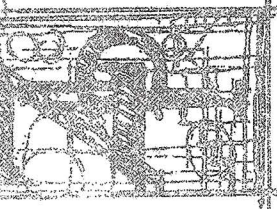




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AND PLANNER
1236 N. NUEVA
SCOTTSDALE, AZ 85258
PHONE: 602-541-5166

03/27/2018

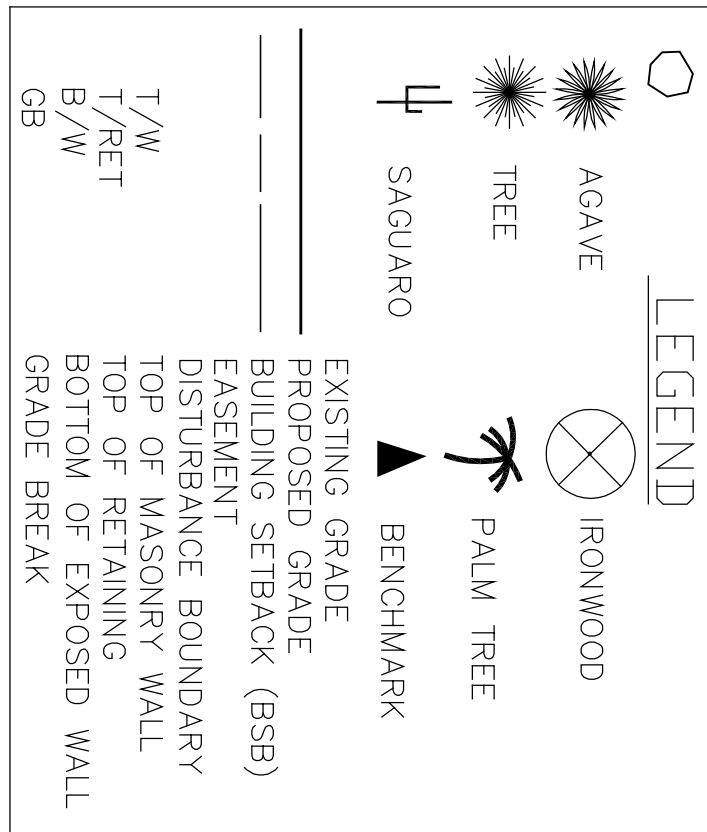
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CASITA PERSPECTIVE
5514 E ROADRUNNER
PARADISE VALLEY, ARIZONA 85253

DRAWING No.
A3.2



(IN FEET)
1 inch = 20 ft.



DESIGN: TOWN OF PARADISE VALLEY
400 YEARS 2 HUND CROWN

DESIGN: TOWN OF PARADISE VALLEY
400 YEARS 2 HUND CROWN

DESIGN: TOWN OF PARADISE VALLEY
400 YEARS 2 HUND CROWN

RETENTION REQUIRED:

RETENTION REQUIRED:

$$Y = (A^* D^* C) \setminus 12$$
$$Y = (A^* D^* C) \setminus 12$$

D = 0.5" FIRST FLUSH (38% SLOPE HILL SIDE 0% RETENTION REQ'D)

D = 0.5" FIRST FLUSH (38% SLOPE HILL SIDE 0% RETENTION REQ'D)

C = 0.95 FOR PROPOSED

C = 0.95 FOR PROPOSED

$$\text{RETENTION REQUIRED} = \frac{1600 * 0.5 * 0.95 / 12}{19} = 64 \text{ CF}$$
$$\text{RETENTION REQUIRED} = \frac{1600 * 0.5 * 0.95 / 12}{19} = 64 \text{ CF}$$

① SAW CUT EX. CONCRETE DRIVE & CURB, ADD 12" MIN WIDTH X 8" MIN. DEPTH TRENCH WITH H-20 CAPACITY GALVANIZED GRADE, SLOPE BOTTOM 1% MINIMUM TOWARD SOUTH AND DRAIN TO DRYWEL. GRATE COLOR TO MATCH DRIVEWAY COLOR

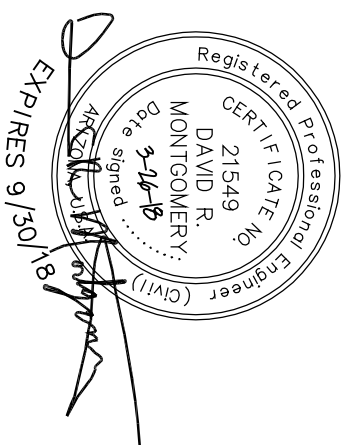
- ① SAW CUT EXPOSED CONCRETE SURFACE AND CHISEL ADD 12" MIN. WIDTH X 8" MIN. DEPTH TRENCH WITH H-20 CAPACITY STANDARD GRADE, SLOPE BOTTOM 1% MINIMUM TOWARD SOUTH AND DRAIN TO DRAINAGE. GRADE COLOR TO MATCH PREVIOUS COLOR.
- ② MINIMUM 4" DRYWELL BY TORRONT RESOURCES OR EQUAL. RETENTION CAPACITY TO MEET OR EXCEED 75 CF. SEE DETAIL A/C1

Call at least two full working days before you begin excavation.

ARIZONA811

Arizona Blue Stake, Inc.

Dial 8-1-1 or 1-800-STAKE-IT (782-5348)
In Maricopa County: (602) 263-1100



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1	3-23-18	P.V. REDLINES	DRM
NO.	DATE	DESCRIPTION	BY



