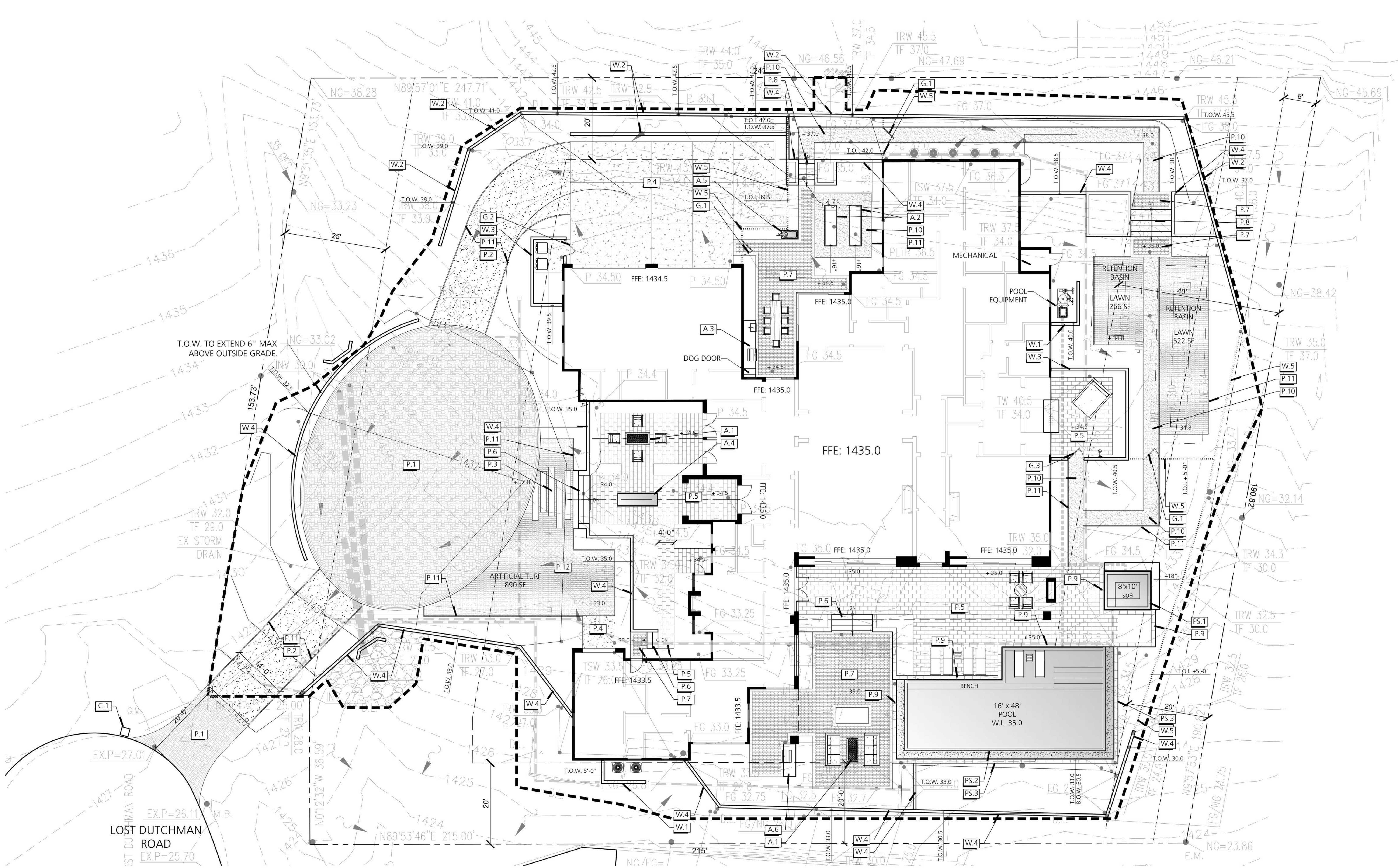




HARDSCAPE LEGEND

PAVING / STEPS	SHEET
P.1 COBBLE DRIVE. COLOR: GRAY CHARCOAL MIX, SAND SET W/ POLYMERIC SAND. SUPPLIER: BDG. BORDER: 3 ROWS OF MORTAR SET COBBLE STACKED SIDE BY SIDE (LRV: 33).	-
P.2 1/4" DECOMPOSED GRANITE FINES MIXED W/ ON-SITE SOILS TO MATCH NATIVE HILLSIDE.	-
P.3 CIP CONCRETE PADS. INTEGRAL COLOR CONCRETE. COLOR: DOVE TAIL GRAY (LRV: 26).	-
P.4 AUTO COURT PAVING: EXPOSED AGGREGATE INTEGRAL COLOR CONCRETE. COLOR: DOVE TAIL GRAY (LRV: 26).	-
P.5 LIMESTONE PAVERS, SAND SET, COLOR: BLUE HOT SPUR HONED (LRV: 35).	-
P.6 CIP CONCRETE STEPS W/ LIMESTONE TREAD & RISERS, MORTAR SET. COLOR: BLUE HOT SPUR HONED (LRV: 35).	-
P.7 SAND SET BRICK IN RUNNING BOND PATTERN. BANDING: MORTAR SET 4"x8" BRICK LAID SIDE BY SIDE. BRICK: NORTH AMERICAN STANDARD WHINSTONE (LRV: 26).	-
P.8 CIP CONCRETE STEPS W/ BRICK VENEER TREAD & RISERS, MORTAR SET. BRICK: NORTH AMERICAN STANDARD BRICK WHINSTONE (LRV: 26).	-
P.9 2" THICK BLUE HOT SPUR HONED COPING W/ DOUBLE EASED EDGE. 1" CANTILEVER (LRV: 35).	-
P.10 PEA GRAVEL - 3/8" SCREEN PEA GRAVEL; 2" THICK OVER COMPACTED SUB-BASE. COLOR: CALIFORNIA GRAY BLEND (LRV: 31).	-
P.11 LAWN & GRAVEL BORDER: 3/8"x6" METAL EDGE. COLOR: BLACKENED METAL (LRV: 16).	-
P.12 GRASSCRETE PAVING.	-

COLUMNS	SHEET
C.1 CMU MAILBOX COLUMN, STUCCO & PAINT TO MATCH HOME. PAINT COLOR: DOVE TAIL GRAY (LRV: 26).	HD.1
WALLS	
W.1 CMU SCREEN WALL, STUCCO & PAINT TO MATCH HOME, SEE PLAN FOR HEIGHT. PAINT COLOR: DOVE TAIL GRAY (LRV: 26).	HD.1
W.2 CMU RETAINING WALL, STUCCO & PAINT TO MATCH HOME, SEE PLAN FOR HEIGHT. PAINT COLOR: DOVE TAIL GRAY (LRV: 26).	HD.1
W.3 CMU SCREEN WALL W/ PRECAST CONCRETE CAP. STUCCO & PAINT WALL TO MATCH HOME, SEE PLAN FOR HEIGHT. WALL & CAP TO BE DOVE TAIL GRAY (LRV: 26).	HD.1
W.4 CMU RETAINING WALL W/ PRECAST CONCRETE CAP. STUCCO & PAINT WALL TO MATCH HOME, SEE PLAN FOR HEIGHT. WALL & CAP TO BE DOVE TAIL GRAY (LRV: 26).	HD.1
W.5 METAL FIN FENCE, SEE PLAN FOR HEIGHT. COLOR: BLACKENED METAL (LRV: 16).	HD.1

GATES	SHEET
G.1 4'-0" WIDE METAL FIN FENCE GATE. COLOR: BLACKENED METAL (LRV: 16).	HD.1
G.2 4'-0" WIDE SOLID METAL PANEL GATE. PAINT COLOR: DOVE TAIL GRAY TO MATCH ADJACENT WALLS (LRV: 26).	HD.2
G.3 4'-0" WIDE WOOD GATE AT MASTER BATH (LRV: 37).	HD.2
AMENITIES	
A.1 METAL GAS FIREPIT. COLOR: BLACKENED METAL (LRV: 16).	HD.2
A.2 RAISED METAL GARDEN. COLOR: BLACKENED METAL (LRV: 16).	HD.2
A.3 CMU BBQ STRUCTURE. STUCCO & PAINT TO MATCH HOME. PAINT COLOR: DOVE TAIL GRAY (LRV: 26).	HD.2
A.4 BLACK HONED GRANITE WATER FEATURE (LRV: 3).	HD.3
A.5 WATER FEATURE WITH HAND WATER PUMP. COLOR: TO MATCH BLUE HOT SPUR HONED PAVING (LRV: 35).	HD.3
A.6 BBQ BY ARCHITECT. PAINT COLOR: DOVE TAIL GRAY (LRV: 26).	-
POOL/SPA	
PS.1 RAISED SPA - BY POOL BUILDER. COLOR: STEEL GRAY PEBBLE FINA (LRV: 18).	HD.3
PS.2 POOL WALL - BY POOL BUILDER. TILE EXTERIOR SURFACE W/ VINTAGE WOOD SERIES MIST TILE. COLOR: GRAY (LRV: 16).	-
PS.3 POOL TROUGH WALL - BY POOL BUILDER. BLUE HOT SPUR HONED CAP TO MATCH ADJACENT PAVING (LRV: 35). WALL: STUCCO & PAINT TO MATCH HOME, SEE PLAN FOR HEIGHT. PAINT COLOR: DOVE TAIL GRAY (LRV: 26).	-

1 10.03.19 PV HILLSIDE COMMENTS



LANDSCAPE + CONSTRUCTION MANAGEMENT

7000 EAST MCDOWELL ROAD
SUITE 100
SCOTTSDALE, ARIZONA 85257
TEL: 480.481.3433
FAX: 480.481.3533

BERGHOFFDESIGN.COM

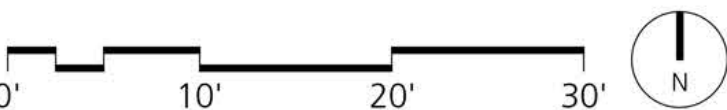
PETERSON RESIDENCE

6837 NORTH LOST DUTCHMAN ROAD
PARADISE VALLEY, ARIZONA 85253

HP.1 HARDSCAPE PLAN

SEPTEMBER 27 . 2019

CALL TWO WORKING DAYS
BEFORE YOU DIG
(602) 263-1100
1-800-STAKE-IT
(OUTSIDE MARICOPA COUNTY)



CLIENT
REGAL AMERICAN HOMES
AVRAHAM AZOULAY
4408 N. 12TH STREET
PHOENIX, AZ, 85014
PH: 480-430-1035

SURVEYOR/ENGINEER
D & M ENGINEERING
ATTN: DURAN THOMPSON
1020 EAST GILBERT DRIVE, SUITE D
TEMPE, AZ 85281
(480) 350-9590

LEGAL DESCRIPTION

LOT 24 CLUB ESTATES, AS RECORDED IN BOOK 74 AND PAGE 49 OF THE OFFICIAL RECORDS OF MARICOPA COUNTY, ARIZONA

PROJECT DATA

- PROJECT ADDRESS: 6837 NORTH LOST DUTCHMAN ROAD
PARADISE VALLEY, AZ 85253
- LOT AREA: 46,983 SF - 1.08 ACRES
- ASSESSOR'S PARCEL NUMBER: 169-32-026
- ZONING: R-43
- FLOOR AREA RATIO (F.A.R.): 11,335/46,983 ~ 24%
- PROPOSED AREA UNDER ROOF: 11,335 SF
- NEW DRIVEWAY MATERIAL: CONCRETE PAVEMENT - 5,587 SF
MAXIMUM DRIVEWAY SLOPE: 10%
- EARTHWORK QUANTITIES: CUT - 1,758 CY ~ FILL 1,700 CY

CIVIL SITE PLAN NOTES

NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL ALL TOWN CODE REQUIREMENTS ARE COMPLIED INCLUDING, BUT NOT LIMITED TO LANDSCAPING, GROUND RESTORATION, FIRE FLOW, FIRE SAFETY AND ALL ONSITE AND OFFSITE IMPROVEMENTS.

ALL OUTDOOR LIGHTING SHALL BE IN CONFORMANCE WITH ARTICLE XXII OF THE TOWN ZONING ORDINANCE.

ALL EXCESS FILL MATERIAL SHALL BE REMOVED FROM THE SITE WITH NO NEW SPILL SLOPES.

THE USE OF HYDRAULIC RAM HAMMERS, OR OTHER HEAVY EQUIPMENT USED TO CUT THROUGH ROCK, INCLUDING MACHINERY WITH AUDIBLE BACK UP WARNING DEVICES SHALL BE LIMITED TO USE BETWEEN THE HOURS OF 7:00AM OR SUNRISE, WHICHEVER IS LATER, AND 6:00PM OR SUNSET, WHICHEVER IS EARLIER, MONDAY THROUGH FRIDAY, WITH LIMITED WORK ON SATURDAY AND NO WORK ON SUNDAY OR LEGAL HOLIDAYS. RAM HAMMERS AND OTHER HEAVY EQUIPMENT CANNOT BE USED ON SATURDAYS WITHOUT A WAIVER FROM THE TOWN MANAGER.

CONSTRUCTION STAKING AND/OR FENCING SHALL BE PLACED AROUND THE CONSTRUCTION SITE SO AS TO PROTECT THE UNDISTURBED NATURAL.

RETENTION CALCULATIONS

PRE-IMPROVEMENT CONDITIONS:

NATIVE DESERT: 46983 sf (C: 0.50)

IMPROVED CONDITIONS:

IMPERVIOUS AREA (ROOF/CONCRETE): 20,184 SF (C: 0.95)
LANDSCAPED AREA (DESERT): 26,799 SF (C: 0.50)

POST-IMPROVEMENT WEIGHTED RUN-OFF COEFFICIENT (Cw-post):

IMPERVIOUS AREA X 0.95 + LANDSCAPED (DESERT) AREA X 0.50
46,983
Cw-post-dev: 0.69

RETENTION REQUIRED V (1.100 CF MIN.):

V_R : AREA X DEPTH X (C_{w-dev} - C_{w-pre})
V_R : 46,983 X 2.21 X (0.69 - 0.50)
12

V_R : 1,644 CF

RETENTION PROVIDED:

BASIN 1: 1,743 CF
BASIN 2: 194 CF
TOTAL: 1,937 CF

FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

COMMUNITY NUMBER	PANEL # PANEL DATE	SUFFIX	DATE OF FIRM (INDEX DATE)	FLOOD ZONE	BASE FLOOD ELEV. (IN AO ZONE, USE DEPTH)
040049	1765	L	10-16-13	X	NA
	10-16-13				

DRAINAGE STATEMENT

SITE GRADING AND DEVELOPMENT WILL MAINTAIN EXISTING DRAINAGE PATTERNS. THE MAXIMUM ANTICIPATED WATER SURFACE ELEVATIONS ADJACENT TO THE MAIN RESIDENCE AND GUEST CASITA ARE 1434 AND 1428, RESPECTIVELY. THE FINISHED FLOOR ELEVATIONS OF THE MAIN RESIDENCE AND GUEST CASITA ARE 1435 AND 1433.5, RESPECTIVELY AND SUFFICIENTLY ELEVATED. THE SUBJECT PROPERTY IS IMPACTED BY OFF-SITE STORM WATER RUN-OFF DEVELOPED OVER APPROXIMATELY 6 ACRES OF THE SOUTHERN SLOPES OF MUMMY MOUNTAIN. THE ANTICIPATED PEAK DISCHARGE FROM THE CONTRIBUTING DRAINAGE AREA IS 35 CFS. THE STORM WATER WILL BE ALLOWED TO TRAVERSE THE PROJECT SITE ALONG THE HISTORIC FLOW PATH AND BE CONVEYED VIA TWO 18" CMP STORM DRAIN PIPE UNDER THE DRIVE IN A MANNER CONSISTENT WITH THE EXISTING CONDITIONS. THE CAPACITY OF EACH OF THE PROPOSED STORM DRAIN PIPES GIVEN BY MANNING'S EQUATION FOR OPEN CHANNEL FLOW IS 22.5 CFS. THE PROPOSED ANALYSIS NEGLECTS THE EFFECTS OF PRESSURE HEAD ON THE STORM DRAIN SYSTEM AND YIELDS A CONSERVATIVE ESTIMATE THE OF THE SYSTEMS CAPACITY. THE SITE WILL PROVIDE 1,649 CF OF STORM WATER RETENTION PER THE TOWN'S DESIGN REQUIREMENTS.

