Jones Residence - Camelback Foothills

6040 North 41st Street Paradise Valley, Arizona 85248



COVER SHEET

PROJECT NUMBER

A0.0 DRAWING NUMBER

KONTEXTURE

architecture | interiors | urban planning

PARADISE VALLEY GRADING AND DRAINAGE NOTES:

1. PRIOR TO THE FIRST INSPECTION OF STRUCTURES WITHIN 3 FEET OF A SETBACK LINE, THE PROPERTY PINS SHALL BE PLACED BY A REGISTERED CIVIL ENGINEER OR LAND SURVEYOR OF THE STATE OF ARIZONA, AND THE PROPERTY LINE(S) IDENTIFIED.

2. WHERE EXCAVATION IS TO OCCUR THE TOP 4" OF EXCAVATED NATIVE SOIL SHALL REMAIN ON THE SITE AND SHALL BE REUSED IN A MANNER THAT TAKES ADVANTAGE OF THE NATURAL SOIL SEED BANK IT CONTAINS. 3. ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) STANDARD SPECIFICATIONS AND DETAILS AND CURRENT

SUPPLEMENTS THEREOF PER THE LOCAL MUNICIPALITY UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS 4. THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL STATE, AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO THE CONSTRUCTION COVERED BY THIS 5. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL

PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN. 6. ALL EXTERIOR SITE LIGHTING SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS FOR TYPE, LOCATION, HEIGHT, WATTAGE, AND LUMEN BASED UPON THE FIXTURES INSTALLED PURSUANT TO SECTION 1023 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCE FOR NON-HILLSIDE PROPERTIES, SECTION 2208 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCE FOR HILLSIDE PROPERTIES, OR AS SPECIFIED IN THE SPECIAL USE PERMIT FOR SPECIAL USE

7. A DUST CONTROL PLAN AND PERMIT MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.

8. A SEPARATE RIGHT-OF-WAY PERMIT IS NECESSARY FOR ANY OFF-SITE CONSTRUCTION 9. AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT

ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION. 10. EAVE PROJECTIONS INTO REQUIRED SETBACKS ARE LIMITED TO A MAXIMUM OF 24" PURSUANT TO SECTION 1008 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES. 11. ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE

SHALL HAVE A 2 FOOT MAXIMUM HEIGHT. 12. ALL NEW AND EXISTING ELECTRICAL SERVICE LINES SHALL BE BURIED PER THE TOWN OF PARADISE VALLEY REQUIREMENTS. 13. IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE TO ARRANGE FOR THE RELOCATION AND RELOCATION COSTS OF ALL UTILITIES, AND TO SUBMIT A UTILITY RELOCATION SCHEDULE PRIOR TO THE ISSUANCE OF AN ENGINEERING

CONSTRUCTION PERMIT 14. EXISTING AND/OR NEW UTILITY CABINETS AND PEDESTALS SHALL BE LOCATED A MINIMUM OF 4' BEHIND ULTIMATE BACK OF CURB LOCATION. 15. POOL, SPA, BARBECUE AND ANY PROPOSED STRUCTURES OVER 8" ABOVE GRADE REQUIRE SEPARATE PERMIT APPLICATIONS. 16. POOLS SHALL BE CONSTRUCTED BY SEPARATE PERMIT AND SECURED FROM UNWANTED ACCESS PER TOWN CODE, ARTICLE 5-2. 17. ALL FILL MATERIAL UNDER SLABS AND WALKS SHALL BE COMPACTED TO

NOT LESS THAN 95%. 18. SETBACK CERTIFICATION IS REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO STEM WALL INSPECTION 19. FOR BUILDING PADS THAT HAVE 1' OR MORE OF FILL MATERIAL, SOILS COMPACTION TEST RESULTS ARE REQUIRED AND SHALL BE PROVIDED TO TOWN

INSPECTOR PRIOR TO PRE-SLAB INSPECTION. 20. FINISHED FLOOR ELEVATION CERTIFICATION IS REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO FRAMING INSPECTION. 21. MAIL BOXES SHALL COMPLY WITH THE TOWN OF PARADISE VALLEY STANDARDS FOR MAIL BOXES IN THE RIGHTOF-WAY FOR HEIGHT, WIDTH AND BREAK AWAY FEATURES. 22. ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND

GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED 23. TRENCH BEDDING AND SHADING SHALL BE FREE OF ROCKS AND DEBRIS. 24. THE TOWN ONLY APPROVES THE SCOPE OF WORK AND NOT THE

ENGINEERING DESIGN. ANY CONSTRUCTION QUANTITIES SHOWN ARE NOT VERIFIED BY THE TOWN. 25. THE APPROVAL OF THE PLANS IS VALID FOR 180 DAYS. IF A PERMIT FOR

CONSTRUCTION HAS NOT BEEN ISSUED WITHIN 180 DAYS. THE PERMIT MUST BE 26. A TOWN INSPECTOR WILL INSPECT ALL WORK WITHIN THE TOWN'S

RIGHTS-OF-WAY. NOTIFY TOWN INSPECTION SERVICES TO SCHEDULE A PRECONSTRUCTION MEETING PRIOR TO STARTING CONSTRUCTION. 27. WHENEVER EXCAVATION IS NECESSARY, CALL ARIZONA811 BY DIALING 811 602-263-1100. TWO (2) WORKING DAYS BEFORE EXCAVATION BEGINS 28. EXCAVATIONS SHALL COMPLY WITH REQUIREMENTS OF OSHA EXCAVATION STANDARDS (29 CFR, PART 1926, SUBPART P). UNDER NO CIRCUMSTANCES WILL THE CONTRACTORS BE ALLOWED TO WORK IN A TRENCH LOCATED WITHIN THE TOWN'S RIGHT-OF-WAY WITHOUT PROPER SHORING OR EXCAVATION METHODS. 29. PERMIT HOLDER SHALL POST A 6 SQUARE FOOT (2'X3') IDENTIFICATION SIGN, MADE OF DURABLE MATERIAL, IN THE FRONT YARD OF SUBJECT PROPERTY AND NOT IN THE TOWN'S RIGHT-OF-WAY. THE SIGN MAY NOT EXCEED A MAXIMUM OF 6 FEET IN HEIGHT FROM GRADE TO TOP OF THE SIGN. THE SIGN MUST INCLUDE THE PERMITTEE OR COMPANY NAME, PHONE NUMBER, TYPE OF WORK, ADDRESS OF PROJECT AND TOWN CONTACT NUMBER, 480-348-3556.

30. WHEN DEEMED NECESSARY, A 6-FOOT HIGH CHAIN LINK FENCE MUST BE INSTALLED AROUND THE CONSTRUCTION AREA TO PREVENT ANY POTENTIAL SAFETY HAZARD FOR THE PUBLIC. THE FENCE SHALL BE SETBACK AT LEAST 10 FEET FROM ALL RIGHTS-OF-WAY AND HAVE A 50-FOOT STREET CORNER SITE TRIANGLE WHERE APPLICABLE

31. CLEAR ACCESS FOR NEIGHBORING PROPERTIES AND EMERGENCY VEHICLES MUST BE MAINTAINED AT ALL TIMES. CONSTRUCTION RELATED VEHICLES MUST BE LEGALLY PARKED ONLY ON ONE SIDE OF THE STREET OR JOB SITE

32. ALL CONSTRUCTION DEBRIS AND EQUIPMENT MUST BE CONTAINED ON SITE AT ALL TIMES. CONTRACTOR AND PROPERTY OWNER MUST MAINTAIN THE JOB SITE FREE OF LITTER AND UNSIGHTLY MATERIALS AT ALL TIMES. CONSTRUCTION MATERIALS ARE PROHIBITED IN THE TOWN'S RIGHT-OF-WAY. 33. CONSTRUCTION ACTIVITIES ARE PERMITTED BETWEEN THE HOURS OF 7 AM AND 5 PM MONDAY THROUGH FRIDAY. CONSTRUCTION ACTIVITIES MAY START ONE (1) HOUR EARLIER DURING THE SUMMER (MAY 1ST THROUGH SEPTEMBER

34. THE USE AND OPERATION OF FUEL-FIRED GENERATORS IS PROHIBITED UNLESS DUE TO A HARDSHIP. TOWN APPROVAL SHALL BE REQUIRED. 35. THE CONTRACTOR AND PROPERTY OWNER SHALL BE LIABLE FOR ANY DAMAGE DONE TO ANY PUBLIC PROPERTY

AS A RESULT OF ANY CONSTRUCTION OR CONSTRUCTION RELATED ACTIVITIES. NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL AFFECTED RIGHTS-OF-WAY ARE CLEANED AND/OR REPAIRED TO THEIR ORIGINAL CONDITION AND UNTIL ANY AND ALL DAMAGES TO AFFECTED PROPERTIES ARE RESTORED TO ORIGINAL CONDITION.

36. A KEYED SWITCH SHALL BE REQUIRED ON ALL NEW AND EXISTING ELECTRIC ENTRY GATES. THE KEYED SWITCH SHALL BE INSTALLED IN A LOCATION THAT IS READILY VISIBLE AND ACCESSIBLE. KNOX BOX ORDER FORMS ARE AVAILABLE AT THE TOWN'S BUILDING SAFETY DEPARTMENT

37. PROPERTY OWNER, BUILDER, OR GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR CONTROLLING DUST FROM THE SITE AT ALL TIMES. ALI MEANS NECESSARY SHALL BE USED BY THE BUILDER OR GENERAL CONTRACTOR TO CONTROL THE EXISTENCE OF DUST CAUSED BY ANY EARTHWORK, SPRAY APPLICATION OF MATERIALS, OR OTHER DUST-CAUSING PRACTICES REQUIRED BY THE CONSTRUCTION PROCESS.

38. APPROVAL OF THESE PLANS ARE FOR PERMIT PURPOSES ONLY AND SHALL NOT PREVENT THE TOWN FROM REQUIRING CORRECTION OF ERRORS IN THE PLANS WHERE SUCH ERRORS ARE SUBSEQUENTLY FOUND TO BE IN VIOLATION OF ANY LAW, ORDINANCE, HEALTH, SAFETY, OR OTHER DESIGN ISSUES. 39. ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTION DITCHES, PIPES PROTECTIVE BERMS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT PROPOSED AND EXISTING IMPROVEMENTS FROM RUNOFF OR DAMAGE FROM STORM WATER, MUST BE CONSTRUCTED PRIOR TO THE CONSTRUCTION OF ANY IMPROVEMENTS.

CIVIL ENGINEERING GENERAL NOTES

1. IF THE CONTRACTOR FINDS ANY DISCREPANCY OR OMISSION, THE ENGINEER SHALL BE NOTIFIED BEFORE ANY INTERPRETATION IS MADE. 2. QUANTITIES SHOWN ARE FOR PERMIT PURPOSES ONLY AND ARE NOT FOR

BIDDING OR CONTRACTING PURPOSES. THE CONTRACTOR IS RESPONSIBLE FOR BIDDING HIS OWN QUANTITY TAKE-OFF.

3. THE BUILDING MATERIALS CONTAINING ASBESTOS WILL NOT BE USED ON THIS PROJECT.

4. THE CONTRACTOR SHALL MAKE NO CLAIM FOR QUANTITY ADJUSTMENT UNLESS ALL CONSTRUCTION SURVEY STAKES ARE MAINTAINED FOR VERIFICATION. NOTHING IN THE CONTRACT DOCUMENTS SHALL CREATE ANY CONTRACTURAL RELATIONSHIP BETWEEN THE ENGINEER AND THE CONTRACTOR OR THE

ENGINEER AND THE SUBCONTRACTOR. THE ENGINEER WILL NOT BE RESPONSIBLE FOR CONSTRUCTION OR SAFTEY MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES UTILIZED IN CONNECTION BY THE CONTRACTOR OR SUBCONTRACTORS.

CHANGE ORDERS SHALL BE EXECUTED IN WRITING BY THE OWNER OR HIS REPRESENTATIVE. VERBAL CHANGES WILL NOT BE HONORED. 8. SEE ARCHITECTURAL DRAWINGS FOR ALL ON-SITE:

> A. HORIZONTAL CONTROL & BUILDING LOCATIONS. B. DETAILS AND HORIZONTAL LOCATION OF CURBS AND SIDEWALKS. . PARKING LOT LAYOUT.

9. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL EXISTING UNDERGROUND UTILITY FACILITIES BOTH HORIZONTALLY AND VERTICALLY PRIOR TO CONSTRUCTION AND TAKE ALL NECESSARY PRECAUTIONS TO AVOID ANY DAMAGE TO EXISTING UNDERGROUND FACILITIES. CALL BLUE STAKE CENTER (602) 263-1100 OR A PRIVATE UNDERGROUND UTILITY LOCATION COMPANY 48 HOURS PRIOR TO EXCAVATING. THE ENGINEER AND/OR OWNER CANNOT GUARANTEE ANY ELEVATIONS OR LOCATIONS OF EXISTING

UNDERGROUND UTILITIES SHOWN ON THESE PLANS. UNDERGROUND INFORMATION AND UTILITIES SHOWN HAVE BEEN OBTAINED FROM INFORMATION PROVIDED ON QUARTER SECTION MAPS FROM THE UTILITY COMPANIES LOCATED WITHIN THE AREA. THUS, UNDERGROUND INFORMATION MUST BE FIELD VERIFIED BEFORE

11. UTILITY COMPANIES SERVING THIS AREA ARE: WATER: PRIVATE WATER COMPANY - EPCOR SEWER: PRIVATE SEPTIC TELEPHONE: CENTURYLINK ELECTRIC: ARIZONA PUBLIC SERVICE

GAS: SOUTHWEST GAS CABLE TV: COX COMMUNICATIONS 12. THE TOPO INFORMATION SHOWN ON THIS DRAWING WAS OBTAINED FROM A TOPOGRAPHIC SURVEY PERFORMED BY G-MAR, LLC, DATED, SEPTEMBER 26, 2017.

13. BOUNDARY INFORMATION SHOWN WAS TAKEN THE PLAT OF "CAMELBACK FOOTHILLS NO. 2", ACCORDING TO BOOK 72 OF MAPS PAGE 14, RECORDS OF MARICOPA COUNTY, ARIZONA, AS WELL AS MARICOPA COUNTY GIS. THE CIVIL ENGINEER OF RECORD DOES NOT CERTIFY THE BOUNDARY INFORMATION SHOWN ON THIS PLAN.

