

(IN FEET)
1 inch = 30 ft.

DRAINAGE EASEMENT RESTRICTIONS

PURSUANT TO A.R.S. § 9-463.01 (c), AND SECTIONS 6-4 (E) (J), 8-7-1 ET. SEQ., AND 6-3-8 OF THE CODE OF ORDINANCES OF THE TOWN OF PARADISE VALLEY, DRAINAGE EASEMENTS ARE FOR THE PURPOSE OF ALLOWING STORM, FLOOD AND OTHER WATERS TO PASS OVER, UNDER OR THROUGH THE LAND SET ASIDE FOR SUCH EASEMENTS, AND NOTHING WHICH MAY, TO ANY DEGREE, IMPEDE OR OBSTRUCT THE FLOW OF SUCH WATERS, SHALL BE CONSTRUCTED, PLACED, PLANTED, OR ALLOWED TO GROW ON OR IN SUCH EASEMENTS. THE MAINTENANCE AND CLEARING OF THESE DRAINAGE EASEMENTS SHALL BE THE SOLE RESPONSIBILITY AND DUTY OF THE OWNER OF THE PROPERTY ON WHICH SAID EASEMENTS ARE PLATTED. HOWEVER, THE TOWN OF PARADISE VALLEY, A MUNICIPAL CORPORATION, MAY, IF THE TOWN DEEMS IT TO BE IN THE BEST INTERESTS OF THE HEALTH, SAFETY, OR WELFARE OF THE TOWN OF PARADISE VALLEY, CONSTRUCT AND/OR MAINTAIN DRAINAGE FACILITIES ON OR UNDER SUCH EASEMENTS. AGENTS AND EMPLOYEES OF THE TOWN OF PARADISE VALLEY SHALL HAVE FREE ACCESS TO AND FROM ALL PORTIONS OF SUCH EASEMENTS AT ALL TIMES.

NOTES

1. ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND.
2. THIS SUBDIVISION WILL BE DEVELOPED IN FULL COMPLIANCE WITH THE R-43 PARADISE VALLEY ZONING DISTRICT AND OTHER APPLICABLE CODES AND ORDINANCES.
3. THE ELEVATION OF ANY PAD FOR A BUILDING OR STRUCTURE WITHIN THE BASE FLOOD LIMITS OF AN AREA OF SPECIAL HAZARD MUST BE IN ACCORDANCE WITH CURRENT PARADISE VALLEY FLOOD REGULATIONS
4. CC&R'S AS RECORDED IN MCR BOOK 57 PAGE 1, BOOK 376 PAGE 28, DOCKET 1180 PAGE 129, DOCKET 1191 PAGE 13, DOCKET 1344 PAGE 390 AND RECORDING 89-526840. NO NEW CC&R'S FOR THIS PLAT.
5. NO POWER POLES ON SITE.
6. NO FENCES OR SIGNS ARE PROPOSED WITH THIS PLAT.
7. THE OWNER OF LOT 2 SHALL INSTALL A FIRE HYDRANT IN EITHER TRACT A, TRACT B OR THE ADJOINING TOWN RIGHT-OF-WAY PER THE TOWN OF PARADISE VALLEY STANDARDS PRIOR TO FINAL BUILDING INSPECTION OR ISSUANCE OF THE CERTIFICATE OF OCCUPANCY FOR LOT 2.
8. THE OWNER OF LOT 2 SHALL OWN AND MAINTAIN TRACT 'B'.
9. TRACT A IS A PRIVATE ROADWAY AND CONTAINS AN EASEMENT FOR PUBLIC AND PRIVATE UTILITIES SUCH AS WATER AND SEWER LINES, NATURAL GAS, ELECTRIC, TELEPHONE, CABLE TELEVISION, DRAINAGE, REFUSE COLLECTION AND EMERGENCY, AND SIMILAR SERVICE TYPE VEHICLES.

OWNER:

CULLUM HOMES, INC.
8408 E SHEA BLVD, #D-100
SCOTTSDALE, AZ 85260
(480) 949-2700

SITE DATA

A.P.N. 169-03-078
EXISTING ZONING R-43
NUMBER OF LOTS 2
GROSS AREA 120532.79 SF 2.767 ACRES
NET AREA 120532.79 SF 2.767 ACRES

LEGEND

- B.S.B. BUILDING SETBACK
P.U.E. PUBLIC UTILITIES EASEMENT
MCR MARICOPA COUNTY RECORDER
D.E. DRAINAGE EASEMENT
(C) CALCULATED VALUE
(R) RECORDED VALUE MCR BOOK 376 PAGE 28
(M) MEASURED VALUE
ROW RIGHT-OF-WAY
DE DRAINAGE EASEMENT
VE VISIBILITY EASEMENT
DKT DOCKET
○ REBAR WITH CAP
● RPLS # 50988 TO BE SET
● FOUND 5/8"Ø STEEL PIN
● FOUND 1/2"Ø REBAR
● FOUND COTTON PICKER SPINDLE
● FOUND IRON PIPE ADD TAG 50988
● FOUND 3" BRASS CAP
- PARENT PARCEL BOUNDARY
— LOT BOUNDARY
- - - PUBLIC UTILITY EASEMENT
- - - DRAINAGE EASEMENT

PRELIMINARY PLAT LAVITT MANOR II

A REPLAT OF LOT 1, LAVITT MANOR, ACCORDING TO THE BOOK 376 OF
MAPS, PAGE 28, RECORDS OF MARICOPA COUNTY, ARIZONA
LOCATED IN A PORTION OF THE NORTHEAST QUARTER OF SECTION 4
TOWNSHIP 2 NORTH RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND
MERIDIAN, MARICOPA COUNTY, ARIZONA

LEGAL DESCRIPTION - PARENT LOT

LOT 1, LAVITT MANOR, ACCORDING TO THE BOOK 376 OF MAPS, PAGE 28,
RECORDS OF MARICOPA COUNTY, ARIZONA.

NOTICE REGARDING WATER SERVICE

THIS SUBDIVISION IS LOCATED WITHIN THE CITY OF PHOENIX SERVICE AREA AND
HAS BEEN DESIGNATED AS HAVING AN ASSURED WATER SUPPLY.

UTILITIES

WATER
SANITARY SEWER
ELECTRIC
TELEPHONE
NATURAL GAS
CABLE TV

CITY OF PHOENIX
TOWN OF PARADISE VALLEY/SEPTIC
ARIZONA PUBLIC SERVICE
CENTURYLINK, COX COMMUNICATIONS
SOUTHWEST GAS
CENTURYLINK, COX COMMUNICATIONS

DEDICATION

STATE OF ARIZONA }
COUNTY OF MARICOPA } SS

KNOW ALL MEN BY THESE PRESENTS:

CULLUM HOMES INC., AN ARIZONA CORPORATION, AS LEGAL OWNER OF SAID REAL PROPERTY, HAS SUBDIVIDED UNDER THE NAME OF "LAVITT MANOR II", A SUBDIVISION OF LOT 1, LAVITT MANOR ACCORDING TO BOOK 376 OF MAPS, PAGE 28, RECORDS OF MARICOPA COUNTY, ARIZONA SITUATED IN SECTION 4, TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, AS SHOWN AND PLATTED HEREON AND HEREBY PUBLISHES THIS PLAT AND HEREBY DECLARES THAT THIS PLAT SETS FORTH THE LOCATION AND GIVES THE DIMENSIONS OF THE LOTS AND STREETS CONSTITUTING SAME AND THAT EACH LOT SHALL BE KNOWN BY THE NUMBER OR NAME GIVEN EACH RESPECTIVELY ON THIS LOT PLAT, AND HEREBY DEDICATES AND GRANTS TO THE TOWN OF PARADISE VALLEY THE STREETS AND RIGHTS-OF-WAY SHOWN ON THIS PLAT AND INCLUDED IN THE ABOVE-DESCRIBED PREMISES. EASEMENTS ARE HEREBY DEDICATED FOR THE PURPOSES SHOWN.

