- 1. All products listed by ICC/N.E.R. number(s) shall be installed per the report and manufacturer's written instructions. Product substitution(s) for product(s) listed shall also have an ICC approved evaluation report(s) or be approved.
- 2. Provide fire protection sprinkler system. (IFC 903. Amend.).

7. Lumber shall bear an approved grading stamp (R502.1).

- 3. Miscellaneous site structures, pools, spas, fences, site walls, retaining walls, and gas storage tanks may require
- 4. All exits to be operable from the inside without the use of a key or special knowledge. (310,1.4)
- 5. Doors leading into house from garage shall be 20 minute rated or equal, self-closing, self-latching. (R302.5.1 *Amend.*).
- 6. Exterior wall penetrations by pipes, ducts or conduits shall be caulked. (R307.6)
- 8. Bottom wood sill plates shall be pressure treated or equal. Exterior wall bottom sill plates shall bear/extend minimum 6 inches above finish grade. (R317.1, No. 3).
- 9. When structural plans are not sealed by registered design professional, provide engineered truss designs for all prefabricated trusses for review and approval by the City of Scottsdale. (R802.10.1).
- prerabricated trusses for review and approval by the City of Scottsdale. (R802.10.1).

 10. Fire blocking shall comply with (R602.8).
- 11. Masonry Bed and head joints...shall be 3/8 inch-thick, the thickness of the bed joint of the starting course placed over foundations shall not be less than 1/4 inch and not more than 3/4 inch. Mortar joint thickness shall be within the following tolerances from the specified dimensions: 1. Bed joint: + 1/8 inch. 2. Head joint: 1/4 inch + 3/8 inch. 3. Collar joints: 1/4 inch + 3/8 inch. (R607.2.1).
- 12. Windows located more than 72" above finished grade shall have the lowest part of clear opening of the window to be minimum 24 inches above the floor in which it serves. (R312.2.1).
- 13. Gypsum board applied to a ceiling shall be 1/2" when framing members are 16" o.c. or 5/8" when framing members are 24" o.c. or use labeled 1/2" sag-resistant gypsum ceiling board. Table R702.3.5 (d).
- 14. Showers and tub-shower combinations shall be provided with individual control valves of the pressure balance or thermostatic mixing valve type. (P2708.3).
- 15. Shower area walls shall be finished with a smooth, hard non-absorbent surface, such as ceramic tile, to a height of not less than 72 inches above the drain inlet. **Water-resistant gypsum board** shall not be installed over a vapor retarder in a shower or tub compartment. Cement, fiber-cement or glass mat gypsum backers installed in accordance with mfgrs' recommendations shall be used as backers for wall tile in tub and shower areas and wall panels in shower areas
- 16. Plumbing fixtures shall comply with the following conservation requirements: Water closets-Tank type 1.6 gal. /flush. Shower heads- 2.5 gal. /minute. Faucets- 2.2 gal. /minute, provide aerator. (Table P2903.2.).
- 17. Water treatment systems- shall be equipped with an automatic or readily accessible manual shutoff to prevent
- continuous flow when not in use. (N1103.4.1).

 18. Domestic dishwashing machines connected to a disposer shall have the discharge installed as high as possible.
- (P2717.3).

 19. Storage-tank type water heaters shall be installed with a drain pan and drain line. (P2801.5.1-.2).
- 20. The hot water circulating system shall be equipped with an automatic or readily accessible manual on switch and a temperature sensor activated shut-off that can automatically turn off the hot-water circulating pump when the set temperature is reached. N1103.4.1 amended.
- 21. Provide roof/attic ventilation unless insulation is applied directly to underside of roof sheathing or the dimension is 24 inches or less between the ceiling and bottom of roof sheathing. (R806.1 Amended).
- 22. Energy compliance shall be demonstrated by a passing REScheck energy compliance score. (N1101.2).
- 23. Provide Minimum R-3 insulation on hot water pipes. (N1103.4).
- 24. Supply and return ducts shall be insulated to a minimum R-8. Ducts in floor trusses, minimum R-6. (N1103.2.1).
- 25. Registers, diffusers and grilles shall be mechanically fastened to rigid supports or structural members on at least two opposite sides in addition to being connected to the ductwork they serve.
- 26. Dryer exhaust ducts shall conform to the requirements of Sections (M1502.4.5 amended), M1502.4.1 thru M1502.4.6. 27. Exhaust air from kitchens, bathrooms and toilet rooms shall not be re-circulated within a residence or to another dwelling
- unit, shall not discharge into an attic and/or crawl space and shall be exhausted directly to the outdoors. (M1507.2).

 28. Electrical fixtures located in damp or wet locations shall be "listed" to be suitable for such location. (E4003.9).
- 29. Provide a wall mounted GFCI protected receptacle outlet within 36" of a bathroom or powder room lavatory. (E3901.6).
- 30. 15- and 20-ampere receptacles installed in bathrooms, garages and grade-level portions of unfinished accessory buildings used for storage or work areas, and installed outdoors shall have GFCI protection for personnel. (E3902.1-.3).
- 31. All branch circuits that supply 15- and 20-ampere outlets installed in family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreations rooms, closets, hallways and similar rooms or areas shall be protected by a combination type arc-fault circuit interrupter (AFCI) installed to provide protection of the branch circuit. (E3902.12).
- 32. In areas specified in Section E3901.1, 15- and 20-ampere receptacles shall be listed **tamper-resistant**. (E4002.14).
- 33. Provide Smoke Alarms in new and existing areas of home. (R314).
 34. Approved carbon monoxide alarms shall be installed outside of each separate sleeping area in the immediate vicinity of the bedrooms in dwelling units within which fuel-fired appliances are installed and in dwelling units that have attached
- garages. (R315). 35. Provide a switch for the stairway when there are 6 or more risers. (R303.7.1).
- 36. Receptacle outlets shall be installed so that no point along the floor line in any wall space is more than 6 feet, measured
- horizontally, from an outlet in that space, including any wall space 2 feet or more in width. (E3901).

