 \text{ CFS}$

THE FINISHED FLOOR ELEVATIONS OF 1394.80 ON THIS PLAN ARE CERTIFIED TO BE 12" ABOVE THE 100-YEAR STORM OUTFALL ELEVATION OF 1369.50, ACCORDING TO SECTION 1024, PARAGRAPH V OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCE.

*W. D. H.*

57431  
REGISTRATION NUMBER

REVIEWED AND APPROVED:

PARADISE VALLEY TOWN ENGINEER

DATE:



- 1 EXISTING PAVED ROAD
- 2 EXISTING RETAINING WALL
- 3 EXISTING ASPHALT PAVEMENT
- 4 NEW ADDITION TO EXISTING RESIDENCE


ETW - EXISTING TOP OF WALL  
EBW - EXISTING BOTTOM OF WALL  
TW - TOP OF WALL  
BW - BOTTOM OF WALL

1. WATER - EPCOR
2. SANITARY SEWER - SEPTIC
3. ELECTRIC - APS
4. TELEPHONE - COX COMMUNICATIONS
5. NATURAL GAS - SOUTHWEST GAS
6. CABLE TV - COX COMMUNICATIONS

1. ULTIMATE STORM WATER OUTFALL LOCATIONS AND ELEVATIONS SHOWN ON DRAWING
2. PROPOSED DEVELOPMENT DOES NOT IMPACT DRAINAGE CONDITIONS OF ADJOINING LOTS
3. RETENTION IS PROVIDED FOR THE 100-YEAR, 2-HOUR STORM EVENT PER THE STORM WATER DRAINAGE DESIGN MANUAL
4. THE LOWEST FINISH FLOOR ELEVATION OF 1394.80 IS SAFE FROM INUNDATION DURING A 100-YEAR PEAK RUN-OFF EVENT IF CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS.

1. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL ALL HILLSIDE STIPULATIONS AND ALL TOWN CODE REQUIREMENTS ARE COMPLIED INCLUDING, BUT NOT LIMITED TO LANDSCAPING, GROUND RESTORATION, FIRE FLOW, FIRE SAFETY AND ALL ONSITE AND OFFSITE IMPROVEMENTS.
2. ALL OUTDOOR LIGHTING SHALL BE IN CONFORMANCE WITH ARTICLE XXII OF THE TOWN ZONING ORDINANCE.
3. ALL EXCESS FILL MATERIAL SHALL BE REMOVED FROM THE SITE WITH NO NEW SPILL SLOPES.
4. THE USE OF HYDRAULIC RAM HAMMERS AND HEAVY EQUIPMENT USED TO CUT THROUGH ROCK, INCLUDING MACHINERY WITH AUDIBLE BACK UP WARNING DEVICES SHALL BE LIMITED TO USE BETWEEN THE HOURS OF 7:00 AM OR SUNRISE, WHICHEVER IS LATER, AND 6:00 PM OR SUNSET, WHICHEVER IS EARLIER, MONDAY THROUGH FRIDAY, WITH LIMITED WORK ON SATURDAY AND NO WORK ON SUNDAY OR LEGAL HOLIDAYS.
5. CONSTRUCTIONS STAKING AND/OR FENCING SHALL BE PLACED AROUND THE CONSTRUCTION SITE SO AS TO PROTECT THE UNDISTURBED NATURAL AREAS.
6. REQUIRE LIMITED AND EFFICIENT USE OF EXTERIOR LIGHTING TO MAINTAIN MINIMAL NIGHT-TIME LIGHTING LEVELS AND PRESERVATION OF THE DARK SKY.

ALL NATIVE PLANTS IMPACTED BY CONSTRUCTION SHALL BE RELOCATED ON SITE.

<div>5001 E McDONALD DR PARADISE VALLEY, AZ 85253 PREPARED FOR <b>BOWMAN DESIGN</b> PARADISE VALLEY ARIZONA</div>				
PROJECT No. <b>19020</b>				
SCALE (H):	1" = 20'			
SCALE (V):	NONE			
DRAWN BY:	NH			
DESIGN BY:	NH			
CHECK BY:	NH			
DATE:	05/16/2020			
<div><div>57431 NEIL S. HUKLA (Date Signed 05/06/20) ARIZONA, USA Exp. Date 06/30/20</div></div>				
19020GD.dwg				
GD100				
1 OF 1 SHEETS				

# HILLSIDE GRADING AND DRAINAGE PLAN

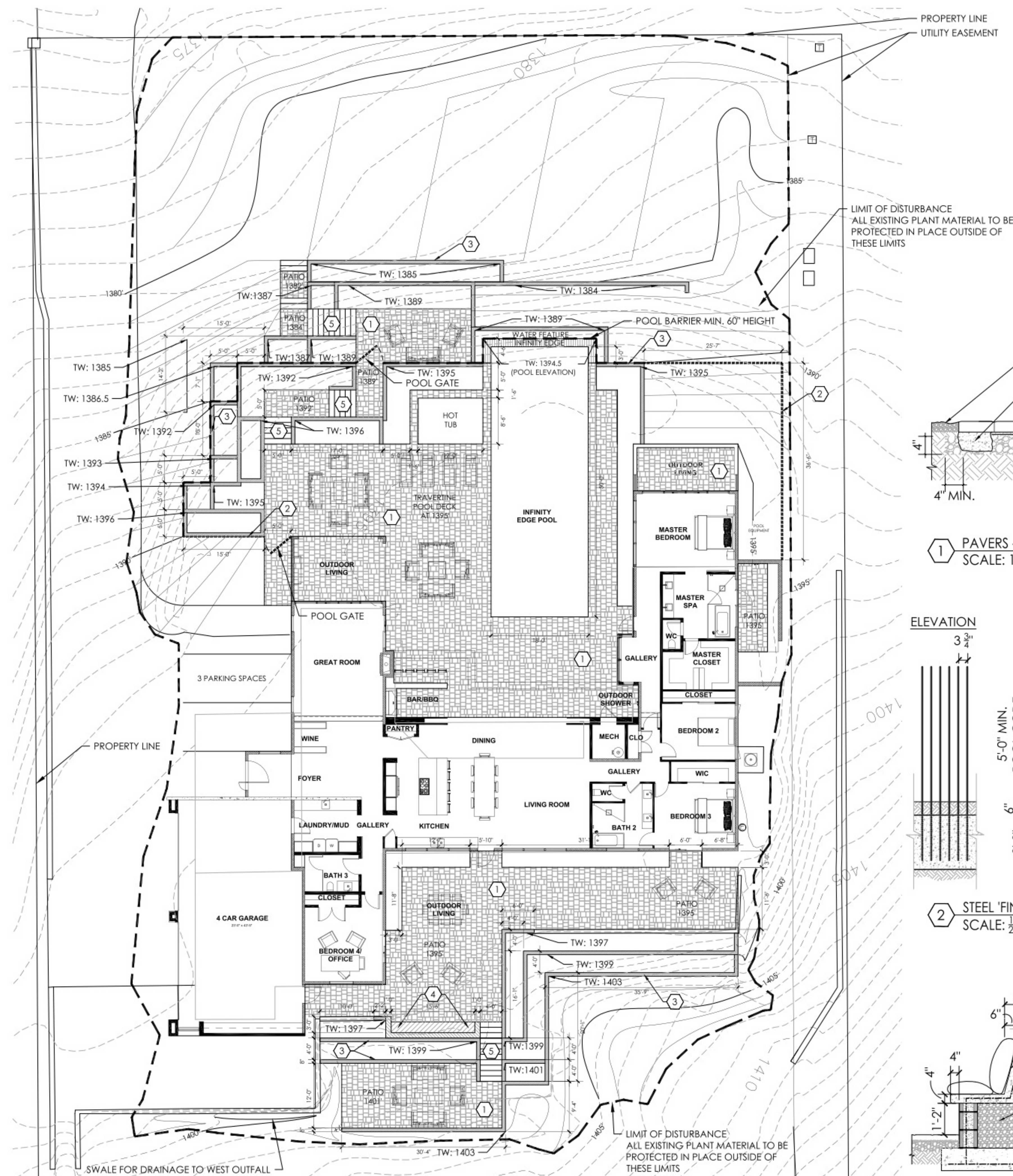
5001 E McDONALD DR  
PARADISE VALLEY, AZ 85253  
PREPARED FOR  
**BOWMAN DESIGN**

PROJECT N  
19020

SCALE (H):	1" = 20'
SCALE (V):	NONE
DRAWN BY:	HS
DESIGN BY:	NH
CHECK BY	NH
DATE:	05/16/2020

GD100  
1 OF 1 SHEET

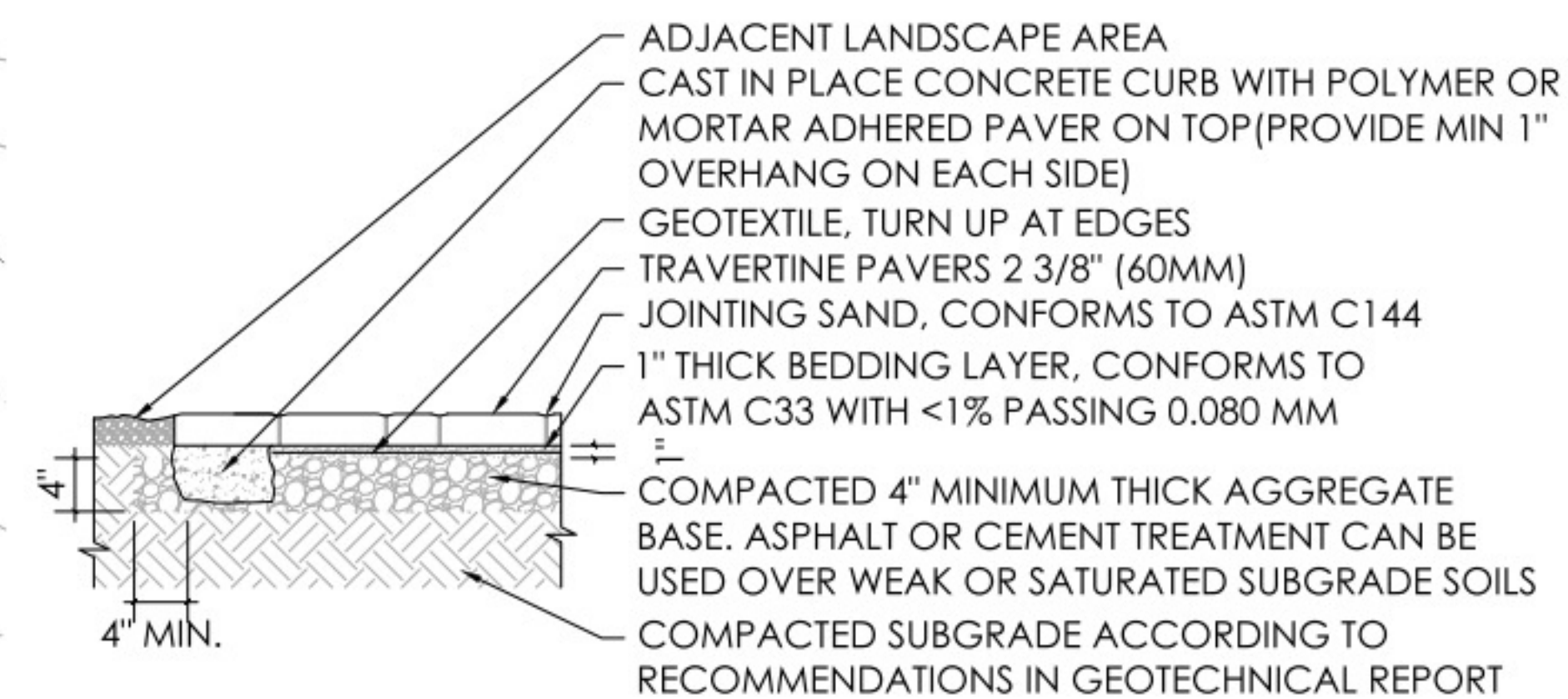
GD100  
OF 1 SHE



## KEYNOTES

- PAVERS - TRAVERTINE - MSI SURFACES - SILVER TRAVERTINE  
SEE DETAIL 1 & MATERIALS BOARD FOR ADDITIONAL INFO
  - STEEL 'FIN' POOL FENCE - RAW STEEL - NATURAL RUST PATINA FINISH  
SEE DETAIL 2 & MATERIALS BOARD FOR ADDITIONAL INFO
  - RETAINING WALL - 8" X 8" X 16" CMU BLOCK - SW NOR'EASTER HGSW1444  
SEE DETAIL 3 & MATERIALS BOARD FOR ADDITIONAL INFO
  - SEAT BENCH - FINE SAND STUCCO FINISH - SW NOR'EASTER HGSW1444  
SEE DETAIL 4 & MATERIALS BOARD FOR ADDITIONAL INFO
  - CONCRETE STAIRS  
SEE DETAIL 5 & MATERIALS BOARD FOR ADDITIONAL INFO
- TW: TOP OF RETAINING WALL ELEVATION

## DETAILS

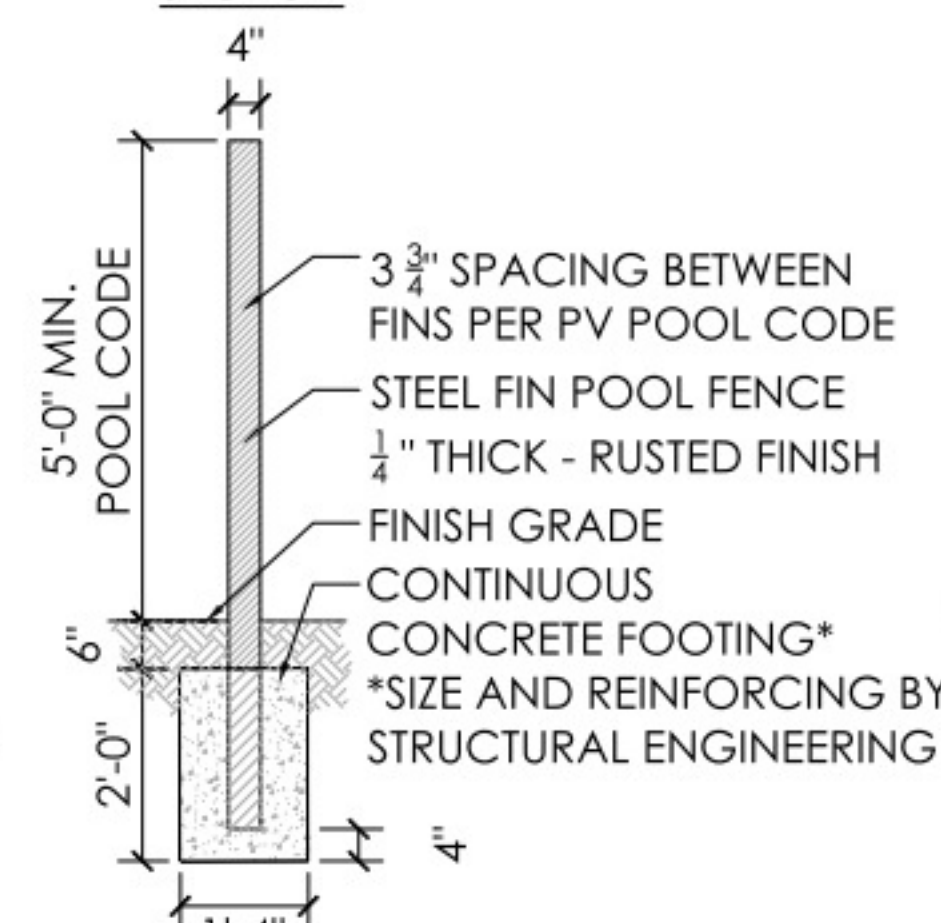


- PAVERS - TRAVERTINE - 3 PIECE BLEND - MSI SURFACES - SILVER TRAVERTINE  
SCALE: 1" = 1' - 0"

