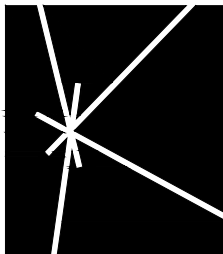


# The Scherr Residence

5416 E. Desert Jewel Drive, Paradise Valley, Arizona

|     |                                       |     |                                     |       |                         |       |                                 |       |                   |       |                    |
|-----|---------------------------------------|-----|-------------------------------------|-------|-------------------------|-------|---------------------------------|-------|-------------------|-------|--------------------|
| A-0 | COVER SHEET                           | C-2 | GRADING & DRAINAGE IMPROVEMENT PLAN | L-2   | LANDSCAPE LIGHTING PLAN | A-3.0 | EXTERIOR BUILDING LIGHTING PLAN | A-5.0 | BUILDING SECTIONS | A-7.0 | EXTERIOR MATERIALS |
| S-1 | BOUNDARY & TOPOGRAPHIC SURVEY         | C-3 | GRADING & DRAINAGE DETAILS          | A-1.0 | SITE PLAN               | A-4.0 | EXTERIOR ELEVATIONS             | A-5.1 | BUILDING SECTIONS |       |                    |
| C-1 | COVER SHEET - GRADING & DRAINAGE PLAN | L-1 | LANDSCAPE PLAN                      | A-2.0 | RENDERING & SITE PHOTOS | A-4.1 | EXTERIOR ELEVATIONS             | A-6.0 | MASSING MODEL     |       |                    |



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## Scherr Residence

5416 E. Desert Jewel Drive,  
Paradise Valley, AZ  
85253

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| MARK | DATE | DESCRIPTION |

ISSUE: 12/5/17 - FORMAL REVIEW

PROJECT NO:

CAD DWG FILE:

DRAWN BY: CK, RVH

CHECKED BY: BK

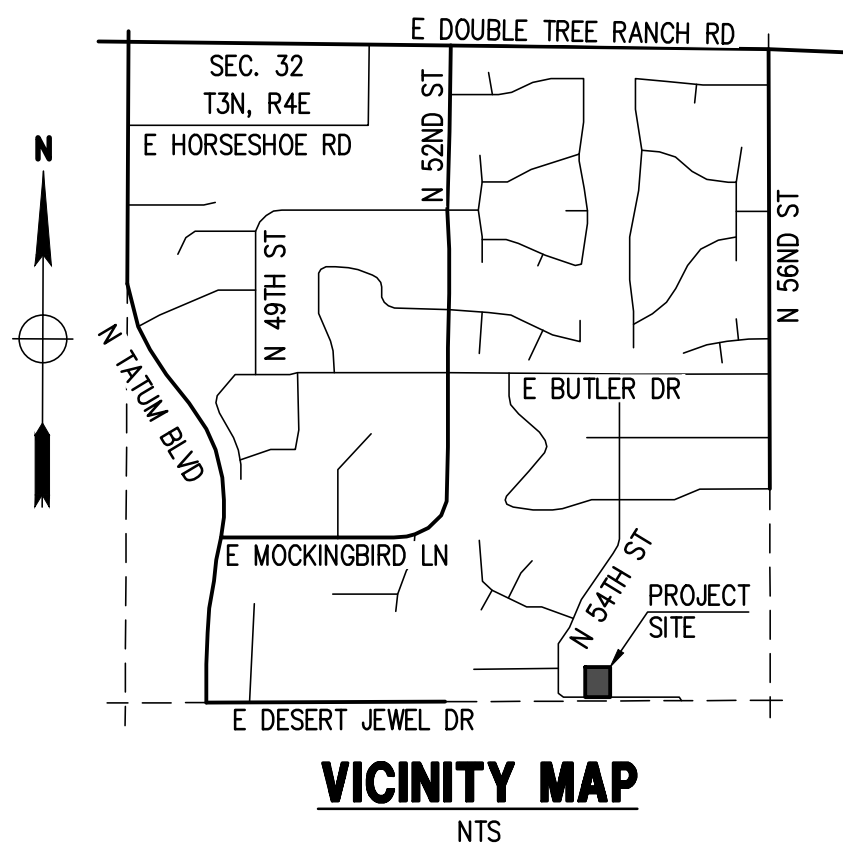
SHEET TITLE:

COVER

A-0



BOUNDARY & TOPOGRAPHIC SURVEY  
5416 E DESERT JEWEL DR., PARADISE VALLEY, AZ 85253  
LOT 27 - VISTA RICA  
A SUBDIVISION PLAT RECORDED IN BOOK 171 OF MAPS, PAGE 28, MCR.,  
LOCATED IN A PORTION OF THE SE 1/4 OF THE SW 1/4 OF THE SE 1/4 OF SECTION 32, T.3N, R.4E  
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA



**OWNER**  
JASON SCHERR  
6843 LOST GARDEN TER  
PARKLAND, FL 33076

**SITE DATA**  
APN: 168-75-029  
ADDRESS: 5416 E DESERT JEWEL DR  
PARADISE VALLEY, AZ 85253  
ZONING: R-43  
LOT AREA: 43,655 S.F. (1.002 AC.)

**LEGAL DESCRIPTION**  
LOT 27, OF VISTA RICA, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 171 OF MAPS, PAGE 28.  
CONTAINING 43,655 S.F. (1.002 AC.); MORE OR LESS.

**BASIS OF BEARINGS**  
THE SOUTH LINE OF LOTS 26, 27 AND 28 BASED ON THE FOUND MONUMENTATION SHOWN ON THE SURVEY. THE BEARING OF WHICH IS N89°49'14"E, PER PLAT OF VISTA RICA, BOOK 171, PAGE 28, MCR.

**BENCHMARK**  
BRASS CAP FLUSH AT THE INTERSECTION OF MOCKINGBIRD LANE AND 56TH STREET HAVING AN ELEVATION OF 1349.97 TOWN OF PARADISE VALLEY (NAVD 88) DATUM, GDACS# 26101-1

**SURVEY REFERENCES**  
1. EASEMENTS, RESTRICTIONS, RESERVATIONS, CONDITIONS AND SETBACK LINES AS SET FORTH ON THE PLAT RECORDED IN BOOK 171 OF MAPS, PAGE 28, MCR.  
2. WARRANTY DEED RECORDED IN DOC. NO. 2017-0040925, M.C.R.

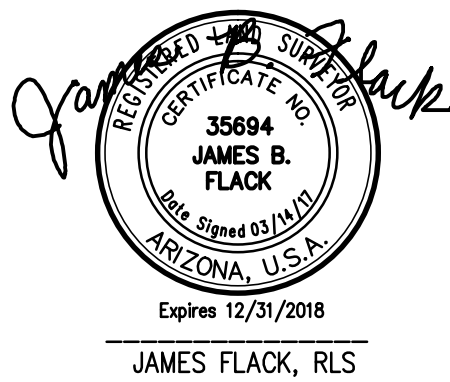
**FLOOD INSURANCE RATE MAP (FIRM) DATA**

| COMMUNITY # | PANEL #      | SUFFIX | BASED FLOOD ELEVATION |
|-------------|--------------|--------|-----------------------|
| 040049      | 1765 OF 4425 | L      | N/A                   |
| MAP #       | PANEL DATE   | ZONE   |                       |
| 04013C      | 10/16/2013   | X*     |                       |

\*AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN

**CERTIFICATE OF SURVEY**

THIS IS TO CERTIFY THAT THIS MAP AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE CURRENT "MINIMUM STANDARDS FOR ARIZONA BOUNDARY AND TOPOGRAPHIC SURVEYS", AND THAT THE SURVEY IS SHOWN HEREON IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND WAS SURVEYED AND DRAWN UNDER MY DIRECTION IN THE MONTH OF MARCH, 2017.



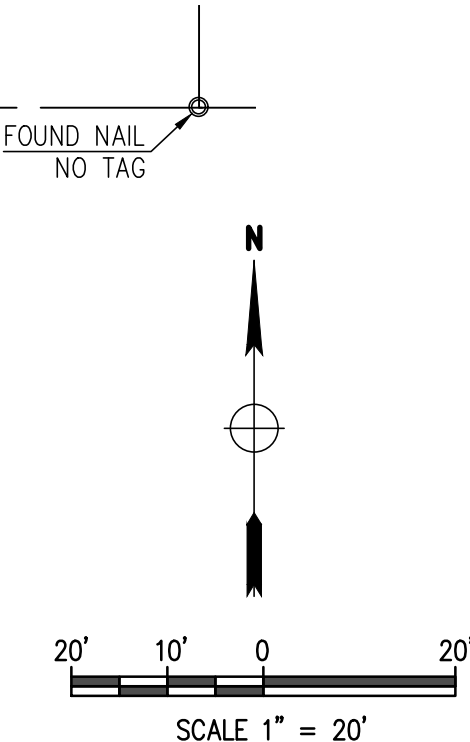
03/14/17  
DATE

**GENERAL NOTES**

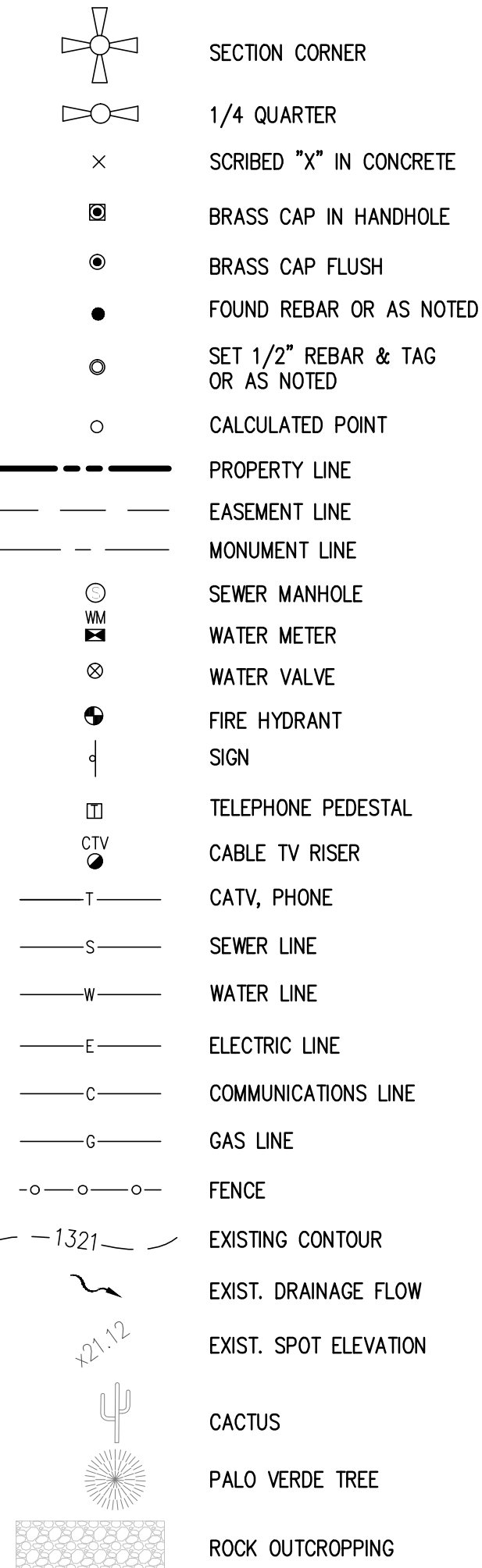
- THE PREMISES SURVEYED HAVE NO KNOWN DISCREPANCIES, BOUNDARY LINE CONFLICTS, ENCROACHMENTS, OVERLAPPING OF IMPROVEMENTS, EASEMENTS OR RIGHT-OF-WAYS EXCEPT AS SHOWN, AND HAS ACCESS TO OR FROM A DEDICATED ROADWAY.
- THIS IS AN ABOVE GROUND SURVEY. THE UNDERGROUND UTILITIES AS SHOWN ARE BASED ON INFORMATION PROVIDED BY THE VARIOUS UTILITY COMPANIES AND THESE LOCATIONS SHOULD BE CONSIDERED APPROXIMATE. THERE MAY BE ADDITIONAL UNDERGROUND UTILITIES, NOT SHOWN ON THIS DRAWING. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN HEREON ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE AT THE TIME OF THE SURVEY.
- BUILDING SETBACK LINES, ZONING, FLOOD AREA ZONES, AND ADDRESSES THAT MAY BE SHOWN ARE SUPPLIED BY THE GOVERNING AGENCY OR TAKEN FROM THE BEST AVAILABLE RECORDS. THE SURVEYOR WILL NOT ACCEPT RESPONSIBILITY FOR THE ACCURACY OF ANY INFORMATION SUPPLIED BY OTHERS.
- EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS MAP, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: EASEMENTS, OTHER THAN POSSIBLE EASEMENTS, WHICH WERE VISIBLE AT THE TIME OF MAKING THIS SURVEY; BUILDING SETBACK LINES; RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS; ZONING OR OTHER LAND USE REGULATIONS, AND ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- THE DESCRIPTION OF PROPERTY BOUNDARIES AND EASEMENTS SHOWN HEREON, REPRESENT THAT INFORMATION PROVIDED IN BOOK 171 OF MAPS, PAGE 28, AND DEED REC. DOC. 2017-0040925, RECORDS OF MARICOPA COUNTY, ARIZONA.
- EVERY DOCUMENT OF RECORD REVIEWED AND CONSIDERED AS A PART OF THIS SURVEY IS NOTED HEREON. ONLY THE DOCUMENTS NOTED HEREON WERE SUPPLIED OR AVAILABLE TO THE SURVEYOR AT THE TIME OF THE SURVEY. THERE MAY EXIST OTHER DOCUMENTS OF RECORD, WHICH WOULD AFFECT THIS PARCEL.
- ANY INFORMATION SHOWN WHICH MAY VARY FROM THE CONTENTS OF THE REPORT(S) NOTED ABOVE, REPRESENTS INFORMATION AND MEASUREMENTS FOUND DURING THE COURSE OF THE SURVEY.
- ON-SITE PLANT INFORMATION SHOWN HEREON IS FOR REFERENCE ONLY. SURVEYOR ASSUMES NO LIABILITY FOR THE EVALUATION, SALVAGEABILITY, REMOVAL AND/RELOCATION OF ON-SITE PLANT MATERIALS.
- ALL MEASURED BEARINGS AND DISTANCES EQUAL RECORD UNLESS NOTED OTHERWISE.
- THE SURVEY MAP WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
- ANY AERIAL MAPS SHOWN ON THIS PLAN ARE FOR REFERENCE ONLY AND DO NOT NECESSARILY DEPICT THE EXACT CURRENT CONDITIONS.

**UTILITIES**

WATER: CITY OF PHOENIX  
SANITARY SEWER: TOWN OF PARADISE VALLEY  
ELECTRIC: ARIZONA PUBLIC SERVICE  
TELEPHONE: CENTURY LINK, COX COMMUNICATIONS  
NATURAL GAS: SOUTHWEST GAS  
CABLE TV: CENTURY LINK, COX COMMUNICATIONS



**LEGEND**



**ABBREVIATIONS**

|           |                              |
|-----------|------------------------------|
| BC        | BACK OF CURB                 |
| BSL       | BUILDING SETBACK LINE        |
| C11       | CURVE LABEL                  |
| CL        | CENTERLINE                   |
| DE        | DRAINAGE EASEMENT            |
| EG        | EXISTING GRADE               |
| EL        | ELEV                         |
| EP        | EDGE OF PAVEMENT             |
| ESMT      | EASEMENT                     |
| EX        | EXISTING                     |
| FG        | FINISH GRADE                 |
| F         | FLOW LINE                    |
| FND       | FOUND                        |
| G         | GUTTER, GAS                  |
| INV       | INVERT                       |
| JBE       | JOINT USE & BENEFIT EASEMENT |
| L11       | LINE LABEL                   |
| (M)       | MEASURED                     |
| MCR       | MARICOPA COUNTY RECORDER     |
| MH        | MANHOLE                      |
| P, PWMT   | PAVEMENT                     |
| PUE       | PUBLIC UTILITY EASEMENT      |
| (R), REC. | RECORDED                     |
| R         | RADIUS                       |
| RET       | RETAINING                    |
| R/W       | RIGHT OF WAY                 |
| T         | TANGENT, TELEPHONE           |
| TC        | TOP OF CURB                  |
| TG        | TOP OF GRATE                 |
| TPV       | TOWN OF PARADISE VALLEY      |
| TRW       | TOP OF RETAINING WALL        |
| W         | WEST, WATERLINE              |
| WDO       | WALL DRAINAGE OPENING        |
| WM        | WATER METER                  |