PRELIMINARY GRADING PLAN
FOR

6837 NORTH LOST DUTCHMAN, PARADISE VALLEY, ARIZONA

A PORTION OF SECTION 9, TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER

BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

LEGEND

---	BOUNDARY/LOT LINE	TRW	TOP RETAINING WALL
---	EASEMENT LINE	BSL	BUILDING SETBACK LINE
---	SETBACK LINE	UTL	UTILITY
---	EXISTING CONTOUR	R/W	RIGHT OF WAY
---	EXISTING WALL	B/C	BACK OF CURB
---	FLOWLINE	C	CONCRETE
---	EDGE OF PAVEMENT	P	PAVEMENT/PAVER GRADE
---	EX. BACK OF CURB	TF	TOP OF FOOTER
---	CENTERLINE	ESMT.	EASEMENT
---	DISTURBANCE LIMITS	FG	FINISHED GRADE
---	NEW RETAINING/STEM WALL	TSW	TOP STEM WALL
---	EXISTING STORM DRAIN	FL	FLOW LINE
---	EXISTING BUILDING	GR	GRATE
---	EXISTING DISTURBANCE LINE	TW	TOP OF WALL
---	HWE	PLTR	PLANTER
---	NATURAL SOD		
---	ARTIFICIAL TURF		
---	PAVERS		

BENCHMARK

BRASS CAP IN HAND HOLE MARKING THE EAST QUARTER CORNER OF SECTION 9, TOWNSHIP 2 NORTH, RANGE 4 EAST OF GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.
MCDOT POINT NAME: 10888
ELEVATION: 1342.92 (NAVD88)

RETAINING WALL NOTES

NUMBER OF RETAINING WALLS: 15
TOTAL LENGTH OF ALL WALLS: 731
MAXIMUM HEIGHT OF RETAINING WALLS: 8'
MAXIMUM CONTINUOUS LENGTH OF RETAINING WALLS: 162'
MAXIMUM CONTINUOUS OF VISIBLE RETAINING WALL MEASURED FROM ANY POINT AROUND THE PROPERTY: 230 LF

HILLSIDE DISTURBANCE CALCULATIONS

LOT AREA: 46,983 SF ~ 1.079 AC
AREA UNDER ROOF ~ 11,335 SF
FLOOR AREA RATIO ~ 24%
BUILDING PAD SLOPE: 11.7%
VERTICAL: 22'
HORIZONTAL: 188'

ALLOWABLE DISTURBED AREA: 47.94%
ALLOWABLE DISTURBED AREA: 22,524 SF
EXISTING DISTURBED AREA: 28,515 SF
PROPOSED DISTURBED AREA: 21,552 SF (EXCLUDES LIVABLE AREA & CREDITS PAVEMENT D/W AT 75% SEE METHODOLOGY BELOW)
PERCENT OF LOT STEEPER THAN NATURAL GRADE: 0 SF
VOLUME OF CUT: 1,758 CY
VOLUME OF FILL: 1,700 CY

REQUIRED HILLSIDE ASSURANCE (CUT + FILL) X \$25: \$86,450

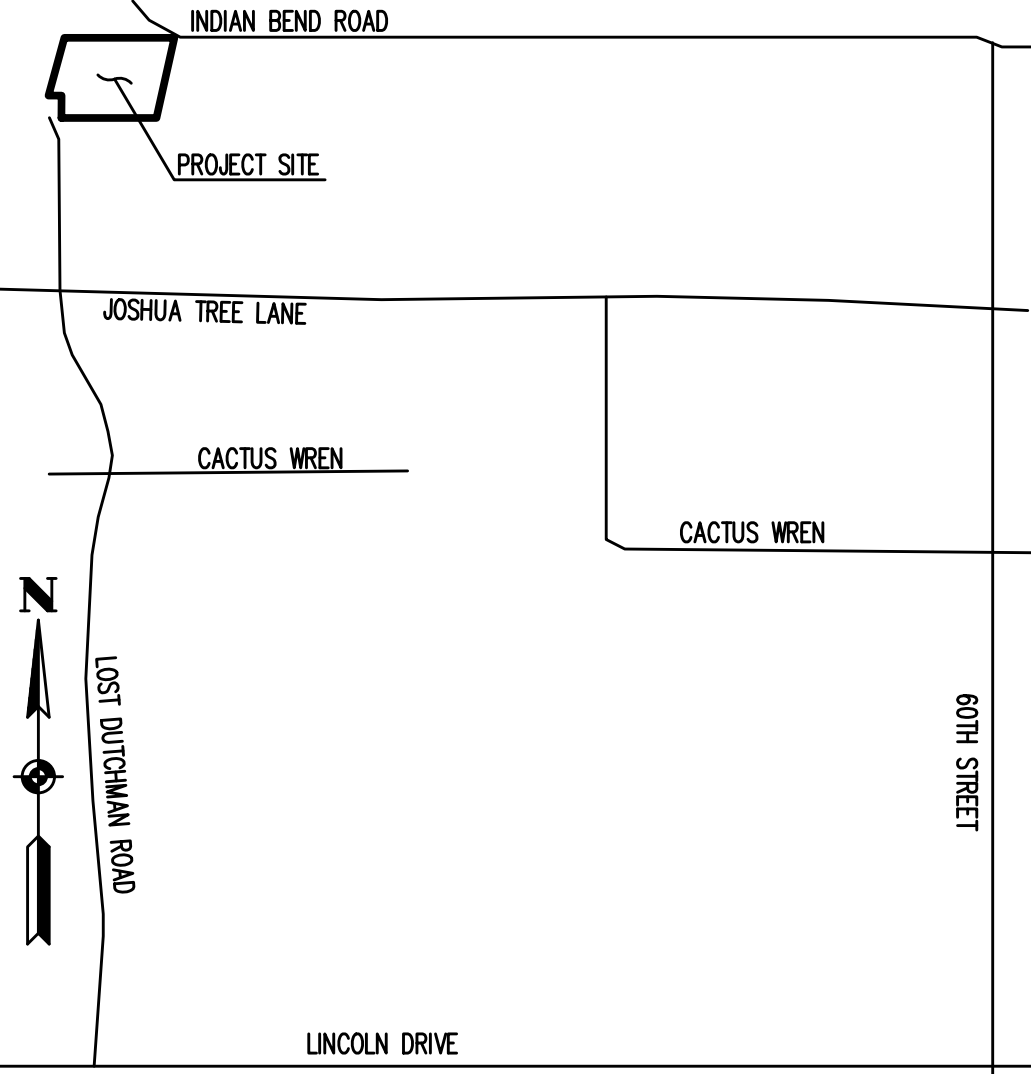
LOT DISTURBANCE METHODOLOGY

AREA OF EXISTING DRIVE TO BE RE-BUILT: 1,290 SF
AREA OF NEW DRIVE WAY: 5,587 SF
NEW DRIVE AREA - LESS EXISTING DRIVE RE-BUILD: 5,587 SF - 1,290 SF = 4,297 SF
NEW DRIVE TO BE CONCRETE PAVEMENT AND COUNT AT A RATE OF 75% TOWARDS DISTURBANCE.
EFFECTIVE DRIVE AREA: 4,297 X 0.75 = 3,223
DISTURBED AREA EXCLUSIVE OF DRIVEWAY, GARAGE AND LIVABLE AREAS: 18,329 SF

TOTAL LOT DISTURBANCE: 18,329 SF + 3,223 SF = 21,552 SF ~ 45.87%

CONSTRUCTION NOTES

- CONSTRUCT CONCRETE PAVEMENT DRIVEWAY. MATERIAL PER OWNER. HILLSIDE COMMITTEE APPROVAL REQUIRED.
- FURNISH AND INSTALL 18" CMP STORM DRAIN. INVERT PER PLAN. MITER END OF PIPE TO MATCH ADJACENT FINISHED GRADE. PIPE TO BE SLEEVED THROUGH ON-SITE WALLS.
- CONSTRUCT SCREEN WALL FOR MECHANICAL EQUIPMENT. WALL TO EXTEND NO MORE THAN 6" ABOVE THE MAX HEIGHT OF SCREENED EQUIPMENT.
- CONSTRUCT BUILDING PAD PER RECOMMENDATIONS OF SITE GEOTECHNICAL REPORT.
- CONSTRUCT RETAINING WALL. SHOWN HERE FOR REFERENCE AND GRADE. DETAILS BY SEPARATE SHOP DRAWING AND PERMIT. WALLS NOT TO EXTEND MORE THAN 6" ABOVE HIGH FINISHED GRADE.
- CONSTRUCT RETAINING WALL W/ VIEWFENCE. SHOWN HERE FOR REFERENCE AND GRADE. DETAILS BY SEPARATE SHOP DRAWING AND PERMIT. WALLS NOT TO EXTEND MORE THAN 6" ABOVE HIGH FINISHED GRADE.
- CONSTRUCT OPEN STORM WATER RETENTION BASIN.
- CONNECT TO EXISTING AND EXTEND DOMESTIC WATER SERVICE. SERVICE SIZE PER PLUMBING PLANS. COORDINATE METER INSTALLATION AND CONNECTION WITH UTILITY PROVIDER.
- INSTALL MAXWELL TYPE IV DRYWELL. GRATE ELEVATION 1427.3
- CONSTRUCT EXTENDED STEM WALL. SHOWN FOR REFERENCE AND GRADE ONLY. BY SEPARATE SHOP DRAWING AND PERMIT.
- PROVIDE SELF-CLOSING, SELF-LATCHING GATE MEETING MINIMUM POOL BARRIER STANDARDS
- FURNISH AND INSTALL DUMPED ANGULAR RIP-RAP, D50: 18", MINIMUM SIZE 12". PROVIDE GEOTEXTILE FILTER FABRIC BELOW RIP-RAP INSTALLATION. INSTALLATION METHOD TO PRESERVE INTEGRITY OF FILTER MATERIAL AND MATCH FINISHED GRADE OF RIP TO EXISTING NATIVE GRADES. MINIMUM DEEP OF RIP-RAP LAYER TO BE 24".
- FURNISH AND INSTALL 6" PVC STORM DRAIN, PROVIDE CLEAN-OUTS AND ALL BENDS.
- FURNISH AND INSTALL NDS SPEE-D DRAIN TRENCH DRAIN
- FURNISH AND INSTALL 12" CATCH BASIN WITH GRATE AREA DRAIN

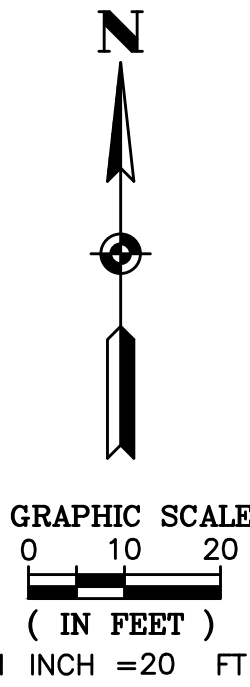
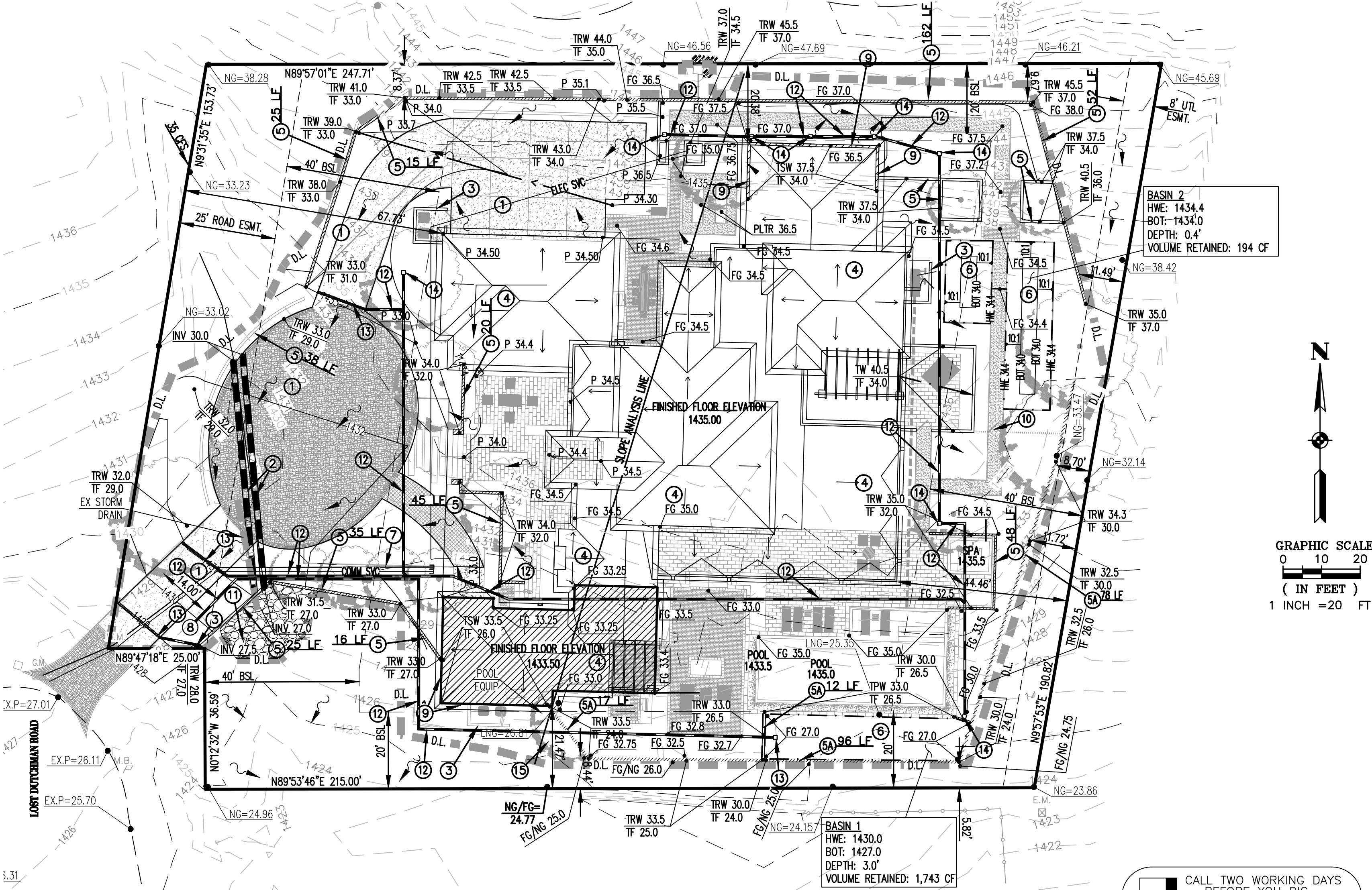


VICINITY MAP

SCALE: 1"=500'

RETAINING WALL NOTE

MAX RETAINING WALL HEIGHT NOT TO EXCEED 8' MEASURED FROM THE LOW FINISHED OR NATURAL GRADE TO THE TOP OF RETAINING WALL.



D&M Engineering
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PH: (480) 350-9590
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E-MAIL: engineer@dmengineer.com

CLIENT/PROJECT
REGAL AMERICAN HOMES - LOST DUTCHMAN

6837 NORTH LOSTDUTCHMAN ROAD
PARADISE VALLEY, ARIZONA 85253

TITLE
PRELIMINARY GRADING PLAN

REVISIONS

NO. DATE APP. DESCRIPTION

DESIGNED SWB

DRAWN AGY

CHECKED DTT

DATE 10-3-19

SCALE 1"=20'

PROJECT 170112

FILE NAME Survey.dwg

EXPIRES: 3/31/20

47507

STEVEN

BARGLOH

ARIZONA, USA

10-3-19

170112

Survey.dwg

170112

Survey.dwg

170112

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170112

Survey.dwg

1. 2" THICK LIMESTONE CAP. EASED EDGE. COLOR: BLUE HOT SPUR HONEY (LRV: 35).
2. STUCCO & PAINT TO MATCH HOME. PAINT COLOR: DOVE TAIL GRAY (LRV: 26).
3. 8" CMU BLOCK W/ HOLLOW CELLS.
4. CONCRETE FOOTING W/ (2) #4 CONTINUOUS.
5. FINISH GRADE; SLOPE AWAY FROM COLUMN.
6. 95% COMPACTED SUBGRADE.
7. USFS APPROVED PARCEL/MAIL DROP BOX.
8. ADDRESS MARKER W/ METAL NUMBERS.



1. 8" BOND BEAM W/ (1) #4 CONTINUOUS IN SOLID GROUT (TIED).
2. 8" CMU BLOCK W/ (1) #4 @ 16" O.C. IN SOLID GROUT.
3. STUCCO FINISH PAINTED TO MATCH HOME. PAINT COLOR: DOVE TAIL GRAY (LRV: 26).
4. FINISH GRADE: SLOPE AWAY FROM WALL.
5. 95% COMPACTED SUBGRADE.
6. CONCRETE FOOTING W/ (1) #4 CONTINUOUS.

A. REFER TO HARDSCAPE PLAN FOR WALL ELEVATIONS.



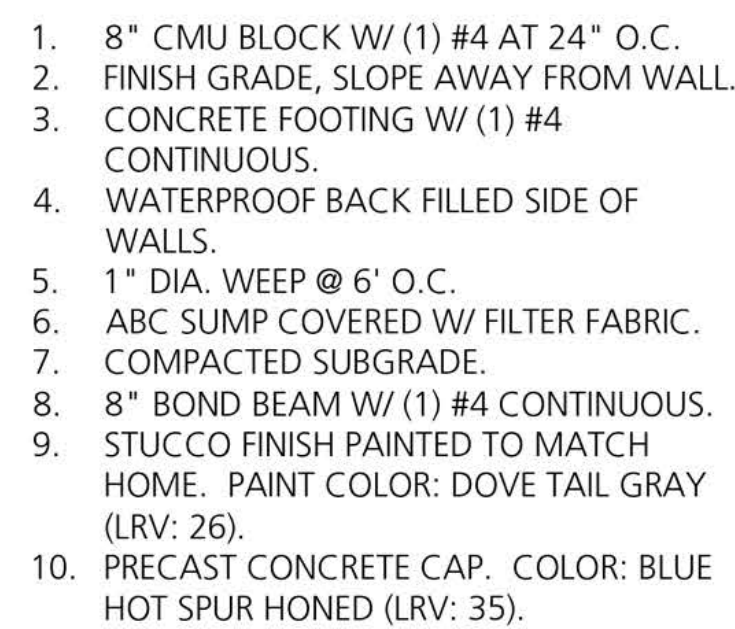
1. 8" CMU BLOCK W/ (1) #4 AT 24" O.C.
2. FINISH GRADE, SLOPE AWAY FROM WALL.
3. CONCRETE FOOTING W/ (1) #4 CONTINUOUS.
4. WATERPROOF BACK FILLED SIDE OF WALLS.
5. 1" DIA. WEEP @ 6' O.C.
6. ABC SUMP COVERED W/ FILTER FABRIC.
7. COMPACTED SUBGRADE.
8. 8" BOND BEAM W/ (1) #4 CONTINUOUS.
9. STUCCO FINISH PAINTED TO MATCH HOME, PAINT COLOR: DOVE TAIL GRAY (LRV: 26).

A. REFER TO HARDSCAPE PLAN FOR WALL ELEVATIONS.



1. 8" BOND BEAM W/ (1) #4 CONTINUOUS IN SOLID GROUT (TIED).
2. 8" CMU BLOCK W/ (1) #4 @ 16" O.C. IN SOLID GROUT.
3. STUCCO FINISH PAINTED TO MATCH HOME, COLOR: DOVE TAIL GRAY (LRV: 26).
4. FINISH GRADE: SLOPE AWAY FROM WALL.
5. 95% COMPACTED SUBGRADE.
6. CONCRETE FOOTING W/ (1) #4 CONTINUOUS.
7. PRECAST CONCRETE CAP. COLOR: BLUE HOT SPUR HONED (LRV: 35).