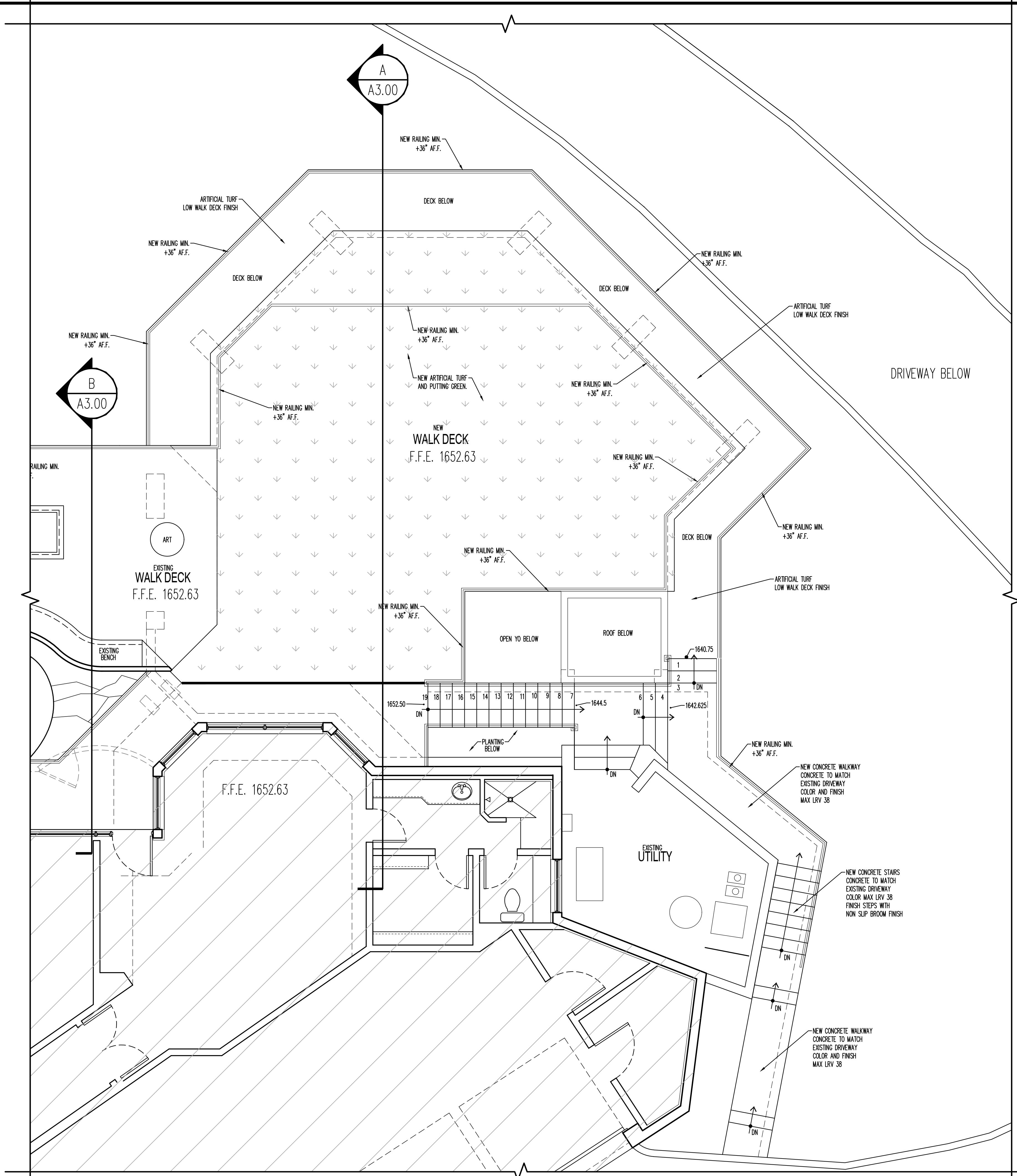
MONTGOMERY
ENGINEERING & MANAGEMENT, L.L.C.
16716 E. PARKVIEW AVE. SUITE 204
FOUNTAIN HILLS, ARIZONA 85268
(480) 837-1845 fax (480) 837-8668
e-mail: Dave@CivilAZ.com

LAS BRISAS AMENDED LOT 4

5514 E. ROADRUNNER ROAD

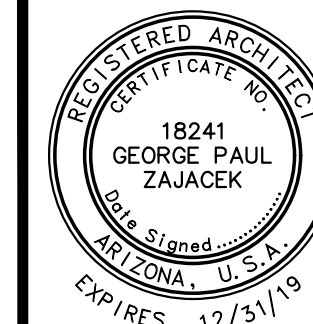
DRAWN BY: KSM	DATE: 12-29-2017
CHECKED BY: DRM	PROJECT NO: 14044
	SCALE: AS NOTED
GRADING & DRAINAGE PLAN	
CASITA ADDITION	

DRAWING NO:
C20f2

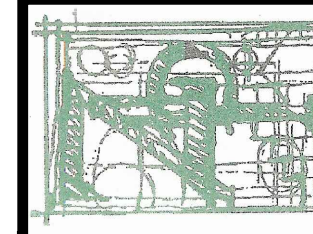


MAIN FLOOR PLAN AT GUEST HOUSE ADDITION

SCALE: 1/4" = 1'-0"



REVISION



**ZAJACEK ARCHITECT
AND PLANNER**
 1236 N. NUEVA
 SCOTTSDALE, AZ 85258
 PHONE: 602-541-5166

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 5514 E ROADRUNNER
 PARADISE VALLEY, ARIZONA 85253

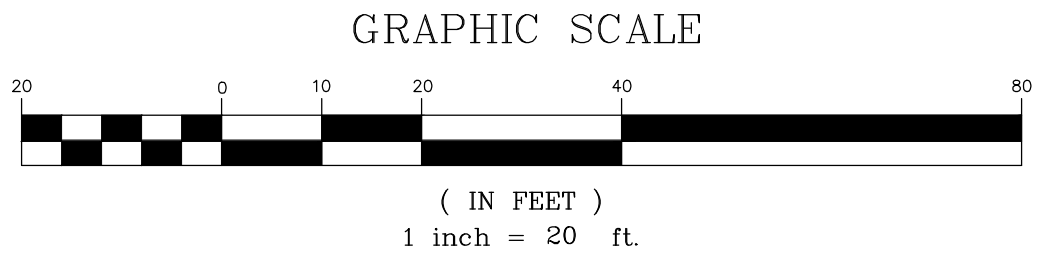
DRAWING No.

A2.1



ARCHITECTURAL SITE PLAN

SCALE: 1"=20'-0"



CURVE TABLE					
CURVE	DELTA	RADIUS	LENGTH	TANGENT	CH BEARING
C1	14°51'46"	408.33	105.92	53.26	S10°31'25"W

LEGAL DESCRIPTION

LOT 4, LAS BRISAS AMENDED, ACCORDING TO BOOK 177 OF MAPS, RECORDS OF MARICOPA COUNTY, ARIZONA.

