

**Minor Amendment for Special Use Permit
Paradise Valley, AZ**

Hermosa Inn 2018 Minor Amendment to Special Use Permit

In April 2015 the Allred family purchased the Hermosa Inn. Since then, several previously-approved changes have been built, including a new lobby/administration building, a new arrival area, 10 new guest suites, changes to the bar, and various other enhancements. As these upgrades have been completed and as General Manager Steve Ast and the Allreds have grown more familiar with the resort's clientele and needs, it is now time to refine the site plan to prepare for the next stage of improvements.

This proposal does not add any floor area, does not add any conditioned space, and does not ask for any new resort units. What it does do is to relocate and modify some previously-approved uses to allow the resort to better serve its clientele. Two site plans have been included in the submittal: a digitized version showing the October 2016 approved plan and the 2018 proposed site plan. The official version of the October 2016 site plan was hand drawn; the digitized version was prepared to provide a reliable baseline from which to move forward.

Proposed changes include (1) the spa and fitness rooms are being moved to a location closer to the existing swimming pool, (2) proposed resort units in the southeast corner of the property are being relocated to the southwest corner, (3) restrooms are being relocated, (4) the space for outdoor exterior events is relocated from an existing approved location northwest of the swimming pool to the existing Garden, located south of main lobby, and (5) parking is being added on the north side of the property in the area of the old vegetable garden and in the southeast area of the property. The parking at the vegetable garden area is not really new. It was approved in 2007, but later deleted by a 2016 amendment to the SUP. We are asking that it be added back in, along with a noise barrier wall that was included in the 2007 approval. The new parking in the southeast corner of the property will be behind an existing wall and will match other existing parking along Palo Cristi to the north.

The existing Garden has been used from time to time for weddings and food and beverage events. A large canopied tree on the southeast corner of the existing Garden and an open area on the northwest corner have been the primary locations of these planned events. The existing Garden has also been enjoyed by guests for strolling around the pathways and relaxing under the trees—this will continue. The current proposal will maintain the current use of the existing Garden, but will update and enhance the landscaping to include fountains, gas fireplaces, table tops, and enhanced pathways surrounding a new lawn; none of these features will exceed 6' in height and lighting in the Garden will be consistent with the lighting plan. The relocation of the "exterior events" designation from the area northwest of the swimming pool (depicted as #12 on the October 2016 site plan) to the existing Garden will internalize outdoor events to an area surrounded by existing resort buildings; this move will benefit neighbors to the west by eliminating the outdoor activities close to their homes. As with other resort properties within the Town, we are requesting that the approved site plan show a proposed area within which tents may be located; this will expedite the process of erecting tents, when needed. The maximum size of the tents will be 40' x 40' and the maximum height will be 24'. Typically, two tents would be utilized at the same time; one would be 40' x 40' and the other would be 20' x 20'. A temporary tent may be erected for a maximum of

16 consecutive days per event, but may exceed 16 days if the resort owner applies for a special event permit. All events in tents will end by 10:00 p.m.

Just as relocating the "exterior events" designation from an area close to the west property line to the existing Garden will benefit neighbors to the west, building a single-story fitness and spa building west of the outdoor swimming pool will benefit these same neighbors by adding a buffer between those neighbors and the outdoor swimming pool.

In addition to the 2018 proposed site plan, an emergency access plan, a delivery/circulation plan, a site lighting zone plan, and a parking lot lighting plan are included in this proposal; these plans are essentially the same as the current approved plans, but have been updated to use the 2018 proposed site plan as the base. Elevations of the new buildings, a landscape plan, and a drainage plan are also part of this submittal. One other previously approved plan is still applicable: the Signage Plan (Page 7), which was a part of the September 2014 managerial amendment. The architecture and height of the new structures will match the old-Arizona character of the existing buildings. The current Special Use Permit (stipulation C.20 in Ordinance No. 595) limits the use of the pool, spa, and fitness area to resort guests and immediately adjacent neighbors. The Hermosa Inn would like to have these areas available to not more than 50 members who, along with guests of the resort and adjacent neighbors, would be able to use these facilities. The hours of use by members would be from 6:00 a.m. to 7:00 p.m. Amplified music that is incidental to the ceremony portion of a wedding or similar event may not exceed two hours and shall end not later than 9:00 p.m.; any amplified music shall comply with Town noise ordinances.

The Hermosa Inn is anxious to move forward with these enhancements. As noted at the beginning, no new conditioned space, no new floor area, and no new resort units are being requested. Section 1102.7.B of the Zoning Ordinance sets forth the criteria to qualify for a minor amendment. We believe that the current proposal meets these criteria because (1) it will not change or add any uses, (2) there is no increase in the previously-approved floor area, (3) there will be no material effect on neighboring properties—in fact it will internalize an outdoor activity area, which will benefit the neighbors, and (4) there will be no change to the architectural style.

2018 Drainage Narrative

The Hermosa Inn was originally constructed as a single family residence and thru the years has been remodeled and expanded to its present configuration.

Since its inception and to the present time the drainage philosophy was to have all stormwater pass thru the site and no provision was ever made to detain or retain any of the stormwater which was generated by the resort with the exception of a small retention basin at the northwest corner of the site which was constructed in 2016 to accommodate some of the increased runoff generated by the construction of 8 new guest rooms, the elimination of the existing tennis courts and the addition of some additional paving.

Individual grading and drainage plans will be submitted on a site by site basis, if required, as individual portions of the site are developed.



AREA CALCULATIONS

EXISTING CONDITIONED SF	42,991 SF
FUTURE CONDITIONED SF (SHOWN)	10,079 SF
FUTURE CONDITIONED SF (NOT SHOWN)*	2,620 SF
TOTAL CONDITIONED SF	55,690 SF
EXISTING OVERHANG SF	9,894 SF
FUTURE OVERHANG (SHOWN)	1,171 SF
FUTURE OVERHANG (NOT SHOWN)*	2,283 SF
TOTAL OVERHANG	13,348 SF

* RESERVED SQUARE FOOTAGE TO BE SHOWN GRAPHICALLY IN A FUTURE SUP AMENDMENT. VARIANCE IN SQUARE FOOTAGE IDENTIFIED ONCE PREVIOUS SUP PLANS WERE DIGITIZED FOR ACCURATE AREA CALCULATIONS.

PROJECT DATA
 * Based on the Approved OCT 2016 Site Plan, Edited to Reflect Current Build Conditions

Site Area	6.356 Acres Net	277,022 SF
Square Footage		
Proposed Coverage (Conditioned Space)	55,690 SF =	20.10%
Proposed Coverage (Porches, Loggia, Patios)	13,348 SF =	4.82%
Total Proposed Lot Coverage (Max. Lot Coverage per SUP Guidelines: 25.00%)	69,038 SF =	24.92%
Total Proposed Parking Lot Area:	53,425 SF	

Density

Existing Room Keys:	* 43 Units
Proposed Guest Room Keys:	49 Units
Max Density per SUP Guidelines:	
1 Unit per 4,000 SF Land Area (277,022/4000=69.25)	69 Units

Parking
 See Traffic Impact Study by Task Engineering For Details.