A. REFER TO HARDSCAPE PLAN FOR WALL ELEVATIONS.



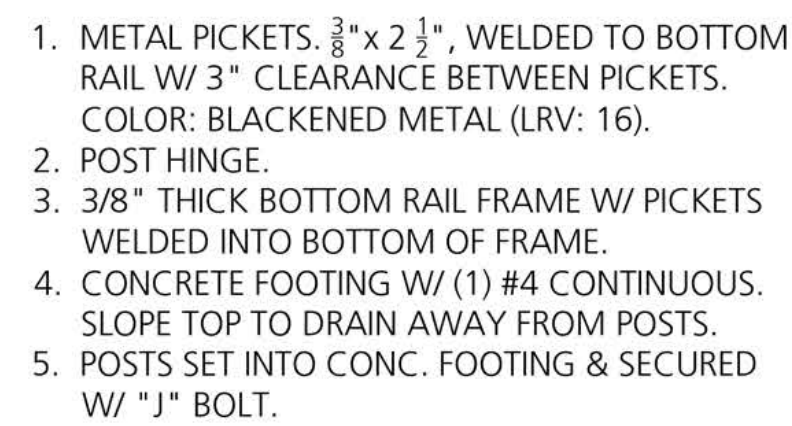
A. REFER TO HARDSCAPE PLAN FOR WALL ELEVATIONS.



W.4 STUCCO RETAINING WALL W/ CAP
1"=1'-0"

1. METAL PICKETS: $3/8" \times 2 \frac{1}{2}"$, WELDED TO BOTTOM RAIL W/ 3" CLEARANCE BETWEEN PICKETS.
COLOR: BLACKENED METAL (LRV: 16).
2. BOTTOM RAIL BURIED INTO WALL & SECURED W/ 'J' BOLT INTO GROUTED CMU CELL @ 16" O.C.
3. CONCRETE FOOTING W/ (1) #4 CONTINUOUS.
4. COMPACTED SUBGRADE.

A. POOL FENCE TO MEET LOCAL POOL BARRIER REQUIREMENTS.

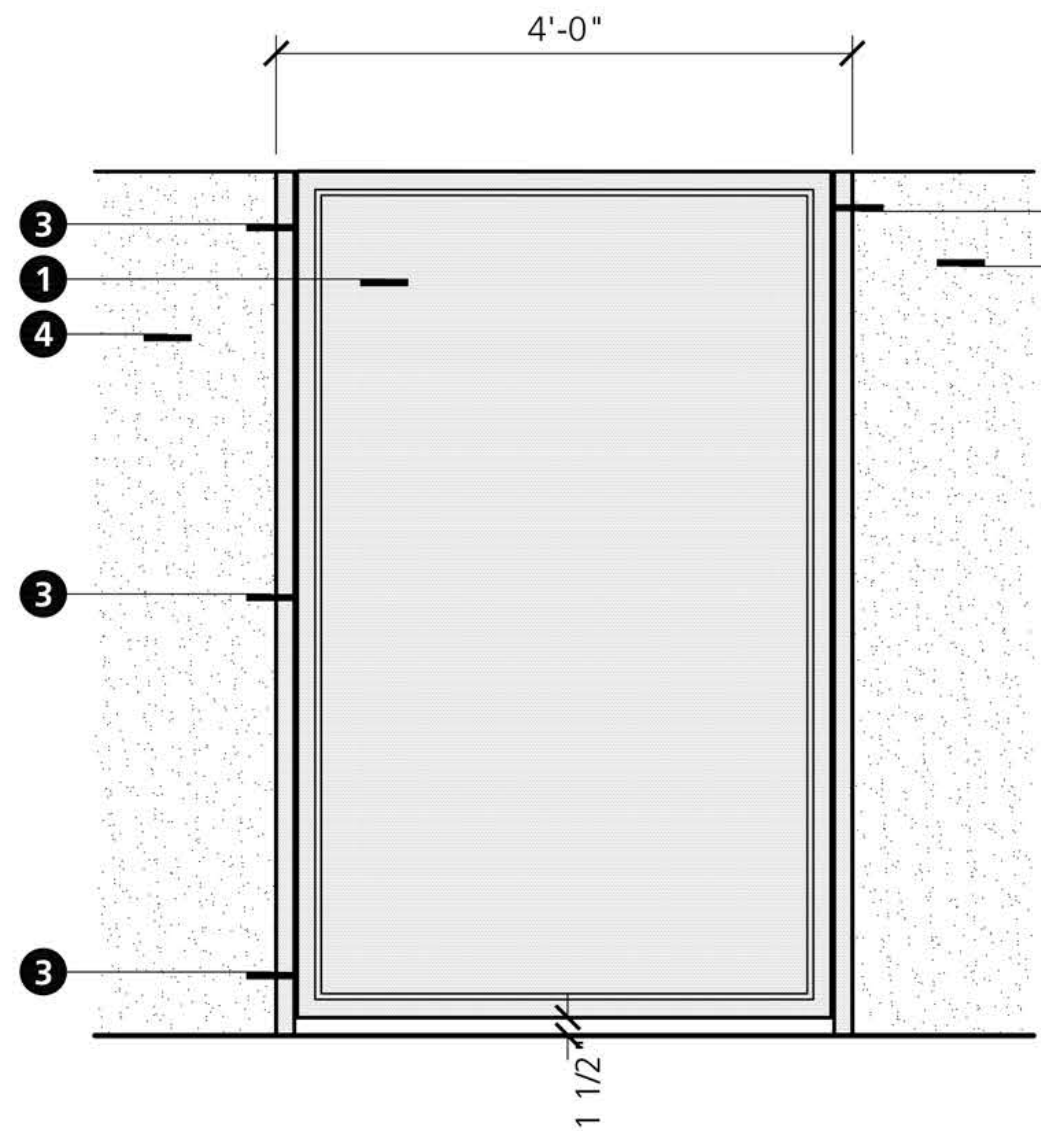


- A. GATE FABRICATOR SHALL PROVIDE SHOP DRAWINGS.
- B. GATE TO BE SELF CLOSING & LATCHING PER LOCAL POOL CODE.

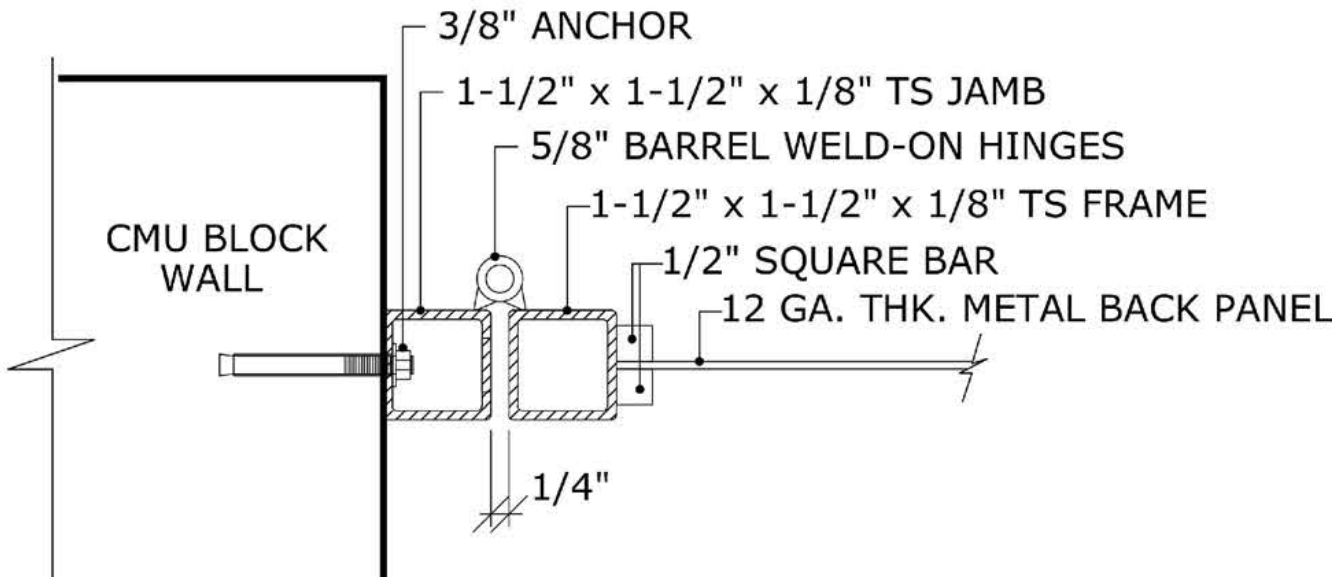


LEGEND

- 1. SOLID METAL BACK PANEL PAINTED TO MATCH ADJACENT WALLS. PAINT COLOR: DOVE TAIL GRAY (LRV: 26).
- 2. GRAVITY LATCH ON REVERSE SIDE.
- 3. IRON HINGES AND HARDWARE.
- 4. ADJACENT CMU WALL. STUCCO & PAINT TO MATCH HOME. PAINT COLOR: DOVE TAIL GRAY (LRV: 26).



CHARACTER

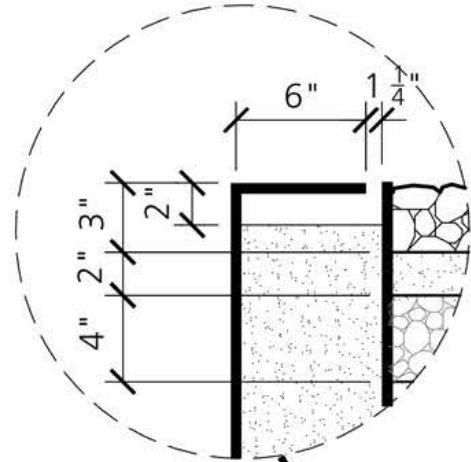


ENLARGEMENT

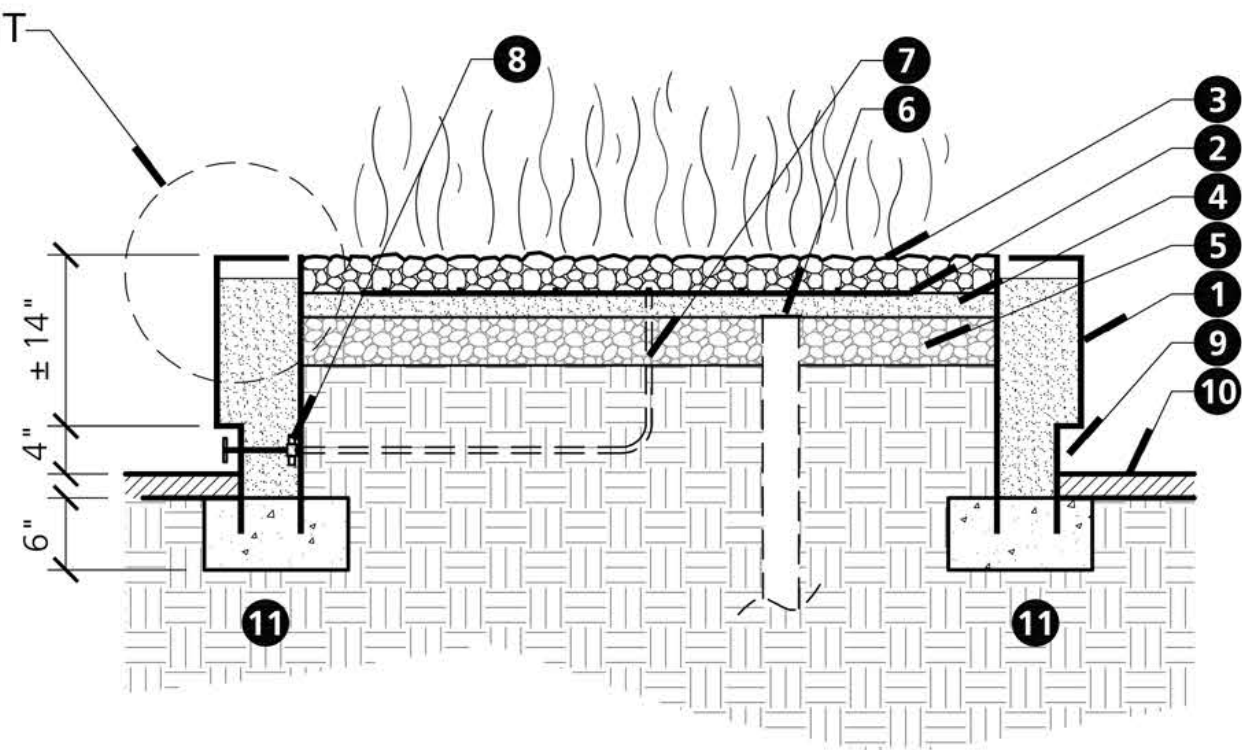
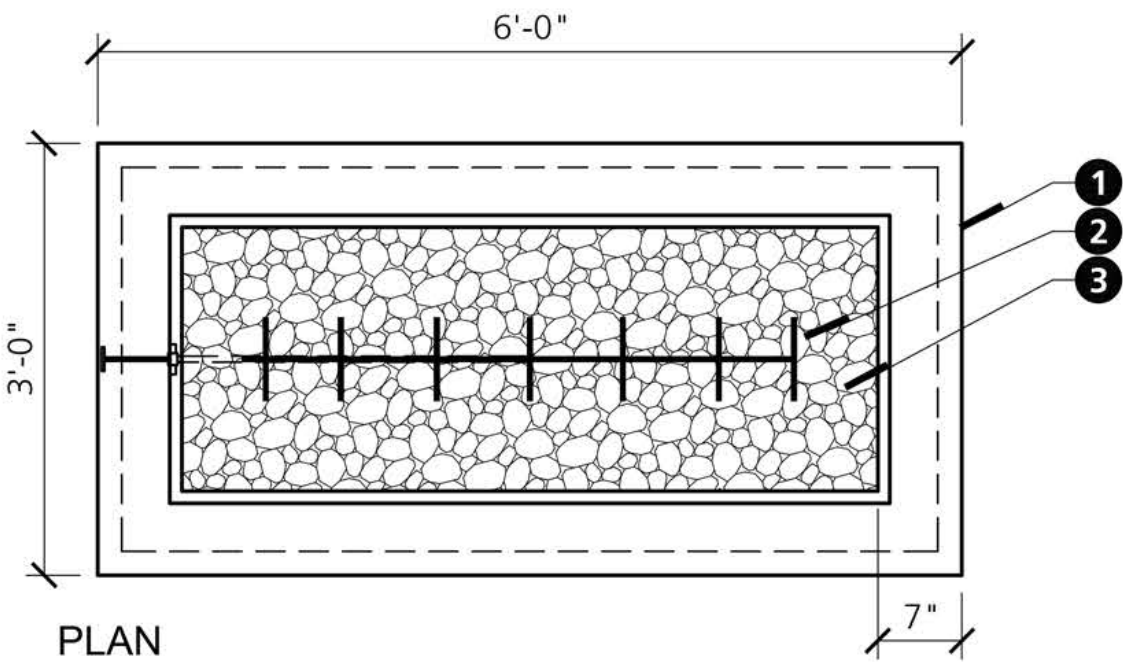
G.2 SOLID METAL PANEL GATE
3/4"=1'-0"

LEGEND

- 1. METAL WALLS SUNKEN 3" DEEP INTO CONCRETE FOOTING. COLOR: BLACKENED METAL (LRV: 16). EXTERIOR WALL TO HAVE 6" TOP EDGE FOR DRINK PLACEMENT. FILL CAVITY W/ SAND.
- 2. LINEAR FIRE ELEMENT.
- 3. FIRE ROCK 3" DEEP.
- 4. 2" DEEP LAYER OF SAND.
- 5. 4" DEEP ABC OVER COMPACTED SUB-GRADE.
- 6. 3" METAL DRAIN PIPE W/ METAL GRILL CAP AT OPENING.
- 7. 1/2" NATURAL GAS LINE. BY OTHERS.
- 8. INSET GAS LINE KEY VALVE. LOCATE ON SIDE FACING AWAY FROM HOME. PROVIDE EXTRA LONG IGNITION KEY.
- 9. 4" TOE KICK. INSET 2".
- 10. ADJACENT PAVING PER HARDSCAPE PLAN.
- 11. COMPACTED SUBGRADE.



