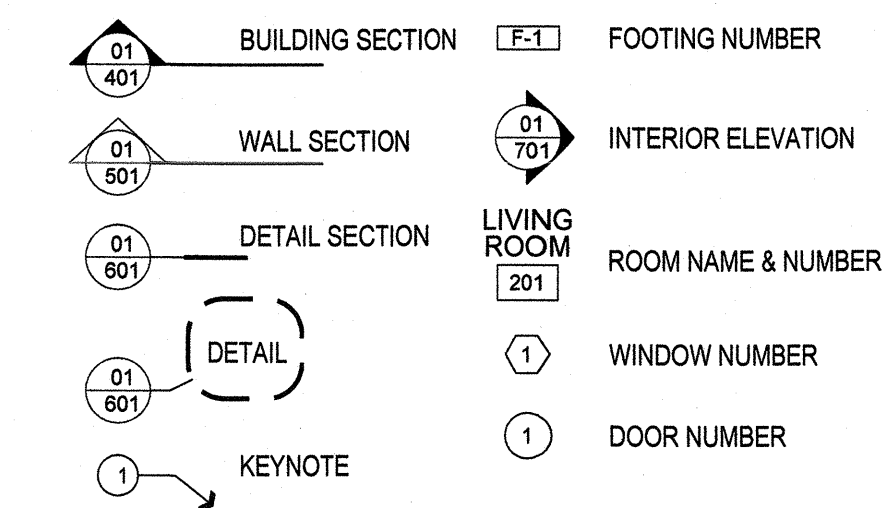


[illegible]

1. FINISH GRADE SHALL BE A MINIMUM OF 8" BELOW
WOOD FRAMING AT BUILDING EXTERIOR. SLOPE FINISH
GRADE FOR AN ADDITIONAL 6" AWAY FROM BUILDING
FOR A 10'-0" HORIZONTAL DISTANCE.
2. FINISH FLOOR ELEVATION INDICATES TOP OF ALL
FLOOR FINISHES. INSTALL FLOOR SLAB TO
ACCOMMODATE ALL FINISHES. T.O.S.= TOP OF CONC.
3. TYPICAL WOOD FRAME WALLS: 2x6 STUDS AT 16" O.C.
AT ALL EXTERIOR WALLS, WALLS CONTAINING W.C.
PLUMBING, AND WALLS WITH EXPOSED ENDS OR
HAVING DOOR JAMBS. OTHER WALLS MAY BE 2x4
STUDS AT 16" O.C. U.N.O.
4. SOUND WALLS: 2x6 STUDS AT 16" O.C. WITH 2x6
PLATES. BATT INSULATION, 5/8" GYPSUM BOARD EACH
SIDE WITH RESILIENT CHANNELS ONE SIDE (SEE
DETAIL). LOCATE WALLS AS SHOWN ON DRAWINGS OR
AS NOTED BELOW:
 - BETWEEN BATH/TOILET ROOMS/POWDER ROOMS, &
OTHER INTERIOR ROOMS.
 - BETWEEN BEDROOMS AND OTHER INTERIOR ROOMS.
 - BETWEEN LAUNDRY AND BEDROOMS.
 - BETWEEN GARAGE AND INTERIOR ROOMS.
5. PROVIDE BACKING (WOOD BLOCKING OR SOLID
GROUT C.M.U. AS APPLIES) AT ALL HOSE BIBBS, HOSE
RACKS, TOWEL BARS, CURTAIN RODS, T.P. HOLDERS,
CABINETS, OR ANY ITEMS REQUIRING SOLID BACKING.
6. SMOKE DETECTORS, WHERE SHOWN, TO BE
PERMANENTLY WIRED AND INTERCONNECTED, WITH
BATTERY POWERED BACKUP, AND LOCATED 36"
MINIMUM FROM A/C DUCT OPENING. COORDINATE WITH
SECURITY SYSTEM.
7. FOR BUILDING LAYOUT: ALL ANGLES 45 DEGREES
UNLESS NOTED OTHERWISE.
8. TYPICAL DOORS: LOCATE IN CENTER OF WALL OR
FRAME JAMB 5'-1/2" FROM INTERSECTING WALL, UNLESS
NOTED OTHERWISE.
9. TUB AND SHOWER AREAS TO RECEIVE

