

- CODES IN EFFECT
- 2015 International Residential Code 2015 International Building Code
2015 International Mechanical Code 2015 International Plumbing Code
2015 International Fuel Gas Code 2015 International Fire Code
2015 Int'l Property Maintenance Code 2014 National Electric Code
2015 International Energy Conservation Code
- INTERNATIONAL RESIDENTIAL CODE
- Table R301.2 (1) data:
- | | |
|---------------------------------|--|
| Ground Snow Load: | 0 psf |
| Wind Design: Speed | 115 mph (3 second gust method)
Exposure B (site specific) |
| Topographic effects | No |
| Seismic Design Category: | B |
| Weathering: | Negligible |
| Frost Depth: | 12 inches below finished grade. |
| Termite: | Moderate to Heavy |
| Winter Design Temperature: | 34° F |
| Ice Barrier Underlayment Req'd: | No |
| Flood Hazards: | NFIP 040049 |
| Air Freezing Index: | 0 |
| Mean Annual Temperature: | 71.2° F |
- INTERNATIONAL BUILDING CODE
- | | |
|---|-------------------------------------|
| Spectral Response Acceleration: | 0.2 sec = 28.9%g
1.0 sec = 8.5%g |
| At rest Soil Press (Equivalent fluid weight): | 60 psf/ft w/o soils report |
| Active Soil Press (Equivalent fluid weight): | 35 psf/ft w/o soils report |
- The figure is a hand-drawn site plan for a residential property. At the top left, there is a north arrow pointing upwards, labeled "north". Below it, a "VICINITY MAP" shows the intersection of N. 40TH ST., E. LINCOLN DR., and TAMM BLVD. The main site plan shows a rectangular lot bounded by North 40th Street to the north, a street to the east, and another street to the south. Key dimensions include a front setback of 20 feet from North 40th Street, side setbacks of 40 feet, and a rear setback of 20 feet. The lot width is 298.74 feet, and the depth is 211.85 feet. A dashed line indicates the boundary of disturbed areas. The existing residence is shown as a complex polygonal shape. New additions include a new 2nd story guest room and a new 1st floor addition. Other features include a concrete parking area, a concrete driveway, and a gate. Survey points are marked with "RIDGE +22' FR. L.N.G." and "L.M.G. PER SURVEY". A note states "INDICATES BOUNDARY OF DISTURBED AREAS". The bottom of the plan shows North 40th Street with a width of 275.09 feet and a bearing of S 10° 17' 40" E.

Spectral Response Acceleration: 0.2 sec = 28.9%g
1.0 sec = 8.5%g

At rest Soil Press (Equivalent fluid weight): 60 psf/ft w/o soils report
Active Soil Press (Equivalent fluid weight): 35 psf/ft w/o soils report

NEW LIVABLE = +836

S-1 Structural

S-2 Structural

E) Electrical/ Mechanical

% OF DISTURBED AREA
DISTURBED AREA
 $\div \frac{16,272 \text{ DISTURBED}}{62,633 \text{ LOT AREA}}$
25.9 %

- * NO ADDITIONAL DISTURBANCE ASSOCIATED WITH THIS PROJECT
- * NO NEW LANDSCAPE LIGHTING ON THIS PROJECT

* PLANS COMPLY W/
2015 INT'L. RESIDENTIAL
BUILDING CODES

Addition and Remodel
Firestone Residence
7001 N. 40th Street
Paradise Valley, Az. 85253

Site Plan

SCALE: 1" = 20'-0"

