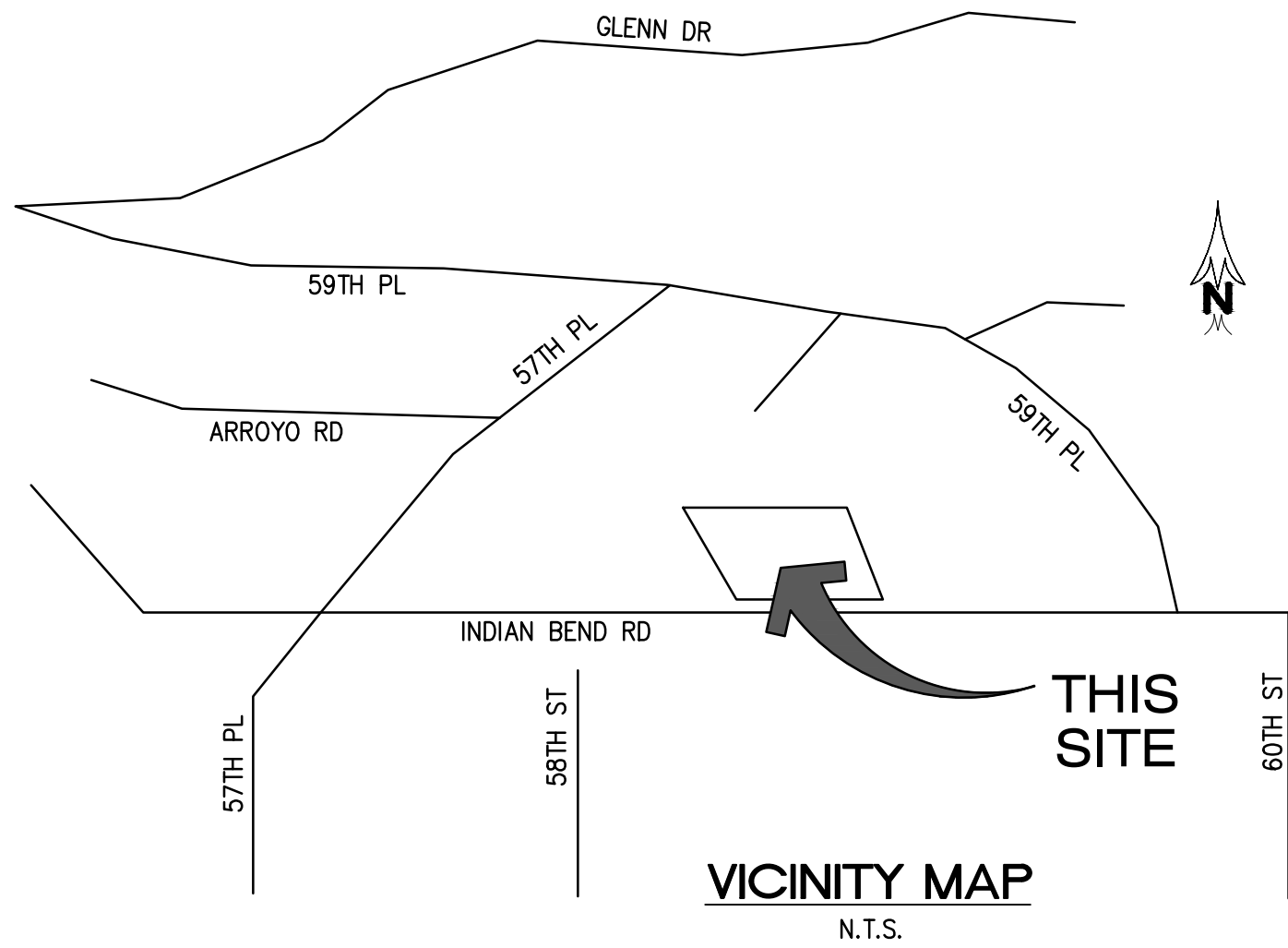


1. CERTIFICATION OF FINISHED FLOORS OR BUILDING PADS IS THE RESPONSIBILITY OF THE DEVELOPER, BUILDER, OWNER AND SHALL BE SUBMITTED PRIOR TO A REQUEST FOR A CERTIFICATE OF OCCUPANCY OR FINAL INSPECTION.
2. AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
3. ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, PIPES, PROTECTIVE BERMS OR OTHER MEASURES DESIGNED TO PROTECT BUILDINGS OR PROPERTY FROM STORM RUNOFF MUST BE COMPLETED PRIOR TO ANY STRUCTURE BEING BUILT.
4. SOIL COMPACTION TEST RESULTS MUST BE SUBMITTED TO THE TOWN ENGINEER'S OFFICE FOR BUILDING PADS THAT HAVE TWO (2) OR MORE FEET OF FILL MATERIAL INDICATED. THIS INFORMATION SHALL BE SUPPLIED PRIOR TO POURING FOUNDATIONS. MINIMUM 95% COMPACTION PER ASTM D698.
5. PREPARATION OF GROUND: THE AREA OVER WHICH FILLS ARE TO BE MADE SHALL BE CLEARED OF ALL TRASH, TREES, STUMPS, DEBRIS OR OTHER MATERIAL NOT SUITABLE AS A FOUNDATION FOR FILL.
6. LOCATIONS OF ALL UTILITIES SHOWN ON THIS PLAN ARE BASED ON INFORMATION SUPPLIED TO THE ENGINEER BY THE APPROPRIATE UTILITY COMPANIES. NO GUARANTEE ON LOCATIONS OR ACCURACY IS IMPLIED OR GIVEN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT BLUE STAKE (602) 263-1100 AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION.
7. RETAINING WALLS SHALL BE BACK FILLED, WITH 2" TO 3" STONE WITH 1" DRAINS AT 6' ON CENTER.
8. DISTURBED AREAS SHALL BE REPLANTED WITH DESIRED PLANTS OR DROUGHT RESISTANT PLANTS. EXISTING VEGETATION SHALL BE RELOCATED IF DISTURBED BY CONSTRUCTION.
9. SWALES SHALL BE LINED WITH 4" MINIMUM ROCK AND BE A MINIMUM OF 14" DEEP AFTER FINISH LANDSCAPE.
10. ALL EXPOSED RETAINING WALLS AND FENCES SHALL BE FINISHED WITH PAINTED STUCCO.
11. CONTRACTOR/BUILDER SHALL NOTIFY THE ENGINEER OF ANY VARIANCES BETWEEN THESE PLANS AND ONSITE CONDITIONS.
12. ALL DRAINAGE SWALES SHALL BE MAINTAINED BY OWNER TO BE FREE OF TRASH, SILT, VEGETATION AND DEBRIS.
13. DROPS OF 30" OR MORE IN ACCESSIBLE AREAS SHALL BE PROTECTED BY A 36" MINIMUM HEIGHT GUARDRAIL (G.R.).
14. CONTRACTOR SHALL VERIFY PROPERTY LINE LOCATIONS PRIOR TO PROCEEDING WITH WORK.
15. FINISH GRADE SHALL SLOPE AWAY FROM RESIDENCE AT LEAST 5% FOR A MINIMUM DISTANCE OF 10' TO AN APPROVED WATER DISPOSAL AREA.
16. ARCHITECTURAL, STRUCTURAL, ELECTRICAL, MECHANICAL AND PLUMBING ARE NOT A PART OF THIS SITE PLAN.
17. SWIMMING POOL, SPAS, FENCES AND SITE WALLS REQUIRE SEPARATE PERMITS.
18. MITIGATION OF EXPANSIVE SOIL IS NOT A PART OF THIS PLAN. SEE HOUSE PLANS FOR REQUIREMENTS.
19. FOUNDATIONS SHALL BEAR ON NATIVE SOIL OR COMPACTED FILL WITH MINIMUM OF 95% COMPACTION PER ASTM D698.
20. CONTRACTOR SHALL PROVIDE 1" MINIMUM WATER SERVICE.
21. CONCRETE WALKING SURFACES 30" ABOVE GRADE REQUIRE A GUARDRAIL.

1. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL ALL HILLSIDE STIPULATIONS AND ALL TOWN CODE REQUIREMENTS ARE COMPLIED INCLUDING, BUT NOT LIMITED TO LANDSCAPING, GROUND RESTORATION, FIRE FLOW, FIRE SAFETY AND ALL ONSITE AND OFFSITE IMPROVEMENTS.
2. ALL OUTDOOR LIGHTING SHALL BE IN CONFORMANCE WITH ARTICLE XXII OF THE TOWN ZONING ORDINANCE.
3. ALL EXCESS FILL MATERIAL SHALL BE REMOVED FROM THE SITE WITH NO NEW SPILL SLOPES.
4. THE USE OF HYDRAULIC RM HAMMERS OR OTHER HEAVY EQUIPMENT USED TO CUT THROUGH ROCK, INCLUDING MACHINERY WITH AUDIBLE BACK UP WARNING DEVICES SHALL BE LIMITED TO USE BETWEEN THE HOURS OF 7:00AM OR SUNRISE, WHICHEVER IS LATER, AND 6:00PM OR SUNSET, WHICHEVER IS EARLIER, MONDAY THROUGH FRIDAY, WITH LIMITED WORK ON SATURDAY AND NO WORK ON SUNDAY OR LEGAL HOLIDAYS.
5. CONSTRUCTION STAKING AND/OR FENCING SHALL BE PLACED AROUND THE CONSTRUCTION SITE SO AS TO PROTECT THE UNDISTURBED NATURAL.

1. INSTALL 8" ADS NYLOPLAST INLINE DRAIN (OR APPROVED EQUAL) WITH 6" ADAPTER AND 90 DEGREE BEND, AND CONNECT TO UPSTREAM END OF 6" DRAINAGE PIPE.
2. INSTALL 27 LF OF 6" ADS N-12 DRAINAGE PIPE @ 1% SLOPE.
3. INSTALL 10" NYLOPLAST DRAIN BASIN (OR APPROVED EQUAL).
4. INSTALL 8" ADS N-12 DRAINAGE PIPE (OR APPROVED EQUAL) SLOPE PER PLAN.
5. INSTALL 8" X 22.5" BEND.
6. INSTALL 10" NYLOPLAST INLINE DRAIN (OR APPROVED EQUAL) WITH 8" RISER AND TEE.
7. INSTALL 8" FLARED-END PIPE.
8. INSTALL FERNCO STORM DRAIN PLUS (OR APPROVED EQUAL), LRV $\leq$ 38%.
9. PAVERS PER ARCHITECTURAL PLANS.
10. CONTRACTOR TO RETROFIT EX. RETAINING WALL, TO ALLOW 8" PIPE TO GO THROUGH OR UNDERNEATH IT.
11. RETAINING WALL PER STRUCTURAL PLANS.
12. REMOVE EX. FENCE.
13. INSTALL LOOSE RIP RAP (D₅₀-6") 12" THICK.
14. GATE PER ARCHITECTURAL PLANS.
15. SCREEN WALL PER ARCHITECTURAL PLANS.