- OTHER APPROPRIATE FINISH AS SCHEDULED TO 70" MINIMUM ABOVE DRAIN, UNLESS NOTED OTHERWISE. PROVIDE INTERIOR GYPSUM WALL BOARD (GREEN BOARD) WITH WATER-RESISTANT FACE PAPER.
10. SLOPE ALL SOAP NICHES IN TUB AND SHOWER AREAS TO DRAIN. SLOPE CEILING IN ENCLOSED SHOWER (APPROXIMATELY 1/8" PER FOOT). CONFIRM DIRECTION OF SLOPE.
11. SLOPE ALL SILLS TO DRAIN AWAY FROM WINDOWS AND SLOPE EXPOSED TOP OF PARAPETS AND WALLS TO DRAIN WATER. WATERPROOF ALL SILLS AND PARAPETS. AT C.M.U., USE WATERPROOF COATING PRIOR TO INSTALLING FINISH. AT WOOD FRAMING, COVER WITH 30# FELT PRIOR TO INSTALLING FINISH (DO NOT PENETRATE THE TOP SURFACE, ATTACH AT SIDES).
12. FIREPLACE HEARTH EXTENSIONS SHALL EXTEND AT LEAST 20" IN FRONT OF FIREPLACE OPENING AND 12" BEYOND THE SIDES WHEN THE FIREPLACE OPENING IS 6 SQ. FT. OR LARGER (IF LESS THAN 6 SQ. FT., PROVIDE AT LEAST 8" AT SIDES AND 16" AT FRONT). REQUIRED HEARTH SIDE EXTENSIONS SHALL BE THE FULL REQUIRED FRONT EXTENSION DEPTHS. REQUIRE FIREPLACE HEARTH EXTENSIONS SHALL BE OF NON-COMBUSTIBLE MATERIAL.
13. SAFETY GLASS: GLAZING INSIDE DOOR PANELS, AND WITHIN 24" OF EITHER JAMB OF SWINGING OR OPERABLE SLIDING DOORS. AND ALL GLASS WITHIN 18" OF FLOOR (EXCEPT SINGLE PANEES WITH 9 SQ. FT. OR LESS AREA) SHALL BE SAFETY GLASS. (SECC. 2406).
- ALL WINDOWS IN BATHROOMS SHALL BE SAFETY GLAZED PER ARS AND PV ENFORCEMENT POLICY, REF. PLAN FOR LOCATIONS.

[illegible]

24. PROVIDE 22"x30" ATTIC ACCESS TO ALL AREAS GREATER THAN OR EQUAL TO 70 SQ. FT. WHICH HAVE A 30" OR MORE VERTICAL CLEAR HEIGHT. PROVIDE 30" CLEAR HEADROOM ABOVE ATTIC ACCESS (SEC. 1506). SEE PLAN FOR LOCATIONS.

25. DRYER VENT TO HAVE DAMPER COVER. ALL OTHER VENTS, PIPES, DRAIN PIPES, OR OTHER MISCELLANEOUS OPENINGS OPEN TO THE OUTSIDE TO HAVE GALVANIZED METAL INSECT SCREEN TO PREVENT MIGRATION OF RODENTS AND INSECTS.

26. MAXIMUM TOTAL LENGTH OF CLOTHES DRYER EXHAUST SHALL BE NO MORE THAN 14'-0" COMBINED HORIZONTAL AND VERTICAL LENGTH. LENGTH MAY BE INCREASED FROM 14'-0" TO 28'-0" IF 5" MIN. DIAMETER EXHAUST DUCT IS USED.

27. DOOR AND WINDOW FLASHING (TYPICAL):

PROVIDE TYPE 30# FELT BUILDING PAPER AS FLASHING AT ALL HEADS, JAMBS, AND SILLS OF WINDOW AND DOOR OPENINGS.

FLASH HORIZONTAL AND/OR SLOPED AREAS AND 6" MINIMUM OF VERTICAL WALL SURFACE AROUND OPENINGS.

PROVIDE CONTINUOUS SEALANT BEAD WHERE STUCCO ABUTS WINDOW AND DOOR FRAMES TO PROVIDE WEATHER-RESISTIVE BARRIER.

28. AT EXTERIOR GYPSUM BOARD SOFFITS, PROVIDE EXTERIOR GYPSUM CEILING SOFFIT BOARD (GREY BOARD) WITH WATER-RESISTANT FACE PAPER.

