

SURVEYOR

PROFESSIONAL LAND SURVEYORS OF ARIZONA
10505 NORTH 69th STREET, SUITE 101
SCOTTSDALE, AZ 85253
DAVID H. HORNOR, RLS 14187

TOPO SURVEY COMPLETED 06/06/16

BENCHMARK

BRASS CAP IN A HANDHOLE AT THE
NORTHEAST CORNER OF SECTION 17, T.2N.,
R.4E., HAVING AN ELEVATION OF 147.525
FEET '88 NAVD, ACCORDING TO MARICOPA
COUNTY GEODETIC DENSIFICATION
(GDAC 24544--11)

ENGINEER

S S E
P.O. BOX 20012
FOUNTAIN HILLS, ARIZONA 85269
SSEAZ@Cox.Net
PRINCIPLE: STEVE SEITZ
PROJECT MANAGER: CLINT SCHERF (480)
225-4920

SLOPE ANALYSIS

Slope (%)	Area (SqFt)	% Allowable Dist	Allowable Dist (SqFt)
<10	14,385.91	100.00	14,385.91
10	1,089.46	60.00	653.68
11	1,267.39	53.66	680.08
12	1,556.50	47.94	746.19
13	1,558.12	42.81	667.03
14	1,772.05	38.21	677.10
15	1,569.44	34.11	535.34
16	1,250.14	30.48	381.04
17	1,136.18	27.27	309.84
18	1,113.41	24.46	272.34
19	1,184.33	22.01	260.67
20	947.90	19.88	188.44
21	1,164.96	18.04	210.16
22	973.72	16.48	160.47
23	652.66	15.16	98.94
24	685.28	14.05	96.28
25	579.36	13.13	76.07
26	553.11	12.37	68.42
27	523.23	11.76	61.53
28	435.97	11.28	49.18
29	386.93	10.90	42.18
30	447.87	10.62	47.56
31	495.52	10.41	51.58
32	363.47	10.25	37.26
33	438.15	10.15	44.47
34	419.01	10.08	42.24
35	402.94	10.04	40.46
36	313.50	10.02	31.41
37	330.39	10.01	33.07
38	352.61	10.00	35.26
39	282.68	10.00	28.27
40	350.69	10.00	35.07
41	335.23	10.00	33.52
42	289.85	9.90	28.70
43	252.24	9.80	24.72
44	281.95	9.70	27.35
45	251.29	9.60	24.12
46	212.38	9.50	20.18
47	302.89	9.40	28.47
48	203.19	9.30	18.90
49	265.28	9.20	24.41
50	213.33	9.10	19.41
51	197.02	9.00	17.73
52	201.90	8.90	17.97
53	211.79	8.80	18.64
54	154.15	8.70	13.41
55	178.24	8.60	15.33
56	184.37	8.50	15.67
57	211.25	8.40	17.75
58	134.69	8.30	11.18
59	136.27	8.20	11.17
60	2,158.72	8.10	174.86
45,358.91			21,611.01

SURVEYOR

BLACK MOUNTAIN SURVEYING
17308 WEST WOODROW LANE
SURPRISE, AZ 85288
DALE A. MATTINGLY, RLS 36888

SURVEY COMPLETED 04/15/16

BASIS OF BEARINGS

THE BASIS OF BEARINGS IS THE SOUTH LINE OF LOT
12 AS MESURED BETWEEN THE RECOVERED MONUMENTS
SHOWN HEREON, HAVING A BEARING OF S81°03'23"E

