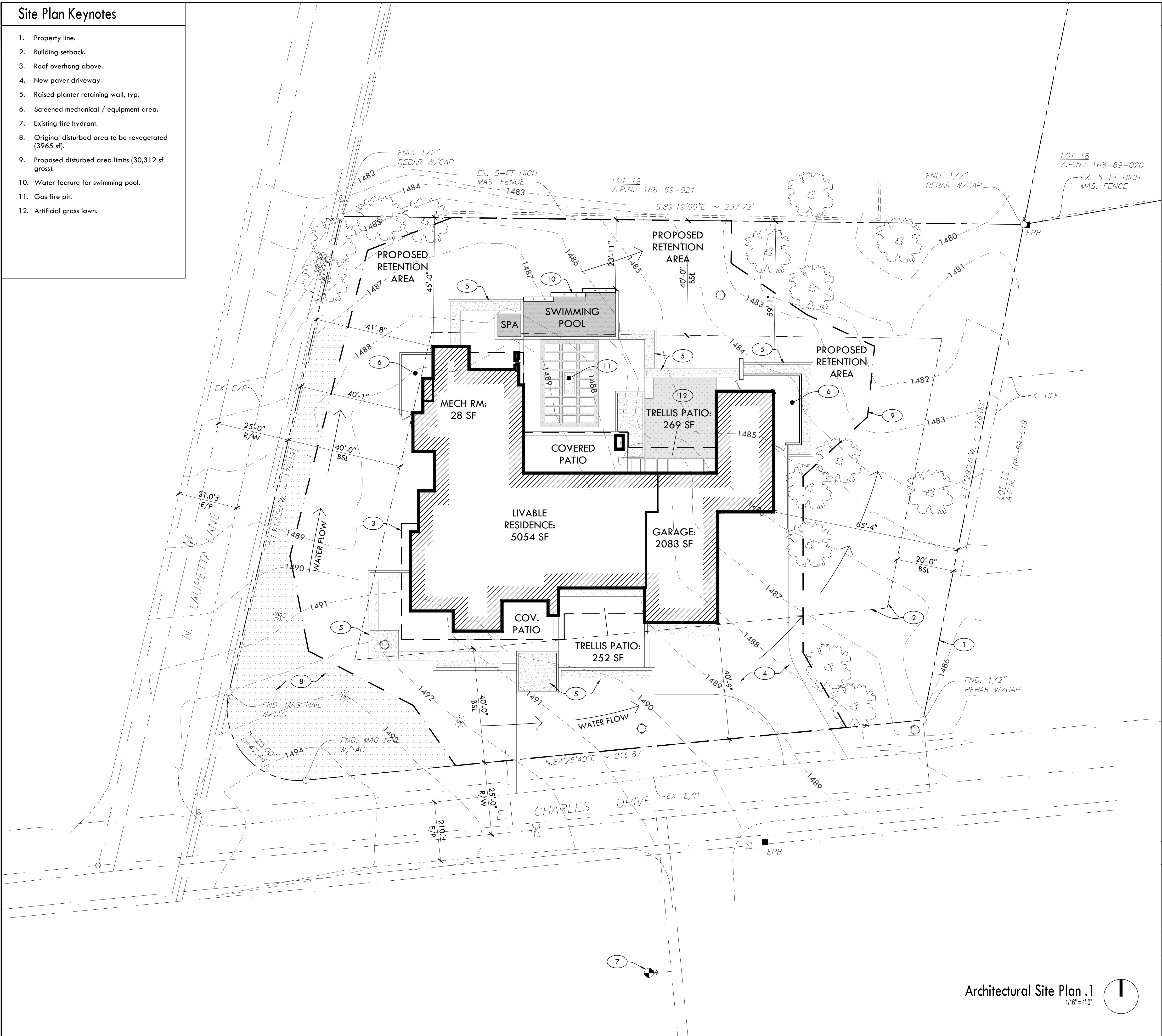


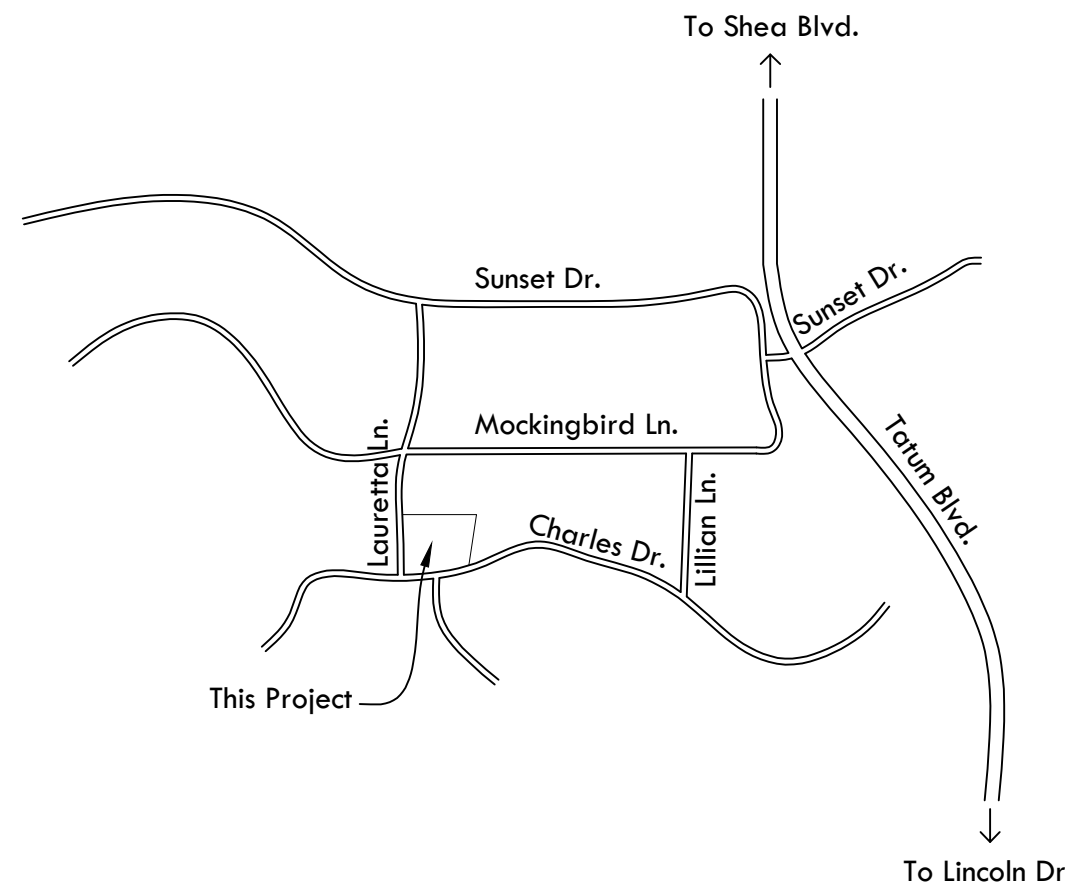
Site Plan Keynotes

- 1. Property line.
- 2. Building setback.
- 3. Roof overhang above.
- 4. New paver driveway.
- 5. Raised planter retaining wall, typ.
- 6. Screened mechanical / equipment area.
- 7. Existing fire hydrant.
- 8. Original disturbed area to be revegetated (3965 sf).
- 9. Proposed disturbed area limits (30,312 sf gross).
- 10. Water feature for swimming pool.
- 11. Gas fire pit.
- 12. Artificial grass lawn.



Architectural Site Plan .1
1/16" = 1'-0"

Vicinity Map N.T.S.



Project Narrative

The existing home, built in 1960, is to be demolished. A new 5000 SF +/- home will be constructed within the existing disturbed area, preserving the existing vegetation on the east side of the property. The new residence will have a contemporary style, with patios on front and rear to take advantage of the views. The garage portion of the house will be several steps lower than the main livable area to respond to the site slope of the site. Colors are to be subtle desert tones, with LRV \leq 38%.