29. DOORS LEADING INTO THE HOUSE FROM THE GARAGE SHALL BE SELF-CLOSING AND TIGHT-FITTING WITH GASKETS AND SWEEP.

30. PROVIDE 18" HIGH PLATFORM UNDER ALL APPLIANCES INSTALLED IN (OR ACCESSIBLE FROM INSIDE) GARAGES.

31. ALL STAIRS TO CONFORM TO I.R.C. SECTION R311.5

32. HANDRAILS:

INSTALL HANDRAILS AT ALL STAIRS HAVING MORE THAN 3 RISERS, UNLESS SHOWN OTHERWISE.

THE TOP OF HANDRAILS AND HANDRAIL EXTENSION SHALL BE PLACED NOT LESS THAN 34" OR MORE THAN 38" ABOVE NOSING OF TREADS AND LANDINGS, AND DESIGNED SUCH THAT A 4" SPHERE CANNOT PASS THROUGH. HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS.

THE HANDGRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/4" OR MORE THAN 2 INCHES IN CROSS-SECTIONAL DIMENSION, OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. THE HANDGRIP PORTION OF HANDRAILS SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS.

HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2" BETWEEN THE WALL AND THE HANDRAIL.

33. THE EXTERIOR STUCCO SYSTEM SHALL BE WESTERN ONE COAT.

34. PROVIDE 5/8" TYPE "X" GYPSUM BOARD AT WALLS AND CEILING IN GARAGE, STAIRS, MECHANICAL ROOMS, AND AT USEABLE AREAS UNDER STAIRS. DOORS LEADING TO LIVING AREAS SHALL BE MIN. 1-3/8" SOLID-CORE WOOD, SELF-CLOSING, WEATHER-STRIPPED AND TIGHT-FITTING.

CORPS

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CODE INFORMATION / BUILDING DATA

CODE:	2015 INTERNATIONAL RESIDENTIAL CODE
	2015 INTERNATIONAL BUILDING CODE
	2015 INTERNATIONAL MECHANICAL CODE
	2015 INTERNATIONAL FIRE CODE
	2015 INTERNATIONAL PROPERTY MAINTENANCE CODE

PROJECT ADDRESS:	4342 E. HIGHLANDS DRIVE PARADISE VALLEY, ARIZONA		
ZONING:	R-43		
	SETBACKS	ALLOWABLE	PROVIDED
	FRONT (SOUTH)	40'-0"	40'-1 7/16"
	FRONT (EAST)	40'-0"	47'-0 5/8"
	SIDE (WEST)	20'-0"	49'-9 7/16"
	REAR	40'-0"	44'-7 7/8"
	MAX. BLDG. HEIGHT	24'-0"	REF. SHEET 402
CONST. TYPE:	TYPE VN		
OCCUPANCY / USE	R-3 / U-1 (PRIVATE RESIDENCE)		
LOT / SITE AREA:	43,559 SF		
AREA BREAKDOWN:	<u>SQUARE FOOTAGE CALCULATION.</u>		
		EXISTING HOME	NEW HOME
	LIVABLE	= 3,966 SF	466 SF
	GARAGE / MEP	= 514 SF	---
	COVERED	= ---	292 SF
	OVERHANGS	= ---	432 SF
	TOTAL	= 4,480 SF	1,190 SF
FLOOR AREA RATIO:	ALLOWED PER CODE,	25.00%	43,559 SF
	PROVIDED PER PLAN,	16.12%	7,022 SF

