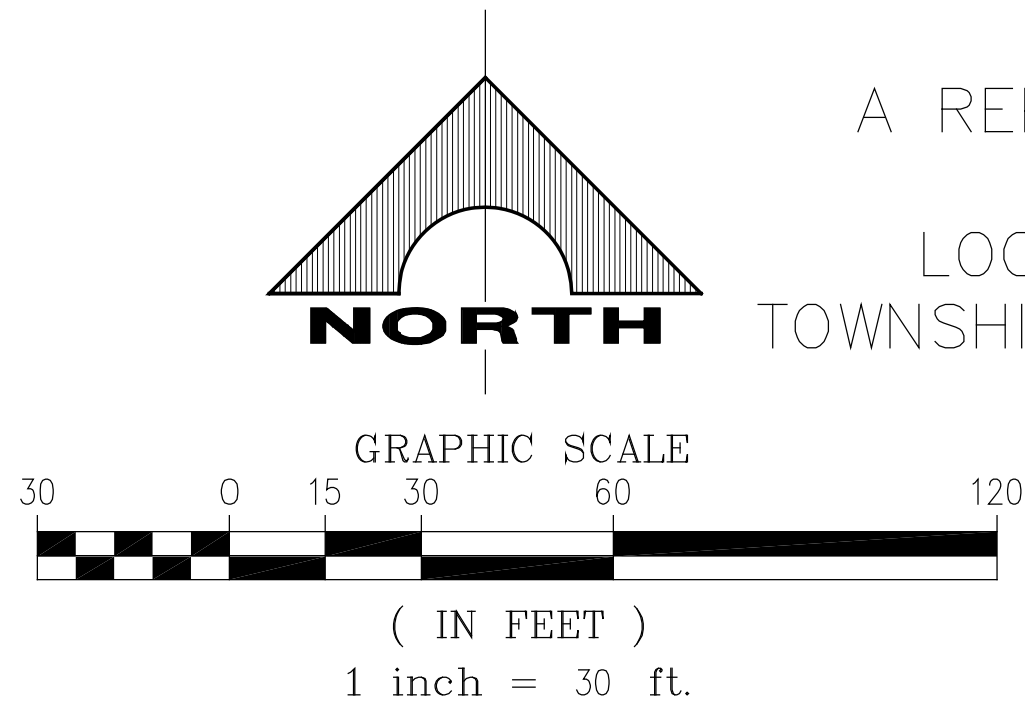


FINAL PLAT  
LAVITT MANOR II

A REPLAT OF LOT 1, LAVITT MANOR, ACCORDING TO THE BOOK 376 OF  
MAPS, PAGE 28, RECORDS OF MARICOPA COUNTY, ARIZONA  
LOCATED IN A PORTION OF THE NORTHEAST QUARTER OF SECTION 4  
TOWNSHIP 2 NORTH RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND  
MERIDIAN, MARICOPA COUNTY, ARIZONA



DRAINAGE EASEMENT RESTRICTIONS

PURSUANT TO A.R.S. § 9-463.01 (c), AND SECTIONS 6-4 (E) (J), 8-7-1 ET. SEQ., AND 6-3-8 OF THE CODE OF ORDINANCES OF THE TOWN OF PARADISE VALLEY, DRAINAGE EASEMENTS ARE FOR THE PURPOSE OF ALLOWING STORM, FLOOD AND OTHER WATERS TO PASS OVER, UNDER OR THROUGH THE LAND SET ASIDE FOR SUCH EASEMENTS, AND NOTHING WHICH MAY, TO ANY DEGREE, IMPEDE OR OBSTRUCT THE FLOW OF SUCH WATERS, SHALL BE CONSTRUCTED, PLACED, PLANTED, OR ALLOWED TO GROW ON OR IN SUCH EASEMENTS. THE MAINTENANCE AND CLEARING OF THESE DRAINAGE EASEMENTS SHALL BE THE SOLE RESPONSIBILITY AND DUTY OF THE OWNER OF THE PROPERTY ON WHICH SAID EASEMENTS ARE PLATTED. HOWEVER, THE TOWN OF PARADISE VALLEY, A MUNICIPAL CORPORATION, MAY, IF THE TOWN DEEMS IT TO BE IN THE BEST INTERESTS OF THE HEALTH, SAFETY, OR WELFARE OF THE TOWN OF PARADISE VALLEY, CONSTRUCT AND/OR MAINTAIN DRAINAGE FACILITIES ON OR UNDER SUCH EASEMENTS. AGENTS AND EMPLOYEES OF THE TOWN OF PARADISE VALLEY SHALL HAVE FREE ACCESS TO AND FROM ALL PORTIONS OF SUCH EASEMENTS AT ALL TIMES.

NOTES

1. ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND.
2. THIS SUBDIVISION WILL BE DEVELOPED IN FULL COMPLIANCE WITH THE R-43 PARADISE VALLEY ZONING DISTRICT AND OTHER APPLICABLE CODES AND ORDINANCES.
3. THE ELEVATION OF ANY PAD FOR A BUILDING OR STRUCTURE WITHIN THE BASE FLOOD LIMITS OF AN AREA OF SPECIAL HAZARD MUST BE IN ACCORDANCE WITH CURRENT PARADISE VALLEY FLOOD REGULATIONS
4. CC&R'S AS RECORDED IN MCR BOOK 57 PAGE 1, BOOK 376 PAGE 28, DOCKETT 1180 PAGE 129, DOCKETT 1191 PAGE 13, DOCKETT 1344 PAGE 390 AND RECORDING 89-526840. NO NEW CC&R'S FOR THIS PLAT.
5. NO POWER POLES ON SITE.
6. NO FENCES OR SIGNS ARE PROPOSED WITH THIS PLAT.
7. THE OWNER OF LOT 2 SHALL CONSTRUCT A FIRE HYDRANT COMPLETE IN TRACT B LESS THAN 400' FROM LOT 2 PER TOWN OF PARADISE VALLEY STANDARDS PRIOR TO OCCUPANCY OF LOT
8. THE OWNER OF LOT 1 SHALL OWN AND MAINTAIN TRACT 'B'.

