ALTA/NSPS LAND TITLE SURVEY 6400 E CACTUS WREN RD, PARADISE VALLEY, AZ 85253 PARCEL NO. 174-53-008K

LOCATED IN A PORTION OF THE SW 1/4 OF THE NW 1/4 OF THE NW 1/4 OF SECTION 10, T.2N, R.4E OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

LEGEND

CABLE TV RISER

SEWER MANHOLE

SCHEDULE B ITEM

MAILBOX

GAS LINE

SEWER LINE

WATER LINE

COMMUNICATIONS LINE

EXIST. DRAINAGE FLOW

EXIST. SPOT ELEVATION

EUCALYPTUS TREE

MESQUITE TREE

FLUTED CACTUS

PALO VERDE

SAQUARO

OCOTILLO

PALM TREE

TREE

ELECTRIC LINE

— 1321 _ EXISTING CONTOUR

	SECTION CORNER	BC BSL C11	BACK OF CURB BUILDING SETBACK LINE CURVE LABEL
	1/4 QUARTER	Ę	CENTERLINE
×	SCRIBED "X" IN CONCRETE	DE EG	DRAINAGE EASEMENT EXISTING GRADE
	BRASS CAP IN HANDHOLE	EL, ELEV EP	ELEVATION EDGE OF PAVEMENT
•	BRASS CAP FLUSH	ESL	ENVIRONMENTALLY SENSITIVE LANDS
•	FOUND REBAR OR AS NOTED	ESMT EX, EXIST.	
0	SET 1/2" REBAR & TAG OR AS NOTED	FCDMC FG FL	FLOOD CONTROL DISTRICT OF MARICOPA COUNTY FINISH GRADE FLOW LINE
0	CALCULATED POINT	'L FND	FOUND
	PROPERTY LINE	G INV	GUTTER, GAS INVERT
	EASEMENT LINE	JBE	JOINT USE & BENEFIT EASEMENT
	MONUMENT LINE	L11 (M)	LINE LABEL MEASURED
- 0	SIGN	MÁG	MARICOPA ASSOCIATION OF GOVERNMENTS
WM	WATER METER	MCR MH	MARICOPA COUNTY RECORDER
\otimes	WATER VALVE	P, PVMT	MANHOLE PAVEMENT
•	FIRE HYDRANT	PUE (R), REC.	PUBLIC UTILITY EASEMENT RECORDED
⊠ (cv)	IRRIGATION CONTROL BOX	Ř	RADIUS
E.M. ∏	ELECTRIC METER	R/W T	RIGHT OF WAY TANGENT, TELEPHONE
A	A/C UNIT	TC TG	TOP OF CURB TOP OF GRATE
GM	GAS METER	TF	TOP OF GRATE
	TELEPHONE PEDESTAL	TRW TW	TOP OF RETAINING WALL
0	SEWER CLEANOUT	W	TOP OF WALL WEST, WATERLINE
¢	LIGHT POLE	WLE WM	WATER LINE EASEMENT WATER METER
0	BOULDER	AAIAI	WAILN MEIEN
∅ 目	STORM DRAIN INLET		

ABBREVIATIONS

WATER: EPCOR WATER SANITARY SEWER: TOWN OF PARADISE VALLEY ELECTRIC: ARIZONA PUBLIC SERVICE TELEPHONE: CENTURY LINK, COX COMMUNICATIONS NATURAL GAS: SOUTHWEST GAS CABLE TV: CENTURY LINK, COX COMMUNICATIONS

FLOOD INSURANCE RATE MAP (FIRM) DATA

COMMUNITY # 040049	PANEL # 1765 OF 4425	SUFFIX L	BASED FLOOD
MAP #	PANEL DATE	ZONE	ELEVATION
04013C	10/16/2013	X*	N/A

*AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN

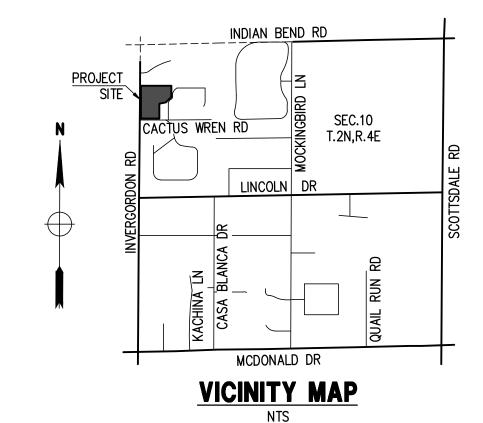
GENERAL NOTES

- 1. THE PREMISES SURVEYED HAVE NO KNOWN DISCREPANCIES, BOUNDARY LINE CONFLICTS, ENCROACHMENTS, OVERLAPPING OF IMPROVEMENTS, EASEMENTS OR RIGHT-OF-WAYS EXCEPT AS SHOWN, AND HAS ACCESS TO OR FROM A DEDICATED ROADWAY.
- 2. THIS IS AN ABOVE GROUND SURVEY. THE UNDERGROUND UTILITIES AS SHOWN ARE BASED ON INFORMATION PROVIDED BY THE VARIOUS UTILITY COMPANIES AND THESE LOCATIONS SHOULD BE CONSIDERED APPROXIMATE. THERE MAY BE ADDITIONAL UNDERGROUND UTILITIES, NOT SHOWN ON THIS DRAWING. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN HEREON ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE AT THE TIME OF THE SURVEY.
- 3. BUILDING SETBACK LINES, ZONING, FLOOD AREA ZONES, AND ADDRESSES THAT MAY BE SHOWN ARE SUPPLIED BY THE GOVERNING AGENCY OR TAKEN FROM THE BEST AVAILABLE RECORDS. THE SURVEYOR WILL NOT ACCEPT RESPONSIBILITY FOR THE ACCURACY OF ANY INFORMATION SUPPLIED BY OTHERS.
- 4. EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS MAP, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: EASEMENTS, OTHER THAT POSSIBLE EASEMENTS, WHICH WERE VISIBLE AT THE TIME OF MAKING THIS SURVEY; BUILDING SETBACK LINES; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS; ZONING OR OTHER LAND USE REGULATIONS, AND ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- 5. THE DESCRIPTION OF PROPERTY BOUNDARIES AND EASEMENTS SHOWN HEREON, REPRESENT THAT INFORMATION PROVIDED IN COMMITMENT FOR TITLE INSURANCE NO.: 00033107-099-JR.
- 6. EVERY DOCUMENT OF RECORD REVIEWED AND CONSIDERED AS A PART OF THIS SURVEY IS NOTED HEREON. ONLY THE DOCUMENTS NOTED HEREON WERE SUPPLIED OR AVAILABLE TO THE SURVEYOR AT THE TIME OF THE SURVEY. THERE MAY EXIST OTHER DOCUMENTS OF RECORD, WHICH WOULD AFFECT THIS PARCEL.
- 7. ANY INFORMATION SHOWN WHICH MAY VARY FROM THE CONTENTS OF THE REPORT(S) NOTED ABOVE,
- REPRESENTS INFORMATION AND MEASUREMENTS FOUND DURING THE COURSE OF THE SURVEY. 8. ON-SITE PLANT INFORMATION SHOWN HEREON IS FOR REFERENCE ONLY. SURVEYOR ASSUMES NO LIABILITY FOR THE EVALUATION, SALVAGEABILITY, REMOVAL AND/RELOCATION OF ON-SITE PLANT
- ALL MEASURED BEARINGS AND DISTANCES EQUAL RECORD UNLESS NOTED OTHERWISE. 10. ANY AERIAL MAPS SHOWN ON THIS PLAN ARE FOR REFERENCE ONLY AND DO NOT NECESSARILY DEPICT THE EXACT CURRENT CONDITIONS.

SCHEDULE 'B' ITEMS

COMMITMENT FOR TITLE INSURANCE FILE NO.: 00103138-099-JR AMENDMENT NO.5 BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY DATE OF REPORT: AUGUST 20, 2019

_	DAI	E OF REPORT: AUGUST 20, 2019	
	1	ANY DEFECT, LIEN, ENCUMBRANCE, ADVERSE CLAIM OR OTHER MATTER THAT APPEARS FOR THE FIRST TIME IN THE PUBLIC RECORDS OR IS CREATED, ATTACHES, OR IS DISCLOSED BETWEEN THE COMMITMENT DATE AND THE DATE ON WHICH ALL OF THE SCHEDULE B, PART I — REQUIREMENTS ARE MET.	NOT PLOTABLE, NOT SHOWN
	2	ANY ACTION BY THE COUNTY ASSESSOR AND/OR TREASURER ALTERING THE CURRENT OR PRIOR TAX ASSESSMENT, SUBSEQUENT TO THE DATE OF THE POLICY OF TITLE INSURANCE.	NOT PLOTABLE, NOT SHOWN
	3	INTENTIONALLY DELETED-TAXES AND ASSESSMENTS COLLECTIBLE BY THE COUNTY TREASURER, SECOND INSTALLMENT A LIEN PAYABLE BUT NOT YET DUE FOR THE YEAR 2017.	NOT PLOTABLE, NOT SHOWN
	4	INTENTIONALLY DELETED—TAXES AND ASSESSMENTS COLLECTIBLE BY THE COUNTY TREASURER, A LIEN NOT YET DUE AND PAYABLE FOR THE YEAR 2018.	NOT PLOTABLE, NOT SHOWN
	5	RESERVATIONS OR EXCEPTIONS IN PATENTS OR IN ACTS AUTHORIZING THE ISSUANCE THEREOF.	NOT PLOTABLE, NOT SHOWN
	6	WATER RIGHTS, CLAIMS OR TITLE TO WATER, AND AGREEMENTS, COVENANTS, CONDITIONS OR RIGHTS INCIDENT THERETO, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS. THIS EXCEPTION IS NOT LIMITED BY REASON OF THE DISCLOSURE OF ANY MATTER RELATING TO WATER RIGHTS AS MAY BE I SET FORTH ELSEWHERE IN SCHEDULE B.	NOT PLOTABLE, NOT SHOWN
	7	INTENTIONALLY DELETED — EASEMENT FOR WATER LINE AND RIGHTS INCIDENT THERETO, AS SET FORTH IN INSTRUMENT RECORDED IN DOCKET 7033, PAGE 514.	NOT SHOWN, EASEMENT WAS ABANDONED IN REC. DOC. 2019-0102593.
	8	RIGHT OF WAY FOR ROAD AS SHOWN ON MAP RECORDED IN BOOK 3 OF ROAD MAPS, PAGE 41.	THIS ITEM DOES AFFECT THE SURVEY, AND IS SHOWN BY THE INDEX 8.
	9	RESTRICTIONS, CONDITIONS, COVENANTS. RESERVATIONS, INCLUDING BUT NOT LIMITED TO ANY RECITALS CREATING EASEMENTS, LIABILITIES, OBLIGATIONS OR PARTY WALLS, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN CONTAINED IN INSTRUMENT RECORDED IN DOCKET 303, PAGE 374 AND MODIFIED IN DOCKET 1477, PAGE 319 AND IN DOCKET 13090 PAGE 394.	THIS IS A BLANKET STYLE EASEMENT WHICH MAY OR MAY NOT AFFECT SUBJECT PROPERTY. IT IS NOT CLEAR IF THE CC&RS HAVE BEEN EXTEND BEYOND THEIR EXPIRATION DATE. THE CC&RS CONTAIN DISCRIMINATORY LANGUAGE. THEY ALSO CONTAIN RESTRICTIONS ON DEVELOPMENT THAT IS NOT CONSISTENT WITH SURROUNDING PROPERTIES, DESCRIBED WITH THIS DOCUMENT. IT APPEARS THAT THIS ITEM IS OUTDATED AND HAS NOT BEEN ENFORCED.
	10	TERMS AND CONDITIONS AS CONTAINED IN INSTRUMENT ENTITLED AMENDED SPECIAL USE PERMIT, RECORDED IN DOCUMENT NO. 92-0335514 AND RE-RECORDED IN DOCUMENT NO. 93-0221248.	THIS ITEM DOES NOT AFFECT SUBJECT PROPERT, THEY AFFTECT PARCELS LOCATED IN THE SW QUARTER OF SECTION 10, T2N, R4E. SUBJECT PROPERTY IS LOCATED IN THE NW QUARTER OF SAID SECTION 10.
	11	ALL MATTERS DISCLOSED BY SPECIAL WARRANTY DEED RECORDED IN DOCUMENT NO. 99-100589.	THIS IS A BLANKET STYLE EASEMENT WHICH AFFECTS SUBJECT PROERTY
	12	RIGHTS OF PARTIES IN POSSESSION.	NOT PLOTABLE, NOT SHOWN
	13	ANY ACTION THAT MAY BE TAKEN BY MARICOPA FLOOD CONTROL DISTRICT TO ACQUIRE PROPERTY OR RIGHTS OF WAY FOR FLOOD CONTROL AS DISCLOSED BY INSTRUMENT RECORDED IN DOCUMENT NO. 20180412708.	NOT PLOTABLE, NOT SHOWN
	14	INTENTIONALLY DELETED — TAXES AND ASSESSMENTS COLLECTIBLE BY THE COUNTY TREASURER, SECOND INSTALLMENT A LIEN PAYABLE BUT NOT YET DUE FOR THE YEAR 2018.	NOT PLOTABLE, NOT SHOWN
l,	15	(NEW ITEM) ANY LIEN, OR RIGHT TO A LIEN, FOR SERVICES, LABOR OR MATERIAL HERETOFORE OR HEREAFTER FURNISHED, IMPOSED BY LAW AND NOT SHOWN BY PUBLIC RECORDS.	NOT PLOTABLE, NOT SHOWN
	16	(NEW ITEM) TAXES AND ASSESSMENTS COLLECTIBLE BY THE COUNTY TREASURER, A LIEN NOT YET DUE AND PAYABLE FOR THE YEAR 2019.	NOT PLOTABLE, NOT SHOWN



OWNER

MR BLUEBIRDS SHOULDER, LLC 6061 E CABALLO DR PARADISE VALLEY, AZ 85253

SITE DATA

APN: 174-53-008K, 174-53-010C, 174-53-009A ADDRESS: 6400 E CACTUS WREN ROAD PARADISE VALLEY, AZ 85253 LOT AREA: 246,864 S.F. (5.667 AC.) CONSTRUCTION YEAR: VACANT LOT

BENCHMARK

BRASS CAP IN HAND HOLE AT THE INTERSECTION OF LINCOLN DRIVE AND INVERGORDON ROAD, HAVING AN ELEVATION OF 1342.92, TOWN OF PARADISE VALLEY (NAVD 88) DATUM, GDACS# 24535-1.