- 1) THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF BLOCHBERGER DESIGN LLC, C. AND SHALL NOT BE REPRODUCED OR USED FOR ANY OTHER PURPOSE EXCEPT BY WRITTEN AGREEMENT WITH BLOCHBERGER DESIGN LLC, C.
- 2) MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS, RELEVANT FEDERAL, STATE AND LOCAL STANDARDS AND CODES, AND THE REQUIREMENTS OF ALL OTHER GOVERNING AUTHORITIES.
- 3) THESE DRAWINGS MUST NOT BE SCALED. WRITTEN DIMENSIONS TAKE PRECEDENCE AND SHALL BE VERIFIED BY THE CONTRACTOR ON THE JOB SITE.
- 4) PLAN DIMENSIONS INDICATE WALL THICKNESS WITHOUT FINISH UNLESS NOTED OTHERWISE. CEILING DIMENSIONS (AFF) ARE TO THE BOTTOM OF FRAMING MEMBERS ABOVE.
- 5) PLAN DIMENSIONS GIVEN ARE FROM FACE OF CONCRETE, STUDS, OR FURRING, UNLESS NOTED OTHERWISE.
- 6) WALLS SHOWN IN ALIGNMENT ARE IN ALIGNMENT WITH FINISHED SURFACES. FACE OF FINISHED GYPSUM WALL BOARD IS TO ALIGN WITH FACE OF FINISHED CONCRETE OR CMU.
- 7) THE DRAWINGS SHALL BE READ IN CONJUNCTION WITH CIVIL, MECHANICAL, ELECTRICAL, STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL, AND OTHER CONSULTING DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS OR SKETCHES AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ANY DISCREPANCY SHALL BE REFERRED TO THE SUPERINTENDENT AND BLOCHBERGER DESIGN LLC, C. BEFORE PROCEEDING WITH ANY WORK.
- 8) FIRE BLOCKS WHERE REQUIRED, AS PER THE APPROPRIATE CODES, INCLUDING FURRED CODE INFORMATION THIS SHEET, SHALL BE PROVIDED IN CONCEALED SPACES OF WALLS AND PARTITIONS, INCLUDING PURSED SPACES, AT THE CEILING AND FLOOR LEVEL AND AT 10'-0" FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL. AT ALL INTERSECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS, IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR AIR AND FLOOR LEVELS, AT CEILING AND FLOOR LEVELS, IN CONCEALED SPACES BETWEEN STAIR STRINGERS, AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF STAIRS, IF THE WALLS UNDER THE STAIRS ARE UNFINISHED, AT OPENINGS BETWEEN ATTIC SPACES AND CHIMNEY CHASES FOR STAIRS, BULLHEAD JOINTS WITH NON-COMBUSTIBLE MATERIALS, WALLS HAVING PARALLEL OR STAGGERED STUDS FOR SOUND CONTROL, SHALL HAVE FIRE BLOCKS OF MINERAL FIBER OR GLASS FIBER OR OTHER APPROVED NON-RIGID MATERIAL. THE INTEGRITY OF ALL FIRE BLOCKING AND DRAFT STOPS SHALL BE MAINTAINED.
- 9) MISCELLANEOUS SITE STRUCTURES, SWIMMING POOLS, SPAS, FENCES, SITE WALLS (INCLUDING RETAINING WALLS), AND GAS STORAGE TANKS REQUIRE SEPARATE PERMITS.
- 10) MINIMUM INSULATION REQUIREMENTS : FRAME WALLS- R19; MASONRY WALLS- R7; ROOF - R38. PER 2012 IECC

THE ENTIRE STRUCTURE SHALL BE PROVIDED WITH AUTOMATIC FIRE SPRINKLER PROTECTION PER N.F.P.A. AND PER THE REQUIREMENTS OF THE CITY OF PARADISE VALLEY, ARIZONA.

CORPSTEIN RESIDENCE
HILLSIDE COMBINED REVIEW
4342 E. HIGHLANDS DRIVE
PARADISE VALLEY, ARIZONA

OWNER: JOHN AND BARBARA CORPSTEIN
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PARADISE VALLEY, ARIZONA 85253
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E-MAIL: BARB: bcorpstein@cox.net
CONTACT: JOHN AND BARB CORPSTEIN

BUILDER: CALLA DEVELOPMENT

PHONE: 602-451-1625
FAX: ---
E-MAIL: sean@calladevelopment.com
CONTACT: SEAN ELTON

ARCHITECT:
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5440 N. 46th PLACE
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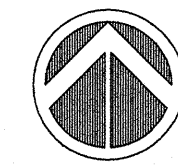
CIVIL ENGINEER:
LAND DEVELOPMENT GROUP
8022 N. 5TH STREET
PHOENIX, ARIZONA 85020
PHONE: 602-889-1984
FAX: 602-445-9482
E-MAIL: phoenix@dgeng.com
CONTACT: NICK PRODANOV

LANDSCAPE ARCHITECT:
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7144 E. STRTSON DR., SUITE 205
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PHONE: 480-609-0009
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E-MAIL: rgreey@greeypickett.com
CONTACT: RUSS GREEY

