

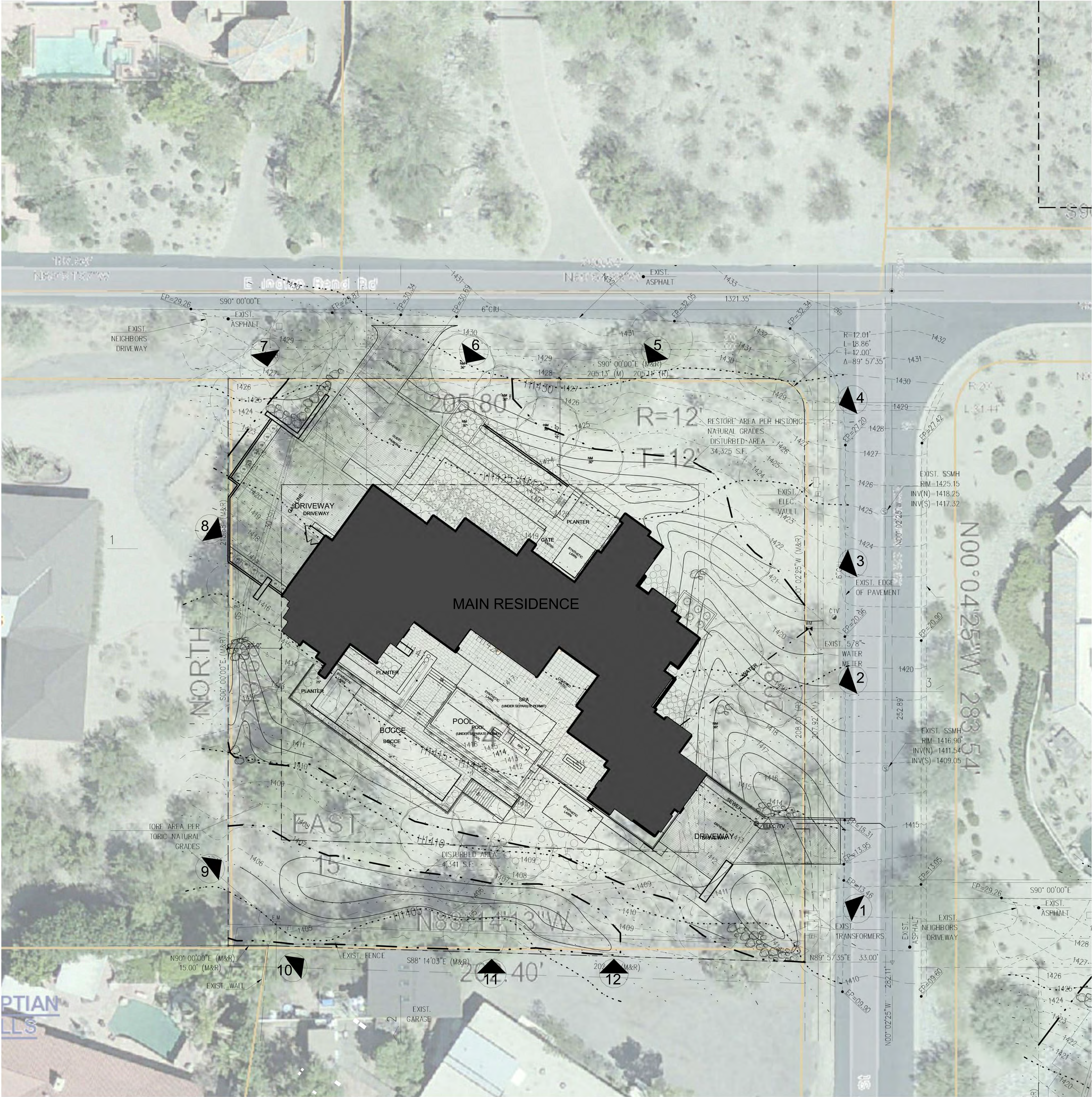


DREWETT WORKS // ARCHITECTURE

7144 E. STETSON DR., SUITE 204
SCOTTSDALE, AZ 85251
P 855-373-9388 // F 855-373-9388
PLANS @ DREWETTWORKS.COM

6140 E INDIAN BEND ROAD
PARADISE VALLEY, AZ 85533

CATTANEO RESIDENCE



AERIAL SITE PLAN 2 115.2020
1/16" = 1'-0"

NOTE: PHOTOS ON SHEET DR210 ARE INDICATED
ON THIS AERIAL PLAN FOR REFERENCE

KEYNOTES

FOR TOPV HILLSIDE REVIEW
DATE 1-16-2020
REV.

AERIAL OVERLAY
DR203
65458
CLYDE PATRICK
DREWETT JR.
Data Signed
1-16-2020
ARIZONA U.S.A.
Expires: 12/31/2022



PHOTO 1_E



PHOTO 2_E



PHOTO 3_NE



PHOTO 4_NE



PHOTO 5_N



PHOTO 6_NW



PHOTO 7_W



PHOTO 8_W



PHOTO 9_S



PHOTO 10_S



PHOTO 11_S



PHOTO 12_SE

NOTE: REFER TO SHEET DR203 FOR
SOURCE LOCATIONS FOR ALL PHOTOS

DW

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6146 E INDIAN BEND ROAD
PARADISE VALLEY, AZ 85533

KEYNOTES

CATTANEO RESIDENCE

FOR TOPV HILLSIDE REVIEW
DATE 1-16-2020
REV.

SITE PHOTOS

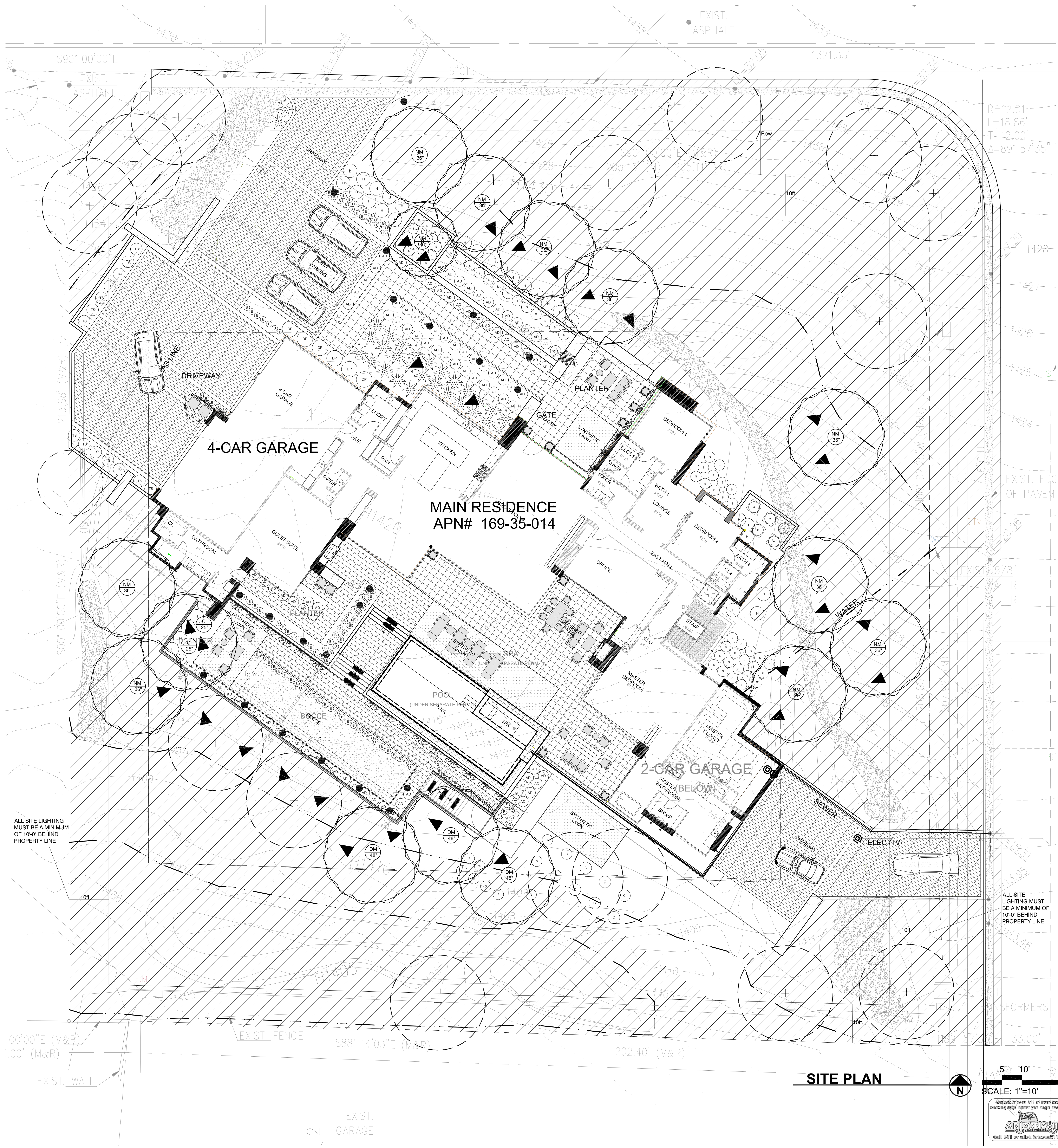
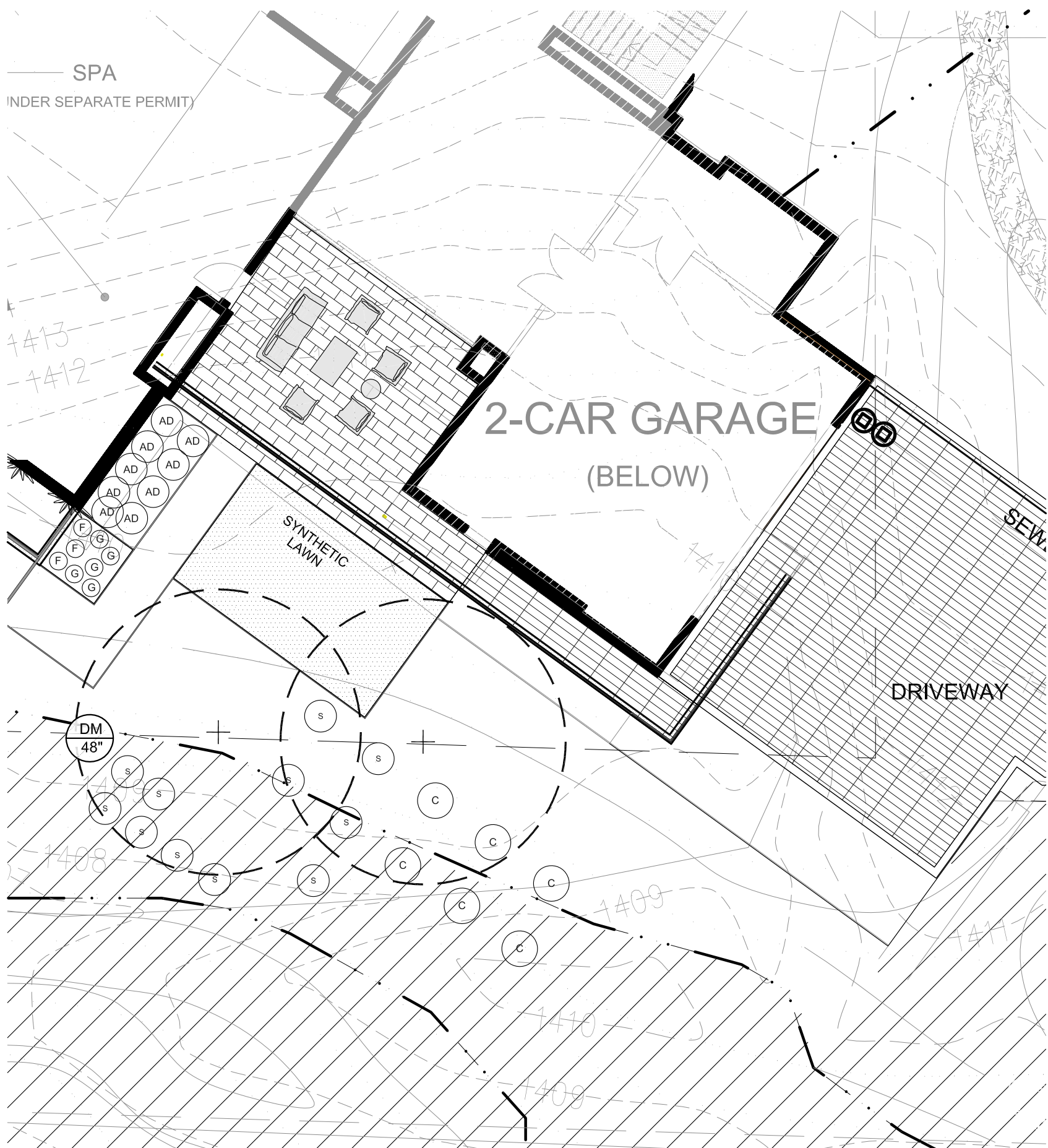


DR210

PLANT LIST					
ID	BOTANICAL	COMMON	SIZE	QTY.	ZONE
TREES					
C 25'	Citrus Limon	Lisbon Lemon	24 BOX or 25 BALLON	2	
DM 48'	Cercidium 'Desert Museum'	Hybrid Palo Verde	48 BOX	3	
NM 36'	Prosopis velutina	Native Mesquite	36 BOX	11	
CACTUS/ACCENTS 15,445 SQ FT = 386 EA REQUIRED 389 EA PROVIDED					
⊖	Marginatocerus Marginatus	Mexican Fence Post	5 gallon	3	
⊙	Echinocactus Grusonii	Golden Barrel	5 gallon	4	
AGAVE/SHRUBS					
★	Blue Agave	Blue Glow Agave	5 gallon	29	
B	Metampodium leucanthum	Blackfoot Daisy	5 gallon	68	
S	Leucophyllum frutescens	Green Cloud Sage	5 gallon	60	
C	Larrea tridentata	Cresote Bush	5 gallon	6	
AD	Tetrameurys Acanlis	Angelita Daisy	1 gallon	110	
H	Dodonea viscosa	Hopseed Bush	15 Gallon	31	
DP	Cordia parviflora or Pittosporum	Little Leaf Cordia or Dwarf Moch Orange	5 gallon	6	
TS	Leucophyllum frutescens	Texas Sage	5 gallon	14	
VINES					
—	Ficus Pumila	Creeping Fig	5 gallon	18	
—	Vigna Caracalla	Snail Vine	5 gallon	18	
▨	ANNUALS		FLATS	10	
HYDROSEED 13,966 SQ FT					
▨	Hydroseed mix			30,000 SQFT	

LIGHT LIST			
ID	Type	Quantity	Notes
▲	Spot Light	28	Bulb = 27 warm white or 30 bright white kelvins. Path lights and down lights not to exceed 250 Lumens. Uplights not to exceed 150 Lumens. Minimum 45 degree cut off on the uplight. Color = weathered bronze bulb. See spec sheets for detailed information.
●	Path Light	24	
—	Step Light	8	

MATERIALS LIST			
ID	Name	COLOR	LRV
▨	Pietra Italia Porcelain	Beige	37.5
▨	Pietra Italia Porcelain	Beige	37.5
▨	Ackerstone Holland	Antique Pewter	15
▨	Artistic Pavers Banding	Silver Sam Polished	28



CATTANEO RESIDENCE

6149 E. INDIAN BEND RD, PARADISE VALLEY AZ

REFINED GARDENS

DESIGN - BUILD - MAINTAIN

7147 EAST RANCHO VISTA DRIVE SUITE 121
PHOENIX, AZ 85042
480.588.2716 @REFINEDGARDENS.COM

DATE
NOVEMBER 7 2019

REVISIONS
▲ FEBRUARY 2019
▲ APRIL 2019

DRAWING:
PLANTING PLAN

SHEET
L-2 2

BOUNDARY & TOPOGRAPHIC SURVEY
6149 E INDIAN BEND RD., PARADISE VALLEY, AZ 85253
LOT 14 - EGYPTIAN HILLS

A SUBDIVISION PLAT RECORDED IN BOOK 69 OF MAPS, PAGE 18, MCR.,
LOCATED IN A PORTION OF THE NE 1/4 OF THE NW 1/4 OF THE NE 1/4 OF SECTION 9, T.2N, R.4E
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