Existing Total Parking	* 156 spaces
Required Off Season	107 spaces
Required Peak Season	127 spaces
Proposed Self Parking	140 spaces
Proposed with Valet Parking	156 spaces

Building Area Summary (Conditioned SF)
 Based on the Approved October 2016 Site Plan

Proposed Use	Amended	Amended Sq. Ft.
Guest Rooms	49	34,480
Kitchen/Dining/Bar		14,728
Admin/Sales		1,740
Storage		522
Reception		1,250
Spa		1,050
Meeting		1,920
Totals		55,690

Summary Table
 Based on the Approved October 2016 Amendment

Building #	Existing Use	Proposed Use	Proposed Guest Keys
1	Guest Room	Guest Room	5
2	Guest Room	Guest Room	2
3	Guest Room	Guest Room	2
4	Guest Room	Guest Room	2
5	-	Guest Room	1
6	Lobby and Administration	Lobby and Administration	6
7	Guest Room	Guest Room	3
8	Guest Room	Guest Room	3
9	Guest Room	Guest Room	3
10	Guest Room	Guest Room	3
11	Guest Room	Guest Room	4
12	Pool and Exterior Events	Pool and Exterior Events	*3
13	Guest Room	Guest Room	*3
14	Guest Room	Guest Room	4
15	Guest Room	Guest Room	2
16	Guest Room	Guest Room	2
17	Guest Room	Guest Room	2
18	Guest Room	Guest Room	2
19	-	Fitness	
20	Spa	Spa	
21	Storage	Storage	
22	Trash	Trash	
23	Back of House	Back of House	
24	-	New Back of House	
25	-	Public Restrooms	
26	-	Meeting and Events	
27	Exterior Patio	Exterior Patio	
28	Restaurant	Restaurant	
28a	Bar	Bar	
28b	Covered Porch	Covered Porch	
28c	-	Banquet Room Expansion	
29	Open Garden Patio	Open Garden Patio	
30	Valet Canopy	Valet Canopy	
31	-	Dining Loggia w/ Fireplace	
32	-	Bar Loggia w/ Fireplace	
33	Auto Court	Auto Court	
34	Existing Fireplace	Existing Fireplace	
35	Existing Fountain	Existing Fountain	
36	-	Sliding Parking Lot Gate	
37	Exterior Gas Fireplace	Exterior Gas Fireplace	
38	Exterior Cooking Fireplace	Exterior Cooking Fireplace	
39	-	Masonry Wall at 6'-0"	
40	Fountain	Fountain	
41	Pool/Spa	Pool/Spa	
42	-	All Hotel Rooms & Dining Areas Shall have Fireplaces	
43	Pathway Trelis	Pathway Trelis	*49
Total	Guest Rooms		*49

* Per October 2016 Approved Amendment, Buildings 13 and 14 were reduced from 4 (approved in prior amendment) to 3. These units were noted as follows:
 *2 units shall be recovered in a future SUP amendment.
 This compiled and updated SUP document still holds these two units in reserve for a future SUP amendment.



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OWNER / DEVELOPER
ALLRED'S HERMOSA INN, LLC
 5734 E RANCHO MANANA BLVD
 CAVE CREEK, AZ 85331

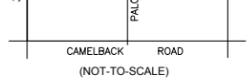
LANDSCAPE ARCHITECT
 TIMOTHY STARKEY
 4550 N 12TH STREET
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 85014
 PHONE: 602.264.6831
 EMAIL: TSTARKEY@CVLCCI.COM

PROJECT INFORMATION

HERMOSA INN
 5532 NORTH PALO CRISTI ROAD
 PARADISE VALLEY, AZ 85253

MINOR AMENDMENT TO SUP
 TOWN OF PARADISE VALLEY, AZ
 ORDINANCE NUMBER 595 SUP-07

CVL JOB 01.0263301



REVISION HISTORY

SEAL & ISSUE

DESIGN: TBS
 DRAWN: RG
 CHECK: TBS

**SITE AND USE PLAN
 OCT 2016 AMENDMENT
 (DIGITIZED VERSION)**

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AREA CALCULATIONS

EXISTING CONDITIONED SF	42,991 SF
FUTURE CONDITIONED SF	11,737 SF
FUTURE CONDITIONED SF (NOT SHOWN)*	962 SF
TOTAL CONDITIONED SF	55,690 SF
EXISTING OVERHANG SF	9,894 SF
FUTURE OVERHANG	3,253 SF
FUTURE OVERHANG SF (NOT SHOWN)*	201 SF
TOTAL OVERHANG	13,348 SF

* AREAS NOT SHOWN ARE RESERVED FOR FUTURE SUP AMENDMENT.

PROJECT DATA

	APPROVED	PROPOSED
Site Area		
6.356 Acres Net	277,022 SF	277,022 SF
Square Footage		
Proposed Coverage (Conditioned Space)	55,690 SF = 20.10%	55,690 SF = 20.10%
Proposed Coverage (Porches, Loggia, Patios)	13,348 SF = 4.82%	13,348 SF = 4.82%
Total Proposed Lot Coverage (Max. Lot Coverage per SUP Guidelines: 25.00%)	69,038 SF = 24.92%	69,038 SF = 24.92%
Total Proposed Parking Lot Area:	59,261 SF	67,778 SF
Density		
Proposed Guest Room Keys:	49 Units	49 Units
Parking		
Self Parking	140 spaces	146 spaces
with Valet Parking	156 spaces	181 daytime spaces 187 evening spaces

SUMMARY TABLE

Building	USE	KEYS
1	Guest Room	2
2	Guest Room	2
3	Guest Room	2
4	Guest Room	2
5	Guest Room	2
6	Lobby and Administration	6
7	Guest Room	6
8	Guest Room	3
9	Guest Room	3
10	Guest Room	3
11	Guest Room	4
12	Exterior Events	3
13	Guest Room	3
14	Guest Room	3
15	Guest Room	4
16	Guest Room	2
17	Guest Room	2
18	Guest Room	2
19	Fitness and Spa	2
20	Restroom Building and Storage	2
21	Storage	2
22	Trash	2
23	Back of House	2
24	New Back of House	2
25	Storage	2
26	Meeting and Events	2
27	Exterior Patio	2
28	Restaurant	2
28A	Bar	2
28B	Covered Porch	2
28C	Banquet Room Expansion	2
29	Open Garden Patio	2
30	Valet Canopy	2
31	Dining Loggia w/ Fireplace	2
32	Bar Loggia w/ Fireplace	2
33	Auto Court	2
34	Existing Fireplace	2
35	Existing Fountain	2
36	Sliding Parking Lot Gate	2
37	Exterior Gas Fireplace	2
38	Exterior Cooking Fireplace	2
39	Masonry Wall at 6'-0"	2
40	Fountain	2
41	Pool/Spa	2
42	All Hotel Rooms & Dining Areas Shall have Fireplaces	2
43	Pathway Trellis	2
44	Restroom Building	2
45	Combination retaining wall and screen fence or solid wall for maintenance yard	2
46	Mechanical equipment and storage	2
Total		49



OWNER / DEVELOPER
ALLRED'S HERMOSA INN, LLC
 5734 E RANCHO MANANA BLVD
 CAVE CREEK, AZ 85331

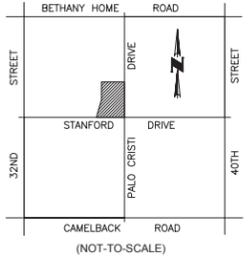
LANDSCAPE ARCHITECT
TIMOTHY STARKEY
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 PHONE: 602.264.6831
 EMAIL: TSTARKEY@CVL.CI.COM

