1. THESE NOTES ARE TO BE USED FOR GENERAL REFERENCE IN CONJUNCTION WITH, AND AS A SUPPLEMENT TO THE WRITTEN SPECIFICATIONS, APPROVED ADDENDA, AND CHANGE ORDERS ASSOCIATED WITH THESE LANDSCAPE IMPROVEMENT DOCUMENTS.

2. A QUALIFIED SUPERVISOR SHALL BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION.

3. BEFORE WORK BEGINS ON THE PROJECT, THE LANDSCAPE AND GENERAL CONTRACTORS SHALL REVIEW THIS PROJECT WITH THE LANDSCAPE ARCHITECT/OWNER'S REPRESENTATIVE IN A PRECONSTRUCTION MEETING PRIOR TO STARTING WORK. THE LANDSCAPE ARCHITECT AND/OR OWNER IS TO APPROVE ANY CHANGES PRIOR TO THE START OF WORK. CONSTRUCTION SHALL NOT BEGIN WORK PRIOR TO THE PRECONSTRUCTION MEETING AND WRITTEN AUTHORIZATION TO PROCEED IS ISSUED BY THE OWNER

4. THE LANDSCAPE CONTRACTOR SHALL INSPECT WITH THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE AND/OR OWNER ALL EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK. THE CONTRACTOR SHALL REPAIR AND/OR REPLACE, AT THEIR OWN EXPENSE, ANY STRUCTURES, FENCES, WALLS, PLANT MATERIAL, OR OTHER ITEMS DESTROYED DURING CONSTRUCTION. LIKEWISE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AND/OR REPLACING ANY AND ALL DAMAGES TO ADJACENT PROPERTIES OR ANY OTHER AREA OUTSIDE THE CONTRACT LIMITS. THE DAMAGED ITEMS/AREAS WILL BE RESTORED TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE AND/OR OWNFR.

5. A PRE-GRADING INSPECTION IS REQUIRED BEFORE ANY GRADING WORK COMMENCES. ALL PROTECTED PLANTS ARE TO BE MOVED TO THE DESIGNATED NURSERY AREA AND THE LANDSCAPE ARCHITECT WILL BE CALLED FOR A PRE-GRADING INSPECTION.

6. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE AND TO CROSS-CHECK DETAILS AND DIMENSIONS SHOWN ON THE DRAWINGS WITH RELATED REQUIREMENTS ON THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND CIVIL DRAWINGS. CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS PRIOR TO STARTING WORK.

7. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL PLANT MATERIAL LOCATIONS WITH OTHER TRADES PRIOR TO INSTALLATION. THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE LOCATIONS OF EXISTING AND FUTURE UNDERGROUND PRIOR TO THE START OF WORK, ALL UNDERGROUND UTILITIES ARE TO BE LOCATED AND PROTECTED. SERVICES AND IMPROVEMENTS WHICH MAY CONFLICT WITH THE WORK TO BE DONE. CONTRACTOR IS RESPONSIBLE FOR THE INITIAL CALL AND FUTURE UPDATES TO BLUE STAKES AT (800) STAKE IT (800.782.5348) OUTSIDE OF MARICOPA COUNTY.

8. UNLESS OTHERWISE NOTED ON PLANS, DECOMPOSED GRANITE SHALL EXTEND UNDER SHRUBS AND BE RAKED UNIFORMLY ALONG WALKS, SIDEWALKS, AND CURBS.

9. LANDSCAPE CONTRACTOR SHALL PROVIDE BARRICADES AND TRAFFIC CONTROL ALONG PUBLIC STREETS IF REQUIRED DURING CONSTRUCTION.

10. IN ALL CASES WHERE A CONFLICT MAY OCCUR, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED AND WILL INTERPRET THE INTENT OF THE CONTRACT DOCUMENTS.

11. PRIOR TO THE COMMENCEMENT OF WORK, THE CONTRACTOR SHALL VERIFY LOCATIONS AND DEPTHS OF ALL UNDERGROUND UTILITIES THAT MAY BE AFFECTED BY CONSTRUCTION AND SHALL BE RESPONSIBLE FOR DAMAGES TO SUCH UTILITIES CAUSED AS A RESULT OF CONSTRUCTION.

12. CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL NECESSARY PERMITS AND SHALL NOTIFY ALL UTILITY COMPANIES WITH UTILITIES ON THE SITE PRIOR TO THE CONSTRUCTION OF THE PROJECT. CONTRACTOR SHALL ADHERE TO ALL APPLICABLE LOCAL, STATE AND FEDERAL LAWS OR REGULATION PERTAINING TO THE PROJECT.

13. ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO LOCAL CODES.

14. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONARY MEASURES TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES FROM DAMAGE THROUGHOUT CONSTRUCTION. 15. THE PROJECT 'LIMITS OF CONSTRUCTION' SHALL BE FENCED OFF FROM SURROUNDING NATIVE VEGETATION. FENCE

LOCATIONS TO BE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE.

16. ALL EXISTING VEGETATION, WEEDS, DEBRIS, ETC. SHALL BE REMOVED FROM THE PROJECT 'LIMITS OF CONSTRUCTION' AND PROPERLY DISPOSED OF OFFSITE AT THE CONTRACTOR'S EXPENSE.

17. IN NO CASE SHALL WORKING DIMENSIONS BE SCALED FROM PLANS, SECTIONS OR DETAILS ON THE DRAWINGS.

18. REFER TO SPECIFIC NOTES AND LANDSCAPE NOTES FOR ADDITIONAL REQUIREMENTS.

19. WHERE NO SPECIFIC DETAIL IS SHOWN, THE CONSTRUCTION SHALL BE IDENTICAL OR SIMILAR TO THAT INDICATED FOR LIKE CASES OF CONSTRUCTION ON THIS PROJECT.

20. CONTRACTOR SHALL REFERENCE CIVIL ENGINEERING DRAWINGS FOR GRADING AND DRAINAGE FLOWS AND SHALL BE RESPONSIBLE FOR MAINTAINING THESE FLOWS FREE OF OBSTRUCTIONS.

21. CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING ALL AREAS AT THE DIRECTION OF THE LANDSCAPE ARCHITECT AND/OR OWNER'S AUTHORIZED REPRESENTATIVE SO THAT ALL AREAS ARE SMOOTH AND APPEAR NATURAL.

22. INSTALLATION OF SLEEVES SHALL BE COMPLETE PRIOR TO THE START OF ANY CONCRETE WORK.

23. ALL AREAS TO BE DISTURBED BY CONSTRUCTION, INCLUDING ANY AREAS DISTURBED BEYOND WHAT IS SHOWN ON PLANS, SHALL BE REPLANTED AS INDICATED ON THESE PLANS OR TO EXISTING CONDITIONS AT START OF PROJECT. AT ALL TIMES THE PLANTS INSTALLED IN ALL AREAS ARE TO MATCH THE SURROUNDING AREA IN DENSITY AND PLANT TYPE.

24. CLARIFICATION OF DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND THE SITE SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE IMMEDIATELY.

25. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY QUANTITIES INCLUDING TREES, SHRUBS, GROUNDCOVERS DECOMPOSED GRANITE, MULCH AND OTHER ITEMS SHOWN ON THE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION OF MAJOR DISCREPANCIES. IN CASE OF DISCREPANCY BETWEEN THE NUMBER OF PLANTS INDICATED ON THE PLANT LIST, THE DRAWINGS SHALL GOVERN.

26. NO PLANT SUBSTITUTIONS, TYPE OR QUANTITY DEVIATION FROM THE APPROVED LANDSCAPE OR IRRIGATION PLANS WITHOUT PERMISSION FROM THE LANDSCAPE ARCHITECT OR CLIENT. PLANT MATERIALS SPECIFIED SHALL BE SUBJECT TO HAND SELECTION BY THE LANDSCAPE ARCHITECT AT THE NURSERY. LANDSCAPE ARCHITECT MAY OPT TO WAIVE THIS SELECTION PROCESS. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIAL DEEMED UNACCEPTABLE.

27. SUBSTITUTIONS SHALL NOT BE ALLOWED UNLESS AUTHORIZED IN WRITING BY THE LANDSCAPE ARCHITECT OR OWNER.

28. ALL R.O.W. PLANT MATERIAL TO BE IN COMPLIANCE WITH THE ARIZONA DEPARTMENT OF WATER RESOURCES LOW WATER USE PLANT LIST.

29. THE SUBCONTRACTOR SHALL MARK AND CONFIRM LOCATION OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION. CONFLICTS SHALL BE REPORTED TO THE LANDSCAPE DESIGNER FOR RESOLUTION. CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITY COVER, BOXES, LIDS AND MANHOLES IN AN EXPOSED CONDITION.

30. ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS SET FORTH IN THE AMERICAN STANDARDS OF NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND BY THE AMERICAN ASSOCIATION OF RECOMMENDED TREE SPECIFICATIONS.

31. LOCATE PLANTS AWAY FROM SPRINKLER HEADS, LIGHT FIXTURES AND OTHER OBSTRUCTIONS. 32. ALL PLANT MATERIAL MUST BE MAINTAINED IN HEALTH AND VIGOR, AND BE ALLOWED TO ATTAIN NATURAL SIZE AND SHAPE IN

ACCORDANCE WITH A.N.A. SPECIFICATIONS.

33. PLANT TREES AND SHRUBS PLUMB AND FACED TO GIVE THE BEST APPEARANCE OR RELATIONSHIP TO ADJACENT PLANTS, STRUCTURES, AND VIEWS.

34. ALL PLANTING AREAS SHALL RECEIVE WEED CONTROL/PRE-EMERGENT PER THE GUIDELINES SET FORTH WITHIN THE SPECIFICATIONS.

35. THE CONTRACTOR SHALL REQUEST INSPECTION OF PLANT LAYOUT IN THE FIELD BY THE LANDSCAPE DESIGNER A MINIMUM OF 48 HOURS IN ADVANCE FOR APPROVAL UNLESS OTHERWISE AGREED UPON.

36. WATER TEST ALL TREE PLANTING HOLES PRIOR TO PLANTING. IF TREE HOLE DOES NOT DRAIN WITHIN A 48 HOUR PERIOD, REFER TO HARDPAN DETAIL.

37. SEE DETAILS FOR PLANTING BACK FILL MIX.

38. ALL TOP SOIL MIXTURES FOR PLANTS SHALL BE FREE OF GRASS AND NOXIOUS WEEDS. SEE SECTION 795 OF THE M.A.G. SPECIFICATION.

39. PLANTING AND IRRIGATION DESIGN MAY BE MODIFIED TO ADAPT TO WALK CONFIGURATIONS THAT DIFFER FROM THESE PLANS OR BECAUSE OF GRADE LIMITATIONS ON SITE. CONTACT LANDSCAPE ARCHITECT FOR DIRECTION.

40. SHRUBS AND GROUNDCOVER SHALL BE PLANTED A MINIMUM OF 3' AWAY FROM THE EDGE OF WALKS, WALLS, BUILDINGS AND CURBS UNLESS OTHERWISE NOTED.

41. MAINTAIN 5' RADIUS CLEARANCE OF CACTI FROM ALL PEDESTRIAN ROUTES UNLESS OTHERWISE NOTED.

42. MAINTAIN 5' RADIUS CLEARANCE OF PLANT MATERIAL FROM ALL FIRE HYDRANTS AND/OR FIRE DEPARTMENT CONNECTIONS ON SITE.

43. SIGHT DISTANCE TRIANGLES SHALL BE CLEAR OF LANDSCAPING AND OTHER VISIBILITY OBSTRUCTIONS OVER 3' IN HEIGHT.

44. THE CONTRACTOR SHALL PROVIDE THE LANDSCAPE ARCHITECT WITH A LETTER CERTIFYING THE CHEMICAL, DATE AND RATE OF APPLICATION FOR BOTH WEED KILLER AND PRE-EMERGENT.

45. LANDSCAPE AREAS NOT OTHERWISE COVERED BY TURF, PAVING OR BUILDINGS SHALL BE DECOMPOSED GRANITE -2" DEPTH UNLESS OTHERWISE NOTED. FINISH GRADE SHALL BE 2" BELOW ADJACENT PAVEMENT PRIOR TO INSTALLATION OF D.G. DIFFERENCE BETWEEN TOP OF PAVED AREAS AND/OR TURF SHALL BE 1/2". LANDSCAPE CONTRACTOR TO SUBMIT 5 LB SAMPLE BAGS OF DECOMPOSED GRANITE TO LANDSCAPE ARCHITECT FOR APPROVAL.

46. NO PRE-EMERGENT SHALL BE APPLIED TO AREAS RECEIVING SEED MIX.

47. AREAS OF DECOMPOSED GRANITE SHALL NOT EXCEED MORE THAN 7 FEET IN ANY DIRECTION WITHOUT PLANT MATERIAL UNLESS OTHERWISE NOTED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.

48. ALL DEBRIS OF 1" DIAMETER SIZE OR LARGER SHALL BE REMOVED FROM THE SITE AND PROPERLY DISPOSED OF PRIOR TO THE PLACEMENT OF DECOMPOSED GRANITE - WITH THE EXCEPTION OF ANY AREAS RECEIVING LARGER SIZE COBBLE. SEE PLANS FOR LOCATIONS. RETAIN FOR RE-USE ANY UNEARTHED BOULDERS.

49. ALL REVEGETATED PLANTING AREAS AND ANY DISTURBED AREA, INCLUDING ALL SEED MIX AREAS SHALL RECEIVE A FINE GRADE OF NATIVE SOIL AND COBBLE TO REPRESENT THE 'NATIVE TOPDRESS' ADJACENT TO THE PROJECT - REFER TO PLANTING DETAILS. FINAL PRODUCT SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.

50. GROUNDCOVER, DECOMPOSED GRANITE AND/OR NATIVE TOPDRESS SHALL EXTEND UNDER SHRUBS UNLESS OTHERWISE NOTED ON PLANS.

51. ALL TREES SHALL BE INSTALLED PRIOR TO INSTALLATION OF RIP-RAP.

52. SEE ELECTRICAL AND/OR LOW VOLTAGE LIGHTING PLANS FOR LOCATIONS OF LIGHTING AND ELECTRICAL ITEMS.

53. ALL NEW PLANTING SHALL BE INSTALLED SO AS TO MATCH THE EXISTING NATIVE SPECIES AND DENSITIES ADJACENT TO THE AREA OF REVEGETATION - NOT USED.

54. PROTECTED MATERIAL SALVAGED FROM SITE THAT DOES NOT SURVIVE THE SALVAGE PROCESS, OR DIES WITHIN THE FIRST TWO YEARS AFTER TRANSPLANT, SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR IN LIKE KIND AND SIZE. 55. FINAL LOCATION OF ALL SALVAGE TREES SUBJECT TO LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. SALVAGE TREE DESIGNATIONS/LOCATIONS MAY BE ADJUSTED BASED ON SALVAGE MATERIAL CONDITION AFTER SALVAGE PROCESS IS COMPLETE.

56. FINISH GRADE IN ALL AREAS SHALL BE SMOOTH, EVEN AND 1/2" BELOW TOP OF CURBS, PAVING AND ADJACENT WALKS.

57. WHEN BOXED TREES ARE INSTALLED, THE BOTTOM OF THE TREE BOXES SHALL NOT BE REMOVED UPON PLANTING. THE SOIL LINE OF THE PLANTED TREE SHALL MATCH THE SURROUNDING FINISH GRADE. ACID ETCH AS REQUIRED IMPERVIOUS SOILS AT TREE LOCATIONS TO ENSURE PLANT HEALTH

58. A TEMPORARY NURSERY LOCATION SHALL BE ESTABLISHED ON SITE OR OFF-SITE FOR SALVAGE MATERIALS, CONTRACTOR SHALL PROVIDE TEMPORARY IRRIGATION TO SALVAGED MATERIAL IN NURSERY.

59. NEW LANDSCAPING, SALVAGED PLANT MATERIAL AND LANDSCAPING INDICATED TO REMAIN WHICH IS DESTROYED, DAMAGED OR EXPIRES DURING CONSTRUCTION SHALL BE REPLACED WITH LIKE SIZE, KIND AND QUANTITY PRIOR TO THE ACCEPTANCE OF THE WORK AND FINAL PAYMENT.

60. THE LANDSCAPE CONTRACTOR SHALL PROVIDE A (1) YEAR WARRANTY ON THE IRRIGATION SYSTEM, A (1) YEAR WARRANTY ON ALL TREES, CACTI AND PLANT MATERIAL.

61. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE ENTIRE PROJECT FOR A MAINTENANCE PERIOD OF 90 DAYS AFTER ACCEPTANCE OF WORK BY THE OWNER. UPON COMPLETION OF THE MAINTENANCE PERIOD THE OWNER WILL ASSUME MAINTENANCE RESPONSIBILITIES.

62. WHERE RIP-RAP IS REQUIRED AND THE SLOPE WILL HOLD IT, AN APPROVED PLANTING SOIL SHALL BE ADDED ON TOP OF THE RIP-RAP A MINIMUM OF EIGHT INCHES IN DEPTH. THE PLANTING DENSITIES IN THESE AREAS SHALL BE CONSISTENT WITH ALL OTHER AREAS AND THE ORDINANCE.

