

Minor Amendment for Special Use Permit Paradise Valley, AZ

Hermosa Inn

2018 Minor Amendment to Special Use Permit

In April 2015 the Allred family purchased the Hermosa Inn. Since then, several previously-approved changes have been built, including a new lobby/administration building, a new arrival area, 10 new guest suites, changes to the bar, and various other enhancements. As these upgrades have been completed and as General Manager Steve Ast and the Allreds have grown more familiar with the resort's clientele and needs, it is now time to refine the site plan to prepare for the next stage of improvements.

This proposal does not add any floor area, does not add any conditioned space, and does not ask for any new resort units. What it does do is to relocate and modify some previously-approved uses to allow the resort to better serve its clientele. Two site plans have been included in the submittal: a digitized version showing the October 2016 approved plan and the 2018 proposed site plan. The official version of the October 2016 site plan was hand drawn; the digitized version was prepared to provide a reliable baseline from which to move forward.

Proposed changes include (1) the spa and fitness rooms are being moved to a location closer to the existing swimming pool, (2) proposed resort units in the southeast corner of the property are being relocated to the southwest corner, (3) restrooms are being relocated, (4) the space for outdoor exterior events is relocated from an existing approved location northwest of the swimming pool to the existing Garden, located south of main lobby, and (5) parking is being added on the north side of the property in the area of the old vegetable garden and in the southeast area of the property. The parking at the vegetable garden area is not really new. It was approved in 2007, but later deleted by a 2016 amendment to the SUP. We are asking that it be added back in, along with a noise barrier wall that was included in the 2007 approval. The new parking in the southeast corner of the property will be behind an existing wall and will match other existing parking along Palo Cristi to the north.

The existing Garden has been used from time to time for weddings and food and beverage events. A large canopied tree on the southeast corner of the existing Garden and an open area on the northwest corner have been the primary locations of these planned events. The existing Garden has also been enjoyed by guests for strolling around the pathways and relaxing under the trees—this will continue. The current proposal will maintain the current use of the existing Garden, but will update and enhance the landscaping to include fountains, gas fireplaces, table tops, and enhanced pathways surrounding a new lawn; none of these features will exceed 6' in height and lighting in the Garden will be consistent with the lighting plan. The relocation of the "exterior events" designation from the area northwest of the swimming pool (depicted as #12 on the October 2016 site plan) to the existing Garden will internalize outdoor events to an area surrounded by existing resort buildings; this move will benefit neighbors to the west by eliminating the outdoor activities close to their homes. As with other resort properties within the Town, we are requesting that the approved site plan show a proposed area within which tents may be located; this will expedite the process of erecting tents, when needed. The maximum size of the tents will be 40' x 40' and the maximum height will be 24'. Typically, two tents would be utilized at the same time; one would be 40' x 40' and the other would be 20' x 20'. A temporary tent may be erected for a maximum of

16 consecutive days per event, but may exceed 16 days if the resort owner applies for a special event permit. All events in tents will end by 10:00 p.m.

Just as relocating the "exterior events" designation from an area close to the west property line to the existing Garden will benefit neighbors to the west, building a single-story fitness and spa building west of the outdoor swimming pool will benefit these same neighbors by adding a buffer between those neighbors and the outdoor swimming pool.

In addition to the 2018 proposed site plan, an emergency access plan, a delivery/circulation plan, a site lighting zone plan, and a parking lot lighting plan are included in this proposal; these plans are essentially the same as the current approved plans, but have been updated to use the 2018 proposed site plan as the base. Elevations of the new buildings, a landscape plan, and a drainage plan are also part of this submittal. One other previously approved plan is still applicable: the Signage Plan (Page 7), which was a part of the September 2014 managerial amendment. The architecture and height of the new structures will match the old-Arizona character of the existing buildings. The current Special Use Permit (stipulation C.20 in Ordinance No. 595) limits the use of the pool, spa, and fitness area to resort guests and immediately adjacent neighbors. The Hermosa Inn would like to have these areas available to not more than 50 members who, along with guests of the resort and adjacent neighbors, would be able to use these facilities. The hours of use by members would be from 6:00 a.m. to 7:00 p.m. Amplified music that is incidental to the ceremony portion of a wedding or similar event may not exceed two hours and shall end not later than 9:00 p.m.; any amplified music shall comply with Town noise ordinances.

The Hermosa Inn is anxious to move forward with these enhancements. As noted at the beginning, no new conditioned space, no new floor area, and no new resort units are being requested. Section 1102.7.B of the Zoning Ordinance sets forth the criteria to qualify for a minor amendment. We believe that the current proposal meets these criteria because (1) it will not change or add any uses, (2) there is no increase in the previously-approved floor area, (3) there will be no material effect on neighboring properties—in fact it will internalize an outdoor activity area, which will benefit the neighbors, and (4) there will be no change to the architectural style.

2018 Drainage Narrative

The Hermosa Inn was originally constructed as a single family residence and thru the years has been remodeled and expanded to its present configuration.

Since its inception and to the present time the drainage philosophy was to have all stormwater pass thru the site and no provision was ever made to detain or retain any of the stormwater which was generated by the resort with the exception of a small retention basin at the northwest corner of the site which was constructed in 2016 to accommodate some of the increased runoff generated by the construction of 8 new guest rooms, the elimination of the existing tennis courts and the addition of some additional paving.

Individual grading and drainage plans will be submitted on a site by site basis, if required, as individual portions of the site are developed.



PROJECT DATA

* Based on the Approved OCT 2016 Site Plan, Edited to Reflect Current Built Conditions

Site Area	
6.356 Acres Net	277,022 SF

Square Footage

Proposed Coverage (Conditioned Space)	55,690 SF =	20.1%
Proposed Coverage (Porches, Loggia, Patios)	13,348 SF =	4.8%
Total Proposed Lot Coverage	69,038 SF =	24.9%

(Max. Lot Coverage per SUP
Guidelines: 25.00%)

Total Proposed Parking Lot Area: 53,425 SF

Results

Density	
Existing Room Keys:	* 43 Units
Proposed Guest Room Keys:	49 Units
Max Density per SUP Guidelines: 1 Unit per 4,000	
SF Land Area (277,022/4000=69.25)	69 Units

Parking

See Traffic Impact Study by Task Engineering For Details.