EXCEPT ALL COAL AND OTHER MINERALS AS RESERVED IN PATENT FROM UNITED STATES OF AMERICA.

OWNER

DESERT TRAILS LLC

PROPERTY ADDRESS

5514 E ROADRUNNER
PARADISE VALLEY, ARIZONA 85253

ZONING

R-43

AREA:

LOT AREA: 107,583 S.F.

EXISTING HOUSE FOOT PRINT: 9,915 S.F.

EXISTING DRIVEWAY & WALKWAYS: 7,754 S.F.

EXISTING WALK DECK & HARDSCAPE AREA: 5,202 S.F.

EXISTING POOL AREA: 288 S.F.

NEW GUEST HOUSE: 937 S.F.

NEW GUEST HOUSE WALK DECK: 628 S.F.

MAIN LEVEL WALK DECK ADDITION: 1,136 S.F.

WALK WAY FROM DRIVE TO GUEST HOUSE: 125 S.F.

NEW TOTAL: 25,985 S.F.

LOT COVERAGE AREA:

24.5 PERCENT

BASIS OF BEARINGS

THE NORTH LINE OF LAS BRISAS AMENDED, ACCORDING TO BOOK 177 OF MAPS, RECORDS OF MARICOPA COUNTY, ARIZONA, AS SOUTH 89°44'05" EAST.

REFERENCE BENCHMARK

TOP ALUMINUM CAP AT THE NORTH QUARTER CORNER OF SECTION 5, T 2 N, R 4 E, AT THE END OF DESERT JEWEL DRIVE.
ELEVATION = 1397.343' NAVD-88 (GDAC # 24502-1M)

SITE BENCHMARK

TBM - TOP OF MARICOPA COUNTY BRASS CAP FLUSH IN ROADRUNNER ROAD.
ELEVATION = 1602.72' NAVD-88

TAX ASSESSOR PARCEL NO.

APN 169-54-029A

ARCHITECT

ZAJACEK ARCHITECT & PLANNER
11778 EAST CORTEZ DRIVE
SCOTTSDALE, AZ 85259
PHONE: 602-541-5766

STRUCTURAL ENGINEER

IRWIN ENGINEERING
3418 E. MISSION LN.
PHONEMIC, ARIZONA. 85028
PHONE: 602-263-8289 E-MAIL: TOM@IRWINENG.COM

MUNICIPALITY

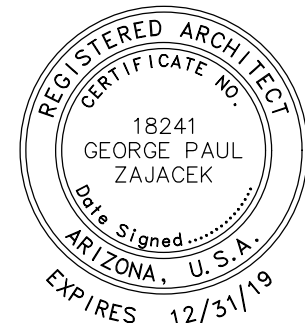
TOWN OF PARADISE VALLEY
6401 E Lincoln Dr
Paradise Valley, AZ 85253
Ph: 480-348-3692
Fx: 480-443-3236

BUILDING CODES

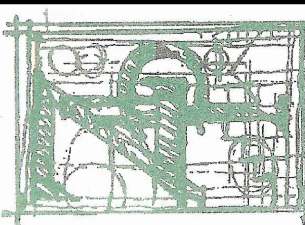
International Residential Code 2012 W/ AMENDMENTS
National Electrical Code 2011; W/ AMENDMENTS
International Mechanical Code 2012
International Mechanical Code 2012

SHEET INDEX

- | | |
|------|--|
| C1 | GRADING & DRAINAGE PLAN EXERCISE RM ADDITION |
| C2 | GRADING & DRAINAGE PLAN GUEST HOUSE ADDITION |
| A1.0 | ARCHITECTURAL SITE PLAN |
| A2.0 | OVERALL FLOOR PLAN |
| A2.1 | ENLARGED MAIN FLOOR PLANS |
| A2.2 | GUEST HOUSE FLOOR PLAN |
| A3.0 | ELEVATIONS |
| A3.1 | ELEVATIONS |
| A3.2 | PERSPECTIVE ELEVATION |
| A4.0 | BUILDING SECTIONS |
| E1.0 | ELECTRICAL PLAN |



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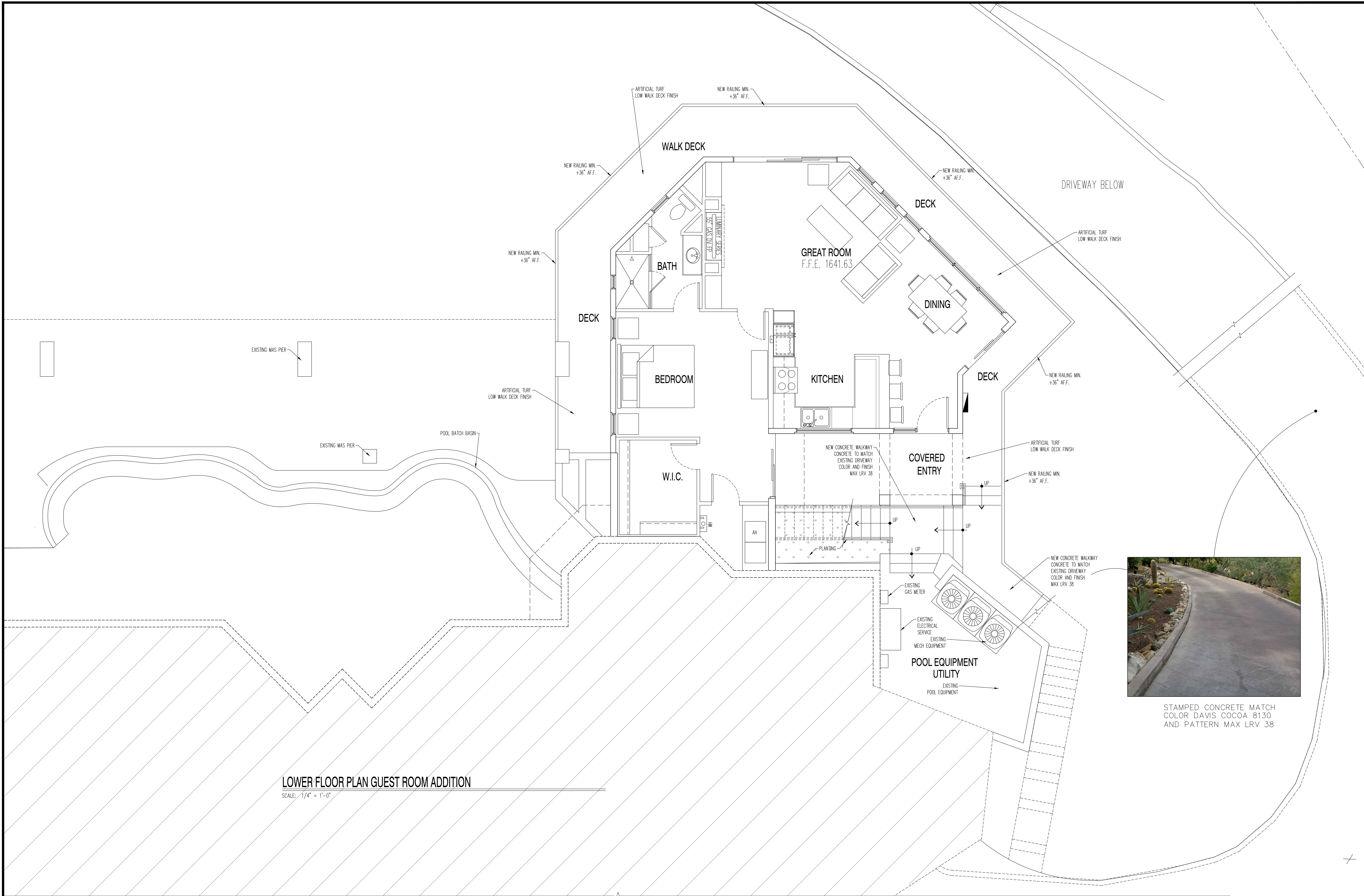
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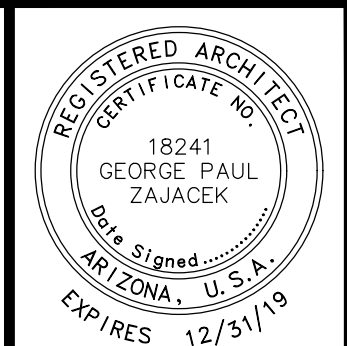
DRAWING NO.

