

# Charles Drive Residence

4606 E. Charles Dr., Paradise Valley, AZ 85253



Fit Designs, PLLC  
15459 S. 44th Way  
Phoenix, Arizona 85044  
480.205.4515  
fitdesigns@live.com

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CONSTRUCTION**

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Paradise Valley, AZ 85253

4606 E. Charles Dr.  
Paradise Valley, AZ 85018

## General Construction Notes

1. All work shall comply with all applicable codes and ordinances.
2. The Contractor shall verify all dimensions and conditions in the field. If a dimensional error occurs or a condition not covered in the drawings is encountered, the Contractor shall notify Designer before commencing that portion of the work.
3. The Contractor shall notify Designer if discrepancies are noted in these Contract Documents, in sufficient time as to not cause delay.
4. Dimensions take precedence over scale on the Construction Documents.
5. Details, notes, and finishes shall be applicable to all typical conditions whether or not referenced at all places on these plans. The Contractor is responsible for any standard or special detailing not specified herein.
6. The Contractor shall verify all existing grades and shall review all grading conditions prior to commencement of work.
7. The Contractor shall take all necessary precautionary measures to protect the public and adjacent properties from damage during construction.
8. The Contractor shall verify all equipment loads and notify Designer of any changes in size, weight, and location, or additional load to those indicated on the drawings.
9. The Contractor shall supervise and direct the work, using the best skill and attention. He shall be solely responsible for all methods, techniques, sequences, and procedures, and for coordinating all portions of the work under the contract.
10. All manufactured articles, material, and equipment shall be applied, installed, connected, erected, used, cleaned, and conditioned in accordance with the manufacturer's written specifications or instructions unless hereinafter specified to the contrary.
11. The Contractor shall verify and protect the location of existing utilities.
12. The starting of work by any Contractor or Subcontractor shall be considered prima facie evidence that he has inspected and accepted all conditions involved in his work and finds them satisfactory.
13. The Contractor shall be responsible for safety in the area of work in accordance with all applicable safety codes.
14. Each Contractor is responsible for any damage to adjacent work and is responsible for the repair and said damage at his own expense.
15. Finish grade shall slope 5% for a distance of 10'-0" to an approved water disposal area or to the drainage requirements per the governing body.
16. Flat-roofed areas shall have a minimum slope of 1/4" per liner foot. Slope shall be integral to truss design when truss framing is used or slope with rippers at conventional framing.
17. Slope and waterproof all sills and parapets. At C.M.U. use waterproof coating prior to installing finish. Do not penetrate top surface; attach at side.

18. Minimum 22" x 30" attic access is required to all attic areas with 30 sq ft in area and 30" or more vertical clear height. See plan for location. Provide 30" clear headroom above the attic access.
19. Gypsum board used on exterior soffits must be approved exterior type.
20. Every sleeping room and basements with habitable space shall have at least one window with min. 5.7 sq. ft. net clear opening (5.0 sq. ft. at grade floor), minimum opening width of 20" minimum opening height of 24" and a sill height not more than 44"; or provide exterior door for emergency egress. Provide continuous egress from bedroom window to public way.
21. All exterior windows in habitable spaces to be double-paned.
22. All glass (with least dimension greater than 3" and bottom edge less than 60" above floor) in door and adjoining window less than 24" from locking device to be tempered.
23. All glass in hazardous locations and all glass within 18" of floor (except single panes with 9 sq ft or less area) shall be safety glass (R308.4).
24. Glazing located in railings regardless of area or height, adjacent to stairways, landings, or ramps within 36" of walking surface or less than 60" in height, and glazing adjacent to stairways within 60" of the bottom tread and less than 60" above nose of tread to be tempered.
25. All glass in French or sliding doors shall be tempered.
26. Shower enclosure shall be tempered glass. Glazing in any part of wall enclosing tub/shower/sauna where bottom edge is less than 60" above floor to be tempered.
27. Shower walls shall be finished with moisture-resistant sheetrock and ceramic tile to a minimum height of 70" above drain.
28. Water closets shall be a minimum of 15" from any vertical side surface to centerline of water closet and a minimum of 21" clear in front of water closet. Space other fixtures in accordance with Figure R307.2.
29. General Contractor shall coordinate backing for all accessories (towel bar, toilet paper holders, clothes pegs, etc.) in bathrooms, kitchen and other areas as required.
30. Furnish all finish hardware necessary for smooth operation of doors. Include all: flush required doorstops, thresholds, and weather-stripping bolts. In order to determine appropriate hardware function for each door consult a hardware consultant.
31. Joints, penetrations, and all other such openings in the building envelope that are sources of air leakage shall be sealed. Seal all voids around penetrations through floor slabs. Recessed lights are to be Type IC, or, if non-IC, installed inside an air-tight assembly.
32. No gas piping shall be installed in or on the ground under any building or structure. Provide combustion air for gas appliances.
33. Hose bibbs are to be equipped with integral backflow preventers.

## Abbreviations

ADD.	ADDENDUM	M.O.	MASONRY OPENING
A/C	AGGREGATE BASE COURSE	MAT'L	MATERIAL
A/C	AIR CONDITIONING	MAX.	MAXIMUM
A.F.F.	ABOVE FINISHED FLOOR	M.C.J.	MASONRY CONTROL JOINT
A.B.	ANCHOR BOLT	MECH.	MECHANICAL
AL.	ALUMINUM	MTL.	METAL
		MIN.	MINIMUM
BSMT.	BASEMENT		
BLKG.	BLOCKING	N.I.C.	NOT IN CONTRACT
BD.	BOARD	N.T.S.	NOT TO SCALE
B.O.	BOTTOM OF		
BLDG.	BUILDING	O.C.	ON CENTER
CAB.	CABINET	PTD.	PAINTED
C.I.P.	CAST IN PLACE	PR.	PAIR
C.H.	CEILING HEIGHT	PL.	PLATE
CL	CENTERLINE	PLBG.	PLUMBING
CLR.	CLEAR		
CLO.	CLOSET	R.	RADIUS
COL.	COLUMN	REQ'D	REQUIRED
CONC.	CONCRETE	REV.	REVISION
C.J.	CONTROL JOINT	RD.	ROUND
CONT.	CONTINUOUS		
C.M.U.	CONCRETE MASONRY UNIT	SEC.	SECTION
		SIM.	SIMILAR
DIA./Ø	DIAMETER		
DIM.	DIMENSION	T.O.C.	TOP OF CHIMNEY
DISP.	DISPENSER	T.O.S.	TOP OF SLAB
DN	DOWN	T.O.S.F.	TOP OF SUBFLOOR
D.F.	DRINKING FOUNTAIN	T.O.P.	TOP OF PARAPET
		TYP.	TYPICAL
EA.	EACH	T.O.W.P.	TOP OF WALL PLATE
E.D.F.	ELECTRIC DRINKING FOUNTAIN		
ELEV.	ELEVATION	U.N.O.	UNLESS NOTED OTHERWISE
EXP.	EXPANSION	UR.	URINAL
E.J.	EXPANSION JOINT		
EXT.	EXISTING	V.C.T.	VINYL COMPOSITION TILE
EXT.	EXTERIOR		
		W.C.	WATER CLOSET
INSUL.	INSULATION / INSULATED	W/	WITH
		W/O	WITHOUT
LAM.	LAMINATE	WD.	WOOD
LAV.	LAVATORY		

## Project Directory

OWNER: Bernie Fritz / ABF Investments, LLC  
16202 S. 31st Way, Phoenix, AZ 85048  
berniefritz@q.com  
602-430-6930

CONTRACTOR: TBD

**ARCHITECT:** Jennifer Lamoreaux / Fit Designs, PLLC  
15459 S. 44th Way, Phoenix, AZ 85044  
fitdesigns@live.com  
480-205-4515

CIVIL: Geoff Markowski / G-Mar, LLC  
18223 W. Orchid Ln., Waddell, AZ 85355  
geoff@g-mareng.com  
602-524-7877

**STRUCTURAL:** Daryl Young / Ambassador Engineering, LLC  
619 E. Orchid Lane, Gilbert, AZ 85296  
dyoung@ambassadorsengineering.com  
602-690-3994

**ELECTRICAL:** William Bethurum / VoltaUS  
3666 N. Miller Rd., Suite 100, Scottsdale, AZ 85251  
wb@voltaus.com  
480-695-0511

## Project Data

PROPERTY ADDRESS: 4606 E. Charles Dr., Paradise Valley, AZ 85253

PARCEL NUMBER: 168-69-022

ZONING: R-43

CONSTRUCTION TYPE: V-B

BUILDING SIZE:

Living -	5054 sf	(2000 sf min.)
Garage / Mech -	2111 sf	
Covered Patios / Overhangs -	1285 sf	
Trellis Patio -	174 sf	(521 sf X 1/3 for lumber)
Total Footprint -	8624 sf	

LOT SIZE: 41,453 sf

FLOOR AREA RATIO: 8,586/41,453 = 20.7% (25% max.)

BUILDING SETBACKS:

Front - 40'-0"

Side - 20'-0" / 40'-0" (with Frontage)

Rear - 40'-0"

## Project Narrative

The existing home, built in 1960, is to be demolished. A new 5000 SF +/- home will be constructed within the existing disturbed area, preserving the existing vegetation on the east side of the property. The new residence will have a contemporary style, with patios on front and rear to take advantage of the views. The garage portion of the house will be several steps lower than the main livable area to respond to the site slope of the site. Colors are to be subtle desert tones, with LRV  $\geq 38\%$ .

## Governing Building Codes

All work shall comply with the following codes & Town amendments:

2015 International Building Code  
2015 International Residential Code  
2015 National Electrical Code  
2015 International Mechanical Code  
2015 International Plumbing Code  
2015 International Fuel Gas Code

## Special Notes

1. Contractor to stake footprint of entire new construction or addition and verify layout relating to setbacks, location, etc. w/ Owner, Architect, and local authority prior to commencing work.
2. Setback certification is required at footing inspection when proposed wall is within 3'-0" of building setback.

## Project Symbols

The diagram illustrates various architectural symbols and their components, organized into four rows:

- Keynote Symbol:** A circle containing the number "1" with an arrow pointing to the right.
- Section Marker:** A solid black triangle above a horizontal line. Below the line is the text "1/A1". A line points from the text "Section # / Sheet #" to the "A1" part of the text.
- Detail Marker:** A circle divided horizontally. The top half contains the number "1" and the bottom half contains "A1". A line points from the text "Detail #" to the top half, and another line points from the text "Sheet #" to the bottom half.
- Room Tag:** A rectangular box divided into two horizontal sections. The top section contains the word "KITCHEN" and the bottom section contains "10'-0\" C.H.". A line points from the text "Room name" to the top section, and another line points from the text "Ceiling height, above finished plane" to the bottom section.

DATE: 1/28/19

SCALE: As Noted

DRAWN: JPL

JOB: 18-99

SHEET:

A0

## Project Info



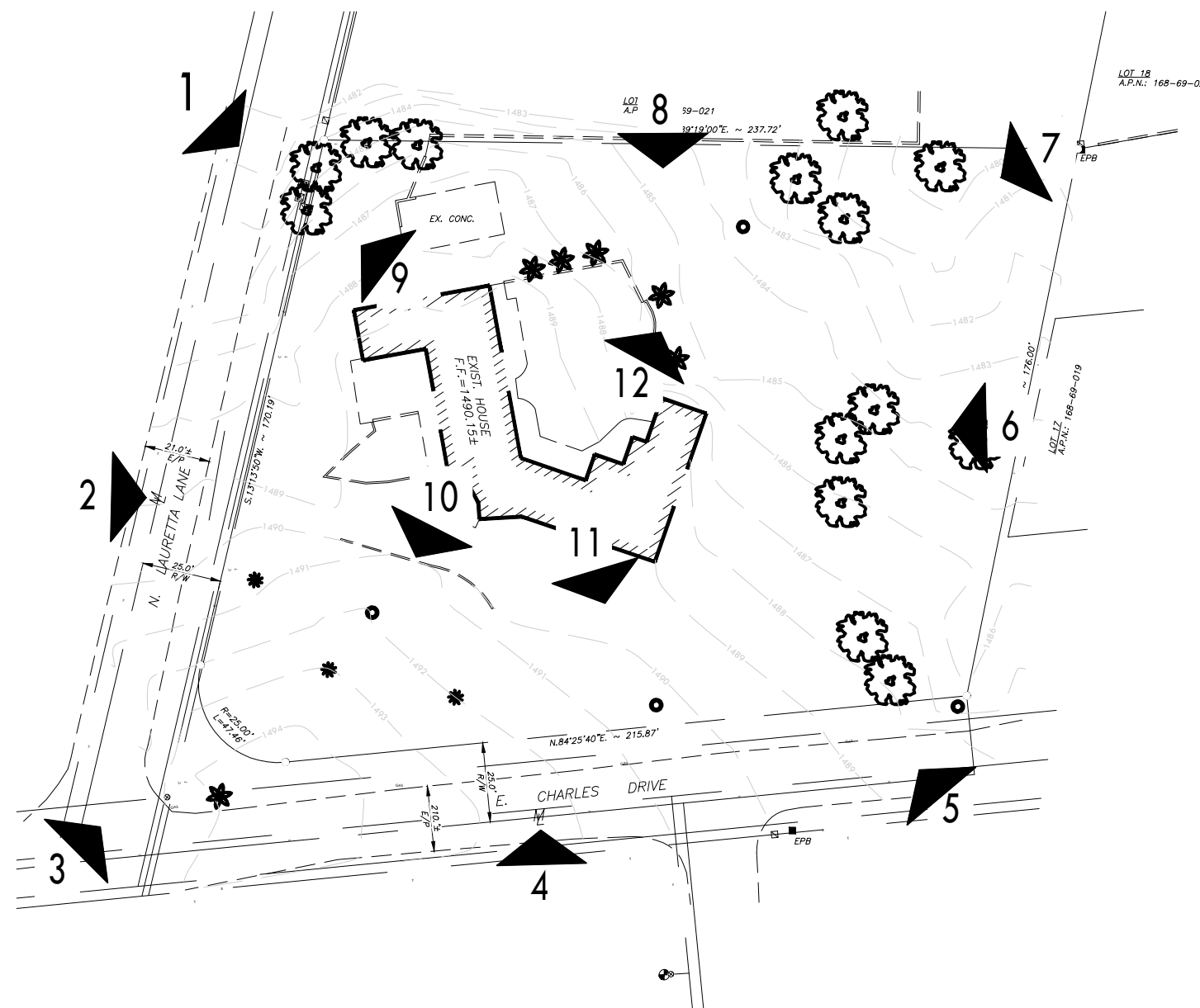
.9



.5



.1



.10



.6



.2



.11



.7



.3



.12



.8



.4



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Paradise Valley, AZ 85253



DATE: 1/7/19  
SCALE: As Noted  
DRAWN: JPL  
JOB: 18-99  
SHEET:

# A1

Site Photos



Rear Yard / Pool Area - Facing Northwest .4  
N.T.S.