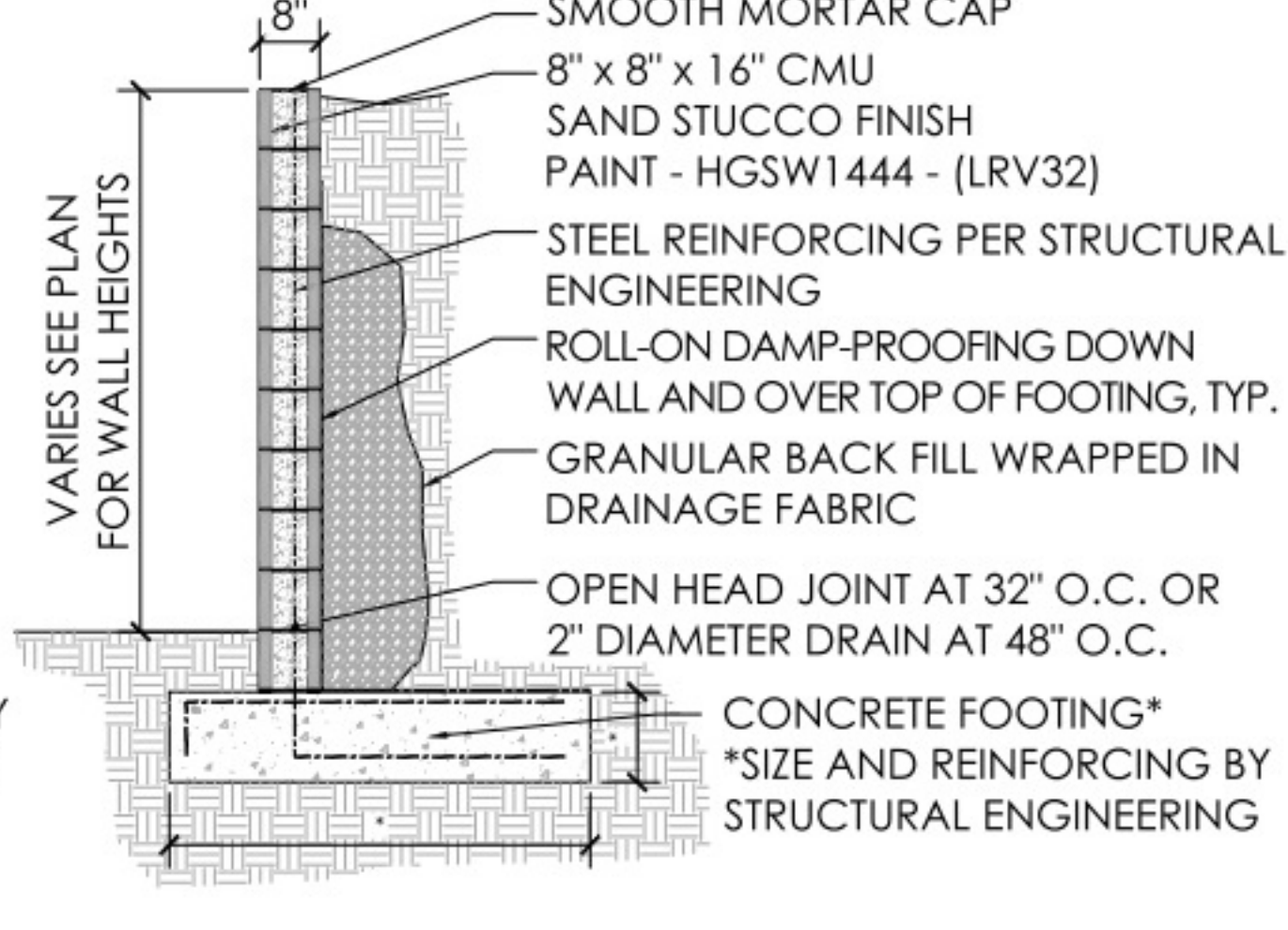
## ELEVATION



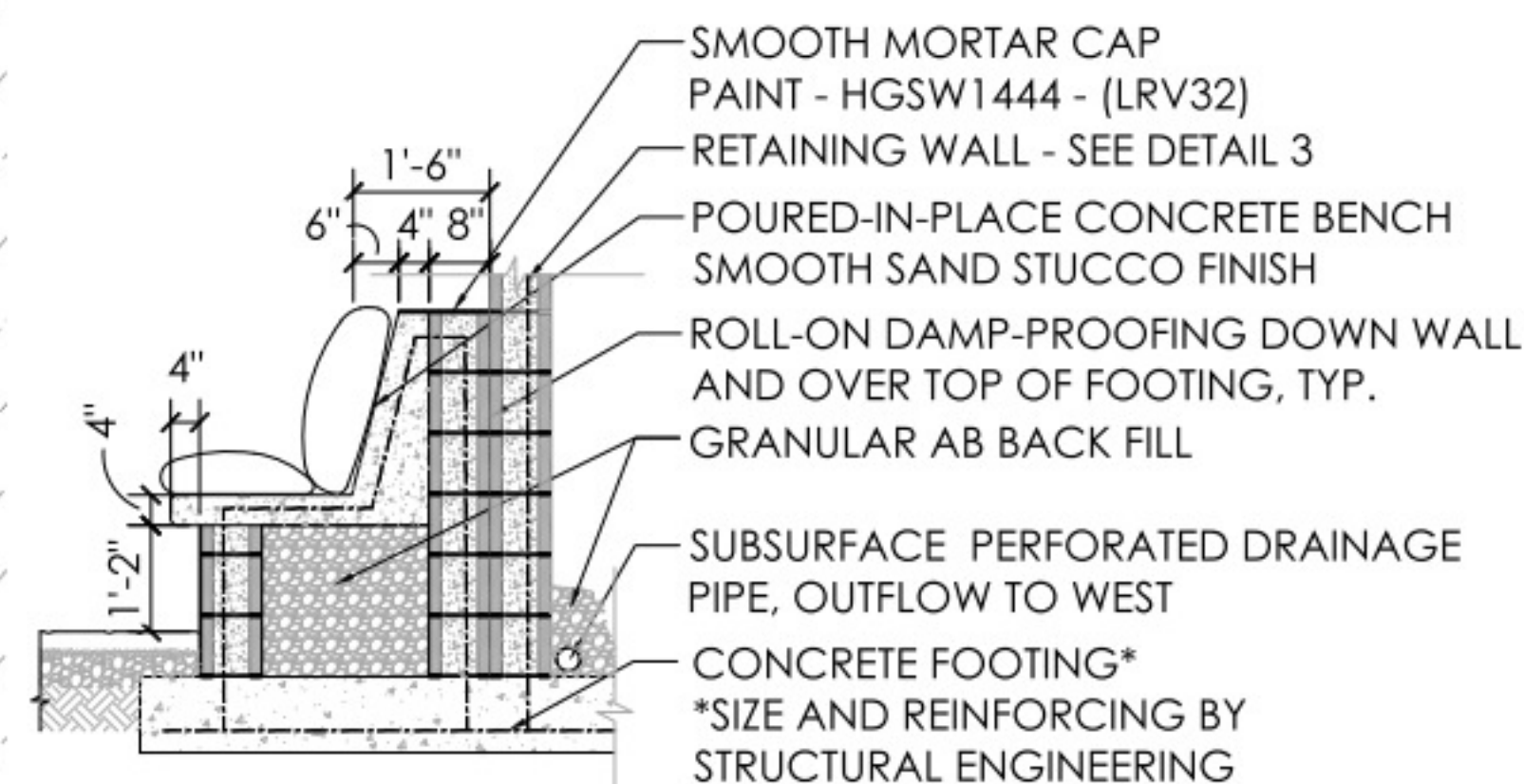
## SECTION



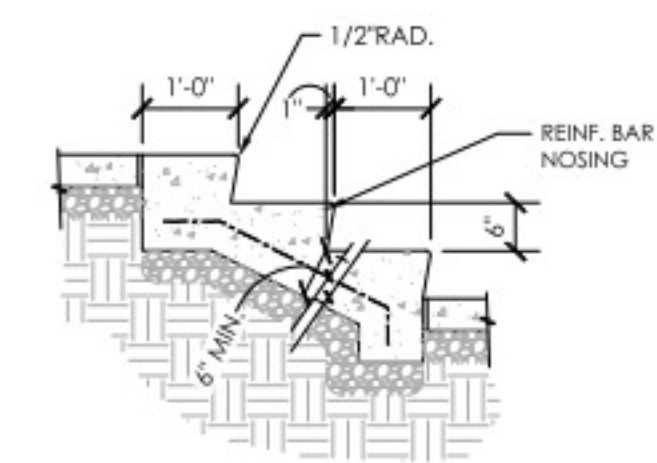
- STEEL 'FIN' POOL FENCE - RAW STEEL  
SCALE: 1/2" = 1' - 0"



- RETAINING WALL - 8" X 8" X 16" CMU BLOCK  
SCALE: 1/2" = 1' - 0"



- SEAT BENCH  
SCALE: 1/2" = 1' - 0"



- CONCRETE STAIRS  
SCALE: 1/2" = 1' - 0"

## L1 - LANDSCAPE PLAN - GRADING, RETAINING, &amp; HARDSCAPE

SCALE: 1" = 10' - 0"

0' 10' 20' 40'  
SCALE: 1" = 10' - 0"

FOR: HILLSIDE REVIEW

REV # DATE

CAMELBACK  
ESTATE  
LANDSCAPE PLAN

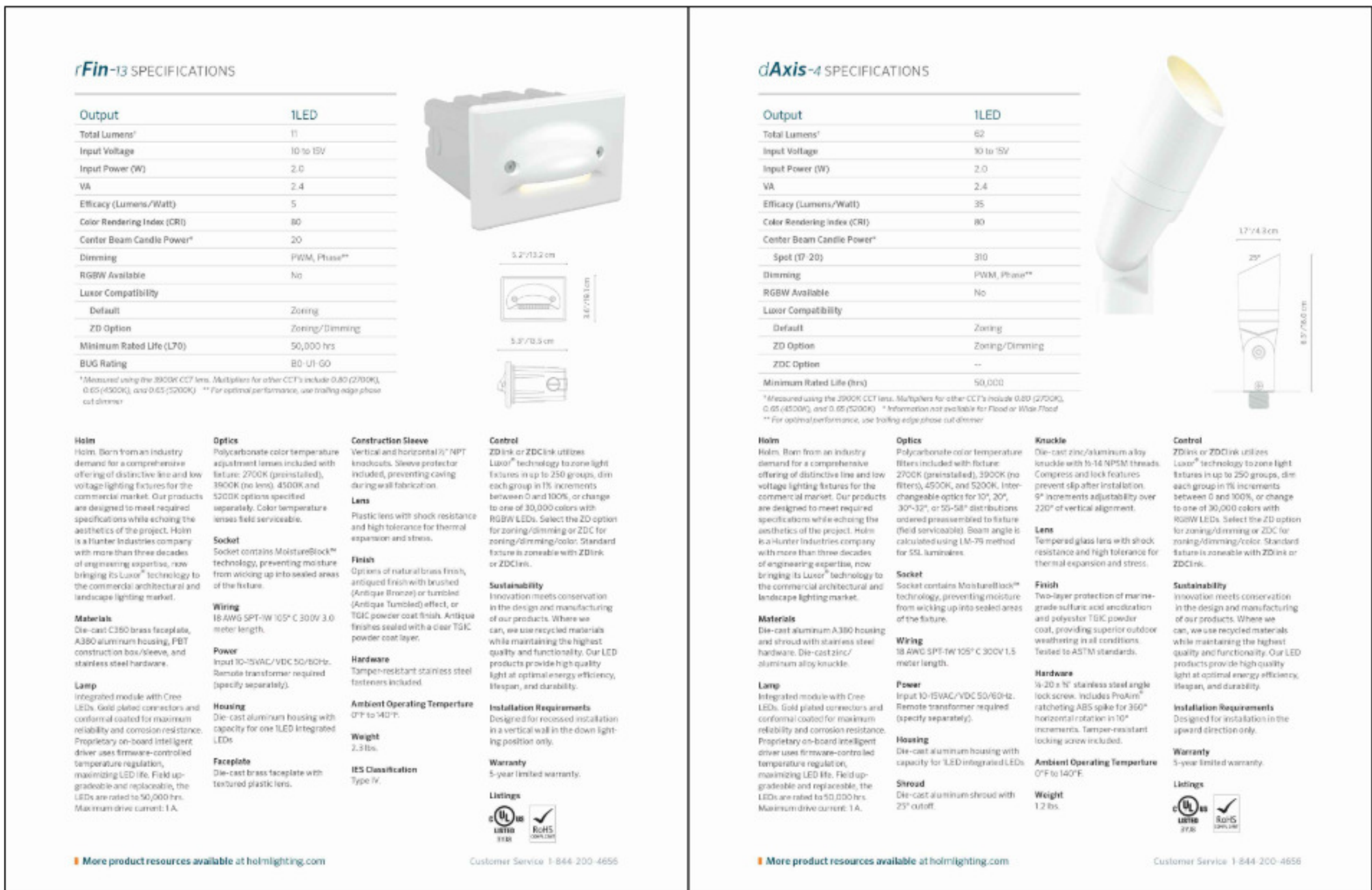
Project number 19-12  
Date 4/08/2020  
Drawn by JM  
Checked by JM

L1

Scale 1" = 10' - 0"

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5/21/2020 6:35:59 PM



		QTY
	WALL DOWN-LIGHT - 11 LUMENS - 3000K HOLM - RFIN-13 - FLAT WHITE FINISH	14
	TREE & WALL UP-LIGHT - 62 LUMENS - 3000K HOLM - DAXIS-4 - BRONZE METALLIC FINISH	13

LIMIT OF DISTURBANCE  
ALL EXISTING PLANT MATERIAL TO BE  
PROTECTED IN PLACE OUTSIDE OF  
THESE LIMITS

SCALE: 1" = 10' - 0"

ARCHITECTURE | PLANNING | DESIGN

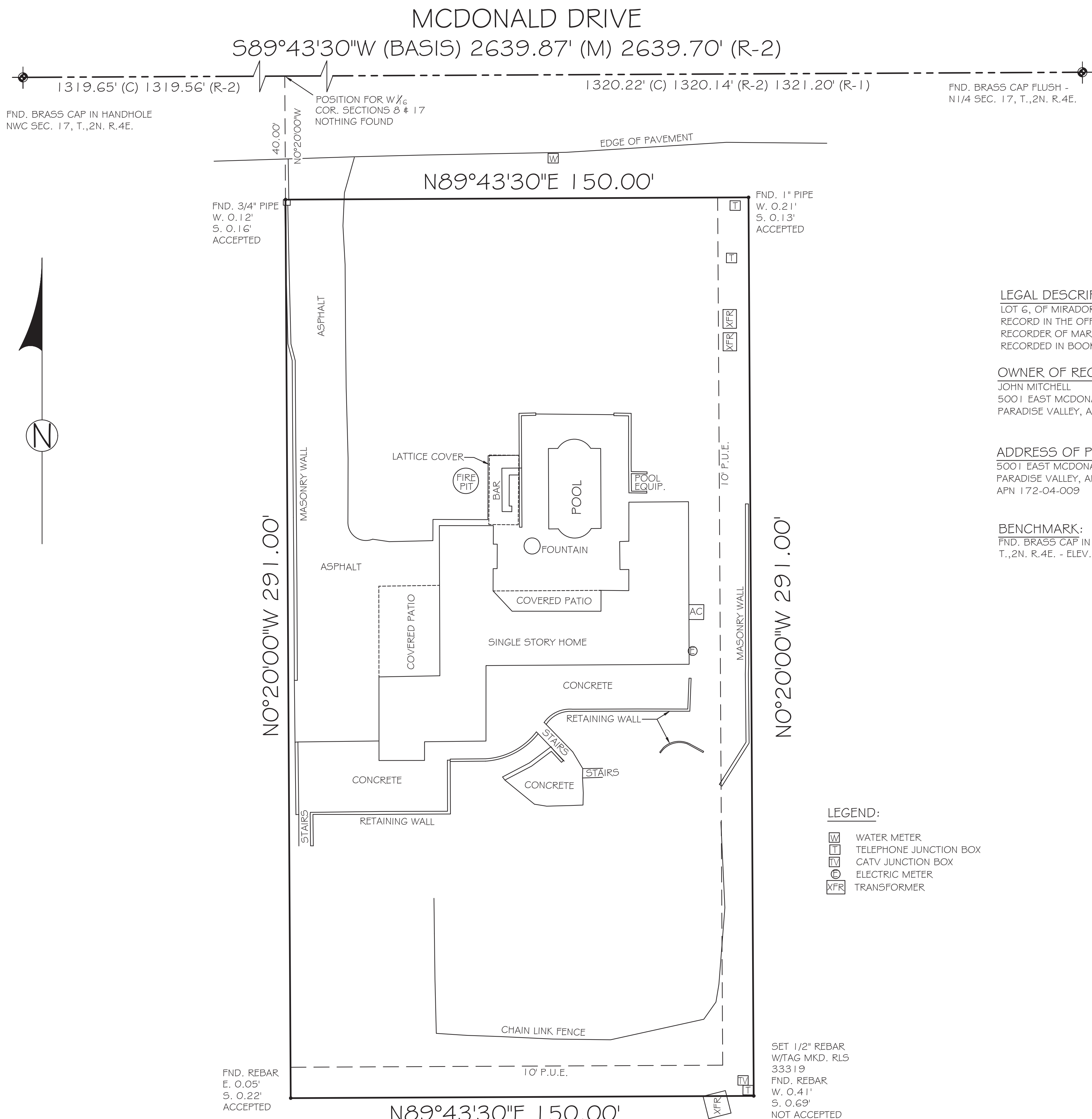
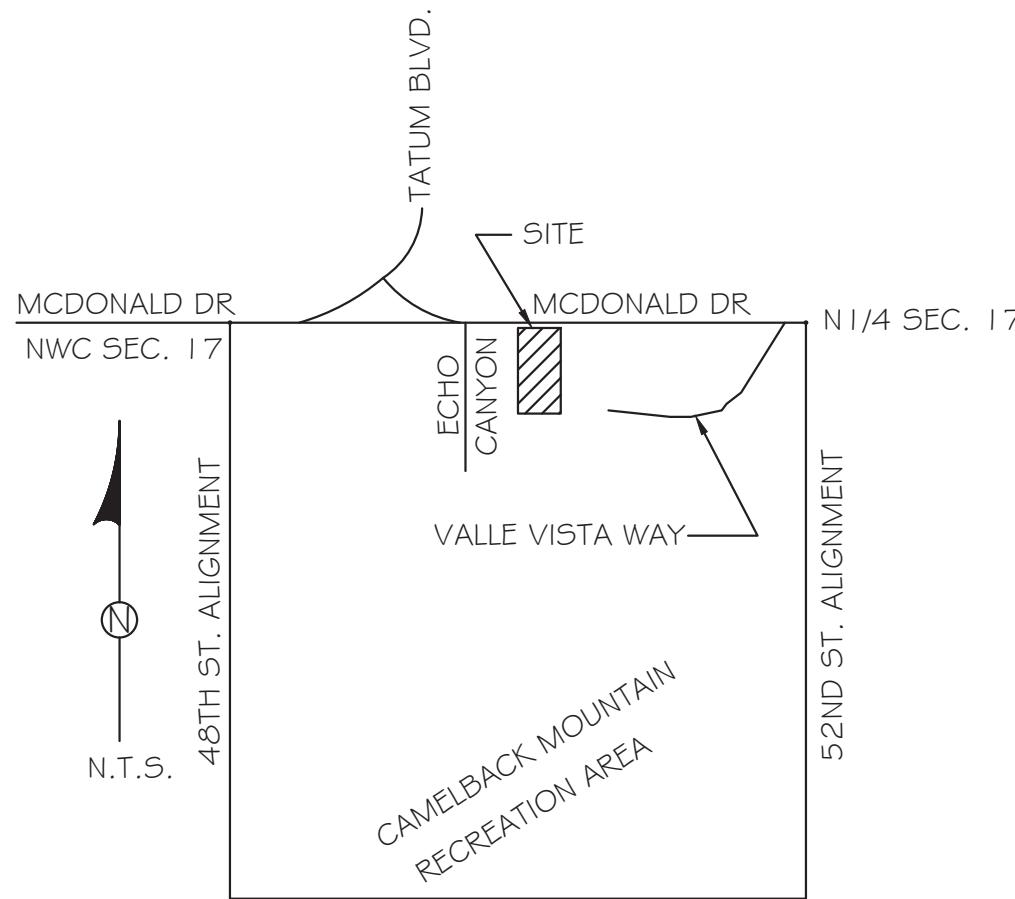
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5/21/2020 6:34:00 PM

RESULTS OF SURVEY  
OF  
A PORTION OF THE NW¼ OF SECTION 17, T.2N., R.4E., G. & S. R. M.,  
MARICOPA COUNTY, ARIZONA



LEGAL DESCRIPTION:  
LOT 6, OF MIRADOR, ACCORDING TO THE PLAT OF  
RECORD IN THE OFFICE OF THE COUNTY  
RECORDER OF MARICOPA COUNTY, ARIZONA,  
RECORDED IN BOOK 67 OF MAPS, PAGE 15.