OWNER:

CULLUM HOMES, INC.  
8408 E SHEA BLVD, #D-100  
SCOTTSDALE, AZ 85260  
(480) 949-2700

SITE DATA

A.P.N. 169-03-078  
EXISTING ZONING R-43  
NUMBER OF LOTS 2  
GROSS AREA 120532.79 SF 2.767 ACRES  
NET AREA 120532.79 SF 2.767 ACRES

LEGEND

|           |                                     |
|-----------|-------------------------------------|
| B.S.B.    | BUILDING SETBACK                    |
| P.U.E.    | PUBLIC UTILITIES EASEMENT           |
| MCR       | MARICOPA COUNTY RECORDER            |
| D.E.      | DRAINAGE EASEMENT                   |
| (C)       | CALCULATED VALUE                    |
| (R)       | RECORDED VALUE MCR BOOK 376 PAGE 28 |
| (M)       | MEASURED VALUE                      |
| ROW       | RIGHT-OF-WAY                        |
| DE        | DRAINAGE EASEMENT                   |
| VE        | VISIBILITY EASEMENT                 |
| DKT       | DOCKET                              |
| ○         | REBAR WITH CAP                      |
| ○         | RPLS # 50988 TO BE SET              |
| ●         | FOUND 5/8"Ø STEEL PIN               |
| ○         | FOUND 1/2"Ø REBAR                   |
| ○         | FOUND COTTON PICKER SPINDLE         |
| ○         | FOUND IRON PIPE ADD TAG 50988       |
| ○         | FOUND 3" BRASS CAP                  |
| —         | PARENT PARCEL BOUNDARY              |
| —         | LOT BOUNDARY                        |
| - - -     | PUBLIC UTILITY EASEMENT             |
| - - - - - | DRAINAGE EASEMENT                   |

LEGAL DESCRIPTION - PARENT LOT

LOT 1, LAVITT MANOR, ACCORDING TO THE BOOK 376 OF MAPS, PAGE 28, RECORDS OF MARICOPA COUNTY, ARIZONA.

NOTICE REGARDING WATER SERVICE

THIS SUBDIVISION IS LOCATED WITHIN THE CITY OF PHOENIX SERVICE AREA AND HAS BEEN DESIGNATED AS HAVING AN ASSURED WATER SUPPLY.

UTILITIES

WATER  
SANITARY SEWER  
ELECTRIC  
TELEPHONE  
NATURAL GAS  
CABLE TV

CITY OF PHOENIX  
TOWN OF PARADISE VALLEY/SEPTIC  
ARIZONA PUBLIC SERVICE  
CENTURYLINK, COX COMMUNICATIONS  
SOUTHWEST GAS  
CENTURYLINK, COX COMMUNICATIONS

DEDICATION

STATE OF ARIZONA )  
COUNTY OF MARICOPA ) SS

KNOW ALL MEN BY THESE PRESENTS:

CULLUM HOMES INC., AN ARIZONA CORPORATION, AS LEGAL OWNER OF SAID REAL PROPERTY, HAS SUBDIVIDED UNDER THE NAME OF "LAVITT MANOR II", A SUBDIVISION OF LOT 1, LAVITT MANOR ACCORDING TO BOOK 376 OF MAPS, PAGE 28, RECORDS OF MARICOPA COUNTY, ARIZONA SITUATED IN SECTION 4, TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, AS SHOWN AND PLATTED HEREON AND HEREBY PUBLISHES THIS PLAT AND HEREBY DECLARES THAT THIS PLAT SETS FORTH THE LOCATION AND GIVES THE DIMENSIONS OF THE LOTS AND STREETS CONSTITUTING SAME AND THAT EACH LOT SHALL BE KNOWN BY THE NUMBER OR NAME GIVEN EACH RESPECTIVELY ON THIS LOT PLAT, AND HEREBY DEDICATES AND GRANTS TO THE TOWN OF PARADISE VALLEY THE STREETS AND RIGHTS-OF-WAY SHOWN ON THIS PLAT AND INCLUDED IN THE ABOVE-DESCRIBED PREMISES. EASEMENTS ARE HEREBY DEDICATED FOR THE PURPOSES SHOWN.

IN WITNESS WHEREOF:

CULLUM HOMES INC., AS OWNERS, HAVE HEREUNTO AFFIXED THEIR SIGNATURE THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2019,

CULLUM HOMES INC.

ACKNOWLEDGMENTS

STATE OF ARIZONA )  
COUNTY OF MARICOPA ) SS

BEFORE ME THIS \_\_\_\_ DAY OF \_\_\_\_\_ 2019, THE FOLLOWING PERSONS APPEARED BEFORE, THE UNDERSIGNED NOTARY PUBLIC, \_\_\_\_\_ WHO ACKNOWLEDGED (A) THEMSELVES TO BE AN OFFICER OF CULLUM HOMES, INC., AND ACKNOWLEDGED (B) THEMSELVES TO BE THE LEGAL OWNERS OF THE PROPERTY PLATTED HEREON; AND AND ACKNOWLEDGED (B) THAT THEY, AS LEGAL OWNERS, EXECUTED THIS INSTRUMENT FOR THE PURPOSES HEREIN CONTAINED.

IN WITNESS WHEREOF, I HEREUNTO SET MY HAND AND OFFICIAL SEAL.