IN WITNESS WHEREOF:

CULLUM HOMES INC., AS OWNERS, HAVE HEREUNTO AFFIXED THEIR SIGNATURE THIS ____DAY OF _____, 2019,

CULLUM HOMES INC.

ACKNOWLEDGMENTS

STATE OF ARIZONA }
COUNTY OF MARICOPA } SS

BEFORE ME THIS ____ DAY OF _____ 2019, THE FOLLOWING PERSONS APPEARED BEFORE, THE UNDERSIGNED NOTARY PUBLIC, _____, WHO ACKNOWLEDGED (A) THEMSELVES TO BE AN OFFICER OF CULLUM HOMES, INC., AND ACKNOWLEDGED (B) THEMSELVES TO BE THE LEGAL OWNERS OF THE PROPERTY PLATTED HEREON; AND AND ACKNOWLEDGED (B) THAT THEY, AS LEGAL OWNERS, EXECUTED THIS INSTRUMENT FOR THE PURPOSES HEREIN CONTAINED.

IN WITNESS WHEREOF, I HEREUNTO SET MY HAND AND OFFICIAL SEAL.

MY COMMISSION EXPIRES _____ NOTARY PUBLIC

REFERENCES

TITLE REPORT BY FIDELITY NATIONAL TITLE INSURANCE COMPANY ORDER NO.
Z1826800-001-KJV-JAG

APPROVAL

APPROVED BY THE TOWN COUNCIL OF THE TOWN OF PARADISE VALLEY, ARIZONA THIS ____ DAY OF _____ 2019,

BY: _____ MAYOR _____ DATE _____ ATTEST: _____ TOWN CLERK _____ DATE _____

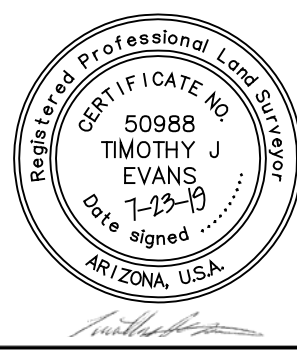
TOWN ENGINEER _____ DATE _____ PLANNING DIRECTOR _____ DATE _____

BASIS OF BEARING

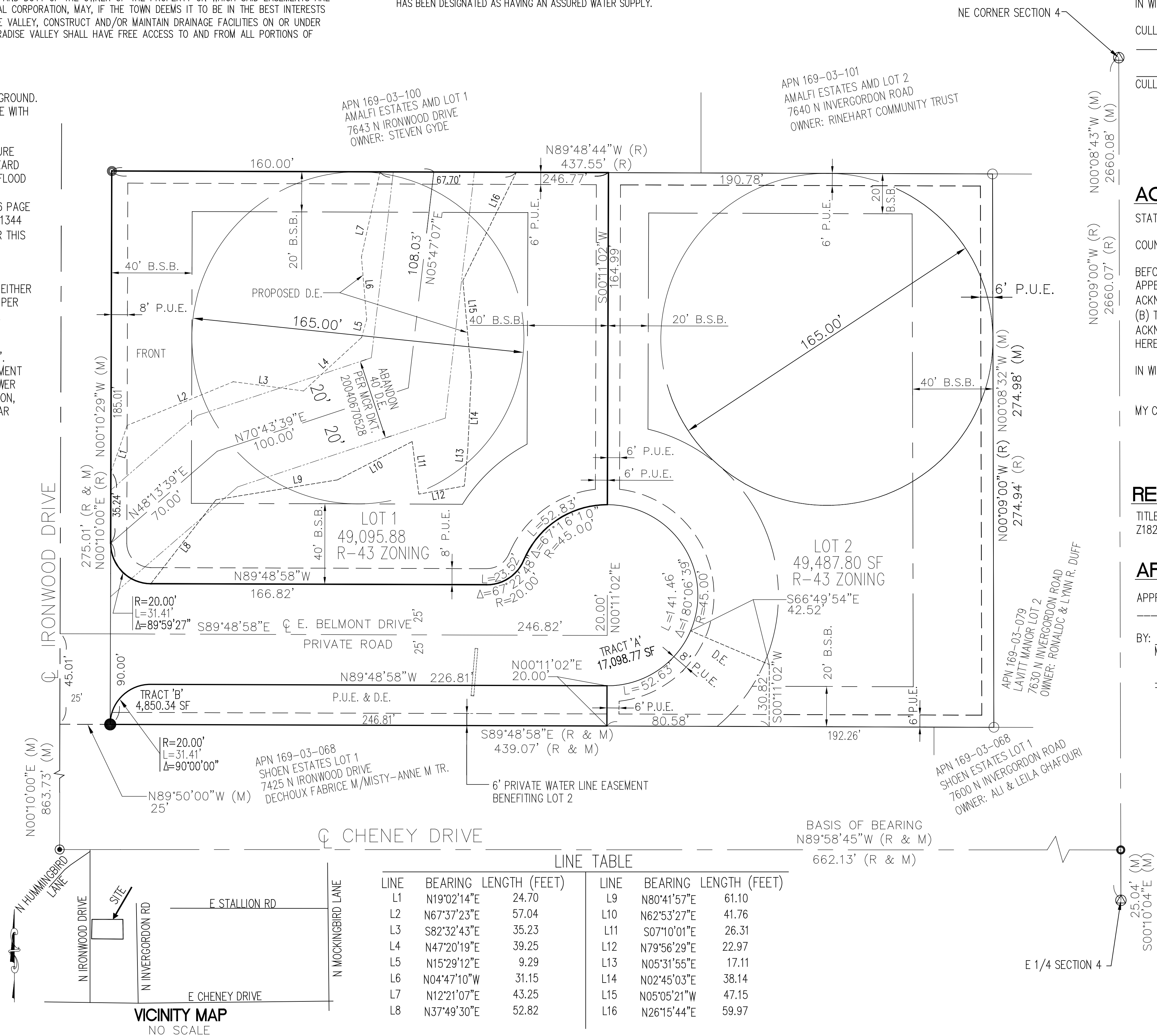
THE CENTER LINE OF CHENEY DRIVE AS RECORDED IN MCR BOOK 376 OF MAPS, PAGE 28, HAVING A BEARING OF NORTH 89 DEGREES 58 MINUTES 45 SECONDS WEST.

CERTIFICATION

I, TIMOTHY J EVANS, HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF ARIZONA, THAT THIS MAP, CONSISTING OF ONE (1) SHEET, CORRECTLY REPRESENTS A SURVEY MADE UNDER MY SUPERVISION DURING THE MONTH OF JULY, 2018, THAT THE SURVEY IS TRUE AND COMPLETE AS SHOWN, THAT ALL MONUMENTS SHOWN ACTUALLY EXIST OR WILL BE SET AS SHOWN, THAT THEIR POSITIONS ARE CORRECTLY SHOWN AND THAT SAID MONUMENTS ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.