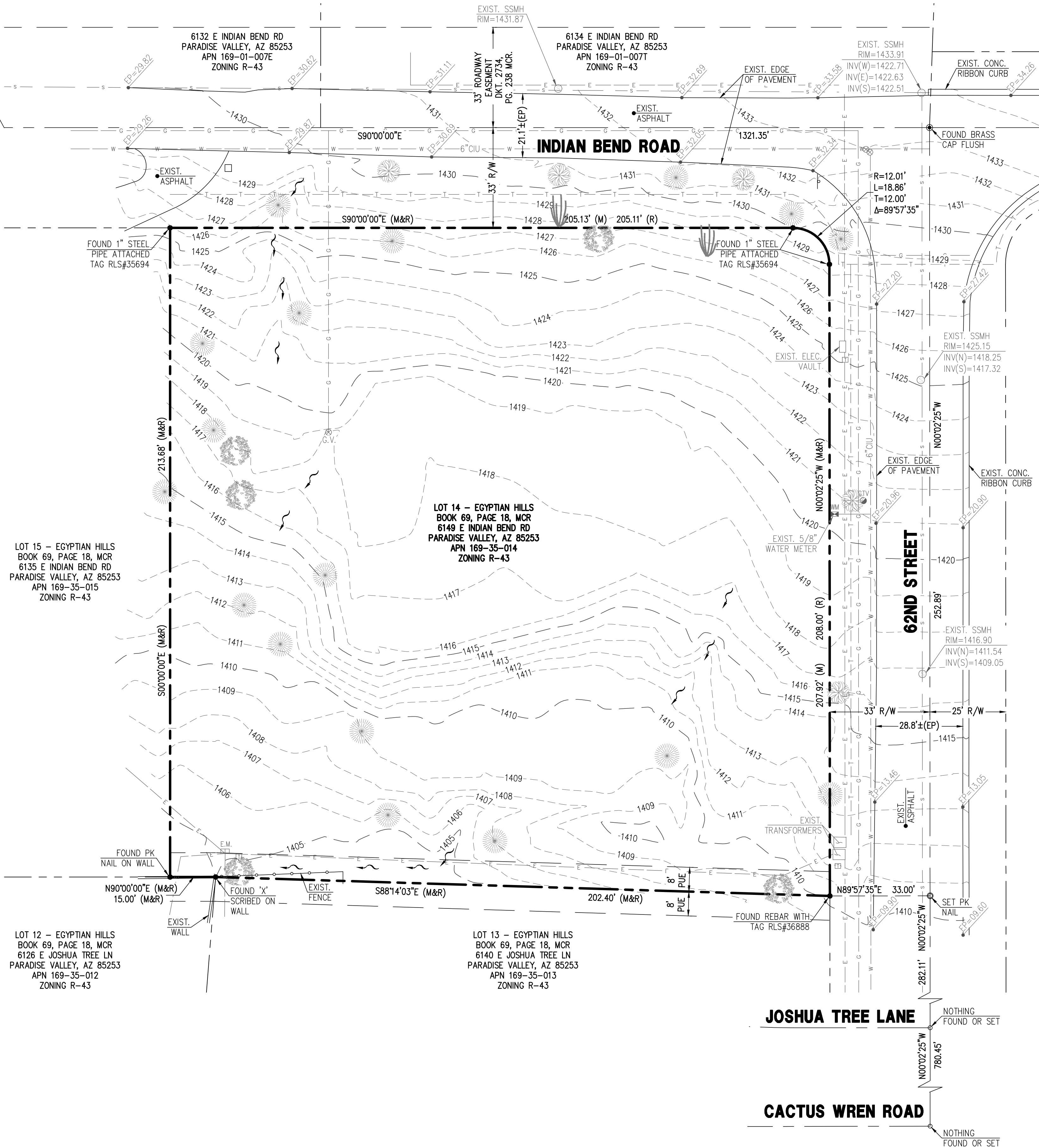
LEGEND

- SECTION CORNER
1/4 QUARTER
SCRIBED "X" IN CONCRETE
BRASS CAP IN HANDHOLE
BRASS CAP FLUSH
FOUND 1" IRON PIPE
SET 1/2" REBAR & TAG OR AS NOTED
CALCULATED POINT
PROPERTY LINE
EASEMENT LINE
MONUMENT LINE
SEWER MANHOLE
SIGN
WATER METER
WATER VALVE
FIRE HYDRANT
ELECTRIC METER
GAS VALVE
TELEPHONE PEDESTAL
CABLE TV RISER
CATV, PHONE
SEWER LINE
WATER LINE
ELECTRIC LINE
COMMUNICATIONS LINE
FENCE
EXISTING CONTOUR
EXIST. DRAINAGE FLOW
EXIST. SPOT ELEVATION
PALO VERDE
MESQUITE TREE

ABBREVIATIONS

- BC BACK OF CURB
BSL BUILDING SETBACK LINE
C11 CURVE LABEL
CL CENTERLINE
DE DRAINAGE EASEMENT
EG EXISTING GRADE
EL, ELEV ELEVATION
EP EDGE OF PAVEMENT
ESMT EASEMENT
EX, EXIST. EXISTING
FG FINISH GRADE
FL FLOW LINE
FND FOUND
G GUTTER, GAS
INV INVERT
JBE JOINT USE & BENEFIT EASEMENT
L11 LINE LABEL
L12 MEASURED
MCR MARICOPA COUNTY RECORDER
MH MANHOLE
P, PWT PAVEMENT
PUE PUBLIC UTILITY EASEMENT
(R), REC. RECORDED
R RADIUS
R/W RIGHT OF WAY
T TANGENT, TELEPHONE
TC TOP OF CURB
TG TOP OF GRATE
TPV TOWN OF PARADISE VALLEY
TRW TOP OF RETAINING WALL
W WEST, WATERLINE
WDO WALL DRAINAGE OPENING
WM WATER METER

60TH STREET

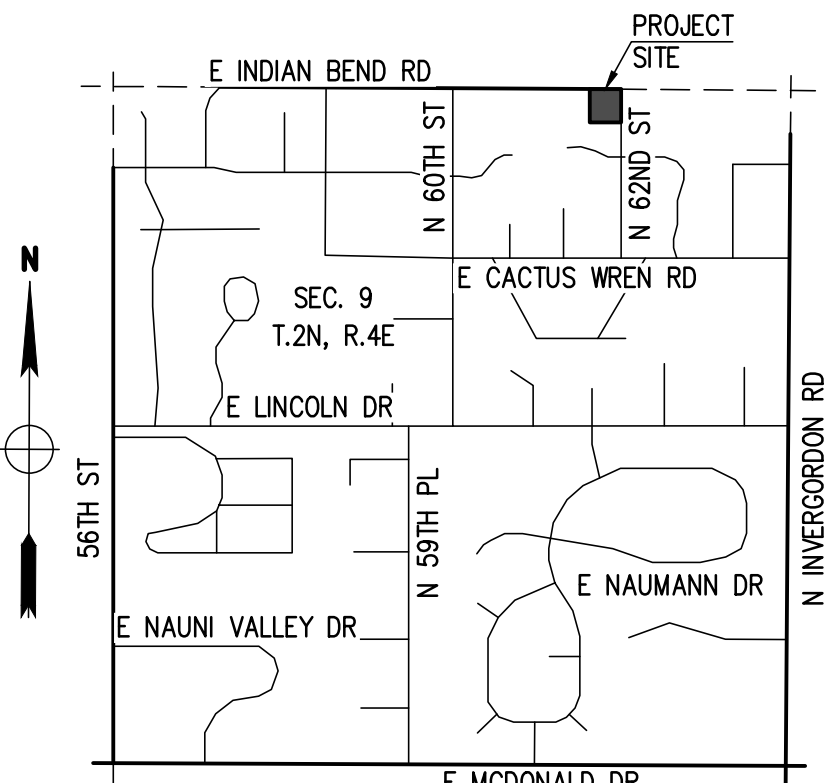


GENERAL NOTES

- THE PREMISES SURVEYED HAVE NO KNOWN DISCREPANCIES, BOUNDARY LINE CONFLICTS, ENCROACHMENTS, OVERLAPPING OF IMPROVEMENTS, EASEMENTS OR RIGHT-OF-WAYS EXCEPT AS SHOWN, AND HAS ACCESS TO OR FROM A DEDICATED ROADWAY.
- THIS IS AN ABOVE GROUND SURVEY. THE UNDERGROUND UTILITIES AS SHOWN ARE BASED ON INFORMATION PROVIDED BY THE VARIOUS UTILITY COMPANIES AND THESE LOCATIONS SHOULD BE CONSIDERED APPROXIMATE. THERE MAY BE ADDITIONAL UNDERGROUND UTILITIES, NOT SHOWN ON THIS DRAWING. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE AT THE TIME OF THE SURVEY.
- BUILDING SETBACK LINES, ZONING, FLOOD AREA ZONES, AND ADDRESSES THAT MAY BE SHOWN ARE SUPPLIED BY THE GOVERNING AGENCY OR TAKEN FROM THE BEST AVAILABLE RECORDS. THE SURVEYOR WILL NOT ACCEPT RESPONSIBILITY FOR THE ACCURACY OF ANY INFORMATION SUPPLIED BY OTHERS.
- EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS MAP, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: EASEMENTS, OTHER THAN POSSIBLE EASEMENTS, WHICH WERE VISIBLE AT THE TIME OF MAKING THIS SURVEY; BUILDING SETBACK LINES; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS; ZONING OR OTHER LAND USE REGULATIONS, AND ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- THE DESCRIPTION OF PROPERTY BOUNDARIES AND EASEMENTS SHOWN HEREON, REPRESENT THAT INFORMATION PROVIDED IN BOOK 69 OF MAPS, PAGE 18, AND DEED REC. DOC. 2016-0691076, RECORDS OF MARICOPA COUNTY, ARIZONA.
- EVERY DOCUMENT OF RECORD REVIEWED AND CONSIDERED AS A PART OF THIS SURVEY IS NOTED HEREON. ONLY THE DOCUMENTS NOTED HEREON WERE SUPPLIED OR AVAILABLE TO THE SURVEYOR AT THE TIME OF THE SURVEY. THERE MAY EXIST OTHER DOCUMENTS OF RECORD, WHICH WOULD AFFECT THIS PARCEL.
- ANY INFORMATION SHOWN WHICH MAY VARY FROM THE CONTENTS OF THE REPORT(S) NOTED ABOVE, REPRESENTS INFORMATION AND MEASUREMENTS FOUND DURING THE COURSE OF THE SURVEY.
- ON-SITE PLANT INFORMATION SHOWN HEREON IS FOR REFERENCE ONLY. SURVEYOR ASSUMES NO LIABILITY FOR THE EVALUATION, SALVAGEABILITY, REMOVAL AND/RELOCATION OF ON-SITE PLANT MATERIALS.
- ALL MEASURED BEARINGS AND DISTANCES EQUAL RECORD UNLESS NOTED OTHERWISE.
- THE SURVEY MAP WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
- ANY AERIAL MAPS SHOWN ON THIS PLAN ARE FOR REFERENCE ONLY AND DO NOT NECESSARILY DEPICT THE EXACT CURRENT CONDITIONS.

UTILITIES

WATER: EPCOR WATER
SANITARY SEWER: TOWN OF PARADISE VALLEY
ELECTRIC: ARIZONA PUBLIC SERVICE
TELEPHONE: CENTURY LINK, COX COMM.
NATURAL GAS: SOUTHWEST GAS
CABLE TV: CENTURY LINK, COX COMM.



VICINITY MAP

NTS

OWNER

A & C PROPERTIES INC
4530 E SHEA BLVD., STE 100
PHOENIX, AZ 85028

SITE DATA

APN: 169-35-014
ADDRESS: 6149 E INDIAN BEND RD
PARADISE VALLEY, AZ 85253
ZONING: R-43 (HILLSIDE)
LOT AREA: 47,013 S.F. (1.079 AC.)
CONSTRUCTION YEAR: VACANT LOT
Q.S. #: 22-42

LEGAL DESCRIPTION

LOT 14, EGYPTIAN HILLS, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 69 OF MAPS, PAGE 18.

CONTAINING 47,013 S.F. (1.079 AC.); MORE OR LESS.

BASIS OF BEARINGS

THE MONUMENT LINE OF INDIAN BEND ROAD, THE BEARING OF WHICH IS S90°00'00"E.

BENCHMARK

BRASS CAP FLUSH AT THE INTERSECTION OF INDIAN BEND RD AND 60TH ST HAVING AN ELEVATION OF 1423.873 TOWN OF PARADISE VALLEY (NAVD 88) DATUM, GDACS# 24524-1.

SURVEY REFERENCES

- EASEMENTS, RESTRICTIONS, RESERVATIONS, CONDITIONS AND SETBACK LINES AS SET FORTH ON THE PLAT RECORDED IN BOOK 69 OF MAPS, PAGE 18, MCR.
- WARRANTY DEED RECORDED IN DOC. NO. 2016-0691076, M.C.R.

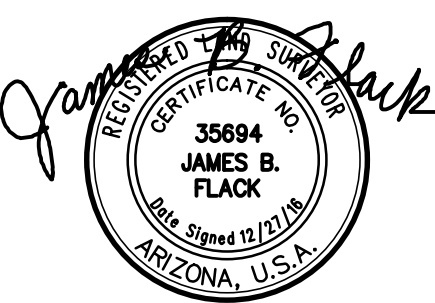
FLOOD INSURANCE RATE MAP (FIRM) DATA

COMMUNITY #	PANEL #	SUFFIX	BASED FLOOD ELEVATION
040049	1765 OF 4425	L	N/A
MAP #	PANEL DATE	ZONE	
04013C	10/16/2013	X*	N/A

*AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN

CERTIFICATE OF SURVEY

THIS IS TO CERTIFY THAT THIS MAP AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE CURRENT "MINIMUM STANDARDS FOR ARIZONA BOUNDARY AND TOPOGRAPHIC SURVEYS", AND THAT THE SURVEY SHOWN HEREON IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND WAS SURVEYED AND DRAWN UNDER MY DIRECTION IN THE MONTH OF DECEMBER, 2016.