Project Data

PROPERTY ADDRESS: 4606 E. Charles Dr., Paradise Valley, AZ 85253
PARCEL NUMBER: 168-69-022
ZONING: R-43
CONSTRUCTION TYPE: V-B
BUILDING SIZE:
Livable - 5054 sf (2000 sf min.)
Garage / Mech - 2111 sf
Covered Patios / Overhangs - 1247 sf
Trellis Patio - 174 sf (5211 sf X 1/3 for lumber)
Total Footprint - 8586 sf
LOT SIZE: 41,453 sf
FLOOR AREA RATIO: 8,586/41,453 = 20.7% (25% max.)
BUILDING SETBACKS:
Front - 40'-0"
Side - 20'-0" / 40'-0" (with Frontage)
Rear - 40'-0"

Disturbed Area Calculations

LOT SIZE: 41,453 sf
BUILDING PAD SLOPE: 6%
Length - 137'-0"
Rise - 7'-0" (1491-1484)
ALLOWABLE DISTURBED AREA: 60% x 41,453 sf = 24,871 sf
ACTUAL DISTURBED AREA:
Gross Disturbed Area - 30,312 sf
Less Area Under Roof:
Livable - 5054 sf
Garage / Mech - 2111 sf
Total - 23,147 sf (55.8%)

Drainage

The site slopes downward to the northeast corner. The water will continue to flow around the structure, as it does currently, with proposed retention areas at the north / northeast side of the house.