OWNER OF RECORD:  
JOHN MITCHELL  
5001 EAST MCDONALD DR.  
PARADISE VALLEY, ARIZONA 85253

ADDRESS OF PROPERTY:  
5001 EAST MCDONALD DR.  
PARADISE VALLEY, ARIZONA 85253  
APN 172-04-009

BENCHMARK:  
FND. BRASS CAP IN HANDHOLD NWC SEC. 17,  
T.,2N. R.4E. - ELEV. 1337.901' NAVD 88

NOTES

1. THIS SURVEY WAS PERFORMED IN THE FIELD DURING THE MONTH OF JULY, 2019.
3. ALL VISIBLE SURFACE UTILITIES WERE LOCATED, NO UNDERGROUND UTILITIES ARE SHOWN.
4. SURVEY PLATTED HEREON DOES NOT PURPORT TO VERIFY OWNERSHIP.
5. EXCEPT AS NOTED, SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE REPORT MAY DISCLOSE.
6. DECLARATION IS MADE TO ORIGINAL PURCHASER ONLY. SURVEY IS NOT TRANSFERABLE TO SUBSEQUENT OWNERS OR ADDITIONAL INSTITUTIONS WITHOUT WRITTEN PERMISSION OF THE SURVEYOR.
7. SURVEY IS VALID ONLY IF PRINT BEARS ORIGINAL SEAL AND SIGNATURE OF SURVEYOR.
8. CONDITIONS SHOWN ARE THOSE THAT EXISTED AT THE TIME OF SURVEY.
9. RECORD BOUNDARY AND EASEMENT INFORMATION TAKEN FROM THE FOLLOWING:
  - R-1 "MIRADOR", BOOK 67 OF MAPS, PAGE 11.
  - R-2 "FINAL PLAT FOR HF SURPRISE ESTATES", BOOK 1251 OF MAPS, PAGE 48.

SURVEYORS STATEMENT

I, KENT DAVID MILLER, A PROFESSIONAL LAND SURVEYOR, REGISTERED IN THE STATE OF ARIZONA, STATE THAT THIS PLAT AND THE SURVEY UPON WHICH IT IS BASED, WAS COMPLETED UNDER MY DIRECT SUPERVISION DURING THE MONTH OF JULY, 2019, AND THAT ALL MONUMENTS FOUND OR SET ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND ARE SUFFICIENT TO ALLOW THE SURVEY TO BE RETRACED.



	KENT D. MILLER, R.L.S.	file no.
	12431 NORTH 65TH STREET	echocanyon_ros_01
	SCOTTSDALE, ARIZONA 85254	
	(480) 231-4492 FAX (480) 998-0138	drawn by
	kdm	KDM
	checked by	KDM
		APRIL 17, 2020



(1) EXISTING NORTHEAST CORNER OF HOUSE



(2) EXISTING NORTH SIDE OF HOUSE WITH POOL



(3) EXISTING NORTHWEST CORNER OF HOUSE



(4) EXISTING WEST SIDE OF THE HOUSE GARAGE AND COVERED ENTRY



(5) EXISTING SOUTH SIDE OF THE HOUSE GARAGE AND OFFICE



(6) EXISTING SOUTHEAST CORNER THE HOUSE UP THE HILL ON CORNER LOT



(7) EXISTING BACK SIDE OF THE HOUSE SHOWING 2" RETAINING SITE WALLS

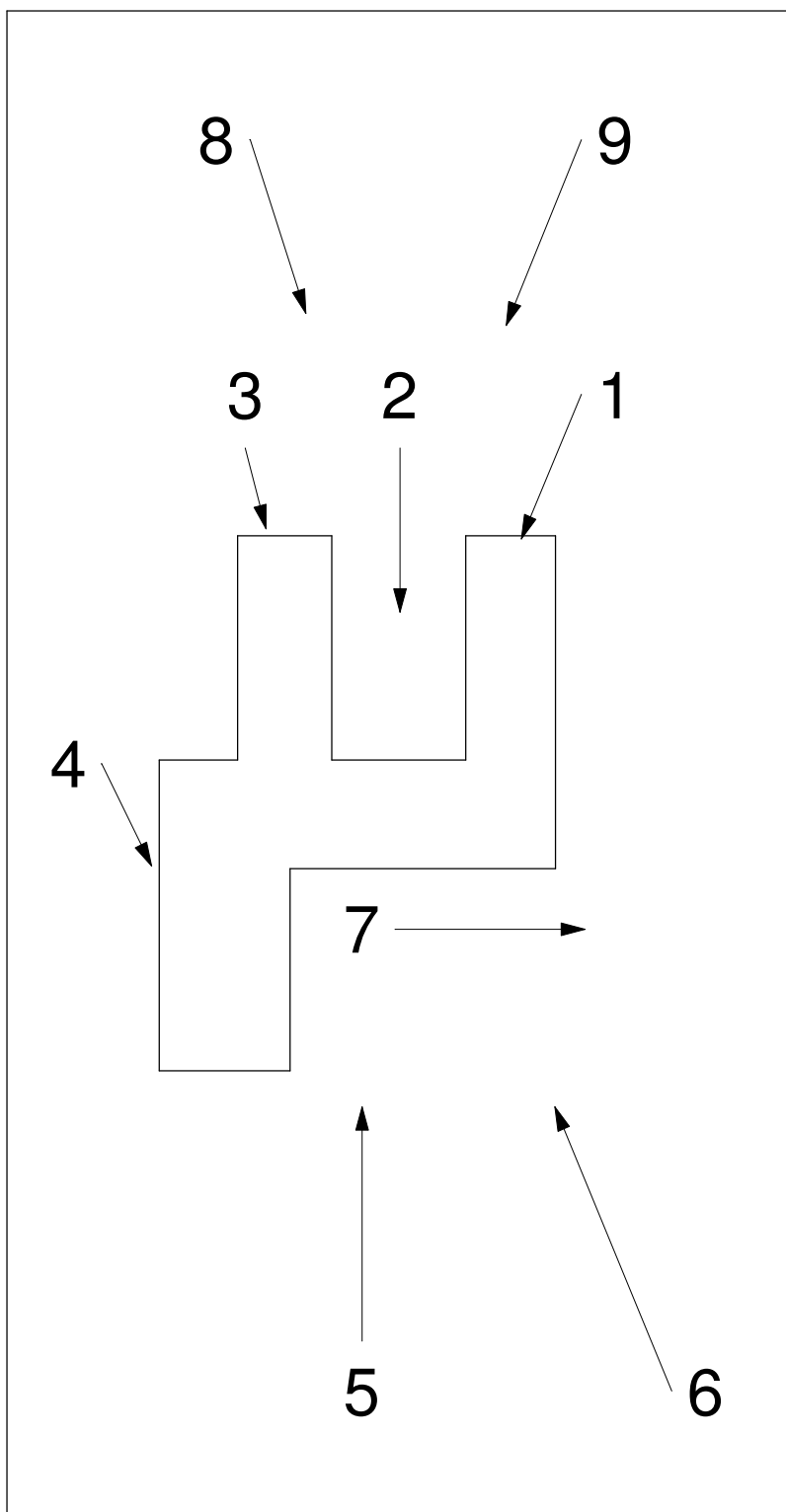


(8) EXISTING NORTHWEST CORNER OF THE LOT SHOWING LANDSCAPE



(9) EXISTING NORTHEAST CORNER OF THE LOT SHOWING LANDSCAPE

MCDONALD DRIVE



NORTH [↑] KEY PLAN

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DESIGN  
GROUP

ARCHITECTURE | PLANNING | DESIGN

FOR: HILLSIDE REVIEW

REV # DATE

CAMELBACK  
ESTATE  
PROPERTY PHOTOS

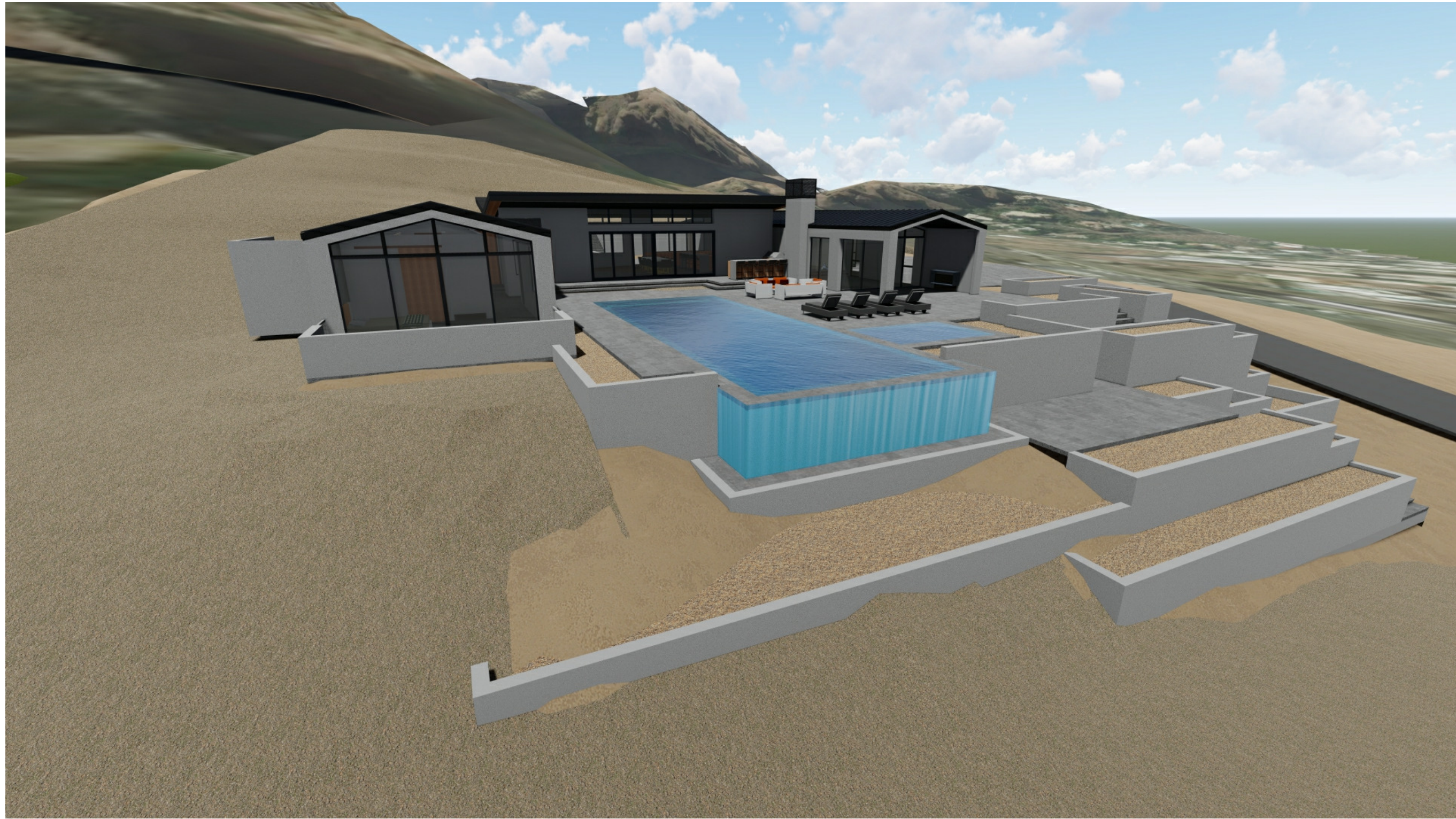
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Date 4/08/2020  
Drawn by Author  
Checked by Checker

A0.3

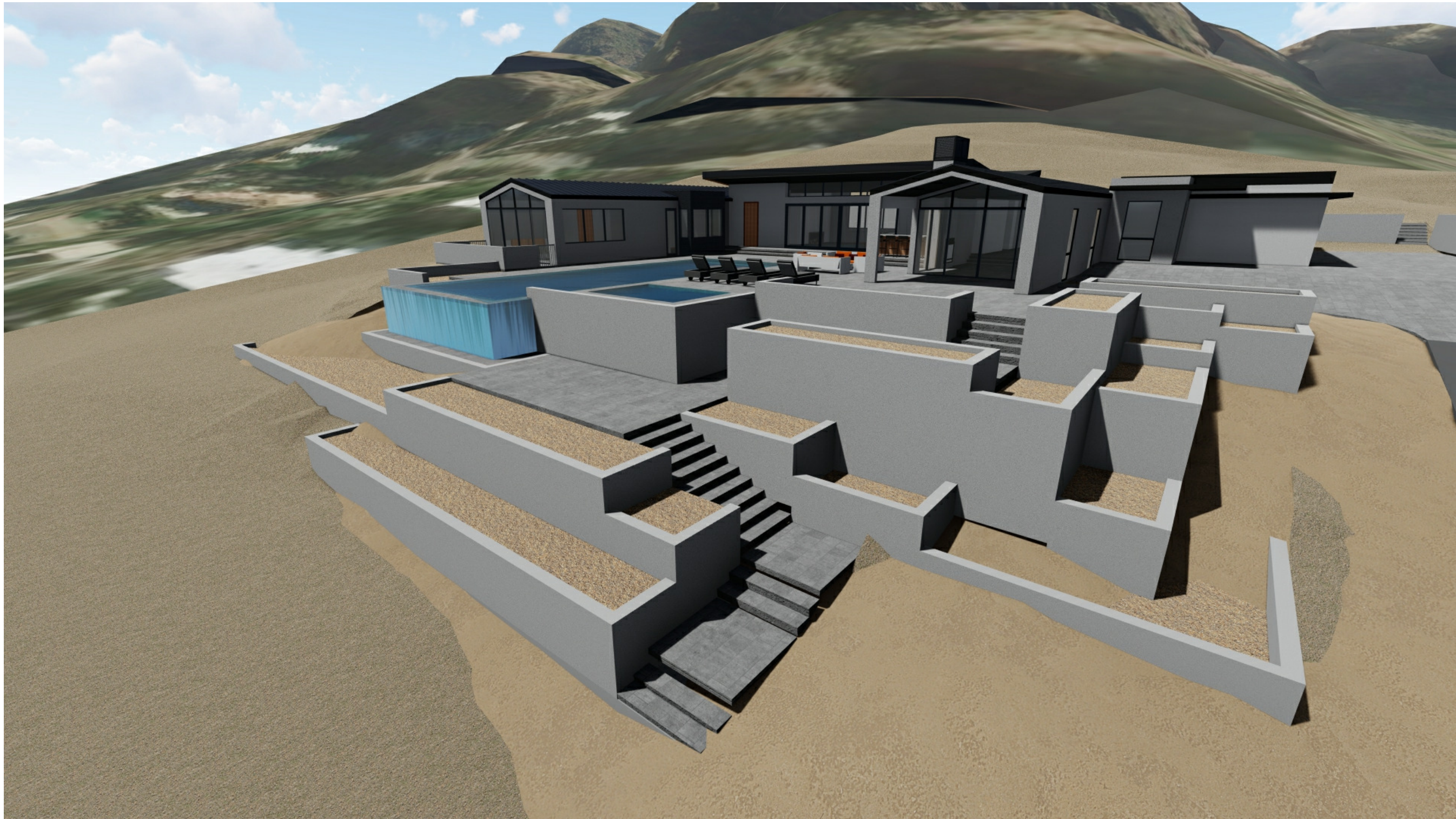
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5/21/2020 6:33:35 PM



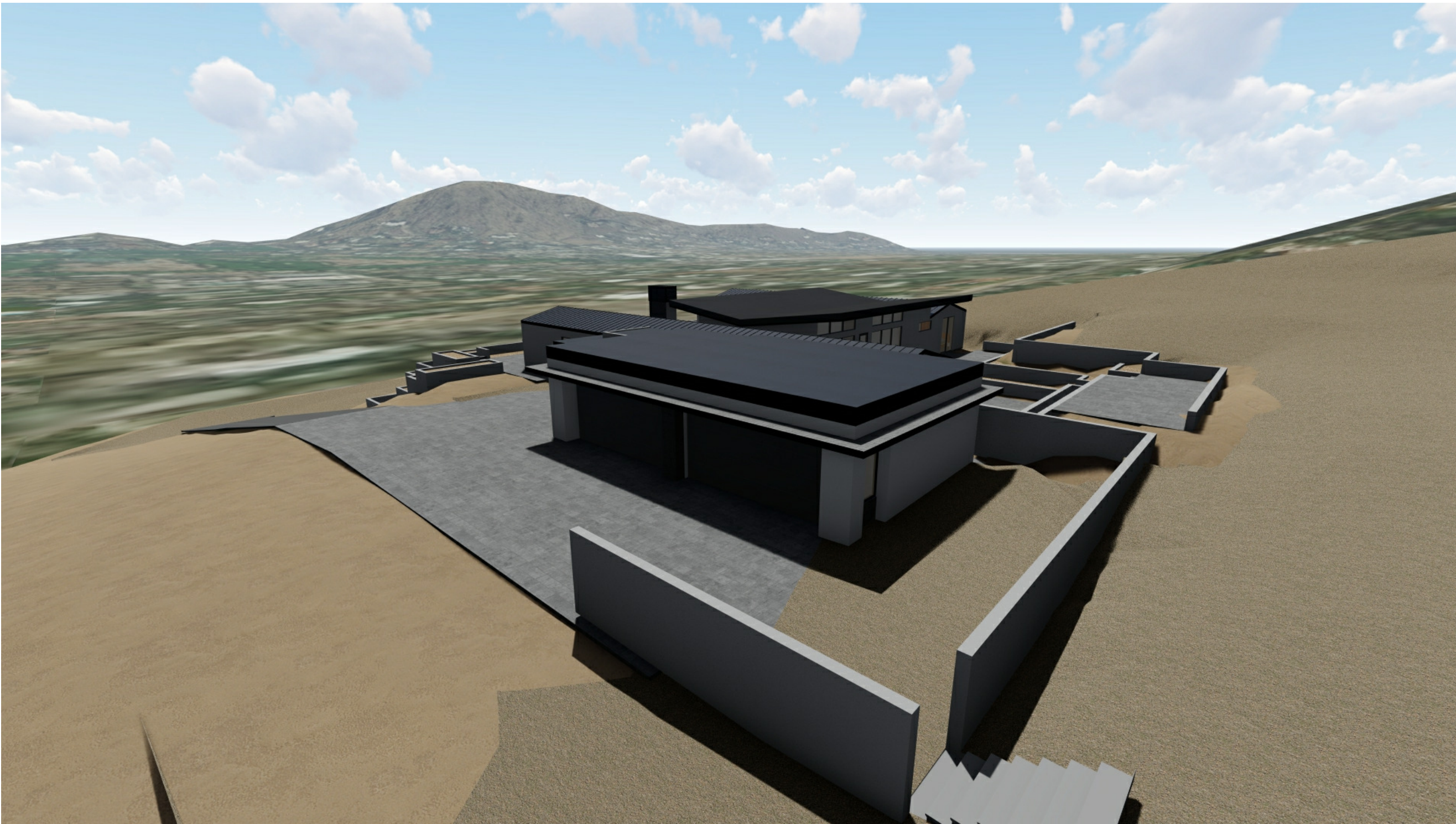
NORTHEAST CORNER OF HOUSE



NORTHWEST CORNER OF HOUSE



SOUTHEAST CORNER OF HOUSE



SOUTHWEST CORNER OF HOUSE

BOWMAN  
DESIGN  
GROUP

ARCHITECTURE | PLANNING | DESIGN

FOR: HILLSIDE REVIEW

REV # DATE

CAMELBACK  
ESTATE

PROPERTY  
RENDERINGS

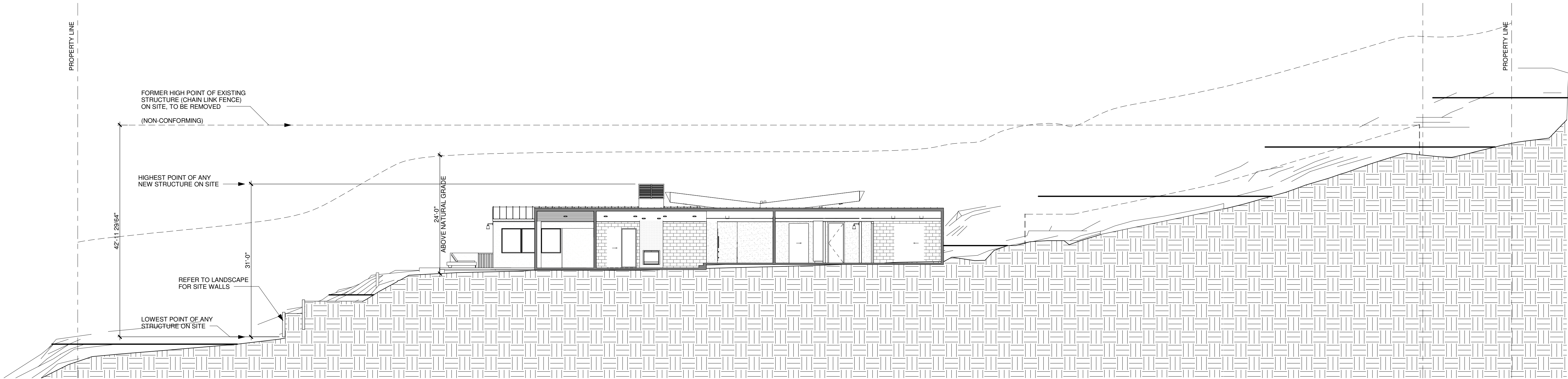
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Date	4/08/2020
Drawn by	DJB
Checked by	DJB