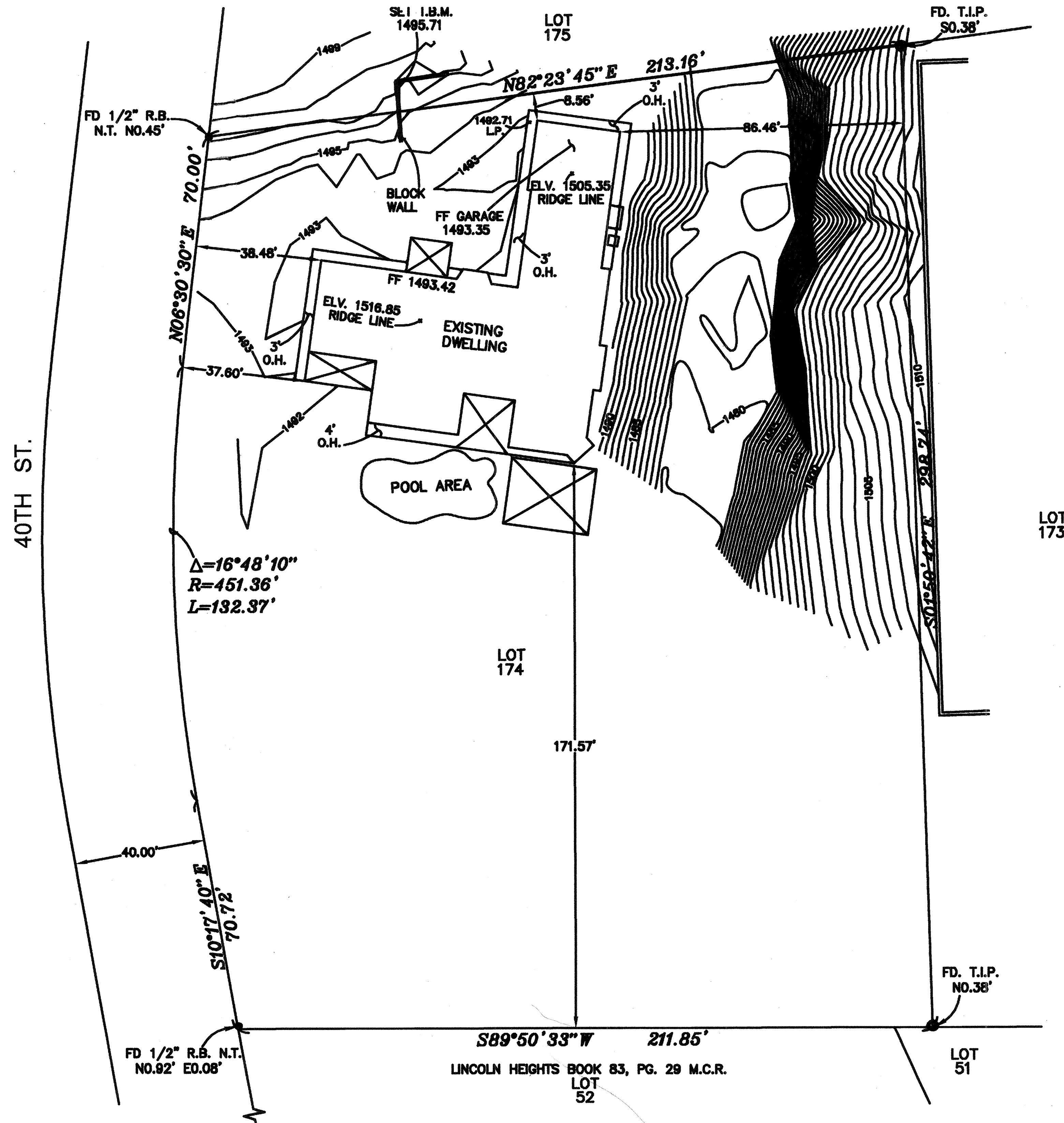
8560 East Wood Drive Scottsdale

Bruce Bender Design Studio

480-620-1680

RESULTS OF SURVEY

OF LOT 174 OF CLEARWATER HILLS No 2 IN A PORTION OF THE SW1/4 OF SECTION 6,
T2N, R4E OF THE G.&S.R.B.&M., MARICOPA COUNTY, ARIZONA
AS RECORDED IN BOOK 84 OF MAPS, PAGE 25 M.C.R.



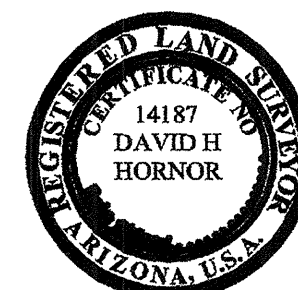
889°50'33\" W 211.85'
LINCOLN HEIGHTS BOOK 83, PG. 29 M.C.R.
LOT 52

AREA

62,881 SQ. FT. NET
1.4435 ACRES NET

BENCHMARK:

GDAC # 24035-1 MHD BC Elev. 1403.453 (88)



EXPIRES 03-31-18

LAND SURVEYOR'S CERTIFICATION:

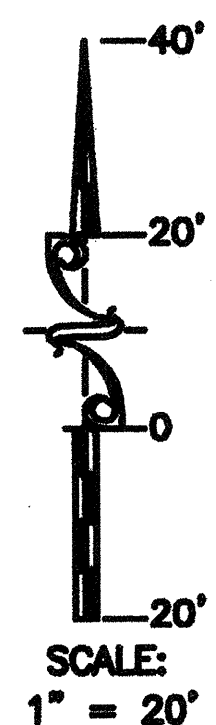
I AM A LAND SURVEYOR REGISTERED TO PRACTICE IN ARIZONA. THIS PLAT WAS MADE UNDER MY DIRECTION AND MEETS THE "MINIMUM STANDARDS FOR ARIZONA LAND BOUNDARY SURVEYS." THIS SURVEY WAS MADE DURING THE MONTH OF DECEMBER, 2017.

THE WORD "CERTIFICATION" AS SHOWN AND USED HEREON MEANS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS OF THE SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED.