1. CONTRACTOR TO COORDINATE THE REMOVAL / RELOCATION OF EX. UTILITIES / TREES AS NEEDED.
2. FILLING OF EX. SWIMMING POOL IS TO FOLLOW PROCEDURE RECOMMENDED BY A GEOTECHNICAL ENGINEER.
3. SWIMMING POOL IS TO HAVE A FILTER THAT SHALL NOT REQUIRE BACKWASHING, (I.E. HAYWARD SWIMCLEAR OR APPROVED EQUAL)



CENTER LINE	— — — — —
PROPERTY LINE/ROW	— — — — —
EX. FENCE	— — — — — X
DRAINAGE ARROWS	←
EXISTING CONTOURS	— — 58 —
PROPOSED CONTOURS	— — 58 —
EASEMENT LINE	— — — — —
EXISTING TREE	⊗
FINISHED FLOOR ELEVATION	FFE
BUILDING SETBACK LINE	BSL
WATER METER	WM
WATER VALVE	WV
ELECTRICAL CABINET	ECAB
PUBLIC UTILITY EASEMENT	PUE
FINISHED GRADE	FG
EX. FIRE HYDRANT	⊗
SWALE	— — — — —
GRADE BREAK LINE	◆ — ◆ —
DESIGNATION:	A — A
LOWEST NATURAL GRADE	LNG
PAVERS	P
TOP OF RETAINING WALL	TR
LIMITED REFLECTIVE VALUE	LRV

STEFAN/SHELLEY TARLOW
5826 E. INDIAN BEND RD.
PARADISE VALLEY, AZ 85253
CONTACT: STEFAN TARLOW
PH: (623) 340-0709

ENGINEER

M & M CIVIL ENGINEERING, L.L.C.
8564 W. HATCHER RD.
PEORIA, ARIZONA 85345
PH: (602) 242-4666
FX: (602) 242-3302
CONTACT: MANUEL A. INURRIAGA P.E.

FOUND BRASS CAP HAND FLUSHED,
AT THE SOUTH QUARTER OF SECTION
4, T2N, R4E, OF THE G&SRB&M,
MARICOPA COUNTY.
ELEVATION:1423.873 NAVD 88
DATUM, PER MCDOT GDACS.

5827 E. INDIAN BEND ROAD
PARADISE VALLEY, AZ 85253
APN#: 169-55-011
ZONING: R-43

LOT 43 OF EL CLUB ESTATES,
ACCORDING TO THE PLAT OF
RECORD IN THE OFFICE OF THE
COUNTY RECORDER OF MARICOPA
COUNTY, ARIZONA, IN BOOK 91
MAPS, PAGE 7.

EXISTING FINISHED FLOOR (1443. IS AT LEAST ONE FOOT ABOVE SITE'S OUTFALL ELEVATION (1425) AND FREE FROM INUNDATION DURING A 100 YEAR-2 HOUR PEAK RUN-OFF EVENT IF CONSTRUCTED IN ACCORDANCE WITH APPROVED PLANS.

AREA OF LOT 1.1477 ACRES 49,992 SQUARE FEET
 AREA UNDER ROOF 4,825 SQUARE FEET
 FLOOR AREA RATIO 9.65% (AREA UNDER ROOF/AREA OF LOT)
 BUILDING PAD SLOPE 11%
 VERTICAL 14 FEET
 HORIZONTAL 128 FEET
 ALLOWABLE DISTURBED AREA 53.66%
 ALLOWABLE DISTURBED AREA 26,825 (TOTAL) SQUARE FEET
 EXISTING DISTURBED AREA 20,800 SQUARE FEET
 PROPOSED DISTURBED AREA 26,750 SQUARE FEET
 PERCENT OF LOT STEEPER THAN NATURAL GRADE(5% MAX.) 3.5%
 VOLUME OF CUT 450 C.Y. VOLUME OF FILL 40 C.Y.
 HILLSIDE ASSURANCE ~~0~~\$25/CUBIC YARD OF CUT+FILL \$12,250.00
 NUMBER OF RETAINING WALLS 8
 TOTAL LENGTH OF ALL RETAINING WALLS 286 FEET
 MAXIMUM HEIGHT OF RETAINING WALLS 8 FEET
 MAXIMUM CONTINUOUS LENGTH OF RETAINING WALLS 75 FEET
 MAXIMUM LENGTH OF VISIBLE RETAINING WALL MEASURED FROM
 ANY POINT AROUND THE PROPERTY 162 FEET

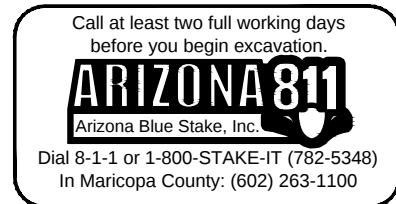
COMMUNITY NUMBER	PANEL #	SUFFIX	DATE OF FIRM (INDEX DATE)	FIRM ZONE	BASE FLOOD ELEVATION (IN AO ZONE USE DEPTH)
040049	1765	L	10/16/2013	X	N/A

THE PROPOSED ADDITIONS DO NOT AFFECT THE EXISTING DRAINAGE, NOR THEY WILL AFFECT THE EXISTING CURBS.

NET CUT ----- 450 C.Y.
NET FILL ----- 40 C.Y.

NOTE: EARTHWORK QUANTITIES ARE ESTIMATED VOLUMES BASED ON RAW VOLUMES. THE CONTRACTOR SHALL PREPARE HIS/HER OWN EARTHWORK ANALYSIS FOR BIDDING PURPOSES.

I HEREBY CERTIFY THAT THE "RECORD DRAWING" MEASUREMENTS AS SHOWN
HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED AND ARE CORRECT
TO THE BEST OF MY KNOWLEDGE AND BELIEF.

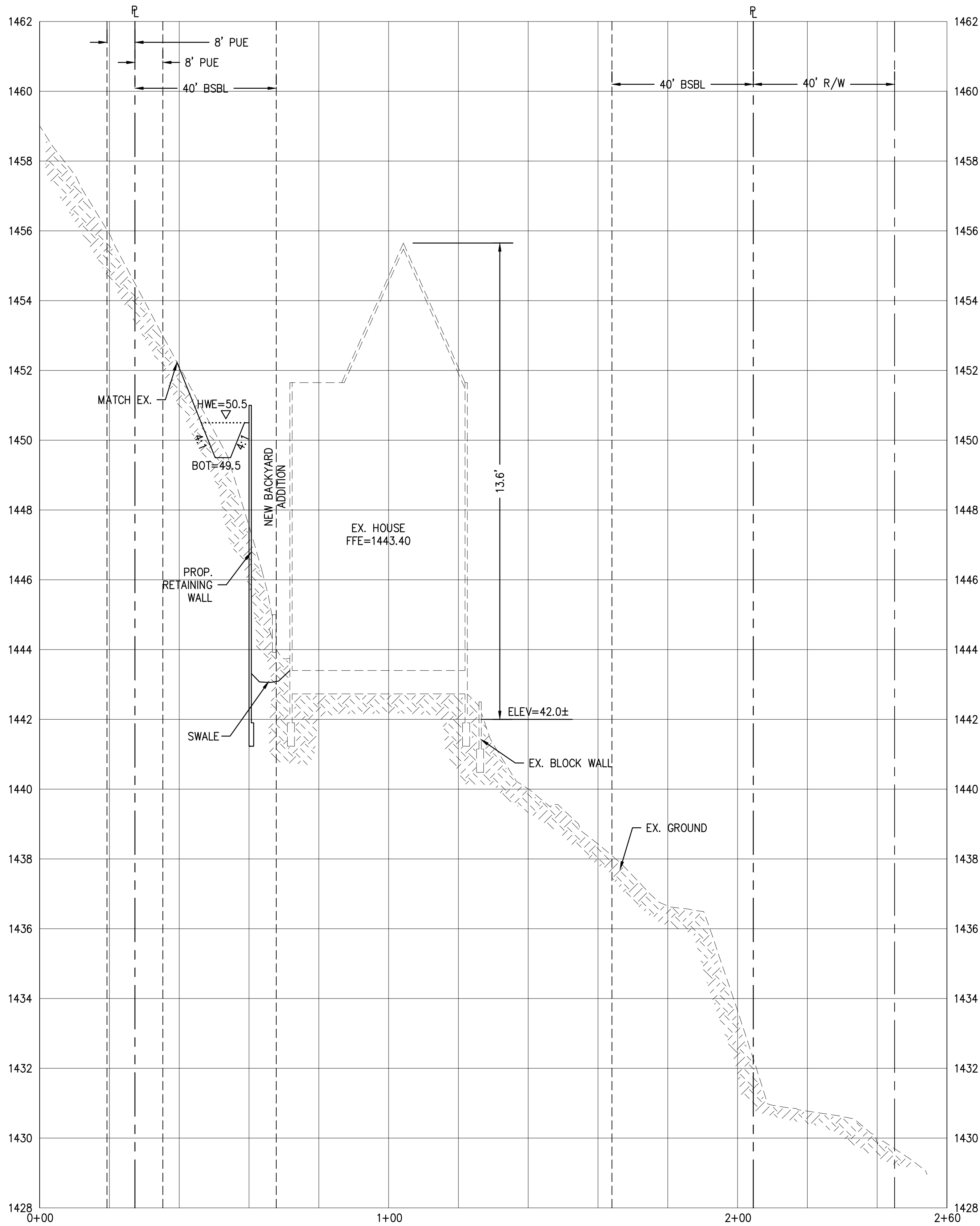


REGISTERED ENGINEER/LAND SURVEYOR

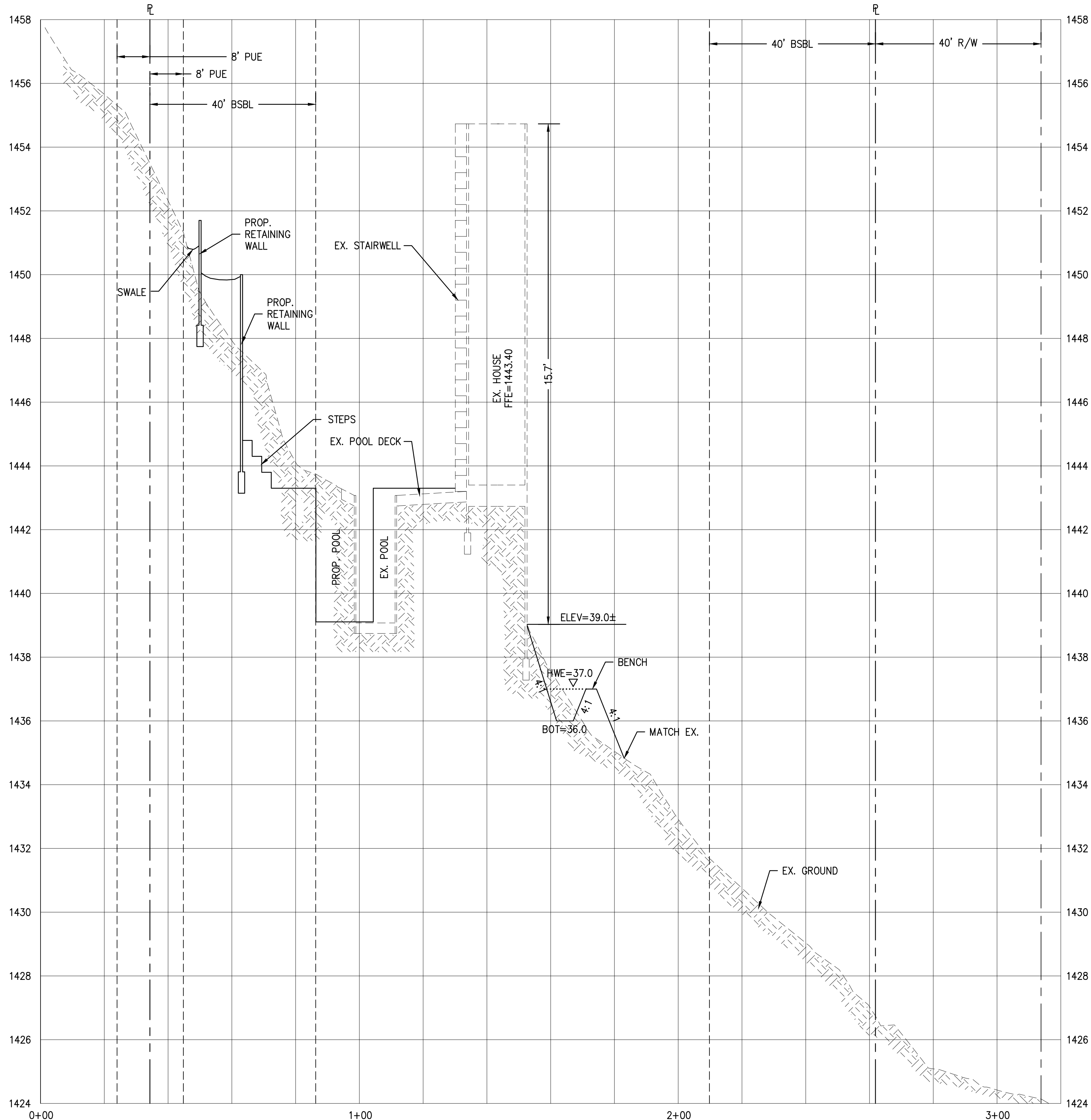
DATE _____

REGISTRATION NUMBER

[illegible]