A0.4

Scale

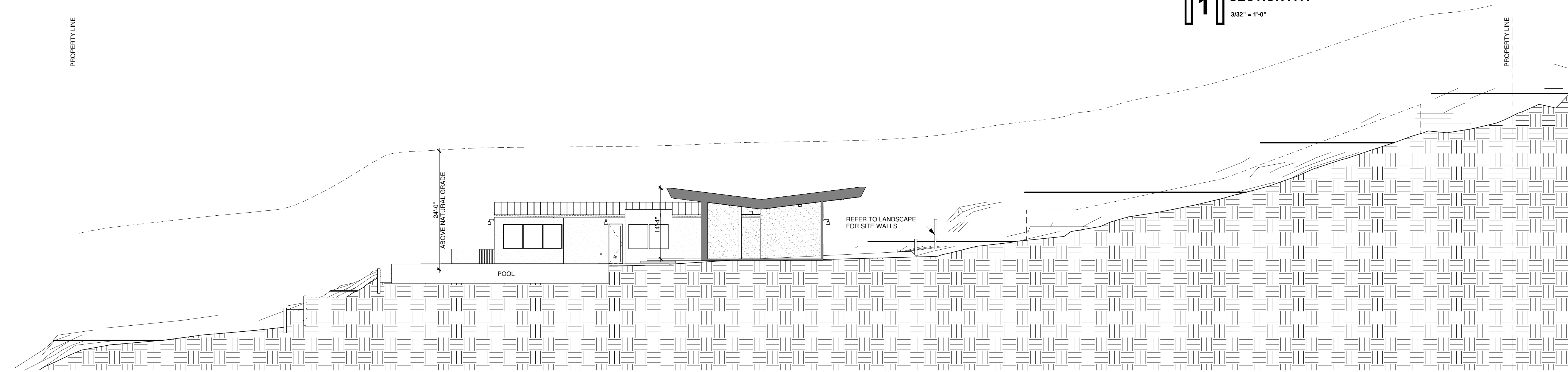
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6/2/2020 1:40:01 PM



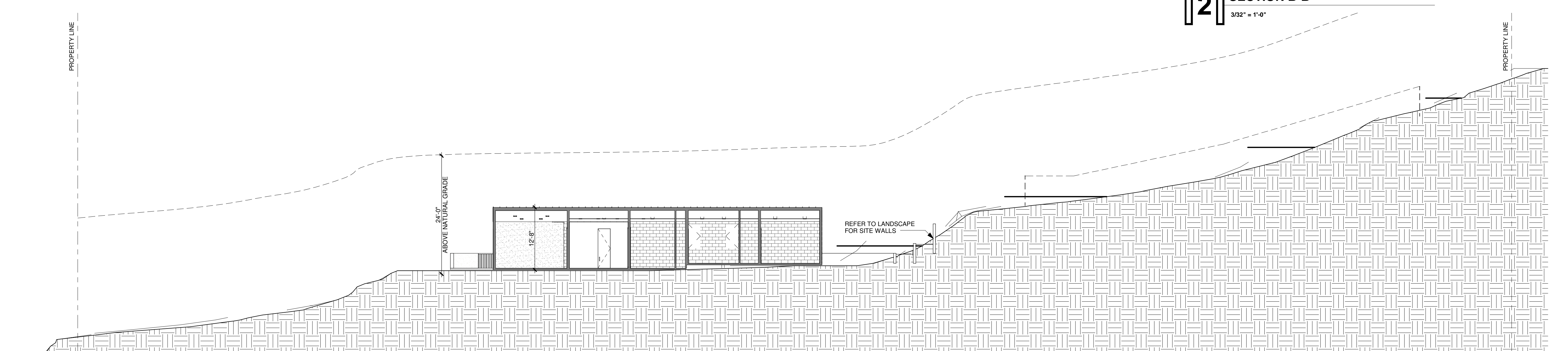
**1** SECTION A-A

3/32" = 1'-0"



**2** SECTION B-B

3/32" = 1'-0"



**3** SECTION C-C

3/32" = 1'-0"

BOWMAN  
DESIGN  
GROUP

ARCHITECTURE | PLANNING | DESIGN

FOR: HILLSIDE REVIEW

REV # DATE

CAMELBACK  
ESTATE

SITE CROSS  
SECTIONS

Project number 19-12  
Date 4/08/2020  
Drawn by DJB  
Checked by DJB

A0.5

Scale 3/32" = 1'-0"

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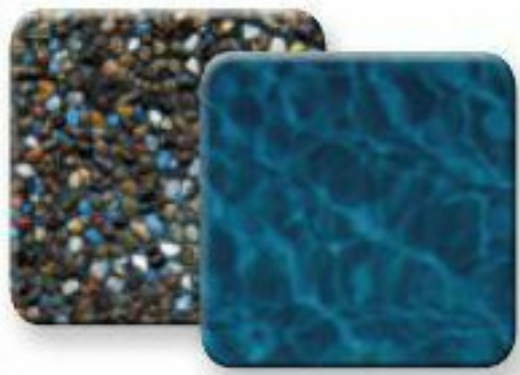
5/21/2020 6:33:38 PM



STUCCO PAINT, STUCCO SOFFITS, GYP BOARD SOFFITS, AND TRIM  
-SHERWIN WILLIAMS  
-NOR'EASTER - HGSW1444 - LRV = 32  
(OR EQUIVALENT)

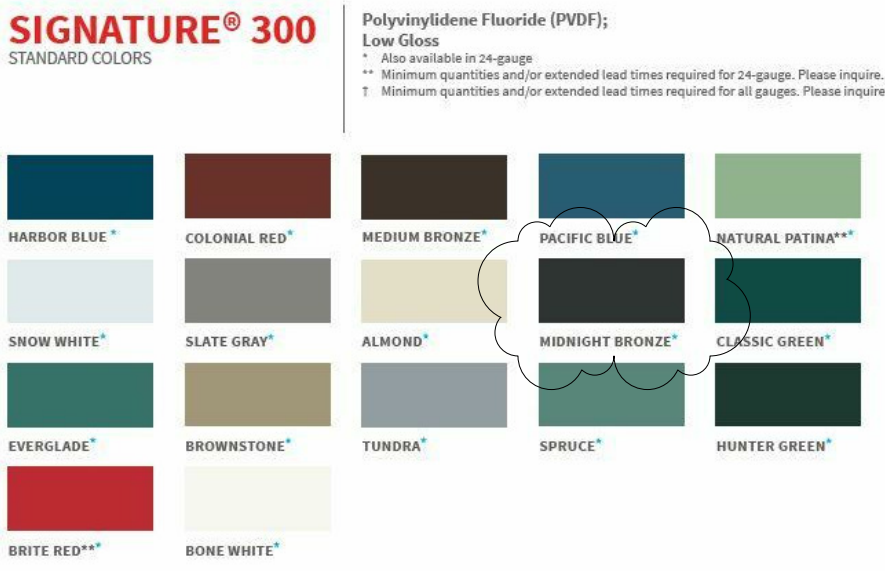


POOL DECK PAVERS  
-MSI SURFACES  
-SILVER TRAVERTINE  
APPROX. LRV = 30  
(OR EQUIVALENT)



Midnight Blue

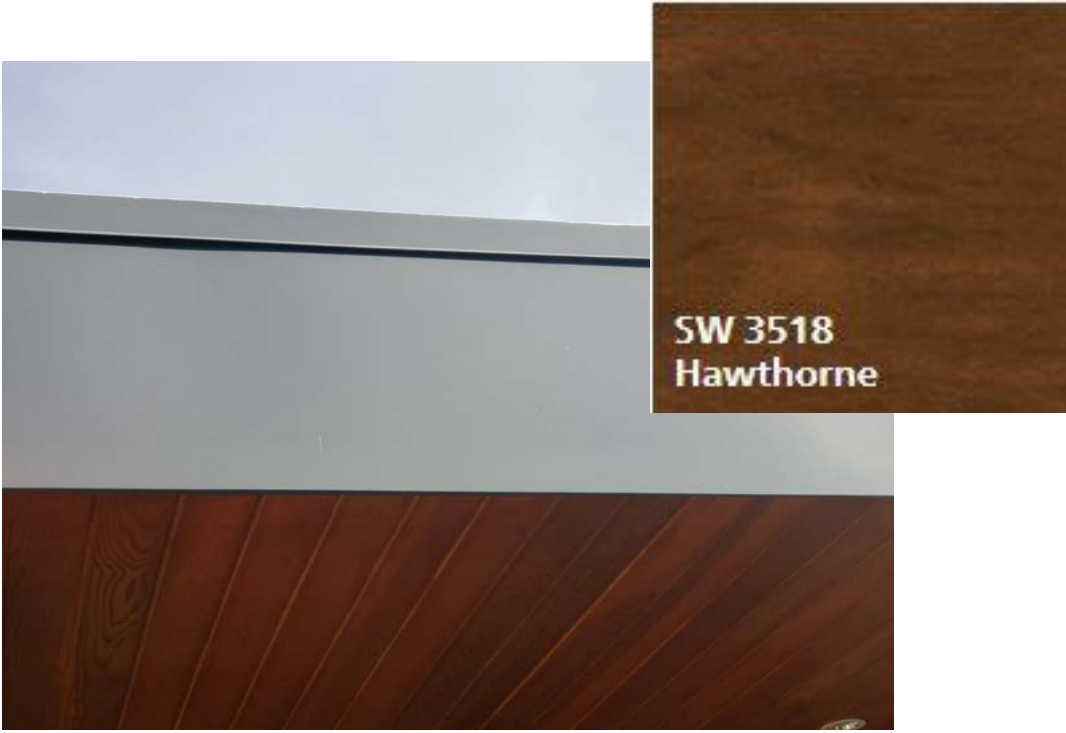
POOL FINISH  
-PEBBLETEC  
MIDNIGHT BLUE - APPROX LRV = 15  
(OR EQUIVALENT)



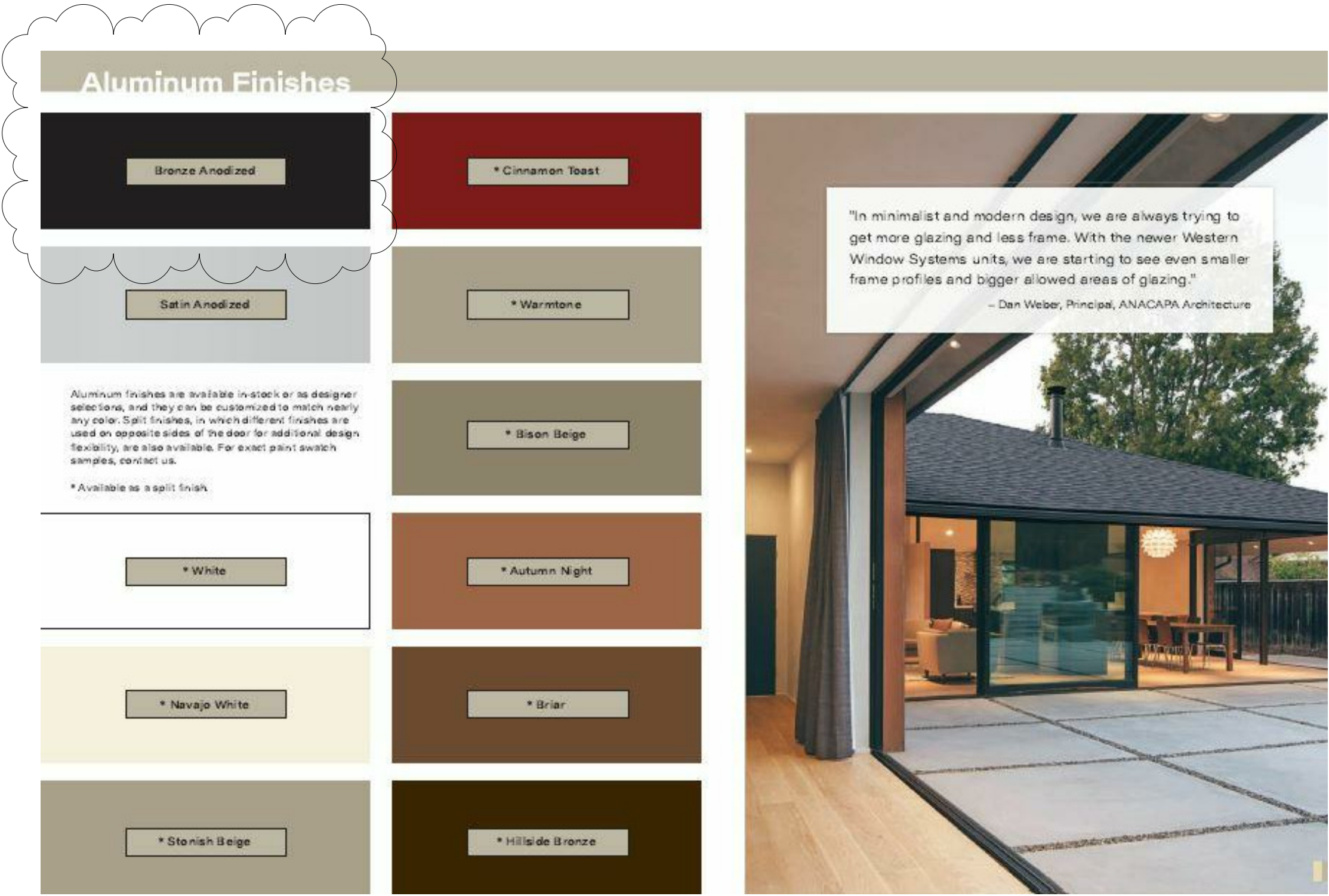
STANDING SEAM METAL ROOF AND METAL FASCIA  
-MBCI METAL ROOFING  
-MIDNIGHT BRONZE - LRV = 7  
(OR EQUIVALENT)



SITE VIEW FENCE  
-RUSTED METAL REBAR OR FLAT BAR  
APPROX. LRV = 12  
(OR EQUIVALENT)



EXTERIOR TONGUE & GROOVE WOOD SOFFIT  
-SHERWIN WILLIAMS  
HAWTHORNE - SW3518 - APPROX LRV = 20  
(OR EQUIVALENT)



DOOR AND WINDOW FRAMES  
-WESTERN WINDOWS  
-DARK BRONZE ANODIZED - LRV = 7  
(OR EQUIVALENT)



DRIVEWAY/PARKING PAVERS  
-BELGARD  
-LUEDERS GRAY  
APPROX. LRV = 30  
(OR EQUIVALENT)



EXTERIOR SOFFIT CAN LIGHT  
-PROGRESS LIGHTING  
-BLACK FINISH - 3000 KELVIN - 725 LUMENS  
LRV = 5 (OR EQUIVALENT)



STONE VENEER  
-MS INTERNATIONAL  
-NEPTUNE - LRV = 5  
(OR EQUIVALENT)



EXTERIOR WALL SCONCE  
-MODERN FARMS - DOUBLE DOWN OUTDOOR WALL SCONCE  
-BLACK FINISH - 3000 KELVIN - 275 LUMENS  
LRV = 5

BOWMAN  
DESIGN  
GROUP

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#### GENERAL MATERIAL NOTES

1. ALL EXTERIOR MATERIAL PALETTE SHALL BE IN ACCORDANCE WITH SECTION 2207.II.D.
2. ALL EXTERIOR LIGHTING SHALL COMPLY WITH SECTION 2208.

FOR: HILLSIDE REVIEW

REV # DATE

## CAMELBACK ESTATE MATERIAL BOARD

Project number 19-12  
Date 4/08/2020  
Drawn by DJB  
Checked by DJB

A0.6

Scale 3/16" = 1'-0"

MATERIAL NOTES

NOTE:  
SEE MATERIAL BOARD A0.6 FOR EXTERIOR SITE  
MATERIALS, COLOR, FINISH, AND LIGHT REFLECTIVE  
VALUE.