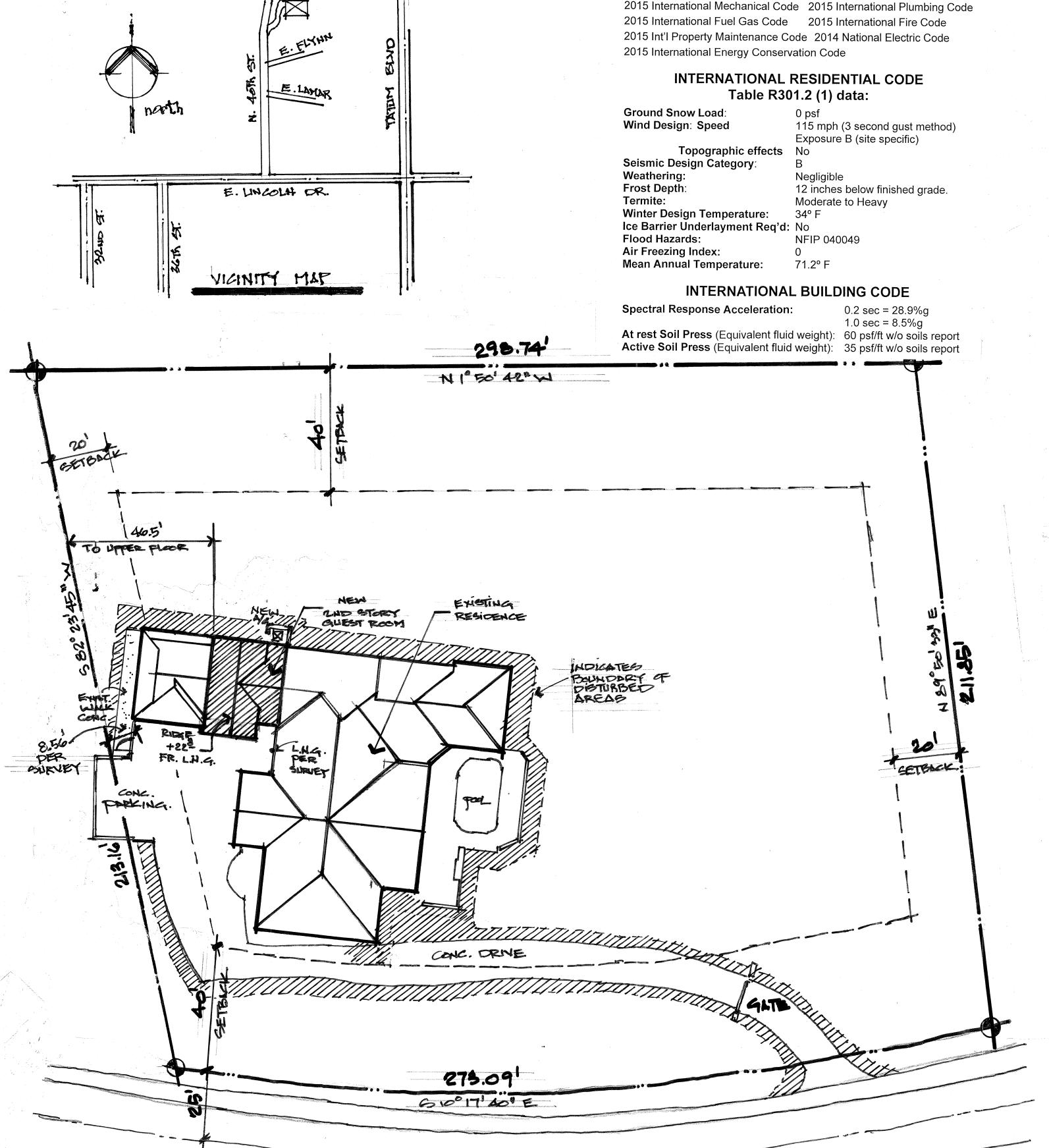
 37. Provide a minimum of two 20-amp small appliance branch circuits for the kitchen/dining/breakfast. (E3703.2).
- 37. Provide a minimum of two 20-amp small appliance branch circuits for the kitcher will improve actual (£3705 38. Provide a concrete encased grounding electrode of not less than 20 feet of #4 bare copper. (£3608.1.2).
- 39. Provide a concrete encased grounding electrode of not less than 20 feet of #4 bare copper. (£3606.1.2) 39. Provide bonding to the water piping, gas and metal building systems. (£3606.9, £3609.7).
- 40. All metal piping systems, metal parts of electrical equipment, and pump motors associated with the hydro massage tub shall be bonded together using a copper bonding jumper, insulated, covered, or bare, not smaller than No. 8 solid. (E4209).
- 41. A minimum of 75 percent of the lamps in permanently installed lighting fixtures shall be high-efficacy lamps or a minimum of 75 percent of the permanently installed lighting fixtures shall contain only high-efficacy lamps. (N1104.1).
 42. Recessed luminaires installed in the building thermal envelope shall be IC-rated, labeled with air leakage rate not more
- than 2.0 cfm... sealed with a gasket or caulk between the housing and the interior wall or ceiling covering. (N1102.4.4).

 43. Provide outside combustion air to all indoor fireplaces, with air intake located not higher than the firebox. (R1006.2).
- 44. Where a listed decorative appliance is installed, the fireplace damper shall be affixed open and shall comply with the listed decorative appliance manufacture's installation instructions. (G2434, G2435, G2453.1).
- 45. At least one thermostat shall be provided for each separate heating and cooling system. (N1103.1).
 46. The building shall be provided with ventilation that meets the requirements of Section M1507 or with other approved
- means of ventilation. Outdoor air intakes and exhausts shall have automatic or gravity dampers that close when the ventilation system is not operating. (N1103.5).