MY COMMISSION EXPIRES \_\_\_\_\_ NOTARY PUBLIC

REFERENCES

TITLE REPORT BY FIDELITY NATIONAL TITLE INSURANCE COMPANY ORDER NO. Z1826800-001-KJV-JAG

APPROVAL

APPROVED BY THE TOWN COUNCIL OF THE TOWN OF PARADISE VALLEY, ARIZONA THIS \_\_\_\_ DAY OF \_\_\_\_\_ 2019,

BY: \_\_\_\_\_ MAYOR \_\_\_\_\_ DATE \_\_\_\_\_ ATTEST: \_\_\_\_\_ TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_

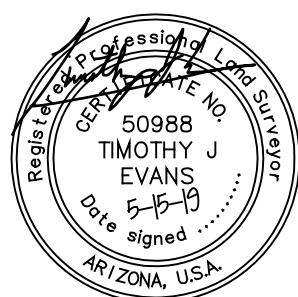
TOWN ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_ PLANNING DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

BASIS OF BEARING

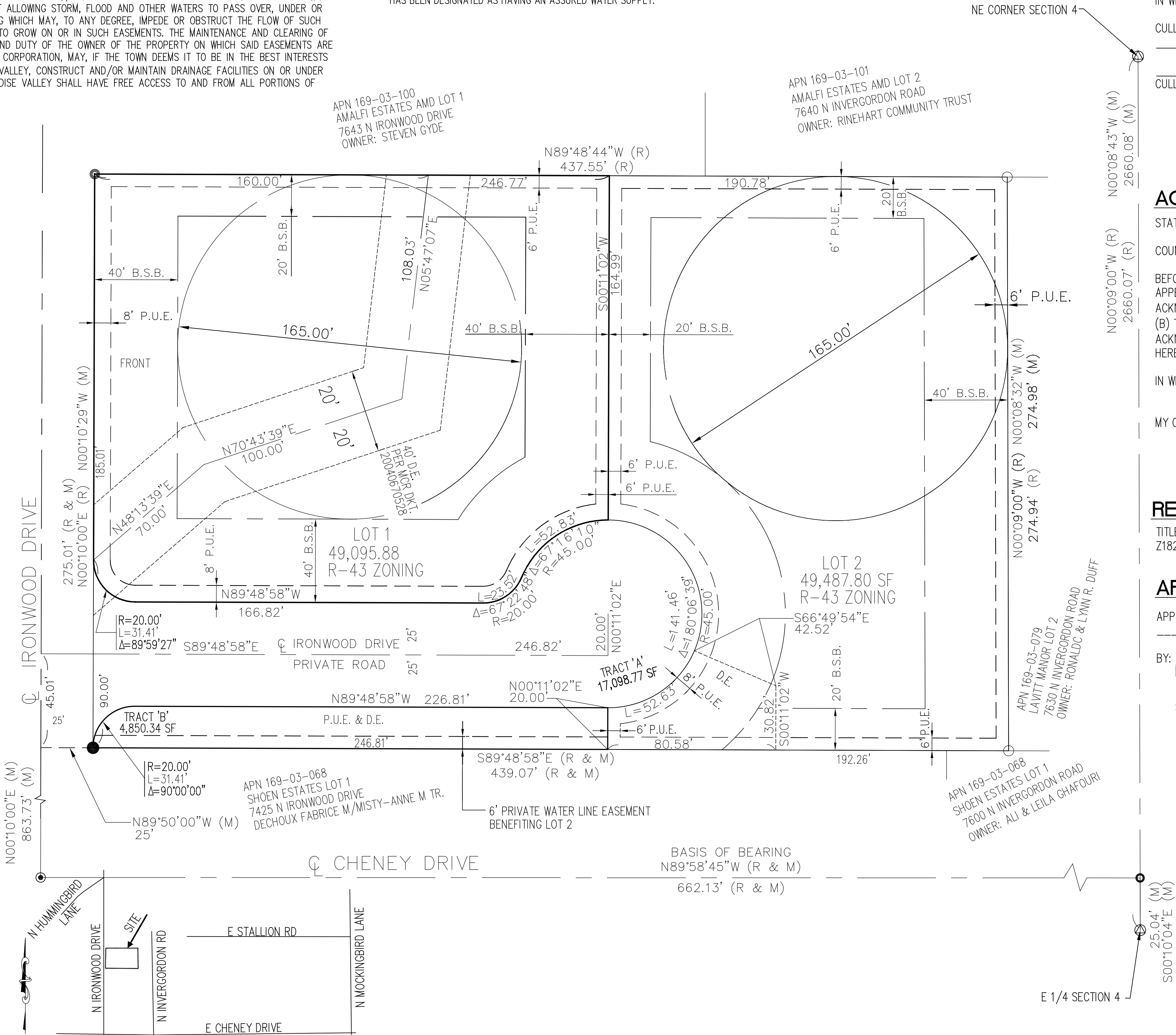
THE CENTER LINE OF CHENEY DRIVE AS RECORDED IN MCR BOOK 376 OF MAPS, PAGE 28, HAVING A BEARING OF NORTH 89 DEGREES 58 MINUTES 45 SECONDS WEST.

CERTIFICATION

I, TIMOTHY J EVANS, HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF ARIZONA, THAT THIS MAP, CONSISTING OF ONE (1) SHEET, CORRECTLY REPRESENTS A SURVEY MADE UNDER MY SUPERVISION DURING THE MONTH OF JULY, 2018, THAT THE SURVEY IS TRUE AND COMPLETE AS SHOWN, THAT ALL MONUMENTS SHOWN ACTUALLY EXIST OR WILL BE SET AS SHOWN, THAT THEIR POSITIONS ARE CORRECTLY SHOWN AND THAT SAID MONUMENTS ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.



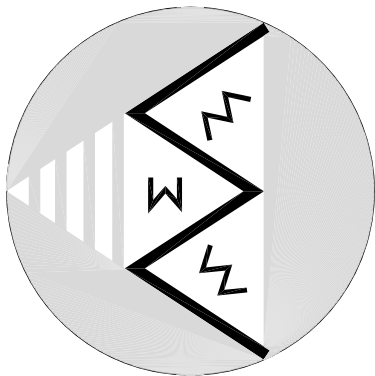
BY  
TIMOTHY J EVANS  
REGISTRATION NUMBER 50988  
2185 S. BANNING ST.  
GILBERT, ARIZONA 85295  
(480) 244-5036  
EMAIL: TIMEVANS@EVANS-PRO.COM



VICINITY MAP  
NO SCALE

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**MONTGOMERY**  
**ENGINEERING & MANAGEMENT, L.L.C.**



