

PROJECT LOCATION: 4700 E. Charles Dr
Paradise Valley, AZ 85253

ASSESSOR PARCEL NUMBER: 168-69-014

LEGAL DESCRIPTION:

A portion of the southeast quarter of Section 31, Township3 North, Range 4 East of the Gila and Salt River Base and Meridian. Lot 12 of Sunset Hills, According to the plat of record in the office of Maricopa County, State of Arizona found in Book 68 of maps, page 2.

ZONING: RE-43

OCCUPANCY: R-3 Single Family Residential

CONSTRUCTION TYPE: V

FIRE SPRINKLERS: Existng, Not Required

GRADING AND DRAINAGE:Not Required

RETENTION: Not Required

HILLSIDE: Yes

INTERNATIONAL DESIGN CODES:

w/ Paradise Valley Ammendments:

2015 IRC International Residential Code

2014 NEC National Electric Code

2015 IPC International Plumbing Code

2015 IMC International Mechanical Code

2015 IFC International Fire Code

2015 IECC International Energy Conservation Code

2015 IFGC International Fuel Gas Code

2015 IPMC International Property Maintenance Code

Current Paradise Valley Zoning Ordinance

Scope:

The existing house, drive, pool and pool fence is all to remain. The new scope is to add a new small sports court (44' x 28') on the North East corner of the property, inside the build-able area of an accessory structure. While accessory structures and sports courts with 10'-0" high fencing are allowable in the hillside ordinance, technically turf is not allowed on hillside lots. Given the size and scope of the sport court, we feel that the less obtrusive court fits into the general intent of the hillside regulations, by staying within the 20' rear and 20' side yard setbacks and using a color of artificial turf that blends with the undisturbed desert landscape, as well as being located within the lush desert landscape that will remain existing around the sport court, helping to shield it from the street and neighbor views. The landscape to be removed will only happen inside and immediately adjacent to the new enclosure. The enclosure will consist of the same material of the pool fence, raw steel welded wire fabric attached to steel 2" posts every four feet with no finish, so that the steel will rust and blend into the desert surroundings. The height will also be similar to a pool fence, at 5' tall, stepping 2"-6" per panel only to follow the existing grade, only half of the sport court fence (10'-0") allowance. Artificial turf is proposed for the sport court but a light brown color has been selected so that it blends best with the immediate undisturbed desert landscape (See specs and photos included). The turf also is intended to keep water and maintenance at a minimum, and will only exist inside the enclosure. The enclosure will not require any grading and drainage, and will be allowed to drain with the existing topography, not effecting any of the natural site water flow. The path to the sports court will be natural desert floor, and will have only two lights, one near the sports court gate and the other near the corner of the existing house. The light specs are low path lighting, which match the previously approved fixtures and bulbs (See specs attached).

Lot Area:	43,676 Sqft. or 1.0027 Acres
Area Under Roof:	8,751 Sqft.
Driveway Credit 25%:	1,254 Sqft.
Floor Area Ratio (%):	20%
Building Site Slope: (%):	Calc 9.9% use 10%
Vertical (Ft.):	17Ft.
Horizontal (Ft.):	171Ft.
Allowable Disturbed Area (%):	60%
Allowable Disturbed Area (Sqft.):	26,206 Sqft.
Existing Disturbed Area:	20,600 Sqft.
New Disturbed Area including path:	1,557 Sqft.
Total Disturbed Area:	22,157 Sqft.
% of Lot Steeper than Natural Grade (5% Max)	0.37%
Volume of New Cut and Fill	0 C.Y.
Max Length of Visible Retaining Wall (existing):	162.8 Ft.
Max Length of Total Retaining Wall (existing):	332.2 Ft.
Total Length of Screen Wall (existing):	67.0 Ft.
Length of Pool View Fencing (existing):	191.8 Ft.
Length of Sport Court View Fencing (new):	144.0 Ft.

ARCHITECT:

ISOS Architecture, LLC
W. Brent Armstrong
307 W. Latham St.
Phoenix, AZ 85003
480 323 6928
brent@isosarchitecture.com
www.isosarchitecture.com
www.wbrentarmstrong.com

OWNER:

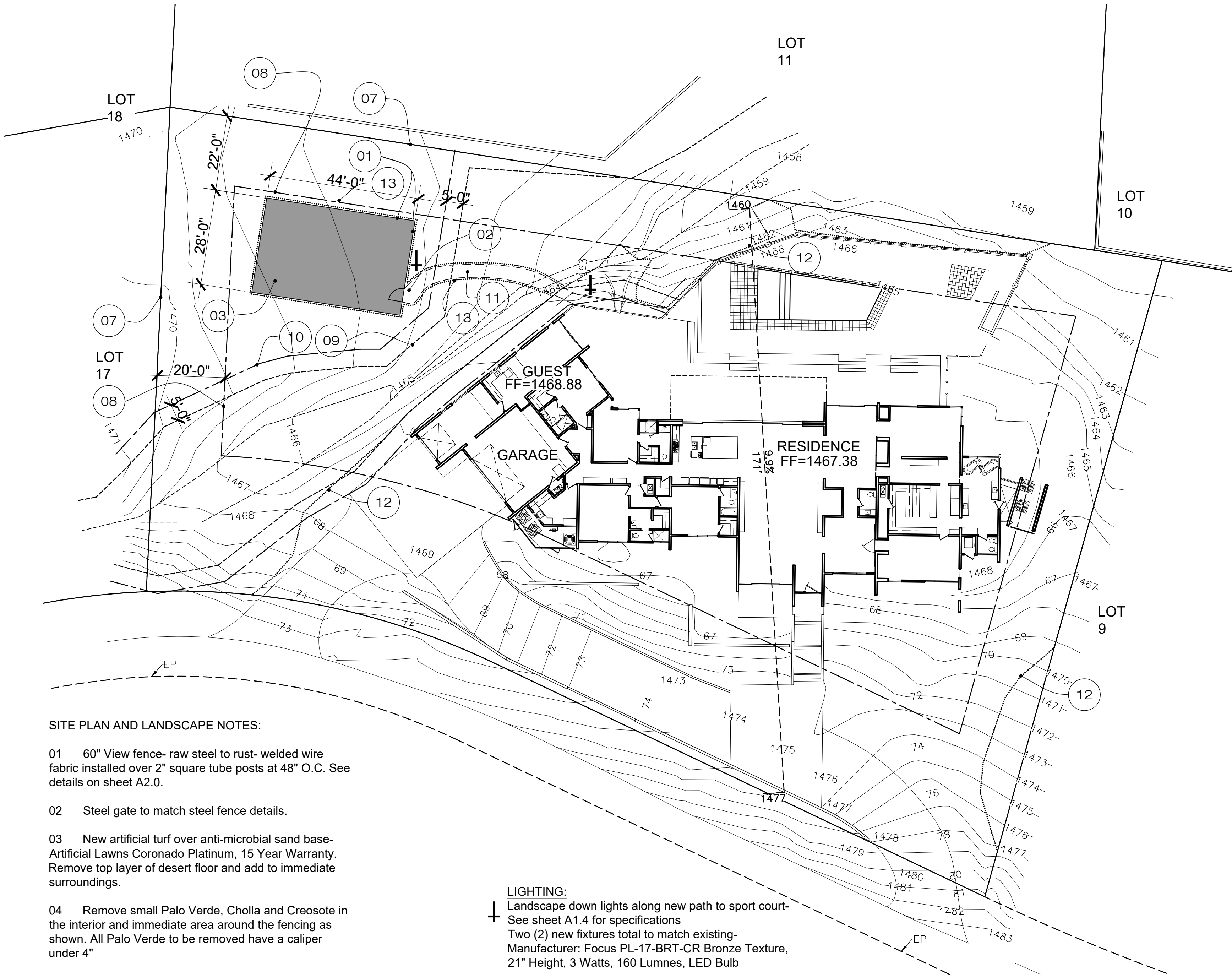
Deone Buchannon
4700 E. Charles Drive
Paradise Valley, AZ 85253

SURVEYOR:

Alliance Land Surveying
G. Bryan Goetzenberger
7900 N. 70th Ave. Ste 104
Phoenix, AZ 85303
623. 972.2200
bryan@azals.com

GENERAL CONTRACTOR:

Pierson & White Builders
Bradleybuilt Constructuon
Brad White
4040 E. Grove Circle
Mesa, AZ 85206
602 421 4558



SITE PLAN AND LANDSCAPE NOTES:

- 60" View fence- raw steel to rust- welded wire fabric installed over 2" square tube posts at 48" O.C. See details on sheet A2.0.
- Steel gate to match steel fence details.
- New artificial turf over anti-microbial sand base- Artificial Lawns Coronado Platinum, 15 Year Warranty. Remove top layer of desert floor and add to immediate surroundings.
- Remove small Palo Verde, Cholla and Creosote in the interior and immediate area around the fencing as shown. All Palo Verde to be removed have a caliper under 4"
- Existing Mesquite, Palo Verde, and other Desert Scrub to remain.
- Existing Desert Floor to remain.
- Property Line
- 20'-0" Setback Line
- Top of wash
- 5'-0" setback from top of wash
- New path to sport court, 36"-48" wide, desert floor material.
- Existing limit of disturbance from previous construction.
- New limit of disturbance for new sport court.