REGISTERED LAND SURVEYOR # RLS 14187

LEGEND

FD.	FOUND
N.T.	NO TAG
L.P.	LOW POINT
R.B.	REINFORCING BAR
T.I.P.	TAGGED IRON PIN
•	REBAR
○	TAGGED IRON PIN



Addition and Remodel
Firestone Residence
7001 N. 40th Street
Paradise Valley, Az. 85253

CLIENT: SCOTT THOITS
7001 N 40TH ST.
PARADISE VALLEY 85253

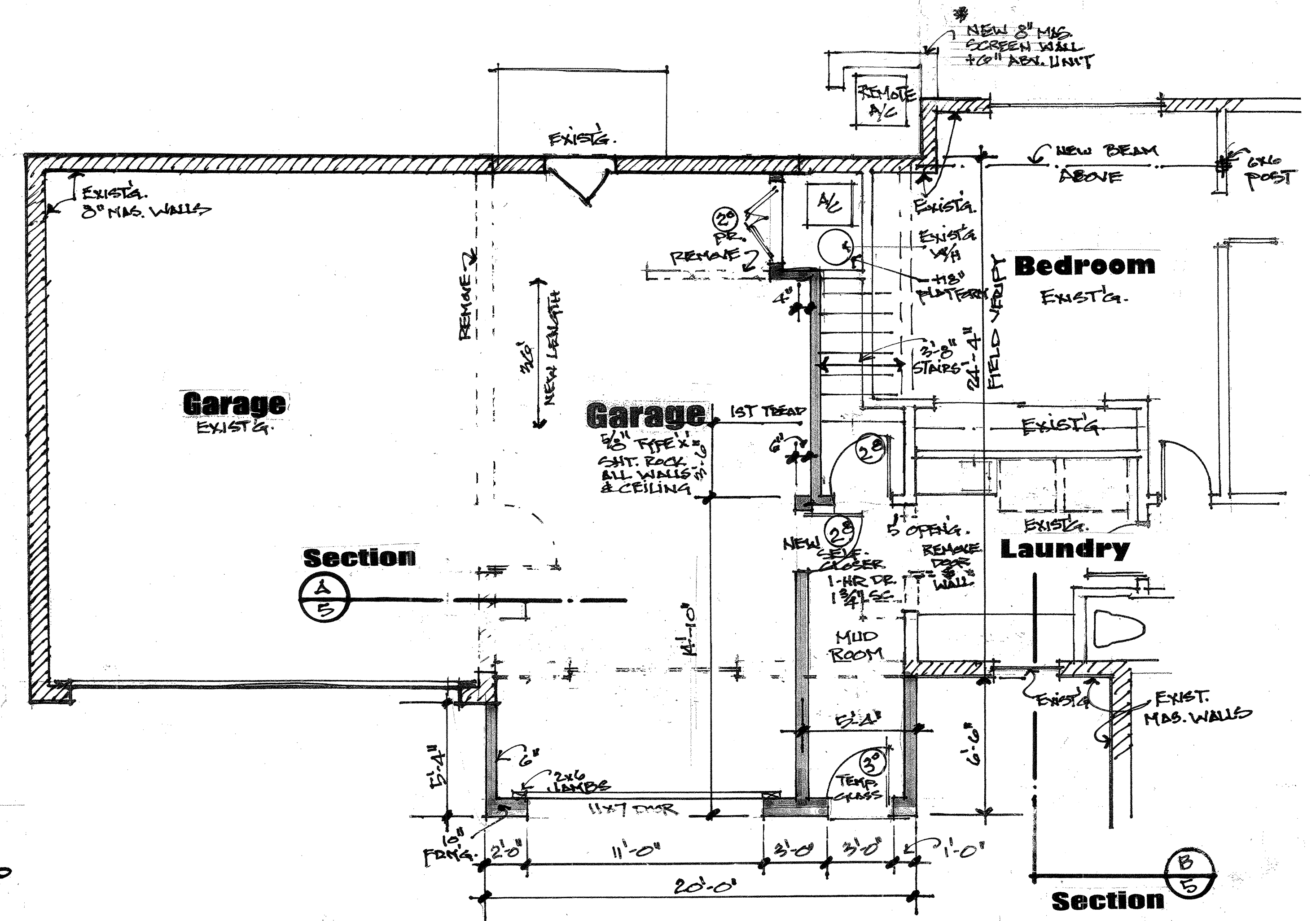
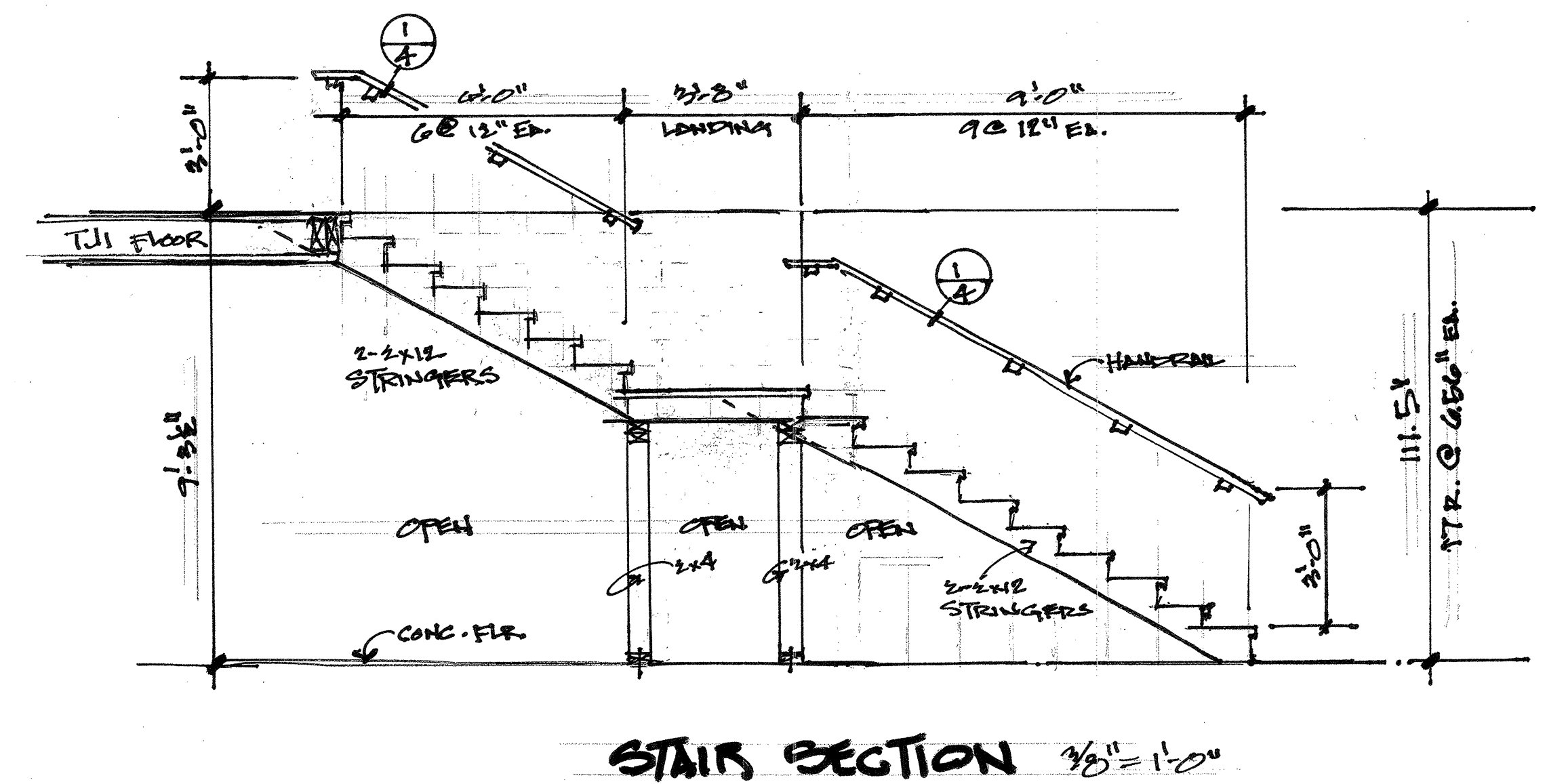
DATE: 11-20-17
DRAWN BY JMB
Sheet 1