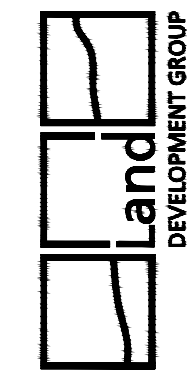
James B. Flack
JAMES FLACK, RLS

12/27/16
DATE

BOUNDARY & TOPOGRAPHIC
SURVEY MAP

LOT 14 - EGYPTIAN HILLS
6149 E INDIAN BEND RD
PARADISE VALLEY, AZ 85253

P 602 889 1984 | F 602 445 9482
8808 N CENTRAL AVE., SUITE 288
PHOENIX, AZ 85020
PHOENIX @ LDENG.COM



TOWN OF PARADISE VALLEY NOTES

1. GRADING SHALL BE IN CONFORMANCE WITH 2015 IBC.
2. PRIOR TO FIRST FOOTING INSPECTION OF ANY TYPE, ALL PROPERTY PINS SHALL BE PLACED BY A REGISTERED LAND SURVEYOR OF THE STATE OF ARIZONA, AND PROPERTY LINES MUST BE PHYSICALLY IDENTIFIED PRIOR TO INSPECTION.
3. WHERE EXCAVATION IS TO OCCUR THE TOP 4" OF EXCAVATED NATIVE SOIL SHALL REMAIN ON THE SITE AND SHALL BE REUSED IN A MANNER THAT TAKES ADVANTAGE OF THE NATURAL SOIL SEED BANK IT CONTAINS.
4. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) SPECIFICATIONS AND STANDARD DETAILS.
5. ALL EXTERIOR SITE LIGHTING SHALL COMPLY WITH REQUIREMENTS OF SECTION 2208 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES FOR FUTURE TYPE, LOCATION, HEIGHT, WATTAGE BASED UPON FIXTURES INSTALLED.
6. A DUST CONTROL PLAN MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
7. A SEPARATE PERMIT IS NECESSARY FOR ANY OFFSITE CONSTRUCTION.
8. AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
9. EAVE PROJECTIONS INTO REQUIRED SETBACKS ARE LIMITED TO A MAXIMUM OF 24" PURSUANT TO SECTION 1008 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES.
10. ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
11. ALL NEW AND EXISTING ELECTRICAL SERVICE TO BE BURIED UNDERGROUND PER THE TOWN OF PARADISE VALLEY STANDARDS.
12. POOL, SPA, BARBECUE AND ANY PROPOSED STRUCTURES OVER 8 INCHES ABOVE GRADE REQUIRE SEPARATE PERMIT APPLICATIONS.
13. PAVES SHALL BE CONSTRUCTED BY SEPARATE PERMIT AND SECURED FROM UNWANTED ACCESS PER SECTION 5-2-2 OF THE TOWN OF PARADISE VALLEY ORDINANCES.
14. A SETBACK CERTIFICATION IS REQUIRED AND MUST BE GIVEN TO TOWN INSPECTOR AT STEM WALL INSPECTION.
15. MAIL BOX TO COMPLY WITH THE TOWN OF PARADISE VALLEY STANDARDS FOR MAIL BOXES IN THE R.O.W. FOR HEIGHT, WIDTH AND BREAK AWAY FEATURES.
16. ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE. ALL LAWN AREAS ADJOINING WALKS OR SLABS WILL BE GRADED TO 2" BELOW THE TOP OF SLAB. TYPICAL FINISHED GRADE AROUND PERIMETER OF BUILDING IS MINUS 6" BELOW FINISHED FLOOR UNLESS SPECIFIED OTHERWISE.
17. ALL MATERIAL TO BE UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95% PER ASTM D698.
18. SOILS COMPACTION TEST RESULTS MUST BE SUBMITTED TO THE TOWN ENGINEER'S OFFICE FOR BUILDING PADS THAT HAVE ONE (1) FOOT OR MORE OF FILL MATERIAL INDICATED. THIS INFORMATION MUST BE SUPPLIED PRIOR TO REQUEST FOR FINAL INSPECTION.
19. TRENCH BED SHALL BE FREE OF ROCKS AND DEBRIS.
20. REGULATION II RULE 20-3 OF THE MARICOPA COUNTY HEALTH DEPARTMENT, BUREAU OF AIR POLLUTION CONTROL SHALL BE OBSERVED AND ENFORCED.
21. ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL CITY OR TOWN UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
22. THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL STATE, AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO THE CONSTRUCTION COVERED BY THIS PLAN.
23. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
24. ALL CONSTRUCTION IN THE PUBLIC RIGHTS-OF-WAY OR IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) UNIFORM STANDARD SPECIFICATIONS AND UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION.
25. THE TOWN ONLY APPROVES THE SCOPE, NOT THE DETAIL, OF ENGINEERING DESIGNS; THEREFORE, IF CONSTRUCTION QUANTITIES ARE SHOWN ON THESE PLANS, THEY ARE NOT VERIFIED BY THE TOWN.
26. THE APPROVAL OF PLANS IS VALID FOR SIX (6) MONTHS; IF AN ENCROACHMENT PERMIT FOR THE CONSTRUCTION HAS NOT BEEN ISSUED WITHIN SIX MONTHS, THE PLANS MUST BE RESUBMITTED TO THE TOWN FOR RE-APPROVAL.
27. A PUBLIC WORKS INSPECTOR WILL INSPECT ALL WORKS WITHIN THE TOWN OF PARADISE VALLEY RIGHTS-OF-WAY AND IN EASEMENTS. NOTICE INSPECTION SERVICES 24 HOURS PRIOR TO BEGINNING CONSTRUCTION BY CALLING 480- 312-5750.
28. WHENEVER EXCAVATION IS NECESSARY, CALL THE BLUE STAKE CENTER, 602-263-1100, TWO WORKING DAYS BEFORE EXCAVATION BEGINS. THE CENTER WILL CALL THE LOCATION OF THE UNDERGROUND UTILITY LINES IS IDENTIFIED FOR THE PROJECT. CALL "COLLECT" IF NECESSARY.
29. ENCROACHMENT PERMITS ARE REQUIRED FOR ALL WORK IN PUBLIC RIGHTS-OF-WAY AND EASEMENTS GRANTED FOR PUBLIC PURPOSES. AN ENCROACHMENT PERMIT WILL BE ISSUED BY THE TOWN ONLY AFTER THE REGISTRANT HAS PAID A BASE FEE PLUS A FEE FOR INSPECTION SERVICES. COPIES OF ALL PERMITS MUST BE RETAINED ON-SITE AND BE AVAILABLE FOR INSPECTION AT ALL TIMES. FAILURE TO PRODUCE THE REQUIRED PERMITS WILL RESULT IN IMMEDIATE SUSPENSION OF ALL WORK UNTIL THE PROPER PERMIT DOCUMENTATION IS OBTAINED.
30. ALL EXCAVATION AND GRADING THAT IS NOT IN THE PUBLIC RIGHTS-OF-WAY OR NOT IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO CHAPTER 70, EXCAVATION AND GRADING, OF THE LATEST EDITION OF THE IBC BY THE ICC. A PERMIT FOR THIS GRADING MUST BE SECURED FROM THE TOWN FOR A FEE ESTABLISHED BY THE UNIFORM BUILDING CODE.
31. EXCAVATIONS TO COMPLY WITH REQUIREMENTS OF OSHA EXCAVATION STANDARDS (29 CFR, PART 1926, SUBPART P). UNDER NO CIRCUMSTANCES WILL THE CONSTRUCTION BE ALLOWED TO WORK IN A TRENCH LOCATED WITHIN THE TOWN'S RIGHT-OF-WAY WITHOUT PROPER SHORING OR EXCAVATION METHODS.
32. ON DEMOLITION, GRADING, REMODELING AND NEW CONSTRUCTION PROJECTS, PERMITTEE MUST NOTIFY ADJACENT PROPERTY OWNERS REGARDING THE NATURE OF THE PROJECT, THE TIME PERIOD FOR CONSTRUCTION, AND ANY UNUSUAL ACTIVITIES THAT MAY CAUSE DISRUPTION OF THE NORMAL COURSE OF TRAFFIC DURING CONSTRUCTION.
33. ALL PERMITTEES MUST POST A 6 SQUARE FOOT (2'X3') IDENTIFICATION SIGN, MADE OF DURABLE MATERIAL, IN THE FRONT YARD OF SUBJECT PROPERTY AND NOT IN THE TOWN RIGHT-OF-WAY. THE SIGN MAY NOT EXCEED A MAXIMUM OF 6 FEET IN HEIGHT FROM GRADE TO TOP OF THE SIGN. THE SIGN MUST INCLUDE THE PERMITTEE OR COMPANY NAME, PHONE NUMBER, TYPE OF WORK, AND ADDRESS OF PROJECT.
34. WHEN DEEMED NECESSARY, A 6-FOOT HIGH CHAIN LINK FENCE MUST BE INSTALLED AROUND THE CONSTRUCTION AREA TO PREVENT ANY POTENTIAL SAFETY HAZARD FOR THE PUBLIC. THE FENCE SHALL BE SETBACK AT LEAST 10 FEET FROM ALL RIGHTS-OF-WAY AND HAVE A 50-FOOT STREET CORNER SITE TRIANGLE WHERE APPLICABLE.
35. CLEAR ACCESS FOR NEIGHBORING PROPERTIES AND EMERGENCY VEHICLES MUST BE MAINTAINED AT ALL TIMES. CONSTRUCTION RELATED VEHICLES MUST BE LEGALLY PARKED ONLY ON ONE SIDE OF THE STREET OR JOB SITE PROPERTY. IF A STAGING AREA IS NEEDED ON A PROPERTY OTHER THAN THE CONSTRUCTION SITE FOR CONSTRUCTION SUPPLIES AND EQUIPMENT, THE PERMITTEE MUST OBTAIN PROPERTY OWNER AND TOWN APPROVAL FIRST AND MUST INFORM THE ADJACENT PROPERTY OWNERS OF THE LOCATION OF STAGING AREA, AND TIME AND HOURS DURING THE DAY THE AREA WILL BE USED.
36. EXCEPT AS OUTLINED IN ITEM 4, ALL CONSTRUCTION DEBRIS AND EQUIPMENT MUST BE CONTAINED ON SITE AT ALL TIMES. CONTRACTOR AND PROPERTY OWNER MUST MAINTAIN THE JOB SITE FREE OF LITTER AND UNSIGHTLY MATERIALS AT ALL TIMES. CONSTRUCTION MATERIALS ARE PROHIBITED IN THE TOWN RIGHT-OF-WAY OR NEAR ADJACENT PROPERTIES.
37. BUILDING CONSTRUCTION MUST NOT START SOONER THAN SUNRISE AND MUST STOP NO LATER THAN SUNSET. ALSO, ORDINANCE #561 IMPOSES RESTRICTIONS ON CONSTRUCTION WORK ON SATURDAYS, SUNDAYS AND MAJOR BUSINESS HOLIDAYS. HILLSIDE PROJECTS MAY HAVE ADDITIONAL RESTRICTIONS. EQUIPMENT WITH AUDIBLE REVERSE DIRECTION WARNINGS MUST NOT BE OPERATED PRIOR TO 7:00 A.M. THE USE AND OPERATION OF FUEL-FIRED GENERATORS ON ANY CONSTRUCTION SITE, NEW, EXISTING OR REMODELING, IS PROHIBITED UNLESS DUE TO A HARSH TOWN APPROVAL IS OBTAINED.
38. THE CONTRACTOR AND PROPERTY OWNER WILL BE LIABLE FOR ANY DAMAGE DONE TO ANY PUBLIC PROPERTY AS A RESULT OF ANY CONSTRUCTION OR CONSTRUCTION RELATED ACTIVITIES. NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL AFFECTED RIGHTS-OF-WAY ARE CLEANED AND/OR REPAIRED TO THEIR ORIGINAL CONDITION AND UNTIL ANY AND ALL DAMAGES TO AFFECTED PROPERTIES ARE RESTORED TO ORIGINAL CONDITION, OR UNTIL SUCH TIME THAT A WRITTEN, SIGNED AND LEGALLY BINDING AGREEMENT HAS BEEN REACHED BY THE PARTIES INVOLVED TO REMEDY ANY VIOLATION WITHIN A REASONABLE TIME PERIOD, AND UNTIL ALL REQUIRED FEES ARE PAID IN FULL.
40. THE NATURAL FLOW OF RAINWATER AND OTHER SURFACE DRAINAGE FROM THE PROPERTY MAY NOT BE ALTERED IN ANY WAY.
41. A KEY SWITCH SHALL BE REQUIRED ON ALL NEW AND EXISTING ELECTRIC ENTRY CONTROL GATES. THE KEY SWITCH SHALL BE INSTALLED IN A LOCATION ON THE GATE CONTROL PANEL THAT IS READILY VISIBLE AND ACCESSIBLE. KNOX BOX ORDER FORMS ARE AVAILABLE AT THE PARADISE VALLEY BUILDING DEPARTMENT.
42. ALL EQUIPMENT OF ALL TRADES ON OR AFFECTING THE JOB MUST BE CLEANED ONLY IN A PRE-DETERMINED AND DESIGNATED AREA. DEBRIS AND RUNOFF FROM SAID AREA MAY NOT EXTEND BEYOND THE BUILDING AREA.
43. PROPERTY OWNER, BUILDER, OR GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR CONTROLLING DUST FROM THE SITE AT ALL TIMES. ALL MEANS NECESSARY SHALL BE USED BY THE BUILDER OR GENERAL CONTRACTOR TO CONTROL THE EXISTENCE OF DUST CAUSED BY ANY EARTHWORK, SPRAY APPLICATION OF MATERIALS, OR OTHER DUST-CAUSING PRACTICES REQUIRED BY THE CONSTRUCTION PROCESS.
44. AN INSPECTION FEE WILL BE CHARGED IF THE INSPECTION IS REQUIRED AS A RESULT OF A CODE VIOLATION.
45. FOR DEMOLITION INSPECTION OWNER OR PERMITTEE SHALL NOTIFY OSHA FOR ASBESTOS INSPECTION. ALL DEMOLITIONS AND ALL RENOVATION ACTIVITIES THAT WILL DISTURB FRIABLE ASBESTOS CONTAINING MATERIALS MUST BE REPORTED TO THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT.

ENGINEERS NOTES

1. MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION INCLUDING LATEST REVISION AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL TOWN OR CITY) ARE INCORPORATED INTO THIS PLAN IN THEIR ENTIRETY.
2. ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL CITY OR TOWN UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
3. GRADING SHALL BE IN CONFORMANCE WITH 2012 IBC SEC. 1803 AND APPENDIX J.
4. 5X MINIMUM SLOPE AWAY FROM BUILDING FOR A MINIMUM 10', U.N.O.
5. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) SPECIFICATIONS AND STANDARD DETAILS.
6. A DUST CONTROL PLAN MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
7. A SEPARATE PERMIT IS NECESSARY FOR ANY OFFSITE CONSTRUCTION.
8. AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
9. ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTOR DITCHES, PIPES, PROTECTIVE BERMS, BARRIER WALLS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT ADJACENT BUILDINGS OR PROPERTY FROM STORM RUNOFF MUST BE COMPLETED PRIOR TO BUILDING CONSTRUCTION.
10. ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
11. ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE. ALL LAWN AREAS ADJOINING WALKS OR SLABS WILL BE GRADED TO 2" BELOW THE TOP OF SLAB. TYPICAL FINISHED GRADE AROUND PERIMETER OF BUILDING IS MINUS 6" BELOW FINISHED FLOOR UNLESS SPECIFIED OTHERWISE.
12. ALL MATERIAL TO BE UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95% PER ASTM D698.
13. THE QUANTITIES AND SITE CONDITIONS DEPICTED IN THESE PLANS ARE FOR INFORMATIONAL PURPOSES ONLY AND ARE SUBJECT TO ERROR AND OMISSION. CONTRACTORS SHALL SATISFY THEMSELVES AS TO ACTUAL QUANTITIES AND SITE CONDITIONS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
14. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
15. THE CONTRACTOR IS RESPONSIBLE FOR ALL METHODS, SEQUENCING, AND SAFETY CONCERNS ASSOCIATED WITH THIS PROJECT DURING CONSTRUCTION, UNLESS SPECIFICALLY ADDRESSED OTHERWISE IN THIS PLAN OR ELSEWHERE.
16. A REASONABLE EFFORT HAS BEEN MADE TO SHOW THE LOCATIONS OF EXISTING UNDERGROUND FACILITIES AND UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND/OR FACILITIES CAUSED DURING THEIR CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL CALL 48 HOURS IN ADVANCE FOR BLUE STAKE (1-800-STAKE-IT) PRIOR TO ANY EXCAVATION.
17. THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION OF CONSTRUCTION AFFECTING UTILITIES AND THE COORDINATION OF ANY NECESSARY UTILITY RELOCATION WORK.
18. ALL PAVING, GRADING, EXCAVATION, TRENCHING, PIPE BEDDING, CUT, FILL AND BACKFILL SHALL COMPLY WITH THE RECOMMENDATIONS SET FORTH IN THE SOILS (GEOTECHNICAL) REPORT FOR THIS PROJECT IN ADDITION TO THE REFERENCED REQUIRED SPECIFICATIONS AND DETAILS.
19. THE CONTRACTOR IS TO VERIFY THE LOCATION AND THE ELEVATIONS OF ALL EXISTING UTILITIES AT POINTS OF TIE-IN PRIOR TO COMMENCING ANY NEW CONSTRUCTION. SHOULD ANY LOCAL OR ELEVATION DIFFER FROM THAT SHOWN ON THESE PLANS, THE CONTRACTOR SHALL CONTACT THE OWNER'S AGENT.
20. CONTRACTOR TO VERIFY AND COORDINATE ALL DIMENSIONS AND SITE LAYOUT WITH ARCHITECTURE'S FINAL SITE PLAN AND FINAL BUILDING DIMENSIONS BEFORE STARTING WORK. REPORT DISCREPANCIES TO OWNER'S AGENT.
21. COORDINATION BETWEEN ALL PARTIES IS ESSENTIAL PART OF CONTRACT.
22. CONTRACTOR IS RESPONSIBLE FOR PROJECT AND SITE CONDITIONS, AND TO WORK WITH WEATHER CONDITIONS AS THE PROJECT SITE MAY BE LOCATED IN A FLOOD PRONE AREA AND SUBJECT TO FLOODING AND ITS HAZARDS.
23. THE CONTRACTOR IS TO VERIFY THE LOCATION, ELEVATION, CONDITION, AND PAVEMENT CROSS-SLOPE OF ALL EXISTING SURFACES AT POINTS OF TIE-IN AND MATCHING, PRIOR TO COMMENCEMENT OF GRADING, PAVING, CURB AND GUTTER, OR OTHER SURFACE CONSTRUCTION. SHOULD EXISTING LOCATIONS, ELEVATIONS, CONDITION, OR PAVEMENT CROSS-SLOPE DIFFER FROM THAT SHOWN ON THESE PLANS, RESULTING IN THE DESIGN INTENT REFLECTED ON THESE PLANS NOT ABLE TO BE CONSTRUCTED, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AGENT IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ALL COSTS ASSOCIATED WITH CORRECTIVE ACTION IF THESE PROCEDURES ARE NOT FOLLOWED.
24. CONTRACTOR IS RESPONSIBLE TO COORDINATE UTILITY CROSSINGS AT CULVERT CROSSINGS BEFORE STARTING WORK ON CULVERT. COORDINATE WITH OWNER REPRESENTATIVE. VERIFY UTILITY LINES AND/OR CONDUITS ARE IN PLACE BEFORE STARTING CULVERT WORK.
25. ALL ON-SITE UTILITIES PER OTHERS.
26. THIS PROJECT REQUIRES A REGULAR ONGOING MAINTENANCE PROGRAM FOR THE DESIGNED DRAINAGE SYSTEM(S) TO PRESERVE THE DESIGN INTEGRITY AND THE ABILITY TO PERFORM ITS OPERATIONAL INTENT. FAILURE TO PROVIDE MAINTENANCE WILL JEOPARDIZE THE DRAINAGE SYSTEM(S) PERFORMANCE AND MAY LEAD TO ITS INABILITY TO PERFORM PROPERLY AND/OR CAUSE DAMAGE ELSEWHERE IN THE PROJECT.
27. IF A DISCREPANCY IS FOUND BETWEEN ENGINEER'S PLAN OR SURVEYOR'S STAKING AND THE ARCHITECTURAL PLAN, ENGINEER SHALL BE NOTIFIED IMMEDIATELY. FAILURE TO NOTIFY ENGINEER SHALL NEGATE ENGINEER'S LIABILITY.
28. ALL DISTURBED AREAS ARE TO BE ROPED AND ROPING MUST MATCH PLAN.
29. VEGETATION OUTSIDE OF CONSTRUCTION AREA TO REMAIN.
30. AREAS OUTSIDE THE WALL AND CUT AND FILL SLOPES SHALL BE REVEGETATED WITH SIMILAR PLANT TYPES AND DENSITIES FOUND ON THE SITE. REVEGETATION SHALL BE COMPLETED PRIOR TO OCCUPANCY AND THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
31. MECHANICAL EQUIPMENT SHALL BE SCREENED TO A MINIMUM OF ONE FOOT ABOVE TOP OF EQUIPMENT.
32. ANY FUTURE IMPROVEMENTS SHOWN HEREON SHALL REQUIRE A SEPARATE PERMIT.
33. ANY POINTS OF DRAINAGE CONNECTION SHOULD BE PROTECTED AGAINST EROSION WITH NATIVE STONE.
34. THIS PLAN IS DESIGNED TO SHOW SITE GRADING AND DRAINAGE CONTRACTOR SHALL USE THE ARCHITECTURAL SITE PLAN TO DETERMINE FINAL HOUSE, WALL, STEP, ETC., LOCATIONS AND ELEVATIONS.
35. ALL DRAINAGE FACILITIES TO BE MAINTAINED BY HOMEOWNER.
36. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR SITE AND RETAINING WALLS LAYOUT, DIMENSIONS, AND DETAILS. TOP OF FOOTING ELEVATIONS SHOWN IN PLAN ARE APPROXIMATE ONLY. ACTUAL TOP OF FOOTINGS TO BE DETERMINED AT TIME OF CONSTRUCTION AND TO BE A MINIMUM OF SIX INCHES BELOW EXISTING NATURAL GRADE OR FINISHED GRADE WHICHEVER IS LOWER (TYPICAL).
37. REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT, DIMENSIONS AND ELEVATIONS.
38. REFER TO STRUCTURAL DRAWINGS, DETAILS AND CALCULATIONS FOR ALL PROPOSED RETAINING WALLS.
39. FOR CHANGE IN ELEVATION THAT ARE GREATER THAN 30", PROVIDE 36" HIGH GUARDRAILS FOR TOTAL OF 42" FALL PROTECTION BARRIER U.N.O.
40. CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE - 5% MIN SLOPE FOR FIRST 10 FEET, U.N.O.
41. ALL WATER AND SEWER LINES AND CONNECTIONS MUST BE INSTALLED PER IBC 2012, MAG AND TOWN OF PARADISE VALLEY SUPPLEMENT TO MAG.
42. WATERPROOF ALL EXTERIOR WALLS 18" ABOVE FINISH GRADE-(BITUTHENE® 3000 HC MEMBRANE W/ GRACE PROTECTION 03 OR APPROVED EQUAL).
43. ALL PIPES AND FITTINGS SHALL BE INSTALLED PER MANUFACTURE'S SPECIFICATIONS AND DETAILS.
44. ABANDONMENT OF EXISTING AND INSTALLATION OF NEW SEPTIC SYSTEMS SHALL BE PERFORMED IN ACCORDANCE WITH THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT RULES AND STANDARDS, AND WILL REQUIRE SEPARATE PERMIT.
45. COORDINATE RIPRAP COLOR WITH LANDSCAPE PLANS AND DETAILS.
46. VERIFY AND COORDINATE WITH LANDSCAPE PLANS FINAL LOCATION AND GRATE TYPE OF SPECIFIED AREA DRAINS AND TRENCH DRAINS.
47. VERIFY AND COORDINATE WITH ARCHITECTURAL AND LANDSCAPE PLANS LOCATION AND HEIGHT OF ALL SITE WALLS.
48. DISTURBED AREA: TOTAL ACRES = 0.91 ACRES < 1 acre; NPDES PERMIT IS NOT REQUIRED.
49. REFER TO ARCHITECTURAL PLANS AND DETAILS FOR DEMOLITION AND REMOVAL OF ANY EXISTING BUILDING STRUCTURES, SITE WALLS, POOL AND PAVEMENT ETC.
50. REFER TO GEOTECHNICAL REPORT FOR SPECIFIC RECOMMENDATIONS AND MAXIMUM ALLOWED FILL AND CUT SLOPES.