54TH STREET

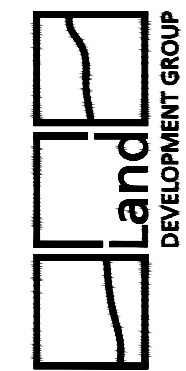
DESERT JEWEL DRIVE

54TH STREET

BOUNDARY & TOPOGRAPHIC  
SURVEY MAP

LOT 27 - VISTA RICA  
5416 E DESERT JEWEL DR  
PARADISE VALLEY, AZ 85253

P. 602 889 1984 | F. 602 445 9482  
8808 N CENTRAL AVE., SUITE 288  
PHOENIX, AZ 85020  
PHOENIX @ LDENG.COM





TOWN OF PARADISE VALLEY NOTES

1. GRADING SHALL BE IN CONFORMANCE WITH 2015 IBC.
2. PRIOR TO FIRST FOOTING INSPECTION OF ANY TYPE, ALL PROPERTY PINS SHALL BE PLACED BY A REGISTERED LAND SURVEYOR OF THE STATE OF ARIZONA, AND PROPERTY LINES MUST BE PHYSICALLY IDENTIFIED PRIOR TO INSPECTION.
3. WHERE EXCAVATION IS TO OCCUR THE TOP 4" OF EXCAVATED NATIVE SOIL SHALL REMAIN ON THE SITE AND SHALL BE REUSED IN A MANNER THAT TAKES ADVANTAGE OF THE NATURAL SOIL SEED BANK IT CONTAINS.
4. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) SPECIFICATIONS AND STANDARD DETAILS.
5. ALL EXTERIOR SITE LIGHTING SHALL COMPLY WITH REQUIREMENTS OF SECTION 2208 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES FOR FUTURE TYPE, LOCATION, HEIGHT, WATTAGE BASED UPON FIXTURES INSTALLED.
6. A DUST CONTROL PLAN MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
7. A SEPARATE PERMIT IS NECESSARY FOR ANY OFFSITE CONSTRUCTION.
8. AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
9. EAVE PROJECTIONS INTO REQUIRED SETBACKS ARE LIMITED TO A MAXIMUM OF 24" PURSUANT TO SECTION 1008 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES.
10. ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
11. ALL NEW AND EXISTING ELECTRICAL SERVICE TO BE BURIED UNDERGROUND PER THE TOWN OF PARADISE VALLEY STANDARDS.
12. POOL, SPA, BARBECUE AND ANY PROPOSED STRUCTURES OVER 8 INCHES ABOVE GRADE REQUIRE SEPARATE PERMIT APPLICATIONS.
13. POOLS SHALL BE CONSTRUCTED BY SEPARATE PERMIT AND SECURED FROM UNWANTED ACCESS PER SECTION 5-2-2 OF THE TOWN OF PARADISE VALLEY ORDINANCES.
14. A SETBACK CERTIFICATION IS REQUIRED AND MUST BE GIVEN TO TOWN INSPECTOR AT STEM WALL INSPECTION.
15. MAIL BOX TO COMPLY WITH THE TOWN OF PARADISE VALLEY STANDARDS FOR MAIL BOXES IN THE R.O.W. FOR HEIGHT, WIDTH AND BREAK AWAY FEATURES.
16. ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE. ALL LAWN AREAS ADJOINING WALKS OR SLABS WILL BE GRADED TO 2" BELOW THE TOP OF SLAB. TYPICAL FINISHED GRADE AROUND PERIMETER OF BUILDING IS MINUS 6" BELOW FINISHED FLOOR UNLESS SPECIFIED OTHERWISE.
17. ALL MATERIAL TO BE UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95% PER ASTM D698.
18. SOILS COMPACTION TEST RESULTS MUST BE SUBMITTED TO THE TOWN ENGINEER'S OFFICE FOR BUILDING PADS THAT HAVE ONE (1) FOOT OR MORE OF FILL MATERIAL INDICATED. THIS INFORMATION MUST BE SUPPLIED PRIOR TO REQUEST FOR FINAL INSPECTION.
19. TRENCH BED SHALL BE FREE OF ROCKS AND DEBRIS.
20. REGULATION II RULE 20-3 OF THE MARICOPA COUNTY HEALTH DEPARTMENT, BUREAU OF AIR POLLUTION CONTROL SHALL BE OBSERVED AND ENFORCED.
21. ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL CITY OR TOWN UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
22. THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL STATE, AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO THE CONSTRUCTION COVERED BY THIS PLAN.
23. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
24. ALL CONSTRUCTION IN THE PUBLIC RIGHTS-OF-WAY OR IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) UNIFORM STANDARD SPECIFICATIONS AND UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION.
25. THE TOWN ONLY APPROVES THE SCOPE, NOT THE DETAIL, OF ENGINEERING DESIGNS; THEREFORE, IF CONSTRUCTION QUANTITIES ARE SHOWN ON THESE PLANS, THEY ARE NOT VERIFIED BY THE TOWN.
26. THE APPROVAL OF PLANS IS VALID FOR SIX (6) MONTHS; IF AN ENCROACHMENT PERMIT FOR THE CONSTRUCTION HAS NOT BEEN ISSUED WITHIN SIX MONTHS, THE PLANS MUST BE RESUBMITTED TO THE TOWN FOR RE-APPROVAL.
27. A PUBLIC WORKS INSPECTOR WILL INSPECT ALL WORKS WITHIN THE TOWN OF PARADISE VALLEY RIGHTS-OF-WAY AND IN EASEMENTS. NOTICE INSPECTION SERVICES 24 HOURS PRIOR TO BEGINNING CONSTRUCTION BY CALLING 480-312-5750.
28. WHENEVER EXCAVATION IS NECESSARY, CALL THE BLUE STAKE CENTER, 602-263-1100, TWO WORKING DAYS BEFORE EXCAVATION BEGINS. THE CENTER WILL SEE THAT THE LOCATION OF THE UNDERGROUND UTILITY LINES IS IDENTIFIED FOR THE PROJECT, IF NECESSARY.
29. ENCROACHMENT PERMITS ARE REQUIRED FOR ALL WORK IN PUBLIC RIGHTS-OF-WAY AND EASEMENTS GRANTED FOR PUBLIC PURPOSES. AN ENCROACHMENT PERMIT WILL BE ISSUED BY THE TOWN ONLY AFTER THE REGISTRANT HAS PAID A BASE FEE PLUS A FEE FOR INSPECTION SERVICES. COPIES OF ALL PERMITS MUST BE RETAINED ON-SITE AND BE AVAILABLE FOR INSPECTION AT ALL TIMES. FAILURE TO PRODUCE THE REQUIRED PERMITS WILL RESULT IN IMMEDIATE SUSPENSION OF ALL WORK UNTIL THE PROPER PERMIT DOCUMENTATION IS OBTAINED.
30. ALL EXCAVATION AND GRADING THAT IS NOT IN THE PUBLIC RIGHTS-OF-WAY OR NOT IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO CHAPTER 70, EXCAVATION AND GRADING, OF THE LATEST EDITION OF THE IBC BY THE ICC. A PERMIT FOR THIS GRADING MUST BE SECURED FROM THE TOWN FOR A FEE ESTABLISHED BY THE UNIFORM BUILDING CODE.
31. EXCAVATIONS SHALL COMPLY WITH REQUIREMENTS OF OSHA EXCAVATION STANDARDS (29 CFR, PART 1926, SUBPART P), UNDER NO CIRCUMSTANCES WILL THE CONTRACTORS BE ALLOWED TO WORK IN A TRENCH LOCATED WITHIN THE TOWN'S RIGHT-OF-WAY WITHOUT PROPER SHORING OR EXCAVATION METHODS.
32. ON DEMOLITION, GRADING, REMODELING AND NEW CONSTRUCTION PROJECTS, PERMITTEE MUST NOTIFY ADJACENT PROPERTY OWNERS REGARDING THE NATURE OF THE PROJECT, THE TIME PERIOD FOR CONSTRUCTION, AND ANY UNUSUAL ACTIVITIES THAT MAY CAUSE DISRUPTION OF THE NORMAL COURSE OF TRAFFIC DURING CONSTRUCTION.
33. ALL PERMITTEES MUST POST A 6 SQUARE FOOT (2'x3') IDENTIFICATION SIGN, MADE OF DURABLE MATERIAL, IN THE FRONT YARD OF SUBJECT PROPERTY AND NOT IN THE TOWN RIGHT-OF-WAY. THE SIGN MAY NOT EXCEED A MAXIMUM OF 6 FEET IN HEIGHT FROM GRADE TO TOP OF THE SIGN. THE SIGN MUST INCLUDE THE PERMITTEE OR COMPANY NAME, PHONE NUMBER, TYPE OF WORK, AND ADDRESS OF PROJECT.
34. WHEN DEMOLITION, GRADING, REMODELING OR NEW CONSTRUCTION SITE, NEW, EXISTING OR REMODELING, IS PROHIBITED UNLESS DUE TO A HARSHIP TOWN APPROVAL IS OBTAINED.
35. CLEAR ACCESS FOR NEIGHBORING PROPERTIES AND EMERGENCY VEHICLES MUST BE MAINTAINED AT ALL TIMES. CONSTRUCTION RELATED VEHICLES MUST BE LEGALLY PARKED ONLY ON ONE SIDE OF THE STREET OR JOB SITE PROPERTY. IF A STAGING AREA IS NEEDED ON A PROPERTY OTHER THAN THE CONSTRUCTION SITE FOR CONSTRUCTION SUPPLIES AND EQUIPMENT, THE PERMITTEE MUST OBTAIN PROPERTY OWNER AND TOWN APPROVAL FIRST AND MUST INFORM THE ADJACENT PROPERTY OWNERS OF THE LOCATION OF STAGING AREA, AND TIME AND HOURS DURING THE DAY THE AREA WILL BE USED.
36. EXCEPT AS OUTLINED IN ITEM 4, ALL CONSTRUCTION DEBRIS AND EQUIPMENT MUST BE CONTAINED ON SITE AT ALL TIMES. CONTRACTOR AND PROPERTY OWNER MUST MAINTAIN THE JOB SITE FREE OF LITTER AND UNSIGHTLY MATERIALS AT ALL TIMES. CONSTRUCTION MATERIALS ARE PROHIBITED IN THE TOWN RIGHT-OF-WAY OR NEAR ADJACENT PROPERTIES.
37. BUILDING CONSTRUCTION MUST NOT START SOONER THAN SUNRISE AND MUST STOP NO LATER THAN SUNSET. ALSO, ORDINANCE #561 IMPOSES RESTRICTIONS ON CONSTRUCTION WORK ON SATURDAYS, SUNDAYS AND MAJOR BUSINESS HOLIDAYS. HILLSIDE PROJECTS MAY HAVE ADDITIONAL RESTRICTIONS. EQUIPMENT WITH AUDIBLE REVERSE DIRECTION WARNINGS MUST NOT BE OPERATED PRIOR TO 7:00 A.M.
38. THE USE AND OPERATION OF FUEL-BURNING GENERATORS ON ANY CONSTRUCTION SITE, NEW, EXISTING OR REMODELING, IS PROHIBITED UNLESS DUE TO A HARSHIP TOWN APPROVAL IS OBTAINED.
39. THE CONTRACTOR AND PROPERTY OWNER WILL BE LIABLE FOR ANY DAMAGE DONE TO ANY PUBLIC PROPERTY AS A RESULT OF ANY CONSTRUCTION OR CONSTRUCTION RELATED ACTIVITIES. NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL AFFECTED RIGHTS-OF-WAY ARE CLEANED AND/OR REPAIRED TO THEIR ORIGINAL CONDITION AND UNTIL ANY AND ALL DAMAGES TO AFFECTED PROPERTIES ARE RESTORED TO ORIGINAL CONDITION, OR UNTIL SUCH TIME THAT A WRITTEN, SIGNED AND LEGALLY BINDING AGREEMENT HAS BEEN REACHED BY THE PARTIES INVOLVED TO REMEDY ANY VIOLATION WITHIN A REASONABLE TIME PERIOD, AND UNTIL ALL REQUIRED FEES ARE PAID IN FULL.
40. THE NATURAL FLOW OF RAINWATER AND OTHER SURFACE DRAINAGE FROM THE PROPERTY MAY NOT BE ALTERED IN ANY WAY.
41. A KEY SWITCH SHALL BE REQUIRED ON ALL NEW AND EXISTING ELECTRIC ENTRY CONTROL GATES. THE KEY SWITCH SHALL BE INSTALLED IN A LOCATION ON THE GATE CONTROL PANEL THAT IS READILY VISIBLE AND ACCESSIBLE. KNOX BOX ORDER FORMS ARE AVAILABLE AT THE PARADISE VALLEY BUILDING DEPARTMENT.
42. ALL EQUIPMENT OF ALL TRADES ON OR AFFECTING THE JOB MUST BE CLEANED ONLY IN A PRE-DETERMINED AND DESIGNATED AREA. DEBRIS AND RUNOFF FROM SAID AREA MAY NOT EXTEND BEYOND THE BUILDING AREA.
43. PROPERTY OWNER, BUILDER, OR GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR CONTROLLING DUST FROM THE SITE AT ALL TIMES. ALL MEANS NECESSARY SHALL BE USED BY THE BUILDER OR GENERAL CONTRACTOR TO CONTROL THE EXISTENCE OF DUST CAUSED BY ANY EARTHWORK, SPRAY APPLICATION OF MATERIALS, OR OTHER DUST-CAUSING PRACTICES REQUIRED BY THE CONSTRUCTION PROCESS.
44. AN INSPECTION FEE WILL BE CHARGED IF THE INSPECTION IS REQUIRED AS A RESULT OF A CODE VIOLATION.
45. FOR DEMOLITION INSPECTION OWNER OR PERMITTEE SHALL NOTIFY OSHA FOR ASBESTOS INSPECTION. ALL DEMOLITIONS AND ALL RENOVATION ACTIVITIES THAT WILL DISTURB FRIABLE ASBESTOS CONTAINING MATERIALS MUST BE REPORTED TO THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT.

ENGINEERS NOTES

1. MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION INCLUDING LATEST REVISION AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL TOWN OR CITY) ARE INCORPORATED INTO THIS PLAN IN THEIR ENTIRETY.
2. ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL CITY OR TOWN UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
3. GRADING SHALL BE IN CONFORMANCE WITH 2012 IBC SEC. 1803 AND APPENDIX J.
4. 5% MINIMUM SLOPE AWAY FROM BUILDING FOR A MINIMUM 10', U.N.O.
5. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) SPECIFICATIONS AND STANDARD DETAILS.
6. A DUST CONTROL PLAN MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
7. A SEPARATE PERMIT IS NECESSARY FOR ANY OFFSITE CONSTRUCTION.
8. AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
9. ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPT DITCHES, PIPES, PROTECTIVE BERMS, BARRIER WALLS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT ADJACENT BUILDINGS OR PROPERTY FROM STORM RUNOFF MUST BE COMPLETED PRIOR TO BUILDING CONSTRUCTION.
10. ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
11. ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE. ALL LAWN AREAS ADJOINING WALKS OR SLABS WILL BE GRADED TO 2" BELOW THE TOP OF SLAB. TYPICAL FINISHED GRADE AROUND PERIMETER OF BUILDING IS MINUS 6" BELOW FINISHED FLOOR UNLESS SPECIFIED OTHERWISE.
12. ALL MATERIAL TO BE UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95% PER ASTM D698.
13. THE QUANTITIES AND SITE CONDITIONS DEPICTED IN THESE PLANS ARE FOR INFORMATIONAL PURPOSES ONLY AND ARE SUBJECT TO ERROR AND OMISSION. CONTRACTORS SHALL SATISFY THEMSELVES AS TO ACTUAL QUANTITIES AND SITE CONDITIONS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
14. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
15. THE CONTRACTOR IS RESPONSIBLE FOR ALL METHODS, SEQUENCING, AND SAFETY CONCERNS ASSOCIATED WITH THIS PROJECT DURING ALL ACTIVITIES ADDRESSED OTHERWISE IN THIS PLAN OR ELSEWHERE.
16. A REASONABLE EFFORT HAS BEEN MADE TO SHOW THE LOCATIONS OF EXISTING UNDERGROUND FACILITIES AND UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND/OR FACILITIES CAUSED DURING THEIR CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL CALL 48 HOURS IN ADVANCE FOR BLUE STAKE (1-800-STAKE-IT) PRIOR TO ANY EXCAVATION.
17. THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION OF CONSTRUCTION AFFECTING UTILITIES AND THE COORDINATION OF ANY NECESSARY UTILITY RELOCATION WORK.
18. ALL PAVING, GRADING, EXCAVATION, TRENCHING, PIPE BEDDING, CUT, FILL AND BACKFILL SHALL COMPLY WITH THE RECOMMENDATIONS SET FORTH IN THE SOILS (GEOTECHNICAL) REPORT FOR THIS PROJECT IN ADDITION TO THE REFERENCED REQUIRED SPECIFICATIONS AND DETAILS.
19. THE CONTRACTOR IS TO VERIFY THE LOCATION AND THE ELEVATIONS OF ALL EXISTING UTILITIES AT POINTS OF TIE-IN PRIOR TO COMMENCING ANY NEW CONSTRUCTION. SHOULD ANY LOCATION OR ELEVATION DIFFER FROM THAT SHOWN ON THESE PLANS, THE CONTRACTOR SHALL CONTACT THE OWNER'S AGENT.
20. CONTRACTOR TO VERIFY AND COORDINATE ALL DIMENSIONS AND SITE LAYOUT WITH ARCHITECTURE'S FINAL SITE PLAN AND FINAL BUILDING DIMENSIONS BEFORE STARTING WORK. REPORT DISCREPANCIES TO OWNER'S AGENT.
21. COORDINATION BETWEEN ALL PARTIES IS ESSENTIAL PART OF CONTRACT.
22. CONTRACTOR IS RESPONSIBLE FOR PROJECT AND SITE CONDITIONS, AND TO WORK WITH WEATHER CONDITIONS AS THE PROJECT SITE MAY BE LOCATED IN A FLOOD PRONE AREA AND SUBJECT TO FLOODING AND ITS HAZARDS.
23. THE CONTRACTOR IS TO VERIFY THE LOCATION, ELEVATION, CONDITION, AND PAVEMENT CROSS-SLOPE OF ALL EXISTING SURFACES AT POINTS OF TIE-IN AND WATCHING, PRIOR TO COMMENCEMENT OF GRADING, PAVING, CURB AND GUTTER, OR OTHER SURFACE CONSTRUCTION. SHOULD EXISTING LOCATIONS, ELEVATIONS, CONDITION, OR PAVEMENT CROSS-SLOPE DIFFER FROM THAT SHOWN ON THESE PLANS, RESULTING IN THE DESIGN INTENT REFLECTED ON THESE PLANS NOT ABLE TO BE CONSTRUCTED, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AGENT IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ALL COSTS ASSOCIATED WITH CORRECTIVE ACTION IF THESE PROCEDURES ARE NOT FOLLOWED.
24. CONTRACTOR IS RESPONSIBLE TO COORDINATE UTILITY CROSSINGS AT CULVERT CROSSINGS BEFORE STARTING WORK ON CULVERT. COORDINATE WITH OWNER REPRESENTATIVE. VERIFY UTILITY LINES AND/OR CONDUITS ARE IN PLACE BEFORE STARTING CULVERT WORK.
25. ALL ON-SITE UTILITIES PER OTHERS.
26. THIS PROJECT REQUIRES A REGULAR ONGOING MAINTENANCE PROGRAM FOR THE DESIGNED DRAINAGE SYSTEM(S) TO PRESERVE THE DESIGN INTEGRITY AND THE ABILITY TO PERFORM ITS OPERATIONAL INTENT. FAILURE TO PROVIDE MAINTENANCE WILL JEOPARDIZE THE DRAINAGE SYSTEM(S) PERFORMANCE AND MAY LEAD TO IT'S INABILITY TO PERFORM PROPERLY AND/OR CAUSE DAMAGE ELSEWHERE IN THE PROJECT.
27. IF A DISCREPANCY IS FOUND BETWEEN ENGINEER'S PLAN OR SURVEYOR'S STAKING AND THE ARCHITECTURAL PLAN, ENGINEER SHALL BE NOTIFIED IMMEDIATELY. FAILURE TO NOTIFY ENGINEER SHALL NEGATE ENGINEER'S LIABILITY.
28. ALL DISTURBED AREAS ARE TO BE ROPED AND ROPING MUST MATCH PLAN.
29. VEGETATION OUTSIDE OF CONSTRUCTION AREA TO REMAIN.
30. AREAS OUTSIDE THE WALL AND CUT AND FILL SLOPES SHALL BE REVEGETATED WITH SIMILAR PLANT TYPES AND DENSITIES FOUND ON THE SITE. REVEGETATION SHALL BE COMPLETED PRIOR TO OCCUPANCY AND THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
31. MECHANICAL EQUIPMENT SHALL BE SCREENED TO A MINIMUM OF ONE FOOT ABOVE TOP OF EQUIPMENT.
32. ANY FUTURE IMPROVEMENTS SHOWN HEREON SHALL REQUIRE A SEPARATE PERMIT.
33. ANY POINTS OF DRAINAGE CONCENTRATION SHOULD BE PROTECTED AGAINST EROSION WITH NATIVE STONE.
34. THIS PLAN IS DESIGNED TO SHOW SITE GRADING AND DRAINAGE CONTRACTOR SHALL USE THE ARCHITECTURAL SITE PLAN TO DETERMINE FINAL HOUSE, WALL, STEP, ETC., LOCATIONS AND ELEVATIONS.
35. ALL DRAINAGE FACILITIES TO BE MAINTAINED BY HOMEOWNER.
36. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR SITE AND RETAINING WALLS LAYOUT, DIMENSIONS, AND DETAILS. TOP OF FOOTING ELEVATIONS SHOWN IN PLAN ARE APPROXIMATE ONLY. ACTUAL TOP OF FOOTINGS TO BE DETERMINED AT TIME OF CONSTRUCTION AND TO BE A MINIMUM OF SIX INCHES BELOW EXISTING NATURAL GRADE OR FINISHED GRADE WHICHEVER IS LOWER (TYPICAL).
37. REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT, DIMENSIONS AND ELEVATIONS.
38. REFER TO STRUCTURAL DRAWINGS, DETAILS AND CALCULATIONS FOR ALL PROPOSED RETAINING WALLS.
39. FOR CHANGE IN ELEVATION THAT ARE GREATER THAN 30", PROVIDE 36" HIGH GUARDRAILS FOR TOTAL OF 42" FALL PROTECTION BARRIER U.N.O.
40. CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE - 5% MIN SLOPE FOR FIRST 10 FEET, U.N.O.
41. ALL WATER AND SEWER LINES AND CONNECTIONS MUST BE INSTALLED PER IPC 2012, MAG AND TOWN OF PARADISE VALLEY SUPPLEMENT TO MAG.
42. WATERPROOF ALL EXTERIOR WALLS 18" ABOVE FINISH GRADE-(BITUTHENE® 3000 HC MEMBRANE W/ GRACE PROTECTION 03 OR APPROVED EQUAL).
43. ALL PIPES AND FITTINGS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND DETAILS.
44. ABANDONMENT OF EXISTING AND INSTALLATION OF NEW SEPTIC SYSTEMS SHALL BE PERFORMED IN ACCORDANCE WITH THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT RULES AND STANDARDS, AND WILL REQUIRE SEPARATE PERMIT.
45. COORDINATE RIPRAP COLOR WITH LANDSCAPE PLANS AND DETAILS.
46. VERIFY AND COORDINATE WITH LANDSCAPE PLANS FINAL LOCATION AND GRATE TYPE OF SPECIFIED AREA DRAINS AND TRENCH DRAINS.
47. VERIFY AND COORDINATE WITH ARCHITECTURAL AND LANDSCAPE PLANS LOCATION AND HEIGHT OF ALL SITE WALLS.
48. REFER TO ARCHITECTURAL PLANS AND DETAILS FOR DEMOLITION AND REMOVAL OF ANY EXISTING BUILDING STRUCTURES, SITE WALLS, POOL AND PAVEMENT ETC.
49. REFER TO GEOTECHNICAL REPORT FOR SPECIFIC RECOMMENDATIONS AND MAXIMUM ALLOWED FILL AND CUT SLOPES.