1A

JOB No. 2170511

Revisions:
01-22-18

PROFESSIONAL LAND SURVEYS OF ARIZONA L.L.C.
10505 N. 69TH Street, Suite 101, Scottsdale, AZ 85253
phone: 480.905.1126 fax: 480 905 1859



Addition and Removal
Firestone Residence
7001 N. 40th Street
Paradise Valley, Az. 85253

INTERIOR FINISH:
1/2" GYPSUM BOARD, TYPICAL.
PROVIDE 5/8" TYPE 'X' GYP. BD. AT
GARAGE WALLS AND CEILING.
ALL WET AREAS SHALL RECEIVE 1/2"
M.R. GYP. BD. TYPICAL UNLESS
NOTED OTHERWISE.

TYPICAL WALL CONSTRUCTION:
EXTERIOR WALLS: 2 X 6 AT 24" O.C.
INTERIOR WALLS, NON-BEARING: 2 X 4 AT 24" O.C.
INTERIOR WALLS, BEARING: 2X4 AT 16" O.C.

NEW LIVABLE = +72 SQ. FT.
(MUD ROOM)
NEW GARAGE/ = +130 S.F.
STORAGE

DIMENSIONS

Floor Plan

8560 East Wood Drive Scottsdale

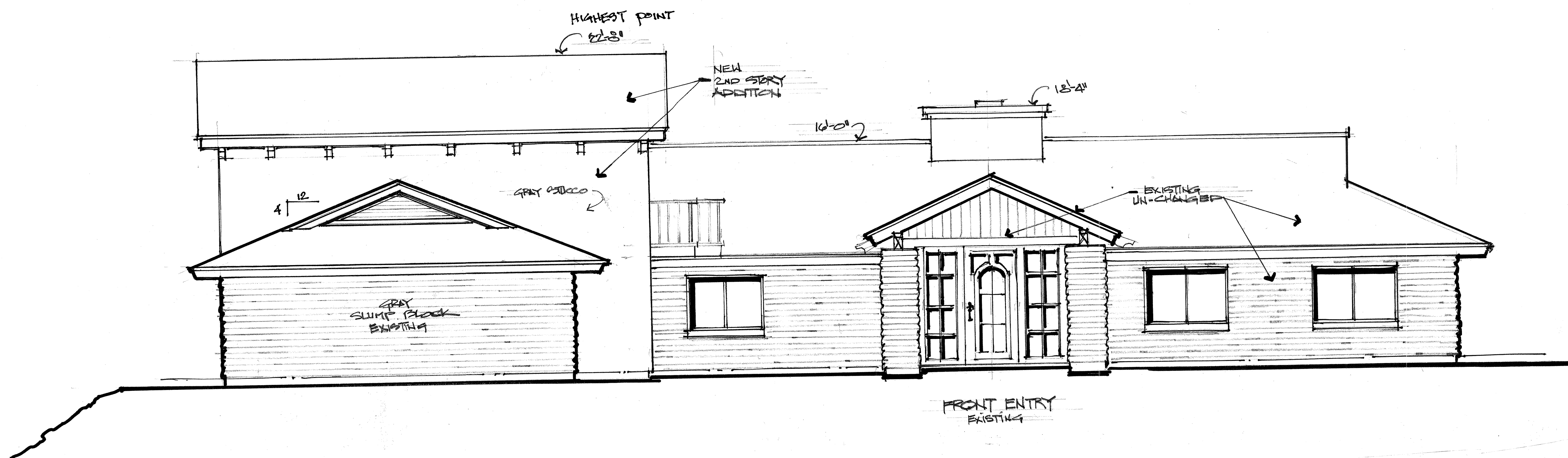
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- ## NOTES

- ## Rear Elevation



Addition and Remodel
Firestone Residence
 7001 N. 40th Street
 Paradise Valley, Az. 85253

Exterior Elevations

8560 East Wood Drive Scottsdale

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Sec. N1104 – Lighting Systems Requires a Minimum of Fifty Percent (50%) of the Lamps in Permanently Installed Lighting Fixtures shall be High-Efficiency Lamps.

N1104.1 (R404.1) Lighting equipment (Mandatory). A minimum of 75 percent of the lamps in permanently installed lighting fixtures shall be high-efficiency lamps or a minimum of 75 percent of the permanently installed lighting fixtures shall contain only high-efficiency lamps.

Exceptions:

1. Low-voltage lighting shall not be required to utilize high-efficiency lamps.

N1104.1.1 (R404.1.1) Lighting equipment (Mandatory).

Fuel gas lighting systems shall not have continuously burning pilot lights.

Sec. R315 – Carbon monoxide alarms are required in all new dwelling units with a "fuel-burning" appliance.

R315.1 Carbon monoxide alarms. For new construction, an approved carbon monoxide alarm shall be installed outside of each separate sleeping area in the immediate vicinity of the bedrooms in dwelling units within which fuel-burning appliances are installed and in dwelling units that have attached garages.

NOTE:

ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT SINGLE PHASE 15-20 AMP OUTLETS INSTALLED IN FAMILY, DINING, LIVING, BEDS, RECREATION ROOMS, CLOSETS AND HALLS SHALL BE PROTECTED BY A COMBINATION TYPE ARC-FAULT CIRCUIT INTERRUPTER INSTALLED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT.

NOTE:

15- AND 20-AMPERE RECEPTACLES MUST BE LISTED AS TAMPER-RESISTANT (E4002.14)

ELECTRICAL NOTES

Sec. E3902.12 – Arc-Fault Protection is expanded to include all habitable spaces (except Kitchens).

E3902.12 Arc-fault circuit-interrupter protection. All branch circuits that supply 120-volt, single-phase, 15- and 20-ampere outlets installed in family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways and similar rooms or areas shall be protected by a combination type arc-fault circuit interrupter installed to provide protection of the branch circuit.

Sec. E3905.6 – Any box used at a luminaire must be marked with the maximum weight it can support if other than 50#.

E3905.6 Boxes at luminaire outlets. Outlet boxes used at luminaire or lampholder outlets shall be designed for the support of luminaires and lampholders and shall be installed as required by Section E3904.3.

E3905.6.1 Wall Outlets. Boxes used at luminaire or lampholder outlets in a wall shall be marked on the interior of the box to indicate the maximum weight of the luminaire or lamp holder that is permitted to be supported by the box in the wall, if other than 50 pounds (22.7 kg).

Exceptions:

1. A wall-mounted luminaire or lampholder weighing not more than 6 pounds (2.7 kg) shall be permitted to be supported on other boxes or plaster rings that are secured to other boxes, provided that the luminaire or its supporting yoke is secured to the box with not fewer than two No. 6 or larger screws.

E3905.6.2 Ceiling outlets. At every outlet used exclusively for lighting, the box shall be designed or installed so that a luminaire or lampholder can be attached. Such boxes shall be capable of supporting a luminaire weighing up to 50 pounds (22.7 kg). A luminaire that weighs more than 50 pounds (22.7 kg) shall be supported independently of the outlet box, unless the outlet box is listed and marked for the maximum weight to be supported.

Sec. 4002.14 – Tamper-resistant receptacles are required on all 125 volt 15 and 20 ampere circuits.

E4002.14 Tamper-resistant receptacles. In areas specified in Section E3901.1, 125-volt, 15- and 20-ampere receptacles shall be listed tamper-resistant receptacles.