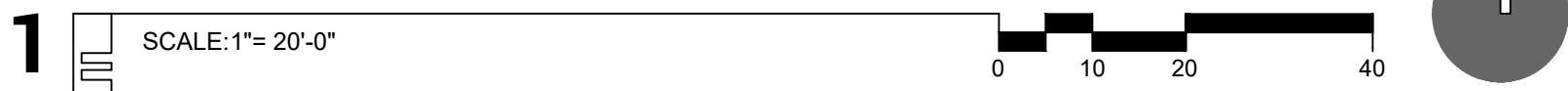
SHEET INDEX

- A1.0 Architectural Site Plan/ Project Info
- A1.1 Aerial Site Plan
- A1.2 Site Photos
- A1.3 Landscape- Existing and Demo
- A1.4 Specifications and Materials
- A1.5 Specifications and Materials
- A2.0 Fence Details
- Survey- Prior to Previous Construction
- Previous Approved Site Plan

LIGHTING:

Landscape down lights along new path to sport court- See sheet A1.4 for specifications
Two (2) new fixtures total to match existing- Manufacturer: Focus PL-17-BRT-CR Bronze Texture, 21" Height, 3 Watts, 160 Lumnes, LED Bulb

Architectural Site Plan



NOTE:

The sport court has been strategically placed so that it fits within the allowable build-able area, has an existing grade that slopes naturally, and will not require much leveling or grading. The selection of the area for the court also means that no plants being removed are required to be salvaged, and the surrounding natural vegetation is larger and already in place to help shield from view from the street and neighbors. The property has been staked for the location of the sport court (outlined in white paint) along with the 20' required setback and a 60" setback from the top of the drainage easement.



bucannon residence

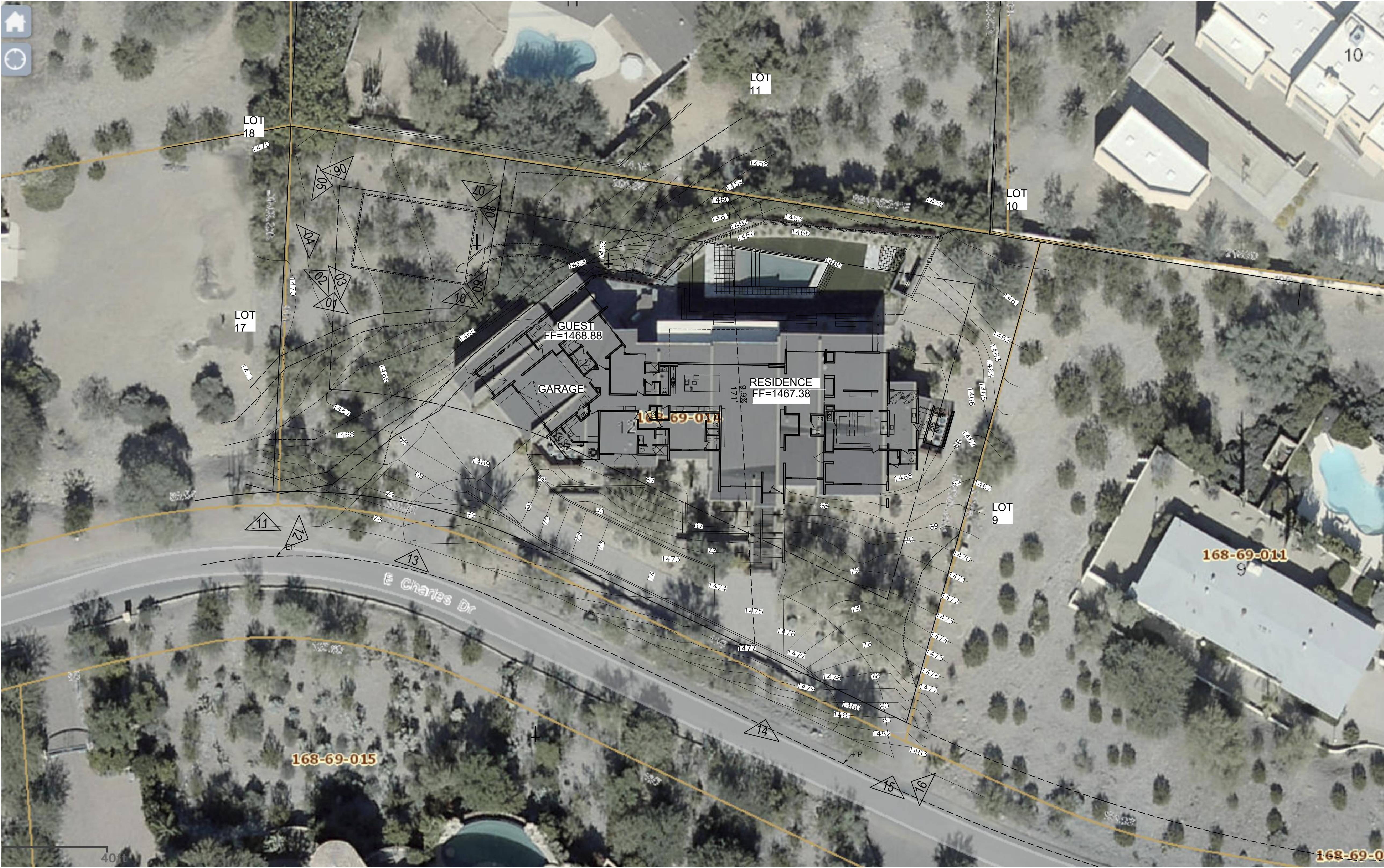
4700 East Charles Drive
Paradise Valley, Arizona 85253

13.February.2020

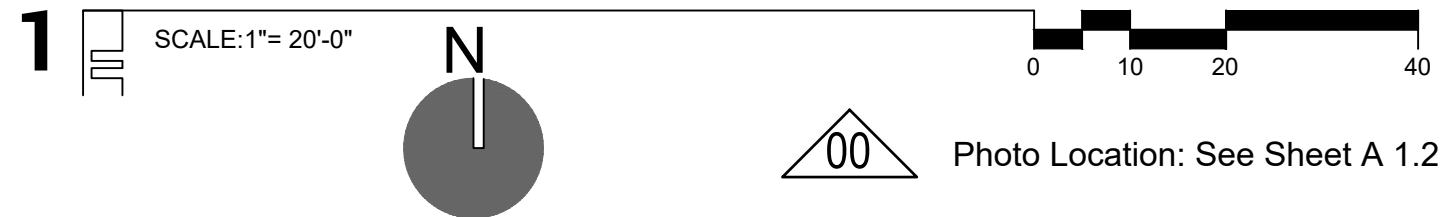
16.May.2020 Hillside Review

A1.0
Site Plan
Project Info

This document, its ideas and design incorporated herein is an instrument of service, is the property of ISOS Architecture, LLC and is not to be used in whole or in part without the authorization of ISOS Architecture LLC.