PROJECT INFORMATION
HERMOSA INN
 5532 NORTH PALO CRISTI ROAD
 PARADISE VALLEY, AZ 85253

MINOR AMENDMENT TO SUP
 TOWN OF PARADISE VALLEY, AZ

CVL JOB 01.0263301

VICINITY MAP



REVISION HISTORY

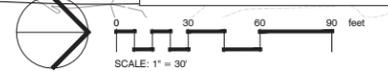
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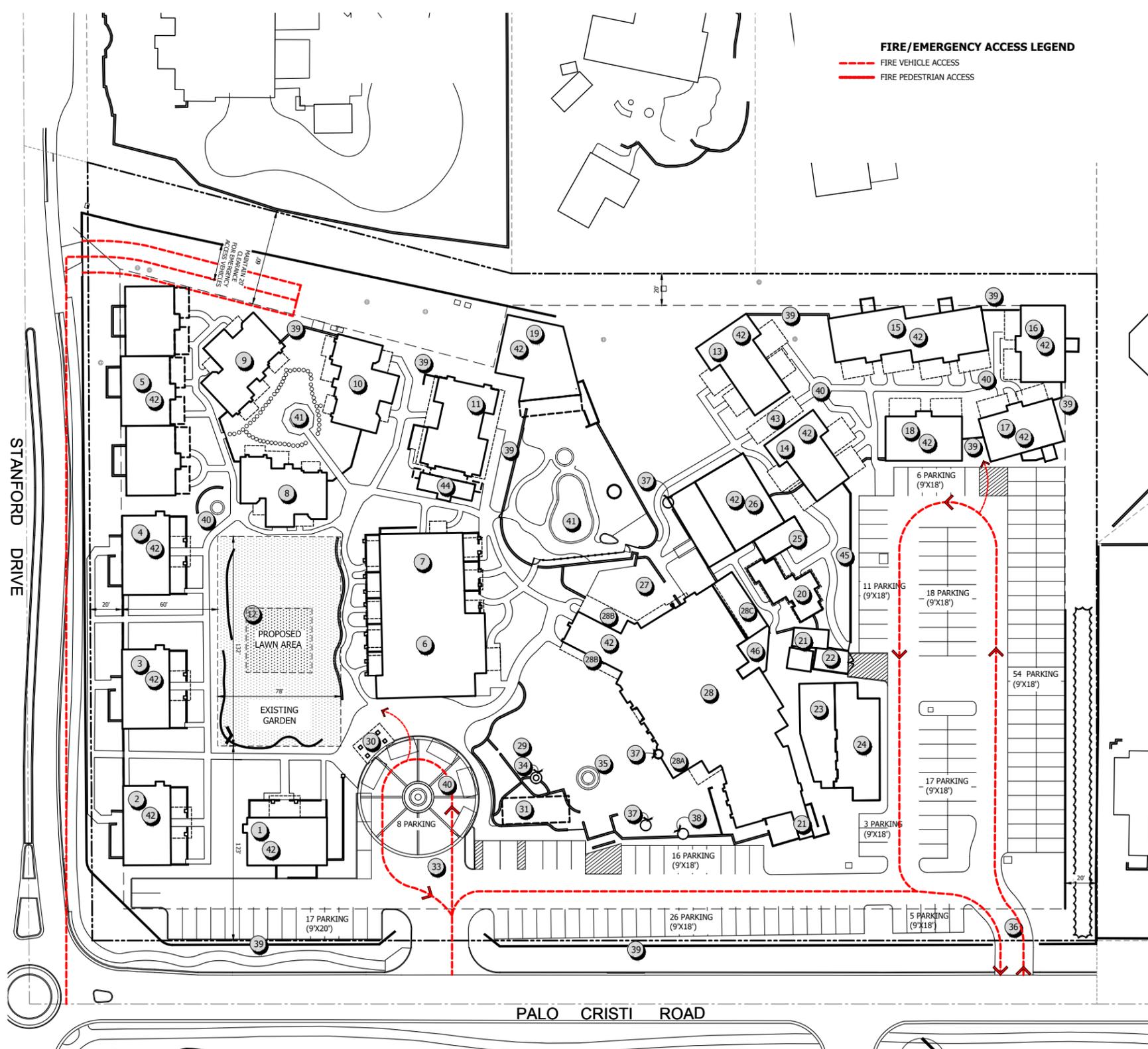
SITE AND USE PLAN
 2018

NOTE:
 EXISTING OLEANDER HEDGE (+12' TALL) SHALL REMAIN, BE INFILLED, AND EXTENDED TO EAST PROPERTY LINE. MAXIMUM LIGHT SPILL TO ADJACENT PROPERTY SHALL BE 0.5 FC.

LIGHTING SHALL COMPLY WITH PREVIOUSLY APPROVED LIGHTING REQUIREMENTS



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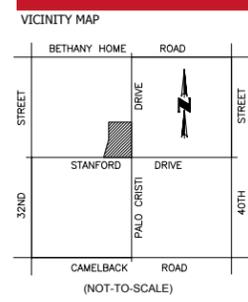
FIRE/EMERGENCY ACCESS LEGEND
 - - - - - FIRE VEHICLE ACCESS
 _____ FIRE PEDESTRIAN ACCESS

PROJECT DATA	APPROVED	PROPOSED	
Site Area			CVL CONSULTANTS Civil Engineering Water Systems Wastewater Treatment Land Planning Energy Land Survey Landscape Architecture Construction Management
6.356 Acres Net	277,022 SF	277,022 SF	4550 N. 12th Street Phoenix, AZ, 85014 phone 602.264.6831 fax 602.264.0928 web www.cvlci.com
Square Footage			OWNER / DEVELOPER ALLRED'S HERMOSA INN, LLC 5734 E RANCHO MANANA BLVD CAVE CREEK, AZ 85331
Proposed Coverage (Conditioned Space)	55,690 SF = 20.10%	55,690 SF = 20.10%	
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Total Proposed Parking Lot Area:	59,261 SF	67,778 SF	
Density			LANDSCAPE ARCHITECT
Proposed Guest Room Keys:	49 Units	49 Units	TIMOTHY STARKEY 4550 N 12TH STREET PHOENIX, AZ 85014 PHONE: 602.264.6831 EMAIL: TSTARKEY@CVLCI.COM
Parking			
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46	Mechanical equipment and storage	
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 5532 NORTH PALO CRISTI ROAD
 PARADISE VALLEY, AZ 85253
 MINOR AMENDMENT TO SUP
 TOWN OF PARADISE VALLEY, AZ
 CVL JOB 01.0263301



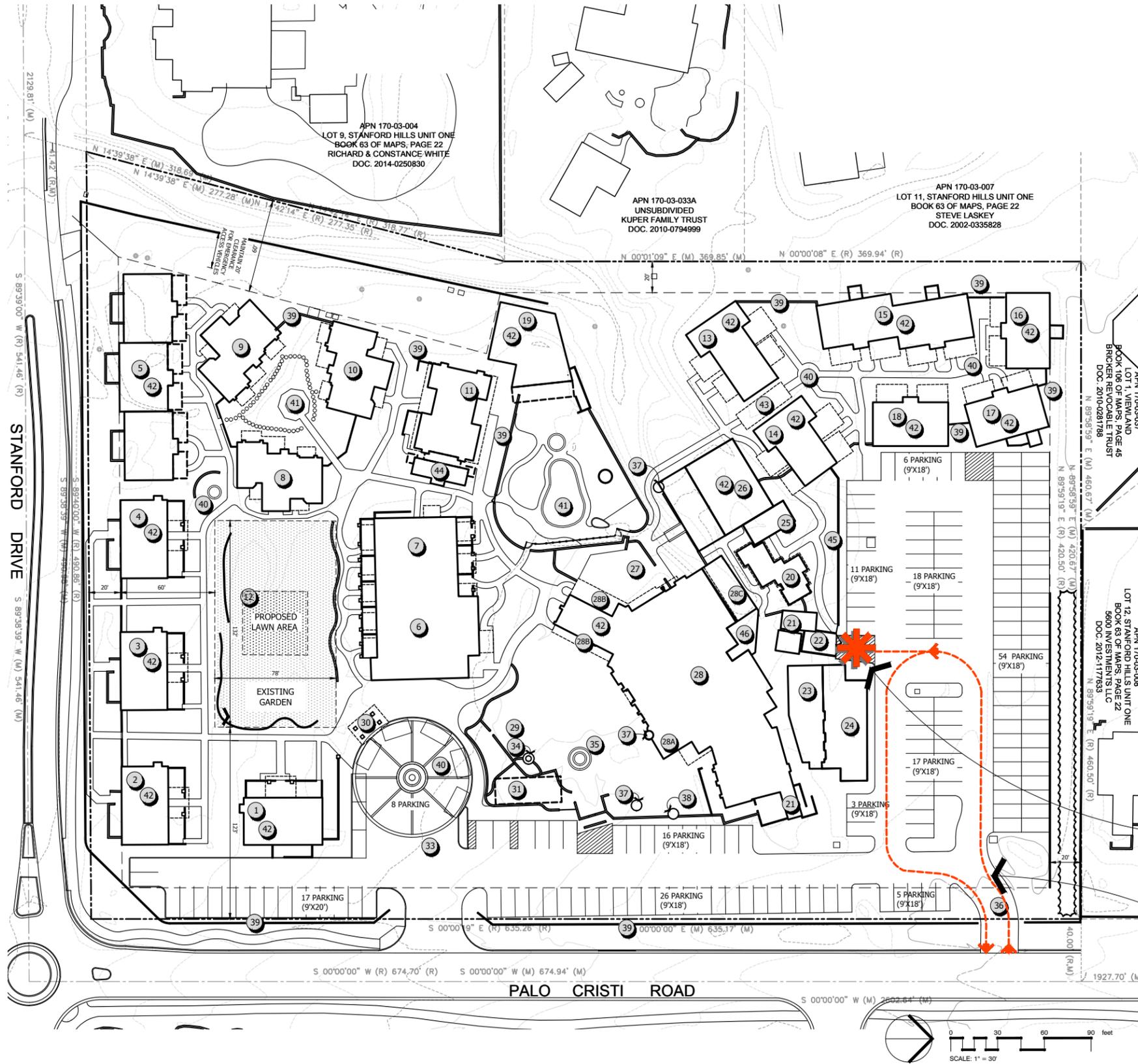
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SEAL & ISSUE

