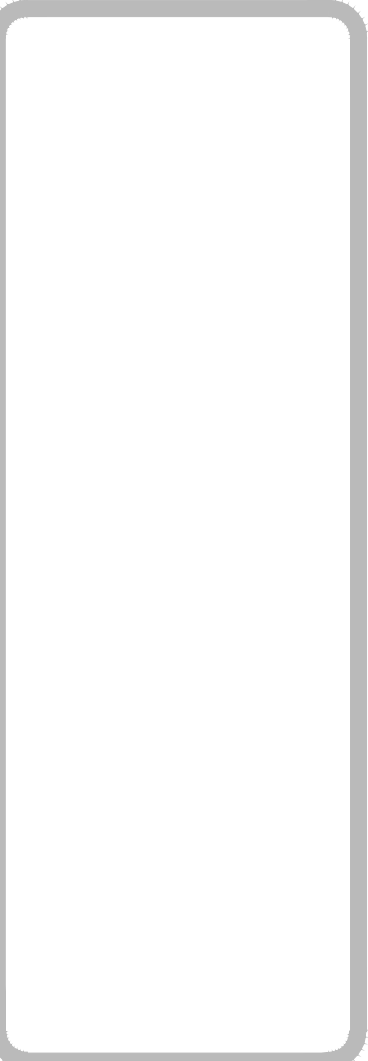
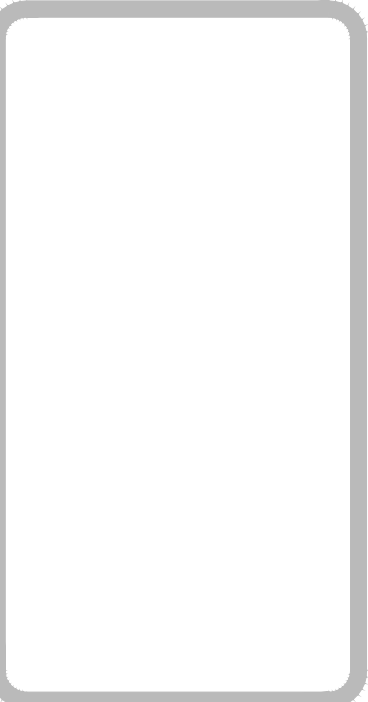


MONTESSORI ACADEMY NEW BUILDING
6050 N. INVERGORDON ROAD
PARADISE VALLEY, ARIZONA



REVISIONS	DATE



MONTESSORI ACADEMY
NEW BUILDING
6050 N. INVERGORDON ROAD
PARADISE VALLEY, ARIZONA

DRAWN
CHECKED
DATE 4-14-18
SCALE

TITLE

C-S

LOT AREA

GROSS = 4.142 ACRES OR 180,427± SQ. FT.
NET = 3.996 ACRES OR 174,048± SQ. FT.
*NET AREA IS THE AREA OF THE DESCRIBED
PARCEL LESS ROADWAY EASEMENT*

PROJECT DATA

PROJECT ADDRESS.....6050 N. INVERGORDON RD.
ZONING.....SUP-P
USE.....SCHOOL
TAX ASSESSOR'S NO..... 169-39-007
LEGAL DESCRIPTION.....(see LEGAL below)
NET AREA OF LOT.....174,048 S.F.
OWNER: Montessori Academy Inc.

LEGAL DESCRIPTION

*THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF
MARICOPA, STATE OF ARIZONA, AND IS DESCRIBED AS FOLLOWS:*

*THAT PORTION OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF
SECTION 9, TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER
BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:*

COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 9;

*THENCE NORTH 466.7 FEET ALONG THE EAST LINE OF SAID SECTION TO THE
TRUE POINT OF BEGINNING;*

THENCE WEST 933.4 FEET;

THENCE NORTH 193.3 FEET;

THENCE EAST 933.4 FEET;

THENCE SOUTH 193.3 FEET TO THE POINT OF BEGINNING.

AUXILIARY BUILDING AREAS

EXISTING STORAGE.....604 S.F.
NEW STORAGE ADDITION.....700 S.F.

TOTAL AUXILIARY BLDG.....1,304 S.F.
LOT AREA.....174,048 S.F.

SHEET INDEX

C-S COVER SHEET (PART 1 & PART 2)
S-P SITE PLAN
GSN GENERAL STRUCTURAL NOTES

A1 FLOOR PLAN NOTED
A2 FLOOR PLAN DIMENSIONED
A3 FOUNDATION & DEMOLITION PLAN
A4 EXTERIOR ELEVATIONS
A5 SECTION PLAN
A6 ROOF FRAMING PLAN
A7 ROOF PLAN
E1 ELECTRICAL PLAN
D1 DETAILS

COVER SHEET

BUILDING.....

ALL CONSTRUCTION SHALL COMPLY
WITH THE FOLLOWING CODES AND
AMENDMENTS PER THEIR ADOPTING
ORDINANCES.

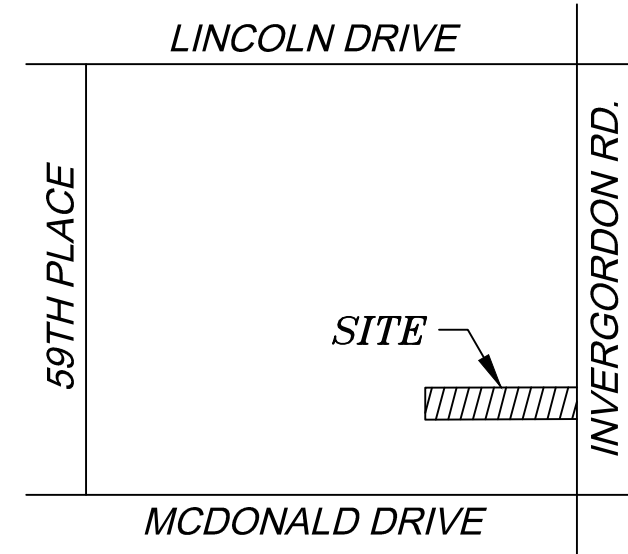
2015 International Residential Code 2015 International
Building Code