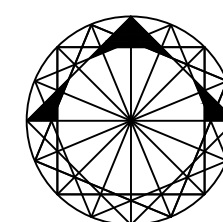
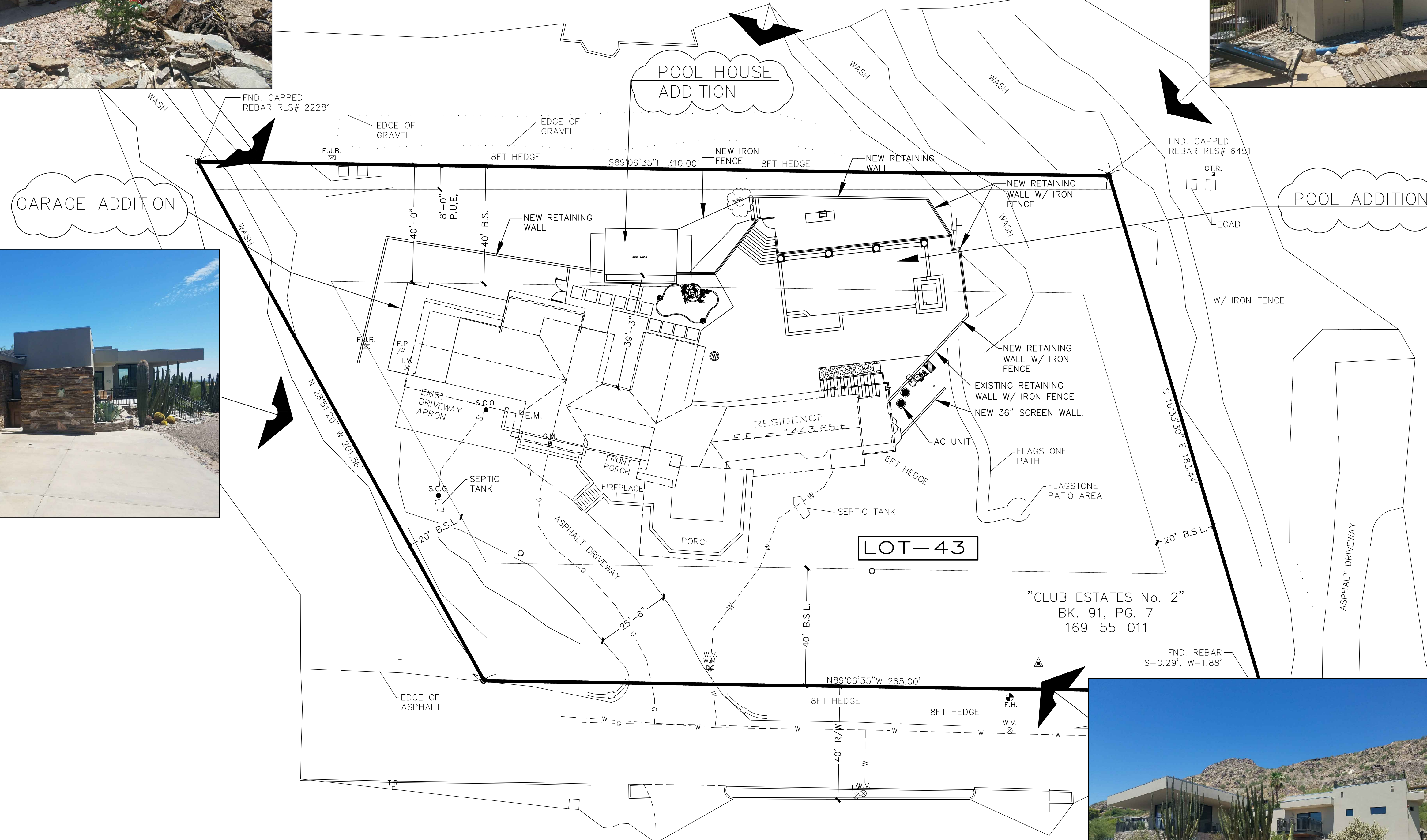
SECTION A-A
H: 1"=20' V: 1"=2'



SECTION B-B
H: 1"=20' V: 1"=2'



DESCRIPTION		REV	DATE	BY



SITE PLAN WITH PHOTOGRAPHS

SCALE: 1'-0" = 20'-0"

SPH

PROJECT NARRATIVE

THE RESIDENTIAL PROJECT CONSIST OF:
400.00 SQ.FT. POOL HOUSE – NO BATH
764.00 SQ.FT GARAGE ADDITION – 3RD BAY ON EXISTING GARAGE
764.00 SQ.FT. STORAGE UPPER/GARAGE ADDITION
NEW POOL, HARDSCAPE, LANDSCAPING AND BBQ.

Made By:

RD

ARCHITECTURAL
CONSULTANTS

60 E MITCHELL DR
PHOENIX AZ 85012
PH 602.340.0626
info@rddesignteam.com

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PROJECT

Tarlow's
Pool
House &
Garage
addition

OWNER

STEFAN
&
SHELLEY
TARLOW

5826 E. INDIAN BEND RD
PARADISE VALLEY, AZ
85253
APN: # 169-55-011

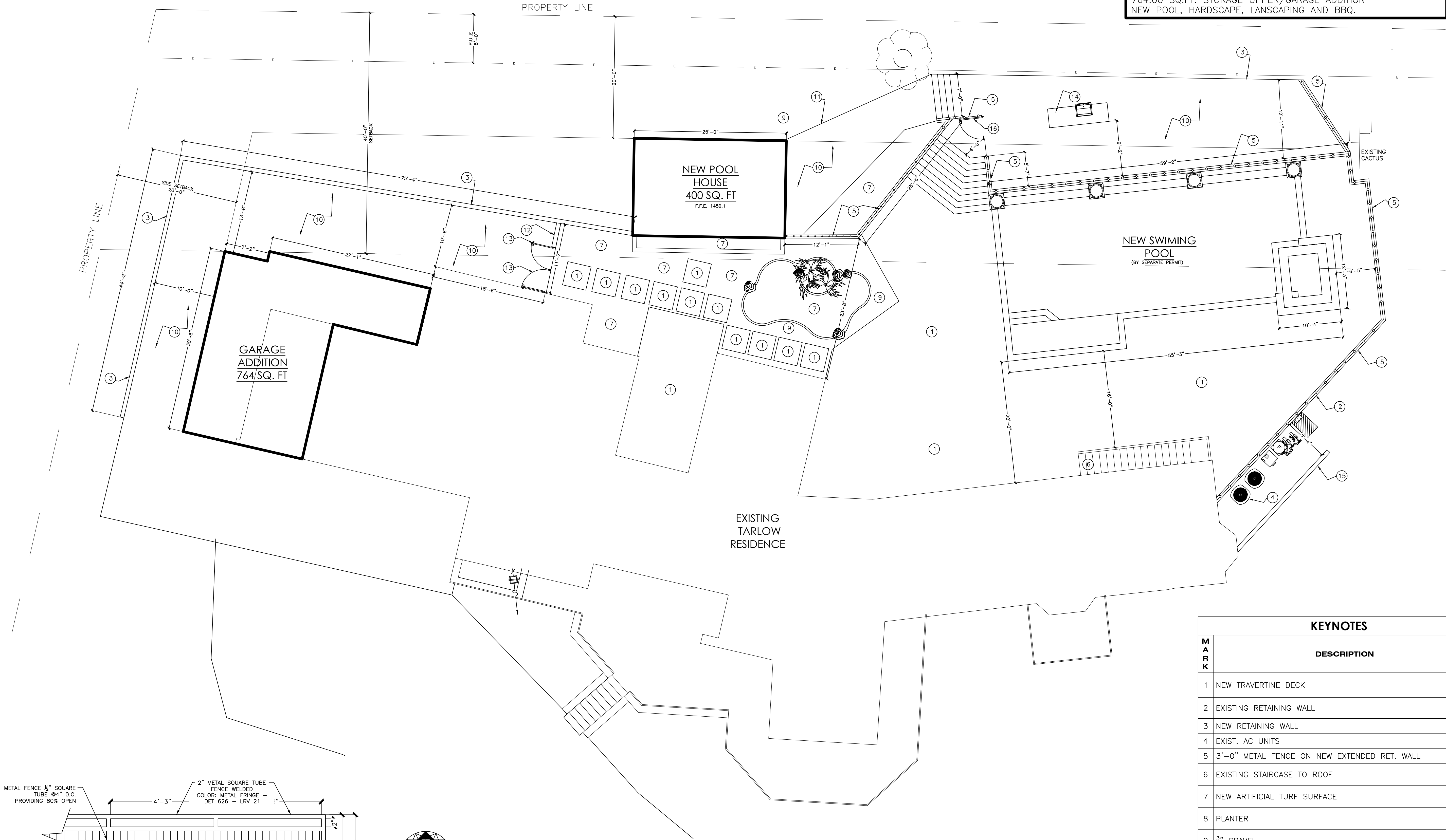
DRAWING TITLE

SITE PLAN

M A R K	KEYNOTES
	DESCRIPTION
1	NEW TRAVERTINE DECK
2	EXISTING RETAINING WALL
3	NEW RETAINING WALL
4	EXIST. AC UNITS
5	3'-0" METAL FENCE ON NEW EXTENDED RET. WALL
6	EXISTING STAIRCASE TO ROOF
7	NEW ARTIFICIAL TURF SURFACE
8	PLANTER
9	3/4" GRAVEL
10	CONCRETE DECK
11	5' METAL FENCE
12	8X8X16 CMU WALL 6' HIGH
13	METAL GATE 4' WIDE X 6' HIGH – W/SELF CLOSING DEVICE FOR POOL BARRIER
14	NEW BBQ GAS
15	SCREEN WALL FOR POOL/MECHANICAL EQUIPMENT
16	METAL GATE 4' WIDE X 3' HIGH – W/SELF CLOSING DEVICE FOR POOL BARRIER

POOL BARRIER NOTE:

EXISTING HOUSE REQUIRED TO INSTALL:
SELF-CLOSING DEVICE ON ALL EXTERIOR
DOORS WITH POOL ACCESS.



METAL FENCE 3/4" SQUARE TUBE @ 4" O.C. PROVIDING 80% OPEN

2" METAL SQUARE TUBE FENCE WELDED COLOR: METAL FRINGE – DET 626 – LRV 21

4'-3"

2'-10"

3'-0"

1'-6"

NOTE: TRIM AND RAILING – METAL FRINGE – DET626-LRV21

RETAINING WALL PER G&D PLAN

2" METAL SQUARE TUBE FENCE WELDED COLOR: METAL FRINGE – DET 626 – LRV 21

POOL FENCE DETAIL - TYP

SCALE: 1/2" = 1'-0"

SITE PLAN

SCALE: 1'-0"= 20'-0"

REGISTERED ARCHITECT

52052

DORA CASTILLO

DESIGNED: 11/20/17

ARIZONA U.S.