BASIS OF BEARINGS

THE WEST LINE OF THE NW 1/4, SECTION 10, T2N, R4E, THE BEARING OF

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARICOPA STATE OF ARIZONA, AND IS DESCRIBED AS FOLLOWS:

BEING A PORTION OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 10. TOWNSHIP 2 NORTH, RANGE 4 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, AND BEING A PORTION OF LOTS 1 AND 2. VISTA DEL CAMELLO. RECORDED IN BOOK 208 OF MAPS. PAGE 47. RECORDS OF SAID COUNTY, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A NAIL FOUND AT THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 10:

THENCE NORTH 01 DEGREES 26 MINUTES 13 SECONDS EAST ALONG THE WEST LINE OF SECTION 10. A DISTANCE OF 588.38 FEET

THENCE NORTH 89 DEGREES 47 MINUTES 00 SECONDS EAST, A DISTANCE OR 565.93 FEET TO A NAIL FOUND AT A FENCE CORNER, SAID NAIL BEING 15.71 FEET (15.44 FEET RECORD) EAST OF THE WEST LINE OF LOT 2, VISTA DEL CAMELLO (BOOK 208 OF MAPS PAGE 47, RECORDS OF MARICOPA COUNTY, ARIZONA);

THENCE SOUTH 03 DEGREES 44 MINUTES 20 SECONDS WEST, A DISTANCE OF 198.28 FEET (197.70 FEET RECORD) TO AN IRON REBAR;

THENCE SOUTH 46 DEGREES 39 MINUTES 30 SECONDS WEST, A DISTANCE OF 133.34 FEET TO AN IRON REBAR;

THENCE SOUTH 70 DEGREES 44 MINUTES 11 SECONDS WEST, A DISTANCE OF 43.28 FEET (43.24 FEET RECORD) TO AN IRON REBAR AT THE POINT OF CURVATURE;

THENCE SOUTHWESTERLY WITH A 154.50 FOOT RADIUS CURVE TO THE LEFT, HAVING A CENTRAL ANGLE OF 31 DEGREES 01 MINUTES 49 SECONDS, AN ARC DISTANCE OF 83.67 FEET (RECORD AND MEASURED) TO AN IRON REBAR FOUND ON THE WEST LINE OF LOT 1, VISTA DEL CAMELLO, SAID REBAR BEING 45.62 FEET SOUTH OF THE NORTHWEST CORNER OF

THENCE SOUTH 01 DEGREES 34 MINUTES 46 SECONDS WEST ALONG THE WEST LINE OF SAID LOT 1, A DISTANCE OF 238.46 FEET (238.38 FEET RECORD) TO A NAIL FOUND ON THE SOUTH LINE OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER:

THENCE SOUTH 89 DEGREES 48 MINUTES 32 SECONDS WEST A DISTANCE OF 355.46 FEET (355.48 FEET RECORD) TO THE POINT OF BEGINNING.

APN: 174-53-008K, 174-53-010C, 174-53-009A

CERTIFICATE OF SURVEY

OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED

WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1-5, 8, 11, 13, 14 AND 16, OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON APRIL, 2017.



JAMES FLACK, RLS

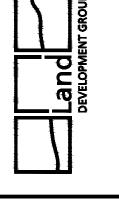
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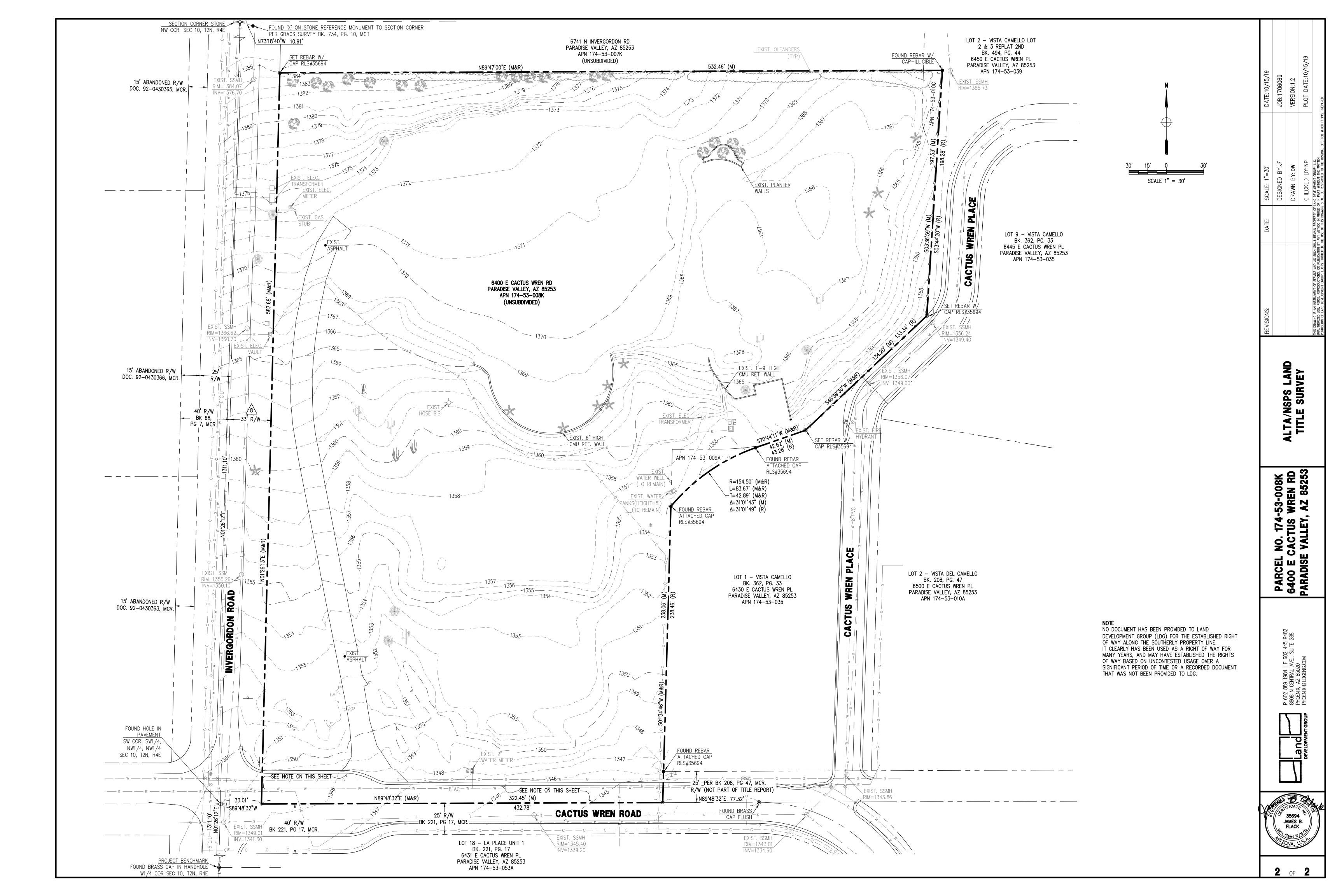
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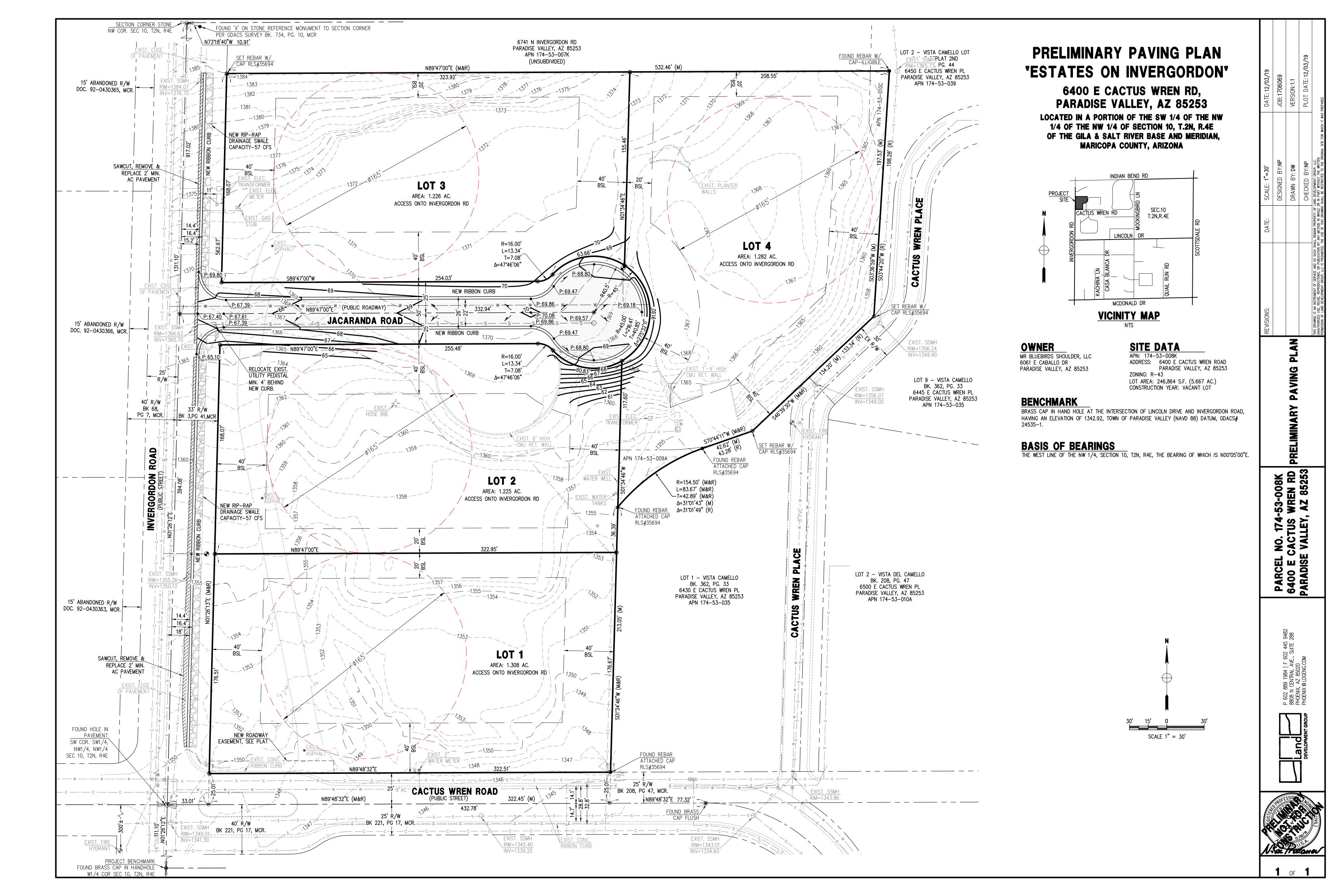
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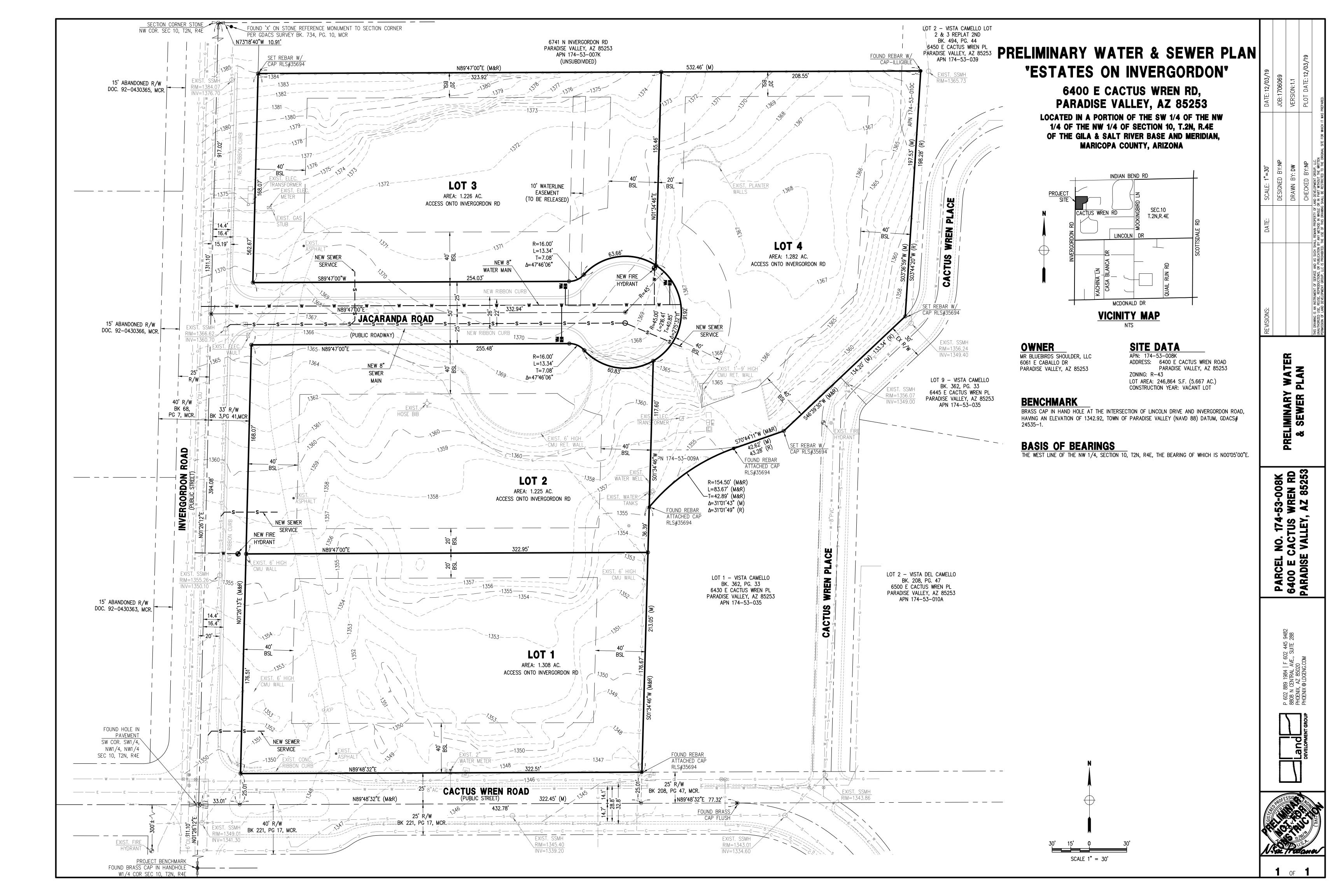
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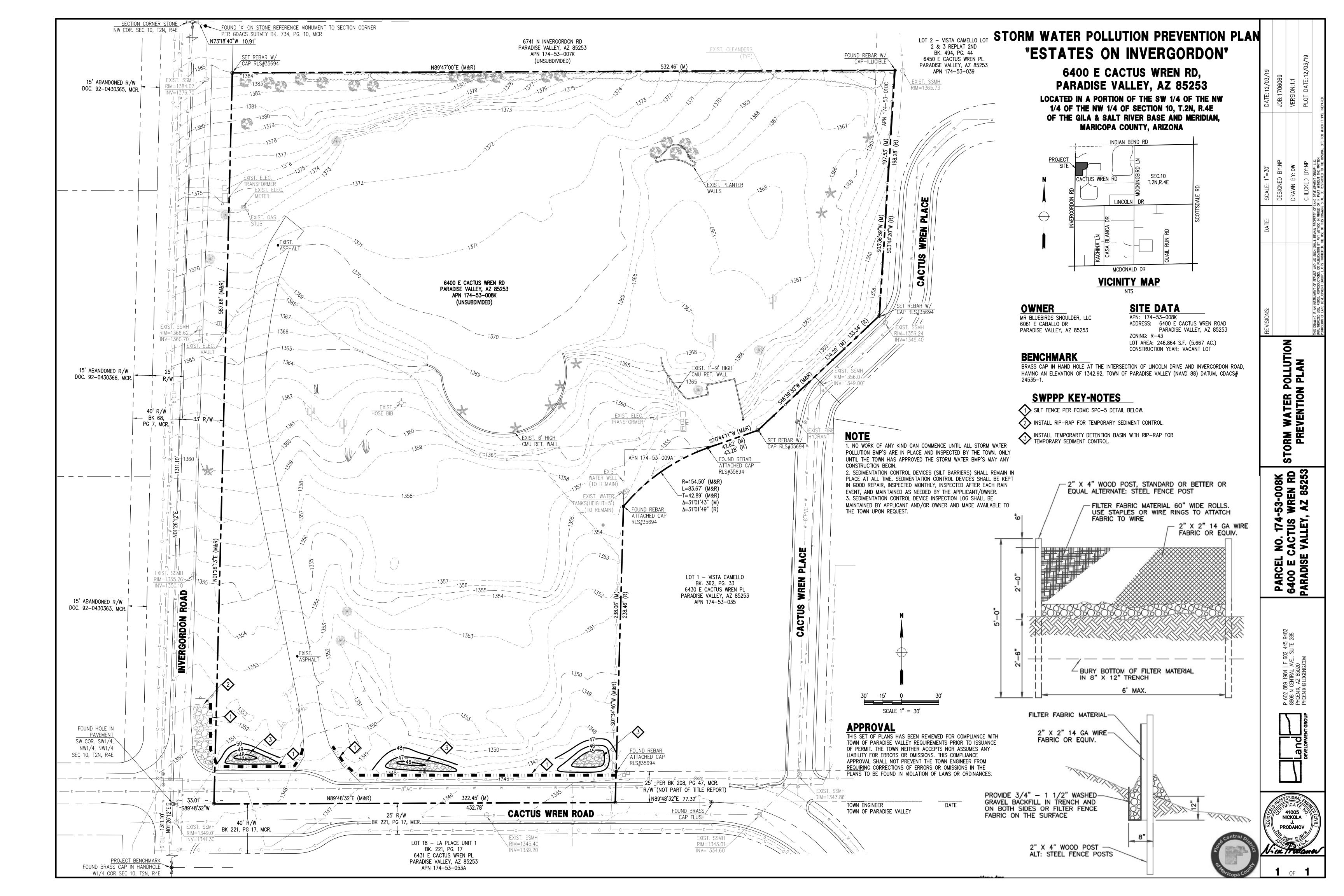