**LAVITT MANOR II**  
A REPLAT OF LAVITT  
MANOR LOT 1  
7525 N IRONWOOD DR  
PARADISE VALLEY, AZ

|             |     |              |          |
|-------------|-----|--------------|----------|
| DRAWN BY:   | KM  | DATE:        | 5-15-19  |
| CHECKED BY: | DRM | PROJECT NO.: | 18029    |
|             |     | SCALE:       | AS NOTED |

DRAWING NO:

1

- PAVING CONSTRUCTION NOTES:
- All work under the encroachment permits shall be done, at minimum, in accordance with latest revision of the Maricopa Association of Governments Uniform Standard Specification and Details (MAG Specification and Details), Town of Paradise Valley Supplement to the MAG Specification and Details, and Manual of Uniform Traffic Control Devices.
  - A right-of-way encroachment permit issued by the Town of Paradise Valley shall be required for all work in the Town of Paradise Valley rights-of-way.
  - The Town of Paradise Valley shall be notified 24 hours prior to starting the different phases of construction for scheduling inspections.
  - Location of all water valves, manholes and cleanouts must be referenced at all times during construction and access must be available.
  - No paving construction shall be started until all underground utilities within the roadway are completed.
  - Staking shall include:
    - Right-of-way lines at 100' intervals.
    - Pre-grade and reference control – as necessary.
    - Culvert, storm drain and ditch inverts at 50' intervals and breaks in grade.
    - Bluechip subgrade at centerline and uncurbed edge of pavement at 50' intervals.
    - Bluechip ABC at centerline, uncurbed edge of pavement, and 1/4 points at 50' intervals.
    - Stroddle points for permanent monuments. Punch the monument cap after setting.
    - Structure location and grades.
    - Concrete curb and gutter at 50' intervals maximum. On horizontal or vertical curves, and on grades less than 05%, stake at 25' maximum intervals. Stake all curb returns at the P.C. and the 1/4 points of return.
  - Gutters shall be water tested in the presence of the Town Engineering Department to insure proper drainage prior to final approval by the Town Engineering Department.
  - No job will be considered complete until all curbs, pavement and sidewalks have been swept clean of all dirt and debris and all survey monuments are installed according to the plans.
  - The contractor shall uncover all existing lines being tied into to verify their locations. The contractor shall locate or have located all existing underground pipelines, telephone and electric conduits, and structures in advance of construction and will observe all possible precautions to avoid damage to same. Call Blue Stake at 1-800-STAKE-IT.
  - Facilities which are not specifically located with actual vertical and horizontal controls, are located only approximately and to the best obtainable knowledge.
  - Earthwork shall be performed according to MAG Standards and any Geotechnical reports done for the property.

| FLOOD INSURANCE RATE MAP (FIRM) INFORMATION |              |        |  |
|---|--------------|--------|--|
| COMMUNITY NUMBER                            | PANEL NUMBER | SUFFIX | BASE FLOOD ELEVATION (IN AO ZONE, USE DEPTH) |
| 04013C                                      | 1765         | L      | N/A  |
| 10-16-13                                    |              |        |  |

- GRADING NOTES:
- ON-LOT RETENTION FOR EACH LOT WILL BE REQUIRED AT TIME OF LOT DEVELOPMENT PER PARADISE VALLEY REQUIREMENTS.
  - LOTS 3 AND 4 AND TRACTS 1 AND 2 SHALL PROVIDE RETENTION FOR INCREASED RUNOFF FROM STREET IMPERVIOUS SURFACES PER THE RETENTION TABLE THIS DRAWING. RETENTION AT LOTS 3 AND 4 MAY BE RELOCATED IF APPROVED BY THE TOWN OF PARADISE VALLEY.
  - LOT OWNERS WILL BE REQUIRED TO PASS UPSTREAM HISTORIC RUNOFF ACROSS THEIR PROPERTY.
  - LOTS 2, 3, AND 4 MAY REQUIRE A SEWER LIFT PUMP.
  - EACH LOT OWNER SHALL PROVIDE CUSTOM GRADING PLANS WITH FINISH FLOORS ESTABLISHED AT THAT TIME.
  - LOT 1 PROPERTY OWNER SHALL OWN TRACT 1 AND IS RESPONSIBLE FOR TRACT 1 MAINTENANCE AND REPAIR.
  - LOT 2 PROPERTY OWNER SHALL OWN TRACT 2 AND IS RESPONSIBLE FOR TRACT 2 MAINTENANCE AND REPAIR.
  - WATER SYSTEM MAY NOT HAVE ADEQUATE FIRE OR DOMESTIC PRESSURE. INDIVIDUAL LOT OWNERS SHALL PROVIDE ANY REQUIRED BOOSTER PUMPS AND STORAGE SYSTEMS AS REQUIRED BY PARADISE VALLEY AT TIME OF HOUSE PERMIT.
  - NO RUNOFF WILL BE ALLOWED TO ENTER THE BERNEL CHANNEL FROM THIS SITE.
  - RETENTION BASINS MAY OVERTFLOW INTO BERNEL CHANNEL.