2015 International Mechanical Code 2015 International
Plumbing Code

2015 International Fuel Gas Code 2015 International Fire
Code

2015 Int'l Property Maintenance Code 2014 National
Electric Code

2015 International Energy Conservation Code



VICINITY MAP
NOT TO SCALE

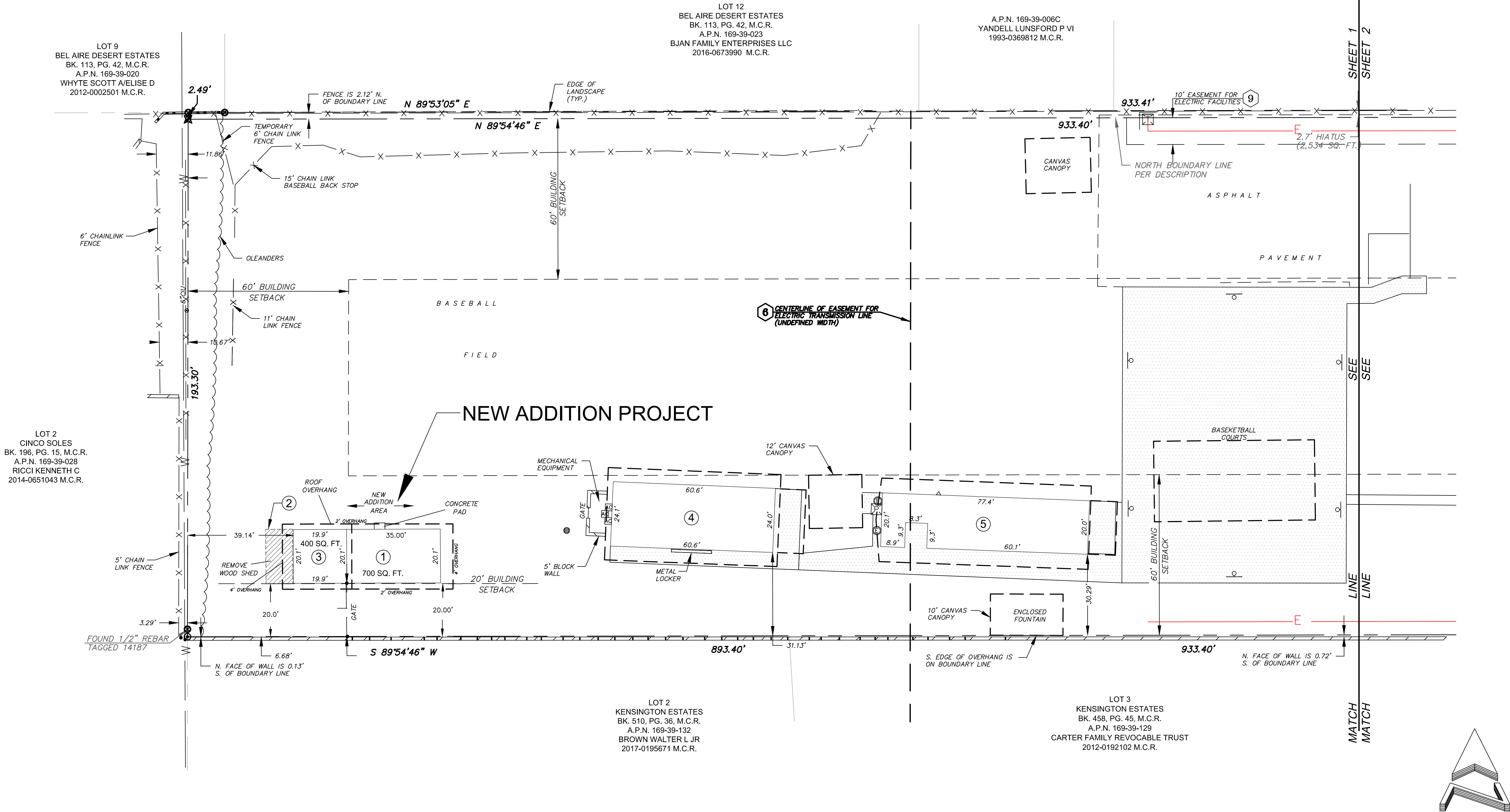
SITE PLAN

MONTESSORI ACADEMY NEW BUILDING
6050 N. INVERGORDON ROAD
PARADISE VALLEY, ARIZONA

BUILDING TABLE			
BUILDING	TYPE	HEIGHT	SQ. FEET
2	REMOVE WOOD SHED	10'±	200
3	ONE STORY BLOCK	14'±	400
4	ONE STORY BLOCK	14'±	1,464
5	ONE STORY BLOCK	11'±	1,540
6	ONE STORY WOOD	13'±	1,260
7	WOOD SHED	9'±	160
8	WOOD SHED	8'±	128
9	ONE STORY BLOCK & WOOD	13'±	2,017
10	ONE STORY STUCCO	14'±	5,031
11	ONE STORY WOOD	10'±	662
12	ONE STORY STUCCO, STONE & WOOD	10'±	3,448
1	STORAGE ADDITION	10'±	500

AREA

GROSS = 4.142 ACRES OR 180,427± SQ. FT.
NET = 3.996 ACRES OR 174,048± SQ. FT.
NET AREA IS THE AREA OF THE DESCRIBED
PARCEL LESS ROADWAY EASEMENT



CAMELBACK BUILDERS

SITE PLAN PART 1 & PART 2

NEW BUILDING PROJECT
6050 N. INVERGORDON ROAD
PARADISE VALLEY, ARIZONA

SITE PLAN

MONTESSORI ACADEMY NEW BUILDING

6050 N. INVERGORDON ROAD

PARADISE VALLEY, ARIZONA

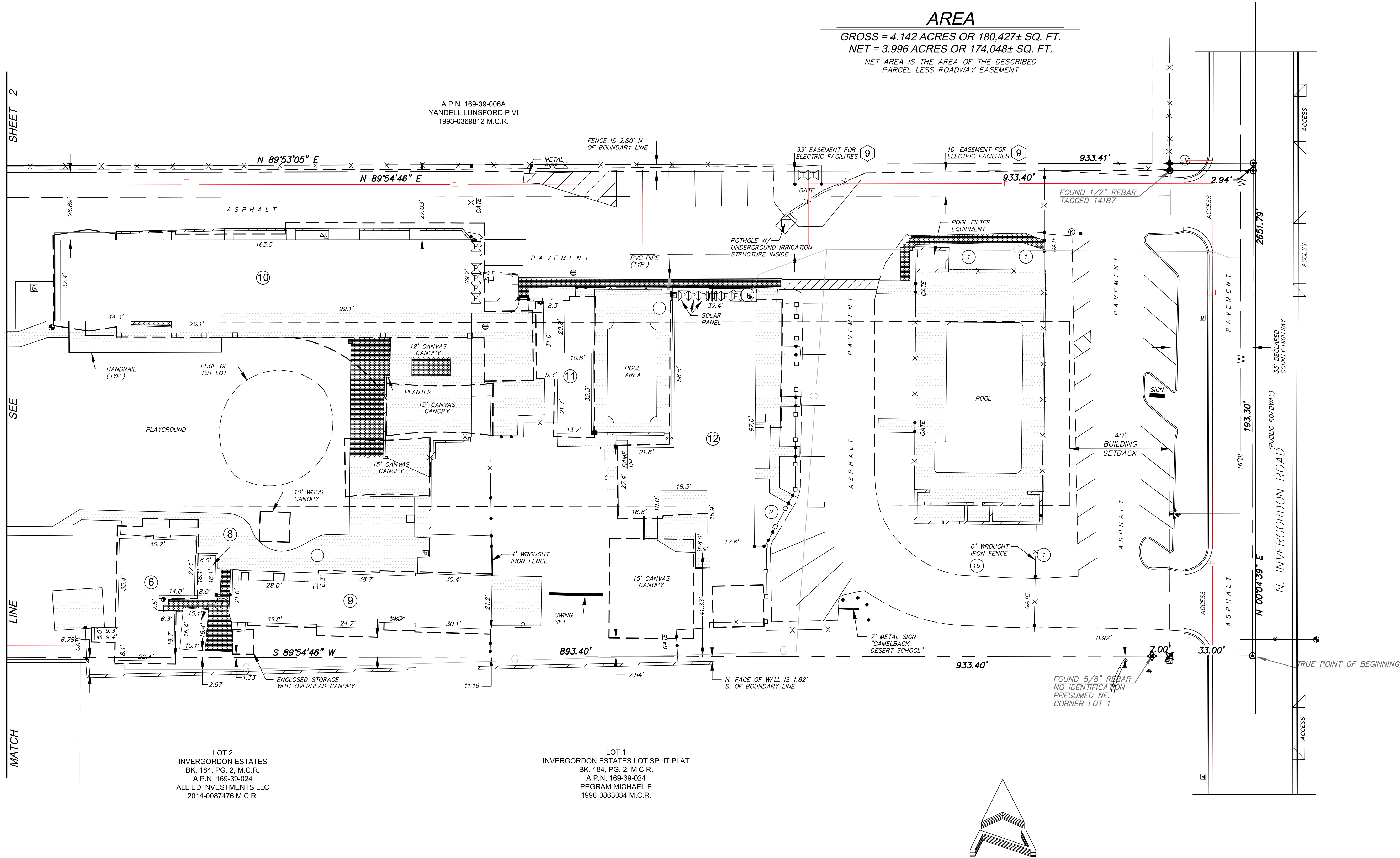
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CAMELBACK BUILDERS