FOR: HILLSIDE REVIEW

REV # DATE

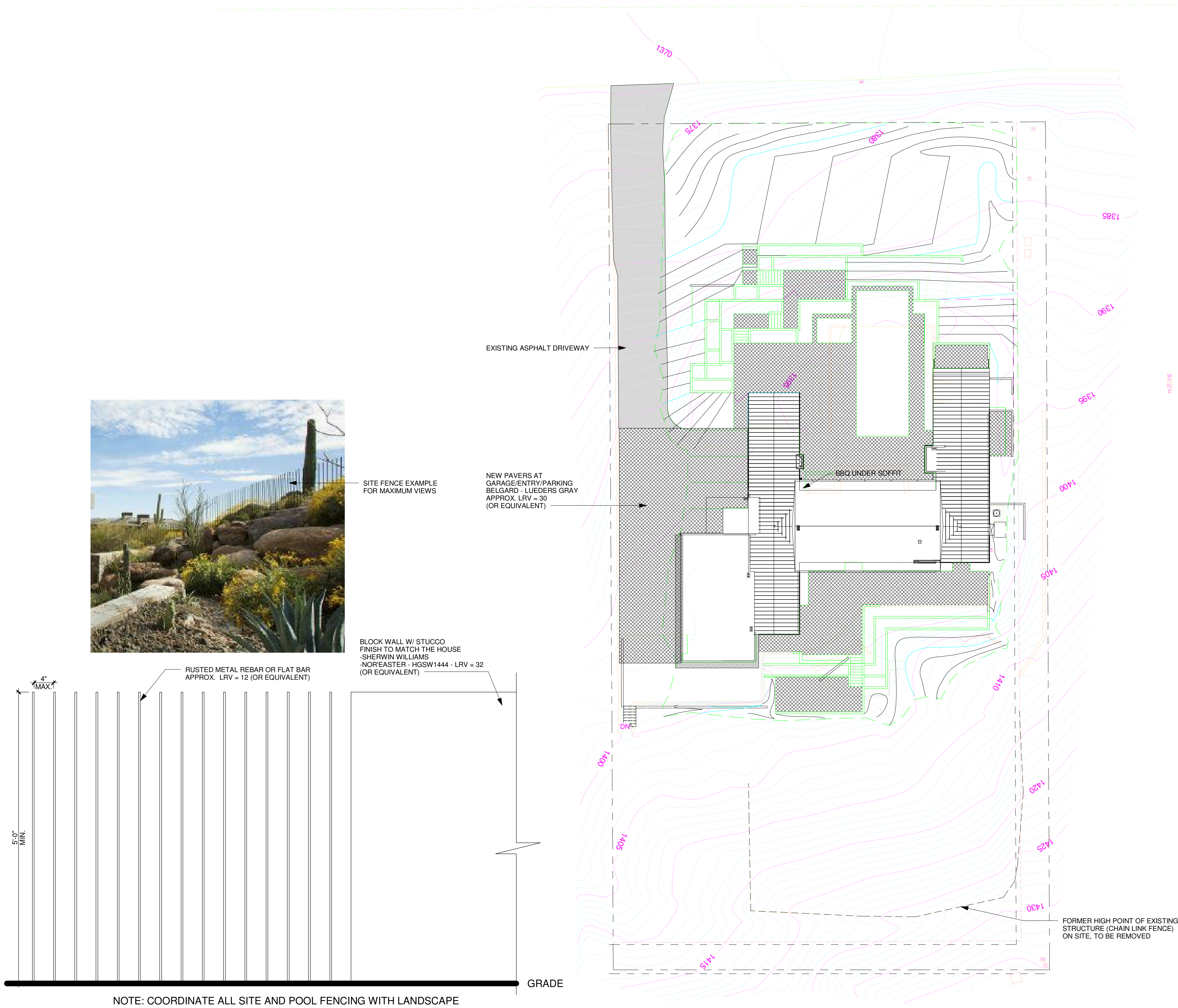
CAMELBACK  
ESTATE

ARCH. SITE PLAN

Project number 19-12  
Date 4/08/2020  
Drawn by DJB  
Checked by DJB

A1.1

Scale As indicated



ARCHITECTURAL SITE PLAN  
1" = 20'-0"



**ARCHITECTURAL SITE PLAN - AERIAL**  
1" = 20'-0"

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FOR: HILLSIDE REVIEW

REV # DATE

CAMELBACK  
ESTATE

ARCH. SITE PLAN

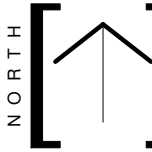
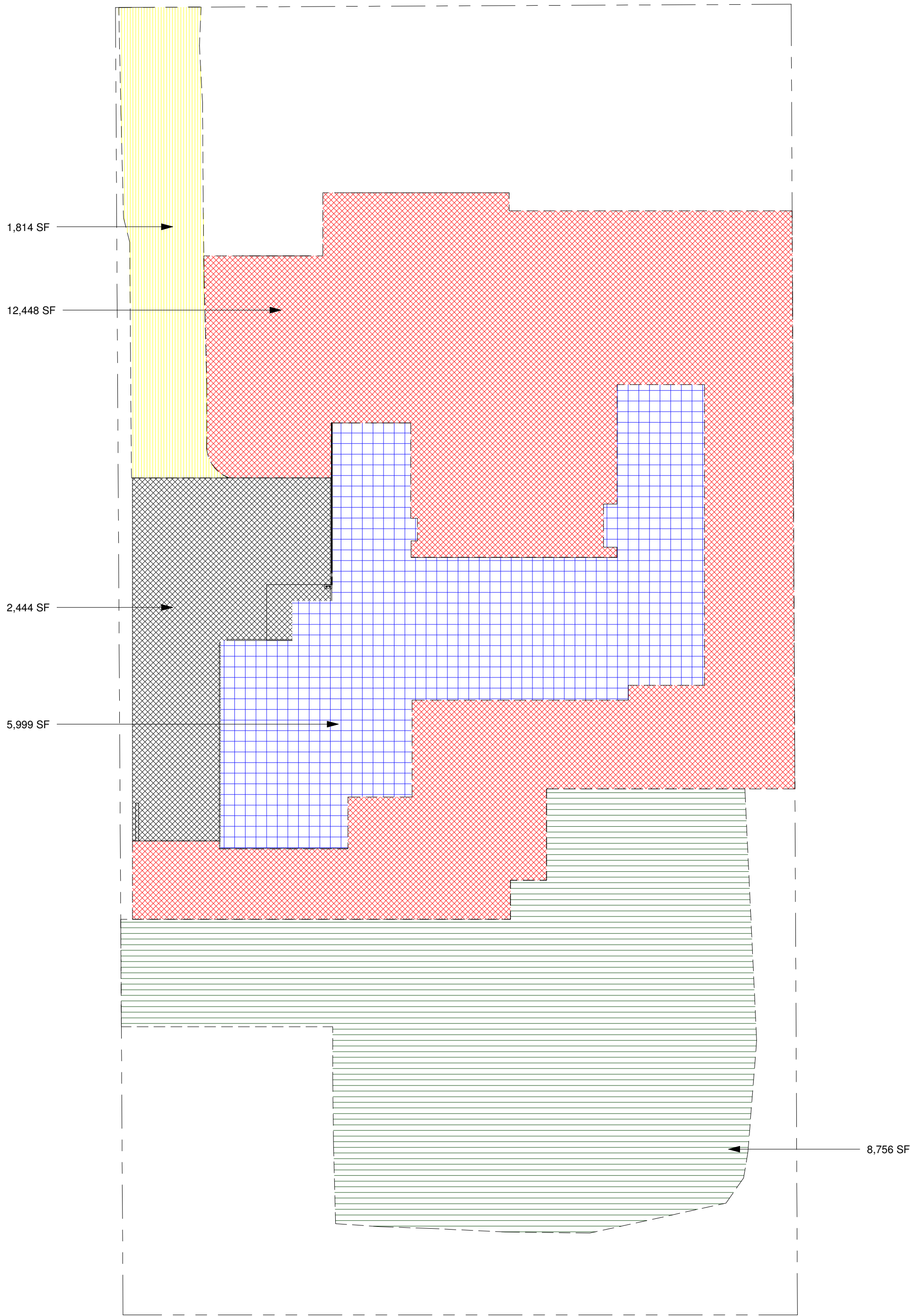
Project number 19-12  
Date 4/08/2020  
Drawn by DJB  
Checked by DJB

A1.1a

Scale 1" = 20'-0"

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5/21/2020 6:33:40 PM



ARCHITECTURAL SITE PLAN - DISTURBANCE

1" = 20'-0"

FOR: HILLSIDE REVIEW

REV # DATE

CAMELBACK  
ESTATE  
ARCH. SITE PLAN

Project number 19-12

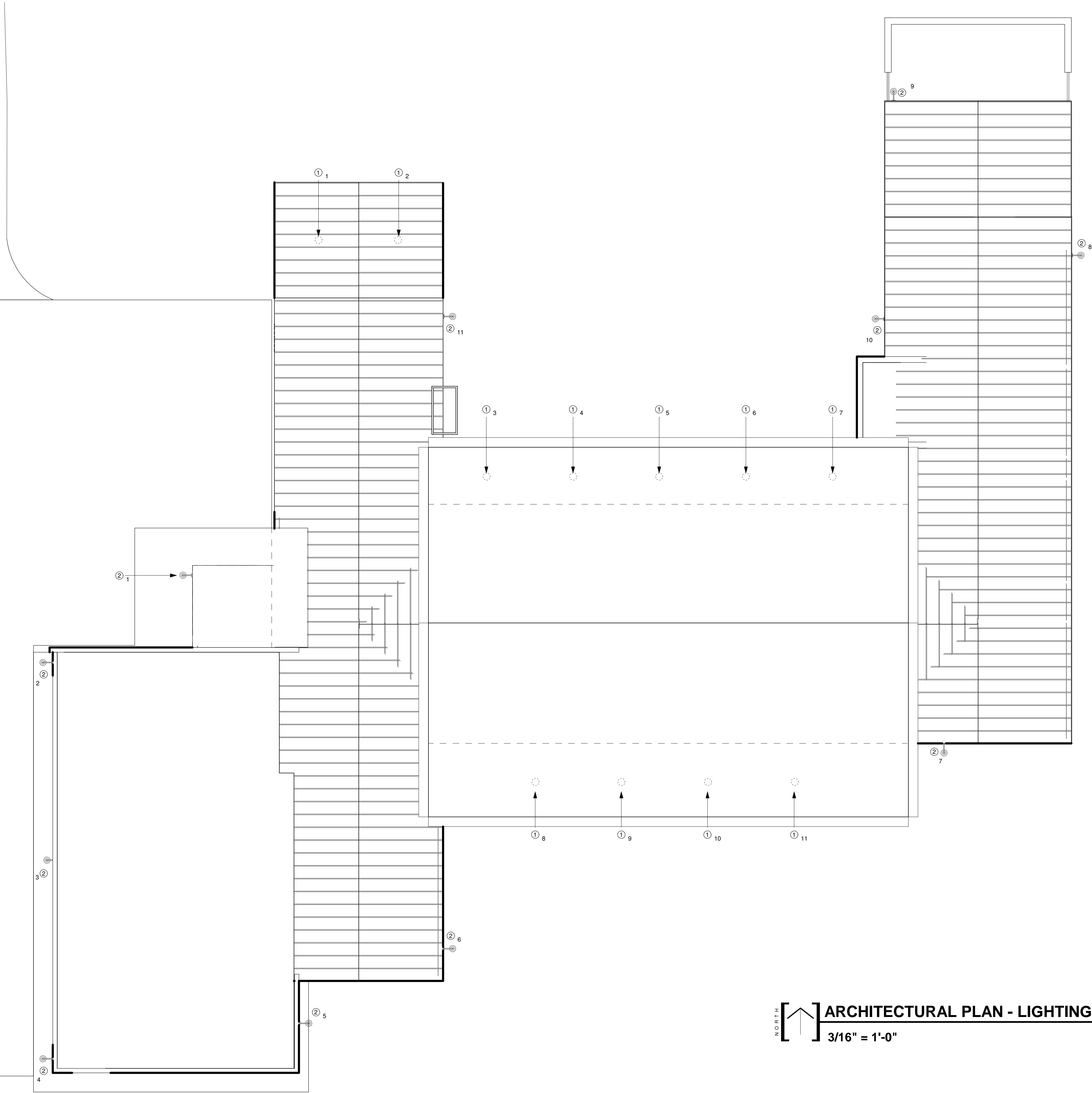
Date 4/08/2020

Drawn by DJB

Checked by DJB

A1.1b

Scale As indicated



**ARCHITECTURAL PLAN - LIGHTING**  
3/16" = 1'-0"



ARCHITECTURE | PLANNING | DESIGN

**SYMBOL LEGEND**

① - (11) CAN LIGHT (TYP)

- (SYMBOL)
- EXTERIOR UNDERMOUNT CAN LIGHT AT EXTERIOR COVERED PATIO LOCATIONS
- PROGRESS LIGHTING - BLACK FINISH - LRV = 5 (OR EQUIVALENT)
- 725 LUMENS
- 3000 KELVIN

② - (11) SCONCE LIGHT

- (SYMBOL)
- EXTERIOR WALL MOUNTED SCONCE LIGHT AT DOOR LOCATIONS
- MODERN FARMS - DOUBLE DOWN OUTDOOR WALL SCONCE
- BLACK FINISH - LRV = 5
- 275 LUMENS MAX.
- 3000 KELVIN

**NOTE:**  
SEE MATERIAL BOARD SHEET A0.6 FOR EXTERIOR WALL LIGHT BRAND, COLOR, AND FINISH. LRV = 5.



FOR:	HILLSIDE REVIEW
REV #	DATE

**CAMELBACK ESTATE**

**LIGHTING PLAN**

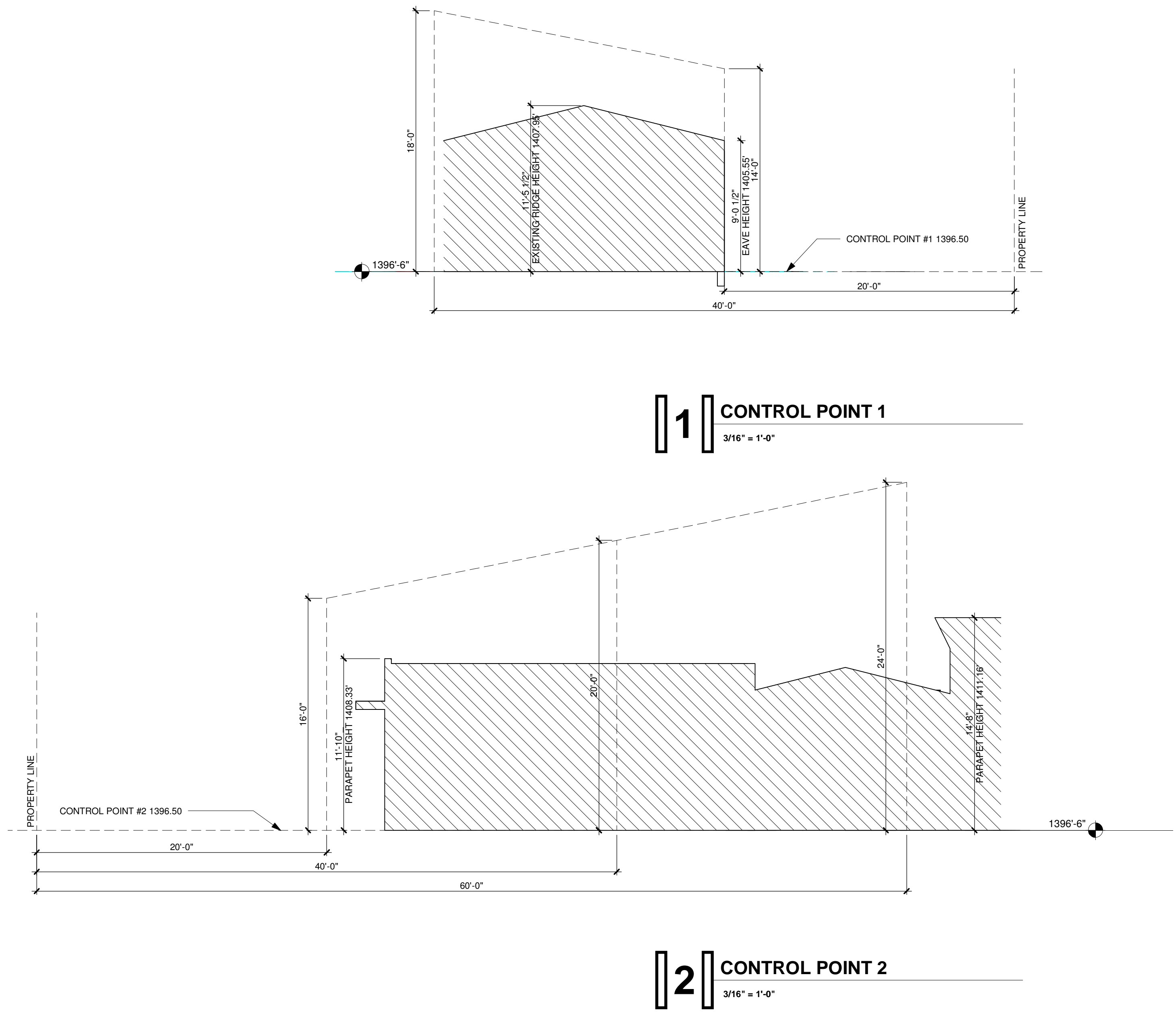
Project number	19-12
Date	4/08/2020
Drawn by	DJB
Checked by	DJB

**A1.1c**

Scale	3/16" = 1'-0"
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Scale 1" = 20'-0"