LEGEND

- FOUND REBAR OR AS NOTED
- SET 1/2" REBAR & TAG OR AS NOTED
- CALCULATED POINT
- PROPERTY LINE
- EASEMENT LINE
- MONUMENT LINE
- WM SEWER MANHOLE
- ⊗ WATER METER
- ⊗ WATER VALVE
- ⊙ FIRE HYDRANT
- ↓ SIGN
- TELEPHONE PEDESTAL
- CABLE TV RISER
- CATV, PHONE
- SEWER LINE
- WATER LINE
- ELECTRIC LINE
- COMMUNICATIONS LINE
- GAS LINE
- FENCE
- 1321 --- EXISTING CONTOUR
- 1321 --- EXIST. DRAINAGE FLOW
- 1321 --- EXIST. SPOT ELEVATION
- ☼ CACTUS
- ☼ PALO VERDE TREE
- ROCK OUTCROPPING
- EXISTING DISTURBED AREA
- PROPOSED DISTURBED AREA
- FLOW LINE
- DRAINAGE FLOW ARROW
- PROPOSED SPOT ELEVATION
- PROPOSED CONTOUR
- TOP OF RAILING/NON-RET. WALL
- FINISH GRADE
- TOP OF FOOTING
- FINISH GRADE AT BOTTOM OF WALL
- CATCH BASIN
- STORM DRAIN PIPE
- RETAINING WALL/AGAINST BUILDING
- EXTENDED BUILDING STEM WALL
- REVEGETATED AREA
- TR/7W:28.33  
TRW:25.33  
FG:24.83  
TF:21.00  
(BW:22.00)
- BC BACK OF CURB
- BSL BUILDING SETBACK LINE
- BW BOTTOM OF WALL
- C CONCRETE, CALCULATED
- TPV TOWN OF PARADISE VALLEY
- DE DRAINAGE EASEMENT
- ESMT EASEMENT
- EXIST. EXISTING
- EG EXISTING GRADE
- FG FINISH GRADE
- FFE FINISH FLOOR ELEVATION
- FL FLOW LINE
- FND FOUND
- G GUTTER, GAS
- INV INVERT
- MAG MARICOPA ASSOCIATION OF GOVERNMENTS
- (M) MEASURED
- MCR MARICOPA COUNTY RECORDER
- P PAVEMENT
- PUE PUBLIC UTILITY EASEMENT
- (R) RECORDED
- R RADIOUS
- R/W RIGHT OF WAY
- T TANGENT, TELEPHONE
- W WEST, WATERLINE
- TP TOP OF PARAPET
- TC TOP OF CURB
- TG TOP OF GRATE
- TF TOP OF FOOTING
- TR TOP OF RAILING
- TRW TOP OF RETAINING WALL
- TW TOP OF WALL
- WM WATER METER

ABBREVIATIONS

DISTURBED AREA CALCULATIONS

|   |                         |
|---|-------------------------|
| AREA OF LOT:  | 43,655 S.F. (1,002 AC.) |
| TOTAL FLOOR AREA:   | 6,523 S.F.              |
| FLOOR AREA RATIO:   | 14.94% < 25%            |
| (TOTAL FLOOR AREA/AREA OF LOT)                                      |                         |
| BUILDING PAD SLOPE:   | 20.7%                   |
| VERTICAL:   | 31.3'                   |
| HORIZONTAL:   | 151'                    |
| ALLOWABLE NET DISTURBED AREA:                                       | 8,116 S.F. (18.59%)     |
| GROSS EXISTING DISTURBED AREA:                                      | 0 S.F.                  |
| GROSS PROPOSED DISTURBED AREA:                                      | 17,548 S.F.             |
| LESS TEMPORARY AREAS OF DISTURBANCE TO BE RESTORED AND REVEGETATED: | 2,307 S.F.              |
| LESS 25% OF PROP. PAVERS D/W(4,266 S.F.)                            | 1,058 S.F.              |
| LESS BUILDING FOOTPRINT AREA:                                       | 6,075 S.F.              |
| PROPOSED NET DISTURBED AREA:  | 8,108 S.F. < 8,116 S.F. |

|  |                 |
|--|-----------------|
| ALLOWED SLOPES STEEPER THAN NATURAL GRADE (5% MAX.):   | 2,183 S.F. (5%) |
| PROPOSED SLOPES STEEPER THAN NATURAL GRADE (AREA):   | 2,183 S.F. (5%) |
| VOLUME OF CUT:   | 2,360 C.Y.      |
| VOLUME OF FILL:  | 999 C.Y.        |
| TOTAL CUT/FILL:  | 3,359 C.Y.      |
| HILLSIDE ASSURANCE @ \$25/CUBIC YARD OF CUT/FILL:  | \$83,975        |
| ALL QUANTITIES LISTED ON THESE PLANS ARE ESTIMATES ONLY. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF THE QUANTITIES AND BASE THEIR BIDS ON THEIR ESTIMATES. |                 |

GRADING SPECIFICATIONS

1. EXCAVATION AND GRADING OF THIS SITE IS CLASSIFIED AS "ENGINEERED GRADING" PER 2015 I.B.C. AND WILL BE PERFORMED ACCORDINGLY.
2. THE CONTRACTOR WILL RETAIN A SOILS ENGINEER DURING CONSTRUCTION TO INSPECT PROGRESS OF CONSTRUCTION. CONCERNING PREPARATION OF GROUND TO RECEIVE FILLS, TESTING AND REQUIRED COMPACTION STABILITY OF ALL FINISH SLOPES INCLUDING CUT SLOPES.
3. COMPACTION SHALL COMPLY WITH M.A.G. SECTION 601 AND PROVISIONS AS SET FORTH IN THE SOILS REPORT.
4. BEARING MATERIALS FOR FILL UNDER RESIDENCE PAD IF NATIVE MATERIAL IS USED, LARGE ROCK FRAGMENTS MUST BE REMOVED THAT ARE IN EXCESS OF SIX INCHES. REMAINING MATERIAL MUST BE SMALLER PARTICLES OF SAND AND ROCK THAT CAN BE COMPACTED INTO A DENSE CONDITION.
- MAXIMUM PARTICLE SIZE: . . . . . 6 INCHES
- PERCENT PASSING NO. 4 SIEVE: . . . . . 35% TO 70%
- PERCENT PASSING NO. 200 SIEVE: . . . . . 25% MAX.
- PLASTICITY INDEX: . . . . . 10% MAX.
5. CUT-SLOPES: MAXIMUM ROCK CUT SLOPE TO BE 1.0 FEET HORIZONTAL TO 3.0 FEET VERTICAL PER GEOTECHNICAL STUDY.
6. FILL SLOPES: MAXIMUM FILL SLOPE TO BE 2.0 FEET HORIZONTAL TO 1.0 FEET VERTICAL.
7. COMPACTION FILL MATERIAL MUST BE PLACED ON LEVELED BENCHES CUT INTO UNDISTURBED EXISTING HILLSIDE. PLACE FILL IN HORIZONTAL LIFTS OF THICKNESS COMPATIBLE WITH THE COMPACTION EQUIPMENT USED. COMPACT TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM A.S.T.M. DENSITY AT THE OPTIMUM MOISTURE CONTENT OF ± TWO PERCENT. THIS PERTAINS TO ALL ENGINEERED STRUCTURAL FILL SUPPORTING STRUCTURES AND INCLUDING FILL UNDER ANY OF THE RETAINING WALLS. COMPACTION TEST RESULTS SHALL BE SUBMITTED TO THE SOILS ENGINEER AND TOWN OF PARADISE VALLEY BUILDING AND SAFETY DEPARTMENT.
8. ANY RETAINING WALLS ADJACENT TO THE PROPERTY LINES WILL BE UNDER THE SCOPE OF SPECIAL INSPECTION BY THE SOILS ENGINEER. THE DEVELOPER SHALL NOTIFY THE ADJOINING PROPERTY OWNERS IN WRITING, TEN DAYS PRIOR TO START OF CONSTRUCTION ON THESE WALLS PER SECTION 2903-B OF IBC. THE DEVELOPER WILL HAVE TO PROVIDE MEANS OF PROTECTION OF ADJACENT PROPERTY WHILE THIS WORK IS UNDER CONSTRUCTION.
9. ALL EXPOSED CUT AND FILL SHALL BE TREATED WITH AN APPROVED AGING AGENT TO MINIMIZE TO VISUAL CONTINUITY.
10. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL ALL HILLSIDE STIPULATIONS AND ALL TOWN CODE REQUIREMENTS ARE COMPLIED INCLUDING, BUT NOT LIMITED TO LANDSCAPING, GROUND RESTORATION, FIRE FLOW, FIRE SAFETY AND ALL ONSITE AND OFFSITE IMPROVEMENTS.
11. ALL OUTDOOR LIGHTING SHALL BE IN CONFORMANCE WITH ARTICLE XXII OF THE TOWN ZONING ORDINANCE.
12. ALL EXCESS FILL MATERIAL SHALL BE REMOVED FROM THE SITE WITH NO NEW SPILL SLOPES.
13. THE USE OF HYDRAULIC RAM HAMMERS, OR OTHER HEAVY EQUIPMENT USED TO CUT THROUGH ROCK, INCLUDING MACHINERY WITH AUDIBLE BACK UP WARNING DEVICES SHALL BE LIMITED TO USE BETWEEN THE HOURS OF 7:00AM OR SUNRISE, WHICHEVER IS LATER, AND 6:00PM OR SUNSET, WHICHEVER IS EARLIER, MONDAY THROUGH FRIDAY, WITH LIMITED WORK ON SATURDAY AND NO WORK ON SUNDAY OR LEGAL HOLIDAYS.
14. CONSTRUCTION STAKING AND/OR FENCING SHALL BE PLACED AROUND THE CONSTRUCTION SITE SO AS TO PROTECT THE UNDISTURBED NATURAL AREAS.

| ON-SITE RETENTION FOR THE PRE VS. POST DEVELOPMENT RUNOFF FROM 100-YEAR, 2-HOUR STORM EVENT            |           |                      |                      |                                   |                      |
|--|-----------|----------------------|----------------------|-----------------------------------|----------------------|
| $V = D \times A \times (C_w - 0.75) / 12 = 2.82 \times 43,655 \times (0.79 - 0.75) = 410 \text{ C.F.}$ |           |                      |                      |                                   |                      |
| D – RAINFALL DEPTH=2.82"   A – TRIBUTARY AREA, SF   C <sub>w</sub> – WEIGHTED RUNOFF COEFFICIENT       |           |                      |                      |                                   |                      |
| DRAINAGE AREA  | AREA S.F. | RUNOFF COEFFICIENT C | VOLUME REQUIRED C.F. | RETENTION TYPE                    | VOLUME PROVIDED C.F. |
| A  | 43,655    | 0.79                 | 410                  | (2) – 20' DEEP (48" DIA) DRYWELLS | 502                  |
| TOTAL  |           |                      | 410                  |                                   | 502                  |

| WEIGHTED RUNOFF COEFFICIENT, C <sub>w</sub> AREA A |                      |         |        |
|--|----------------------|---------|--------|
| SURFACE TYPE                                       | RUNOFF COEFFICIENT C | AREA SF | C*AREA |
| ROOF   | 0.95                 | 6,665   | 6,332  |
| PAVEMENT   | 0.95                 | 1,464   | 1,391  |
| PERMEABLE PAVEMENT                                 | 0.75                 | 4,266   | 3,200  |
| LANDSCAPE  | 0.75                 | 31,260  | 23,445 |
| TOTAL  |                      | 43,655  | 34,367 |
| $C_w = C \cdot \text{AREA} / \text{TOTAL AREA}$    |                      |         |        |
|  |                      |         | 0.79   |

EARTHWORK QUANT.

CUT: 2,360 C.Y.  
FILL: 999 C.Y.  
NET CUT: 1,360 C.Y.

ALL QUANTITIES LISTED ON THESE PLANS ARE ESTIMATES ONLY. NO SHRINK OR SWELL IS ASSUMED. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF THE QUANTITIES AND BASE THEIR BIDS ON THEIR ESTIMATES.

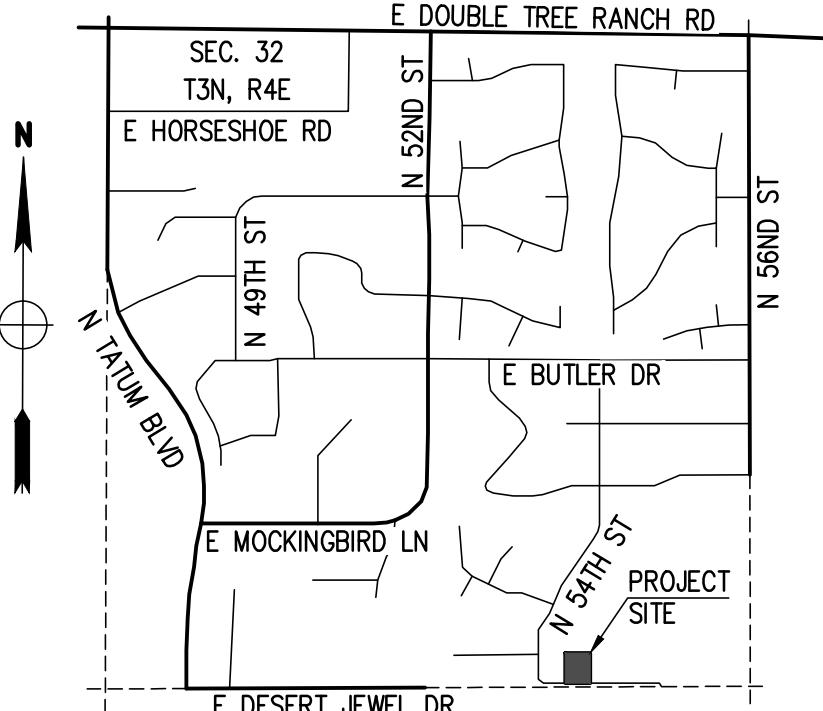
RETAINING WALL UNITS

| ID NUMBER | MAX. HEIGHT |        | LENGTH |
|-----------|-------------|--------|--------|
|           | FT          | FT     |        |
| 1         | 3.5         | 78.00  |        |
| 2         | 8.0         | 75.00  |        |
| 3         | 8.0         | 28.00  |        |
| 4         | 8.0         | 59.00  |        |
| 5         | 8.0         | 59.00  |        |
| 6         | 4.0         | 34.00  |        |
| 7         | 8.0         | 65.00  |        |
| TOTAL     |             | 398.00 |        |

FOR LOCATIONS IDENTIFIED WITH KEYNOTE

MAXIMUM LENGTH OF RETAINING WALLS VISIBLE FROM ANY POINT ON THE PROPERTY LINE = 258' < 300'.

ALL WALL LENGTHS LISTED ABOVE ARE FOR PERMITTING PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ACCURACY OF WALL QUANTITIES AS SHOWN. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS AND DETAILS FOR WALL CONSTRUCTION, HEIGHT AND FINISH.



VICINITY MAP  
NTS

OWNER

JASON SCHERR  
6843 LOST GARDEN TER  
PARKLAND, FL 33076

ARCHITECT

KENDLE DESIGN COLLABORATIVE  
6115 N CATTLETRACK ROAD  
SCOTTSDALE, AZ 85250  
P: 480 951 8558

SITE DATA

APN: 168-75-029  
ADDRESS: 5416 E DESERT JEWEL DR  
PARADISE VALLEY, AZ 85253  
ZONING: R-43  
LOT AREA: 43,655 S.F. (1,002 AC.)

LEGAL DESCRIPTION

LOT 27, OF VISTA RICA, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 171 OF MAPS, PAGE 28.

CONTAINING 43,655 S.F. (1,002 AC.); MORE OR LESS.

**BASIS OF BEARINGS**

THE SOUTH LINE OF LOTS 26,27 AND 28 BASED ON THE FOUND MONUMENTATION SHOWN ON THE SURVEY , THE BEARING OF WHICH IS N89°49'14"E, PER PLAT OF VISTA RICA, BOOK 171, PAGE 28, MCR.

BENCHMARK

BRASS CAP FLUSH AT THE INTERSECTION OF MOCKINGBIRD LANE AND 56TH STREET HAVING AN ELEVATION OF 1349.97 TOWN OF PARADISE VALLEY (NAVD 88) DATUM, GDACS# 26101-1

UTILITIES

WATER: CITY OF PHOENIX  
SANITARY SEWER: TOWN OF PARADISE VALLEY  
ELECTRIC: ARIZONA PUBLIC SERVICE  
TELEPHONE: CENTURY LINK, COX COMMUNICATIONS  
NATURAL GAS: SOUTHWEST GAS  
CABLE TV: CENTURY LINK, COX COMMUNICATIONS

SHEET INDEX

SHEET C-1 – COVER SHEET  
SHEET C-2 – GRADING & DRAINAGE PLAN  
SHEET C-3 – SECTIONS & DETAILS

FLOOD INSURANCE RATE MAP (FIRM) DATA

| COMMUNITY # | PANEL #      | SUFFIX | L | BASED FLOOD ELEVATION |
|-------------|--------------|--------|---|-----------------------|
| 404049      | 1765 OF 4425 |        |   | N/A                   |
| MAP #       | PANEL DATE   | ZONE   |   |                       |
| 04013C      | 10/16/2013   | X*     |   |                       |

\*AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN

DRAINAGE STATEMENT

1. ULTIMATE STORM OUTFALL IS LOCATED AT THE NORTHWEST PROPERTY CORNER AT ELEVATION OF 1413.70.
2. A NEW SINGLE FAMILY RESIDENCE AND POOL IS PROPOSED FOR THIS SITE.
3. PROPOSED DEVELOPMENT DOES NOT IMPACT DRAINAGE CONDITIONS OF ADJOINING LOTS.
4. HISTORIC DRAINAGE PATTERNS ARE PRESERVED.
5. PERMEABLE PAVERS ARE PROVIDED FOR THE PROPOSED DRIVEWAY TO REDUCE THE STORMWATER RUNOFF TO PRE-DEVELOPMENT CONDITIONS.
6. THE MINIMUM FINISH FLOOR ELEVATIONS SHOWN ARE SAFE FROM INUNDATION DURING A 100-YEAR PEAK RUN-OFF EVENT IF CONSTRUCTED PER APPROVED PLANS.

UTILITIES NOTES

HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THE PLAN ARE APPROXIMATE ONLY AND WILL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO START OF CONSTRUCTION WORK. CALL BLUE STAKE @ (602) 263-1100.

FIRE SPRINKLER SYSTEM

FIRE SPRINKLER SYSTEM TO BE INSTALLED PER THE REQUIREMENTS OF THE TOWN OF PARADISE VALLEY AND IN ACCORDANCE WITH I.B.C. SECT. 904.2.2 AMD. AND I.F.C. SECT. 1003.2.1 AMD.

APPROVAL

TOWN ENGINEER  
TOWN OF PARADISE VALLEY

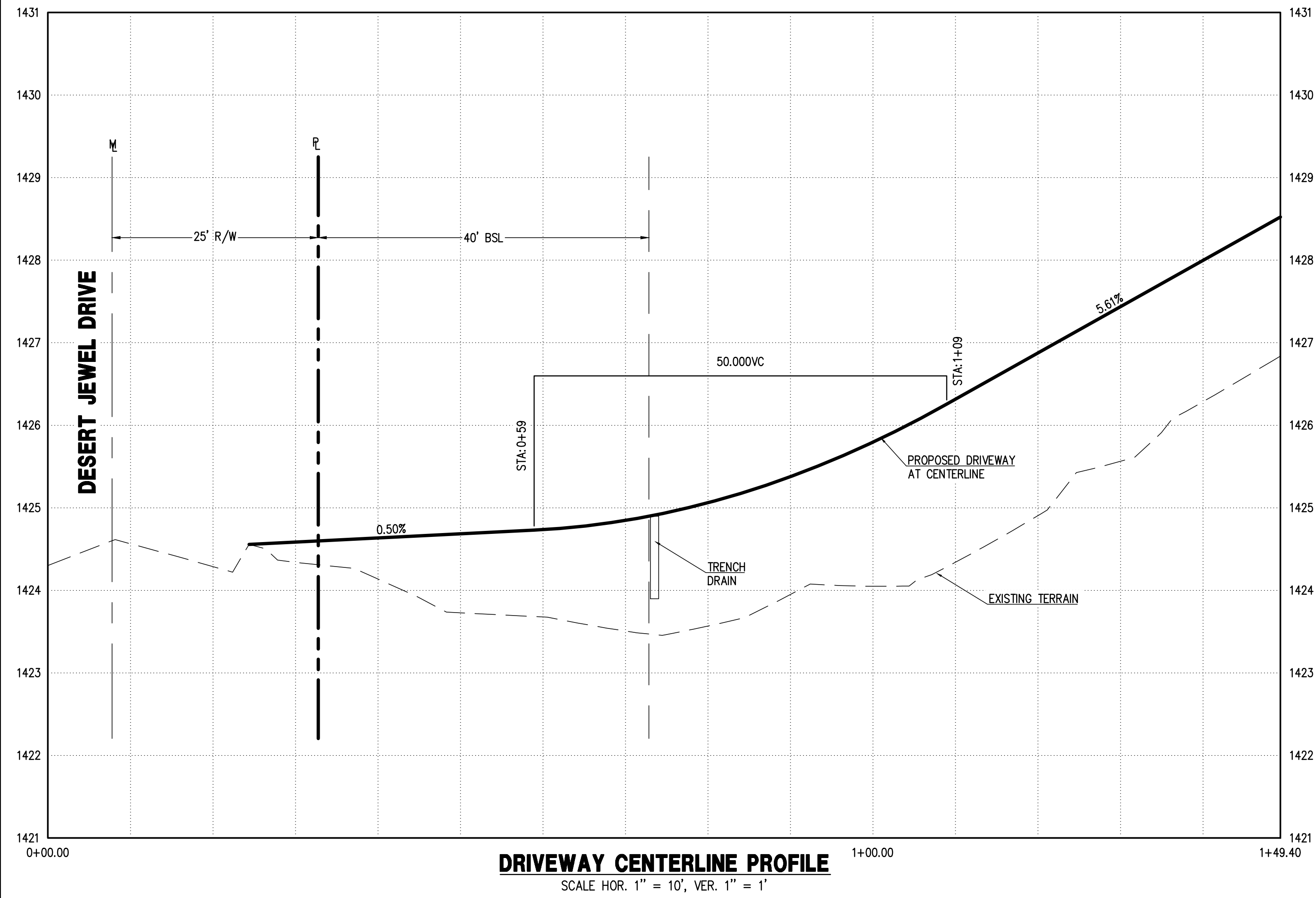
DATE









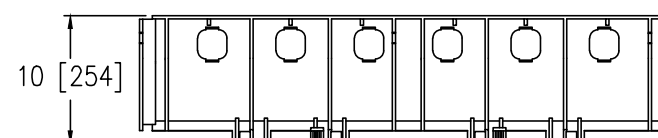
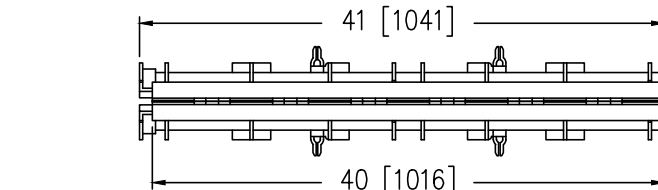
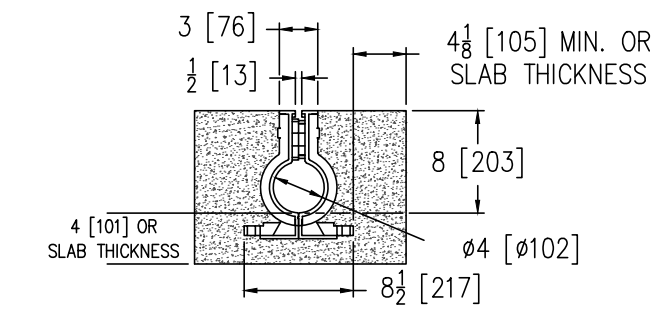


| PERCENT PASSING | SIZE                 | D <sub>50</sub> CLASS, INCHES |   |    |    |
|-----------------|----------------------|-------------------------------|---|----|----|
|                 |                      | 4                             | 6 | 8  | 12 |
| 100 TO 90       | 1.5 D <sub>50</sub>  | 6                             | 8 | 12 | 18 |
| 85 TO 70        | 1.3 D <sub>50</sub>  | 5                             | 7 | 10 | 16 |
| 50 TO 30        | 1.0 D <sub>50</sub>  | 4                             | 6 | 8  | 12 |
| 15 TO 5         | 0.67 D <sub>50</sub> | 3                             | 4 | 5  | 8  |
| 5 TO 0          | 0.50 D <sub>50</sub> | 2                             | 3 | 4  | 6  |