Aerial Photo Site Plan





01



02



03



04



05



06



07



08



09



10



11



12



13



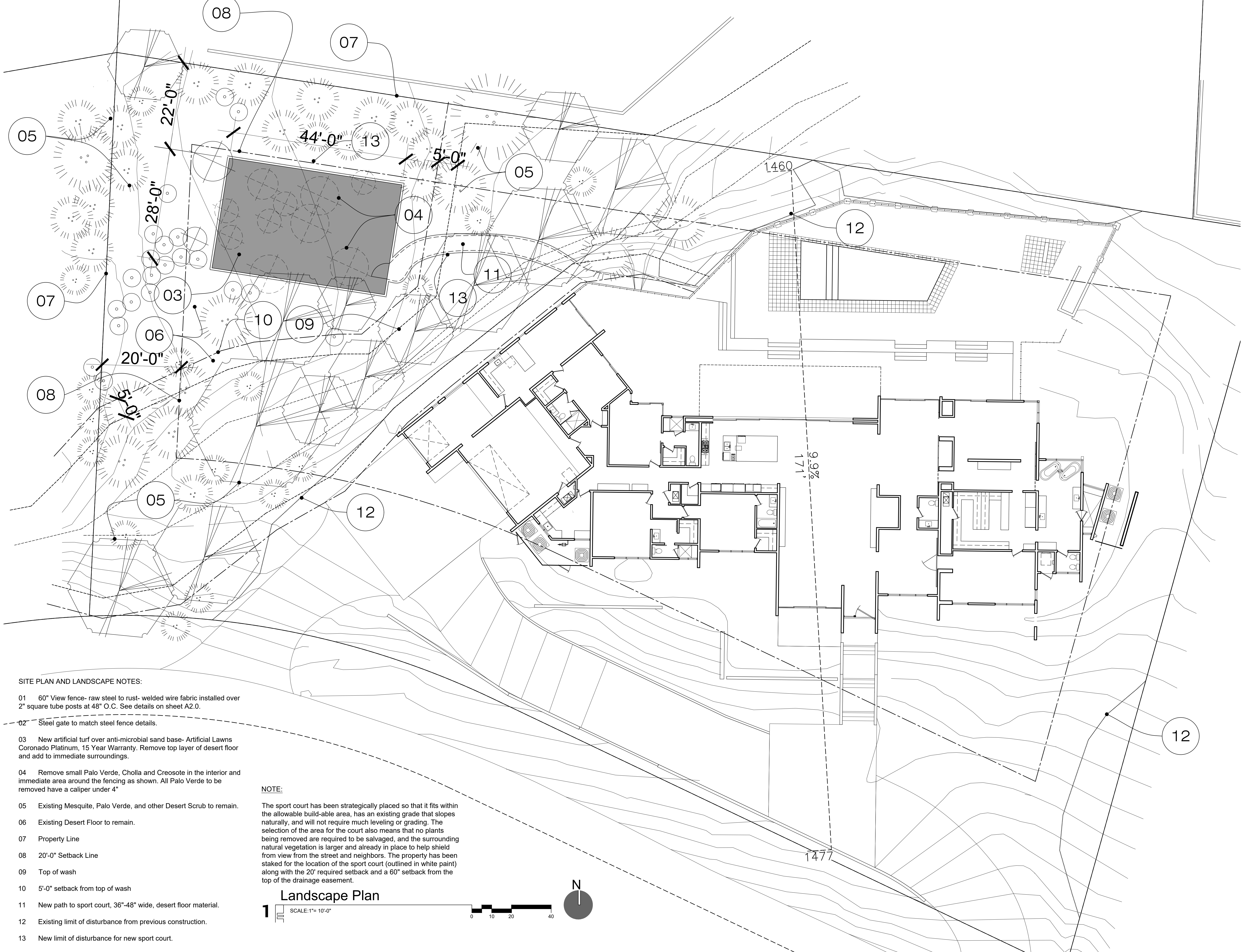
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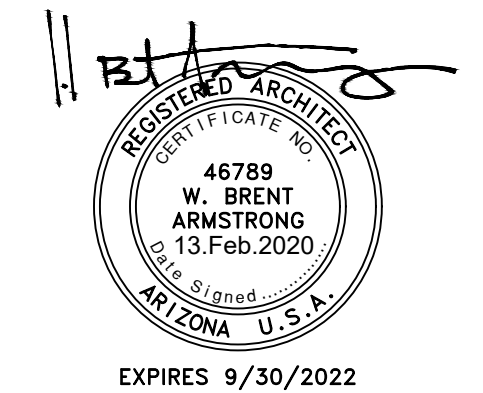
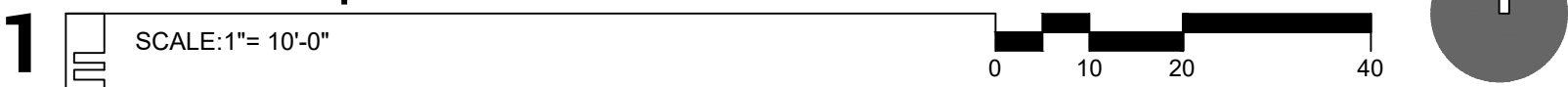
SITE PLAN AND LANDSCAPE NOTES:

- 01 60" View fence- raw steel to rust- welded wire fabric installed over 2" square tube posts at 48" O.C. See details on sheet A2.0.
- 02 Steel gate to match steel fence details.
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- 04 Remove small Palo Verde, Cholla and Creosote in the interior and immediate area around the fencing as shown. All Palo Verde to be removed have a caliper under 4"
- 05 Existing Mesquite, Palo Verde, and other Desert Scrub to remain.
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Landscape Plan



bucannon residence
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16.May.2020 Hillside Review

A1.3
Landscape Plan

ARTIFICIAL TURF:
Artificial turf from manufacturers, Artificial Lawns or Synthetic Turf. that comes in .5- 1.5" pile depths to fill the entire sport court, but not outside of the fenced in area, tan in color to match the immediate desert landscape. The LRV values may vary but closely resemble the number found via Dunn Edwards Rocky Ridge, DE5145 with a LRV of 26. Color references form Dunn Edwards are shown below.