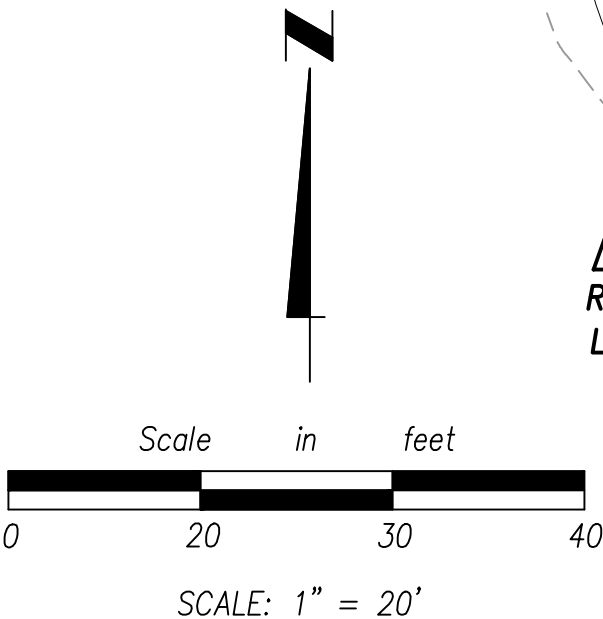
SURVEY NOTES

THE FOLLOWING MONUMENTS WERE
RECOVERED DURING THE
COURSE OF THIS SURVEY AND WERE FOUND
TO BE WITHIN
STATE ACCEPTABLE TOLERANCE UNLESS
OTHERWISE NOTE:

- FOUND A 3" MARICOPA COUNTY ENGINEERING
DEPARTMENT BRASS CAP 0.2' BELOW
PAVEMENT
- THE PREVIOUS SURVEYOR FOUND A 1" IRON
PIPE WITHOUT IDENTIFICATION. ACCEPTED IT
AS THE ORIGINAL CORNER MONUMENT AND
AFFIXED A BRASS TAG STAMPED RLS 36888.
- THE PREVIOUS SURVEYOR FOUND A 1/2"
REBAR WITHOUT IDENTIFICATION. AFFIXED A
BRASS TAG STAMPED RLS 36888.

LEGEND

- FOUND MONUMENT AS NOTED
- SET 1/2" "PK" NAIL WITH A
BRASS TAG STAMPED RLS 36888
- (R) RECORD
- (M) MEASURED
- MCR MARICOPA COUNTY RECORDER
- R.O.W. RIGHT OF WAY
- P.U.E. PUBLIC UTILITY EASEMENT
- X84.2 SPOT ELEVATION (ADD 1400)
- FENCE
- FIRE HYDRANT
- OCCOTILLO
- SAGUARO
- TREE
- BOULDER