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 DRAWN: RG
 CHECK: TBS

FIRE/EMERGENCY ACCESS PLAN 2018

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SUMMARY TABLE

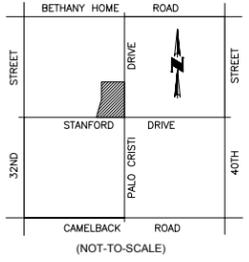
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 PARADISE VALLEY, AZ 85253

MINOR AMENDMENT TO SUP
 TOWN OF PARADISE VALLEY, AZ

CVL JOB 01.0263301

VICINITY MAP



REVISION HISTORY

NO.	DESCRIPTION

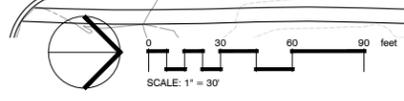
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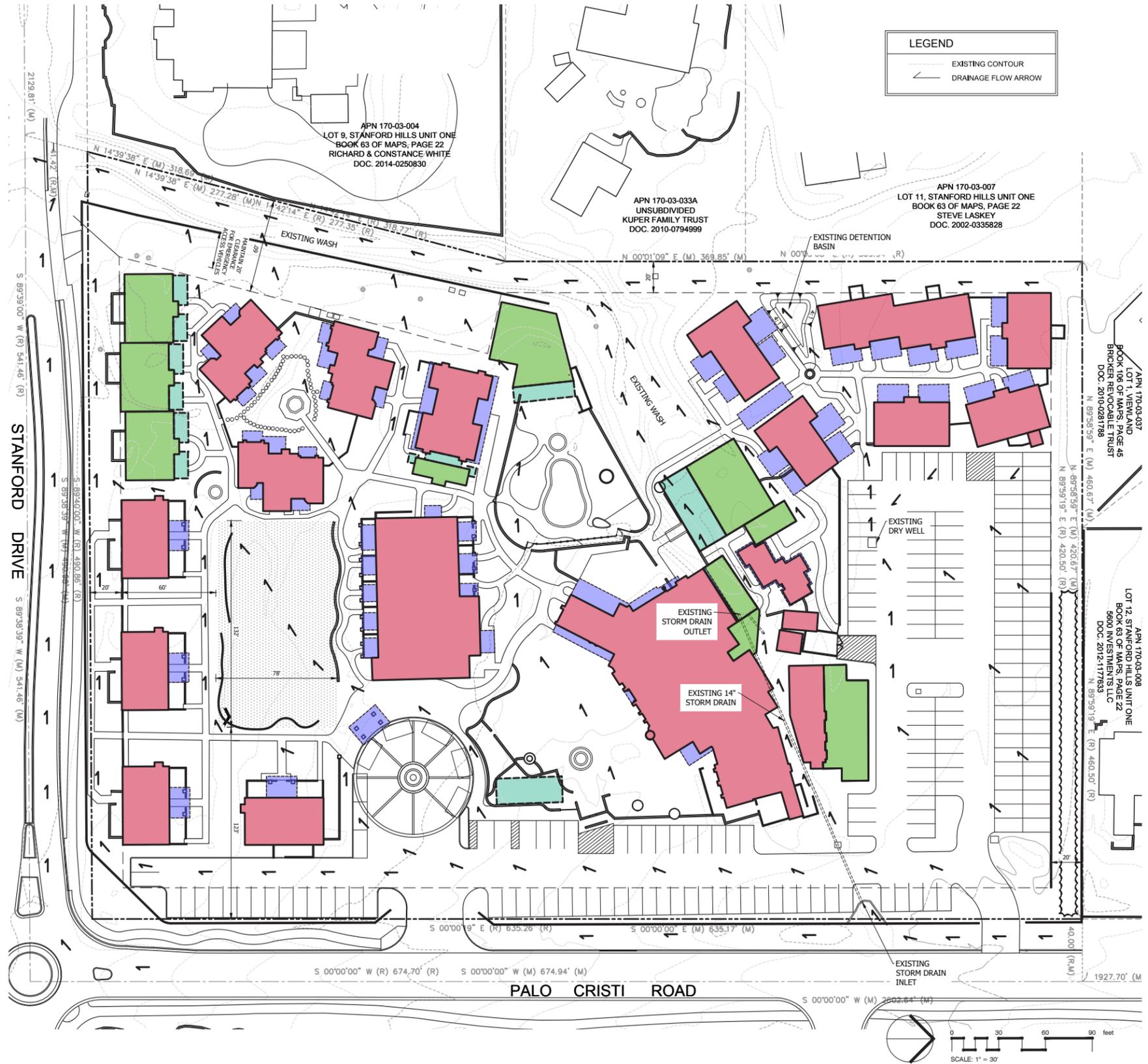
DELIVERY/SERVICE CIRCULATION PLAN 2018

DELIVERY POINT

DELIVERY/SERVICE CIRCULATION



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CVL CONSULTANTS
 Civil Engineering
 Water Systems
 Wastewater Treatment
 Land Planning
 Energy
 Land Survey
 Landscape Architecture
 Construction Management

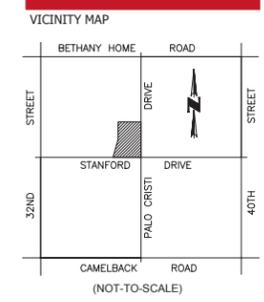
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LANDSCAPE ARCHITECT
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REVISION HISTORY

SEAL & ISSUE

DESIGN: FF
 DRAWN: RG
 CHECK: TBS

**CONCEPTUAL DRAINAGE
 PLAN 2018**

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GARDEN LIGHTING EXAMPLE MAX HEIGHT: 16' POLE HEIGHT



1.8 watts / 24 VAC
Virtual Incandescent LEDs do a remarkable job of emulating traditional incandescent lamps.



1.8 watts / 24 VAC
These LEDs have the same apparent brightness as 75 watt incandescent lamps, with over 4 times the life rating.



Three Exhibitor Globe Shaps
All styles are available in clear and frosted.
The G-19 is also available in triprismatic: Green, Amber, Blue, Red and Violet.