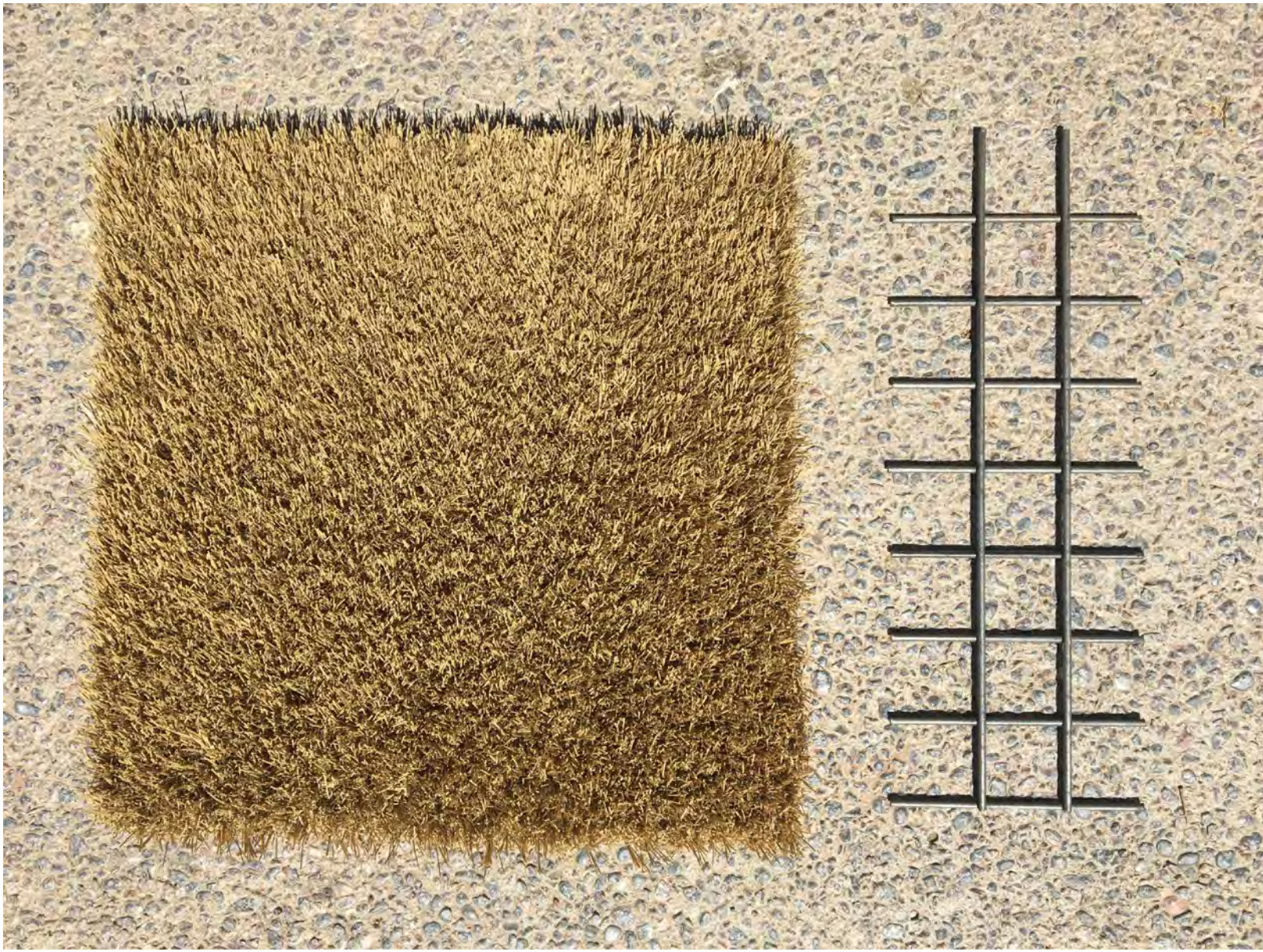


Rocky Ridge

DE6145 RL#560
Warm Neutrals, Perfect Palette®

LRV 26

Munsell: HUE=.18Y / VALUE=5.7 / CHROMA=3.6





Athletics



PROPERTY	DESCRIPTION
Primary Yarn Polymer	Polypropylene
Yarn Cross Section	Texturized Polypropylene
Standard Colors	Oyster/Tan
UV Stabilized	Yes
Fabric Construction	Tufted
Primary Backing	ArmorLoc™ 3L dual layer polypropylene
Coating Type(s)	5mm Polyurethane Foam; SilverBack™ Polyurethane
Perforations	No
Recommended Infill	N/A
Pile Height	9/16"
Total Weight	188 oz. (Foam); 63 oz. (PU)
ISO 9001 Quality Assured	Yes
Roll Width	12 Ft.

ADVANTAGES

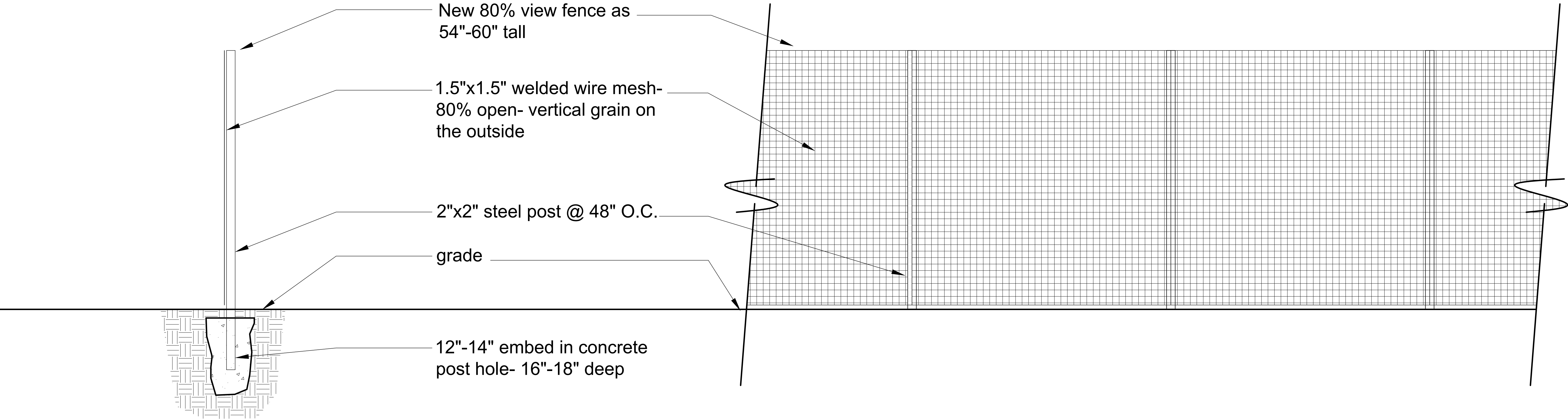
- Increases available time of use
- Improves performance and safety
- Allows more time for practice
- High performance quality
- Reduces the need for maintenance
- Provides a true ball roll and bounce
- Always ready for use
- Consistent performance over time and use



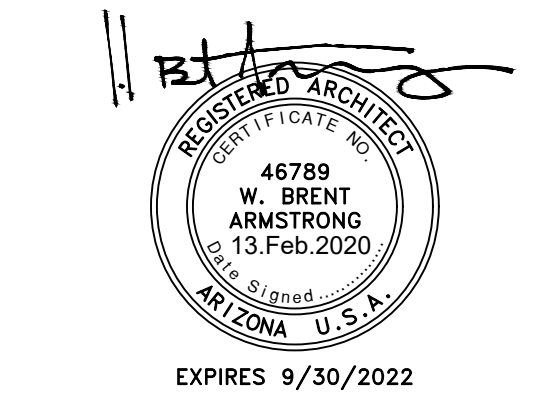


800 405 7455
www.synthetic-turf.com

BOCCE PRO



1 Fence Section and Elevation
SCALE: 1"= 1'-0"
0 6" 12" 24"



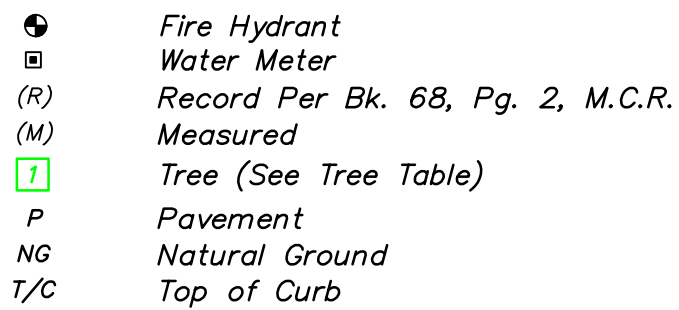
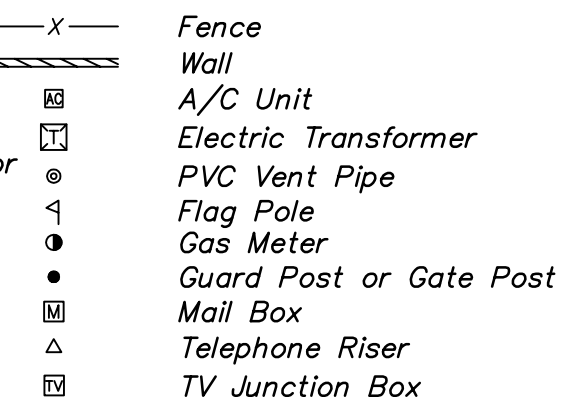
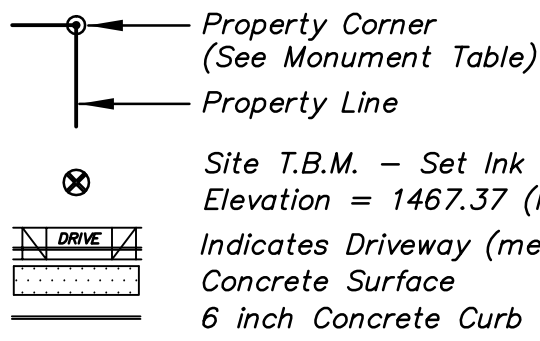
**bucannon
residence**
4700 East Charles Drive
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13.February.2020
16.May.2020 Hillside Review