EXPIRES 06/30/20

Drawn By
DC

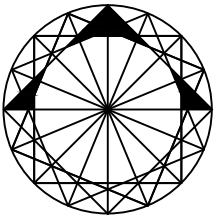
Date
11/20/17

REVISION

DATE: BY:

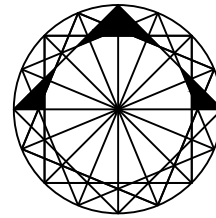
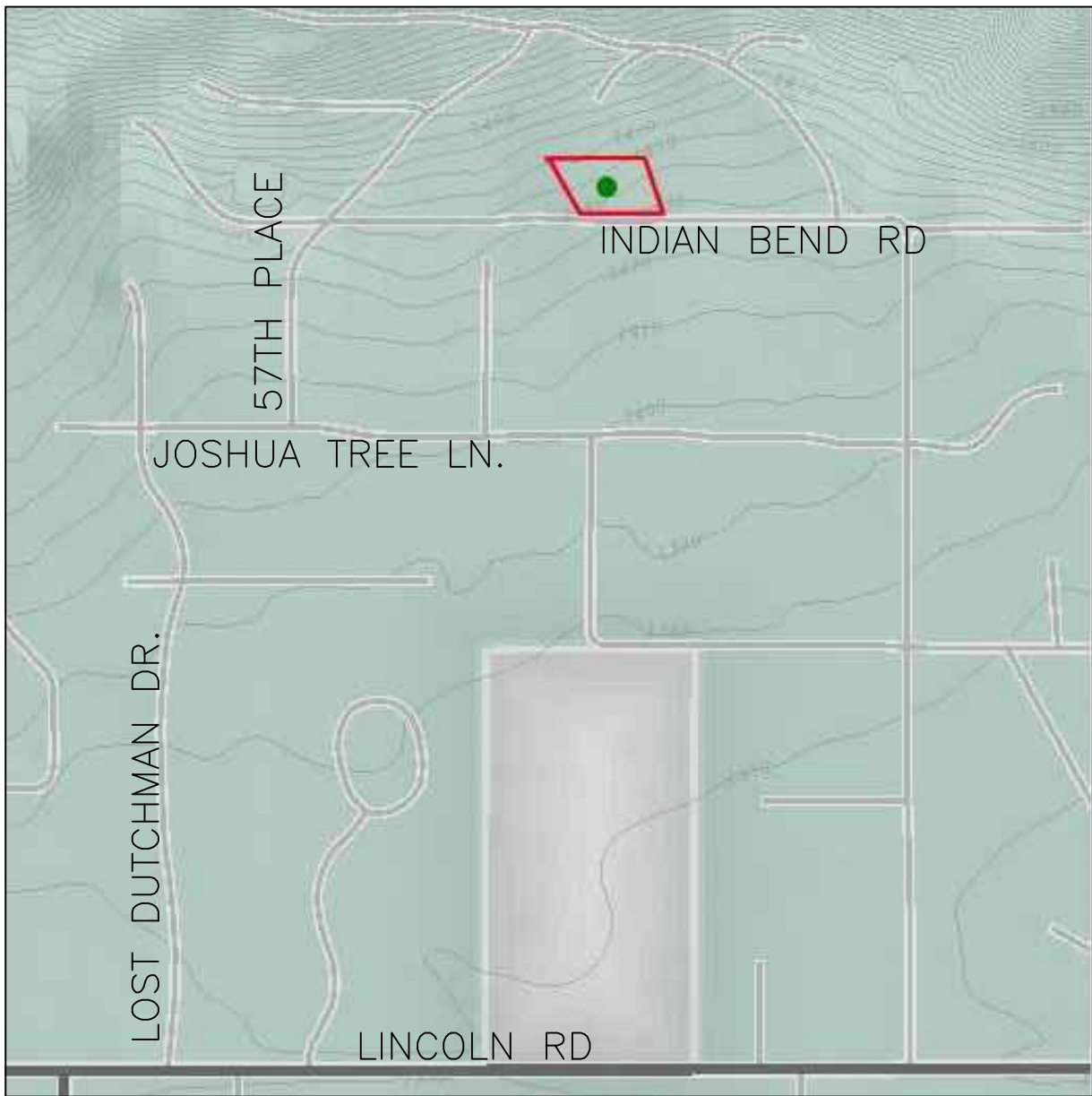
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SP



AERIAL MAP

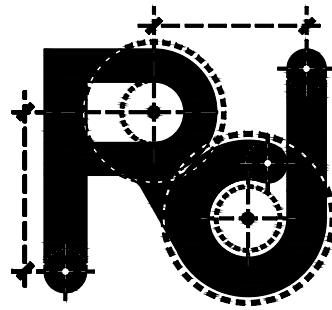
N.T.S.



VICINITY MAP

N.T.S.

Made By:



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PHOENIX AZ 85012
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info@rddesignteam.com

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PROJECT

Tarlow's
Pool
House &
Garage
addition

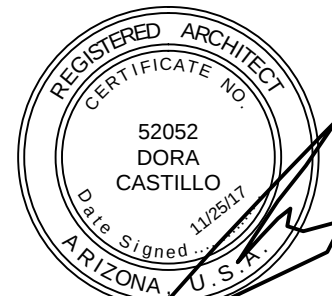
OWNER

STEFAN
&
SHELLEY
TARLOW

5826 E. INDIAN BEND RD
PARADISE VALLEY, AZ
85253
APN: # 169-55-011

DRAWING TITLE

AERIAL
MAP AND
VICINITY
MAP



EXPIRES 06/30/20

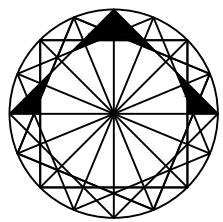
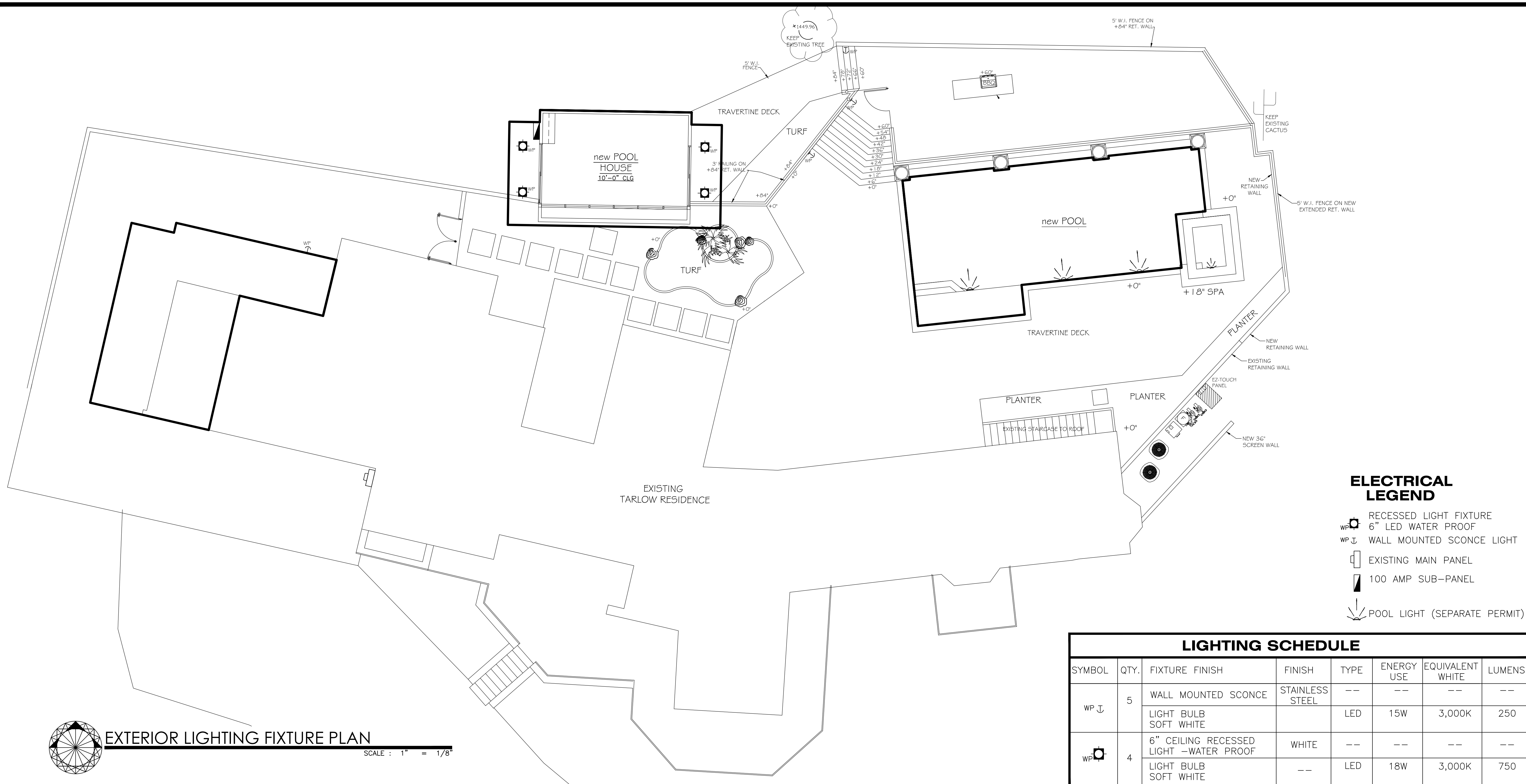
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DC	11/20/17

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DATE:	BY:

SHEET NO.

A&V



EXTERIOR LIGHTING FIXTURE PLAN

SCALE : 1" = 1/8"

ELECTRICAL LEGEND

- WP [Symbol] RECESSED LIGHT FIXTURE
- WP [Symbol] 6" LED WATER PROOF
- WP [Symbol] WALL MOUNTED SCONCE LIGHT
- [Symbol] EXISTING MAIN PANEL
- [Symbol] 100 AMP SUB-PANEL
- [Symbol] POOL LIGHT (SEPARATE PERMIT)