Existing Total Parking	* 156 spaces
Required Off Season	107 spaces
Required Peak Season	127 spaces
Proposed Self Parking	140 spaces
Proposed with Valet Parking	156 spaces

[illegible]

Building Area Summary (Conditioned SF)

Proposed Use	Amended Guest Keys	Amended Sq. Ft.
Guest Rooms	49	34,480
Kitchen/Dining/Bar		14,728
Admin/Sales		1,740
Storage		522
Reception		1,250
Spa		1,050
Meeting		1,920
Totals		55,690

Summary Table

Summary Table
Based on the Approved October 2016 Amendment

Building #	Existing Use	Proposed Use	Propose Guest Ke
1	Guest Room	Guest Room	5
2	Guest Room	Guest Room	2
3	Guest Room	Guest Room	2
4	Guest Room	Guest Room	2
5	-	Guest Room	1
6	Lobby and Administration	Lobby and Administration	
7	Guest Room	Guest Room	6
8	Guest Room	Guest Room	3
9	Guest Room	Guest Room	3
10	Guest Room	Guest Room	3
11	Guest Room	Guest Room	4
12	Pool and Exterior Events	Pool and Exterior Events	
13	Guest Room	Guest Room	*3
14	Guest Room	Guest Room	*3
15	Guest Room	Guest Room	4
16	Guest Room	Guest Room	2
17	Guest Room	Guest Room	2
18	Guest Room	Guest Room	2
19	-	Fitness	
20	Spa	Spa	
21	Storage	Storage	
22	Trash	Trash	
23	Back of House	Back of House	
24	-	New Back of House	
25	-	Public Restrooms	
26	-	Meeting and Events	
27	Exterior Patio	Exterior Patio	
28	Restaurant	Restaurant	
28a	Bar	Bar	
28b	Covered Porch	Covered Porch	
28c	-	Banquet Room Expansion	
29	Open Garden Patio	Open Garden Patio	
30	Valet Canopy	Valet Canopy	
31	-	Dining Loggia w/ Fireplace	
32	-	Bar Loggia w/ Fireplace	
33	Auto Court	Auto Court	
34	Existing Fireplace	Existing Fireplace	
35	Existing Fountain	Existing Fountain	
36	-	Sliding Parking Lot Gate	
37	Exterior Gas Fireplace	Exterior Gas Fireplace	
38	Exterior Cooking Fireplace	Exterior Cooking Fireplace	
39	-	Masonry Wall at 6'-0"	
40	Fountain	Fountain	
41	Pool/Spa	Pool/Spa	
42	-	All Hotel Rooms & Dining Areas Shall have Fireplaces	
43	Pathway Trellis	Pathway Trellis	

* Per October 2016 Approved Amendment, Buildings 13 and 14 were reduced from 4 (approved in prior amendment) to 3. These units were noted as follows:

*"2 units shall be recovered in a future SUP amendment."
This compiled and updated SUP document still holds these two units in reserve for a future SUP amendment.*



OWNER / DEVELOPER

ALLRED'S HERMOSA INN, LLC
5734 E RANCHO MANANA BLVD
CAVE CREEK, AZ 85331

LANDSCAPE ARCHITECT

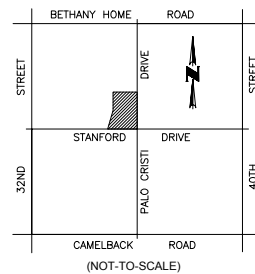
TIMOTHY STARKEY
4550 N 12TH STREET
PHOENIX, AZ
85014
PHONE: 602.264.6831
EMAIL: TSTARKEY@CVLCI.COM

PROJECT INFORMATION

HERMOSA INN
5532 NORTH PALO CRISTI ROAD
PARADISE VALLEY, AZ 85253

MINOR AMENDMENT TO SUP
TOWN OF PARADISE VALLEY, AZ
ORDINANCE NUMBER 595 SUP-07
CVL JOB 01.0263301

VICINITY MAP



REVISION HISTORY

SEAL & ISSUE



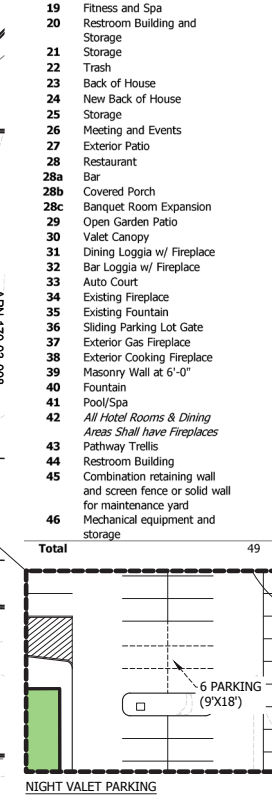
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SITE AND USE PLAN
OCT 2016 AMENDMENT
(DIGITIZED VERSION)



PROJECT DATA		
	APPROVED	PROPOSED
Site Area		
6.356 Acres Net	277,022 SF	277,022 SF
Square Footage		
Proposed Coverage (Conditioned Space)	55,690 SF = 20.10%	55,690 SF = 20.10%
Proposed Coverage (Porches, Loggia, Patios)	13,348 SF = 4.82%	13,348 SF = 4.82%
Total Proposed Lot Coverage (Max. Lot Coverage per SUP Guidelines: 25.00%)	69,038 SF = 24.92%	69,038 SF = 24.92%
Total Proposed Parking Lot Area:	59,261 SF	67,778 SF
Density		
Proposed Guest Room Keys:	49 Units	49 Units
Parking		
Self Parking	140 spaces	146 spaces
with Valet Parking	156 spaces	181 daytime spaces 187 evening spaces

SUMMARY TABLE		
Building	USE	KEYS
1	Guest Room	2
2	Guest Room	2
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7	Guest Room	6
8	Guest Room	3
9	Guest Room	3
10	Guest Room	3
11	Guest Room	4
12	Exterior Events	3
13	Guest Room	3
14	Guest Room	3
15	Guest Room	4
16	Guest Room	2
17	Guest Room	2
18	Guest Room	2
19	Fitness and Spa	2
20	Restroom Building and Storage	2
21	Trash	2
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23	New Back of House	2
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43	Pathway Trellis	2
44	Restroom Building	2
45	Combination retaining wall and screen fence or solid wall for maintenance yard	2
46	Mechanical equipment and storage	2
Total		49



LIGHTING SHALL COMPLY WITH PREVIOUSLY APPROVED LIGHTING REQUIREMENTS



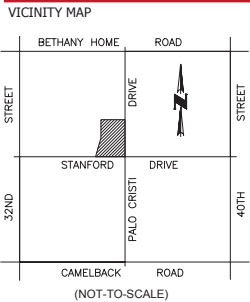
OWNER / DEVELOPER
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5734 E RANCHO MANANA BLVD
CAVE CREEK, AZ 85331

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TIMOTHY STARKEY
4550 N 12TH STREET
PHOENIX, AZ 85014
PHONE: 602.264.6831
EMAIL: TSTARKEY@CVLCI.COM