AS-BUILT CERTIFICATION

I HEREBY CERTIFY THAT THE "RECORD DRAWING" MEASUREMENTS AS SHOWN HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

REGISTERED ENGINEER/ LAND SURVEYOR

DATE

REGISTRATION NUMBER

GRADING & DRAINAGE PLAN

CATTANEO RESIDENCE

6149 E INDIAN BEND RD., PARADISE VALLEY, AZ 85253

LOT 14 - EGYPTIAN HILLS

A SUBDIVISION PLAT RECORDED IN BOOK 69 OF MAPS, PAGE 18, MCR.,
LOCATED IN A PORTION OF THE NE 1/4 OF THE NW 1/4 OF THE NE 1/4 OF SECTION 9, T.2N, R.4E
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

LEGEND

- × SCRIBED "X" IN CONCRETE
- ⊗ BRASS CAP IN HANDHOLE
- ⊗ BRASS CAP FLUSH
- FOUND 1" IRON PIPE
- SET 1/2" REBAR & TAG OR AS NOTED
- CALCULATED POINT
- PROPERTY LINE
- EASEMENT LINE
- MONUMENT LINE
- ⊗ SEWER MANHOLE
- ⊗ SIGN
- ⊗ WATER METER
- ⊗ WATER VALVE
- ⊗ FIRE HYDRANT
- ⊗ ELECTRIC METER
- ⊗ GAS VALVE
- ⊗ TELEPHONE PEDESTAL
- CABLE TV RISER
- CATV, PHONE
- SEWER LINE
- WATER LINE
- ELECTRIC LINE
- COMMUNICATIONS LINE
- FENCE
- EXISTING CONTOUR
- EXIST. DRAINAGE FLOW
- EXIST. SPOT ELEVATION
- PALO VERDE
- MESQUITE TREE
- EXISTING DISTURBED AREA
- PROPOSED DISTURBED AREA
- FLOW LINE
- DRAINAGE FLOW ARROW
- PROPOSED SPOT ELEVATION
- PROPOSED CONTOUR
- TOP OF RAILING/NON-RET. WALL
- TOP OF RETAINING WALL
- FINISH GRADE
- TOP OF FOOTING
- FINISH GRADE AT BOTTOM OF WALL
- CATCH BASIN
- STORM DRAIN PIPE
- HISTORIC NATURAL GRADES PER FDMC & COP AERIAL TOPOGRAPHY
- RETAINING WALL/AGAINST BUILDING
- EXTENDED BUILDING STEM WALL
- REVEGETATED AREA

ABBREVIATIONS

- BC BACK OF CURB
- BSL BUILDING SETBACK LINE
- BW BOTTOM OF WALL
- C CONCRETE, CALCULATED
- TPV TOWN OF PARADISE VALLEY
- DE DRAINAGE EASEMENT
- ESMT EASEMENT
- EXIST. EXISTING
- EGT EXISTING GRADE
- FG FINISH GRADE
- FFE FINISH FLOOR ELEVATION
- ℓ FLOW LINE
- FND FOUND
- G GUTTER, GAS
- INV INVERT
- MAG MARICOPA ASSOCIATION OF GOVERNMENTS
- MCR MEASURED
- P MARICOPA COUNTY RECORDER
- PUE PAVEMENT
- (R) PUBLIC UTILITY EASEMENT
- RECORDED
- R RADIUS
- R/W RIGHT OF WAY
- T TANGENT, TELEPHONE
- W WEST, WATERLINE
- TP TOP OF PARAPET
- TC TOP OF CURB
- TG TOP OF GRATE
- TF TOP OF FOOTING
- TR TOP OF RAILING
- TRW TOP OF RETAINING WALL
- TW TOP OF WALL
- WM WATER METER

DISTURBED AREA CALCULATIONS

AREA OF LOT:	47,013 S.F. (1.079 AC.)
TOTAL FLOOR AREA:	10,373 S.F.
FLOOR AREA RATIO:	22% < 25%
(TOTAL FLOOR AREA/AREA OF LOT)	
BUILDING PAD SLOPE:	10.0%
VERTICAL:	16 FT
HORIZONTAL:	158 FT
ALLOWABLE NET DISTURBED AREA:	28,208 S.F. (60.0%)
GROSS EXISTING DISTURBED AREA:	41,907 S.F.
GROSS PROPOSED DISTURBED AREA:	39,816 S.F.
LESS TEMPORARY AREAS OF DISTURBANCE	
TO BE RESTORED AND REVEGETATED:	8,347 S.F.
LESS BUILDING FOOTPRINT AREA:	8,000 S.F.
NET DISTURBED AREA:	25,560 S.F. < 28,208 S.F.

ALLOWED SLOPES STEEPER THAN NATURAL GRADE (5% MAX.):	2,351 S.F. (5%)
PROPOSED SLOPES STEEPER THAN NATURAL GRADE (AREA):	0 S.F. (0%)
VOLUME OF CUT:	497 C.Y.
VOLUME OF FILL:	3,866 C.Y.
TOTAL CUT&FILL:	4,363 C.Y.
HILLSIDE ASSURANCE @ \$25/CUBIC	
YARD OF CUT-FILL:	\$109,075

ALL QUANTITIES LISTED ON THESE PLANS ARE ESTIMATES ONLY. NO SHRINK OR SWELL IS ASSUMED. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF THE QUANTITIES AND BASE THEIR BIDS ON THEIR ESTIMATES.

EARTHWORK QUANTITIES

CUT: 481 C.Y.
CUT FROM PILES:16 C.Y.
FILL: 3,866 C.Y.
NET FILL: 3,369 C.Y.

ALL QUANTITIES LISTED ON THESE PLANS ARE ESTIMATES ONLY. NO SHRINK OR SWELL IS ASSUMED. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF THE QUANTITIES AND BASE THEIR BIDS ON THEIR ESTIMATES.

UTILITIES NOTES

HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THE PLAN ARE APPROXIMATE ONLY AND WILL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO START OF CONSTRUCTION WORK. CALL BLUE STAKE @ (602) 263-1100.

FIRE SPRINKLER SYSTEM

FIRE SPRINKLER SYSTEM TO BE INSTALLED PER THE REQUIREMENTS OF THE TOWN OF PARADISE VALLEY AND IN ACCORDANCE WITH I.B.C. SECT. 904.2.2 AMD. AND I.F.C. SECT. 1003.2.1 AMD.

FLOOD INSURANCE RATE MAP (FIRM) DATA

COMMUNITY #	PANEL #	SUFFIX	BASED FLOOD ELEVATION
040049	1765 OF 4425	L	N/A
MAP #	PANEL DATE	ZONE	
04013C	10/16/2013	X*	N/A

*AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN



RETENTION CALCULATIONS

WEIGHTED RUNOFF COEFFICIENT, Cw PRE- DEVELOPMENT			
SURFACE TYPE	RUNOFF COEFFICIENT	AREA	C*AREA
	C	SF	
PAVEMENT	0.95	7,093	6,738
ROOF	0.95	0	0
NATIVE HILLSIDE	0.75	55,507	41,630
TOTAL		62,600	48,369
Cw = C * AREA / TOTAL AREA			0.77

ON-SITE RETENTION FOR THE PRE VS. POST DEVELOPMENT RUNOFF FROM 100-YEAR, 2-HOUR STORM EVENT V=DxA(Cw,post-Cw,pre)/12 D = RAINFALL DEPTH=2.82" A = TRIBUTARY AREA, SF Cw = WEIGHTED RUNOFF COEFFICIENT				
DRAINAGE AREA	S.F.	RUNOFF COEFFICIENT	VOLUME REQUIRED	RETENTION BASIN ID
		Cw	C.F.	
A	62,600	0.07	1,030	A1
TOTAL			1,030	

WEIGHTED RUNOFF COEFFICIENT, Cw POST- DEVELOPMENT				
SURFACE TYPE	RUNOFF COEFFICIENT	AREA	C*AREA	
	C	SF		
PAVEMENT	0.95	17,340	16,473	
ROOF	0.95	10,485	9,961	
NATIVE HILLSIDE	0.75	34,775	26,081	
TOTAL		62,600	52,515	
Cw = C * AREA / TOTAL AREA				0.84

ON-SITE RETENTION FOR THE PRE VS. POST DEVELOPMENT RUNOFF FROM 100-YEAR, 2-HOUR STORM EVENT V=DxA(Cw,post-Cw,pre)/12 D = RAINFALL DEPTH=2.82" A = TRIBUTARY AREA, SF Cw = WEIGHTED RUNOFF COEFFICIENT				
DRAINAGE AREA	S.F.	CONTOUR ELEVATION	CONTOUR AREA	DEPTH
			S.F.	FT
		HW	7.00	1,938
		BOTTOM	6.00	422
			1.00	1,180
				C.F.
				1,180

LEGAL DESCRIPTION

LOT 14, EGYPTIAN HILLS, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 69 OF MAPS, PAGE 18.

CONTAINING 47,013 S.F. (1.079 AC.); MORE OR LESS.

BENCHMARK

BRASS CAP FLUSH AT THE INTERSECTION OF INDIAN BEND RD AND 60TH ST HAVING AN ELEVATION OF 1423.873 TOWN OF PARADISE VALLEY (NAVD 88) DATUM, GDACS# 24524-1.

DRAINAGE STATEMENT

1. ULTIMATE STORM OUTFALL IS LOCATED AT THE SOUTHWEST PROP. CORNER LINE AT ELEVATION OF 1404.0.
2. NEW SINGLE FAMILY RESIDENCE IS PROPOSED WITH THIS PROJECT.
3. PROPOSED DEVELOPMENT DOES NOT IMPACT DRAINAGE CONDITIONS OF ADJOINING LOTS.
4. HISTORIC DRAINAGE PATTERNS ARE PRESERVED.
5. THE MINIMUM FINISH FLOOR ELEVATIONS SHOWN ARE SAFE FROM INUNDATION DURING A 100-YEAR PEAK RUN-OFF EVENT IF CONSTRUCTED PER THE APPROVED CIVIL PLANS.
6. PROPOSED STORM DRAIN SYSTEM SHALL BE INSPECTED AND CLEANED FROM DEBRIS AND SILT AFTER EVERY MAJOR STORM EVENT.
7. CHECK DAMS, RIPRAP AND BOULDERS ARE SPECIFIED AT ALL POINTS OF DISCHARGE TO MITIGATE EROSION AND TO CONVERT CONCENTRATED FLOWS BACK TO SHEET FLOWS.
8. ON-SITE RETENTION IS PROPOSED FOR THE RUNOFF GENERATED BY THE NEW ROOF AND AUTO-COURT AREA.

GRADING SPECIFICATIONS

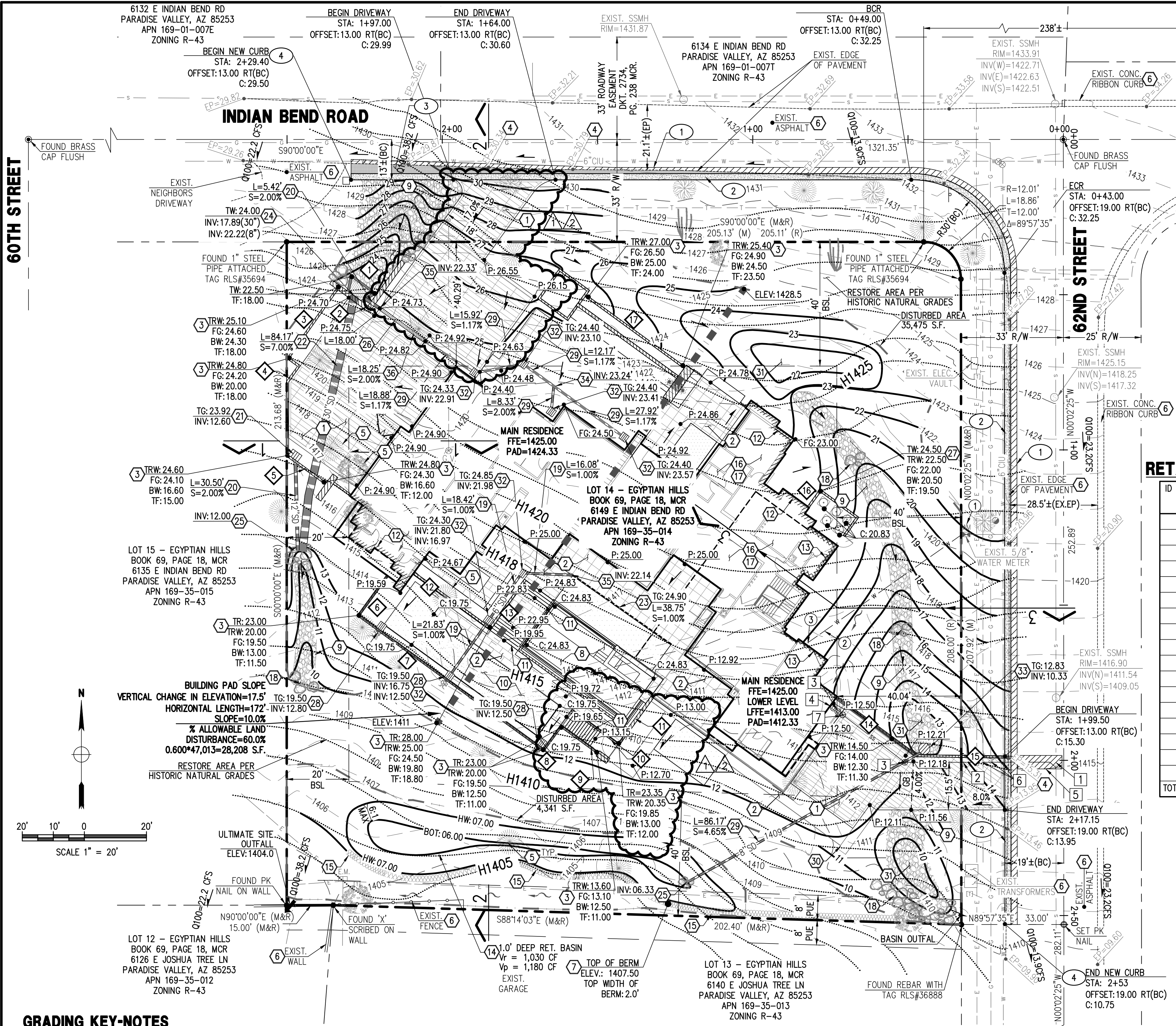
1. EXCAVATION AND GRADING OF THIS SITE IS CLASSIFIED AS "ENGINEERED GRADING" PER 2015 I.B.C. AND WILL BE PERFORMED ACCORDINGLY.
2. THE CONTRACTOR WILL RETAIN A SOILS ENGINEER DURING CONSTRUCTION TO INSPECT PROGRESS OF CONSTRUCTION. CONCERNING PREPARATION OF GROUND TO RECEIVE FILLS, TESTING AND REQUIRED COMPACTION STABILITY OF ALL FINISH SLOPES INCLUDING CUT SLOPES.
3. COMPACTION SHALL COMPLY WITH M.A.G. SECTION 601 AND PROVISIONS AS SET FORTH IN THE SOILS REPORT.
4. BEARING MATERIALS FOR FILL UNDER RESIDENCE PAD IF NATIVE MATERIAL IS USED. LARGE ROCK FRAGMENTS MUST BE REMOVED THAT ARE IN EXCESS OF SIX INCHES. REMAINING MATERIAL MUST BE SMALLER PARTICLES OF SAND AND ROCK THAT CAN BE COMPACTED INTO A DENSE CONDITION.
5. MAXIMUM PARTICLE SIZE 6 INCHES
6. PERCENT PASSING NO. 4 SIEVE 35% TO 70%
7. PERCENT PASSING NO. 200 SIEVE 25% MAX.
8. PLASTICITY INDEX 10% MAX
9. CUT-SLOPES: MAXIMUM ROCK CUT SLOPE TO BE 1.0 HORIZONTAL TO 3.0 VERTICAL PER GEOTECHNICAL STUDY.
10. FILL SLOPES: MAXIMUM FILL SLOPE TO BE 2.0 FEET HORIZONTAL TO 1.0 FEET VERTICAL.
11. COMPACTION FILL MATERIAL MUST BE PLACED ON LEVELED BENCHES OUT INTO UNDISTURBED EXISTING HILLSIDE. PLACE FILL IN HORIZONTAL LIFTS OF THICKNESS COMPATIBLE WITH THE COMPACTION EQUIPMENT USED. COMPACT TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM A.S.T.M. DENSITY AT THE OPTIMUM MOISTURE CONTENT OF ± TWO PERCENT. THIS PERTAINS TO ALL ENGINEERED STRUCTURAL FILL SUPPORTING STRUCTURES AND INCLUDING FILL UNDER ANY OF THE RETAINING WALLS. COMPACTION TEST RESULTS SHALL BE SUBMITTED TO THE SOILS ENGINEER AND TOWN OF PARADISE VALLEY BUILDING AND SAFETY DEPARTMENT.
12. ANY RETAINING WALLS ADJACENT TO THE PROPERTY LINES WILL BE UNDER THE SCOPE OF SPECIAL INSPECTION BY THE SOILS ENGINEER. THE DEVELOPER SHALL NOTIFY THE ADJOINING PROPERTY OWNERS IN WRITING, TEN DAYS PRIOR TO START OF CONSTRUCTION ON THESE WALLS PER SECTION 2903-B OF IBC. THE DEVELOPER WILL HAVE TO PROVIDE MEANS OF PROTECTION OF ADJACENT PROPERTY WHILE THIS WORK IS UNDER CONSTRUCTION.
13. ALL EXPOSED CUT AND FILL SHALL BE TREATED WITH AN APPROVED AGING AGENT TO MINIMIZE TO VISUAL CONTINUITY.

TOWN OF PARADISE VALLEY HILLSIDE NOTES

- A. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL ALL HILLSIDE STIPULATIONS AND ALL TOWN CODE REQUIREMENTS ARE COMPLIED INCLUDING, BUT NOT LIMITED TO LANDSCAPING, GROUND RESTORATION, FIRE FLOW, FIRE SAFETY, AND ALL ONSITE AND OFFSITE IMPROVEMENTS.
- B. ALL OUTDOOR LIGHTING SHALL BE IN CONFORMANCE WITH ARTICLE XXII OF THE TOWN ZONING ORDINANCE.
- C. ALL EXCESS FILL MATERIAL SHALL BE REMOVED FROM THE SITE WITH NO NEW SPILL SLOPES.
- D. THE USE OF HYDROLOGIC RAM HAMMERS, OR OTHER HEAVY EQUIPMENT USED TO CUT THROUGH ROCK, INCLUDING MACHINERY WITH AUDIBLE BACK UP WARNING DEVICES SHALL BE LIMITED TO USE BETWEEN THE HOURS OF 7:00AM OR SUNRISE, WHICHEVER IS LATER, AND 6:00PM OR SUNSET, WHICHEVER IS EARLIER, MONDAY THROUGH FRIDAY, WITH LIMITED WORK ON SATURDAY AND NO WORK ON SUNDAY OR LEGAL HOLIDAYS. RAM HAMMERS AND OTHER HEAVY EQUIPMENT CANNOT BE USED ON SATURDAYS WITHOUT A WAIVER FROM THE TOWN MANAGER.
- E. CONSTRUCTION STAKING AND/OR FENCING SHALL BE PLACES AROUND THE CONSTRUCTION SITE SO AS TO PROTECT THE UNDISTURBED NATURAL AREA.