LIGHTING SCHEDULE

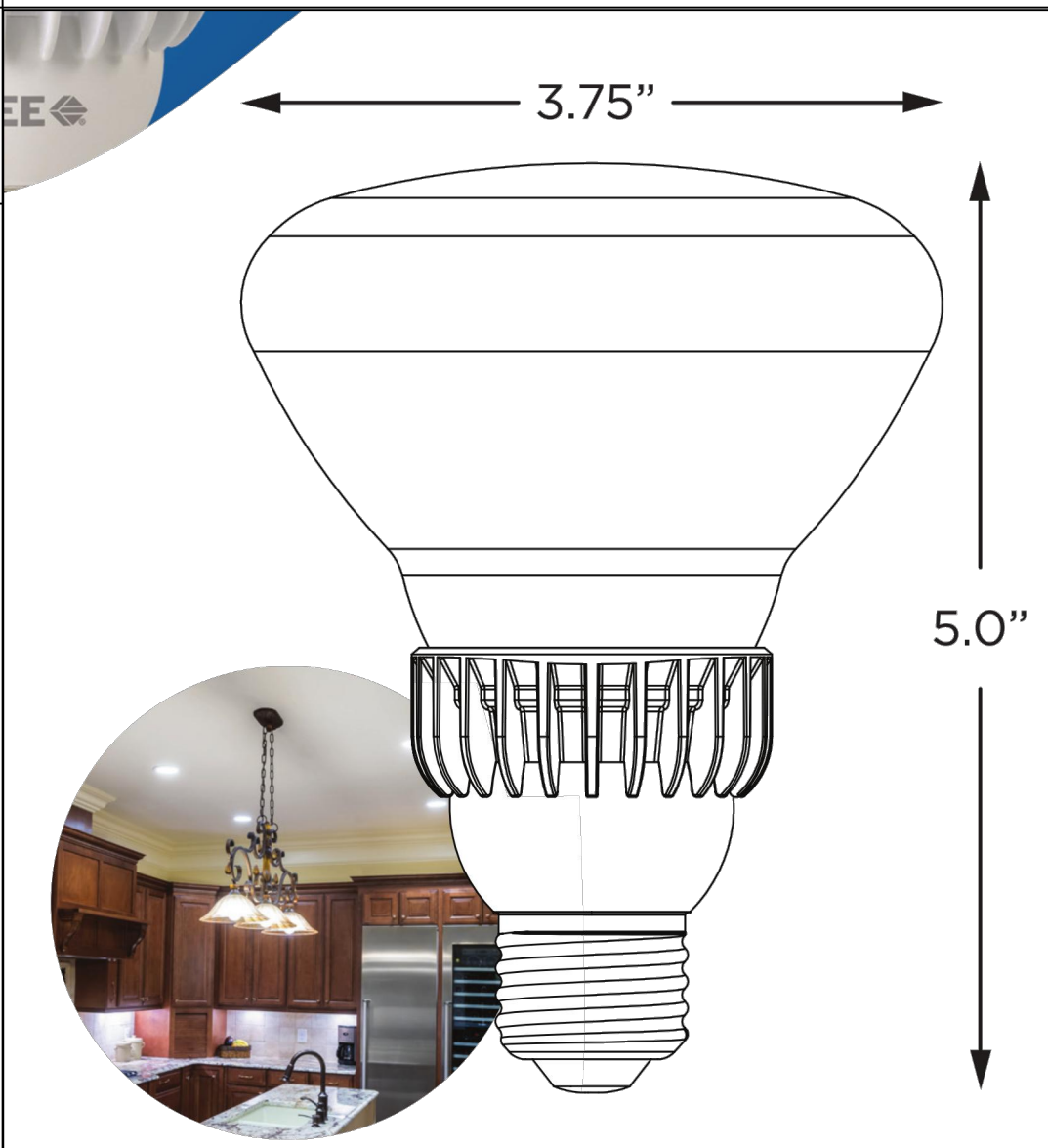
SYMBOL	QTY.	FIXTURE FINISH	FINISH	TYPE	ENERGY USE	EQUIVALENT WHITE	LUMENS
WP [Symbol]	5	WALL MOUNTED SCONCE	STAINLESS STEEL	--	--	--	--
		LIGHT BULB SOFT WHITE		LED	15W	3,000K	250
WP [Symbol]	4	6" CEILING RECESSED LIGHT -WATER PROOF	WHITE	--	--	--	--
		LIGHT BULB SOFT WHITE	--	LED	18W	3,000K	750

WALL MOUNTED SCONCE

SCONCE LED LIGHT BULB

CEILING RECESSED LIGHT

RECESSED LIGHT BULB



SECTION N1104 ELECTRICAL POWER AND LIGHTING SYSTEMS (MANDATORY)

N1104.1 (R404.1) Lighting equipment (Mandatory). A minimum of 75 percent of the lamps in permanently installed lighting fixtures shall be high-efficacy lamps or a minimum of 75 percent of the permanently installed lighting fixtures shall contain only high-efficacy lamps.

Exception: Low-voltage lighting shall not be required to utilize high-efficiency lamps.

N1104.1.1 (R404.1.1) Lighting equipment (Mandatory). Fuel gas lighting systems shall not have continuously burning pilot lights.

Made By:

ARCHITECTURAL CONSULTANTS

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PROJECT

Tarlow's Pool House & Garage addition

OWNER

STEFAN & SHELLEY TARLOW

5826 E. INDIAN BEND RD
PARADISE VALLEY, AZ 85253
APN: # 169-55-011

DRAWING TITLE

EXTERIOR LIGHTING PLAN

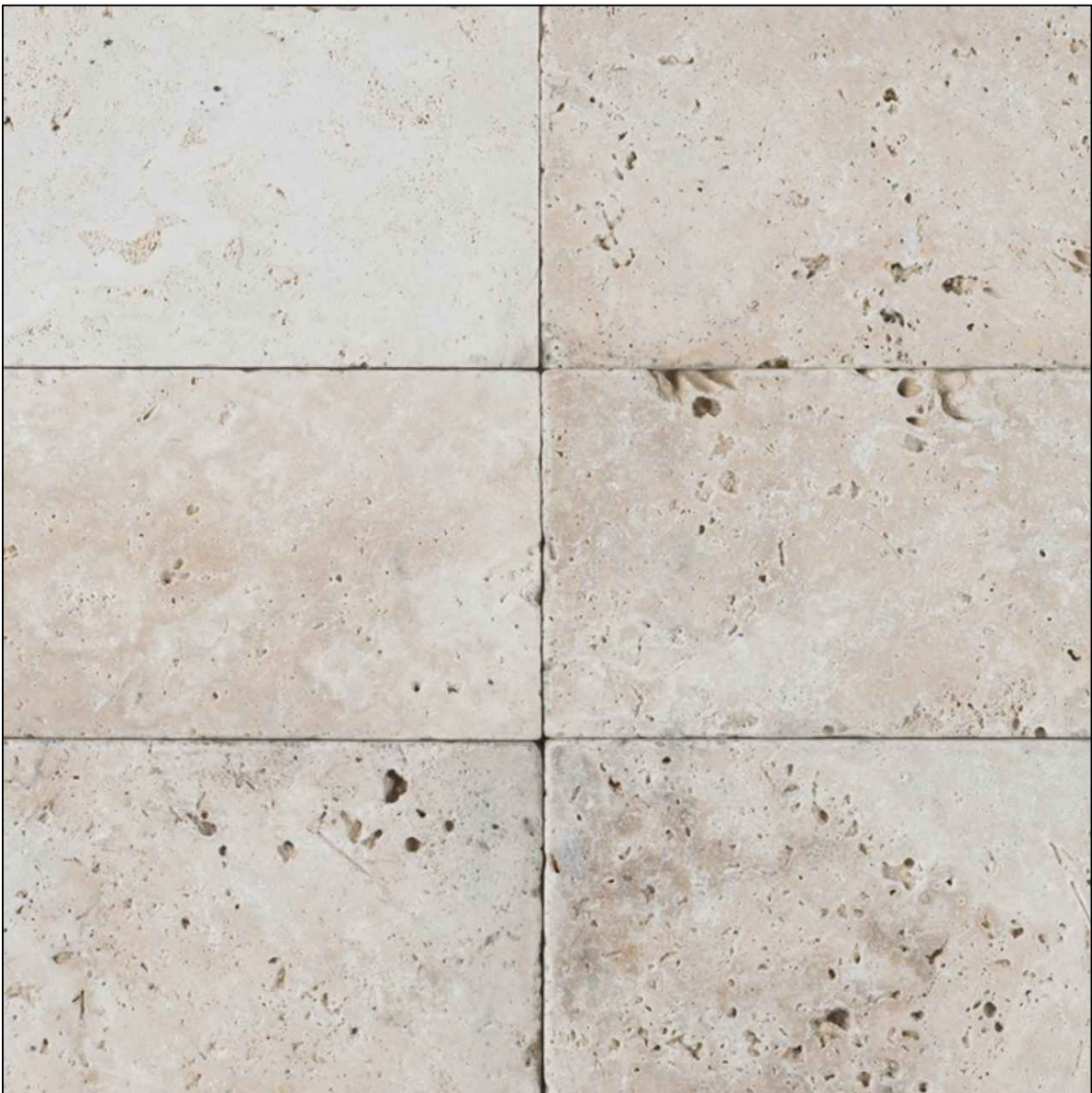
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DC	11/20/17

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L-P



TRAVERTINE
ANKARA TUMBLED
LRV 38

BODY



SHAGGY BARKED
DEC771
LRV 38

RAILING



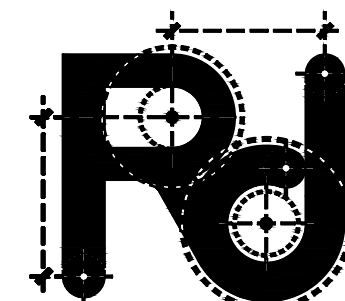
BLACK TIE
DE6357
LRV 6

TRIM



METAL FRINGE
DET626
LRV 21

Made By:



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5826 E. INDIAN BEND RD
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85253
APN: # 169-55-011

DRAWING TITLE
EXTERIOR
MATERIAL SAMPLES



Drawn By	Date
DC	11/20/17

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DATE:	BY:

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EMS



NATIVE PLANT INVENTORY
TREE RELOCATORS, INC.
6502 N. 81st Place Scottsdale, AZ 85250
Office: (800) 947-6118
Natl. Pk: (602) 376-9986
Fax: (480) 361-4824
treere locators@cox.net



To: Planning Department
City of Paradise Valley

Date: 10-15-2017

Subject: Steven Tarlow
5826 E. Indian Bend Road

ORDERED BY: D. Tarlow

Tag Colors: Red - Salvage
Blue - Unsalvageable
White - Remain in Place

Tag#	Size	Species	Condition	Disposition	# Arms	Height	Width	Comments
1	14"	Mesquite	Good	Remain in Place				
2	4"	Saguaro	Good	Salvageable				
3	9"	Saguaro	Good	Remain in Place				
4	12"	Palo Verde	Poor	Unsalvageable				Trunk Disease
5	6"	Palo Verde	Poor	Unsalvageable				Angled Trunk
6	8"	Palo Verde	Poor	Unsalvageable				Rock
7	7"	Palo Verde	Poor	Unsalvageable				Structure
8	8"	Palo Verde	Poor	Unsalvageable				Multiple Trunks
9	4"	Palo Verde	Poor	Unsalvageable				Lateral root
10	8"	Palo Verde	Poor	Unsalvageable				Angled Trunk
11	8"	Palo Verde	Poor	Unsalvageable				Wash
12	7"	Palo Verde	Poor	Remain in Place				
13	4"	Ironwood	Good	Salvageable				
14	8"	Palo Verde	Poor	Unsalvageable				Multiple Trunks
15	5"	Palo Verde	Poor	Unsalvageable				Lateral root
16	5"	Palo Verde	Poor	Unsalvageable				Lateral root
17	5"	Palo Verde	Poor	Unsalvageable				Structure
18	8"	Palo Verde	Poor	Unsalvageable				Slope
19	10"	Palo Verde	Poor	Unsalvageable				Exposed Roots
20	8"	Palo Verde	Poor	Unsalvageable				Trunk Disease
21	7"	Palo Verde	Poor	Unsalvageable				Slope
22	3"	Saguaro	Good	Salvageable				
23	3"	Saguaro	Good	Salvageable				
24	6"	Saguaro	Good	Salvageable				
25	8"	Palo Verde	Poor	Unsalvageable				Multiple Trunks
26	8"	Palo Verde	Poor	Unsalvageable				Structure
27	8"	Palo Verde	Poor	Unsalvageable				Multiple Trunks
28	8"	Palo Verde	Poor	Unsalvageable				Slope
29	8"	Palo Verde	Poor	Unsalvageable				Exposed Roots
30	6"	Saguaro	Good	Salvageable				
31	20"	Mesquite	Fair	Remain in Place				
32	9"	Palo Verde	Good	Remain in Place				
33	8"	Mesquite	Poor	Unsalvageable				Exposed Roots
34	12"	Palo Verde	Poor	Unsalvageable				Split Trunk



NATIVE PLANT INVENTORY
TREE RELOCATORS, INC.