FOR: HILLSIDE REVIEW

REV # DATE

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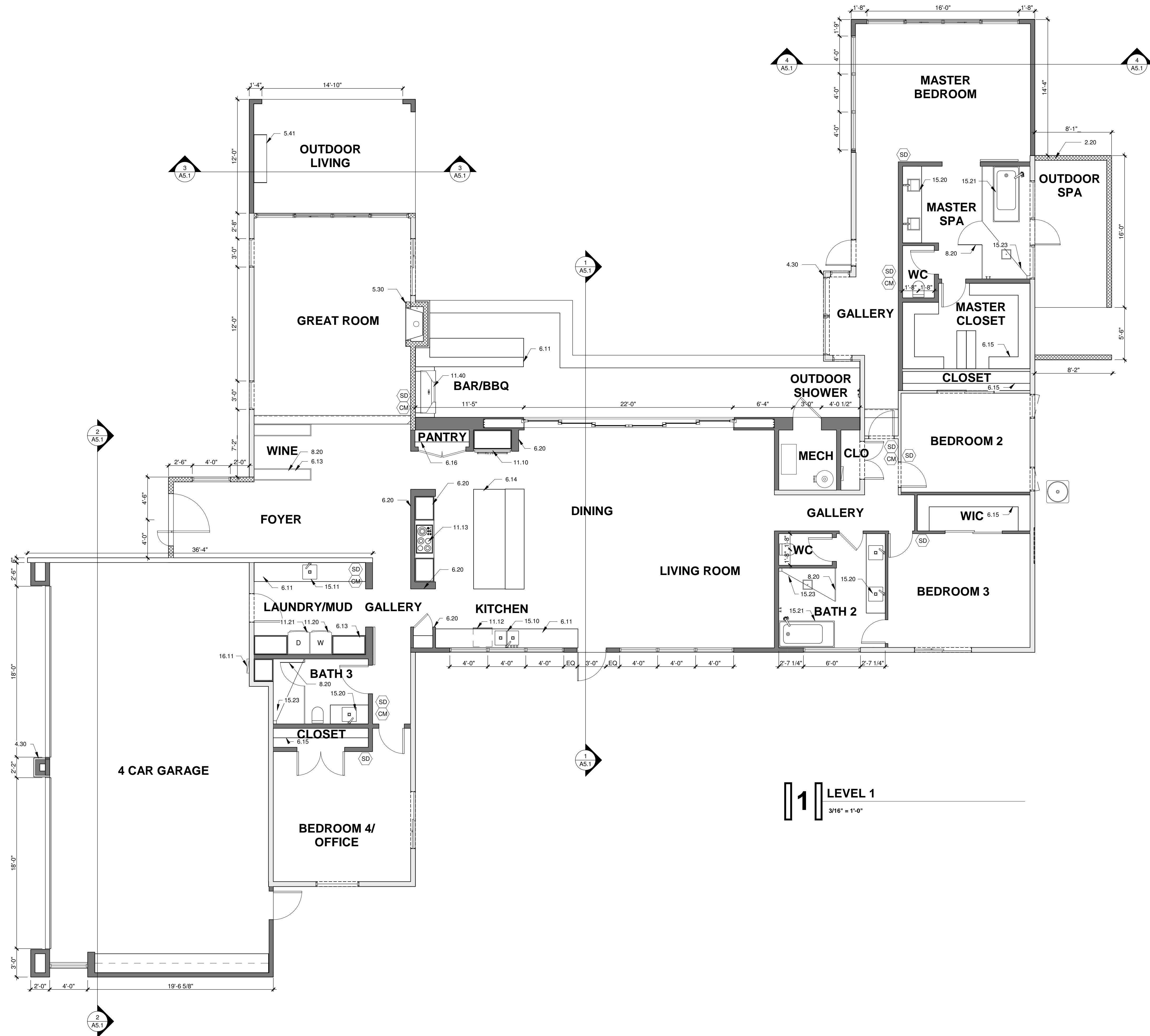
CAMELBACK  
ESTATE

OPEN SPACE  
SECTIONS

Project number 19-12  
Date 4/08/2020  
Drawn by DJB  
Checked by DJB

A1.3

Scale 3/16" = 1'-0"



WALL LEGEND

FRAME CONSTRUCTION

CMU CONSTRUCTION

STONE OR TILE VENEER

EXISTING WALL TO REMAIN

SYMBOL LEGEND

WATER CLOSET, 1.5 GALLONS PER FLUSH MAXIMUM

LAVATORY, LOW FLOW

- WINDOW NOTES
- W-1 EACH SLEEPING ROOM SHALL HAVE AT LEAST ONE OPENABLE OR EXTERIOR WINDOW OR DOOR FOR EMERGENCY ESCAPE OR RESCUE. THE OPENING SHALL PROVIDE A MIN. OF 5.7 S.F. OF NET CLEAR OPENING. THE OPENING SHALL PROVIDE A MIN. OF 24" CLEAR OPENING HEIGHT AND 20" CLEAR OPENING WIDTH. WHERE WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THE FINISH SILL HEIGHT SHALL NOT EXCEED 44" ABOVE FINISH FLOOR.

W-2 PRIMARY WINDOWS (BEDROOMS, LIVING, ETC.) SHALL BE RECESSED MIN. 6" TO FACE OF GLASS.

W-3 SECONDARY WINDOWS (BATHROOMS, CLOSETS, ETC.) SHALL BE RECESSED MIN. 4".

W-4 DIVIDED LIGHTS SHALL BE TRUE DIVIDED OR SIMULATED LIGHT W/ EXTERNAL MUNTINS ON EACH SIDE OF GLASS WITH SHADOW BAR BETWEEN PANES. GLAZING SHALL BE LOW-E COATED CLEAR GLASS.

- KEYNOTES
- 2.20 SITE WALL, VERIFY HEIGHT WITH LANDSCAPE

4.30 STONE VENEER

5.30 ORNAMENTAL METAL

5.41 1/2" PLATE STEEL

6.11 LOWER MILLWORK

6.13 FULL HEIGHT MILLWORK

6.14 FREE STANDING MILLWORK

6.15 WARDROBE MILLWORK

6.16 GENERAL STORAGE MILLWORK

6.20 CUSTOM MILLWORK

8.20 TEMPERED GLASS

11.10 REFRIGERATOR - STUB OUT FOR WATER

11.12 DISHWASHER

11.13 COOKTOP/RANGE

11.20 WASHING MACHINE

11.21 DRYER

11.40 GAS GRILL

15.10 SINK WITH DISPOSAL

15.11 UTILITY SINK

15.20 BATHROOM SINK

15.21 BATHTUB

15.23 SHOWER (WATER RESISTANT FINISH UP TO 72" MINIMUM) SLOPE TO DRAIN, REFER TO INTERIOR DESIGNER SPECIFICATIONS

16.11 ELECTRICAL SUB-PANEL (FLUSH MOUNT)

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GENERAL NOTES

G-1 WHERE THE HIGHEST POINT OF A CEILING IN A ROOM THAT OPENS TO THE HALLWAY SERVING THE BEDROOMS EXCEEDS THAT OF THE OPENING INTO THE HALLWAY BY 24" OR MORE, SMOKE DETECTORS SHALL BE INSTALLED IN THE HALLWAY AND IN THE ADJACENT ROOM. PROVIDE ADDL. S.D.'S AS APPLICABLE.

G-2 ALL EXITS SHALL BE OPENABLE FROM THE INSIDE WITHOUT A KEY OR SPECIAL KNOWLEDGE.

G-3 MANUALLY OPERATED EDGE OR SURFACE MOUNTED FLUSH BOLTS AND SURFACE BOLTS ARE PROHIBITED.

G-4 PERP. DISTANCE FROM THE FIREPLACE OPENING TO COMBUSTIBLE WALLS SHALL CONFORM TO THE I.C.C./N.E.R. REPORT.

G-5 HEARTH EXTENSIONS: DECORATIVE NONCOMBUSTIBLE COMBUSTIBLE MATERIAL SHALL BE INSTALLED OVER A THERMAL RESISTIVE BARRIER WHICH COMPLIES WITH THE EVALUATION REPORT AND MFR'S WRITTEN INSTALLATION MANUAL.

G-6 ALL PRODUCTS LISTED BY I.C.C. NUMBERS SHALL BE INSTALLED PER THE REPORT AND MFR'S WRITTEN INSTRUCTIONS. PRODUCT SUBSTITUTION(S) FOR ITEM(S) LISTED SHALL ALSO HAVE I.C.C. APPROVED EVALUATION REPORT(S) OR BE APPROVED AND LISTED BY OTHER NAT. TESTED AGENCIES.

G-7 ALL GLASS IN HAZARDOUS LOCATIONS AND ALL GLASS WITHIN 18" OF FLOOR (EXCEPT SINGLE PANES WITH 9 S.F. OR LESS AREA SHALL BE SAFETY GLASS (SECT. 5406)

G-8 GAS LINES:

A. NOT ALLOWED UNDER STRUCT(S).

B. NOT ALLOWED UNDER SLAB(S).

C. SHALL CONFORM TO ALL CURRENT CODES

G-9 PROVIDE 5/8" TYPE "X" GYPSUM BOARD AT ALL WALLS AND CEILING OF GARAGE UNLESS SPECIFICALLY OTHERWISE PERMITTED BY LOCAL BUILDING OFFICIAL.

G-10 PROVIDE WATERPROOF COUNTERTOPS AT KITCHEN, LAUNDRY, AND ALL BATHROOMS.

G-11 AT OUT-SWINGING DOORS, PROVIDE LANDING NOT LOWER THAN - 4 INCHES BELOW TOP OF DOOR THRESHOLD. PER R311.4.3 AMENDED. THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A MIN. DIMENSION OF 36" MEASURED IN THE DIRECTION OF TRAVEL.

G-12 ATTIC ACCESS OPENINGS SHALL NOT BE LESS THAN 22"x30" AND SHALL PROVIDE A MIN. OF 30" HEADROOM AND SHALL BE LOCATED IN A HALLWAY OR READILY ACCESSIBLE SPACE PER IRC R807.

G-13 ALL MECH. EQUIPMENT (AIR COND., POOL EQUIP., ETC. SHALL BE SCREENED A MIN. OF 1'-0" ABOVE THE HIGHEST PORTION OF THE EQUIP. FROM ALL SIDES AND SHALL BE COMPATIBLE WITH THE ADJACENT BUILDING. SEE FLOOR PLAN AND SITE PLAN FOR LOCATION OF EQUIP.

G-14 UNLESS SHOWN OTHERWISE, POSITION DOOR JAMBS 6" OFF THE WALL CONSTRUCTION AND/OR DESIGNATED DETAIL.

G-15 WATER RESISTANT GYPSUM BOARD SHALL NOT BE INSTALLED OVER A VAPOR RETARDER IN A SHOWER OR TUB COMPARTMENT. ALSO INCLUDES AREA SUBJECT TO CONT. HIGH HUMIDITY. CEMENT, FIBER-CEMENT OR GLASS MAT GYPSUM BACKERS INSTALLED IN ACCORDANCE WITH MFR'S RECOMMENDATIONS SHALL BE USED AS BACKERS FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL PANELS IN SHOWER AREAS. (R702.4.2)

FOR: SCHEMATIC DESIGN

REV # DATE

CAMELBACK  
ESTATE

FLOOR PLAN

Project number 19-12

Date 4/08/2020

Drawn by DJB

Checked by DJB

A2.1

Scale As indicated

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KEYNOTES

5.40 STEEL ROOFING  
7.40 METAL FASCIA  
-MBCI METAL ROOFING AND METAL FASCIA  
-MIDNIGHT BRONZE - LRV = 7 (OR EQUIVALENT)

NOTE:

PAINT ALL FLAT AREAS OF ROOF  
SHERWIN WILLIAMS - NORTHEASTER  
LRV = 32 (OR EQUIVALENT)

GENERAL NOTES

- G-1 SEE ROOF FRAMING PLAN FOR SHEATHING REQUIREMENTS.
- G-2 EXTEND FOAM UP VERTICAL WALL SURFACES AS REQUIRED BY MFR.
- G-3 PROVIDE FLASHING AND COUNTER-FLASHING AT ALL EDGES OF EXTERIOR WALL FINISH SYSTEM ADJACENT TO ROOF MATERIAL.
- G-4 PROVIDE A 6" OVERFLOW DRAIN (2'-0" MEASURED HORIZONTALLY) AND SHALL DISCHARGE TO AN APPROVED LOCATION AND SHALL NOT BE CONNECTED TO ROOF DRAIN LINES. OVERFLOW DRAIN TO BE 2" ABOVE THE LOWEST ADJACENT ROOF HEIGHT. PROVIDE STRAINERS AT INLETS AS REQUIRED. STRAINERS SHALL EXTEND NOT LESS THAN 4" ABOVE SURFACE OF ROOF AND SHALL HAVE A MINIMUM INLET AREA 1 1/2 TIMES THE PIPE TO WHICH IT IS CONNECTED.
- G-5 GALV. FLASHING IN ALL VALLEYS, 8" EACH WAY AND AT ALL PARAPETS.
- G-6 GALV. FLASH AT WALLS ABOVE ROOF.
- G-7 SINGLE PLY ROOF FINISH COAT SHALL BE COLORED TO MATCH BODY OF HOUSE.
- G-8 ALL ROOF VENTS AND EQUIPMENT MUST BE PAINTED TO MATCH BODY OF HOUSE.
- G-9 BITUTHANE AT TOPS OF ALL PARAPETS & ALL HORIZ. STUCCO SURFACES.

ATTIC VENTILATION

NOT REQUIRED PER I.R.C. 806.4: CONDITIONED ATTIC REQUIRES NO VENTILATION- FASTEN INSULATION TO INSIDE FACE OF EXTERIOR SHEATHING AT TRUSS & TRUSS FRAMING MEMBERS

SYMBOL LEGEND

6" OVERFLOW DRAIN (2'-0" MEASURED HORIZONTALLY) AND SHALL DISCHARGE TO AN APPROVED LOCATION AND SHALL NOT BE CONNECTED TO ROOF DRAIN LINES. OVERFLOW DRAIN TO BE 2" ABOVE THE LOWEST ADJACENT ROOF HEIGHT. PROVIDE STRAINERS AT INLETS AS REQUIRED. STRAINERS SHALL EXTEND NOT LESS THAN 4" ABOVE SURFACE OF ROOF AND SHALL HAVE A MINIMUM INLET AREA 1 1/2 TIMES THE PIPE TO WHICH IT IS CONNECTED.

MATERIAL LEGEND

- STUCCO TO COMPLY WITH G1  
COLOR : SHERWIN WILLIAMS - NORTHEASTER  
LRV = 32  
ESR #1607
- STANDING SEAM METAL ROOFING  
COLOR = DARK BRONZE ANODIZED  
LRV = 7
- METAL FASCIA  
COLOR = DARK BRONZE ANODIZED  
LRV = 7
- TONGUE & GROOVE - SIZE: T.B.D.  
SHERWIN WILLIAMS - HAWTHORNE - SW3518  
APPROX LRV = 20 (OR EQUIVALENT)