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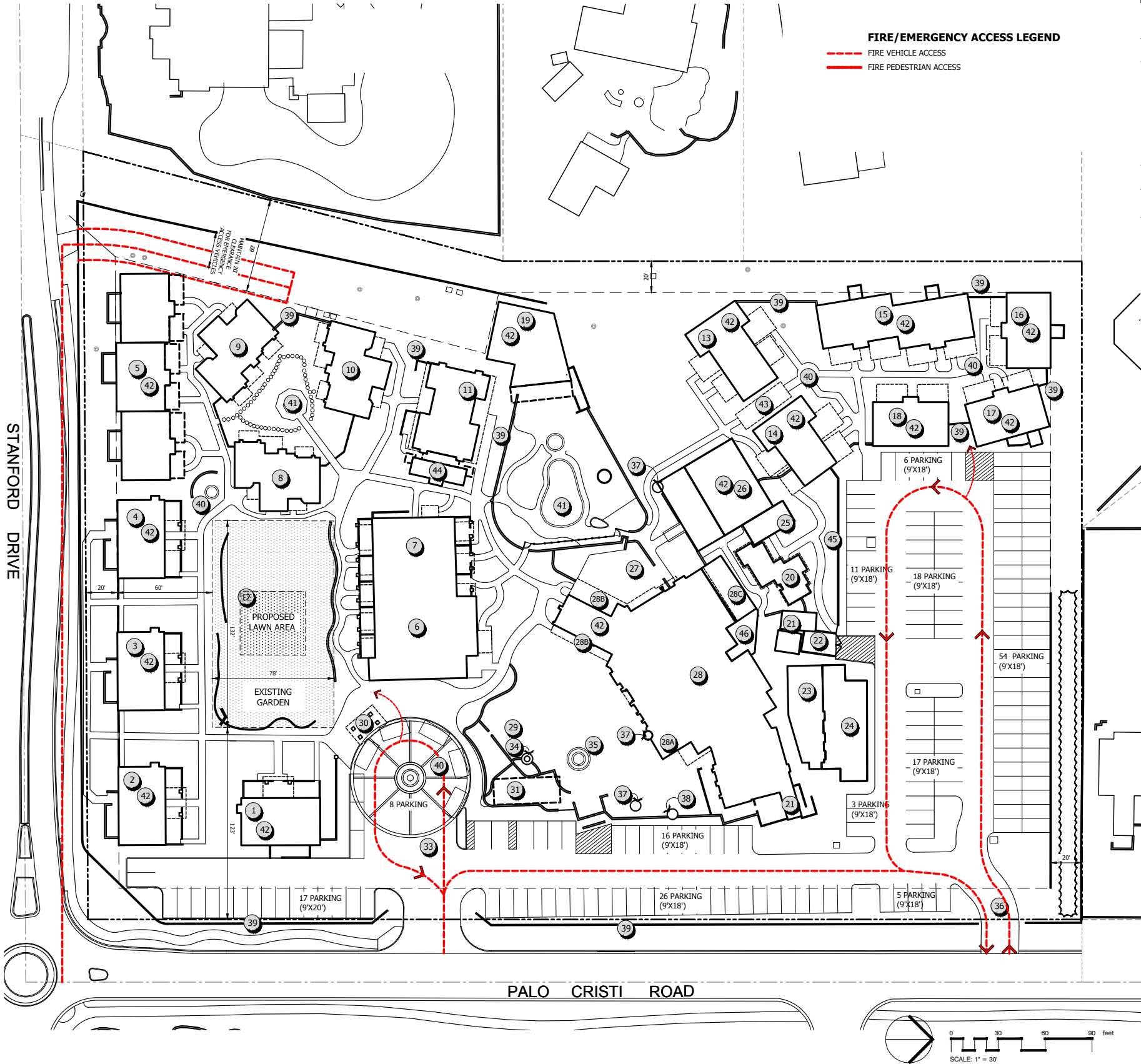


REVISION HISTORY

SEAL & ISSUE

DESIGN: TBS
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2018



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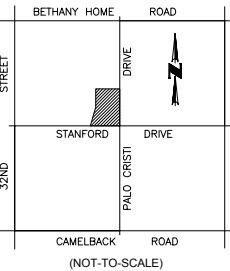
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MINOR AMENDMENT TO SUP
TOWN OF PARADISE VALLEY, AZ