A2.0
Fence Details

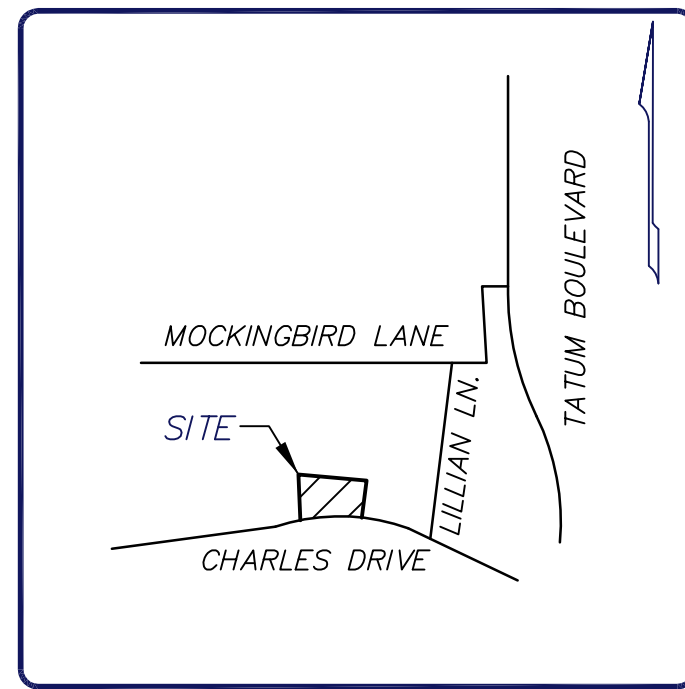
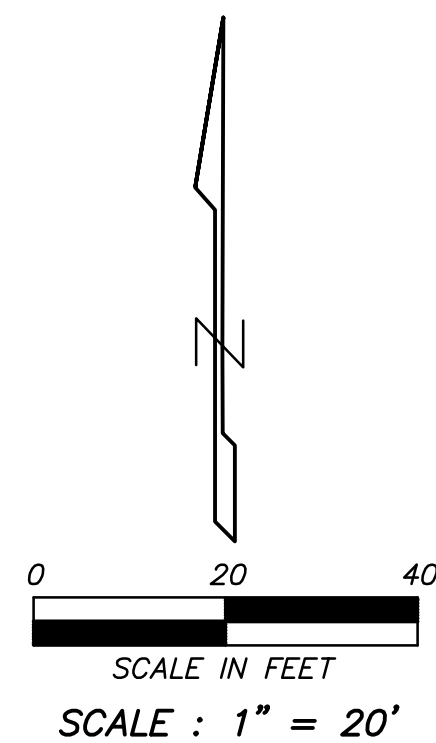
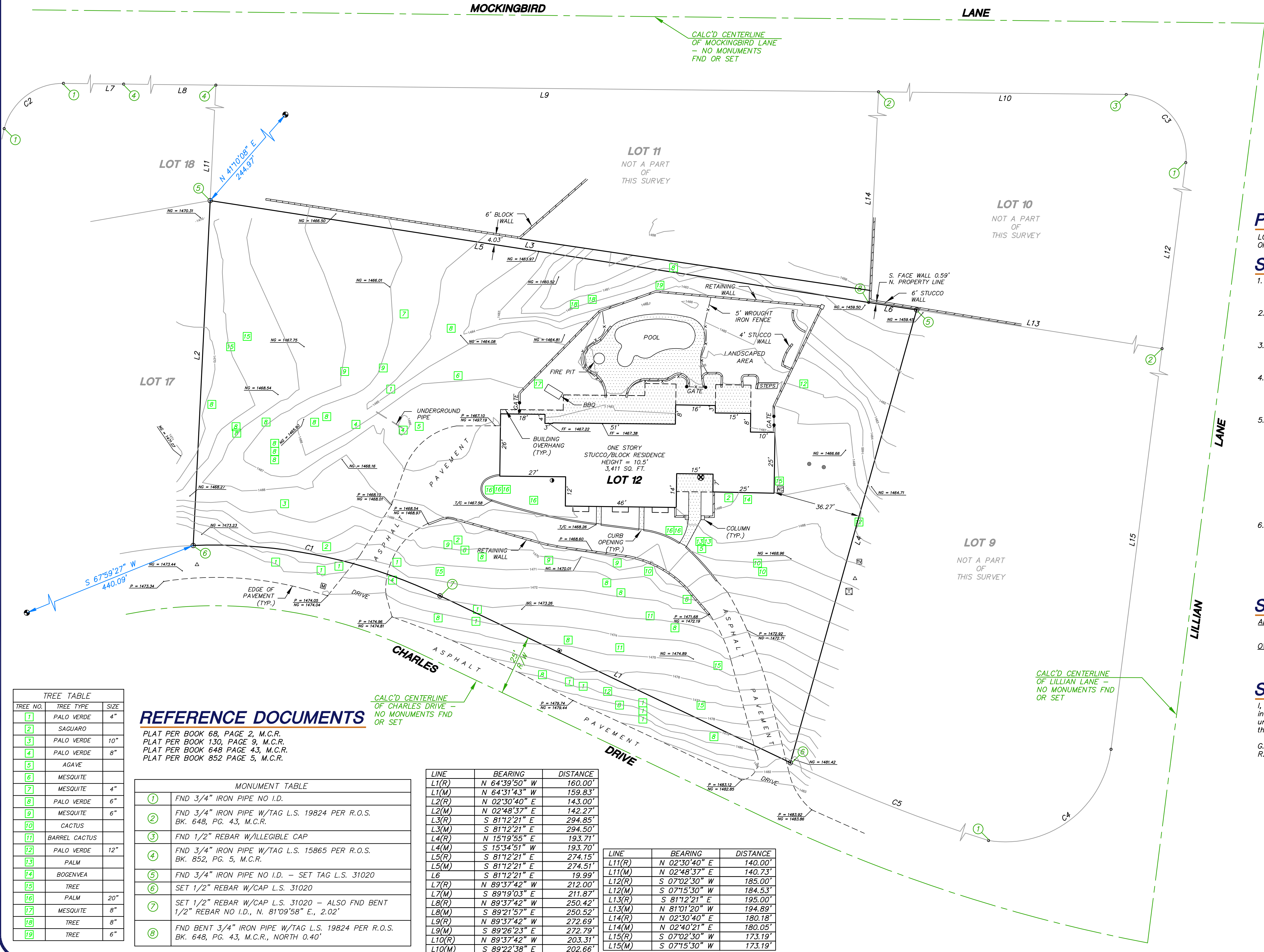
CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1(R)	215.84'	104.92'	27°49'23"	S 78°27'18" E	103.79'
C2(R)	25.00'	33.07'	75°48'08"	N 52°39'30" E	30.72'
C3(R)	25.00'	42.07'	96°24'40"	S 41°08'54" E	37.28'
C4(R)	43.87'	70.22'	91°39'05"	S 53°19'23" W	62.93'
C5(R)	625.16'	181.03'	16°34'27"	N 72°49'28" W	180.21'

LEGEND



BOUNDARY/TOPOGRAPHIC SURVEY

A PORTION OF THE SOUTHEAST QUARTER OF SECTION 31,
TOWNSHIP 3 NORTH, RANGE 4 EAST OF THE GILA AND SALT
RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.



VICINITY MAP

PARCEL DESCRIPTION

LOT TWELVE (12), SUNSET HILLS, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE MARICOPA COUNTY RECORDER IN BOOK 68 OF MAPS, PAGE 2.

SURVEY NOTES

- This survey has been prepared without the benefit of a title report, and is subject to all easements of record. The description used for this survey is per Deed No. 2014-0488215, M.C.R.
- BASIS OF BEARING: The North line of Lot 12, using a bearing of South 81 degrees 12 minutes 21 seconds East, per the Plat of SUNSET HILLS, recorded in Book 68, Page 2, M.C.R.
- The bearings and distances depicted indicate actual field or computed measurements performed during the course of this survey. This information may vary from documents of record used for this survey.
- The building square footage shown is based on exterior measurements of the building footprint at ground level and is not intended to reflect the interior or leasable area of any building. The building footprint and dimensions depict the general configuration of the building(s).
- The utility information shown is limited to visible above ground evidence and/or records provided by the respective utility companies. This survey may not depict all of the underground utilities either in service or abandoned that may exist adjacent to or within the boundaries of the subject property. No representation is made to the accuracy or completeness of any third party maps, records or information used to depict the underground utilities. An underground utility locator should be retained prior to excavation or construction to determine the precise location of all utilities that may exist adjacent to or within the boundaries of the subject property. The certification on this survey does not guarantee or provide any warranty to the exact location or presence of any underground utilities that may actually exist adjacent to or within the boundaries of the subject property.
- The site T.B.M. is located at the threshold of the front door, being monumented with an ink "X", having an elevation of 1467.37 (NAVD 88). The Benchmark used for this survey is the East quarter corner of Section 31, G.D.A.C.S. point number 26100-1, being monumented with brass cap in handhole, having an elevation of 1435.62, NAVD 88 datum per R.O.S. Bk. 763, Pg. 38, M.C.R..

SITE INFORMATION

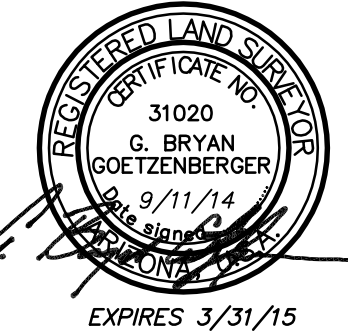
ADDRESS:
4700 N. CHARLES DRIVE, PARADISE VALLEY, ARIZONA

OWNERSHIP:
A.P.N.: 168-69-014
OWNER: RR INVESTORS V LLC
DEED: 2014-0488215, M.C.R.

SURVEYOR'S STATEMENT

I, G. Bryan Goetzenberger, hereby state that I am a registered land surveyor in the State of Arizona, and that the survey shown hereon was completed under my direct supervision during the month of September, 2014, and is correct to the best of my knowledge and the monuments shown actually exist.