TOWN OF PARADISE VALLEY HILLIDE NOTES:

1. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL ALL HILLSIDE STIPULATIONS AND ALL TOWN CODE REQUIREMENTS ARE COMPLIED INCLUDING, BUT NOT LIMITED TO LANDSCAPING, GROUND RESTORATION, FIRE FLOW, FIRE SAFETY AND ALL ONSITE AND OFFSITE IMPROVEMENTS.

2. ALL OUTDOOR LIGHTING SHALL BE IN CONFORMANCE WITH ARTICLE XXII OF THE TOWN ZONING ORDINANCE. 3. ALL EXCESS FILL MATERIAL SHALL BE REMOVED FROM THE SITE WITH NO

NEW SPILL SLOPES. 4. THE USE OF HYDRAULIC RAM HAMMERS, OR OTHER HEAVY EQUIPMENT USED TO CUT THROUGH ROCK, INCLUDING MACHINERY WITH AUDIBLE BACK UP WARNING DEVICES SHALL BE LIMITED TO USE BETWEEN THE HOURS OF 7:00AM OR SUNRISE, WHICHEVER IS LATER, AND 6:00PM OR SUNSET, WHICHEVER IS EARLIER, MONDAY THROUGH FRIDAY, WITH LIMITED WORK ON SATURDAY AND NO WORK ON SUNDAY OR LEGAL HOLIDAYS. RAM HAMMERS AND OTHER HEAVY EQUIPMENT CANNOT BE USED ON SATURDAYS WITHOUT

A WAIVER FROM THE TOWN MANAGER. 5. CONSTRUCTION STAKING AND /OR FENCING SHALL BE PLACED AROUND THE CONSTRUCTION SITE SO AS TO PROTECT THE UNDISTURBED NATURAL AREA.

GRADING & DRAINAGE PLAN FOR

6040 N. 41ST STREET PARADISE VALLEY, AZ 85253

CIVIL NOTES (APPLY UNLESS OTHERWISE NOTED ON CIVIL DRAWINGS)

LEGAL DESCRIPTION A.P.N. 169-22-070

LOT 69 OF "CAMELBACK FOOTHILLS NO. 2", ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA. RECORDED IN BOOK 72 OF MAPS PAGE 14.

THE EXISTING HOUSE WAS BUILT IN 1961.

RETENTION REQUIREMENTS - PRE VS POST DEVELOPMENT

PER TOWN OF PARADISE VALLEY REQUIREMENTS FOR SINGLE FAMILY

RESIDENCE DRAINAGE DESIGN STANDARDS & MCDDM, VOL II AND VOL III. V = Volume of retention required (cubic feet or acre-feet)

Cw = Weighted Runoff factor for tributary areas D = 100-year, 2-hour storm event precipitation depth (inches) per Paradise Valley

A = Drainage area (square feet or acres)

PRE DEVELOPMENT RETENTION REQUIREMENTS

A = 40,100 S.F.

D = 2.82 INCHES

C = 0.50 PRE ("NHS" HILLSIDE PER MCDDM, TABLE 3.2) C = 0.70 POST ("LDR" LOW DENSITY RESIDENTIAL PER MCDDM, TABLE 3.2)

V = 1,885 CUBIC FEET V = (40,100 * (0.70-0.50) * 2.82) /12 = 1,885 C.F.

827

ON-SITE RETENTION PROVIDED

| Volume = | ((1/3)h)*(A1- | +A2+Sqr | t(A1*A2)) | | |
|-----------|-----------------|---------|------------|----------|--|
| Retention | Basins A | | | | |
| Elevation | Area | | Depth | Volume | |
| (ft.) | (sq.ft.) | | (feet) | (cu.ft.) | |
| 1319 | 9,470 | | 0.7 | 2 712 | |
| 1318.7 | 8,616 | | 0.3 | 2,712 | |
| | | | | | |
| VOLUME PI | | 2,712 | CUBIC FEET | | |
| VOLUME RI | EQUIRED = | 1,885 | CUBIC FEET | | |

PROJECT DESCRIPTION

EXCESS VOLUME =

GRADING AND DRAINAGE RELATED IMPROVEMENTS AS THEY APPLY TO THE NEW SINGLE FAMILY RESIDENCE TO THE SITE. THE NEW FINISHED FLOOR WILL BE SET AT LEAST 12 INCHES ABOVE THE 100-YEAR DESIGN EVENT WATER SURFACE ELEVATION OF ON-SITE RETENTION BASINS. RETENTION WILL BE PROVIDED ON-SITE FOR THE PRE VS. POST IMPROVEMENTS TO THE SITE FOR THE 100-YEAR. 2-HOUR STORM EVENT PER TOWN OF PARADISE VALLEY STANDARDS. ALL STORM FLOW DRAINS FROM EAST TO WEST DOWN THE SLOPE OF THE TERRAIN. THE SITE ULTIMATELY OUTFALLS TO AN EXISTING ALLEY ALONG THE WEST PROPERTY LINE AT AN ELEVATION OF 1312.00 PER REFERENCED BENCHMARK..

CUBIC FEET

SITE DATA

| TOTAL LOT AREA | 40,100 S.F. |
|--|--|
| UPPER LIVABLE: LOWER LIVABLE: TOTAL LIVABLE: | 5,089 S.F. 1,049 S.F. 6,138 S.F. |
| UPPER GARAGE: LOWER GARAGE: TOTAL GARAGE: | 880 S.F. 775 S.F. 1,655 S.F. |

| | ., |
|----------------------|------------|
| UPPER COVERED PATIOS | <u> </u> |
| WEST MASTER STE. | 433 S.F. |
| EAST BEDROOM: | 112 S.F. |
| ENTRY: | 141 S.F. |
| EAST PATIO: | 480 S.F. |
| WEST PATIO: | 473 S.F. |
| WEST ROOF DECK: | 503 S.F. |
| TOTAL PATIO: | 2,142 S.F. |

| LOWER PATIOS: | |
|---------------|------------|
| LOWER PATIO: | 1,307 S.F. |
| COVERED: | -1,222 S.I |
| TOTAL PATIO: | 85 S.F. |

TOTAL FLOOR AREA (GROSS):

10,020 S.F.

ZONING: R-43

PROVIDED LOT COVERAGE = 24.99%

ALLOWABLE LOT COVERAGE = 25%

APPROVAL

THIS SET OF PLANS HAS BEEN REVIEWED FOR COMPLIANCE WITH TOWN OF PARADISE VALLEY REQUIREMENTS PRIOR TO ISSUANCE OF PERMITS. THE TOWN NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. THIS COMPLIANCE APPROVAL SHALL NOT PREVENT THE CITY ENGINEER FROM REQUIRING CORRECTIONS OF ERRORS OR OMISSIONS IN PLANS FOUND TO BE IN VIOLATION OF LAWS OR ORDINANCES.

TOWN OF PARADISE VALLEY

DATE

OWNER/DEVELOPER JEFF JONES

6040 N. 41ST STREET PARADISE VALLEY, ARIZONA 85253 CONTACT: JEFF JONES

ARCHITECT KONTEXTURE

3334 N. 20TH STREET PHOENIX, ARIZONA 85016 PH: 520-979-5197 CONTACT: JORGE TOSCANO

EARTHWORK QUANTITIES

| | 40 | |
|------------|-----------|--------------|
| CUT | 1,050 | C.Y. |
| FILL | 450 | C.Y. |
| NET CUT | 600 | C.Y. |
| QUANTITIES | | |
| | R IS RESI | PONSIBLE FOR |
| TAKE-OFF | | |
| | | |

HILLSIDE ASSURANCE AMOUNT: \$1,472.00 x 35 = \$51,520.00

SITE AREA DATA

LOT AREA: 40,100 S.F. (NET) BLDG. SITE SLOPE: 13.7% (1332-1320/87) ALLOWABLE DIST.: 42.8% (17,163 S.F.) EX. GROSS DISTURBED: 100% (40,100 S.F.) EX. NET AREA DISTURBED: 77.5% (31,091) NEW NET AREA DISTURBED: 48.1% (19,274) NEW GROSS AREA DISTURBED: 100% (40,100)

PER TOPV HILLSIDE ORDINANCE. TABLE 1:

TEMPORARY SITE BENCHMARK TOP OF FOUND IRON PIPE AT THE

NORTHWEST CORNER OF SUBJECT

PROPERTY WITH AN ELEVATION OF

BENCHMARK

SHEET INDEX

AS-BUILT CERTIFICATION

REGISTRATION NUMBER

DRAINAGE STATEMENT

COMMUNITY

NUMBER

040049

STORM EVENT.

PAGE NO.:

TO THE BEST OF MY KNOWLEDGE AND BELIEF.

REGISTERED ENGINEER/LAND SURVEYOR

2. OFF-SITE FLOWS IMPACT THIS SITE.

SHEET NO .:

C1

C3

1304.90'.

BRASS CAP IN HAND HOLE MARKING THE NORTH QUARTER CORNER OF SECTION 22, TOWNSHIP 2 NORTH RANGE 4 EAST OF GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA. MCDOT POINT NAME: 24565-1M ELEVATION: 1311.223 (NAVD88)

ABBREVIATIONS

FT.

MAS.

PVMT.

TITLE:

I HEREBY CERTIFY THAT THE "RECORD DRAWING" MEASUREMENTS AS SHOWN

HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED AND ARE CORRECT

PER TOWN OF PARADISE VALLEY GRADING AND DRAINAGE STANDARDS, THE PRE

VS. POST VOLUME WILL BE PROVIDED, ON-SITE, FOR THE 100-YEAR, 2-HOUR

RETENTION PROVIDED IS FOR THE 100-YR, 2-HR STORM EVENT.

4. EXTREME STORM FLOWS OUTFALL THE SITE (ESO) AT THE SOUTHWEST

CORNER OF THE PROPERTY INTO ITS EXISTING WATERCOURSE AT AN

THE LOWEST FINISHED FLOOR ELEVATION OF 1321.40 IS SAFE FROM

IN ACCORDANCE WITH THESE APPROVED PLANS. THE 100-YR WATER

INUNDATION DURING THE 100-YEAR PEAK RUN-OFF EVENT IF CONSTRUCTED

FEMA SITE INFORMATION

DATE OF FIRM

(INDEX DATE)

10/16/13

FIRM

ZONE

1. THIS PARCEL IS NOT IN A SPECIAL FLOOD HAZARD.

SURFACE ELEVATION FOR THE SITE IS 1319.00.

PANEL #

Panel däti

10/16/13

ELEVATION OF 1312.00 PER REFERENCED BENCHMARK

GRADING AND DRAINAGE PLAN

GRADING AND DRAINAGE PLAN

RETAINING WALL DETAILS & NOTES

DATE

BASE FLOOD ELEV

(IN AO ZONE,

USE DEPTH)

1 F00T

FEET

MASONRY

(SOME ABBREVIATIONS MAY NOT APPLY TO THESE DRAWINGS) BOTT. BOTTOM B/C BACK OF CURB 0 North 41st Street C.F. CUBIC FEET CHAIN LINK FENCE CONC. CONCRETE CUBIC YARD Sunrise Care Homes DRAINAGE EASEMENT D.E. *Paradise Valley. DRIVEWAY EASEMENT ESMT. **EXISTING** EXIST. F.F. FINISHED FLOOR FND. FOUND

MONUMENT LINE N.T.S. NOT TO SCALE PAVEMENT PROPERTY LINE (SOME ITEMS MAY NOT APPLY TO THESE DRAWINGS) PUBLIC UTILITY EASEMENT P.U.E. R/W RIGHT OF WAY **EXISTING**

TYPICAL UNLESS NOTED OTHERWISE

E McDonald Dr

BOUNDARY LINE

VERT. CURB & GUTTER

CONCRETE

GAS METER

CABLE RISER

POWER POLE

WATER METER

CONCRETE CURB

BRASSCAP FLUSH

TELEPHONE RISER

ELECTRICAL GUY DOWN

DRYWELL/CATCH BASIN

OVHERHEAD CABLE TV

OVERHEAD TELEPHONE

OVERHEAD ELECTRICAL

UNDERGROUND TELEPHONE

UNDERGROUND ELECTRICAL

NATURAL GROUND ELEV. (ADD 1300)

TOP OF CURB ELEV. (ADD 1300)

PAVEMENT ELEV. (ADD 1300)

CONCRETE ELEV. (ADD 1300)

EXTREME SITE OUTFALL (ESO)

TOP OF FOOTING ELEV. (ADD 1300)

TOP OF SITE FENCE ELEV. (ADD 1300)

GUTTER ELEV. (ADD 1300)

FINISHED FLOOR ELEV.