SEPTIC DESIGN:
MILLS ENGINEERING LLC
P.O. BOX 93392
PHOENIX, ARIZONA 85070-3392
PHONE: 480-235-5052
FAX: 480-759-6343
E-MAIL: kmills@millseng.com
CONTACT: KATHY MILLS

A map of the Project Site area. The map shows several streets: Lamar Rd, Hillside Dr, 46th St, 48th St, Lincoln Dr, Keim Dr, 44th St, 45th St, and McDonald Dr. The Project Site is located on Hillside Dr, between Lamar Rd and 46th St. The map also shows the intersection of Hillside Dr and Lincoln Dr, and the intersection of Hillside Dr and 44th St. The map is labeled with "PROJECT SITE" and "HIGHLANDS DR" near the Project Site. The map also shows "SEC. 7 T2N, R4E" near the intersection of Hillside Dr and Lincoln Dr.

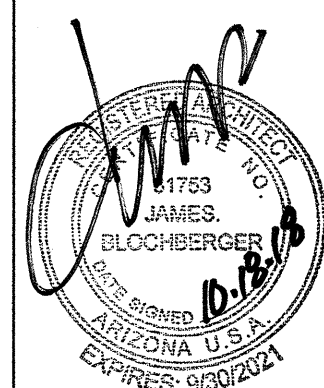
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169-53-026



VICINITY MAP
NOT TO SCALE

	ARCHITECTURAL:
100	TITLE SHEET, GENERAL NOTES, PROJECT AND CODE INFORMATION
101	PHOTOGRAPHS OF PROPERTY
102	ARCHITECTURAL RENDERINGS
103	NOT USED
104	NOT USED
105	AERIAL PHOTO WITH IMPROVEMENTS & TOPO
106	LEGAL SURVEY
C-1	CIVIL COVER SHEET
C-2	CIVIL GRADING AND DRAINAGE PLAN
201	ARCHITECTURAL SITE PLAN
301	CROSS SECTIONS
302	EXTERIOR ELEVATIONS
401	BUILDING LIGHTING PLAN
402	ROOF PLAN / BUILDING HEIGHTS
L.0	LANDSCAPE COVER SHEET
L.2.1	LANDSCAPE LAYOUT PLAN
L.3.1	LANDSCAPE PLANTING PLAN
L.4.1	LANDSCAPE IRRIGATION PLAN
L.5.1	LANDSCAPE LIGHTING PLAN
L.6.1	LANDSCAPE HARDSCAPE DETAILS
L.7.1	LANDSCAPE PLANTING DETAILS
L.8.1	LANDSCAPE PLANTING SPECIFICATIONS
L.8.2	LANDSCAPE IRRIGATION SPECIFICATIONS

THE PROPOSED PROJECT IS A REMODEL AND ADDITION TO AN EXISTING HOME. THE PROJECT WILL ALSO INCLUDE A NEW DETACHED GARAGE AND A NEW DETACHED PAVILION.



Revision:	
Project #:	
Date:	10-18-18
Issued For:	
Drawn By:	

COMPLIANCE WITH CHAPTER 11 OF THE 2015 IRC OR CHAPTER 4 OF THE 2014 IEC IS REQUIRED (ZONE 2). A PERMANENT ENERGY CERTIFICATE (R,U, & SHGC VALUES) IS REQUIRED AT TIME OF FINAL INSPECTION TO BE POSTED IN THE ELECTRICAL DISTRIBUTION PANEL.

BUILDING ENVELOPE (INSULATION, R-VALUE, U-FACTOR, SHGC)
TO COMPLY WITH SECTION 402. MECHANICAL SYSTEMS TO
COMPLY WITH SECTION 403.

ALL MODIFICATIONS TO THE BUILDING ENVELOPE MUST COMPLY WITH THE FOLLOWING:

SOLAR HEAT GAIN COEFFICIENT = 0.25 MAXIMUM
FENESTRATION U-FACTOR = 0.40 MAXIMUM
FENESTRATION SHGC = 0.25 MAXIMUM
INSULATION AT WALLS = R-19 MINIMUM
INSULATION AT CEILING = R-38 MINIMUM
DUCTWORK INSULATION = R-8 MINIMUM
MINIMIZE AIR LEAKAGE PER IECC 402.4