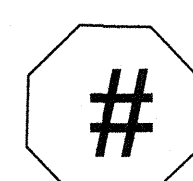


Tag#	Size	Species	Condition	Disposition	# Arms	Height	Width	Comments
35	26" L.F.	Saguaro	Good	Remain in Place	2			
36	6"	Palo Verde	Poor	Unsalvageable				Lateral root
37	7"	Palo Verde	Poor	Unsalvageable				Wash
38	8"	Palo Verde	Poor	Unsalvageable				Split Trunk
39	7"	Palo Verde	Poor	Unsalvageable				Structure
40	8"	Palo Verde	Fair	Remain in Place				
41	8"	Mesquite	Fair	Remain in Place				
42	6"	Palo Verde	Fair	Remain in Place				
43	34" L.F.	Saguaro	Good	Remain in Place	10			
44	14"	Saguaro	Good	Remain in Place				
45	7"	Mesquite	Poor	Unsalvageable				Angled Trunk, Bore Die Back
46	8"	Palo Verde	Poor	Unsalvageable				
47	4"	Barrel	Good	Remain in Place				
48	8"	Ironwood	Fair	Remain in Place				
49	8"	Mesquite	Fair	Remain in Place				
50	10"	Palo Verde	Fair	Remain in Place				
51	8"	Palo Verde	Poor	Remain in Place				
52	8"	Palo Verde	Poor	Remain in Place				
53	8"	Palo Verde	Poor	Remain in Place				
54	8"	Palo Verde	Poor	Remain in Place				
55	4"	Palo Verde	Fair	Remain in Place				
56	3"	Barrel	Good	Salvageable				
57	10" L.F.	Saguaro's	Good	Salvageable				
58	3"	Saguaro	Good	Salvageable				
59	7"	Palo Verde	Poor	Unsalvageable				Wash
60	7"	Palo Verde	Poor	Unsalvageable				Wash
61	7"	Palo Verde	Poor	Unsalvageable				Wash

L.F. - Linear Feet

Plant Summary

Plant Totals	Tree	Cacti
Remain in Place	15 31%	5 38%
Salvage	1 2%	8 62%
Destroy	32 67%	0 0%
Total	48	13



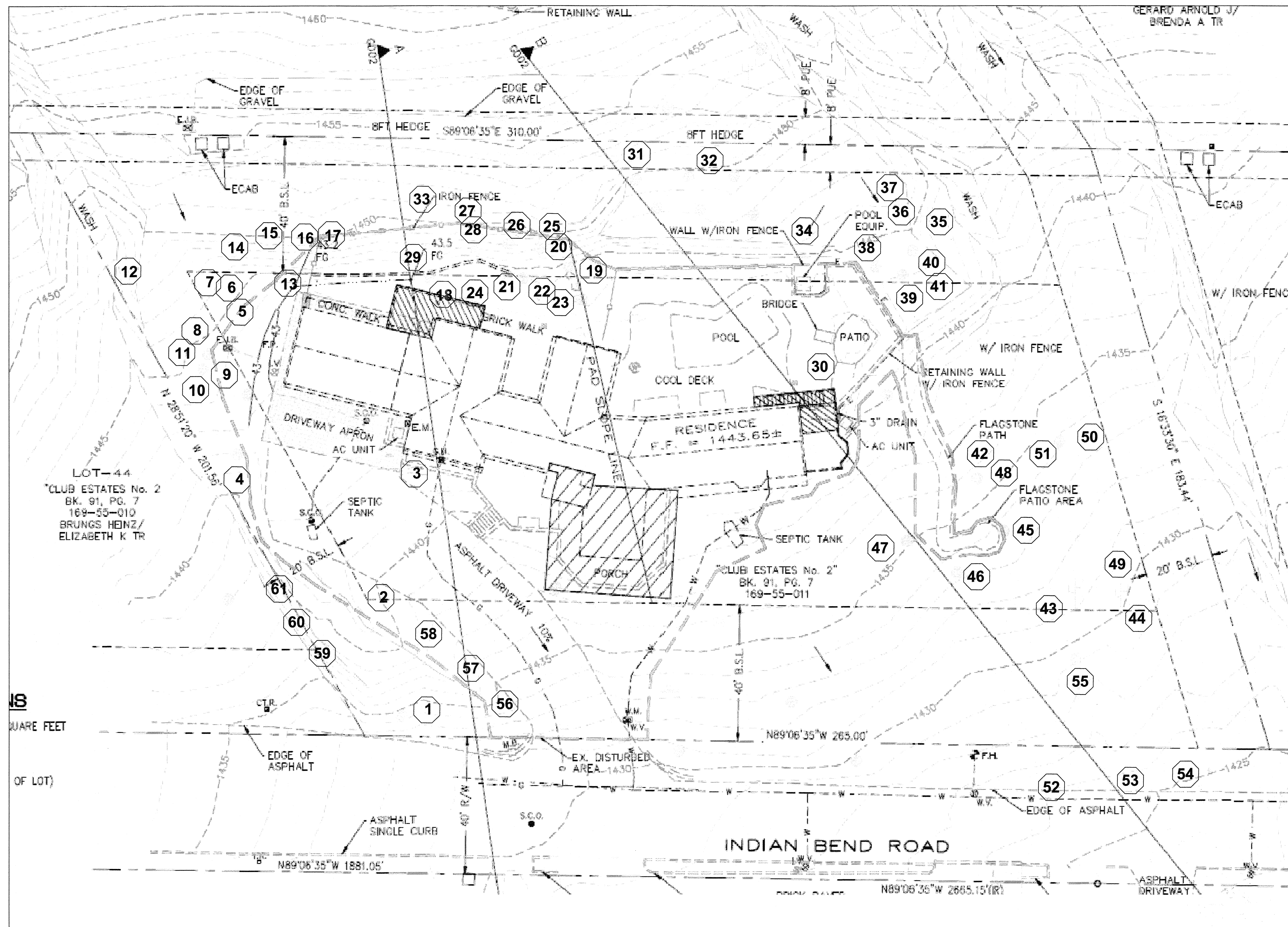
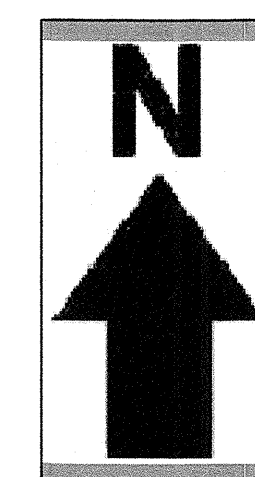
Indicates Existing Native Plant

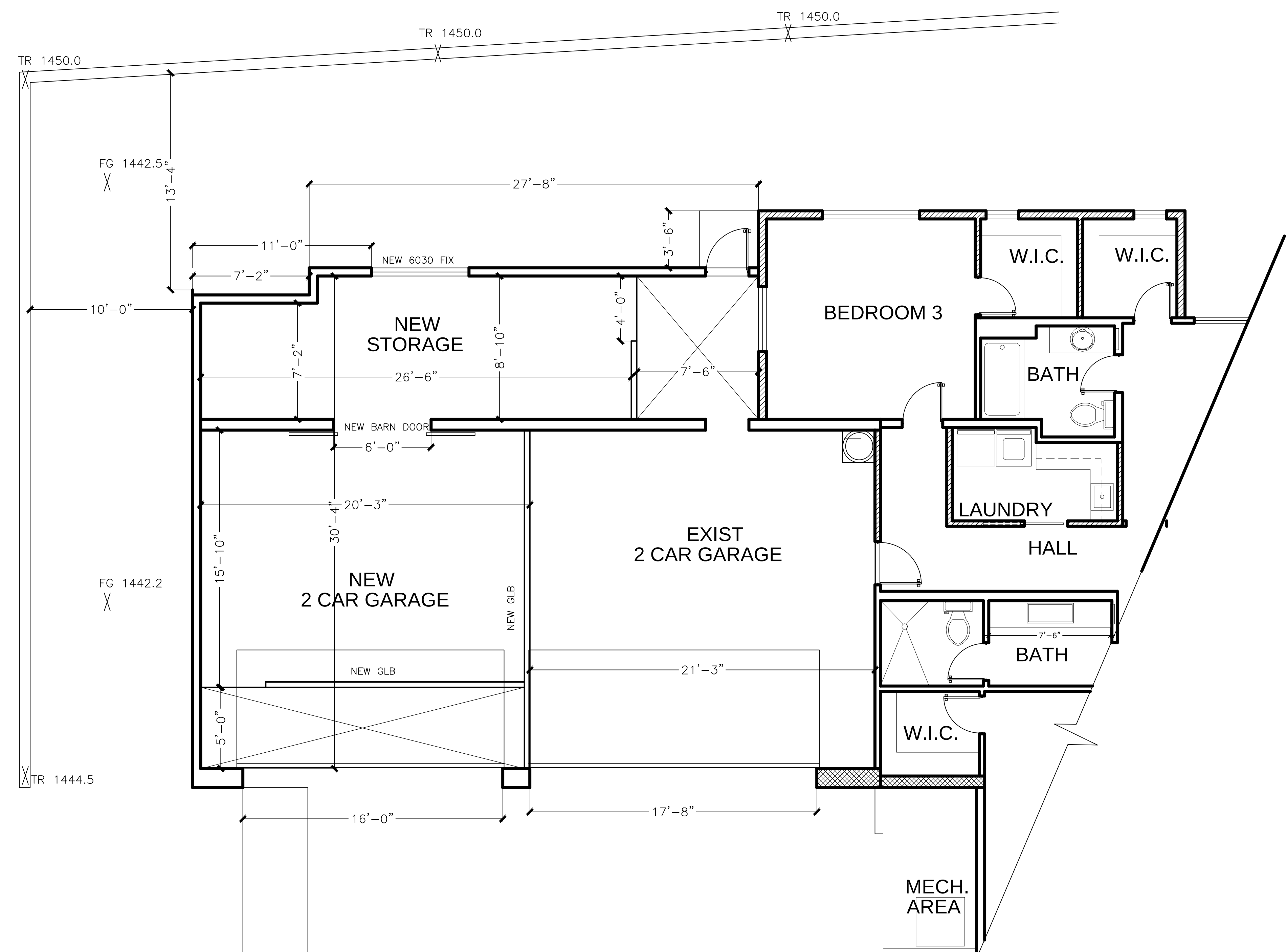
PLANT SALVAGE CONTRACTOR:

Tree Relocators, Inc.
6502 N. 81st Place
Scottsdale, AZ
O. 480-947-6118 F. 480-361-4824
E. treere locators@cox.net

NATIVE PLANT INVENTORY PLAN

5826 E. Indian Bend Road Paradise Valley, AZ





PROPOSED GARAGE ADDITION - FLOOR PLAN

SCALE: 1/4" = 1'-0"
TRIM AND RAILING: METAL FRINGE - DET626 - LRV-21



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

Made By:



60 E MITCHELL DR
PHOENIX AZ 85012
PH 602.340.0626
info@rddesignteam.com

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Tarlow's Pool House & Garage addition