JUNO Down-Lites | IC926LED9G3 (Letter C)
6" Standard Slope LED Housing IC Rated
MAX. 750 LUMEN

(2 SPOTS UPPER FLOOR OVERHALL)



Features

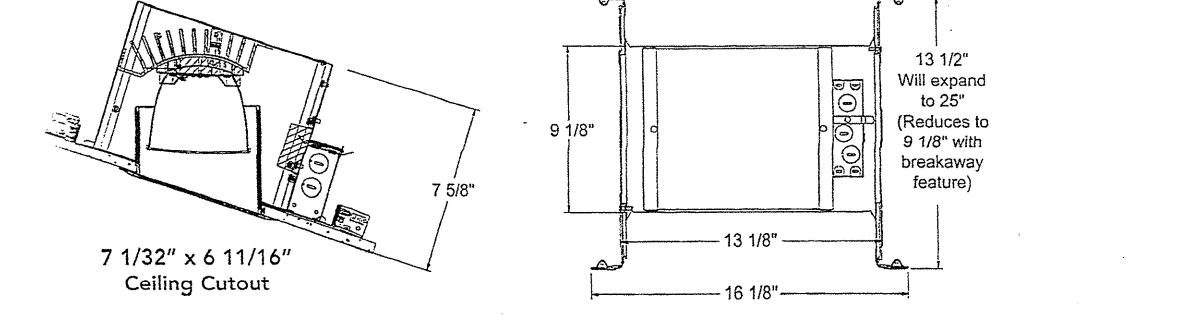
- 6" Standard slope LED housing
- Environmentally friendly, energy efficient
- No harmful ultraviolet or infrared wavelengths
- No lead or mercury
- Over 900 lumens using less than 15W*
- 2700K, 3000K, 3500K or 4100K color temperatures available
- Extruded heat sink and cast aluminum slider plate integrated directly with housing provides superior thermal management to ensure the long life of the LED
- Adjustable slider plate to position LEDs/reflector perpendicular to floor
- Replaceable light engine mounts directly to slider plate and incorporates the latest generation high lumen output LED array
- Computer-optimized internal reflector with high reflectance finish coupled with a high transmission diffusing lens conceals the LEDs and produces uniform aperture luminance
- Choice of dedicated 120V driver with forward phase and ELV dimming or universal 120-277V driver with 0-10V dimming
- Real Nail® 3 bar hangers: telescoping system with pre-installed removable nail for easy repositioning of housing in joist construction
- Integral T-bar mounting feature for secure installation in suspended ceilings
- Housing is vertically adjustable to accommodate up to a 1" ceiling thickness
- Pre-wired junction box with (6) 1/2" and (1) 3/4" knockouts with pryout slots, (4) non-metallic sheathed cable connectors, and ground wire
- Angle-cut baffles ensure grooves remain parallel to the floor to provide proper optics
- UL and cUL Listed for through-branch wiring
- Push-in electrical connectors included
- Trim selection follows IC926LED9G3 and IC928LED9G3

*Nominal input wattage at 120 volt operation with dedicated 120 volt driver under stable operating conditions

Ordering Information Example: IC926LED9G3-27K-1

Catalog No.	Color Temp.	Input Voltage
IC926LED9G3	27K 2700K 3K 3000K 35K 3500K 41K 4100K	1 Dedicated 120V Only (Forward Phase and ELV dimming) U Universal Voltage, 120-277V (0-10V dimming)

Dimensions



JUNO Down-Lites | IC22LEDG3 (Letter A, B)
6" LED Downlight Housing IC Rated
600 Lumen