**RIP-RAP GRADATION TABLE**

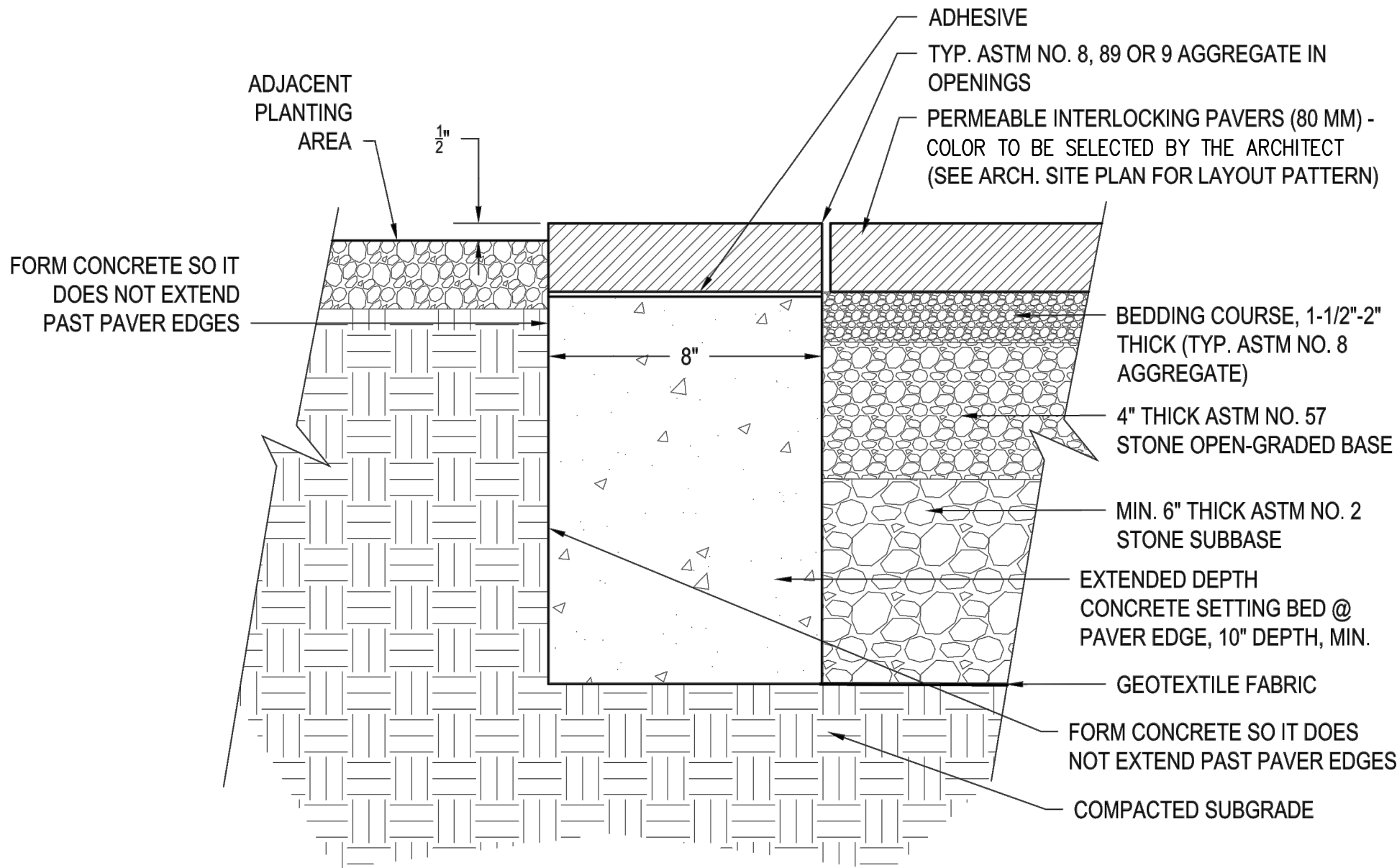
N.T.S.

SPECIFYING ENGINEER IS RESPONSIBLE FOR CONCRETE ENCASEMENT AND REINFORCING BASED UPON APPLICATION AND LOCAL CODES



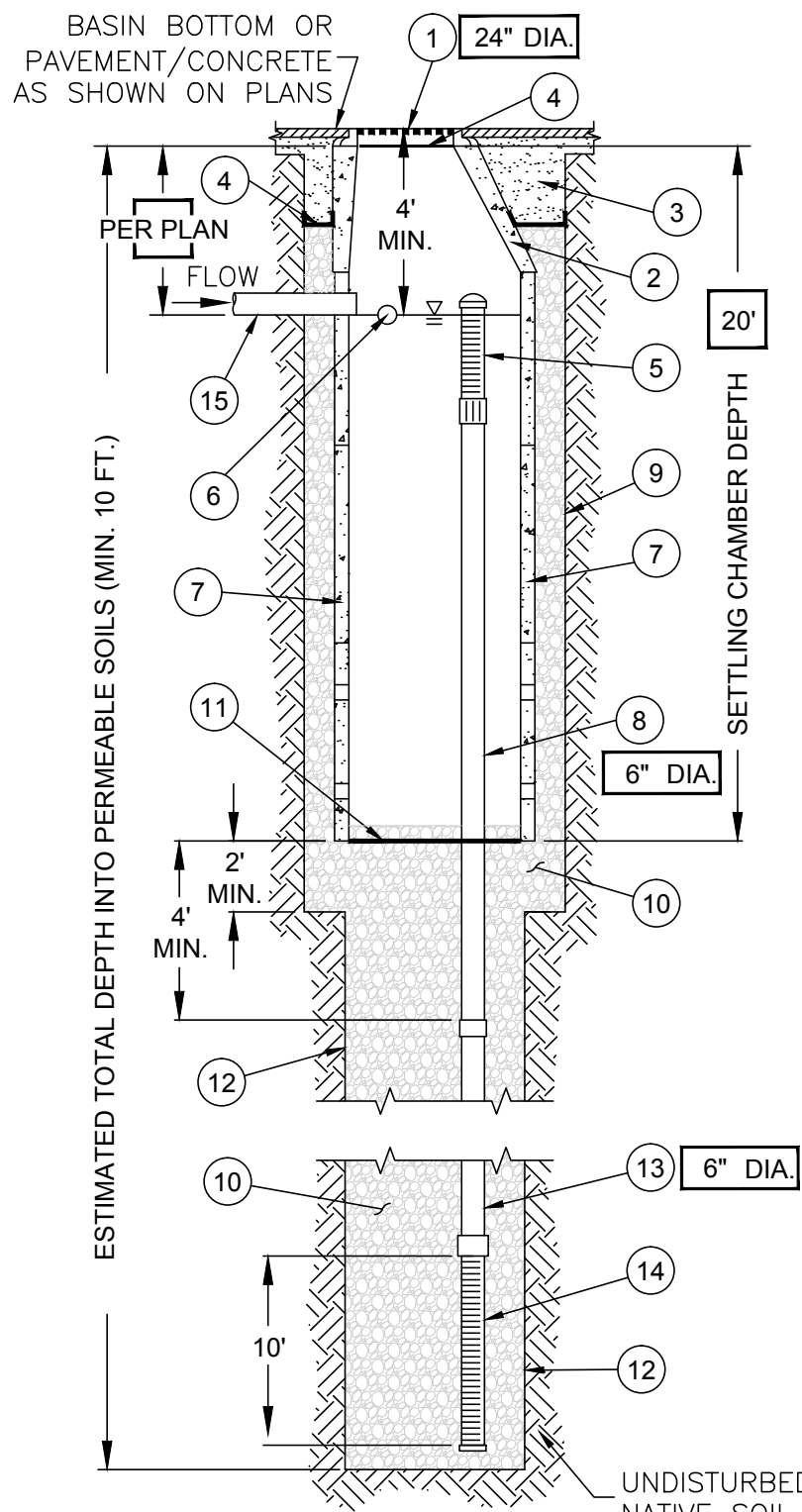
**POOL AREA TRENCH DRAIN DETAIL**

N.T.S.



**PERMEABLE PAVERS DETAIL**

**PureWell™ SINGLE-CHAMBER DRYWELL DETAIL**



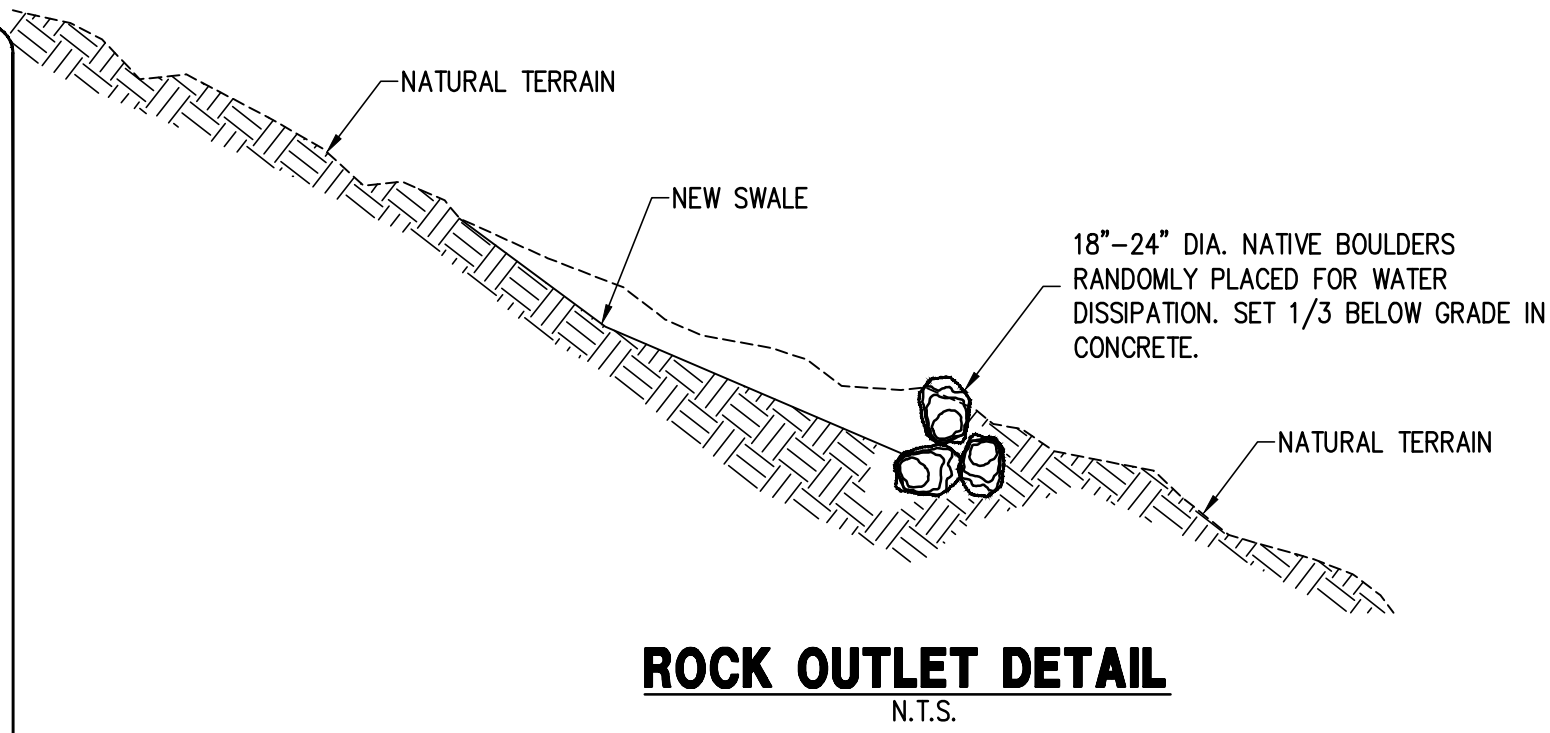
- NOTES:**
1. IF 10' OF PERMEABLE MATERIAL IS NOT OBTAINED DURING DRILLING, IT IS RECOMMENDED TO PERFORM A CONSTANT HEAD PERCOLATION TEST TO DETERMINE DISPOSAL RATE. IF DISPOSAL RATE IS LESS THAN WHAT THE MUNICIPALITY/ENGINEER REQUIRES, THEN ADDITIONAL DRYWELLS ARE NEEDED.
  2. UPON COMPLETION OF INSTALLATION, CONTRACTOR SHALL VERIFY REGISTRATION OF THE INSTALLED DRYWELLS WITH A.D.E.Q. AND FURNISH THE CITY, OWNER, AND ENGINEER OF RECORD ALL PERTINENT REGISTRATION DOCUMENTATION.
  3. ALL DRYWELLS SHALL BE MAINTAINED AND ARE TO BE REPLACED WHEN THEY CEASE TO DRAIN SURFACE WATER WITHIN A 36-HR PERIOD. REGULAR MAINTENANCE OF THE DRYWELL SETTLING CHAMBER IS REQUIRED TO ACHIEVE THE BEST PERFORMANCE OF THE DRYWELL.

- DRYWELL SPECIFICATIONS**
1. **CAST-IRON GRATE** - CAST-IRON RING AND GRATE BOLTED IN TWO PLACES SECURED TO THE CONE WITH MORTAR. SEE DETAIL FOR GRATE DIAMETER SIZE. RIM/GRATE ELEVATION SET AS SHOWN ON PLANS.
  2. **PRECAST MANHOLE CONE** - SPECIFIED WITH 4000 PSI CONCRETE.
  3. **BACKFILL AROUND CONE** - COMPACTED FILL TO SUBGRADE FOR LANDSCAPE OR 1-SACK SLURRY STABILIZATION FOR PAVEMENT/CONCRETE SURFACING.
  4. **GEOTEXTILE FILTER FABRIC** - NON-WOVEN FABRIC. CONTRACTOR/OWNER TO REMOVE FABRIC ON GRATE ONLY AFTER ALL CONSTRUCTION IS COMPLETE.
  5. **DEBRIS FILTER/SCREEN** - OVERFLOW INTAKE SCREEN/FILTER WITH CAP. USE 2.5" OF SLOTTED, SCH-40 SCREEN PIPE.
  6. **OIL-ABSORBENT PILLOW** - MINIMUM 1 GALLON CAPACITY.
  7. **PRE-CAST DRYWELL LINER** - 48" ID. X 54" OD. USE 4000 PSI CONCRETE. LINER SECTIONS TO BE ALIGNED CENTERED WITH DRILLED SHAFT. BOTTOM SECTION OF LINER TO HAVE PERFORATIONS. SEAL ALL LINER GAPS WITH MORTAR.
  8. **OVERFLOW DRAIN STANDPIPE** - USE CONTINUOUS PVC SCH-40 PIPE MATERIAL WITH A MINIMUM EMBEDMENT OF 4' INTO THE GRAVEL PACK. SEE DETAIL FOR DIAMETER SIZE.
  9. **MINIMUM 6" DIA. DRILLED SHAFT** - SHAFT EXCAVATED IN A MANNER TO PROTECT DRAINAGE SOILS.
  10. **GRAVEL PACK** - 3/8" TO 1-1/2" WASHED, CLEAN GRAVEL PACK INCLUDING SURROUNDING CHAMBER.
  11. **GEOTEXTILE INFILTRATION BARRIER** - 4 OZ. NON-WOVEN FABRIC WITH 2 INCHES OF GRAVEL COVER FOR SECURING FABRIC.
  12. **MINIMUM 4" DIA. DRILLED SHAFT** - SHAFT EXCAVATED IN A MANNER TO PROTECT DRAINAGE SOILS.
  13. **DRYWELL DRAIN PIPE** - USE PVC SDR-35 PIPE MATERIAL. SEE DETAIL FOR DIAMETER SIZE (MIN. 6" DIA.).
  14. **INJECTION SCREEN** - USE SLOTTED SCH-40 SCREEN PIPE.
  15. **OPTIONAL INLET PIPE** - OPTIONAL CONNECTING PIPE, SIZE AND INVERT ELEVATION SPECIFIED PER PLANS (MINIMUM 4" DIA.). CONNECTION TO BE SECURED BY 1-SACK SLURRY BACKFILL.