Sheet Index

A0 Site Plan / Project Data
A1 3D Renderings
A2 Aerial Photo
A3 Floor Plan



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Charles Drive Residence
4606 E. Charles Dr.
Paradise Valley, AZ 85253

DATE: 10/30/18
SCALE: As Noted
DRAWN: JPL
JOB: 18-99
SHEET:

A0
Site Plan / Data



Rear Yard / Pool Area - Facing Northwest .4
N.T.S.



Front View - Facing North .1
N.T.S.



Side View - Facing Southeast .5
N.T.S.



Front Yard From Above - Facing Northeast .2
N.T.S.



Side View - Facing West .6
N.T.S.



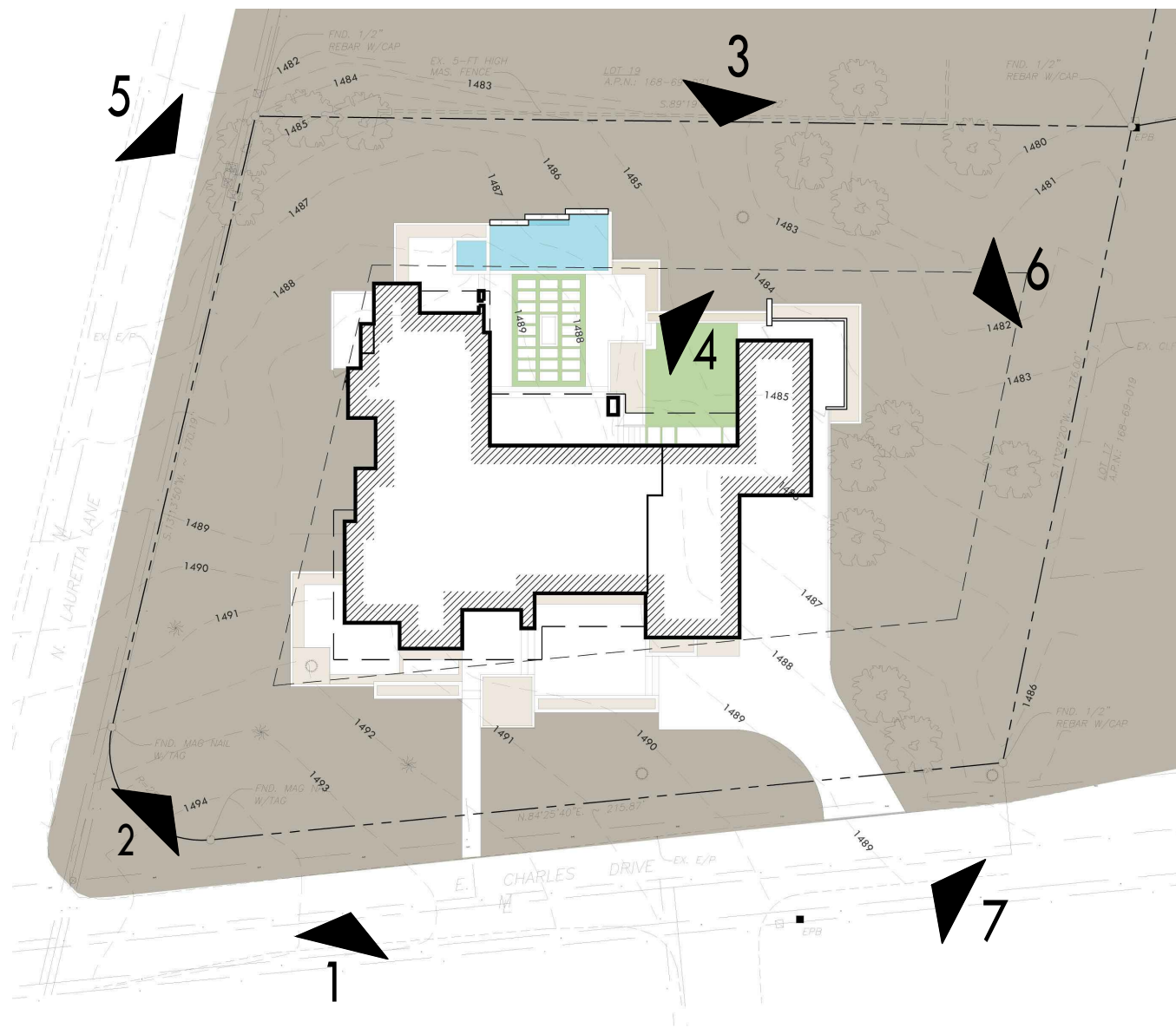
Driveway - Facing Northwest .7
N.T.S.