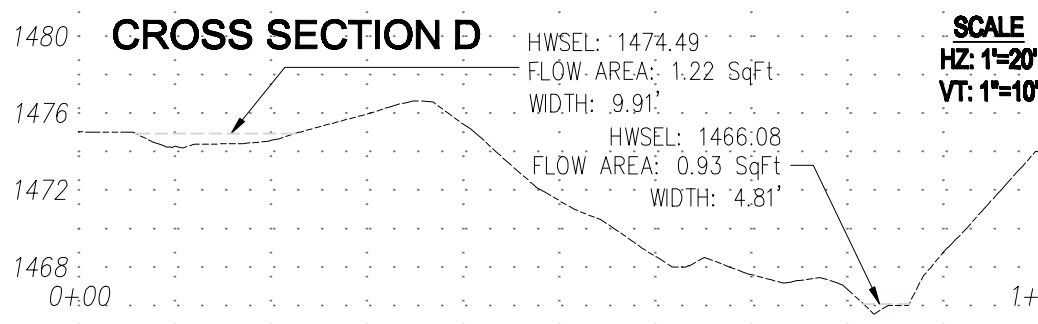
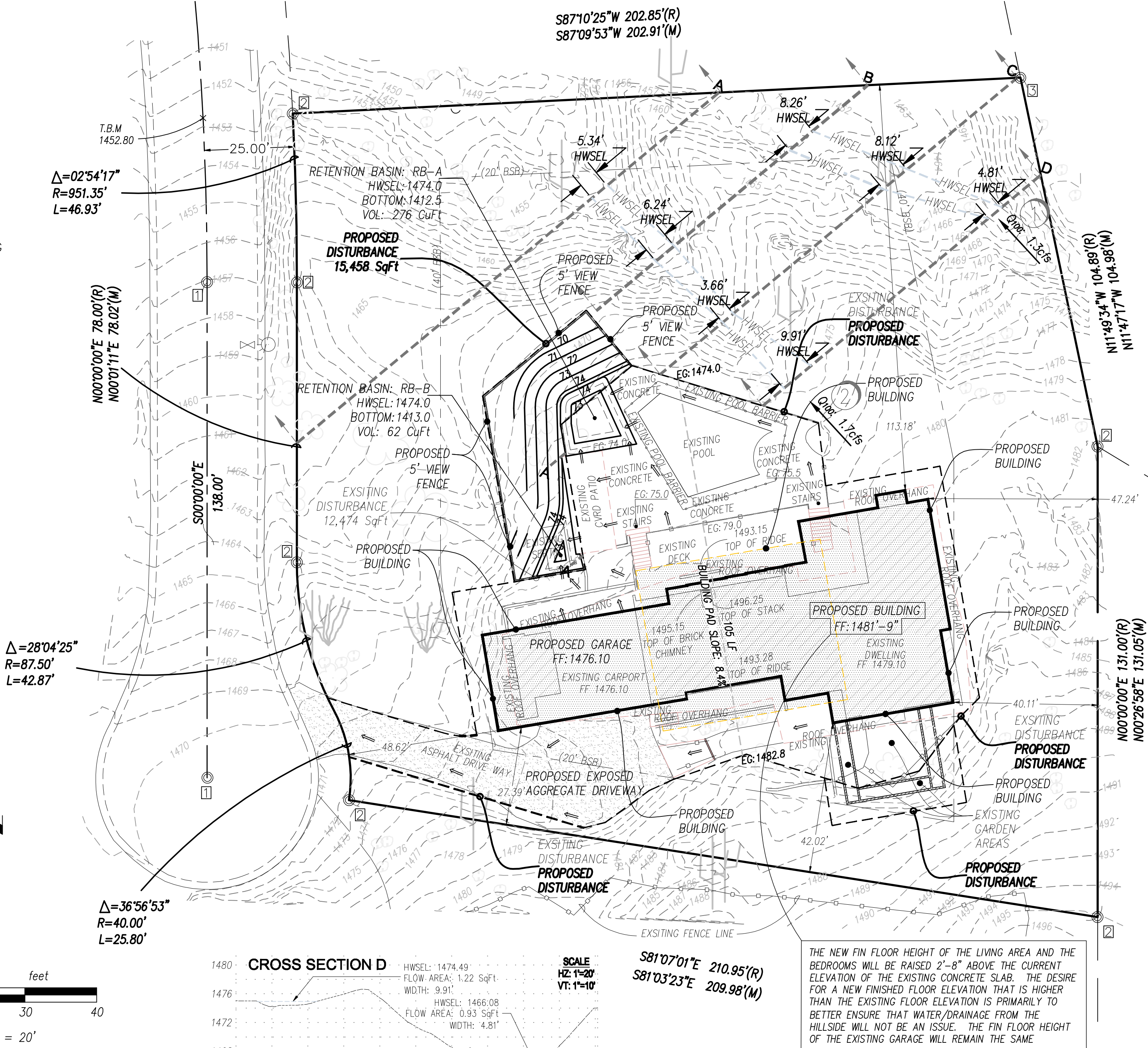