FINISH FLOOR CERTIFICATION

I HEREBY CERTIFY THAT FINISHED FLOOR ELEVATIONS SHOWN ON THE PLAN OF 1425.00 AND 1413.00 ARE MINIMUM OF 1



GRADING KEY-NOTES

- CONSTRUCT DRIVEWAY PAVING ON COMPACTED SUBGRADE. THICKNESS, PATTERN, TEXTURE AND COLOR PER ARCHITECTURAL AND LANDSCAPE PLANS AND DETAILS.
- INSTALL DECORATIVE PAVING WALKWAY. THICKNESS, PATTERN, TEXTURE AND COLOR PER ARCHITECTURAL AND LANDSCAPE PLANS AND DETAILS.
- NEW RETAINING WALL PER ARCHITECTURAL AND STRUCTURAL PLANS AND DETAILS. WATERPROOF WALL 1.5' ABOVE FINISH GRADE. (BITUTHENE@3000 HC MEMBRANE W/ GRACE PROTECTION 03 OR APPROVED EQUAL).
- MATCH EXISTING GRADE.
- REFER TO LANDSCAPE PLANS FOR NATIVE TREES AND PLANTS REMOVAL/RELOCATION AND INSTALLATION OF NEW TREES AND LANDSCAPING. PROTECT IN PLACE.
- CONSTRUCT NEW 2' WIDE BERM.
- NEW POOL PER SEPARATE PLAN & PERMIT.
- INSTALL ANGULAR RIP-RAP D50=8", 1" THICK PLACED ON NONWOVEN GEOTEXTILE FABRIC (MIRAFI N-SERIES OR APPROVED EQUAL).
- NEW BOCCO PER ARCHITECTURAL AND LANDSCAPE PLANS AND DETAILS.
- NEW STEPS PER ARCHITECTURAL AND LANDSCAPE PLANS AND DETAILS.
- REFER TO STRUCTURAL PLANS AND DETAILS FOR EXTENDED STEM WALL CONSTRUCTION. WATERPROOF WALL 1.5' ABOVE FINISH GRADE. (BITUTHENE@3000 HC MEMBRANE W/ GRACE PROTECTION 03 OR APPROVED EQUAL).
- REFER TO STRUCTURAL PLANS AND DETAILS FOR RETAINING AGAINST BUILDING CONSTRUCTION. WATERPROOF WALL 1.5' ABOVE FINISH GRADE. (BITUTHENE@3000 HC MEMBRANE W/ GRACE PROTECTION 03 OR APPROVED EQUAL).
- CONSTRUCT RETENTION BASIN AS SHOWN. CONTRACTOR TO SCARIFY BOTTOM OF BASIN 2' DEEP TO MAXIMUM 80% COMPACTION, AND PER GEOTECHNICAL REPORT RECOMMENDATION.
- CONSTRUCT 12" RIPRAP BERM SEE DTL 4/THIS SHEET.
- VERIFY AND COORDINATE WITH STRUCTURAL AND GEOTECHNICAL ENGINEERS, THE ENGINEERED FILL UNDER SLAB AND FOOTINGS.
- CLEAR AND GRUB EXISTING SITE AREA. REMOVE ALL VEGETATION, EXISTING UTILITIES AND CONSTRUCTION DEBRIS. CUT AND FILL EXISTING TERRAIN AS NECESSARY TO ACHIEVE THE DESIGNED SUBGRADE ELEVATIONS.
- NEW 18"-24" BOULDERS OUTLET STRUCTURE.
- INSTALL 6" PVC SCH. 40 STORM DRAIN PIPE, INCLUDING ALL FITTINGS PER MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS.
- INSTALL 12" HDPE, SMOOTH INTERIOR, WATER TIGHT, STORM DRAIN PIPE, INCLUDING ALL FITTINGS PER MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS.
- INSTALL NYLOPLAST ADS DRAIN BASIN W/ 2'X3' GRATE OR APPROVED EQUAL PER ADS DET. 3299CGRSM.
- INSTALL 30" HDPE, SMOOTH INTERIOR, WATER TIGHT, STORM DRAIN PIPE, INCLUDING ALL FITTINGS PER MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS.
- INSTALL ACO KLASSIKDRAIN K100 TRENCH DRAIN SYSTEM, COMPLETE WITH ALL REQUIRED FITTINGS AND ACO IRON GRATE (4780) OR APPROVED EQUAL. REFER TO MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS. CONNECT NEW TRENCH DRAIN TO NEW STORM DRAIN PIPE.
- INSTALL DROP INLET HEADWALL PER MAG STD DET. 501-5 WITH TRASH RACK (MOD).
- NEW STORM DRAIN PIPE ROOK OUTLET HEADWALL PER DET. 3, THIS SHEET.
- INSTALL 12" WIDE MIN. ACO KLASSIKDRAIN K300 TRENCH DRAIN SYSTEM WITH BOTTOM OUTLETS AT END CONNECTED TO UNDERGROUND STORM DRAIN SYSTEM. COMPLETE WITH ALL REQUIRED FITTINGS AND ACO GRATE (8610) OR APPROVED EQUAL. REFER TO MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS. TO BE ENCASED IN 3,000 PSI CONCRETE
- NEW RETAINING WALL PER ARCHITECTURAL AND STRUCTURAL PLANS AND DETAILS. WATERPROOF WALL 1.5' ABOVE FINISH GRADE. (BITUTHENE@3000 HC MEMBRANE W/ GRACE PROTECTION 03 OR APPROVED EQUAL).
- INSTALL 6" PVC SCH. 40 STORM DRAIN PIPE THROUGH WALL TO DAYLIGHT WITH VERTICAL RISER WITH 12" X 12" ADS 1299COP GRATE WITH WATERTIGHT CONNECTIONS, INCLUDING ALL ADAPTERS & FITTINGS PER MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS, OR APPROVED EQUAL. SEE DET. 1, THIS SHEET.

- INSTALL 8" PVC STORM DRAIN PIPE, INCLUDING ALL FITTINGS PER MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS.
- INSTALL 18" VERTICAL CURB.
- CONSTRUCT DETENTION BASIN AS SHOWN. CONTRACTOR TO SCARIFY BOTTOM OF BASIN 2' DEEP TO MAXIMUM 80% COMPACTION, AND PER GEOTECHNICAL REPORT RECOMMENDATION.
- INSTALL NDS 1200QNB 12" CATCH BASIN WITH VERTICAL RISER AND 12" GRATE OR APPROVED EQUAL.
- INSTALL NDS 2400QNB 24" CATCH BASIN WITH VERTICAL RISER AND 24" ATRIUM GRATE OR APPROVED EQUAL.
- INSTALL WYE CONNECTION INCLUDING ALL FITTINGS PER MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS.
- INSTALL TRENCH DRAIN END/BOTTOM OUTLET CONNECTION TO STORM DRAIN PIPE INCLUDING ALL FITTINGS PER MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS.
- INSTALL 8" PVC STORM DRAIN PIPE UNDER THE NEW TRENCH DRAIN SYSTEM INCLUDING ALL FITTINGS PER MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS.

PRIVATE WATER KEY-NOTES

- UPGRADE EXIST. WATER METER TO 1". VERIFY SIZE WITH PLUMBING PLANS.
- INSTALL NEW 1-1/2" DOMESTIC WATER LINE. VERIFY WITH PLUMBING PLANS.
- FOR CONTINUATION SEE PLUMBING PLANS.

JOSHUA TREE LANE

NOTHING FOUND OR SET

CACTUS WREN ROAD

NOTHING FOUND OR SET

PRIVATE SANITARY SEWER KEY-NOTES

- CONNECT TO EXISTING SANITARY SEWER, CONTRACTOR TO VERIFY SIZE AND LOCATION PRIOR TO START OF CONSTRUCTION.
- INSTALL 4" PVC SEWER SERVICE (SDR-35, ASTM D-3034). REFER TO MAG STD DET. 440-3. TRENCH BEDDING & BACKFILL PER MAG STD DET. 200-1.
- INSTALL SANITARY SEWER CLEANOUT WITH AIRTIGHT CAP PER MAG STD DET. 441. PROTECT WITH FRAME AND COVER PER MAG STD DET. 270 WHEN IN VEHICULAR ACCESS.
- FOR CONTINUATION SEE PLUMBING PLANS.
- SAWCUT, REMOVE AND REPLACE A.C. PAVEMENT PER MAG STD DET. 200-1 & MAG SPEC SECTION 336.
- EXISTING UNDERGROUND UTILITIES, CONTRACTOR TO VERIFY HORIZONTAL & VERTICAL LOCATIONS PRIOR TO INSTALLATION OF SEWER PIPE. REPORT DISCREPANCIES TO ENGINEER.
- INSTALL 4" SANITARY SEWER BACKWATER VALVE PER 2012 IPC, SEC. 715.1.

DETAIL 1 - STORM DRAIN OUTLET AT WALL DETAIL

N.T.S.

OFFSITE PAVING KEY-NOTES

- SAWCUT & REMOVE 2" MIN. A.C. PAVEMENT IN KIND TO PROVIDE A CLEAN STRAIGHT EDGE. (87 S.Y.)
- CONSTRUCT 2' WIDE RIBBON CURB PER MAG STD DET 220-1, TYPE B. (437 L.F.)
- CONSTRUCT 2" A.C. PAVEMENT OVER 6" A.B.C. OR MATCH EXISTING STREET SECTION, WHICHEVER IS GREATER PER MAG STANDARD SPECIFICATIONS. (24 S.Y.)
- MATCH EXISTING GRADE. (PAVEMENT GRADE OR CONTINUED SLOPE OF EXIST. ROADWAY.)

RETAINING WALL TABLE

ID NUMBER	MAX. HEIGHT	LENGTH
	FT	FT
1	1	18.00
2	0.9	15.50
3	4.8	21.00
4	8	26.00
5	8	26.00
6	7	15.50
7	7.5	74.00
8	7.25	9.00
9	7.5	14.50
10	7	18.50
11	7	18.00
12	5.2	30.00
13	5.2	19.00
14	4.5	31.00
15	1	29.50
16	2	28.00
17	2	39.00
TOTAL		432.50

PERCENT PASSING	SIZE	D50 CLASS, INCHES
100	10	3.0
85	10	1.5
75	10	1.0
50	10	0.5
25	10	0.25
10	10	0.15
5	10	0.075

RIP-RAP GRADATION TABLE

FOR LOCATIONS IDENTIFIED WITH KEYNOTE
MAXIMUM LENGTH OF RETAINING WALLS VISIBLE FROM ANY POINT ON THE PROPERTY LINE = 157.5' < 300'. ALL WALL LENGTHS LISTED ABOVE ARE FOR PERMITTING PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ACCURACY OF WALL QUANTITIES AS SHOWN. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS AND DETAILS FOR WALL CONSTRUCTION, HEIGHT AND FINISH.

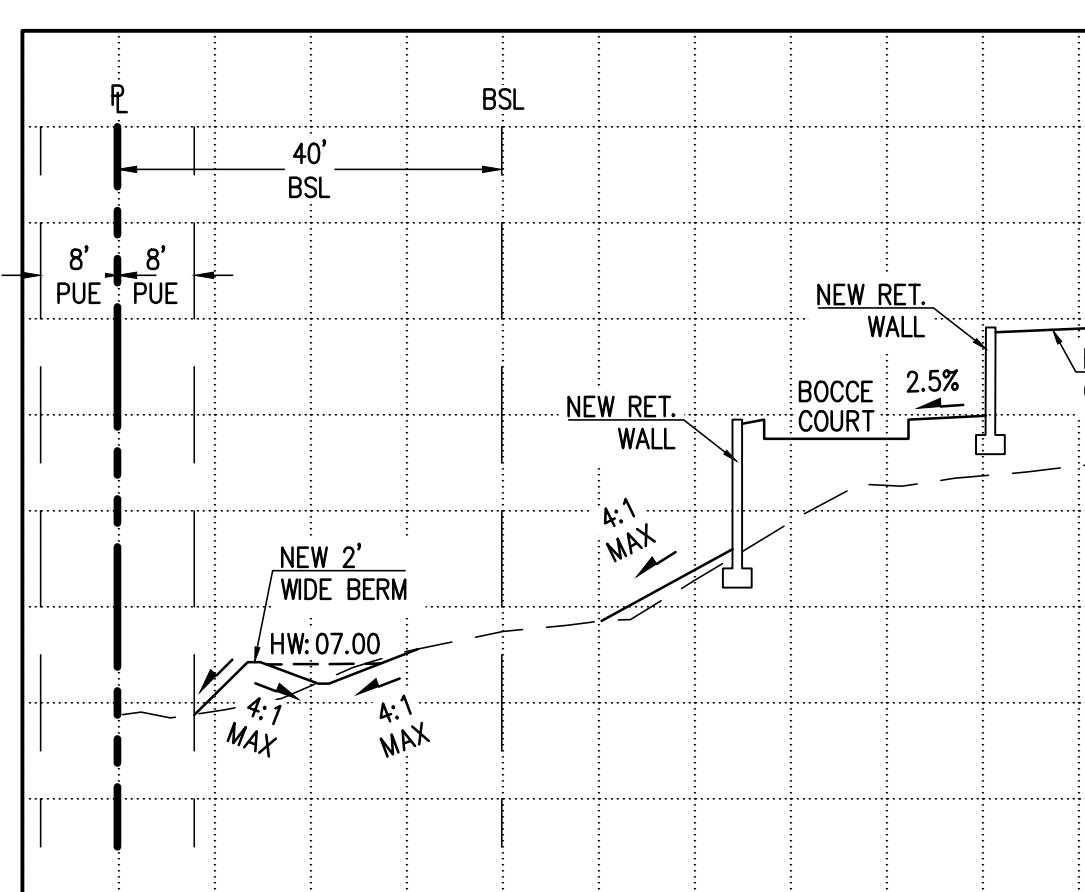


DETAIL 4 - RETENTION BASIN

N.T.S.

CROSS SECTION 1 - 1

SCALE HOR. 1" = 20', VER. 1" = 10'



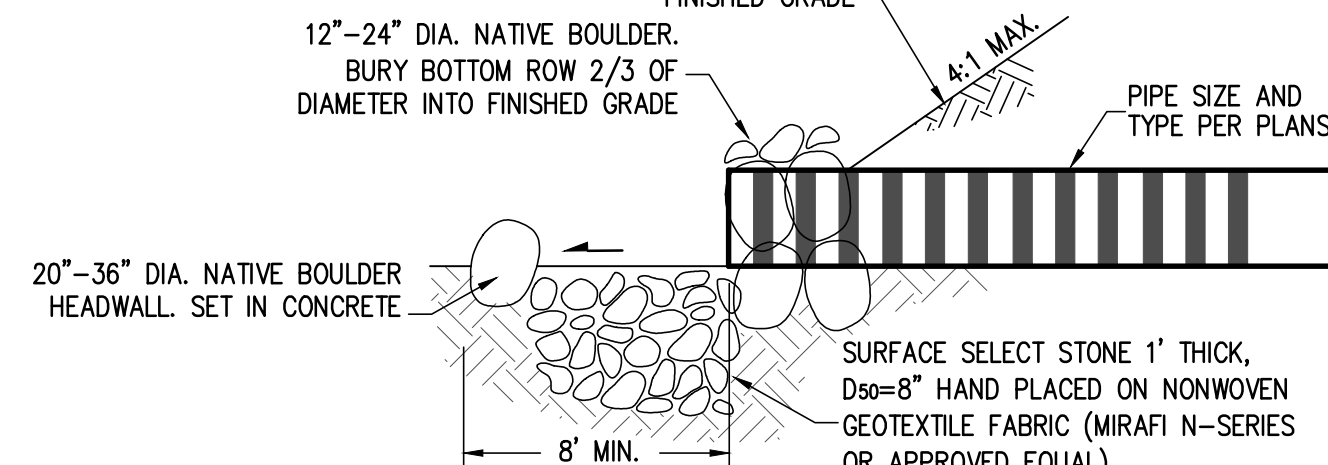
CROSS SECTION 2 - 2

SCALE HOR. 1" = 20', VER. 1" = 10'



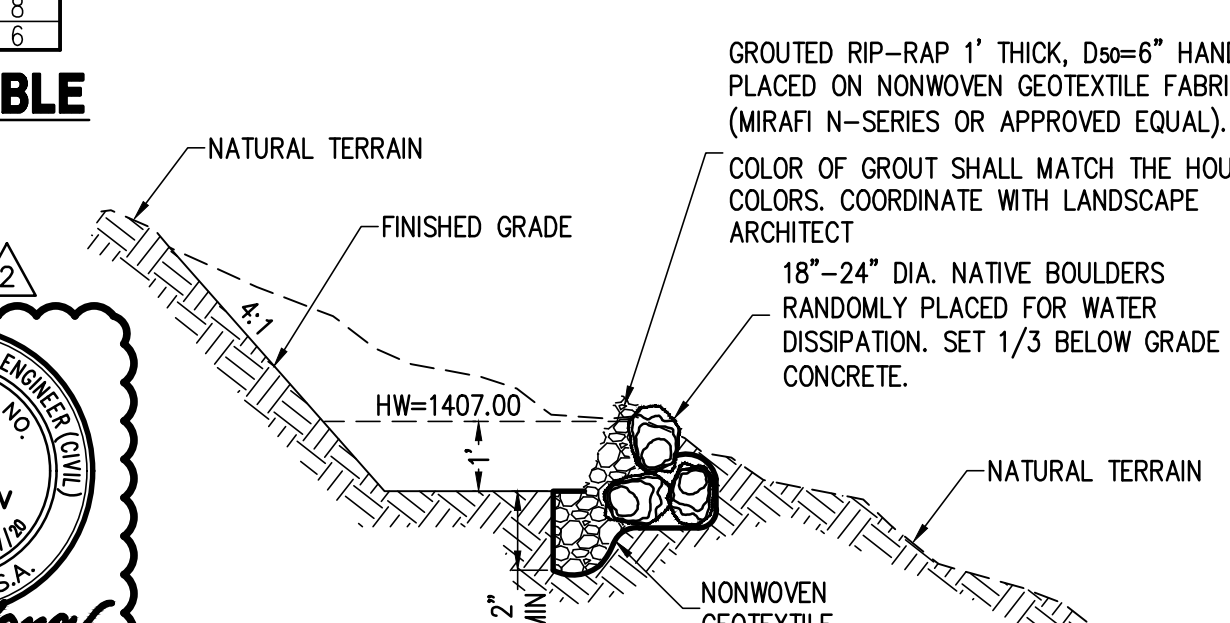
DETAIL 2 - WALL OPENING DETAIL

N.T.S.