SITE PLAN PART 1 & PART 2

APN: 169-39-007

NEW BUILDING PROJECT

6050 N. INVERGORDON ROAD

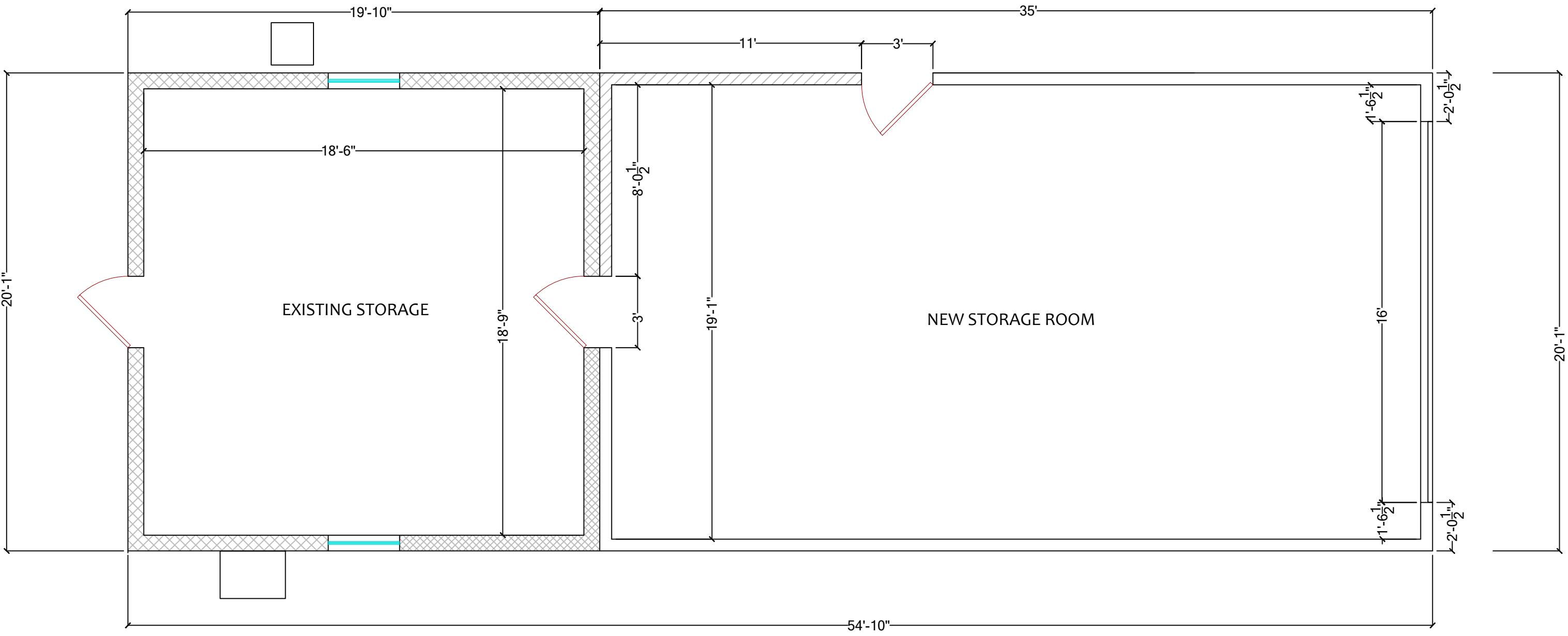
PARADISE VALLEY, ARIZONA



CRANE CONCEPTS

PROJECT DESIGN
Scottsdale, Arizona
480-295-1000

REVISIONS	DATE



FLOOR PLAN - DIMENSIONED

WALL LEGEND			
	EXISTING WALL TO REMAIN		FILL IN BLOCK WALL
	FILL IN 2 X 4 WALL SECTION		EXISTING 8" BLOCK WALL TO REMAIN
	REMOVE BLOCK WALL SECTION		NEW 2X FRAMED WALLS
	REMOVE FRAME WALL SECTION		

FLOOR PLAN - DIMENSIONED

1/4" = 1' -0"