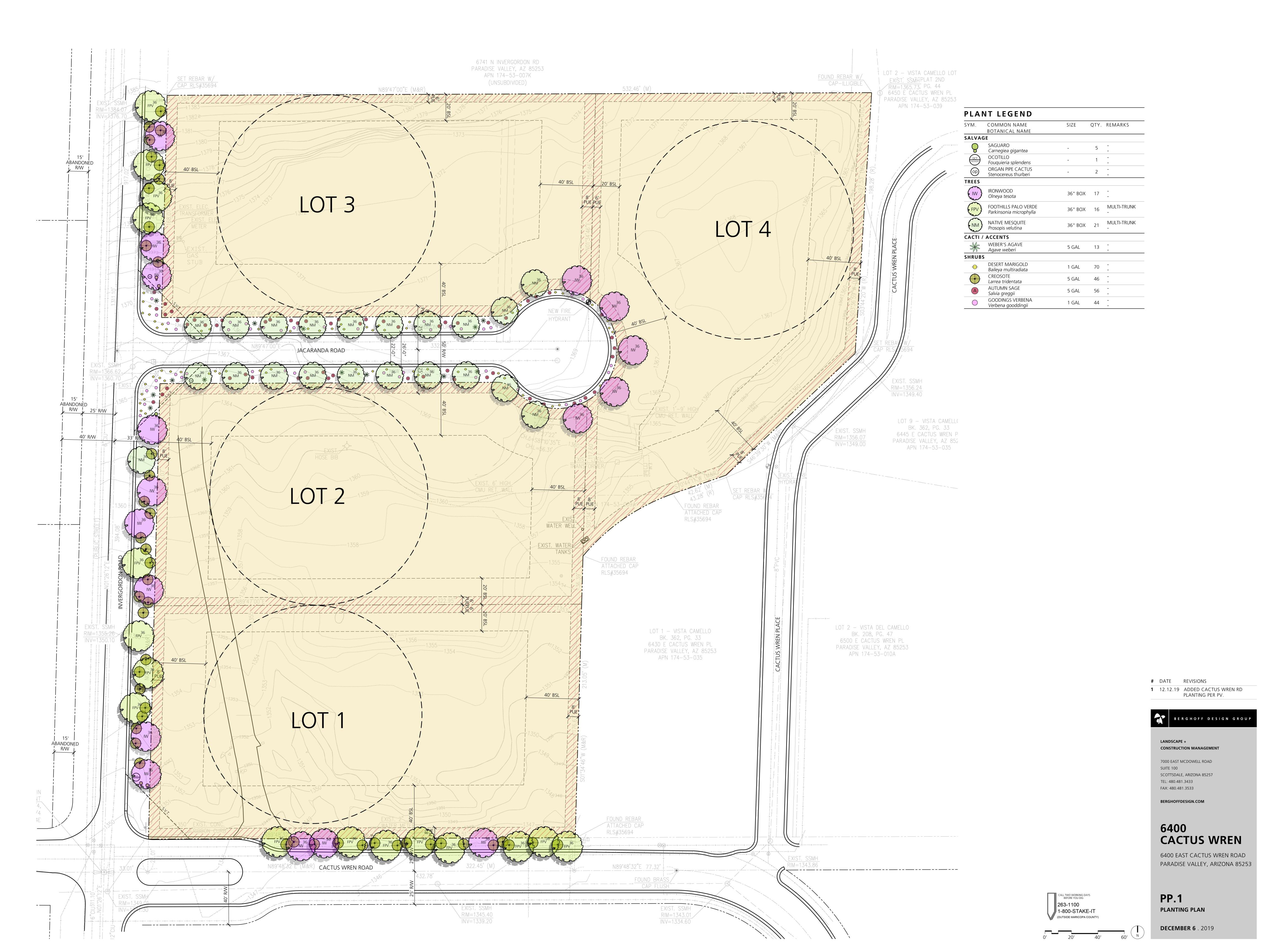












WATER PLAN

"ESTATES ON INVERGORDON"

6400 E CACTUS WREN RD, PARADISE VALLEY, AZ 85253

LOCATED IN A PORTION OF THE SW 1/4 OF THE NW 1/4 OF THE NW 1/4 OF SECTION 10, T.2N, R.4E OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

EPCOR WATER SYSTEM MATERIAL SPECIFICATION

- C900 POLYVINYL CHLORIDE (PVC): IN ACCORDANCE WITH AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARD C900 FOR PIPE DIAMETERS UP TO 12"; DR=18, ELASTOMERIC-GASKÉT BELL-END. AREAS SUBJECTED TO PRESSURES GREATER THAN 100 PSI SHALL BE C900, DR=14.
- C905 POLYVINYL CHLORIDE (PVC): IN ACCORDANCE AWWA STANDARD C905 FOR PIPE DIAMETERS GREATER THAN 12", DR=18, ELASTOMERIC-GASKET BELL END.
- DUCTILE IRON PIPE, MORTAR-LINED (D.I.P.): IN ACCORDANCE AWWA STANDARDS C150, C151 AND C153. EQUIVALENT O.D., PRESSURE CLASS 150 MINIMUM. MORTAR LINING SHALL BE IN ACCORDANCE WITH M.A.G. SECTION 750 AND AWWA C104. ALL DUCTILE IRON PIPE SHALL BE POLYETHYLENE WRAPPED FOR THE ENTIRE LENGTH IN ACCORDANCE WITH M.A.G. SECTION 610.5. AREAS SUBJECTED TO PRESSURES GREATER THAN 100 PSI SHALL BE PRESSURE CLASS 200 MINIMUM.
- IN PARADISE VALLEY DISTRICT, DUCTILE IRON PIPE ONLY. PVC IS NOT PERMITTED. • IN MOHAVE COUNTY, ALL PVC MUST BE DR14 ONLY. DR18 IS NOT PERMITTED.
- CONCRETE PRESSURE PIPE, STEEL CYLINDER TYPE: IN ACCORDANCE WITH AWWA STANDARD C303 AND M.A.G. SECTION 758 FOR PIPE DIAMETERS GREATER THAN 24". MANUFACTURER'S TECHNICAL DATA SHEETS SHALL BE SUBMITTED TO THE UTILITY FOR REVIEW AND APPROVAL. SERVICE TAPS ARE NOT PERMITTED ON CONCRETE PRESSURE

DISTRIBUTION FITTING

PUSH-ON OR MECHANICAL JOINT IN ACCORDANCE WITH AWWA C111 AND M.A.G. SECTION 750.4. JOINT RESTRAINTS, WHERE REQUIRED, SHALL BE MECHANICAL RESTRAINED JOINT WITH PRODUCT APPROVED BY THE UTILITY OR FLANGED JOINT FOR LENGTHS IN ACCORDANCE WITH M.A.G. DETAIL 303-2. FIELD LOCK GASKETS ARE NOT ALLOWED.