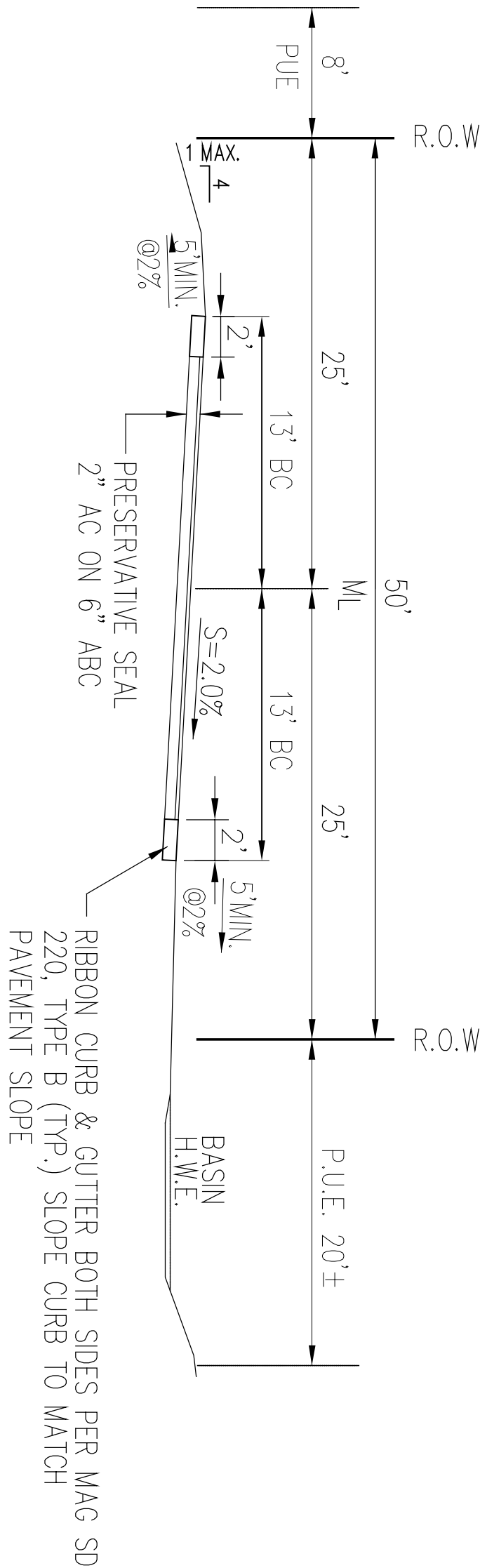
## UTILITIES

WATER  
SANITARY SEWER  
ELECTRIC  
TELEPHONE  
NATURAL GAS  
CABLE TV

CITY OF PHOENIX  
TOWN OF PARADISE VALLEY/SEPTIC  
ARIZONA PUBLIC SERVICE  
CENTURYLINK, COX COMMUNICATIONS  
SOUTHWEST GAS  
CENTURYLINK, COX COMMUNICATIONS

## LAVITT MANOR II PAVING, GRADING + DRAINAGE PLAN

LOCATED IN A PORTION OF THE NORTHEAST QUARTER OF SECTION 4  
TOWNSHIP 2 NORTH RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND  
MERIDIAN, MARICOPA COUNTY, ARIZONA



TYPICAL STREET SECTION – LOOKING EAST  
NTS

## LEGAL DESCRIPTION - PARENT LOT

LOT 1, LAVITT MANOR, ACCORDING TO THE BOOK 376 OF MAPS, PAGE 28,  
RECORDS OF MARICOPA COUNTY, ARIZONA.

## OWNER:

GULLUM HOMES, INC.  
8408 E SHEA BLVD, #D-100  
SCOTTSDALE, AZ 85260  
(480) 949-2700

## PROJECT DATA

ZONING \_\_\_\_\_ R-43  
LOT AREA \_\_\_\_\_ 120532.79 SF 2.767 ACRES  
120532.79 SF 2.767 ACRES  
A.P.N. 176-11-281 PARENT LOT

## DEVELOPMENT NOTES:

NO SIGNS OR SUBDIVISION WALLS ARE PROPOSED  
LOTS SHALL PROVIDE RUNOFF RETENTION AT THE TIME OF DEVELOPMENT PER  
PARADISE VALLEY'S STORM DRAINAGE MANUAL IN EFFECT AT THAT TIME.  
RETENTION SHOWN IS FOR TRACTS AND STREET PAVING ONLY; VOLUME  
DOES NOT COUNT TOWARD FUTURE LOT DEVELOPMENT.

## INDEX OF SHEETS

SHEET P1 ..... PAVING, GRADING & DRAINAGE COVER  
SHEET P2 ..... PAVING, GRADING & DRAINAGE PLAN  
SHEET P2 ..... SECTIONS & DETAILS

## AS-BUILT CERTIFICATION

I HEREBY CERTIFY THAT THE "AS-BUILT" MEASUREMENTS  
AS SHOWN OR AS NOTED HEREON WERE MADE UNDER  
MY SUPERVISION AND ARE CORRECT TO THE BEST OF  
MY KNOWLEDGE AND BELIEF.

REGISTERED CIVIL ENGINEER

DATE

REGISTRATION NUMBER

## APPROVALS

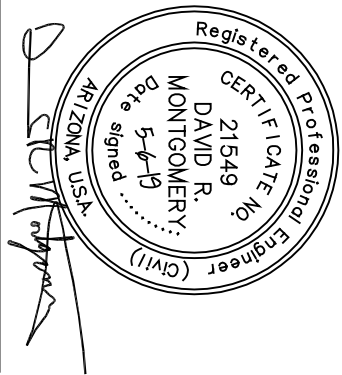
## BENCHMARK

1/2" REBAR AT INTERSECTION OF INVERGORDON  
ROAD AND CHENEY DRIVE  
ELEVATION: 1372.241 (NAVD 88)  
GDAC # 22515-11



## SUBMITTED BY:

DAVID R. MONTGOMERY  
REGISTERED CIVIL ENGINEER



DATE

BY: TOWN ENGINEER,  
TOWN OF PARADISE VALLEY

| NO. | DATE    | DESCRIPTION      | BY  |
|-----|---------|------------------|-----|
| 3   | 5-6-19  | REVISE LOT 1 BSB | DRM |
| 2   | 1-24-19 | P.V. REDLINES    | DRM |
| 1   | 12-5-18 | MOVE STREET      | DRM |

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ENGINEERING & MANAGEMENT, L.L.C.  
16716 E. PARKVIEW AVE. SUITE 204  
FOUNTAIN HILLS, ARIZONA 85268  
(480) 837-1845 fax (480) 837-8668  
e-mail: Dave@CivilAZ.com