RIM ELEV. (ADD 1300)

DRAINAGE SLOPE

TOP OF EMBANKMENT

BOTTOM OF EMBANKMENT

INVERT ELEV. (ADD 1300)

SPRINKLER CONTROL BOX

ANTI-SIPHON LANDSCAPE VALVE

STREET LIGHT OR LIGHT POLE

BACK FLOW PREVENTION ASSEMBLY

BRASSCAP IN HANDHOLE

MONUMENT LINE

— — EASEMENT LINE

PROPOSED

VICINITY MAP

◑ *GM*

 \square TR

 \square WM

 \otimes AS

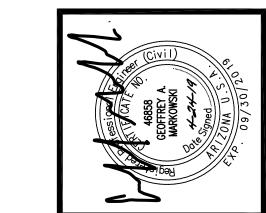
____ C ____

——— E ———

——— GAS ———

— — — S—— SANITARY SEWER

— — SD STORM DRAIN



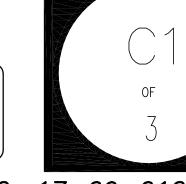
0 9 $\frac{1}{2}$ \bigcirc \bigcirc

 \geq \bigcirc \forall 9

DATE ISSUED: 26 SEPT 17 DRAWN BY: GM/AD CHECKED BY: GM

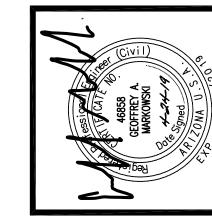
SHEET DESCRIPTION: GRADING DRAINAGE PLAN

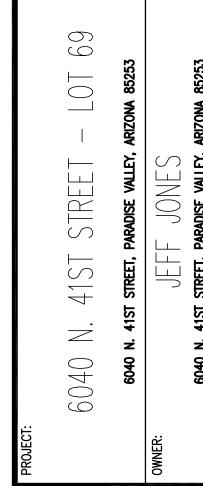




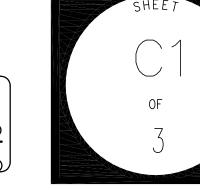
JOB NO. 17-09-012-00

THIS SERY AND USE USE EXPE





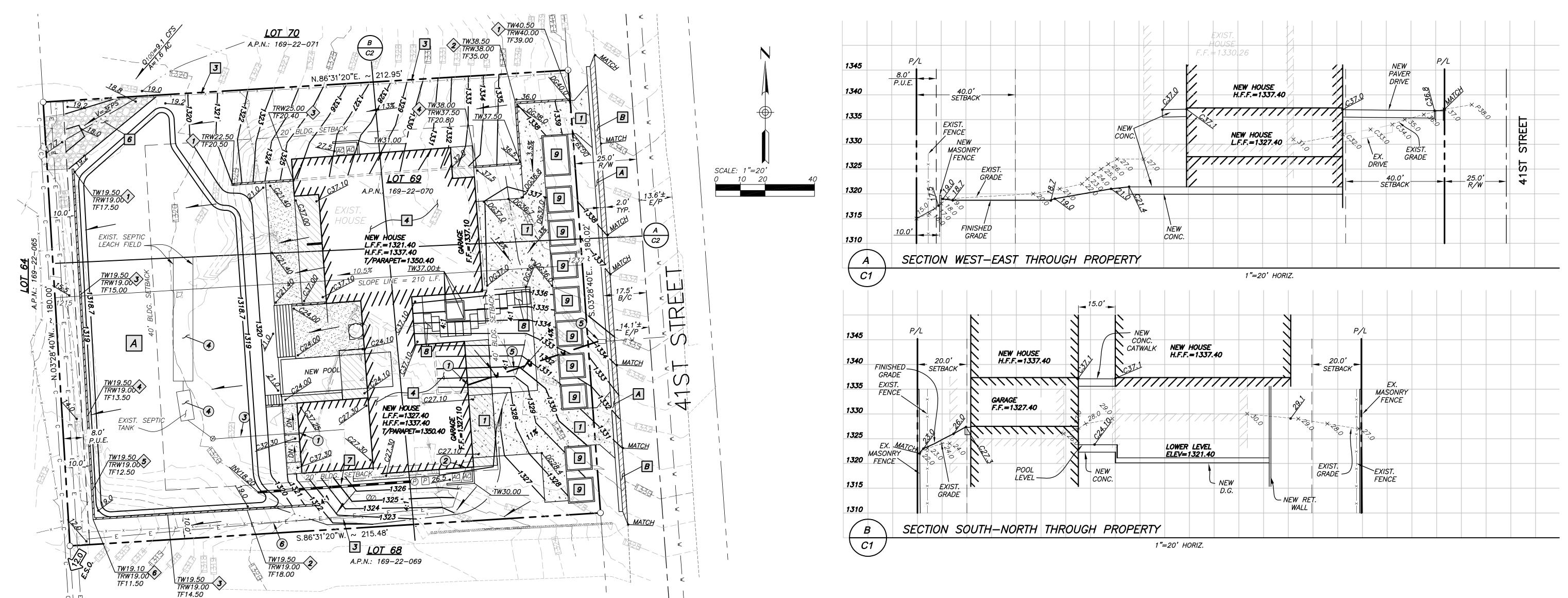
TOP OF RETAINING WALL ELEV. (ADD 1300)



ALL BASIN SIDE SLOPES SHALL BE 4:1 MAXIMUM, TYPICAL

GRADING & DRAINAGE PLAN FOR

6040 N. 41ST STREET PARADISE VALLEY, AZ 85253



ON-SITE UTILITY CONSTRUCTION NOTES

- SEE PLUMBING PLANS FOR WATER AND SEWER CONNECTION TO NEW INTERIOR/EXTERIOR PLUMBING FIXTURES.
- PROVIDE NEW 200 AMP ELECTRICAL SERVICE. COORDINATE LOCATION AND UNDERGROUND SERVICES WITH UTILITY CO. PROVIDE NEW 200 AMP ELECTRICAL SERVICE. COORDINATE
- EXIST. 4" PVC SANITARY SEWER LINE AND PER SEPARATE
- EXIST. S
 PERMIT. EXIST. SEPTIC TANK AND LEACH FIELD PER SEPARATE COUNTY
- 5 NEW 3/4" WATER METER AND 1" DOMESTIC WATER SERVICE LINE. REFER TO PLUMBING PLANS FOR APPROVED AND TIE—IN LOCATION AT HOUSE.
- 6 APPROXIMATE LOCATION OF NEW UNDERGROUND ELECTRIC SERVICE TO PANEL. SEE ELECTRICAL PLANS FOR CONTINUATION IN HOUSE.

ON-SITE GRADING & DRAINAGE NOTES

- DECOMPOSED GRANITE DRIVEWAY AND WALKWAY PER ARCHITECTURAL DRAWINGS AND SPECS.
- REMOVE EXISTING CHAIN LINK FENCE (TYPICAL).
- CONSTRUCT BUILDING PAD ON PREPARED SUBGRADE. REFER TO FOUNDATION PLANS AND GEOTECHNICAL INVESTIGATION FOR DETAILS.
- INSTALL D50 RIP-RAP: 3" TO 6" DIAMETER, NATIVE, ANGULAR GRANITE, HAND PLACED AND INTERLOCKING. OVER NON-WOVEN FILTER FABRIC. RIP-RAP SHALL BE PLACED AT MIN. 8-INCHES BELOW FINISHED GRADE.
- PROVIDE 2" DIA. PVC BACKWASH PIPING FROM POOL TO NEW RETENTION BASIN. REFER TO POOL AND/OR PLUMBING PLANS FOR SPECIFICATIONS.
- STRUCTURAL LANDSCAPE LANDINGS. REFER TO LANDSCAPE PLANS FOR HEIGHT AND ELEVATIONS OF STEPS.
- LANDSCAPE PLANTER BOXES. TOP OF WALL HEIGHT AT STREET IS 6" MAX. REFER TO SECTIONS AND ELEVATIONS ON LANDSCAPE PLANS FOR MAX. WALL HEIGHTS OF LANDSCAPE FEATURES.

SITE RETAINING WALL SCHEDULE

SITE RETAINING WALL PER DET. 7/C3. SEE PLAN FOR TOP OF RETAINING WALL, TOP OF FOOTING ELEVATIONS. MATERIALS PER ARCH'L PLANS AND SPECS.

| WALL TYPE | RET. WALL HEIGHT (FT.) | SCREEN FENCE | LENGTH (L.F.) |
|--------------|---------------------------|-----------------|------------------|
| 1 | 1'-0" TO 2'-6" | PER ARCH'L | 40 |
| 2 | 2'-7" TO 3'-6" | PER ARCH'L | 35 |
| 3 | 3'-7" TO 4'-11" | PER ARCH'L | 65 |
| 4 | 5'-0" TO 6'-0" | PER ARCH'L | 55 |
| 5 | 6'-1" TO 7'-0" | PER ARCH'L | 35 |
| 6 | 7'-0" TO 8'-0" | PER ARCH'L | 22 |
| | | TOTAL | = 252 L.F. |

OFF-SITE PAVING NOTES

- INSTALL 180 L.F. OF 2-FT WIDE RIBBON CURB PER M.A.G. STD. DET. 220-B. STD. DET. 220-B.
- B INSTALL 40 S.Y. OF A.C. PAVEMENT TERMINATION PER M.A.G. STD. DET. 201-B.

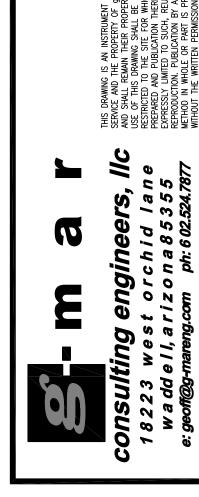
FINISHED MATERIAL LEGEND:

BALCONY/PATIO ABOVE

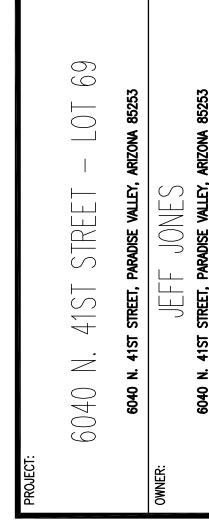
CONCRETE AT GRADE

ALL NATIVE PLANTS IMPACTED BY CONSTRUCTION SHALL BE RELOCATED ON-SITE. SEE LANDSCAPE PLANS AND NATIVE INVENTORY & SALVAGE PLAN.





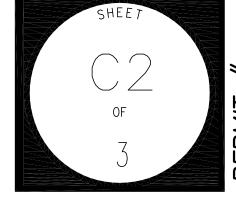




| 1ST CITY SUBMITTAL | 2nd CITY SUBMITTAL | 1ST CD SUBMITTAL | | |
|--------------------|--------------------|------------------|--|--|
| PR 01-30-18 | 05-30-18 | CD 04-24-19 | | |
| PR | PR | СО | | |

DATE ISSUED: 26 SEPT 17 DRAWN BY: GM/AD CHECKED BY: 6M

SHEET DESCRIPTION: GRADING DRAINAGE PLAN



MASONRY

- Hollow concrete block units: Grade N, Type 1, 1900 psi minimum compressive strength. Wall design strength, f'm = 1500 psi.
 Mortar: Type S, 1800 psi.
 Grout: 2000 psi. A maximum of 18% by weight of the total cementious materials may be replaced by fly—ash, provided the fly—ash conforms to ASTM A618, Type F. Mechanically vibrate grout immediately after
- 4. Lay units in running bond. Corners shall have a standard bond by
- overlapping units. 5. Provide ladder type #9 gage continuous joint reinforcing at 16" vertical
- spacing in walls. See plans and details for wall reinforcing.

 Maximum grout lift without cleanouts 5'—0" in block walls.
- Provide masonry control joints at 20'-0" o.c. maximum spacing. Provide one (1) vertical reinforcing at each side of expansion and control joints. Place bond beam reinforcing continuous through expansion and control joints, wrapping bars with 1/8" thick bond breaking tape 2'-0" both sides of joint. Do not splice bond beam reinforcing within 6'-0" of an expansion or control joint.
- 9. See Architectural Drawings for expansion and control joints. Locate at 24'-0" maximum but not less than 2'-0" from a bearing plate or jamb of an opening.

REINFORCING

- 1. ASTM A615, Grade 60, deformed bars, except #2 bars. CRSI and
- ACI manuals apply.

1 1/2"ø WEEP HOLES

, SEE NOTE #2

#5 CONT. —

| @ 6'-0" O.C. —

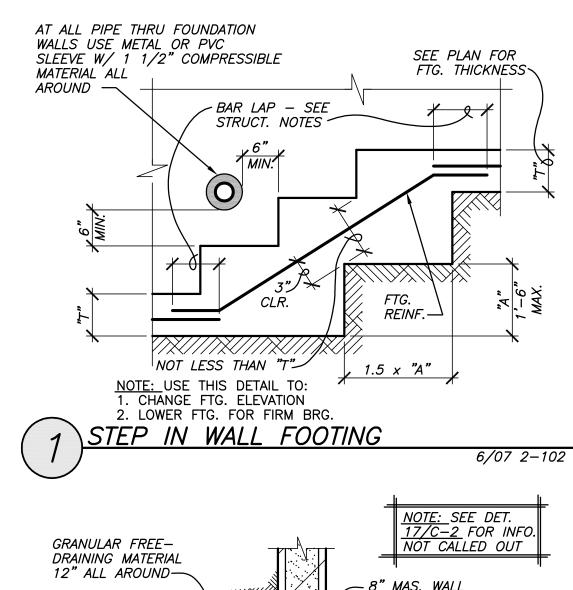
GRADE —

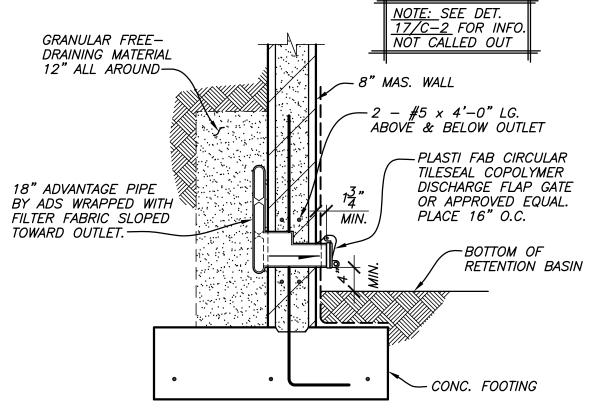
- Clear concrete coverages per details.

 Lap splices in concrete 36 bar diameters.

 Lap splices in masonry 50 bar diameters.
- Provide bent corner reinforcing to match and lap with horizontal reinforcing at corners and intersections of walls, beams and footings per ACI Detailing Manual (SP-66), latest edition.