NOT TO SCALE

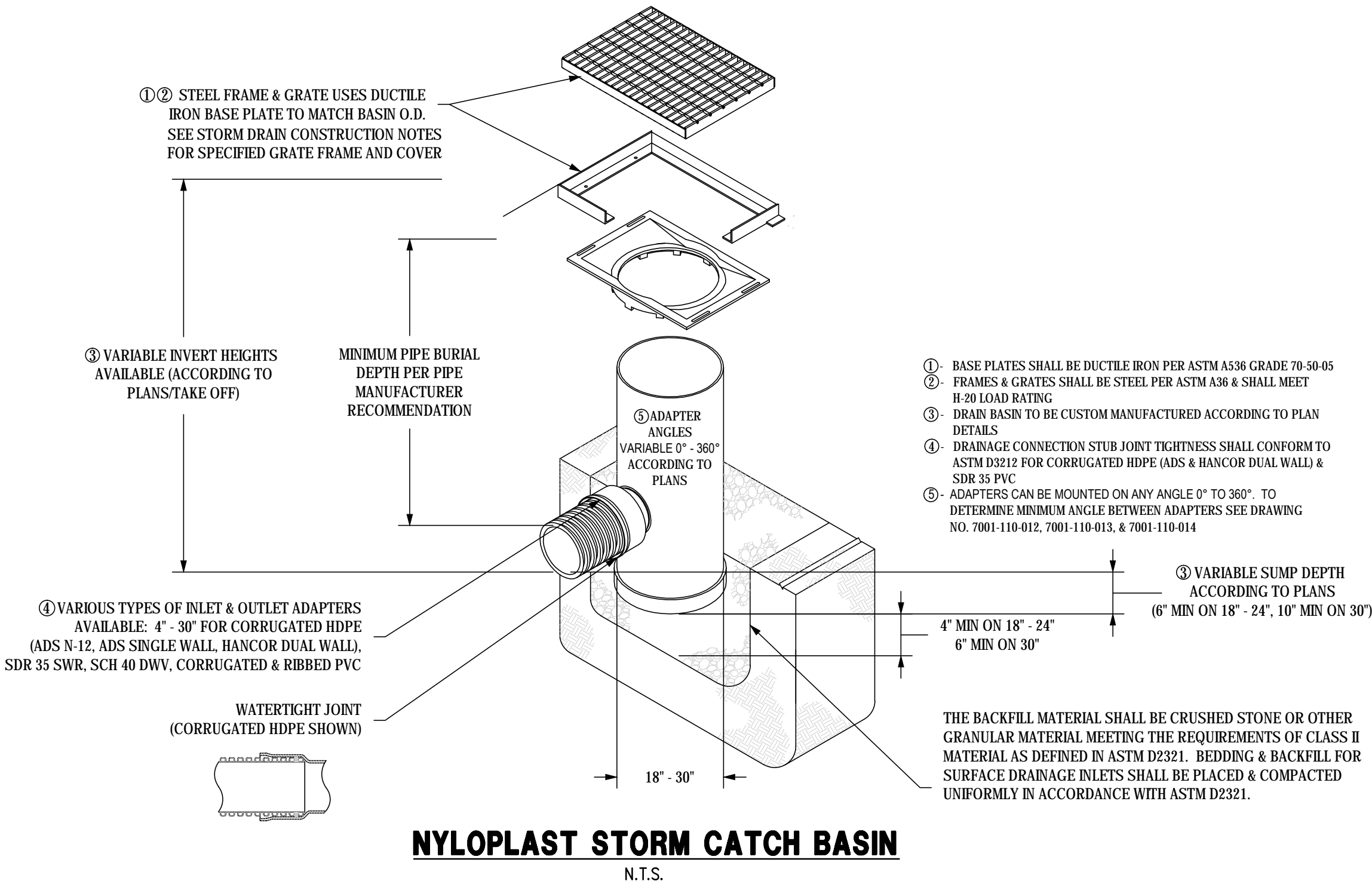


916 E. IMPALA AVENUE, STE. 101 (480) 926-1003 TEL  
MESA, AZ 85204 (480) 813-9612 FAX



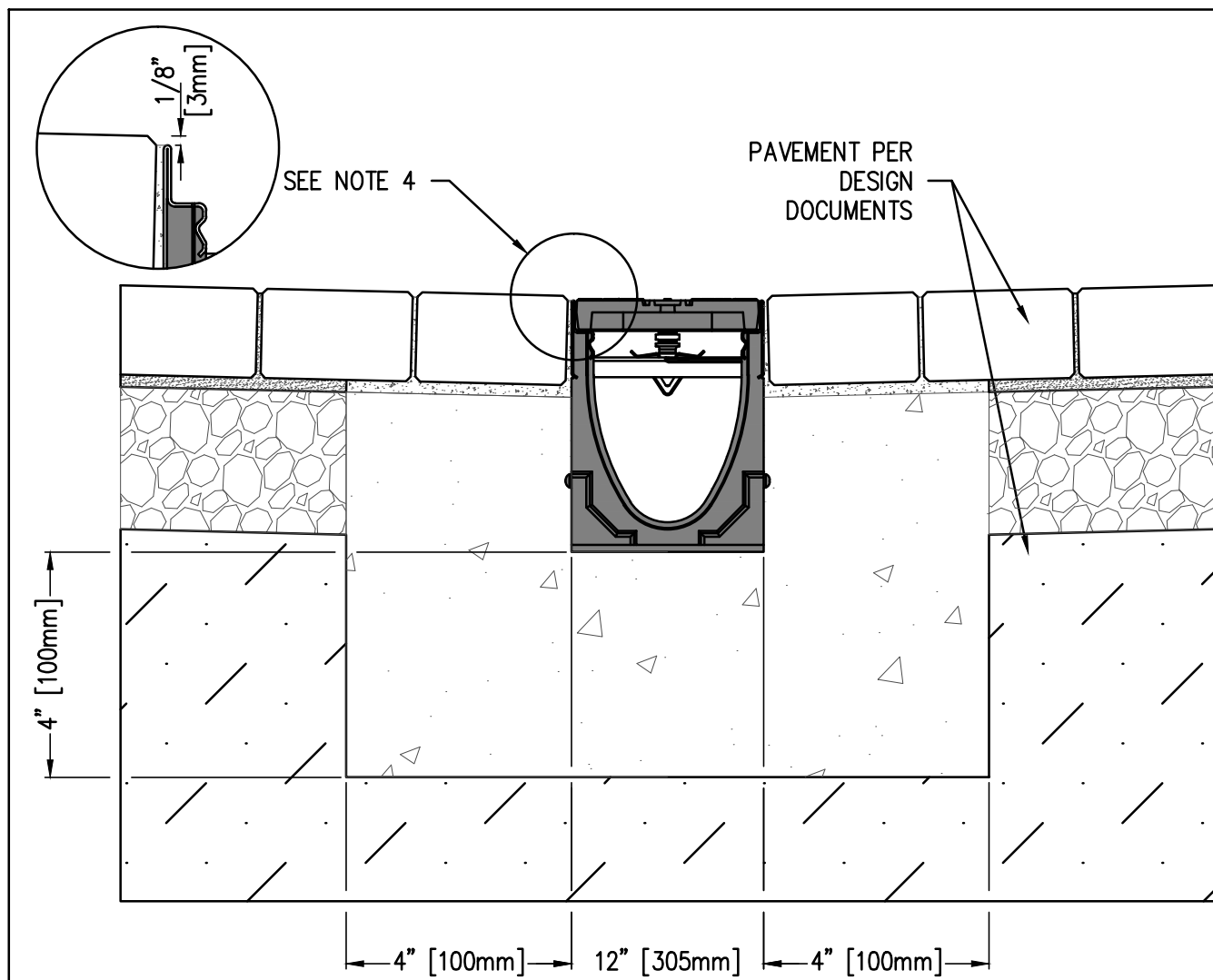
**ROCK OUTLET DETAIL**

N.T.S.



**NYLOPLAST STORM CATCH BASIN**

N.T.S.



**DRIVEWAY TRENCH DRAIN DETAIL**

N.T.S.

**SPECIFICATION CLAUSE**

**K300 KLASSIKDRAIN - LOAD CLASS A**

**GENERAL**  
THE SURFACE DRAINAGE SYSTEM SHALL BE POLYMER CONCRETE K100 CHANNEL SYSTEM WITH GALVANIZED STEEL EDGE RAILS AS MANUFACTURED BY ACO POLYMER PRODUCTS, INC.

**MATERIALS**  
CHANNELS SHALL BE MANUFACTURED FROM POLYESTER RESIN POLYMER CONCRETE WITH AN INTEGRALLY CAST-IN GALVANIZED STEEL EDGE RAIL. MINIMUM PROPERTIES OF POLYMER CONCRETE WILL BE AS FOLLOWS:  
COMPRESSIVE STRENGTH: 14,000 PSI  
FLEXURAL STRENGTH: 4,000 PSI  
TENSILE STRENGTH: 1,500 PSI  
WATER ABSORPTION: 0.07%  
FROST PROOF: YES  
DILUTE ACID AND ALKALI RESISTANT: YES  
B117 SALT SPRAY TEST COMPLIANT: YES

THE SYSTEM SHALL BE 4" (100mm) NOMINAL INTERNAL WIDTH WITH A 5.1" (130mm) OVERALL WIDTH AND A BUILT-IN SLOPE OF 0.5%. CHANNEL INVERT SHALL HAVE DEVELOPED "V" SHAPE. ALL CHANNELS SHALL BE INTERLOCKING WITH A MALE/FEMALE JOINT.

THE COMPLETE DRAINAGE SYSTEM SHALL BE BY ACO POLYMER PRODUCTS, INC. ANY DEVIATION OR PARTIAL SYSTEM DESIGN AND/OR IMPROPER INSTALLATION WILL VOID ANY AND ALL WARRANTIES PROVIDED BY ACO POLYMER PRODUCTS, INC.

CHANNEL SHALL WITHSTAND LOADING TO PROPER LOAD CLASS AS OUTLINED BY EN 1433. GRATE TYPE SHALL BE APPROPRIATE TO MEET THE SYSTEM LOAD CLASS SPECIFIED AND INTENDED APPLICATION. GRATES SHALL BE SECURED USING QUICKLOK® BOLTLESS LOCKING SYSTEM. CHANNEL AND GRATE SHALL BE CERTIFIED TO MEET THE SPECIFIED EN 1433 LOAD CLASS. THE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.

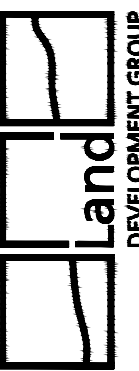
- NOTES:**
1. IT IS NECESSARY TO ENSURE MINIMUM DIMENSIONS SHOWN ARE SUITABLE FOR EXISTING GROUND CONDITIONS.
  2. MINIMUM CONCRETE STRENGTH OF 4,000 PSI IS RECOMMENDED. CONCRETE SHOULD BE VIBRATED TO ELIMINATE AIR POCKETS.
  3. EXPANSION AND CONTRACTION CONTROL JOINTS AND REINFORCEMENT ARE RECOMMENDED TO PROTECT CHANNEL AND CONCRETE SURROUND.
  4. THE FINISHED LEVEL OF THE CONCRETE SURROUND MUST BE APPROX. 1/8" [3mm] ABOVE THE TOP OF THE CHANNEL EDGE.
  5. CONCRETE BASE THICKNESS SHOULD MATCH SLAB THICKNESS. ENGINEERING ADVICE MAY BE REQUIRED TO DETERMINE PROPER LOAD CLASS.
  6. REFER TO ACO'S LATEST INSTALLATION INSTRUCTIONS FOR FURTHER DETAILS.

|            |       |                               |                     |
|------------|-------|-------------------------------|---------------------|
| REVISIONS: | DATE: | SCALE: HOR. 1"=10' VER. 1"=1' | DATE: 12/05/17      |
|            |       | DESIGNED BY: NP               | JOB: 1702018        |
|            |       | DRAWN BY: DW                  | VERSION: 1.5        |
|            |       | CHECKED BY: JJ                | PLOT DATE: 12/05/17 |

**PRELIMINARY  
GRADING & DRAINAGE PLAN**

**SCHERR RESIDENCE  
5416 E DESERT JEWEL DR  
PARADISE VALLEY, AZ 85253**

P. 602.889.1984 | F. 602.445.9482  
8808 N CENTRAL AVE., SUITE 288  
PHOENIX, AZ 85020  
PHOENIX @ LDENG.COM



**C-3**

3 OF 3



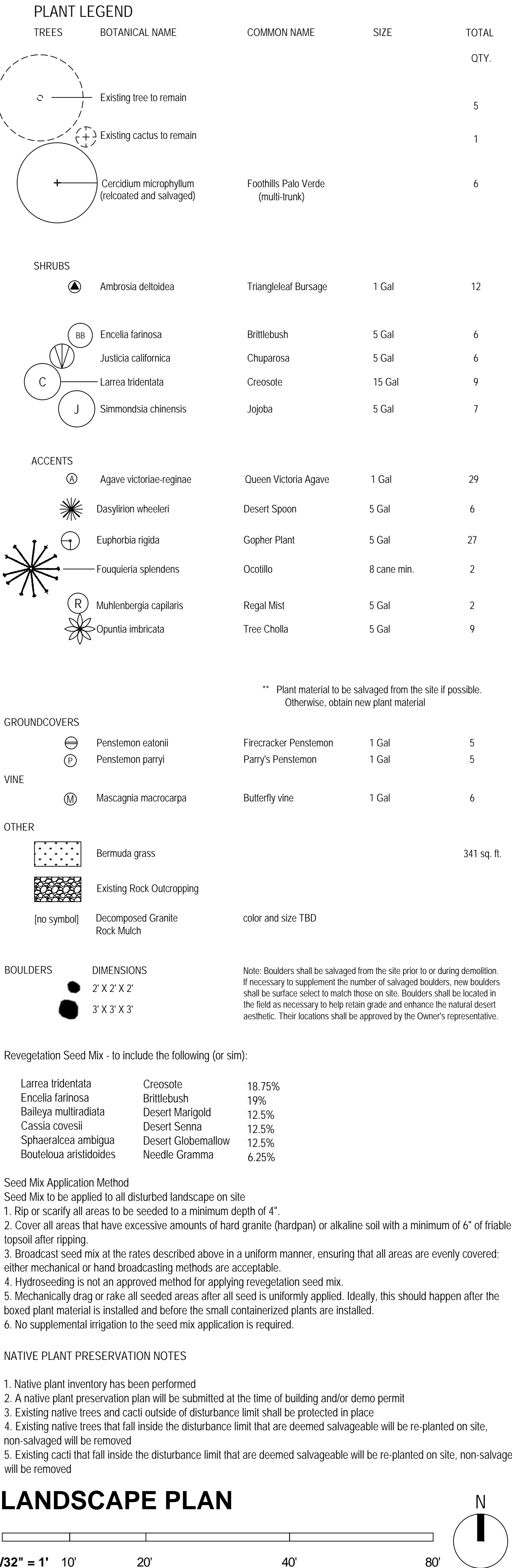


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SHEET TITLE:

# L-1.0



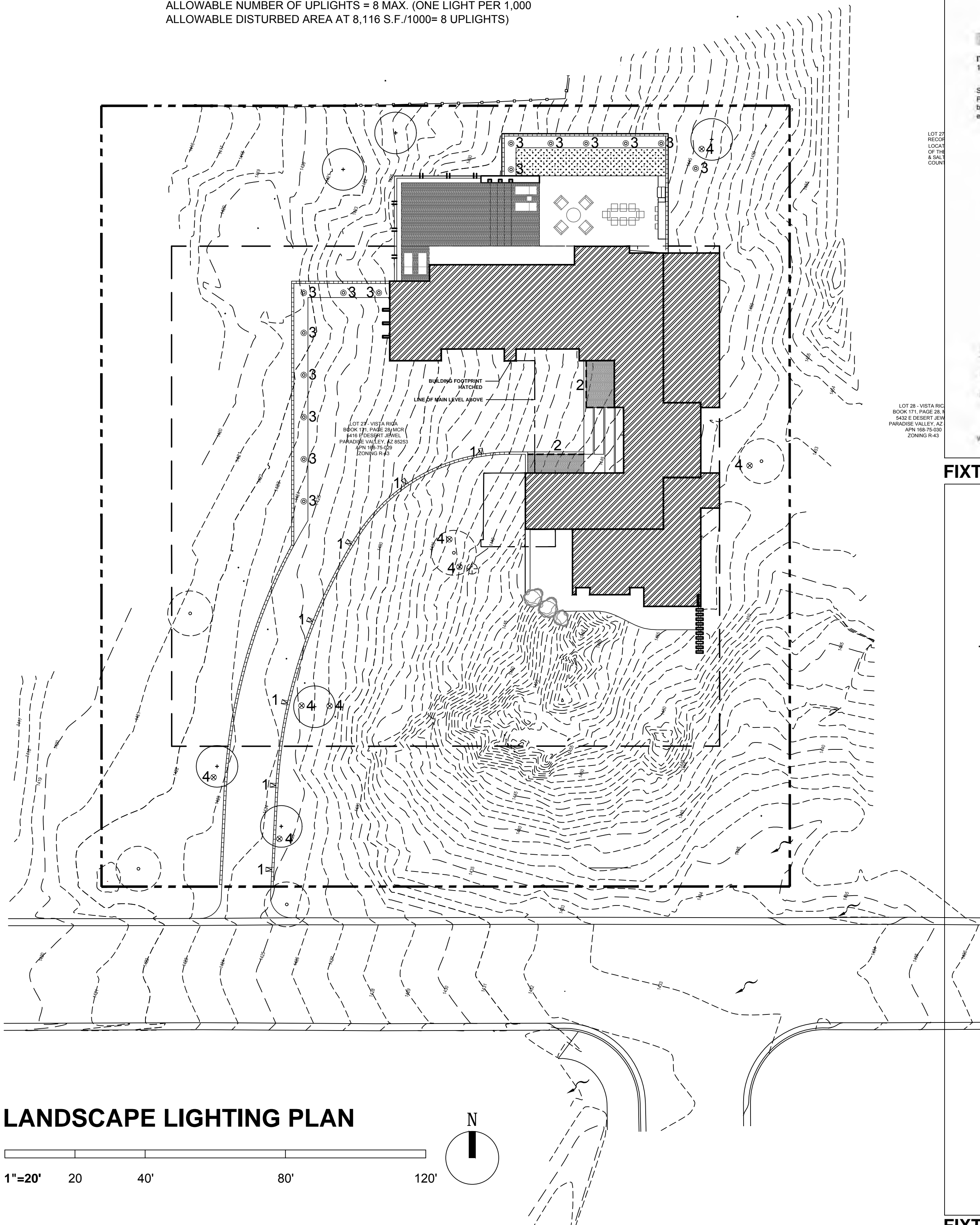
## LANDSCAPE PLAN



BUILDING LIGHTING FIXTURE SCHEDULE

| TYPE | QTY | MFR          | DESCRIPTION                     | LUMENS | WATTAGE  |
|------|-----|--------------|---------------------------------|--------|----------|
| 1    | 7   | EUROFASE     | In-Ground Drive Over Well Light | <80    | 1W LED   |
| 2    | 2   | SPJ Lighting | Submersible Linear LED System   | <120   | 4.4W LED |
| 3    | 20  | SOLLOS       | Hat Path Light                  | <250   | 2.3W LED |
| 4    | 8   | SOLLOS       | Adjustable LED Bullet Fixture   | <200   | 2.5W LED |

ALLOWABLE NUMBER OF UPLIGHTS = 8 MAX. (ONE LIGHT PER 1,000  
ALLOWABLE DISTURBED AREA AT 8,116 S.F./1000= 8 UPLIGHTS)



TEL 905.695.2055 FAX 905.695.2056 toll free 1.800.660.5391 toll free 1.800.660.5390

33 West Beaver Creek Road Richmond Hill, Ontario Canada L4B 1L8

### 14750, INGROUND.OSRAM LED,1X1W,BLACK

**Product Details**

|               |           |
|---------------|-----------|
| Item No.      | 14750-014 |
| Finish        | Black     |
| Shade         | Black     |
| Diameter      | 4.25"     |
| Height        | 3.25"     |
| Max Extension | 0.75"     |
| Est. Weight   | 1.98 lbs  |
| IP Rating     | 67        |
| Approval      | cETLus    |

**BULB DETAILS**

|               |       |
|---------------|-------|
| No. of Bulbs  | 1     |
| Bulb Type     | LED   |
| Bulb Voltage  | 120V  |
| Bulb Wattage  | 1W    |
| Bulb Socket   | LED   |
| Input Voltage | 120V  |
| Dimmable      | No    |
| Lumens        | 80lm  |
| Kelvin        | 3000K |
| CRI           | 80+   |
| Bulb Included | Yes   |

**Options Available**

| ITEM NO.  | FINISH | SHADE |
|-----------|--------|-------|
| 14750-014 | Black  | Black |

Single direction marker light. 120V input, built in driver. Polycarbonate lens. Powder coat finishing. Cast aluminum metal body. Polycarbonate mounting housing included. Long life, energy efficient, low maintenance LED technology.

**PROJECT INFORMATION**

Job Name: \_\_\_\_\_ Date: \_\_\_\_\_ Type: \_\_\_\_\_

Comments: \_\_\_\_\_

www.eurofase.com

FIXTURE TYPE: 1

### PSH040

#### 4" Straight Hat Path Light

Architectural Aluminum

**Fixture Ordering Guide**

| Product Code | Finish               | Stem |
|--------------|----------------------|------|
| PSH040       | TB - Textured Black  | 12"  |
|              | TZ - Textured Bronze | 15"  |
|              |                      | 18"  |

JC20 Halogen lamp shipped with fixture. To substitute a ProLED® lamp, add lamp product code. Example: PSH040-TB-15-JC20/2WW/LED

**Housing:**

- Aluminum construction
- Underside of 4" diameter hat is coated with white reflective paint for optimum output and diffusion
- Stepped, threaded collar for tool-less attachment facilitates easy relamping
- Clear 4mm thick lens protects the lamp

**Stem:**

- 7/8" diameter stem provides solid, stable mounting

**Finish:**

- Textured Black or Textured Bronze
- UV resistant powder coat protects the finish from salt-spray induced corrosion

**Socket:**

- Ceramic G4 bi-pin socket
- Heat-resistant wire leads

**Lamp:**

- T3-G4 bi-pin - 20W maximum
- ProLED® JC lamps provide up-to 40,000 hour rated life, 10-18V input voltage range and 3000K, amber, blue, green and red color options
- ProLED® IP65 Rated JC lamps are rated for use outdoors where exposed directly water from rain or irrigation

Product: \_\_\_\_\_  
Type: \_\_\_\_\_  
Project: \_\_\_\_\_

With 12" stem 14.4"  
With 15" stem 17.4"  
With 18" stem 20.4"

Photometrics:  
JC10/1WW/LED  
JC20/2WW/LED

**Mounting:**

- 8" black ground stake included

**Electrical:**

- 12 Volt system
- Pre-wired with 36", 18-2 lead wire
- Two King® DryConn™ waterproof connectors included

**Certifications:**

- ETL Listed to UL Standard 1838 and CSA C22.2 No. 250.7

**Warranty:**

- Backed by a lifetime limited warranty to be free from defects in material and/or workmanship
- ProLED® IP65 Rated JC lamps installed in Sollos fixtures per installation instructions are backed by a 20-year limited warranty

Sollos Landscape Lighting | 2940 Pacific Drive, Norcross GA 30071 | Toll Free 888.976.5567 (888.9sollos) | Toll Free Fax 888.576.5567 (888.5sollos) | solloslighting.com  
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FIXTURE TYPE: 3

### Forever Bright

SPECIFICATION FEATURES

Model: **SPJ-FLEX-STRIP**

SPJ-Flex-Strip series is a high performance LED strip designed to replace neon lighting for a smooth or continuous line of light. SPJ-Flex-Strip flexibility allows the light source to bend around various contours, curves and radiuses without being damaged. Also available in IP68 underwater series. Please consult factory for more info.