MONTESSORI ACADEMY
NEW BUILDING
6050 N. INVERGORDON ROAD
PARADISE VALLEY, ARIZONA

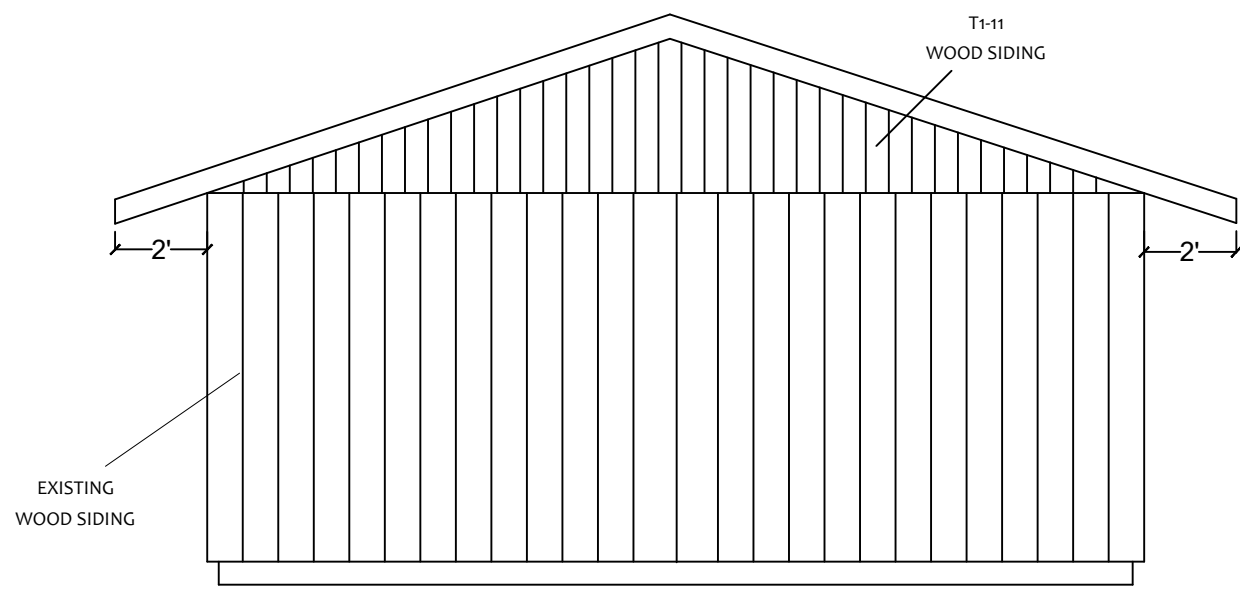
DRAWN
CHECKED
DATE 4-14-18
SCALE

TITLE
A-2

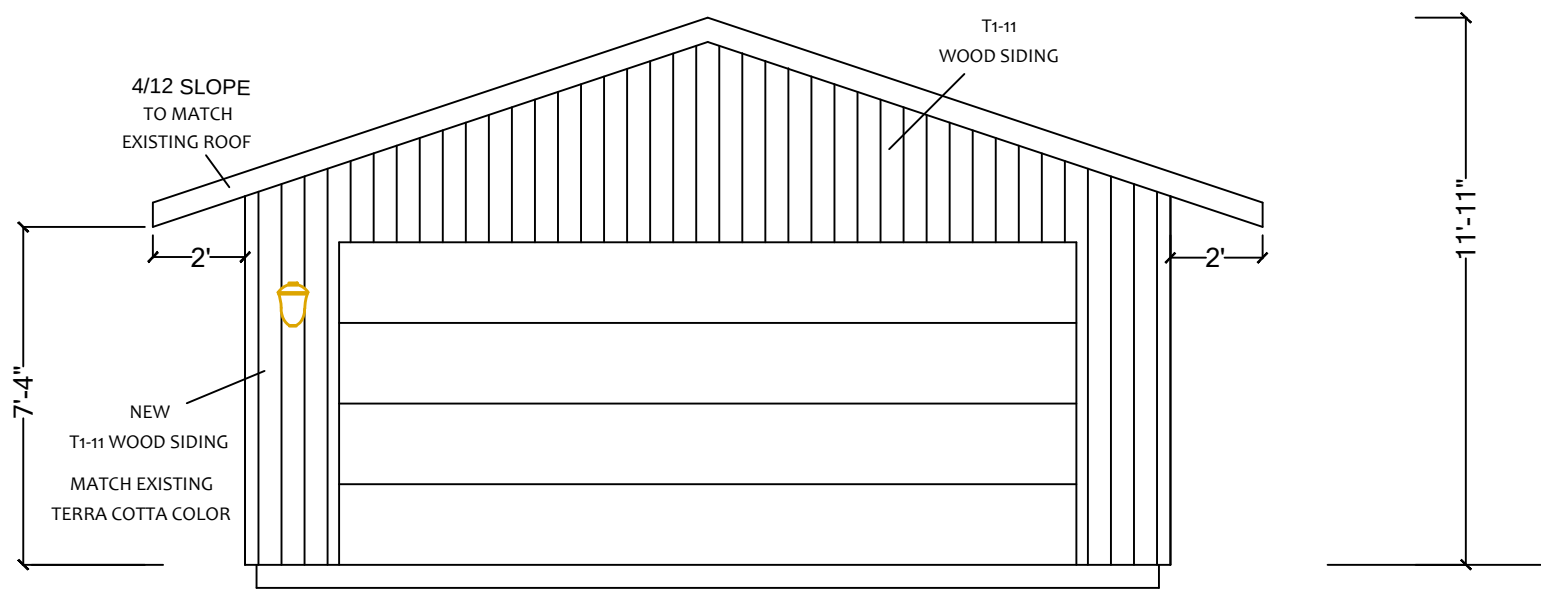


CRANE CONCEPTS
PROJECT DESIGN
Scottsdale, Arizona
480-295-1000

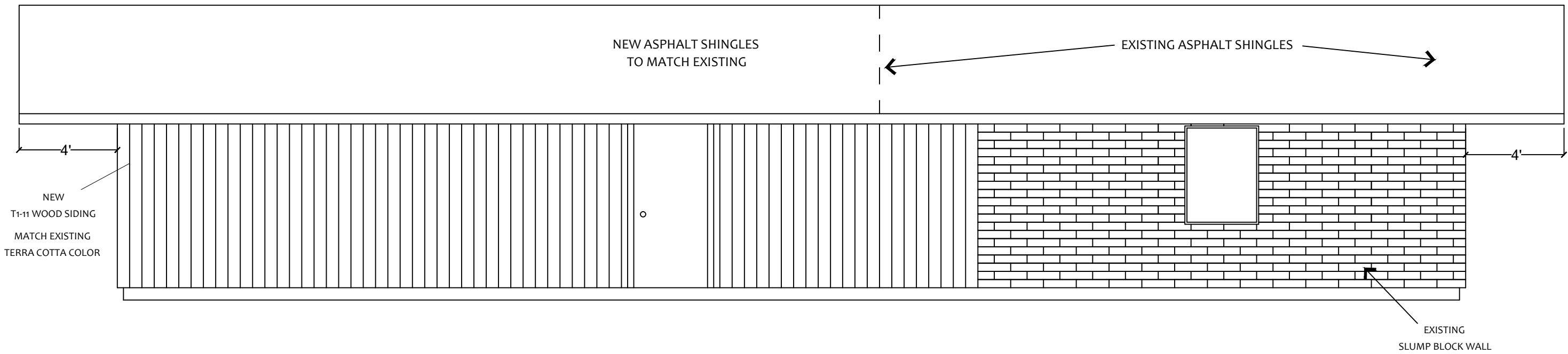
REVISIONS	DATE



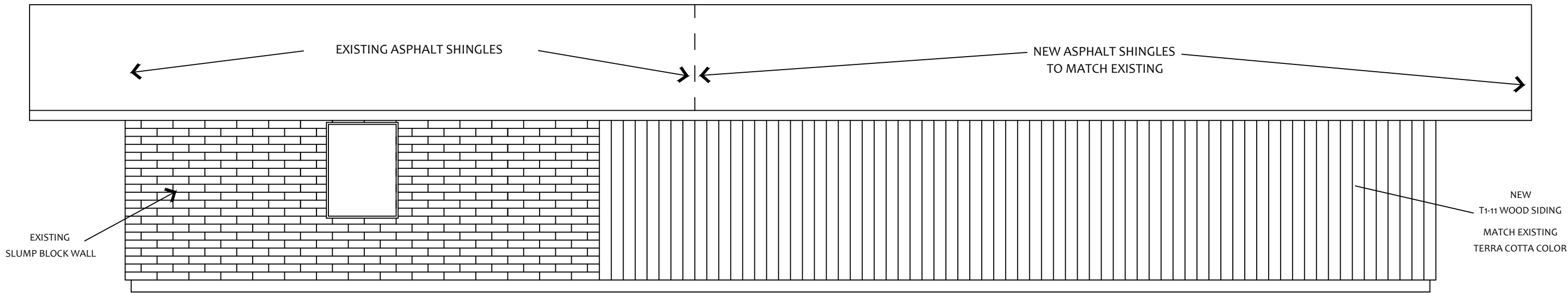
REAR ELEVATION



FRONT ELEVATION



RIGHT SIDE ELEVATION



LEFT SIDE ELEVATION

ELEVATION PLAN

1/4" = 1' -0"