Front View - Facing North .1  
N.T.S.



Side View - Facing Southeast .5  
N.T.S.



Front Yard From Above - Facing Northeast .2  
N.T.S.



Side View - Facing West .6  
N.T.S.



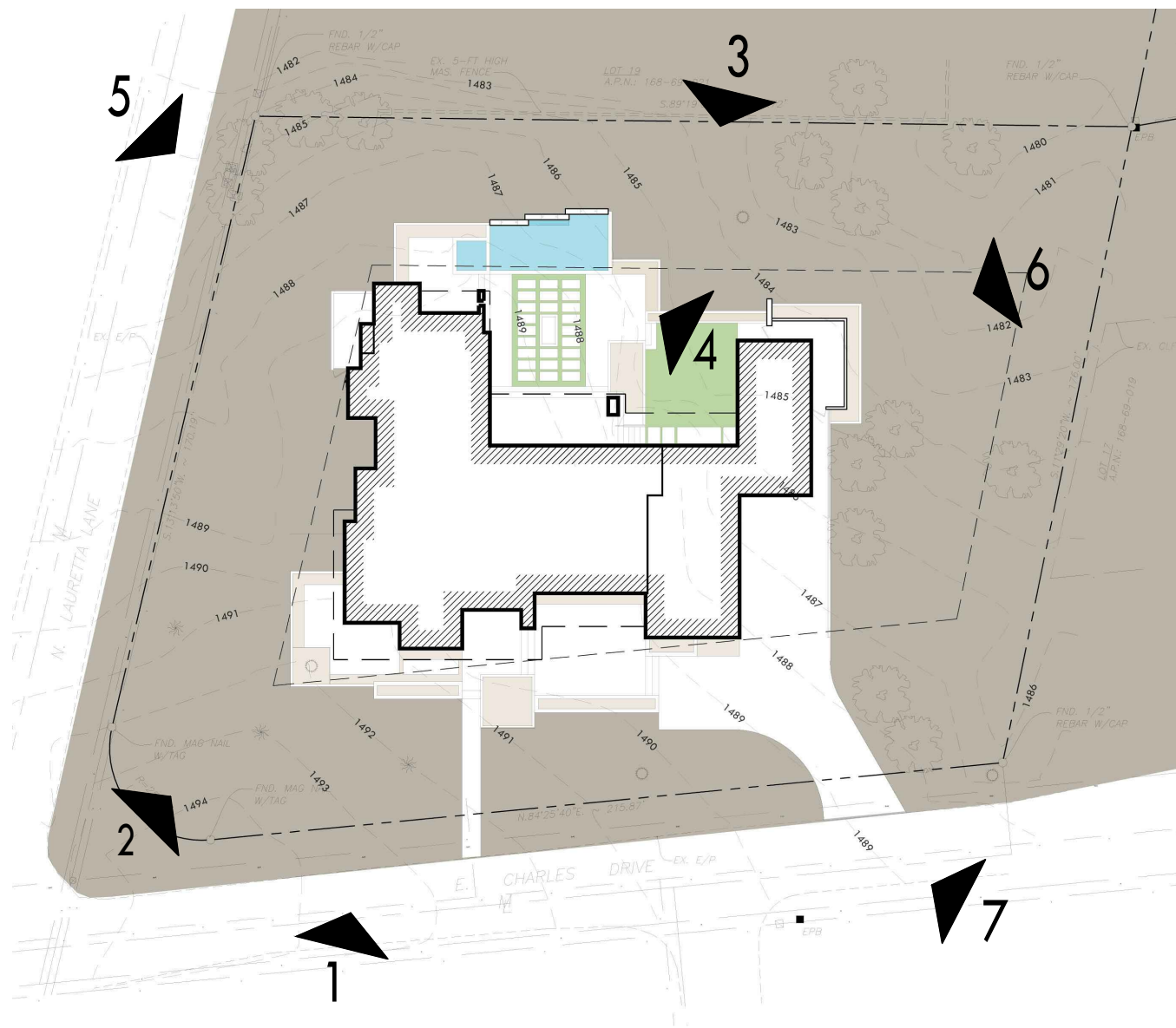
Driveway - Facing Northwest .7  
N.T.S.



Rear Yard From Above - Facing Southwest .3  
N.T.S.

### Exterior Notes

- A. Structure will not exceed 24'-0" max height above natural grade.
- B. Exterior finishes are stucco and block, with an LRV of <38%.
- C. Pool barrier is achieved with retaining walls and a gate at the mechanical screen wall.
- D. Existing vegetation will remain wherever possible. New plants are to be desert type with low water consumption. Lawn areas shown are artificial.



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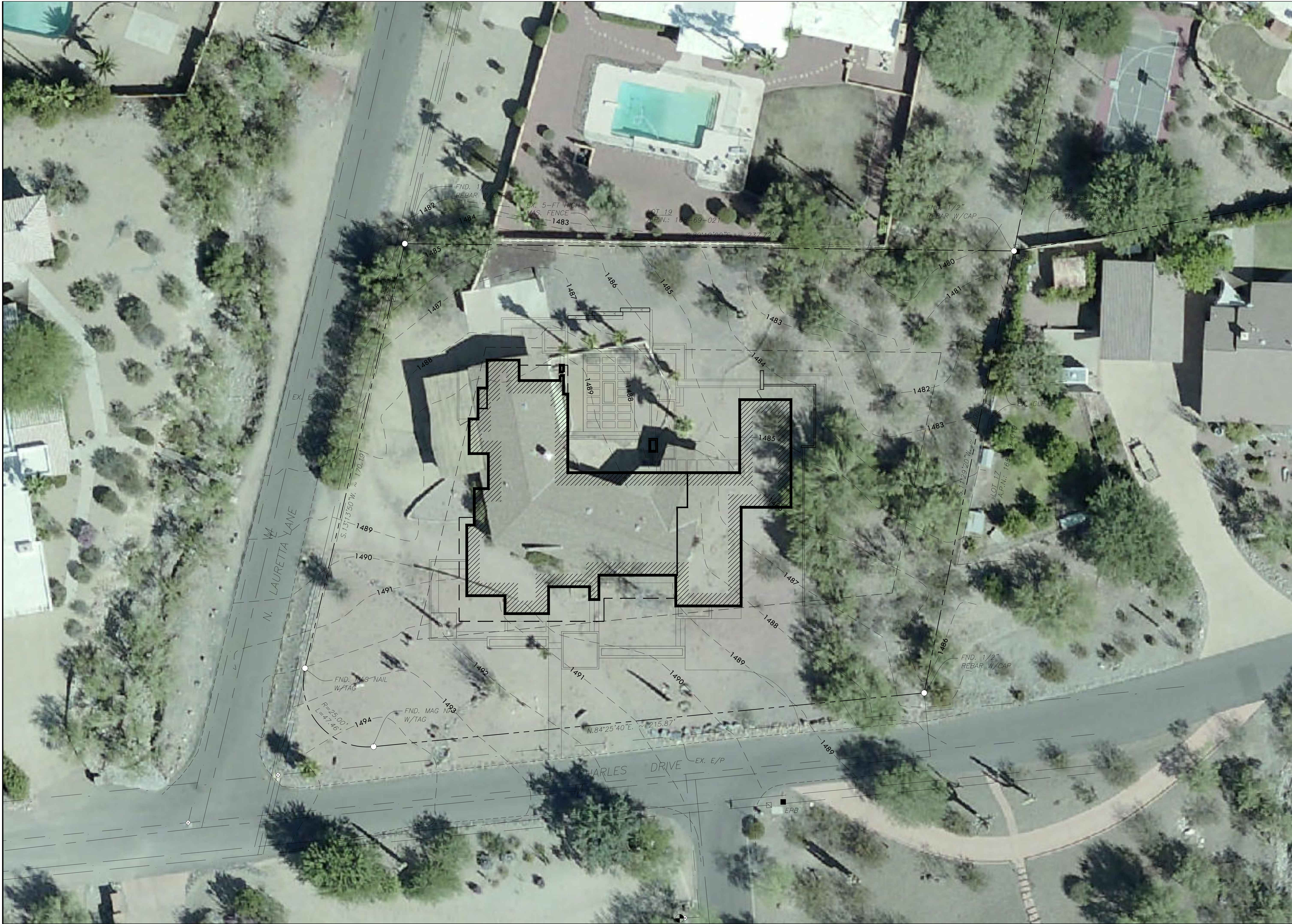
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DATE: 1/7/19  
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SHEET:

**A2**  
3D Renderings



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Paradise Valley, AZ 85253

DATE:	1/7/19
SCALE:	1/16" = 1'-0"
DRAWN:	JPL
JOB:	18-99
SHEET:	

A3  
Aerial Photo

C:\Users\Owner\Desktop\Gmatrix Projects\2018\18-08-015-00-4606 E Charles Dr\Civil\18-08-015-00-01.dwg Plotted 1/28/19 by Owner

PARADISE VALLEY GRADING AND DRAINAGE NOTES:

1. PRIOR TO THE FIRST INSPECTION OF STRUCTURES WITHIN 3 FEET OF A SETBACK LINE, THE PROPERTY PINS SHALL BE PLACED BY A REGISTERED CIVIL ENGINEER OR LAND SURVEYOR OF THE STATE OF ARIZONA, AND THE PROPERTY LINE(S) IDENTIFIED.
2. WHERE EXCAVATION IS TO OCCUR THE TOP 4" OF EXCAVATED NATIVE SOIL SHALL REMAIN ON THE SITE AND SHALL BE REUSED IN A MANNER THAT TAKES ADVANTAGE OF THE NATURAL SOIL SEED BANK IT CONTAINS.
3. ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL MUNICIPALITY UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS.
4. THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL STATE, AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO THE CONSTRUCTION COVERED BY THIS PLAN.
5. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
6. ALL EXTERIOR SITE LIGHTING SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS FOR TYPE, LOCATION, HEIGHT, WATTAGE, AND LUMEN BASED UPON THE FIXTURES INSTALLED PURSUANT TO SECTION 1023 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCE FOR NON-HILLSIDE PROPERTIES, SECTION 2208 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCE FOR HILLSIDE PROPERTIES, OR AS SPECIFIED IN THE SPECIAL USE PERMIT FOR SPECIAL USE PERMIT PROPERTIES.
7. A DUST CONTROL PLAN AND PERMIT MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
8. A SEPARATE RIGHT-OF-WAY PERMIT IS NECESSARY FOR ANY OFF-SITE CONSTRUCTION.
9. AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
10. EAVE PROJECTIONS INTO REQUIRED SETBACKS ARE LIMITED TO A MAXIMUM OF 24" PURSUANT TO SECTION 1008 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES.
11. ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
12. ALL NEW AND EXISTING ELECTRICAL SERVICE LINES SHALL BE BURIED PER THE TOWN OF PARADISE VALLEY REQUIREMENTS.
13. IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE TO ARRANGE FOR THE RELOCATION AND RELOCATION COSTS OF ALL UTILITIES, AND TO SUBMIT A UTILITY RELOCATION SCHEDULE PRIOR TO THE ISSUANCE OF AN ENGINEERING CONSTRUCTION PERMIT.
14. EXISTING AND/OR NEW UTILITY CABINETS AND PEDESTALS SHALL BE LOCATED A MINIMUM OF 4' BEHIND ULTIMATE BACK OF CURB LOCATION.
15. BARBEQUE, SPA, POOL, AND ANY OTHER STRUCTURES OVER 8" ABOVE GRADE REQUIRE SEPARATE PERMIT APPLICATIONS.
16. POOLS SHALL BE CONSTRUCTED BY SEPARATE PERMIT AND SECURED FROM UNWANTED ACCESS PER TOWN CODE, ARTICLE 5-2.
17. ALL FILL MATERIAL UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95%.
18. SETBACK CERTIFICATION IS REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO STEM WALL INSPECTION.
19. FOR BUILDING PADS THAT HAVE 1' OR MORE OF FILL MATERIAL, SOILS COMPACTION TEST RESULTS ARE REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO PRE-SLAB INSPECTION.
20. FINISHED FLOOR ELEVATION CERTIFICATION IS REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO FRAMING INSPECTION.
21. MAIL BOXES SHALL COMPLY WITH THE TOWN OF PARADISE VALLEY STANDARDS FOR MAIL BOXES IN THE RIGHTOF-WAY FOR HEIGHT, WIDTH AND BREAK AWAY FEATURES.
22. ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4' PER FOOT UNLESS SPECIFIED OTHERWISE.
23. TRENCH BEDDING AND SHADING SHALL BE FREE OF ROCKS AND DEBRIS.
24. THE TOWN ONLY APPROVES THE SCOPE OF WORK AND NOT THE ENGINEERING DESIGN. ANY CONSTRUCTION QUANTITIES SHOWN ARE NOT VERIFIED BY THE TOWN.
25. THE APPROVAL OF THE PLANS IS VALID FOR 180 DAYS. IF A PERMIT FOR CONSTRUCTION HAS NOT BEEN ISSUED WITHIN 180 DAYS, THE PERMIT MUST BE RENEWED.
26. A TOWN INSPECTOR WILL INSPECT ALL WORK WITHIN THE TOWN'S RIGHTS-OF-WAY, NOTIFY TOWN INSPECTION SERVICES TO SCHEDULE A PRECONSTRUCTION MEETING PRIOR TO STARTING CONSTRUCTION.
27. WHENEVER EXCAVATION IS NECESSARY, CALL ARIZONA811 BY DIALING 811 or 602-263-1100, TWO (2) WORKING DAYS BEFORE EXCAVATION BEGINS.
28. EXCAVATIONS SHALL COMPLY WITH REQUIREMENTS OF OSHA EXCAVATION STANDARDS (29 CFR PART 1926) UNDER ANY CIRCUMSTANCES. IF THE TOWN'S CONTRACTORS BE ALLOWED TO WORK IN A TRENCH LOCATED WITHIN THE TOWN'S RIGHT-OF-WAY WITHOUT PROPER SHORING OR EXCAVATION METHODS.
29. PERMIT HOLDER SHALL POST A 6 SQUARE FOOT (2'X3') IDENTIFICATION SIGN, MADE OF DURABLE MATERIAL, IN THE FRONT YARD OF SUBJECT PROPERTY AND NOT IN THE TOWN'S RIGHT-OF-WAY. THE SIGN MAY NOT EXCEED A MAXIMUM OF 6 FEET IN HEIGHT FROM GRADE TO TOP OF THE SIGN. THE SIGN MUST INCLUDE THE PERMITTEE OR COMPANY NAME, PHONE NUMBER, TYPE OF WORK, ADDRESS OF PROJECT AND TOWN CONTACT NUMBER, 480-348-3556.
30. WHEN DEEMED NECESSARY, A 6-FOOT HIGH CHAIN LINK FENCE MUST BE INSTALLED AROUND THE CONSTRUCTION AREA TO PREVENT ANY POTENTIAL SAFETY HAZARD FOR THE PUBLIC. THE FENCE SHALL BE SETBACK AT LEAST 10 FEET FROM ALL RIGHTS-OF-WAY AND HAVE A 50-FOOT STREET CORNER SITE TRIANGLE WHERE APPLICABLE.
31. CLEAR ACCESS FOR NEIGHBORING PROPERTIES AND EMERGENCY VEHICLES MUST BE MAINTAINED AT ALL TIMES. CONSTRUCTION RELATED VEHICLES MUST BE LEGALLY PARKED ONLY ON ONE SIDE OF THE STREET OR JOB SITE PROPERTY.
32. ALL CONSTRUCTION DEBRIS AND EQUIPMENT MUST BE CONTAINED ON SITE AT ALL TIMES. CONTRACTOR AND PROPERTY OWNER MUST MAINTAIN THE JOB SITE FREE OF LITTER AND UNSIGHTLY MATERIALS AT ALL TIMES. CONSTRUCTION MATERIALS ARE PROHIBITED IN THE TOWN'S RIGHT-OF-WAY.
33. CONSTRUCTION ACTIVITIES ARE PERMITTED BETWEEN THE HOURS OF 7 AM AND 5 PM MONDAY THROUGH FRIDAY. CONSTRUCTION ACTIVITIES MAY START ONE (1) HOUR EARLIER DURING THE SUMMER (MAY 1ST THROUGH SEPTEMBER 30TH).
34. THE USE AND OPERATION OF FUEL-FIRED GENERATORS IS PROHIBITED UNLESS DUE TO A HARDSHIP. TOWN APPROVAL SHALL BE REQUIRED.
35. THE CONTRACTOR AND PROPERTY OWNER SHALL BE LIABLE FOR ANY DAMAGE DONE TO ANY PUBLIC PROPERTY AS A RESULT OF ANY CONSTRUCTION OR CONSTRUCTION RELATED ACTIVITIES. NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL AFFECTED RIGHTS-OF-WAY ARE CLEANED AND/OR REPAIRED TO THEIR ORIGINAL CONDITION AND UNTIL ANY AND ALL DAMAGES TO AFFECTED PROPERTIES ARE RESTORED TO ORIGINAL CONDITION.
36. A KEYED SWITCH SHALL BE REQUIRED ON ALL NEW AND EXISTING ELECTRIC ENTRY GATES. THE KEYED SWITCH SHALL BE INSTALLED IN A LOCATION THAT IS READILY VISIBLE AND ACCESSIBLE. KNOX BOX ORDER FORMS ARE AVAILABLE AT THE TOWN'S BUILDING SAFETY DEPARTMENT.
37. PROPERTY OWNER, BUILDER, OR GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR CONTROLLING DUST FROM THE SITE AT ALL TIMES. ALL MEANS NECESSARY SHALL BE USED BY THE BUILDER OR GENERAL CONTRACTOR TO CONTROL THE EXISTENCE OF DUST CAUSED BY ANY EARTHWORK, SPRAY APPLICATION OF MATERIALS, S, OR OTHER DUST-CAUSING PRACTICES REQUIRED BY THE CONSTRUCTION PROCESS.
38. APPROVAL OF THESE PLANS ARE FOR PERMIT PURPOSES ONLY AND SHALL NOT PREVENT THE TOWN FROM REQUIRING CORRECTION OF ERRORS IN THE PLANS WHERE SUCH ERRORS ARE SUBSEQUENTLY FOUND TO BE IN VIOLATION OF ANY LAW, ORDINANCE, HEALTH, SAFETY, OR OTHER SIGN ISSUES.
39. ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTION DITCHES, PIPES PROTECTIVE BERMS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT PROPOSED AND EXISTING IMPROVEMENTS FROM RUNOFF OR DAMAGE FROM STORM WATER, MUST BE CONSTRUCTED PRIOR TO THE CONSTRUCTION OF ANY IMPROVEMENTS.