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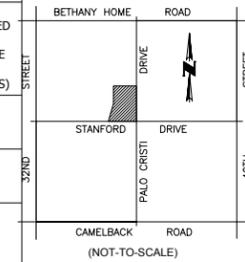
OWNER / DEVELOPER
ALLRED'S HERMOSA INN, LLC
 5734 E RANCHO MANANA BLVD
 CAVE CREEK, AZ 85331

LANDSCAPE ARCHITECT
 TIMOTHY STARKEY
 4550 N 12TH STREET
 PHOENIX, AZ
 85014
 PHONE: 602.264.6831
 EMAIL: TSTARKEY@CVLCLI.COM

PROJECT INFORMATION
HERMOSA INN
 5532 NORTH PALO CRISTI ROAD
 PARADISE VALLEY, AZ 85253
 MINOR AMENDMENT TO SUP
 TOWN OF PARADISE VALLEY, AZ

CVL JOB 01.0263301

VICINITY MAP



REVISION HISTORY

NO.	DATE	DESCRIPTION
1	06/11/18	ISSUE FOR PERMITS
2	07/06/18	MINOR AMENDMENT TO SUP

SEAL & ISSUE



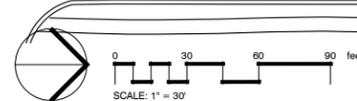
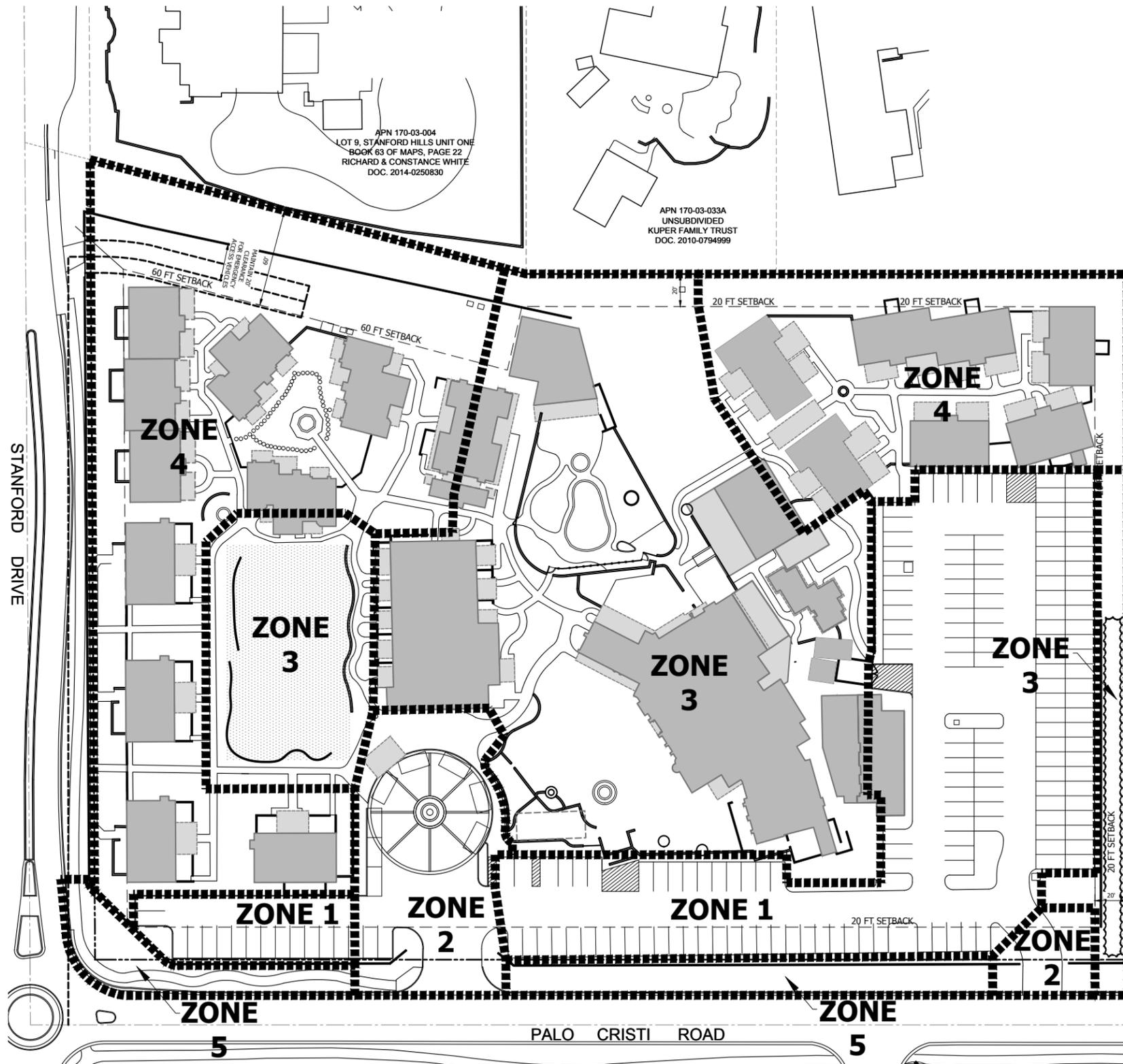
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 CHECK: TBS

SITE LIGHTING ZONE PLAN 2018

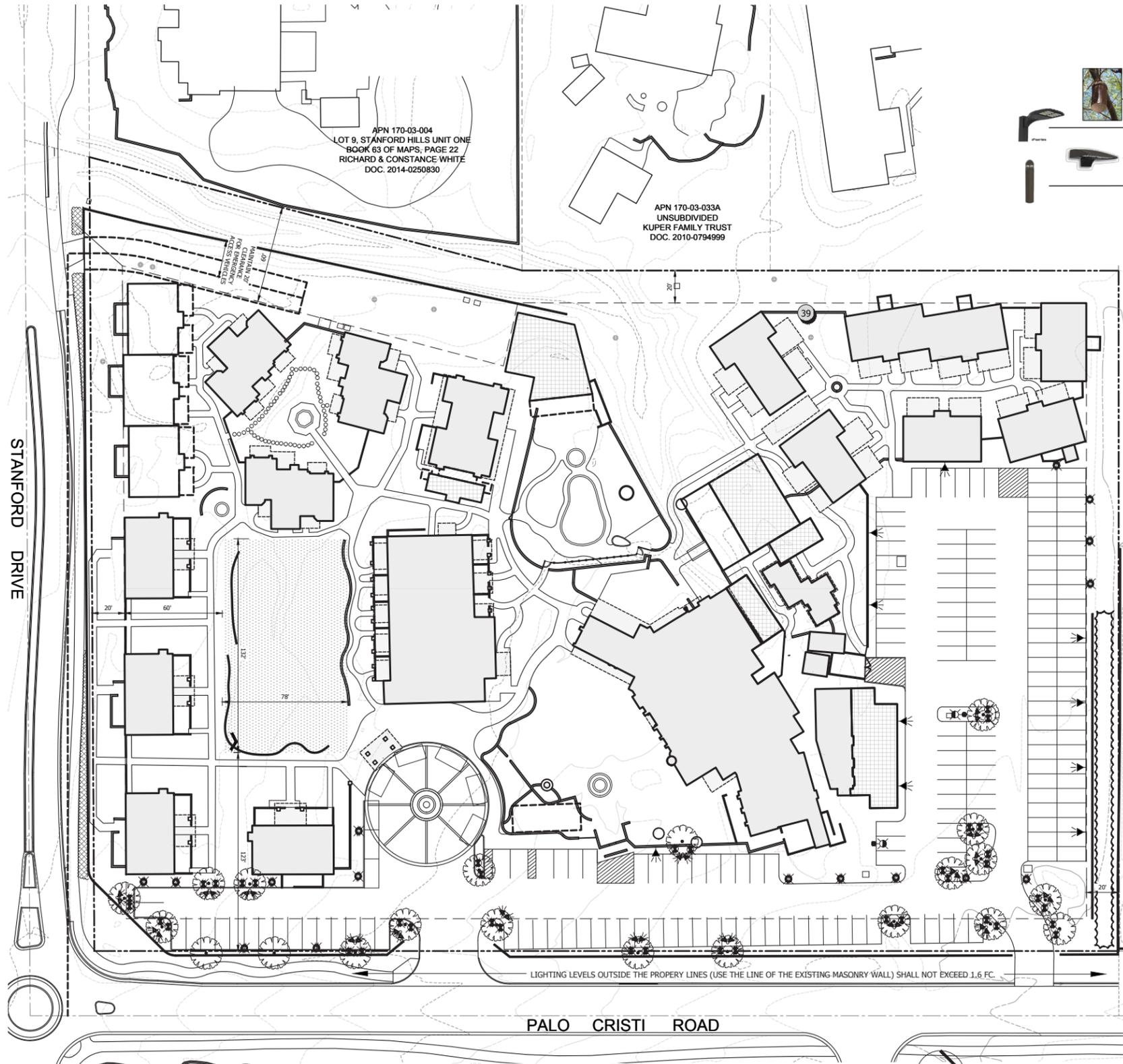
Hermosa Inn Performance Standards & Zone Legend