MONTESSORI ACADEMY
NEW BUILDING
6050 N. INVERGORDON ROAD
PARADISE VALLEY, ARIZONA

DRAWN
CHECKED
DATE 4-14-18
SCALE

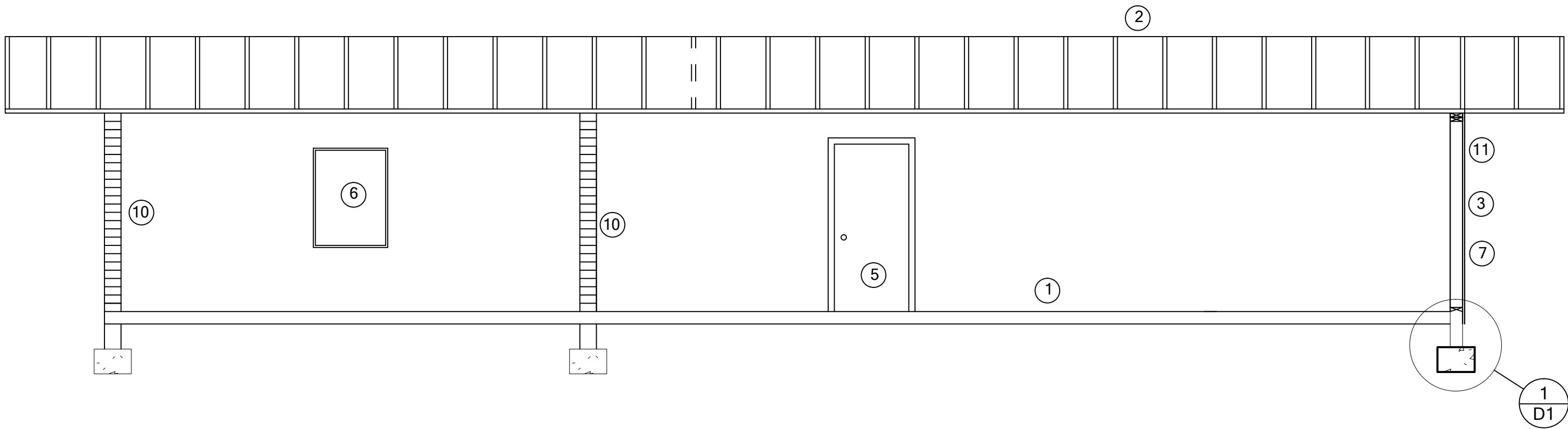
TITLE
A-4



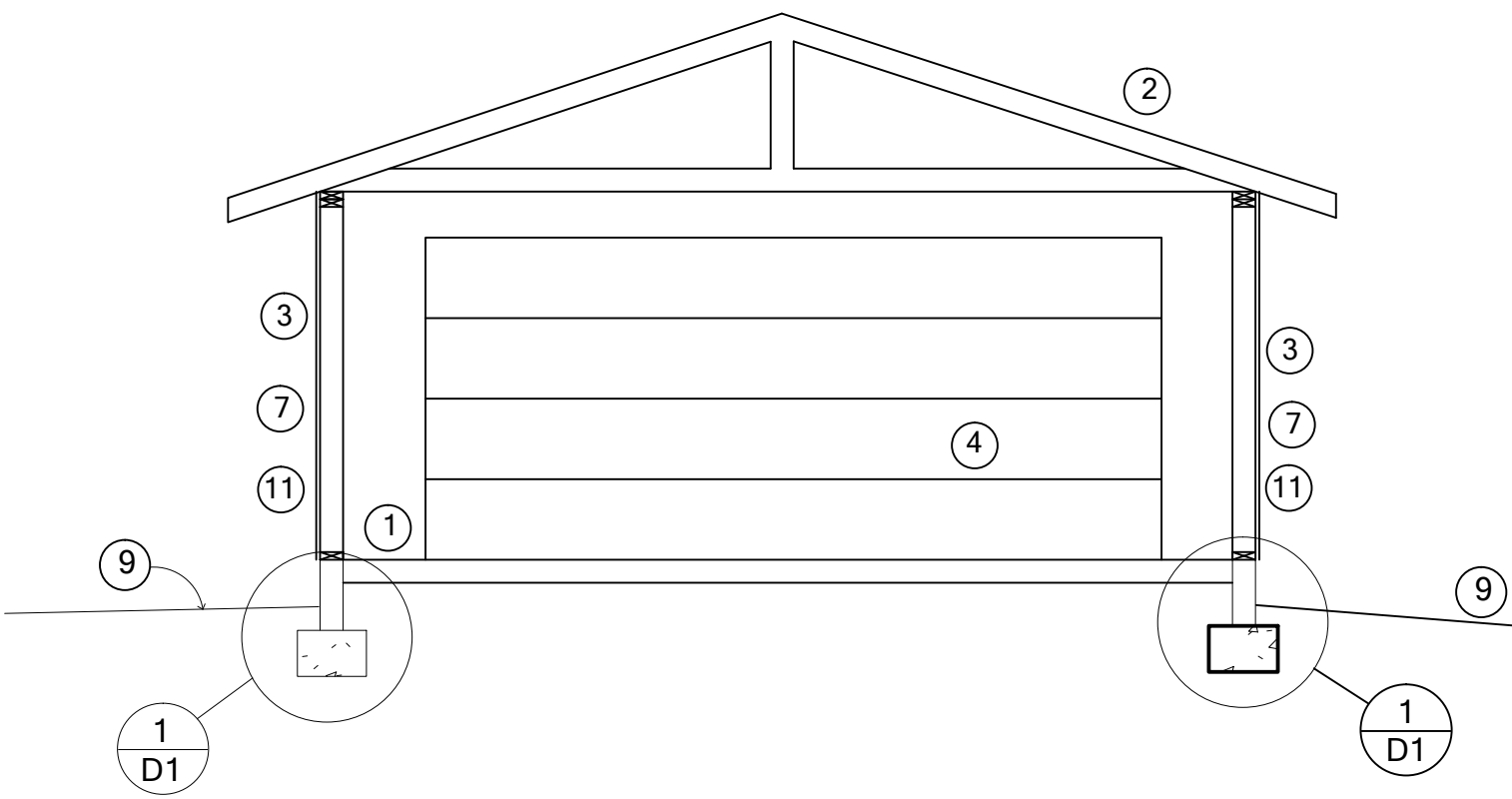
CRANE CONCEPTS

PROJECT DESIGN
Scottsdale, Arizona
480-295-1000

REVISIONS	DATE



BUILDING SECTION - A



BUILDING SECTION - B

- ① 4" CONCRETE SLAB OVER MIN. 4" A.B.C. FILL.
- ② PRE-FAB WOOD TRUSSES AT 24" O.C. (CITY APPROVED) - SEE TRUSS SCHEDULE.
- ③ NEW 2 X 6 EXTERIOR WALL
- ④ GARAGE DOOR
- ⑤ ENTRY DOOR
- ⑥ WINDOW
- ⑦ STUCCO COATING
- ⑧ EXISTING 2 X 4 WALL TO REMAIN
- ⑨ FINISH GRADE.
- ⑩ EXISTING SLUMP BLOCK WALL TO REMAIN
- ⑪ NEW T1-11 WOOD SIDING

SECTION PLAN

1/4" = 1' -0"

MONTESSORI ACADEMY
NEW BUILDING
6050 N. INVERGORDON ROAD
PARADISE VALLEY, ARIZONA

DRAWN
CHECKED
DATE 4-14-18
SCALE

TITLE
A-5



CRANE CONCEPTS

PROJECT DESIGN
Scottsdale, Arizona
480-295-1000

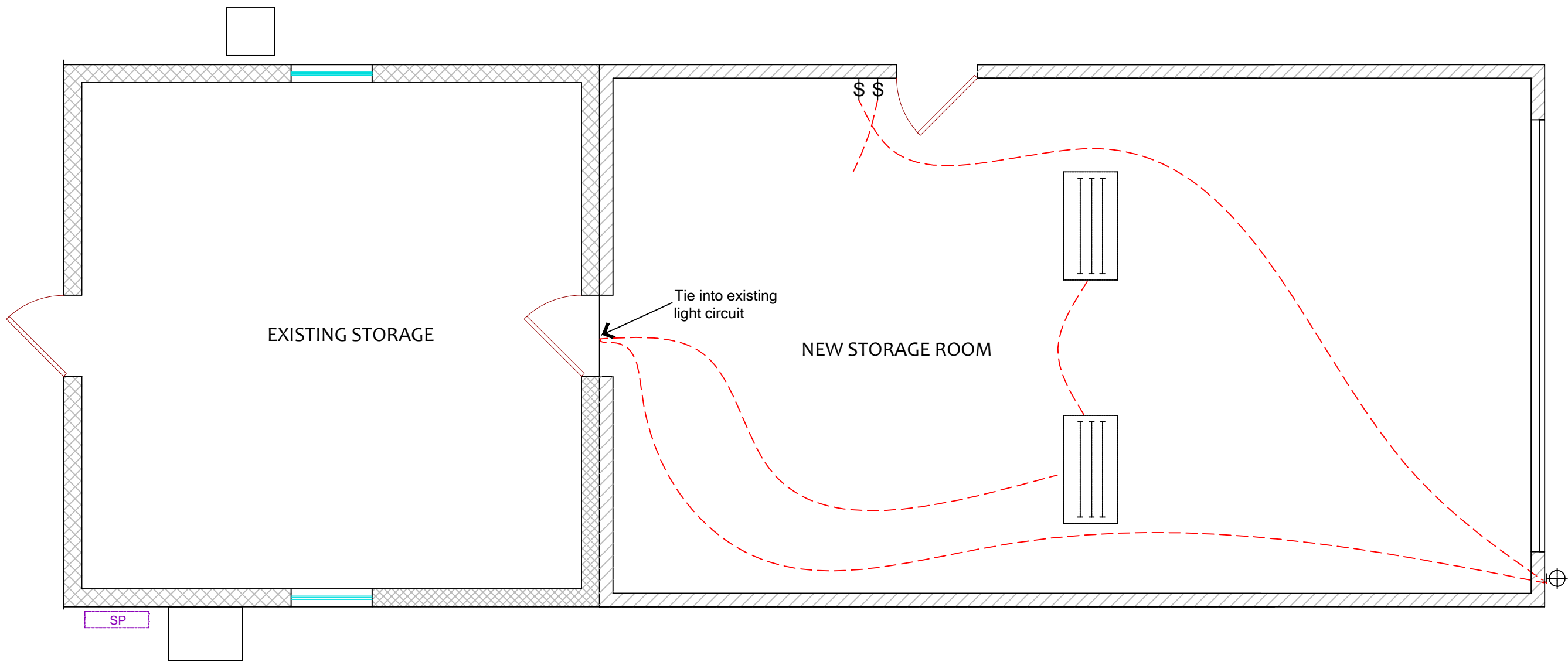
REVISIONS	DATE

CRANE CONCEPTS DESIGN
Innovative Building Designs
480-295-1000

RESIDENTIAL REMODEL
10040 E. HAPPY VALLEY RD. 2059
SCOTTSDALE, ARIZONA

DRAWN
CHECKED
DATE 4-8-17
SCALE

TITLE
E-1



ELECTRICAL SYMBOLS	
\$	SWITCH
\$3	3-WAY SWITCH
\$4	4-WAY SWITCH
⌚	DUPLEX OUTLET (TAMPER RESISTANCE)
FO	FLOOR OUTLET
GFCI	GROUND FAULT CIRCUIT INTERRUPTER
WP	WATERPROOF
	FLUORESCENT TUBE FIXTURE
ES	ELECTRICAL SERVICE METER PANEL
SP	SUB PANEL
J	JUNCTION BOX

ARC FAULT CIRCUIT INTERRUPTER
Two or more 20 amp small appliance circuits shall be provided to serve the kitchen, breakfast room, and dining room. Such circuits shall have no other outlets (NEC Article 210-52).
At least one 20-amp branch circuit shall be installed to serve the laundry room and this circuit shall have no other outlets (IRC E3703.2, E3901.3).
Outlet boxes in the garage side of the wall between the dwelling and the garage and in the garage ceiling shall be metal or other materials listed for the use intended (IRC R302.4.2).
All branch circuits that supply 120-volt, single-phase, 15- and 20-ampere outlets installed in family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreations rooms, closets, hallways and similar rooms or areas shall be protected by a combination type arc-fault circuit interrupter installed to provide protection of the branch circuit.