CIVIL ENGINEERING GENERAL NOTES

1. IF THE CONTRACTOR FINDS ANY DISCREPANCY OR OMISSION, THE ENGINEER SHALL BE NOTIFIED BEFORE ANY INTERPRETATION IS MADE.
2. QUANTITIES SHOWN ARE FOR PERMIT PURPOSES ONLY AND ARE NOT FOR BIDDING OR CONTRACTING PURPOSES. THE CONTRACTOR IS RESPONSIBLE FOR BIDDING HIS OWN QUANTITY TAKE-OFF.
3. THE BUILDING MATERIALS CONTAINING ASBESTOS WILL NOT BE USED ON THIS PROJECT.
4. THE CONTRACTOR SHALL MAKE NO CLAIM FOR QUANTITY ADJUSTMENT UNLESS ALL CONSTRUCTION SURVEY STAKES ARE MAINTAINED FOR VERIFICATION.
5. NOTHING IN THE CONTRACT DOCUMENTS SHALL CREATE ANY CONTRACTUAL RELATIONSHIP BETWEEN THE ENGINEER AND THE CONTRACTOR OR THE ENGINEER AND THE SUBCONTRACTOR.
6. THE ENGINEER WILL NOT BE RESPONSIBLE FOR CONSTRUCTION OR SAFETY MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES UTILIZED IN CONNECTION BY THE CONTRACTOR OR SUBCONTRACTORS.
7. CHANGE ORDERS SHALL BE EXECUTED IN WRITING BY THE OWNER OR HIS REPRESENTATIVE. VERBAL CHANGES WILL NOT BE HONORED.
8. SEE ARCHITECTURAL DRAWINGS FOR ALL ON-SITE:
  - A. HORIZONTAL CONTROL & BUILDING LOCATIONS.
  - B. DETAILS AND HORIZONTAL LOCATION OF CURBS AND SIDEWALKS.
  - C. PARKING LOT LAYOUT.
9. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL EXISTING UNDERGROUND UTILITY FACILITIES BOTH HORIZONTALLY AND VERTICALLY PRIOR TO CONSTRUCTION AND TAKE ALL NECESSARY PRECAUTIONS TO AVOID ANY DAMAGE TO EXISTING UNDERGROUND FACILITIES. CALL BLUE STAKE CENTER (602) 263-1100 OR A PRIVATE UNDERGROUND UTILITY LOCATION COMPANY 48 HOURS PRIOR TO EXCAVATING. THE ENGINEER AND/OR OWNER CANNOT GUARANTEE ANY ELEVATIONS OR LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THESE PLANS.
10. UNDERGROUND INFORMATION AND UTILITIES SHOWN HAVE BEEN OBTAINED FROM INFORMATION PROVIDED ON QUARTER SECTION MAPS FROM THE UTILITY COMPANIES LOCATED WITHIN THE AREA. THUS, UNDERGROUND INFORMATION MUST BE FIELD VERIFIED BEFORE CONSTRUCTION.
11. UTILITY COMPANIES SERVING THIS AREA ARE:  
WATER: PRIVATE WATER COMPANY – EPICOR  
SEWER: PRIVATE SEPTIC  
TELEPHONE: CENTURYLINK  
ELECTRIC: ARIZONA PUBLIC SERVICE  
GAS: SOUTHWEST GAS  
CABLE TV: COX COMMUNICATIONS
12. THE TOPO INFORMATION SHOWN ON THIS DRAWING WAS OBTAINED FROM A TOPOGRAPHIC SURVEY PERFORMED BY G-MAR, LLC, DATED, AUGUST 22, 2018.
13. BOUNDARY INFORMATION SHOWN WAS TAKEN THE PLAT OF "SUNSET HILLS" A SUBDIVISION PLAT RECORDED IN BOOK 68 OF MAPS, PAGE 2, RECORDS OF MARICOPA COUNTY, ARIZONA, AS WELL AS MARICOPA COUNTY GIS. THE CIVIL ENGINEER OF RECORD DOES NOT CERTIFY THE BOUNDARY INFORMATION SHOWN ON THIS PLAN.

GRADING & DRAINAGE PLAN  
FOR  
"4606 E. CHARLES DRIVE"

A PORTION OF THE SOUTHWEST QUARTER OF SECTION 31,  
TOWNSHIP 3 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER  
BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

CIVIL NOTES  
(APPLY UNLESS OTHERWISE NOTED ON CIVIL DRAWINGS)

LEGAL DESCRIPTION

LOT 20 OF "SUNSET HILLS" A SUBDIVISION PLAT RECORDED IN BOOK 68 OF MAPS, PAGE 2, RECORDS OF MARICOPA COUNTY, ARIZONA.

SHEET INDEX

SHEET	NO.	NAME
C1	1	COVER SHEET & CIVIL NOTES
C2	2	GRADING & DRAINAGE PLAN
C3	3	SECTIONS AND DETAILS

RETENTION REQUIREMENTS – PRE VS POST DEVELOPMENT

PER TOWN OF PARADISE VALLEY REQUIREMENTS FOR SINGLE FAMILY RESIDENCE DRAINAGE DESIGN STANDARDS & MCDM, VOL II AND VOL III.

$V_r = (A * P * C) / 12$        $V$  = Volume of retention required (cubic feet or acre-feet)  
    $C_w$  = Weighted Runoff factor for tributary areas  
    $P$  = 100-year, 2-hour storm event precipitation depth (inches)  
    $A$  = Drainage area (square feet or acres)

PRE DEVELOPMENT RETENTION REQUIREMENTS

$A = 41,453$  S.F.  
 $P = 2.24$  INCHES  
 $C = 0.7$  PRE  
 **$V_{pre} = 5,417$  CUBIC FEET**

RETENTION REQUIREMENTS -- AREA OF DISTURBANCE

$V = A(P/12)C$        $V$  = Volume of retention required (cubic feet or acre-feet)  
                                  $C$  = Runoff factor for tributary areas  
                                  $P$  = 100-year, 2-hour rainfall (in inches)  
                                  $A$  = Drainage area (square feet or acres)

WEIGHTED RUN-OFF COEFFICIENT CALCULATIONS

AREA TYPE	AREA (SQ.F.T)	C	C*A
ASPHALT/ROOF	8,916	0.90	8,024
CONCRETE	7,137	0.95	6,780
DESERT LANDSCAPE	24,697	0.70	17,288
GRAVEL DRIVEWAY	0	0.35	0
TURF	703	0.35	246
			<b>32,339</b>

$A = 41,453$  S.F.  
 $D = 2.24$  INCHES  
 $C = 0.78$  WEIGHTED  
 **$V_{post} = 6,037$  CUBIC FEET**

**$V_r = V_{post} - V_{pre} = 6,037 - 5,417 = 620$  CUBIC FEET**

ON-SITE RETENTION PROVIDED

Volume = ((1/3)h)\*(A1+A2+sqrt(A1\*A2))

Retention Basins	Elevation (ft.)	Area (sq.ft.)	Depth (feet)	Volume (cu.ft.)
	1481.0	2,241		
	1480.5	1,496	0.5	928
VOLUME PROVIDED =	928	CUBIC FEET		
VOLUME REQUIRED =	620	CUBIC FEET		
EXCESS VOLUME =	308	CUBIC FEET		

OWNER/DEVELOPER

ABF INVESTMENTS, LLC  
16202 S. 31ST WAY  
PHOENIX, AZ 85048  
PH: 602-430-6930  
CONTACT: BERNIE FRITZ

ARCHITECT/DESIGNER

FIT DESIGNS  
15459 S. 44TH WAY  
PHOENIX, ARIZONA 85044  
PH: 480-205-4515  
CONTACT: JENNIFER LAMOREAUX

PROJECT BENCHMARK

GDACS PT. #26100-1

FOUND 3" PARADISE VALLEY BRASS CAP IN HAND HOLE NEAR THE INTERSECTION OF MOCKINGBIRD AND TATUM ROAD WITH AN ELEVATION OF 1435.620 (NAVD '88 DATUM).

BASIS OF BEARING

N.15°13'50"E, ALONG THE MONUMENT FOR LAURETTA LANE AS SHOWN IN THE PLAT OF RECORD FOR "SUNSET HILLS" AS RECORDED IN BOOK 68 OF MAPS, PAGE 2, RECORDS OF MARICOPA COUNTY, ARIZONA.

SITE AREA DATA

PER TOPV HILLSIDE ORDINANCE, TABLE 1:

LOT AREA: 41,453 S.F. (NET)  
BLDG. SITE SLOPE: 5.3%  
ALLOWABLE DIST.: 60R (24,872 S.F.)  
EXIST. AREA DISTURBED: 39,100 S.F.  
NEW AREA DISTURBED: 33,724 S.F.

ZONING

R-43

SETBACKS:

FRONT: 40-FT  
REAR: 40-FT  
SIDES: 20-FT

CUT / FILL QUANTITIES

CUT 15 C.Y.  
FILL 2,000 C.Y.  
NEW FILL 1,985 C.Y.

QUANTITIES ARE SHOWN FOR PERMIT PURPOSES ONLY. CONTRACTOR SHALL PERFORM THEIR OWN QUANTITY TAKE-OFF FOR ACCURACY OF CUT AND FILL ON THE SITE.

HILLSIDE ASSURANCE AMOUNT: \$1,947.00

PROJECT DESCRIPTION

GRADING AND DRAINAGE RELATED IMPROVEMENTS AS THEY APPLY TO THE NEW SINGLE FAMILY RESIDENCE TO THE SITE, ALONG WITH ASSOCIATED DRIVEWAYS, WALKWAYS AND LANDSCAPING. THE EXISTING HOUSE WILL BE DEMOLISHED AND REMOVED. THE NEW FINISHED FLOOR ELEVATION OF THE HOUSE IS AT LEAST 12-INCHES ABOVE NEAREST ADJACENT GRADE. SINCE THIS SITE IS NOT IN A FLOOD PLAIN AND NO OFF-SITE FLOWS IMPACT THE SITE, HIGH WATER ELEVATION OF RETENTION BASIN 'A' IS 1381.0 PER REFERENCED BENCHMARK.

SQUARE FOOTAGE

LIVABLE	5,054 S.F.
GARAGE / MECH.	2,111 S.F.
COVERED PATIOS / ENTRY	1,247 S.F.
TRELLIS / PATIO	174 S.F.

TOTAL UNDER ROOF: 8,586 S.F.

LOT COVERAGE:

TOTAL LOT AREA  
8,586 / 41,453 = 20.7 % (25% MAX.)