CATEGORY	DESCRIPTION	ZONE	HERMOSA INN SUP PROPOSED AVERAGE ILLUMINANCE LEVEL (IN FOOTCANDLES)	IESNA RECOMMENDED MINIMUM ILLUMINANCE LEVEL (IN FOOTCANDLES)
Drive Entries, Intersections	Defined by arrival and high level of function	2	2.0	1.5-5.0
Parking Lots	For night time visibility, safety and security	1	1.5	2.5-3.0
Pathways-minor	For night time visibility, safety and security, and to get from point A to point B	3-4	1.5	0.5-2.0
Service Areas	For night time visibility, safety and security	3	5.0	10.0
Pool Decks, Water Features	For safety and night time illumination for functions and highlighting dramatic architectural features	3	3.0	10.0
Exterior Dining Areas	For night time visibility, safety and security for outdoor dining areas and bars	3	5.0	5.0-10.0
Landscaped Areas	Dramatic illumination of landscape areas and elements	3, 4, 5	1.5	0.5-20.0
Guestroom Entries	For night time visibility, safety and security and wayfinding	4	3.0	3.0
Guestroom Patios/Balconies	For night time visibility, safety and security for private functions and private outdoor dining	4	3.0	5.0
Architectural Lighting	For illumination of architectural features, signage, wayfinding and visual interest	3-4	3.0	3.0
Drop-off Areas	For night time visibility, safety and security for drop-off and pick-up areas	1,2,3	3.0	5.0
Valet Stand	For night time visibility, safety and security for drop-off and pick-up areas	2	8.0-10.0	N/A

NOTES:
 1. THE LIGHTING ZONES INDICATED ARE GENERAL IN NATURE. THERE WILL BE A VARIANCE WITHIN A ZONE TO ALLOW FOR SPECIFIC USES.
 2. 16' POLES WITH STRING LIGHTS IN EXISTING GARDEN AREA WILL MEET FOOTCANDLE LIMITATIONS.



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LIGHTING SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	DOWN LIGHT
	SHIELDED POLE MOUNTED FIXTURES
	SHIELDED WALL MOUNTED LIGHT FIXTURE
	SHIELDED BOLLARD FIXTURE
	UPLIGHT

NOTES:

1. MAXIMUM LUMENS PROJECTED ONTO ADJACENT PROPERTY SHALL BE 0.5.
2. ALL FIXTURES ADJACENT TO PROPERTY LINES SHALL BE SHIELDED TO LIMIT THE LUMENS AT THE PROPERTY LINE TO 1.6 OR LESS.
3. TREE MOUNTED FIXTURES AT THE EAST (PALO CRISTI) PROPERTY LINE ARE SHIELDED FROM THE ROAD IN PART BY THE 5' TO 6' HIGH MASONRY WALL FOR THE LENGTH OF THE PROPERTY.
4. PARKING LOT FIXTURES AT THE NORTH PROPERTY LINE ARE ADDITIONALLY SHIELDED FROM THE NEIGHBORS BY THE EXISTING AND EXPANDED OLEANDER HEDGE.

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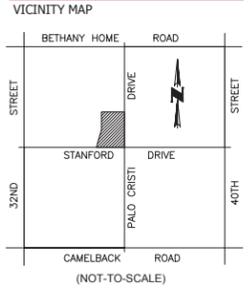
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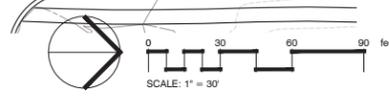


REVISION HISTORY

SEAL & ISSUE

DESIGN: TBS
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 CHECK: TBS

PARKING LOT LIGHTING PLAN 2018



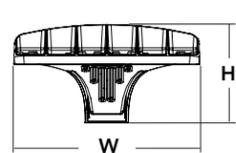
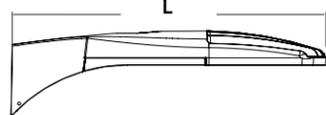
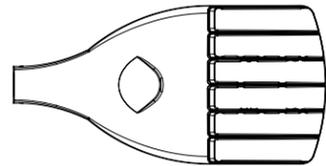


D-Series Size 0 LED Area Luminaire



Specifications

EPA: 0.95 ft² (.09 m²)
 Length: 26" (66.0 cm)
 Width: 13" (33.0 cm)
 Height: 7" (17.8 cm)
 Weight (max): 16 lbs (7.25 kg)



10' MAX. HEIGHT



D-Series LED Bollard



d#series

Specifications

Diameter: 8" Round (20.3 cm)
 Height: 42" (106.7 cm)
 Weight (max): 27 lbs (12.25 kg)



42" MAX. HEIGHT



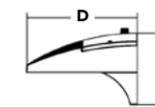
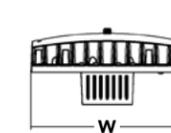
D-Series Size 1 LED Wall Luminaire



d#series

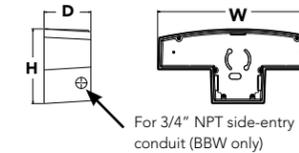
Specifications Luminaire

Width: 13-3/4" (34.9 cm) Weight: 12 lbs (5.4 kg)
 Depth: 10" (25.4 cm)
 Height: 6-3/8" (16.2 cm)



Back Box (BBW, ELCW)

Width: 13-3/4" (34.9 cm) BBW Weight: 5 lbs (2.3 kg)
 Depth: 4" (10.2 cm) ELCW Weight: 10 lbs (4.5 kg)
 Height: 6-3/8" (16.2 cm)

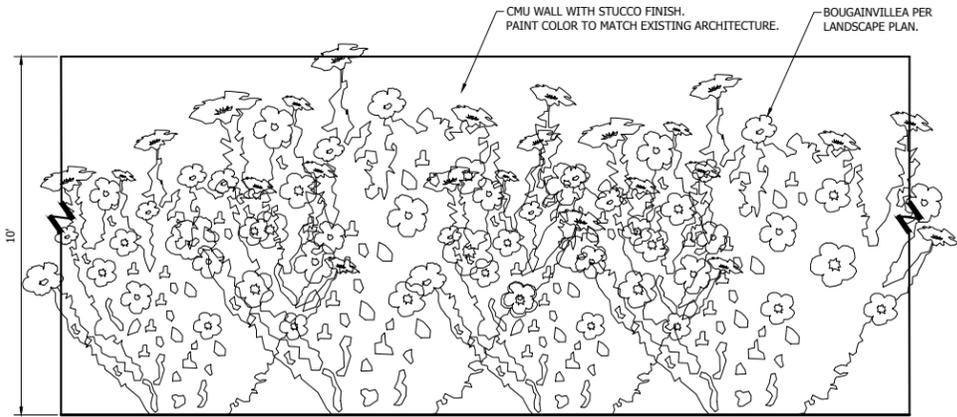


8' MAX. HEIGHT



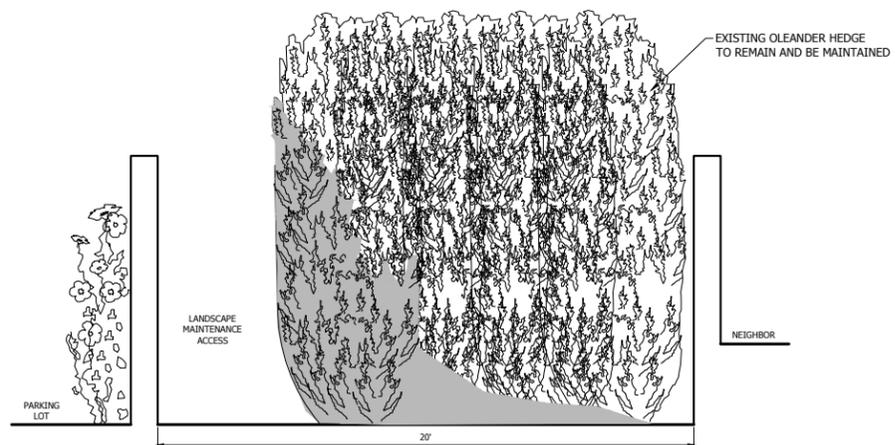
DOWNLIGHT EXAMPLE: RECESSED IN HOOD, MAX. 10' MOUNTING HEIGHT

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 SHEET SET INFORMATION: Sheet Set Name: Sheet Set Sheet Set Description: ---