CVL JOB 01.0263301

VICINITY MAP

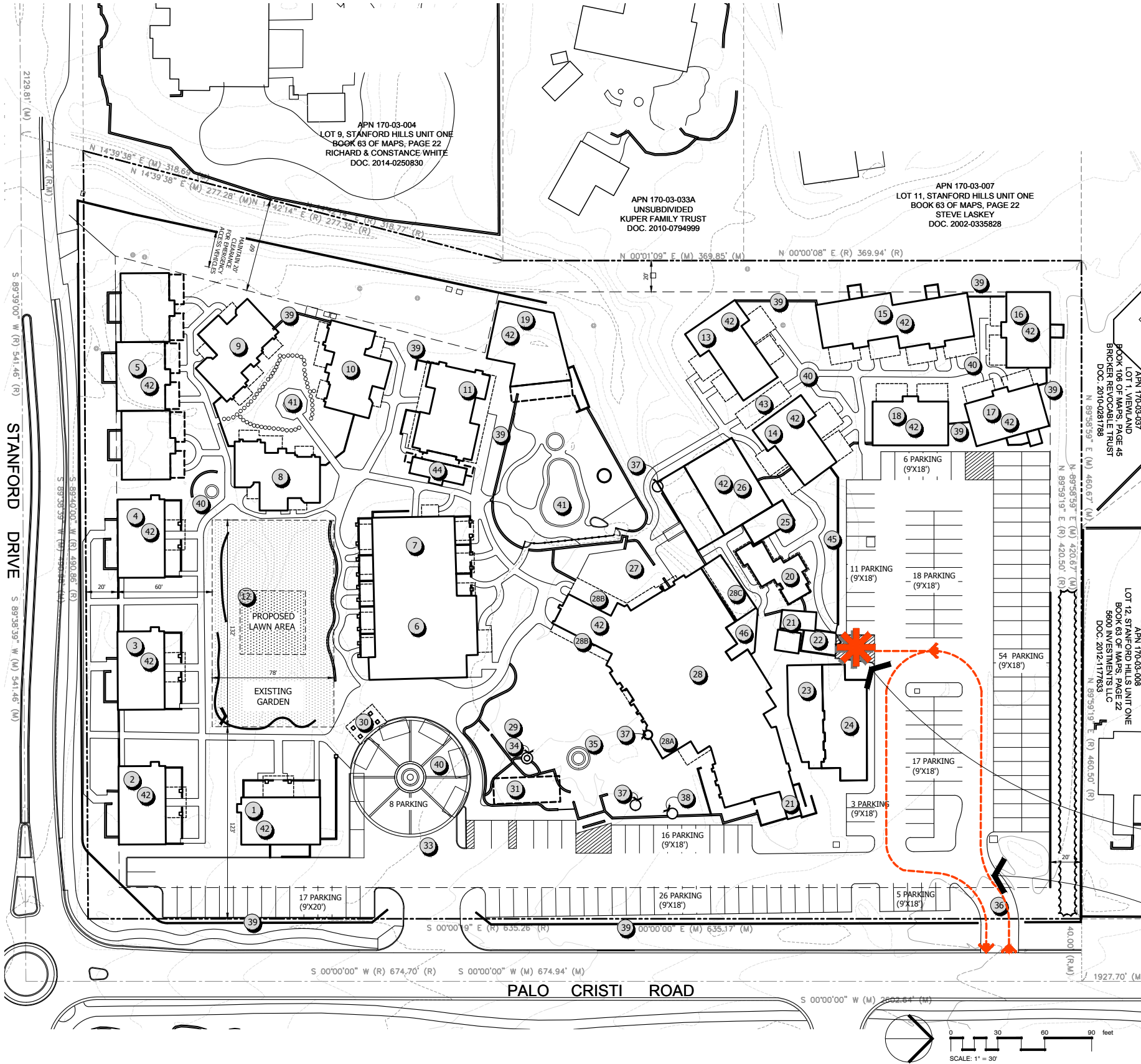


REVISION HISTORY

SEAL & ISSUE

DESIGN: TBS
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CHECK: TBS

FIRE/EMERGENCY ACCESS
PLAN 2018



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DELIVERY POINT

DELIVERY/SERVICE CIRCULATION



OWNER / DEVELOPER
ALLRED'S HERMOSA INN, LLC
5734 E RANCHO MANANA BLVD
CAVE CREEK, AZ 85331

LANDSCAPE ARCHITECT

TIMOTHY STARKEY
4550 N 12TH STREET
PHOENIX, AZ
85014
PHONE: 602.264.6831
EMAIL: TSTARKEY@CVLCL.COM

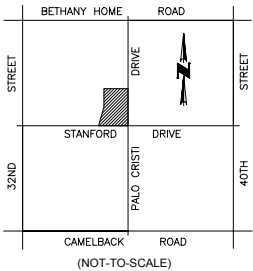
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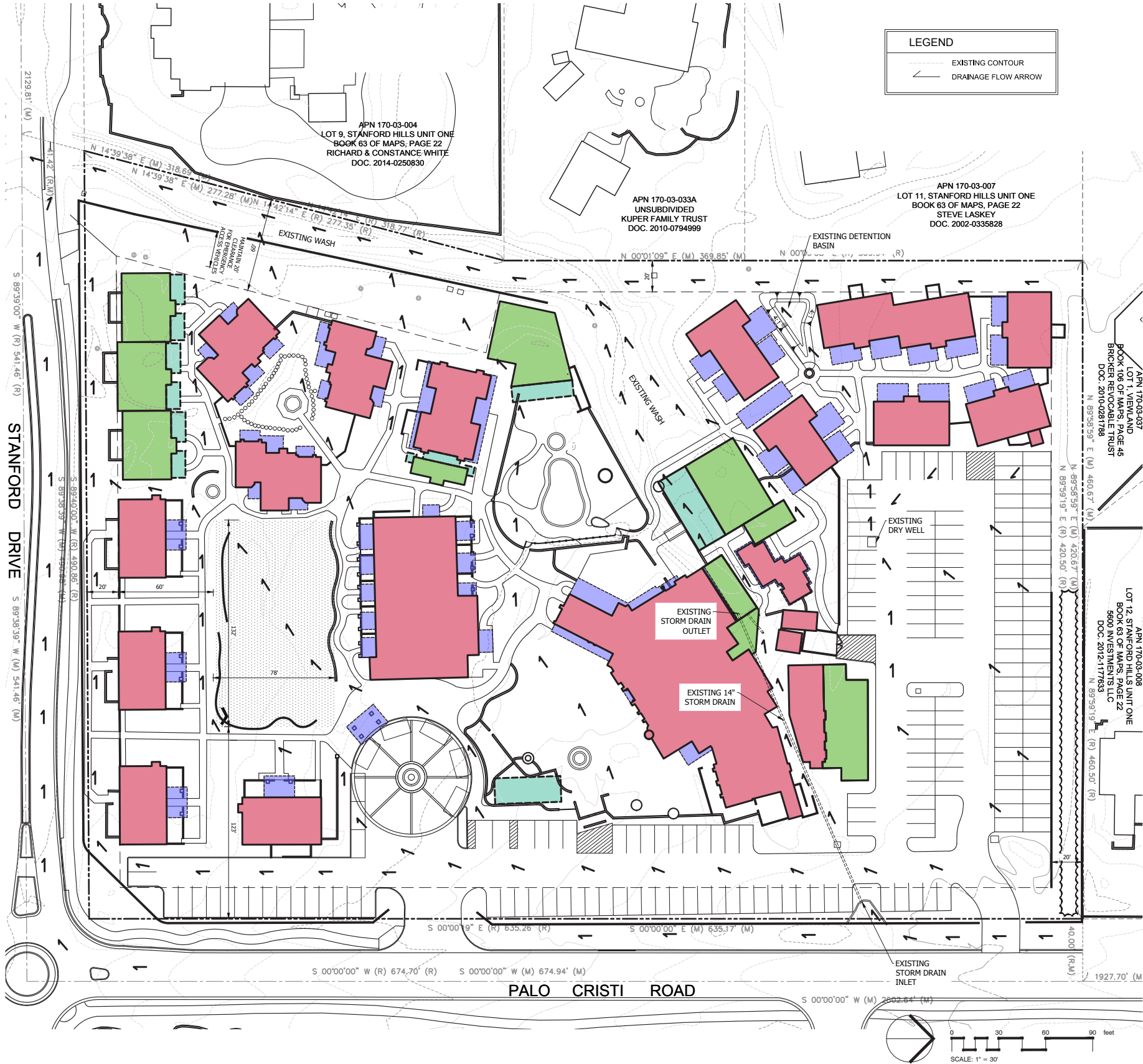


REVISION HISTORY

SEAL & ISSUE

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DELIVERY/SERVICE
CIRCULATION PLAN
2018



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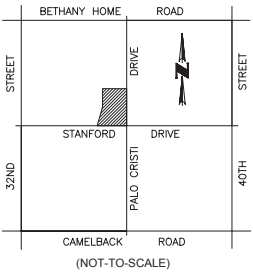
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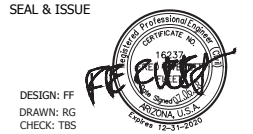
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VICINITY MAP



REVISION HISTORY

SEAL & ISSUE



**CONCEPTUAL DRAINAGE
PLAN 2018**



CATEGORY	DESCRIPTION	ZONE	HERMOSA INN SUPPOSED AVERAGE ILLUMINANCE LEVEL (IN FOOTCANDLES)	IESNA RECOMMENDED MINIMUM ILLUMINANCE LEVEL (IN FOOTCANDLES)
Drive Entries, Intersections	Defined by arrival and high level of function	2	2.0	1.5-5.0
Parking Lots	For night time visibility, safety and security	1	1.5	2.5-3.0
Pathways- minor	For night time visibility, safety and security, and to get from point A to point B	3-4	1.5	0.5-2.0
Service Areas	For night time visibility, safety and security	3	5.0	10.0
Pool Decks, Water Features	For safety and night time illumination for functions and highlighting dramatic architectural features	3	3.0	10.0
Exterior Dining Areas	For night time visibility, safety and security for outdoor dining areas and bars	3	5.0	5.0-10.0
Landscaped Areas	Dramatic illumination of landscape areas and elements	3, 4, 5	1.5	0.5-20.0
Guestroom Entries	For night time visibility, safety and security and wayfinding	4	3.0	3.0
Guestroom Patios/ Balconies	For night time visibility, safety and security for private functions and private outdoor dining	4	3.0	5.0
Architectural Lighting	For illumination of architectural features, signage, wayfinding and visual interest	3-4	3.0	3.0
Drop-off Areas	For night time visibility, safety and security for drop-off and pick-up areas	1,2,3	3.0	5.0
Valet Stand	For night time visibility, safety and security for drop-off and pick-up areas	2	8.0-10.0	N/A