63. ALL RIP-RAP SHALL BE SALVAGED FROM SITE OR A COLOR CONSISTENT WITH ROCK FOUND ON SITE. RIVER ROCK SHALL NOT BE ALLOWED, UNLESS OTHERWISE NOTED.

64. ALL IRRIGATION LINES SHALL BE INSTALLED AND PRESSURE TESTED PRIOR TO THE INSTALLATION OF RIP-RAP.

65. COBBLE SHALL BE INSTALLED IN THOSE AREAS DEEMED APPROPRIATE BY THE CIVIL ENGINEER.

66. PLANTING AREAS SHALL BE WATERED WITH AN AUTOMATIC DRIP IRRIGATION SYSTEM.

67. ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS SET FORTH IN THE AMERICAN STANDARDS OF NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND BY THE AMERICAN ASSOCIATION OF RECOMMENDED TREE SPECIFICATIONS.

68. ALL AREAS TO BE DISTURBED BY CONSTRUCTION, INCLUDING ANY AREAS DISTURBED BEYOND WHAT IS SHOWN ON PLANS, SHALL BE REPLANTED AS INDICATED ON THESE PLANS. AT ALL TIMES THE PLANTS INSTALLED IN ALL AREAS ARE TO MATCH THE SURROUNDING AREA IN DENSITY AND PLANT TYPE.

69. PLANTING AREAS SHALL BE WATERED WITH AN AUTOMATIC DRIP IRRIGATION SYSTEM.

70. THE SUBCONTRACTOR SHALL MARK AND CONFIRM LOCATION OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION. CONFLICTS SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT FOR RESOLUTION. CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITY COVER, BOXES, LIDS AND MANHOLES IN AN EXPOSED CONDITION.

GENERAL HILLSIDE NOTES

1. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL ALL HILLSIDE STIPULATIONS AND ALL TOWN CODE REQUIREMENTS ARE COMPLIED INCLUDING, BUT NOT LIMITED TO LANDSCAPING, GROUND RESTORATION, FIRE FLOW, FIRE SAFETY AND ALL ONSITE AND OFFSITE IMPROVEMENTS.

- DISTURBED ARE TO BE REPAIRED TO APPEAR AS ORIGINAL GROUND AND TO BE COLOR TREATED AND REPLANTED.
- 9. PROVIDE WATER PRESSURE TO MEET P.V. FIRE SAFETY STANDARDS (1500GPM).
- 10. SEE LANDSCAPE PLAN FOR NATIVE PLANT INVENTORY AND DISPOSITION.

ENGINEERS NOTES

1. A THOROUGH ATTEMPT HAS BEEN MADE TO SHOW THE LOCATIONS OF ALL UNDERGROUND OBSTRUCTIONS AND UTILITY LINES IN THE WORK AREA. HOWEVER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO OBSTRUCTIONS AND UTILITY LINES ENCOUNTERED DURING CONSTRUCTION AND SHALL DETERMINE THE EXACT LOCATION OF UTILITIES IN THE AREA IN ADVANCE OF TRENCHING.

- OR RELATIVE.

- DOCUMENTS.
- SEE LANDSCAPE PLANS FOR TOP OF RETAINING WALL ELEVATIONS.

8. SEE LANDSCAPE PLANS FOR POOL BARRIER DESIGN, NOTES, AND DETAILS.

DESIGN.

2. ALL OUTDOOR LIGHTING SHALL BE IN CONFORMANCE WITH ARTICLE XXII OF THE TOWN ZONING ORDINANCE.

3. ALL EXCESS FILL MATERIAL SHALL BE REMOVED FROM THE SITE WITH NO NEW SPILL SLOPES.

4. THE USE OF HYDRAULIC RAM HAMMERS, OR OTHER HEAVY EQUIPMENT USED TO CUT THROUGH ROCK, INCLUDING MACHINERY WITH AUDIBLE HOURS OF 7:00AM OR SUNRISE, WHICHEVER IS LATERAND 6:00PM OR SUNSET, WHICHEVER IS EARLIER, MONDAY THROUGH FRIDAY, WITH LIMITED WORK ON SATURDAY AND NO WORK ON SUNDAY OR LEGAL HOLIDAYS.

CONSTRUCTION STAKING AND/OR FENCING SHALL BE PLACED AROUND THE CONSTRUCTION SITE SO AS TO PROTECT THE UNDISTURBED NATURAL AREAS.CONSTRUCTION FENCE SHALL BE 6' HIGH CHAIN LINK FENCE. CONSTRUCTION FENCE HAS BEEN INSTALLED. FENCE TO BE APPROVED BY TOWN ENGINEER PRIOR TO ANY CONSTRUCTION ON THIS SITE.

CONSTRUCTION BASE AND SURFACE MATERIAL PER ARCHITECT SPECIFICATIONS (SEE BUILDING PLANS).

7. EXCAVATION AND BACKFILL BENEATH THE BUILDING PAD SHALL CONFORM TO M.A.G. SPECIFICATIONS SECTION 206.

8. SEWER TRENCH, WATER TRENCH, AND AREAS ADJACENT TO CUT SLOPES, BUILDINGS, CURBS AND WALLS NOT SHOWN AS

11. ALL CUT AND SPILL SLOPES TO BE TREATED WITH AN AGING AGENT AND/OR SEED MIX.

2. PRIOR TO BIDDING THE WORK, THE CONTRACTOR SHALL THOROUGHLY FAMILIARIZE TO THE ACTUAL CONDITIONS. EARTHWORK QUANTITIES, AND REQUIREMENTS OF WORK AND EXCESS OR DEFICIENCY IN EARTHWORK QUANTITIES, IF ANY. NO CLAIM SHALL BE MADE AGAINST THE OWNER/DEVELOPER OR ENGINEER FOR ANY EXCESS OR DEFICIENCY THEREIN, ACTUAL

3. THE ENGINEER MAKES NO REPRESENTATION OR GUARANTEE REGARDING EARTHWORK QUANTITIES OR THAT THE EARTHWORK FOR THIS PROJECT WILL BALANCE DUE TO THE VARYING FIELD CONDITIONS, CHANGING SOIL TYPES, ALLOWABLE CONSTRUCTION TOLERANCES AND CONSTRUCTION METHODS THAT ARE BEYOND THE CONTROL OF THE ENGINEER.

4. NOTHING CONTAINED IN TEH CONTRACT DOCUMENTS SHALL CREATE, NOR SHALL BE CONSTRUED TO CREATE, ANY CONTRACTUAL RELATIONSHIP BETWEEN THE ENGINEER AND THE CONTRACTOR OR ANY SUBCONTRACTOR.

THE ENGINEER WILL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OR FOR SAFETY PRECAUTIONS OR PROGRAMS UTILIZED IN CONNECTION WITH THE WORK, AND HE WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT

6. CONTRACTOR TO FIELD VERIFY EXISITING SEWER MANHOLE LOCATIONS AND INVERTS PRIOR TO BEGINNING CONSTRUCTION AND IMMEDIATELY NOTIFY ENGINEER OF ANY DISCREPANCY.

9. ALL PROPOSED CUT SLOPES TO BE VERIFIED AND APPROVED BY THE OWNERS GEOTECHNICAL ENGINEER PRIOR TO BEGINNING CONSTRUCTION. CIVIL ENGINEER IS NOT RESPONSIBLE FOR TESTING OR VERIFYING CUT SLOPE STABILITY OR

PLANT LEGEND		
SYM	BOTANICAL NAME	

(MM)

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	COMMON NAME	SIZE	QTY	NOTES (H X W X CAL.)
	TREES			
)	EXISTING TREE	-	-	PROTECT-IN-PLACE
,	BAUHINIA LUNARIODES WHITE ORCHID TREE	36" BOX	1	MULTI-TRUNK
2	CERCIDIUM MICROPHYLLUM FOOTHILLS PALO VERDE	54" BOX 48" BOX	1 7	MULTI-TRUNK DESERT SALVAGED
, ,	SHRUBS ENCELIA FARINOSA BRITTLEBUSH	1 GAL	32	CAN FULL
	JUSTICIA CALIFORNICA CHUPAROSA	5 GAL	35	CAN FULL
	LARREA TRIDENTATA CREOSOTE	5 GAL	21	CAN FULL
	MUHLENBERGIA DUBIA PINE MUHLY	1 GAL	13	CAN FULL
	ACCENTS			
	SALVAGE CACTI	-	3	REFER TO SALVAGE PLAN
	AGAVE ATTENUATA 'BLUE FLAME BLUE FLAME AGAVE	'5 GAL	11	CAN FULL
	AGAVE PARRYII PARRY'S AGAVE	5 GAL	7	CAN FULL
	AGAVE WEBERI 'ARIZONA STAR' VARIEGATED WEBER AGAVE	5 GAL	2	CAN FULL
	ALOE BARBADENSIS 'YELLOW' YELLOW ALOE	5 GAL	20	CAN FULL
	ALOE X 'BLUE ELF' BLUE ELF ALOE	5 GAL	30	CAN FULL
	ALOE DAWEI DAWE'S ALOE	5 GAL	10	CAN FULL
	CYCAS REVOLUTA SAGO PALM	24 GAL	19	CAN FULL
	DASYLIRION WHEELERI DESERT SPOON	15 GAL	27	CAN FULL
	EUPHORBIA MILII CROWN OF THRONES	15 GAL	6	CAN FULL
	EUPHORBIA RESINIFERA MOROCCAN MOUND	24 GAL	38	CAN FULL
	FOUQUIERA SPLENDENS OCOTILLO	24" BOX	8	7 WHIP MIN
	MANFREDA MACULOSA TEXAS TUBEROSE	15 GAL	16	CAN FULL
	OPUNTIA ENGELMANNII ENGELMANN'S PRICKLY PEAR	15 GAL	21	5 PAD MIN.
	OPUNTIA MICRODASYS BUNNY EARS PRICKLY PEAR	15 GAL	15	5 PAD MIN.
	YUCCA PALLIDA PALE LEAF YUCCA	5 GAL	28	CAN FULL
	VINES PARTHENOCISSUS SP. HACIENDA CREEPER	5 GAL	11	CAN FULL

QTY NOTES

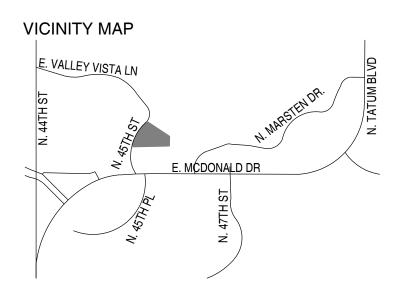
SIZE



DESERT PAVEMENT TOP DRESSING @ 2" DEPTH. COLOR: SALVAGED & STOCKPILED FROM SITE

SALVAGED LAVA ROCK TOPDRESSING

HYDROSEED MIX. SONORAN DESERT NATIVE WILDFLOWER MIX. 1#/2000 SQ. FT. WILDSEED / 602.276.3536



SHEET	INDEX
L0.0	COVER SHEET
L0.1	EXISTING SITE
L0.2	EXISTING SITE PHOTOS
L0.3	INVENTORY/SALVAGE PLAN
L1.0	HILLSIDE DISTURBANCE
L1.1	PROPOSED SITE PLAN w/ AERIAI
L1.2	DEMO PLAN
L1.3	HARDSCAPE PLAN
L1.4	DIMENSION PLAN
L2.0	MODEL VIEWS
L3.0	HARDSCAPE DETAILS
L4.0	LANDSCAPE PLAN
L5.0	LANDSCAPE DETAILS
L6.0	LIGHTING PLAN

BOTANIC	PE INVENTORY	-	AGE, OR DEMO	PROJECT INFORMATION OWNER
		FOOTHILLS PALO VERDE	PIP	CHRIS THOMPSON
		FOOTHILLS PALO VERDE	PIP	6031 N 45TH ST
		FOOTHILLS PALO VERDE	PIP	PARADISE VALLEY, AZ 85253
		FOOTHILLS PALO VERDE	PIP	FARADISE VALLET, AZ 05255
		FOOTHILLS PALO VERDE	PIP	LANDSCAPE ARCHITECT
		FOOTHILLS PALO VERDE	PIP	COLWELL SHELOR LANDSCAPE ARCHITECTURE
		FOOTHILLS PALO VERDE	PIP	4450 N. 12TH STREET SUITE 104
		FOOTHILLS PALO VERDE	PIP	PHOENIX, AZ 85014
		FOOTHILLS PALO VERDE	PIP	LEGAL DESCRIPTION
		FOOTHILLS PALO VERDE	PIP	LOT 5, CAMELHEAD VISTA TWO, ACCORDING TO
		FOOTHILLS PALO VERDE	PIP	THE PLAT OF RECORD IN THE OFFICE OF THE C
		FOOTHILLS PALO VERDE	PIP	RECORDER OF MARICOPA COUNTY, ARIZONA, F
	IM MICROPHYLLA	FOOTHILLS PALO VERDE	PIP	IN BOOK 78 OF MAPS, PAGE 24.
	M MICROPHYLLA	FOOTHILLS PALO VERDE	DEMO	ZONING
	IM MICROPHYLLA	FOOTHILLS PALO VERDE	PIP	R-43, HILLSIDE
	IM MICROPHYLLA	FOOTHILLS PALO VERDE	PIP	H-40, HILLOIDL
CERCIDIL	IM MICROPHYLLA	FOOTHILLS PALO VERDE	PIP	ASSESOR PARCEL NUMBER
WASHING	ITONIA FILIFERA	CALIFORNIA FAN PALM	DEMO	169-50-005
WASHING	ITONIA FILIFERA	CALIFORNIA FAN PALM	DEMO	
PHOENIX	CANARIENSIS	CANARY ISLAND DATE PALM	S	
CYCAS RI	EVOLUTA	SAGO PALM (CLUSTER)	S	6031 N 45TH STREET
WASHING	ITONIA FILIFERA	CALIFORNIA FAN PALM	DEMO	PARADISE VALLEY, AZ 85253
WASHING	ITONIA FILIFERA	CALIFORNIA FAN PALM	DEMO	BENCHMARK
WASHING	TONIA FILIFERA	CALIFORNIA FAN PALM	DEMO	BRASS CAP IN HANDHOLE AT THE INTERSECTION
PACHYCE	REUS SCHOTTI	SENITA	S	McDONALD
ALOE MA	CULATA	SOAP ALOE	DEMO	DRIVE AND 44TH STREET. GDACS PAINT NO. 24
HESPERA	LOE PARVIFLORA	YELLOW HESPERALOE	DEMO	ELEVATION = 1312.266 FEET (TOWN OF PARADIS
	RIA SPLENDENS	OCOTILLO	S	NAVD 88 DATUM).
	RIDENTATA	CREOSOTE	PIP	
	RIDENTATA	CREOSOTE	PIP	LOT AREA
	RIDENTATA	CREOSOTE	PIP	53,047 SQ. FT. = 1.22 ACRES
	RIDENTATA	CREOSOTE	PIP	
	RIDENTATA	CREOSOTE	PIP	QUANTITIES CUT0 C.Y.
	RIDENTATA	CREOSOTE	PIP	
	RIDENTATA	CREOSOTE	PIP	FILL
	RIDENTATA	CREOSOTE	PIP	NET
	RIDENTATA	CREOSOTE	PIP	HILLSIDE ASSURANCE @ \$25.00 PER
	RIDENTATA	CREOSOTE	PIP	CUBIC YARD = \$190,350.00
			PIP	
	RIDENTATA RIDENTATA	CREOSOTE CREOSOTE	PIP	
	RIDENTATA	CREOSOTE	PIP	
		CREOSOTE	PIP	
	RIDENTATA	CREOSOTE	PIP	
	RIDENTATA	CREOSOTE	PIP	
	RIDENTATA	CREOSOTE	PIP	
	RIDENTATA	CREOSOTE	PIP	
LARREA T	RIDENTATA	CREOSOTE	PIP	
LARREA T	RIDENTATA	CREOSOTE	PIP	
LARREA 1	RIDENTATA	CREOSOTE	PIP	
LEUCOPH	YLLUM FRUTESCENS	TEXAS RANGER	DEMO	
	YLLUM FRUTESCENS	TEXAS RANGER	DEMO	
	YLLUM FRUTESCENS	TEXAS RANGER	DEMO	
	YLLUM FRUTESCENS	TEXAS RANGER	DEMO	
	YLLUM FRUTESCENS	TEXAS RANGER	DEMO	
	IM MICROPHYLLA	FOOTHILLS PALO VERDE	DEMO	

PROJECT NARRATIVE

THIS SUBMITTAL INCLUDES LANDSCAPE IMPROVEMENTS FOR THE REAR YARD OF THIS CUSTOM SINGLE FAMILY HOME. THE IMPROVEMENTS INCLUDE A NEW POOL & PATIO, A CUSTOM FIREPLACE, A PERFORATED SCREEN WALL AND LANDSCAPING. PART OF THE EXISTING 6'H SITE WALL FENCE WILL BE REPLACED WITH A STEEL PANEL VIEW FENCE.