1 ELEVATION: ACOUSTICAL WALL
1/2" = 1'-0"

P-RE-HER-01



2 SECTION: ACOUSTICAL WALL
3/8" = 1'-0"

P-RE-HER-02

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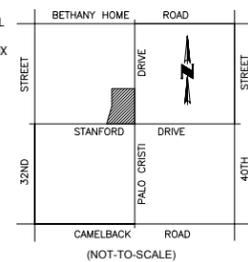
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CVL JOB 01.0263301

VICINITY MAP



REVISION HISTORY

SEAL & ISSUE

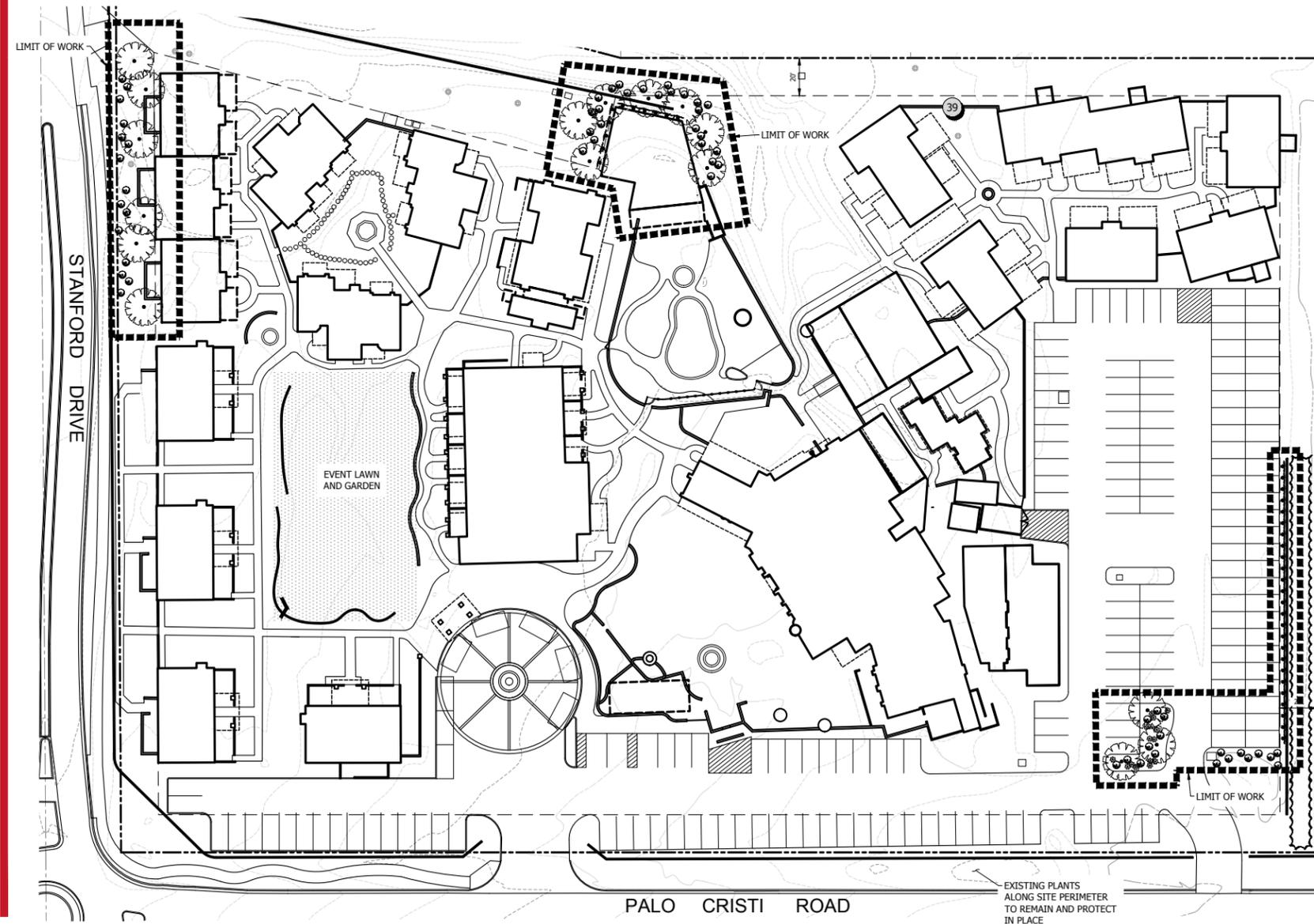
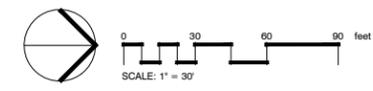
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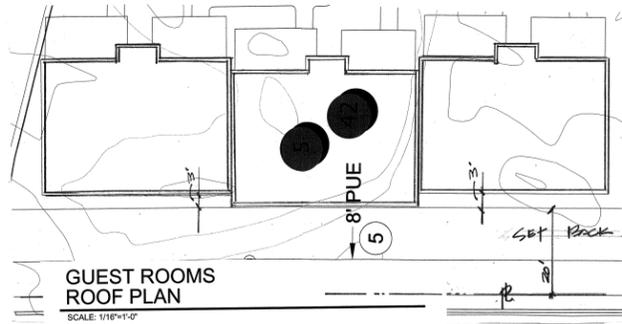
LANDSCAPE PLAN 2018

CONCEPT PLANT SCHEDULE

	SHADE TREE CAESALPINIA CALACALO 'SMOOTHIE'™ / CASCALOTE CHILOPSIS LINEARIS 'BUBBA' / BUBBA DESERT WILLOW PARKINSONIA X 'DESERT MUSEUM' / DESERT MUSEUM PALO VERDE PROSOPIS GLANDULOSA 'MAVERICK'™ / HONEY MESQUITE	15 GAL 24"BOX 15 GAL 36"BOX
	VINES BOUGAINVILLEA X 'BARBARA KARST' / BARBARA KARST BOUGAINVILLEA TRELIS MACFADYENA UNGUIS-CATI / YELLOW TRUMPET VINE	5 GAL 5 GAL
	SHRUBS CAESALPINIA GILLIESII / YELLOW BIRD OF PARADISE CALLIANDRA X 'SIERRA STARR'™ LEUCOPHYLLUM CANDIDUM 'THUNDER CLOUD'™ / BREWSTER COUNTY BAROMETERBUSH RUELLIA PENNINSULARIS / WILD PETUNIA RUSSELLIA EQUITIFORMIS / FIRECRACKER PLANT TECOMA STANS 'GOLD STAR' / YELLOW BELLS TECOMA STANS 'SUNRISE' / YELLOW BELLS	5 GAL 5 GAL 5 GAL 5 GAL 5 GAL 5 GAL 5 GAL
	GROUNDCOVER ALOE BARBADENSIS / BARBADOS ALOE ALOE X 'BLUE ELF' / ALOE LANTANA CAMARA 'DALLAS RED' / DALLAS RED LANTANA LANTANA X 'NEW GOLD' / NEW GOLD LANTANA RUELLIA BRITTONIANA 'COMPACT KATIE' / DWARF MEXICAN PETUNIA	1 GAL 1 GAL 1 GAL 1 GAL 1 GAL

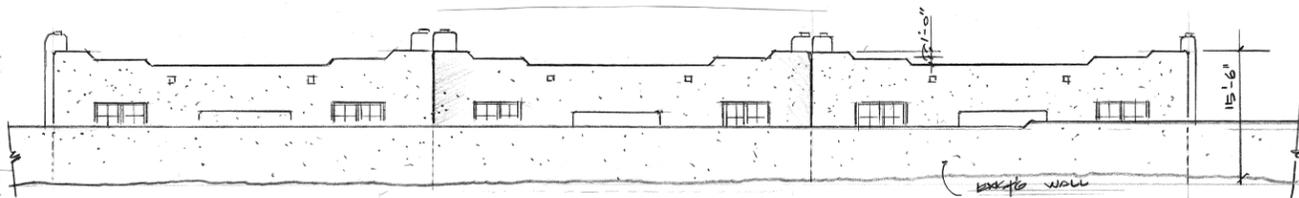
NOTE:
 1. PRELIMINARY LANDSCAPE AREAS SHOWN ARE PROPOSED FOR NEW IMPROVEMENT AREAS ON SITE.
 2. EXISTING LANDSCAPING (NOT SHOWN) SHALL REMAIN AND BE PROTECTED IN PLACE.