A1.0

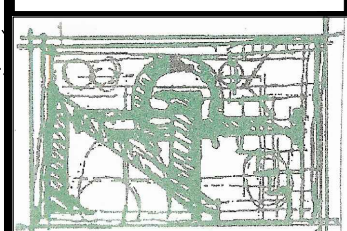


LOWER FLOOR PLAN GUEST ROOM ADDITION

SCALE: 1/4" = 1'-0"



REVISION



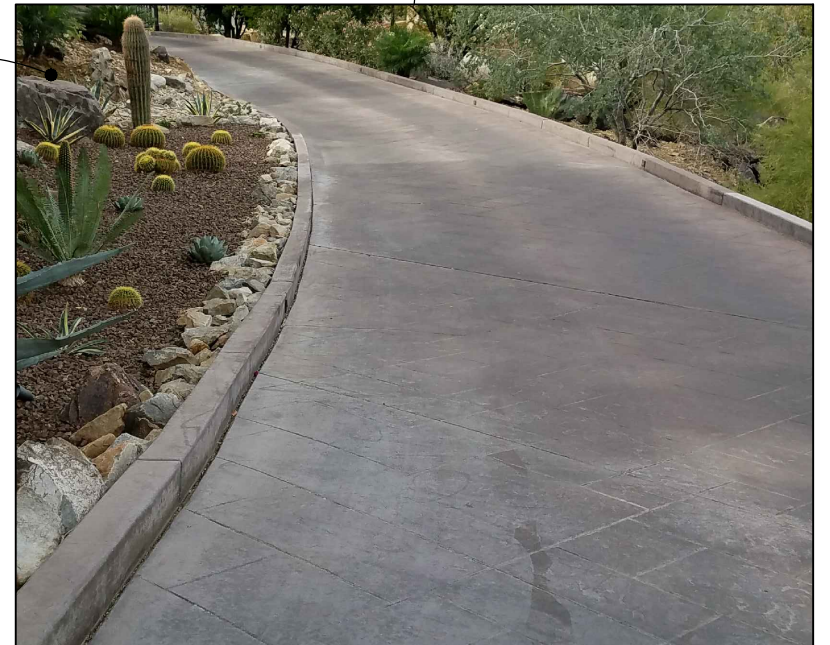
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AND PLANNER
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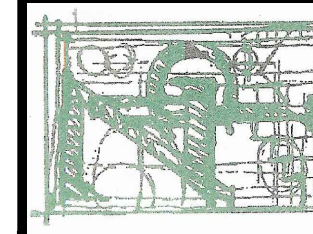
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DRAWING No.
A2.2



STAMPED CONCRETE MATCH
COLOR DAVIS COCOA 8130
AND PATTERN MAX LRV 38



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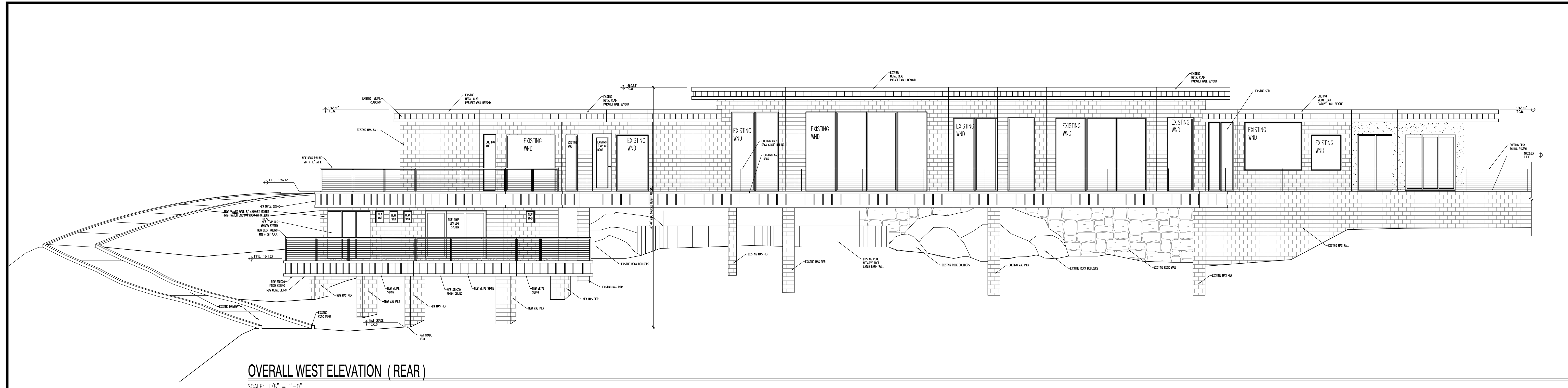
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CASITA ELEVATIONS
5514 E ROADRUNNER
PARADISE VALLEY, ARIZONA 85253