CVL
CONSULTANTS

4550 N. 12th Street
Phoenix, AZ, 85014

phone 602.264.6831
fax 602.264.0928
web www.cvlci.com

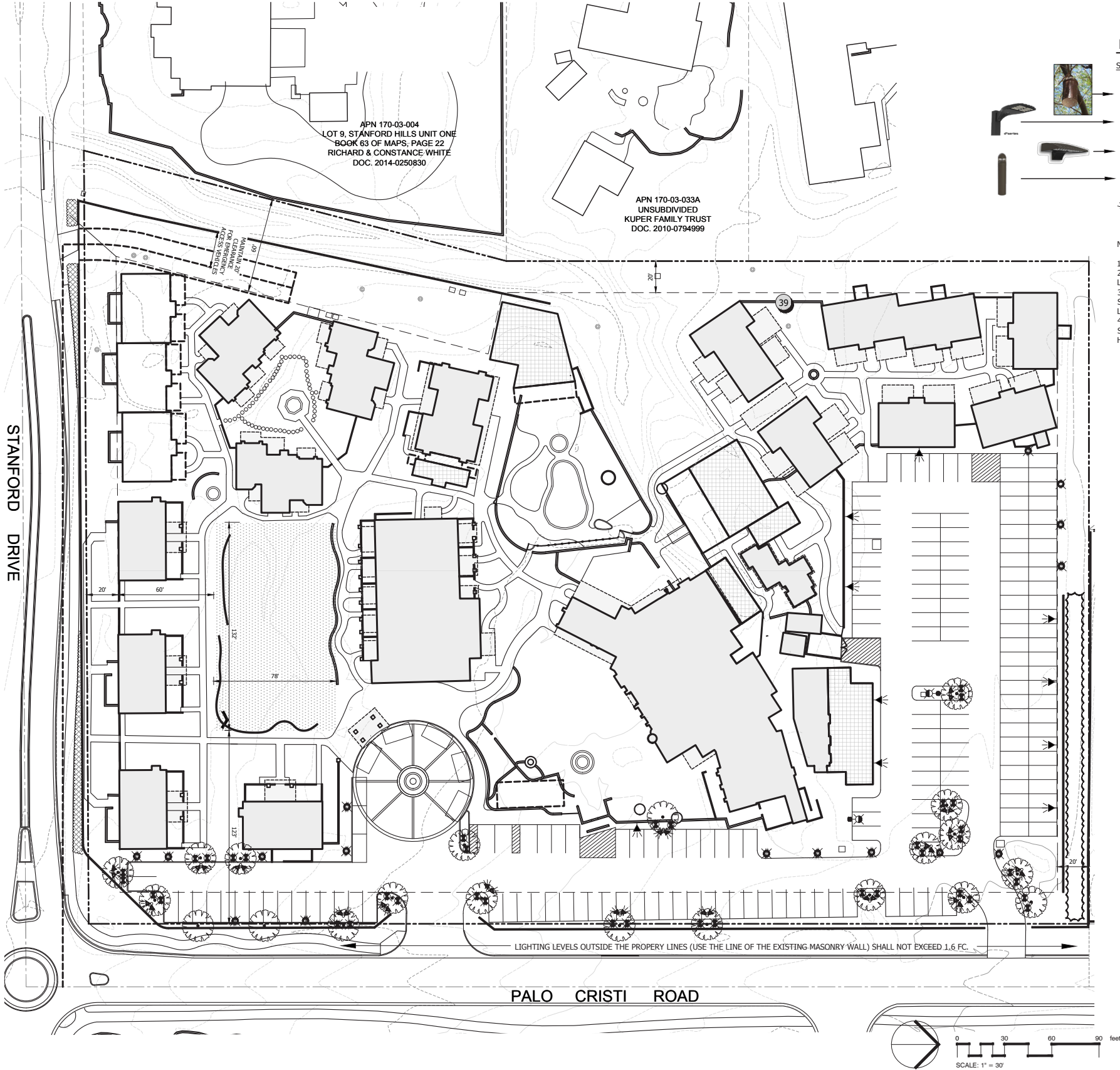
Civil Engineering
Water Systems
Wastewater Treatment
Land Planning
Energy
Land Survey
Landscape Architecture
Construction Management



DESIGN: TBS
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 CHECK: TBS

6 July 2018





LIGHTING SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	DOWN LIGHT
	SHIELDED POLE MOUNTED FIXTURES
	SHIELDED WALL MOUNTED LIGHT FIXTURE
	SHIELDED BOLLARD FIXTURE
	UPLIGHT

- NOTES:
1. MAXIMUM LUMENS PROJECTED ONTO ADJACENT PROPERTY SHALL BE 0.5.
 2. ALL FIXTURES ADJACENT TO PROPERTY LINES SHALL BE SHIELDED TO LIMIT THE LUMENS AT THE PROPERTY LINE TO 1.6 OR LESS.
 3. TREE MOUNTED FIXTURES AT THE EAST (PALO CRISTI) PROPERTY LINE ARE SHIELDED FROM THE ROAD IN PART BY THE 5' TO 6' HIGH MASONRY WALL FOR THE LENGTH OF THE PROPERTY.
 4. PARKING LOT FIXTURES AT THE NORTH PROPERTY LINE ARE ADDITIONALLY SHIELDED FROM THE NEIGHBORS BY THE EXISTING AND EXPANDED OLEANDER HEDGE.



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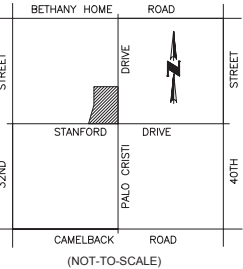
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PHOENIX, AZ
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VICINITY MAP



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PARKING LOT LIGHTING
PLAN 2018

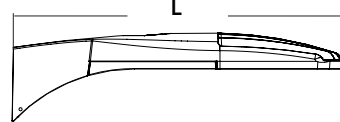
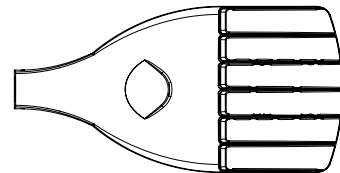


D-Series Size 0 LED Area Luminaire



Specifications

EPA:	0.95 ft ² (.09 m ²)
Length:	26" (66.0 cm)
Width:	13" (33.0 cm)
Height:	7" (17.8 cm)
Weight (max):	16 lbs (7.25 kg)



10' MAX. HEIGHT



D-Series LED Bollard



d"series

Specifications

Diameter:	8" Round (20.3 cm)
Height:	42" (106.7 cm)
Weight (max):	27 lbs (12.25 kg)



42" MAX. HEIGHT



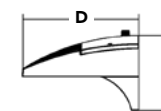
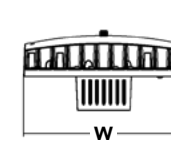
D-Series Size 1 LED Wall Luminaire



d"series

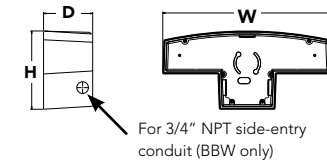
Specifications Luminaire

Width:	13-3/4" (34.9 cm)	Weight:	12 lbs (5.4 kg)
Depth:	10" (25.4 cm)		
Height:	6-3/8" (16.2 cm)		



Back Box (BBW, ELCW)

Width:	13-3/4" (34.9 cm)	BBW Weight:	5 lbs (2.3 kg)
Depth:	4" (10.2 cm)	ELCW Weight:	10 lbs (4.5 kg)
Height:	6-3/8" (16.2 cm)		