 47. The building or dwelling unit shall be tested and verified as having an air leakage rate of not exceeding 5 air changes per
- 47. The building or dwelling unit shall be tested and verified as having an air leakage rate of not exceeding 5 air changes per hour. Testing shall be conducted with a blower door at a pressure of 0.2 inches w.g. (50 Pascals). Testing shall be conducted by an approved third party. A written report of the results of the test shall be signed by the party conducting the test and provided to the building official. Testing shall be performed at any time after creation of all penetrations of the building thermal envelope. (N1102.4.1.2).
- 48. Ducts, air handlers, and filter boxes shall be sealed. Joints and seams shall comply with Section M1601.4.1, (N1103.2.2). Duct tightness shall be verified by either of the following:
- Post-construction test: Total leakage shall be less than or equal to 4 cfm per 100 square feet of conditioned floor area when tested at a pressure differential of 0.1 inches w.g. (25 Pa) across the entire system, including the
- manufacturer's air handler enclosure. All register boots shall be taped or otherwise sealed during the test.

 2. Rough-in test: Total leakage shall be less than or equal to 4 cfm per 100 ft2 of conditioned floor area when tested at a pressure differential of 0.1 inches w.g. (25 Pa) across the system, including the manufacturer's air handler enclosure. All registers shall be taped or otherwise sealed during the test. If the air handler is not installed at the time

of the test, total leakage shall be less than or equal to 3 cfm per 100 square feet of conditioned floor area.



7001 48th GT.

LATA

ADDRESS:
TOO! N. AOTH STREET
PARADISE VALLEY,
ARTZONA 85259

OWNER:

CODES IN EFFECT

2015 International Residential Code 2015 International Building Code

MICHOLAS FIRESTONE APN:

169-13-041

CLEARWATER HILLS II. LOT # 174

BK 64, PG 42, MCR

SQUARE FOOTIGES

EMOTA LIVABLE — A1600 BF.

NEW ADDIL LIMABLE — 886 SF.

NEW TOTAL — 4996 BF.

EXISTIG. GAR. & STOR. — 1030 SF.

EXISTIG. COND. POTIOS 742 BF.

HEW ADDIL GLRAGE — 130 SF.

NEW TOTAL — 1902 SF.

NEW OVERHAND — 242 SF.

NEW TOTAL CONERED AREAS = 6898 SF.

LOT SQ. FOOTAGE = 62,635 Sq.FT

70 COVERAGE = 11,0176

ZONING: R-48

HEW LIVABLE = +886 A

Index to Drawings

- 1) Site Plan
- 1a) Survey
- 1b) Hillside Drawings
- 3) Foundation Plan4) Floor Plans
-) Exterior Elevations
-) Framing Plans
- S-1 Structural
- S-2 Structural
- E) Electrical/ Mechanical