\bigcirc Ш \square ົວ Ш С Ζ Ο ဟ Ω C FOR HILLSIDE REVIEW

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AZ 219

 $\circ \times$

REVISIONS

CALL TWO WORKING DAYS

602-263-1100

OUTSIDE MARICOPA COUNT

1-800-STAKE IT

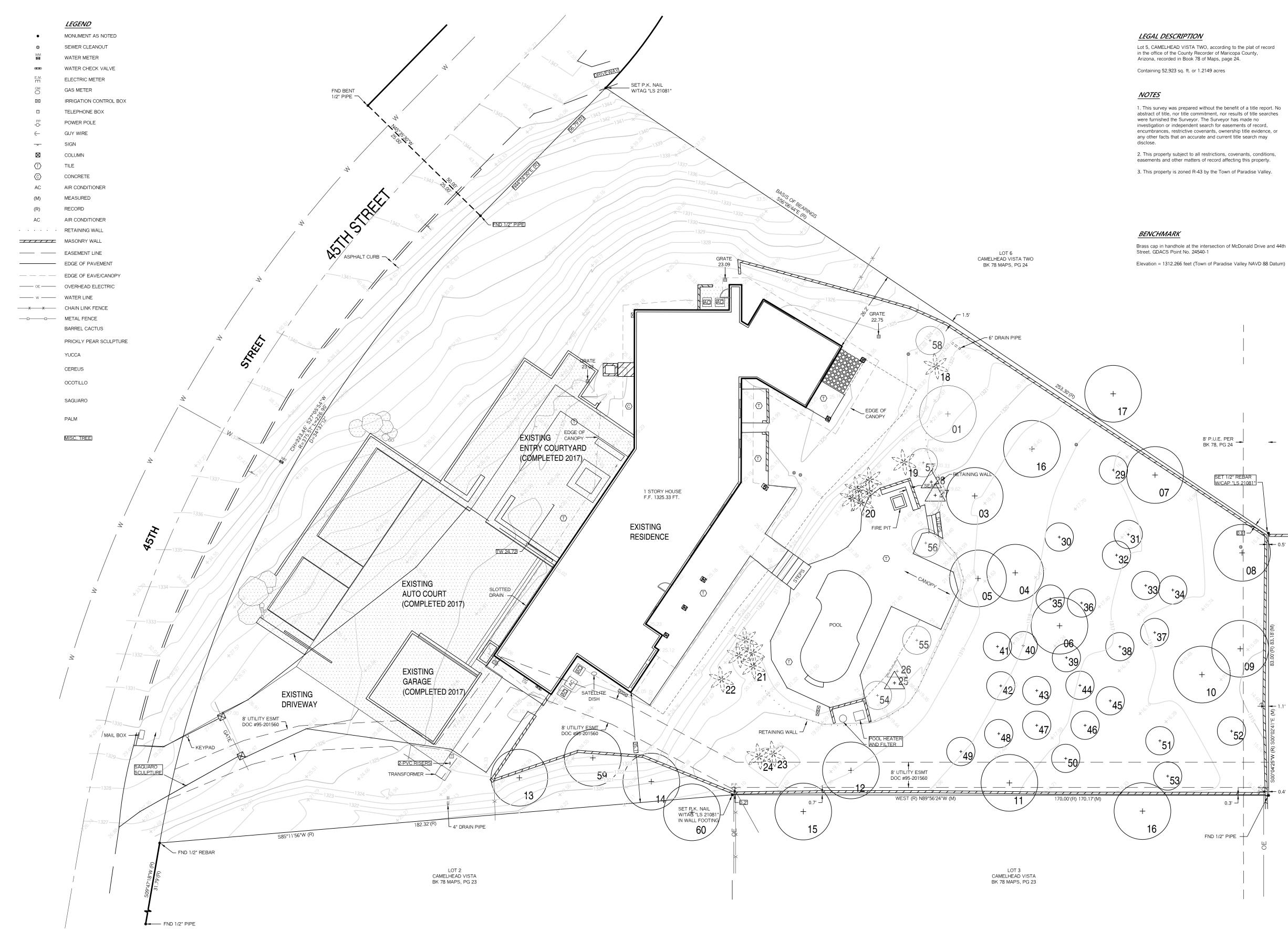
DATE

DATE	11.17.2017
SCALE	AS SHOWN
DRAWN	CGR
JOB	17023
DRAWING	

COVER SHEET

SHEET NO





0 4 8 16 32 SCALE IN FEET 1/16"=1'-0"

1/16"=1'-0"

EXISTING SITE 01

REVISIONS _____ DATE No. -----CALL TWO WORKING DAYS BEFORE YOU DIG 602-263-1100 1-800-STAKE IT (OUTSIDE MARICOPA COUNTY)

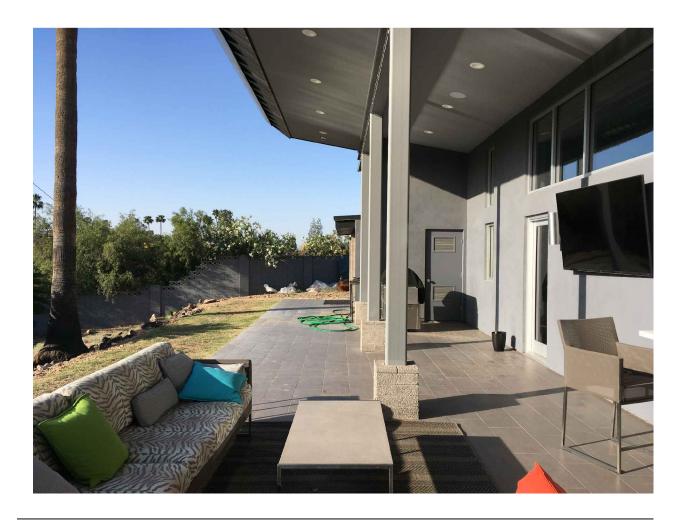




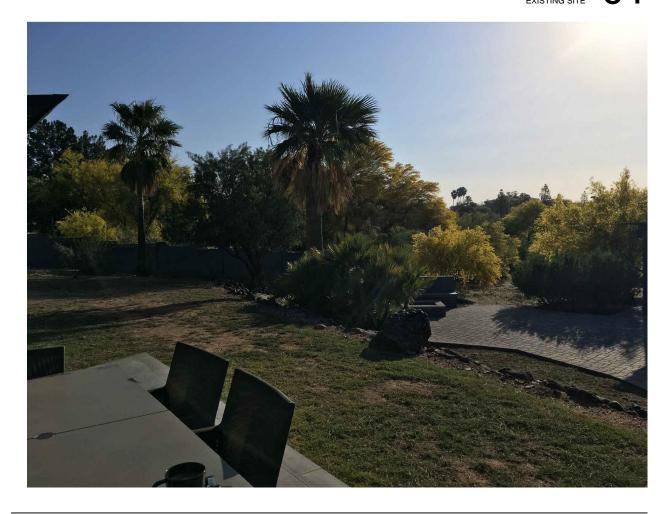
EXISTING SITE

SHEET No.

L0.1





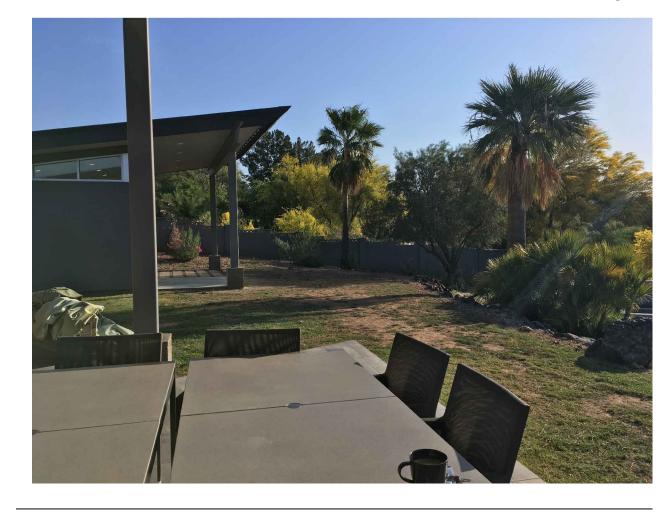


NORTH YARD 05





NTS



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POOL - SOUTH VIEW 02

NTS

VIEW NORTH TO MASTER BDRM 06



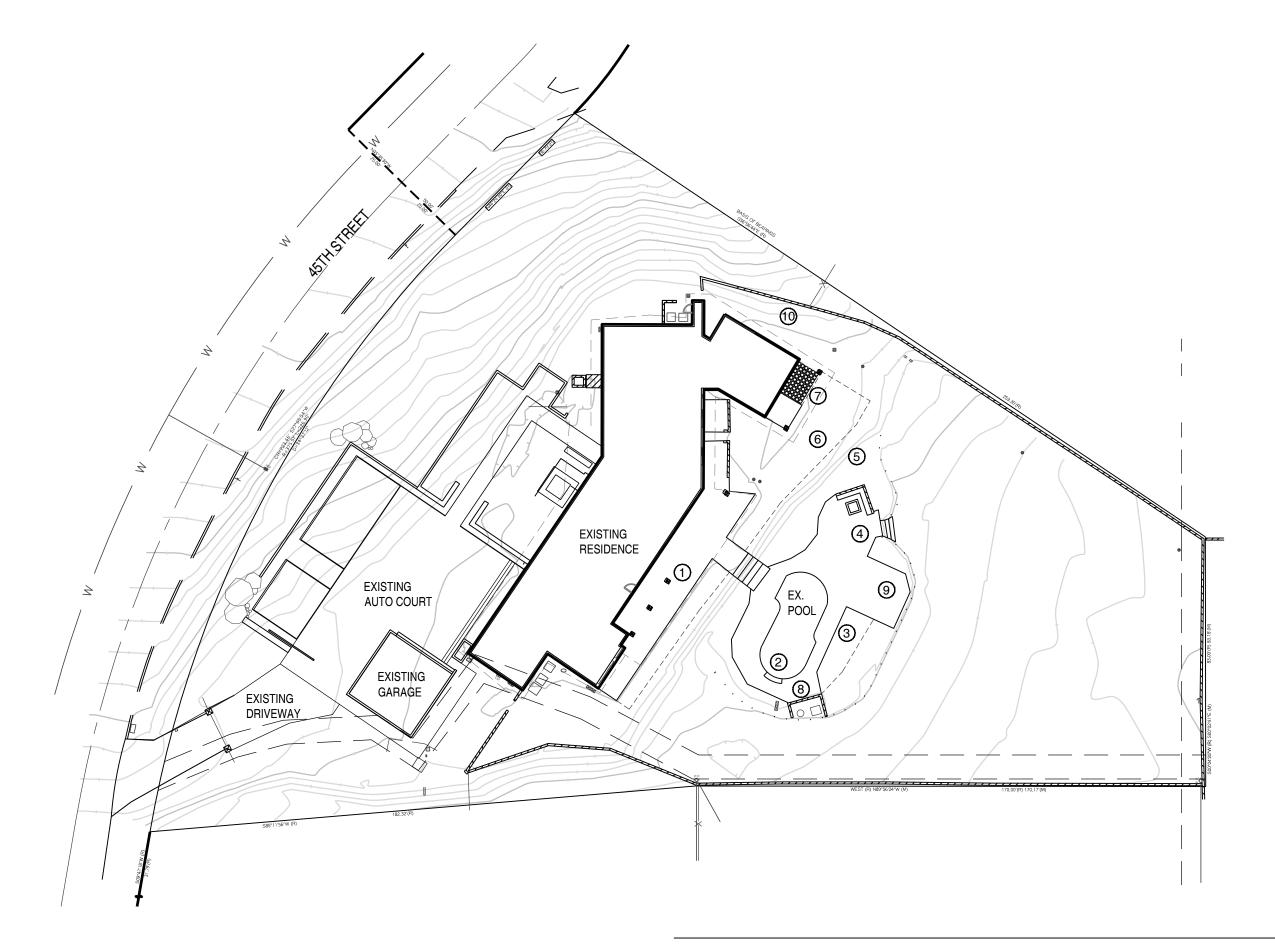
SIDE YARD NORTH 10

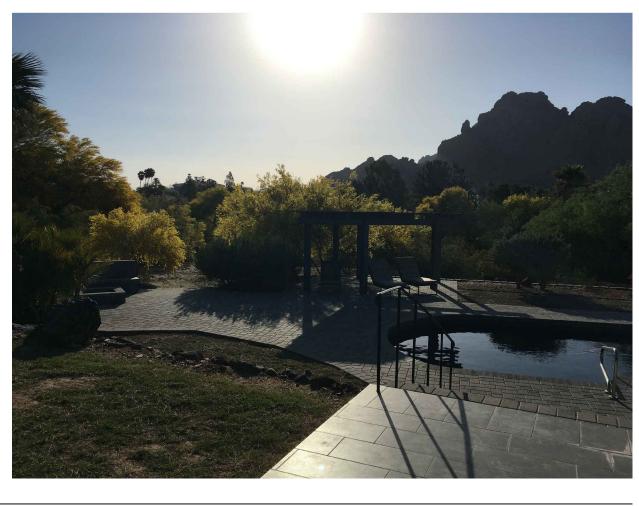


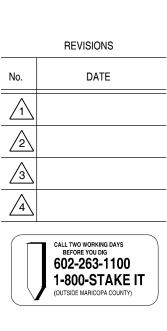




VIEW SOUTH OFF MASTER BDRM PATIO 07 NTS







ARCHITECTURE

ILL SHELOR LANDSCAPE

CO 4450

AZ 85014 .2195



NTS

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POOL - NORTH VIEW 04



POOL EQUIPMENT 08



JOB 17023 DRAWING EXISTING SITE PHOTOS





LANDSCAPE INVENTORY LIST BOTANICAL NAME CERCIDIUM MICROPHYLLA 01

)1	CERCIDIUM MICROPHYLLA
)2	CERCIDIUM MICROPHYLLA
)3	CERCIDIUM MICROPHYLLA
)4	CERCIDIUM MICROPHYLLA
)5	CERCIDIUM MICROPHYLLA
)6	CERCIDIUM MICROPHYLLA
-	
)7	CERCIDIUM MICROPHYLLA
)8	CERCIDIUM MICROPHYLLA
)9	CERCIDIUM MICROPHYLLA
0	CERCIDIUM MICROPHYLLA
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6	CERCIDIUM MICROPHYLLA
7	CERCIDIUM MICROPHYLLA
8	WASHINGTONIA FILIFERA
9	WASHINGTONIA FILIFERA
20	PHOENIX CANARIENSIS
21	CYCAS REVOLUTA
22	WASHINGTONIA FILIFERA
23	WASHINGTONIA FILIFERA
24	WASHINGTONIA FILIFERA
25	PACHYCEREUS SCHOTTI
26	ALOE MACULATA
27	HESPERALOE PARVIFLORA
28	FOUQUIERIA SPLENDENS
29	LARREA TRIDENTATA
30	LARREA TRIDENTATA
31	LARREA TRIDENTATA
32	LARREA TRIDENTATA
33	LARREA TRIDENTATA
34	LARREA TRIDENTATA
35	LARREA TRIDENTATA
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17	LARREA TRIDENTATA
18	LARREA TRIDENTATA
19	LARREA TRIDENTATA
50	LARREA TRIDENTATA
51	LARREA TRIDENTATA
52	LARREA TRIDENTATA
53	LARREA TRIDENTATA
54	LEUCOPHYLLUM FRUTESCENS
55	LEUCOPHYLLUM FRUTESCENS
56	LEUCOPHYLLUM FRUTESCENS
57	LEUCOPHYLLUM FRUTESCENS
58	LEUCOPHYLLUM FRUTESCENS
59	
1.77	

- CERCIDIUM MICROPHYLLA 59
- CERCIDIUM MICROPHYLLA 60

INVENTORY/SALVAGE NOTES:

- OPERATION.
- BOXING PROCEDURE PER SPECIFICATIONS. 3.
- ARCHITECT. 5.
- IN LIKE KIND, SIZE AND QUANTITY.