Grounding conductor shall be a minimum of 20 feet of #4 bare copper wire embedded in the concrete footing (Ufer).
A minimum of one #4 copper wire connecting the building's metal water and gas piping system to the service equipment enclosure grounding buss for 200 or less SES.

ELECTRICAL PLAN

1/4" = 1' -0"

Montessori Academy

6050 N Invergordon Rd.
Paradise Valley, AZ 85253
Phone: 480-945-1121
Fax: 480-874-2928
Montessoriacademyaz.org

March 22, 2018

Re: Montessori Academy Shipping Pods/Storage

Although we are disappointed in not being able to keep our storage pods, we do respect your decision to have them removed. We absolutely need the storage capacity that the pods provide and appreciate being given some time to come up with a plan.

Being a non-profit charter school, we are on a very strict budget, which adds to the challenge of building permanent storage onsite. We have rallied some of our parents in the construction industry and have submitted a preliminary site plan. Following the commissioner's suggestions, we plan on adding to the existing structure, following the existing setbacks. We will also bring the existing additional attached storage up to code, if needed. Our parent contractor has procured a draftsman to complete the plans, for us as close to cost as possible. In the meantime, he is also procuring the materials and manpower to complete the project.

We are in regular school session until the end of May and begin Summer Camp one week later. The storage pods would be emptied the end of May and typically filled with our traditional classroom furniture for the summer and then the transition happen again the last week in July for an August start of school. Depending on the timeline having the project approved, materials and manpower available, and the funding, we have no problem fencing off a portion of our property to start construction before the end of the school year. If we could have the storage built by the "transition" of items in the storage pods, the traditional classroom furniture could go right into the new storage, the pods would be empty, they would be sold and removed by June. That is plan A, the most desirable.

Plan B would be on an extended timeline, but within 12 months, dependent on funds and supplies.

We would be happy to provide any additional information as requested.

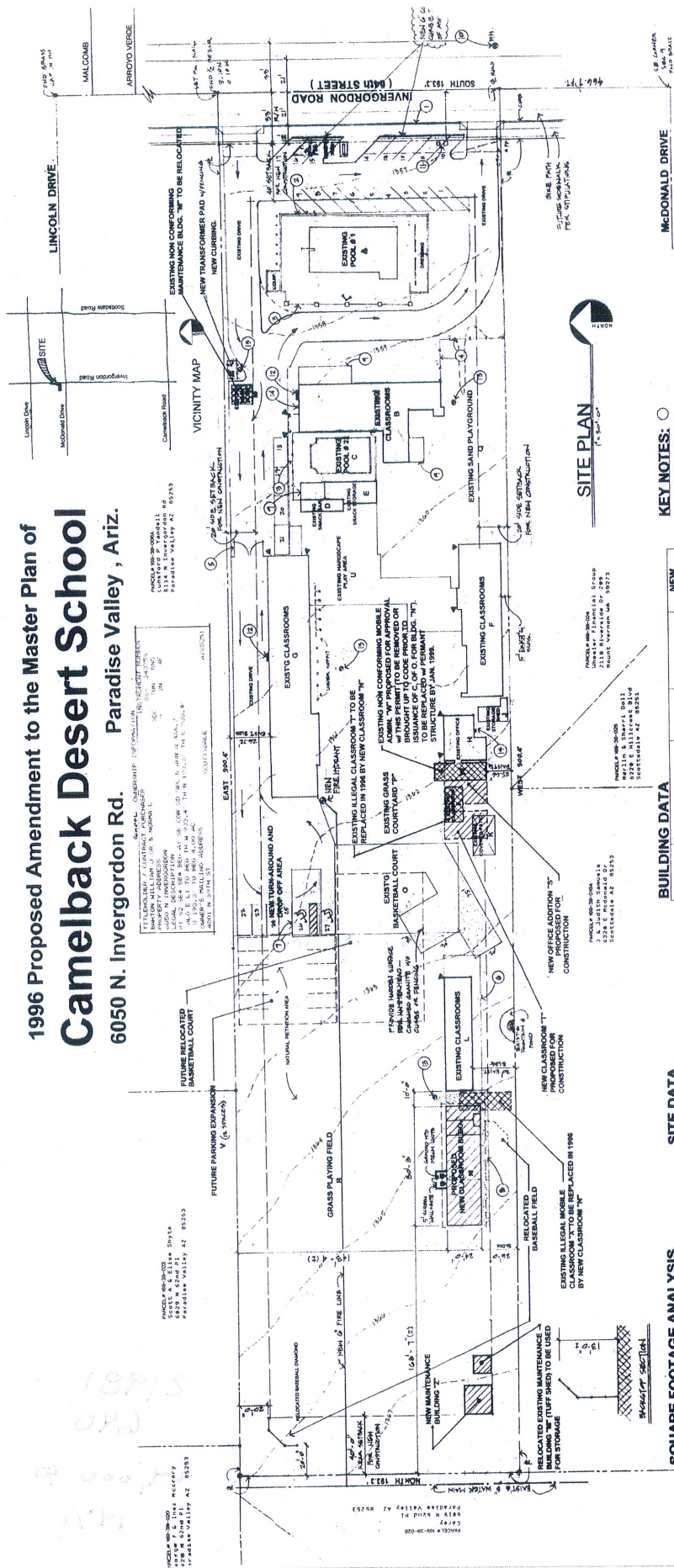
Respectfully,

Julianne Lewis Newman
Executive Director/Principal



Montessori Academy, Inc.
is
a 501(c)3 non-profit
organization

6050 N. Invergordon Rd.
Paradise Valley, Ariz.



SQUARE FOOTAGE ANALYSIS		PROPOSED 1988 RECONSTRUCTION COST PLAN - ARMEDMASTER PLAN	
LABEL	MASTER PLAN	NON-GROWING BLOCKS	ARMEDMASTER PLAN
A	5,000 S.F.		
B	3,972 S.F.		
C	2,500 S.F.		
D	240 S.F.		
E	578 S.F.		
F	1,000 S.F.		
G	5,000 S.F.		
H	572 S.F.	250 S.F.	
I			
J	225 S.F.		
K	1,500 S.F.		
L	1,500 S.F.	180 S.F.	
M			
N			
O	5,100 S.F.		1,020 S.F.
P	1,000 S.F.		
Q	1,000 S.F.		
R	50,000 S.F.		
S			
T			
U	5,000 S.F.		900 S.F.
V	3,000 S.F.		500 S.F.
W			
X			
Y			
Z			
TOTAL S.F.	170,881 S.F.		400 S.F. 3,500 S.F.