Description

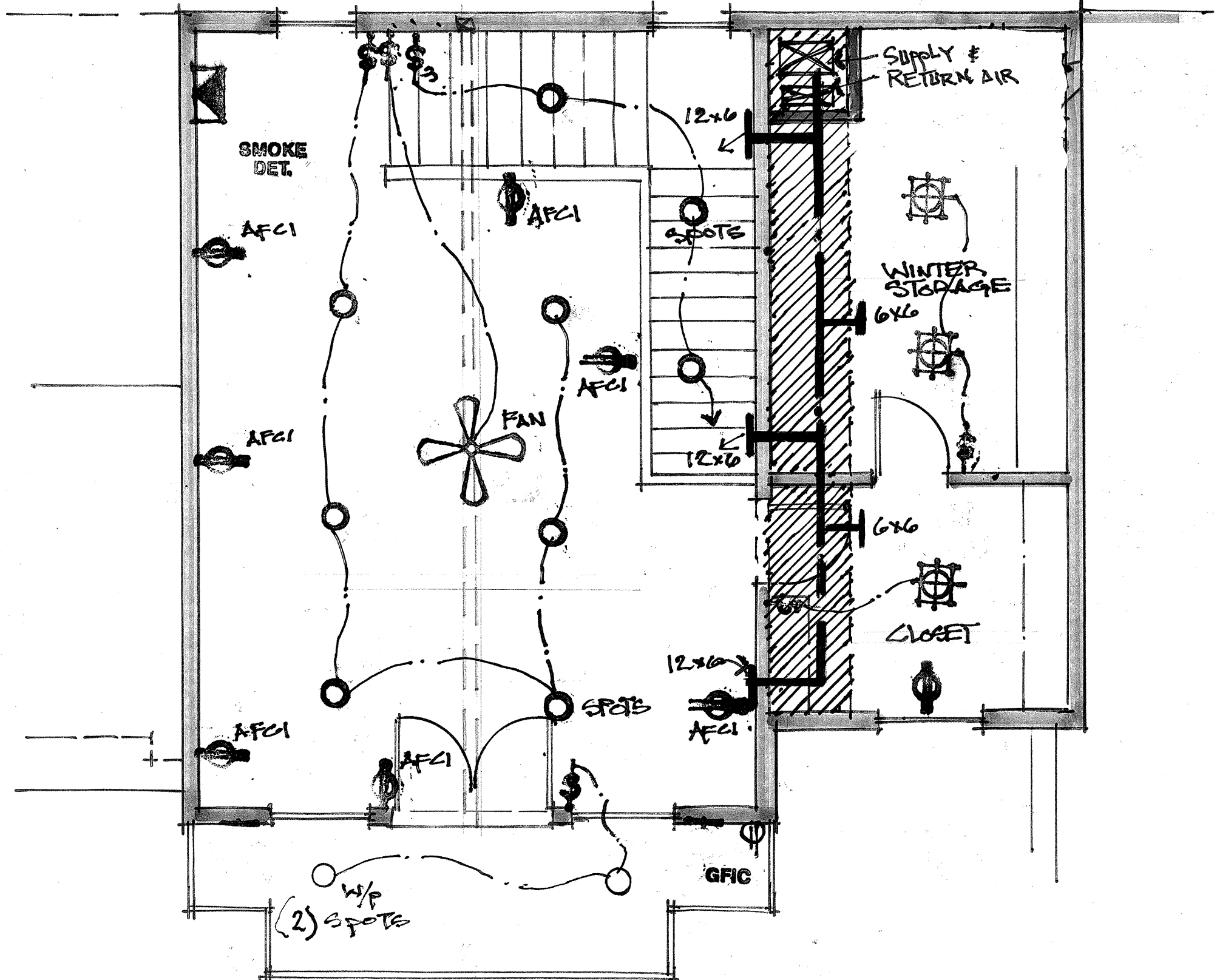
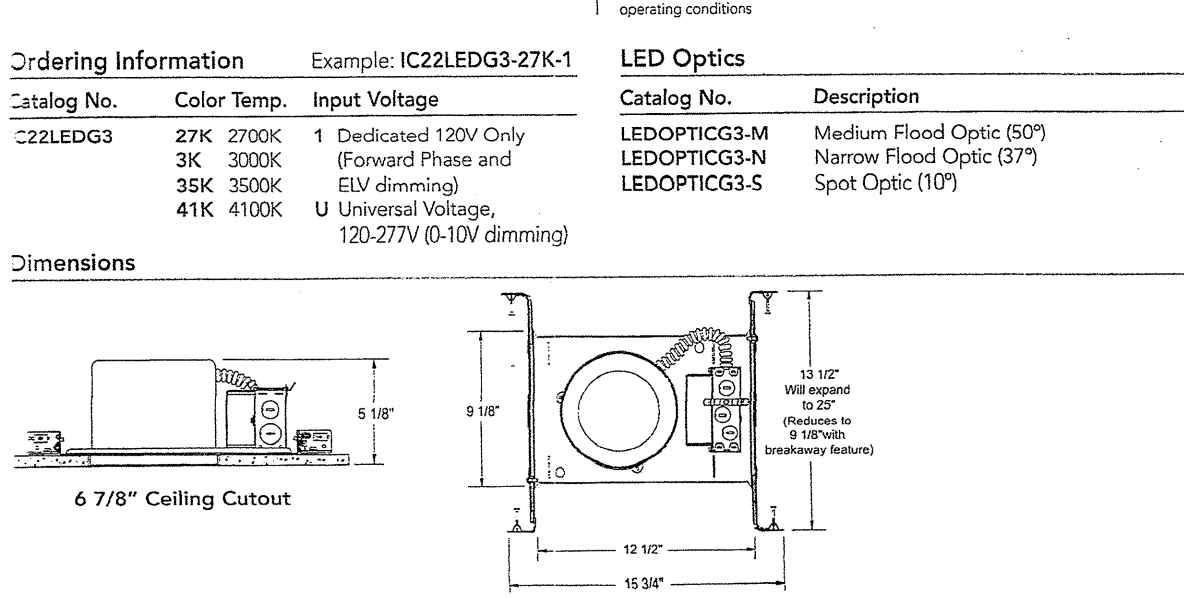
- Used dedicated LED, Air-Loc® sealed new construction
- Housing with integral light engine • Shallow housing design
- Housing for fit in 2x4 construction • No extra gasket required
- Housing is completely covered with insulation • Fully sealed
- Housing stops infiltration and exfiltration of air
- Housing heating and cooling costs • LED housing is designed to provide 50,000 hours of life and is compatible with many standard Juno trims
- Used for through-branch wiring, damp and wet locations
- UL and cUL • RoHS compliant • Wet location listed when used with 20, 21, 22, 23, 24, 243, 2300 and 0101 trims
- ENERGY STAR® Qualified to luminaires V1.1 requirements
- Can be used with select trims • Certified to the high efficiency requirements of California T24-2008 with select trims