(4) SALVAGE ACCENTS

(0) SALVAGE TREES (5) NO SALVAGE/DESTROY CACTI/TREES (14) TO REMAIN/PROTECT-IN-PLACE CACTI/TREES



INVENTORY/SALVAGE PLAN 01

COMMON NAME	CONDITION	PIP, SALVAGE, OR DEMO
FOOTHILLS PALO VERDE	GOOD	PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
FOOTHILLS PALO VERDE	GOOD	PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
FOOTHILLS PALO VERDE	GOOD	PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
FOOTHILLS PALO VERDE	GOOD	PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
FOOTHILLS PALO VERDE	GOOD	PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
FOOTHILLS PALO VERDE	GOOD	PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
FOOTHILLS PALO VERDE	GOOD	PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
FOOTHILLS PALO VERDE	GOOD	PIP= NATIVE PLANT IN NON-DISTURBANCE AREA
FOOTHILLS PALO VERDE	GOOD	PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
FOOTHILLS PALO VERDE	GOOD	PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
FOOTHILLS PALO VERDE FOOTHILLS PALO VERDE	GOOD GOOD	PIP=NATIVE PLANT IN NON-DISTURBANCE AREA PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
FOOTHILLS PALO VERDE	GOOD GOOD	PIP=LOCATED ON ADJACENT PROPERTY
FOOTHILLS PALO VERDE	GOOD	DEMO=UNABLE TO SALVAGE ON SLOPE
FOOTHILLS PALO VERDE	GOOD	PIP=LOCATED ON ADJACENT PROPERTY
FOOTHILLS PALO VERDE	GOOD	PIP=LOCATED ON ADJACENT PROPERTY
FOOTHILLS PALO VERDE	GOOD	PIP=LOCATED ON ADJACENT PROPERTY
CALIFORNIA FAN PALM	GOOD	DEMO=NON-NATIVE/IN DISTURBED AREA
CALIFORNIA FAN PALM	GOOD	DEMO=NON-NATIVE/IN DISTURBED AREA
CANARY ISLAND DATE PALM	GOOD	S=SALVAGE & RELOCATE PER LANDSCAPE PLANS
SAGO PALM (CLUSTER)	GOOD	S=SALVAGE & RELOCATE PER LANDSCAPE PLANS
CALIFORNIA FAN PALM	GOOD	DEMO=NON-NATIVE/IN DISTURBED AREA
CALIFORNIA FAN PALM	GOOD	DEMO=NON-NATIVE/IN DISTURBED AREA
CALIFORNIA FAN PALM	GOOD	DEMO=NON-NATIVE/IN DISTURBED AREA
SENITA	FAIR	S=SALVAGE & RELOCATE PER LANDSCAPE PLANS
SOAP ALOE	POOR	
YELLOW HESPERALOE	GOOD	DEMO=NON-NATIVE/IN DISTURBED AREA
OCOTILLO CREOSOTE	GOOD GOOD	S=SALVAGE & RELOCATE PER LANDSCAPE PLANS PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
CREOSOTE	GOOD GOOD	PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
CREOSOTE	GOOD	PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
CREOSOTE	GOOD	PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
CREOSOTE	GOOD	PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
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CREOSOTE	GOOD	PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
CREOSOTE CREOSOTE	GOOD GOOD	PIP=NATIVE PLANT IN NON-DISTURBANCE AREA PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
CREOSOTE	GOOD GOOD	PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
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CREOSOTE	GOOD	PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
CREOSOTE	GOOD	PIP=NATIVE PLANT IN NON-DISTURBANCE AREA
TEXAS RANGER	GOOD	DEMO=N0N-NATIVE
FOOTHILLS PALO VERDE	GOOD	DEMO=UNABLE TO SALVAGE ON SLOPE
FOOTHILLS PALO VERDE	GOOD	PIP=LOCATED ON ADJACENT PROPERTY

1. A TEMPORARY NURSERY LOCATION SHALL BE ESTABLISHED ON SITE FOR SALVAGE MATERIAL. CONTRACTOR SHALL PROVIDE TEMPORARY IRRIGATION TO SALVAGED MATERIAL IN NURSERY 2. THE CONTRACTOR SHALL MARK AND CONFIRM LOCATION OF UNDERGROUND UTILITIES PRIOR TO SALVAGE

4. UPON REMOVAL OF THE SALVAGEABLE NATIVE PLANTS THE SALVAGE CONTRACTOR SHALL SUBMIT A LIST IDENTIFYING THE TAG NUMBER OF THE PLANTS SURVIVING SALVAGE OPERATIONS TO THE LANDSCAPE

FINAL LOCATION OF ALL SAVAGE TREES IS SUBJECT TO LANDSCAPE DESIGNER OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. SALVAGE TREE DESIGNATIONS/LOCATIONS MAY BE ADJUSTED BASED ON SALVAGE MATERIAL CONDITION AFTER SALVAGE PROCESS IS COMPLETE. 6. PROTECTED MATERIAL SALVAGED FROM SITE THAT DOES NOT SURVIVE THE SALVAGE PROCESS, OR DIES WITHIN THE FIRST TWO YEARS AFTER TRANSPLANT, SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR

7. SALVAGE ALL BOULDERS & STOCKPILE. LANDSCAPE ARCHITECT WILL RELOCATE IN-FIELD.

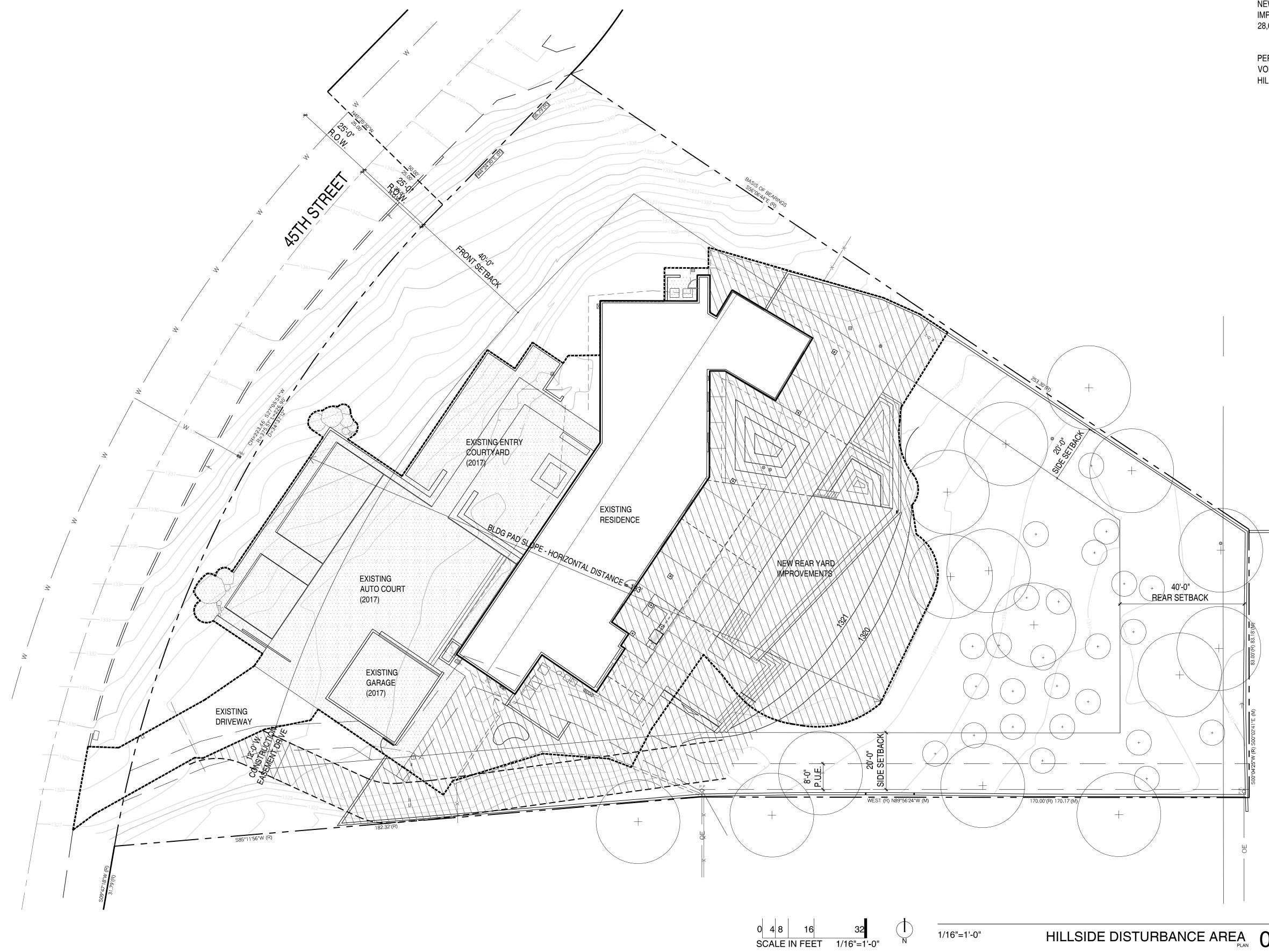




SALVAGE PLAN

SHEET No.





DRAINAGE & GRADING NARRATIVE

SITE WILL CONTINUE TO DRAIN TOWARDS THE SOUTHEAST OF THE LOT.

EXISTING IMPERVIOUS SURFACE: 9,503 S.F. PROPOSED IMPERVIOUS SURFACE: 9,022 S.F.

THE PROPOSED REAR IMPROVEMENTS WILL DECREASE THE AMOUNT OF IMPERVIOUS SURFACE BY 481 S.F. NO EXTRA RETENTION AREAS ARE NEEDED.

THE EXISTING POOL PAD WILL BE RE-GRADED TO A NATURAL LOOKING SLOPE AND REVEGETATED.

1/16"=1'-0"

DISTURBED AREA CALCULATIONS

AREA OF LOT: 1.22 ACRES / 53,047 S.F.

AREA UNDER ROOF: 5,986 S.F.

FLOOR AREA RATIO: 11.3% BUILDING SLOPE: 11'/193' = 6% MAX. ALLOWABLE DISTURBED AREA: 60% = 31,828 ,S.F.

EXISTING DISTURBED AREA BOUNDARY = 25,703 - 5,307 (HOUSE) - 679 (GARAGE) - 3,447 (PAVER DRIVEWAY) = 16,270 S.F.

FRONT YARD IMPROVEMENTS COMPLETED IN 2017



PROPOSED DISTURBED AREA WITH REAR YARD IMPROVEMENTS

NEW DISTURBED AREA WITH EXISTING CONDITIONS & PROPOSED REAR YARD IMPROVEMENTS= 28,605 - 5,307 (HOUSE) - 679 (GARAGE) - 3,447 (PAVER DRIVEWAY) = 19,172 S.F.

PERCENT OF LOT STEEPER THAN NATURAL GRADE (5%MAX.): N/A VOLUME OF CUT/VOLUME OF FILL: CUT - 0 CU.FT. / FILL + 7614 CU.FT. HILLSIDE ASSURANCE @ \$25/CUBIC YARD OF CUT + FILL \$190,350







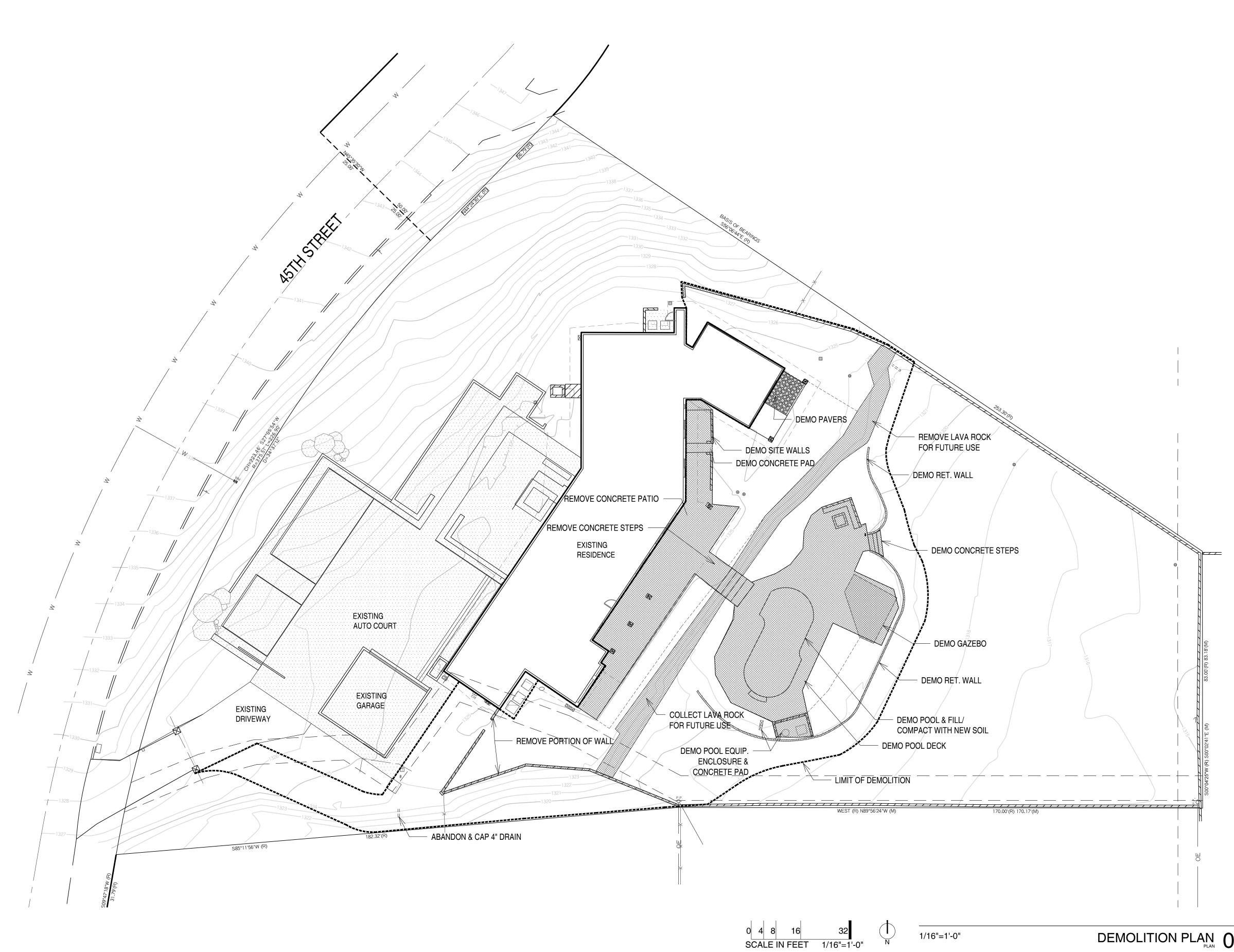


SITE PLAN w/ AERIAL 01



THOMPSON	6031 N 45TH ST PARADISE VALLEY, AZ
OR	HILLSIDE REVIEW
ATE	11.17.2017
CALE	AS SHOWN
RAWN	CGR
OB	17023
	POSED E PLAN w/
HEET No	

L1.1

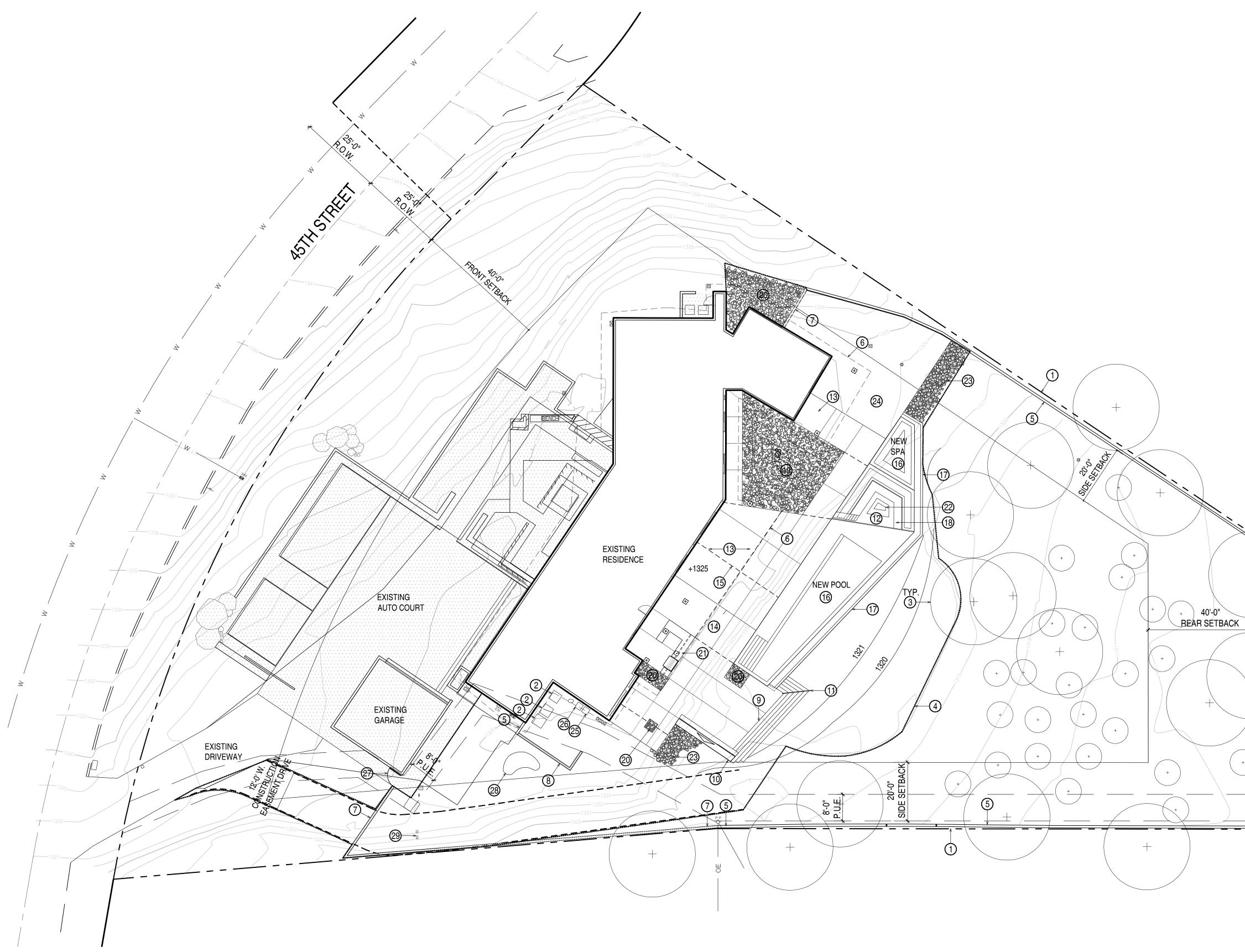


DEMOLITION PLAN 01



HILLSIDE REVIEW FOR -----11.17.2017 DATE -----SCALE AS SHOWN _____ DRAWN CGR JOB 17023 DRAWING DEMOLITION

PLAN SHEET No. L1.2



SITE PLAN DATA:

NUMBER OF RETAINING WALLS: 3 TOTAL LENGTH OF ALL RETAINING WALLS: 129'

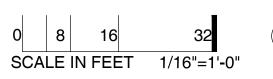
MAX. HT. OF RETAINING WALLS: 3.5' MAX. CONT. LENGTH OF RETAINING WALLS: 97' (NEEDS TO BE LESS THAN 100') MAX. LENGTH OF VISIBLE RETAINING WALL MEASURED FROM ANY POINT AROUND THE PROPERTY: 97'

DRIVEWAY: N/A - EXISTING DRIVE - NOT PART OF THIS SUBMITTAL

POOL FENCE DETAIL: REFER TO DETAIL 5/L3.1 ADEQUATE WATER PRESSURE TO MEET FIRE SAFETY STANDARDS: YES

FIRE HYDRANT INSTALLATION REQ'D: NO WASH EASEMENT REQ'D: NO

RESTORATION OF CUT AND FILL SLOPES: SEED MIX - REFER TO LANDSCAPE PLANS. HALF STREET OR RIGHT-OF-WAY IMPROVEMENTS REQ'D: NO



KEYNOTES

2. EXISTING UTILITIES.

1. PROPERTY LINE.

- 3. EXISTING CACTI & TREES, PROTECT-IN-PLACE, TYP.
- 4. LIMIT OF DISTURBANCE.
- 5. EXISTING SITE WALL.
- 6. ROOF OVERHANG.
- 7. NEW 7'H PICKET VIEW FENCE. REFER TO DETAIL 5/L3.1
- 8. NEW 4'H CMU SCREEN WALL. REFER TO DETAIL 3/L3.0
- 9. HANDRAIL. REFER TO DETAIL 5/L3.0.
- 10. 7'H CAST-IN-PLACE CONCRETE FIREPLACE w/ 18"H CONCRETE HEARTH. COLOR: DAVIS CONCRETE - OUTBACK #677 (LRV 37%). REFER TO DETAIL 7&8/L3.0.
- 11. 7"H X 12"W RISE CAST-IN-PLACE CONCRETE STEPS. REFER TO DETAIL 6/L3.0. SEEDED ROUND PEBBLES. COLOR: DAVIS CONCRETE- OUTBACK #677 (LRV 37%)
- 12. DRY CONVERSATION PIT. REFER TO DETAIL 6/L3.0.
- 13. CIP CONCRETE PATIO w/ SEEDED ROUND PEBBLES. COLOR: DAVIS CONCRETE - OUTBACK #677 (LRV 38%). REFER TO DETAIL 1/L3.0.
- 14. SAW-CUT JOINT. REFER TO DETAIL 1/L3.0.
- 15. COLD-CUT JOINT. REFER TO DETAIL 2/L3.0.
- 16. NEGATIVE EDGE POOL & SPA w/ PEBBLETEC POOL FINISH. COLOR: PEBBLESHEEN - PRISM BLUE.
- 17. 3.5'H EXPOSED RET. WALL/SURCHARGE TANK. REFER TO DETAIL 1/L3.1
- 18. BANCO SEATING @ CONVERSATION PIT.
- 19. BERMED PLANTER w/ SALVAGED LAVA ROCK TOPDRESSING.
- 20. AT-GRADE PLANTER w/ SALVAGED LAVA ROCK TOPDRESSING.
- 21. BBQ. REFER TO DETAIL 2-4/L3.1.
- 22. FIRE PIT. REFER TO DETAIL 4/L3.0.
- 23. SALVAGED LAVA ROCK ON SLOPED RETENTION. REFER TO DETAIL 5/L5.0.
- 24. AT-GRADE PLANTER w/ 2" D.G. TOPDRESSING. COLOR TO MATCH EXISTING SOIL ON-SITE.
- 25. PROPOSED POOL EQUIPMENT LOCATION.
- 26. PROPOSED IRRIGATION CONTROLLER LOCATION.
- 27. NEW ACCESS GATE. REFER TO DETAIL 6/L3.1.
- 28. RETENTION AREA FOR POOL BACK WASH.
- 29. ABANDONED & CAPPED PIPE. REFER TO DEMO PLAN L1.2.





THOMPSON RESIDENCE	6031 N 45TH ST PARADISE VALLEY, AZ 85253	
FOR	HILLSIDE REVIEW	
DATE	11.17.2017	
SCALE	AS SHOWN	
DRAWN	CGR	
JOB	17023	
DRAWING HARDSCAPE PLAN		

SHEET No.



SITE PLAN 01

-(1)



NTS



NTS



OVERALL 01



NTS

SOUTH SIDE VIEW 03



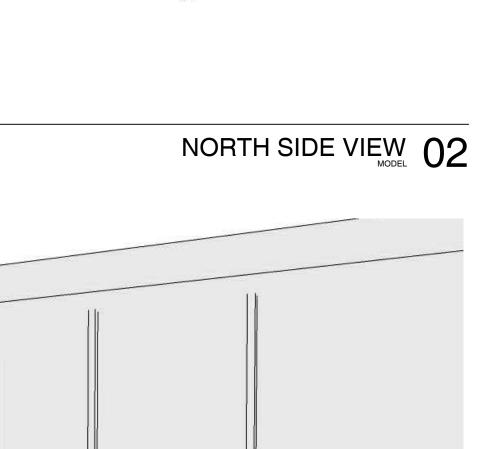
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VIEW OF STAIRS 05





FIREPLACE 04





MODEL VIEWS

THOMPSON RESIDENCE	6031 N 45TH ST PARADISE VALLEY, AZ 85253
FOR	HILLSIDE REVIEW
DATE	11.17.2017
SCALE	AS SHOWN
DRAWN	CGR
JOB	17023
DRAWING	





REVISIONS

DATE

KEYNOTES:

- 1. TOP OF FINISH GRADE @ LANDSCAPED AREA/D.G.
- 2. $\frac{1}{8}$ " MAX. ROUNDED EDGE, SLIGHTLY EASED.
- 3. 8" THICKENED EDGE AT ALL CONCRETE AREAS ADJACENT TO PLANTERS w/ #4 CONT.

 $\frac{1}{2}$ " EXPANSION JOINTS WITH TRAFFIC SEALANT TO MATCH CONCRETE. DUST w/ SILICA SAND. JOINT SHALL BE RECESSED 1/4" w/ SQUARE EDGES.

- 5. $\frac{1}{8}$ " SAW CUT JOINT, 1" DEPTH.
- 6. CONCRETE PAVING INTEGRALLY COLORED: DAVIS COLORS, OUTBACK #677. EXPOSED AGGREGATE w/ SEEDED ROUND PEBBLES.
- 7. SEEDED W.W.F. 6x6 W1.4 x W1.4.
- 8. AGGREGATE BASE PER SOILS REPORT.
- 9. COMPACTED SUBGRADE OR UNDISTURBED SOIL.

1. REFER TO LAYOUT PLAN FOR JOINT LOCATIONS.

NOTES:

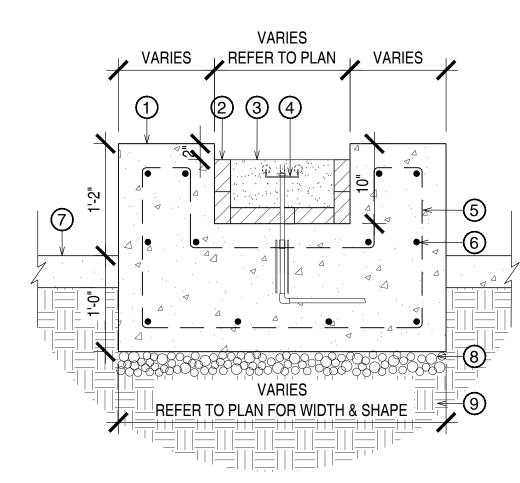


CONCRETE PAVING TYP. CONDITION

3 21

8"

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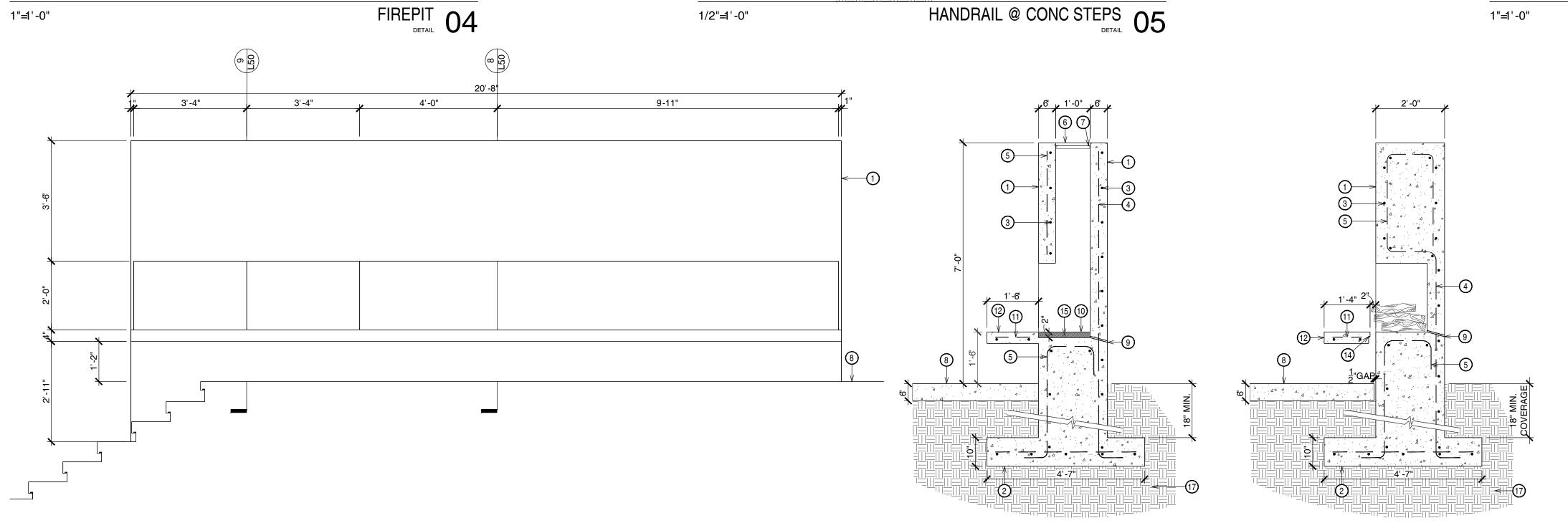
567

4

KEYNOTES:

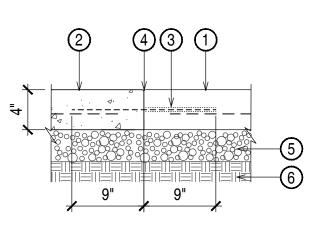
- 1. CONCRETE FIREPIT WITH GROUND CONCRETE FINISH. DAVIS COLORS, OUTBACK #677.
- 2. FIREBRICK. WRAP SIDES AND BOTTOM OF FIREPIT.
- MULTI-COLOR LAVA ROCK.
- GAS PIPING. 4
- 5. #4'S @ 24" O.C.
- #4'S CONT.
- FINISH GRADE @ ADJACENT CONCRETE SLAB.
- AGGREGATE BASE PER GEOTECH.
- COMPACTED SUBGRADE OR UNDISTURBED SOIL PER GEOTECH.

NOTE: PROVIDE STARTER KEY & SHUT OFF VALVE UNDER SEPARATE CONTRACT.



KEYNOTES:

- 1. CONCRETE SLAB A. REFER TO DETAIL 1/THIS SHEET.
- 2. CONCRETE SLAB B. REFER TO DETAIL 1/ THIS SHEET.
- #3 SMOOTH STEEL DOWEL @ 24" O.C. GREASE ONE END.
- REFER TO DETAIL 1/THIS SHEET FOR 4. **EXPANSION JOINT CONDITION.**
- 5. AGGREGATE BASE.
- 6. COMPACTED SUBGRADE PER GEOTECH OR UNDISTURBED SOIL.

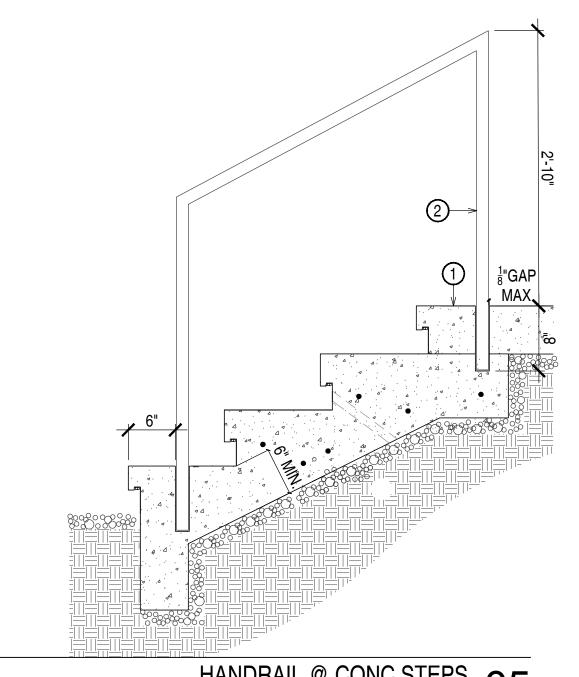




COLD JOINT 02

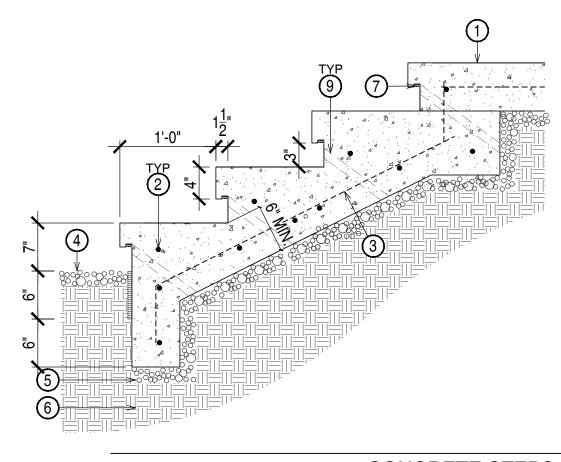
FIREBOX WALL 08

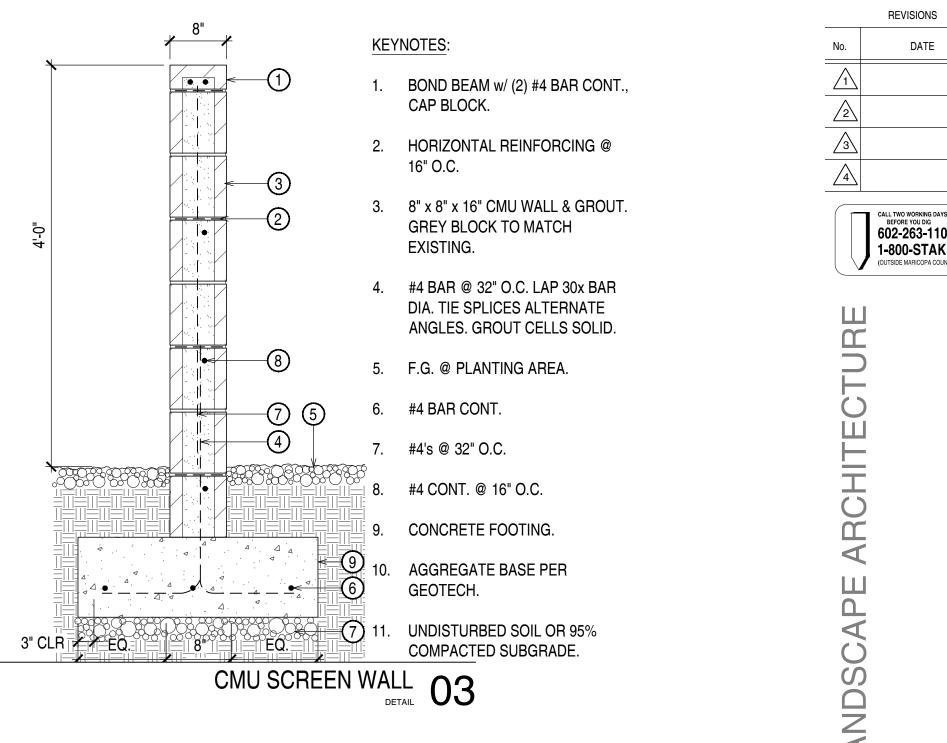
1"**=**1'-0"



KEYNOTES:

- 1. CAST-IN-PLACE CONCRETE STEPS -INTEGRALLY COLORED. 4000 PSI HIGH STRENGTH CONC. MIX. DAVIS COLORS, OUTBACK #677. EXPOSED AGGREGATE w/ SEEDED ROUND PEBBLES.
- 1.5" Ø GALVANIZED METAL HANDRAIL. COREDRILL INTO CONCRETE SLAB & EPOXY INTO SLIP.