**DESCRIPTION**

**Model#:** SPJ-FLEX-STRIP  
**Material:** PVC  
**Electrical:** 24DC  
**Wattage:** 4.4 Watts per FT  
**Lumen Range:** 120 lumens  
**Color Temp:** 2700K  
**Beam Angle:** 120°  
**Max Run:** 32 FL (64 FL loop)  
**Dimmable:** Yes  
**Rated Life:** 50,000 hours  
**Operating Temp.:** -4° ~ 122°F  
**Bend Radius:** 2.8"  
**IP65 Wet Location or IP68 Underwater / Submersible**

PVC Channel  
PVC-39

Aluminum Cup  
AC2

Wet Listed

**ORDERING INFORMATION**

| Model#         | Finishes | Wattage | Lumen Range | Color Temp. | Electrical |
|----------------|----------|---------|-------------|-------------|------------|
| SPJ-FLEX-STRIP | W        | 4.4/FT  | 120         | 2700K       | 24DC       |

2700K RESW  
3000K RED  
3500K PINK  
4000K BLUE  
5000K GREEN  
AMBER  
YELLOW

24DC

WWW.SPJLIGHTING.COM

FIXTURE TYPE: 2

### BSB060

#### Straight Bullet

Architectural Aluminum

**Fixture Ordering Guide**

| Product Code | Finish               |
|--------------|----------------------|
| BSB060       | TB - Textured Black  |
|              | TZ - Textured Bronze |

Order Lamp Separately  
Example: BSB060-TZ-MR16BAB/827/LED

Product: \_\_\_\_\_  
Type: \_\_\_\_\_  
Project: \_\_\_\_\_

7.2"  
2.4"

Photometrics:  
Lumens: 220 Beam Spread: 40°  
MR16BAB/827/LED

**Shroud:**

- Textured Black or Textured Bronze
- UV resistant powder coat protects the finish from salt-spray induced corrosion
- Brass slotted thumb screw for easy, tool-free lamp replacement

**Housing:**

- Architectural-grade die cast aluminum base, knuckle and shroud
- Fully adjustable swivel arm with locking teeth maintains desired angles
- Two silicone o-rings provide a low-friction, watertight seal
- Gasketed knuckle to prevent water intrusion

**Lens:**

- Shock and heat-resistant clear, tempered glass

**Socket:**

- Ceramic GU5.3 bi-pin socket
- Stainless steel retention clip ensures secure lamp seating and protects the lamp from shock and vibration
- Heat-resistant wire leads

**Lamp:**

- MR16 - 50W maximum
- ProLED® MR16 lamps offer 40,000 hour rated life, 10-15V input voltage range, multiple beam spreads (flood, narrow flood, spot and wide flood) and 2700K, amber, blue, green, red and color changing options

**Mounting:**

- 8" black ground stake included

**Electrical:**

- 12 Volt system
- Pre-wired with 36", 18-2 lead wire
- Two King® DryConn™ waterproof connectors included

**Certifications:**

- ETL Listed to UL Standard 1838 and CSA C22.2 No. 250.7

**Fasteners:**

- All fasteners are corrosion-resistant stainless steel

**Warranty:**

- Backed by a 5-year limited warranty to be free from defects in material and/or workmanship
- ProLED® MR16 lamps installed in Sollos fixtures per installation instructions are backed by a 20-year limited warranty

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FIXTURE TYPE: 4

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COLLABORATIVE

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PH 480.951.8558  
BRENT@KENDLEDESIGN.COM  
KENDLEDESIGN.COM

Scherr  
Residence

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ISSUE: 12/5/17 - FORMAL REVIEW

PROJECT NO:

CAD DWG FILE:

DRAWN BY: CK, RVH

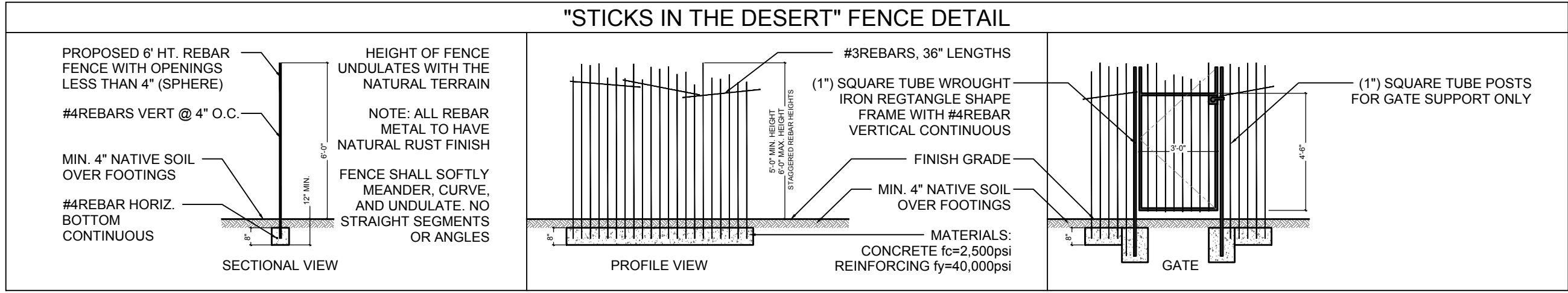
CHECKED BY: BK

SHEET TITLE:

LANDSCAPE  
LIGHTING PLAN

L-2.0





LOT 25 - VISTA RICA  
BOOK 171, PAGE 28, MCR  
8015 N 54TH ST  
PARADISE VALLEY, AZ 85253  
APN 188-75-027  
ZONING R-43

LOT 27 - VISTA RICA, A SUBDIVISION PLAT  
RECORDED IN BOOK 171 OF MAPS, PAGE 28, MCR,  
LOCATED IN A PORTION OF THE SE 1/4 OF THE SW 1/4  
OF THE S1/2 OF SECTION 32, T.30N, R.4E OF THE GILA  
& SALT RIVER BASE AND MERIDIAN, MARICOPA  
COUNTY, ARIZONA

LOT 28 - VISTA RICA  
BOOK 171, PAGE 28, MCR  
8432 E DESERT JEWEL  
PARADISE VALLEY, AZ 85253  
APN 188-75-030  
ZONING R-43

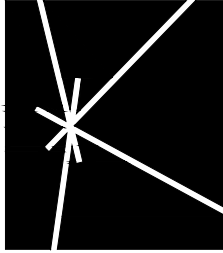
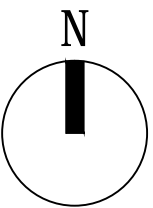
LOT 26 - VISTA RICA  
BOOK 171, PAGE 28, MCR  
8400 E DESERT JEWEL  
PARADISE VALLEY, AZ 85253  
APN 188-75-028  
ZONING R-43

LOT 27 - VISTA RICA  
BOOK 171, PAGE 28, MCR  
8418 E DESERT JEWEL  
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APN 188-75-029  
ZONING R-43

DESERT JEWEL DRIVE

SITE PLAN

1"=16' 16' 32' 64' 96'



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ISSUE: 12/5/17 - FORMAL REVIEW

PROJECT NO:

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CHECKED BY: BK

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SITE PLAN

A-1.0





IMAGE 1



IMAGE 2



IMAGE 3



IMAGE 4



IMAGE 5



IMAGE 6



IMAGE 7



IMAGE 8



IMAGE 9



IMAGE 10



IMAGE 11



IMAGE 12



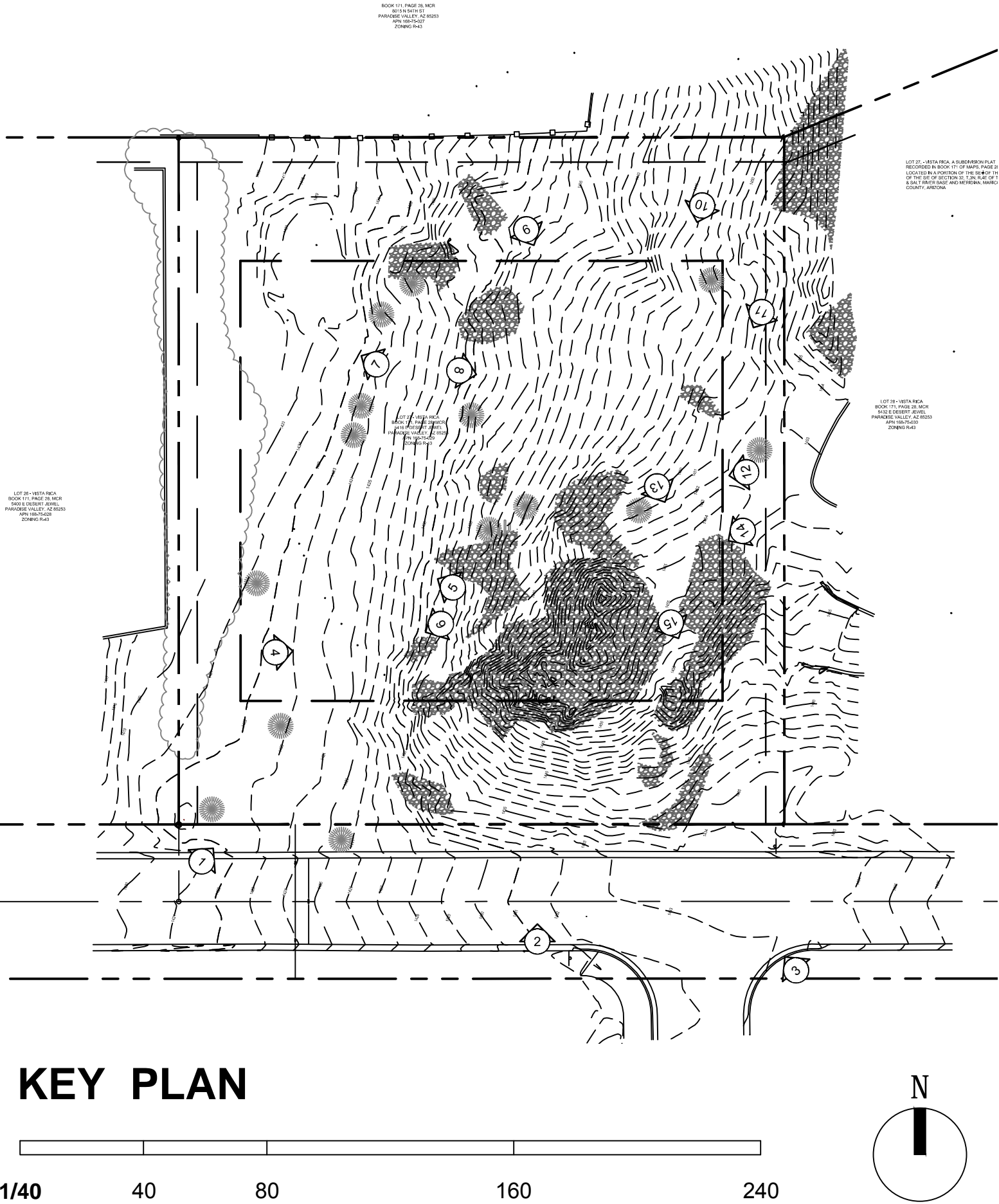
IMAGE 13



IMAGE 14



IMAGE 15



RENDERING

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| MARK | DATE | DESCRIPTION |

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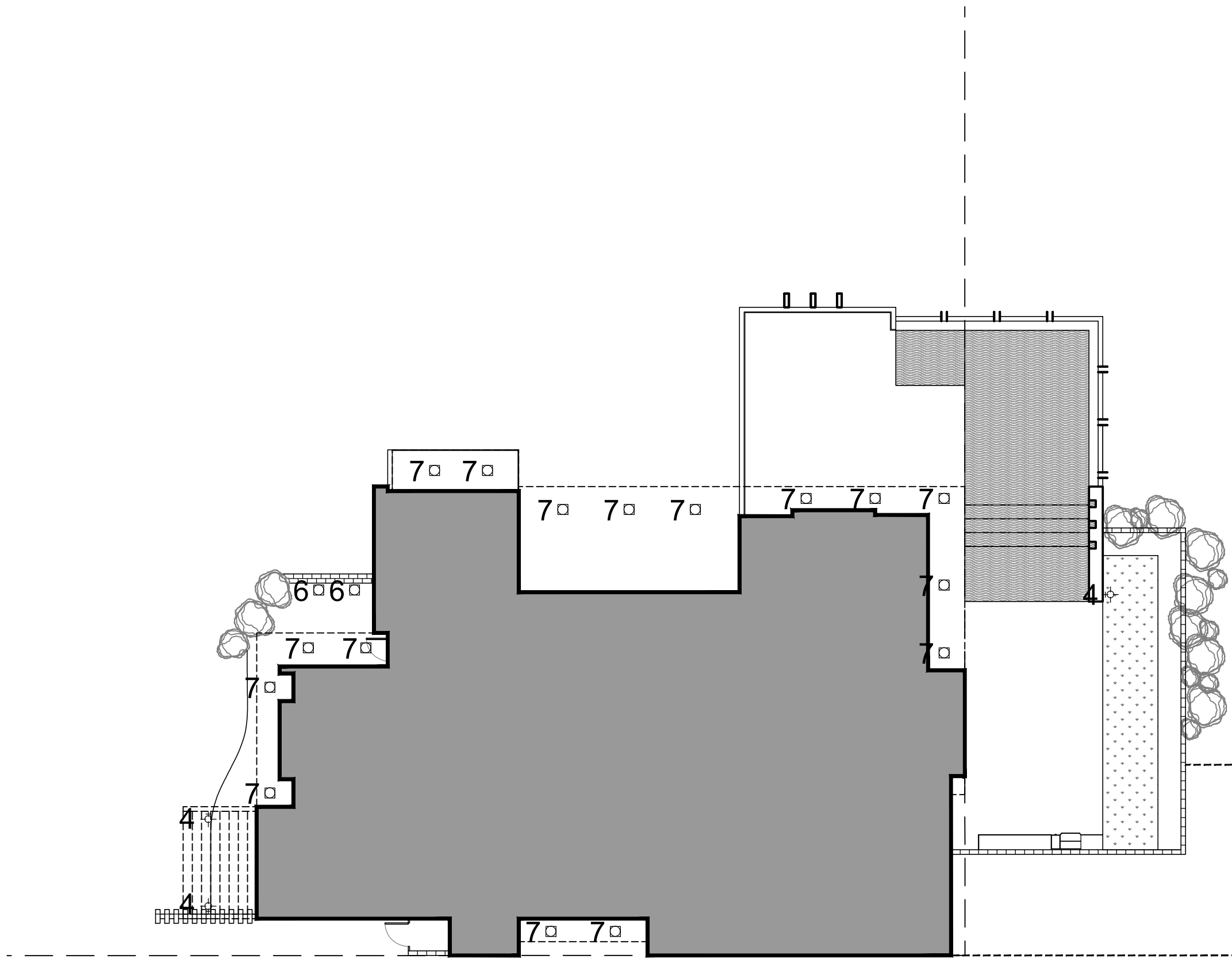
RENDERING &  
SITE PHOTOS

A-2.0

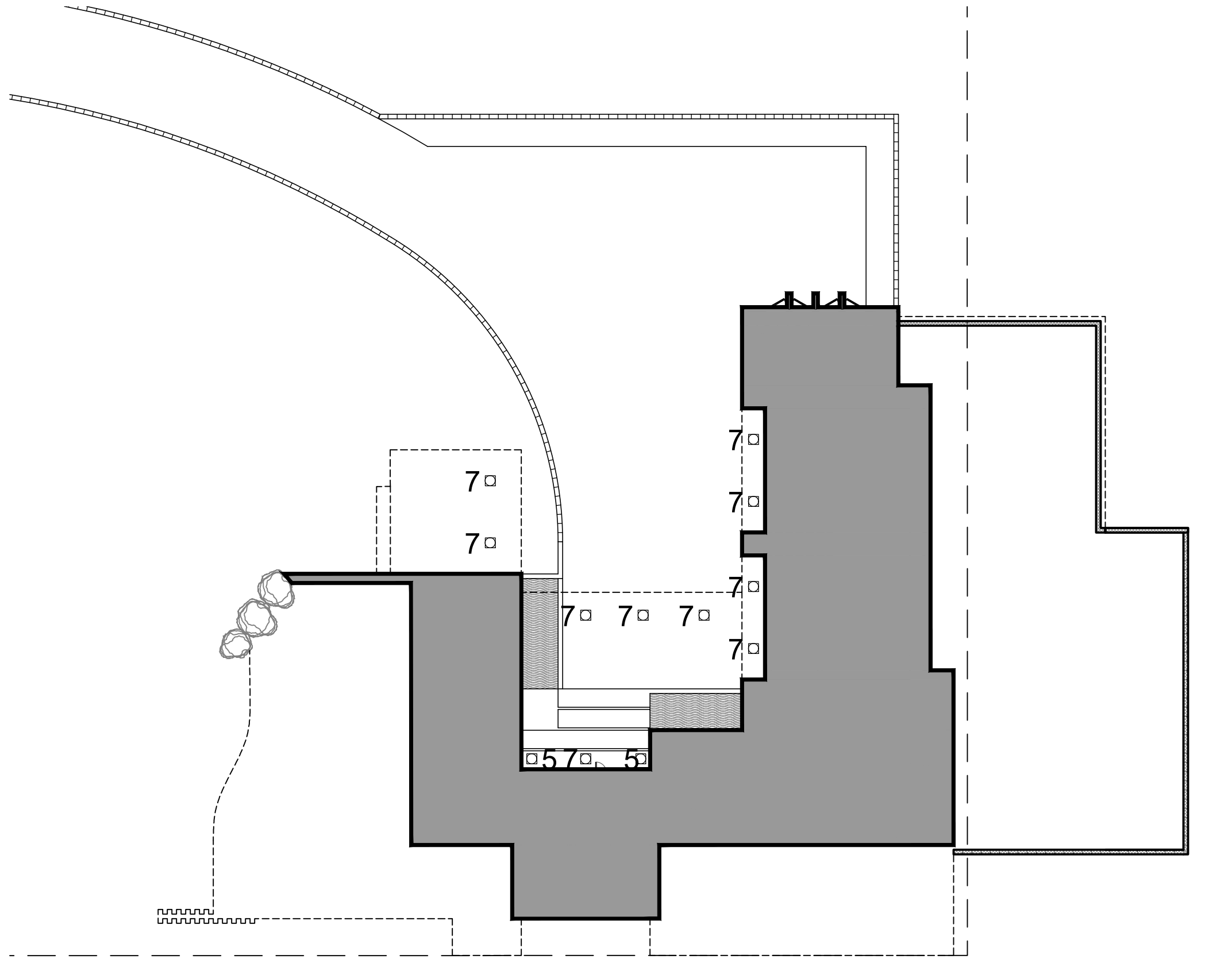
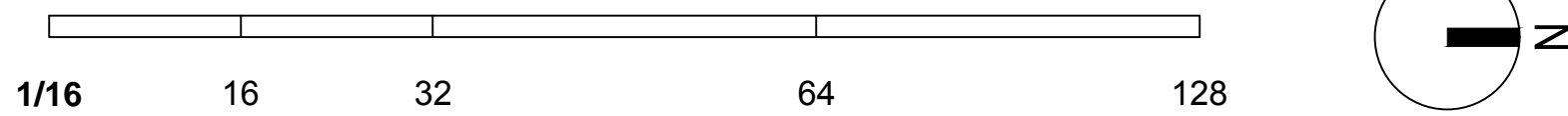


BUILDING LIGHTING FIXTURE SCHEDULE

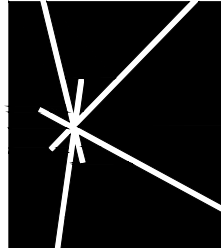
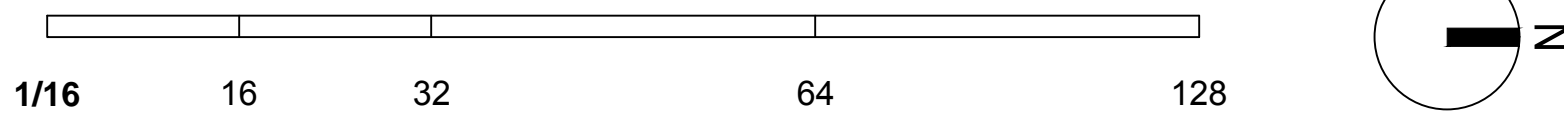
| TYPE | QTY | MFR           | DESCRIPTION                               | LUMENS  | WATTAGE  |
|------|-----|---------------|---|---------|----------|
| 4    | 3   | SOLLOS        | ADJUSTABLE LED BULLET                     | <200 LM | 2.5W     |
| 5    | 2   | HEVILITE      | ADJUSTABLE MINI IN-GRADE WELL FIXTURE LED | <146 LM | 3W OR 8W |
| 6    | 2   | CSL           | LED STEPLIGHT, BRONZE SERIES SS3008-BZ    | <120 LM | 3 W      |
| 7    | 26  | NORA LIGHTING | LED DOWN LIGHT 2"                         | <750LM  | 13-14 W  |