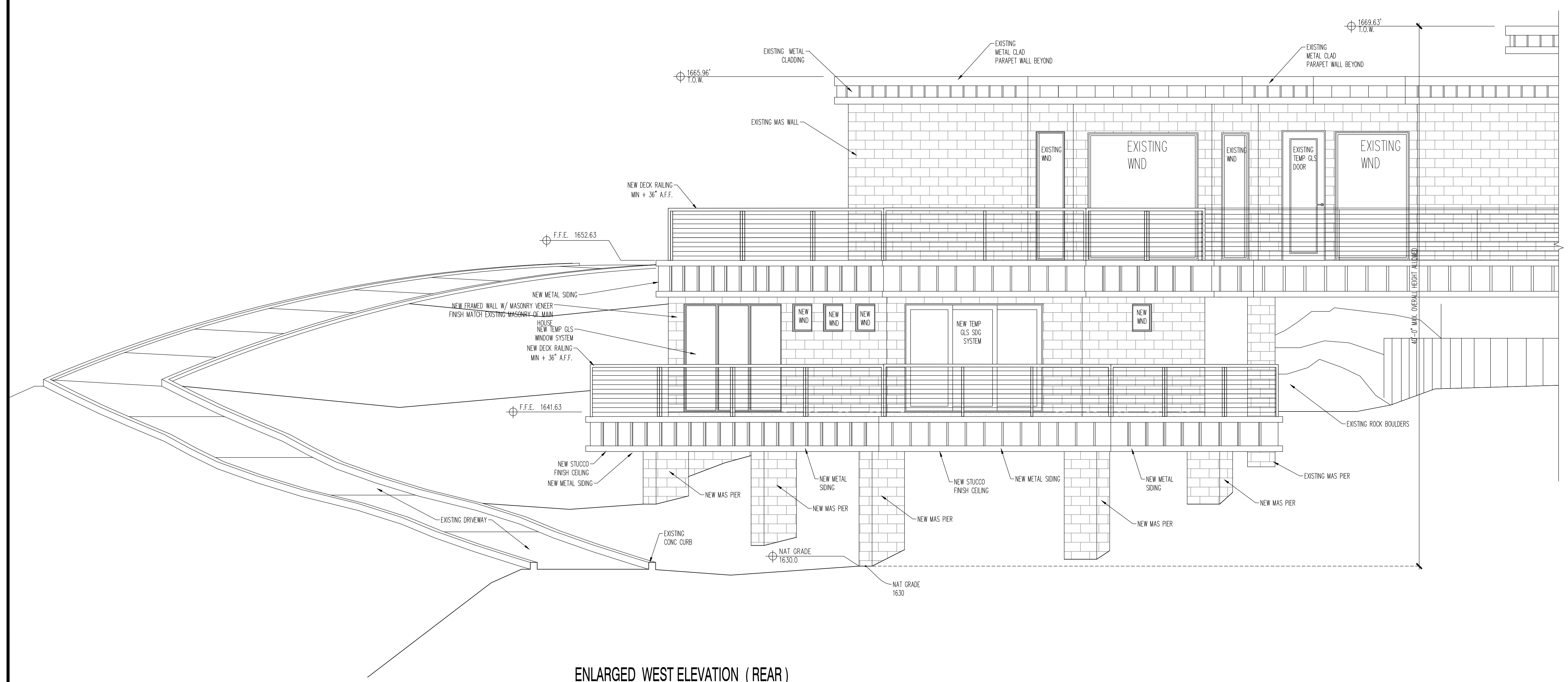
DRAWING No.

A3.0



OVERALL WEST ELEVATION (REAR)

SCALE: 1/8" = 1'-0"