## LAVITT MANOR II REPLAT

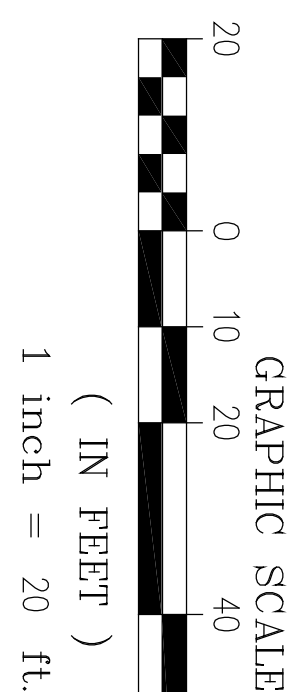
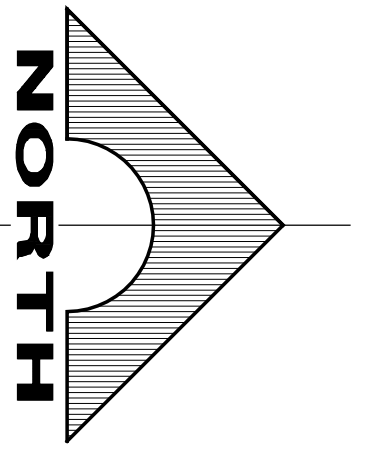
7525 N IRONWOOD DR  
PARADISE VALLEY, AZ

|                                     |                   |
|-------------------------------------|-------------------|
| DRAWN BY: KM                        | DATE: 6-4-18      |
| CHECKED BY: DRM                     | PROJECT NO: 18029 |
|                                     | SCALE: AS NOTED   |
| PAVING, GRADING & DRAINAGE<br>COVER |                   |

DRAWING NO:

C10103





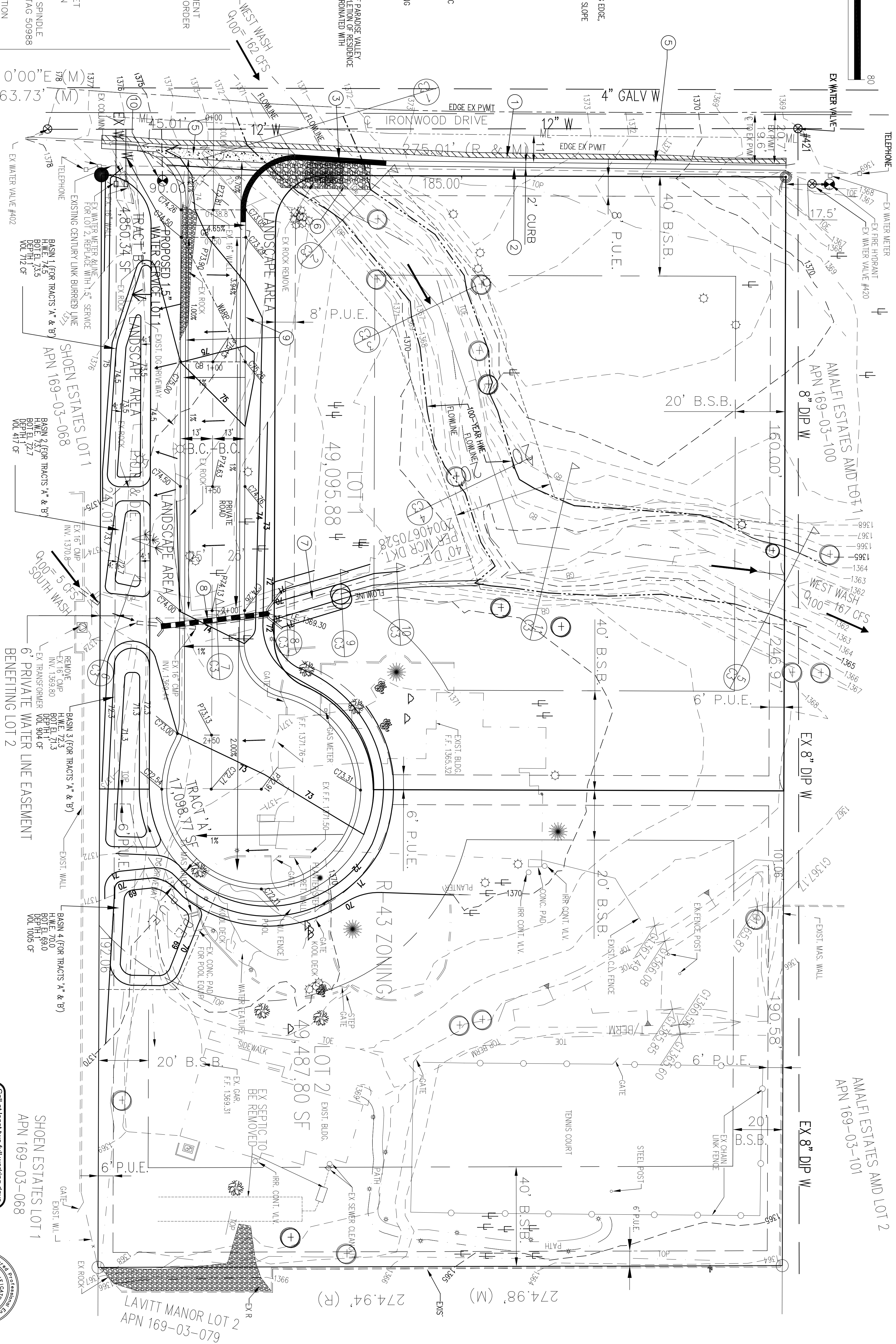
# PAVING GRADING DRAINAGE LAVITT MANOR II