PROFICIOTURBED AREA
DISTURBED AREA
14 070 06TUBRED

- 62,633 LOT APEA 25.9 %

* NO ADDITIONAL DISTURBANCE ASSOCIATED WITH THIS PROJECT

** HO NEW LANDSCRPE

LIGHTHUM ON THIS PROJECT

* PLMS COMPS W/
2015 INTL. PESIDENTIAL
BUILDING GODES

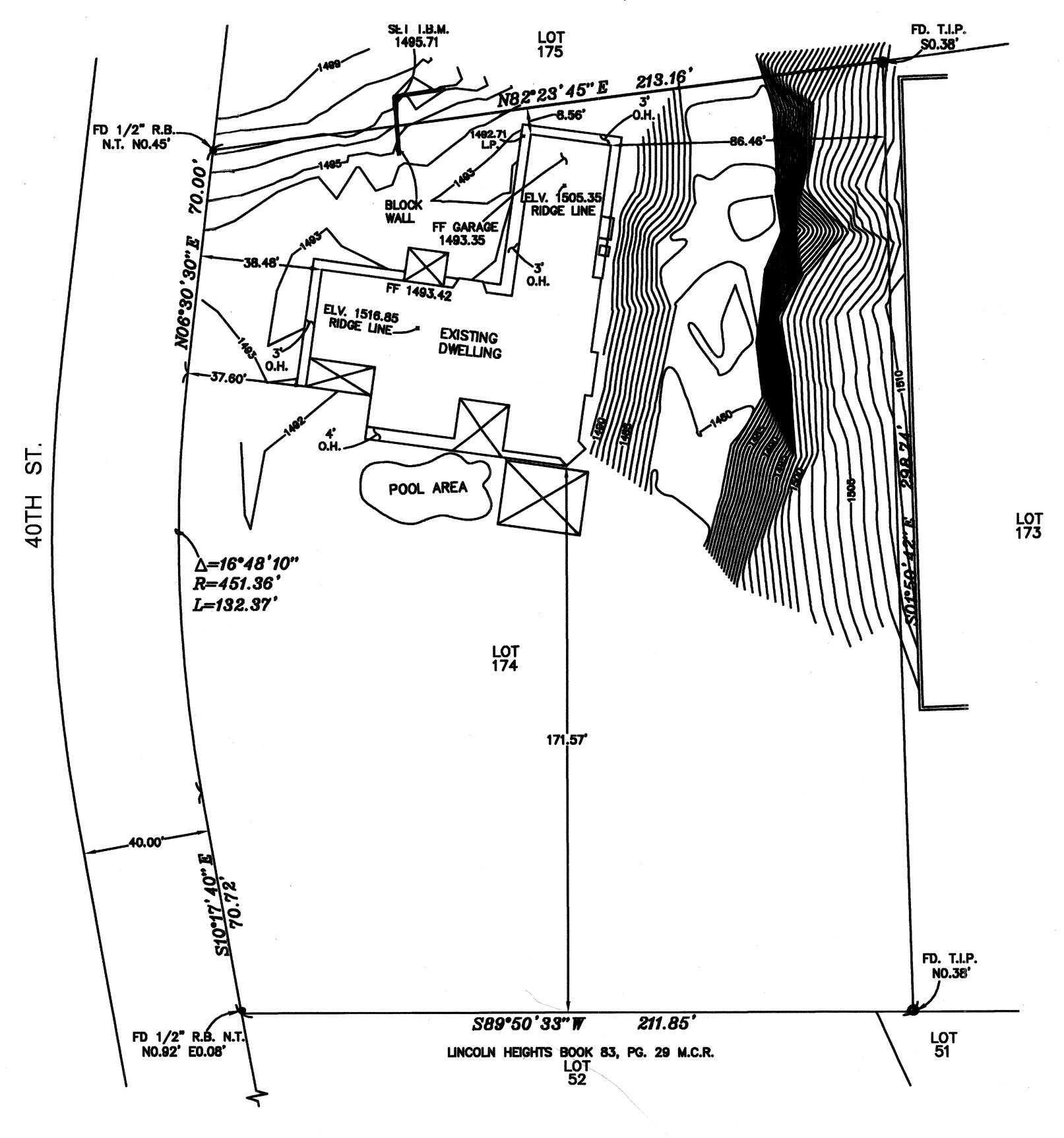


8560 East Wood Drive Scottsdale

Bruce Bender Design Studio 480-620-1680

RESULTS OF SURVEY

OF LOT 174 OF CLEARWATER HILLS No 2 IN A PORTION OF THE SW1/4 OF SECTION 6, T2N, R4E OF THE G.&S.R.B.&M., MARICOPA COUNTY, ARIZONA AS RECORDED IN BOOK 84 OF MAPS, PAGE 25 M.C.R.

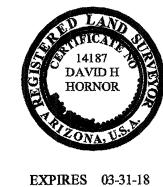


LAND SURVEYOR'S CERTIFICATION:

I AM A LAND SURVEYOR REGISTERED TO PRACTICE IN ARIZONA. THIS PLAT WAS MADE UNDER MY DIRECTION AND MEETS THE "MINIMUM STANDARDS FOR ARIZONA LAND BOUNDARY SURVEYS." THIS SURVEY WAS MADE DURING THE MONTH OF <u>DECEMBER</u>. 2017:

THE WORD "CERTIFICATION" AS SHOWN AND USED HEREON MEANS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS OF THE SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED.

REGISTERED LAND SURVEYOR # RLS 14187

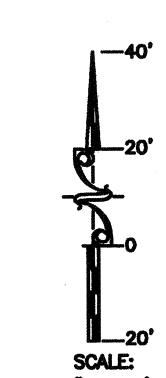


AREA 62,881 SQ. FT. NET 1.4435 ACRES NET

BENCHMARK: GDAC # 24035-1 MHD BC Elev. 1403.453 (88)