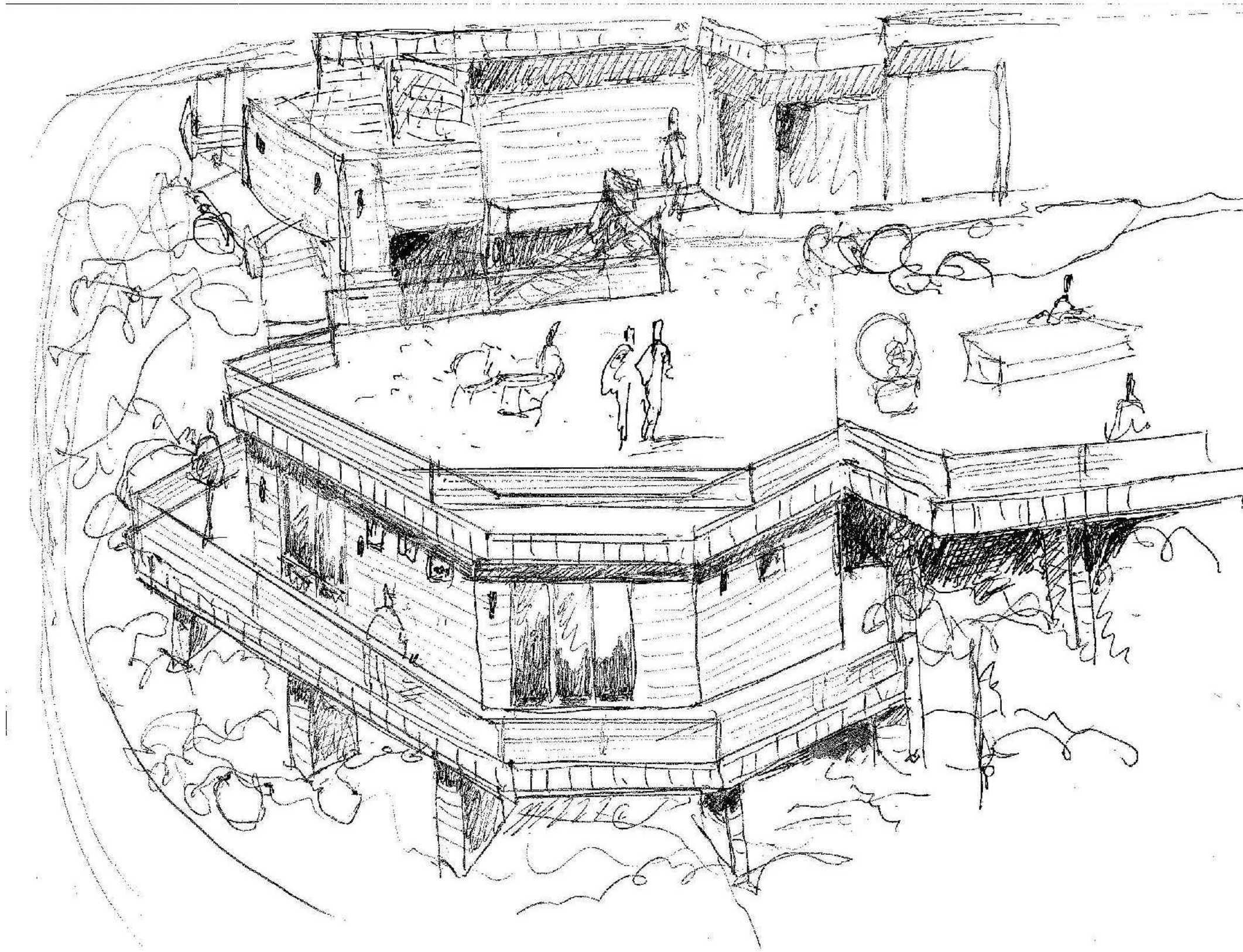
ENLARGED WEST ELEVATION (REAR)

SCALE: 1/4" = 1'-0"