DETAIL 3 - PIPE OUTLET DETAIL

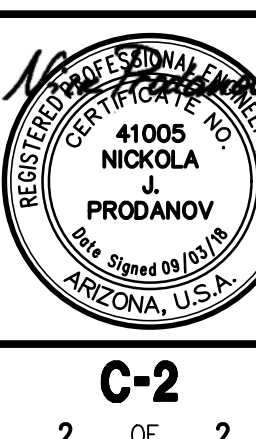
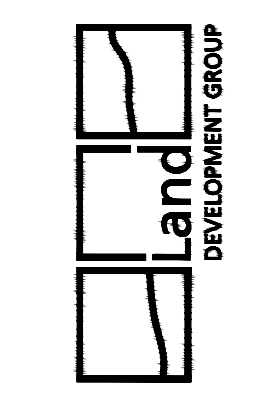
N.T.S.



GRADING & DRAINAGE PLAN IMPROVEMENT PLAN CROSS-SECTIONS DETAILS

CATTANEO RESIDENCE 6149 E INDIAN BEND RD PARADISE VALLEY, AZ 85253

P. 602 889 1984 | F. 602 445 9482
8808 N CENTRAL AVE., SUITE 288
PHOENIX, AZ 85020
PHOENIX | LOGGING.COM



STORM WATER POLLUTION PREVENTION PLAN

CATTANEO RESIDENCE

6149 E INDIAN BEND RD., PARADISE VALLEY, AZ 85253

LOT 14 - EGYPTIAN HILLS

A SUBDIVISION PLAT RECORDED IN BOOK 69 OF MAPS, PAGE 18, MCR.,
LOCATED IN A PORTION OF THE NE 1/4 OF THE NW 1/4 OF THE NE 1/4 OF SECTION 9, T.2N, R.4E
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

LEGEND

- × SCRIBED "X" IN CONCRETE
- ⊠ BRASS CAP IN HANDHOLE
- ⊙ BRASS CAP FLUSH
- FOUND 1" IRON PIPE
- SET 1/2" REBAR & TAG OR AS NOTED
- CALCULATED POINT
- PROPERTY LINE
- EASEMENT LINE
- MONUMENT LINE
- SEWER MANHOLE
- SIGN
- WATER METER
- WATER VALVE
- FIRE HYDRANT
- ELECTRIC METER
- GAS VALVE
- TELEPHONE PEDESTAL
- CABLE TV RISER
- CATV, PHONE
- SEWER LINE
- WATER LINE
- ELECTRIC LINE
- COMMUNICATIONS LINE
- FENCE
- EXISTING CONTOUR
- EXIST. DRAINAGE FLOW
- EXIST. SPOT ELEVATION
- PALO VERDE
- MESQUITE TREE
- PROPOSED DISTURBED AREA
- FLOW LINE
- DRAINAGE FLOW ARROW
- PROPOSED CONTOUR
- CATCH BASIN
- STORM DRAIN PIPE
- HISTORIC NATURAL GRADES PER FDCMC & COP AERIAL TOPOGRAPHY
- SF
- SILT FENCE

EARTHWORK QUANTITIES

CUT: 450 C.Y.
FILL: 3,356 C.Y.
NET FILL: 3,506 C.Y.

ALL QUANTITIES LISTED ON THESE PLANS ARE ESTIMATES ONLY. NO SHRINK OR SWELL IS ASSUMED. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF THE QUANTITIES AND BASE THEIR BIDS ON THEIR ESTIMATES.

FLOOD INSURANCE RATE MAP

(FIRM) DATA

COMMUNITY #	PANEL #	SUFFIX	BASED FLOOD ELEVATION
040049	1765 OF 4425	L	N/A
MAP #	PANEL DATE	ZONE	
04013C	10/16/2013	X*	

*AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN

CONSTRUCTION SEQUENCE

1. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
2. CLEAR AND GRUB.
3. CONSTRUCT RETENTION/SEDIMENTATION BASINS.
4. ROUGH GRADE SITE WHILE PROVIDING POSITIVE DRAINAGE TO BASINS.
5. STABILIZE DENuded AREAS AND STOCKPILES AS SOON AS PRACTICABLE.
6. FINAL GRADE AND CONSTRUCT BUILDING PADS.
7. INSTALL UNDERGROUND STORM DRAIN PIPES AND ALL UNDERGROUND UTILITIES.
8. COMPLETE BUILDING CONSTRUCTION.
9. CONSTRUCT PAVING AND SIDEWALKS.
10. DEMO EXISTING BUILDING AND PAVEMENT.
11. COMPLETE FINAL GRADING, INSTALL PERMANENT SEEDING AND LANDSCAPING.

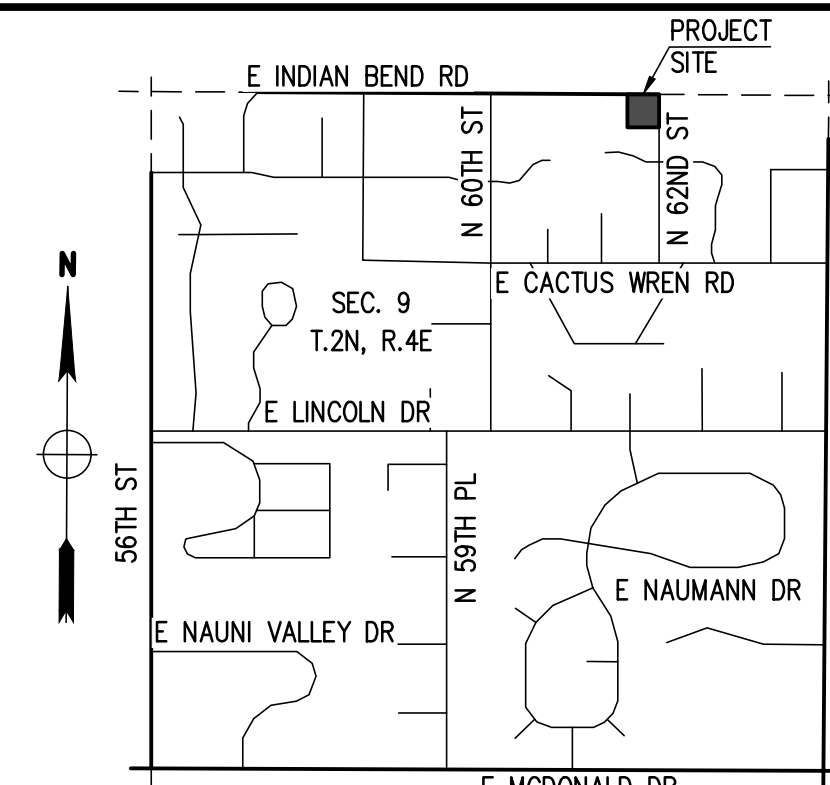
NOTE

1. NO WORK OF ANY KIND CAN COMMENCE UNTIL ALL STORM WATER POLLUTION BMP'S ARE IN PLACE AND INSPECTED BY THE TOWN. ONLY UNTIL THE TOWN HAS APPROVED THE STORM WATER BMP'S MAY ANY CONSTRUCTION BEGIN.
2. SEDIMENTATION CONTROL DEVICES (SILT BARRIERS) SHALL REMAIN IN PLACE AFTER DEMOLITION IS COMPLETE. SEDIMENTATION CONTROL DEVICES SHALL BE KEPT IN GOOD REPAIR, INSPECTED MONTHLY, INSPECTED AFTER EACH RAIN EVENT, AND MAINTAINED AS NEEDED BY THE DEMOLITION PERMIT APPLICANT/OWNER.
3. SEDIMENTATION CONTROL DEVICE INSPECTION LOG SHALL BE MAINTAINED BY APPLICANT AND/OR OWNER AND MADE AVAILABLE TO THE TOWN UPON REQUEST.

SWPPP KEY-NOTES

1. STABILIZED CONSTRUCTION ENTRANCE PER FDCMC BMP-37 THROUGH BMP-40 AND DETAILS ON SHEET SP-2
2. DUST CONTROL PER FDCMC BMP-43 THROUGH BMP-46
3. SILT FENCE PER FDCMC BMP-63 THROUGH BMP-68, EPA STANDARDS AND DETAILS, AND DETAILS ON SHEET SP-2
4. DESIGNATED CONCRETE WASHOUT VESSEL PER FDCMC BMP-99 THROUGH BMP-100 AND DETAILS ON SHEET SP-2

5. RETENTION/DETENTION BASIN
6. DUMPSTER/TRASH CONTAINER
7. ROCK OUTLET PROTECTION
8. INLET PROTECTION PER DETAILS ON SHEET SP-2
9. DESIGNATED PAINT/SOLVENT WASHOUT VESSEL PER FDCMC BMP-99 THROUGH BMP-100 AND DETAILS ON SHEET SP-2
10. DESIGNATED HAZARDOUS WASTE CONTAINMENT AREA. SEGREGATE POTENTIALLY HAZARDOUS WASTE FROM NON-HAZARDOUS CONSTRUCTION SITE WASTE. HAZARDOUS WASTES ARE NOT TO BE DISPOSED OF IN DUMPSTER AND SHALL BE HAULED TO AN APPROPRIATE DISPOSAL AND/OR RECYCLING FACILITY.



VICINITY MAP

NTS

OWNER

A & C PROPERTIES INC
4530 E SHEA BLVD., STE 100
PHOENIX, AZ 85028

SITE DATA

APN: 169-35-014
ADDRESS: 6149 E INDIAN BEND RD
PARADISE VALLEY, AZ 85253
ZONING: R-43 (HILLSIDE)
LOT AREA: 47,013 S.F. (1.079 AC.)
Q.S. #: 22-42
TOTAL FLOOR AREA: 10,373 S.F.
FLOOR AREA RATIO: 22% < 25%

SHEET INDEX

SP-1 - COVER SHEET/SWPPP PLAN
SP-2 - DETAILS

UTILITIES

WATER: EPCOR WATER
SANITARY SEWER: TOWN OF PARADISE VALLEY
ELECTRIC: ARIZONA PUBLIC SERVICE
TELEPHONE: CENTURY LINK, COX COMM.
NATURAL GAS: SOUTHWEST GAS
CABLE TV: CENTURY LINK, COX COMM.

LEGAL DESCRIPTION

LOT 14, EGYPTIAN HILLS, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 69 OF MAPS, PAGE 18.

CONTAINING 47,013 S.F. (1.079 AC.); MORE OR LESS.

BENCHMARK

BRASS CAP FLUSH AT THE INTERSECTION OF INDIAN BEND RD AND 60TH ST HAVING AN ELEVATION OF 1423.873 TOWN OF PARADISE VALLEY (NAVD 88) DATUM, GDACS# 24524-1.

BASIS OF BEARINGS

THE MONUMENT LINE OF INDIAN BEND ROAD, THE BEARING OF WHICH IS S90°00'00"E.

DRAINAGE STATEMENT

1. ULTIMATE STORM OUTFALL IS LOCATED AT THE SOUTHWEST PROP. CORNER LINE AT ELEVATION OF 1404.0.
2. NEW SINGLE FAMILY RESIDENCE IS PROPOSED WITH THIS PROJECT.
3. PROPOSED DEVELOPMENT DOES NOT IMPACT DRAINAGE CONDITIONS OF ADJOINING LOTS.
4. HISTORIC DRAINAGE PATTERNS ARE PRESERVED.
5. THE MINIMUM FINISH FLOOR ELEVATIONS SHOWN ARE SAFE FROM INUNDATION DURING A 100-YEAR PEAK RUN-OFF EVENT IF CONSTRUCTED PER THE APPROVED CIVIL PLANS.
6. PROPOSED STORM DRAIN SYSTEM SHALL BE INSPECTED AND CLEANED FROM DEBRIS AND SILT AFTER EVERY MAJOR STORM EVENT.
7. CHECK DAMS, RIPRAP AND BOULDERS ARE SPECIFIED AT ALL POINTS OF DISCHARGE TO MITIGATE EROSION AND TO CONVERT CONCENTRATED FLOWS BACK TO SHEET FLOWS.
8. ON-SITE RETENTION IS PROPOSED FOR THE RUNOFF GENERATED BY THE NEW ROOF AND AUTO-COURT AREA.

GENERAL NOTES

1. THIS PROJECT IS SUBJECT TO THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS FOR CONSTRUCTION SITES UNDER THE ENVIRONMENTAL PROTECTION AGENCY (EPA) GENERAL PERMIT FOR ARIZONA. OWNERS, DEVELOPERS, ENGINEERS, AND/OR CONTRACTORS ARE REQUIRED TO PREPARE ALL DOCUMENTS REQUIRED BY THIS REGULATION, INCLUDING BUT NOT LIMITED TO STORM WATER POLLUTION PROTECTION PLAN (SWPPP), NOTICE OF INTENT (NOI) AND NOTICE OF TERMINATION (NOT).
2. A COPY OF THE APPROVED GRADING AND DRAINAGE PLAN FOR THIS PROJECT, TOGETHER WITH A COPY OF THE NOTICE OF INTENT (NOI) AND THIS STORM WATER POLLUTION PROTECTION PLAN (SWPPP), SHALL BE MAINTAINED ON THE SITE AND AVAILABLE FOR REVIEW. THOSE ELEMENTS OF THE GRADING AND DRAINAGE PLAN PERTINENT TO OR REFERENCED ON THE SWPPP SHALL BE CONSIDERED A PART OF THE SWPPP.
3. COMMUNITY DEVELOPMENT DEPARTMENT'S FIELD INSPECTION GROUP SHALL BE NOTIFIED 48 HOURS BEFORE ANY ON-SITE AND/OR OFF-SITE CONSTRUCTION BEGINS, AT (480) 348-3692.
4. THE OPERATOR SHALL OBTAIN A DUST CONTROL PERMIT FROM MARICOPA COUNTY HEALTH DEPARTMENT AND PERFORM MEASURES AS REQUIRED BY THE PERMIT TO PREVENT EXCESS DUST. ALL PERMITTEES MUST SUBMIT A TENTATIVE CONSTRUCTION SCHEDULE AND COMPLETION TIME.
5. THE OPERATOR SHALL PERFORM, AT A MINIMUM, A VISUAL INSPECTION OF THE CONSTRUCTION SITE ONCE EVERY MONTH AND WITHIN 24 HOURS OF RAINFALL GREATER THAN OR EQUAL TO A HALF OF AN INCH OR MORE. THE OPERATOR SHALL PREPARE A REPORT DOCUMENTING HIS/HER FINDINGS ON THE CONDITIONS OF THE SWPPP CONTROLS AND NOTE ANY EROSION PROBLEM AREAS. THE OPERATOR'S REPORT IS TO BE SUBMITTED TO THE DEVELOPMENT SERVICES DEPARTMENT PROJECT ENGINEERING DIVISION CONSTRUCTION INSPECTOR FOR REVIEW AND APPROVAL. FACILITIES SHALL BE MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING. IN ADDITION, ALL TEMPORARY SILTATION CONTROLS SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL SUCH TIME THAT CLEARING AND/OR CONSTRUCTION IS COMPLETED, PERMANENT DRAINAGE FACILITIES ARE OPERATIONAL, AND THE POTENTIAL FOR EROSION HAS PASSED.
6. THE OPERATOR SHALL AMEND THIS PLAN AS NECESSARY DURING THE COURSE OF CONSTRUCTION TO RESOLVE ANY PROBLEM AREAS, WHICH BECOME EVIDENT DURING THE CONSTRUCTION AND/OR DURING RAINFALLS.
7. THE PERMITTEE SHALL FILE A NOTICE OF TERMINATION (NOT) AFTER COMPLETION OF CONSTRUCTION AND PLACEMENT OF FINAL LANDSCAPE MATERIALS. THE NOT IS TO BE SUBMITTED TO THE DEVELOPMENT SERVICES DEPARTMENT PROJECT ENGINEERING INSPECTOR TO FINAL THE SWPPP PERMIT.
8. THE PERMITTEE SHALL SAVE ALL RECORDS, INCLUDING THE NOI, SWPPP, NOT, AND INSPECTION REPORTS, ON FILE FOR A MINIMUM OF THREE YEARS FROM THE DATE OF FILING THE NOT.
9. THE IMPLEMENTATION OF THESE PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE FACILITIES IS THE RESPONSIBILITY OF THE PERMITTEE/CONTRACTOR UNTIL ALL CONSTRUCTION IS APPROVED AND NOT SUBMITTED TO THE DEVELOPMENT SERVICES DEPARTMENT PROJECT ENGINEERING DIVISION INSPECTOR.
10. THE FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES IN SUCH A MANNER AS TO INSURE THAT SEDIMENT-LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM OR VIOLATE APPLICABLE WATER STANDARDS, AND MUST BE INSTALLED AND IN OPERATION PRIOR TO ANY GRADING OR LAND CLEARING. WHEREVER POSSIBLE, MAINTAIN NATURAL VEGETATION FOR SILT CONTROL.
11. THE CONTRACTOR'S NOI MUST BE RECEIVED PRIOR TO THE SWPPP PERMIT BEING ISSUED. THE CONTRACTOR THAT WILL BE PULLING THE G&D PERMIT MUST HAVE THE SWPPP PERMIT ISSUED IN THEIR NAME.
12. ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTOR DITCHES, PIPES, PROTECTIVE BERMS, BARRIER WALLS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT ADJACENT BUILDINGS OR PROPERTY FROM STORM RUNOFF MUST BE COMPLETED PRIOR TO BUILDING CONSTRUCTION. THE NATURAL FLOW OF RAINWATER AND OTHER SURFACE DRAINAGE FROM THE PROPERTY MAY NOT BE ALTERED IN ANY WAY.
13. CONTRACTOR SHALL PROVIDE STABILIZATION FABRIC TO ALL SLOPES EQUAL TO OR GREATER THAN 3H:1V.
14. STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROVIDED AT ALL LOCATIONS WHERE CONSTRUCTION VEHICLES WILL ENTER AND EXIT THE CONSTRUCTION SITE.
15. REFER TO SHEET 3 FOR STANDARD DETAILS OF BEST MANAGEMENT PRACTICES.
16. WHEN DEEMED NECESSARY, A 6-FOOT HIGH CHAIN LINK FENCE MUST BE INSTALLED AROUND THE CONSTRUCTION AREA TO PREVENT ANY POTENTIAL SAFETY HAZARD FOR THE PUBLIC.