KEYNOTES:

- 1. CAST-IN-PLACE CONCRETE BLEACHER SEATING - INTEGRALLY COLORED. 4000 PSI HIGH STRENGTH CONC. MIX. DAVIS COLORS, OUTBACK #677. EXPOSED AGGREGATE w/ SEEDED ROUND PEBBLES.
- 2. #4 NOSING BAR, TYP.
- 3. #4's @ 12" O.C. EACH WAY, 2 LAYERS.
- 4. FINISH GRADE @ D.G.
- 5. GEOTECH.

CONCRETE STEPS @ FIREPLACE 06

KEYNOTES:

- CIP CONCRETE FIREPLACE GRAY CONCRETE w/ 13. LINEAR GAS FIRE ELEMENT AND PIPING. VENETIAN PLASTER FINISH, CRISP EDGES.
- 10" THICK FOOTING w/ #5 BARS @ 16" O.C. EACH 15. WAY EXTEND FOOTING 6" PAST BENCH, 8" **BEYOND WALL**
- 3. #4 CONTINUOUS @ 16" O.C. HORIZONTAL.
- 4. #5 @ 16" O.C. VERT. @ CENTER OF WALL.
- 5. #5 BENT REBAR @ 16" O.C.
- 6. SPARK ARRESTOR SCREEN. NON RUSTING.
- 7. 1" x 1" GALVANIZED STEEL ANGLE.
- 8. F.G. @ ADJACENT CONCRETE.
- 9. 2" Ø WEEPHOLE (2). SLEEVE IN STEEL BOX LOCATION, ANGLE TO DRAIN WATER.
- 10. STEEL GRATE.
- 11. #4 @ 18" O.C. EACH WAY.

- 12. SEMI-FLOATING PRECAST BENCH.
- 14. TAPE LIGHT. LIGHT SHINES DIRECTLY STRAIGHT
- 15° ADJUSTABLE ROUND IN-GROUND MR16 LOW VOLTAGE UPLIGHT - VORTECH EXTERIOR IVGA30-ST-SB-IVG30-HLC, QTY=2
- 16. ADJACENT CONCRETE STEPS. REFER TO DETAIL 2/L5.0
- 17. 95% COMPACTED SOIL

NOTE: CONTRACTOR SHALL PROVIDE ENGINEERING



DATE





SHEET No.



- AGGREGATE BASE PER
- COMPACTED SUBGRADE 6. OR UNDISTURBED SOIL
- - 8. 1" DIA. PVC SLEEVE FOR ELEC. WIRE AS NEEDED.

MOUNTING CLIP AND FASTENER IN NOTCH. **GRIND OUT MINIMAL** SPACE BEHIND NOTCH @ CONNECTORS TO FULLY

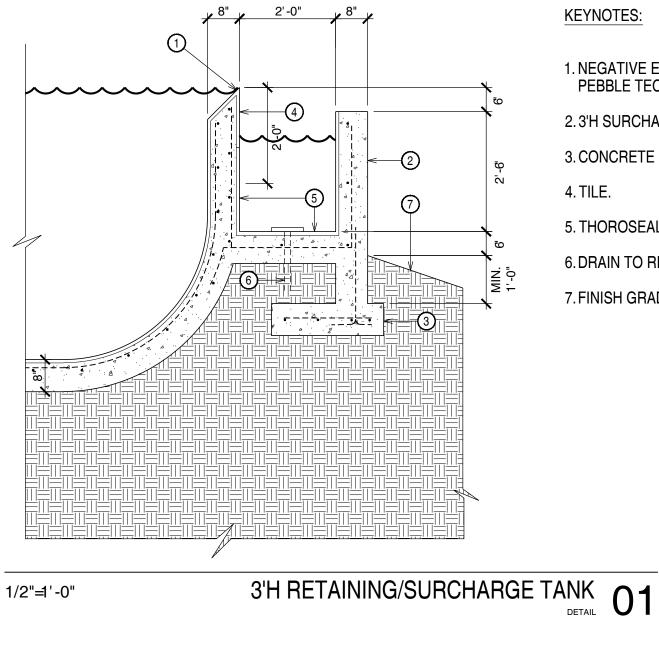
CONCEAL CONNECTION. REFER TO ELEC.

PER GEOTECH.

7. ³/₄" WIDE x ³/₈" DEEP

RECESSED NOTCH FOR

STRIP LIGHTING. EMBED



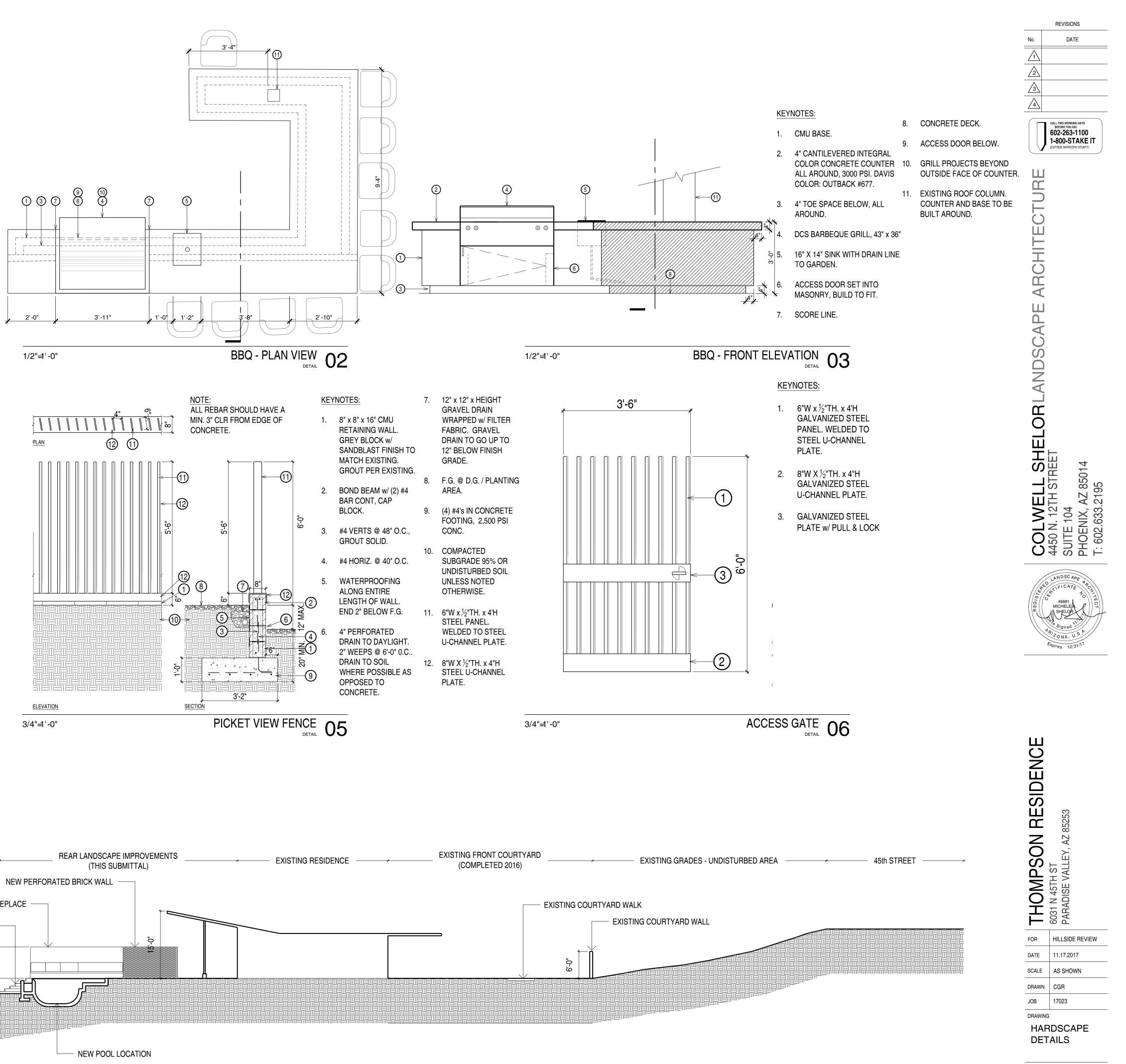
KEYNOTES:

- 1. NEGATIVE EDGE AT POOL. SURFACE TRIM TO MATCH PEBBLE TEC.
- 2.3'H SURCHAGE TANK/RETAINING WALL.
- 3. CONCRETE FOOTING.
- 4. TILE.
- 5. THOROSEAL INTERIOR.
- 6. DRAIN TO RETURN PUMP.
- 7. FINISH GRADE @ SLOPE

KEYNOTES:

1. REINFORCED CMU. 2. 4" CANTILEVERED INTEGRAL SEE PLAN COLOR CONCRETE COUNTER ALL AROUND, 3000 PSI. DAVIS COLOR: OUTBACK #677. \longrightarrow 3. 4" TOE SPACE BELOW, ALL AROUND. 3 GROUT SOLID. CONCRETE FOOTING, (3) #4 CONTINUOUS. (5)-FINISH GRADE @ ADJACENT CONCRETE PAVING. REFER TO 1/L5.0. BBQ - SECTION DETAIL 04 EXISTING GRADES - UNDISTURBED AREA NEW GRADING NEW CONCRETE FIREPLACE — NEW CONCRETE STEPS 6'H EXISTING SITE WALL

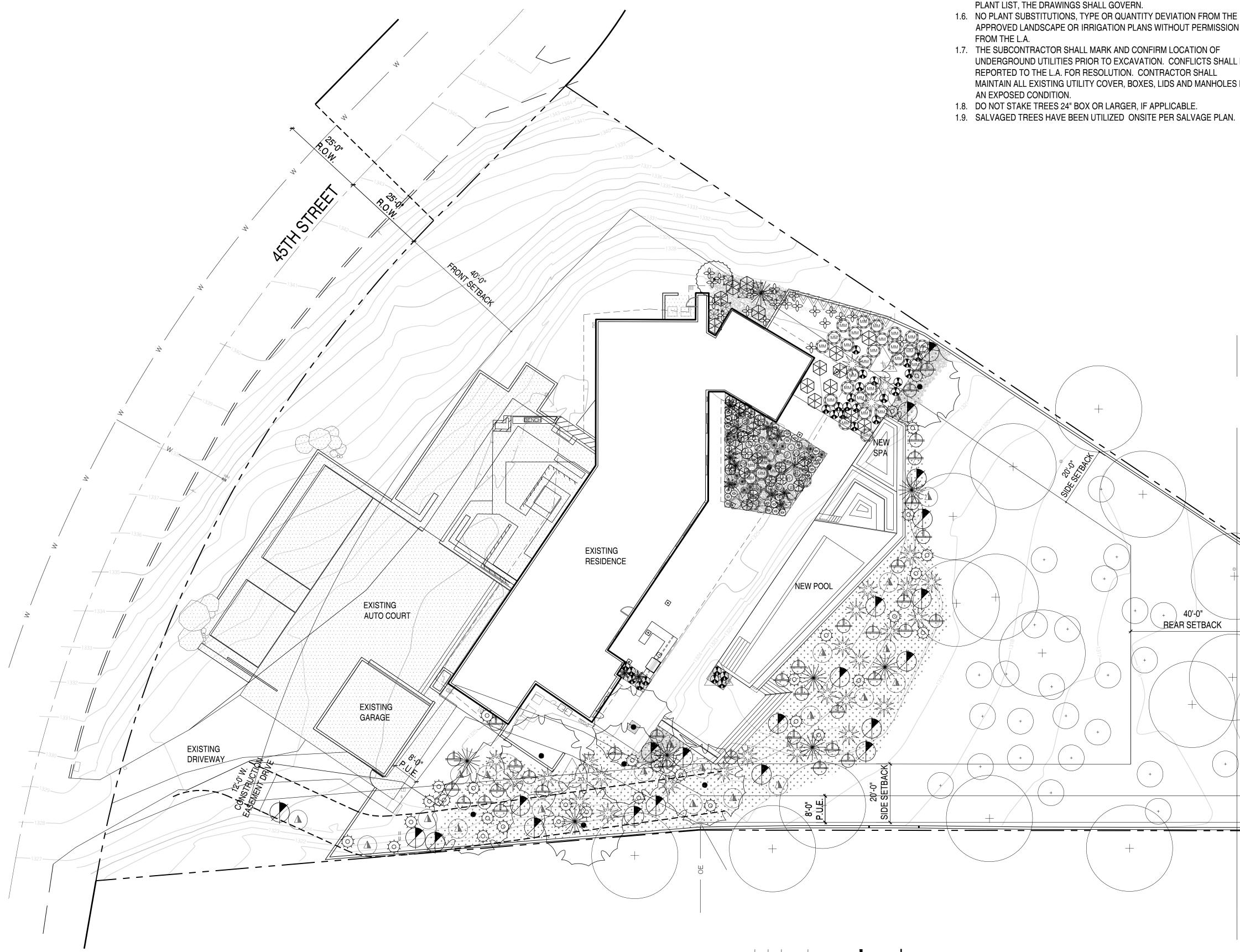
1/2"=1'-0"



CTION THROUGH SITE	7



SHEET No.



PLANTING GENERAL NOTES:

- 1.1. PLANTING AREAS SHALL BE WATERED WITH AN AUTOMATIC DRIP IRRIGATION SYSTEM.
- 1.2. ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS SET FORTH IN THE AMERICAN STANDARDS OF NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND BY THE AMERICAN ASSOCIATION OF RECOMMENDED TREE SPECIFICATIONS.
- 1.3. ALL AREAS TO BE DISTURBED BY CONSTRUCTION, INCLUDING ANY AREAS DISTURBED BEYOND WHAT IS SHOWN ON PLANS, SHALL BE REPLANTED AS INDICATED ON THESE PLANS. AT ALL TIMES THE PLANTS INSTALLED IN ALL AREAS ARE TO MATCH THE SURROUNDING AREA IN DENSITY AND PLANT TYPE.
- 1.4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY QUANTITIES INCLUDING TREES, SHRUBS, GROUNDCOVERS, DECOMPOSED GRANITE, MULCH AND OTHER ITEMS SHOWN ON THE PLANS.
- 1.5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE L.A. PRIOR TO CONSTRUCTION OF MAJOR DISCREPANCIES. IN CASE OF DISCREPANCY BETWEEN THE NUMBER OF PLANTS INDICATED ON THE
- APPROVED LANDSCAPE OR IRRIGATION PLANS WITHOUT PERMISSION
- UNDERGROUND UTILITIES PRIOR TO EXCAVATION. CONFLICTS SHALL BE REPORTED TO THE L.A. FOR RESOLUTION. CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITY COVER, BOXES, LIDS AND MANHOLES IN

SYM	BOTANICAL NAME COMMON NAME	SIZE	QTY	NOTES (H X W X CAL.)
\frown	TREES			
+	EXISTING TREE	-	-	PROTECT-IN-PLACE
	BAUHINIA LUNARIODES WHITE ORCHID TREE	36" BOX	1	MULTI-TRUNK
•	CERCIDIUM MICROPHYLLUM FOOTHILLS PALO VERDE	54" BOX 48" BOX	1 7	MULTI-TRUNK DESERT SALVAGED
	SHRUBS ENCELIA FARINOSA BRITTLEBUSH	1 GAL	32	CAN FULL
$ \rightarrow $	JUSTICIA CALIFORNICA CHUPAROSA	5 GAL	35	CAN FULL
5	LARREA TRIDENTATA CREOSOTE	5 GAL	21	CAN FULL
\diamond	MUHLENBERGIA DUBIA PINE MUHLY	1 GAL	13	CAN FULL
	ACCENTS			
+ #	SALVAGE CACTI	-	3	REFER TO SALVAGE PLAN
(AGAVE ATTENUATA 'BLUE FLAME BLUE FLAME AGAVE	E'5 GAL	11	CAN FULL
	AGAVE PARRYII PARRY'S AGAVE	5 GAL	7	CAN FULL
	AGAVE WEBERI 'ARIZONA STAR' VARIEGATED WEBER AGAVE	5 GAL	2	CAN FULL
÷	ALOE BARBADENSIS 'YELLOW' YELLOW ALOE	5 GAL	20	CAN FULL
\mathcal{D}	ALOE X 'BLUE ELF' BLUE ELF ALOE	5 GAL	30	CAN FULL
\mathbb{D}	ALOE DAWEI DAWE'S ALOE	5 GAL	10	CAN FULL
	CYCAS REVOLUTA SAGO PALM	24 GAL	19	CAN FULL
M.	DASYLIRION WHEELERI DESERT SPOON	15 GAL	27	CAN FULL
\bigcirc	EUPHORBIA MILII CROWN OF THRONES	15 GAL	6	CAN FULL
MM	EUPHORBIA RESINIFERA MOROCCAN MOUND	24 GAL	38	CAN FULL
\mathbf{X}	FOUQUIERA SPLENDENS OCOTILLO	24" BOX	8	7 WHIP MIN
	MANFREDA MACULOSA TEXAS TUBEROSE	15 GAL	16	CAN FULL
	OPUNTIA ENGELMANNII ENGELMANN'S PRICKLY PEAR	15 GAL	21	5 PAD MIN.
3	OPUNTIA MICRODASYS BUNNY EARS PRICKLY PEAR	15 GAL	15	5 PAD MIN.
$\langle \rangle$	YUCCA PALLIDA PALE LEAF YUCCA	5 GAL	28	CAN FULL
$\overline{\mathbb{V}}$	VINES PARTHENOCISSUS SP. HACIENDA CREEPER	5 GAL	11	CAN FULL
	INERT MATERIALS			