EXISTING HOUSE PHOTO

SCALE: NOT TO SCALE

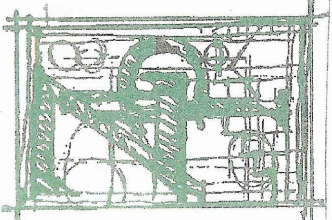


CASITA PERSPECTIVE

SCALE: NOT TO SCALE



REVISION	

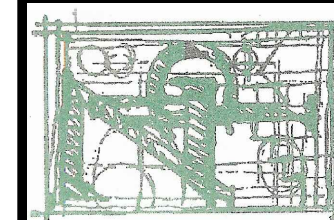


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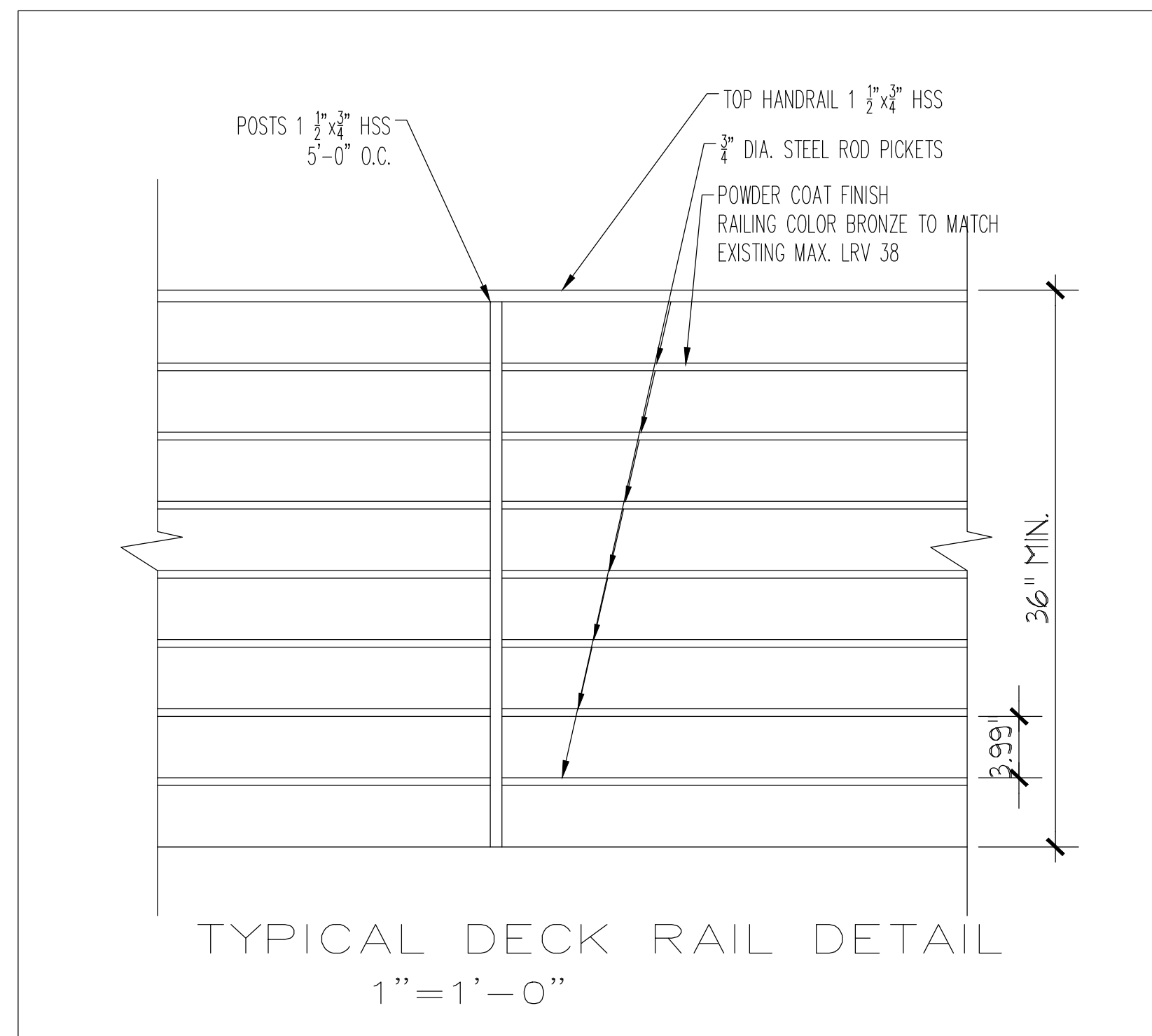
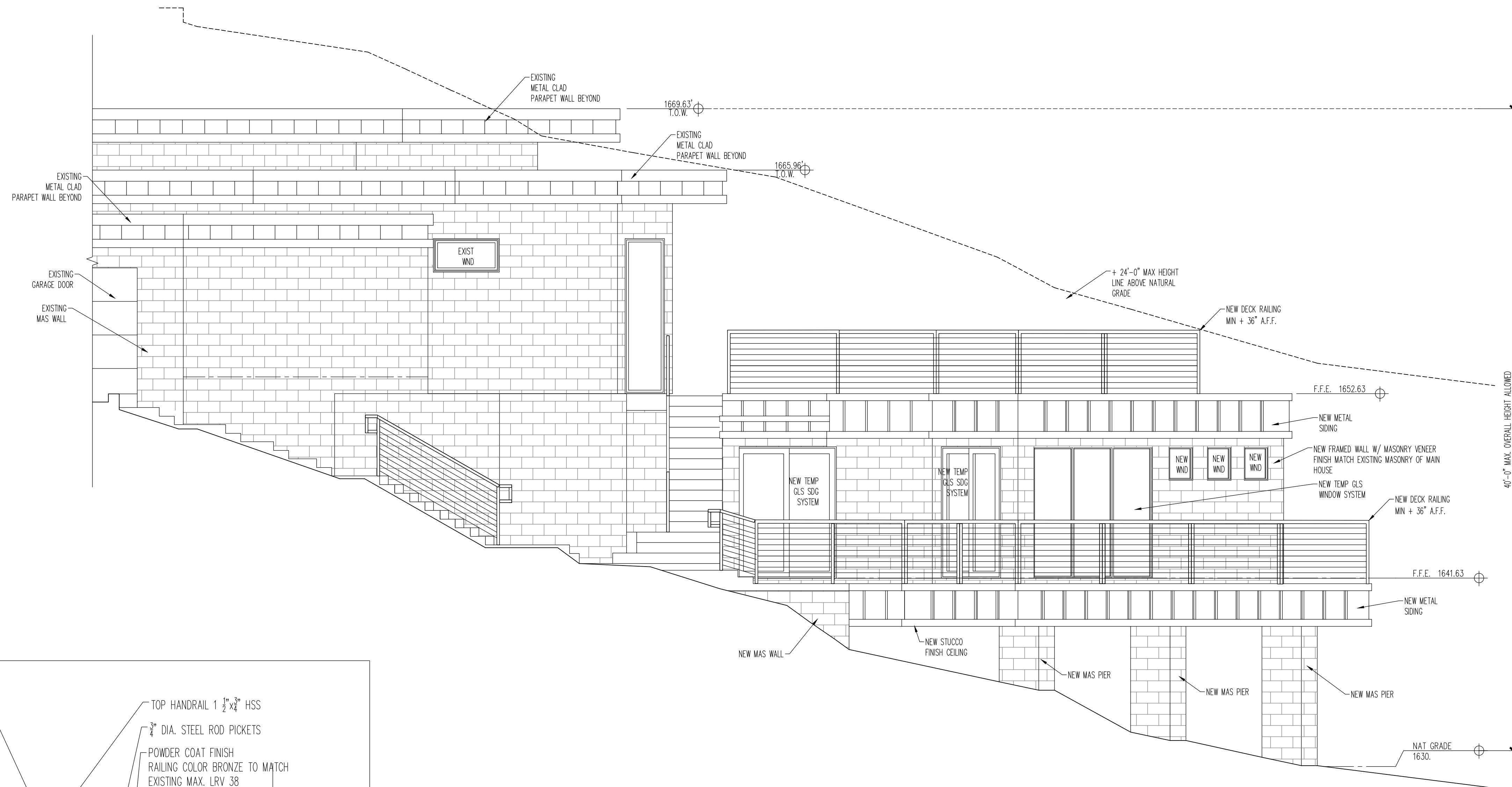
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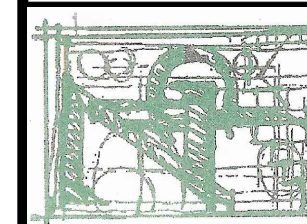
A3.1



NORTH ELEVATION (LEFT SIDE)

SCALE: 1/4" = 1'-0"