DRAINAGE STATEMENT

PER TOWN OF PARADISE VALLEY GRADING AND DRAINAGE STANDARDS, THE PRE VS. POST VOLUME WILL BE PROVIDED, ON-SITE, FOR THE 100-YEAR, 2-HOUR STORM EVENT.

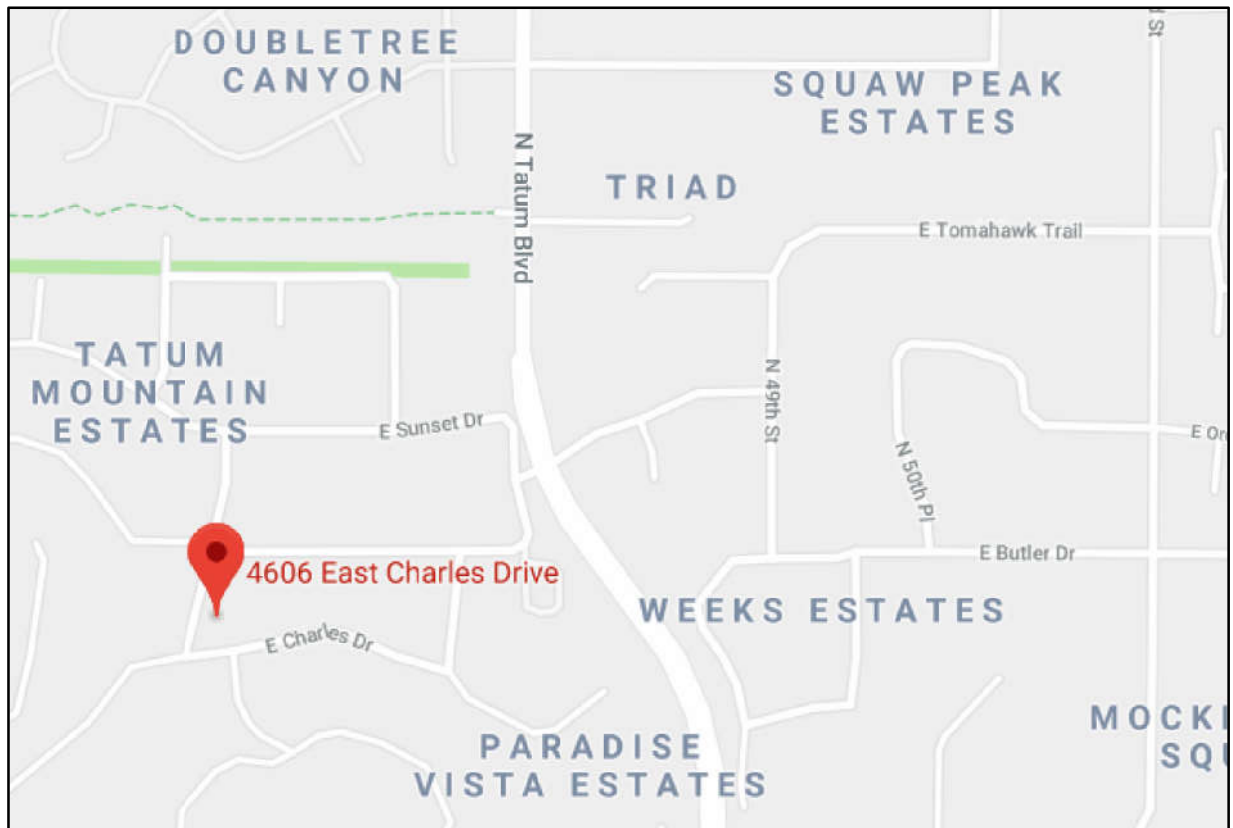
1. THIS PARCEL IS NOT IN A SPECIAL FLOOD HAZARD.
2. OFF-SITE FLOWS DO IMPACT THIS SITE.
3. RETENTION PROVIDED IS FOR THE PRE VS. POST STORM EVENT.
4. EXTREME STORM FLOWS OUTFALL THE SITE (ESO) AT THE NORTHEAST CORNER OF THE PROPERTY INTO ITS EXISTING WATERCOURSE AT AN ELEVATION OF 1480.2 PER REFERENCED BENCHMARK.
5. THE LOWEST FINISHED FLOOR ELEVATION OF 1492.50 IS SAFE FROM INUNDATION DURING THE 100-YEAR PEAK RUN-OFF EVENT IF CONSTRUCTED IN ACCORDANCE WITH THESE APPROVED PLANS. THE 100-YEAR WATER SURFACE ELEVATION IS BASED ON THE RETENTION BASIN AT 1481.00.

FEMA SITE INFORMATION					
COMMUNITY NUMBER	PANEL # PANEL DATE	SUFFIX	DATE OF FIRM (INDEX DATE)	FIRM ZONE	BASE FLOOD ELEV. (IN AO ZONE, USE DEPTH)
040049	1755	L	10/16/13	X	1 FOOT
	10/16/13				

ABBREVIATIONS

(SOME ABBREVIATIONS MAY NOT APPLY TO THESE DRAWINGS)

BOTT.	BOTTOM
B/C	BACK OF CURB
C.F.	CUBIC FEET
CLF	CHAIN LINK FENCE
CONC.	CONCRETE
C.Y.	CUBIC YARD
D.E.	DRAINAGE EASEMENT
D/W	DRIVEWAY
ESMT.	EASEMENT
EXIST.	EXISTING
F.F.	FINISHED FLOOR
FND.	FOUND
FT.	FEET
MAS.	MASONRY
M	MONUMENT LINE
N.T.S.	NOT TO SCALE
P.V.M.	PAVEMENT
P	PROPERTY LINE
PROP.	PROPOSED
P.U.E.	PUBLIC UTILITY EASEMENT
R/W	RIGHT OF WAY
S/W	SIDEWALK
TYP.	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE



VICINITY MAP

LEGEND

(SOME ITEMS MAY NOT APPLY TO THESE DRAWINGS)

	BOUNDARY LINE
	MONUMENT LINE
	PROPERTY CORNER
	EASEMENT LINE
	MAS. FENCE
	VERT. CURB & GUTTER
	CONCRETE CURB
	BUILDING
	CONCRETE
	BRASSCAP IN HANDHOLE
	BRASSCAP FLUSH
	SIGN
	GAS METER
	TELEPHONE RISER
	CABLE RISER
	POWER POLE
	ELECTRICAL GUY DOWN
	STREET LIGHT OR LIGHT POLE
	WATER METER
	BACK FLOW PREVENTION ASSEMBLY
	DRYWELL/CATCH BASIN
	SPRINKLER CONTROL BOX
	ANTI-SIPHON LANDSCAPE VALVE
	WATER
	OVERHEAD CABLE TV
	OVERHEAD TELEPHONE
	UNDERGROUND TELEPHONE
	OVERHEAD ELECTRICAL
	UNDERGROUND ELECTRICAL
	SANITARY SEWER
	GAS
	STORM DRAIN
	FIRE LINE

	NATURAL GROUND ELEV. (ADD 1400)
	TOP OF CURB ELEV. (ADD 1400)
	PAVEMENT ELEV. (ADD 1400)
	GUTTER ELEV. (ADD 1400)
	FINISHED FLOOR ELEV.
	CONCRETE ELEV. (ADD 1400)
	RIM ELEV. (ADD 1400)
	INVERT ELEV. (ADD 1400)
	TOP OF RETAINING WALL ELEV. (ADD 1400)
	TOP OF FOOTING ELEV. (ADD 1400)
	DRAINAGE SLOPE
	EXTREME SITE OUTFALL (ESO)
	TOP OF EMBANKMENT
	BOTTOM OF EMBANKMENT

AS-BUILT CERTIFICATION

I HEREBY CERTIFY THAT THE "RECORD DRAWING" MEASUREMENTS AS SHOWN HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

REGISTERED ENGINEER/LAND SURVEYOR

DATE

REGISTRATION NUMBER



**g-m-a-r**  
**consulting engineers, llc**  
18223 west orchid lane  
waddell, arizona 85355  
ec.geol@gm-engineering.com ph: 602.524.7877



PROJECT: CHARLES DRIVE RESIDENCE  
4606 E. CHARLES DRIVE, PARADISE VALLEY, ARIZONA  
OWNER: ABF INVESTMENTS, LLC  
16202 S. 31ST WAY, PHOENIX, ARIZONA 85048

	1ST CITY SUBMITTAL	2ND CITY SUBMITTAL	3RD CITY SUBMITTAL	
CD	11-21-18	01-08-19	01-28-19	

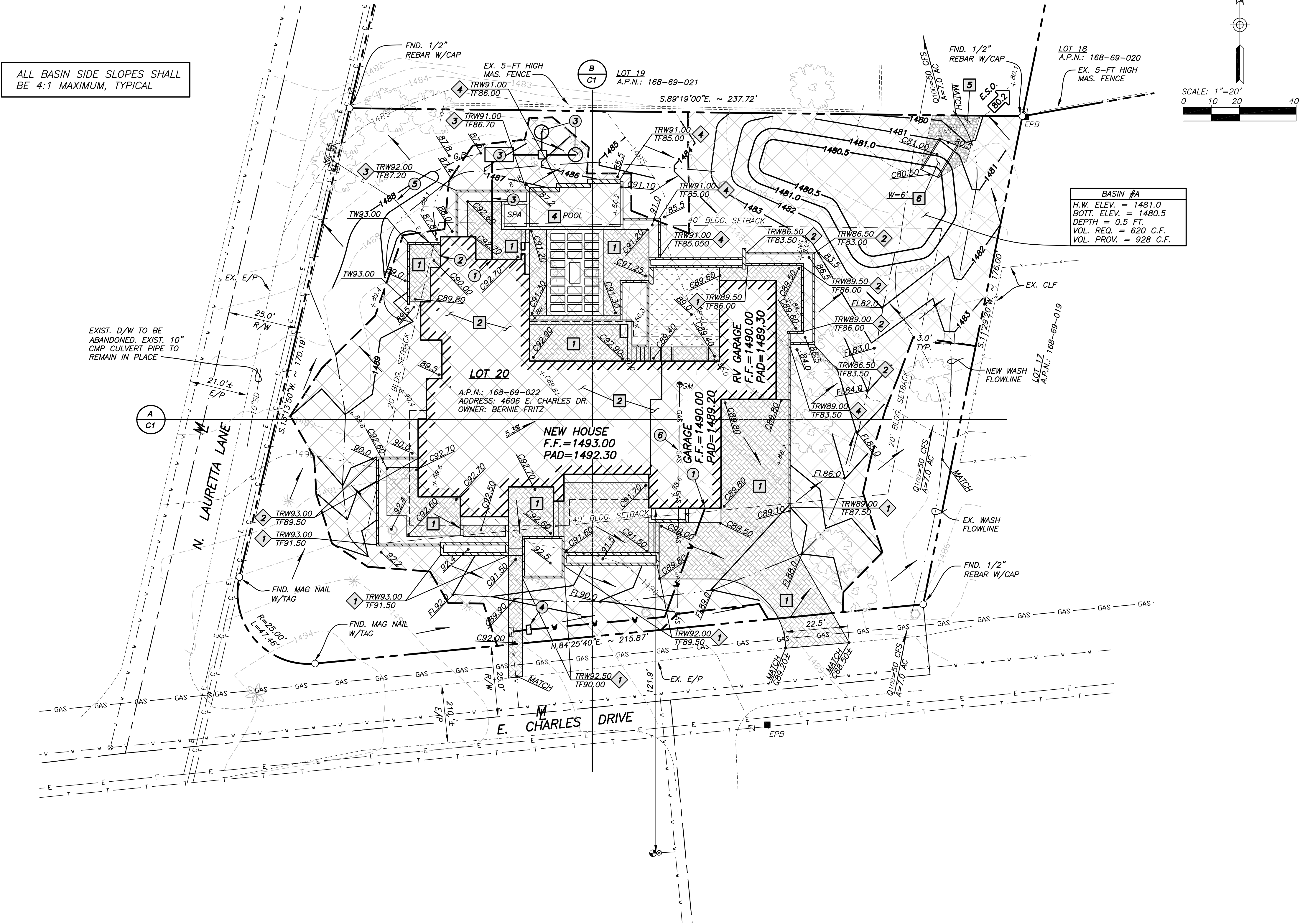
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DRAWN BY: GM/AD  
CHECKED BY: GM

SHEET DESCRIPTION:  
GRADING  
&  
DRAINAGE PLAN

SHEET  
C1  
OF  
1 OF 3  
PERMIT #

GRADING & DRAINAGE PLAN  
FOR  
"4606 E. CHARLES DRIVE"

A PORTION OF THE SOUTHWEST QUARTER OF SECTION 31,  
TOWNSHIP 3 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER  
BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA



ON-SITE GRADING & DRAINAGE NOTES

- 4" THICK CONCRETE DRIVEWAY AND WALKWAY PER ARCHITECTURAL DRAWINGS AND SPECS.
- CONSTRUCT BUILDING ON EXISTING CONCRETE SLAB PER ARCH'L AND STRUCTURAL DRAWINGS.
- NOT USED.
- POOL AND SPA PER SEPARATE PERMIT.
- INSTALL D<sub>50</sub> RIP-RAP: 3" TO 6" DIAMETER, ANGULAR GRANITE, HAND PLACED AND INTERLOCKING, OVER NON-WOVEN FILTER FABRIC. RIP-RAP SHALL BE PLACED AT MIN. 8-INCHES BELOW FINISHED GRADE.
- CONSTRUCT CONCRETE SPILLWAY PER DET. 1/C3.

ON-SITE UTILITY CONSTRUCTION NOTES

- SEE PLUMBING PLANS FOR WATER AND SEWER CONNECTION TO NEW INTERIOR/EXTERIOR PLUMBING FIXTURES.
- PROVIDE NEW 400 AMP ELECTRICAL SERVICE. COORDINATE LOCATION AND UNDERGROUND SERVICES WITH UTILITY CO.
- NEW 4" PVC SANITARY SEWER LINE AND SEPTIC SYSTEM PER SEPARATE PERMIT.
- NEW 3/4" WATER METER AND 1-1/4" DOMESTIC WATER SERVICE LINE. REFER TO PLUMBING PLANS FOR APPROVED AND TIE-IN LOCATION AT HOUSE.
- APPROXIMATE LOCATION OF NEW UNDERGROUND ELECTRIC SERVICE TO PANEL. SEE ELECTRICAL PLANS FOR CONTINUATION IN HOUSE.
- APPROXIMATE LOCATION OF EXISTING GAS LINE, NEW SERVICE AND LOCATION PROVIDED BY UTILITY COMPANY. REFER TO UTILITY COMPANY PLANS FOR APPROVED LOCATION.