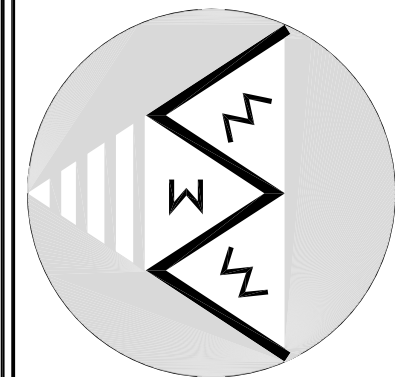
BY
TIMOTHY J EVANS
REGISTRATION NUMBER 50988
2185 S. BANNING ST.
GILBERT, ARIZONA 85295
(480) 244-5036
EMAIL: TIMEVANS@EVANS-PRO.COM



VICINITY MAP
NO SCALE

LINE TABLE					
LINE	BEARING	LENGTH (FEET)	LINE	BEARING	LENGTH (FEET)
L1	N19°02'14"E	24.70	L9	N80°41'57"E	61.10
L2	N67°37'23"E	57.04	L10	N62°53'27"E	41.76
L3	S82°32'43"E	35.23	L11	S07°10'01"E	26.31
L4	N47°20'19"E	39.25	L12	N79°56'29"E	22.97
L5	N15°29'12"E	9.29	L13	N05°31'55"E	17.11
L6	N04°47'10"W	31.15	L14	N02°45'03"E	38.14
L7	N12°21'07"E	43.25	L15	N05°05'21"W	47.15
L8	N37°49'30"E	52.82	L16	N26°15'44"E	59.97

MONTGOMERY
ENGINEERING & MANAGEMENT, L.L.C.



16716 E. PARKVIEW AVE. SUITE 204
FOUNTAIN HILLS, ARIZONA 85268
(480) 837-1845 fax (480) 837-8668
e-mail: Dave@CivilAZ.com

LAVITT MANOR II
A REPLAT OF LAVITT
MANOR LOT 1

7525 N IRONWOOD DR
PARADISE VALLEY, AZ

DRAWN BY: KM DATE: 7-23-19
CHECKED BY: DRM PROJECT NO: 18029
SCALE: AS NOTED

DRAWING NO:

1

PAVING CONSTRUCTION NOTES:

- All work under the encroachment permits shall be done, at minimum, in accordance with latest revision of the Maricopa Association of Governments Uniform Standard Specification and Details (MAG Specification and Details), Town of Paradise Valley Supplement to the MAG Specification and Details, and Manual of Uniform Traffic Control Devices.
- A right-of-way encroachment permit issued by the Town of Paradise Valley shall be required for all work in the Town of Paradise Valley rights-of-way.
- The Town of Paradise Valley shall be notified 24 hours prior to starting the different phases of construction for scheduling inspections.
- Location of all water valves, manholes and cleanouts must be referenced at all times during construction and access made available.
- No paving construction shall be started until all underground utilities within the roadway are completed.
- Staking shall include:
 - Right-of-way lines at 100' interval.
 - Pre-grade and reference control – as necessary.
 - Culvert, storm drain and ditch inverts at 50' intervals and breaks in grade.
 - Blueprint subgrade at centerline and uncurbed edge of pavement at 50' intervals.
 - Blueprint ABC at centerline, uncurbed edge of pavement, and 1/4 points at 50' intervals.
 - Straddle points for permanent monuments. Punch the monument cap after setting.
 - Structure location and grades.
 - Concrete curb and gutter at 50' intervals maximum. On horizontal or vertical curves, and on grades less than 05%, stake at 25' maximum intervals. Stake all curb returns at the P.C. and the 1/4 points of return.
- Gutters shall be water tested in the presence of the Town Engineering Department to insure proper drainage prior to final approval by the Town Engineering Department.
- No job will be considered complete until all curbs, pavement and sidewalks have been swept clean of all dirt and debris and all survey monuments are installed according to the plans.
- The contractor shall uncover all existing lines being tied into to verify their locations. The contractor shall locate or have located all existing underground pipelines, telephone and electric conduits, and structures in advance of construction and will observe all possible precautions to avoid damage to same. Call Blue Stake at 1-800-STAKE-IT.
- Facilities which are not specifically located with actual vertical and horizontal controls, are located only approximately and to the best available knowledge.
- Earthwork shall be performed according to MAG Standards and any geotechnical reports done for the property.

FLOOD INSURANCE RATE MAP (FIRM) INFORMATION				
COMMUNITY NUMBER	PANEL NUMBER	SUFFIX	FIRM ZONE	BASE FLOOD ELEVATION (IN AO ZONE, USE DEPTH)
04013C	1765			
	10-16-13	L	X	N/A

GRADING NOTES:

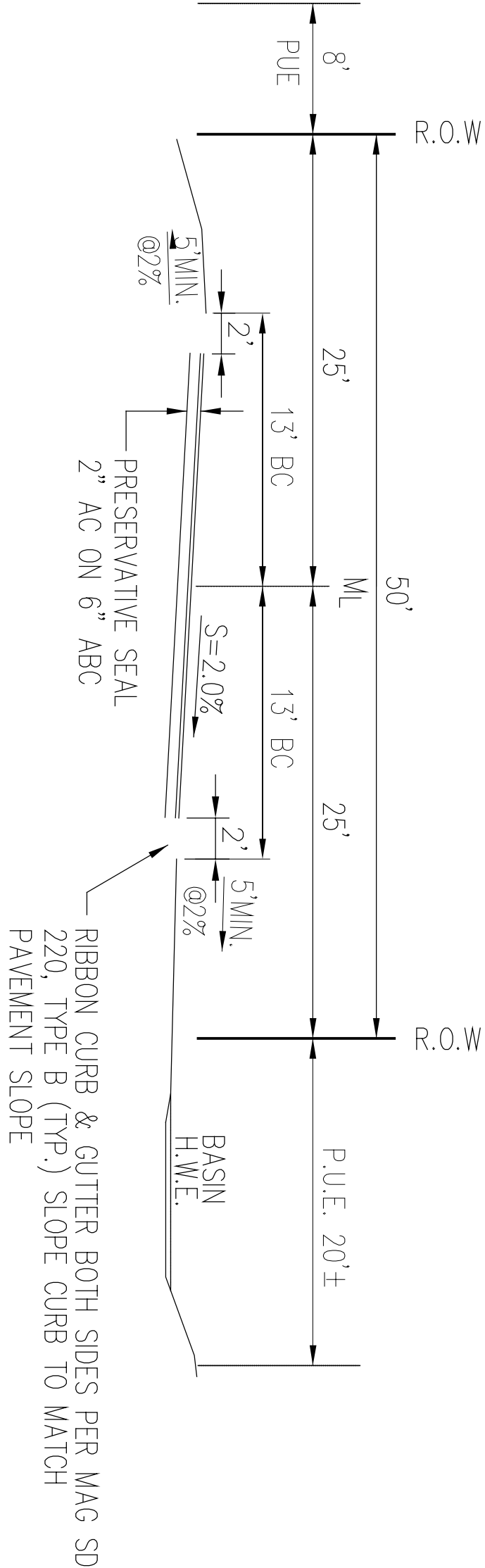
- ON-LOT RETENTION FOR EACH LOT WILL BE REQUIRED AT TIME OF LOT DEVELOPMENT PER PARADISE VALLEY REQUIREMENTS.
- LOTS 3 AND 4 AND TRACTS 1 AND 2 SHALL PROVIDE RETENTION FOR INCREASED RUNOFF FROM STREET IMPERVIOUS SURFACES PER THE RETENTION TABLE THIS DRAWING. RETENTION AT LOTS 3 AND 4 MAY BE RELOCATED IF APPROVED BY THE TOWN OF PARADISE VALLEY.
- LOT OWNERS WILL BE REQUIRED TO PASS UPSTREAM HISTORIC RUNOFF ACROSS THEIR PROPERTY.
- LOTS 2, 3, AND 4 MAY REQUIRE A SEWER LIFT PUMP.
- EACH LOT OWNER SHALL PROVIDE CUSTOM GRADING PLANS WITH FINISH FLOORS ESTABLISHED AT THAT TIME.
- LOT 1 PROPERTY OWNER SHALL OWN TRACT 1 AND IS RESPONSIBLE FOR TRACT 1 MAINTENANCE AND REPAIR.
- LOT 2 PROPERTY OWNER SHALL OWN TRACT 2 AND IS RESPONSIBLE FOR TRACT 2 MAINTENANCE AND REPAIR.
- WATER SYSTEM MAY NOT HAVE ADEQUATE FIRE OR DOMESTIC PRESSURE. INDIVIDUAL LOT OWNERS SHALL PROVIDE ANY REQUIRED BOOSTER PUMPS AND STORAGE SYSTEMS AS REQUIRED BY PARADISE VALLEY AT TIME OF HOUSE PERMIT.
- NO RUNOFF WILL BE ALLOWED TO ENTER THE BERNELL CHANNEL FROM THIS SITE.
- RETENTION BASINS MAY OVERFLOW INTO BERNELL CHANNEL.