 6. Place reinforcing per ACI 318-05 and C.R.S.I. Standards.



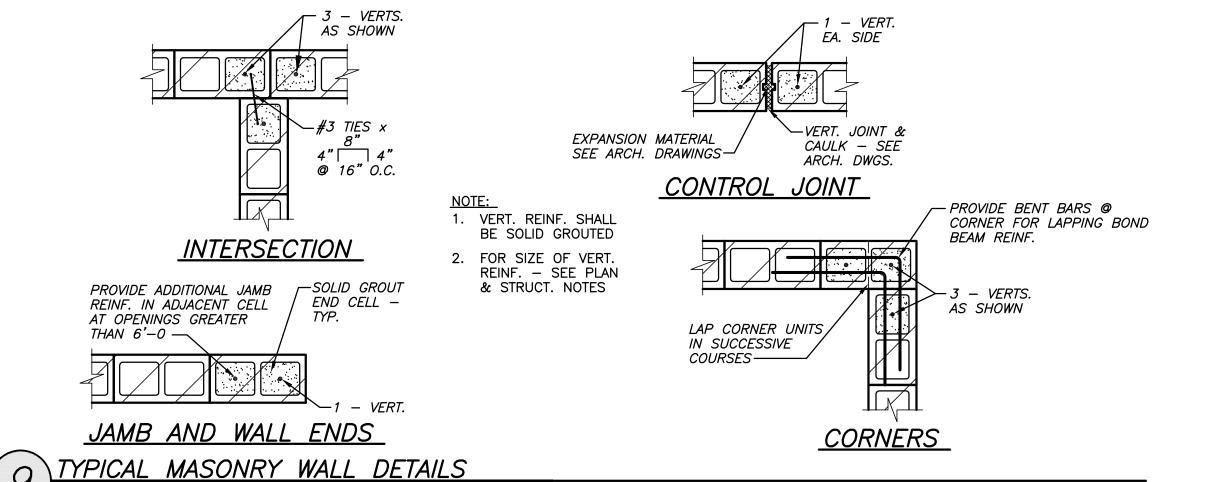


RETAINING WALL DRAIN SYSTEM AT C6-302 3/4"=1'-0"

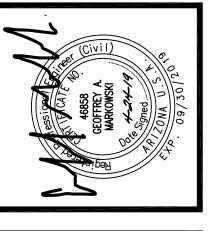
| Т | Н | В | G (MIN.) | D | 'E' BARS | 'L' BAR | 'M' BAR | SPEC. INSP. |
|-----|----------------------|---|---|---|--|--|--|--|
| 8" | 0 - 2'-6" | 2'-7" | 1'-6" | 10" | #5 @ 24" O.C. @ CENTER OF WALL | #5 HORIZ. @ 12" O.C. | | NO |
| 8" | 2'-7"-3'-6" | 3'-4" | 1'-6" | 12" | #5 @ 32" O.C. EARTH SIDE OF WALL | #5 HORIZ. @ 12" O.C. | | NO |
| 8" | 3'-7"-4'-11" | 4'-4" | 2'-0" | 12" | ** #5 @ 24" O.C. EARTH SIDE OF WALL | #5 HORIZ. @ 12" O.C. | | NO |
| 8" | 5'-0"-6'-0" | 4'-4" | 2'-0" | 12" | ** #5 @ 16" O.C. EARTH SIDE OF WALL | #5 HORIZ. @ 12" O.C. | 10 U.C. | YES |
| 8" | 6'-1"-7'-0" | 6'-0" | 2'-0" | 12" | ** #5 @ 16" O.C. EARTH SIDE OF WALL | #5 HORIZ. @ 12" O.C. | BARS @ | YES |
| 12" | 7'-1"-9'-6" | 8'-0" | 2'-6" | 12" | ** #5 @ 8" O.C. EARTH SIDE OF WALL | #5 HORIZ. @ 12" O.C. | #7 TOP BARS @ | YES |
| | 8" 8" 8" 8" | 8" 0 - 2'-6" 8" 2'-7"-3'-6" 8" 3'-7"-4'-11" 8" 5'-0"-6'-0" 8" 6'-1"-7'-0" | 8" 0 - 2'-6" 2'-7" 8" 2'-7"-3'-6" 3'-4" 8" 3'-7"-4'-11" 4'-4" 8" 5'-0"-6'-0" 4'-4" 8" 6'-1"-7'-0" 6'-0" | 8" $0 - 2' - 6$ " $2' - 7$ " $1' - 6$ " 8" $2' - 7$ " $3' - 4$ " $1' - 6$ " 8" $3' - 7$ " $- 4' - 11$ " $4' - 4$ " $2' - 0$ " 8" $5' - 0$ " $- 6' - 0$ " $4' - 4$ " $2' - 0$ " 8" $6' - 1$ " $- 7' - 0$ " $6' - 0$ " $2' - 0$ " | 8" $0 - 2' - 6$ " $2' - 7$ " $1' - 6$ " 10 " 8" $2' - 7$ " $3' - 4$ " $1' - 6$ " 12 " 8" $3' - 7$ " $- 4' - 11$ " $4' - 4$ " $2' - 0$ " 12 " 8" $5' - 0$ " $- 6' - 0$ " $4' - 4$ " $2' - 0$ " 12 " 8" $6' - 1$ " $- 7' - 0$ " $6' - 0$ " $2' - 0$ " 12 " | 8" 0 - 2'-6" 2'-7" 1'-6" 10" #5 @ 24" 0.C. 8" 2'-7"-3'-6" 3'-4" 1'-6" 12" #5 @ 32" 0.C. EARTH SIDE OF WALL 8" 3'-7"-4'-11" 4'-4" 2'-0" 12" ** #5 @ 24" 0.C. EARTH SIDE OF WALL 8" 5'-0"-6'-0" 4'-4" 2'-0" 12" ** #5 @ 16" 0.C. EARTH SIDE OF WALL 8" 6'-1"-7'-0" 6'-0" 2'-0" 12" ** #5 @ 16" 0.C. EARTH SIDE OF WALL 12" 7' 1" 0' 6" 8'-0" 2'-6" 12" ** #5 @ 16" 0.C. | 8" 0 - 2'-6" 2'-7" 1'-6" 10" #5 @ 24" 0.C. @ CENTER OF WALL #5 HORIZ. @ 12" 0.C. 8" 2'-7"-3'-6" 3'-4" 1'-6" 12" #5 @ 32" 0.C. EARTH SIDE OF WALL #5 HORIZ. @ 12" 0.C. 8" 3'-7"-4'-11" 4'-4" 2'-0" 12" ** #5 @ 24" 0.C. EARTH SIDE OF WALL #5 HORIZ. @ 12" 0.C. 8" 5'-0"-6'-0" 4'-4" 2'-0" 12" ** #5 @ 16" 0.C. EARTH SIDE OF WALL #5 HORIZ. @ 12" 0.C. 8" 6'-1"-7'-0" 6'-0" 2'-0" 12" ** #5 @ 16" 0.C. EARTH SIDE OF WALL #5 HORIZ. @ 12" 0.C. 12" 7' 1" 8'-0" 2'-6" 12" ** #5 @ 8" 0.C. #5 HORIZ. | 8" 0 - 2'-6" 2'-7" 1'-6" 10" #5 @ 24" 0.C. @ CENTER OF WALL #5 HORIZ. @ 12" 0.C. 8" 2'-7"-3'-6" 3'-4" 1'-6" 12" #5 @ 32" 0.C. EARTH SIDE OF WALL #5 HORIZ. @ 12" 0.C. 8" 3'-7"-4'-11" 4'-4" 2'-0" 12" ** #5 @ 24" 0.C. EARTH SIDE OF WALL #5 HORIZ. @ 12" 0.C. 8" 5'-0"-6'-0" 4'-4" 2'-0" 12" ** #5 @ 16" 0.C. EARTH SIDE OF WALL #5 HORIZ. BARS @ 12" 0.C. 8" 6'-1"-7'-0" 6'-0" 2'-0" 12" ** #5 @ 16" 0.C. EARTH SIDE OF WALL #5 HORIZ. BARS @ 9" 0.C. 12" 7' 1" 0' 6" 8'-0" 2'-6" 12" ** #5 @ 8" 0.C. #5 HORIZ. BARS @ 9" 0.C. |

- 1. SPECIAL INSPECTION REQUIREMENTS APPLY TO RETAINING WALL SECTIONS ONLY. 2. DIMENSION "G" APPLIES TO MINIMUM FOOTING DEPTH BELOW ADJACENT FINISH OR NATURAL GRADE, WHICHEVER IS LOWER. FINISH GRADE IS DEFINED AS LOWEST ADJACENT GRADE WITHIN 5'-0" OF FOOTING EDGE.

 3. NO SITE WALL ON RETAINING WALLS GREATER THAN 5'-0" IN HEIGHT.
- MASONRY RETAINING WALL SCHEDULE



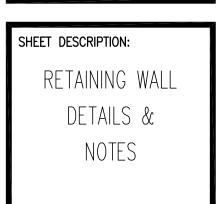
9/94 4-100



| O 3 3 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 | 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 | 6040 N, 41ST STREET $-$ LOT 6040 N, 41ST STREET, PARADISE VALLEY, ARIZONA 85253 6040 N, 41ST STREET, PARADISE VALLEY, ARIZONA 85253 | | RADISE 1 | 1ST STREET REET, PARADISE VALLEY, JEFF JONES REET, PARADISE VALLEY. | ARIZONA | | | |
|---|---------------------------------------|---|--|----------|--|---------|--|--|--|
|---|---------------------------------------|---|--|----------|--|---------|--|--|--|

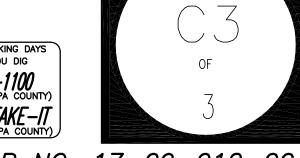
| PR 01-30-18 1ST CITY SUBMITTAL | PR 05-30-18 2nd CITY SUBMITTAL | CD 04-24-19 1ST CD SUBMITTAL | | |
|--------------------------------|--------------------------------|------------------------------|--|--|
| 01-30-18 | 05-30-18 | 04-24-19 | | |
| PR | PR | CD | | |

| | DATE | ISSI | JED: | 26 | SEPT | 17 |
|---|------|------|------|----|------|----|
| | DRAW | N B | Y: | | /AD | |
| ľ | CHEC | KED | BY: | EM | | |









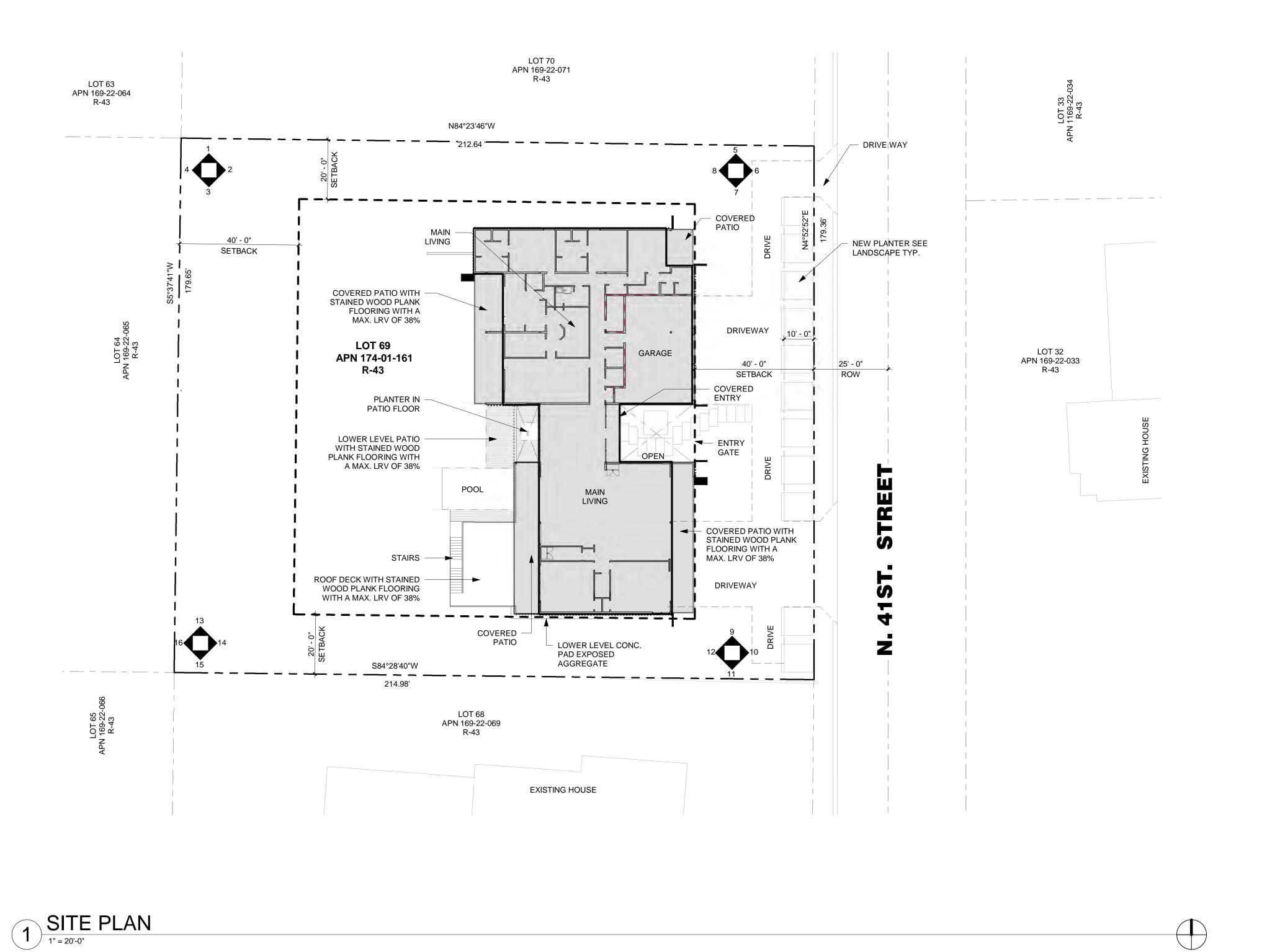
— LEVEL BACKFILL

- CMU RETAINING WALL

:— CONT. 3/4" DP. x 5 1/2" WIDE KEYWAY

FINISHED GRADE

SOLID GROUTED BELOW



PROJECT INFO AND SITE DATA

PROJECT ADDRESS: 6040 N. 41st STREET PARADISE VALLEY, AZ 85253

<u>LEGAL DESCRIPTION:</u> LOT 69, OF CAMELBACK FOOTHILLS UNIT II, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 72, PAGE 14, OF THE PUBLIC RECORDS OF MARICOPA COUNTY, ARIZONA.