EXTERIOR LIGHTING - MAIN LEVEL PLAN



EXTERIOR LIGHTING - LOWER LEVEL PLAN



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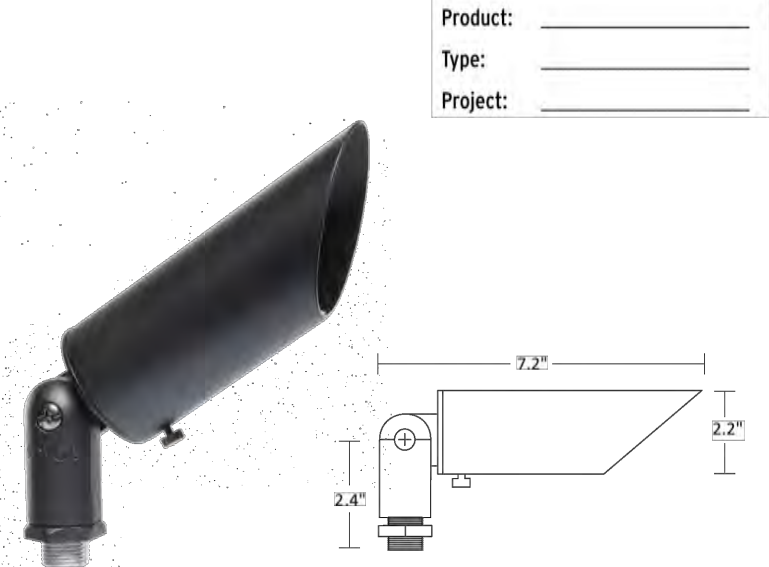
**sollos.**  
LANDSCAPE LIGHTING

**BSB060**  
**Straight Bullet**  
Architectural Aluminum

Fixture Ordering Guide

| Product Code | Finish               |
|--------------|----------------------|
| BSB060       | TB - Textured Black  |
|              | TZ - Textured Bronze |

Order Lamp Separately  
Example: BSB060-TZ-MR16ABA/827/LED



- Shroud:**
- Textured Black or Textured Bronze
  - UV resistant powder coat protects the finish from salt-spray induced corrosion
  - Brass slotted thumb screw for easy, tool-free lamp replacement

- Housing:**
- Architectural-grade die cast aluminum base, knuckle and shroud
  - Fully adjustable swivel arm with locking teeth maintains desired angles
  - Two silicone o-rings provide a low-friction, watertight seal
  - Gasketed knuckle to prevent water intrusion

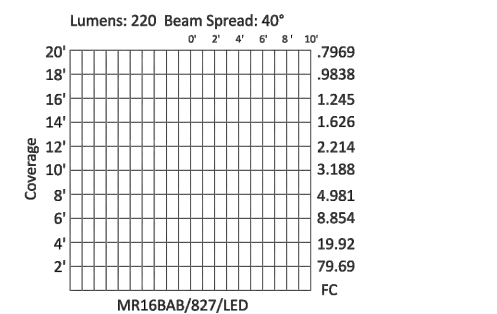
- Lens:**
- Shock and heat-resistant clear, tempered glass

- Socket:**
- Ceramic GU5.3 bi-pin socket
  - Stainless steel retention clip ensures secure lamp seating and protects the lamp from shock and vibration
  - Heat-resistant wire leads

- Lamp:**
- MR16 - 50W maximum
  - ProLED® MR16 lamps offer 40,000 hour rated life, 10-15V input voltage range, multiple beam spreads (flood, narrow flood, spot and wide flood) and 2700K, amber, blue, green, red and color changing options

- Mounting:**
- 8" black ground stake included
- Electrical:**
- 12 Volt system
  - Pre-wired with 36", 18-2 lead wire
  - Two King® DryConn™ waterproof connectors included
- Certifications:**
- ETL Listed to UL Standard 1838 and CSA C22.2 No. 250.7
- Fasteners:**
- All fasteners are corrosion-resistant stainless steel
- Warranty:**
- Backed by a 5-year limited warranty to be free from defects in material and/or workmanship
  - ProLED® MR16 lamps installed in Sollos fixtures per installation instructions are backed by a 20-year limited warranty

Photometrics:



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FIXTURE TYPE: 4

SPECIFICATIONS

**DESCRIPTION:**  
Compact LED recessed in-grade fixture with adjustable light source. Suitable for wet/damp location installations.

**MATERIAL:**  
Standard overall material is 6061 aluminum.

**FINISH:**  
AA - Anodized Satin Aluminum  
AP - Powder Coat Aluminum  
BK - Powder Coat Black  
BZ - Powder Coat Bronze  
WT - Powder Coat White

**LED OPTIONS:**  
Integral high output LED, warm white (3000K CCT) standard, others available.  
SLED - 3W LED  
BLED - 6W LED  
Options:  
SP - Spot, 12°  
NF - Narrow Flood, 24°  
FL - Flood, 36°

**VOLTAGE:**  
12 - 12 VAC output transformer required, not included.

**MOUNTING:**  
Suitable for installation into concrete, masonry, or any non-combustible material

**OPTIONS:**  
Lenses/Louvers/Color Filters  
LA-1 - Hexcell Louver (Black)  
LA-2 - Prismatic lens  
LA-3 - Linear spread lens  
LA-4 - Soft focus lens (diffused)  
LA-5 - Moonlight lens  
LA-6 - Blue lens

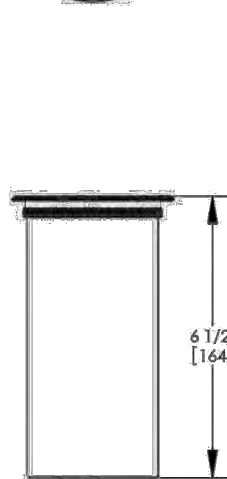
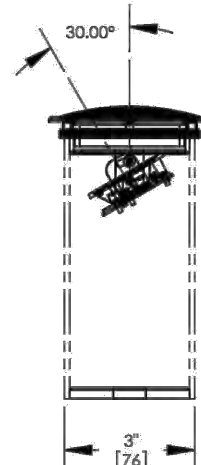
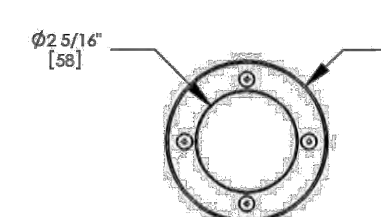
Other:  
LA-820 - Lens and lower holder  
Four housing  
HL-20PH - Aluminum  
See fixture accessories for more information.

**SAMPLE ORDER SPECIFICATION:**  
HL-822-SLED-NF-12-LA-LA-820-HL-20PH

**RATING:**  
Wet/damp location - IP67



MADE IN THE USA



|                      |   |        |         |         |                |
|----------------------|---|--------|---------|---------|----------------|
| ORDER SPECIFICATION: | Fixture   | Finish | Lamping | Voltage | Options/Access |
| PROJECT:             | HEVI LITE, INC.<br>9714 Varlei Ave, Chatsworth, CA 91311<br>Tel., (818) 341-8091 - Fax (818) 998-1988<br>Web Site <a href="http://www.hevillite.com">http://www.hevillite.com</a> |        |         |         |                |
| APPROVED:            | CATALOG NUMBER:<br><b>HL-822-LED</b>  |        |         |         |                |
| NOTE:                |   |        |         |         |                |
| TYPE:                |   |        |         |         |                |

FIXTURE TYPE: 5

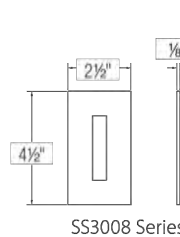
**LED Steplight**  
**2.5" Width**  
**Integral 120V Driver**

- Fixture**
- Cree XP-E LEDs
  - 2850K ±100K, 80 CRI, 120 lm
  - Integral 120V input driver
  - Diecast aluminum
  - UL /cUL Listed for wet location

- Finishes**
- BZ: Bronze
  - SM: Silver Metallic
  - WT: White

- Mounting**
- Fits in standard single-switch box; also available in a 2" x 3" handy box configuration
  - Step- and wall-mount applications

**SS3008 Series**  
**3W 120lm**



2.5" Width

- 1 - 2.5W Cree XP-E LEDs  
700mA, 2850K ±100K, 80 CRI, 120 lm  
Integral 120V input driver

- ☐ SS3008-BZ Bronze 2 9/16" x 4 9/16" x 1 1/2"

- ☐ SS3008-SM Silver Metallic 2 9/16" x 4 9/16" x 1 1/2"

- ☐ SS3008-WT White 2 9/16" x 4 9/16" x 1 1/2"

2" x 3" Handy Box Option

- Fixtures may be ordered to fit the handy box - add "2x3" to the end of the part number.

- ☐ SS3008-SM-2x3 Sample part number

Project \_\_\_\_\_  
Fixture Type \_\_\_\_\_  
Location \_\_\_\_\_  
Contact \_\_\_\_\_  
Phone \_\_\_\_\_



A Division of Troy CSL Lighting, Inc.  
SS3008-X2.0

14508 Nelson Avenue City of Industry, CA 91744 Tel: 626.336.4511 Fax: 626.330.4266 [www.cslighting.com](http://www.cslighting.com)  
COPYRIGHT © 2013 TROY CSL LIGHTING, INC.

FIXTURE TYPE: 6

ILLUMINATING THE FUTURE... SINCE 1989

Type \_\_\_\_\_  
Project \_\_\_\_\_  
Catalog No. \_\_\_\_\_  
Lamp/Wattage \_\_\_\_\_

**NH0ICD-2**  
**IC Air-Tight LED Housing for 2" IOLITE**

**PRODUCT DESCRIPTION**  
New construction housing for use in insulated ceilings can be in direct contact with thermal insulation. Rated for use with Iolite Series fixture

**CONSTRUCTION**  
Housing  
0.140" Aluminum shallow housing constructed of Aluminum with integral bar hangers

**Air Flow Restriction**  
Meets requirements of Air tight (AT) <2CFM (cubic feet per minute) in accordance with ASTM-283 Air-Tight requirements.

**Bar Hangers**  
Two 13-3/4" to 24-1/2" adjustable bar hangers with captive nails are included on housing. Bar hangers are parallel to junction box, but can be repositioned 90° perpendicular to junction box if desired. "L" Shaped bar hanger foot to align to bottom of construction joint. A T-Bar notch allows for easy installation in a suspended ceiling.

**Junction Box**  
Prewired SS cubic inch 0.064" thick galvanized steel, with seven 1/2" knockouts, four Romex® prewired, and snap on covers. All leads are #18AWG wire, the ground wire is connected to the bottom, and quick connectors are supplied on all leads. Through branch circuit wiring, (4-in, 4-out). Access above ceiling required.

**ELECTRICAL**  
Electronics  
Thermally protected, single tap input voltage available in 120V 60Hz.  
Operating Ambient Temperature: 122°F (50°C) Max.  
Power Factor: >0.90  
Amps: 300mA - 330mA, 350mA MAX  
Voltage: 120 or 277V as specified  
Wattage: 13-14W

**DIMMING**  
LED3 - 120V Triac dimmer  
LED4 - 120V 0-10V / 277V 0-10V dimmer

**Housings (Compatible with NIO-2 Series Trims)**  
NH0ICD-2BLBZ: 2" Iolite IC Air-Tight LED Dedicated Housing (120V Trac / ELV Dimming)  
NH0ICD-2BLBZ: 2" Iolite IC Air-Tight LED Dedicated Housing (120V Trac / ELV or 0-10V / 277V 0-10V Dimming)

Page 1 of 1

8009 Grayhart St., Commerce, CA 90040 | Phone: 800.988.6672 | FAX: 800.500.9855 [www.norahousing.com](http://www.norahousing.com) | e-mail: [norahousing@norahousing.com](mailto:norahousing@norahousing.com)  
Specifications subject to change without notice. © 2016

Source: LED

Labels and Listings  
cULus for Wet Location  
Meets or exceeds ASTM-283 Air-Tight Requirements  
Washington State and California Approved

5

4

3

2

1

| MARK | DATE | DESCRIPTION |
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PROJECT NO:

CAD DWG FILE:

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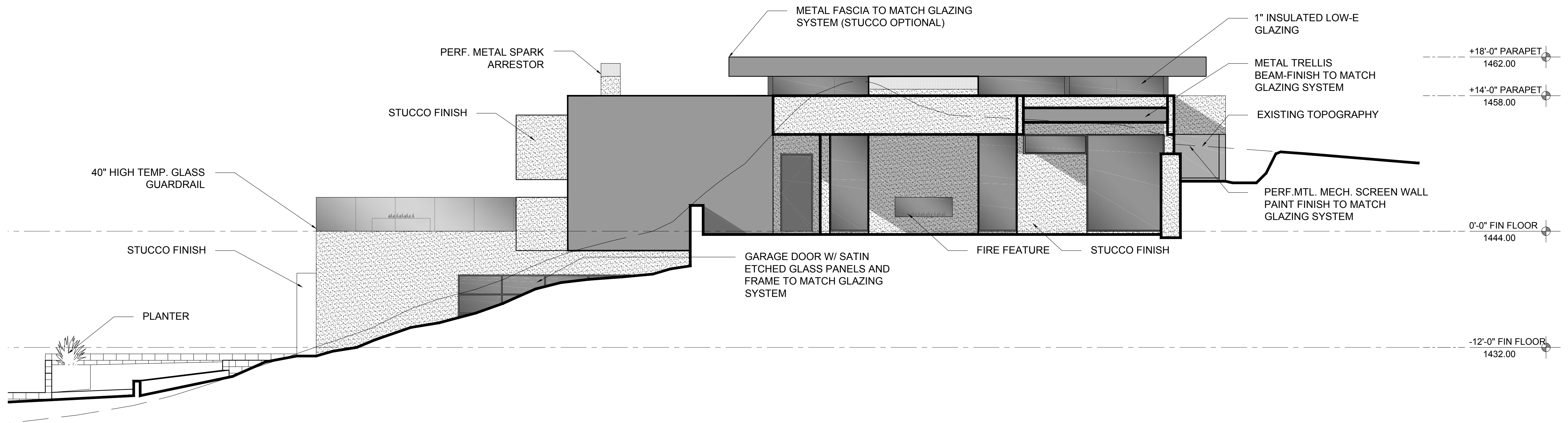
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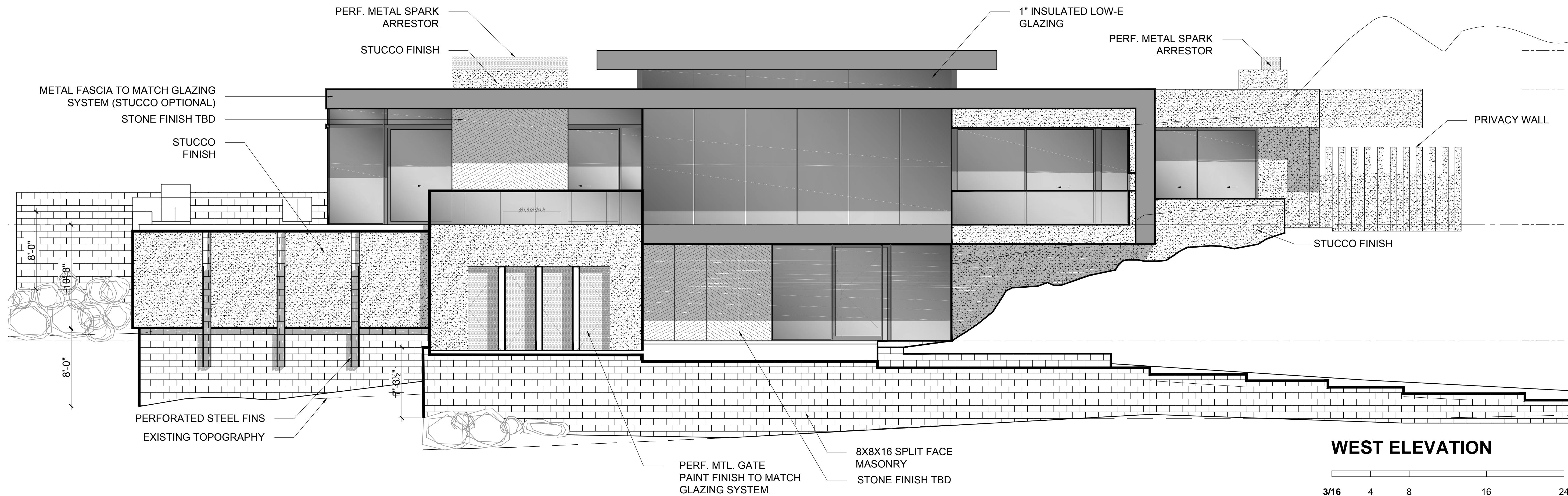
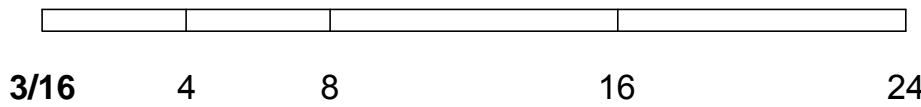
EXTERIOR  
BULIDING  
LIGHTING PLAN

A-3.0

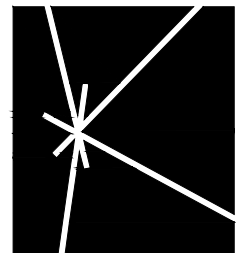
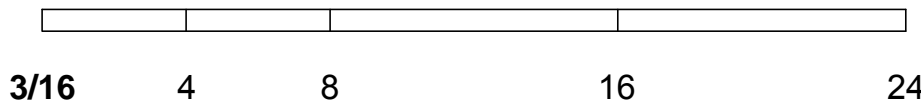




**SOUTH ELEVATION**



**WEST ELEVATION**



KENDLE DESIGN  
COLLABORATIVE

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KENDLEDESIGN.COM

**Scherr  
Residence**

5416 E. Desert Jewel Drive,  
Paradise Valley, AZ  
85253

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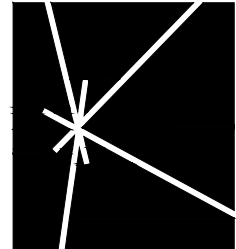
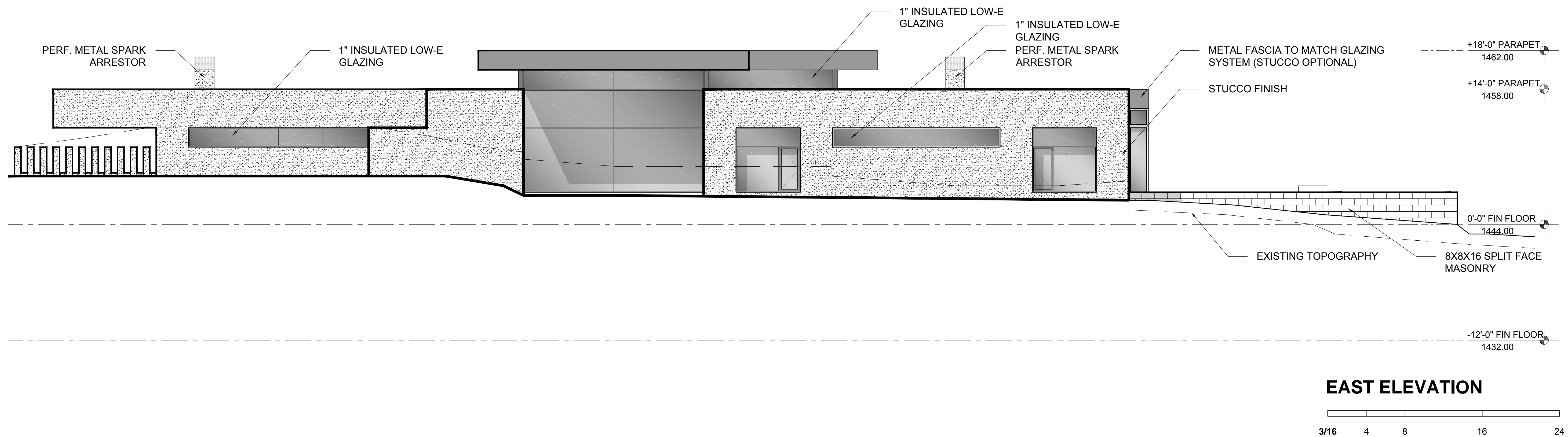
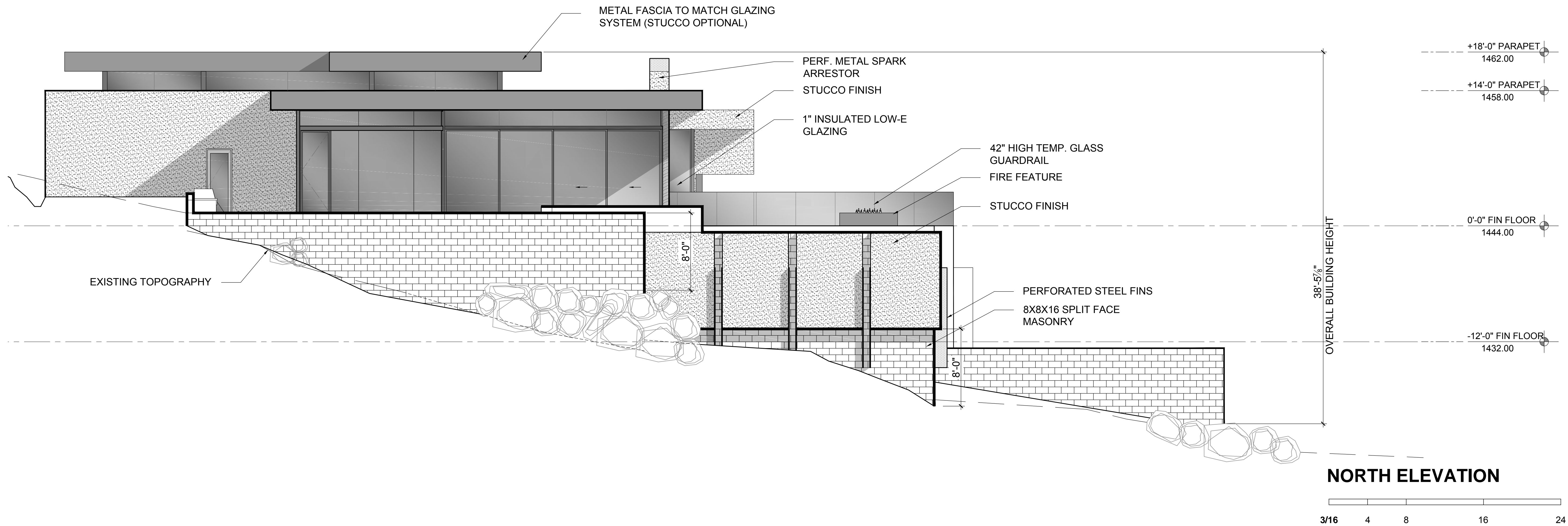
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**EXTERIOR  
ELEVATIONS**