LEGEND

FD.	FOUND
N.T.	NO TAG
LP.	LOW POINT
R.B.	REINFORCING BAI
T.I.P.	TAGGED IRON PIN
•	REBAR
0	TAGGED IRON PIN

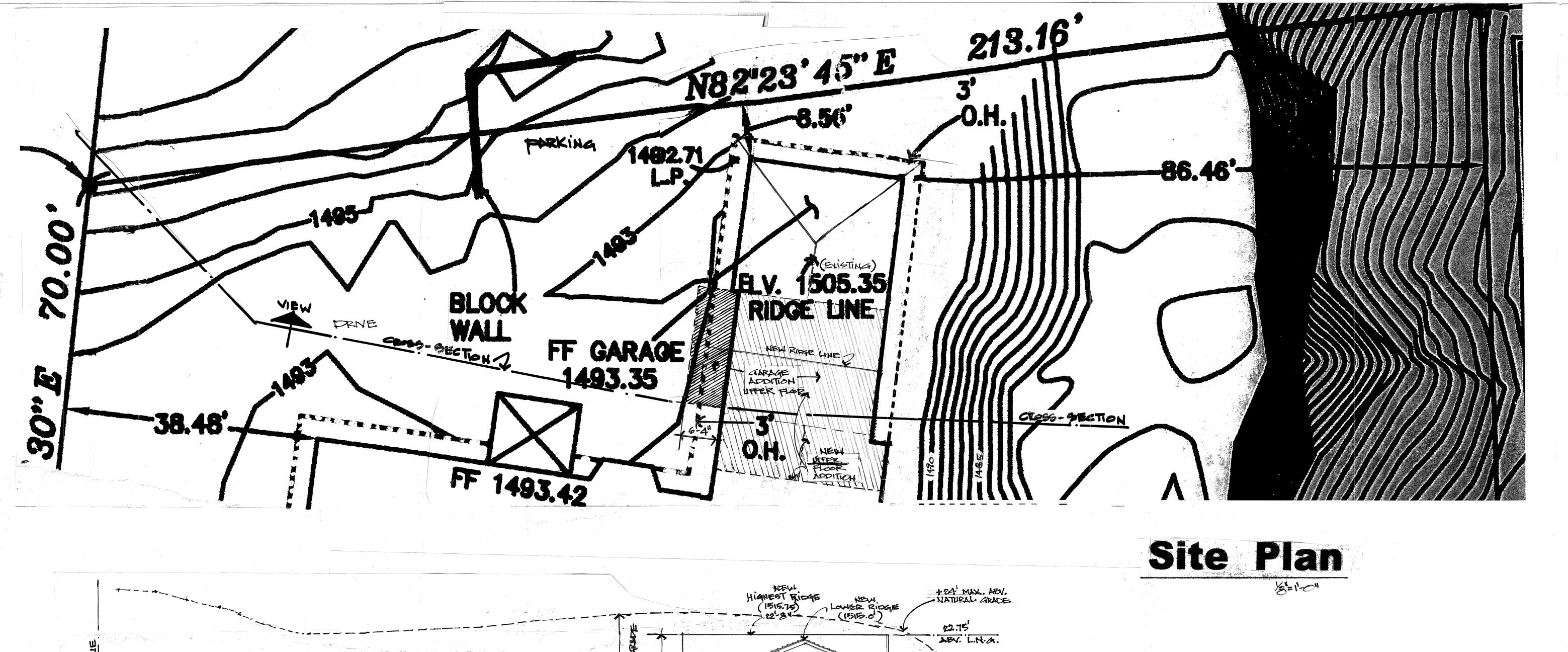


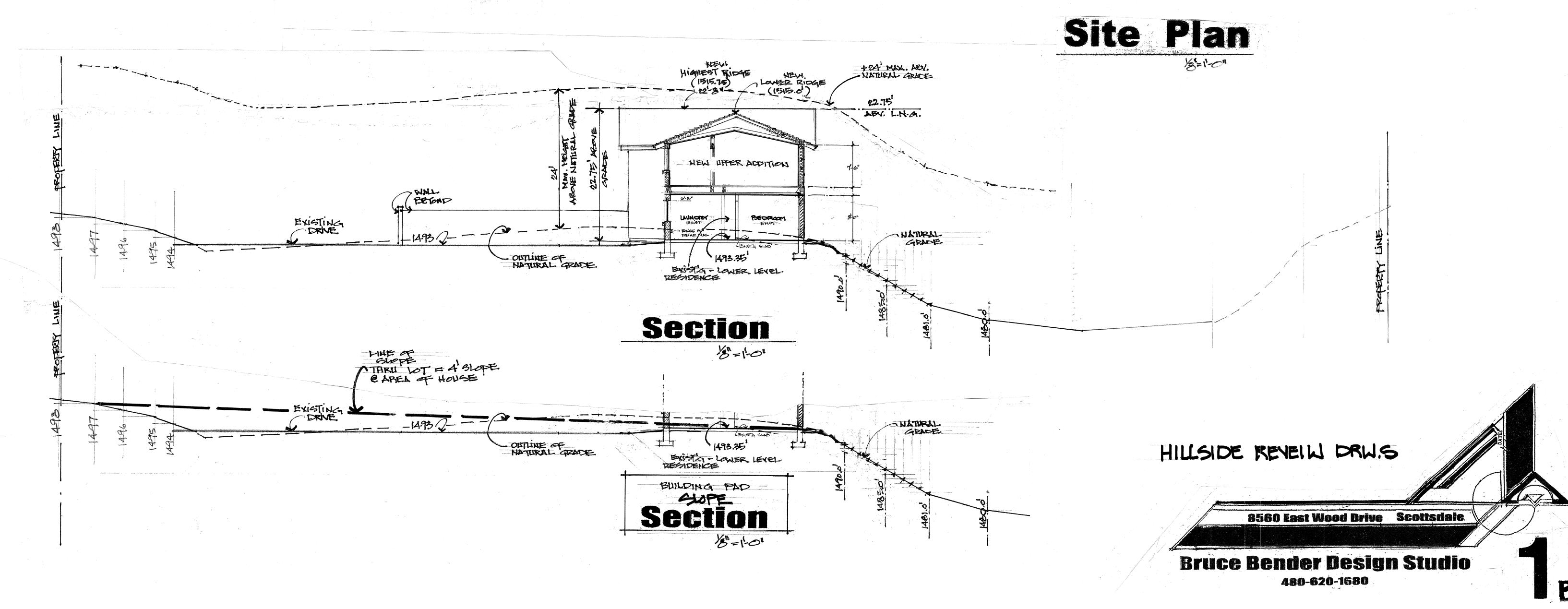
SCALE: 1" = 20'

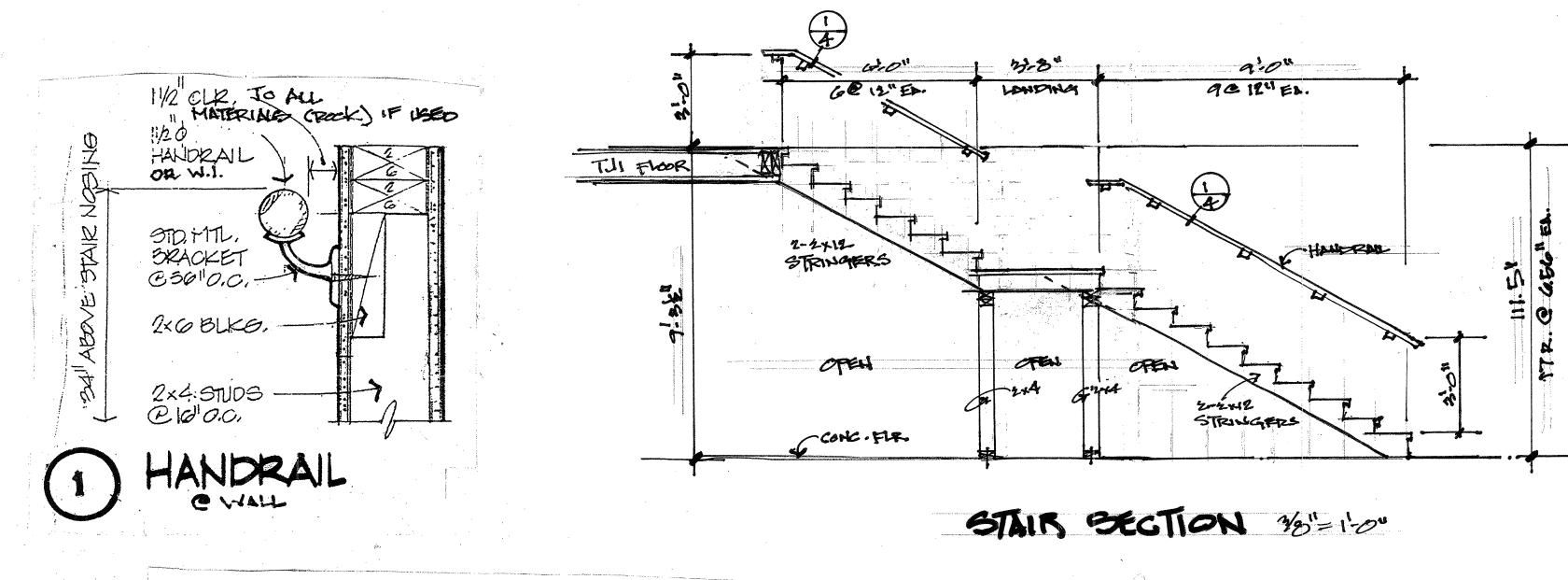
DATE: 11-20-17 DRAWN BY JMB JOB No. 2170511