100



04 VIEW #4
NO SCALE



05 VIEW #5
NO SCALE



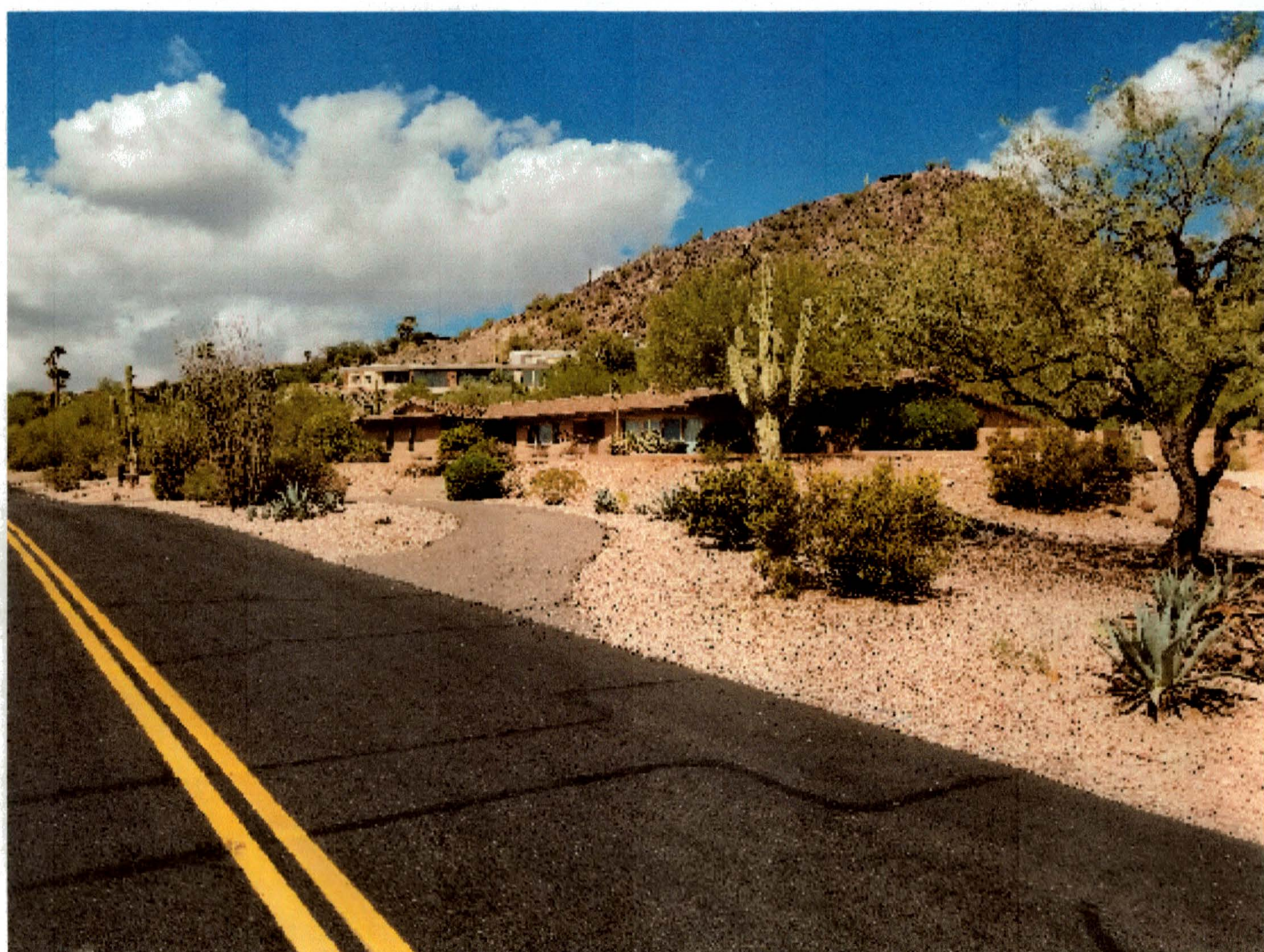
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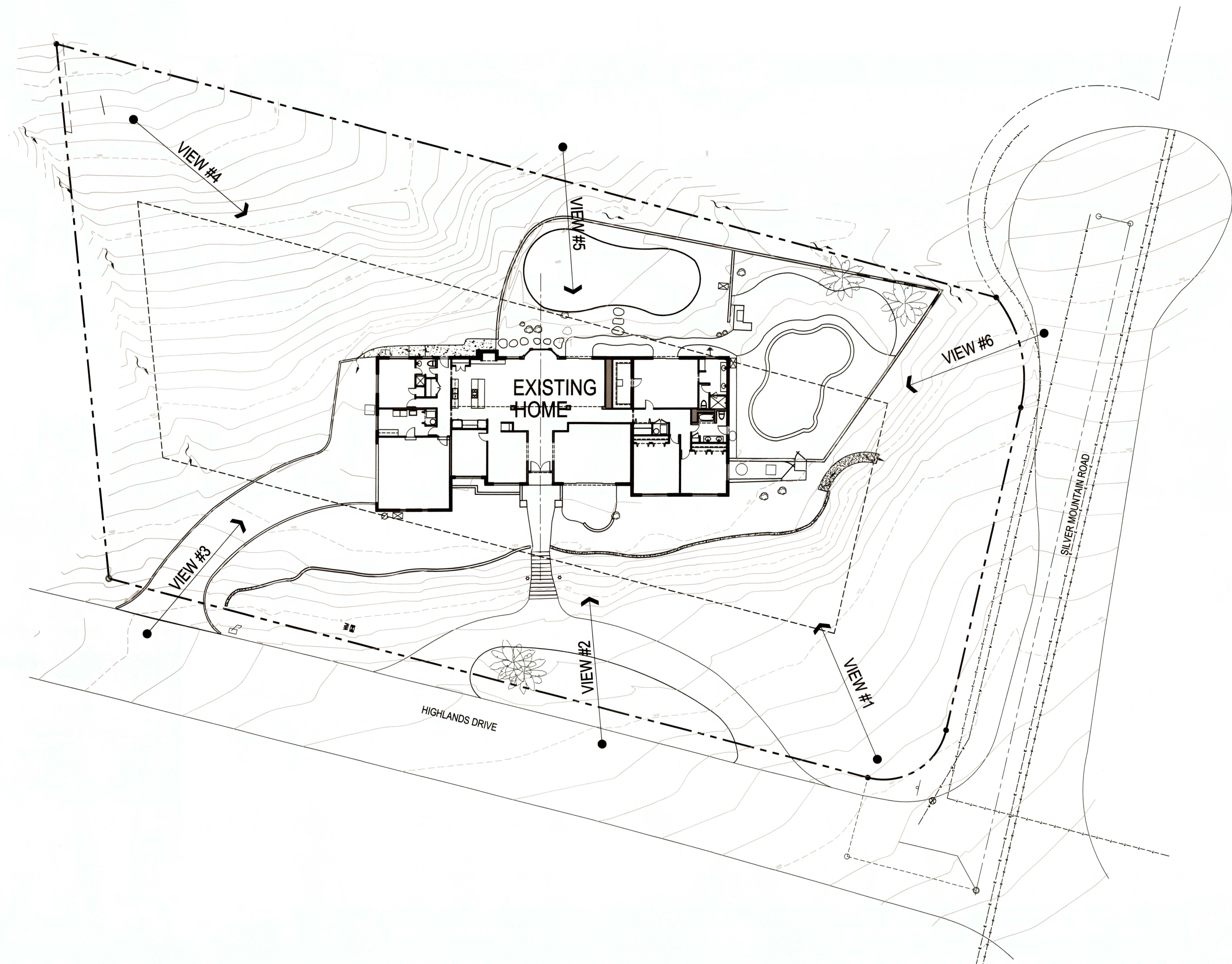
03 VIEW #3
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02 VIEW #2
NO SCALE



01 VIEW #1
NO SCALE



- THE -
**CORPSTEIN
RESIDENCE**
4342 E. HIGHLANDS DRIVE
PARADISE VALLEY, ARIZONA

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02 RENDERING #2
NO SCALE



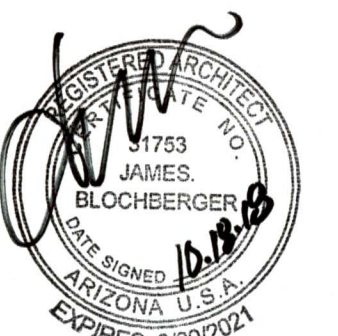
03 RENDERING #3
NO SCALE



01 RENDERING #1
NO SCALE



04 RENDERING #4
NO SCALE



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