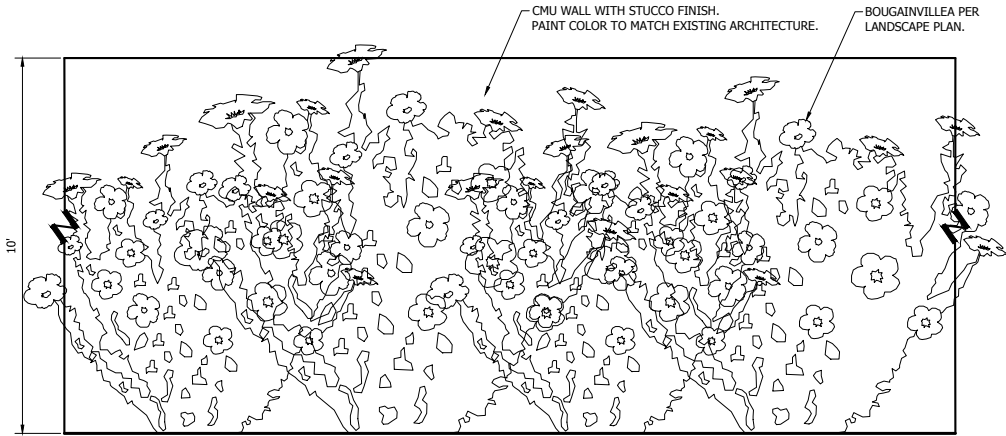


8' MAX. HEIGHT



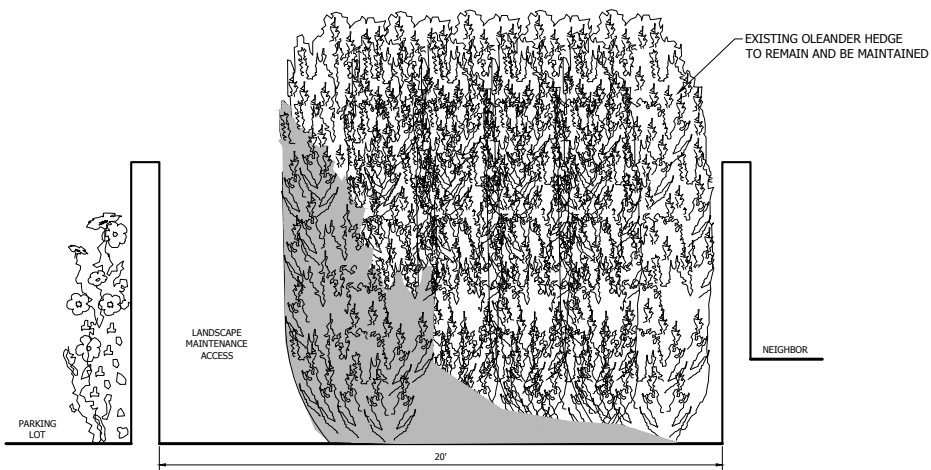
DOWNLIGHT EXAMPLE: RECESSED IN
HOOD, MAX. 10' MOUNTING HEIGHT

DOCUMENT INFORMATION: Document Author: June 14, 2018 Document Creation Date: June 14, 2018 Document Last Saved By: Rachel G Document Last Saved On: June 19, 2018 Filename: N:\01\0263301\Cad\US SUP FUTURE PLANT.dwg Filesize: 2.49 MB
PRINTER INFORMATION: Printed By: Rachel Glass Printer: None Print Date: July 5, 2018 Page Setup Name: Paper Size: ANSI A (8.5 x 11.00 Inches) Plot Orientation: Landscape Plot Scale: 0 Plot Style Table: ---
SHEET SET INFORMATION: Sheet Set Name: Sheet Set Sheet Set Description: ---



1 ELEVATION: ACOUSTICAL WALL
1/2" = 1'-0"

P-RE-HER-01



2 SECTION: ACOUSTICAL WALL
3/8" = 1'-0"

P-RE-HER-02

CVL CONSULTANTS
Civil Engineering
Water Systems
Wastewater Treatment
Land Planning
Energy
Land Survey
Landscape Architecture
Construction Management
4550 N. 12th Street
Phoenix, AZ, 85014
phone 602.264.6831
fax 602.264.0928
web www.cvlci.com

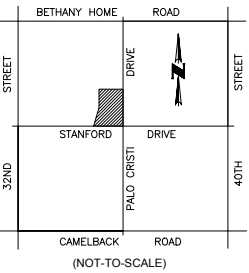
OWNER / DEVELOPER
ALLRED'S HERMOSA INN, LLC
5734 E RANCHO MANANA BLVD
CAVE CREEK, AZ 85331

LANDSCAPE ARCHITECT
TIMOTHY STARKEY
4550 N 12TH STREET
PHOENIX, AZ
85014
PHONE: 602.264.6831
EMAIL: TSTARKEY@CVLCL.COM

PROJECT INFORMATION
HERMOSA INN
5532 NORTH PALO CRISTI ROAD
PARADISE VALLEY, AZ 85253
MINOR AMENDMENT TO SUP
TOWN OF PARADISE VALLEY, AZ

CVL JOB 01.0263301

VICINITY MAP



REVISION HISTORY

SEAL & ISSUE



DESIGN: TBS
DRAWN: RG
CHECK: TBS

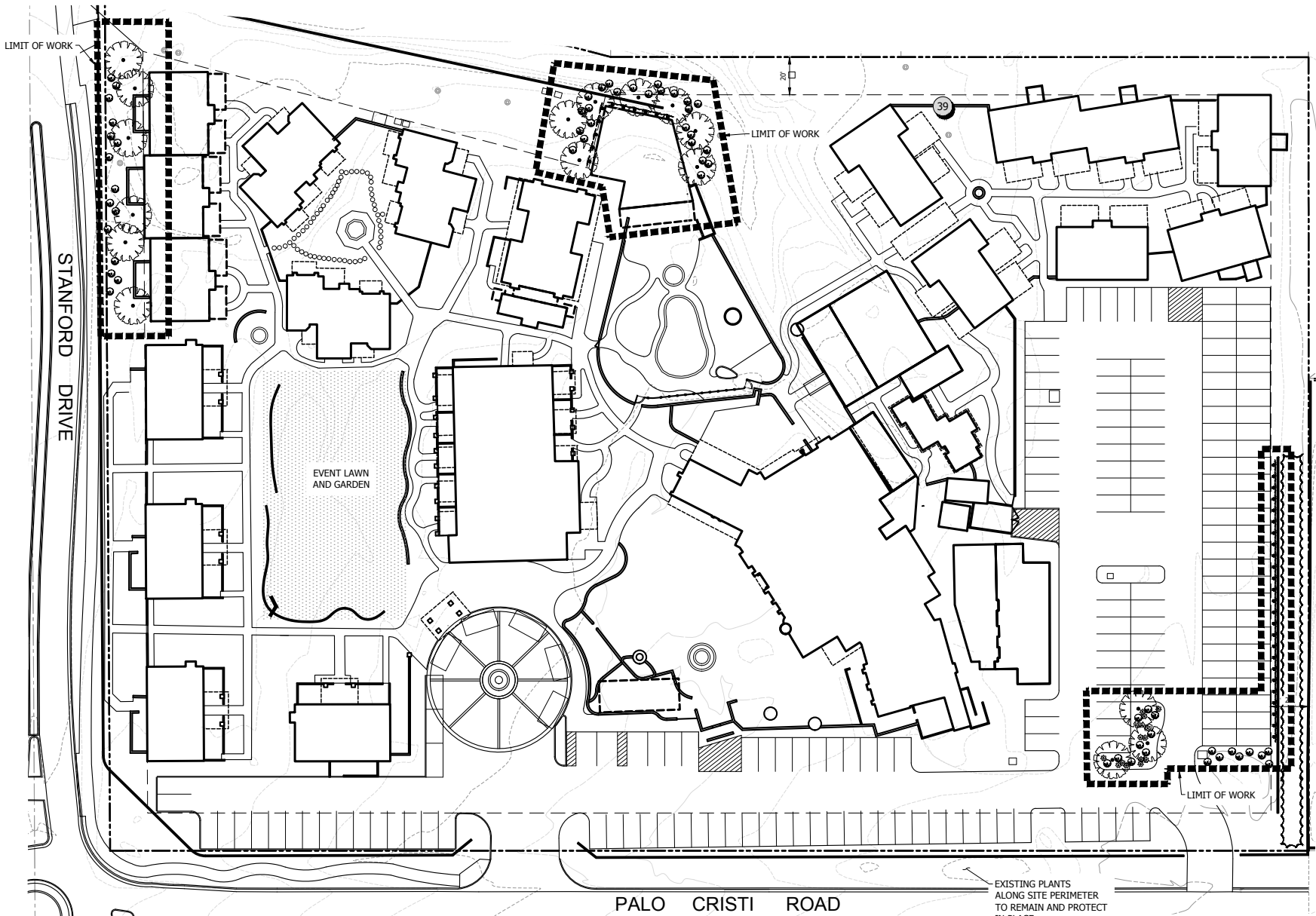
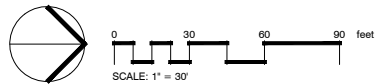
LANDSCAPE PLAN 2018