AREA OF NEW LIMITS OF DISTURBANCE

LIMITS OF DISTURBANCE - 32,617 S.F.

SITE RETAINING WALL SCHEDULE

SITE RETAINING WALL PER ARCH'L DRAWINGS. SEE PLAN FOR TOP OF RETAINING WALL, TOP OF FOOTING ELEVATIONS.

WALL TYPE	RET. WALL HEIGHT (FT.)	SCREEN FENCE	LENGTH (L.F.)
1	1'-0" TO 2'-6"	PER ARCH'L	240
2	2'-7" TO 3'-6"	PER ARCH'L	135
3	3'-7" TO 4'-11"	PER ARCH'L	66
4	5'-0" TO 6'-0"	PER ARCH'L	111

TOTAL = 552 L.F.

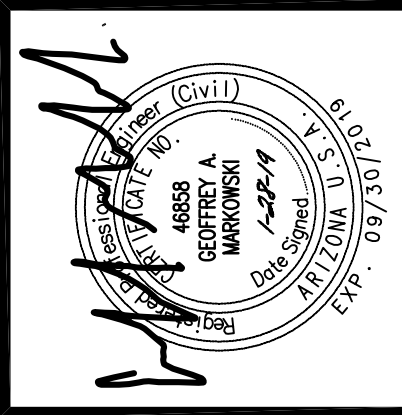
NOTES:

- REFER TO ARCHITECTURAL PLANS FOR SPECIFICATIONS FOR POOL BARRIER FENCING AROUND THE POOL AREA AND FOR CONNECTION TO TOP OF RETAINING WALLS.
- TOP OF RETAINING WALL HEIGHTS SHALL NOT EXCEED 6-INCHES ABOVE FINISHED GRADE OF RETAINED SOIL, TYPICAL.

ALL NATIVE PLANTS IMPACTED BY CONSTRUCTION SHALL BE RELOCATED ON-SITE. SEE LANDSCAPE PLANS AND NATIVE INVENTORY & SALVAGE PLAN.

CALL TWO WORKING DAYS  
BEFORE YOU DIG  
602-263-1100  
(INSIDE MARICOPA COUNTY)  
1-800-STAKE-IT  
(OUTSIDE MARICOPA COUNTY)

g-m a r  
consulting engineers, llc  
18223 west orchid lane  
waddell, arizona 85355  
e: geol@gmaring.com ph: 602.524.7877



PROJECT:  
CHARLES DRIVE RESIDENCE  
4606 E. CHARLES DRIVE, PARADISE VALLEY, ARIZONA  
OWNER:  
ABF INVESTMENTS, LLC  
16202 S. 31ST WAY, PHOENIX, ARIZONA 85048

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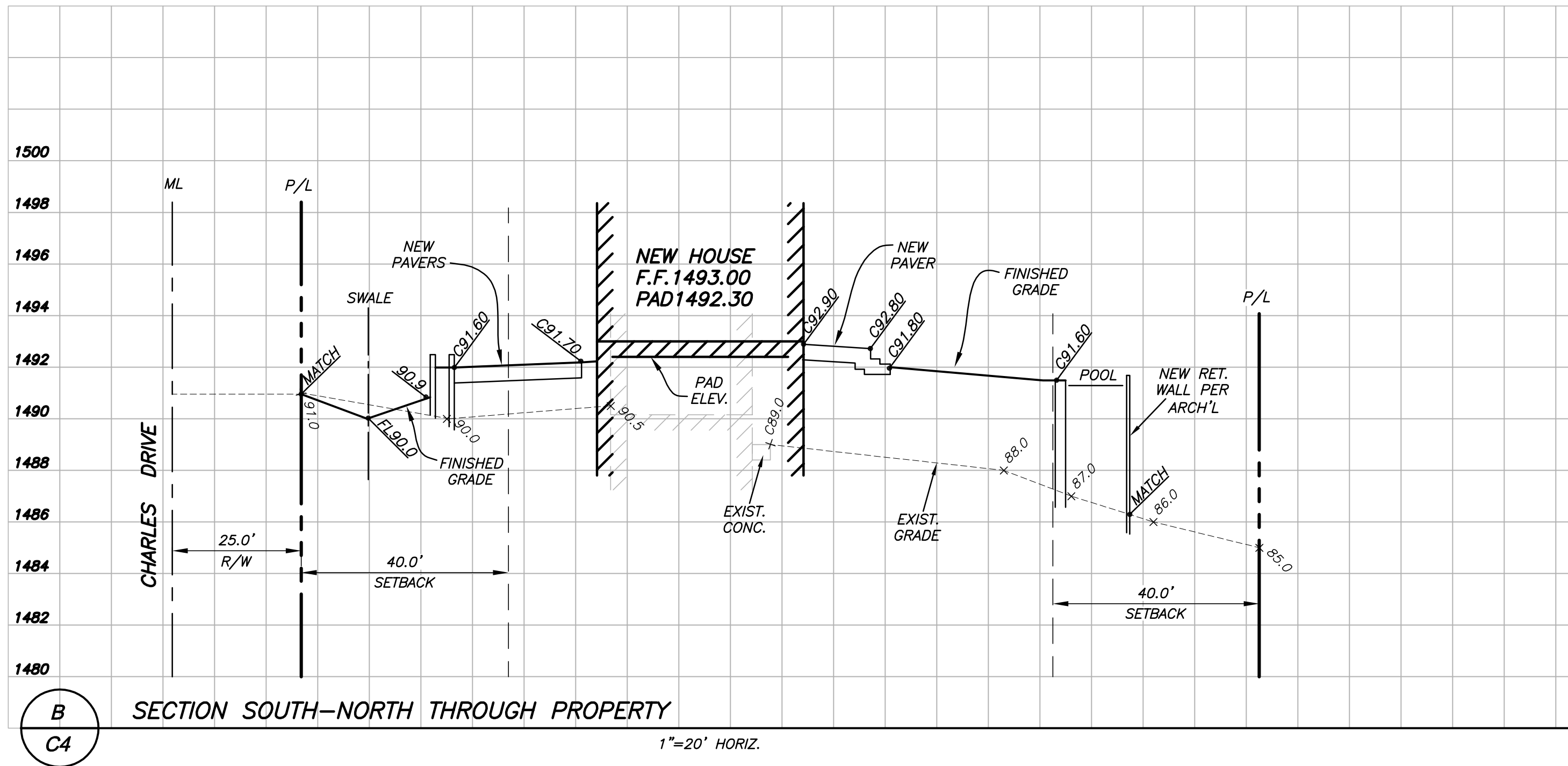
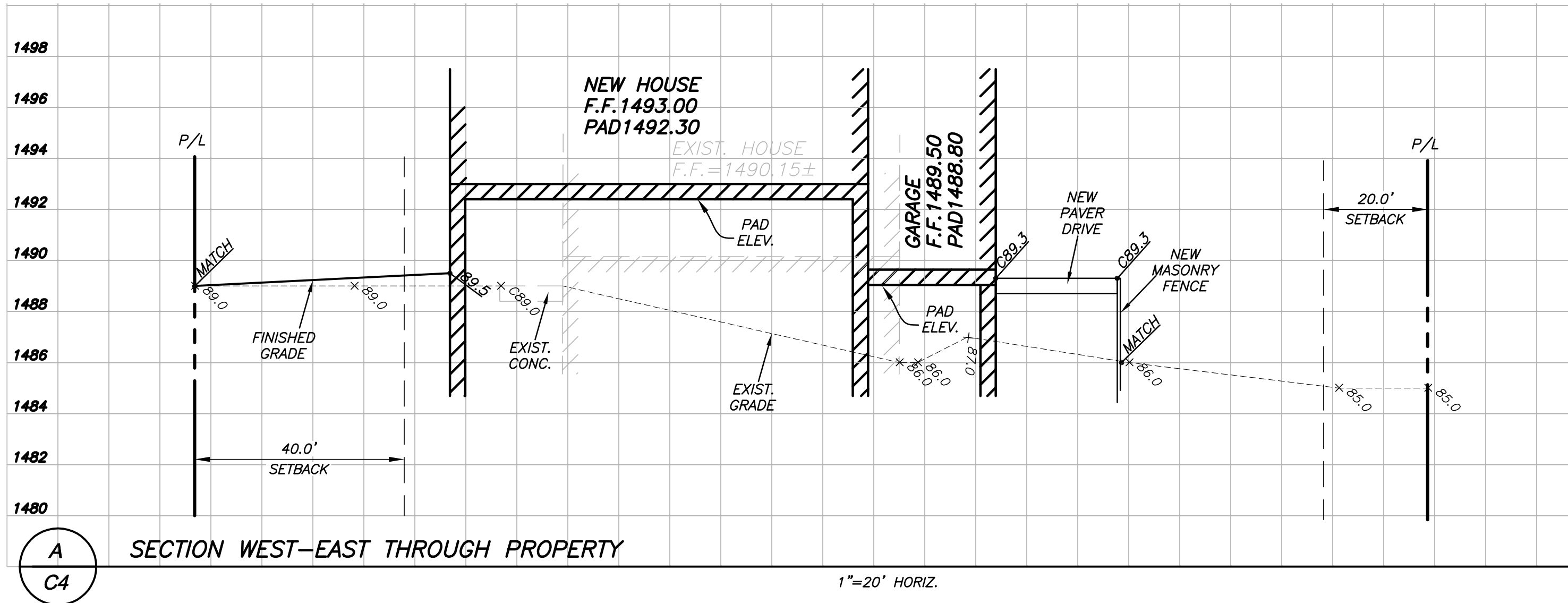
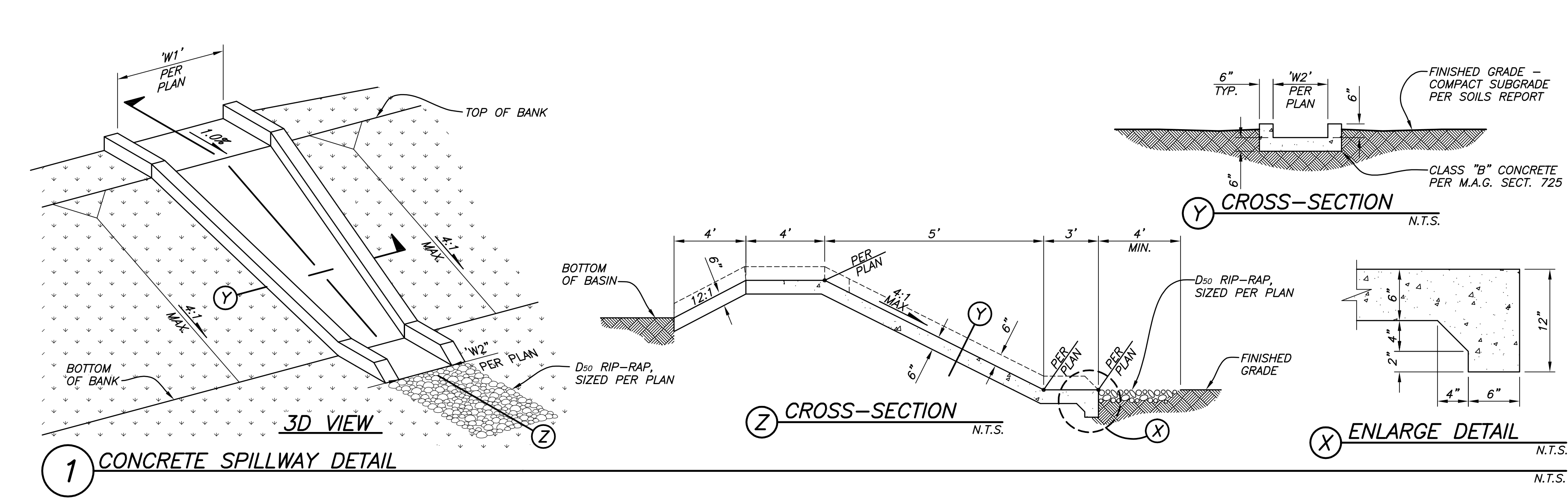
SHEET DESCRIPTION:  
GRADING  
&  
DRAINAGE PLAN

SHEET  
C2  
OF  
2 OF 3

PERMIT #

JOB NO. 18-08-015-00

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**g-mar**  
**consulting engineers, llc**  
18223 west orchid lane  
waddell, arizona 85355  
e: geol@g-mareng.com ph: 602.524.7877

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**PROJECT:**  
CHARLES DRIVE RESIDENCE

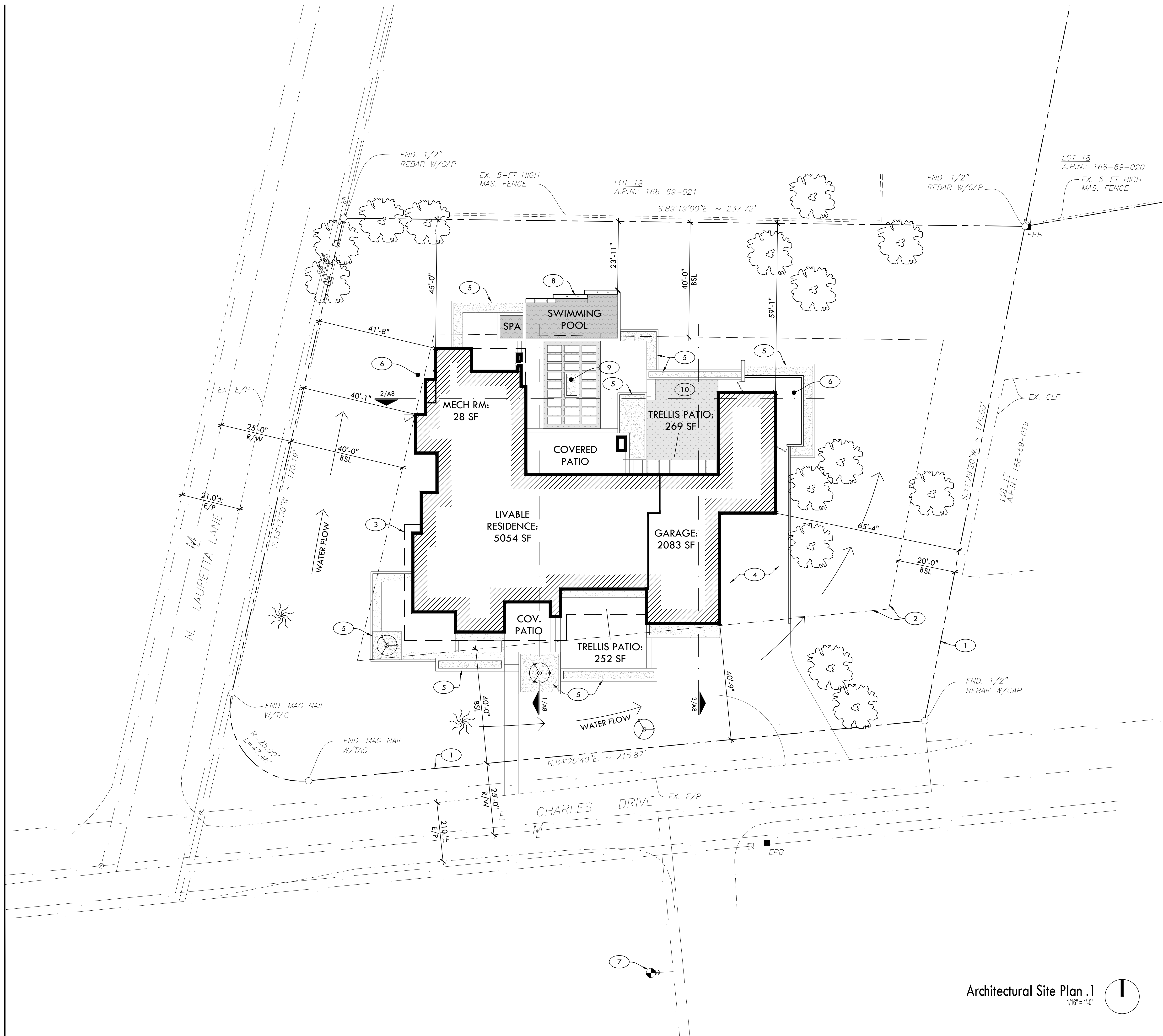
**OWNER:**  
ABF INVESTMENTS, LLC  
4606 E. CHARLES DRIVE, PARADISE VALLEY, ARIZONA  
16202 S. 31ST WAY, PHOENIX, ARIZONA 85048