Rear Yard From Above - Facing Southwest .3
N.T.S.

Exterior Notes

- A. Structure will not exceed 24'-0" max height above natural grade.
- B. Exterior finishes are stucco and block, with an LRV of <38%.
- C. Pool barrier is achieved with retaining walls and a gate at the mechanical screen wall.
- D. Existing vegetation will remain wherever possible. New plants are to be desert type with low water consumption. Lawn areas shown are artificial.



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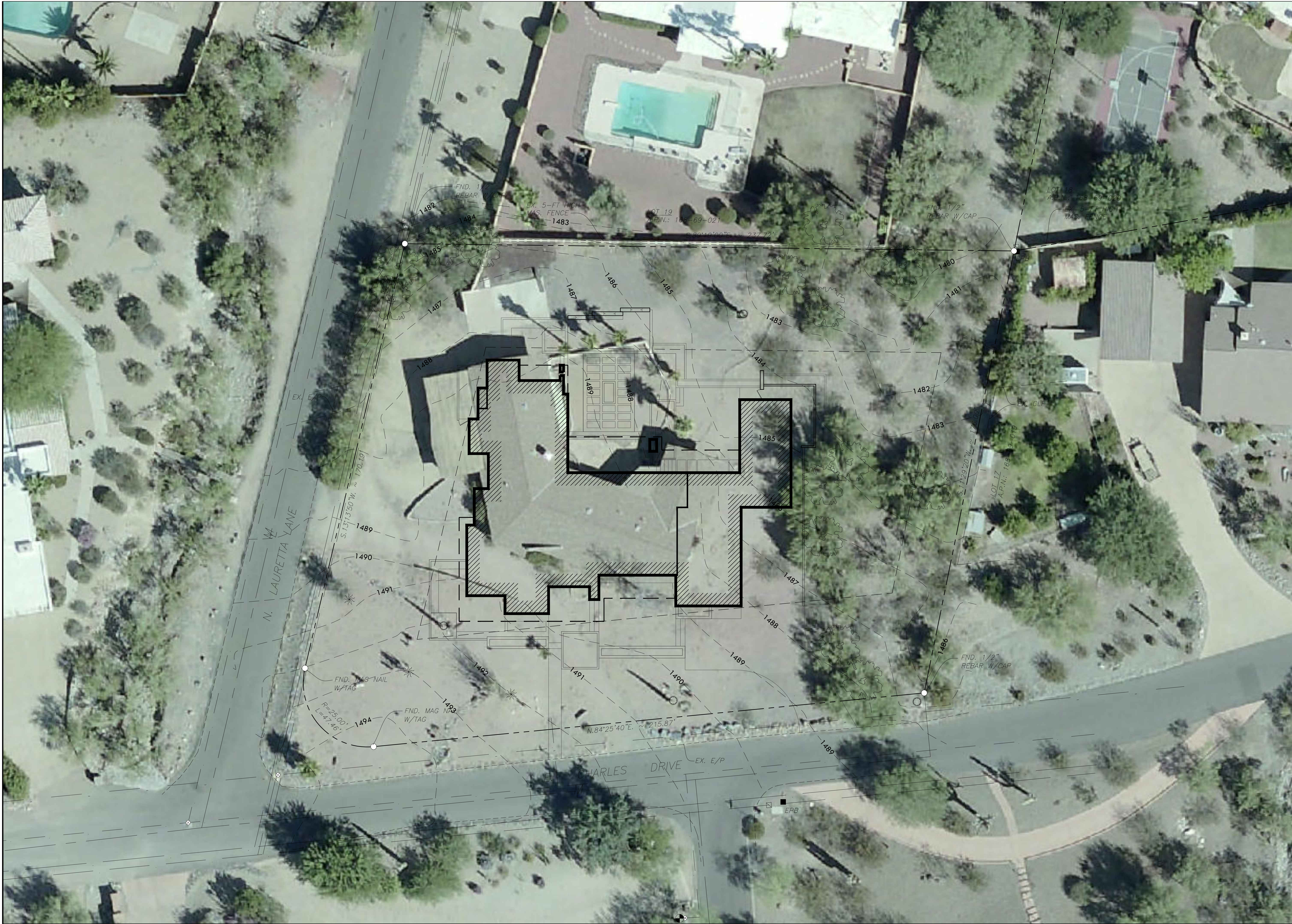
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A1