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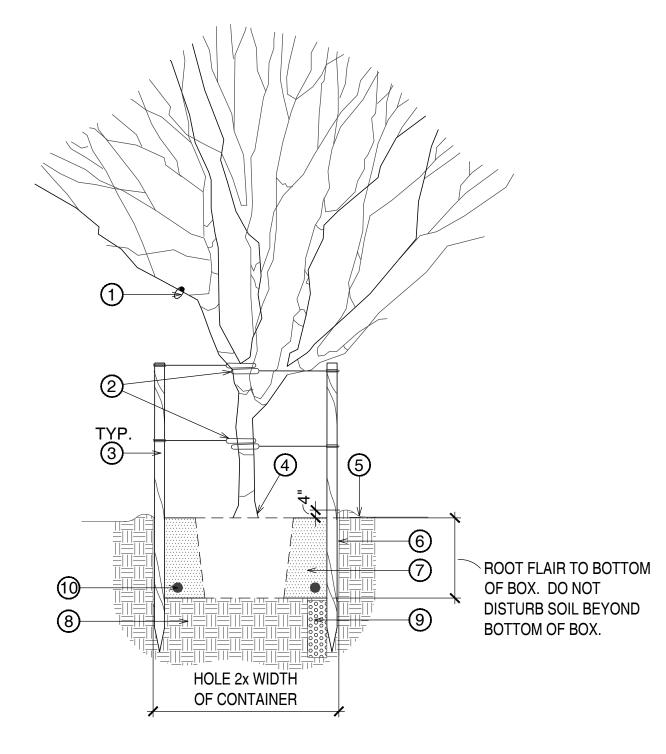




DESERT PAVEMENT TOP DRESSING @ 2" DEPTH. COLOR: SALVAGED & STOCKPILED FROM SITE

SALVAGED LAVA ROCK TOPDRESSING

HYDROSEED MIX. SONORAN DESERT NATIVE WILDFLOWER MIX. 1#/2000 SQ. FT. WILDSEED / 602.276.3536



KEYNOTES

- ALL TREE IDENTIFICATION, TRADEMARK, SALVAGE TAGS TO REMAIN ON TREE.
- 2. 2 STRAND TWISTED 10 GA. GAL. WIRE ENCASED IN 1" DIA. RUBBER HOSE.
- 3. 2 MIN.-12' LODGE POLE STAKES DRIVEN OUTSIDE ROOTBALL INTO SUBGRADE (18" MIN.) PRIOR TO BACKFILLING AS NECESSARY FOR FIRM SUPPORT.
- 4. ROOT FLARE SHALL BE ABOVE FINISH GRADE.
- FINISH GRADE OF DECOMPOSED GRANITE, KEEP AWAY 5. FROM TRUNK.
- SCARIFY SIDES OF PLANTING HOLE TO PREVENT GLAZING.
- 7. BACKFILL w/ NATIVE SOIL OR APPROVED TOPSOIL. WATER & TAMP TO REMOVE AIR POCKETS
- UNDISTURBED SOIL.
- 8" WIDE X 5' DEEP AUGER DUG WELL w/ 1-2" DIA. CRUSHED ROCK FOR DRAINAGE WHEN IN HARDPAN CONDITIONS.
- 10. PLANT TABLET, TYP.

2 4– -6 5– 2x-3x WIDTH OF CONTAINER

KEYNOTES

TREE PLANTING 01

- 1. SHRUB.
- 2. TOP OF ROOTBALL AND WELL TO BE 2" BELOW SAUCER.
- 3. FINISH GRADE OF DECOMPOSED GRANITE, KEEP OFF BASE OF PLANT.
- BACKFILL w/ NATIVE SOIL OR APPROVED TOPSOIL. WATER & TAMP TO REMOVE AIR POCKETS.
- 5. UNDISTURBED SOIL.
- 6. PLANT TABLET, TYP.

5

6

1"=1'-0"

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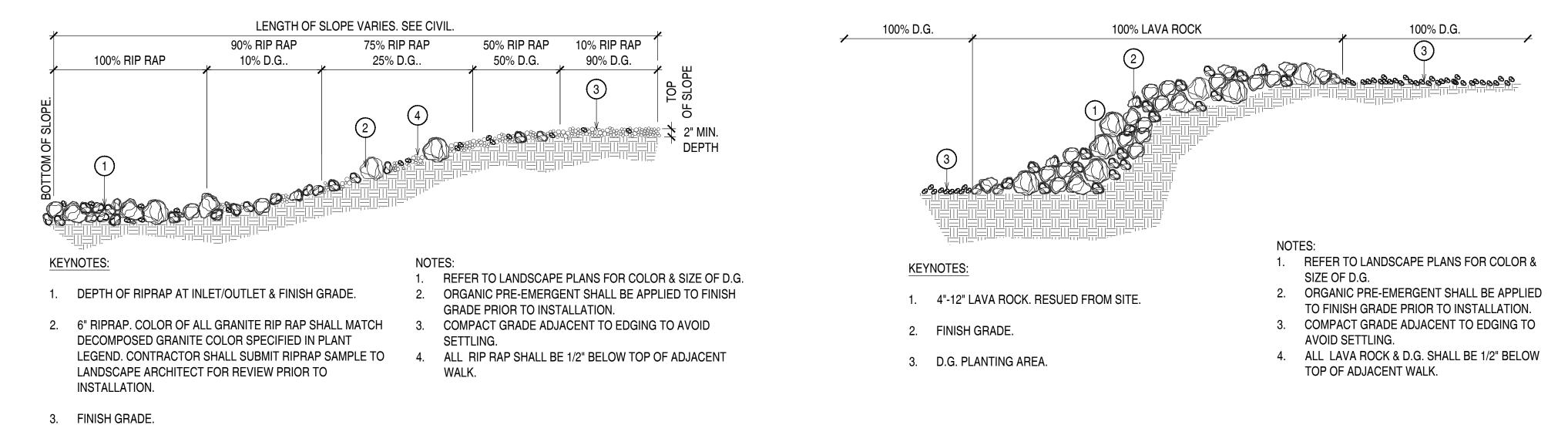
SHRUB PLANTING 02

KEYNOTES

- DECOMPOSED GRANITE IN ALL PLANTING AREAS UNLESS OTHERWISE NOTED. SIZE, COLOR AND DEPTH SHALL BE AS NOTED ON PLANT LEGEND.
- FINISHED GRADE OF 2. PLANTING AREA.
- FINISHED GRADE @ SOIL.
- SUBGRADE/PLANTING SOIL, COMPACT 85% MAX.
- CONCRETE PAVING/WALK. **4 5**.

NOTES:

- SIZE, COLOR AND OF DECOMPOSED GRANITE NOTED ON PLANT LEGEND. PRE-EMERGENT SHALL BE
- APPLIED TO FINISH GRADE **BEFORE INSTALLATION OF** DECOMPOSED GRANITE & MULCH AFTER INSTALLATION.



6" RIP DECO LEGEI LANDS INSTA
FINISH

1"=1'-0"

3"=1'-0"

123

5

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2

-3 4

- WITH FINISH GRADE. • PAINT CUTS OVER 1" DIAMETER

MULTI-TRUNK STAKING PROCEDURE

NEEDED - (2) MIN.

HOSES.

NOTES:

LODGEPOLES.

1. INSTALL LODGEPOLES, (3) PER TREE AS

RUBBER HOSE, 2x TRUNK CALIPER.

3. SECURE INTERIOR 10 GA. WIRE TO RUBBER

4. SECURE 10 GA. WIRE FROM RUBBER HOSES TO

ROOTBALL AND TOP OF WELL TO BE FLUSH

2. ATTACH RUBBER HOSE TO ALL TRUNKS. $\frac{1}{2}$ " Ø

- POSITION STAKES TO AVOID RUBBING ROOTBALL, BRANCHES & PIERCING (AS PER SPECIFICATIONS)
- PLACE TREE TIES FOR MAXIMUM SUPPORT WITH TOP TIE ABOVE SCAFFOLD BRANCHES AND SECOND TIE MIDWAY TO THE GROUND LEVEL.
- ALLOW FOR SOME TRUNK MOVEMENT

KEYNOTES

- 1. ACCENT PLANT.
- 2. FINISH GRADE OF DECOMPOSED GRANITE, KEEP OFF BASE OF PLANT.
- 3. ROOT ZONE
- 4. BACKFILL w/ NATIVE SOIL OR APPROVED TOPSOIL. WATER & TAMP TO REMOVE AIR POCKETS.
- UNDISTURBED SOIL.

6. PLANT TABLET, TYP.

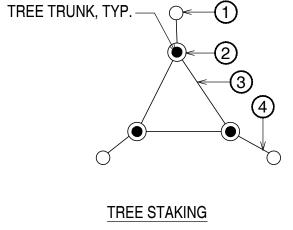
NOTES:

- ROOT PRUNE ALL DAMAGED ROOTS. •
- INSPECTION & APPROVAL OF ALL ACCENTS REQUIRED •
- BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- USE DRY SITE SOIL IN PIT NO MULCH.
- DO NOT WATER FOR 3 WEEKS.
- AT SITE, DUST ENTIRE ROOT STRUCTURE WITH WETTABLE DUSTING SULPHUR (1.5# MINIMUM).
- RETAIN ORIGINAL ORIENTATION TO SUN WHEN
- PLANTING.

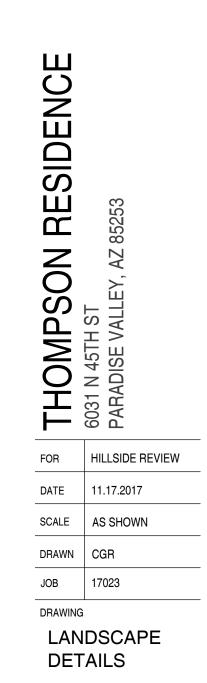
ACCENT PLANTING 03

- 4. COVER w/ SOIL FROM SITE. NOT SHOWN HERE FOR CLARITY.
- DESERT PAVEMENT 05

3 -4 2'-0" TO 3'-0 DIAMETER PIT





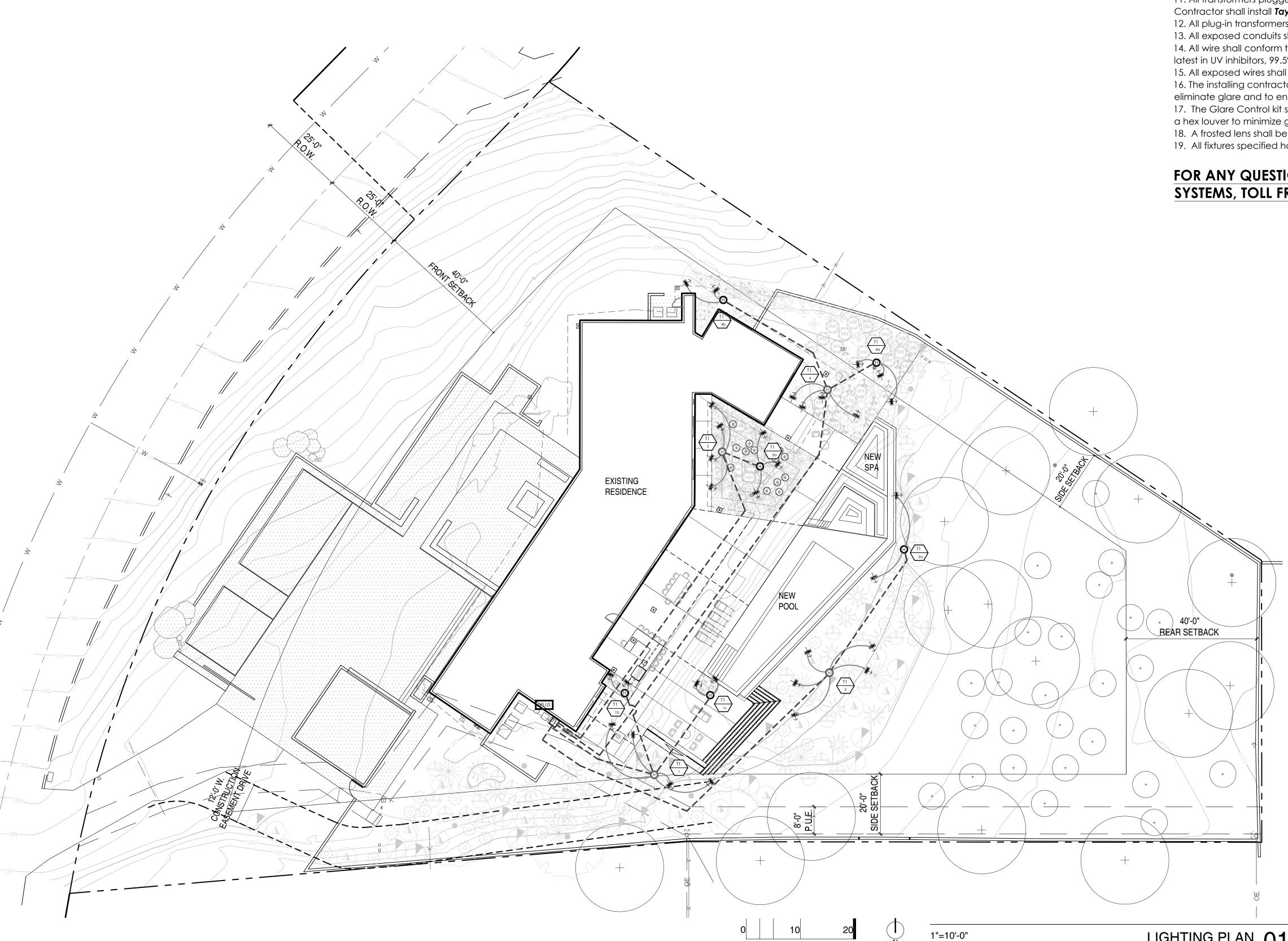


LAVA ROCK SLOPE 05

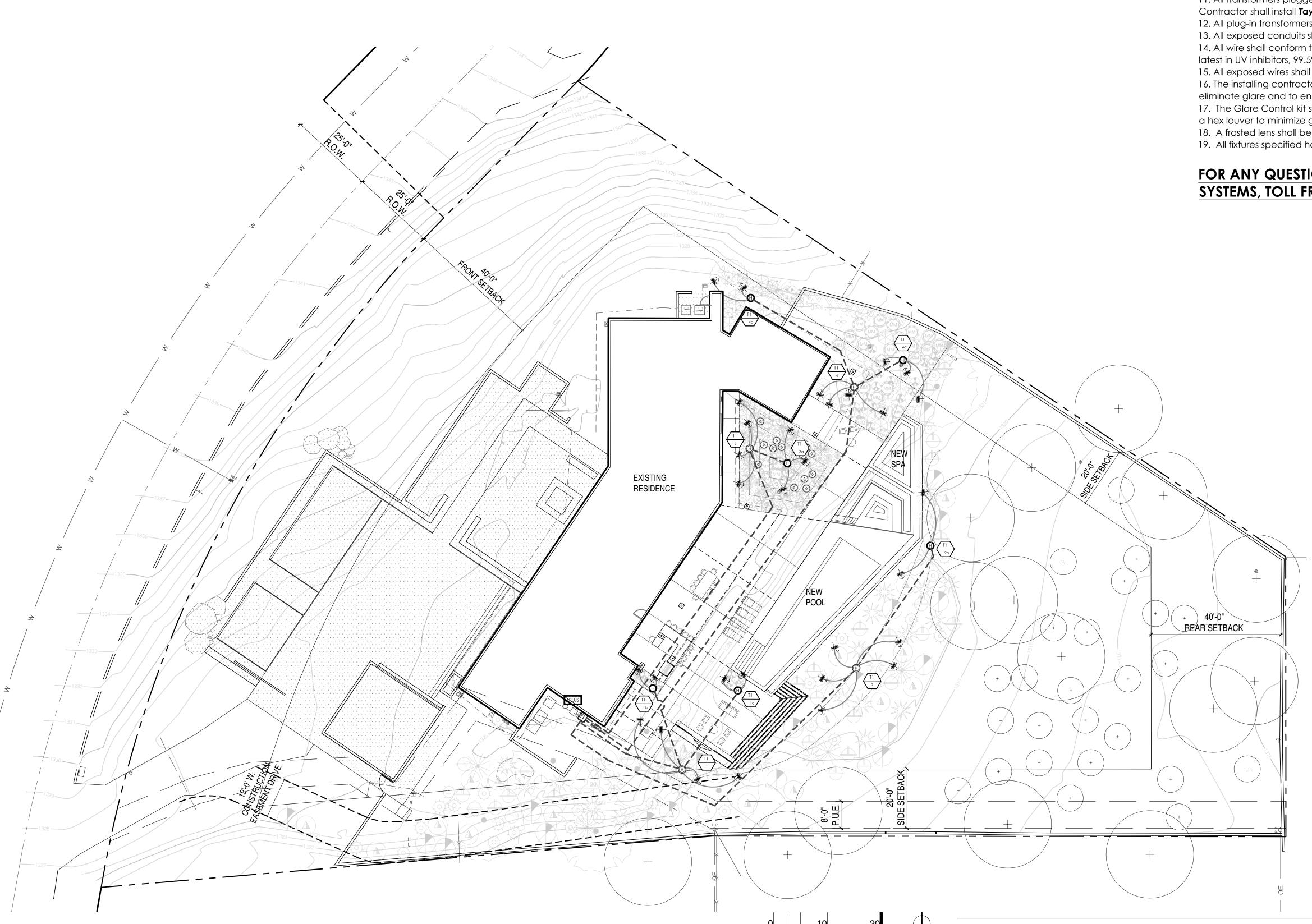
SHEET No.