ZAJACEK ARCHITECT

AND PLANNER

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SCOTTSDALE, AZ 85258

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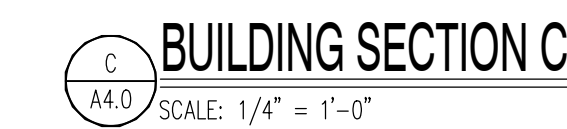
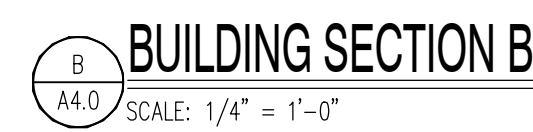
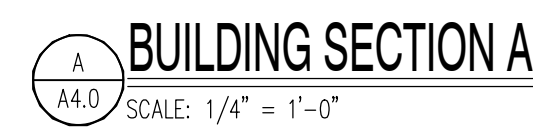
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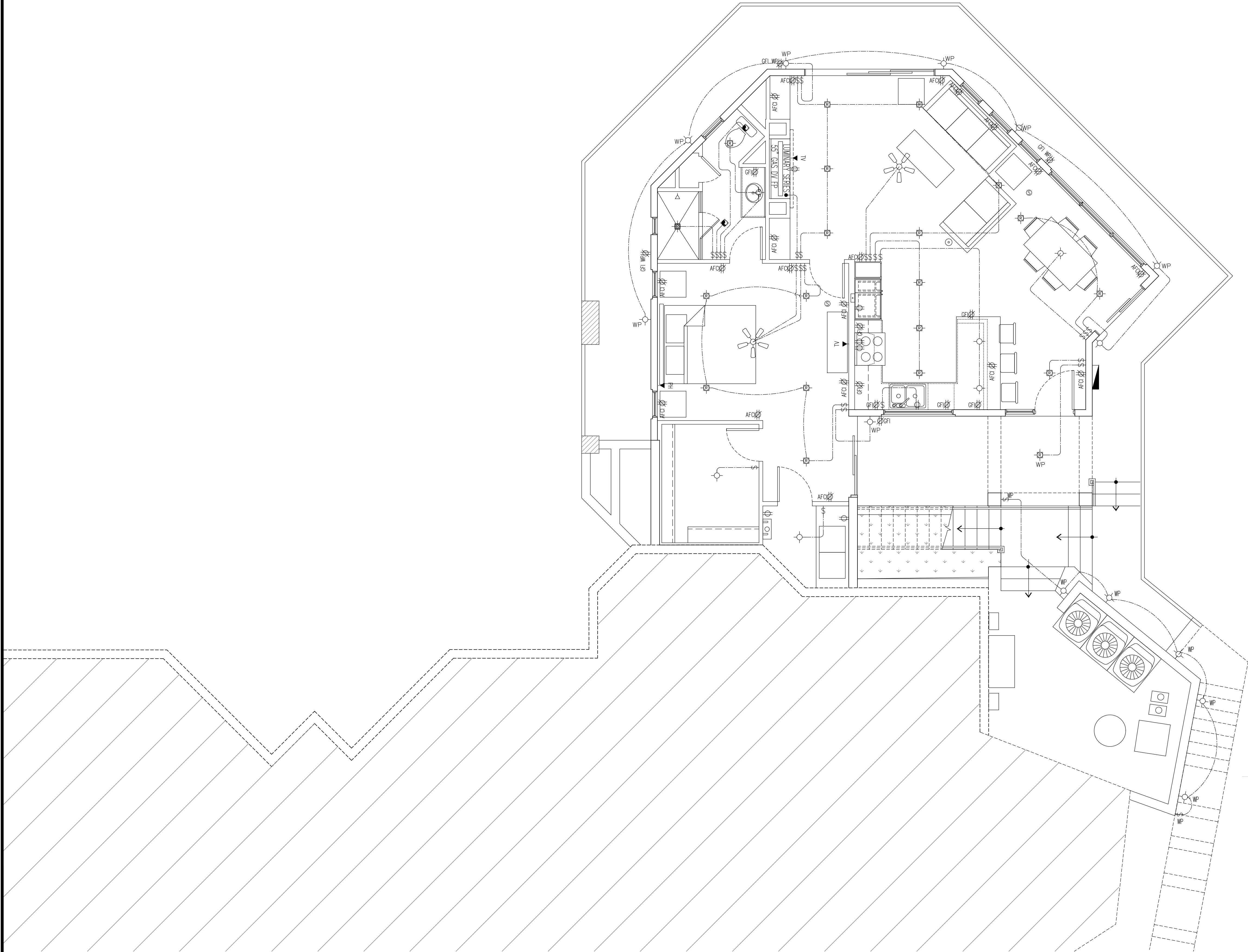
CASITA SECTIONS

5514 E ROADRUNNER
 BABADLGE VALLEY ARIZONA 85252

DRAWING No.

A4. C





ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

ELECTRICAL SYMBOLS	
	GFI, WATER PROOF TAMPER RESISTANT RECEPTACLE
	GFI, TAMPER RESISTANT RECEPTACLE
	GROUND FAULT INTERRUPTER TAMPER RESISTANT RECEPTACLE
	SWITCH SINGLE POLE @ +48" U.N.O.
	6" ISE RATED RECESSED CAN LIGHT WATER PROOF W/ HIGH-EFFICACY LAMPS
	6" ISE RATED RECESSED CAN LIGHT W/ HIGH-EFFICACY LAMPS
	6" ISE RATED RECESSED CAN LIGHT W/ VAPOR RESISTANT LENSES & HIGH-EFFICACY LAMPS
	EXHAUST FAN
	WALL MOUNTED LIGHT W/ HIGH-EFFICACY LAMPS
	CEILING MOUNTED LIGHT W/ HIGH-EFFICACY LAMPS
	S.M.O.K.E. DETECTOR
	CAT 5
	PHONE JACK
	FLOOR OUTLET

72501-615B-L

72502-615B-L

Finish:
A144 Brushed Aluminum
615B Dorian Bronze®

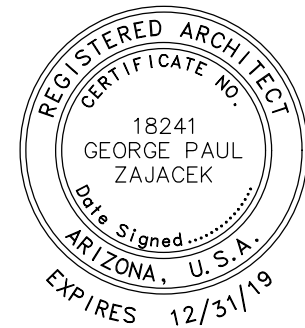
Glass:
Metal Shade

Features:
• Aluminum Construction
• 11W, 2700K LED (incl.), CRI 80
• Indoor / Outdoor
• Also available:
Brushed Aluminum - Fluorescent, page 6
Dorian Bronze® - Fluorescent, page 6
• 3 Year Limited Warranty
• See Finish Disclaimer on page 703

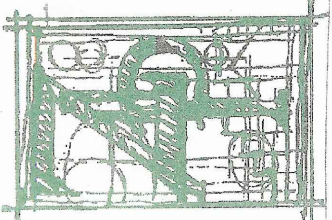
thegreatoutdoors® by Minka-Lavery®

Item No.	Type	Size	Watt	Lumens	Notes
72501-615B-L	Wall Mount	5"W x 7.5"H x 4" Ext.	1-11W LED (incl.)	320	ADA Compliant Closed Top/Open Bottom
72501-A144-L	Wall Mount	5"W x 7.5"H x 4" Ext.	1-11W LED (incl.)	320	ADA Compliant Closed Top/Open Bottom
72502-615B-L	Wall Mount	5"W x 14.5"H x 4" Ext.	2-11W LED (incl.)	610	ADA Compliant
72502-A144-L	Wall Mount	5"W x 14.5"H x 4" Ext.	2-11W LED (incl.)	610	ADA Compliant

EXTERIOR LIGHTING FIXTURES INFORMATION



REVISION



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CASITA ELECTRICAL PLAN
5514 E ROADRUNNER
PARADISE VALLEY, ARIZONA 85253

DRAWING No.
E1.0