CD	11-21-18	1ST CITY SUBMITTAL
CD	01-08-19	2ND CITY SUBMITTAL
CD	01-28-19	3RD CITY SUBMITTAL

DATE ISSUED: 22 AUG 18  
DRAWN BY: GM/AD  
CHECKED BY: GM

SHEET DESCRIPTION:  
SECTIONS  
AND  
DETAILS

SHEET  
C3  
OF  
3 OF 3  
PERMIT #



### Keynotes

1. Property line.
2. Building setback.
3. Roof overhang above.
4. New paver driveway.
5. Raised planter retaining wall, typ.
6. Screened mechanical / equipment area.
7. Existing fire hydrant.
8. Water feature accessory structure for swimming pool.
9. Gas fire pit.
10. Artificial grass lawn.



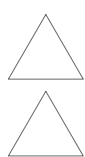
Fit Designs, PLLC  
15459 S. 44th Way  
Phoenix, Arizona 85044  
480.205.4515  
fitdesigns@live.com

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## Charles Drive Residence

4606 E. Charles Dr.  
Paradise Valley, AZ 85253

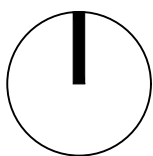


DATE: 1/28/19  
SCALE: As Noted  
DRAWN: JPL  
JOB: 18-99  
SHEET:

# A4

Site Plan

Architectural Site Plan .1  
1/16" = 1'-0"





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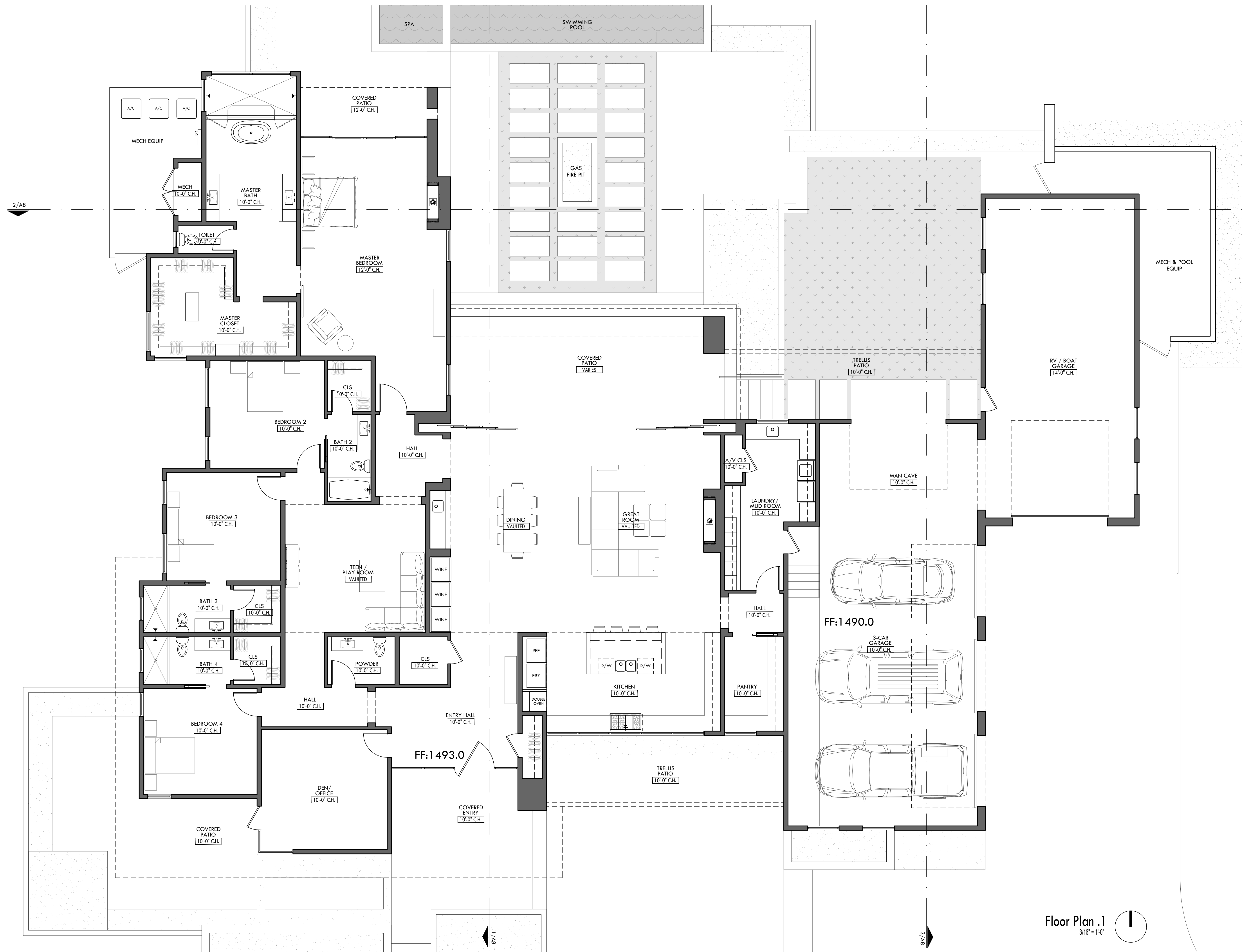
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**Charles Drive Residence**  
4606 E. Charles Dr.  
Paradise Valley, AZ 85253

DATE:	1/7/19
SCALE:	As Noted
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JOB:	18-99
SHEET:	

# A5

## Floor Plan



Keynotes

1.

Finished floor beyond.
2.

Stucco system (ESR-2729), sand finish. Color: Dunn Edwards Ash Gray with 75% colorant added, LRV 35.
3.

Superlite CMU veneer, 1X8X16 (ESR-1215). Color: Gray block, integral color, LRV <38.
4.

CMU wall / planter. Color: Gray block , integral color, LRV <38.
5.

Standing seam metal roof. Color: Dunn Edwards Custom Black, LRV 10.
6.

Metal fascia. Color: Dunn Edwards Custom Black, LRV 10.
7.

Trellis structure. Color: Dunn Edwards Custom Black, LRV 10.
8.

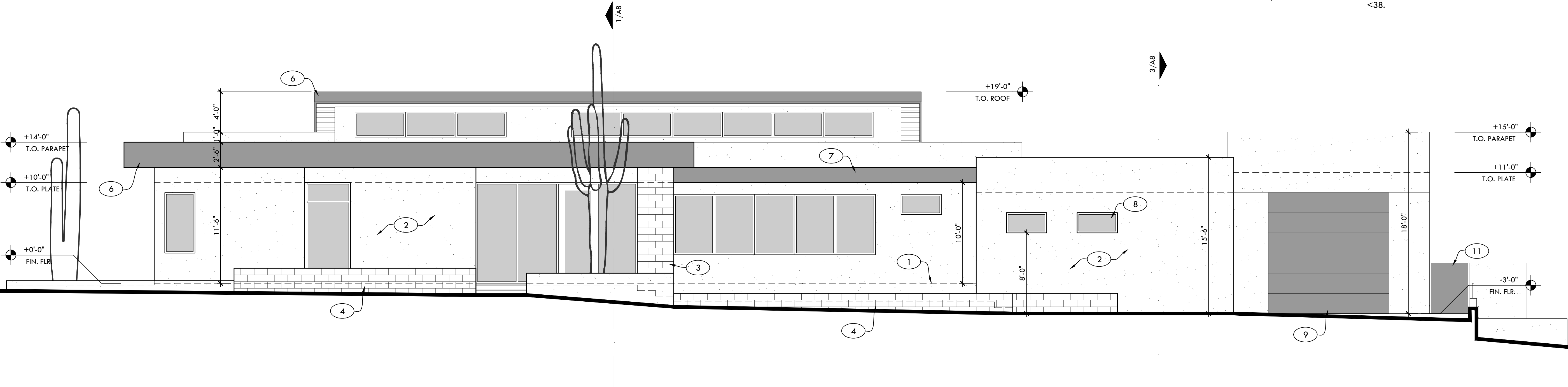
Dual-pane windows, typical. 44" max. sill height when window is used for bedroom egress.
9.

Insulated metal garage door. Color: Dunn Edwards Custom Black, LRV 10.
10.

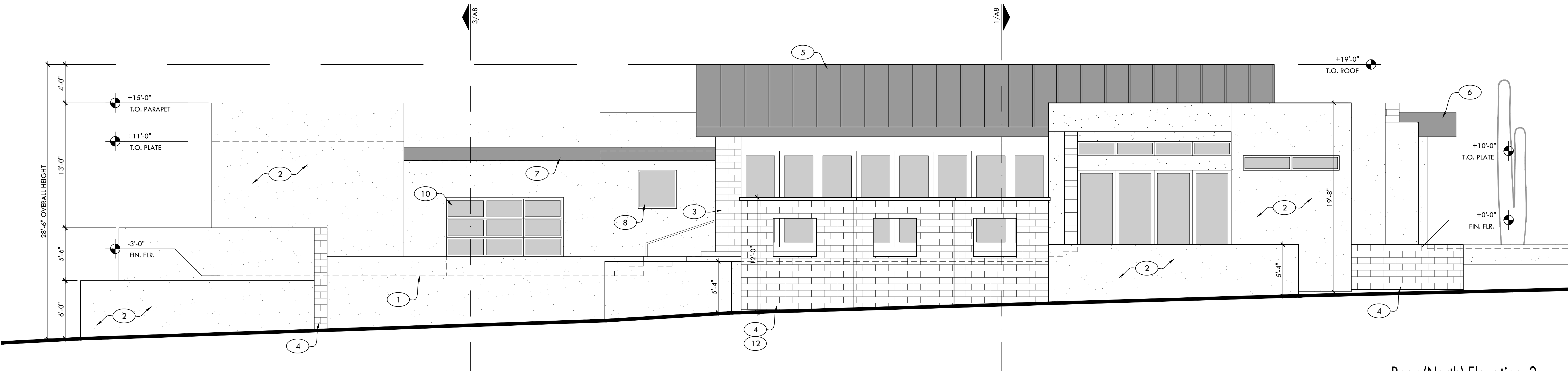
Amarr Vista contemporary aluminum garage door. Color: Dunn Edwards Custom Black, LRV 10.
11.

Custom gate (solid, to screen equipment).. Color: Dunn Edwards Custom Black, LRV 10.
12.

Water feature. Color: Gray block , integral color, LRV <38.



Front (South) Elevation .1  
3/16" = 1'-0"



Rear (North) Elevation .2  
3/16" = 1'-0"



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Paradise Valley, AZ 85253

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JOB: 18-99  
SHEET:

A6

Elevations

Keynotes

1. Finished floor beyond.

2. Stucco system (ESR-2729), sand finish. Color: Dunn Edwards Ash Gray with 75% colorant added, LRV 35.

3. Superlite CMU veneer, 1X8X16 (ESR-1215). Color: Gray block, integral color, LRV <38.

4. CMU wall / planter. Color: Gray block , integral color, LRV <38.

5. Standing seem metal roof. Color: Dunn Edwards Custom Black, LRV 10.

6. Metal fascia. Color: Dunn Edwards Custom Black, LRV 10.

7. Trellis structure. Color: Dunn Edwards Custom Black, LRV 10.

8. Dual-pane windows, typical. 44" max. sill height when window is used for bedroom egress.
9. Insulated metal garage door. Color: Dunn Edwards Custom Black, LRV 10.

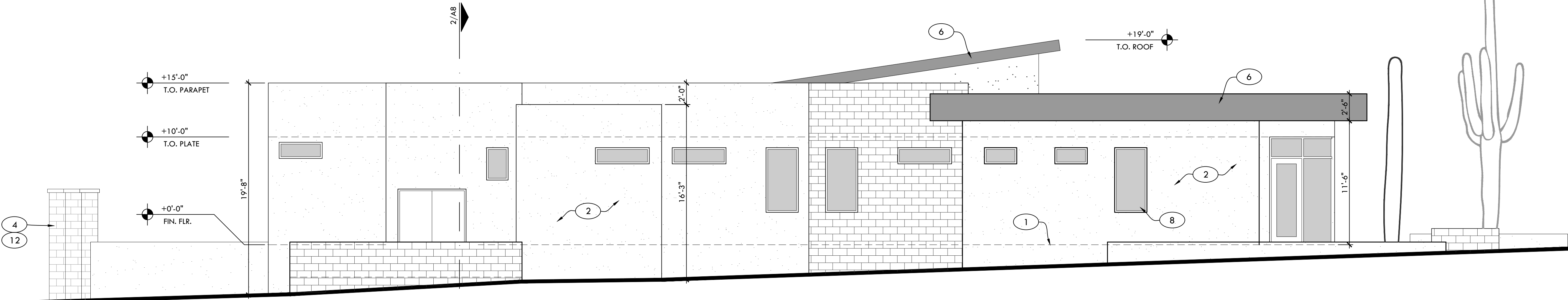
10. Amarr Vista contemporary aluminum garage door. Color: Dunn Edwards Custom Black, LRV 10.