ENLARGEMENT

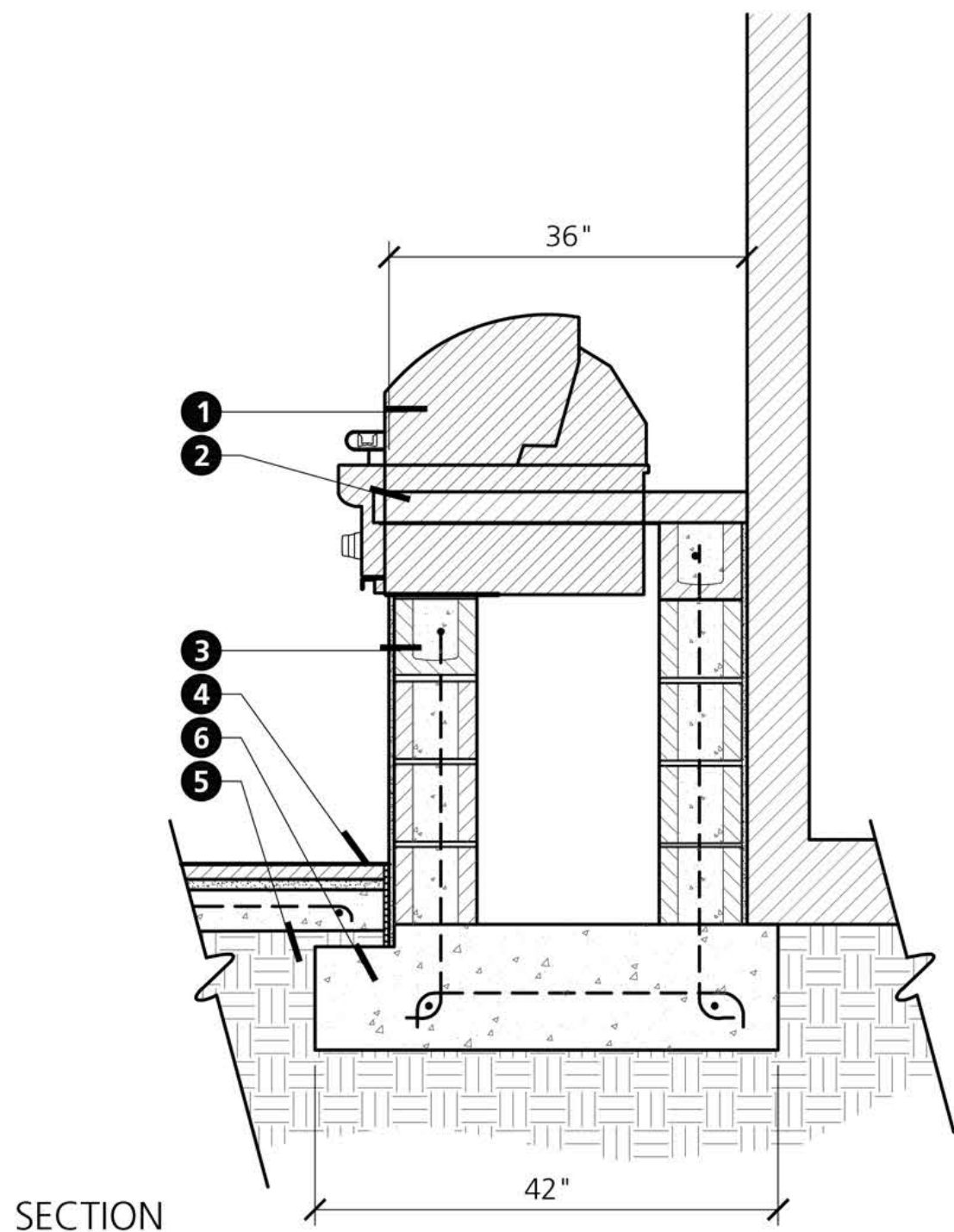


SECTION

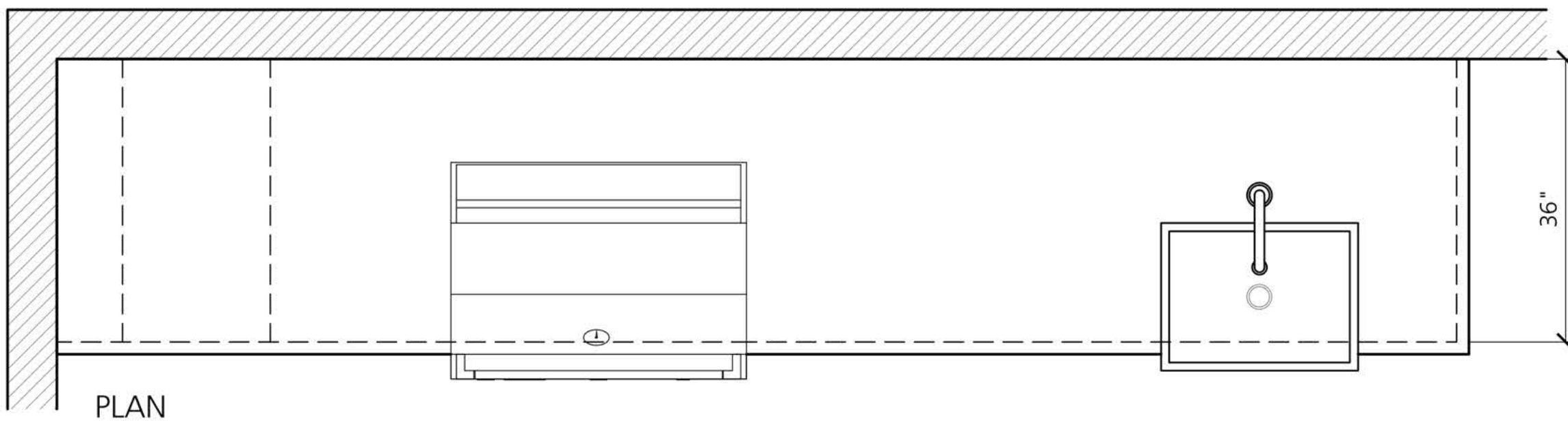
A.1 METAL FIREPIT
3/4"=1'-0"

LEGEND

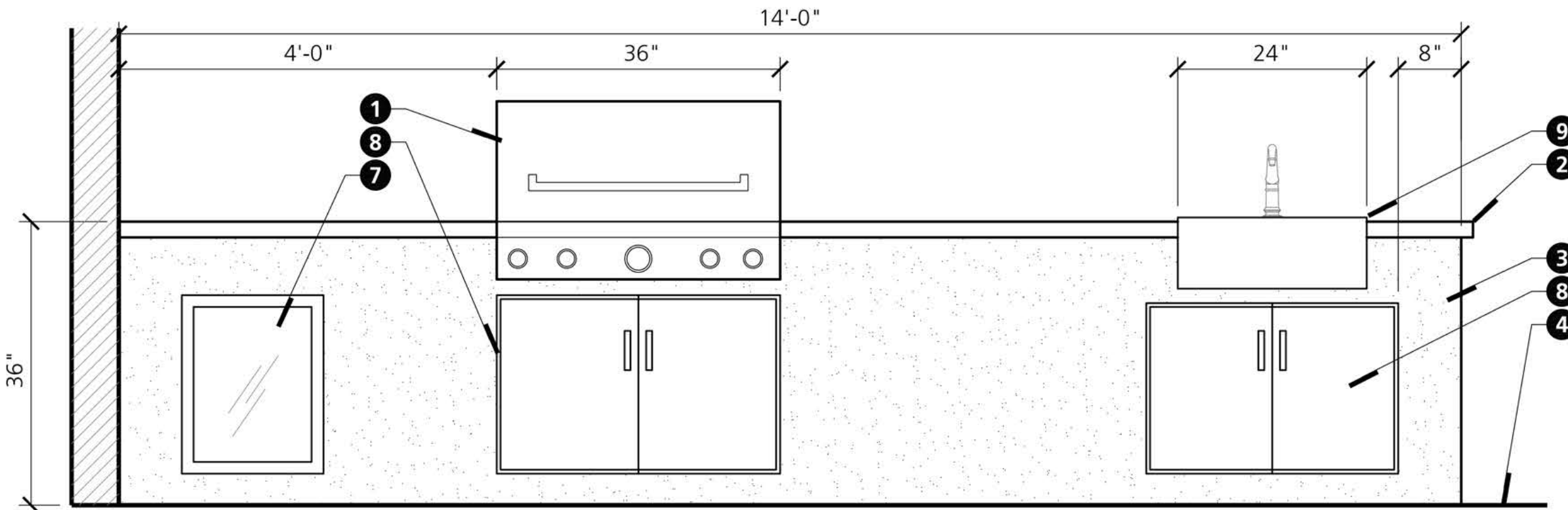
- 1. BBQ UNIT. SELECTED BY OWNER/BUILDER.
- 2. 2" THICK COUNTERTOP. EASED EDGE. 1 1/2" OVERHANG.
- 3. 8" CMU STRUCTURE. STUCCO FINISH PAINTED TO MATCH HOME. PAINT COLOR: DOVE TAIL GRAY (LRV: 26).
- 4. ADJACENT PAVING PER HARDSCAPE PLAN; PROVIDE 1/2" E.J. BETWEEN POURS.
- 5. COMPACTED SUB-GRADE.
- 6. 42" CONC. FOOTING W/ (2) #4 CONTINUOUS.
- 7. DOG DOOR.
- 8. OWNER SELECTED ACCESS DOORS.
- 9. FARMHOUSE SINK TO BE SELECTED BY OWNER.



SECTION



PLAN



ELEVATION

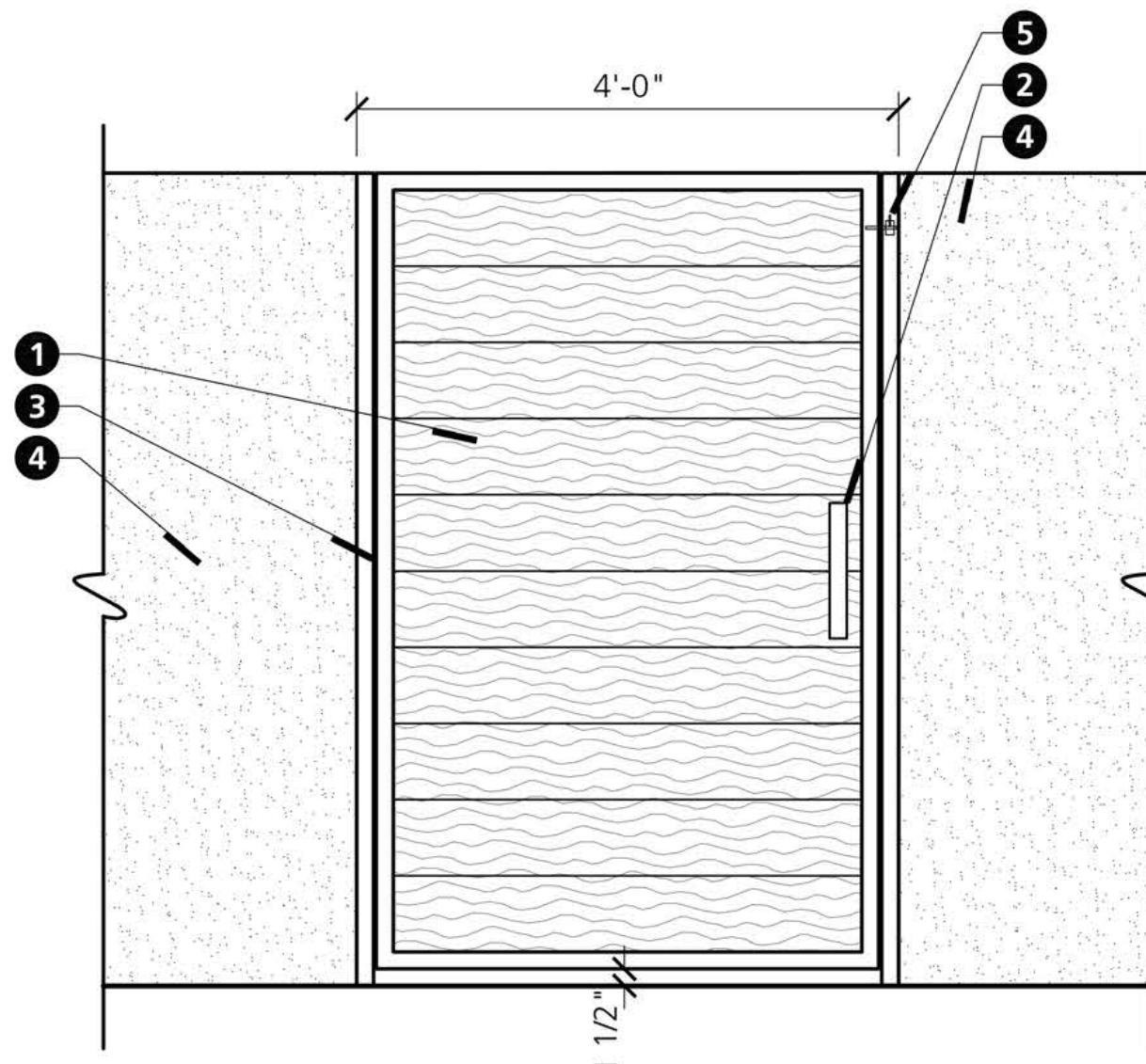
A.3 BBQ
3/4"=1'-0"

LEGEND

- 1. WOOD PANEL GATE.
- 2. METAL DOOR HANDLE.
- 3. DECORATIVE IRON HINGES & HARDWARE.
- 4. ADJACENT CMU WALL. STUCCO & PAINT TO MATCH HOME. PAINT COLOR: DOVE TAIL GRAY (LRV: 26).
- 5. GRAVITY LATCH.

NOTES

- A. WOOD TO MATCH WOOD USED ON HOME (LRV: 37).



ELEVATION



CHARACTER



G.3 WOOD GATE
3/4"=1'-0"

LEGEND

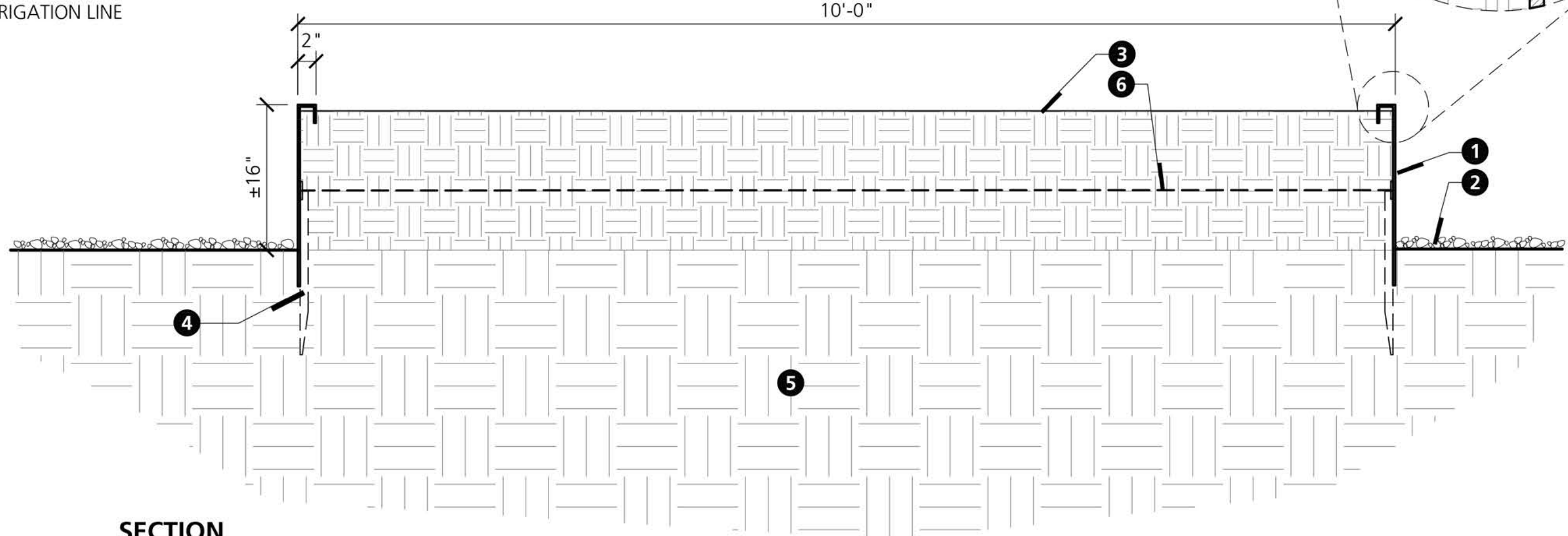
- 1. 3"x10"x1/4" THICK RAW STEEL PLANTER. BUILDER TO PROVIDE ON SITE SAMPLE. COLOR: BLACKENED METAL (LRV: 16).
- 2. 3/8" SCREEN PEA GRAVEL; 2" THICK OVER COMPACTED SUBGRADE.
- 3. PLANTING MATRIX.
- 4. METAL STAKE.
- 5. COMPACTED SUB-BASE.
- 6. REBAR WELDED TO STEEL PLANTER WALL.



CHARACTER

NOTES

- A. PROVIDE SEPARATE IRRIGATION LINE FOR EACH PLANTER.



SECTION

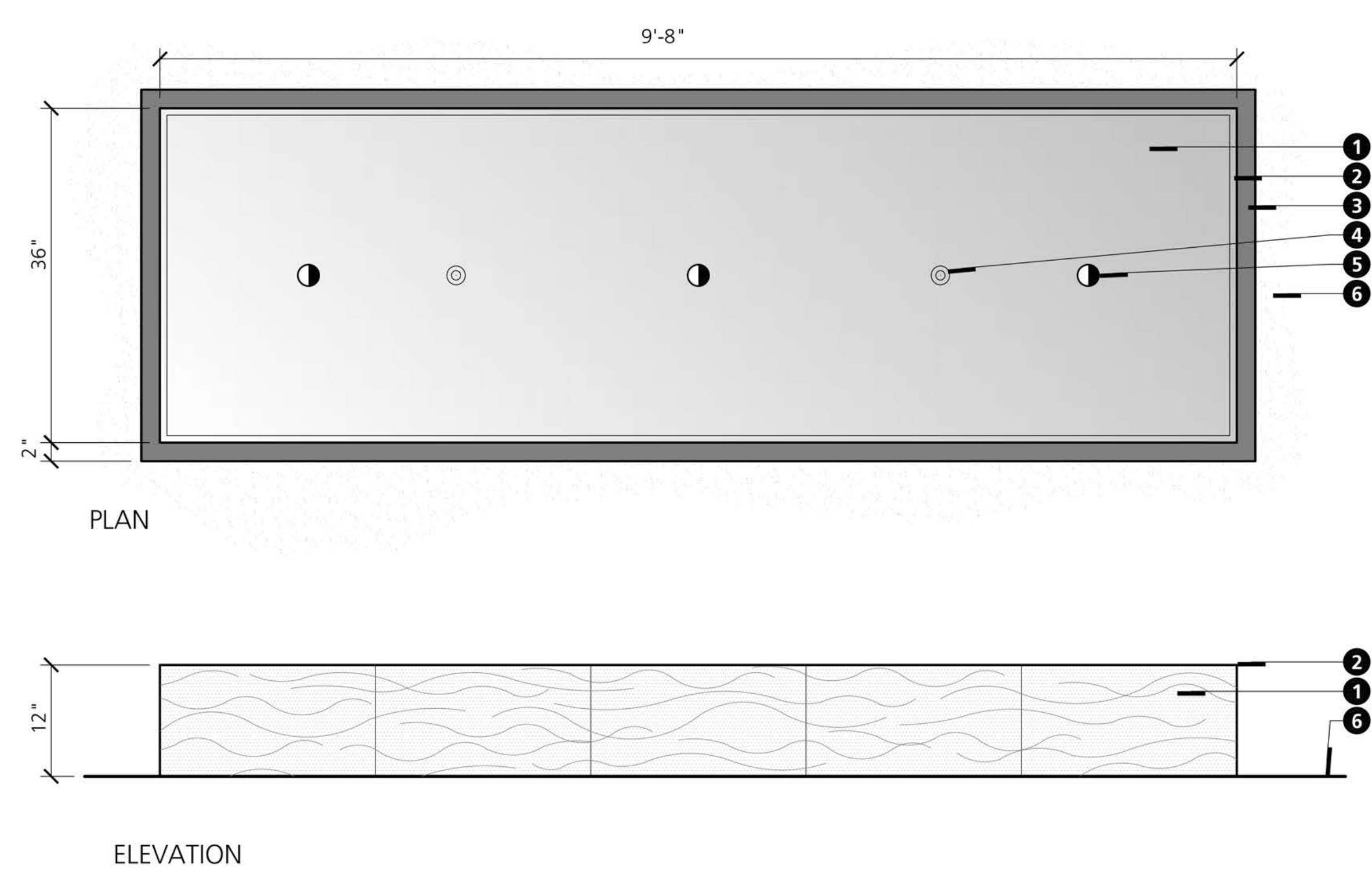
A.2 RAISED METAL GARDEN
1"=1'-0"

- LEGEND**
1. BLACK HONED GRANITE VENEER (LRV: 3).
 2. KNIFE EDGE.
 3. WATER TROUGH BELOW.
 4. BUBBLER.
 5. UNDER WATER LED LIGHT.
 6. ADJACENT HARDSCAPE PER PLAN.