ON-SITE RETENTION

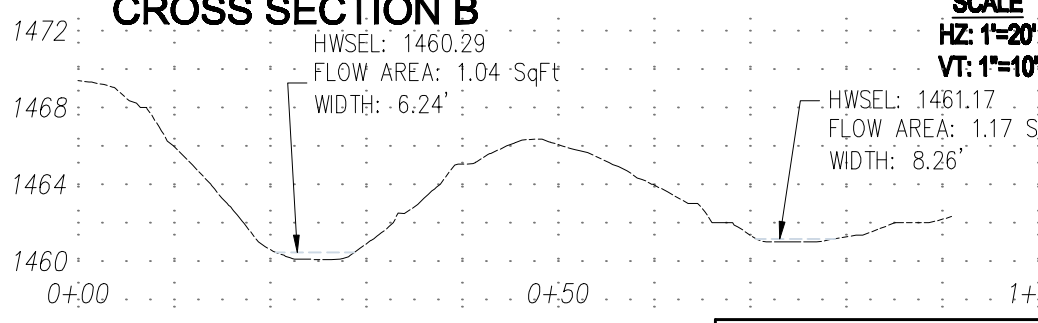
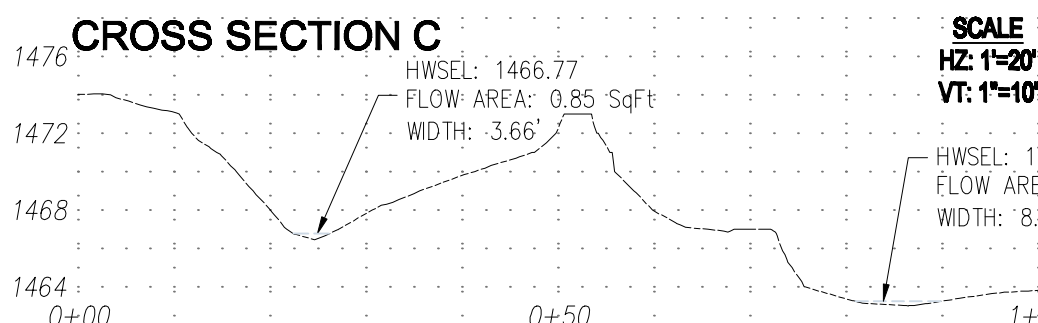
RETENTION BASIN CALCULATION SUMMARY (100-YR, 2-HR)					
RETENTION REQUIRED		Town of Paradise Valley Drainage Standards - Pre vs Post			
		VOL _{REQ} =		12	
		Existing Development Area		12,474 Sq.Ft.	
		Proposed Development Area		15,458 Sq.Ft.	
		Drainage Area		A =	2,984 Sq.Ft.
Per Town Reqn'ts		100-yr, 1-hr Rainfall Depth	D =	2.80 in.	
Per Town Reqn'ts		Roughness Coefficient	C _w =	0.45	
VOLUME RETENTION REQUIRED 313 Cu.Ft.					
RETENTION PROVIDED					
RB - A	Ft	Area (Sq.Ft.)	Ave Area/Depth		
DEPTH =	0	315	(Cu.Ft.)	Vol/Depth	
			133.25	(Cu.Ft.)	
	0.5	218		133.25	
	1	138	89.00		222.25
	1.5	76	53.50		275.75
VOLUME RETENTION PROVIDED 276 Cu.Ft.					
RB - B	Ft	Area (Sq.Ft.)	Ave Area/Depth		
DEPTH =	0	130	(Cu.Ft.)	Vol/Depth	
			45.50	(Cu.Ft.)	
	0.5	52		45.50	
	1	12	16.00		61.50
VOLUME RETENTION PROVIDED 62 Cu.Ft.					
Summary of Individual Onsite Retention					
Volume Provided					
	Retention Bas in A	276	Cu.Ft.		
	Retention Bas in B	62	Cu.Ft.		
TOTAL Provided:		337	Cu.Ft.	Adequate Retention	

SHOUMAKER RESIDENCE

LOCATED IN THE NORTHEAST QUARTER OF SECTION 17, TOWNSHIP 2 NORTH, RANGE 4 EAST OF
THE GILA AND SALT RIVER BASELINE AND MERIDIAN, MARICOPA COUNTY, ARIZONA