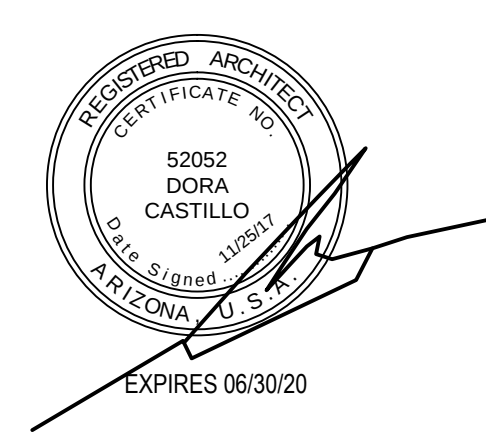
OWNER

STEFAN & SHELLEY TARLOW

5826 E. INDIAN BEND RD
PARADISE VALLEY, AZ 85253
APN: # 169-55-011

DRAWING TITLE

GARAGE FLOOR PLAN ADDITION & NEW ELEVATION ADDITIONS



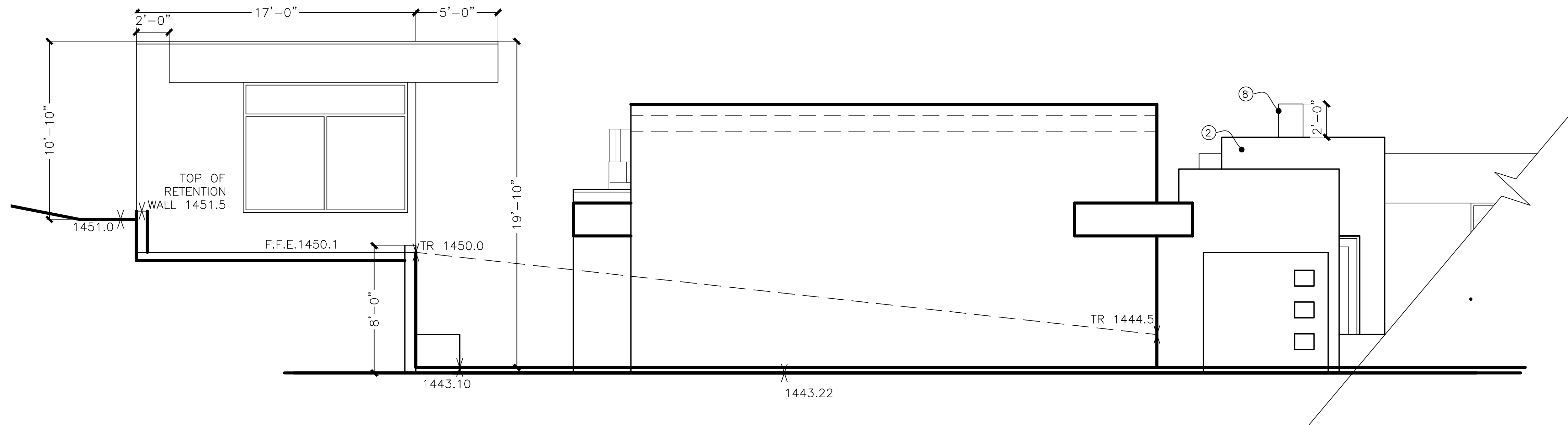
Drawn By DC	Date 11/20/17
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REVISION

DATE:	BY:
12/07/2015	ROBERT LEE

SHEET NO.

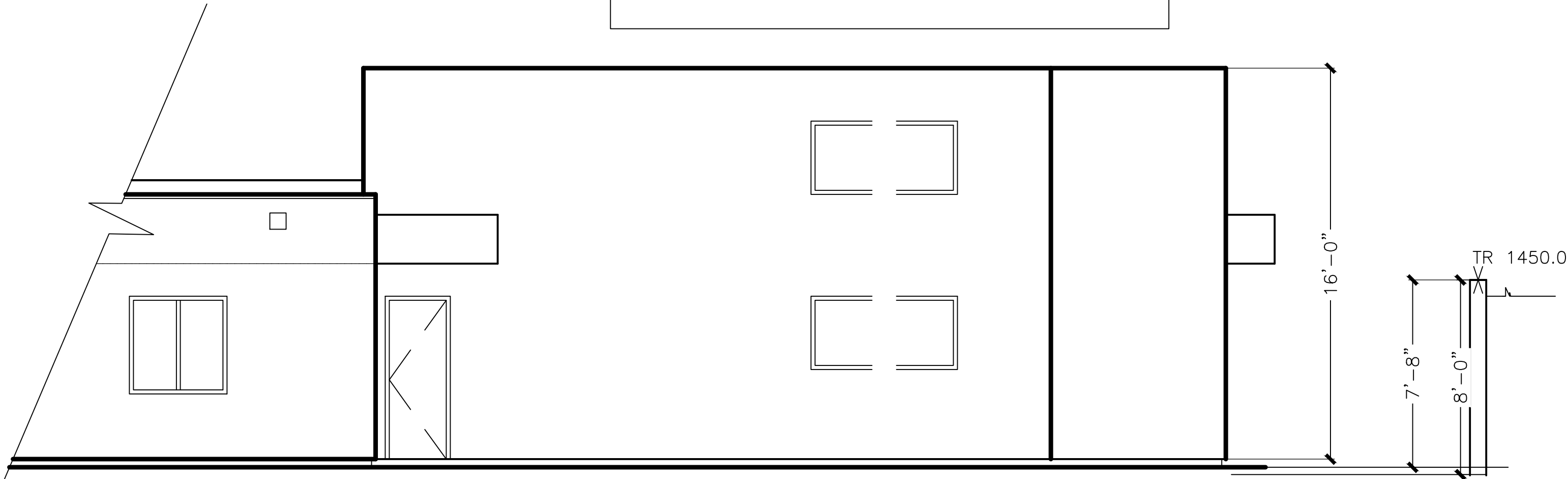
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PROPOSED GARAGE ADDITION -SIDE ELEVATION

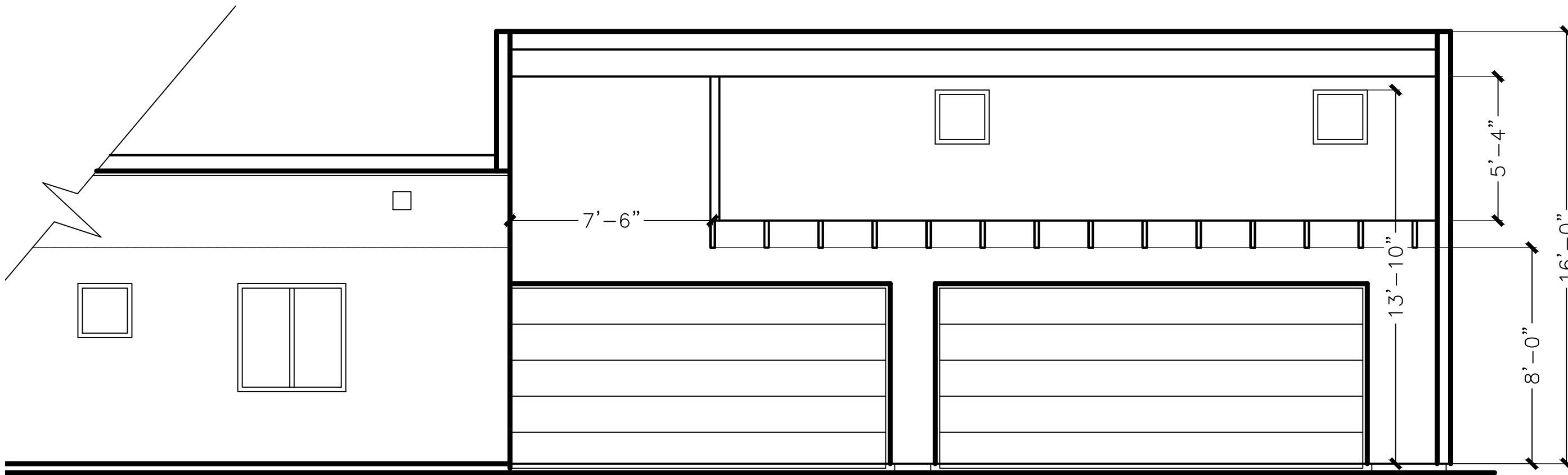
SCALE: 1/4"= 1'-0"

COLOR:
BODY: SHAGGY BARKED — DEC771 — LRV 38
TRIM AND RAILING: METAL FRINGE — DET626 — LRV 21



REAR ELEVATION

SCALE: 1/4"= 1'-0"



CROSS SECTION

SCALE: 1/4"= 1'-0"

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Garage
addition

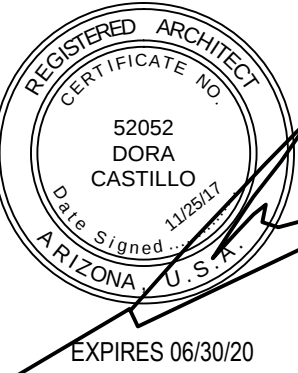
OWNER

STEFAN
&
SHELLEY
TARLOW

5826 E. INDIAN BEND RD
PARADISE VALLEY, AZ
85253
APN: # 169-55-011

DRAWING TITLE

GARAGE
ADDITION
PROPOSED
ELEVATIONS
&
CROSS SECTION



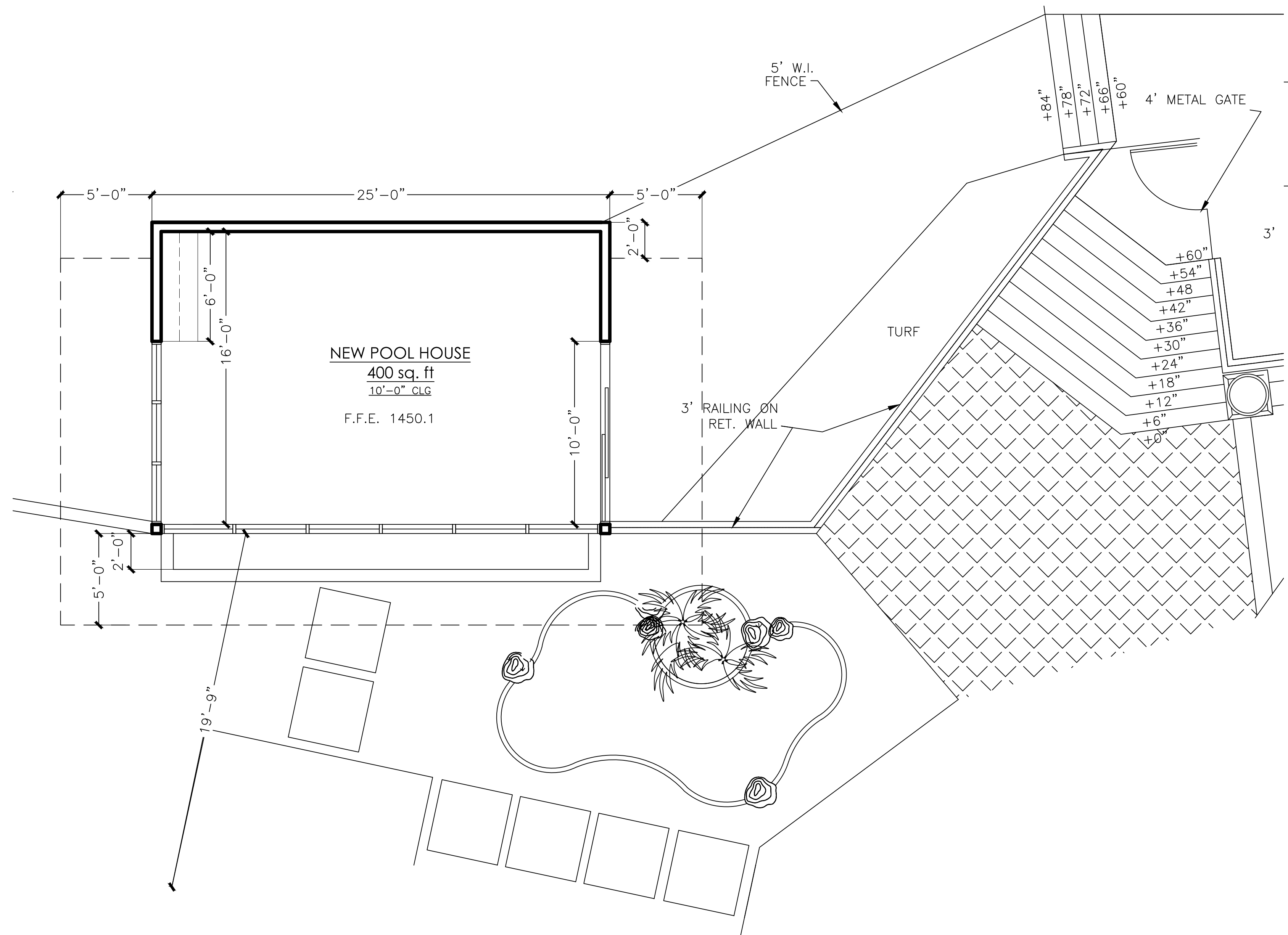
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Date: 11/20/17