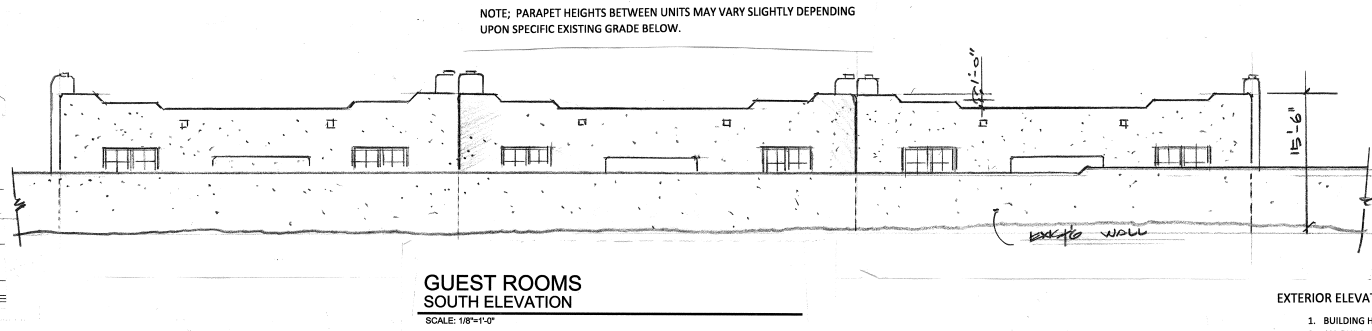
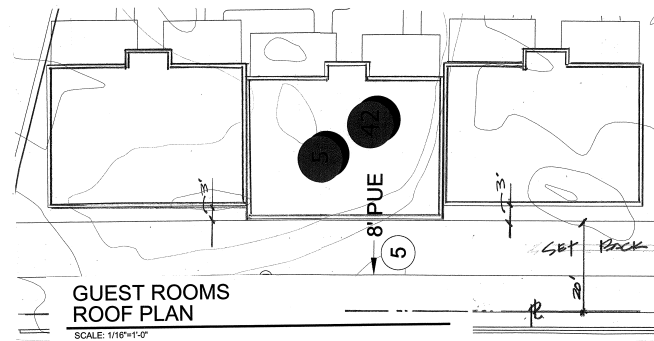
CONCEPT PLANT SCHEDULE

	SHADE TREE CAESALPINIA CALACACO 'SMOOTHIE' TM / CASCALOTE CHILOPSIS LINEARIS 'BUBBA' / BUBBA DESERT WILLOW PARKINSONIA X 'DESERT MUSEUM' / DESERT MUSEUM PALO VERDE PROSOPIS GLANDULOSA 'MAVERICK' TM / HONEY MESQUITE	15 GAL
	VINES BOUGAINVILLEA X 'BARBARA KARST' / BARBARA KARST BOUGAINVILLEA TRELLIS MACPADIYENA UNGUIS-CATI / YELLOW TRUMPET VINE	24"BOX 15 GAL 36"BOX
	SHRUBS CAESALPINIA GILLIESII / YELLOW BIRD OF PARADISE CALLIANDRA X 'SIERRA STARR' TM LEUCOPHYLLUM CANDIDUM 'THUNDER CLOUD' TM / BREWSTER COUNTY BAROMETERBUSH RUELLIA PENNINSULARIS / WILD PETUNIA RUSSELLIA EQUESETIFORMIS / FIRECRACKER PLANT TECOMA STANS 'GOLD STAR' / YELLOW BELLS TECOMA STANS 'SUNRISE' / YELLOW BELLS	5 GAL 5 GAL 5 GAL 5 GAL 5 GAL 5 GAL 5 GAL
	GROUNDCOVER ALOE BARBADENSIS / BARBADOS ALOE ALOE X 'BLUE ELF' / ALOE LANTANA CAMARA 'DALLAS RED' / DALLAS RED LANTANA LANTANA X 'NEW GOLD' / NEW GOLD LANTANA RUELLIA BRITTONIANA 'COMPACT KATIE' / DWARF MEXICAN PETUNIA	1 GAL 1 GAL 1 GAL 1 GAL 1 GAL

NOTE:

1. PRELIMINARY LANDSCAPE AREAS SHOWN ARE PROPOSED FOR NEW IMPROVEMENT AREAS ON SITE.
2. EXISTING LANDSCAPING (NOT SHOWN) SHALL REMAIN AND BE PROTECTED IN PLACE.