Ordering Information

Example: IC22LEDG3-27K-1

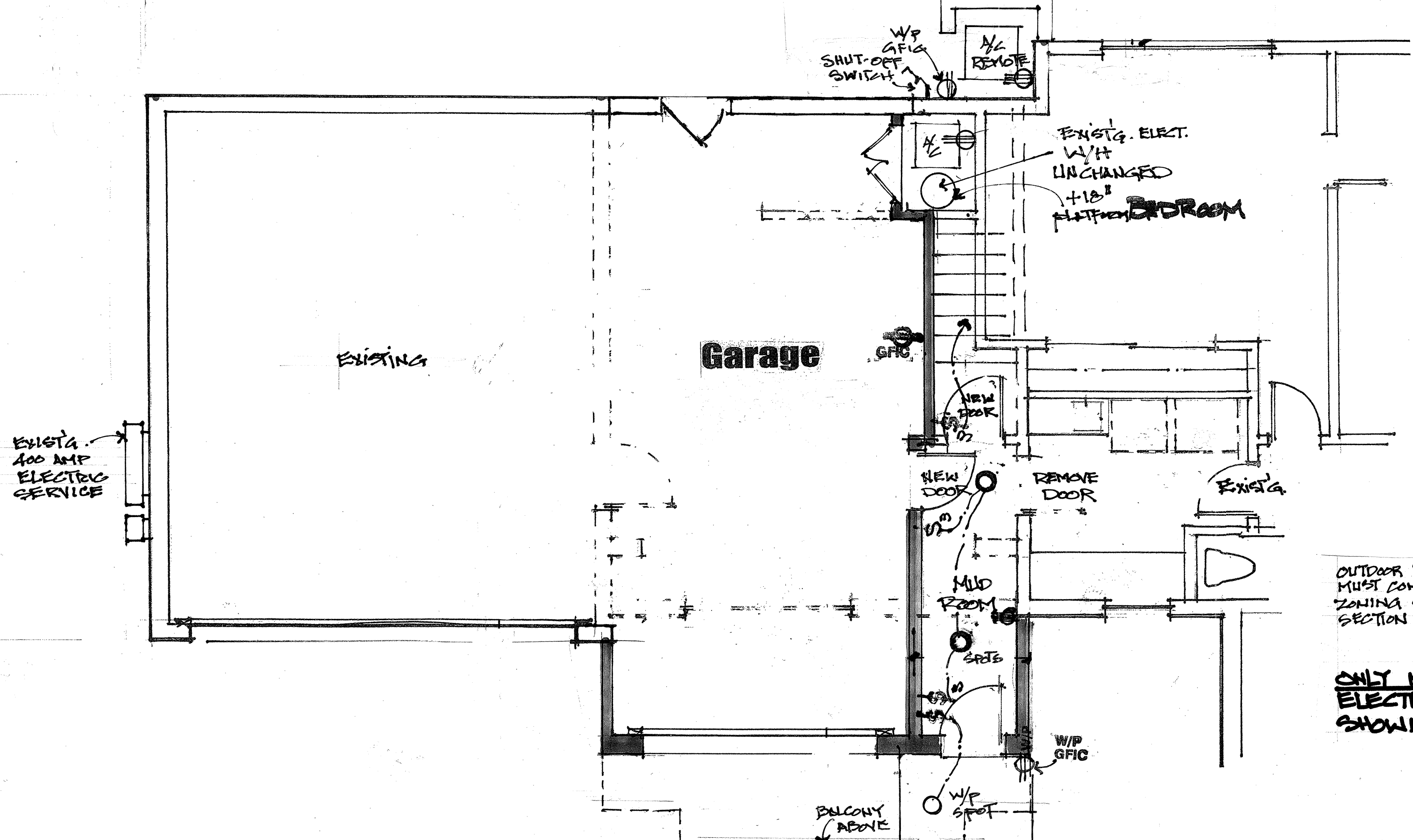
Catalog No.	Color Temp.	Input Voltage
IC22LEDG3	27K 2700K 3K 3000K 35K 3500K 41K 4100K	1 Dedicated 120V Only (Forward Phase and ELV dimming) U Universal Voltage, 120-277V (0-10V dimming)

Dimensions



Electrical Second Story Plan

1/4" = 1'-0"
SHOWS MECHANICAL



Electrical Floor Plan

8560 East Wood Drive Scottsdale

Bruce Bender Design Studio

480-620-1680

Addition and Remodel
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OUTDOOR LIGHTING - MUST COMPLY WITH ZONING ORDINANCE SECTION 102B

ONLY NEW ELECTRICAL SHOWN