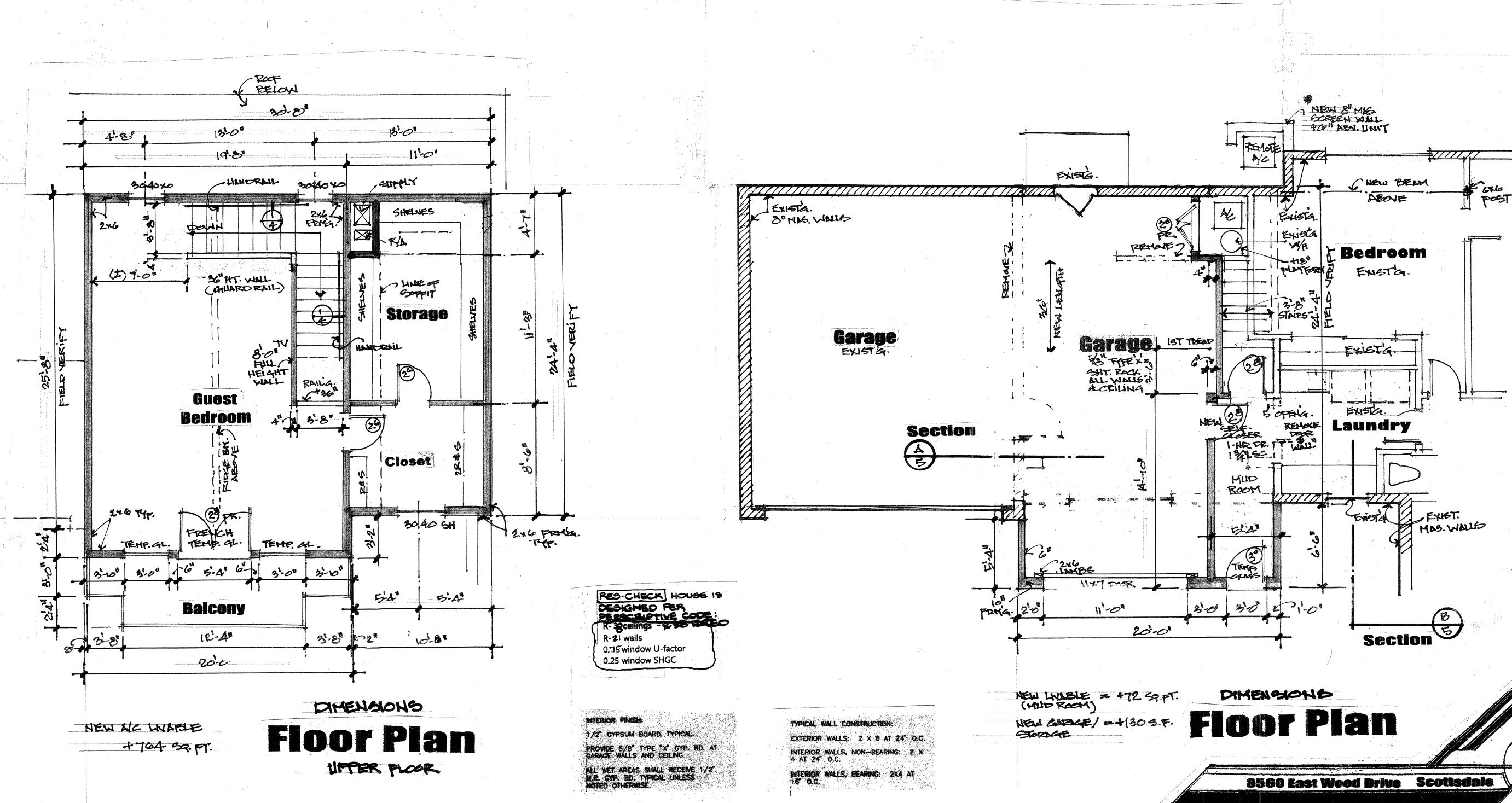
Revisions:

01-22-18

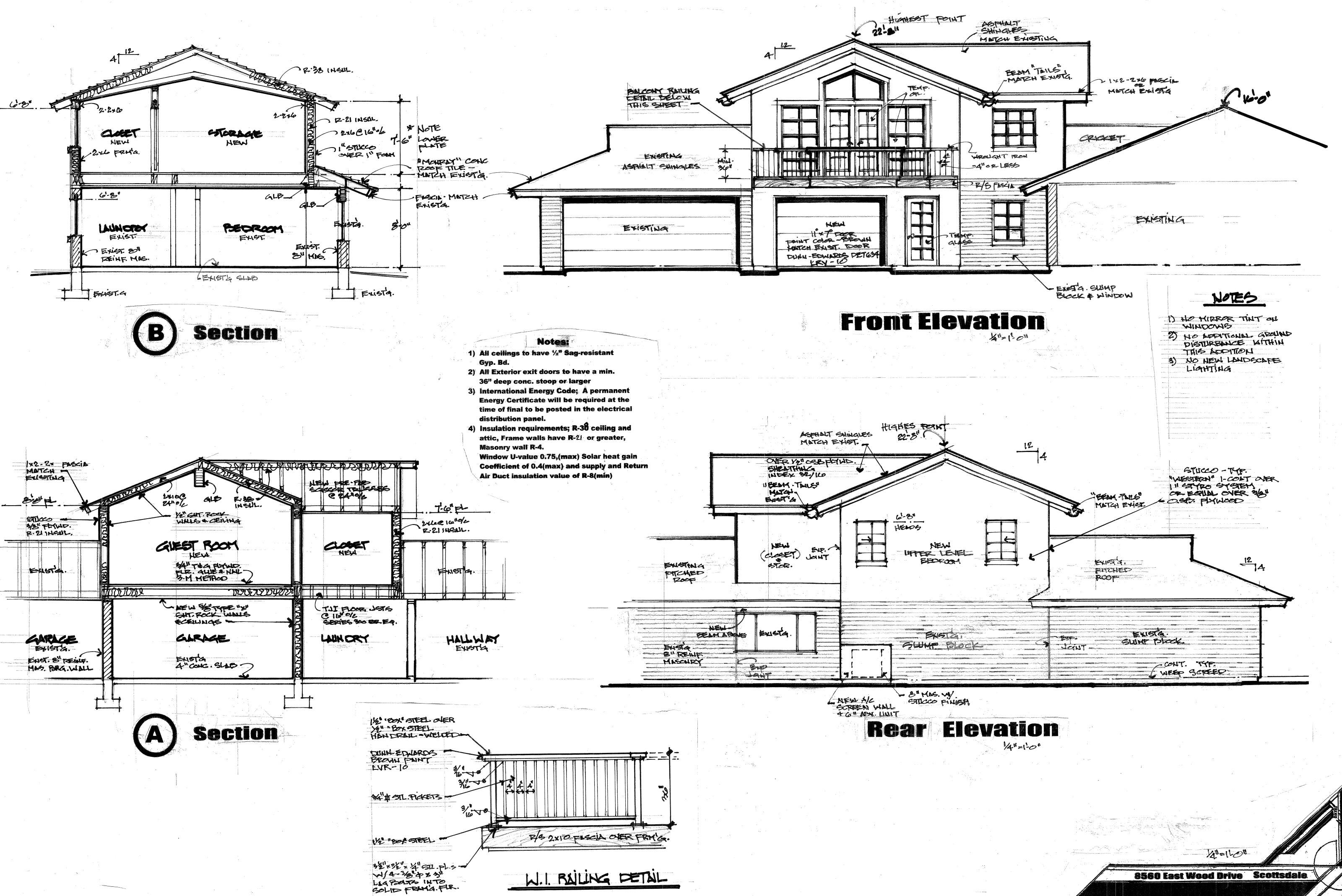








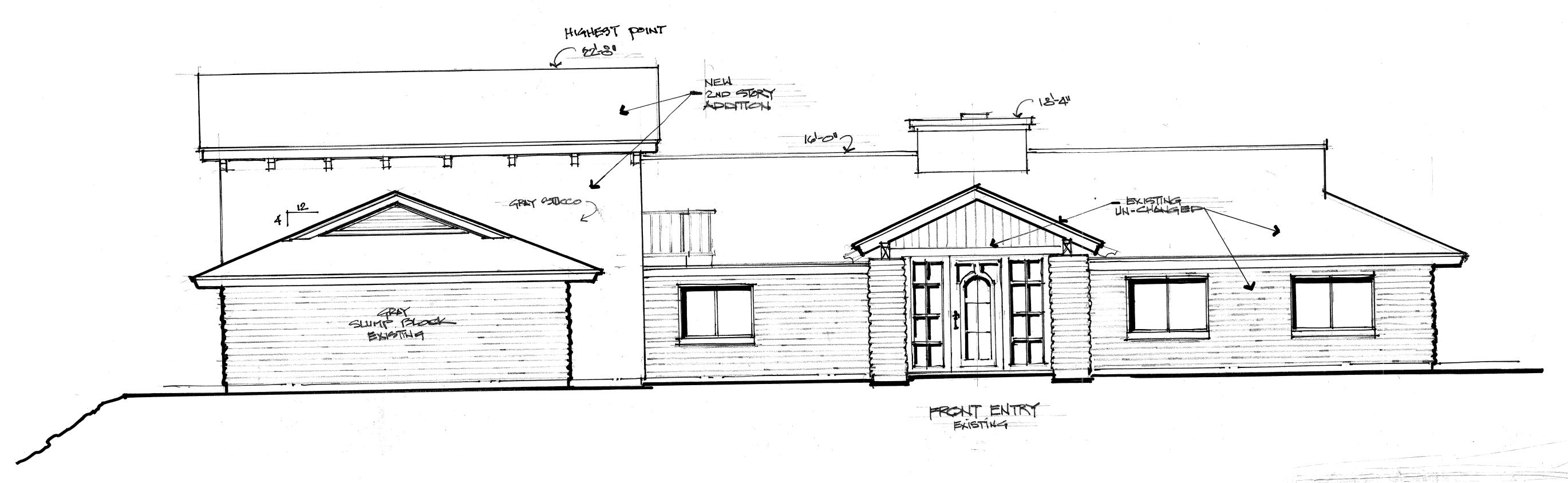
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480-620-1680



8560 East Wood Drive Scottsdale

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ARM_696-1686



Exterior Elevations

8560 East Wood Drive Scottsdale

Bruce Bender Design Studio 480-620-1680 Sec. N1104 – Lighting Systems Requires a Minimum of Fifty Percent (50%) of the Lamps in Permanently Installed Lighting Fixtures shall be High-efficacy Lamps.

N1104.1 (R404.1) Lighting equipment (Mandatory). A minimum of 75 percent of the lamps in permanently installed lighting fixtures shall be high-efficacy lamps or a minimum of 75 percent of the permanently installed lighting fixtures shall contain only high-efficacy lamps.

Exceptions:

Low-voltage lighting shall not be required to utilize high-efficiency lamps.
 N1104.1.1 (R404.1.1) Lighting equipment (Mandatory).
 Fuel gas lighting systems shall not have continuously burning pilot lights.