As approved by the Town Council on October 10, 1996.

11-12-96

SITE DATA

GROSS SITE AREA: 174,602.32 S.F. (3.98 AC.)
NET SITE AREA: 171,174 S.F.
NET SITE COV. S.F.: 171,174 S.F. 16.9% COVERAGE
TOTAL GREENBELT S.F.: 15,700 S.F. 9.2% COVERAGE
TOTAL GREENBELT S.F.: 72,460 S.F. 42.3% COVERAGE
(40% OF GREENBELT IS LANDSCAPED)

PARKING DATA
TOTAL EXISTING PARKING PROVIDED: 48 SPACES
TOTAL PROPOSED PARKING WITH
NEW TRAFFIC LAYOUT: 27 SPACES
(INCLUDES 2 HANDICAP SPACES)
TOTAL EXISTING AND PROPOSED PARKING: 75 SPACES

**APPROVED
EXTERIOR LIGHTING DATA***

PARKING DATA

TOTAL EXISTING PARKING PROVIDED : 46 SPACES
TOTAL PROPOSED PARKING WITH
NEW TRAFFIC LAYOUT : 27 SPACES
(INCLUDES 2 HANDICAP SPACES)

**APPROVED
EXTERIOR LIGHTING DATA***

[illegible]

NO NEW EXTERIOR LIGHTING PROPOSED.

ALL EXISTING LIGHTING TO BE REVISED TO MEET CURRENT TOWN STANDARDS. 75% / 100 LUMENS MAX.

BUILDING DATA

CATALOG	USE	SIZE	% COVERAGE	NEW OR EXISTING
A	MAIN POOL	5000 S.F.	2.71%	EXISTING
B	CLASSROOM BLDG.	3072 S.F.	1.89%	EXISTING
C	SECONDARY POOL #2	2216 S.F.	1.32%	EXISTING
D	SHOWER BLDG.	740 S.F.	0.43%	EXISTING
E	SHOWER STORAGE	128 S.F.	0.24%	EXISTING
F	CLASSROOM BLDG.	2704 S.F.	1.60%	EXISTING
G	CLASSROOM BLDG.	4400 S.F.	2.74%	EXISTING
H	ADMIN. OFFICE	572 S.F.	0.31%	EXISTING
I	STORAGE BLDG. NON-CONFIRMED	250 S.F.	0.15%	TO BE REMOVED
J	STORAGE SHED	225 S.F.	0.13%	EXISTING
K	COVERED PATIO	390 S.F.	0.22%	EXISTING
L	CLASSROOM BLDG.	1540 S.F.	0.88%	EXISTING
M	MAINTENANCE BLDG. (TUFF SHED)	185 S.F.	0.10%	NEW
N	NEW CLASSROOM BLDG.	1920 S.F.	1.09%	EXISTING
O	ASPHALT BASEBALL COURT	5100 S.F.	2.90%	EXISTING
P	SHALLS COUNTRYVA	14,400 S.F.	7.50%	EXISTING
Q	SHALLS PLAYING FIELD	6900 S.F.	3.50%	EXISTING
R	SHALLS PLAYING FIELD	55,600 S.F.	32.60%	EXISTING
S	FUTURE OFFICE ADDITION	500 S.F.	0.28%	NEW
T	FUTURE EXPANDED CLASSROOM	600 S.F.	0.34%	NEW
U	FUTURE PARKING AREA	3700 S.F.	0.22%	EXISTING
V	FUTURE PARKING AREA	3700 S.F.	1.83%	NEW
W	SHALLS ASSEMBLY BUILDING	420 S.F.	0.24%	TO BE REMOVED
X	SHALLS ASSEMBLY BUILDING	420 S.F.	0.24%	TO BE REMOVED
Y	SHALLS ASSEMBLY BUILDING	420 S.F.	0.24%	TO BE REMOVED
Z	SHALLS ASSEMBLY BUILDING	420 S.F.	0.24%	TO BE REMOVED

TO BE REMOVED PRIOR TO ISSUANCE OF

KEY NOTES: ○

- | | | |
|-----|---|--|
| 01. | EXISTING CONG. CURB | |
| 02. | EXISTING 8 FT. BLOCK FENCE | |
| 03. | EXISTING 8 FT. BLOCK FENCE | |
| 04. | EXISTING 8 FT. BLOCK FENCE | |
| 05. | EXISTING SECURITY GATE WITH NEW KNOX | |
| 06. | BOX ON ADJACENT BLVD. FOR EMERGENCY | |
| | ACCESSING CONG. SIDEWALK | |
| 08. | EXISTING CONCRETE PARKING STRUCTURE TO BE REMOVED | |
| 09. | NEW CONG. SIDEWALK | |
| 10. | EXISTING ASPHALT DRIVEWAY AND DRIVEWAY AREA | |
| 11. | EXISTING FIRE HYDRANT | |
| 12. | EXISTING WATER METER & GAS VALVE | |
| 13. | EXISTING ELECTRICAL 3 E.S. | |
| 14. | EXISTING 12" WATER C.O. | |
| 15. | EXISTING GAS METER | |

NOTES:

1. THIS PROJECT TO COMPLY WITH SECT 102.1 THE ZONING ORDINANCE-TOWN OF PARADISE VALLEY.
2. EXISTING POWER POLES ARE CURRENTLY LOCATED ON THE EAST SIDE OF AN UNDERGROUND SERVICE SYSTEM.
3. SEE PLAN FOR LOCATION OF NEW FIRE LINE AND HYDRANT AND HAMMER HEAD DRIVE
4. GRADES: PRESCHOOL THRU EIGHT
5. EMPLOYEES: 25 TOTAL
6. UTILITIES: AS SHOWN
7. UTILITIES AS FOLLOWS:
 - PARADISE VALLEY WATER CO - WATER
 - ARIZONA PUBLIC WATER CO - ELECT
 - SOUTHWEST GAS
 - SEPTIC LOCATIONS ON SITE PROPOSED
 - SEE PLAN FOR LOCATION OF SEPTIC EXCEPT FOR MECH. SCREEN WALL @ NEW CLASSROOM "B"



ARTO SPACE
CONCRETE ARCHITECTS, LTD.

A NEW CLASSROOM BLDG. FOR :

CAMELBACK DESERT SCHOOL

6050 N. INVERGORDON RD. PARADISE VALLEY, AZ.

Architects: L&L

☒ **FA/6/92/PT 1 SH99**

6031 9th AVE

633 E. ACACIA DR. SUITE 105 SCOTTSDALE, AZ 85260

☐ **FA/6/92/PT 2 SH99**

DATE: 11/24/91

DRAWN BY: R14

CHECKED BY:

DRAWING NAME:

JOB NO.

REVIEWS

1	3/11/92
2	3/11/92
3	3/11/92
4	
5	

DATE: 11/24/91

BY: R14

CHECKED BY:

DRAWING NAME:

JOB NO.

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Architects: L&L