**GUEST ROOMS
ROOF PLAN**
SCALE: 1/16"=1'-0"

NOTE: PARAPET HEIGHTS BETWEEN UNITS MAY VARY SLIGHTLY DEPENDING UPON SPECIFIC EXISTING GRADE BELOW.

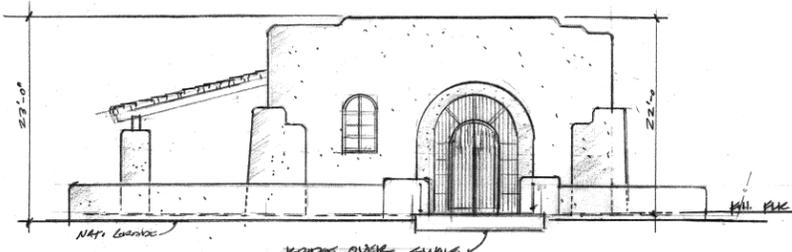


**GUEST ROOMS
SOUTH ELEVATION**
SCALE: 1/8"=1'-0"

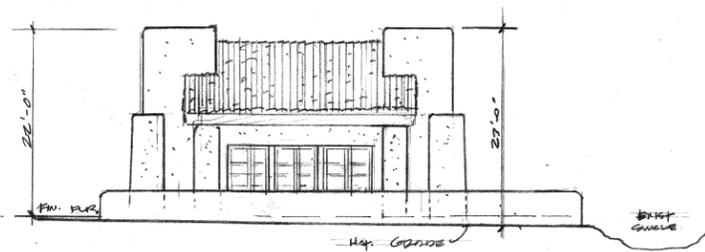
EXTERIOR ELEVATION NOTES

1. BUILDING HEIGHTS ARE MEASURED FROM EXISTING NATURAL GRADE.
2. ALL BUILDINGS SHALL MEET TOWN OF PARADISE VALLEY OPEN SPACE CRITERIA.
3. CHIMNEY HEIGHT SHALL NOT EXCEED 2 FEET ABOVE ADJACENT PARAPET OR ROOF.
4. ALL STRUCTURES SHALL BE STUCCO WALLS, FLAT ROOFS, AND SLOPING CLAY TILE ROOFS. COLOR AND TEXTURE SHALL MATCH EXISTING BUILDINGS.
5. ALL AIR CONDITIONING EQUIPMENT SHALL BE SCREENED FROM VIEW WITH A WALL TALLER THAN THE EQUIPMENT. THESE SCREEN WALLS SHALL BE COUNTED AS PART OF THE BUILDING HEIGHT CALCULATION.

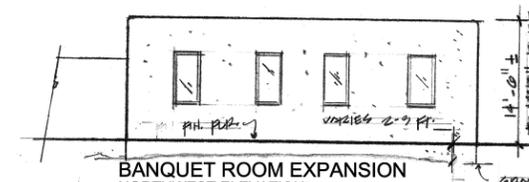
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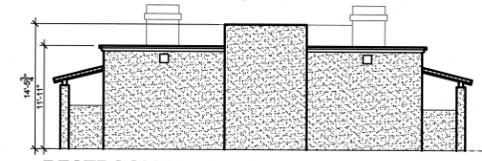
**MEETING & EVENTS BUILDING
SOUTHEAST ELEVATION**
SCALE: 1/8"=1'-0"



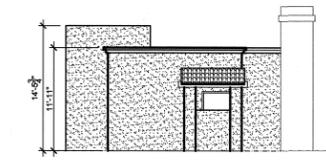
**MEETING & EVENTS BUILDING
SOUTHWEST ELEVATION**
SCALE: 1/8"=1'-0"



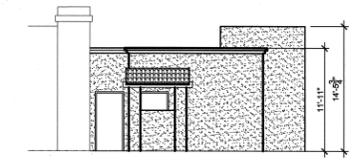
**BANQUET ROOM EXPANSION
NORTHWEST ELEVATION**
SCALE: 1/8"=1'-0"



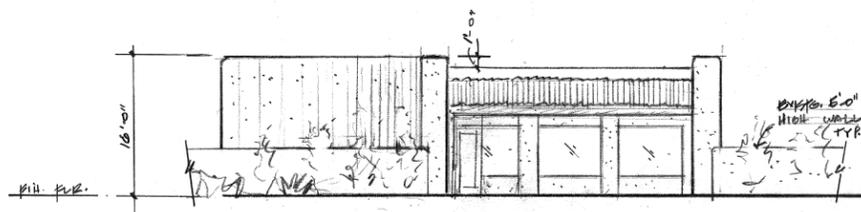
**RESTROOM BUILDING
EAST ELEVATION**
SCALE: 1/8"=1'-0"



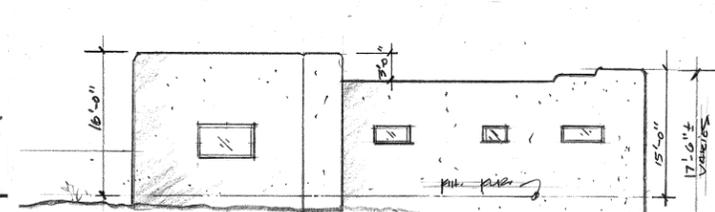
**RESTROOM BUILDING
NORTH ELEVATION**
SCALE: 1/8"=1'-0"



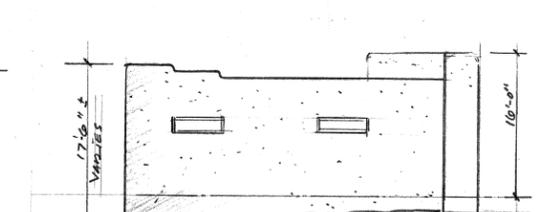
**RESTROOM BUILDING
SOUTH ELEVATION**
SCALE: 1/8"=1'-0"



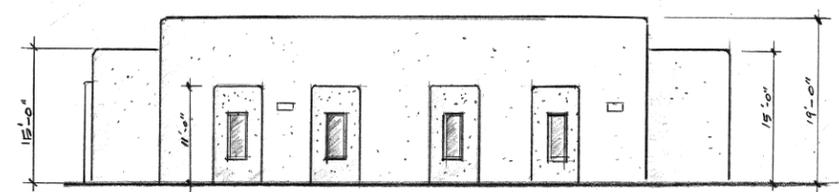
**FITNESS & SPA
EAST**
SCALE: 1/8"=1'-0"



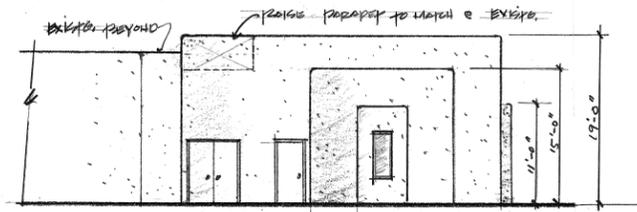
**FITNESS & SPA
NORTHWEST ELEVATION**
SCALE: 1/8"=1'-0"



**FITNESS & SPA
SOUTHWEST ELEVATION**
SCALE: 1/8"=1'-0"



**NEW BACK OF HOUSE
NORTH ELEVATION**
SCALE: 1/8"=1'-0"



**NEW BACK OF HOUSE
EAST ELEVATION**
SCALE: 1/8"=1'-0"



DATE:	06/08/18
DRAWN:	RB
REVISIONS:	
MINOR AMENDMENT	
SCALE: AS NOTED	
A-100	

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