FOR: HILLSIDE REVIEW

REV # DATE

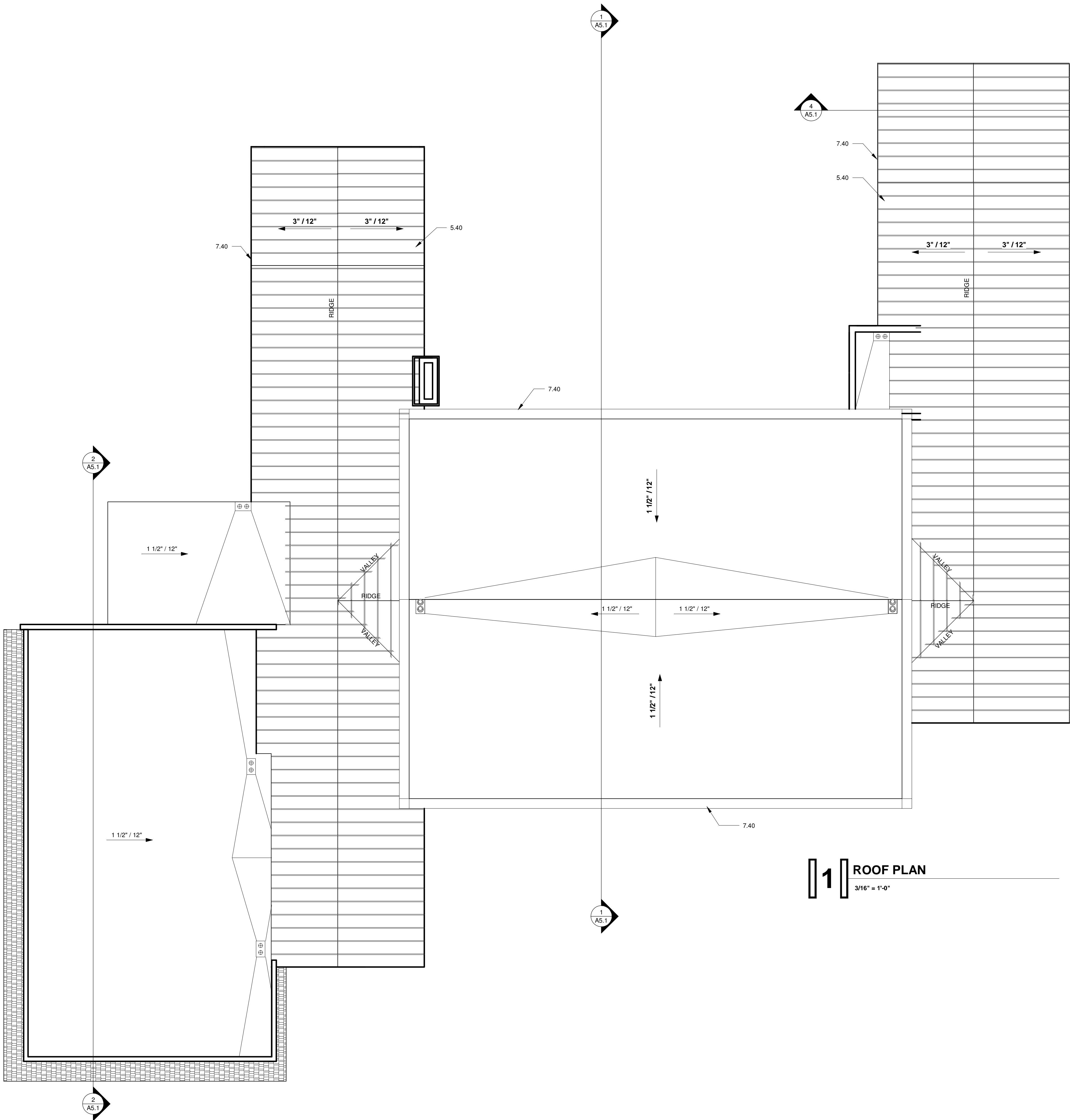
CAMELBACK  
ESTATE

ROOF PLAN

Project number 19-12  
Date 4/08/2020  
Drawn by Author  
Checked by Checker

A4.1

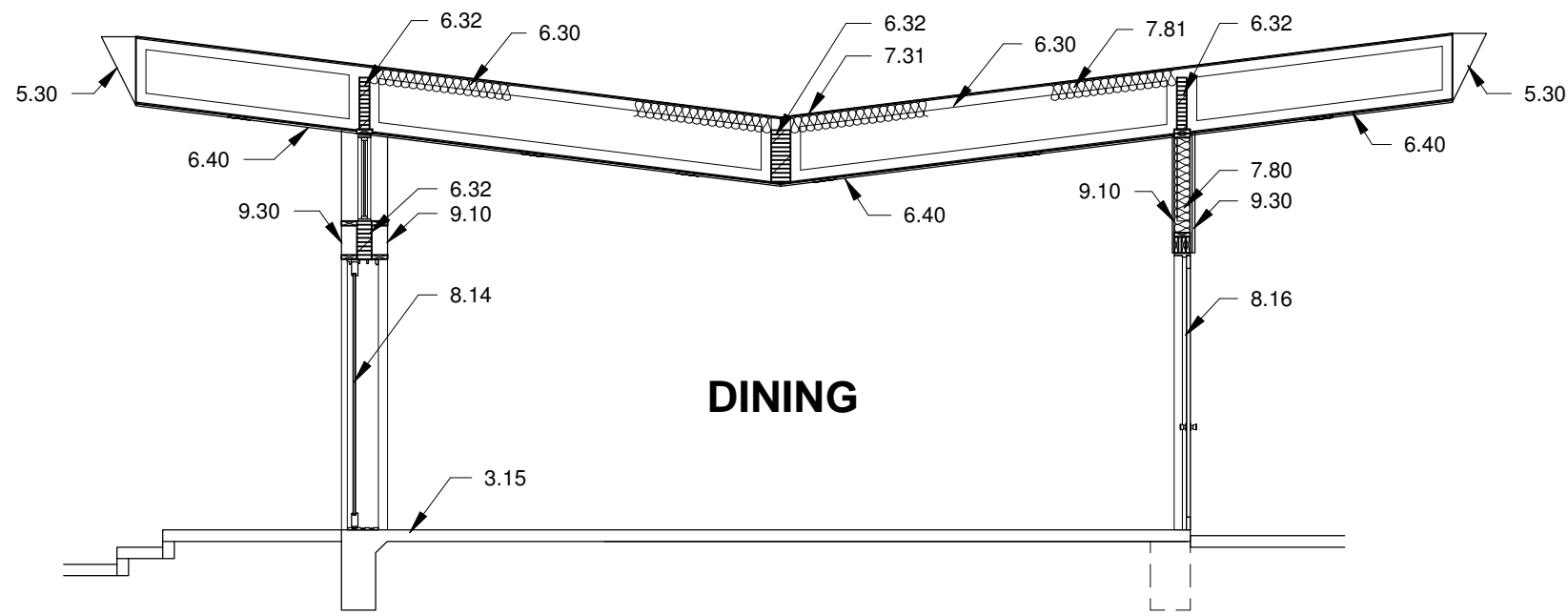
Scale As indicated



1 ROOF PLAN  
3/16" = 1'-0"

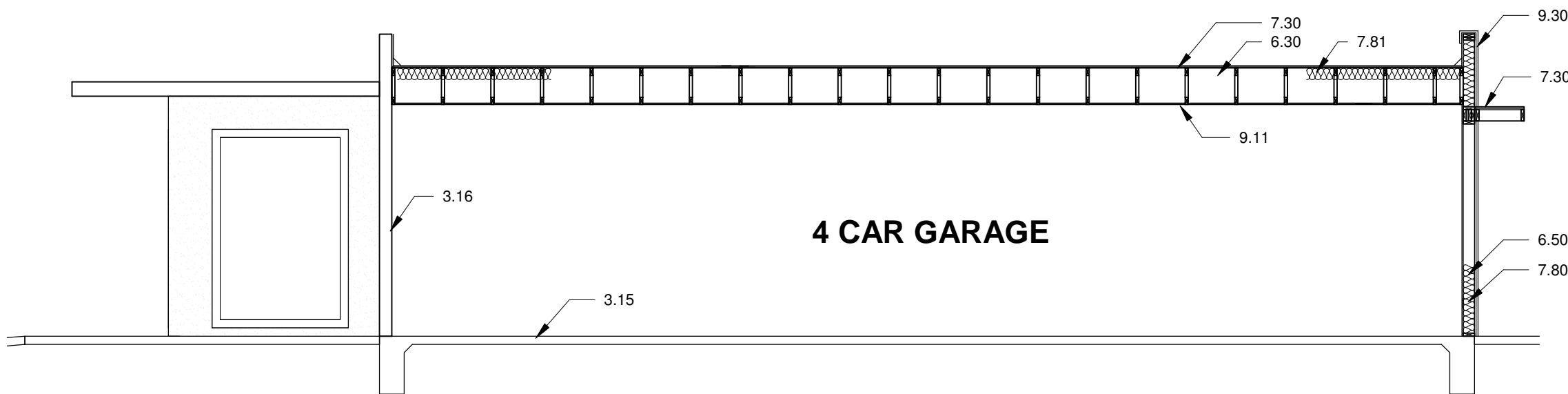
KEYNOTES

- 3.15 CONCRETE SLAB PER STRUCTURAL SPECIFICATIONS  
3.16 CONCRETE WALL PER STRUCTURAL SPECIFICATIONS  
5.30 ORNAMENTAL METAL  
5.40 STEEL ROOFING  
5.41 1/2" PLATE STEEL  
6.30 PREFABRICATED ROOF TRUSS  
6.32 LAMINATED BEAM  
6.40 TONGUE AND GROOVE WOOD PLANK  
6.41 WOOD FASCIA  
6.42 RAFTER  
6.50 2X WOOD STUD WALL  
7.30 CARLISLE TPO ROOFING AND EPS TAPERED INSULATION  
7.31 SPRAY FOAM OR FRAMED CRICKET  
7.40 METAL FASCIA  
7.80 WALL INSULATION (R-19 MINIMUM)  
7.81 CEILING INSULATION (R-38 MINIMUM)  
8.14 SLIDING GLASS WALL SYSTEM  
8.16 WOOD DOOR  
9.10 GYPSUM BOARD  
9.11 TYPE "X" GYPSUM BOARD  
9.30 STUCCO APPLICATION



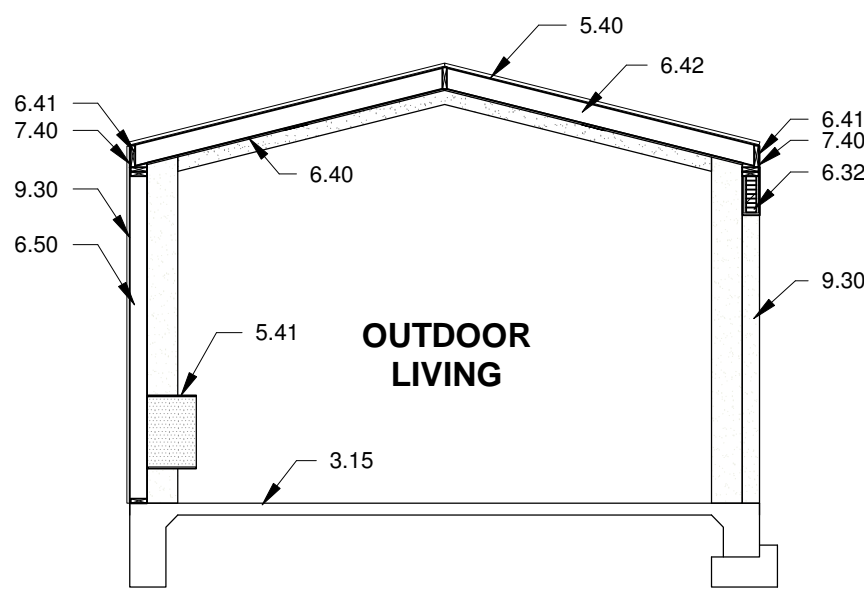
**BUILDING SECTION 1**

3/16" = 1'-0"



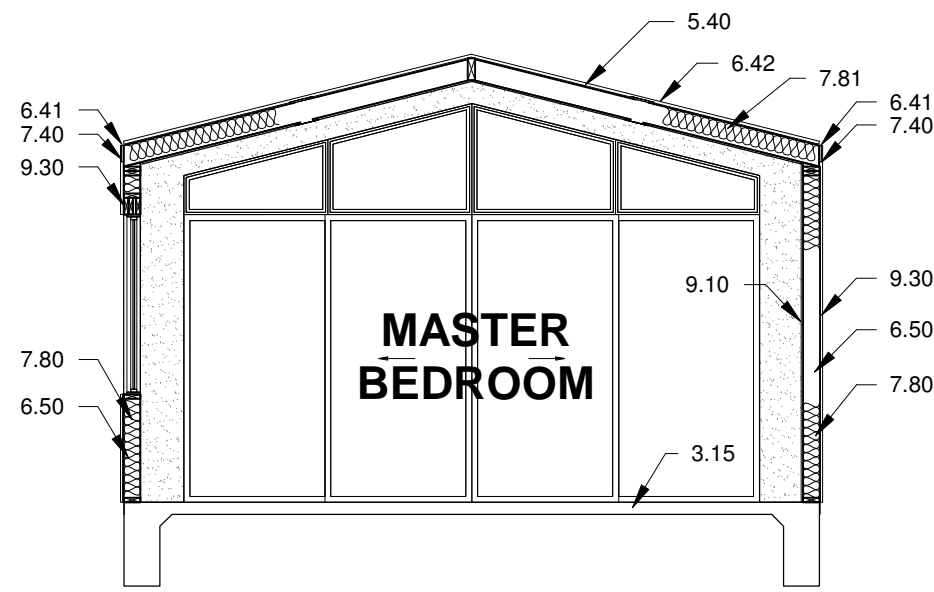
**BUILDING SECTION 2**

3/16" = 1'-0"



**BUILDING SECTION 3**

3/16" = 1'-0"



**BUILDING SECTION 4**

3/16" = 1'-0"

FOR: SCHEMATIC DESIGN

REV # DATE

CAMELBACK  
ESTATE

BUILDING SECTIONS

Project number 19-12

Date 01/29/2020

Drawn by DJB

Checked by DJB

A5.1

Scale As indicated

## GENERAL NOTES

- G-1 MAG ONE-COAT STUCCO COMPLIANCE PROGRAM: ALL ONE-COAT STUCCO SYSTEMS SHALL BE APPLIED BY MFR. APPROVED INSTALLERS. AN APPROVED WEATHER RESISTIVE BARRIER SHALL BE APPLIED OVER ALL FRAMING AND WOOD BASED SHEATHING. ONE COAT STUCCO SYSTEM SHALL BE "WESTERN ONE KOTE" STUCCO SYSTEM (ICC ESR #1607). THIS ONE-COAT STUCCO SYSTEM SHALL BE APPLIED OVER A WEATHER RESISTIVE BARRIER CONFORMING TO IRC R 703.9.
- G-2 PROVIDE WEATHER FLASHING/PROOFING AT EXTERIOR WALL PENETRATIONS, INCLUDING WINDOWS, DOORS AND VENTS PER R703.8
- G-3 PAINT ALL UTILITARIAN METAL TO MATCH STUCCO U.N.O.
- G-4 WEEP SCREED TO BE INSTALLED PER IRC R703.6.2.1
- G-5 STUCCO/PLASTER FINISH MATERIAL TO BE INSTALLED PER IRC R703.6.2.

## WINDOW NOTES

- W-1 EACH SLEEPING ROOM SHALL HAVE AT LEAST ONE OPENABLE OR EXTERIOR WINDOW OR DOOR FOR EMERGENCY ESCAPE OR RESCUE. THE OPENING SHALL PROVIDE A MIN. OF 5.7 S.F. OF NET CLEAR OPENING. THE OPENING SHALL PROVIDE A MIN. OF 24" CLEAR OPENING HEIGHT AND 20" CLEAR OPENING WIDTH. WHERE WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THE FINISH SILL HEIGHT SHALL NOT EXCEED 44" ABOVE FINISH FLOOR.
- W-2 PRIMARY WINDOWS (BEDROOMS, LIVING, ETC.) SHALL BE RECESSED MIN 1" TO FACE OF GLASS
- W-3 SECONDARY WINDOWS (BATHROOMS, CLOSETS, ETC.) SHALL BE RECESSED MIN. 4"
- W-4 DIVIDED LIGHTS SHALL BE TRUE DIVIDED OR SIMULATED LIGHT W/ EXTERNAL MUNTINS ON EACH SIDE OF GLASS WITH SHADOW BAR BETWEEN PANE'S. GLAZING SHALL BE LOW-E COATED CLEAR GLASS.

NOTE: ALL DOOR FRAMES AND WINDOW FRAMES TO BE WESTERN WINDOWS AND DOORS, DARK BRONZE ANODIZED COLOR WITH AN LRV NOT TO EXCEED 38%, OR EQUIVALENT.

## MATERIAL LEGEND

- STUCCO TO COMPLY WITH G1  
COLOR: SHERWIN WILLIAMS - NORTHEASTER  
LRV = 32  
ESR #1607
- STANDING SEAM METAL ROOFING  
COLOR = DARK BRONZE ANODIZED  
LRV = 7
- METAL FASCIA  
COLOR = DARK BRONZE ANODIZED  
LRV = 7
- TONGUE & GROOVE - SIZE: T.B.D.  
SHERWIN WILLIAMS - HAWTHORNE - SW3518  
APPROX LRV = 20 (OR EQUIVALENT)

FOR: HILLSIDE REVIEW

REV # DATE

CAMELBACK  
ESTATEEXTERIOR  
ELEVATIONS

Project number 19-12

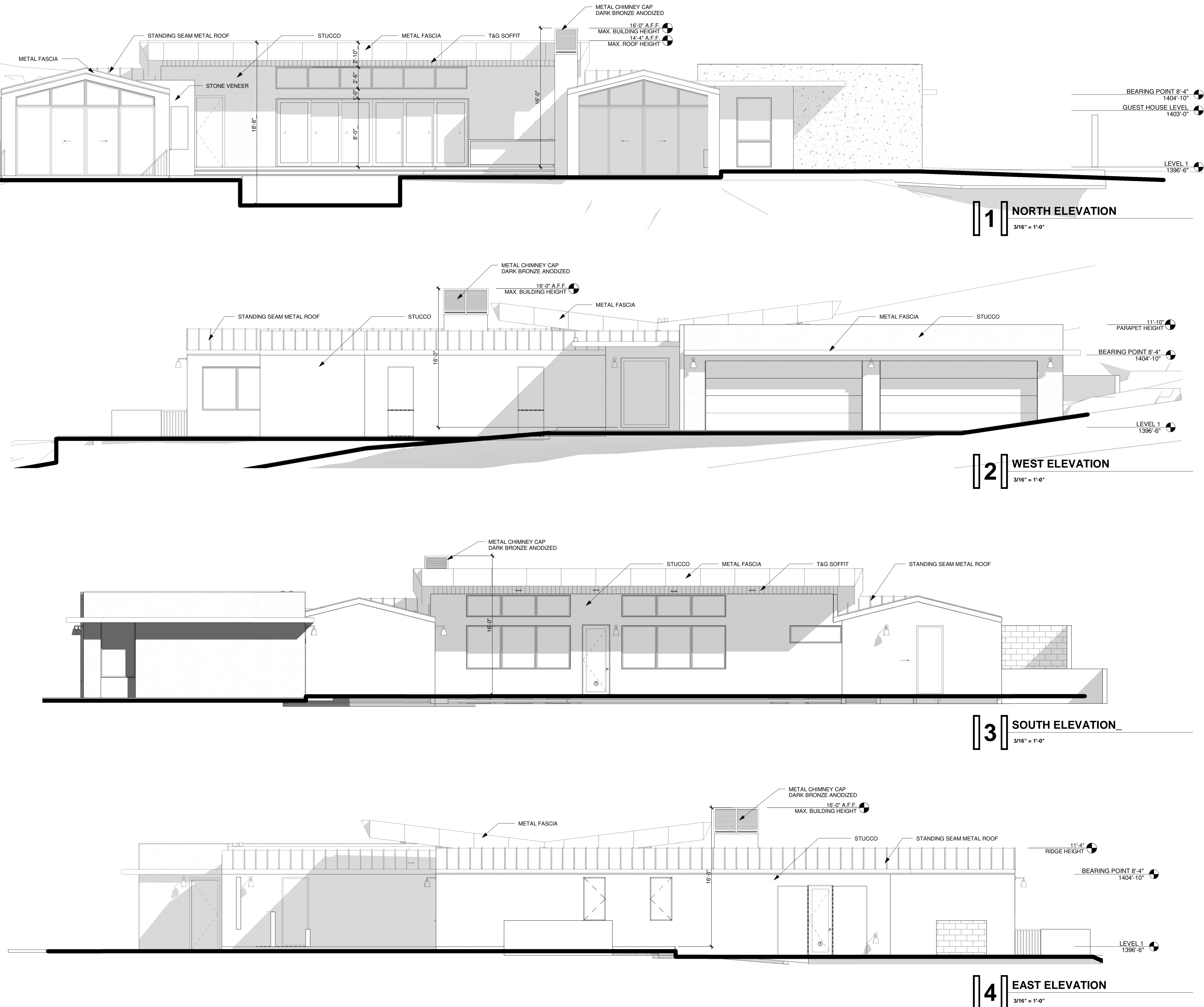
Date 4/08/2020

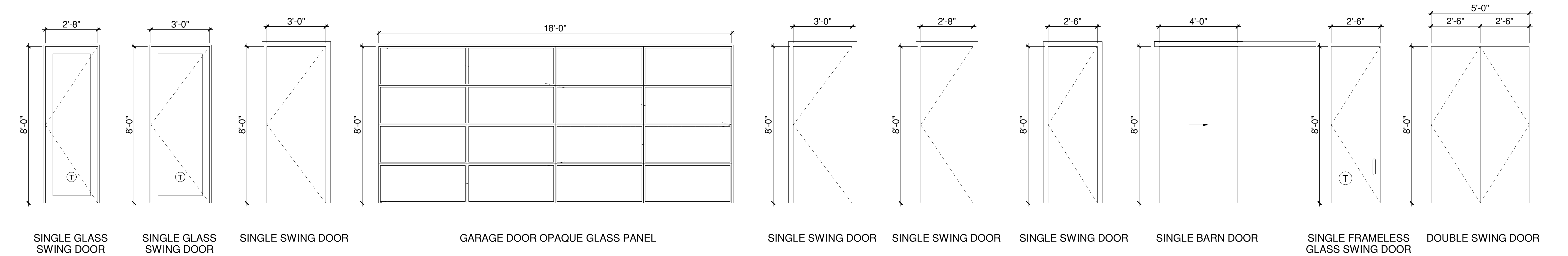
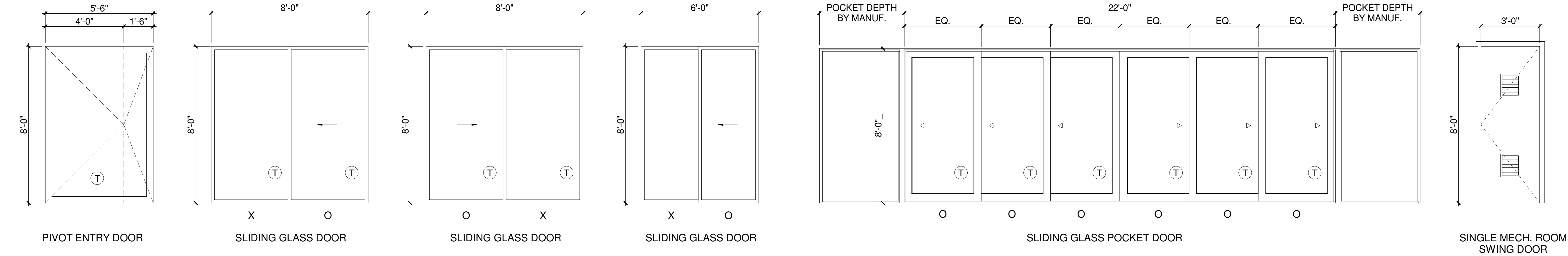
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Checked by DJB