Sec. R315 – Carbon monoxide alarms are required in all new dwelling units with a "fueling appliance."

R315.1 Carbon monoxide alarms. For new construction, an approved carbon monoxide alarm shall be installed outside of each separate sleeping area in the immediate vicinity of the bedrooms in dwelling units within which fuel-fired appliances are installed and in dwelling units that have attached garages.

NOTE:
BUL PREAMCH CIRCUITS TRAT SUPPLY 120-VALT
SINGLE PHASE, 15-20 AMP OUTLETS INOTALLED
IN FAMILY, DINING, LIMING, DEMS, BEOPOOMS
CLOSETS AND HALLS SHALL BE PROTECTED
BY A COMBINATION TYPE ARC FAULT CIRCUIT
INTERPLIPTER INDIVIDED TO PROVIDE
PROTECTION OF THE ENTIRE BRANCH CIRCUIT.

NOTE: 15-AND 20-AMPERE PECEPTICLES MUST BE LISTED AS TEMPER-RESISTANT (E4002.14)

ELECTRICAL NOTES

Sec. E3902.12 - Arc-Fault Protection is expanded to include all habitable spaces (except

E3902.12 Arc-fault circuit-interrupter protection. All branch circuits that supply 120-volt, single-phase, 15- and 20-ampere outlets installed in family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, suprooms, recreations rooms, closets, hallways and similar rooms or areas shall be protected by a combination type arc-fault circuit interrupter installed to provide protection of the branch circuit.

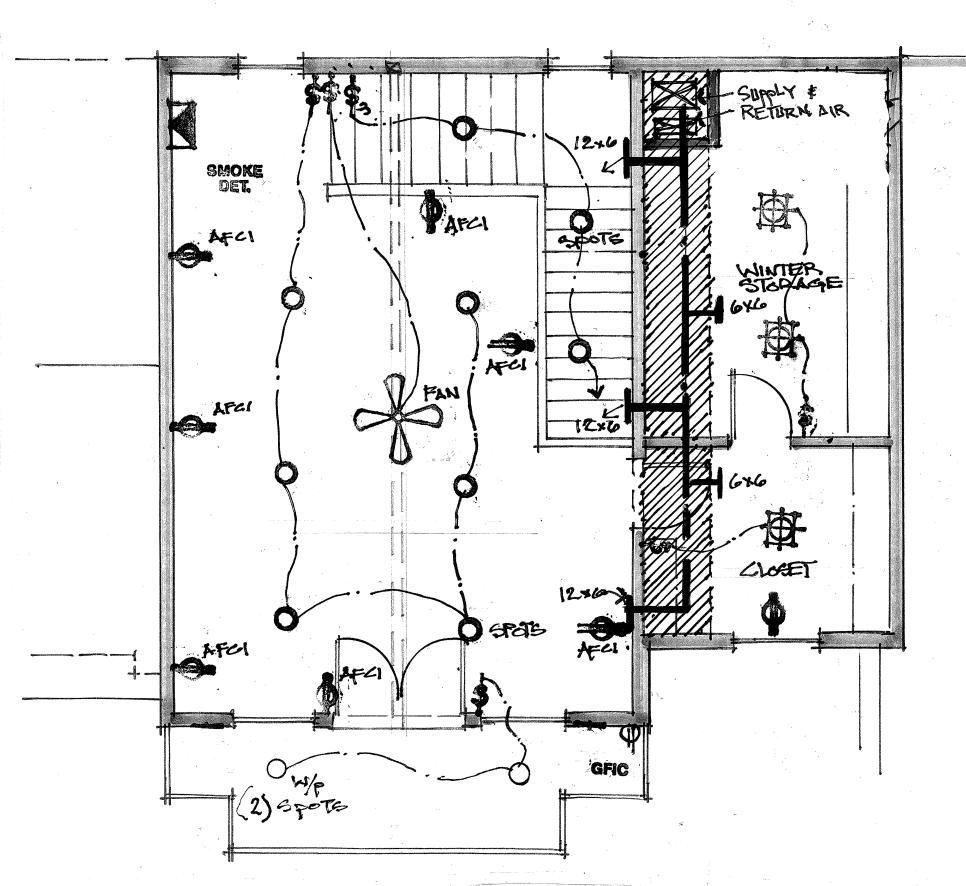
Sec. E3905.6 – Any box used at a luminaire must be marked with the maximum weight it can support if other than 50#.

E3905.6 Boxes at luminaire outlets. Outlet boxes used at luminaire or lampholder outlets shall be designed for the support of luminaires and lampholders and shall be installed as required by Section E3904.3.
E3905.6.1 Wall Outlets. Boxes used at luminaire or lampholder outlets in a wall shall be marked on the interior of the box to indicate the maximum weight of the luminaire or lamp holder that is permitted to be supported by the box in the wall, if other than 50 pounds (22.7 kg).

A wall-mounted luminaire or lampholder weighing not more than 6 pounds (2.7 kg) shall be permitted to be supported on other boxes or plaster rings that are secured to other boxes, provided that the luminaire or its supporting yoke is secured to the box with not fewer than two No. 6 or larger screws.
 E3905.6.2 Ceiling outlets. At every outlet used exclusively for lighting, the box shall be designed or installed so that a luminaire or lampholder can be attached. Such boxes shall be capable of supporting a luminaire weighing up to 50 pounds (22.7 kg). A luminaire that weighs more than 50 pounds (22,7 kg) shall be supported independently of the outlet box, unless the outlet box is listed and marked for the maximum weight to be supported.

Sec. 4002.14 – Tamper-resistant receptacles are required on all 125 volt 15 and 20 ampere circuits.

E4002.14 Tamper-resistant receptacles. In areas specified in Section E3901 1, 125-volt, 15- and 20-ampere



Second Story Plan

SHOWS MECHANICAL