APPROVAL

THIS SET OF PLANS HAS BEEN REVIEWED FOR COMPLIANCE WITH TOWN OF PARADISE VALLEY REQUIREMENTS PRIOR TO ISSUANCE OF PERMIT. THE TOWN NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. THIS COMPLIANCE APPROVAL SHALL NOT PREVENT THE TOWN ENGINEER FROM REQUIRING CORRECTIONS OF ERRORS OR OMISSIONS IN THE PLANS TO BE FOUND IN VIOLATION OF LAWS OR ORDINANCES.

TOWN ENGINEER
TOWN OF PARADISE VALLEY

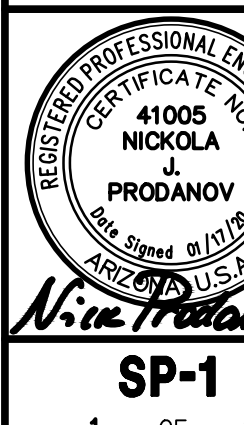
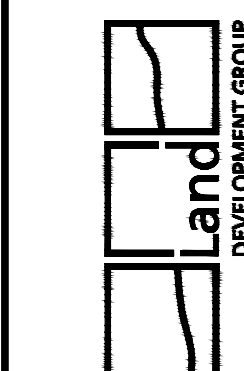
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STORM WATER POLLUTION
PREVENTION PLAN

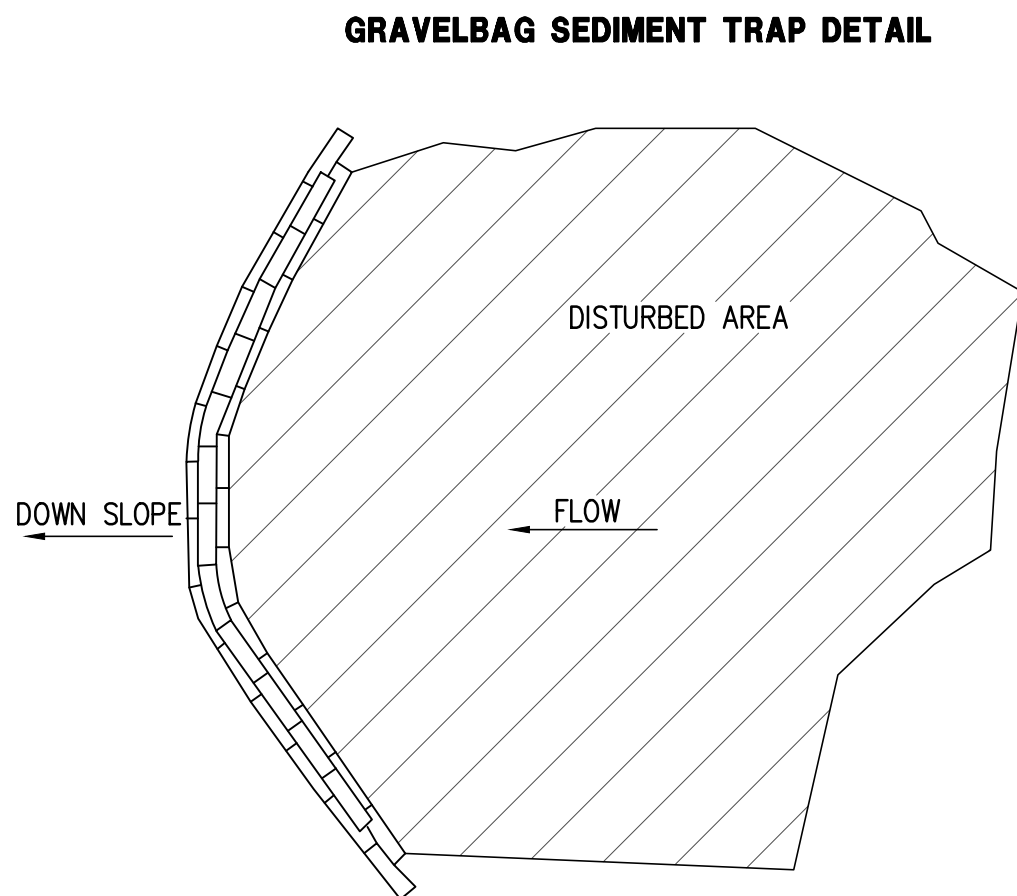
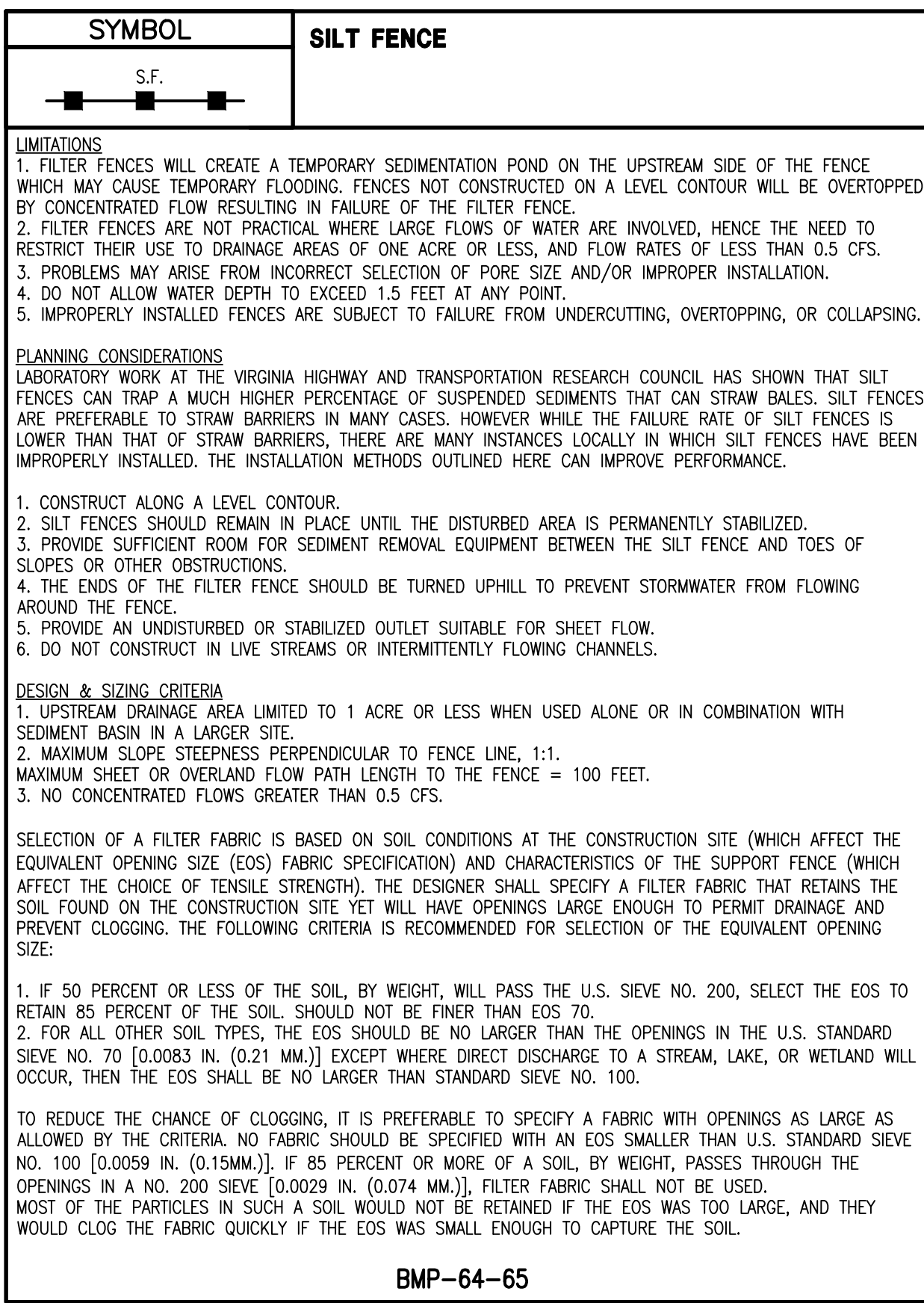
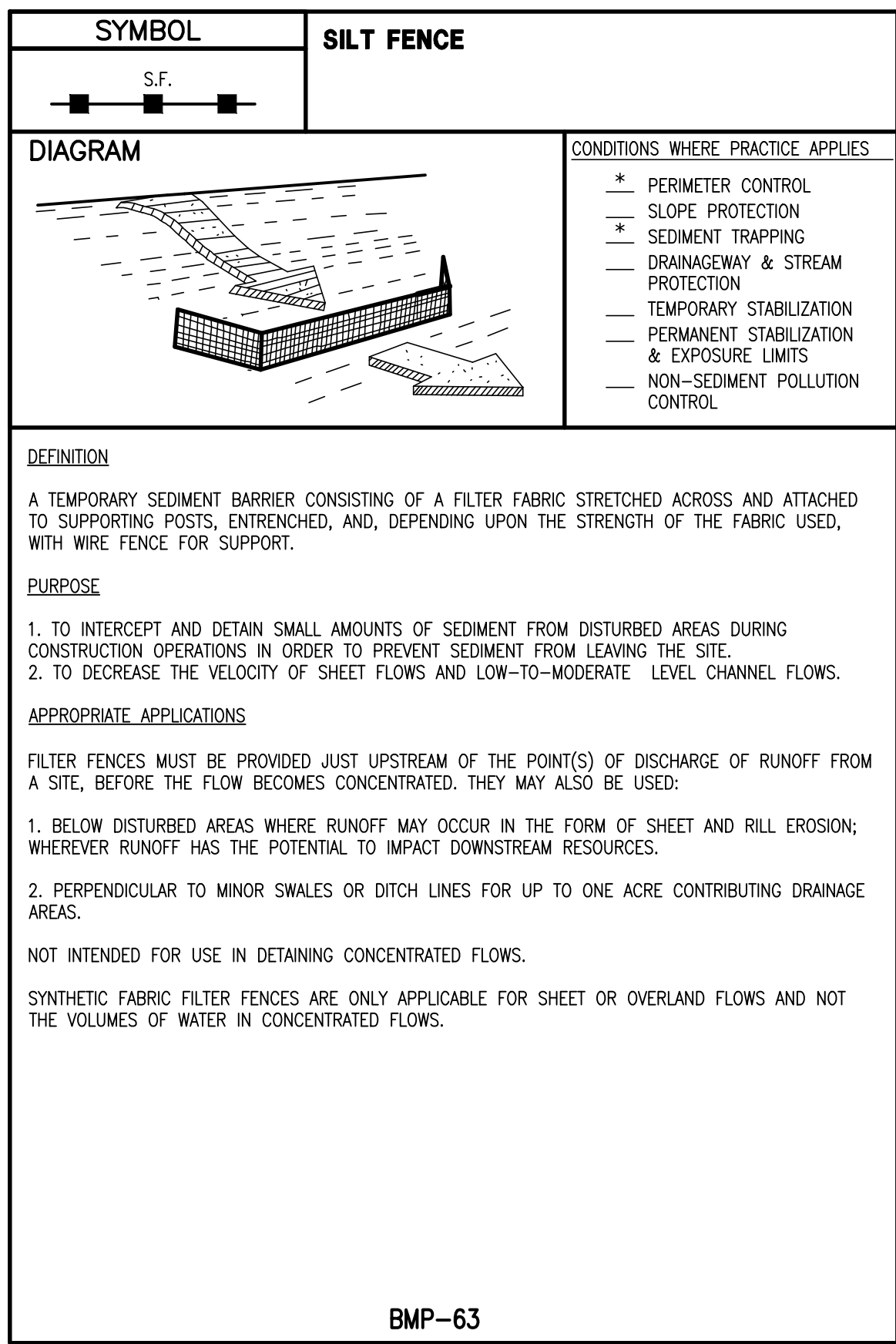
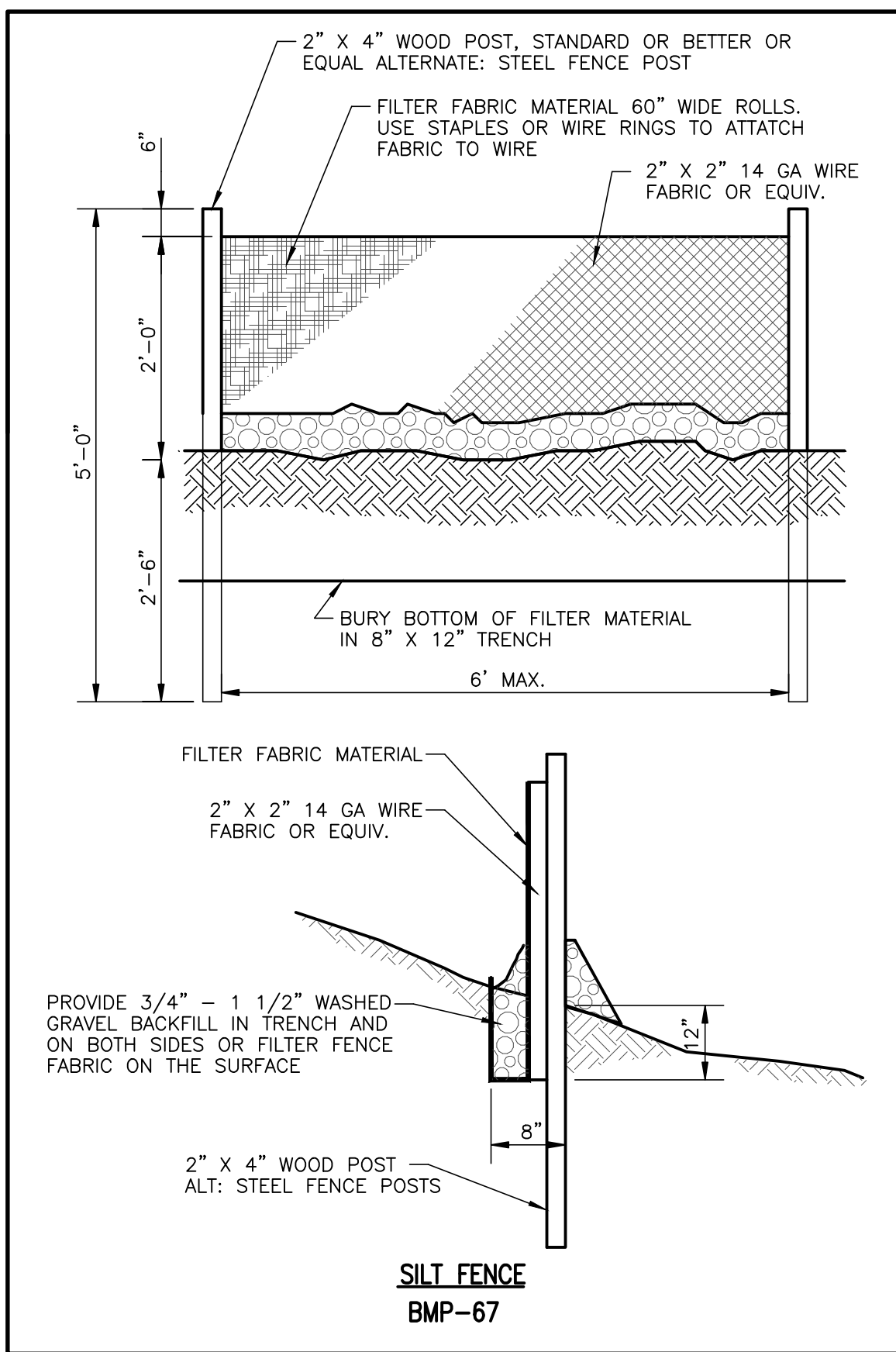
CATTANEO RESIDENCE
6149 E INDIAN BEND RD
PARADISE VALLEY, AZ 85253