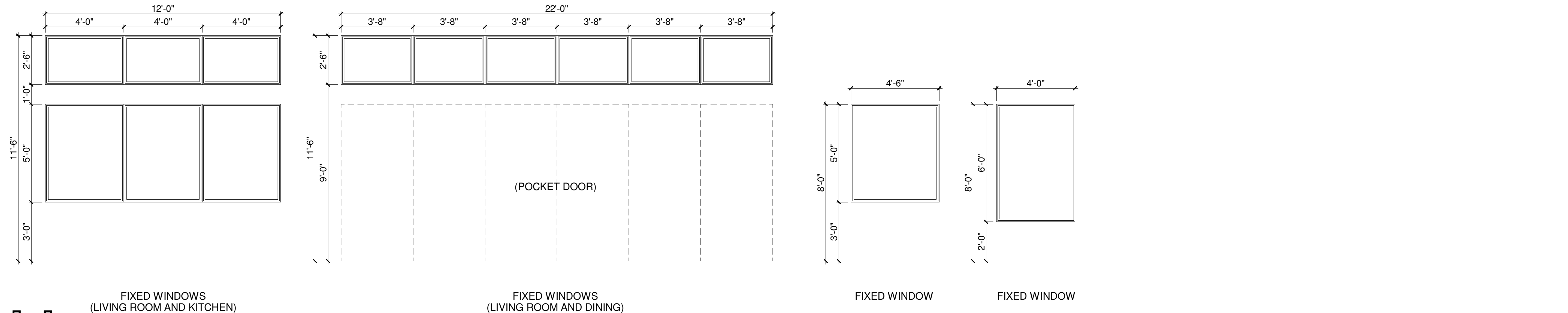
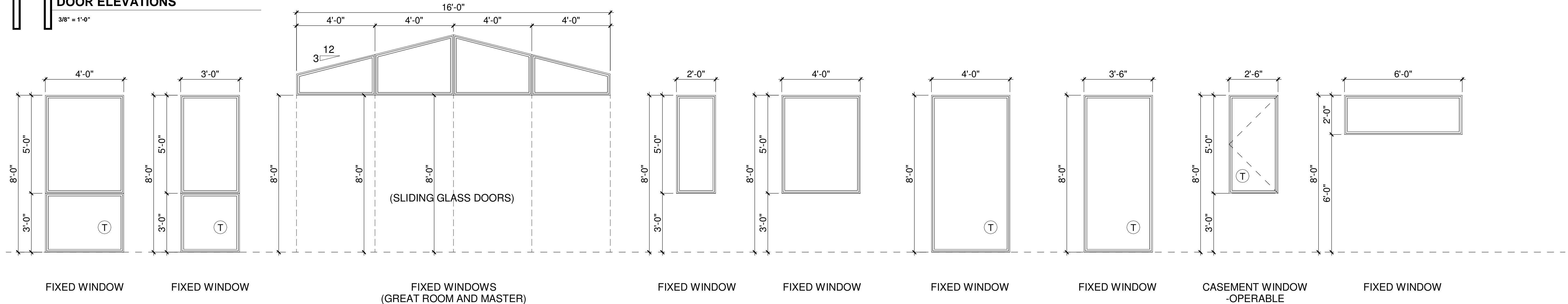
A6.1

Scale As indicated





**DOOR ELEVATIONS**  
3/8" = 1'-0"



**WINDOW ELEVATIONS**  
3/8" = 1'-0"



ARCHITECTURE | PLANNING | DESIGN

**GENERAL NOTES**

G-1 COORDINATE ALL INTERIOR DOOR STYLES/PANELS AND FINISHES WITH INTERIORS BEFORE COMMENCING WITH WORK.  
G-2 ALL EXTERIOR DOORS TO BE COORDINATED WITH ARCHITECT AND INTERIORS.

**WINDOW NOTES**

W-1 EACH SLEEPING ROOM SHALL HAVE AT LEAST ONE OPENABLE OR EXTERIOR WINDOW OR DOOR FOR EMERGENCY ESCAPE OR RESCUE. THE OPENING SHALL PROVIDE A MIN. OF 5.7 S.F. OF NET CLEAR OPENING. THE OPENING SHALL PROVIDE A MIN. OF 24" CLEAR OPENING HEIGHT AND 20" CLEAR OPENING WIDTH. WHERE WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THE FINISH SILL HEIGHT SHALL NOT EXCEED 44" ABOVE FINISH FLOOR.  
W-2 PRIMARY WINDOWS (BEDROOMS, LIVING, ETC.) SHALL BE RECESSED MIN 6" TO FACE OF GLASS.  
W-3 SECONDARY WINDOWS (BATHROOMS, CLOSETS, ETC.) SHALL BE RECESSED MIN. 4".  
W-4 DIVIDED LIGHTS SHALL BE TRUE DIVIDED OR SIMULATED LIGHT W/ EXTERNAL MUNTINS ON EACH SIDE OF GLASS WITH SHADOW BAR BETWEEN PANES. GLAZING SHALL BE LOW-E COATED CLEAR GLASS.

NOTE: ALL DOOR FRAMES AND WINDOW FRAMES TO BE WESTERN WINDOWS AND DOORS, DARK BRONZE ANODIZED COLOR WITH AN LRV OF 7%,OR EQUIVALENT.

FOR: HILLSIDE REVIEW

REV # DATE

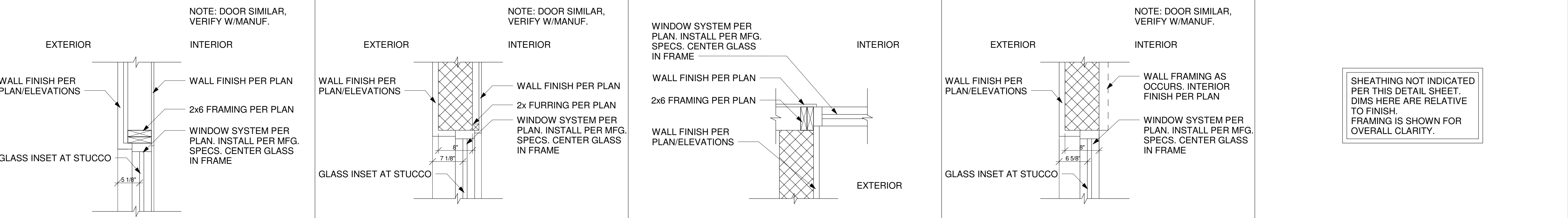

**CAMELBACK ESTATE**

**DOOR & WINDOW SCHEDULE**

Project number	19-12
Date	4/08/2020
Drawn by	DJB
Checked by	DJB

A8.1

Scale As indicated



WINDOW SYSTEM PER PLAN. INSTALL PER MFG. SPECS. CENTER GLASS IN FRAME

WALL FINISH PER PLAN

2x6 FRAMING PER PLAN

WALL FINISH PER PLAN/ELEVATIONS

INTERIOR

EXTERIOR

EXTERIOR

INTERIOR

NOTE: DOOR SIMILAR, VERIFY W/MANUF.

WALL FINISH PER PLAN/ELEVATIONS

WALL FRAMING AS OCCURS. INTERIOR FINISH PER PLAN

WINDOW SYSTEM PER PLAN. INSTALL PER MFG. SPECS. CENTER GLASS IN FRAME

GLASS INSET AT STUCCO

8"

6 5/8"

SHEATHING NOT INDICATED PER THIS DETAIL SHEET. DIMS HERE ARE RELATIVE TO FINISH. FRAMING IS SHOWN FOR OVERALL CLARITY.

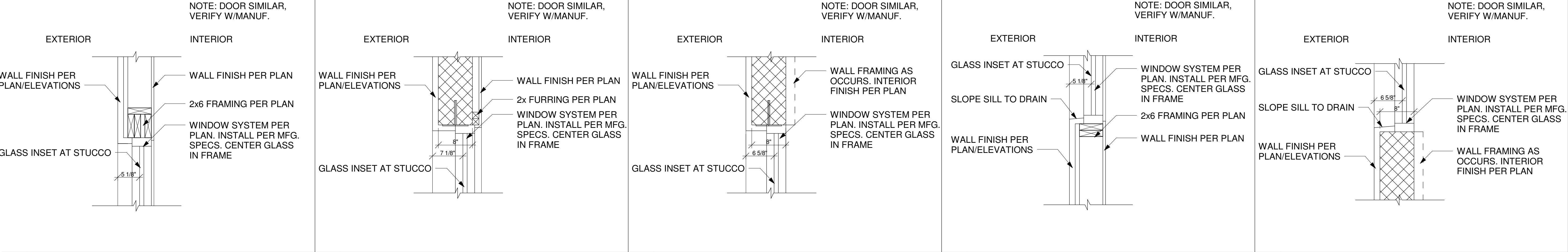
1 WINDOW JAMB DETAIL

2 WINDOW JAMB DETAIL

3 WINDOW JAMB DETAIL

4 WINDOW JAMB DETAIL

5



EXTERIOR

INTERIOR

NOTE: DOOR SIMILAR, VERIFY W/MANUF.

WALL FINISH PER PLAN/ELEVATIONS

2x FURRING PER PLAN

WINDOW SYSTEM PER PLAN. INSTALL PER MFG. SPECS. CENTER GLASS IN FRAME

GLASS INSET AT STUCCO

8"

7 1/8"

EXTERIOR

INTERIOR

NOTE: DOOR SIMILAR, VERIFY W/MANUF.

WALL FINISH PER PLAN/ELEVATIONS

WALL FRAMING AS OCCURS. INTERIOR FINISH PER PLAN

WINDOW SYSTEM PER PLAN. INSTALL PER MFG. SPECS. CENTER GLASS IN FRAME

GLASS INSET AT STUCCO

8"

6 5/8"

EXTERIOR

INTERIOR

NOTE: DOOR SIMILAR, VERIFY W/MANUF.

GLASS INSET AT STUCCO

SLOPE SILL TO DRAIN

WALL FINISH PER PLAN/ELEVATIONS

WINDOW SYSTEM PER PLAN. INSTALL PER MFG. SPECS. CENTER GLASS IN FRAME

2x6 FRAMING PER PLAN

WALL FINISH PER PLAN

5 1/8"

EXTERIOR

INTERIOR

NOTE: DOOR SIMILAR, VERIFY W/MANUF.

GLASS INSET AT STUCCO

SLOPE SILL TO DRAIN

WALL FINISH PER PLAN/ELEVATIONS

WINDOW SYSTEM PER PLAN. INSTALL PER MFG. SPECS. CENTER GLASS IN FRAME

WALL FRAMING AS OCCURS. INTERIOR FINISH PER PLAN

6 5/8"

8"

6 WINDOW HEAD DETAIL

7 WINDOW HEAD DETAIL

8 WINDOW HEAD DETAIL

9 WINDOW SILL DETAIL

10 WINDOW SILL DETAIL



EXTERIOR

INTERIOR

NOTE: DOOR SIMILAR, VERIFY W/MANUF.

GLASS INSET AT STUCCO

SLOPE SILL TO DRAIN

WALL FINISH PER PLAN/ELEVATIONS

WINDOW SYSTEM PER PLAN. INSTALL PER MFG. SPECS. CENTER GLASS IN FRAME

2x FURRING PER PLAN

WALL FINISH PER PLAN

7 1/8"

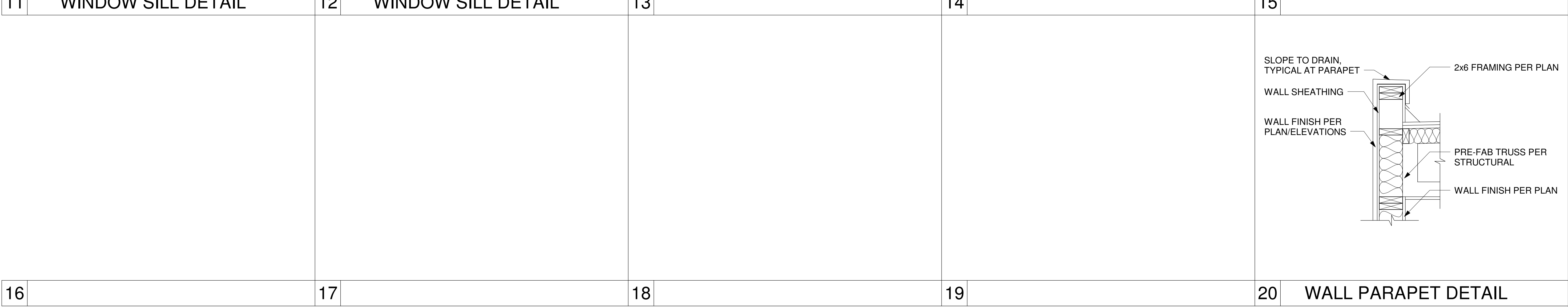
11 WINDOW SILL DETAIL

12 WINDOW SILL DETAIL

13

14

15



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FOR: HILLSIDE REVIEW

REV # DATE

CAMELBACK  
ESTATE

DOOR & WINDOW  
DETAILS

Project number 19-12

Date 4/08/2020

Drawn by DJB

Checked by DJB

A9.1

Scale 1" = 1'-0"

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KEYNOTES

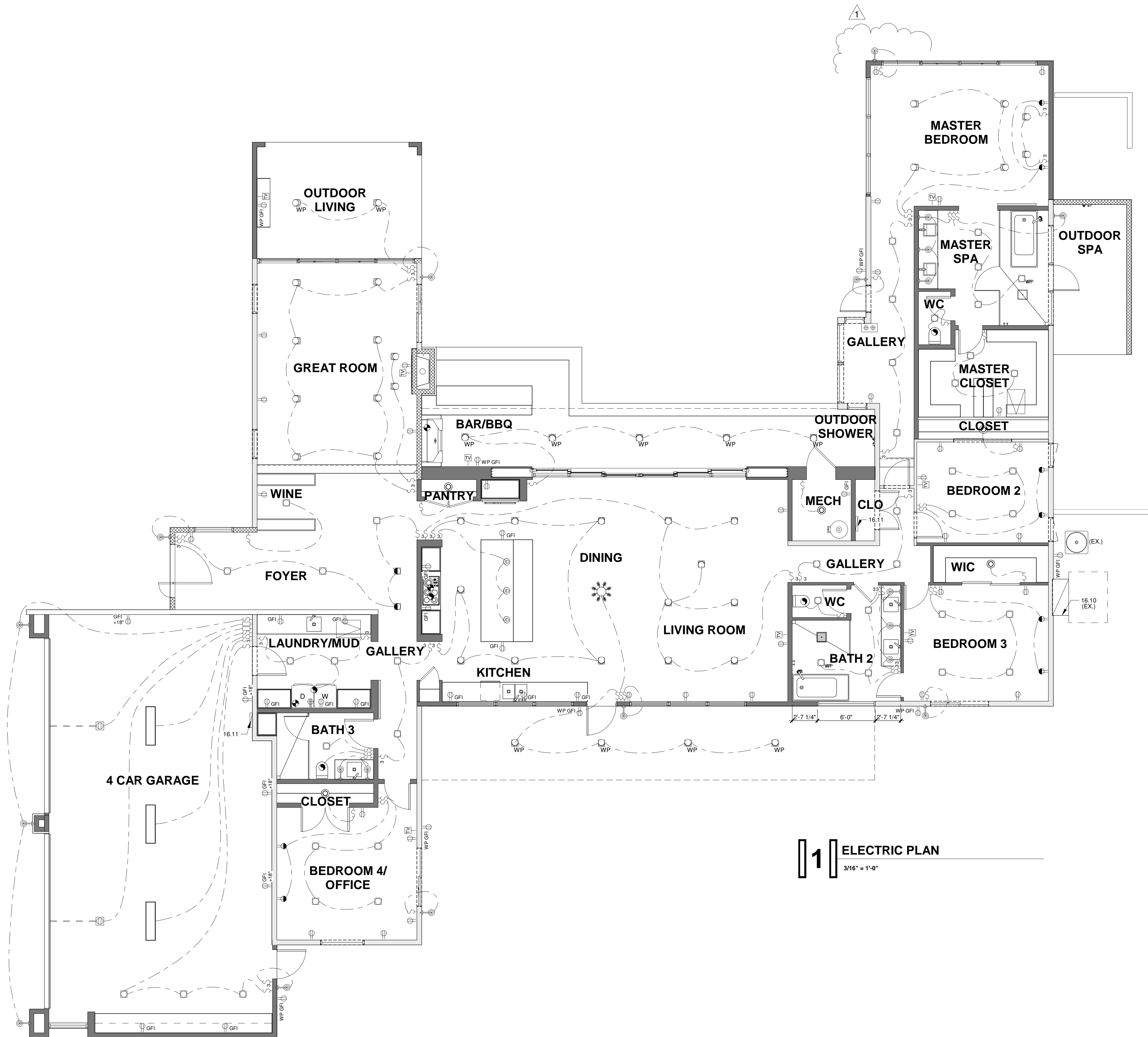
16.10 ELECTRICAL SERVICE ENTRANCE  
16.11 ELECTRICAL SUB-PANEL (FLUSH MOUNT)

GENERAL NOTES

G-1. GARAGE TO BE WIRED AND STUB OUT FOR FUTURE ELECTRIC CAR OUTLET. PANEL WILL NEED A DEDICATED CIRCUIT BREAKER WITH A 240V LINE.  
G-2. ALL 125 V RECEPTACLES TO BE LISTED TAMPER RESISTANT.  
G-3. 75% OF ALL LIGHTING TO HAVE HIGH EFFICIENCY LAMPS & ALL RECESSED LIGHTS IN BUILDING ENVELOPE TO BE SEALED.

SYMBOL LEGEND

	STANDARD WALL SWITCH
	3-WAY WALL SWITCH
	STANDARD DUPLEX OUTLET (SEE GEN. NOTE E)
	1/2" SWITCHED OUTLET (SEE GEN. NOTE E)
	FLOOR OUTLET - VERIFY LOCATION WITH OWNER (SEE GEN. NOTE E)
	220 V. OUTLET (SEE GEN. NOTE E)
	110 V. SMOKE DETECTOR WITH BATTERY BACKUP
	APPROVED CARBON MONOXIDE ALARM
	EXHAUST FAN (V.T.O.)
	CAN LIGHT
	CANNED DIRECTIONAL LIGHT
	WALL MOUNTED LIGHT
	PENDENT CEILING LIGHT
	SURFACE MOUNTED LIGHT
	PUCK ACCENT LIGHT
	COMBINATION PHONE / TV
	GAS VALVE
	GARAGE DOOR OPENER
	WEATHER PROOF BOX
	VAPOR PROOF FIXTURE
	GROUND FAULT CIRCUIT INTERRUPTER
	3-WAY CONTROL FOR SWITCH
	4-WAY CONTROL FOR SWITCH



**1** ELECTRIC PLAN  
3/16" = 1'-0"

FOR: HILLSIDE REVIEW

REV # DATE

CAMELBACK  
ESTATE

ELECTRIC PLAN

Project number 19-12  
Date 4/08/2020  
Drawn by DJB  
Checked by DJB

E2.1

Scale As indicated