3D Renderings



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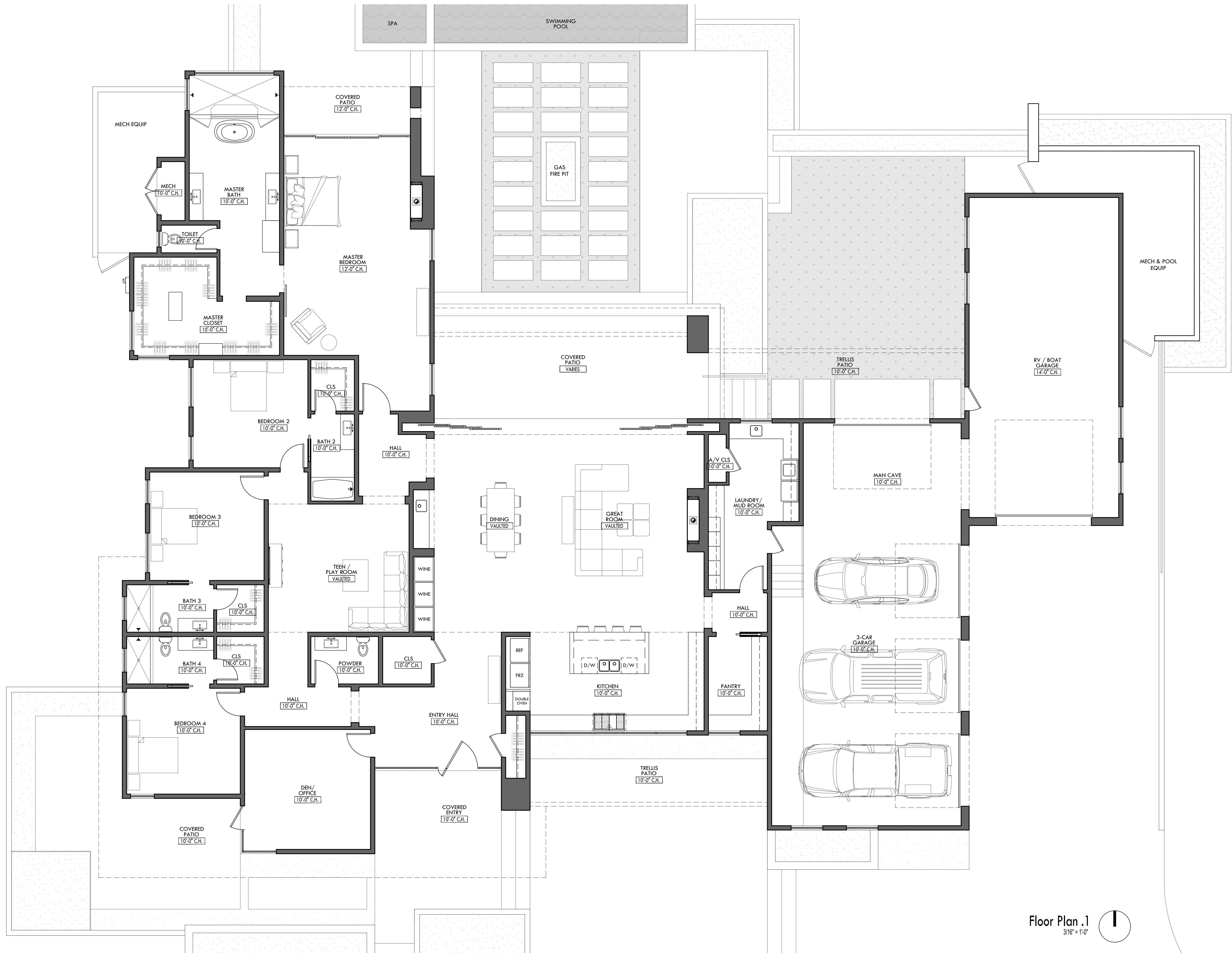
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DATE: 10/30/18
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A2

Aerial Photo



Floor Plan .1
3/16" = 1'-0"



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A3

Floor Plan