P. 602 889 1984 | F. 602 445 9482
8808 N CENTRAL AVE., SUITE 288
PHOENIX, AZ 85020
PHOENIX @ LDENG.COM

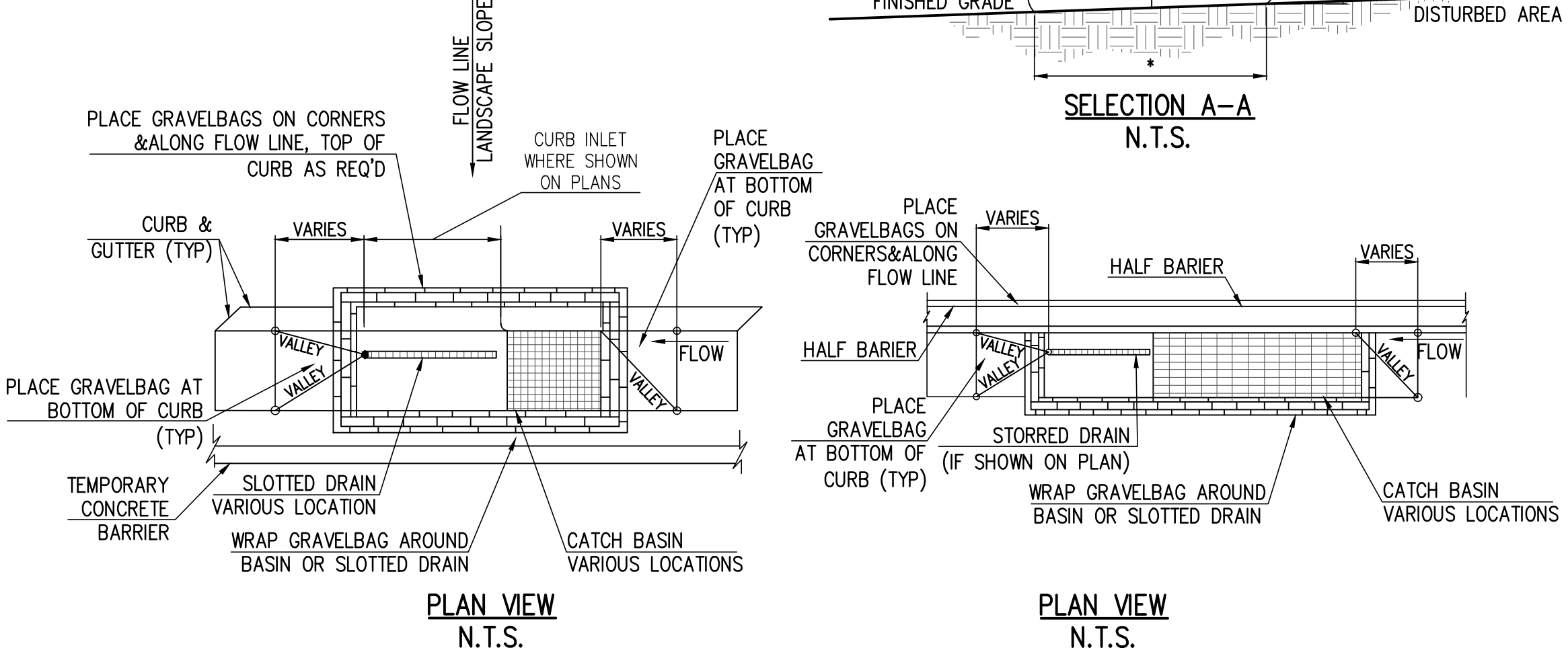


SP-1
1 OF 2

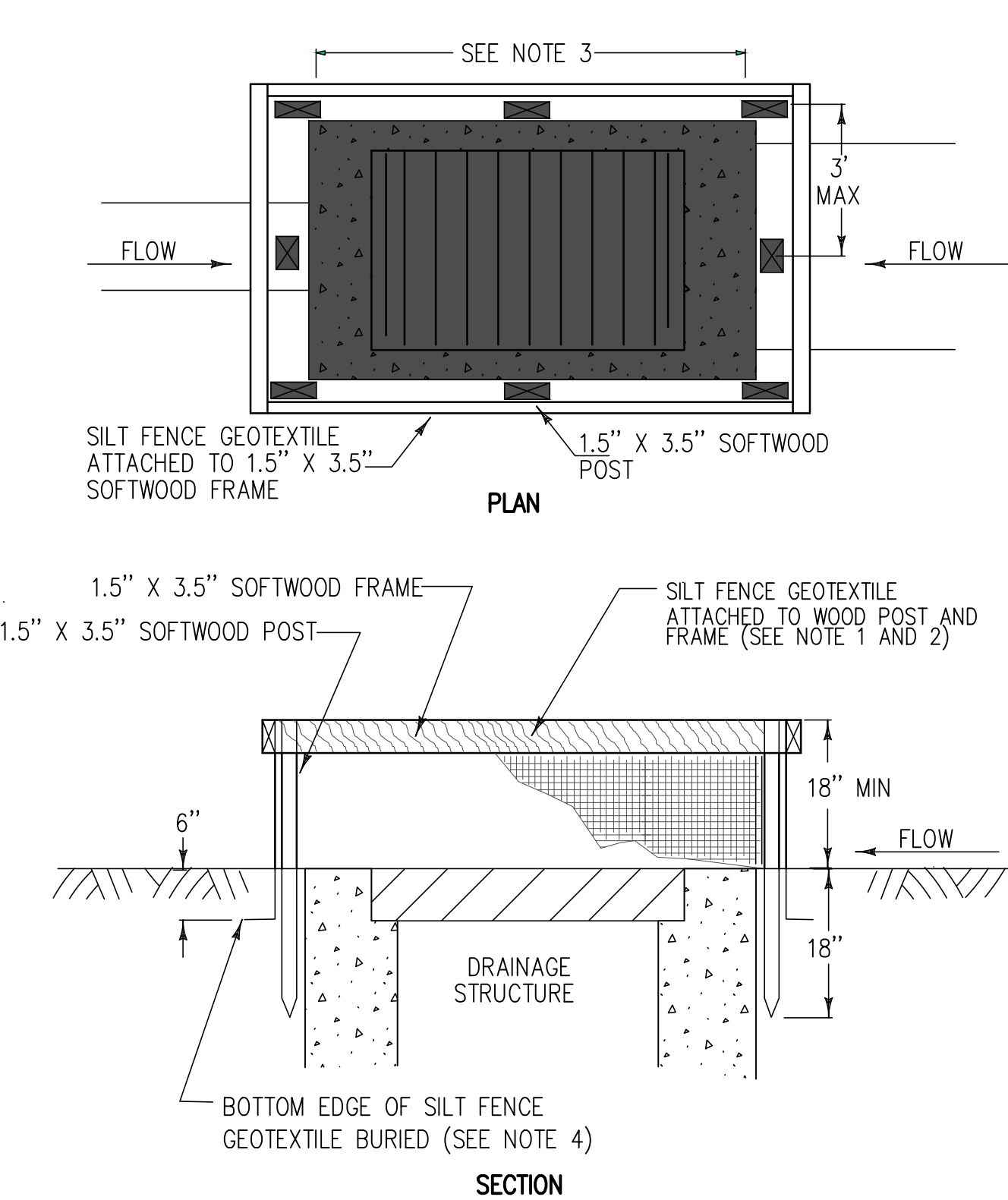
STORM WATER POLLUTION PREVENTION PLAN BEST MANAGEMENT PRACTICES DETAILS



SEDIMENT TRAP ALONG THE DOWNSLOPE PERIMETERS OF CONSTRUCTION DISTURBED AREA N.T.S.



DROP INLET PROTECTION SILT FENCE DROP INLET PROTECTION

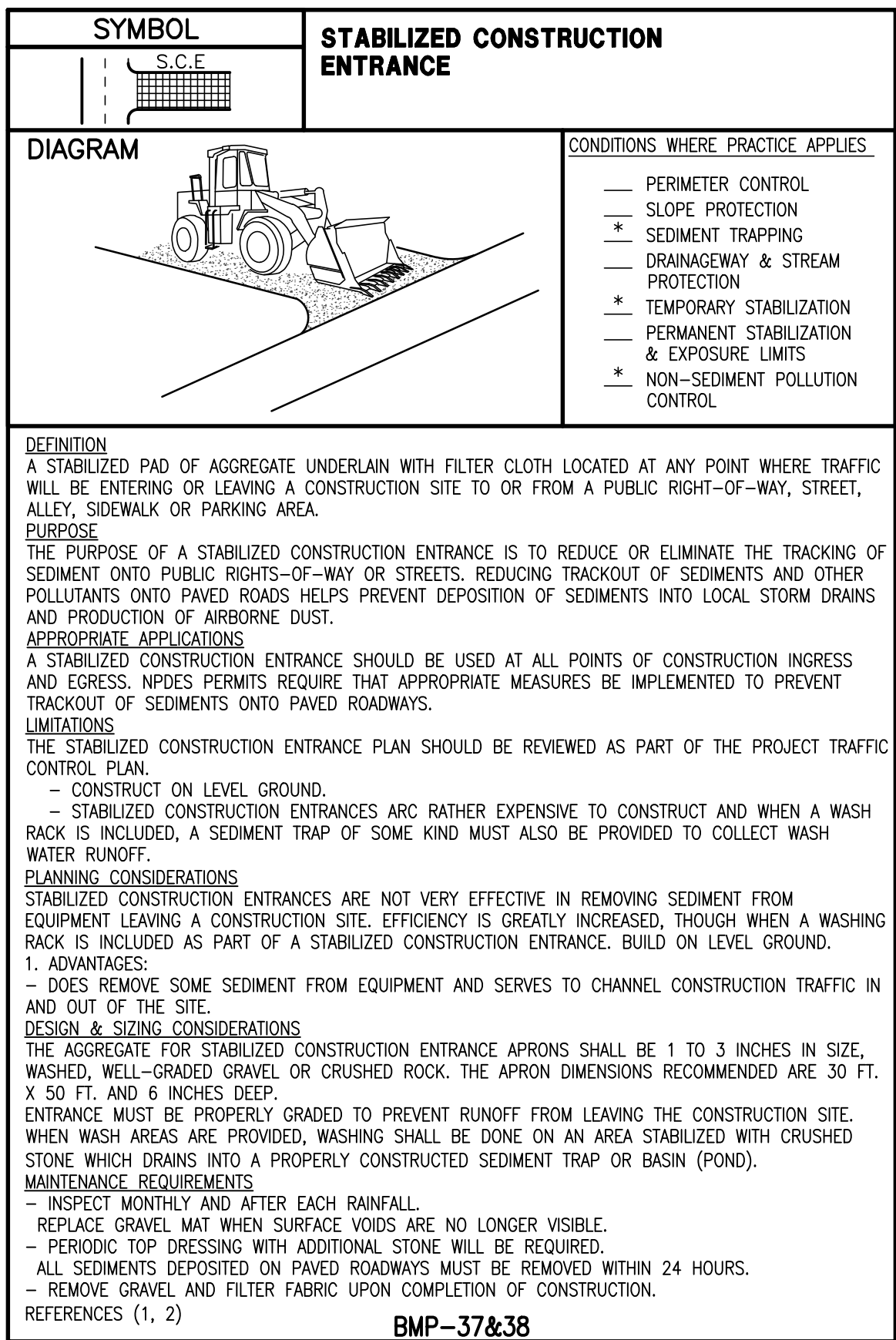
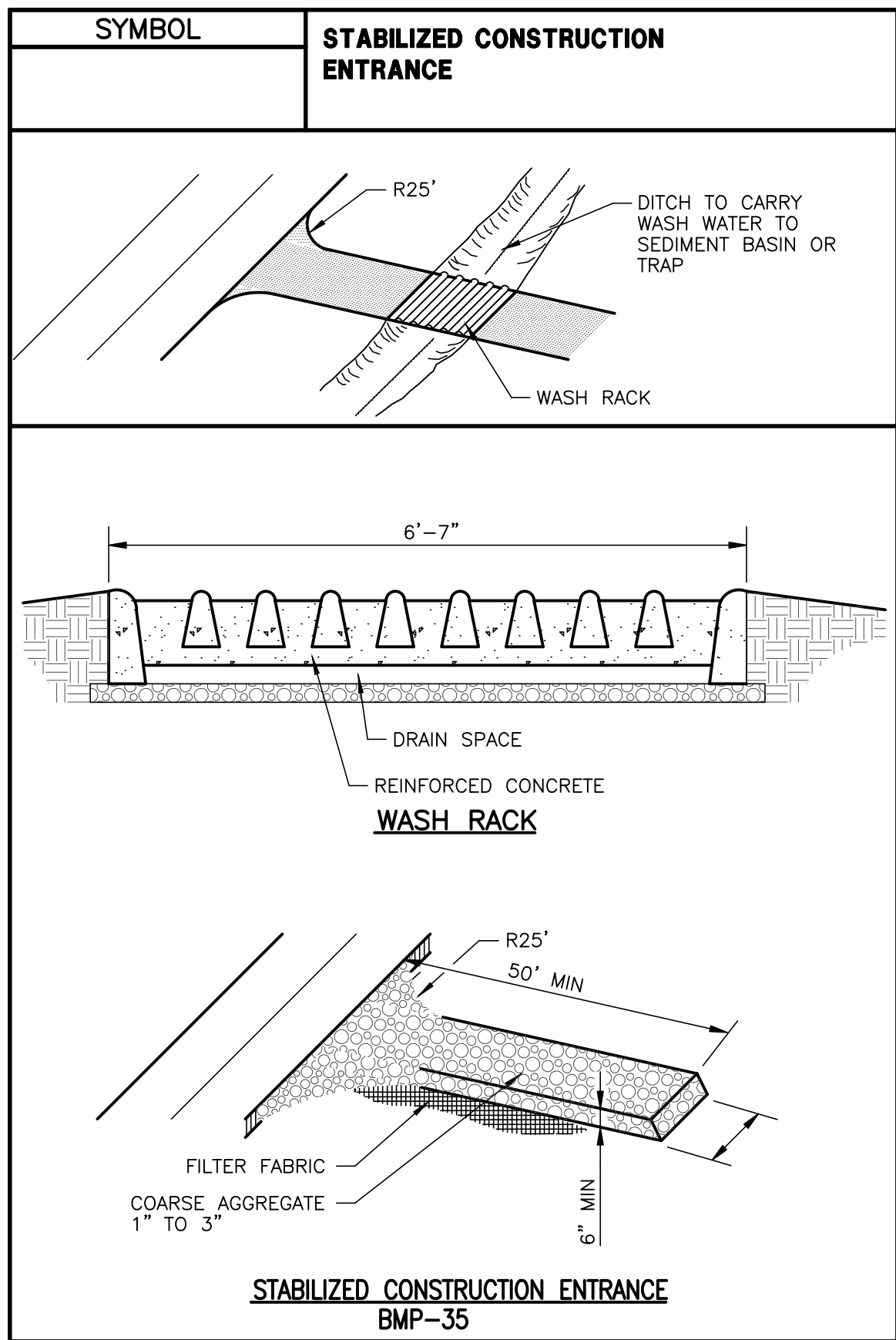
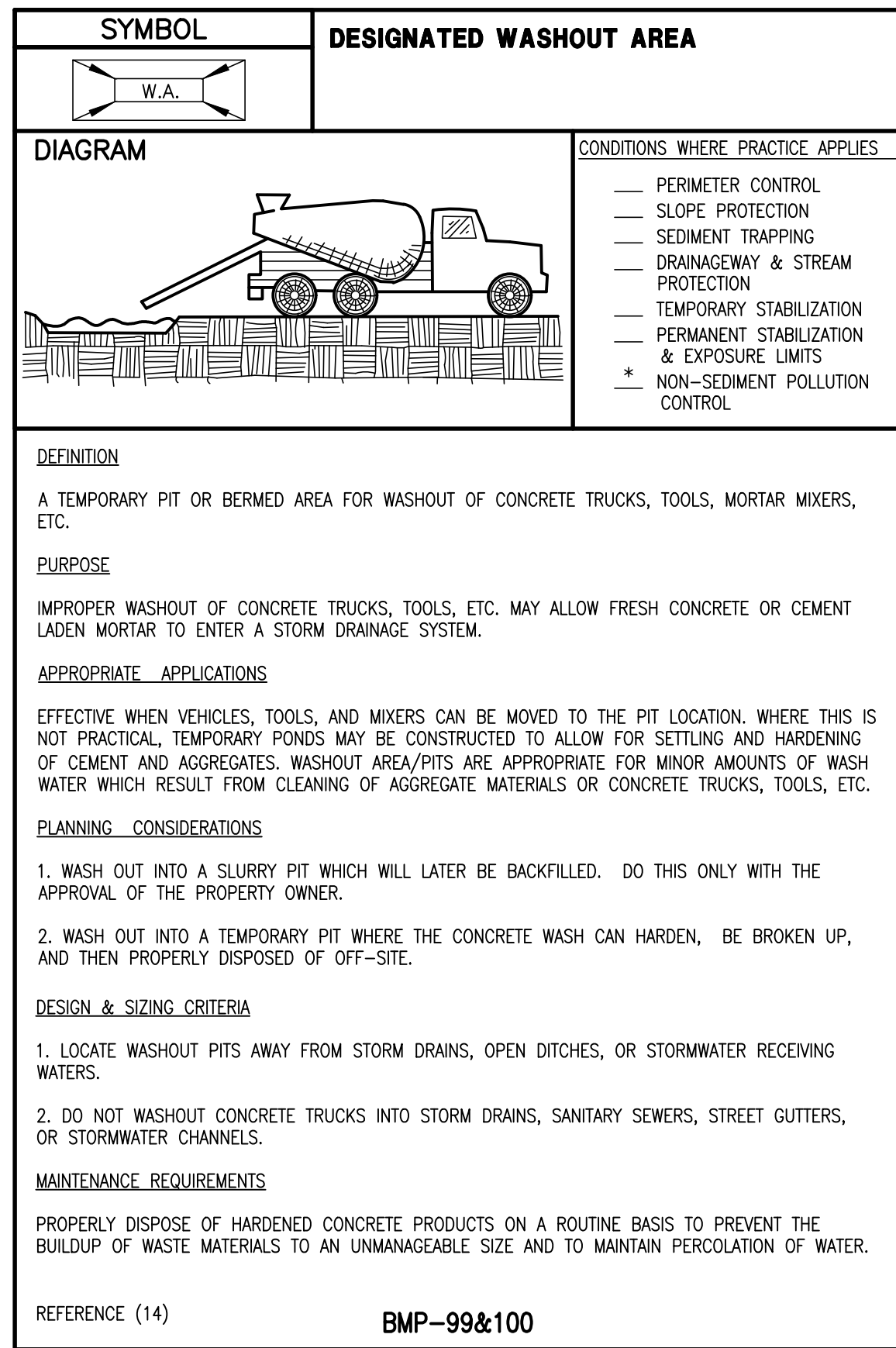


APPLICATION NOTES:

1. THE PRIMARY PURPOSE OF DRAINAGE STRUCTURE INLET PROTECTION IS TO PREVENT SEDIMENT FROM ENTERING A DRAINAGE SYSTEM BY PONDING WATER WHICH ALLOWS SEDIMENT TO FALL OUT OF SUSPENSION.
2. THESE EXAMPLES OF DROP INLET PROTECTION ARE NOT INTENDED FOR USE ON GRADES. ON GRADE THEY MAY CAUSE WATER TO BYPASS THE STRUCTURE, CREATING ADDITIONAL EROSION OR FLOODING.
3. POSSIBLE MODIFICATIONS FOR USE ON GRADE INCLUDE ADDING A BERM DOWNSTREAM OF THE INLET TO CREATE PONDING. CHECK DAMS MAY ALSO BE USED UPSTREAM OF THE INLET TO SLOW VELOCITIES.
4. PREFABRICATED DROP INLET PROTECTION SPECIFICATIONS SHALL BE PROVIDED TO THE ENGINEER FOR APPROVAL PRIOR TO USE.

GENERAL NOTES:

1. THE TOP OF THE INLET PROTECTION SHALL BE SET AT THE MAXIMUM DESIRED WATER LEVEL, BASED ON FIELD LOCATION AND CONDITIONS.
2. SILT FENCE GEOTEXTILE SHALL BE A SINGLE CONTINUOUS PIECE TO ELIMINATE JOINTS.
3. SPACE SILT FENCE POSTS EVENLY AROUND INLET WITH A MAXIMUM SPACING OF 3 FEET. DRIVE POSTS A MINIMUM OF 18 INCHES INTO GROUND. WIRE MESH MAY BE REQUIRED BEHIND GEOTEXTILE TO PROVIDE SUPPORT.
4. SECURE THE ENDS OF THE APRON FOR THE PREFABRICATED DRAINAGE STRUCTURE INLET PROTECTION WITH STAPLES AS DETAILED IN THE PLAN VIEW OR AS RECOMMENDED BY THE MANUFACTURERS SPECIFICATIONS.
5. MEASURES SHALL BE INSPECTED EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF A STORM EVENT GREAT ENOUGH TO CAUSE WATER TO LEAVE THE CONSTRUCTION SITE.
6. MEASURES SHALL BE CLEANED AND REPAIRED AS NEEDED. SEDIMENT SHALL BE REMOVED WHEN ACCUMULATION REACHES ONE-HALF OF THE MEASURE HEIGHT. SEDIMENT SHALL BE DISPOSED OF AS UNSUITABLE MATERIAL.



STORM WATER POLLUTION PREVENTION PLAN DETAILS

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