L5.0

LIGHTING	LEGEND		TRANSFOR	RMERS & HUBS	
SYMBOL DESCR	RIPTION	QTY		UNIQUE, INTELLI-MATIC TRANSFORMER, 500IFSF	1
DIRECTIONAL UPLIC	<u>HT</u>		T#	SINGLE CORE, MULTI TAP, 12 VOLT TRANSFORMER, STAINLESS STEEL HOUSING WITH LIGHT LOGIC (LPCU-A)	
CAST BR. STAKE, 2 (shall be	E, STELLAR = STEL-12-L1 ASS, GLARE CONTROL LENS KIT, PVC MOUNTING 5' WIRE LEAD, FLEX SERIES 1 WATT LED used as a landscape lighting fixture only) WARM WHITE. 100 LUMENS. 3000K	31	LPLUS	UNIQUE LIGHT LOGIC PROGRAMMING MODULE (LPLUS)	1
STRIP LIGHTING			(H)	– UNIQUE, INTELLI-HUB	4
FLEXIBLE	NCE LED STRIP LIGHTING = BRI-SL3-2700 65 strip lighting warm white. 45 lumens per ft. 2700k	208 l.f.	(H)	– UNIQUE, SATELLITE HUB	8
COLOR.	COLOR. WARM WHITE. 43 LOMENSTERTT. 2700R			UNIQUE, THW UV BROWN WIRE (SEE TRANSFORMER LOAD CAL	lcs for size and qty)
			T# #	– TRANSFORMER NO. – HUB NO.	



SCALE IN FEET 1"=10'-0"





LIGHTING GENERAL NOTES:

1. This plan is intended for landscape lighting purposes only. All lighting fixtures and transformers shall be installed per manufacturer's specifications. It is the contractor's responsibility to maintain compliance with the National Electric Code (current edition) and all local building safety codes and ordinances.

2. Fixtures are shown in approximate location. The contractor shall field verify the actual placement of each fixture upon completion of landscape installation.

- 3. All pathlights to be installed at a minimum of 18" from any sidewalk or structure.
- 4. All hubs shall be labeled and installed primarily in planter areas 2" above finished grade; or in a readily accessible area that does not obstruct pathways, drainage swales or common areas. 5. All "Home Run" wire shall be labeled and installed at a minimum depth of 6". All fixture lead wires shall be installed at a minimum depth of 6".
- 6. In order to minimize future disturbance, all wire runs shall be installed parallel and adjacent to hard surfaces such as sidewalks, driveways and walls.
- 7. The installing contractor shall be responsible for installing sleeves under the hardscape surfaces, using a minimum 1-inch PVC pipe.
- 8. Contractor shall not cut the wire leads from the fixtures. Leave excess wire at the fixture when and a minimum of 2' at each hub.
- 9. All underground splices shall be installed in approved in-ground hubs with water-tight connections.
- 10. All exterior 120-Volt electrical outlets shall be GFI protected as per National Electrical Code. 11. All transformers plugged into an outdoor receptacle shall have an "in use" cover.
- Contractor shall install **Taymac** type covers at all outlets.
- 12. All plug-in transformers shall have a "Drip Loop" in the power cord.
- 13. All exposed conduits shall be painted to match surroundings.
- 14. All wire shall conform to ASTM B-49 and B-115 standards: 99% pure PVC plastic mixed with the latest in UV inhibitors, 99.5% pure copper.
- 15. All exposed wires shall be protected and painted.
- 16. The installing contractor shall be responsible for adjusting the fixtures at night to help
- eliminate glare and to ensure optimum lighting effect.
- 17. The Glare Control kit shall consist of a rotational shroud, frosted, linear and spread lens and a hex louver to minimize glare up to a 45 degree angle.
- 18. A frosted lens shall be used in any down light that is placed under 12' in height. 19. All fixtures specified have led lamps that emit max. 3000 kelvin color temperature.

FOR ANY QUESTIONS, PLEASE CONTACT UNIQUE LIGHTING SYSTEMS, TOLL FREE @ 1-800-955-4831









SHEET No.

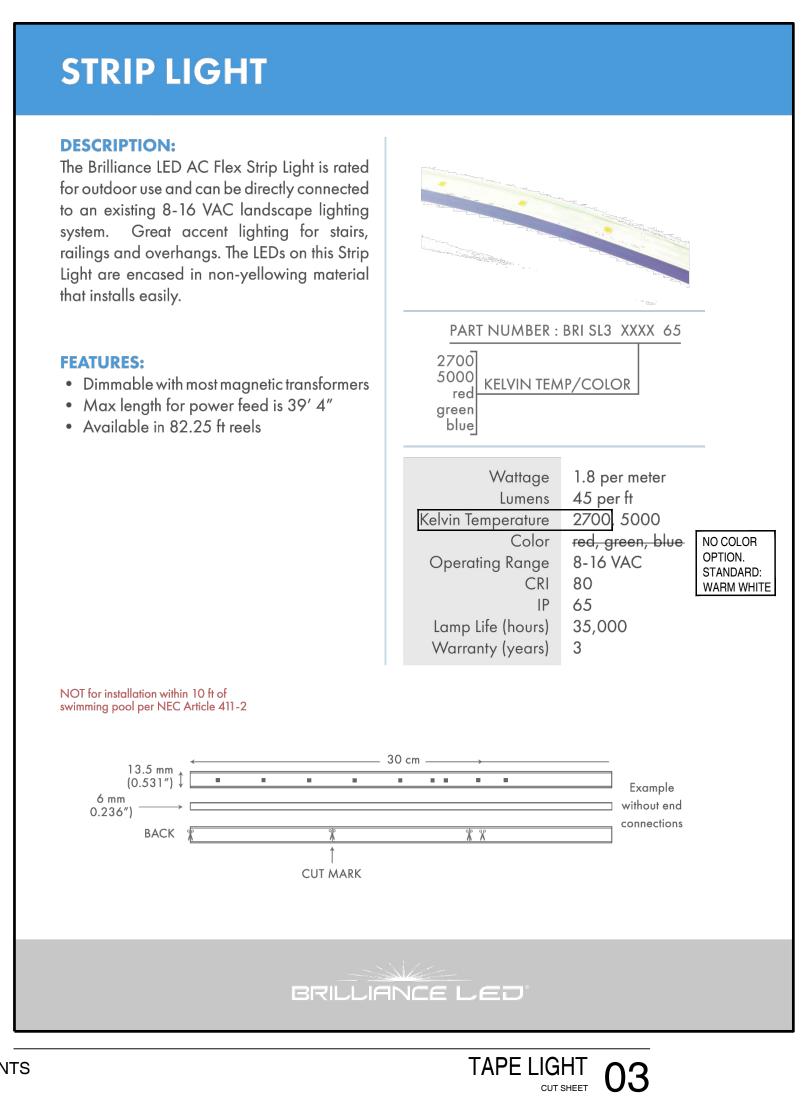
L6.0

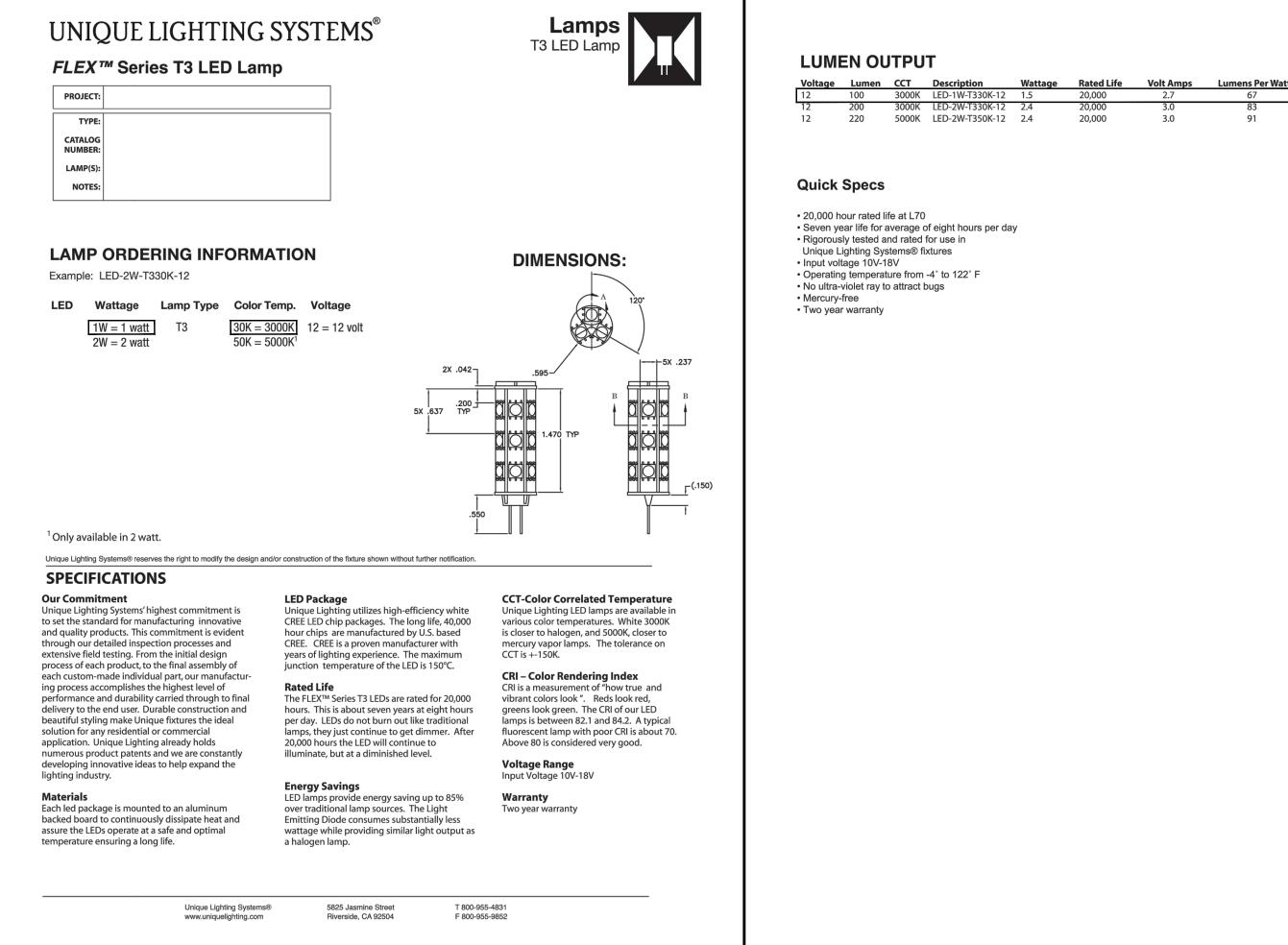
LIGHTING PLAN 01

STELLA	R: 12V & 2	4V Brass Up Ligl	nt		Odyssey™ Series		
PROJECT:							
TYPE:							
CATALOG							
NUMBER:							
LAMP(S): NOTES:							
FIXTUR			ΜΑΤΙΟ	N			
				Wire Lead, Weathered Brass)			
MODEL NAME	VOLTAGE	WATTAGE		WIRE LENGTH	FINISH	OPTIONS	
STEL	12=12 Volt 24=24 Volt	L1= LED, 1W, 3000 L2= LED, 2W, 3000		Leave blank for standard 25' length * 0= 3' wire lead	leave blank for standard WB finish P= Standard powder coat finishes.	* 6P= Six Pack	
	24-24 1011	20= 20W Xelogen NL=No Lamp	ĸ	*50=50' wire lead	List your desired color in the order comments area.		
	ED fintures and						
NOTE: Pre-lamped l NOT available with 2	24V lamps. LED						
fixtures are available 25' wire lead. For a	dditional			DIM	IENSIONS:		
painted finishes or s contact our factory.	six pack options			211	/		
				,	2.6		
Powder Coated Fi	nishes	Standard Finish		/	2.0		
Tucson Tan	TT	Weathered Brass	WB				
White	WH	Stock powder coate displayed are subject t	l colors				
Black	ВК	lead-times and will additional cost. A Limited applies to all powde	ncur an Warranty				
Verde Green	VG	products. Custom c available upon request.	olors are Please		3.2		
Titanium Knight	тк	inquire about cost and le Contact factory for cust and matching paint	om colors				
	a Liahtina Systems® fixtur	85					
Series LED when a	Lighting Systems® fixture ailable with LED lamps. specify the lamp code ordering.	Only available i			truction of the fixture shown without further no	tification.	
SPECIFICA							
Our Commitme			Shroud		Wiring		
Inique Lighting Sy	stems' highest cor		Precision m	achined and comes with a factory sea	led Exclusive UF Intelli-Flex wire wi		
o set the standard for manufacturing innovative and quality products. This commitment is evident through our letailed inspection processes and extensive field testing.			intrusion. In	ant tempered glass lens to prevent wa cludes external injection molded hex		anti-moisture migration connections.	
rom the initial des	sign process of eac	h product, to the		epts up to one additional lens.	Mounting Stake Standard mounting stake is inje	ction molded	
nanufacturing prod	cess accomplishes	individual part, our the highest level of	Lens Comes with	a complete set of optical designer	PVC with a 1/2" NPS threaded fe	male fitting.	
performance and durability carried through to final lelivery to the end user. Durable construction and			lenses inclu	ding: spread lens, frosted.	Finish Exclusive Weathered Brass finis	Finish Exclusive Weathered Brass finish is standard.	
	ake Unique™ fixtur or commercial app	es the ideal solution lication. Unique	Lamp	20W may Astro-Brite Jamp ELEVIM	Unique™ Lightings' weathered	brass finish is	
ighting ™ already holds numerous product patents and we are constantly developing innovative ideas to help		For use with 20W max. Astro-Brite lamp. <i>FLEX™</i> Series LED lamps are available in 1W and 2W T3. LED lamps are available in 3000K color tempera-		change over time. Polyester po	change over time. Polyester powder coat finishes are also available (see chart above).		
xpand the lighting			tures.	and an and an obout oblor tompera-	Warranty	/-	
Body Precision machine	d from solid brase	casting. Body design		Requirements	The Odyssey Family of product		
Precision machined from solid brass casting. Body design rovides enclosed, water resistant wireway to protect vires. Features an integral knuckle for maximum			ordered sep	2V or 24V transformer required, may be parately from Unique Lighting Systems		Lighting Systems® carries a limited lifetime warranty against manufacturer's defects.	
muo, i caluico di			12V. Voltag	ge for 12V halogen lamps is 10.8V to ge range for 24V halogen lamps is 21.6	Wanufacturing	Quality	
nechanical strengt			to 24V. Vol lamps is 10	tage range for <i>FLEX™</i> Series LED T3 V-18V.	Manufactured to ISO 9001-2008 Systems Standard	Quality	
nechanical strengt Gasket	silicone gasket for	water-tight seal.	Lamp Cor		\bigcirc		
nechanical strengt Gasket				n grade, beryllium copper lamp holder.	TÚV Rheinland		
nechanical strengt Gasket ligh temperature s Knuckle	uckle with a solid l	orass adjustable	CUE 9 harris				
nechanical strengt Gasket ligh temperature s Cnuckle fachined brass kri humb screw. Vert		brass adjustable I horizontal rotation .ock Nut™ allows for	GU5.3 base).	c UL 2108:2004 R12.07		

NTS

STELLAR - UPLIGHT 01





3.0

LED LIGHT 02





LIGHTING CUT SHEETS

SHEET No.

L6.1