WATER LINE VALVE

- MUELLER, CLOW, KENNEDY, OR M&H RESILIENT WEDGE SEATED GATE VALVE IN ACCORDANCE WITH M.A.G. SECTION 630.3 WITH VALVE BOX AND COVER IN ACCORDANCE WITH M.A.G. DETAIL 391-1 TYPE "C" MINIMUM LID WEIGHT OF 16LBS VALVES INSTALLED OUTSIDE THE PAVEMENT OR IN THE FLOW LINE OF A ROADWAY SHALL HAVE A DEBRIS CAP INSTALLED PER M.A.G. STD. DET. 392. BUTTERFLY VALVES ARE PERMITTED ABOVE-GROUND ONLY.
- BUTTERFLY VALVES IN ACCORDANCE WITH AWWA STANDARD C504 FOR VALVE SIZES GREATER THAN 16". ALL BUTTERFLY VALVES SHALL BE ABOVE-GROUND ONLY.
- TAPPING SLEEVE & VALVE STAINLESS STEEL CASCADE JCM
- PARADISE VALLEY DISTRICT MAY REQUIRE A BYPASS ON VALVES ON 12" OR LARGER PIPE. CONTACT UTILITY FOR APPROVAL ON A CASE-BY-CASE BASIS.

- FOR TAPS. PIPE AND FITTINGS FOR WATER SERVICES THROUGH 2 INCHES, THE SIZE SHALL BE IN ACCORDANCE WITH THE UTILITY'S STD. DET. 342-2. REQUESTS FOR LARGER SIZES MUST BE SUBMITTED FOR REVIEW AND APPROVAL. MINIMUM WATER SERVICE LINE SIZE DIAMETER SHALL BE 1".
- TUBAC DISTRICT REQUIRES METER SETTERS ON ALL PROJECTS.
- 2" METER SETTERS ARE REQUIRED FOR CRITICAL SERVICE DEVELOPMENTS IN
- PARADISE VALLEY AND ANTHEM DISTRICTS.
- APPROVED SADDLES, ALL IPT: FORD S90, FORD F202, MUELLER H-1300, JAMES JONES J-965, AND JCM 403 FOR C900 PVC. FORD FS202, JAMES JONES J-969 AND JCM 404 FOR C905 PVC. FORD F202, JCM 404, JAMES JONES J-979, AND MUELLER BR2B FOR ACP. FORD F202, JCM 402, JAMES JONES J-979, AND MUELLER BR2B
- ALL BRASS FITTINGS MUST BE MANUFACTURED BY FORD OR JAMES JONES. ALL ANGLE METER STOPS MUST INCLUDE LOCKING WINGS.
- FIRE HYDRANTS
- DRY BARREL FIRE HYDRANTS ARE FOR USE IN MOHAVE COUNTY, TUBAC, PARADISE VALLEY, AND ANTHEM WATER DISTRICTS ONLY, SEE UTILITY'S DETAIL 360-1.
- WET BARREL FIRE HYDRANTS ARE FOR USE IN SUN CITY, SUN CITY WEST, AND AGUA FRIA WATER DISTRICTS ONLY, SEE UTILITY'S DETAIL 360-2.
- SEE UTILITY'S DETAIL 350-1. TRACER WIRE MUST BE USED FOR ALL WATER LINES.

DIP SECTIONS ALL DIP SECTIONS SHALL BE CONSTRUCTED OF D.I.P. IN ACCORDANCE WITH ABOVE

- SPECIFIED DISTRIBUTION PIPING FOR D.I.P AND THE UTILITY'S DETAIL 370-1. JOINT RESTRAINTS SHALL BE MECHANICAL RESTRAINED JOINT WITH PRODUCT APPROVED BY THE UTILITY FOR LENGTHS IN ACCORDANCE WITH M.A.G. STD. DET. 303-2. ALL DUCTILE IRON PIPE SHALL BE POLYETHYLENE WRAPPED FOR THE ENTIRE LENGTH IN ACCORDANCE WITH M.A.G. SECTION 610.5.
- SEE UTILITY'S DETAIL 350-1. MARKING TAPE MUST BE USED FOR ALL WATER LINES AND SERVICES.
- MARKING POSTS CARSONITE MARKING POSTS ARE REQUIRED FOR ALL WATER VALVES LOCATED OUTSIDE OF ROW AND OUTSIDE OF PAVED AREAS, INSTALLED WITH CONCRETE COLLAR.

ALL OTHER ITEMS

- IN ACCORDANCE WITH M.A.G. SPECIFICATIONS.
- WHERE M.A.G. STANDARDS ARE SPECIFIED, THOSE STANDARDS ARE APPLICABLE REGARDLESS OF PROJECT LOCATION.

ENGINEER'S NOTES

- . MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION INCLUDING LATEST REVISION AND CURRENT SUPPLEMENTALS THEREOF PER THE LOCAL TOWN OR CITY) ARE INCORPORATED INTO THIS PLAN IN THEIR ENTIRETY.
- 2. ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL CITY OR TOWN UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
- 3. A DUST CONTROL PLAN MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED. REGULATION II RULE 20-3 OF THE MARICOPA COUNTY HEALTH DEPARTMENT, BUREAU OF AIR POLLUTION CONTROL SHALL BE OBSERVED AND ENFORCED.
- 4. CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION METHODS, SEQUENCING, AND SAFETY CONCERNS ASSOCIATED WITH THIS PROJECT DURING CONSTRUCTION, UNLESS SPECIFICALLY ADDRESSED OTHERWISE IN THIS PLAN OR ELSEWHERE IN THE CONTRACT.
- 5. CONTRACTOR IS TO COMPLY WITH ALL LOCAL, STATE, AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO THE CONSTRUCTION COVERED BY THIS PLAN. 6. CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS
- REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN. 7. THE QUANTITIES AND SITE CONDITIONS DEPICTED IN THESE PLANS ARE FOR INFORMATIONAL PURPOSES ONLY AND ARE SUBJECT TO ERROR AND OMISSION. CONTRACTORS SHALL SATISFY THEMSELVES AS TO ACTUAL QUANTITIES AND SITE

CONDITIONS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS

- 8. A REASONABLE EFFORT HAS BEEN MADE TO SHOW THE LOCATIONS OF EXISTING UNDERGROUND FACILITIES AND UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND/OR FACILITIES CAUSED DURING THEIR CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL CALL 48 HOURS IN ADVANCE FOR BLUE STAKE (1-800-STAKE-IT) PRIOR TO ANY EXCAVATION.
- 9. CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION OF CONSTRUCTION AFFECTING UTILITIES AND THE COORDINATION OF ANY NECESSARY UTILITY RELOCATION WORK. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES AND FEATURES PRIOR TO
- 10. ALL PAVING, GRADING, EXCAVATION, TRENCHING, PIPE BEDDING, CUT FILL AND BACKFILL SHALL COMPLY WITH THE RECOMMENDATIONS SET FORTH IN THE SOILS (GEOTECHNICAL) REPORT FOR THIS PROJECT IN ADDITION TO THE REFERENCED REQUIRED
- 11. THE CONTRACTOR IS TO VERIFY THE LOCATION AND THE ELEVATIONS OF ALL EXISTING UTILITIES AT POINTS OF TIE-IN PRIOR TO COMMENCING ANY NEW CONSTRUCTION. SHOULD ANY LOCATION OR ELEVATION DIFFER FROM THAT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL CONTACT THE OWNER'S AGENT.
- 12. COORDINATION BETWEEN ALL PARTIES IS ESSENTIAL PART OF CONTRACT 13. CONTRACTOR IS RESPONSIBLE FOR PROJECT AND SITE CONDITIONS, AND TO WORK WITH WEATHER CONDITIONS AS THE PROJECT SITE MAY BE LOCATED IN A FLOOD PRONE AREA AND SUBJECT TO FLOODING AND ITS HAZARDS.
- 14. ALL PIPES AND FITTINGS SHALL BE INSTALLED PER MANUFACTURE'S SPECIFICATIONS AND DETAILS.
- 15. CONTRACTOR TO PROVIDE TRAFFIC CONTROL AND BARRICADES PER CITY OF PHOENIX
- CODES AND STANDARDS. 16. TRENCH BED SHALL BE FREE OF ROCKS AND DEBRIS.
- 17. ALL FRAMES, COVERS, VALVE BOXES & MANHOLE COVERS SHALL BE ADJUSTED TO FINISH GRADE PRIOR TO COMPLETION OF PAVING OR RELATED CONSTRUCTION.
- 18. CONTRACTOR SHALL COORDINATE ALL UTILITY SHUT DOWNS OF THE EXISTING UTILITY SYSTEMS WITH OWNER AND ADJACENT TENANTS.
- 19. NOTHING CONTAINED IN THE CONTRACT DOCUMENTS SHALL CREATE, NOR SHALL BE CONSTRUED TO CREATE, ANY CONTRACTUAL RELATIONSHIP BETWEEN THE ENGINEER AND THE CONTRACTOR OR ANY SUBCONTRACTOR.
- 20. ALL PIPE SHALL BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS, SPECIFICATIONS AND DETAILS.
- 21. THE CONTRACTOR IS TO VERIFY THE LOCATION, ELEVATION, CONDITION, AND PAVEMENT CROSS-SLOPE OF ALL EXISTING SURFACES AT POINTS OF TIE-IN AND MATCHING, PRIOR TO COMMENCEMENT OF GRADING, PAVING, CURB AND GUTTER, OR OTHER SURFACE CONSTRUCTION. SHOULD EXISTING LOCATIONS, ELEVATIONS, CONDITION, OR PAVEMENT CROSS-SLOPE DIFFER FROM THAT SHOWN ON THESE PLANS, RESULTING IN THE DESIGN INTENT REFLECTED ON THESE PLANS NOT ABLE TO BE CONSTRUCTED, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AGENT IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ALL COSTS ASSOCIATED WITH CORRECTIVE ACTION IF THESE PROCEDURES ARE NOT FOLLOWED.
- 22. THIS PROJECT REQUIRES A REGULAR ONGOING MAINTENANCE PROGRAM FOR THE DESIGNED DRAINAGE SYSTEM(S) TO PRESERVE THE DESIGN INTEGRITY AND THE ABILITY TO PERFORM ITS OPERATIONAL INTENT. FAILURE TO PROVIDE MAINTENANCE WILL JEOPARDIZE THE DRAINAGE SYSTEM(S)' PERFORMANCE AND MAY LEAD TO IT'S INABILITY TO PERFORM PROPERLY AND/OR CAUSE DAMAGE ELSEWHERE IN THE
- 23. COMPACTION CUT AND FILL SLOPES SHALL COMPLY WITH PROVISIONS AS SET FORTH IN THE APPROVED GEOTECHNICAL REPORT.

UTILITIES NOTES

HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THE PLAN ARE APPROXIMATE ONLY AND WILL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO START OF CONSTRUCTION WORK. CALL BLUE STAKE @ (602) 263-1100.

<u>LEGEN</u>	<u>ID</u>			
	SECTION CORNER			
	1/4 QUARTER			
×	SCRIBED "X" IN CONCRETE			
O	BRASS CAP IN HANDHOLE			
•	BRASS CAP FLUSH			
•	FOUND REBAR OR AS NOTED			
0	SET 1/2" REBAR & TAG OR AS NOTED			
0	CALCULATED POINT			
	PROPERTY LINE			
	EASEMENT LINE			
	MONUMENT LINE			
- 0	SIGN			
WM ≥	WATER METER			
\otimes	WATER VALVE			
•	FIRE HYDRANT			
	TELEPHONE PEDESTAL			
0	SEWER CLEANOUT			
\(\Delta \)	LIGHT POLE			
CTV •	CABLE TV RISER			
£	MAILBOX			
(5)	SEWER MANHOLE			
G	GAS LINE			
T	CATV, PHONE			
	SEWER LINE			
———W———	WATER LINE			

ELECTRIC LINE

ABBREVIATIONS

BACK OF CURB

CURVE LABEL

CENTERLINE

EASEMENT

INVERT

LINE LABEL

MEASURED

MANHOLE

PAVEMEN⁻

RADIUS RIGHT OF WAY

(R), REC. RECORDED

FINISH GRADE FLOW LINE GUTTER, GAS

EL, ELEV ELEVATION

EX, EXIST. EXISTING

ESMT

P. PVMT

EXISTING GRADE

BUILDING SETBACK LINE

DRAINAGE EASEMENT

EDGE OF PAVEMENT

FLOOD CONTROL DISTRICT OF MARICOPA COUNTY

MARICOPA ASSOCIATION OF GOVERNMENTS

MARICOPA COUNTY RECORDER

PUBLIC UTILITY EASEMENT

TANGENT, TELEPHONE

TOP OF RETAINING WALL

WATER LINE EASEMENT

TOP OF CURB

TOP OF GRATE

TOP OF WALL

WATER METER

TOP OF FOOTING

WEST, WATERLINE

COMMUNICATIONS LINE

EXIST. DRAINAGE FLOW

EXIST. SPOT ELEVATION

EXISTING CONTOUR

LOT 3 AREA OF WORK SEE SHEET W2 LOT 4 JACARANDA ROAD AREA OF WORK SEE SHEET W2 CACTUS WREN ROAD-SHEET KEY MAP SCALE: 1"=100' SHEET INDEX

ESTIMATED QUANTITIES

DESCRIPTION	UNIT	QUANTITY
PAVING	•	
SAWCUT, REMOVE AND REPLACE A.C. PAVEMENT	SY	197
WATER - PUBLIC	•	
8" DIP WATERLINE	LF	381
6"x6" TAPPING SLEEVE V,B&C	EA	2
WATER SERVICE & METER	EA	3
BLOW OFF ASSMEBLY	EA	1
FIRE HYDRANT	EA	2
6" VALVE	EA	1

..COVER SHEET

..WATER PLAN

....DETAIL SHEET

CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF THE QUANTITIES AND BASE THEIR BIDS ON THEIR ESTIMATES.