PROJECT DATA: ZONING: 169-22-070 MCR: 72-14

STR: 7 2N 4E SINGLE FAMILY RESIDENCE OCCUPANCY: SUBDIVISION: CAMELBACK FOOTHILLS 2

AREA CALCULATIONS (NET):

40,100 SF UPPER LIVABLE AREA: 5,089 SF LOWER LIVABLE AREA: 1,049 SF **TOTAL LIVABLE AREA:** 6,138 SF

UPPER GARAGE: 880 SF LOWER GARAGE: 775 SF **TOTAL GARAGE:** 1,655 SF

<u>UPPER COVERED PATIO(S)</u> WEST MASTER SUITE:

433 SF EAST BEDROOM: 112 SF ENTRY: 141 SF EAST PATIO: 480 SF WEST PATIO COVERED: 473 SF WEST ROOF DECK (UNCOVERED) 503 SF 2,142 SF

LOWER PATIO(S)
LOWER PATIO:
COVERED*: 1307 SF -1222 SF 85 SF

FLOOR AREA RATIO: MAX ALLOWED: 25% 40,100x.25 = 10,025 SF

10,020 SF

FLOOR AREA RATIO: 10,020/40,100 = **24.9%**

SITE AREA DATA

TOTAL FLOOR AREA (GROSS):

PER TOPV HILLSIDE ORDINANCE, TABLE 1:

LOT AREA: 40,100 S.F. (NET) BLDG. SITE SLOPE: 13.7% (1332-1320/87) ALLOWABLE DIST.: 42.8% (17,163 S.F.) EX. GROSS DISTURBED: 100% (40,100 S.F.) EX. NET AREA DISTURBED: 77.5% (31,091) NEW NET AREA DISTURBED: 48.1% (19,274) NEW GROSS AREA DISTURBED: 100% (40,100)

THE LOWER PATIO SQUARE FOOTAGE IS DEDUCTED WHERE THE UPPER HOUSE, PATIOS AND OR COVERED

PROJECT NARRATIVE SITE NOTES

NEW HOME TO BE CONSTRUCTED ON THE SITE AT 6040 NORTH 41ST STREET IN PARADISE VALLEY ARIZONA. THE EXISTING HOME IS TO BE REMOVED.

1. FINISH FLOOR SHALL BE A MINIMUM OF 6" ABOVE ADJACENT GRADE.

KEYNOTES:

LOCATION MAP



PROJECT LOCATION

SITE PLAN

1" = 20'-0" SCALE

A0.2

SEALS AND SIGNATURES

Jones Residence-Camelback Foothills

0

KONTEXTURE, LLC

REV DATE

3334 N. 20TH. STREET

PHOENIX, AZ 85016

ARCHITECT

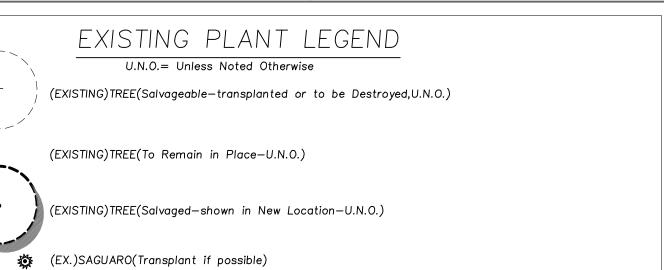
623.533.7652

ISSUED FOR

DRAWING TITLE

PROJECT NUMBER

DRAWING NUMBER



2-4" Cal. Acacia smallii/ sweet acacia

Olnea tesota/ ironwood tree 3"Cal. Specimen

Chamaerops humilis/ mediterranean fan palm 24"Bx. Carnegaea gigantea/ saguaro 24"Bx. Specimen Cactus

Dodonea viscosa/ hopseed bush Larrea tridentata/ creosote bush 5 gal. Large flowering screen

Podilanthus macrocarpus/pink lady slipper Aslepias subulata/desert milkweed Encelia farinosa /brittlebush 5 gal. medium—large flowering shrubs

Calliandra eriophylla/ pink fairyduster Simmondsia chinensis/jojoba bush Leucophyllum sp./ tex. ranger Spheralcea ambigua/globe mallow 1-5 gal. small flowering shrubs

Rosmarinus sp./trailing rosemary

24"-36"Diam. Ceramic Pots(See generic symbols) (Interior Driveways)d.g. (Decomposed Granite)(1/4" 'minus') to 3" min. depth. Color; 'Madison Gold' or approved equal, mixed with 'Stabilizer'tm.

25' - 0 SETBACK ROW Pedestrian Access



14' ENTRY DRIVE

-1335

Low Voltage(12V) Lighting Legend

(LOOKING WEST)

Entrance Elevation

NO SCALE

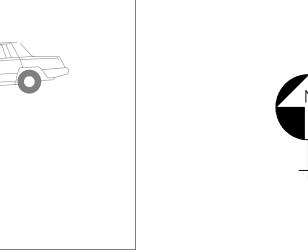
* All Exterior Landscape LED Fixtures—5w Max.

'VISTA' / 1180 / (4.5w) In-ground well-light

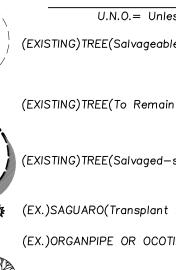
1205 / (4.5w) Path Light

ES-150 (150w) Multi-tap Transformer

SYM. MFG. /PART NO. DESCRIPTION







(EX.)ORGANPIPE OR OCOTILLO(Transplant if possible) (EX.)OLEANDER(To be Removed)

(EX.)NATURAL TURF AREA(To be Replaced with 'Midiron'/hybrid bermuda turf

PLANT PALETTE Botanical/Common Name Size Remark 1-2"Cal. Chilopsis linearis/ desert willow

> Acacia willardiana/ palo blanco 1-2"Cal. Standard/Dbl. Stake

Pachycereus marginatus/ mexican fencepost 24"Bx. Specimen Palm/succulent Specimen Palm/succulent Cycas revoluta/ sago palm Pachypodium lamerie/Madagascar palm

Dasylirion longissimum/ mexican grass tree Bougainvillea 'TorchGlow'/bush bougainvillea Agave vilmoriana/ ocotopus agave 5 gal. Large accent shrub

Euphorbia tirucalli/firesticks Caesalpinea gilliesii/ yellow mex. bird Opuntia 'Santa Rita'/purple prickly pear Large accent plant/succulent Mulhlenbergia cap. 'Regal Mist'/Deer Grass Aloe stricta/ coral aloe small-medium accent

Salvia clevelandii/ chaparral sage

Salvia sp./salvia Euphorbia rigida/ blue euphorbia

1—5gal. small cactus/succulent △ Agave sp./queen victoria Aloe stricta/ cora Echinocactus sp.

Hymenoxys aculeata/ angelita daisy Aloe sp./aloe

Granite Boulder('Surface Select')36-48"Diam.(bury 1/3 diameter) (Landscape Areas)d.g. (Decomposed Granite)(3/4"-1" 'screened') to 2" min. depth. Color; 'Madison Gold' or approved equal.



PLANNING 15049 N. HANA MAUI DRIVE Phoenix, AZ 85022 (602) 955–3661 www.killiplandplanning.com © Copyright 2019 Killip Land Planning,LLC

KILLIP LAND PLANNING,LLC

LANDSCAPE ARCHITECTURE

URBAN DESIGN

27436 THOMAS J KILLIP 4.2.19

Exp:9.30.20



Jones Residence-Camelback Foothills

Ш \mathcal{L} \supset × Ш Z 0 \mathbf{Y}

KONTEXTURE, LLC ARCHITECT 3334 N. 20TH. STREET PHOENIX, AZ 85016 623.533.7652

ISSUED FOR REV DATE Town of Paradise Valley 1 4.22.19 Town of Paradise Valley 2 5.1.19

SEALS AND SIGNATURES



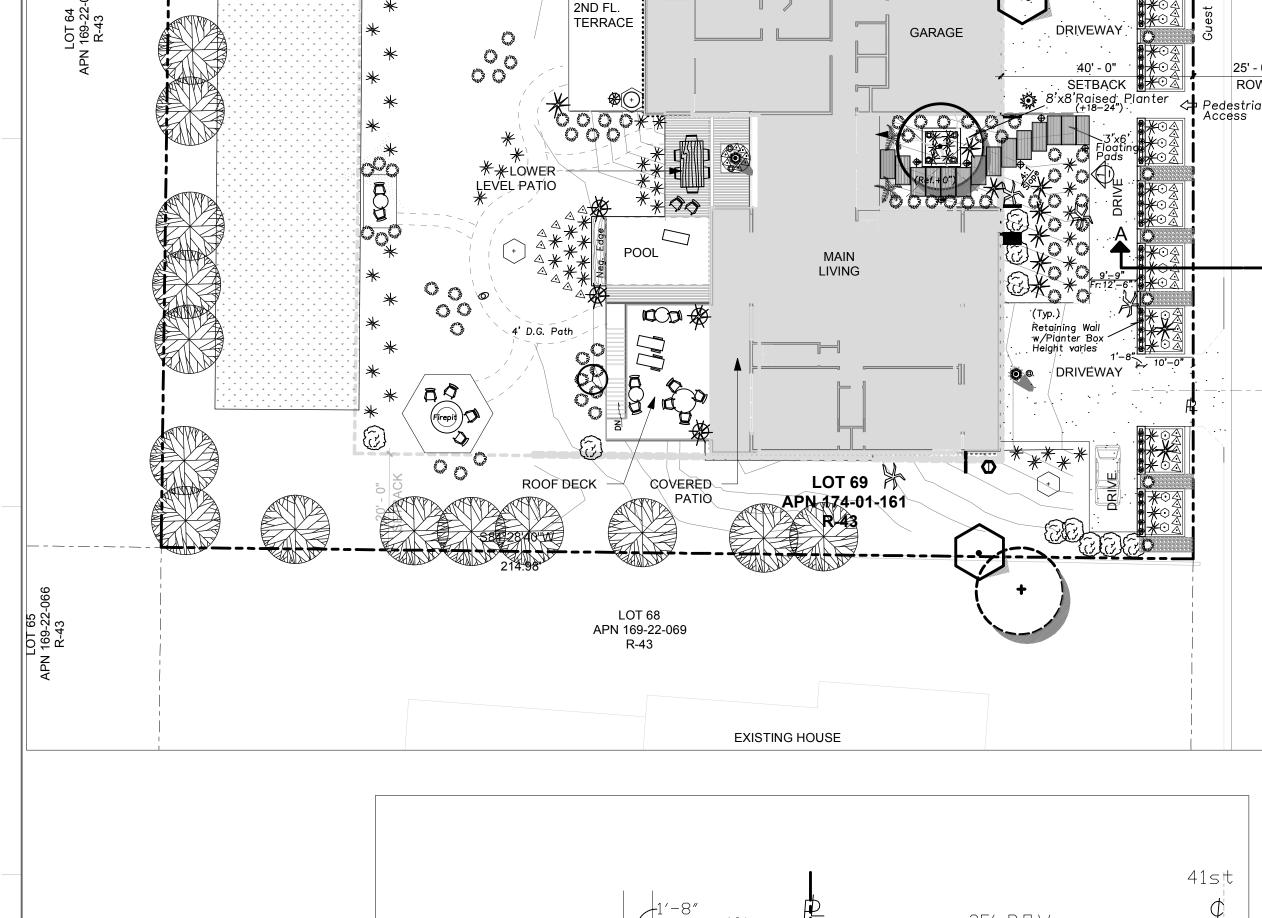
KEYPLAN

DRAWING TITLE

Preliminary Landscape Plan

SCALE 1"=20'-0" 17-014 PROJECT NUMBER PLP.1

DRAWING NUMBER

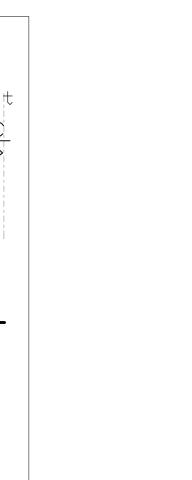


LOT 70 APN 169-22-071

N84°23'46''W

COVERED

PATIÓ



DRIVE WAY

10'x10' PLANTER

(Typ.)Concrete

New Ribbon Curb

25′ R.O.W. NEW RIBBON CURB CONC. FOOTING

(LOOKING NORTH) NO SCALE

Raised Planter Box

HORIZONTAL BAND PANELS-TO MATCH RESIDENCE.

RETAINING WALI HEIGHT VARIES

ENTRY DRIVE

(LOOKING WEST) 41st St. elevation

169-22-064

SETBACK.



Jones Residence-Camelback Foothills

0

KONTEXTURE, LLC ARCHITECT 3334 N. 20TH. STREET PHOENIX, AZ 85016 623.533.7652

ISSUED FOR REV DATE

SEALS AND SIGNATURES

SITE PHOTOS

PROJECT NUMBER

DRAWING NUMBER



1 AERIAL PHOTO - SITE PLAN



Jones Residence-Camelback Foothills 6040 N. 41st Street Paradise Valley, Arizona 85253