11. Custom gate (solid, to screen equipment). Color: Dunn Edwards Custom Black, LRV 10.

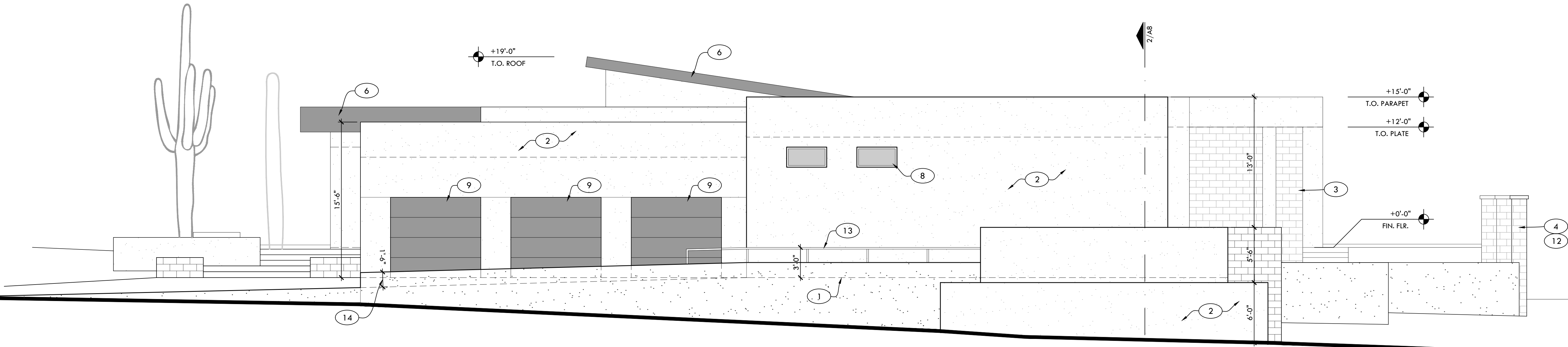
12. Water feature. Color: Gray block , integral color, LRV <38.

13. Metal guardrail (open/view) adjacent to walkway with fall hazard. 42" max height. Color: Dunn Edwards Custom Black, LRV 10.

14. 18" max height driveway retaining wall.



Side (West) Elevation .3  
3/16" = 1'-0"



Side (East) Elevation .4  
3/16" = 1'-0"

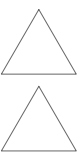


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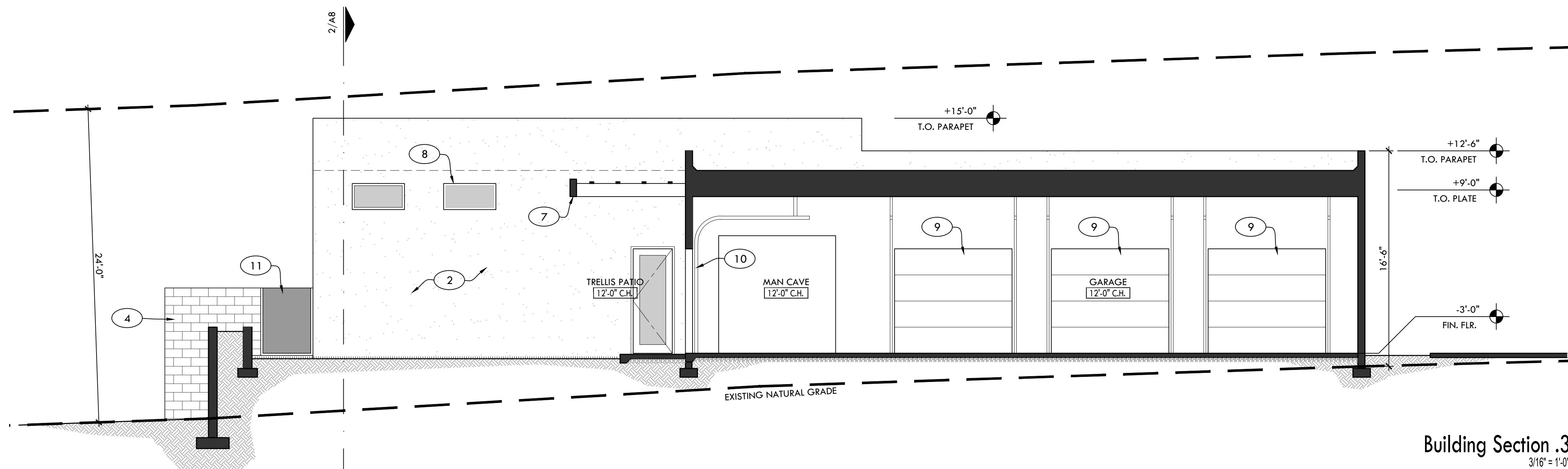
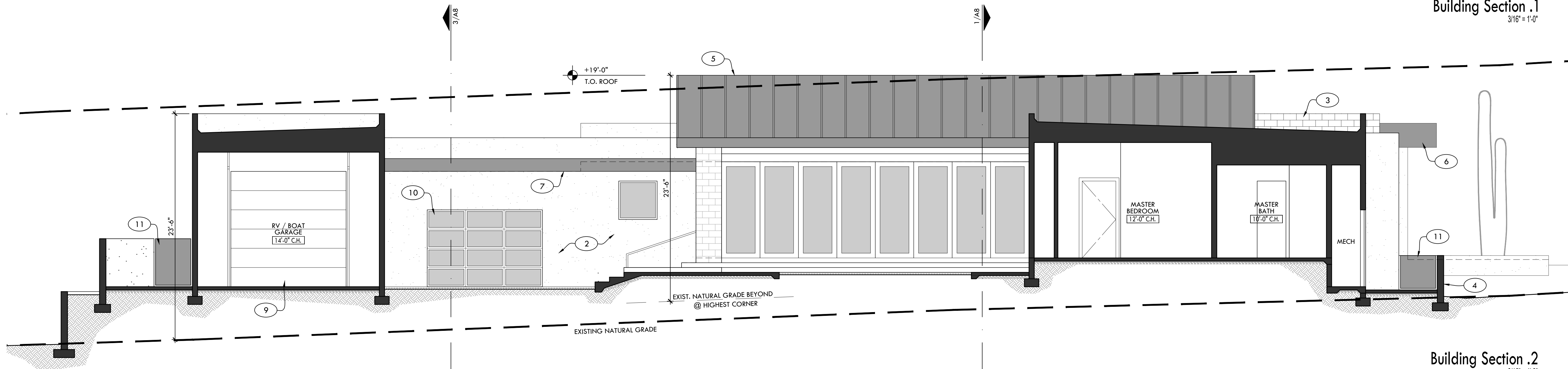
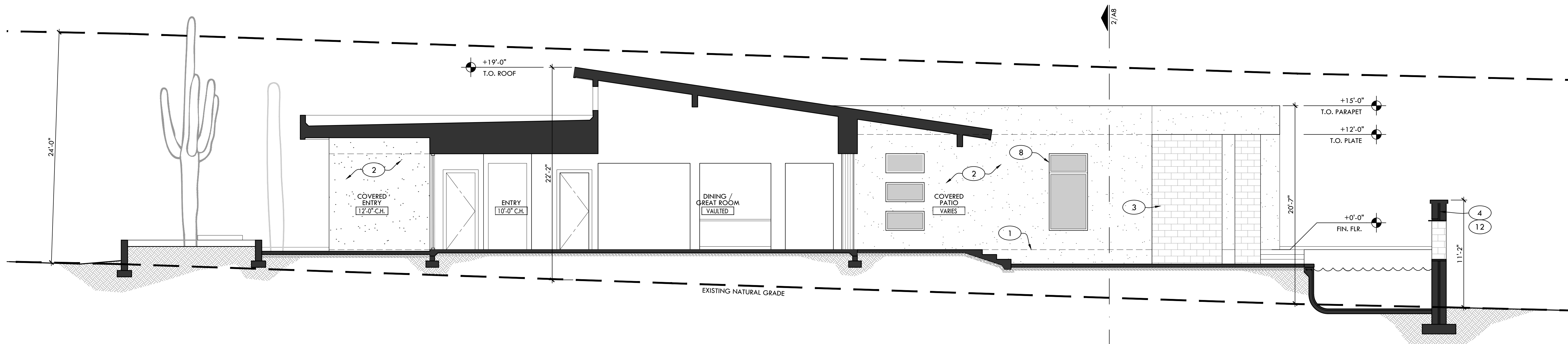
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Paradise Valley, AZ 85253



DATE:	1/28/19
SCALE:	As Noted
DRAWN:	JPL
JOB:	18-99
SHEET:	

A7

Elevations



### Keynotes

1. Finished floor beyond.
2. Stucco system (ESR-2729), sand finish. Color: Dunn Edwards Ash Gray with 75% colorant added, LRV 35.
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10. Amarr Vista contemporary aluminum garage door. Color: Dunn Edwards Custom Black, LRV 10.
11. Custom gate (solid, to screen equipment). Color: Dunn Edwards Custom Black, LRV 10.
12. Water feature. Color: Gray black, integral color, LRV <38.



Fit Designs, PLLC  
15459 S. 44th Way  
Phoenix, Arizona 85044  
480.205.4515  
fitdesigns@live.com

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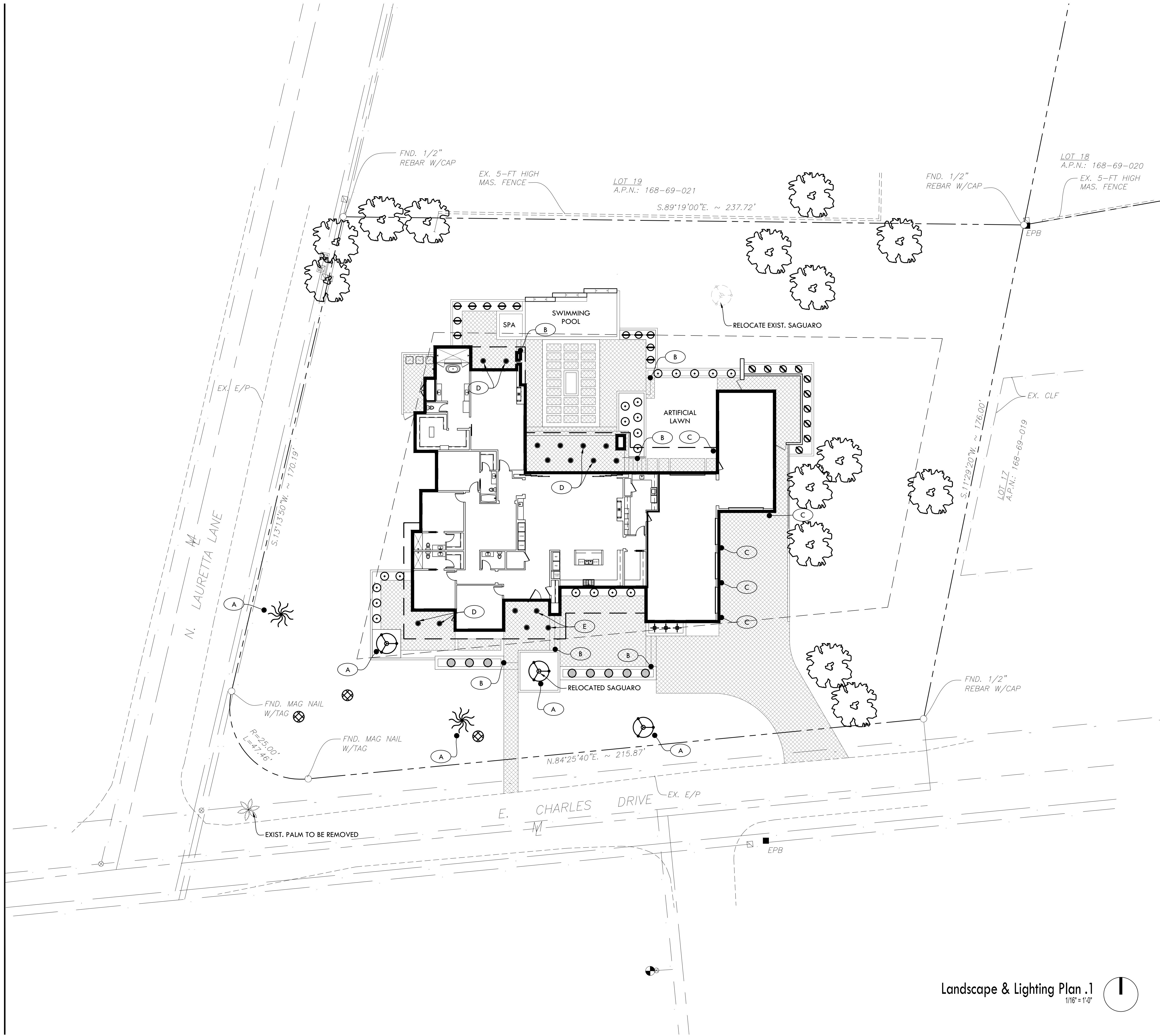
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**Charles Drive Residence**  
4606 E. Charles Dr.  
Paradise Valley, AZ 85253



DATE: 1/28/19  
SCALE: As Noted  
DRAWN: JPL  
JOB: 18-99  
SHEET:

**A8**  
Cross Sections



Plant Legend

TYPE	QTY	SIZE
Existing Tree (Various)	-	-
Existing Saguaro	3	-
Existing Ocotillo	2	-
Existing Cactus (Various)	-	-
Silver Torch Cactus <i>Cleistocactus strausii</i>	3	3 gal
Golden Barrel <i>Echinocactus grusonii</i>	8	3 gal
Deergrass <i>Muhlenbergia rigens</i>	20	3 gal
Firestick Cactus <i>Euphorbia tirucalli 'Rosea'</i>	10	3 gal
Octopus Agave <i>Agave vilmoriniana</i>	12	3 gal

Legend

Hardscape - Patios, Walkways, Driveway

Lighting Legend

Refer to cut sheets on A10 for more info.

TYPE	QTY	LUMENS (EA.)	COLOR TEMP
A. Landscape Uplight	5	135	2700k
B. Step Light	6	240	2700k
C. Wall Sconce	5	500	2700k
D. Recessed Can Light (w/ 45 degree cutoff)	16	630	2700k



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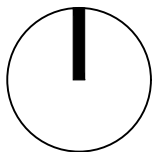
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SHEET:	

**A9**  
Landscape / Lights

Landscape & Lighting Plan .1  
1/16" = 1'-0"



**H4 LED Downlight Series 2nd Generation – LED Light Engines**

The Halo H4 LED is a family of 4" aperture recessed downlights with H457 series housings designed for use with Halo EL406 Series LED Light Engines and compatible TL4 and TLS4 Series LED trims. Halo H4 LED housings have integral LED drivers that offer dimming as a standard feature.