THE NEW FIN FLOOR HEIGHT OF THE LIVING AREA AND THE
BEDROOMS WILL BE RAISED 2'-8" ABOVE THE CURRENT
ELEVATION OF THE EXISTING CONCRETE SLAB. THE DESIRE
FOR A NEW FINISHED FLOOR ELEVATION THAT IS HIGHER
THAN THE EXISTING FLOOR ELEVATION IS PRIMARILY TO
BETTER ENSURE THAT WATER/DRAINAGE FROM THE
HILLSIDE WILL NOT BE AN ISSUE. THE FIN FLOOR HEIGHT
OF THE EXISTING GARAGE WILL REMAIN THE SAME

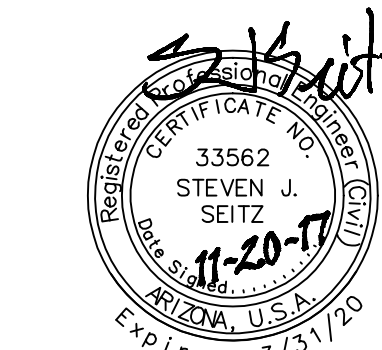


DECLARATION OF RESPONSIBLE CHARGE

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE
EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN
SECTION R4-30-301 OF THE RULES OF THE ARIZONA STATE BOARD OF TECHNICAL
REGISTRATION, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

I UNDERSTAND THAT THE REVIEW OF THE PROJECT DRAWINGS AND SPECIFICATIONS BY
MARICOPA COUNTY IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS
ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR
THE PROJECT DESIGN.

CIVIL ENGINEER



PROJECT MANAGER:
CLINT SCHERF (480) 225-4920

SITE DATA

PROPERTY OWNER:
SHOUMAKER P.V. LLC
5715 NORTH 55th PLACE
PARADISE VALLEY, ARIZONA

LEGAL DESCRIPTION:
LOT 12, STONE CANYON EAST, ACCORDING TO
BOOK 18 OF MAPS, PAGE 34, RECORDS OF
MARICOPA COUNTY, ARIZONA.

NET AREA: 45,655 Sq.Ft. (1.05 Ac.)
ADDRESS: 5715 NORTH 55th PLACE
PARADISE VALLEY, ARIZONA
A.P.N.: 172-47-057
ALLOWABLE DISTURBANCE: 27,379 SqFt
EXISTING DISTURBANCE: 12,474 SqFt
PROPOSED DISTURBANCE: 15,458 SqFt

EARTHWORK CALCS:
TOTAL CUT 16
TOTAL FILL 374
NET 358 Cu. Yd. (IMPORT)
*APPROXIMATE TOTALS
- GRADING CONTRACTOR TO VERIFY
- S S E MAKES NO ASSURANCES AS TO THE
FINAL EARTHWORK QUANTITIES

HILLSIDE ASSURANCE:
\$25.00 x 16 CuYd (CUT) = \$400.00
\$25.00 x 374 CuYd (FILL) = \$9,350.00
TOTAL \$9,750.00

DRAINAGE NOTES:
NO OFF-SITE STORM WATERCOURSES EFFECT
SAID PROPERTY.
NO ON-SITE STORM WATERCOURSES EFFECT
SAID PROPERTY.