UTILITIES

WATER
SANITARY SEWER
ELECTRIC
TELEPHONE
NATURAL GAS
CABLE TV

CITY OF PHOENIX
TOWN OF PARADISE VALLEY/SEPTIC
ARIZONA PUBLIC SERVICE
CENTURYLINK, COX COMMUNICATIONS
SOUTHWEST GAS
CENTURYLINK, COX COMMUNICATIONS

LAVITT MANOR II
PAVING, GRADING + DRAINAGE PLAN
LOCATED IN A PORTION OF THE NORTHEAST QUARTER OF SECTION 4
TOWNSHIP 2 NORTH RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND
MERIDIAN, MARICOPA COUNTY, ARIZONA



TYPICAL STREET SECTION - LOOKING EAST
NTS

LEGAL DESCRIPTION - PARENT LOT
LOT 1, LAVITT MANOR, ACCORDING TO THE BOOK 376 OF MAPS, PAGE 28,
RECORDS OF MARICOPA COUNTY, ARIZONA.

OWNER:

CULLUM HOMES, INC.
8408 E SHEA BLVD, #D-100
SCOTTSDALE, AZ 85260
(480) 949-2700

PROJECT DATA

ZONING _____ R-43
LOT AREA _____ 120532.79 SF 2.767 ACRES
120532.79 SF 2.767 ACRES
A.P.N. _____ 176-11-281 PARENT LOT

DEVELOPMENT NOTES:

NO SIGNS OR SUBDIVISION WALLS ARE PROPOSED

LOTS SHALL PROVIDE RUNOFF RETENTION AT THE TIME OF DEVELOPMENT PER PARADISE VALLEY'S STORM DRAINAGE MANUAL EFFECT AT THAT TIME.
RETENTION SHOWN FOR PROPOSED PAVING ONLY, VOLUME DOES NOT COUNT TOWARD FUTURE LOT DEVELOPMENT.

INDEX OF SHEETS

SHEET C1 PAVING, GRADING & DRAINAGE COVER
SHEET C2 PAVING, GRADING & DRAINAGE
SHEET C3 SECTIONS & DETAILS
SHEET C4 WASH EXHIBIT

AS-BUILT CERTIFICATION

I HEREBY CERTIFY THAT THE "AS-BUILT" MEASUREMENTS AS SHOWN OR AS NOTED HEREON WERE MADE UNDER MY SUPERVISION AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

REGISTERED CIVIL ENGINEER

DATE

REGISTRATION NUMBER

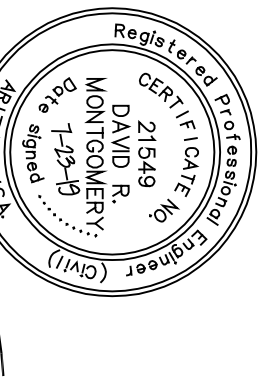
APPROVALS

BENCHMARK

1/2" REBAR AT INTERSECTION OF INVERGORDON
ROAD AND CHENEY DRIVE
ELEVATION: 13722.241 (NAVD 88)
GDA# # 22315-TT

SUBMITTED BY:

DAVID R MONTGOMERY
REGISTERED CIVIL ENGINEER



			BY
4	7-23-19	REVISE SECTIONS	DRM
3	5-6-19	REVISE LOT 1 BSB	DRM
2	1-24-19	P.V. REDLINES	DRM
NO.	DATE	DESCRIPTION	

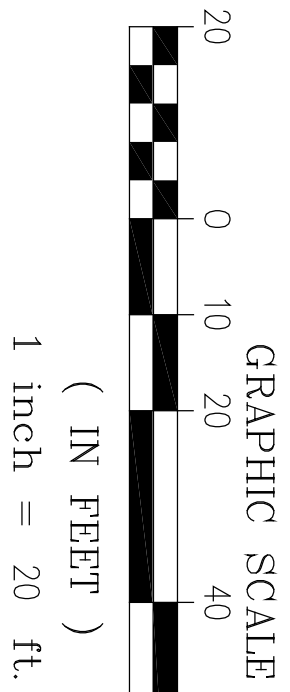
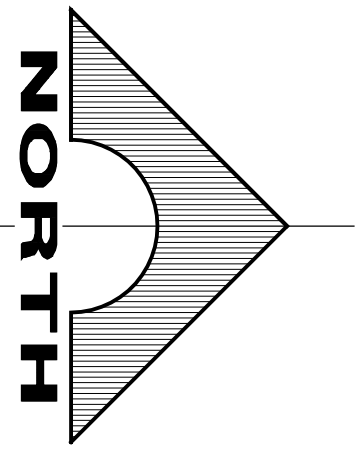


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16716 E. PARKVIEW AVE. SUITE 204
FOUNTAIN HILLS, ARIZONA 85268
(480) 837-1845 fax (480) 837-8668
e-mail: Dave@CivilAZ.com