AS-BUILT CERTIFICATION

REGISTERED ENGINEER/LAND SURVEYOR

REGISTRATION NUMBER

I HEREBY CERTIFY THAT THE "RECORD DRAWING" MEASUREMENTS AS

SHOWN HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED

AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

INDIAN BEND RD T.2N,R.4E LINCOLN DR MCDONALD DR VICINITY MAP

OWNER

MR BLUEBIRDS SHOULDER. LLC 6061 E CABALLO DR PARADISE VALLEY, AZ 85253

PARENT SITE DATA

APN: 174-53-008K, 174-53-010C, 174-53-009A ADDRESS: 6400 E CACTUS WREN ROAD PARADISE VALLEY, AZ 85253 ZONING: R-43 LOT AREA: 246,864 S.F. (5.667 AC.)

BENCHMARK

BRASS CAP IN HAND HOLE AT THE INTERSECTION OF LINCOLN DRIVE AND INVERGORDON ROAD, HAVING AN ELEVATION OF 1342.92, TOWN OF PARADISE VALLEY (NAVD 88) DATUM, GDACS# 24535-1.

BASIS OF BEARINGS

THE WEST LINE OF THE NW 1/4, SECTION 10, T2N, R4E, THE BEARING OF WHICH IS N00°05'00"E.

WATER: EPCOR WATER SANITARY SEWER: TOWN OF PARADISE VALLEY ELECTRIC: ARIZONA PUBLIC SERVICE TELEPHONE: CENTURY LINK, COX COMMUNICATIONS NATURAL GAS: SOUTHWEST GAS CABLE TV: CENTURY LINK, COX COMMUNICATIONS

FLOOD INSURANCE RATE MAP (FIRM) DATA

COMMUNITY # 040049	PANEL # 1765 OF 4425	SUFFIX L	BASED FLOOD ELEVATION N/A
MAP # 04013C	PANEL DATE 10/16/2013	ZONE X*	

*AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN

MCESD APPROVAL

MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT

IN ACCORDANCE WITH AAC R18-4-213, ALL MATERIALS ADDED AFTER JANUARY 1, 1993 WHICH MAY COME INTO CONTACT WITH DRINKING WATER SHALL CONFORM TO NATIONAL SANITATION FOUNDATION STANDARDS 60 AND 61.

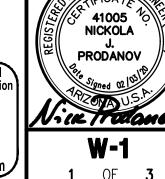
EPCOR WATER APPROVAL

DATE REVIEWING ENGINEER

TPV APPROVAL

TOWN ENGINEER TOWN OF PARADISE VALLEY

Contact Arizona 811 at least two full vorking days before you begin excavation DATE BLUE STAKE, INC. Call 811 or click Arizona811.com

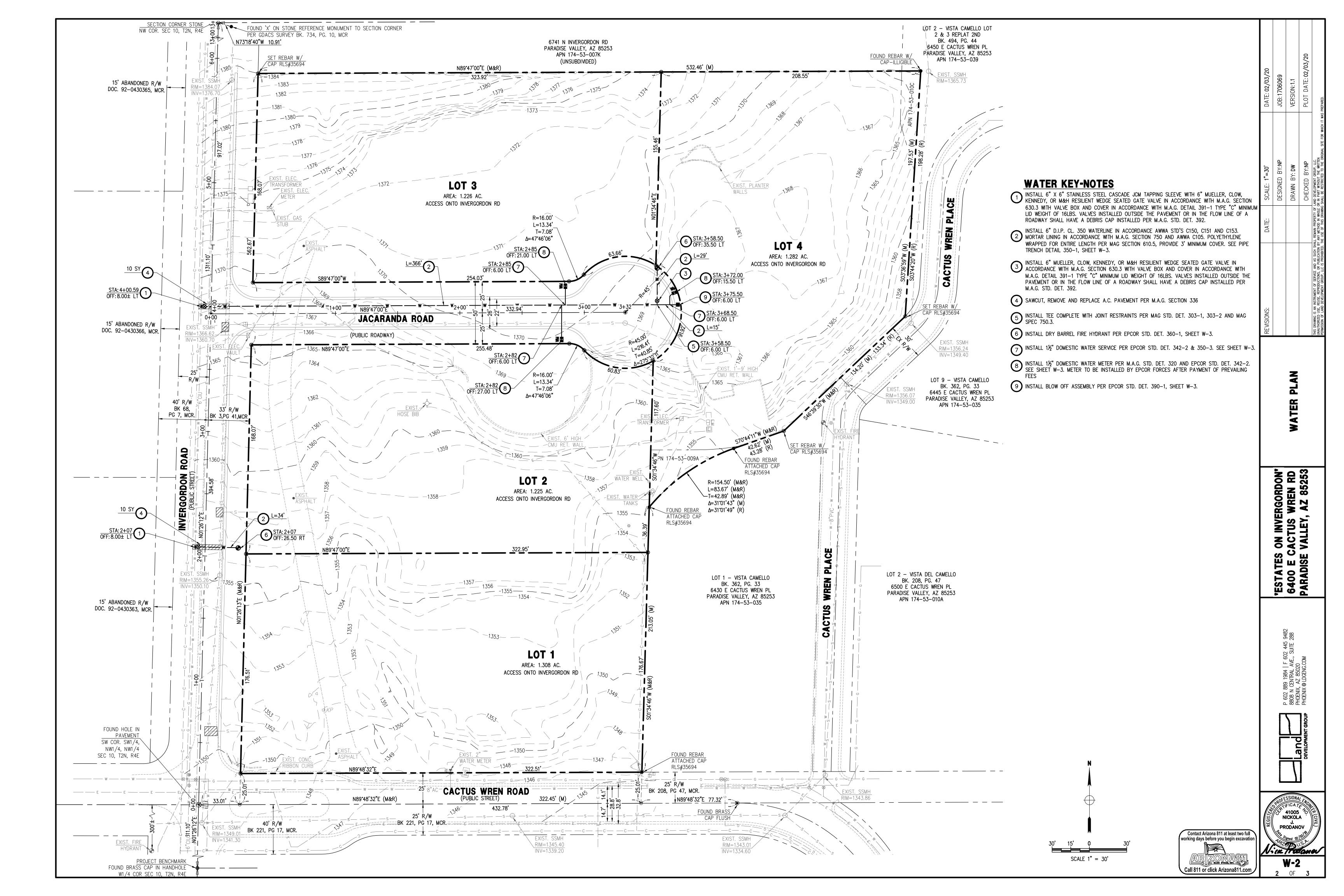


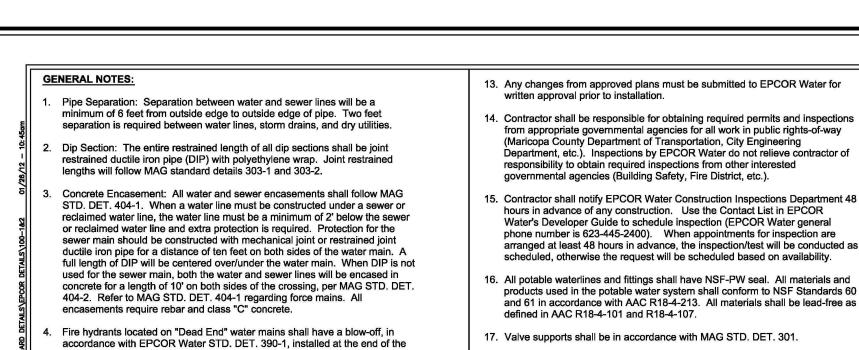
'ERGORDON'

WREN RD

', AZ 85253

'ESTAT 6400 | PARADI





Except in Mohave County, fire hydrants shall be in accordance with EPCOR

Water STD, DET, 360-1 or 360-2 as indicated on the Plan. In Mohave

County, fire hydrants shall comply with local Fire Marshal requirements.

Valve boxes shall be in accordance with MAG STD. DET. 391-1, type C.

Water services 2 inches and smaller shall be in accordance with EPCOR

Gate valves shall be resilient seated in accordance with EPCOR Water's

0. Concrete thrust blocks shall be in accordance with MAG STD. DET. 380.

2. All work and testing shall be in accordance with Maricopa Association of

Governments (MAG) Standard Specifications and Details unless otherwise

2355 W Pinnacle Peak Rd, Ste 300

P 623.445.2400 F 623.445.2454

Thrust blocks are NOT allowed in ROWs. Restrained joints per MAG STD.

DET. 303-1 & 2 shall be used in ROWs in place of concrete thrust blocks.

specified in MAG Section 611.15 shall not be required.

Jan '12 FPC®R WATER Phoenix, AZ 85027

Water Material Specs and MAG Sect. 630.3.

Field lock gaskets are not allowed.

including disinfection/chlorination. Final flushing and bacteriological testing as

Water STD. DET. 342-2.

- 16. All potable waterlines and fittings shall have NSF-PW seal. All materials and products used in the potable water system shall conform to NSF Standards 60 and 61 in accordance with AAC R18-4-213. All materials shall be lead-free as
 - 17. Valve supports shall be in accordance with MAG STD. DET. 301.
 - 18. Pumper nozzle to be oriented to provide best accessibility for fire truck. 19. All hydrant ports must be lubricated with a food-grade lubricant.
- 20. Hydrant coating: FRAZEE ARO PLATE II 6480462 "Bright Yellow". Complete hydrant preparation prior to inspection for painting. Inspection is also required after painting for contractor to receive final acceptance. This note does NOT
- apply to projects within Mohave County. 21. Water Valve Debris Caps: Debris caps are required when water valves are constructed within 2 feet of the edge of gutter, in areas that are unpaved, and Reclaimed waterlines shall be installed in accordance with MAG Sections 601, areas prone to flooding. Valves should be set 2-tenths above finish grade in 610 and 616. Testing shall be in accordance with MAG Sections 610 and 611
 - all unpaved areas. Concrete collar with carsonite marker is required on all valve locations outside of right-of-way. 22. No steps shall be installed in manholes. All manholes shall have a 30" frame
 - 23. Water Tight Manhole Covers: Water tight manhole covers are required when the edge of the manhole covers are constructed within 2 feet of the edge of gutter, in areas that are unpayed, and areas prone to flooding. Manholes should be set 2-tenths above finish grade in all unpaved areas. Concrete collar with carsonite marker is required on all valve locations outside of right-of-way. Water tight manhole covers are required for all manholes in

DETAIL NO. 100-1 **GENERAL NOTES**

GENERAL NOTES (CONTINUED) . Locate assembly within 36 inches of water meter unless otherwise directed by 24. Water Pressure Testing: All water lines will be tested per MAG section Utility's Cross-Connection Specialist. 610.14. Modifications to these specifications include; the testing to be at a minimum of 200 psi, higher test pressures may be required in certain 6. All Pressure Vacuum Breaker Assemblies shall be installed a minimum of 12 circumstances, and loss/leakage calculations will be based upon a maximum of 1500-feet, starting with the smallest diameter pipe. inches above all downstream piping and outlets. Use lead free solder only. 25. The Contractor is required to uniform slope test all sewer lines by video and . Optional (with prior approval from EPCOR Water) plant screening posts and/or protective enclosures: for vandalism and/or freeze protection.

. CLEARANCES:

pending approval.

a. Wall or structure: Minimum 24"

b. Above finish grade: Minimum 12" - Maximum 36"

with the Developer/Contractor/Customer.

installation guidelines have been followed.

items have no deficiencies.

P 623.445.2400 F 623.445.2454 BACKFLOW PREVENTION APPROVAL PROCESS NOTES

Backflow Prevention approval process complete

GENERAL NOTES (CONTINUED)

BACKFLOW PREVENTION GENERAL NOTES

vacuum test all manholes in accordance with A.A.C. R18-9-E301. Deflection testing shall be performed per MAG Section 615. Testing documentation and DVDs shall be submitted to EPCOR Water Development Services Project Manager for approval prior to acceptance. All required repairs are the responsibility of the contractor and must be coordinated with EPCOR Water

26. Sewer Testing: All sewer mains and laterals shall be pressure tested and video tested. All sewer mains shall also be mandrill tested. The maximum allowable sag is 0.5 inches.

27. In Mohave County, solid sleeves are not allowed as a remedy to a failed pressure test on a new line. 28. Approved "As-Built" plans certified for correctness by a Registered

Professional Civil Engineer or Land Surveyor registered in the State of Arizona will be required prior to Final Approval of water and sewer construction. The "As-Built" plans shall include the locations of all vertical and horizontal pipe bends, valves, manholes, sewer taps, etc., by station/offset and northing and easting state plane coordinates. See EPCOR Water's BACKFLOW PREVENTION GENERAL NOTES:

Backflow Prevention Devices: All landscape and commercial water services require backflow prevention devices, meeting the requirements of EPCOR Water. Backflow devices shall be in place prior to meters being set. Testing

of the backflow devices may be completed after the installation of the meter. Contact Utility Cross-Connection Specialist (Backflow Prevention) at (623) 445-2411 for approved assembly list, inspections and testing.

Use only a University Of Southern California Foundation For Cross-Connection Control and Hydraulic Research (USC) APPROVED assembly.