- NOTES**
- A. WATER FEATURE DETAIL IS SCHEMATIC & PROVIDED FOR DESIGN INTENT ONLY. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, REINFORCEMENT, & MATERIALS PRIOR TO CONSTRUCTION.
- B. WATER LIGHTS BY WATER FEATURE CONTRACTOR.



CHARACTER

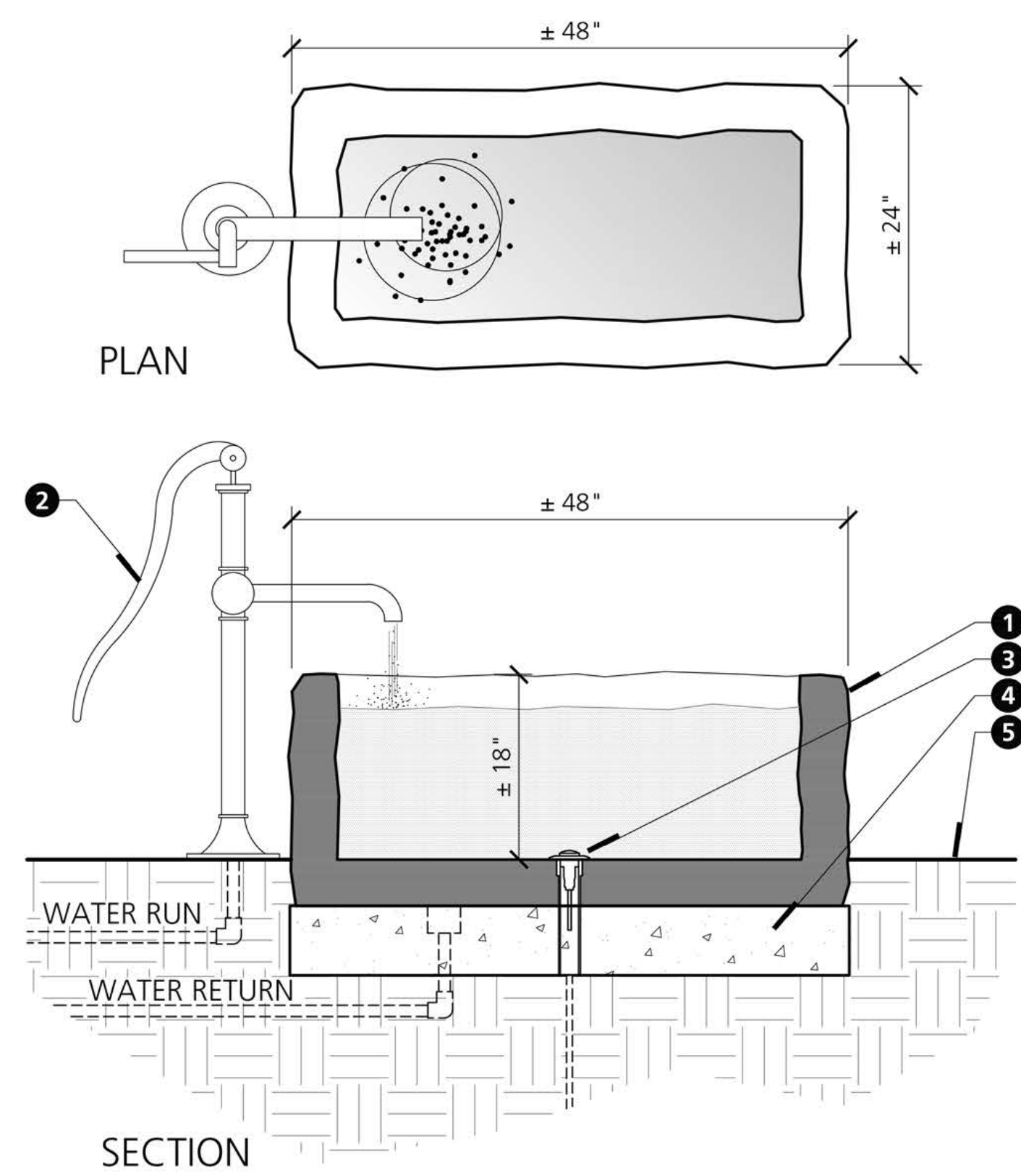


A.4 BLACK HONED GRANITE WATER FEATURE

1"=1'-0"

- LEGEND**
1. ANTIQUE LIMESTONE BASIN WITH CHISELED FINISH. COLOR: TO MATCH BLUE HOT SPUR HONED PAVING (LRV: 35).
 2. HAND PUMP NOZZLE.
 3. WATER LIGHT.
 4. REINFORCED CONCRETE SUB-SLAB.
 5. ADJACENT GRADE PER PLAN. COMPACTED & SLOPED AWAY FROM BASIN.

- NOTES**
- A. WATER FEATURE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL DIMENSIONS, ELECTRICAL REQUIREMENTS, PUMP SIZING & EQUIPMENT LOCATIONS.
- B. ALL EQUIPMENT SHALL BE CONCEALED FROM VIEW - CONFIRM INFRASTRUCTURE ROUTING DURING BID PROCESS.
- C. WATER FEATURE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL LIGHTING TYPES, STYLES, REQUIREMENTS AND REQUIRED ASPECTS FOR LIGHT FIXTURES AND TIMERS.

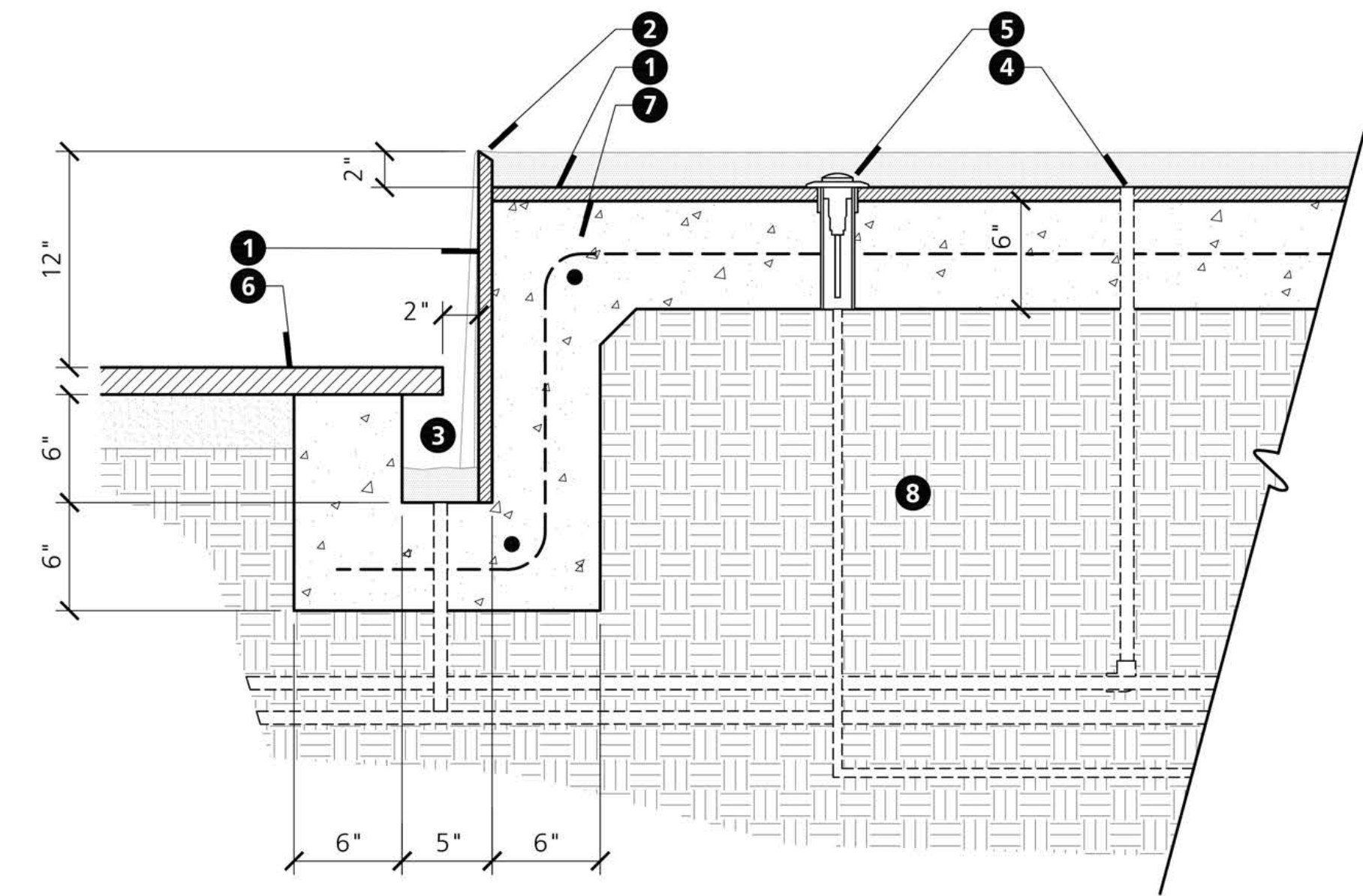


A.5 WATER FEATURE W/ HAND PUMP

1"=1'-0"

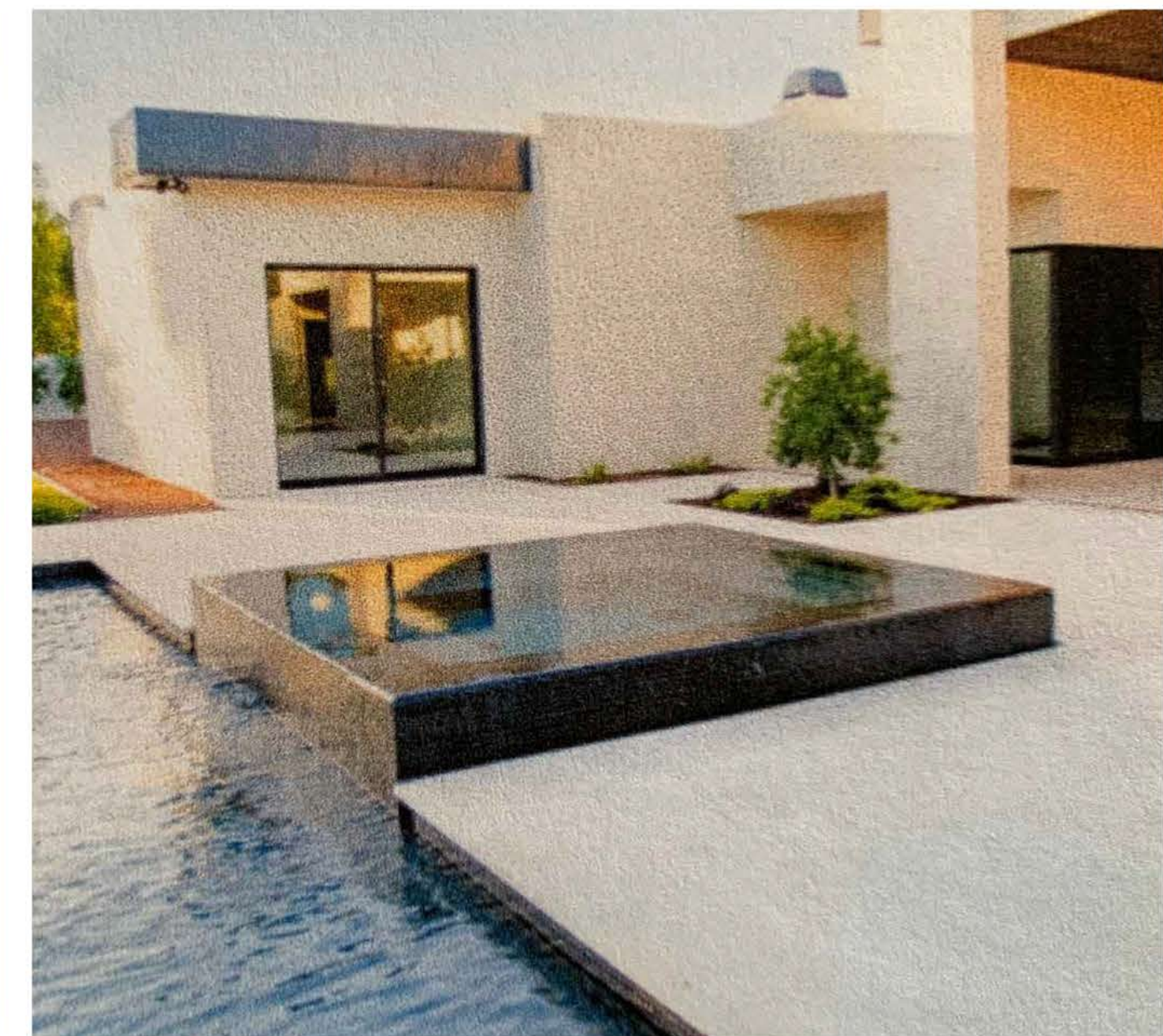
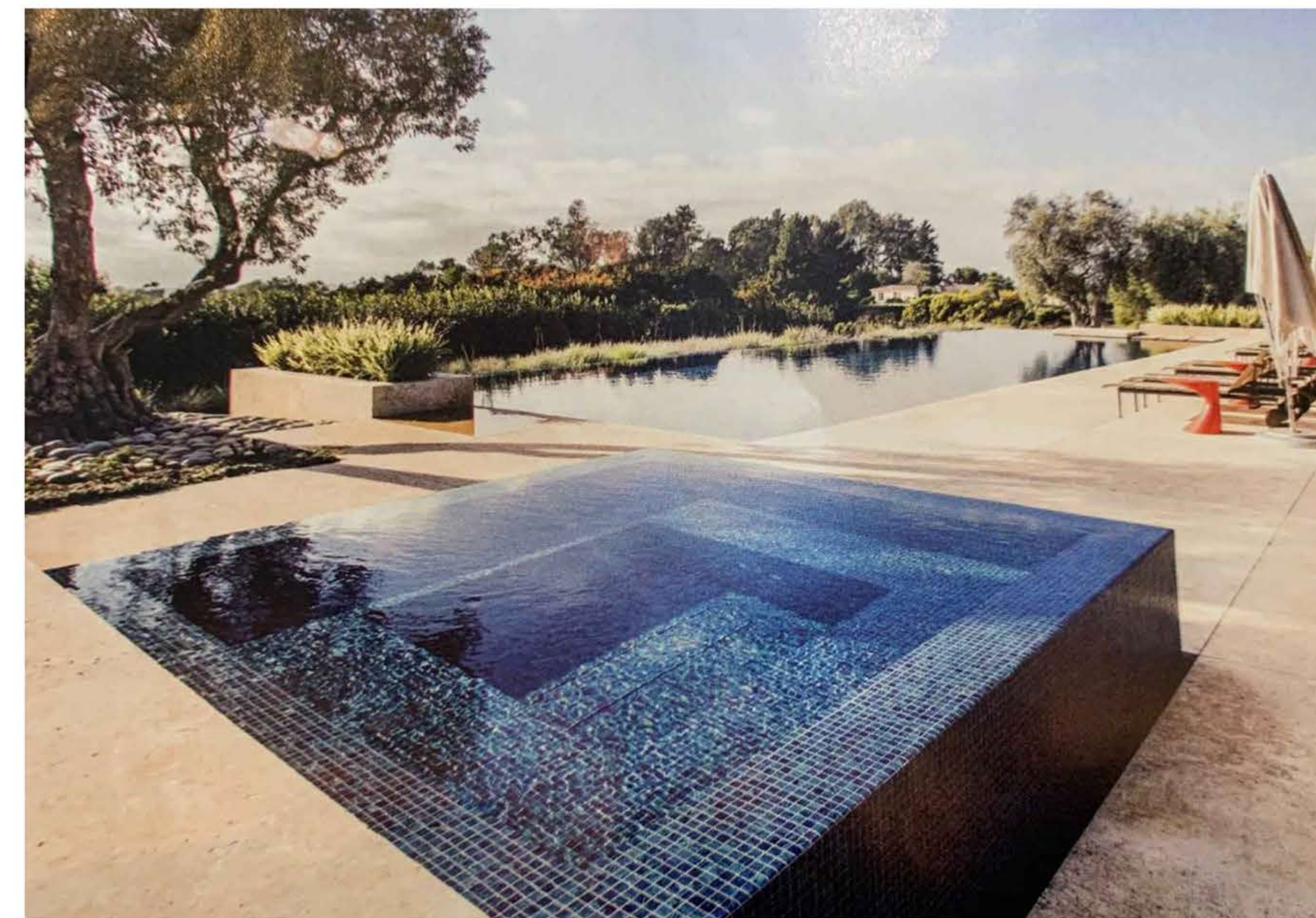
- LEGEND**
1. BLACK HONED GRANITE VENEER (LRV: 3).
 2. KNIFE EDGE.
 3. WATER TROUGH.
 4. BUBBLER.
 5. UNDER WATER LED LIGHT.
 6. ADJACENT HARDSCAPE PER PLAN.
 7. REINFORCED CONCRETE WALL.
 8. COMPACTED SUBGRADE.