**A-4.0**





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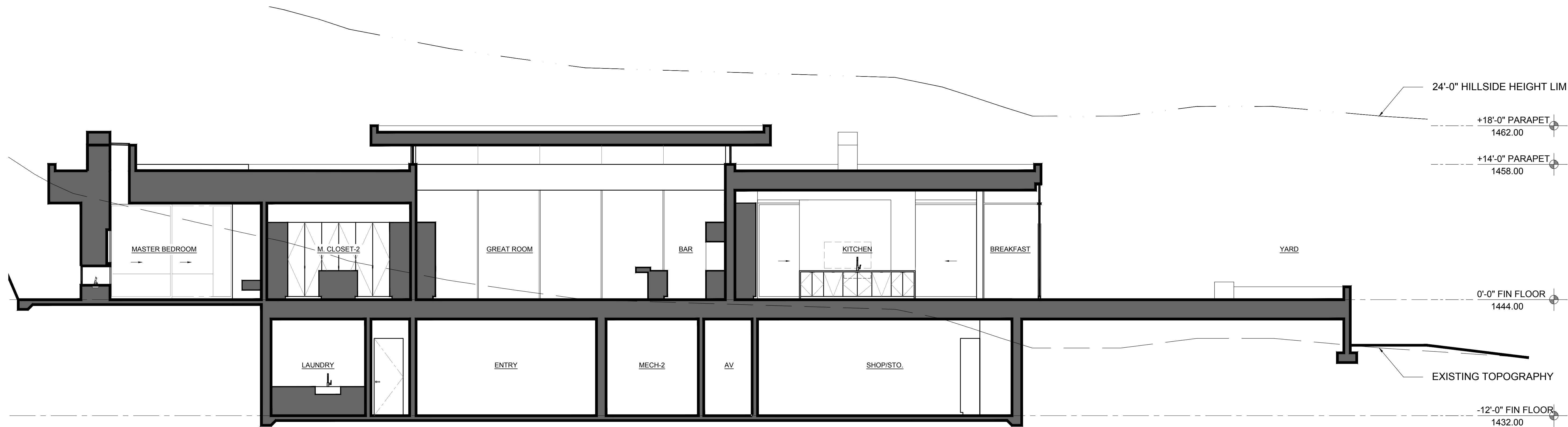
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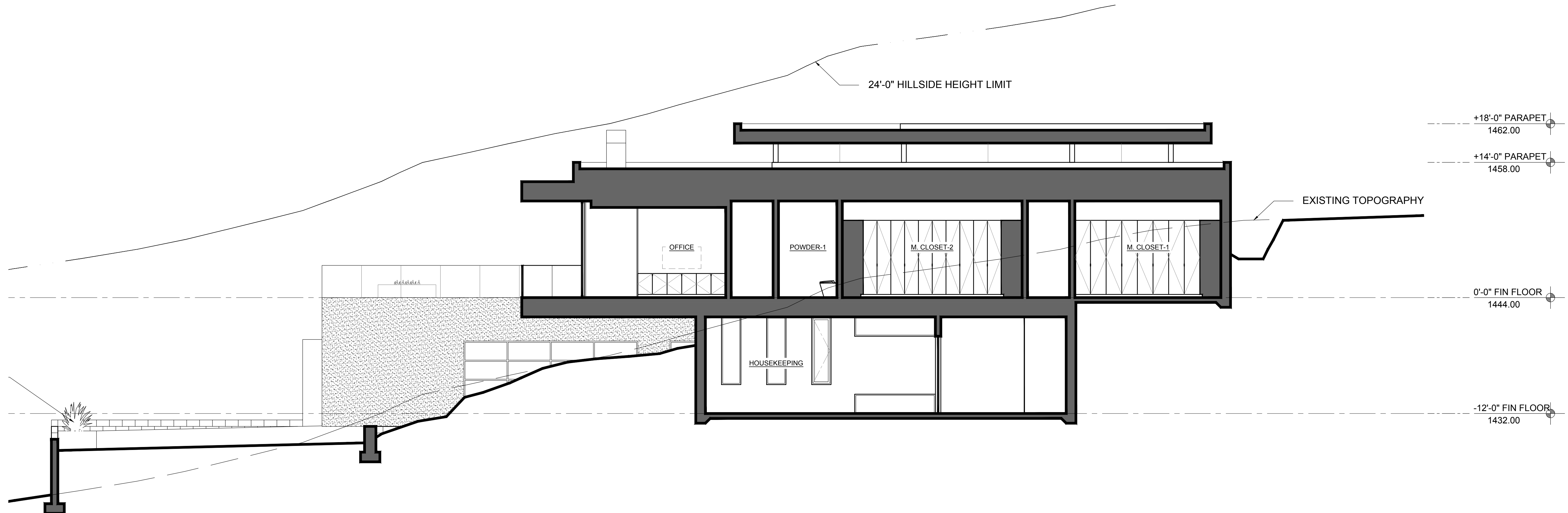
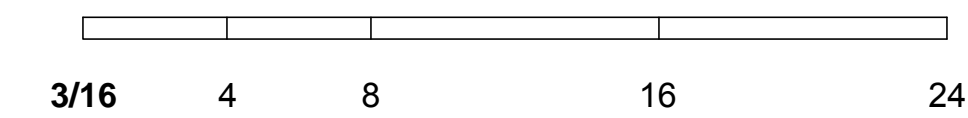
EXTERIOR  
ELEVATIONS

A-4.1

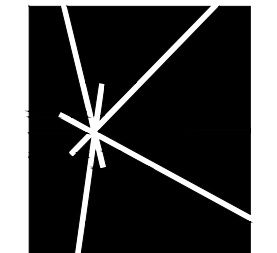
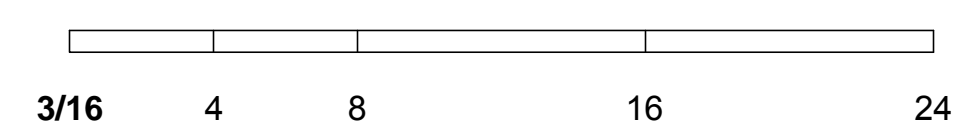




SECTION A



SECTION B



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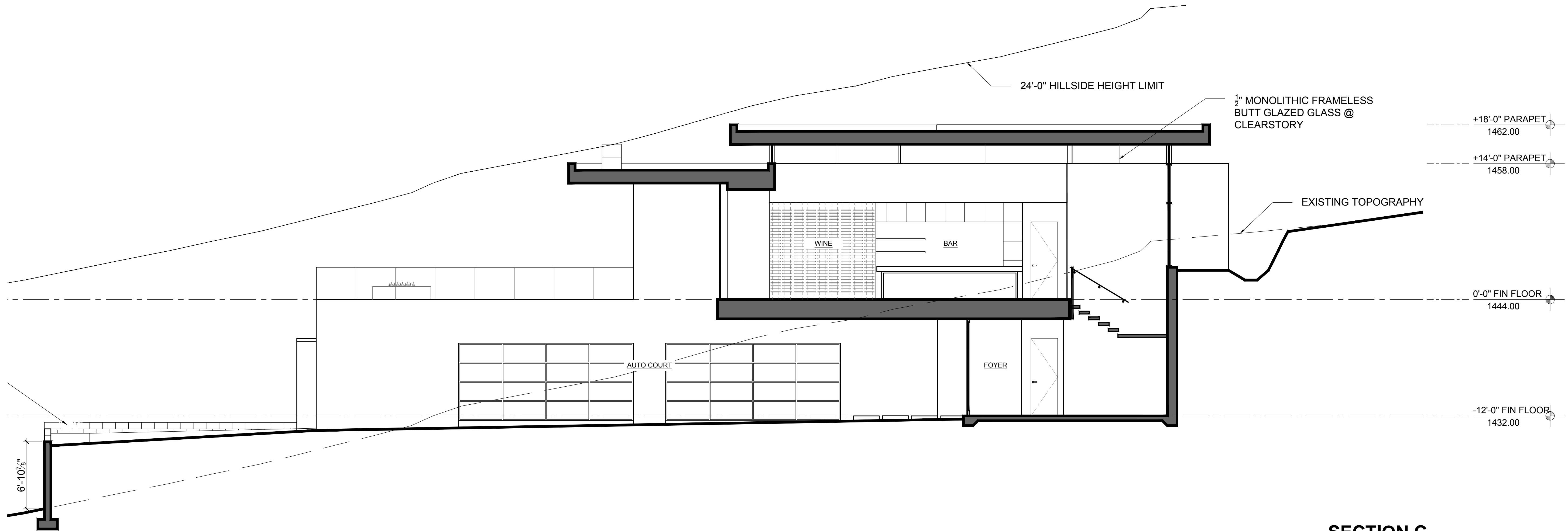
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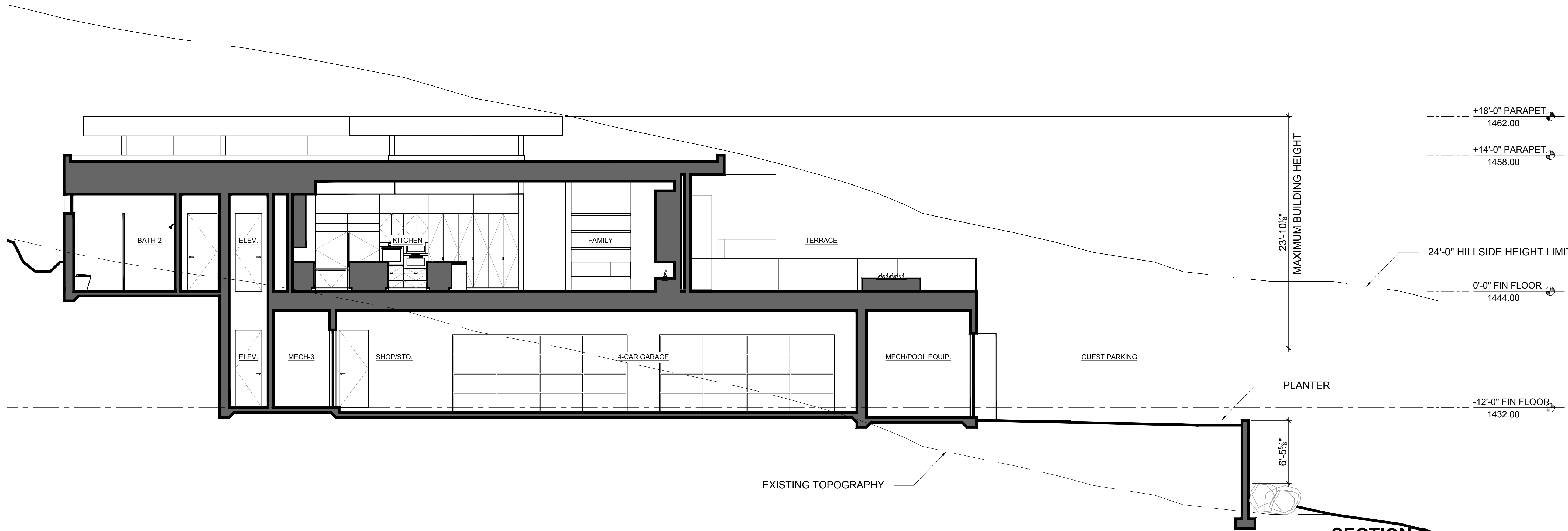
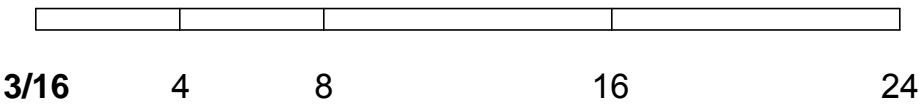
BUILDING  
SECTIONS

A-5.0

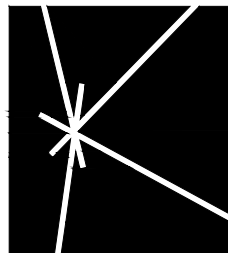
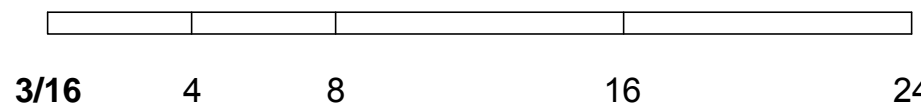




SECTION C



SECTION D



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SHEET TITLE:

## BUILDING SECTIONS

A-5.1





VIEW 1



VIEW 2



VIEW 3



VIEW 4



VIEW 5



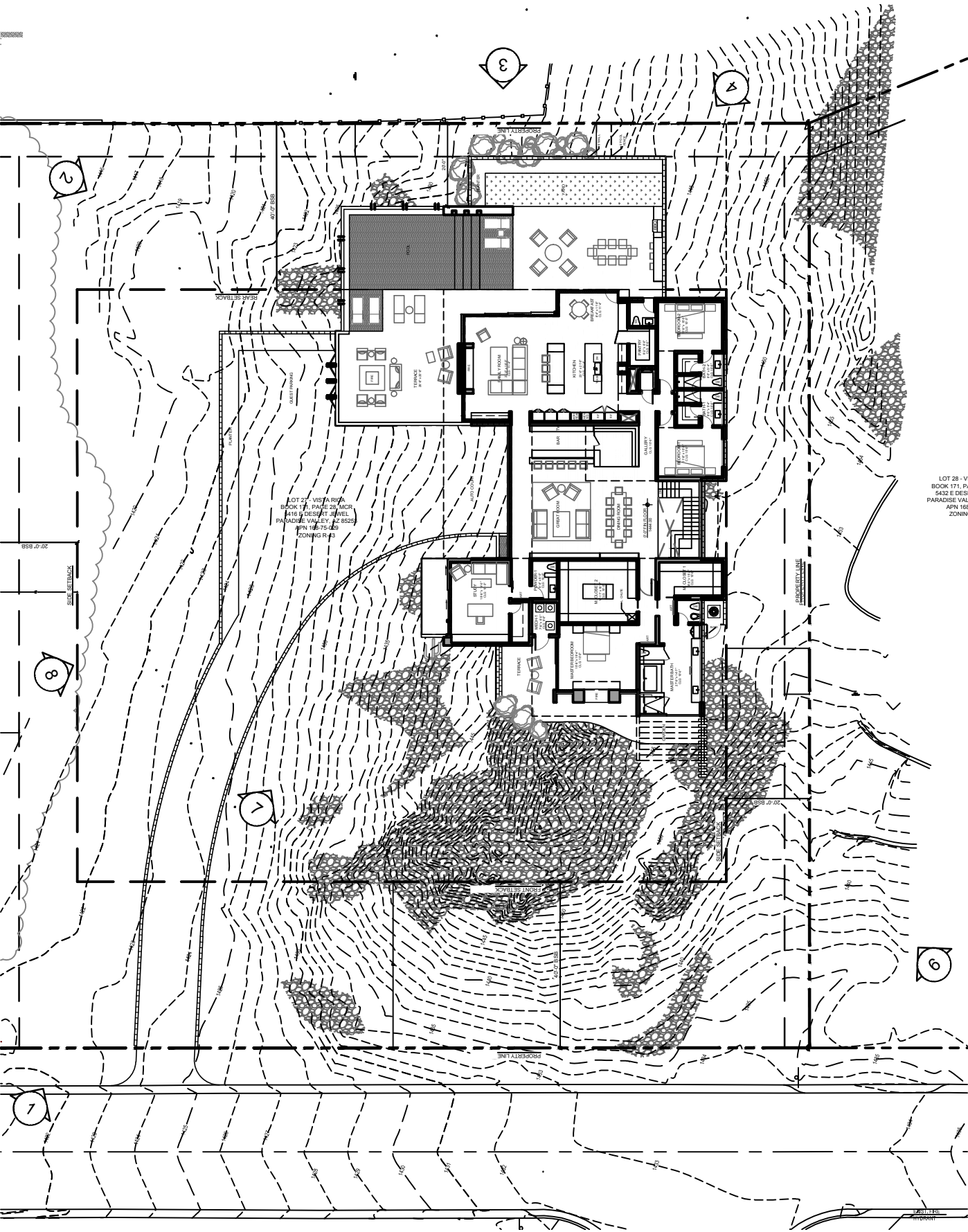
VIEW 6



VIEW 7

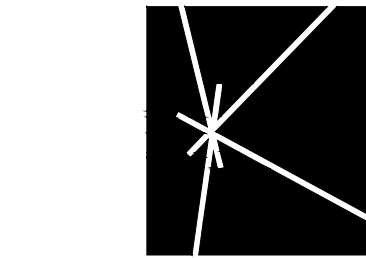
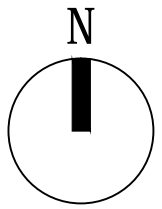


VIEW 8



KEY PLAN

1"=32' 32' 64' 128' 192'



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SHEET TITLE:

MASSING  
MODEL

A-6.0





**HARDSCAPE**  
TO MATCH INTERIOR: TBD

**GUARDRAIL**  
42" HIGH TEMP. GLASS, CLEAR



**METAL 1**  
TO MATCH WINDOW SYSTEM FINISH  
LRV: 2.5



**FLAT ROOF**  
DURO-LAST SINGLE PLY ROOF  
MEMBRANE. COLOR: DARK GREY  
LRV: 25



**PERMEABLE PAVERS**  
ACKER-STONE PALOMINO GRIND  
GROUND FACE  
LRV: 24



**SPLIT FACE CMU**  
Superlite Block, Integrally colored CMU  
Color: Monterey Stone  
LRV: 16.14



**STUCCO**  
SMOOTH SAND FINISH. MATCH BENJAMIN  
MOORE HC-166 KENDALL CHARCOAL  
LRV: 12.6



**STUCCO**  
SMOOTH SAND FINISH. MATCH BENJAMIN  
MOORE AF-675 FUSION  
LRV 36.3



**GARAGE DOORS**  
TRANSLUCENT PANELS W/ FRAME  
TO MATCH METAL 2



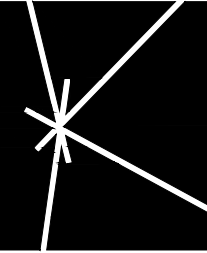
**STONE**  
TBD:  
LRV: TO NOT BE IN GREATER THEN  
38%



**METAL 2**  
TO MATCH WINDOW SYSTEM FINISH  
LRV: 2.5



**GLAZING**  
CLEAR, LOW-E INSULATED GLAZING  
IN DARK BRONZE ANODIZED FRAME



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SHEET TITLE:

EXTERIOR  
MATERIALS

A-7.0