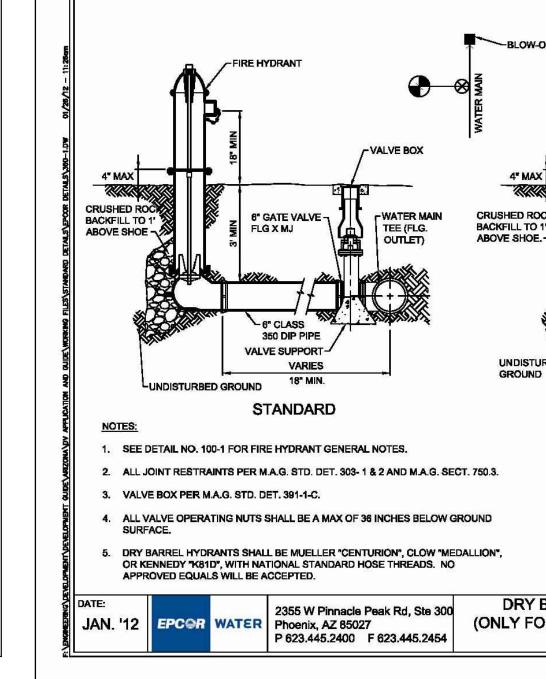
Backflow prevention assemblies shall have a certificate of approval issued by USC-FCCCHR, or other approved third-party certifying entity unrelated to the product manufacturer or vendor, in accordance with AAC R18-4-215. All assemblies shall be installed in accordance with EPCOR Water standard details. No assembly shall be placed in service unless it has been tested and is functioning as designed. A certified test must be submitted to EPCOR Water Cross Connection Specialist (Backflow Prevention) for approval. Approval of water facilities will not be granted prior to backflow prevention

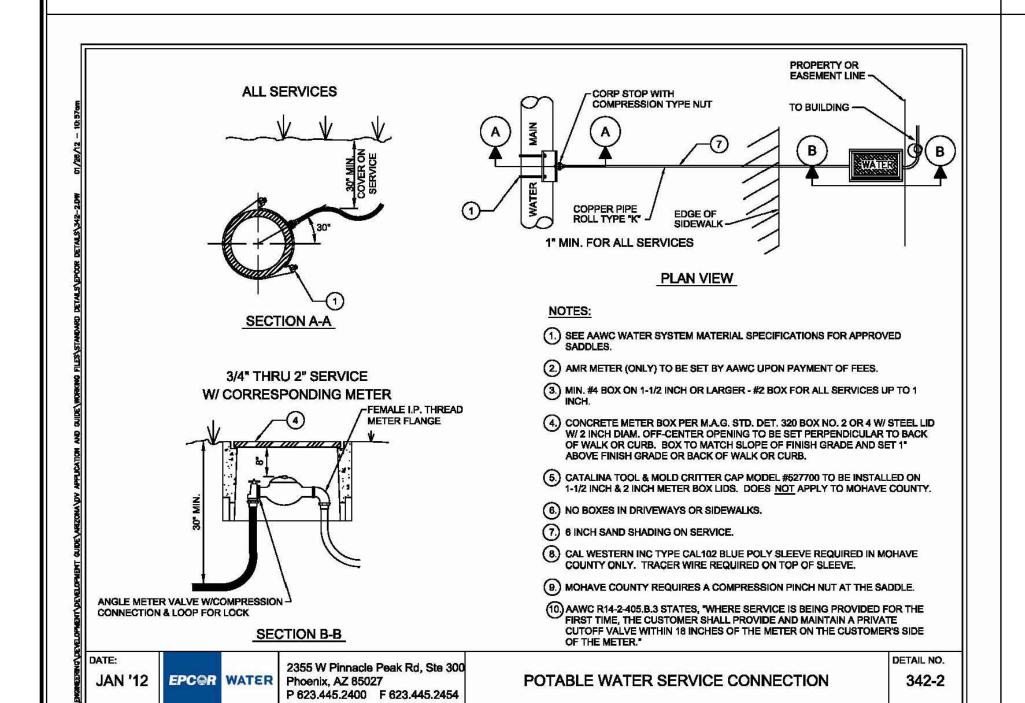
JAN '12 | EPC@R WATER | Phoenix, AZ 85027

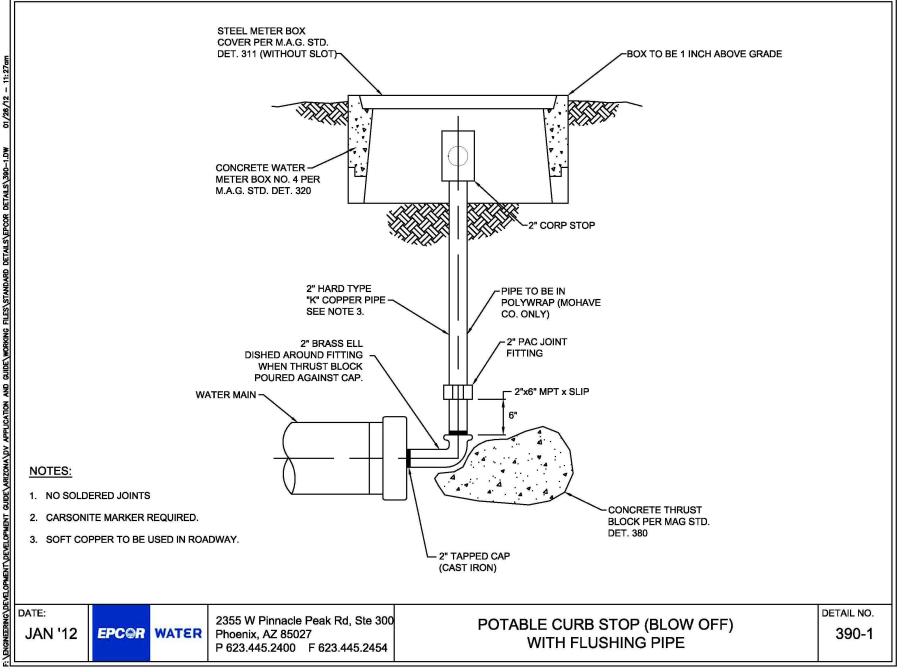
2355 W Pinnacle Peak Rd, Ste 300

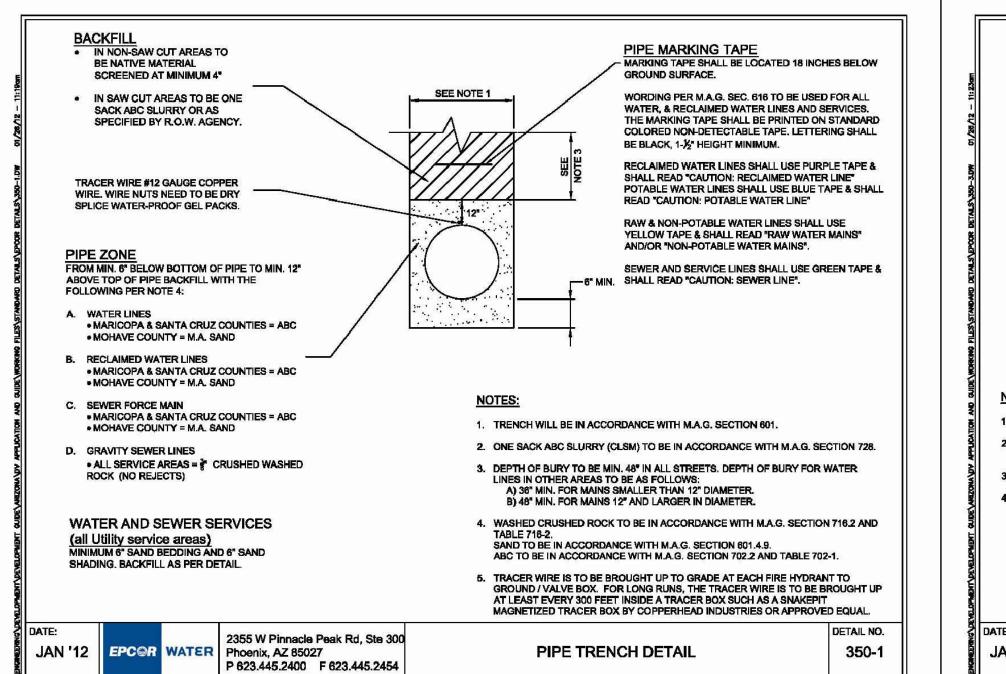
DATE:

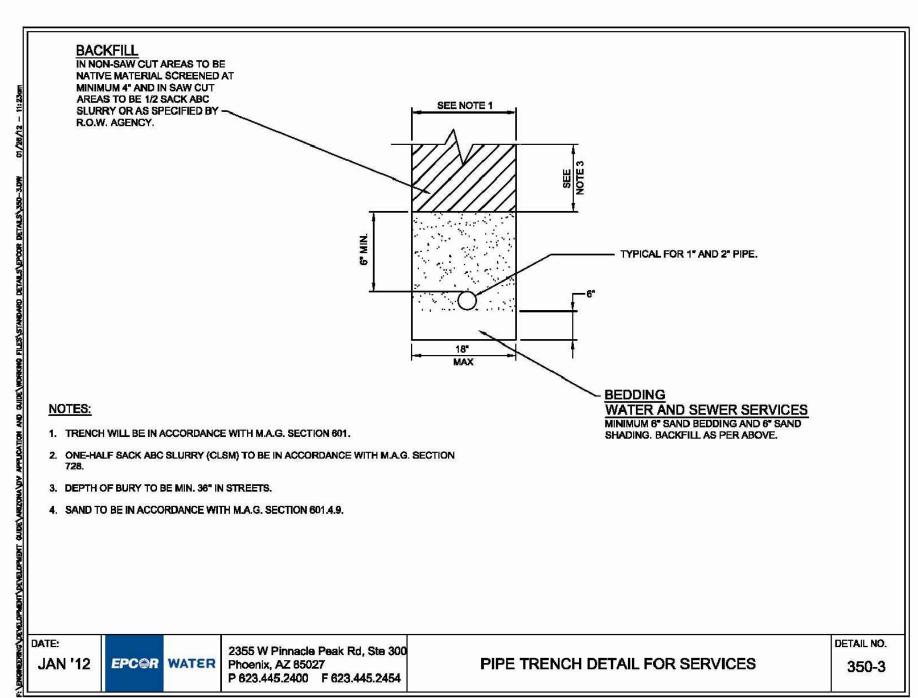
10. Fire Lines: provide usage-tamper switches & wiring to alarm system where required by fire department. Note: 75' from main requires backflow assembly. APPROVAL PROCESS FOR BACKFLOW PREVENTION ASSEMBLIES: . All new backflow prevention assemblies (BPAs) shall be tested and functioning as designed prior to Approval in accordance with AAC R18-4-215. Developer/Contractor/Customer shall forward passing test report with required BPA information to EPCOR Water Cross Connection Specialist, marked EPCOR Water Cross Connection Specialist (Backflow Prevention) will notify Development Services that an approved backflow prevention assembly test has . A Construction Inspector then schedules an Approval Inspection 5. EPCOR Water Construction Inspector confirms presence of BPA, and confirms Approval may be granted provided all other required Operation Inspection DETAIL NO. 100-2

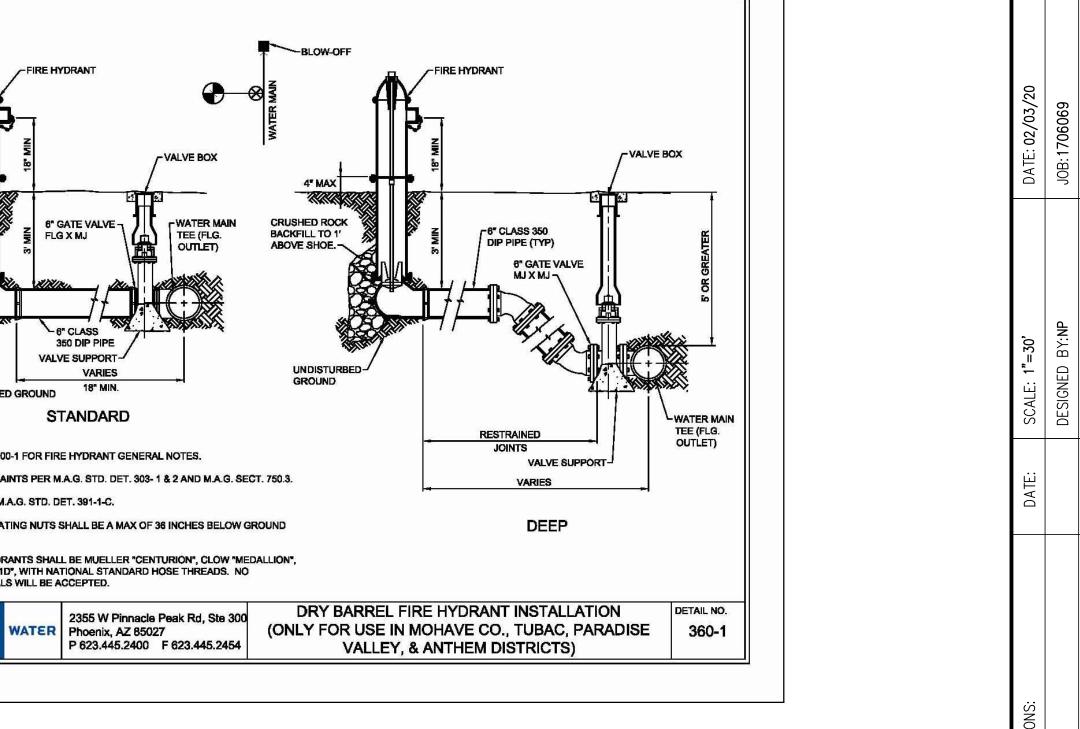








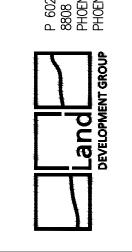








FERGORDON'S WREN RD 'ESTAT 6400 | PARADI



SEWER PLAN "ESTATES ON INVERGORDON"