- NOTES**
- A. WATER FEATURE DETAIL IS SCHEMATIC & PROVIDED FOR DESIGN INTENT ONLY. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, REINFORCEMENT, & MATERIALS PRIOR TO CONSTRUCTION.
- B. WATER LIGHTS BY WATER FEATURE CONTRACTOR.



A.4 BLACK HONED GRANITE WATER FEATURE - SECTION

1-1/2"=1'-0"



PS.1 RAISED SPA CHARACTER IMAGES

1 10.03.19 PV HILLSIDE COMMENTS



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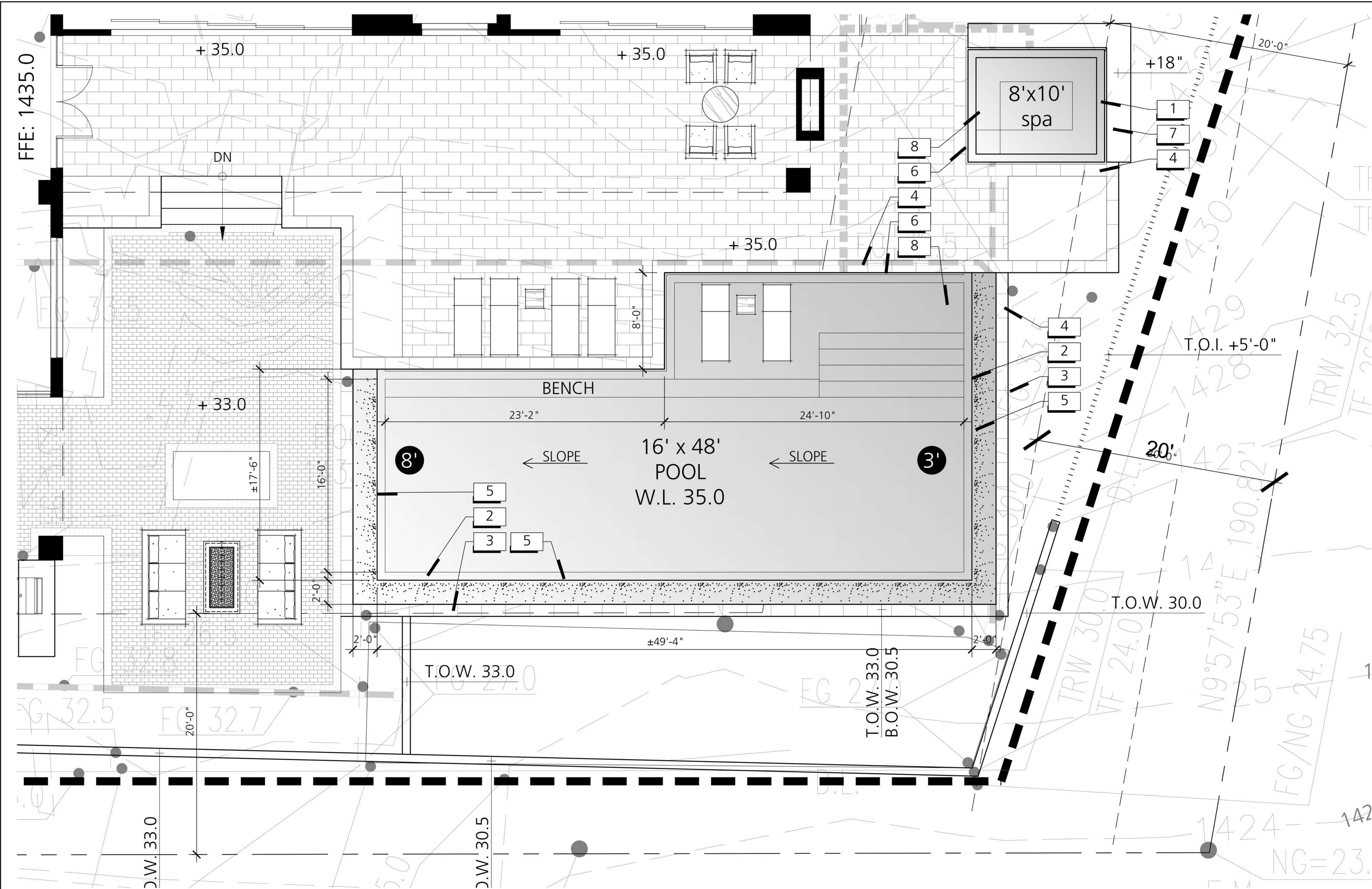
PETERSON
RESIDENCE

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HD.3
HARDSCAPE DETAILS

SEPTEMBER 27 . 2019

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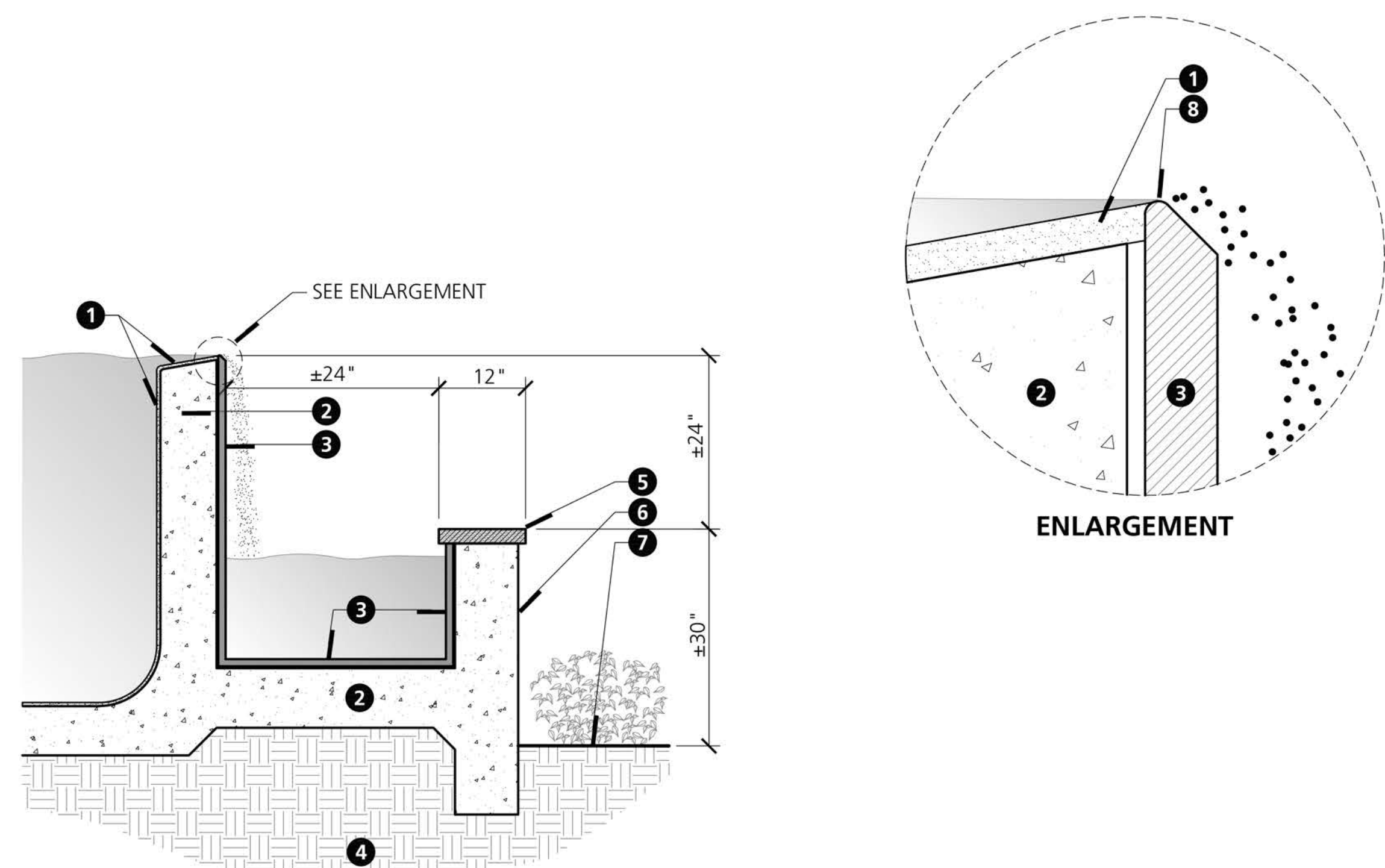


- LEGEND**
- 1 RAISED SPA - BY POOL BUILDER.
 - 2 POOL WALL - BY POOL BUILDER. TILE EXTERIOR SURFACE W/ VINTAGE WOOD SERIES MIST TILE (LRV: 16).
 - 3 POOL TROUGH WALL - BY POOL BUILDER. BLUE HOT SPUR HONED CAP TO MATCH ADJACENT PAVING (LRV: 35). WALL: STUCCO & PAINT TO MATCH HOME, SEE PLAN FOR HEIGHT. PAINT COLOR: DOVE TAIL GRAY (LRV: 26).
 - 4 2" THICK BLUE HOT SPUR HONED COPING W/ DOUBLE EASED EDGE. 1" CANTILEVER (LRV: 35).
 - 5 NEGATIVE EDGE.
 - 6 ZERO EDGE.
 - 7 C.I.P. CONCRETE BENCH W/ BLUE HOT SPUR HONED VENEER ON ALL EXPOSED SIDES (LRV: 35).
 - 8 POOL & SPA FINISH TO BE STEEL GRAY PEBBLE FINA (LRV: 18).

- NOTES:**
- POOL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, SOIL AND DIG REQUIREMENTS.
- POOL CONTRACTOR SHALL VERIFY RAISED BOND BEAM REINFORCEMENT WITH BUILDER AND STRUCTURAL ENGINEER. PLANS PROVIDED SHOW INTENDED AESTHETIC.
- ALL BIDS AND POOL DIRECTIVES ARE BY AND BETWEEN THE HOMEOWNER AND POOL CONTRACTOR.
- POOL CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR BOND BEAM AND POOL CONSTRUCTION FOR REVIEW AND APPROVAL BY BUILDER AND/OR STRUCTURAL ENGINEER. SHOP DRAWINGS SHALL ALSO BE PROVIDED FOR AESTHETIC RELATIONSHIPS, DEPTHS AND SURFACES.
- POOL SAMPLES SHALL BE PROVIDED BY POOL CONTRACTOR FOR OWNER APPROVAL FOR ALL POOL FINISHES AND TILES.

PLAN

- LEGEND**
- 1. STEEL GREY PEBBLE FINA POOL INTERIOR (LRV: 18).
 - 2. SHOTCRETE POOL WALL W/ WATER TROUGH RESERVOIR PER POOL BUILDER.
 - 3. TILE EXTERIOR SURFACE W/ VINTAGE WOOD SERIES MIST TILE. COLOR: GRAY (LRV: 16).
 - 4. COMPACTED SUB-GRADE.
 - 5. 1-1/2" THICK STONE POOL COPING.
 - 6. POOL TROUGH WALL - BY POOL BUILDER. STUCCO & PAINT TO MATCH HOME. PAINT COLOR: DOVE TAIL GRAY (LRV: 26).
 - 7. FINISH GRADE; SLOPE AWAY FROM WALL.
 - 8. PORCELAIN SURFACE BULLNOSE EDGE.
- NOTES**
- A. DETAIL PROVIDED FOR BID PURPOSES ONLY. ALL POOL DETAILS FOR CONSTRUCTION TO BE PROVIDED BY POOL CONTRACTOR.
 - B. ALL MEASUREMENTS ARE APPROXIMATE.
 - C. REFER TO ENGINEER'S PLANS FOR RETAINING WALL & FOOTING SPECIFICATIONS.

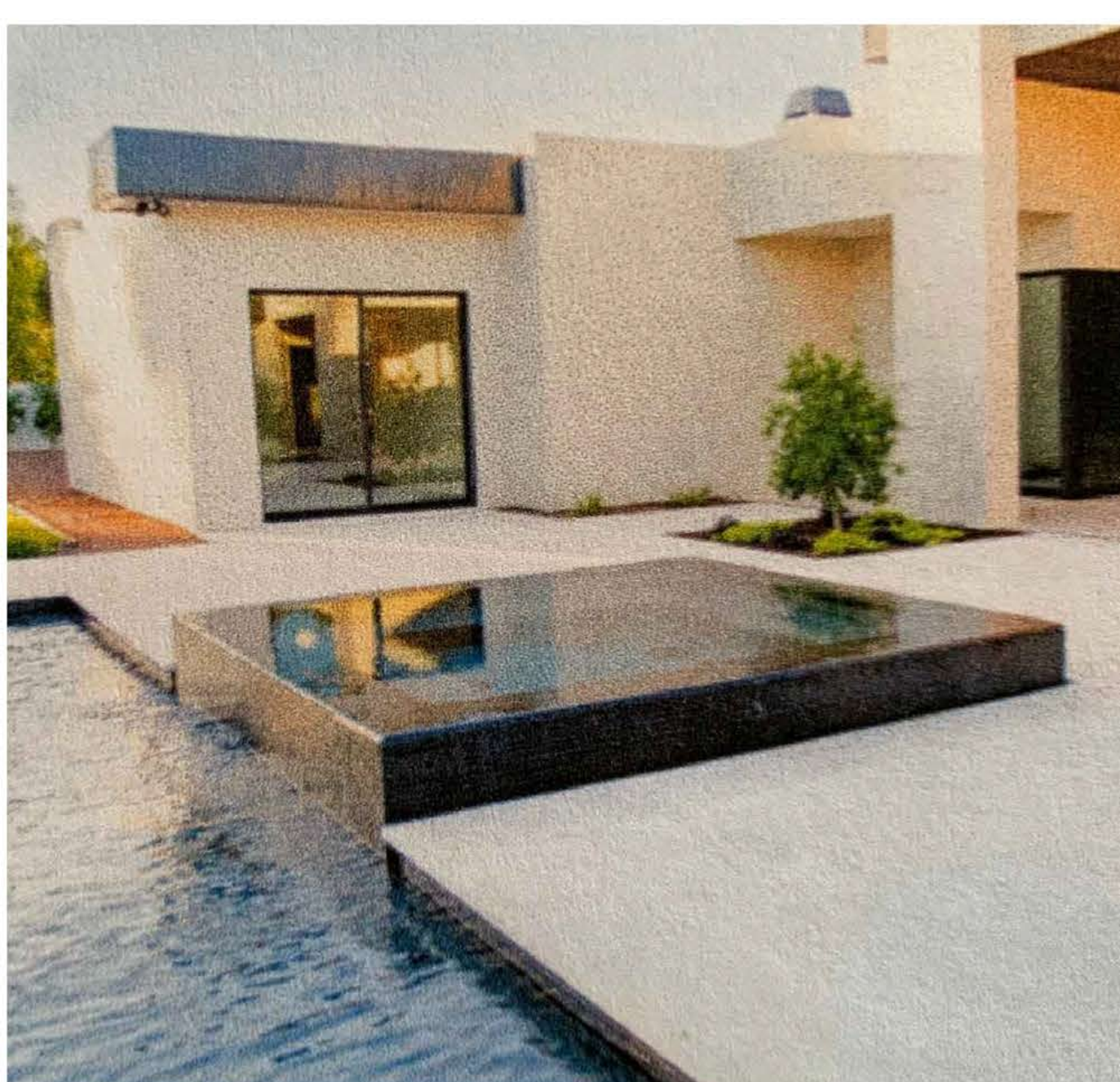


SECTION

PL.3 TROUGH SECTION
3/4"=1'-0"