G. Bryan Goetzenberger
R.L.S. #31020



REFERENCE DOCUMENTS

PLAT PER BOOK 68, PAGE 2, M.C.R.
PLAT PER BOOK 130, PAGE 9, M.C.R.
PLAT PER BOOK 648 PAGE 43, M.C.R.
PLAT PER BOOK 852 PAGE 5, M.C.R.

LINE	BEARING	DISTANCE
L1(R)	N 64°39'50" W	160.00'
L1(M)	N 64°31'43" W	159.83'
L2(R)	N 02°30'40" E	143.00'
L2(M)	N 02°48'37" E	142.27'
L3(R)	S 81°12'21" E	294.85'
L3(M)	S 81°12'21" E	294.50'
L4(R)	N 15°19'55" E	193.71'
L4(M)	S 15°34'51" W	193.70'
L5(R)	S 81°12'21" E	274.15'
L5(M)	S 81°12'21" E	274.51'
L6	S 81°12'21" E	19.99'
L7(R)	N 89°37'42" W	212.00'
L7(M)	S 89°19'03" E	211.87'
L8(R)	N 89°37'42" W	250.42'
L8(M)	S 89°21'57" E	250.52'
L9(R)	N 89°37'42" W	272.69'
L9(M)	S 89°26'23" E	272.79'
L10(R)	N 89°37'42" W	203.31'
L10(M)	S 89°22'38" E	202.66'

TREE NO.	TREE TYPE	SIZE
1	PALO VERDE	4"
2	SAGUARO	10"
3	PALO VERDE	8"
4	AGAVE	6"
5	MESQUITE	4"
6	MESQUITE	6"
7	CACTUS	12"
8	BARREL CACTUS	20"
9	PALO VERDE	8"
10	PALM	8"
11	BOGENVEA	6"
12	TREE	6"
13	PALO VERDE	12"
14	PALM	20"
15	MESQUITE	8"
16	TREE	8"
17	TREE	6"

ALLIANCE
LAND SURVEYING, LLC

BOUNDARY/TOPOGRAPHIC SURVEY
4700 N. CHARLES DRIVE, PARADISE VALLEY, ARIZONA

STATEWIDE SERVICE IN ARIZONA
www.allianceandsurveying.com

7900 N. 70th AVENUE SUITE 104
GLENDALE, AZ 85303

TEL (623) 972-2200
FAX (623) 972-1616

REV. 1

REV. 2

SHEET: 1 OF 1

DATE: 9-11-14

JOB NO: 140743

GENERAL NOTES

1. PROPOSED ELEVATIONS SHOWN INDICATE FINISHED GRADES. SEE ARCHITECTURAL PLAN FOR REQUIREMENTS TO DEPRESS FOR TILE, FLAGSTONE, ETC., IF ANY. N89° 19' 03"W 211.87'
2. ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE. ALL LAWN AREAS ADJOINING WALKS OR SLABS WILL BE GRADED TO 2" BELOW THE TOP OF SLAB. TYPICAL FINISHED GRADE AROUND PERIMETER OF BUILDING IS MINUS 6" BELOW FINISHED FLOOR UNLESS SPECIFIED OTHERWISE.
3. ALL MATERIAL UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95% PER ASTM D698.
4. WASTE MATERIAL, BROKEN CONCRETE, ETC. SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR.
5. THE CONTRACTOR SHALL OBTAIN ANY NECESSARY PERMITS FROM THE LOCAL GOVERNMENT FOR WORK WITHIN ITS JURISDICTION. THE TOWN OF PARADISE VALLEY TOWN ENGINEER'S OFFICE SHALL BE NOTIFIED BEFORE ANY ONSITE CONSTRUCTION BEGINS. PHONE 480-948-7411.
6. AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
7. SOILS COMPACTION TEST RESULTS MUST BE SUBMITTED TO THE TOWN ENGINEER'S OFFICE FOR BUILDING PADS THAT HAVE ONE (1) FOOT OR MORE OF FILL MATERIAL INDICATED. THIS INFORMATION MUST BE SUPPLIED PRIOR TO REQUEST FOR FINAL INSPECTION.
8. WHERE UTILITY LINES CROSS RETENTION AREA, A MINIMUM 30" COVER SHALL BE MAINTAINED OVER UTILITY LINES.
9. CLEARANCE FOR OCCUPATION OF ANY BUILDING IS DENIED UNTIL GRADING AND DRAINAGE IMPROVEMENTS ARE COMPLETE.
10. REFERENCE ARCHITECTURAL PLANS FOR DIMENSIONS AND DETAILS OF NEW WALLS, WALKS, DRIVES, ETC. AND LANDSCAPING REQUIREMENTS.
11. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) SPECIFICATIONS AND STANDARD DETAILS.
12. IN AREAS WHERE SIDEWALKS OR PAVING DO NOT IMMEDIATELY ADJOIN THE RESIDENCE, PROTECTIVE SLOPES SHOULD BE PROVIDED WITH AN OUTFALL OF ABOUT 5 PERCENT FOR AT LEAST 10 FEET FROM THE PERIMETER WALLS.
13. CONTRACTOR TO VERIFY LOCATION OF UTILITIES BY CONTACTING BLUE STAKE PRIOR TO CONSTRUCTION.
14. ALL PROPERTY LINES TO BE IDENTIFIED BY AN ARIZONA REGISTERED LAND SURVEYOR PRIOR TO FIRST FOOTING INSPECTION. REFERENCE TOWN OF PARADISE VALLEY MINIMUM SUBMITTAL REQUIREMENTS.
15. SINCE POOL AND/OR SPA IS FUTURE, POOL BARRIER AS REQUIRED BY TOWN OF PARADISE VALLEY ARTICLE 5-2-2F HAS NOT BEEN ADDRESSED OR REVIEWED IN THIS SET OF PLANS.
16. EFFECTIVE JANUARY 5, 1991, POOL ENCLOSURES SHALL COMPLY WITH SECTION 5-2-2F OF THE PARADISE VALLEY TOWN CODE OF ORDINANCES (AS AMENDED).
17. WHERE EXCAVATION IS TO OCCUR THE TOP 4 INCHES OF EXCAVATED NATIVE SOIL SHALL REMAIN ON THE SITE AND SHALL BE REUSED IN A MANNER THAT TAKES ADVANTAGE OF THE NATURAL SOIL SEED BANK IT CONTAINS.
18. PLANTING, MOVING, REMOVING OR PLACING ANY LANDSCAPING IN THE RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY THE TOWN ENGINEER. TOWN OF PARADISE VALLEY ZONING ORDINANCE SECTION 5-10-1G.
19. ALL GRADING SHALL BE PER 2006 IRC.
20. ALL HOUSE WALLS TO BE WATERPROOFED A MINIMUM OF 1.5' ABOVE FINISHED GRADE.
21. PROVIDE FALL PROTECTION ALONG RETAINING WALLS WITH DROP IN EXCESS OF 30".

HILLSIDE NOTES

1. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL ALL HILLSIDE STIPULATIONS AND ALL TOWN CODE REQUIREMENTS ARE COMPLIED WITH INCLUDING, BUT NOT LIMITED TO LANDSCAPING, FIRE FLOW, FIRE SAFETY AND ALL ONSITE AND OFFSITE IMPROVEMENTS.
2. ALL OUTDOOR LIGHTING SHALL BE IN CONFORMANCE WITH SECTION 2208 OF THE TOWN CODE.
3. ALL EXCESS FILL MATERIAL SHALL BE REMOVED FROM THE SITE WITH NO NEW SPILL SLOPES.
4. NOISE FROM CONSTRUCTION THAT CAN BE HEARD OFF-SITE, INCLUDING, BUT NOT LIMITED TO, HYDRAULIC RAM HAMMERS, EQUIPMENT USED TO CUT THROUGH ROCK, MACHINERY WITH AUDIBLE BACK-UP WARNING DEVICES, POWERED MACHINERY, TRUCK DELIVERY AND IDLING, CONSTANT AND PERSISTENT HAMMERING, SHALL BE LIMITED TO USE BETWEEN THE HOURS OF 7:00 AM OR SUNRISE, WHICHEVER IS LATER AND 6:00 PM AND SUNSET, WHICHEVER IS EARLIER, MONDAY THROUGH FRIDAY; SATURDAY FROM 9:00 AM TO 2:00 PM AND NO WORK ON SUNDAY OR LEGAL HOLIDAYS.
5. THE LIMITS OF CONSTRUCTION AND PROPOSED DISTURBED AREAS SHALL BE CLEARLY STAKED IN THE FIELD, WITH VISIBLE ROPING, PRIOR TO AND DURING CONSTRUCTION AND SHALL CONFORM TO THE APPROVED PLANS.