6400 E CACTUS WREN RD, PARADISE VALLEY, AZ 85253

LOCATED IN A PORTION OF THE SW 1/4 OF THE NW 1/4 OF THE NW 1/4 OF SECTION 10, T.2N, R.4E OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

GENERAL NOTES (PARADISE VALLEY)

FOR PUBLIC WORKS CONSTRUCTION

- ALL CONSTRUCTION IN THE PUBLIC RIGHTS-OF-WAY OR IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) UNIFORM STANDARD SPECIFICATIONS AND UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION.
- THE TOWN ONLY APPROVES THE SCOPE, NOT THE DETAIL, OF ENGINEERING DESIGNS; THEREFORE, IF CONSTRUCTION QUANTITIES ARE SHOWN ON THESE PLANS, THEY ARE NOT VERIFIED BY THE TOWN.
- THE APPROVAL OF PLANS IS VALID FOR SIX (6) MONTHS. IF AN ENCROACHMENT PERMIT FOR THE CONSTRUCTION HAS NOT BEEN ISSUED WITHIN SIX MONTHS, THE PLANS MUST BE RESUBMITTED TO THE TOWN FOR REAPPROVAL. A PUBLIC WORKS INSPECTOR WILL INSPECT ALL WORKS WITHIN THE TOWN OF PARADISE VALLEY RIGHTS-OF-WAY
- AND IN EASEMENTS. NOTIFY INSPECTION SERVICES 24 HOURS PRIOR TO BEGINNING CONSTRUCTION BY CALLING 480-
- WHENEVER EXCAVATION IS NECESSARY, CALL THE BLUE STAKE CENTER, 602-263-1100, TWO WORKING DAYS BEFORE EXCAVATION BEGINS. THE CENTER WILL SEE THAT THE LOCATION OF THE UNDERGROUND UTILITY LINES IS IDENTIFIED FOR THE PROJECT. CALL "COLLECT" IF NECESSARY
- ENCROACHMENT PERMITS ARE REQUIRED FOR ALL WORK IN PUBLIC RIGHTS-OF-WAY AND EASEMENTS GRANTED FOR PUBLIC PURPOSES. AN ENCROACHMENT PERMIT WILL BE ISSUED BY THE CITY ONLY AFTER THE REGISTRANT HAS PAID A BASE FEE PLUS A FEE FOR INSPECTION SERVICES. COPIES OF ALL PERMITS MUST BE RETAINED ON-SITE AND BE AVAILABLE FOR INSPECTION AT ALL TIMES. FAILURE TO PRODUCE THE REQUIRED PERMITS WILL RESULT IN IMMEDIATE SUSPENSION OF ALL WORK UNTIL THE PROPER PERMIT DOCUMENTATION IS OBTAINED.
- ALL EXCAVATION AND GRADING THAT IS NOT IN THE PUBLIC RIGHTS-OF-WAY OR NOT IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO CHAPTER 70, EXCAVATION AND GRADING, OF THE LATEST EDITION OF THE UNIFORM BUILDING CODE PREPARED BY THE INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS. A PERMIT FOR THIS GRADING MUST BE SECURED FROM THE CITY FOR A FEE ESTABLISHED BY THE UNIFORM BUILDING CODE.
- EXCAVATIONS SHALL COMPLY WITH REQUIREMENTS OF OSHA EXCAVATION STANDARDS (29 CFR, PART 1926, SUBPART P). UNDER NO CIRCUMSTANCES WILL THE CONTRACTORS BE ALLOWED TO WORK IN A TRENCH LOCATED WITHIN THE TOWN'S RIGHT-OF-WAY WITHOUT PROPER SHORING OR EXCAVATION METHODS.

SPECIAL NOTES

- EXISTING STRUCTURES, FOOTINGS, UTILITIES, SIDEWALKS, PAVEMENT, AND OTHER FACILITIES IMMEDIATELY ADJACENT TO EXCAVATIONS AND PAVEMENT REMOVALS SHALL BE PROTECTED AGAINST DAMAGE. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO EXISTING ITEMS TO REMAIN IN PLACE, TO BE REUSED, OR TO REMAIN ON THE PROPERTY. CONTRACTOR SHALL REPLACE OR REPAIR ANY DAMAGED PROPERTY AT NO ADDITIONAL
- CONSTRUCT AND MAINTAIN SHORING, BRACING, AND SUPPORTS AS REQUIRED. ENSURE THAT ALL STRUCTURAL ELEMENTS AND TRENCHES ARE NOT OVERLOADED AND ARE PROPERLY BRACED. INCREASE STRUCTURAL SUPPORTS OR ADD NEW SUPPORTS AS MAY BE REQUIRED AS A RESULT OF ANY EXCAVATION, CUTTING, REMOVAL, DECONSTRUCTION, OR DEMOLITION WORK PERFORMED UNDER THIS CONTRACT. PROVIDE NEW SUPPORTS AND REINFORCEMENT FOR EXISTING CONSTRUCTION WEAKENED BY DEMOLITION, EXCAVATION, DECONSTRUCTION, OR REMOVAL WORK.
- PROTECT ALL EXISTING UTILITIES INDICATED TO STAY IN SERVICE AND PROTECT AGAINST DAMAGE DURING DEMOLITION OPERATIONS. WHERE REMOVAL OF EXISTING UTILITIES AND PAVEMENT IS SPECIFIED OR INDICATED, PROVIDE APPROVED BARRICADES, TEMPORARY COVERING OF EXPOSED AREAS, AND TEMPORARY SERVICES OR
- ANY EXISTING UTILITIES TO REMAIN THAT WERE REMOVED OR DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- . THE WORK UNDER THIS CONTRACT REQUIRES SPECIAL ATTENTION TO THE SCHEDULING AND CONDUCT OF THE WORK IN CONNECTION WITH THE USE OF THE EXISTING SEWER LINE. COORDINATE WITH THE OWNER (S) ALL CONSTRUCTION ACTIVITIES, WHICH CONSTITUTES A POTENTIAL INTERRUPTION TO OPERATIONS. INTERRUPTION TO WATER, SANITARY SEWER, STORM SEWER, TELEPHONE SERVICE, ELECTRIC SERVICE, AIR CONDITIONING, HEATING, FIRE ALARM, GAS SHALL BE COORDINATED WITH THE OWNER (S).
- CONTRACTOR SHALL REPAIR EXISTING DAMAGED CONCRETE CURB AND PAVEMENT ADJACENT TO NEW CONSTRUCTION
- CONTRACTOR MUST OBTAIN PERMITS FROM TOWN OF PARADISE VALLEY AND MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT PRIOR TO START OF CONSTRUCTION, RIGHT-OF-WAY PERMIT SHALL BE ISSUED BY THE TOWN OF PARADISE VALLEY AND PERMIT FOR INSPECTION OF SEWER MAIN TO BE ISSUED BY TOWN OF PARADISE VALLEY.

SANITARY SEWER NOTES (TOWN OF PARADISE VALLEY)

- 1. TOWN OF PARADISE VALLEY ENGINEERING DEPARTMENT'S FIELD INSPECTION GROUP SHALL BE NOTIFIED 48 HOURS BEFORE ANY CONSTRUCTION BEGINS (480 348 3528).
- 2. APPROVAL OF THESE PLANS SHALL NOT PREVENT THE TOWN FROM REQUIRING CORRECTION OF ERRORS IN THE PLANS WHERE SUCH ERRORS ARE SUBSEQUENTLY FOUND TO BE IN VIOLATION OF ANY LAW. ORDINANCE OR OTHER HEALTH / SAFETY ISSUE.
- 5. ALL MANHOLES NEWLY CONSTRUCTED OR EXISTING AND WORKED IN FOR CONNECTIONS SHALL BE PAINTED WITH INSECTICIDE PAINT PER CITY OF SCOTTSDALE SUPPLEMENTAL SPECIFICATIONS.
- 4. ALL 5'-0" MANHOLES ON PIPE 15-INCHES AND LARGER SHALL BE COATED PER COS SUPPLEMENT TO M.A.G. SEC. 625.
- 5. THE FOLLOWING MAG DETAILS ARE SPECIFICALLY NOT APPROVED:
- DET. 425 24" ALUMINUM MANHOLE FRAME AND COVER
- NEW MANHOLES ARE TO BE BUILT WITHOUT STEPS.
- THE PERFORMANCE OF THE PROPOSED SANITARY SEWER LINE SHALL MEET OR EXCEED THOSE OF THE EXISTING SANITARY SEWER LINES ALREADY IN PLACE
- 8. ALL SEWER CROSSINGS WITH NEW OR EXISTING WATER LINES SHALL BE FIELD VERIFIED FOR LOCATION AND ELEVATION BETWEEN BOTH UTILITIES. IF THE CLEARANCE BETWEEN THE BOTTOM OF THE WATER LINE AND THE TOP OF THE SEWER LINE IS LESS THAN 24", BOTH LINES SHALL BE ENCASED PER MAG. STD DET. 404.
- 9. A SIX (6) FOOT MINIMUM HORIZONTAL SEPARATION FROM ANY UNDERGROUND UTILITY SHALL BE PROVIDED FOR SEWER MAINS, SEWER SERVICES, WATER MAINS AND WATER SERVICES. THE MINIMUM VERTICAL SEPARATION IS MEASURED FROM OUTSIDE OF SEWER MAIN, SEWER SERVICE, WATER MAIN, OR WATER SERVICE TO OUTSIDE OF UNDERGROUND UTILITY.
- 10. A ONE (1) FOOT MINIMUM VERTICAL SEPARATION FROM ANY DRY UNDERGROUND UTILITY CROSSING SHALL BE PROVIDED FOR SEWER MAINS, SEWER SERVICES, WATER MAINS, AND WATER SERVICES. THE MINIMUM VERTICAL SEPARATION IS MEASURED FROM OUTSIDE OF SEWER MAIN, SEWER SERVICE, WATER MAIN, OR WATER SERVICE TO OUTSIDE OF DRY UNDERGROUND UTILITY.
- 11. A TWO (2) FOOT MINIMUM VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN ANY SEWER MAIN OR SEWER DRAIN MAIN CROSSING AND WATER MAIN. THE MINIMUM VERTICAL SEPARATION IS MEASURED FROM OUTSIDE OF SEWER MAIN OR STORM DRAIN MAIN.
- 12. EXCEPTIONS OR DEVIATIONS FROM THE ABOVE MINIMUM CLEARANCES MUST BE APPROVED AND SHOWN ON THE APPROVED WATER AND SEWER PLANS. WHEN UTILITY CONFLICTS ARE FOUND DURING CONSTRUCTION, ALL CHANGES AND REVISIONS MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
- 13. ANY AND ALL MORE STRINGENT SEPARATION REQUIREMENTS REQUIRED BY FEDERAL, STATE, COUNTY, OR LOCAL CODES OR ORDINANCES TAKE PRECEDENCE.
- 14. ON-SITE SANITARY SEWER TO COMPLY WITH 2006 IPC
- 15. MANHOLES MUST BE VACUUM TESTED AND SEALED AFTER BACKFILLING.
- 16. SIGNS REQUIRE SEPARATE APPROVALS AND PERMITS.
- 17. CONTRACTOR SHALL VERIFY THE LOCATION OF THE EXISTING SANITARY SEWER LINE BEFORE PROCEEDING WITH TRENCHING.
- 18. TRENCH BEDDING, BACKFILL AND PAVEMENT REPLACEMENT PER MAG STD DET. 200.
- 19. ALL SEWER LINES MUST BE INSTALLED USING A LASER.
- 20. WHEN DIP SEWER PIPE IS USED LINING IS REQUIRED PER M.A.G. SEC. 750.1.
- 21. ANY SEWER MAIN 12 FEET IN DEPTH OR GREATER REQUIRES 5 FEET MANHOLES. 22. CONCRETE OR ASPHALT DAMAGED DURING THE COURSE OF CONSTRUCTION SHALL BE REMOVED AND REPLACED IN KIND PRIOR TO FINAL INSPECTION.
- 23. BACKFILL, TRENCH BEDDING, PAVEMENT AND SURFACE REPLACEMENT THICKNESS AND TYPE PER M.A.G. SEC. 336, AND MAG STD DET.200-1 OR REPLACE IN KIND, WHICHEVER IS GREATER. 24. IN ACCORDANCE WITH AAC R18-4-213.B. ALL MATERIALS ADDED AFTER JANUARY. 1993 WHICH MAY
- COME INTO CONTACT WITH DRINKING WATER SHALL CONFORM TO NATIONAL SANITATION FOUNDATION STANDARDS 60 AND 61. 25. ALL SEWER MAINS MUST BE VIDEO TAPED AND REVIEWED BY THE TOWN OF PARADISE VALLEY PRIOR
- TO FINAL ACCEPTANCE. SEE MAG SPEC. SEC. 615 AND COS SUP. SPEC. SEC. 615.10.