KONTEXTURE architecture | interiors | urban planning

KONTEXTURE, LLC ARCHITECT 3334 N. 20TH. STREET PHOENIX, AZ 85016 623.533.7652

ISSUED FOR

SEALS AND SIGNATURES

REV DATE

DRAWING TITLE

SCALE

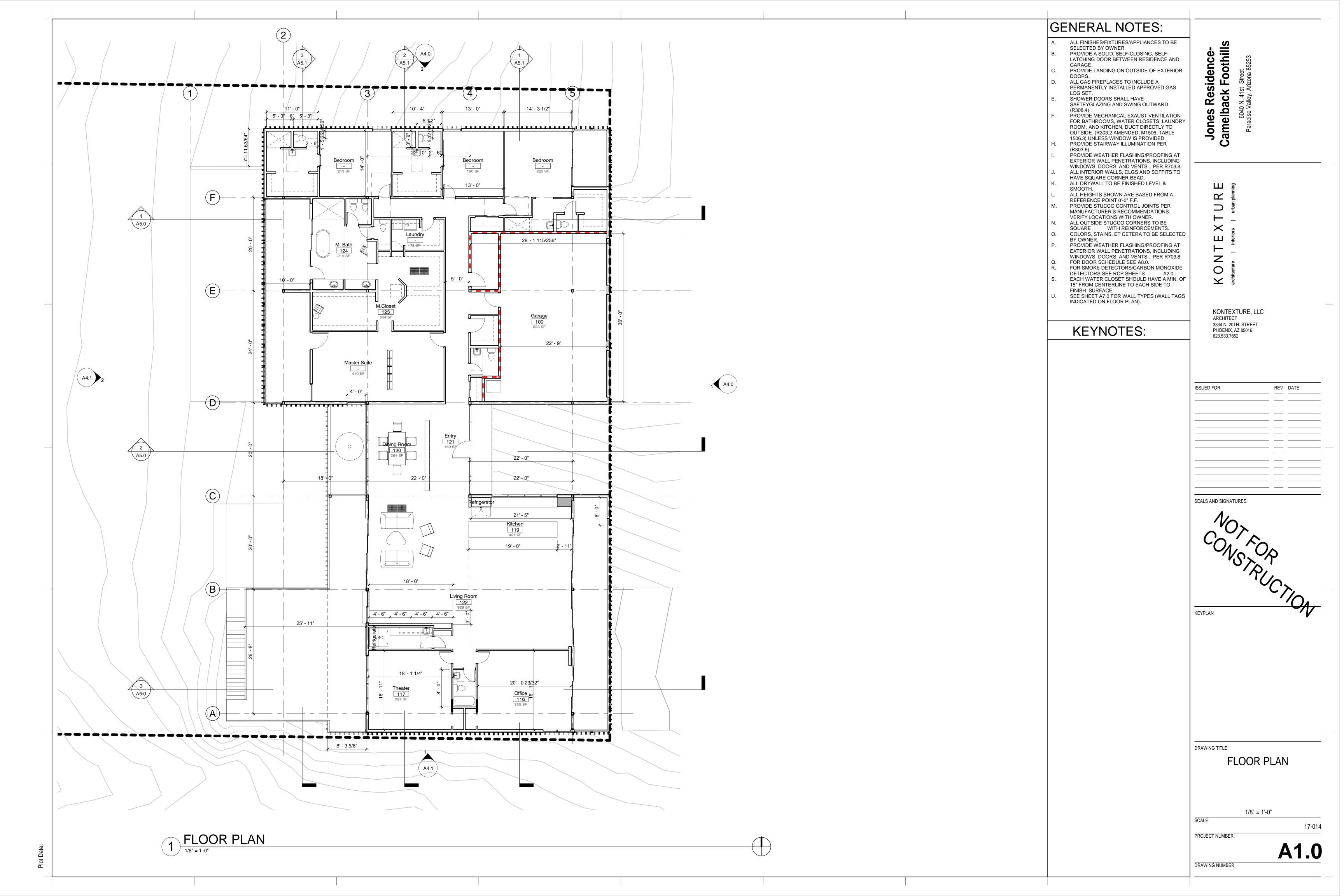
AERIAL PHOTO

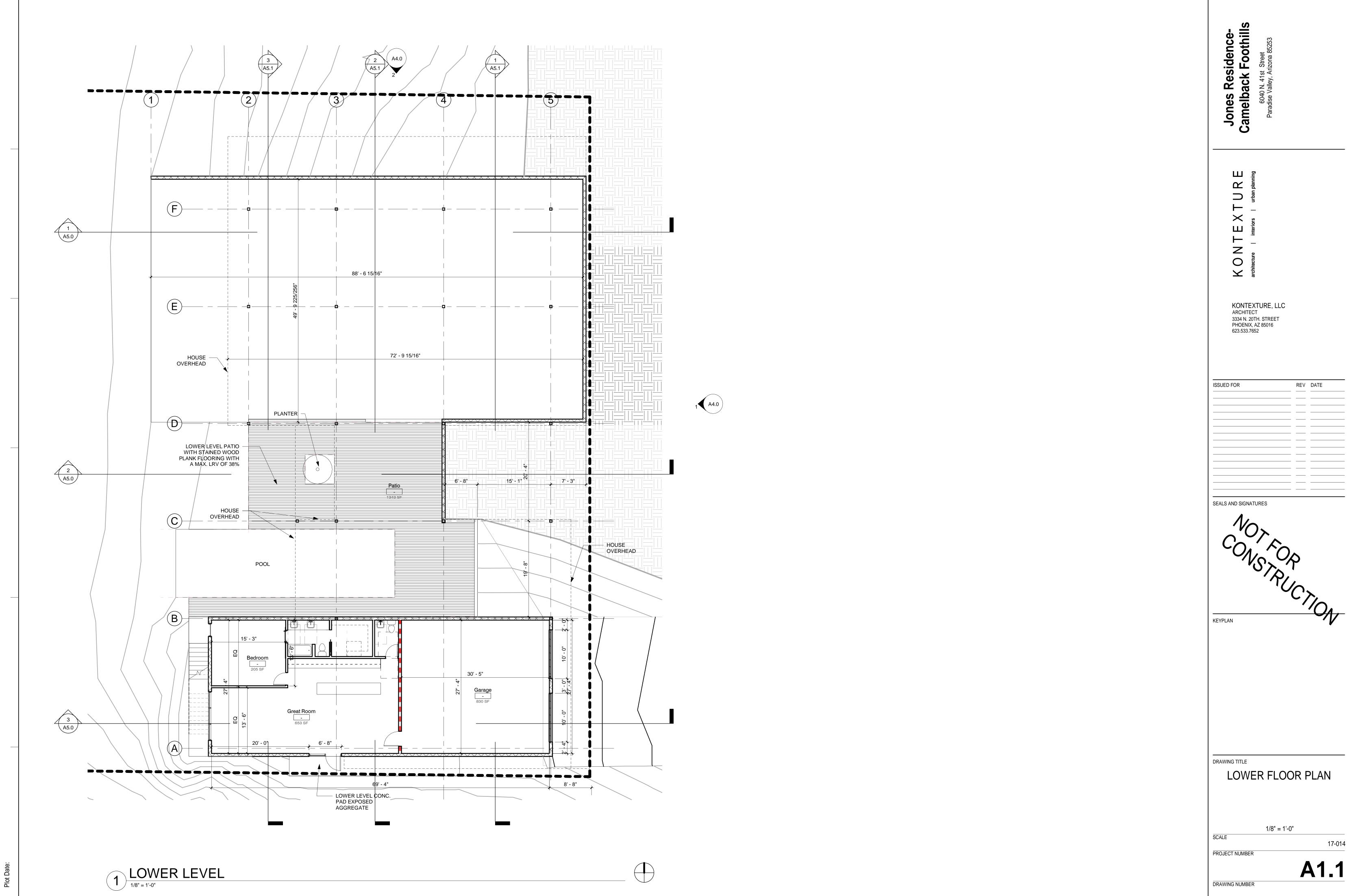
1" = 20'-0"