## KEY NOTES

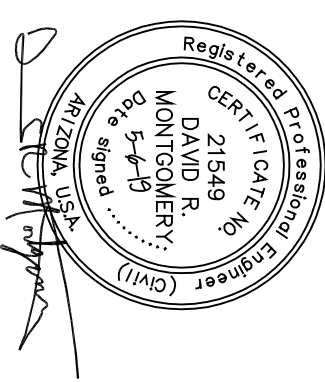
- 1 SANJOIT EXISTING ASPHALT 2" MIN. FROM EXISTING EDGE, RESTORE ASPHALT CONCRETE PER MAG 200-1, EXTEND ASPHALT TO PROPOSED CURB
- 2 PROPOSED RIBBON CURB PER MAG 220 TYPE B, SLOPE 1" CONCRETE TO MATCH EX. PAVING SLOPE, MATCH ASPHALT ELEVATION AT FACE OF CURB, CURB SHALL NOT OBSTRUCT RAINOFF
- 3 4" DEEP CONCRETE CUT WALL PER MAG 552
- 4 HEADWALL PER MAG
- 5 VALLEY GUTTER MAG 240
- 6 BRPAP REGULAR SHAPED INDOGENOUS ROCK SET ON 4" SAND OVER FABRIC FILTER, ASHTO M288 CLASS II NON-WOVEN FILTER FABRIC, INSTALL PER MFG'S INSTRUCTIONS
- 7 REGRADE FLOWLINE TO 1% MINIMUM SLOPE
- 8 2" WIDE BOTTOM WITH 4:1 SIDE SLOPES
- 9 24" ALUMINUM CMP CULVERT FOR H-20 LOADING, INSTALL PER MAG SPECIFICATIONS
- 10 RIBBON CURB & GUTTER BOTH SIDES PER MAG 50, 200 PER MAG 550, SLOPE CURB TO MATCH PAVEMENT SLOPE
- 11 PROPOSED PRE-CAST COMPLETE PER TOWN OF PARADISE VALLEY, ON LOT 2 BY OWNER OF LOT 2 AND SHALL BE COORDINATED WITH THE CITY OF PHOENIX.

## LEGEND

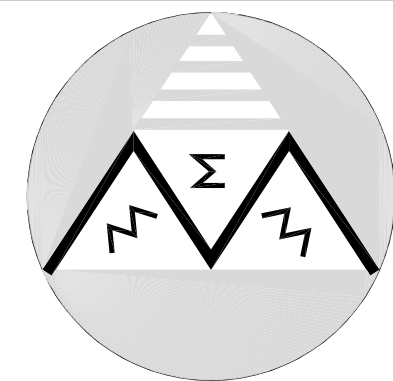
- B.S.B. BUILDING SETBACK
- P.U.E. PUBLIC UTILITIES EASEMENT
- MCR MARICOPA COUNTY RECORDER
- (C) CALCULATED VALUE
- D.E. DRAINAGE EASEMENT
- EX EXISTING
- (R) RECORDED VALUE
- (M) MEASURED VALUE
- (N) RIGHT-OF-WAY
- DE DRAINAGE EASEMENT
- VE VISIBILITY EASEMENT
- REBAR WITH CAP
- R.P.S. # 50988 TO BE SET
- FOUND 5/8" Ø STEEL PIN
- FOUND 1/2" Ø REBAR
- FOUND COTTON PICKER SPINDLE
- FOUND IRON PIPE ADD TAG 50988
- FOUND 3" BRASS CAP
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- 100'-YEAR HIGH WATER LINE
- LOT BOUNDARY
- EASEMENT



Call at least two full working days before you begin excavation.  
**ARIZONA811**  
Arizona Blue State Inc.  
Dial 811 or 1-800-5-TAKESIT (782-5349)  
in Maricopa County: (602) 253-7100



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e-mail: Dave@CivilAZ.com

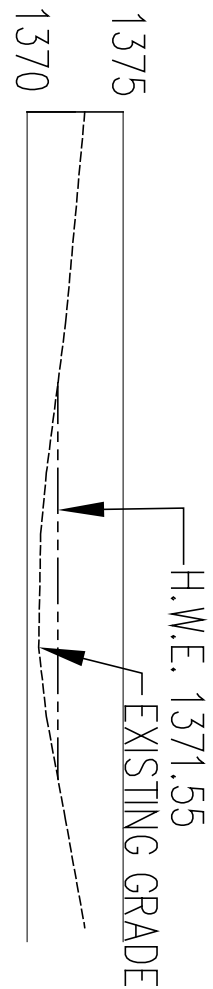
**LAVITT MANOR II  
REPLAT**  
7525 N IRONWOOD DR  
PARADISE VALLEY, AZ

|                         |     |             |          |
|-------------------------|-----|-------------|----------|
| DRAWN BY:               | KM  | DATE:       | 6-4-18   |
| CHECKED BY:             | DRM | PROJECT NO: | 18029    |
|                         |     | SCALE:      | AS NOTED |
| PAVING GRADING DRAINAGE |     |             |          |

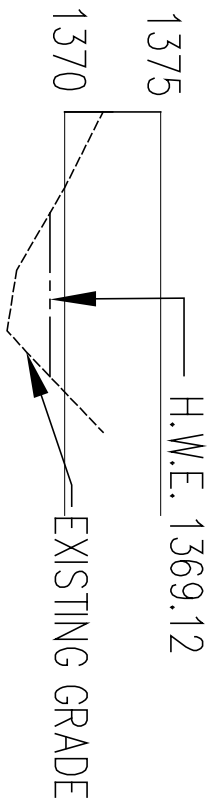
| NO. | DATE    | DESCRIPTION      | BY  |
|-----|---------|------------------|-----|
| 3   | 5-6-19  | REVISE LOT 1 BSB | DRM |
| 3   | 3-12-19 | P.V. COMMENTS    | DRM |
| 2   | 1-24-19 | P.V. REDLINES    | DRM |
| 1   | 12-5-18 | MOVE STREET      | DRM |