LAVITT MANOR II
REPLAT
7525 N IRONWOOD DR
PARADISE VALLEY, AZ

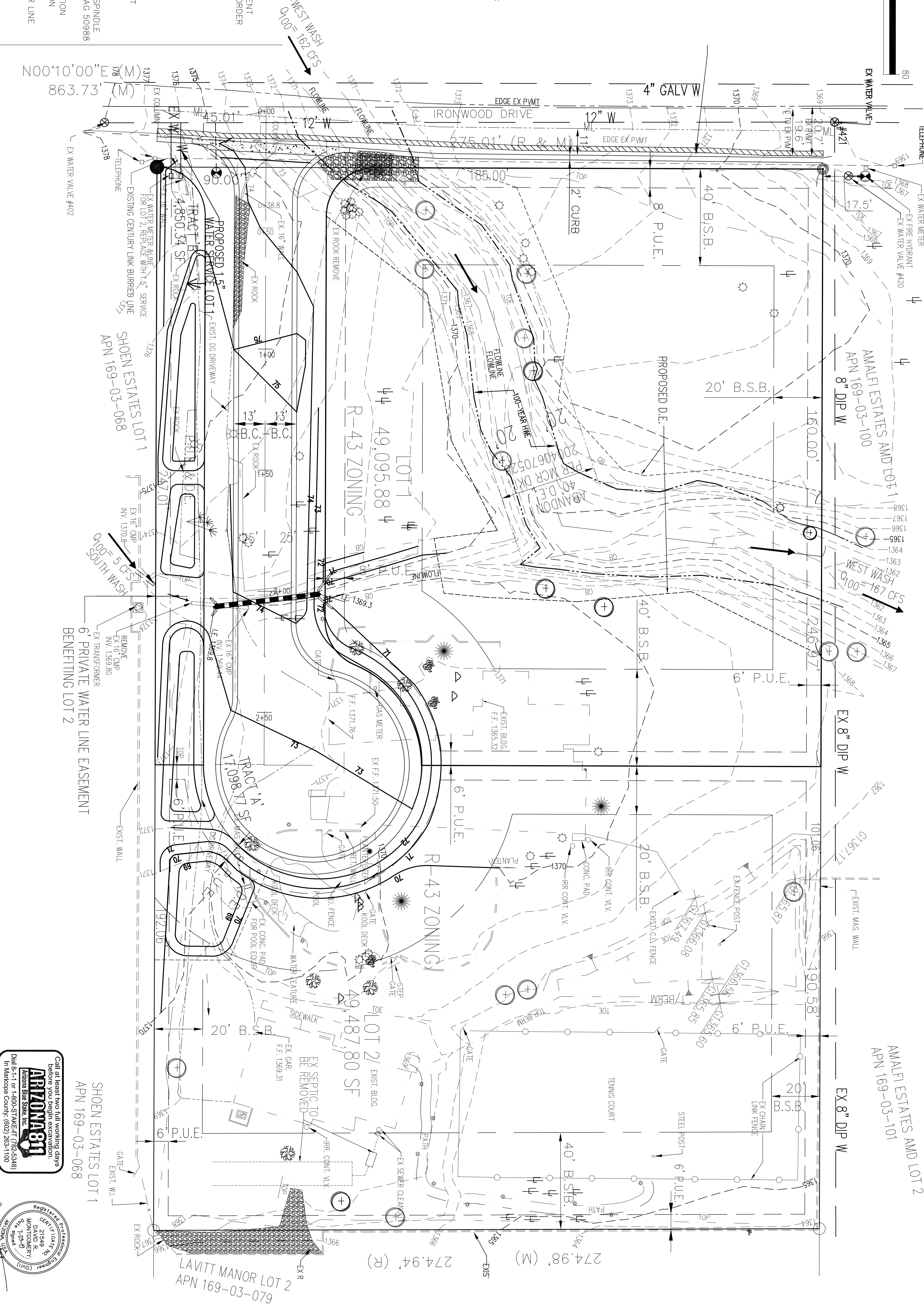
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CHECKED BY: DRM	PROJECT NO: 18029
	SCALE: AS NOTED
PAVING, GRADING & DRAINAGE COVER	

DRAWING NO: C1014

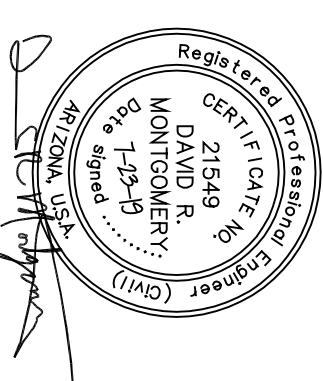


PAVING GRADING DRAINAGE LAVITT MANOR II

LEGEND	
B.S.B.	BUILDING SETBACK
P.U.E.	PUBLIC UTILITIES EASEMENT
MCR	MARICOPA COUNTY RECORDER
(C)	CALCULATED VALUE
D.E.	DRAINAGE EASEMENT
EX	EXISTING
(R)	RECORDED VALUE
(M)	MEASURED VALUE
DE	RIGHT-OF-WAY
VE	DRAINAGE EASEMENT
VE	VISIBILITY EASEMENT
REPAIR WITH CAP	REPAIR WITH CAP
RPLS # 50988 TO BE SET	RPLS # 50988 TO BE SET
FOUND 5/8" STEEL PIN	FOUND 5/8" STEEL PIN
FOUND 1/2" REBAR	FOUND 1/2" REBAR
FOUND COTTON PICKER SPINDLE	FOUND COTTON PICKER SPINDLE
FOUND IRON PIPE ADD TAG 50988	FOUND IRON PIPE ADD TAG 50988
●	PROPOSED SPOT ELEVATION
○	EXISTING SPOT ELEVATION
---	100-YEAR HIGH WATER LINE
---	LOT BOUNDARY
---	EASEMENT



Call at least two full working days before you begin excavation.
ARIZONA811
Arizona Blue Sheet, Inc.
Dial 811 or 1-800-5-STATE (782-5348)
In Maricopa County: (602) 263-1100



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DRAWING NO: C2014	DRAWN BY: KM	DATE: 7-23-19
	CHECKED BY: DRM	PROJECT NO: 18029
		SCALE: AS NOTED
	PAVING, GRADING & DRAINAGE	