NOTES

1. BOUNDARY INFORMATION, EXISTING TOPOGRAPHY AND LOCATION OF EXISTING FEATURES OBTAINED FROM SURVEY BY ALLIANCE LAND SURVEYING, LLC. DATED 9-11-14, JOB NO.140743.
2. LOCATIONS OF EXISTING UTILITIES OBTAINED FROM SURVEY BY ALLIANCE LAND SURVEYING LLC. OR FROM QUARTER SECTION MAPS PROVIDED BY SERVING UTILITY. THIS PROPERTY DOES NOT HAVE A PUBLIC SEWER AVAILABLE. CALL BLUESTAKE AT 602-263-1100 TO VERIFY EXACT LOCATIONS.
3. ALL NEW CONSTRUCTION AND ADDITIONS ADDING MORE THAN 50% OF EXISTING STRUCTURE SUBMITTED FROM MARCH 1, 2001 ON, MUST HAVE FIRE SPRINKLING WITH REVIEW AND APPROVAL BY FIRE MARSHALL FOR THE TOWN OF PARADISE VALLEY.
4. THIS IS NOT AN A.L.T.A. OR A BOUNDARY SURVEY. A COMPLETE TITLE REPORT WAS NOT PROVIDED TO THE SURVEYOR FOR THIS SURVEY.
5. WATERPROOFING PER DETAILS ON ARCHITECTURAL AND STRUCTURAL PLANS IS REQUIRED ON THE INSIDE OF ALL RETAINING WALLS, PROVIDE DRAINAGE HOLES AT BASE OF WALLS. SEE STRUCTURAL PLANS FOR CONSTRUCTION AND DRAINAGE DETAILS.
6. THIS SURVEY IS LOCATED IN THE SOUTHEAST QUARTER OF SECTION 31, TOWNSHIP 3 NORTH, RANGE 4 EAST GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA.

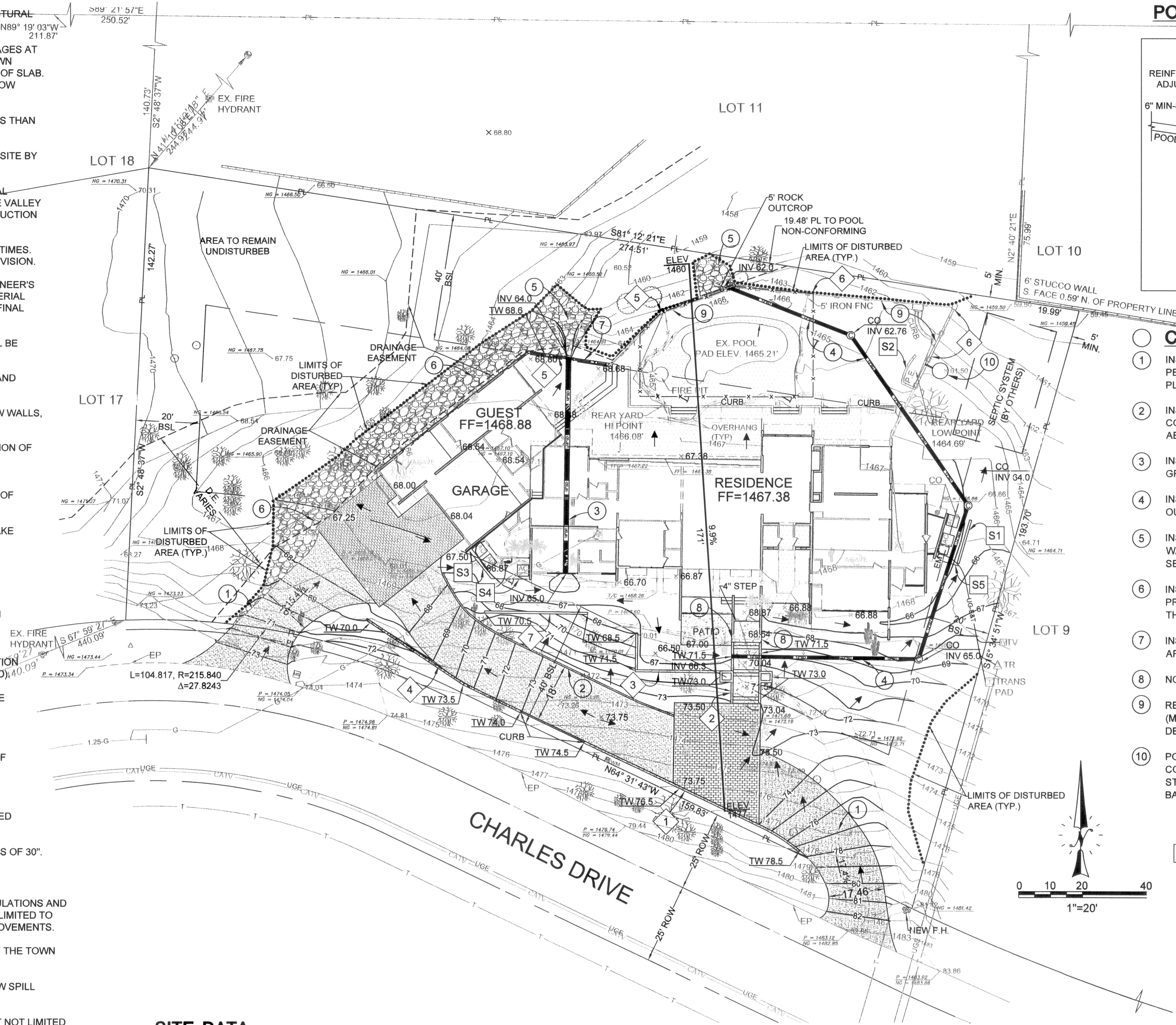
SITE DATA

AREA OF LOT	43,676 S.F.
AREA UNDER ROOF (S.F.)	8,751 S.F.
DRIVEWAY CREDIT (25%)	1,254 S.F.
FLOOR AREA RATIO (%)	20.0 %
BUILDING SITE SLOPE (%)	CALC 9.9%, USE 10.0%
VERTICAL (Ft.)	17 FT.
HORIZONTAL (Ft.)	171 FT.
ALLOWABLE DISTURBED AREA (%)	60.0%
ALLOWABLE DISTURBED AREA (S.F.)	26,206 S.F.
EXISTING DISTURBED AREA (S.F.)	24,086 S.F.
PROPOSED DISTURBED AREA (S.F.)	20,600 S.F.
PERCENT OF LOT STEEPER THAN NATURAL GRADE (5% MAX.)	0.37%
VOLUME OF CUT (C.Y.)*	483 C.Y.
VOLUME OF FILL (C.Y.)*	312 C.Y.
HILLSIDE ASSURANCE @ \$25/C.Y. OF CUT+FILL	\$19,875
SLOPE OF DRIVEWAY (30% MAX.)	16.4% (AVG)
MAX LENGTH OF VISIBLE RETAINING WALL	162.8 FT.