ENGINEER'S NOTES

- MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION INCLUDING LATEST REVISION AND CURRENT SUPPLEMENTALS THEREOF PER THE LOCAL TOWN OR CITY) ARE INCORPORATED INTO THIS PLAN IN THEIR ENTIRETY
- 2. ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL CITY OR TOWN UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
- 3. A DUST CONTROL PLAN MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED. REGULATION II RULE 20-3 OF THE MARICOPA COUNTY HEALTH DEPARTMENT, BUREAU OF AIR POLLUTION CONTROL SHALL BE OBSERVED AND ENFORCED.
- 4. CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION METHODS, SEQUENCING, AND SAFETY CONCERNS ASSOCIATED WITH THIS PROJECT DURING CONSTRUCTION, UNLESS SPECIFICALLY ADDRESSED OTHERWISE IN THIS PLAN OR ELSEWHERE IN THE CONTRACT
- 5. CONTRACTOR IS TO COMPLY WITH ALL LOCAL, STATE, AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO THE CONSTRUCTION COVERED BY THIS PLAN.
- 6. CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
- 7. THE QUANTITIES AND SITE CONDITIONS DEPICTED IN THESE PLANS ARE FOR INFORMATIONAL PURPOSES ONLY AND ARE SUBJECT TO ERROR AND OMISSION. CONTRACTORS SHALL SATISFY THEMSELVES AS TO ACTUAL QUANTITIES AND SITE CONDITIONS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS
- 8. A REASONABLE EFFORT HAS BEEN MADE TO SHOW THE LOCATIONS OF EXISTING UNDERGROUND FACILITIES AND UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND/OR FACILITIES CAUSED DURING THEIR CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL CALL 48 HOURS IN ADVANCE FOR BLUE STAKE (1-800-STAKE-IT) PRIOR TO ANY EXCAVATION.
- CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION OF CONSTRUCTION AFFECTING UTILITIES AND THE COORDINATION OF ANY NECESSARY UTILITY RELOCATION WORK. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES AND FEATURES PRIOR TO
- SHALL COMPLY WITH THE RECOMMENDATIONS SET FORTH IN THE SOILS (GEOTECHNICAL) REPORT FOR THIS PROJECT IN ADDITION TO THE REFERENCED REQUIRED SPECIFICATIONS AND DETAILS. 11. THE CONTRACTOR IS TO VERIFY THE LOCATION AND THE ELEVATIONS OF ALL EXISTING

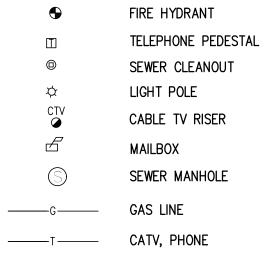
10. ALL PAVING, GRADING, EXCAVATION, TRENCHING, PIPE BEDDING, CUT FILL AND BACKFILL

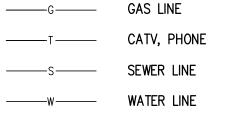
- UTILITIES AT POINTS OF TIE-IN PRIOR TO COMMENCING ANY NEW CONSTRUCTION. SHOULD ANY LOCATION OR ELEVATION DIFFER FROM THAT SHOWN ON THESE PLANS THE CONTRACTOR SHALL CONTACT THE OWNER'S AGENT. 12. COORDINATION BETWEEN ALL PARTIES IS ESSENTIAL PART OF CONTRACT
- 13. CONTRACTOR IS RESPONSIBLE FOR PROJECT AND SITE CONDITIONS, AND TO WORK WITH WEATHER CONDITIONS AS THE PROJECT SITE MAY BE LOCATED IN A FLOOD PRONE AREA AND SUBJECT TO FLOODING AND ITS HAZARDS.
- 14. ALL PIPES AND FITTINGS SHALL BE INSTALLED PER MANUFACTURE'S SPECIFICATIONS AND DETAILS.
- 15. CONTRACTOR TO PROVIDE TRAFFIC CONTROL AND BARRICADES PER CITY OF PHOENIX CODES AND STANDARDS.
- 16. TRENCH BED SHALL BE FREE OF ROCKS AND DEBRIS.
- 17. ALL FRAMES, COVERS, VALVE BOXES & MANHOLE COVERS SHALL BE ADJUSTED TO FINISH GRADE PRIOR TO COMPLETION OF PAVING OR RELATED CONSTRUCTION.
- 18. CONTRACTOR SHALL COORDINATE ALL UTILITY SHUT DOWNS OF THE EXISTING UTILITY SYSTEMS WITH OWNER AND ADJACENT TENANTS. 19. NOTHING CONTAINED IN THE CONTRACT DOCUMENTS SHALL CREATE, NOR SHALL BE
- CONSTRUED TO CREATE, ANY CONTRACTUAL RELATIONSHIP BETWEEN THE ENGINEER AND THE CONTRACTOR OR ANY SUBCONTRACTOR.
- 20. ALL PIPE SHALL BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS, SPECIFICATIONS AND DETAILS.
- 21. THE CONTRACTOR IS TO VERIFY THE LOCATION, ELEVATION, CONDITION, AND PAVEMENT CROSS-SLOPE OF ALL EXISTING SURFACES AT POINTS OF TIE-IN AND MATCHING, PRIOR TO COMMENCEMENT OF GRADING, PAVING, CURB AND GUTTER, OR OTHER SURFACE CONSTRUCTION. SHOULD EXISTING LOCATIONS, ELEVATIONS, CONDITION, OR PAVEMENT CROSS-SLOPE DIFFER FROM THAT SHOWN ON THESE PLANS, RESULTING IN THE DESIGN INTENT REFLECTED ON THESE PLANS NOT ABLE TO BE CONSTRUCTED, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AGENT IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ALL COSTS ASSOCIATED WITH CORRECTIVE ACTION IF THESE PROCEDURES ARE NOT FOLLOWED.
- 22. THIS PROJECT REQUIRES A REGULAR ONGOING MAINTENANCE PROGRAM FOR THE DESIGNED DRAINAGE SYSTEM(S) TO PRESERVE THE DESIGN INTEGRITY AND THE ABILITY TO PERFORM ITS OPERATIONAL INTENT. FAILURE TO PROVIDE MAINTENANCE WILL JEOPARDIZE THE DRAINAGE SYSTEM(S)' PERFORMANCE AND MAY LEAD TO IT'S INABILITY TO PERFORM PROPERLY AND/OR CAUSE DAMAGE ELSEWHERE IN THE
- 23. COMPACTION CUT AND FILL SLOPES SHALL COMPLY WITH PROVISIONS AS SET FORTH IN THE APPROVED GEOTECHNICAL REPORT.

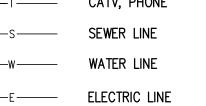
UTILITIES NOTES

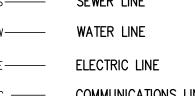
HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THE PLAN ARE APPROXIMATE ONLY AND WILL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO START OF CONSTRUCTION WORK. CALL BLUE STAKE @ (602) 263-1100.

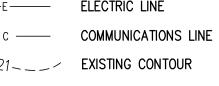
LEGEND SECTION CORNER 1/4 QUARTER SCRIBED "X" IN CONCRETE BRASS CAP IN HANDHOLE BRASS CAP FLUSH FOUND REBAR OR AS NOTED SET 1/2" REBAR & TAG OR AS NOTED CALCULATED POINT PROPERTY LINE EASEMENT LINE MONUMENT LINE WATER METER WATER VALVE FIRE HYDRANT TELEPHONE PEDESTAL SEWER CLEANOUT

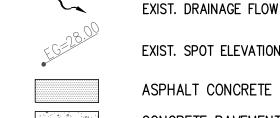


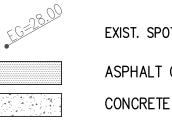


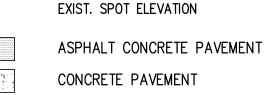












ABBREVIATIONS BACK OF CURB

BUILDING SETBACK LINE CURVE LABEL CENTERLINE DRAINAGE EASEMENT EXISTING GRADE EL, ELEV ELEVATION EDGE OF PAVEMENT **ESMT** EASEMENT EX, EXIST. EXISTING FLOOD CONTROL DISTRICT OF MARICOPA COUNTY FINISH GRADE FLOW LINE

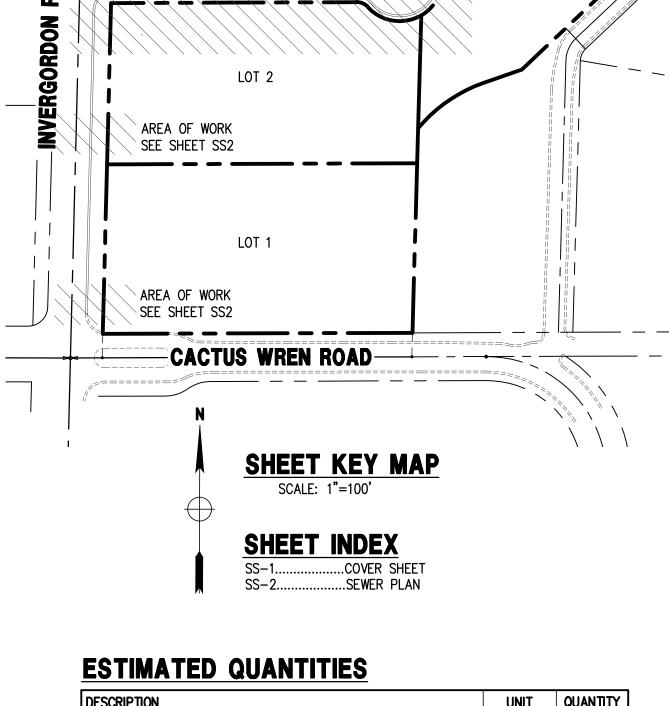
LINE LABEL **MEASURED** MARICOPA ASSOCIATION OF GOVERNMENTS MARICOPA COUNTY RECORDER MANHOLE PAVEMEN⁻ P. PVMT PUBLIC UTILITY EASEMENT (R), REC. RECORDED

RADIUS RIGHT OF WAY TANGENT, TELEPHONE TOP OF CURB TOP OF GRATE TOP OF FOOTING

GUTTER, GAS

INVERT

TOP OF RETAINING WALL TOP OF WALL WEST, WATERLINE WATER LINE EASEMENT WATER METER



LOT 3

AREA OF WORK

SEE SHEET SS2

JACARANDA ROAD

UNIT	QUANTITY
SY	12
	-
EA	1
LF	332
LF	175
	SY EA LF

CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF THE

QUANTITIES AND BASE THEIR BIDS ON THEIR ESTIMATES.

AS-BUILT CERTIFICATION

REGISTERED ENGINEER/LAND SURVEYOR

REGISTRATION NUMBER

I HEREBY CERTIFY THAT THE "RECORD DRAWING" MEASUREMENTS AS

SHOWN HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED

AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

T.2N,R.4E LINCOLN DR MCDONALD DR VICINITY MAP

INDIAN BEND RD

OWNER

LOT 4

MR BLUFBIRDS SHOULDER, LLC 6061 E CABALLO DR PARADISE VALLEY, AZ 85253

PARENT SITE DATA

APN: 174-53-008K, 174-53-010C, 174-53-009A ADDRESS: 6400 E CACTUS WREN ROAD PARADISE VALLEY, AZ 85253 ZONING: R-43 LOT AREA: 246,864 S.F. (5.667 AC.)

BENCHMARK

BRASS CAP IN HAND HOLE AT THE INTERSECTION OF LINCOLN DRIVE AND INVERGORDON ROAD, HAVING AN ELEVATION OF 1342.92, TOWN OF PARADISE VALLEY (NAVD 88) DATUM, GDACS# 24535-1

BASIS OF BEARINGS

THE WEST LINE OF THE NW 1/4, SECTION 10, T2N, R4E, THE BEARING OF WHICH IS N00°05'00"E.

WATER: EPCOR WATER SANITARY SEWER: TOWN OF PARADISE VALLEY ELECTRIC: ARIZONA PUBLIC SERVICE TELEPHONE: CENTURY LINK, COX COMMUNICATIONS NATURAL GAS: SOUTHWEST GAS CABLE TV: CENTURY LINK, COX COMMUNICATIONS

FLOOD INSURANCE RATE MAP (FIRM) DATA

COMMUNITY # 040049	PANEL # 1765 OF 4425	SUFFIX L	BASED FLOOD
MAP #	PANEL DATE	ZONE	ELEVATION
04013C	10/16/2013	X*	N/A

*AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN

MCESD APPROVAL

MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT

IN ACCORDANCE WITH AAC R18-4-213, ALL MATERIALS ADDED AFTER JANUARY 1, 1993 WHICH MAY COME INTO CONTACT WITH DRINKING WATER SHALL CONFORM TO NATIONAL SANITATION FOUNDATION STANDARDS 60 AND 61.

TPV APPROVAL

TOWN ENGINEER TOWN OF PARADISE VALLEY

vorking days before you begin excavation DATE BLUE STAKE, INC. Call 811 or click Arizona811.com



Contact Arizona 811 at least two full

NICKOLA **PRODANOV** 1-112 Trodans

RDON' EN RD 85253

'ESTAT 6400 | PARADI

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