**LAVITT MANOR II
REPLAT**

7525 N IRONWOOD DR
PARADISE VALLEY, AZ



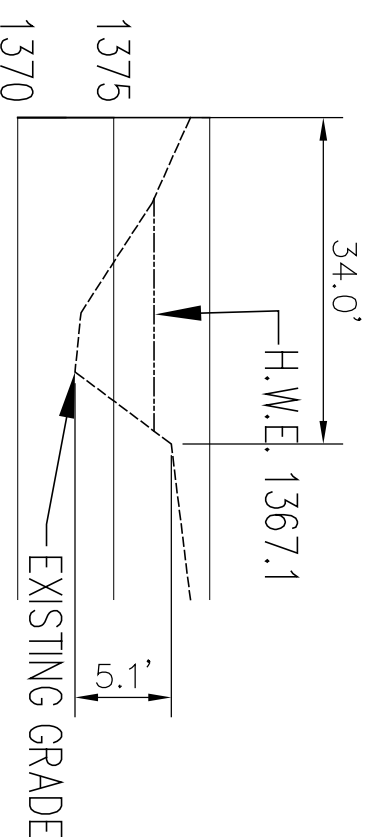
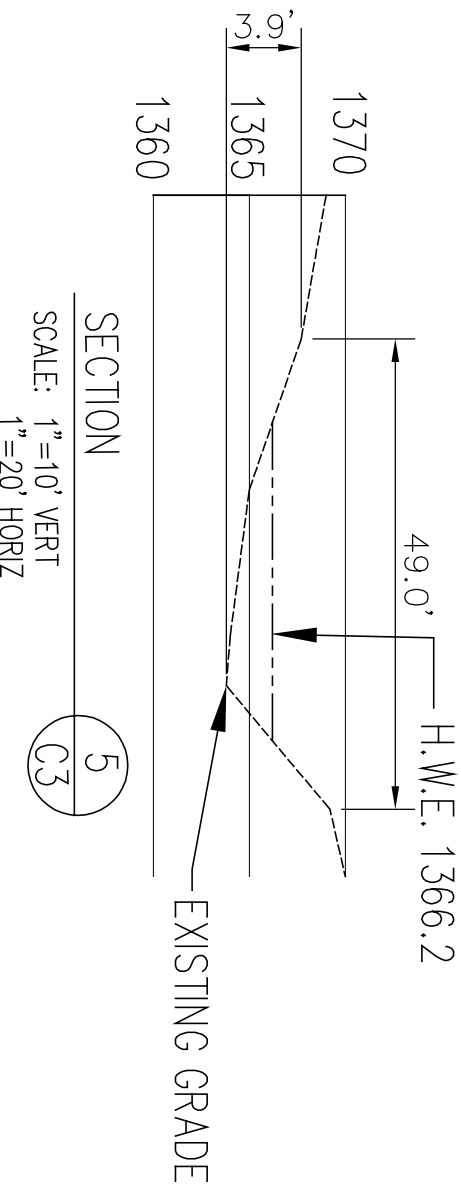
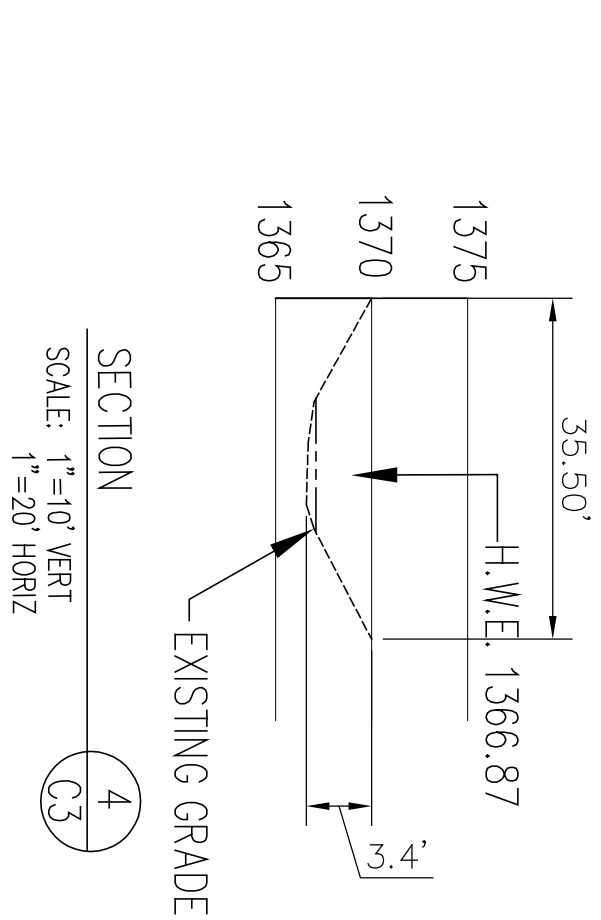
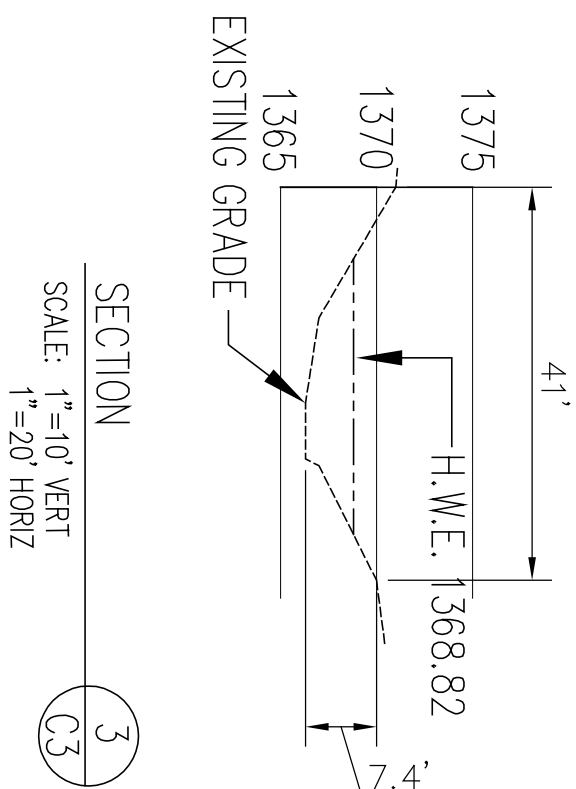
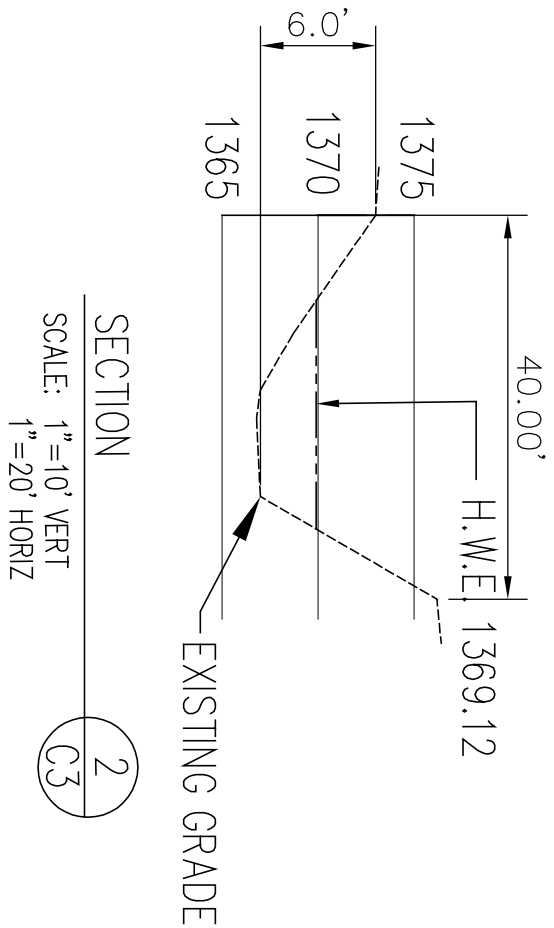
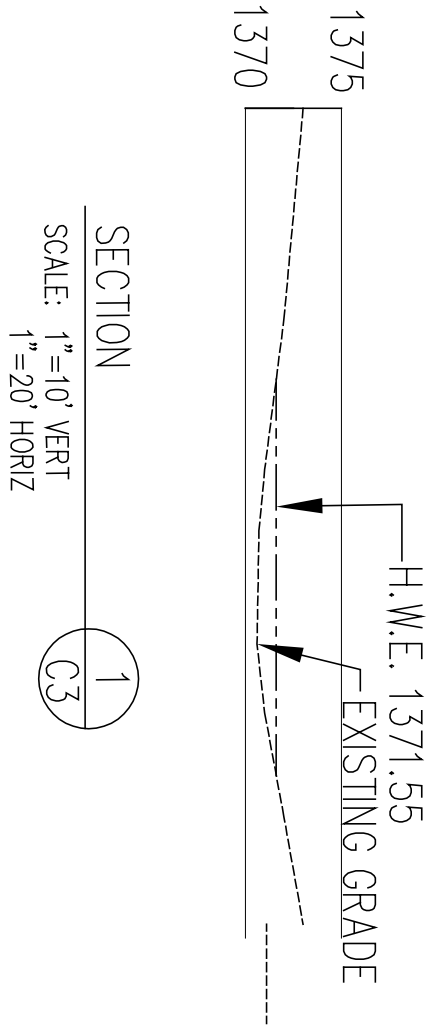
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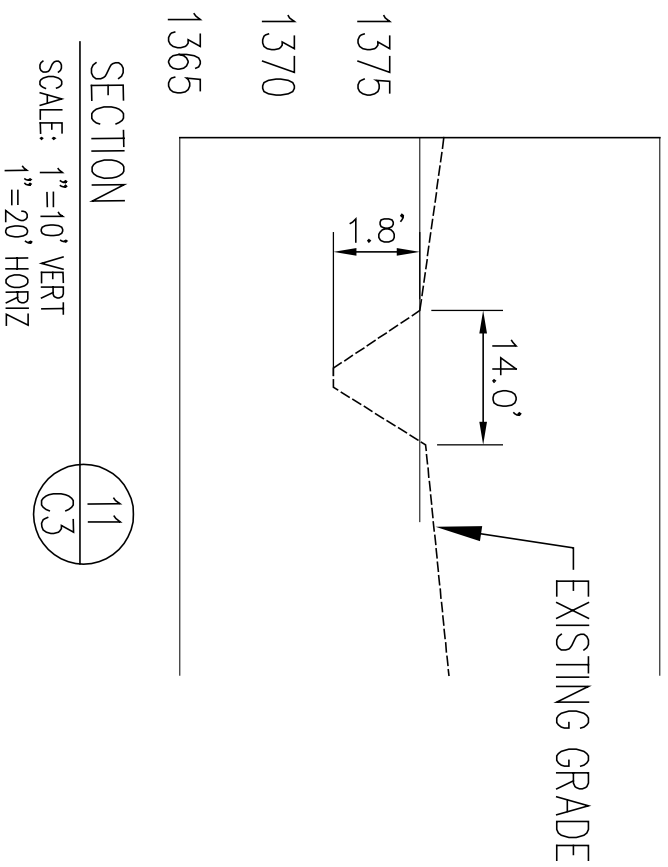