PS.1 RAISED SPA CHARACTER IMAGES



1 10.03.19 PV HILLSIDE COMMENTS

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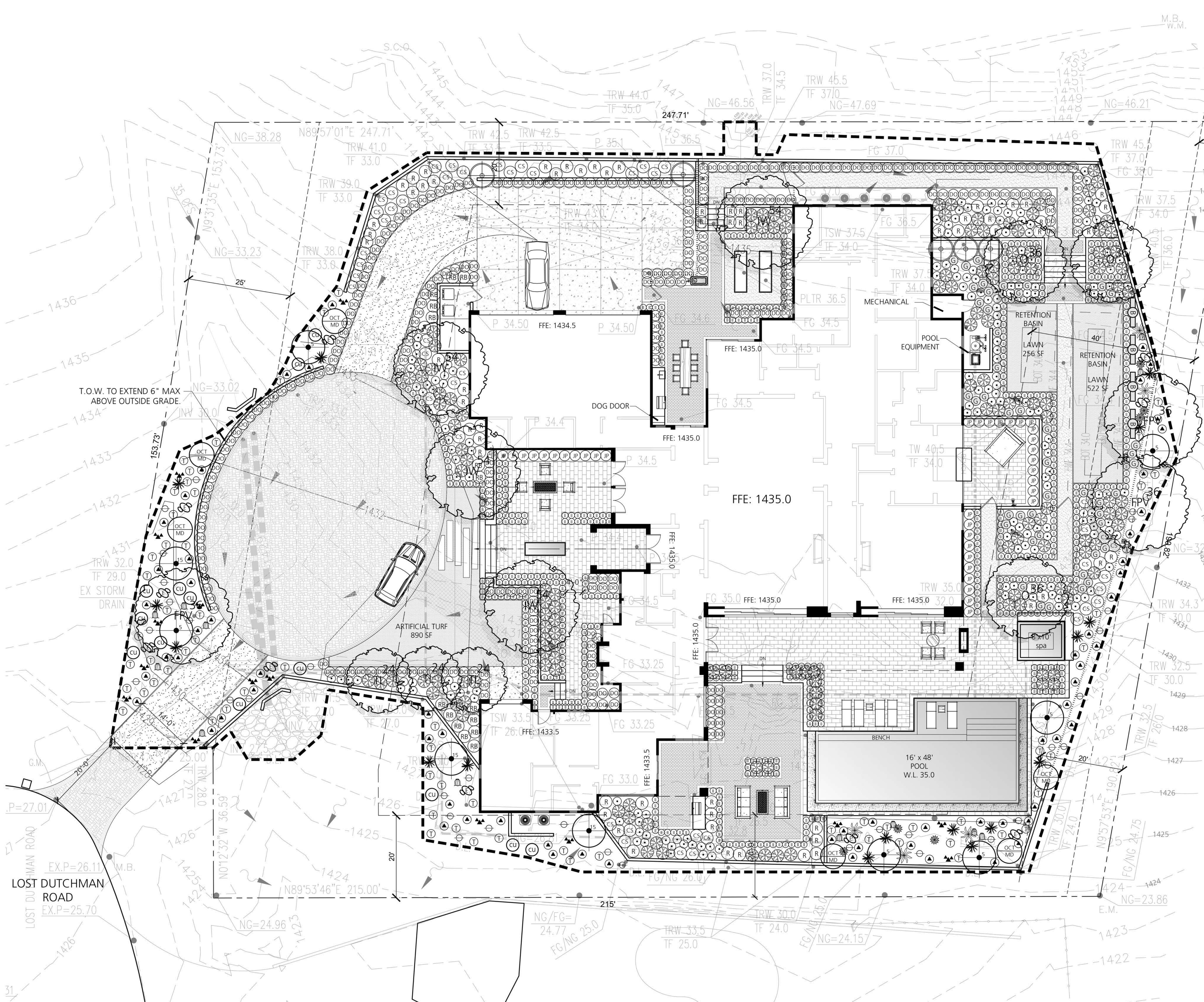
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PL.1 POOL/SPA PLAN

SEPTEMBER 27 . 2019





PLANT LEGEND

SYM.	COMMON NAME BOTANICAL NAME	SIZE	QTY.	REMARKS
TREES				
O	FRUITLESS OLIVE <i>Olea europaea</i> 'Swan Hill'	SEE PLAN	3	-
IW	IRONWOOD <i>Olneya tesota</i>	SEE PLAN	4	-
FPV	FOOTHILLS PALO VERDE <i>Parkinsonia microphylla</i>	SEE PLAN	3	-
TL	TEXAS MOUNTAIN LAUREL <i>Sophora secundiflora</i>	SEE PLAN	3	-
CACTI / ACCENTS				
MC	MESCAL CENIZA <i>Agave colorata</i>	5 GAL	6	-
MA	MURPHY'S AGAVE <i>Agave murpheyi</i>	5 GAL	16	-
WA	WEBER'S AGAVE <i>Agave weberi</i>	5 GAL	5	-
BC	BARREL CACTUS <i>Ferocactus acanthodes</i>	5 GAL	12	-
OC	OCOTILLO - MEDIUM <i>Fouquieria splendens</i>	5-9' HT.	6	-
TB	TEDDY BEAR CHOLLA <i>Opuntia bigelovii</i>	5 GAL	15	-
EP	ENGELMANN'S PRICKLY PEAR <i>Opuntia engelmannii</i>	5 GAL	10	-
SHRUBS				
AL	TRIANGLE LEAF BURSAGE <i>Ambrosia deltoidea</i>	1 GAL	65	-
T	TURPENTINE BUSH <i>Ericameria laricifolia</i>	1 GAL	65	-
IV	DWARF YAUAPON HOLLY <i>Ilex vomitoria</i> 'Nana'	5 GAL	556	-
CU	CHUPAROSA <i>Justicia californica</i>	5 GAL	13	-
CR	CREOSOTE <i>Larrea tridentata</i>	5 GAL	6	-
CR	CREOSOTE <i>Larrea tridentata</i>	15 GAL	3	-
FL	FERN LEAF LAVENDER <i>Lavandula pinnata</i>	5 GAL	185	-
RB	RIO BRAVO SAGE <i>Leucophyllum langmaniae</i> 'Rio Bravo'	5 GAL	15	-
CS	CIMARRON SAGE <i>Leucophyllum zygophyllum</i> 'Cimarron'	5 GAL	46	-
JP	JAPANESE PRIVET <i>Ligustrum japonicum</i>	5 GAL	37	-
DO	DWARF OLLIE <i>Olea europaea</i> 'Montra'	5 GAL	266	-
IR	ICEBERG ROSE <i>Rosa floribunda</i> 'Iceberg'	5 GAL	141	-
R	TUSCAN BLUE ROSEMARY <i>Rosmarinus officinalis</i> 'Tuscan Blue'	5 GAL	63	-
G	TRAILING GERMANDER <i>Teucrium chamaedrys</i> 'Prostratum'	5 GAL	45	-
AL	ARABIAN LILAC <i>Vitex trifolia</i> 'Purpurea'	5 GAL	5	-
VINES				
B	BOUGAINVILLEA 'BARBARA KARST' <i>Bougainvillea</i> 'Barbara Karst'	5 GAL	4	ESPALIER
ANNUALS				
DM	DESERT MARIGOLD <i>Baileya multiradiata</i>	1 GAL	34	-

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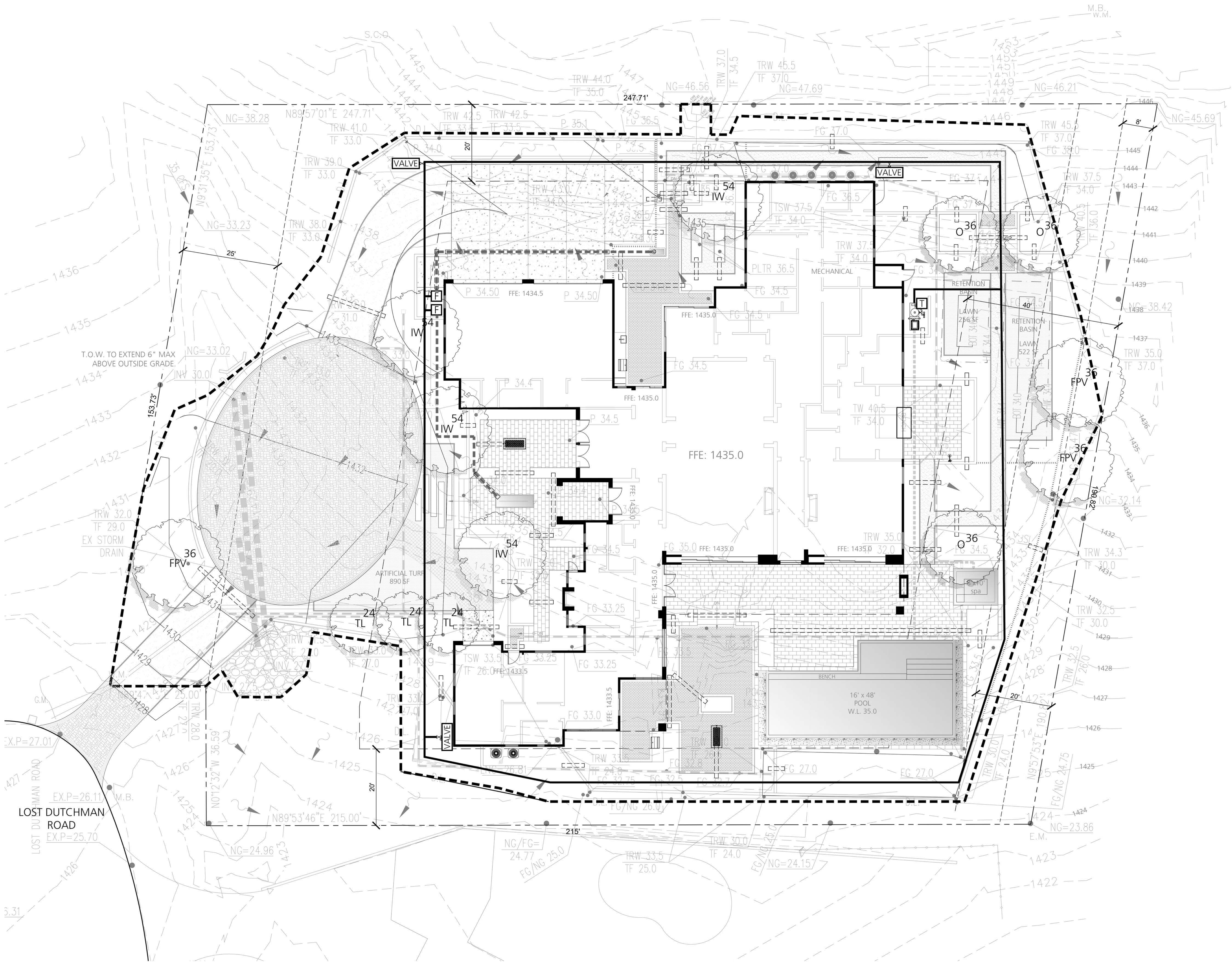
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PP.1
PLANTING PLAN

SEPTEMBER 27, 2019



INFRASTRUCTURE LEGEND

- PVC MAINLINE
- VALVE VALVE BUILDUP - GENERAL LOCATION
- T IRRIGATION TIMER
- IRRIGATION SLEEVING
- POOL EQUIPMENT (REFER TO POOL PLANS)
- F FOUNTAIN PUMP (IN TAN VALVE BOX)
ELECTRICAL TO BE PROVIDED BY BUILDER. EXACT LOCATION
TO BE FIELD VERIFIED ON-SITE W/ BUILDER & ELECTRICIAN.
- POOL/SPA SUPPLY LINE (REFER TO POOL PLANS)
- FOUNTAIN SUPPLY LINE
- T LIGHTING TRANSFORMER
EXACT LOCATION TO BE FIELD VERIFIED BY BUILDER
& ELECTRICIAN. AT LEAST (1) 20 AMP CIRCUIT
BREAKER TO BE PROVIDED TO EACH TRANSFORMER.

NOTES:

- ALL ABOVE-GROUND MOUNTED EQUIPMENT TO BE PAINTED TO MATCH THE BODY COLOR OF THE WALL UPON WHICH THE EQUIPMENT IS MOUNTED, & SUFFICIENTLY SCREENED BY PLANTING WHERE EXPOSED TO VIEWS.
- ALL GRADING TO PROVIDE POSITIVE DRAINAGE AWAY FROM ARCHITECTURAL STRUCTURE.
- VERIFY ALL DRAIN PIPE TO HAVE POSITIVE DRAINAGE PRIOR TO BURYING.
- PERFORATED DRAIN PIPE TO BE WRAPPED W/ CLOTH SOCK & BURIED IN GRAVEL.
- CONTRACTOR TO ENSURE ALL WEEP HOLES & PIPING TO DAYLIGHT THROUGH EXTERIOR WALLS NO HIGHER THAN 4" ABOVE THE EXTERIOR FINISHED GRADE & SCREENED BY PLANTING TO REMOVE FROM ANY VIEW.
- WATER FEATURE EQUIPMENT/ PUMPS TO BE HIDDEN FROM VIEW. LOCATIONS SHOWN ARE SCHEMATIC & SHALL BE VERIFIED FOR ELECTRICAL/ SIZE REQUIREMENTS BY WATER FEATURE CONTRACTOR.

1 10.03.19 PV HILLSIDE COMMENTS



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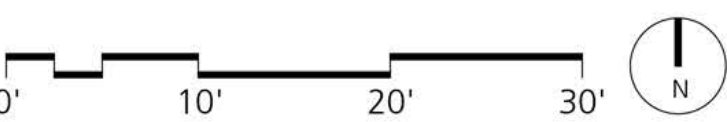
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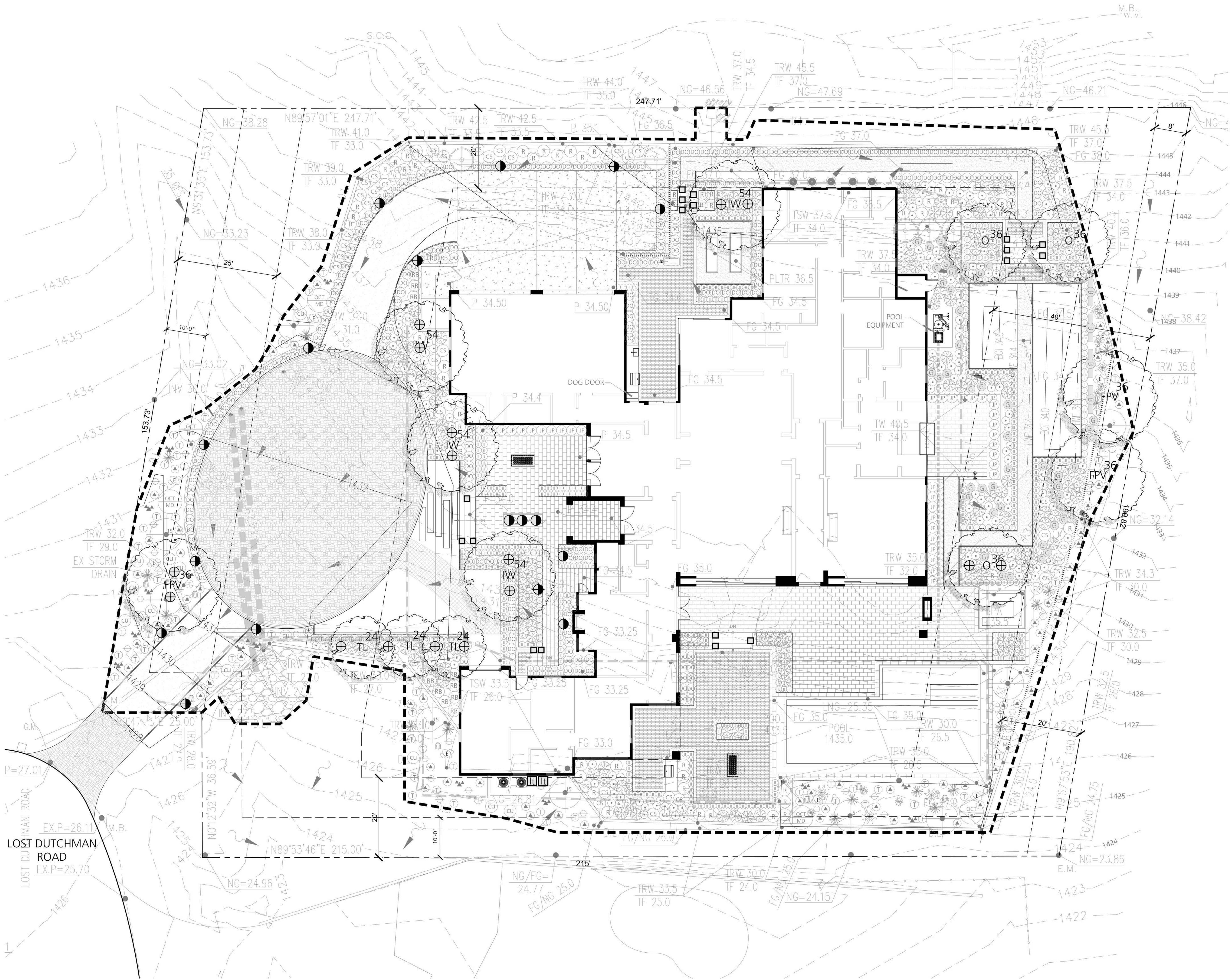
II.1

IRRIGATION &
INFRASTRUCTURE PLAN

SEPTEMBER 27, 2019

CALL TWO WORKING DAYS
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FIXTURE SCHEDULE

QTY.	SYM.	TYPE	FIXTURE MANUF.	MODEL FINISH	WATTS	LUMENS
16	⊕	UP LIGHT	NUIT PARTENAIRE FX LUMINAIRE	NP-3LED BRONZE	4.2	135
14	●	PATH LIGHT	HAUT COULEUR FX LUMINAIRE	HC-LED COPPER	2.0	39
18	□	STEP LIGHT	PETIT OEIL FX LUMINAIRE	PO-1LED-RD-BZ BRONZE METALLIC	2.0	39
3	●	WATER LIGHT	MICROBRITE PENTAIR	620429	12	100
51		GRAND TOTAL				

- NOTES**
- SYMBOLS IN THIS LEGEND ARE REPRESENTATIVE ONLY. INSPECTION TO BE PERFORMED BY LIGHTING DESIGNER AT COMPLETION OF INSTALLATION.
 - LOCATE ALL LIGHT FIXTURES OUT OF SIGHT AND SCREEN WITH PLANTS FROM VIEW.
 - ELECTRICAL SERVICE GENERAL CONTRACTOR TO PROVIDE (2) - 30AMP SERVICE PER 'POD' LOCATION 36" HT. ABOVE GRADE. 3 SIGNAL WIRES TO BE PROVIDED TO EACH LOCATION.
 - STEP LIGHTS TO BE PROVIDED BY BUILDING CONTRACTOR.
 - ALL ABOVE-GROUND MOUNTED EQUIPMENT TO BE PAINTED TO MATCH THE BODY COLOR OF THE WALL UPON WHICH THE EQUIPMENT IS MOUNTED, AND SUFFICIENTLY SCREENED BY PLANTING WHERE EXPOSED TO VIEWS.
 - CONTRACTOR TO ENSURE ALL WEEP HOLES AND PIPING TO DAYLIGHT THROUGH EXTERIOR WALLS NO HIGHER THAN 4" ABOVE THE EXTERIOR FINISHED GRADE AND SCREENED BY PLANTING TO REMOVE FROM ANY VIEW.