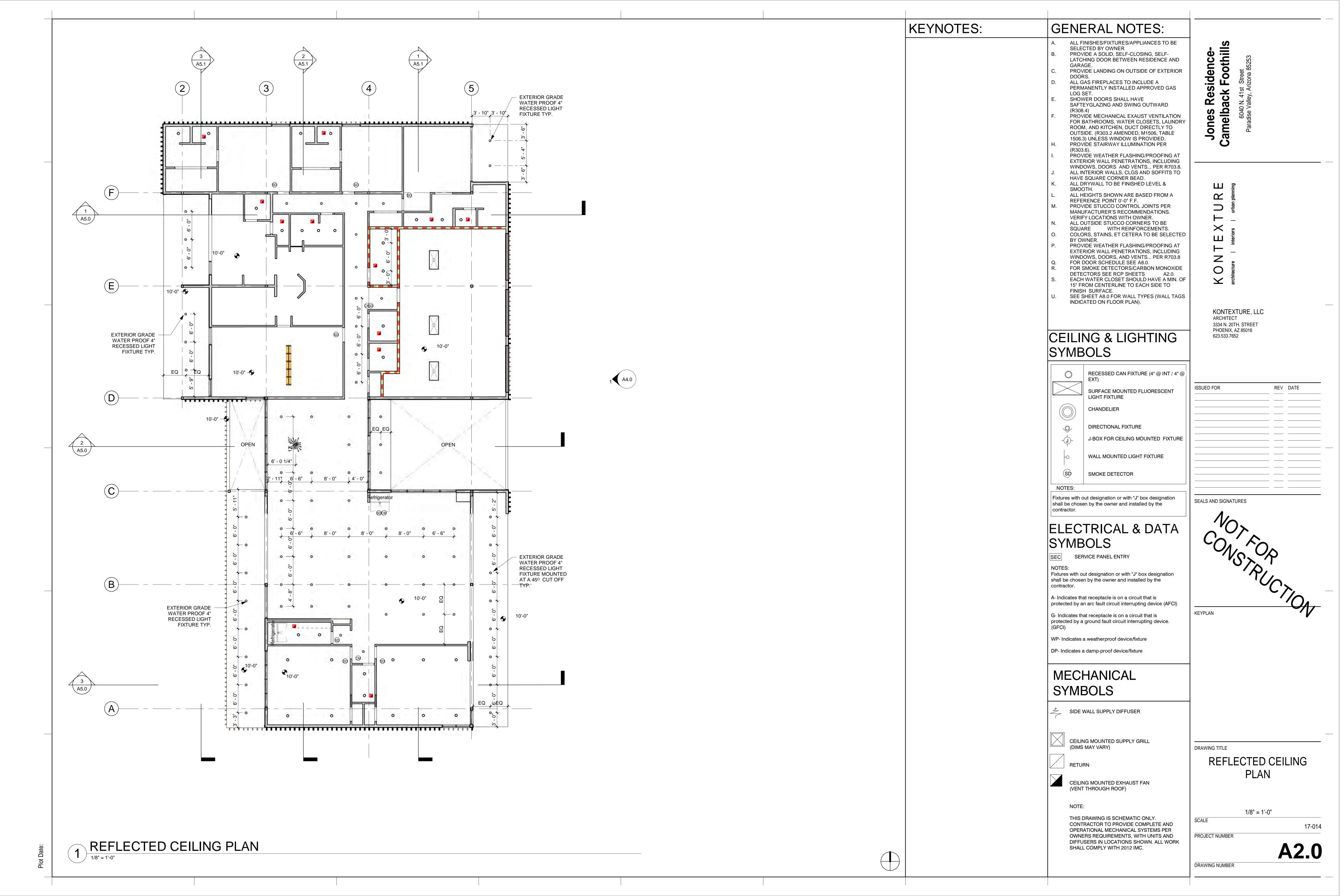
PROJECT NUMBER

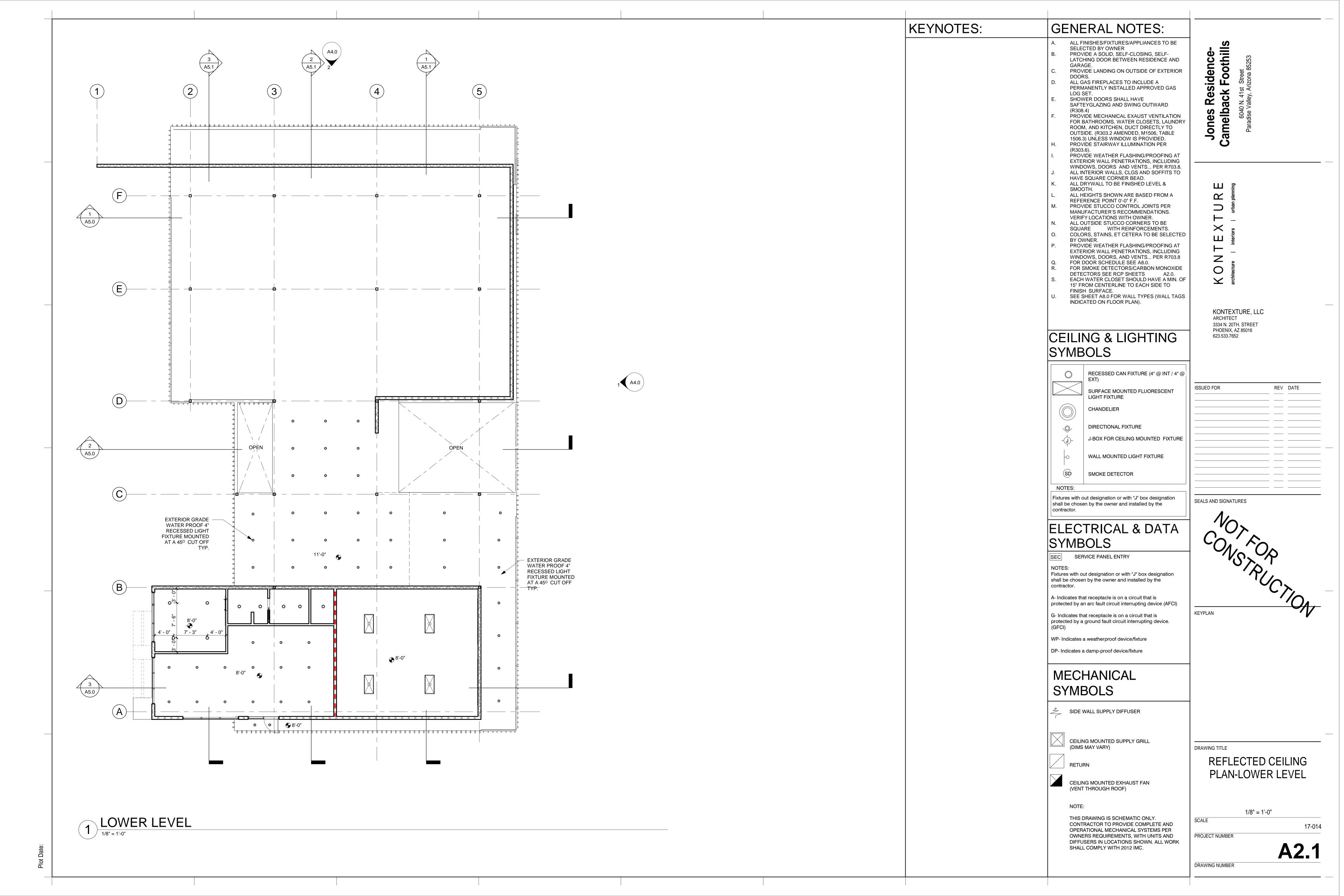
DRAWING NUMBER

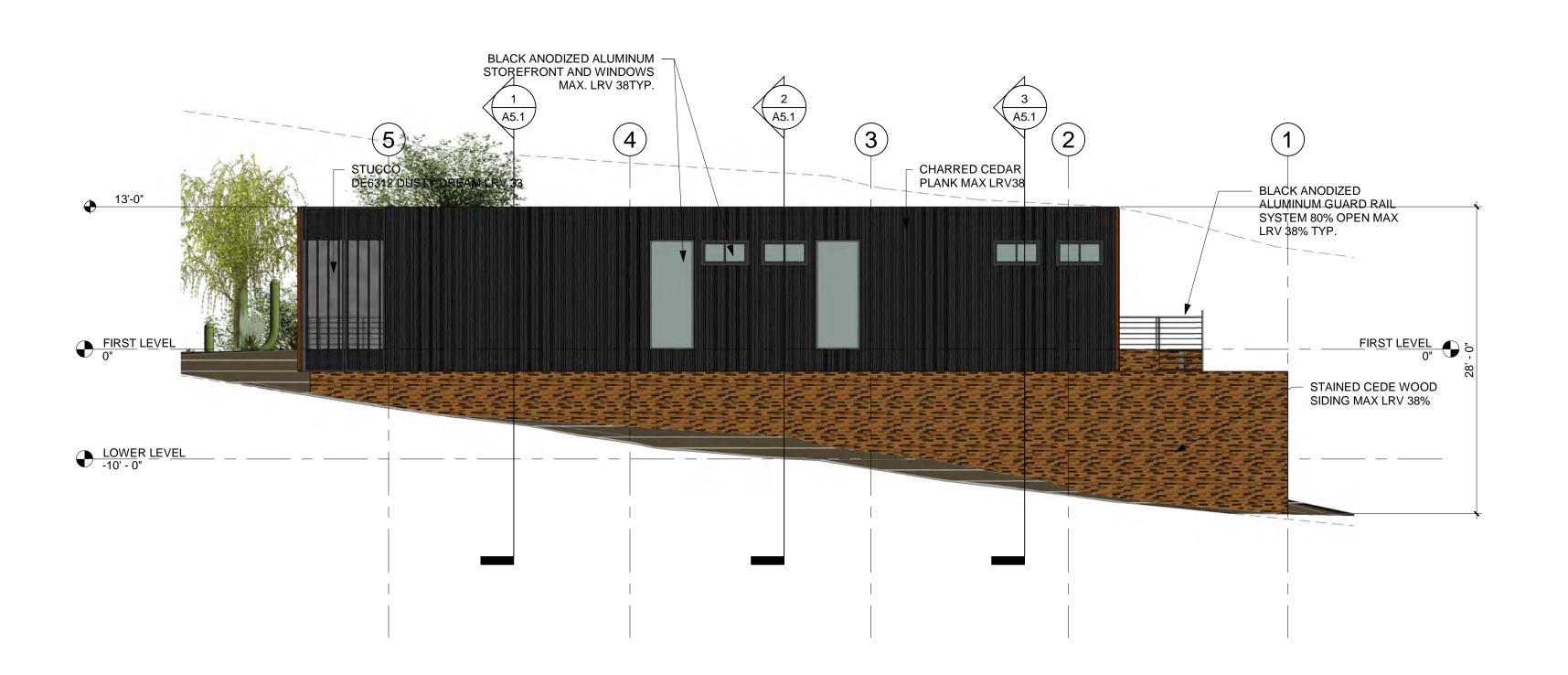
AU





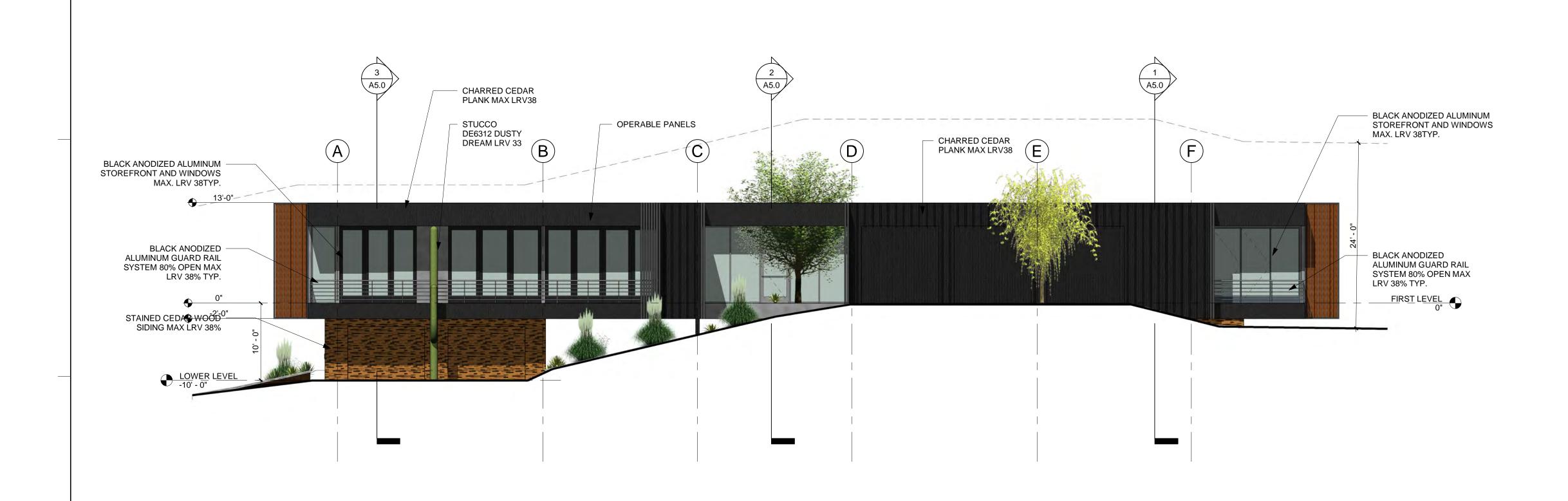






2 Elevation - North

1/8" = 1'-0"



GENERAL NOTES:

- ALL FINISHES/FIXTURES/APPLIANCES TO BE SELECTED BY OWNER
- PROVIDE A SOLID, SELF-CLOSING, SELF-LATCHING DOOR BETWEEN RESIDENCE AND
- PROVIDE LANDING ON OUTSIDE OF EXTERIOR
- ALL GAS FIREPLACES TO INCLUDE A PERMANENTLY INSTALLED APPROVED GAS
- LOG SET. E. SHOWER DOORS SHALL HAVE SAFTEYGLAZING AND SWING OUTWARD (R308.4) PROVIDE MECHANICAL EXAUST VENTILATION
- FOR BATHROOMS, WATER CLOSETS, LAUNDRY ROOM, AND KITCHEN, DUCT DIRECTLY TO OUTSIDE. (R303.2 AMENDED, M1506, TABLE 1506.3) UNLESS WINDOW IS PROVIDED. PROVIDE STAIRWAY ILLUMINATION PER
- (R303.6). PROVIDE WEATHER FLASHING/PROOFING AT EXTERIOR WALL PENETRATIONS, INCLUDING WINDOWS, DOORS AND VENTS... PER R703.8.
- ALL INTERIOR WALLS, CLGS AND SOFFITS TO HAVE SQUARE CORNER BEAD.
- ALL DRYWALL TO BE FINISHED LEVEL &
- ALL HEIGHTS SHOWN ARE BASED FROM A REFERENCE POINT 0'-0" F.F.
- PROVIDE STUCCO CONTROL JOINTS PER MANUFACTURER'S RECOMMENDATIONS. VERIFY LOCATIONS WITH OWNER.
- ALL OUTSIDE STUCCO CORNERS TO BE SQUARE WITH REINFORCEMENTS. COLORS, STAINS, ET CETERA TO BE SELECTED BY OWNER.
- PROVIDE WEATHER FLASHING/PROOFING AT EXTERIOR WALL PENETRATIONS, INCLUDING WINDOWS, DOORS, AND VENTS... PER R703.8
- FOR DOOR SCHEDULE SEE A8.0. FOR SMOKE DETECTORS SEE RCP SHEETS A2.0/A2.1.

EACH WATER CLOSET SHOULD HAVE A MIN. OF

- 15" FROM CENTERLINE TO EACH SIDE TO FINISH SURFACE.
- SEE SHEET A8.0 FOR WALL TYPES (WALL TAGS INDICATED ON FLOOR PLAN).

KEYNOTES:

Jones Residence-Camelback Foothills

 \times

Z 0

KONTEXTURE, LLC ARCHITECT 3334 N. 20TH. STREET PHOENIX, AZ 85016 623.533.7652

ISSUED FOR REV DATE SEALS AND SIGNATURES

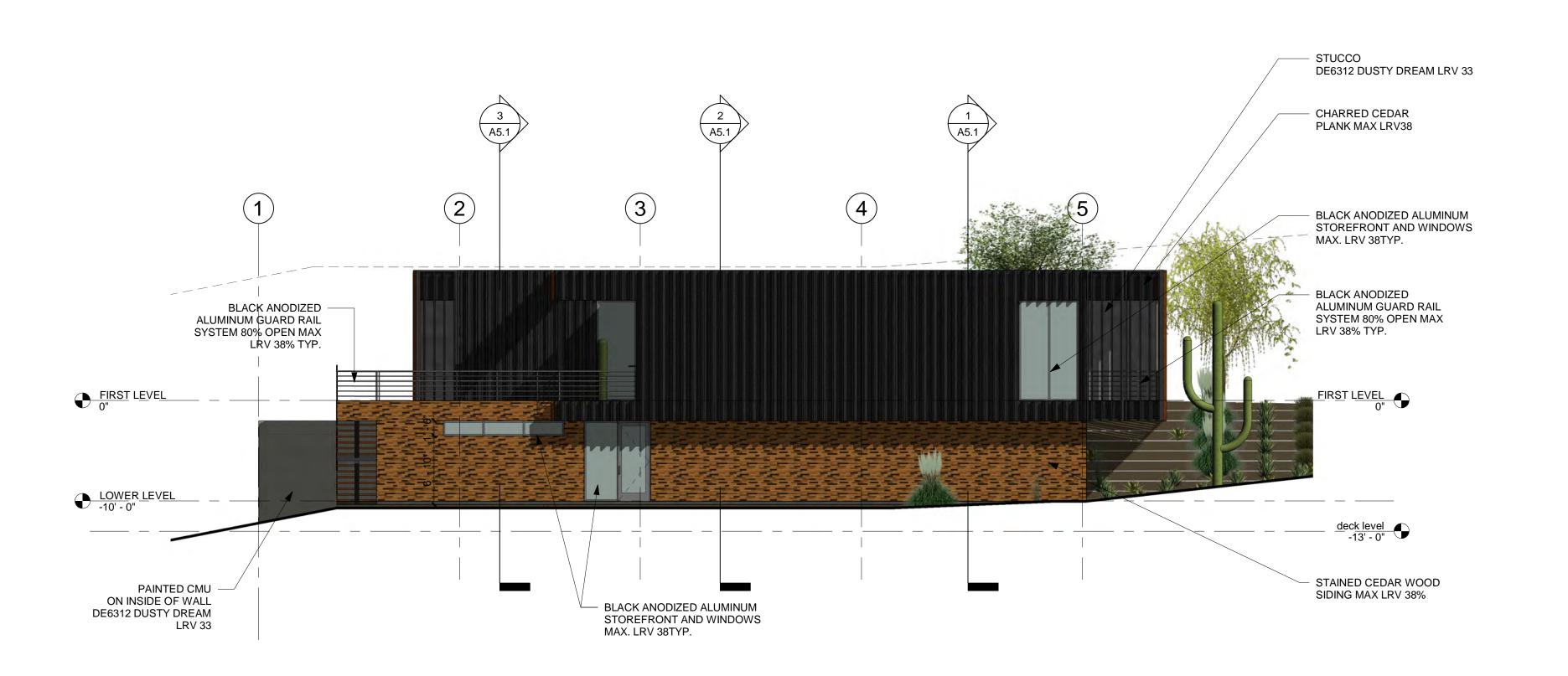
DRAWING TITLE

EXTERIOR ELEVATIONS

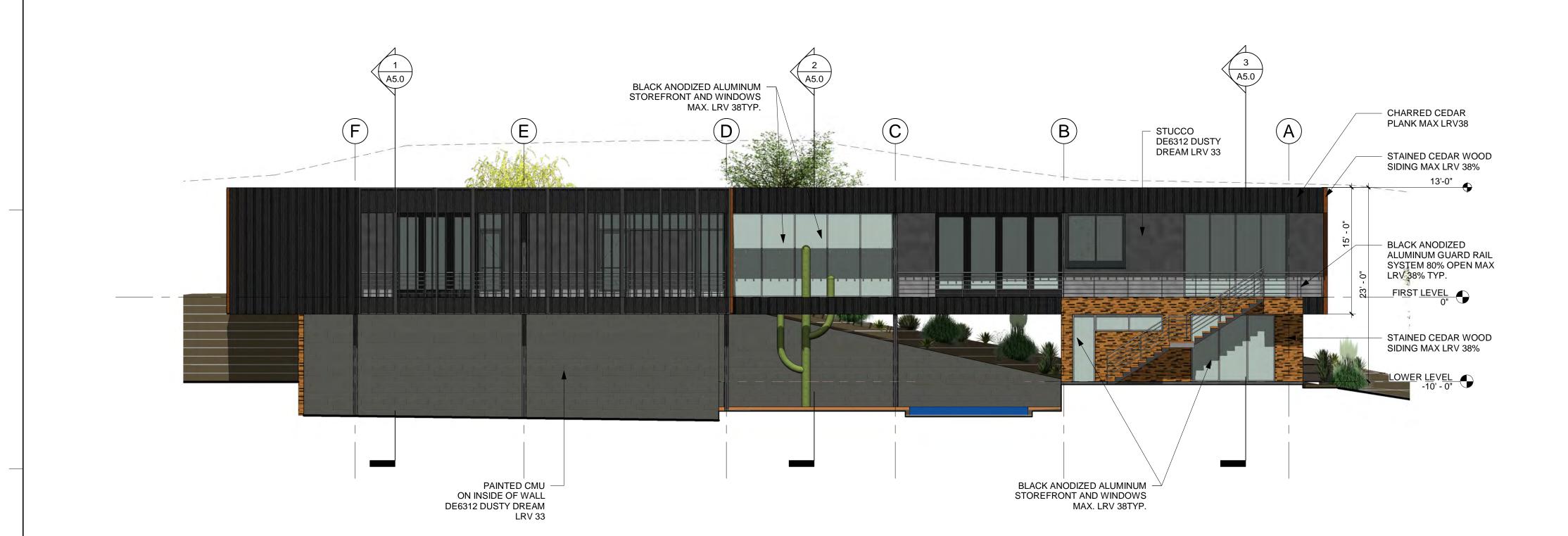
1/8" = 1'-0" SCALE 17-014 PROJECT NUMBER