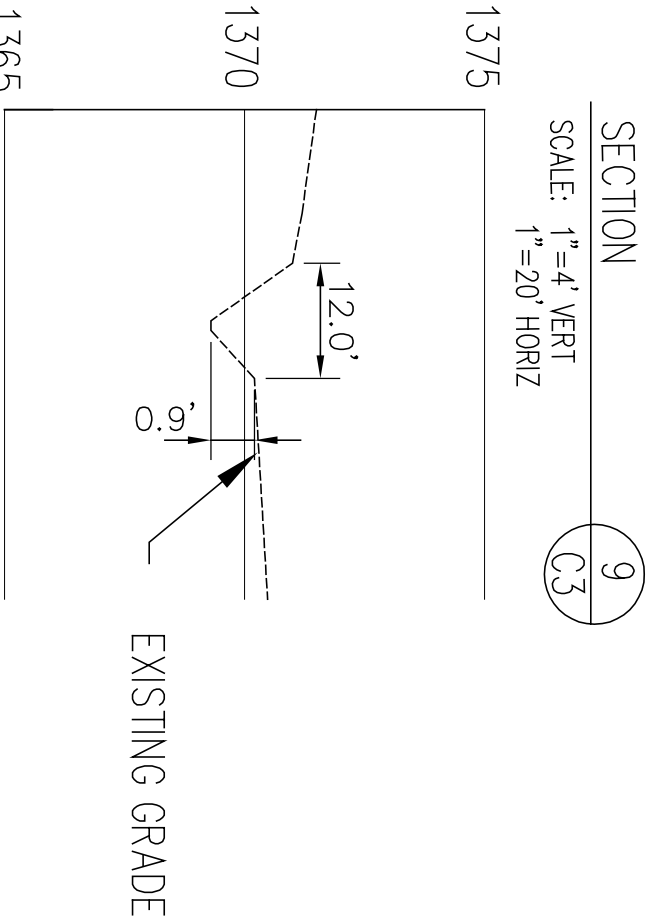
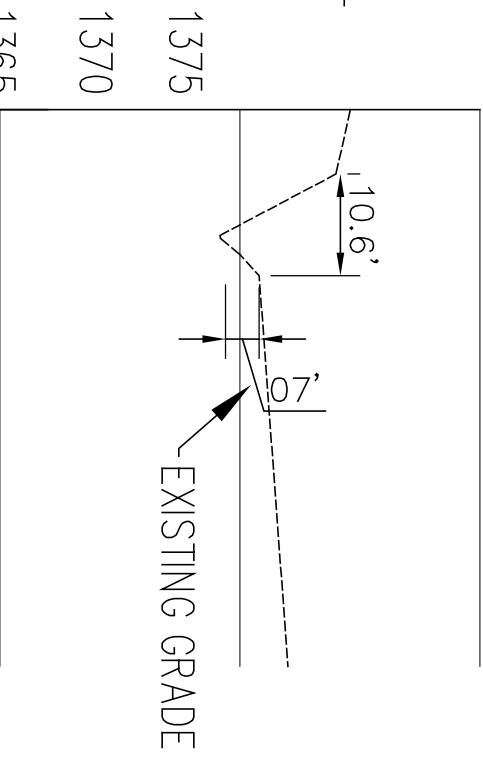
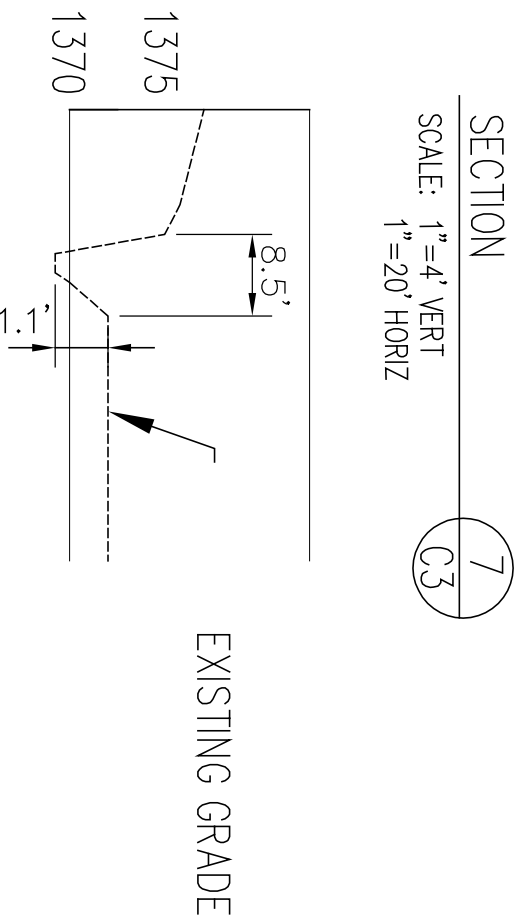
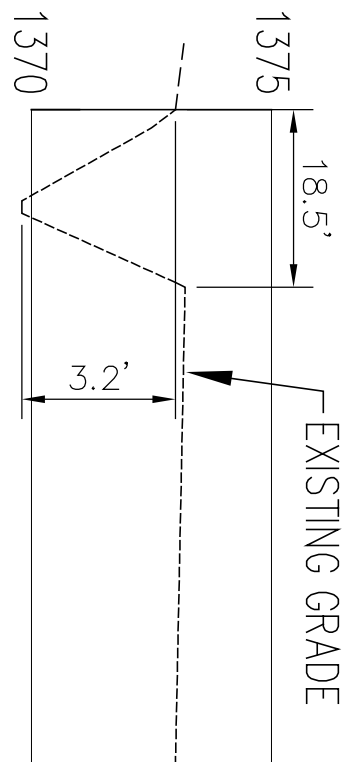
NO.	DATE	DESCRIPTION	BY
4	7-23-19	REVISE SECTIONS	DRM
3	5-6-19	REVISE LOT 1 BSB	DRM
3	3-12-19	P.V. COMMENTS	DRM
2	1-24-19	P.V. REDLINES	DRM
1	12-5-18	MOVE STREET	DRM