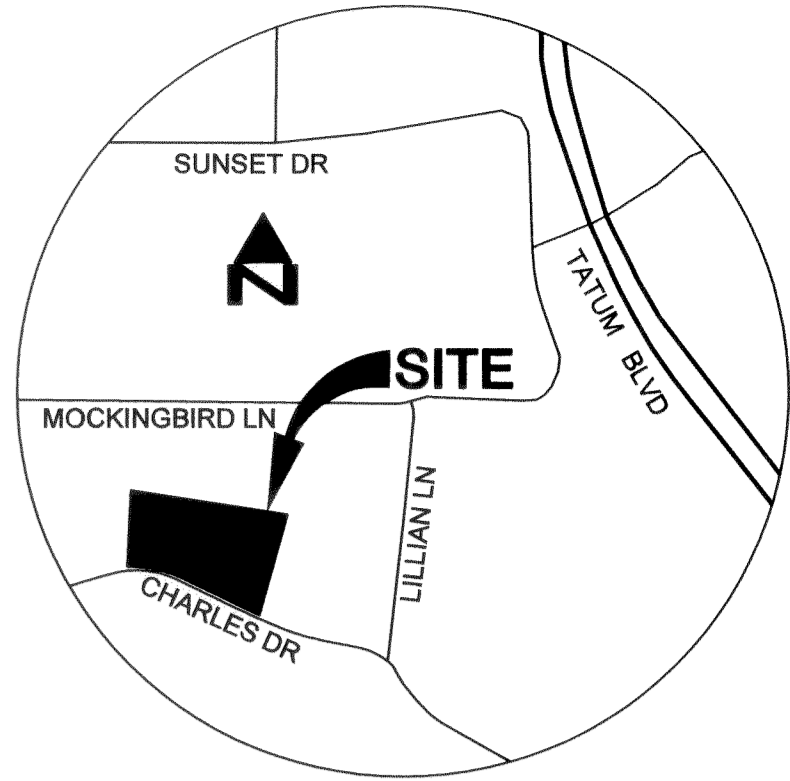
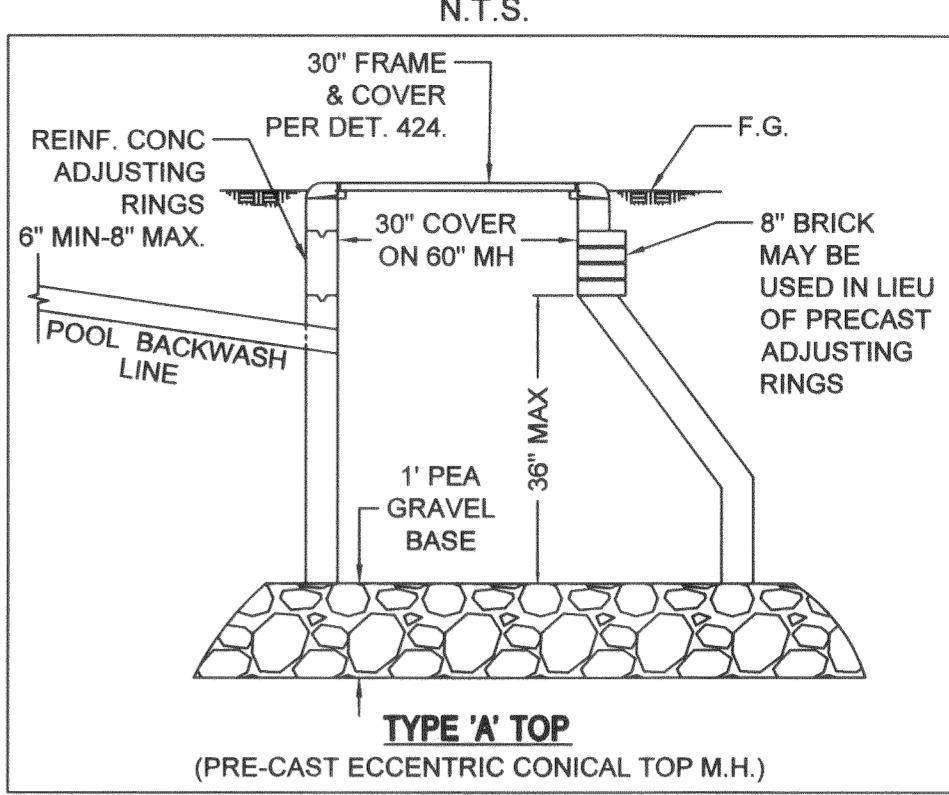
* EARTHWORK QUANTITIES DO NOT ACCOUNT FOR SHRINK OR SWELL AND REFLECT FINISHED GRADES OUTSIDE BUILDINGS AND DO NOT INCLUDE POOL AREAS.

FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

COMMUNITY NUMBER	PANEL NUMBER (PANEL DATE)	SUFFIX	DATE OF FIRM (INDEX DATE)	FIRM ZONE	BASIN FLOOD ELEVATION (IN AO ZONE, USE DEPTH)
040049	1765	"L"	10-16-13	UNSH.X	N/A



POOL BACKWASH SUMP DETAIL



VICINITY MAP
NOT TO SCALE

CONSTRUCTION KEYNOTES

1. INSTALL MIN. 12 FT WIDE DRIVEWAY WITH PAVING BRICK PER DETAILS ON ARCHITECTURAL AND LANDSCAPING PLANS.
2. INSTALL 6" HIGH SINGLE CURB PER MAG STD. DET. 222B, CONCRETE COLOR TO MATCH DRIVE. SET TOP OF CURB 6" ABOVE DRIVEWAY FINISHED GRADE.
3. INSTALL 18" DIA. CL.V RCP PIPE WITH INLET AND OUTLET GRATES.
4. INSTALL 12" DIA. ADS N-12 STORMDRAIN WITH INLET AND OUTLET GRATES.
5. INSTALL END OF PIPE FLUSH WITH OUTSIDE OF RETAINING WALL WITH NATIVE STONE RIPRAP EROSION PROTECTION. SEE RIPRAP PLACEMENT DETAIL THIS SHEET.
6. INSTALL 189 SY NATIVE STONE RIPRAP EROSION PROTECTION, D₅₀ = 9". SEE RIPRAP PLACEMENT DETAIL THIS SHEET.
7. INSTALL 6' HIGH VIEW FENCE PER DETAILS ON ARCHITECTURAL AND LANDSCAPE PLANS.
8. NO WALL AT THIS LOCATION - OPEN FOR DRAINAGE.
9. REMOVE FENCE ON RET. WALL AND REMOVE WALL TO 6" (MAX) ABOVE GRADE HEIGHT AND REPLACE AS PER DETAILS ON ARCHITECTURAL AND LANDSCAPING PLANS.
10. POOL BACKWASH SUMP, INSTALL PRE-CAST MANHOLE CONE PER MAG. STD. DET. 420-1 AND 30" COVER PER MAG STD DET. 424 ON 12" BED OF PEA GRAVEL. SEE POOL BACKWASH SUMP DETAIL THIS SHEET.

SCREENING WALL TABLE

WALL #	LENGTH	HEIGHT
S1	14.0'	4.0'
S2	24.0'	4.0'
S3	10.7'	3.0'
S4	11.3'	3.0'
S5	7.0'	4.0'
TOTAL	67.0'	

RETAINING WALL TABLE

WALL #	LENGTH	HEIGHT
1	75.5'	2.5'
2	32.0'	4.2'
3	38.5'	4.0'
4	56.2'	2.5'
5	72.8'	3.6'
6	90.0'	4.7'
7	32.2'	2.5'
TOTAL	332.2'	

LEGEND

- BAR BARREL CACTUS
BSL BUILDING SETBACK LINE
CLF CHAIN LINK FENCE
CO CLEAN OUT
D.E. DRAINAGE EASEMENT
ELEC. ELECTRIC
EM ELECTRIC METER
EP EDGE OF PAVEMENT
EX. EXISTING
FD FOUND
FF FINISHED FLOOR
FIR FIRE HYDRANT
GM GAS METER
MB MAILBOX
NG NATURAL GROUND
PL PROPERTY LINE
PUE PUBLIC UTILITY EASEMENT
ROW RIGHT OF WAY

T.R. TELEPHONE RISER
TRANS. TRANSFORMER PAD
TYP. TYPICAL
WM WATER METER

FICUS TREE
 MESQUITE TREE
 PALM TREE

1465 EXISTING CONTOUR
x 65.43 EXISTING GRADE
65 PROPOSED CONTOUR
x 65.43 PROPOSED GRADE

PALO VERDE TREE
 PINE TREE
 SAGUARO CACTUS TREE
- RIPRAP PLACEMENT DETAIL
-
- INSTALL GEOTEXTILE FABRIC PER SECTION 224, 2008 MCDOT AMENDMENT TO MAG STANDARDS. USE US FABRICS NW 6.0 OZ NONWOVEN NEEDLEPUNCHED GEOTEXTILE, OR EQUIVALENT
- APPROVED: TOWN OF PARADISE VALLEY TOWN ENGINEER DATE
- Q.S. 25-38
- REVISED 05-28-15 TOWN COMMENTS
- GRADING & DRAINAGE
CHARLES DRIVE RESIDENCE
4700 E CHARLES DRIVE
PARADISE VALLEY, AZ
- GOOKIN ENGINEERS
ENGINEERS - HYDROLOGISTS - PLANNERS - SURVEYORS
4205 NORTH BROWN AVENUE
SCOTTSDALE, ARIZONA 85251
480-947-3741
civil@gookin.biz
- Scale 1"=20'
Date 5-28-15
Rev -
Designed SC
Drawn JV
File: 2504_CharlesDrive_5-28-15.dwg
- SHEET 1 of 1 SHEETS
JOB NO. 2504
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