Halo H4 LED is a three part system: EL406 Light Engines, with TL4/ TLS4 trims and H457 housings. H4 LED 2nd Generation features 90 CRI color rendering index and offers a superior optical design that yields productive beam lumens, good cutoff and low glare.

DESIGN FEATURES

MECHANICAL

(A) Upper Heat Sink

- Durable extruded aluminum construction.
- Conducts heat away from the LED keeping the junction temperatures below specified maximums, even when installed in insulated ceiling environments.
- (B) Lower Heat Sink
- Durable die-cast aluminum construction.
- Precision keyed flange designed to lock with matching keyed slots in H4 trim rings.
- Works in conjunction with the upper heat sink for heat conduction away from the LED

MOUNTING

(C) Friction Blades

- Precision formed stainless steel spring blades provide retention of the EL406 series of light engines in the H457 series housings.
- Friction blade design allows the light engine to be installed in any position within the housing aperture (360 degrees).

ELECTRICAL

(D) LED Connection

- LED connector is non-screw base offering easy installation with the H457 Series housings.
- LED connector is compliant with high-efficacy luminaire code requirements as a non-screw base socket.
- Separate grounding cable included on the module for attachment to the housing during installation.

COLOR SPECIFICATION & QUALITY STANDARDS

- Halo employs a tight chromaticity specification and LED color binning process to ensure LED color uniformity, sustainable Color Rendering Index (CRI) and Correlated Color Temperature (CCT) consistency over the useful life of the LED
- Halo H4 LED chromaticity specification is 3SDCM initial and 5SDCM at rated life, which exceeds ENERGY STAR® SSL color standards (as per ANSI 78.377-2008).
- Every Halo LED Module is quality tested and performance measured on the production line, and serialized to register lumens, wattage, CRI and CCT.
- Halo LED's serialized testing and measurement process further ensures color and lumen consistency to meet stringent Cooper Lighting specifications and exceed ENERGY STAR® SSL standards.
- Halo LED Modules and light engines include color designation in the model number.
- Example: EL406927

- 2700°K nominal CCT
- > 90 CRI

- 2700°K nominal CCT
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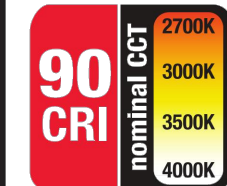
- 2700°K nominal CCT
- > 90 CRI

Catalog #	Type
Project	
Comments	
Prepared by	Date

QUALIFICATION

- Halo LED offers the choice of four correlated color temperatures: 2700°K, 3000°K, 3500°K, 4000°K
- 90 CRI
- LED package consisting of an engineered array of multiple LEDs to create one virtual source, for a productive "cone of light"
- Designed for interchangeable trim choices, with selection from multiple reflector, baffle, and lens trim options
- H4 LED Light Engines are ENERGY STAR® Qualified as used with designated LED trims\*
- Can be used to meet State of California Title 24, and International Energy Conservation Code – IECC, High Efficacy requirements when used with designated LED trims\*
- LED emits no ultraviolet and only minimal infrared wavelengths
- ROHS compliant

**H4 LED Downlight 2nd Generation**  
**2700K, 3000K, 3500K, 4000K**  
**4-Inch LED Light Engine**  
**FOR USE WITH H457 Series 4" LED Housings**  
**90 CRI**  
**High Efficacy LED**



Refer to ENERGY STAR Qualified Products List  
Can be used to comply with California Title 24 High Efficacy requirements.  
Certified to California Appliance Efficiency Database under JAL.

TD518269EN  
July 27, 2017 2:50 PM

Energy Data / Non-IC Housings

- Minimum operating temperature: -30°C / -22°F
- EMI/RFI Emissions FCC47CFR Part 18, Consumer Limits
- Sound rating: Class A standards
- Input voltage: universal 120V - 277V
- Power factor: >0.90
- Input frequency: 50/60Hz
- THD: <20%
- Input power: 13.0 W
- Input current: 121mA
- Dimmable:
  - 120V leading edge (LE) and trailing edge (TE) dimmers
  - 0-10V controls



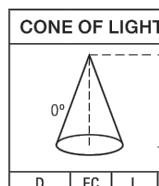
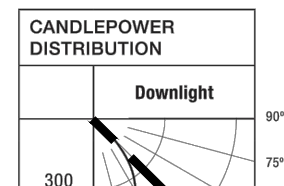
H457 TATE010 Non-IC Rated / New Construction

- For non-insulated ceilings
- Insulation must be kept 3" from all sides and top of housing
- AIR-TITE™ meets restricted airflow requirements per ASTM E-283
- Driver: 13W, 120V-277V, 50/60Hz commercial / residential
- EMI/RFI: Rated for the more stringent FCC Consumer Limits
- Dimmable with most 120V leading edge (LE) and trailing edge (TE) dimmers to 10% (5% on dimmers with low-end trim adjustment)
- Dimmable to 10% with 0-10V DC dimming controls (two low voltage control wires required)
- Dimensions: 5-1/2"L x 8"W x 5-1/2"H (with 1/2" plaster lip) - Ceiling cutoff: 4-1/2"

EL406930-TL402 TBZS (BRONZE)

Test Number	P123702
LED Module	EL406930
Trim	4" Specular Clear Reflector w/ Satin®
Lumens	59.2 Lumens
SC	0.75 / 0.75 / 0.84

\*45-DEGREE CUTOFF



Angle	°	145	55	47	35	25	15	5
0	FC	L	W					
5.5	28.3	4	4					
7	36.1	5.2	5.2					
8	43.9	6	6					
9	51.7	6.8	6.8					
10	59.5	7.4	7.4					
12	67.3	8	8					

ZONAL LUMEN SUMMARY	Zone	(Lumens)	%Fixture
0-30	472	61.3	
0-40	652	84.7	
0-60	790	98.7	
0-90	770	100.0	
90-180	0	0.0	
0-180	770	100.0	

H4 LED 2nd Generation Downlight Collection - Lumen and Compliance Summary

H4 LED Downlight Collection	ELG406927 - 2700K	ELG406930 - 3000K	ELG406935 - 3500K	ELG406940 - 4000K
Trim Type	Trim Model	LUMENS ENERGY California IECC & (1) STAR (2) T24 (3) WSEC (4)	LUMENS ENERGY California IECC & (1) STAR (2) T24 (3) WSEC (4)	LUMENS ENERGY California IECC & (1) STAR (2) T24 (3) WSEC (4)
Satin® Glass Lens Reflector	TL402SCS	710 Yes Yes Yes Yes	770 Yes Yes Yes Yes	780 Yes Yes Yes Yes
Satin® Glass Lens Reflector	TL402HLS	740 Yes Yes Yes Yes	810 Yes Yes Yes Yes	820 Yes Yes Yes Yes
Satin® Glass Lens Reflector	TL402WHLS	710 Yes Yes Yes Yes	780 Yes Yes Yes Yes	870 Yes Yes Yes Yes
Satin® Glass Lens Reflector	TL403WHLS	720 Yes Yes Yes Yes	760 Yes Yes Yes Yes	780 Yes Yes Yes Yes
Satin® Glass Lens Reflector	TL402SRLS	650 Yes Yes Yes Yes	710 Yes Yes Yes Yes	720 Yes Yes Yes Yes
Satin® Glass Lens Reflector	TL402SRLS	660 Yes Yes Yes Yes	720 Yes Yes Yes Yes	730 Yes Yes Yes Yes
Satin® Glass Lens Reflector	TL402SRLS	690 Yes Yes Yes Yes	700 Yes Yes Yes Yes	770 Yes Yes Yes Yes
Satin® Glass Lens Reflector	TL403SRLS	630 Yes Yes Yes Yes	690 Yes Yes Yes Yes	700 Yes Yes Yes Yes

HINKLEY & R.

HINKLEY LIGHTING, INC.  
33000 PIN OAK PARKWAY | AVON LAKE, OHIO 44012  
(PH) 440.653.5500 | (F) 440.653.5555  
HINKLEYLIGHTING.COM | FREDRICKRAMOND.COM

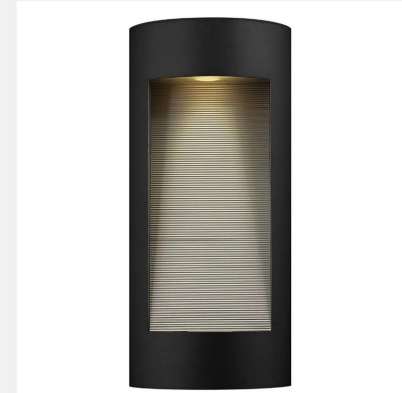


LUNA LED STEP 120V 58504BZ
BRONZE
WIDTH: 3.0"
HEIGHT: 4.5"
WEIGHT: 0.7 LBS
MATERIAL: ZINC-ALUMINUM ALLOY
SOCKET: 4W LED *INCLUDED
LUMENS: 240
COLOR TEMP: 2700K
CRI: 90
INCANDESCENT EQUIVALENCY: 1 x 20W
DIMMABLE: Yes, on any Incandescent, MLV, ELV, or CL dimmer.
NOTES: INDOOR/OUTDOOR USE.
EXTENSION: 0.5"
CERTIFICATION: C-US WET RATED
VOLTAGE: 120V
UPC: 640665585032

B. Step Light

HINKLEY & R.

HINKLEY LIGHTING, INC.  
33000 PIN OAK PARKWAY | AVON LAKE, OHIO 44012  
(PH) 330.653.5500 | (F) 440.653.5555  
HINKLEYLIGHTING.COM | FREDRICKRAMOND.COM



Large Wall Mount Lantern 1664SK BZ (BRONZE)

ITEM NUMBER	1664SK
BRAND	Hinkley Lighting
MATERIAL	Extruded Aluminum
GLASS	Etched Glass Lens
HEIGHT	24.0"
WIDTH	9.0"
VOLTAGE	120V
WATTAGE	2-20W GU10 *Included
CERTIFICATION	C-US Wet Rated

FEATURES AND BENEFITS

- Suitable for use in wet (interior direct splash and outdoor direct rain or sprinkler) locations as defined by NEC and CEC. Meets United States UL Underwriters Laboratories & CSA Canadian Standards Association Product Safety Standards
- Fixture is Dark Sky compliant and engineered to minimize light glare upward into the night sky.
- Fixture is ADA compliant and adheres to the standards and guidelines listed by the Americans with Disabilities Act.
- For complete warranty information visit (hyperlink)
- 2 year finish warranty
- 12 year warranty on electrical wiring and components
- Bold lines and a clean, minimalist style complement contemporary architecture
- Striking black finish enhances design

FINISH: BRONZE

AT HINKLEY, WE EMBRACE THE DESIGN PHILOSOPHY THAT YOU CAN MERGE TOGETHER THE LIGHTING, FURNITURE, ART, COLORS AND ACCESSORIES YOU LOVE INTO A BEAUTIFUL ENVIRONMENT THAT DEFINES YOUR OWN PERSONAL STYLE. WE HOPE YOU WILL BE INSPIRED BY OUR COMMITMENT TO KEEP YOUR 'LIFE AGLOW'.

S9382

6.5MR16/LED/40°/27K/120V/GU10  
6.5 watt; LED MR16 LED; 2700K; 40° beam spread; GU10 base; 120 volts

- Features
  - Solid State LED lighting
  - High Efficacy
  - Long life
  - Dimmable
- UL approved for totally enclosed fixtures



S9382

Item Number	UPC	Voltage	Watts	Incandescent Equivalent	Power Factor	Lamp Shape	Base
S9382	045923093821	120	6.5	50W	0.92	MR16	GU10
Lamp Code	Dimmable/Non-Dimmable	Suggested Dimmers	MOL In Inches	MOD In Inches	Initial Lumens	Average Rated Hours	Kelvin Temp
6.5MR16/LED/40°/27K/120V/GU10	Dimmable	Compatible dimmers for S9382	2-3/16"	2.00"	500	25000	2700
Color	CRI	Beam Spread Deg	Operating Temperature	Pack	Package Type	RoHS Compliant	UL or ETL Listed
Warm White	80	40	-25C (-13F) to a maximum of +45C (+113F)	48/12	Box	Yes	Yes
Warranty							
5 Year Limited - 10 hour use per day							

C. Sconce

NP Up Light SPECIFICATIONS

NP-BL (BRONZE METALLIC), >150 LUMENS, 2700K

Output	1LED	3LED	6LED	9LED	ZDC
Total Lumens †	50	135	280	360	110
Input Voltage	10 to 15V	10 to 15V	10 to 15V	10 to 15V	11 to 15V
Input Power (W):	2.0	4.2	10.1	11.2	9.1
VA	2.4	4.5	13.5	13.5	11.0
Efficacy (Lumens/Watt)	25	32	27	32	21
Color Rendering Index (CRI)	67	68	80	68	82
Center Beam Candlepower*					
Spot (17-20")	232	464	1069	897	172
Dimming	PWM, Phase**	PWM, Phase**	PWM, Phase**	PWM, Phase**	--
RGBW Available	No	No	No	No	Yes
Luxor Compatibility					
Default	Zoning	Zoning	Zoning	Zoning	--
ZD Option	Zoning/Dimming	Zoning/Dimming	Zoning/Dimming	Zoning/Dimming	--
ZDC Option	--	--	--	--	Zoning/Dimming/Color
Minimum Rated Life (L70)	50,000 Hrs	50,000 Hrs	50,000 Hrs	50,000 Hrs	50,000 Hrs

\* Information not available for Flood or Wide Flood \*\* For optimal performance, use a trailing-edge, phase-cut dimmer. † Measured using the 3,500K CCT lens. Multiples for other CCTs include 0.80 (2,700K), 0.65 (4,500K), and 0.65 (5,500K).

\*135 X 0.8 = 108 ACTUAL LUMENS

FX Luminaire

FX Luminaire is an industry-leading manufacturer of landscape and architectural lighting products with a focus on the advancement of LED technology and digital lighting control with zoning, dimming, and color adjustment capabilities. We offer a full spectrum of highly efficient lighting fixtures that can be utilized to create elegant, cutting-edge landscape lighting systems for commercial or residential applications. Our products are available exclusively via our extensive professional distributor network.

Materials

Die-cast aluminum A380 housing and shroud with stainless steel hardware. Die-cast zinc/aluminum alloy knuckle.

Lamp

Integrated module with Cree LEDs. Gold-plated connectors and conformational coated for maximum reliability and corrosion resistance. Proprietary on-board intelligent driver uses firmware-controlled temperature regulation, maximizing LED life. Field upgradeable and replaceable, the LEDs are rated to 50,000 hrs. Maximum drive current: 1A.