DRAWING NUMBER

Elevation - East



1 Elevation - South



GENERAL NOTES:

- ALL FINISHES/FIXTURES/APPLIANCES TO BE SELECTED BY OWNER
- PROVIDE A SOLID, SELF-CLOSING, SELF-LATCHING DOOR BETWEEN RESIDENCE AND
- GARAGE. PROVIDE LANDING ON OUTSIDE OF EXTERIOR DOORS.
- ALL GAS FIREPLACES TO INCLUDE A PERMANENTLY INSTALLED APPROVED GAS
- SHOWER DOORS SHALL HAVE SAFTEYGLAZING AND SWING OUTWARD
- PROVIDE MECHANICAL EXAUST VENTILATION FOR BATHROOMS, WATER CLOSETS, LAUNDRY ROOM, AND KITCHEN, DUCT DIRECTLY TO OUTSIDE. (R303.2 AMENDED, M1506, TABLE 1506.3) UNLESS WINDOW IS PROVIDED.
- PROVIDE STAIRWAY ILLUMINATION PER PROVIDE WEATHER FLASHING/PROOFING AT
- EXTERIOR WALL PENETRATIONS, INCLUDING WINDOWS, DOORS AND VENTS... PER R703.8. ALL INTERIOR WALLS, CLGS AND SOFFITS TO HAVE SQUARE CORNER BEAD.
- ALL DRYWALL TO BE FINISHED LEVEL & SMOOTH.
- ALL HEIGHTS SHOWN ARE BASED FROM A REFERENCE POINT 0'-0" F.F.
- PROVIDE STUCCO CONTROL JOINTS PER MANUFACTURER'S RECOMMENDATIONS. VERIFY LOCATIONS WITH OWNER. ALL OUTSIDE STUCCO CORNERS TO BE
- SQUARE WITH REINFORCEMENTS. COLORS, STAINS, ET CETERA TO BE SELECTED
- BY OWNER. PROVIDE WEATHER FLASHING/PROOFING AT EXTERIOR WALL PENETRATIONS, INCLUDING WINDOWS, DOORS, AND VENTS... PER R703.8
- FOR DOOR SCHEDULE SEE A8.0. FOR SMOKE DETECTORS SEE RCP SHEETS

EACH WATER CLOSET SHOULD HAVE A MIN. OF

15" FROM CENTERLINE TO EACH SIDE TO FINISH SURFACE. SEE SHEET A8.0 FOR WALL TYPES (WALL TAGS INDICATED ON FLOOR PLAN).

KEYNOTES:

Jones Residence-Camelback Foothills

 \times

Z 0

623.533.7652

KONTEXTURE, LLC ARCHITECT 3334 N. 20TH. STREET PHOENIX, AZ 85016

ISSUED FOR REV DATE SEALS AND SIGNATURES

DRAWING TITLE

SCALE

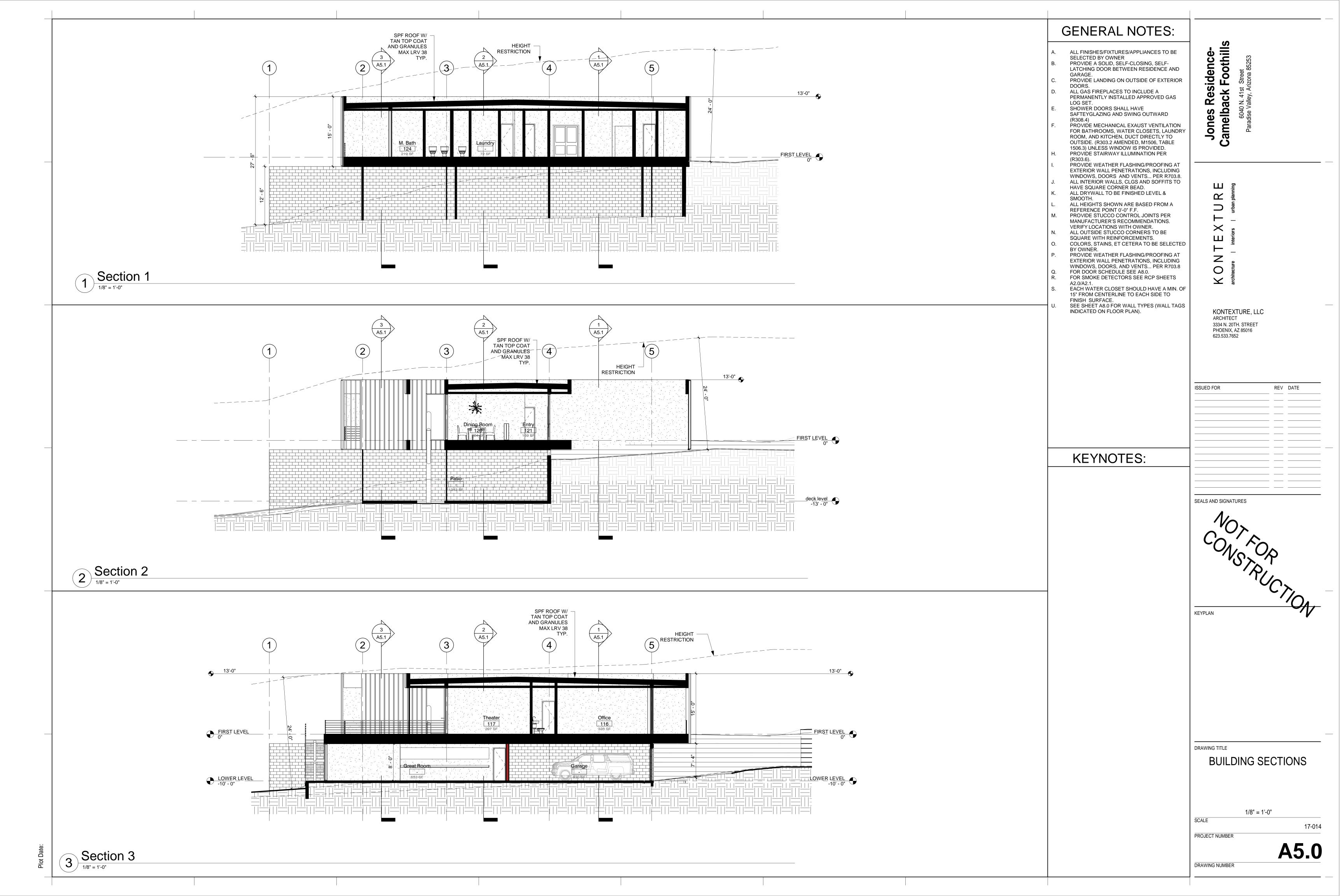
EXTERIOR ELEVATIONS

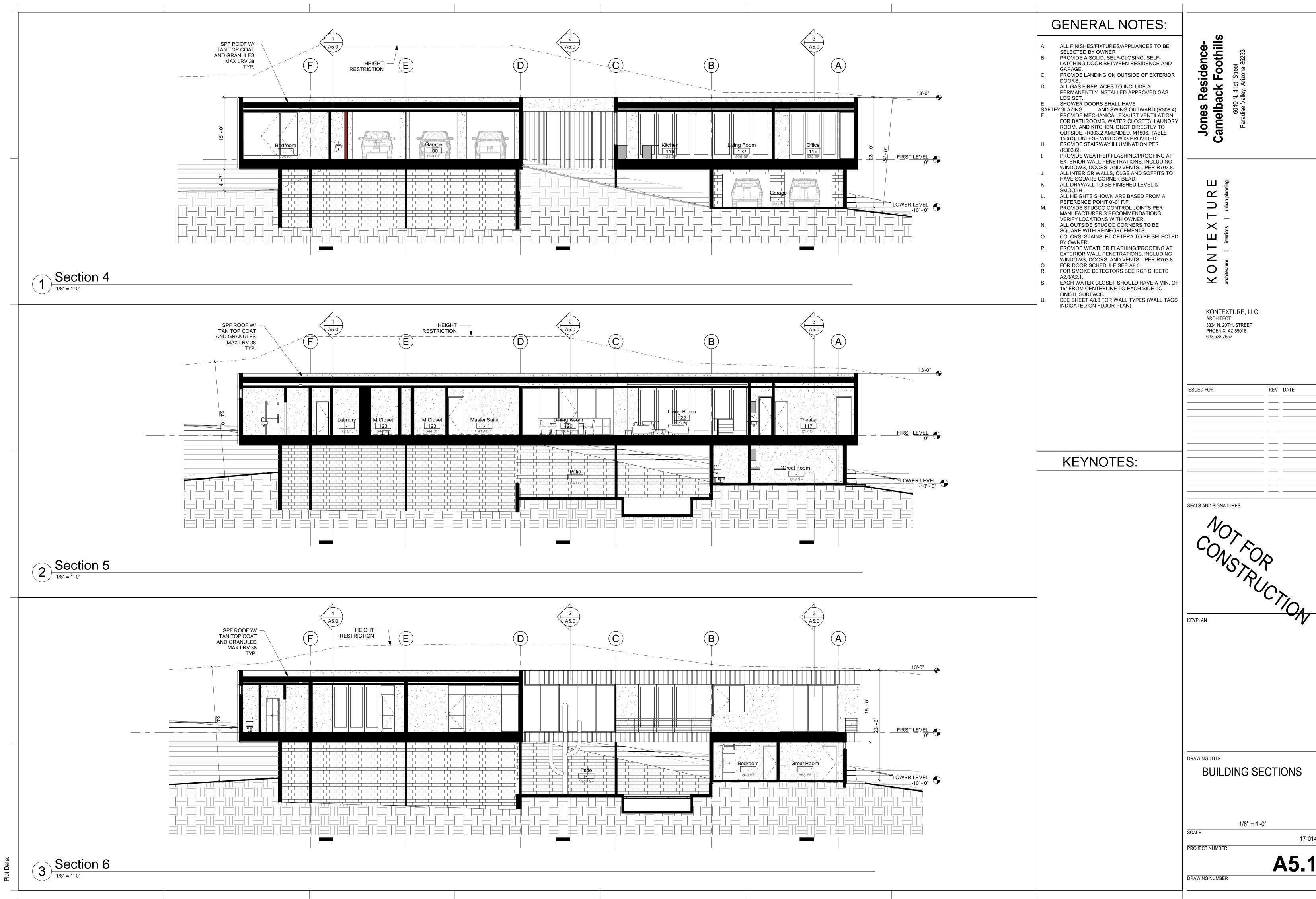
1/8" = 1'-0" PROJECT NUMBER

17-014

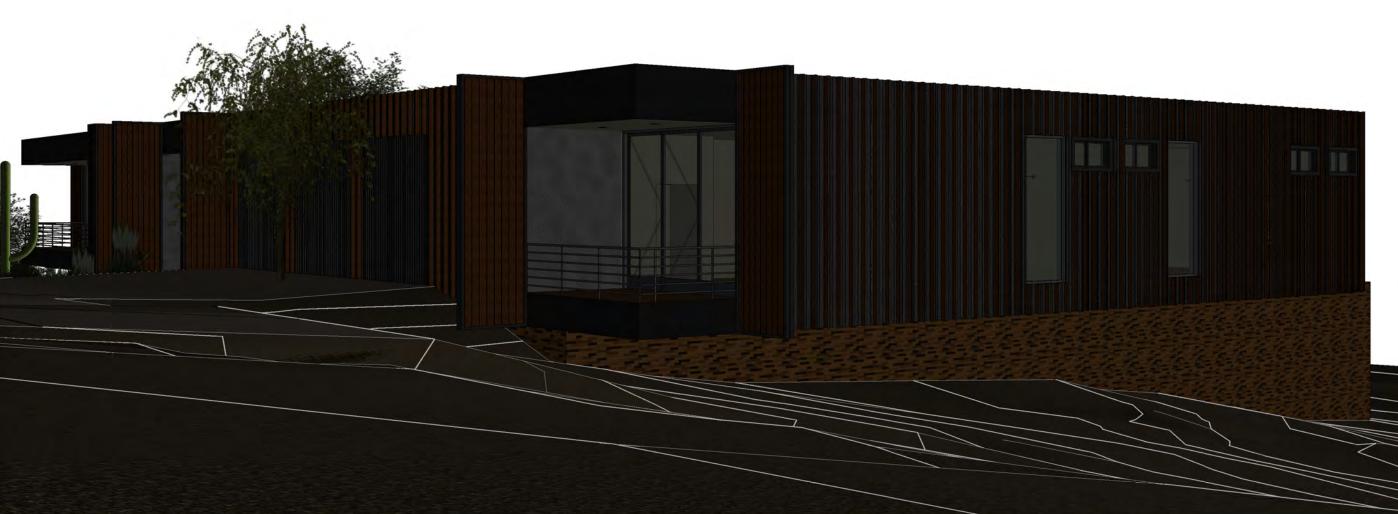
DRAWING NUMBER

Elevation - West









Jones Residence-Camelback Foothills

6040 N. 41st Street
Paradise Valley, Arizona 85253

KONTEXTURE architecture | interiors | urban planning

KONTEXTURE, LLC ARCHITECT 3334 N. 20TH. STREET PHOENIX, AZ 85016 623.533.7652

REV DATE

SEALS AND SIGNATURES

DRAWING TITLE

3D Views

DRAWING NUMBER

PROJECT NUMBER A10.0

1 NORTH EAST VIEW



3 SOUTH EAST VIEW

SOUTH WEST VIEW

NORTH WEST VIEW





KONTEXTURE, LLC ARCHITECT 3334 N. 20TH. STREET PHOENIX, AZ 85016 623.533.7652

SEALS AND SIGNATURES

DRAWING TITLE

3D Views

PROJECT NUMBER

A10.1 DRAWING NUMBER

1 NORTH EAST AERIAL



3OUTH WEST AERAIL

3 SOUTH EAST AERIAL