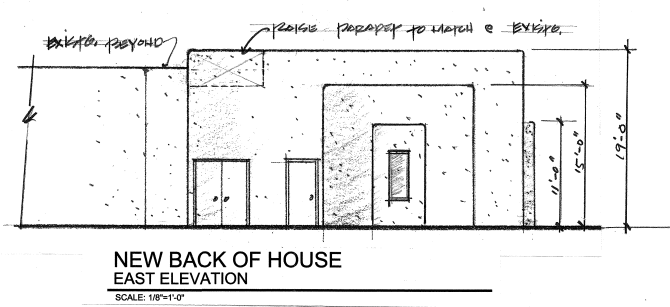
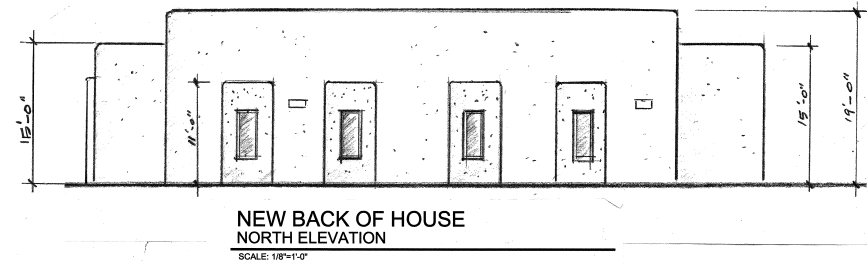
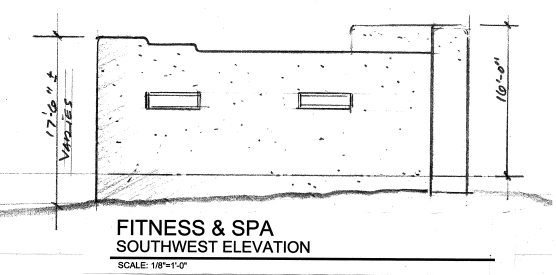
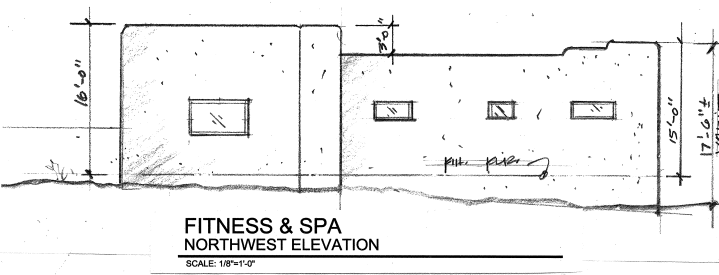
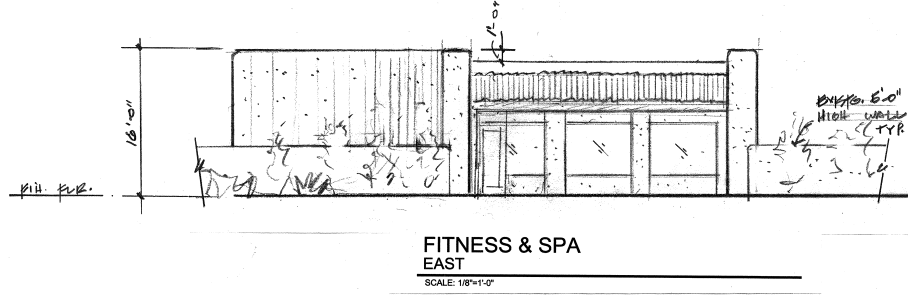
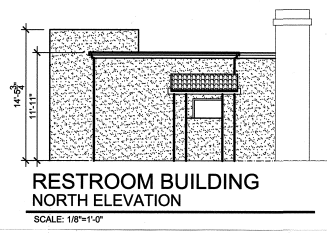
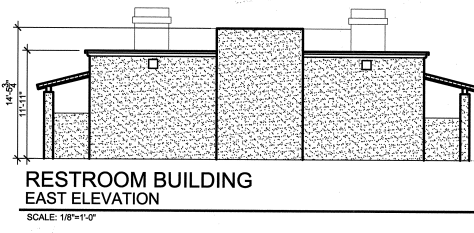
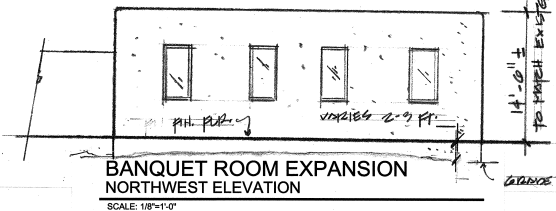
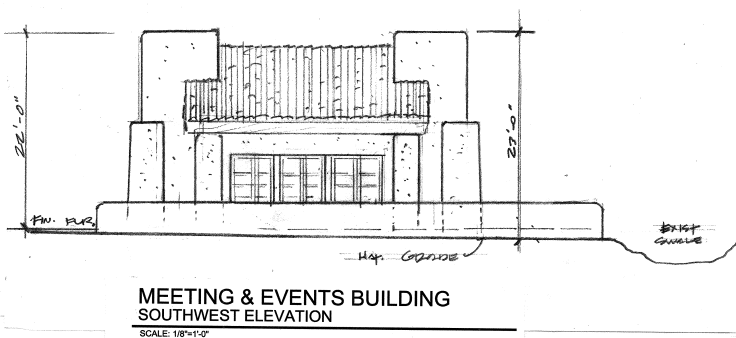
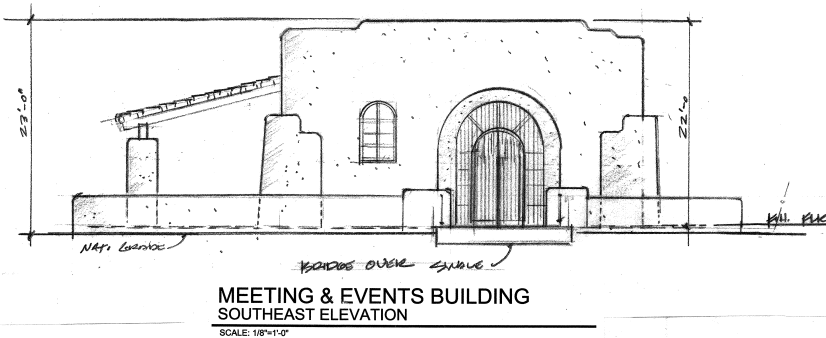
NOTE: PARAPET HEIGHTS BETWEEN UNITS MAY VARY SLIGHTLY DEPENDING UPON SPECIFIC EXISTING GRADE BELOW.

EXTERIOR ELEVATION NOTES

1. BUILDING HEIGHTS ARE MEASURED FROM EXISTING NATURAL GRADE.
2. ALL BUILDINGS SHALL MEET TOWN OF PARADISE VALLEY OPEN SPACE CRITERIA.
3. CHIMNEY HEIGHT SHALL NOT EXCEED 2 FEET ABOVE ADJACENT PARAPET OR ROOF.
4. ALL STRUCTURES SHALL BE STUCCO WALLS, FLAT ROOFS, AND SLOPING CLAY TILE ROOFS. COLOR AND TEXTURE SHALL MATCH EXISTING BUILDINGS.
5. ALL AIR CONDITIONING EQUIPMENT SHALL BE SCREENED FROM VIEW WITH A WALL TALLER THAN THE EQUIPMENT. THESE SCREEN WALLS SHALL BE COUNTED AS PART OF THE BUILDING HEIGHT CALCULATION.

BRISSETTE ARCHITECTS
 10229 N. SCOTTSDALE RD, STE. F
 SCOTTSDALE, ARIZONA 85253
 OFFICE@BRISSETTEARCHITECTS.COM
 T: (480) 596-3882
 WWW.BRISSETTEARCHITECTS.COM

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HERMOSA INN
 5532 N PALO CRISTI RD, PARADISE VALLEY, AZ 85253



DATE:	06/07/18
DRAWN:	RB
REVISIONS:	
MINOR AMENDMENT	
SCALE: AS NOTED	
A-100	