DRAWING NO:  
**C2013**

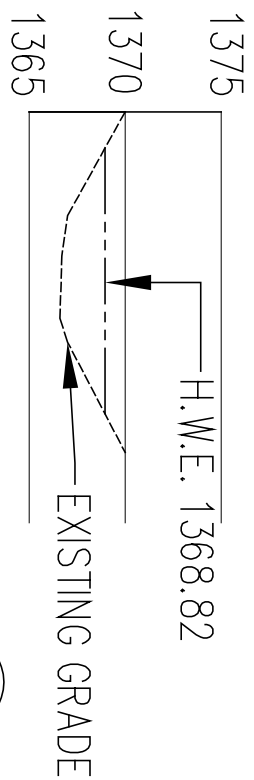
PAVING GRADING PLAN  
LAVITT MANOR II



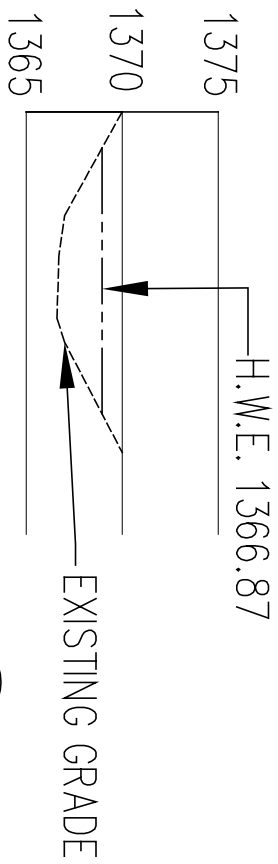
SECTION 1  
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1"=20' HORIZ



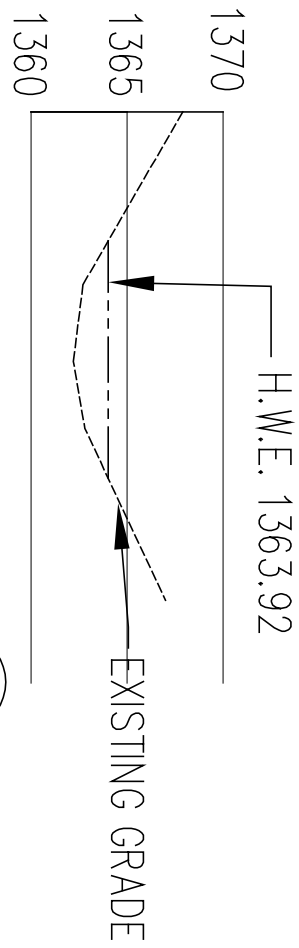
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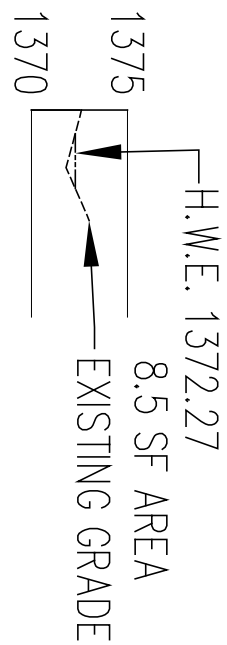
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1"=20' HORIZ



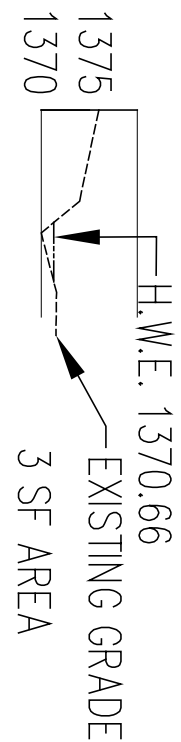
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1"=20' HORIZ



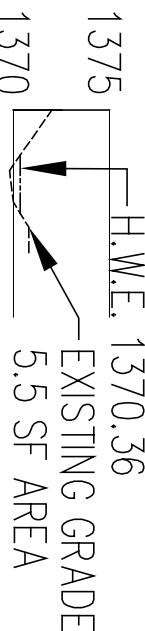
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1"=20' HORIZ



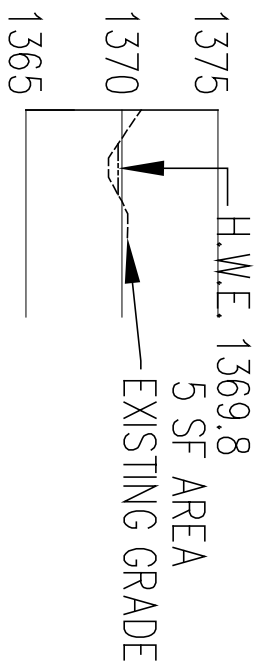
SECTION 6  
SCALE: 1"=10' VERT  
1"=20' HORIZ



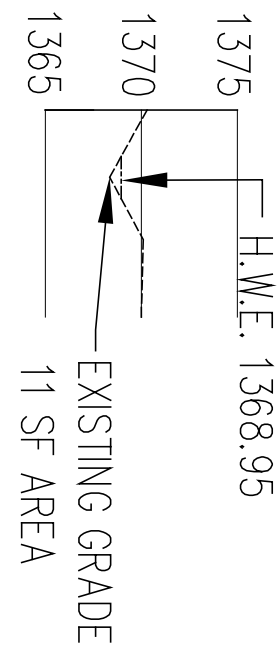
SECTION 7  
SCALE: 1"=10' VERT  
1"=20' HORIZ



SECTION 8  
SCALE: 1"=10' VERT  
1"=20' HORIZ



SECTION 9  
SCALE: 1"=10' VERT  
1"=20' HORIZ



SECTION 10  
SCALE: 1"=10' VERT  
1"=20' HORIZ

AVERAGE AREA SOUTH CHANNEL SECTIONS 6 THROUGH 10  
(8.5 SF + 3 SF + 5.5 F + 5 SF + 11 SF)/5 = 6.6 SF

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| NO. | DATE    | DESCRIPTION      | BY  |
|-----|---------|------------------|-----|
| 3   | 5-6-19  | REVISE LOT 1 BSB | DRM |
| 2   | 1-24-19 | P.V. REDLINES    | DRM |
| 1   | 12-5-18 | MOVE STREET      | DRM |



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e-mail: Dave@CivilAZ.com

LAVITT MANOR II  
REPLAT  
7525 N IRONWOOD DR  
PARADISE VALLEY, AZ

|                    |                   |
|--------------------|-------------------|
| DRAWN BY: KM       | DATE: 6-4-18      |
| CHECKED BY: DRM    | PROJECT NO: 18029 |
|                    | SCALE: AS NOTED   |
| SECTIONS & DETAILS |                   |

DRAWING NO:  
**C3013**

Call at least two full working days  
before you begin excavation.

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