REVISION

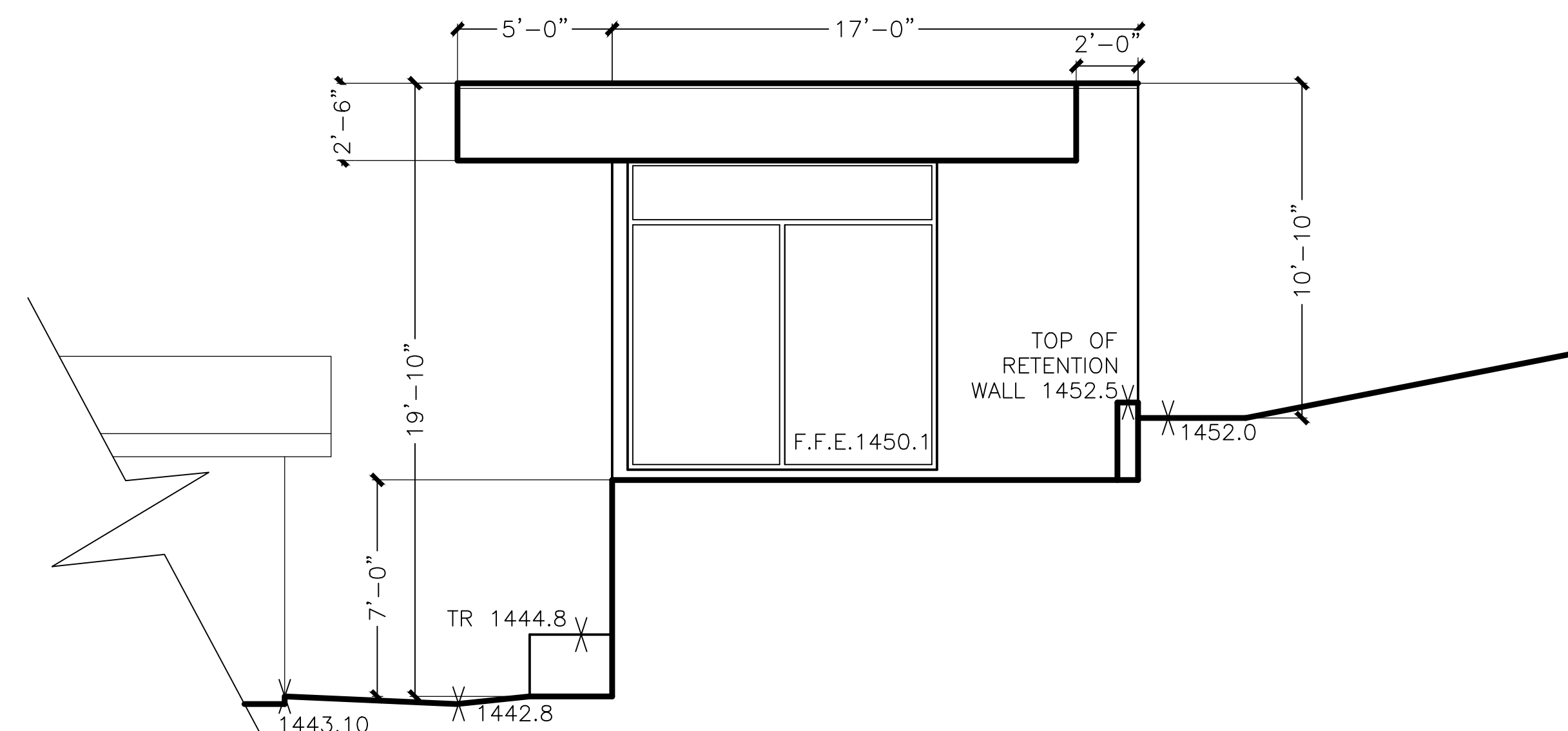
DATE: 12/07/2015 BY: ROBERT LEE

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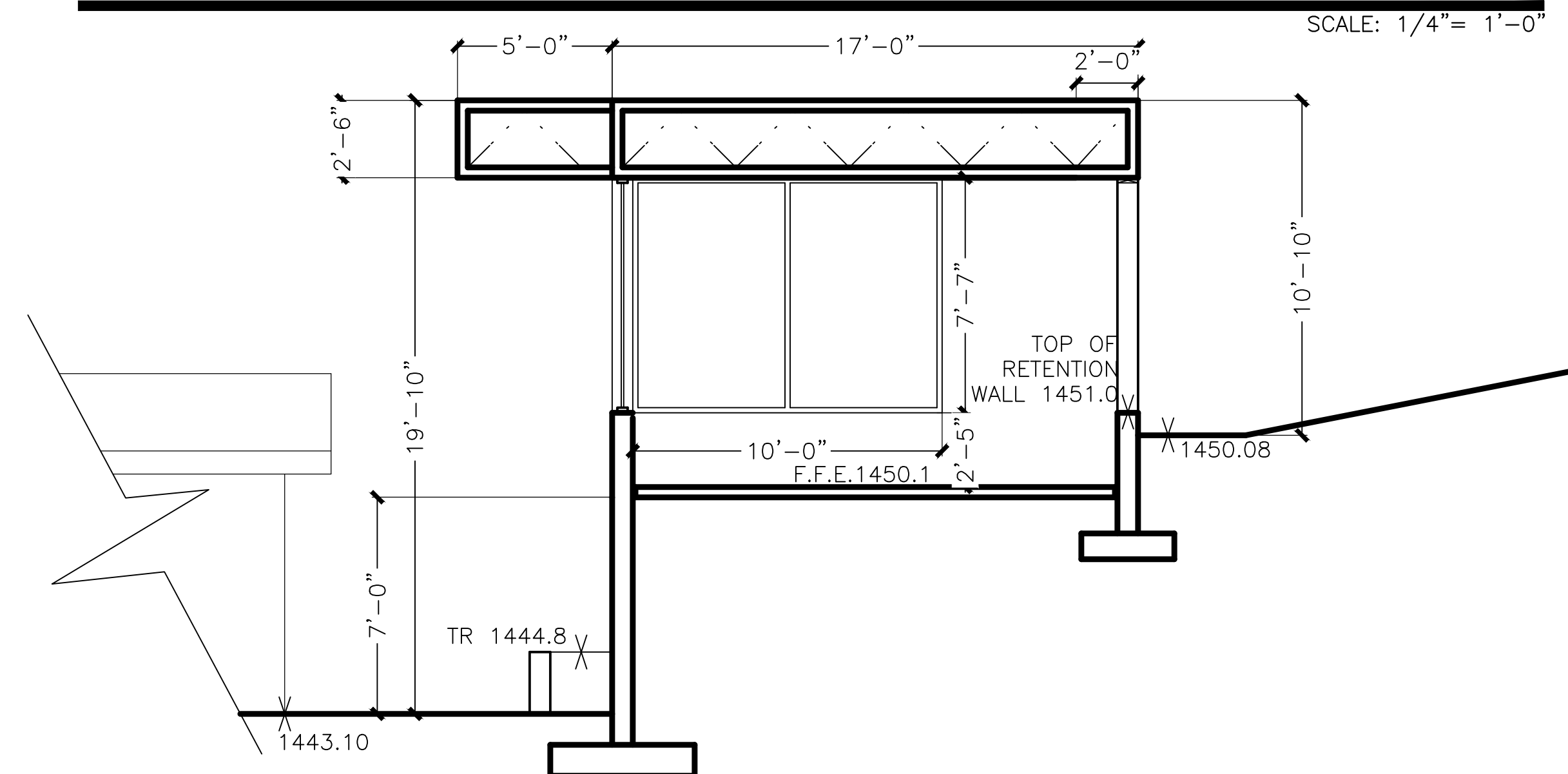
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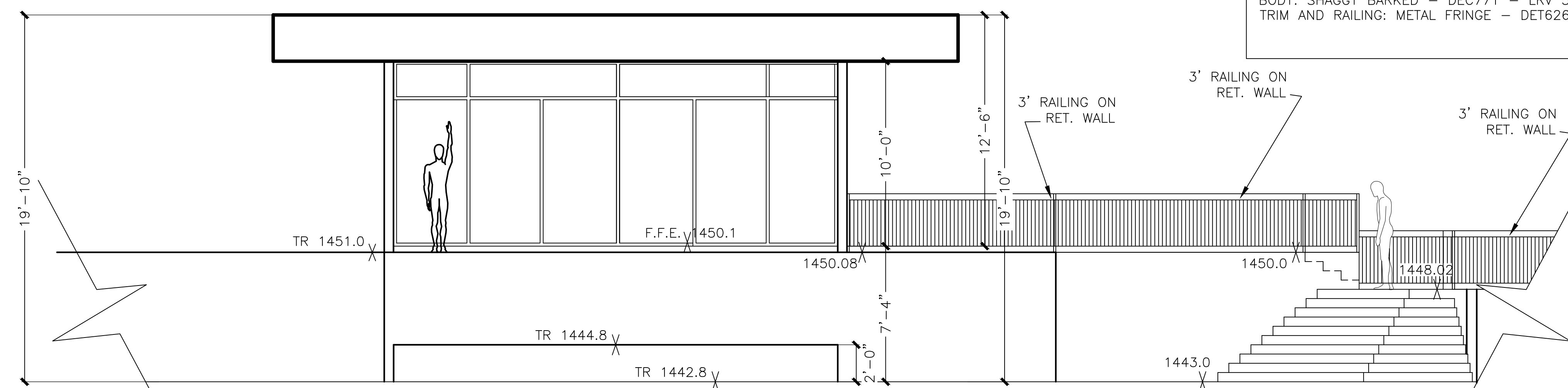
PROPOSED POOL HOUSE - FLOOR PLAN
SCALE: 1/4" = 1'-0"



SIDE ELEVATION



CROSS SECTION



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

COLOR:
BODY: SHAGGY BARKED - DEC771 - LRV 38
TRIM AND RAILING: METAL FRINGE - DET626 - LRV 21

PROJECT
**Tarlow's
Pool
House &
Garage
addition**

OWNER
**STEFAN
&
SHELLEY
TARLOW**

5826 E. INDIAN BEND RD
PARADISE VALLEY, AZ
85253
APN: # 169-55-011

DRAWING TITLE
**POOL HOUSE
PROPOSED
FLOOR PLAN
&
POOL HOUSE
ELEVATIONS**



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DATE:	BY:

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A-3



VIEW 1

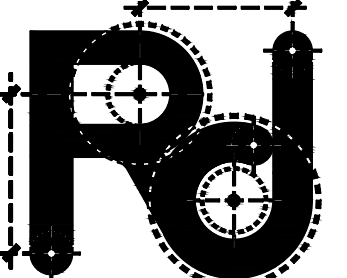


VIEW 2



FRONT VIEW

Made By:



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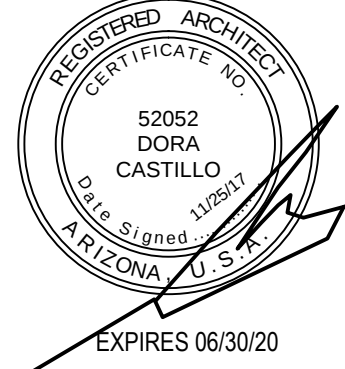
OWNER

STEFAN
&
SHELLEY
TARLOW

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VIEWS



Drawn By
DC

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