TRANSFORMER SCHEDULE

QTY.	SYM.	TYPE	TRANSFORMER LOCATION (WALL MOUNTED) 300 WATT CIRCUITS PER LOCATION.	MANUF. FX LUMINAIRE	MODEL LX-300-PC
2	⊕				

EXISTING DISTURBED AREA: 28,515 S.F.
PROPOSED DISTURBED AREA: 22,519 S.F.

MAXIMUM UP LIGHTS ALLOWED (1 LIGHT PER 1,000 S.F. OS DISTURBED AREA).
UP LIGHTS ALLOWED: 22
PROPOSED UP LIGHTS: 16

1 10.03.19 PV HILLSIDE COMMENTS



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SUITE 100
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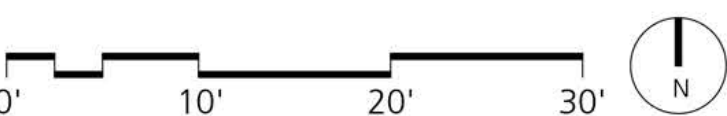
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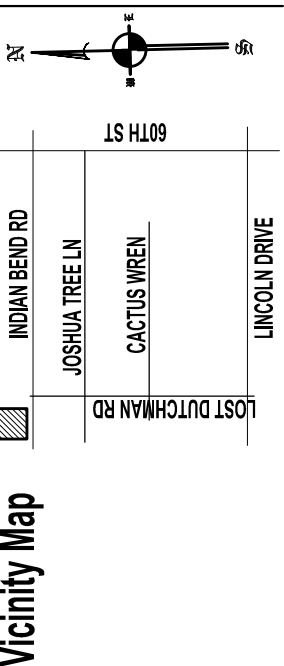
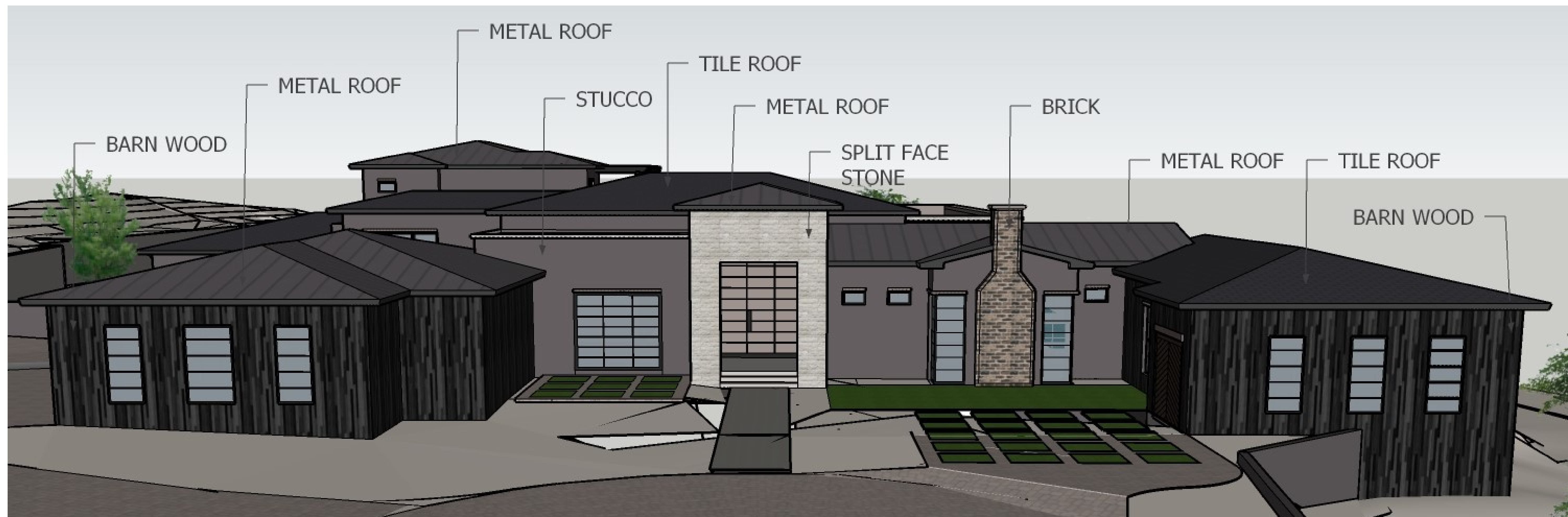
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LP.1 LIGHTING PLAN

SEPTEMBER 27, 2019

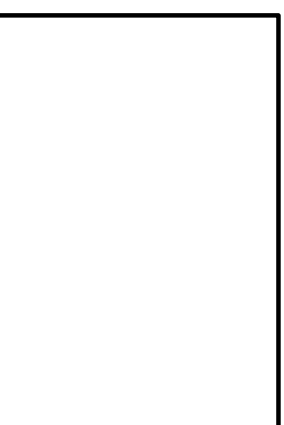
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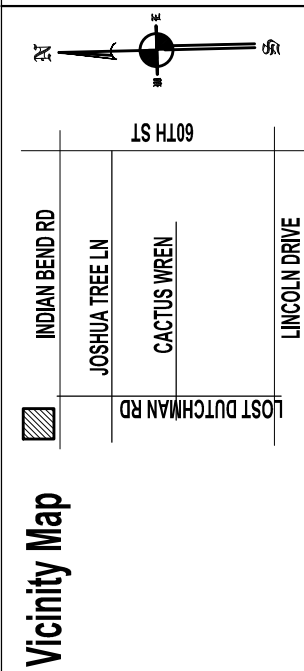
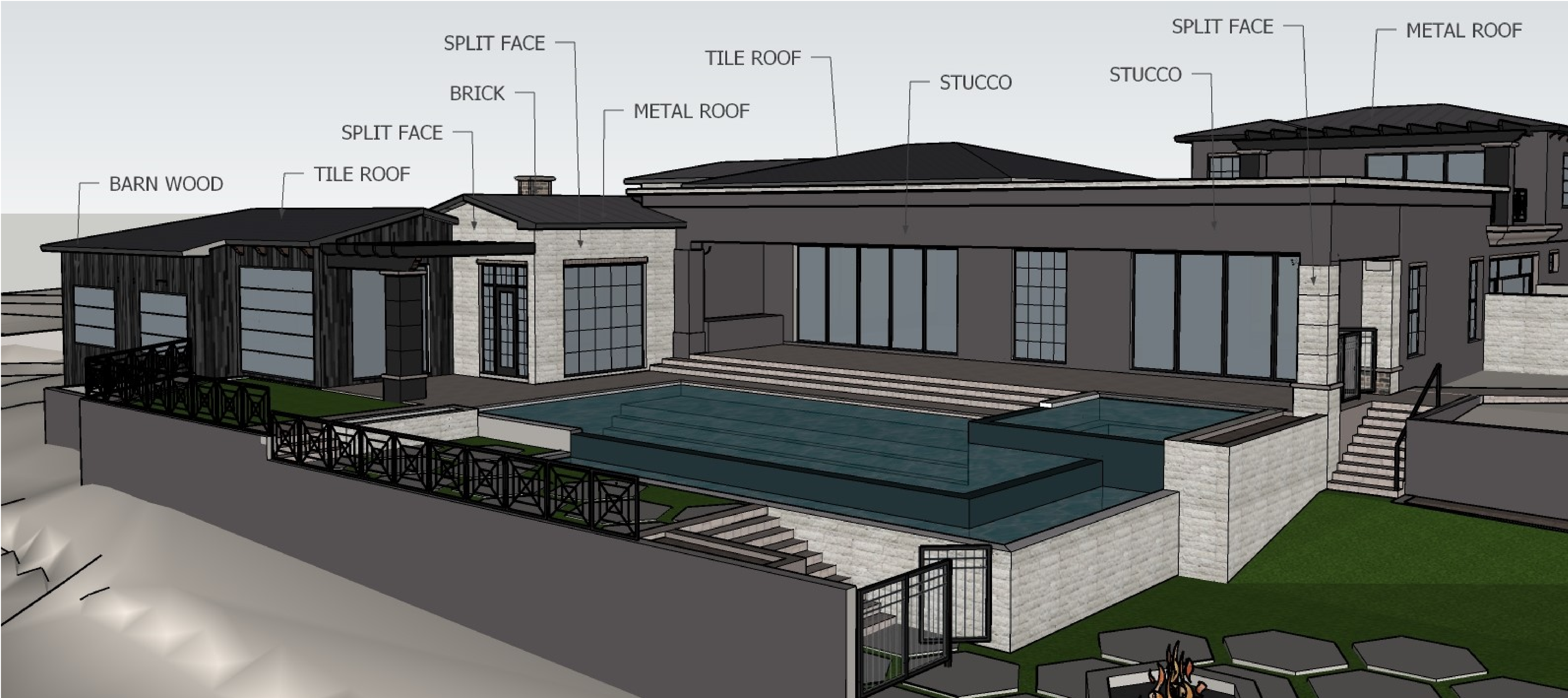




PROPERTY ADDRESS
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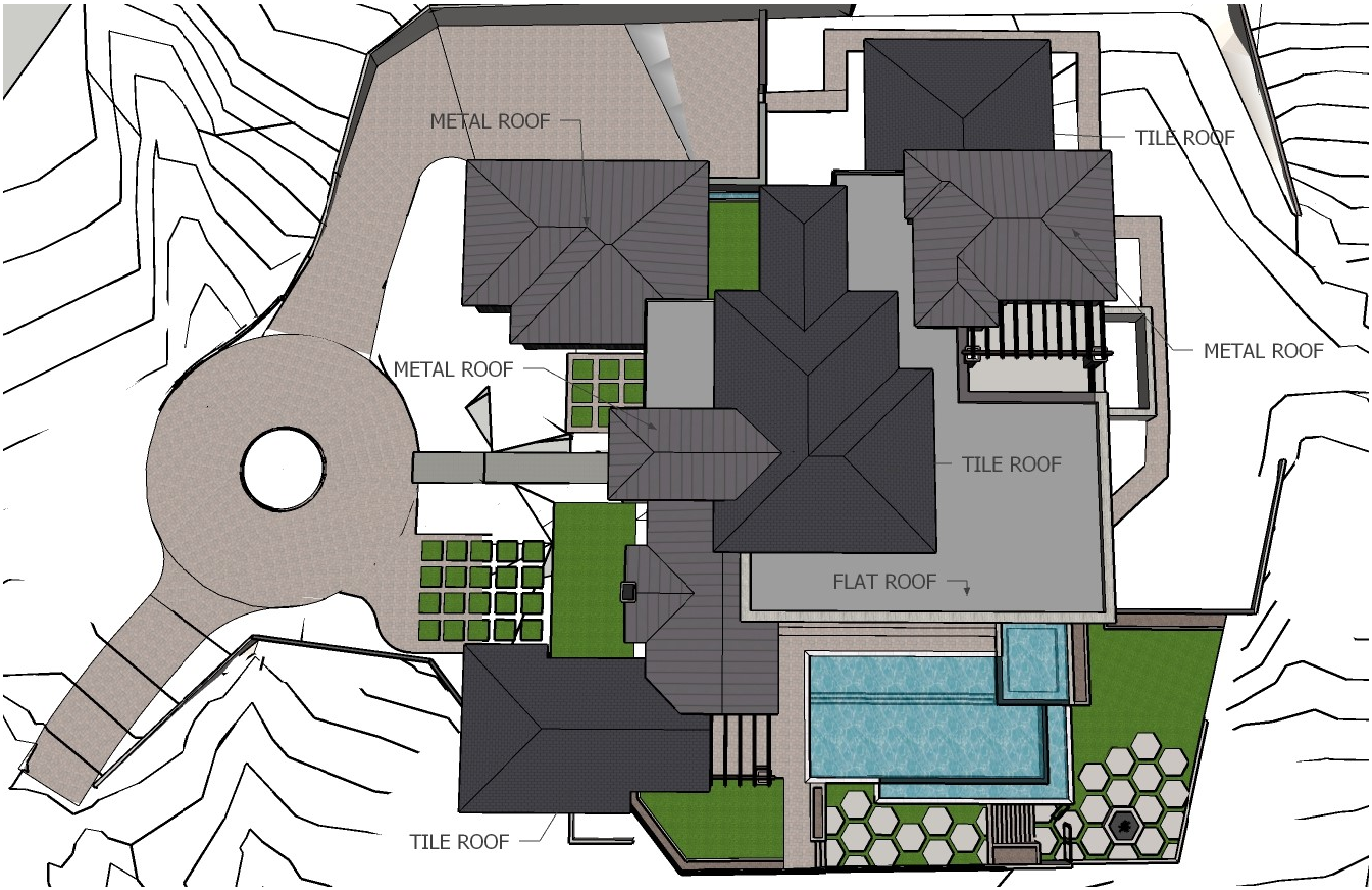
PREPARED BY
EVOLUTION EXTERIOR CONCEPTS
PLANS TO BE USED FOR
LANDSCAPE IMPROVEMENTS BY
REGAL AMERICAN HOMES





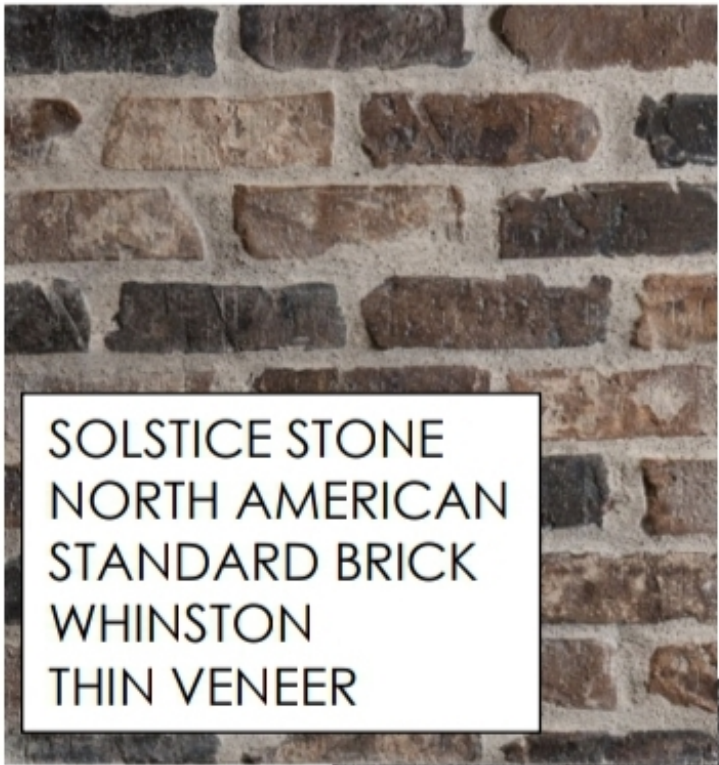
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STUCCO: DOVETAIL GRAY

FLAT ROOF: DOVETAIL GRAY



SOLSTICE STONE
NORTH AMERICAN
STANDARD BRICK
WHINSTON
THIN VENEER



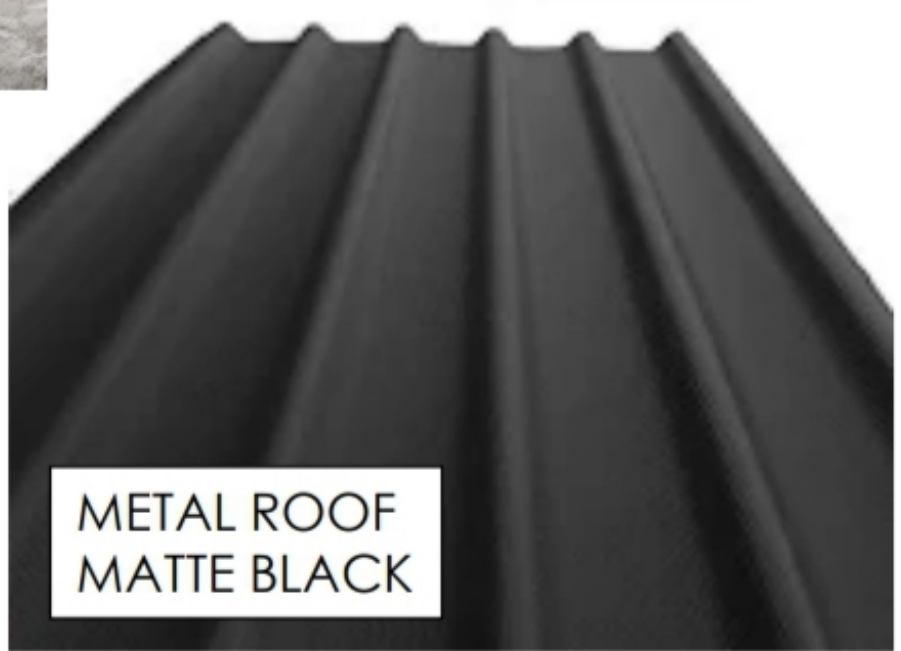
BLUE HOT SPUR SPLIT FACE



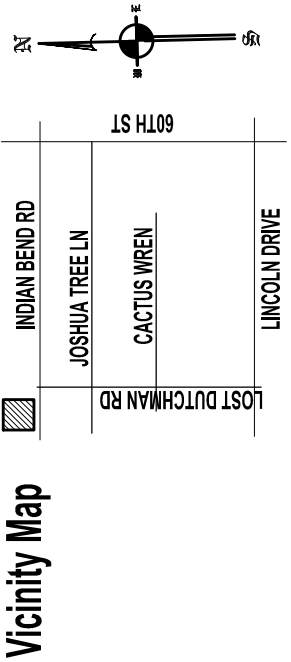
BORAL ROOFING
STONE MOUNTAIN
DARK
SAXONY SLATE



SOLSTICE STONE
ELEMENTS
VINTAGE WOOD SERIES
MIST



METAL ROOF
MATTE BLACK



PROPERTY ADDRESS
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PLANS TO BE USED FOR
LANDSCAPE IMPROVEMENTS BY
REGAL AMERICAN HOMES