PAVING GRADING PLAN
LAVITT MANOR II

NORTHWEST DRAINAGE CHANNEL



SOUTH DRAINAGE CHANNEL



4 OF 5 < 2' VERT HEIGHT
NO EASEMENT REQUIRED

5 OF 5 > 2' VERT HEIGHT
5 OF 5 > 12" LENGTH
D.E. REQUIRED

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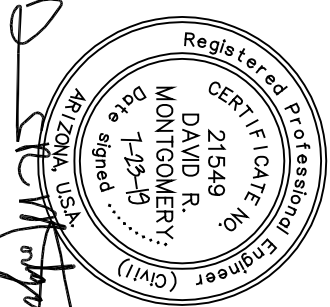
MONTGOMERY
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LAVITT MANOR II
REPLAT

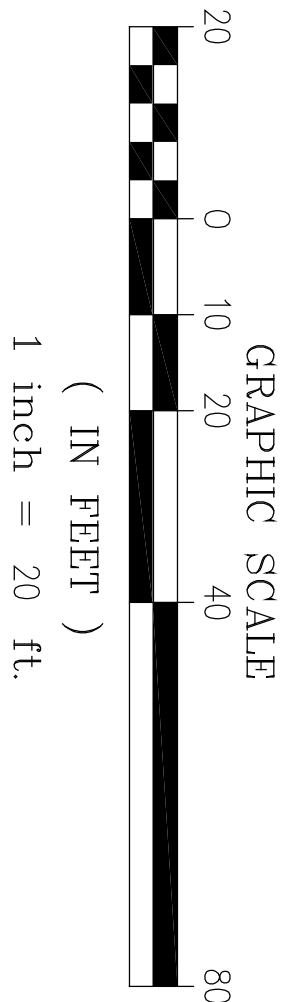
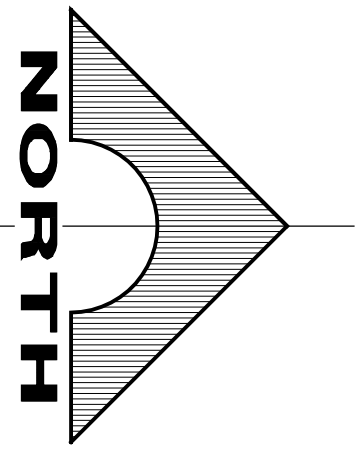
7525 N IRONWOOD DR
PARADISE VALLEY, AZ

NO.	DATE	DESCRIPTION	BY
4	7-23-19	REVISE SECTIONS	DRM
3	5-6-19	REVISE LOT 1 BSB	DRM
2	1-24-19	P.V. REDLINES	DRM
1	12-5-18	MOVE STREET	DRM

DRAWN BY: KM	DATE: 7-23-19
CHECKED BY: DRM	PROJECT NO: 18029
	SCALE: AS NOTED
SECTIONS & DETAILS	

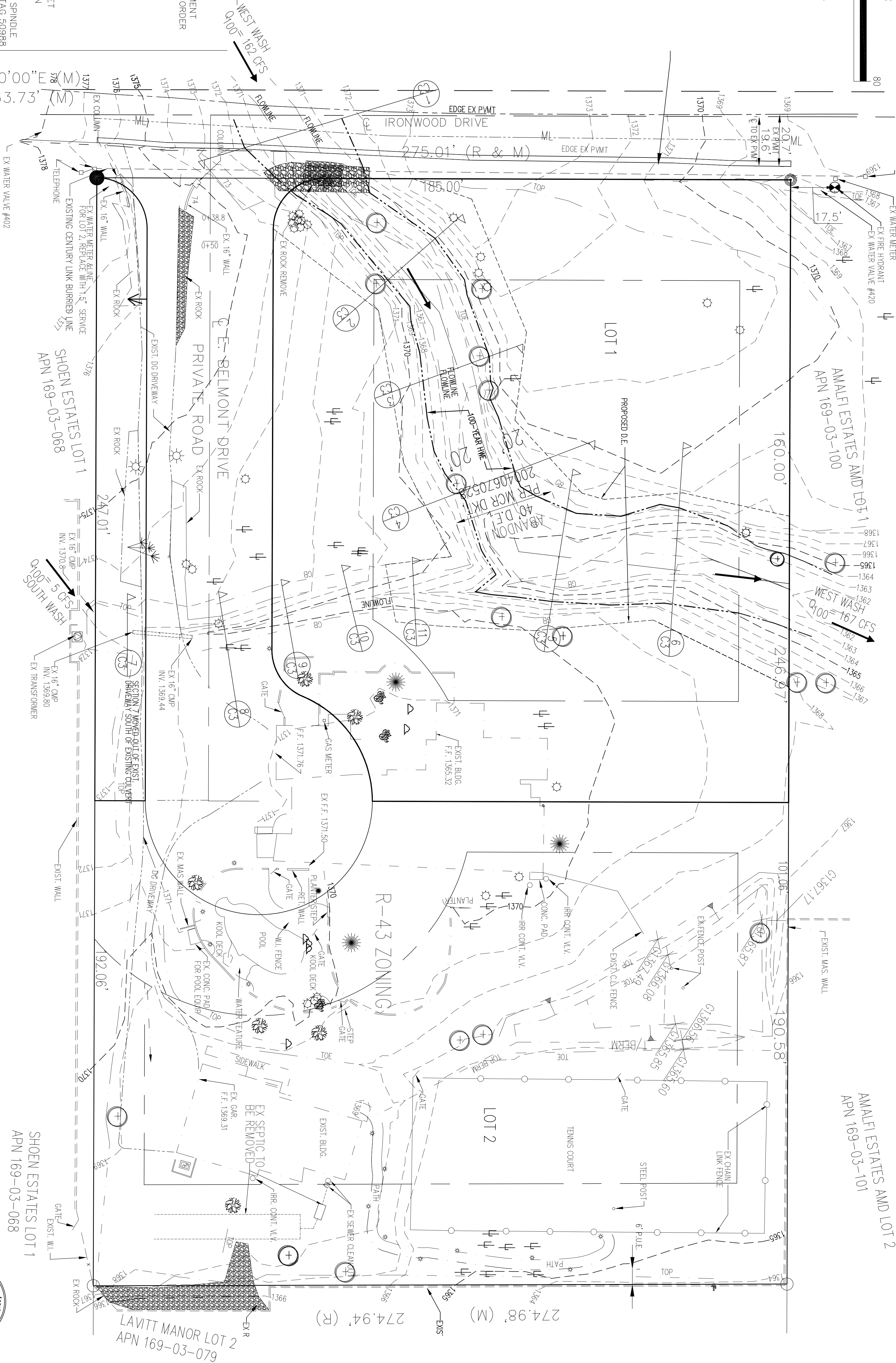


DRAWING NO.:
C30f4



WASH EXHIBIT LAVITT MANOR II

LEGEND	
B.S.B.	BUILDING SETBACK
P.U.E.	PUBLIC UTILITIES EASEMENT
MCR	MARICOPA COUNTY RECORDER
(C)	CALCULATED VALUE
D.E.	DRAINAGE EASEMENT
EX	EXISTING
(R)	RECORDED VALUE
(M)	MEASURED VALUE
DE	RIGHT-OF-WAY
VE	DRAINAGE EASEMENT
GB	VISIBILITY EASEMENT
	GRADE BREAK
○	REBAR WITH CAP
●	RPLS # 50988 TO BE SET
○	FOUND 5/8" Ø STEEL PIN
○	FOUND 1/2" Ø REBAR
○	FOUND COTTON PICKER SPINDLE
○	FOUND IRON PIPE ADD TAG 50988
○	FOUND 3" BRASS CAP
○	PROPOSED SPOT ELEVATION
○	EXISTING SPOT ELEVATION
---	100-YEAR HIGH WATER LINE
---	LOT BOUNDARY
---	EASEMENT



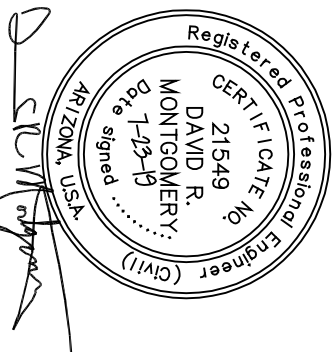
Call at least two full working days before you begin excavation.

ARIZONA811

Arizona Blue Sheet, Inc.

Dial 8-1-1 or 1-800-57-FAKEIT (782-5348)

In Maricopa County: (602) 263-1100



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LAVITT MANOR II REPLAT

7525 N IRONWOOD DR
PARADISE VALLEY, AZ



MONTGOMERY ENGINEERING & MANAGEMENT, L.L.C.

16716 E. PARKVIEW AVE. SUITE 204
FOUNTAIN HILLS, ARIZONA 85268
(480) 837-1845 fax (480) 837-8668
e-mail: Dave@CivilAZ.com

NO.	DATE	REVISIONS	DESCRIPTION	BY
4	7-23-19	REVISE SECTIONS		DRM

DRAWING NO.:
C40f4

DRAWN BY:	KM	DATE:	7-23-19
CHECKED BY:	DRM	PROJECT NO.:	18029
		SCALE:	AS NOTED

WASH EXHIBIT