DRAINAGE CALCS
100-YR FLOWS; Q = CIA

1 SURFACE FLOW
C = 0.43 (R1-18 zoning, Hydrologic Soil
Group A)
i = 7 in/hr; Tc = 10 MIN.
A = 0.25 acres (10,890 sqft from northwest
half of southeastern adjacent lot)
Q = 0.75 cfs

ROOF RUN-OFF
C = 0.95
i = 7 in/hr; Tc = 10 MIN.
A = 0.08 acres (3,600 From 1/2 of roof and
hard surface area from contributing area to
southeast)
Q = 0.53 cfs
Total Q100 = 1.28 cfs

2 SURFACE FLOW
C = 0.43 (R1-18 zoning, Hydrologic Soil
Group A)
i = 7 in/hr; Tc = 10 MIN.
A = 0.26 acres (11,414 sqft from southeast
half of subject lot)
Q = 0.78 cfs

ROOF RUN-OFF
C = 0.95
i = 7 in/hr; Tc = 10 MIN.
A = 0.14 acres (6,200 From 1/2 of roof and
hard surface area from contributing area to
southeast)
Q = 0.95 cfs
Total Q100 = 1.74 cfs

FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

COMMUNITY NUMBER	PANEL #	SUFFIX	DATE OF FIRM	FIRM ZONE	BASE FLOOD ELEVATION (In AO Zone, Use Depth)
040049	1765	L	10/16/13	X	N/A

A FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) ELEVATION CERTIFICATION BASED ON FINISHED
CONSTRUCTION MUST BE REVIEWED AND APPROVED BY FLOOD MANAGEMENT FOR EACH NEW AND
SUBSTANTIAL IMPROVEMENT STRUCTURE CONSTRUCTED IN A SPECIAL FLOOD HAZARD AREA (SFHA)
PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY. A COPY OF THE ELEVATION CERTIFICATION MUST
BE SUBMITTED TO THE GENERAL AND STRUCTURAL INSPECTOR.

CIVIL ENGINEER (480) 225-4920 SSEAZ@COX.NET

CIVIL - STRUCTURAL

S S E

RESIDENTIAL - COMMERCIAL

15021 EAST WINDYHILL ROAD
FOUNTAIN HILLS, ARIZONA 85268

UTILITIES

SEWER: TOWN OF PARADISE VALLEY
ELECTRIC: APS
WATER: ARIZONA AMERICAN WATER
TELEPHONE: QWEST/COX COMMUNICATIONS
GAS: SOUTHWEST GAS
CABLE: COX & QWEST COMMUNICATIONS

**Grading & Drainage
Plan**

LOT 12 - STONE CANYON EAST
PARADISE VALLEY, ARIZONA

GRADING AND DRAINAGE NOTES

- AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE
AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN
APPROVED PLAN REVISION.
- ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, PIPES, PROTECTIVE
BERMS OR OTHER MEASURES DESIGNED TO PROTECT BUILDINGS OR PROPERTY
FROM STORM RUNOFF MUST BE COMPLETED PRIOR TO ANY STRUCTURE BEING
BUILT.
- FOUNDATIONS SHALL BEAR ON NATIVE SOIL OR COMPACTED FILL W/ MIN
95% COMPACTION PER ASTM D698.
- PREPARATION OF GROUND: THE AREA OVER WHICH FILLS ARE TO BE MADE
SHALL BE CLEARED OF ALL TRASH, TREES, STUMPS, DEBRIS OR OTHER
MATERIAL NOT SUITABLE AS A FOUNDATION FOR FILL. WHERE EXCAVATION IS
TO OCCUR THE TOP FOUR (4) INCHES OF EXCAVATED NATIVE SOIL SHALL
REMAIN ON THE SITE AND SHALL BE REUSED IN A MANNER THAT TAKES
ADVANTAGE OF THE NATURAL SOIL SEED BANK IT CONTAINS.
- LOCATIONS OF ALL UTILITIES SHOWN ON THIS PLAN ARE BASED ON
INFORMATION SUPPLIED TO THE ENGINEER BY A FIELD SURVEY OR AVAILABLE
MAPS. NO GUARANTEE ON LOCATIONS OR ACCURACY IS IMPLIED OR GIVEN.
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT BLUE STAKE
(263-1100) AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES
PRIOR TO CONSTRUCTION.
- ALL NEW CONSTRUCTION AND ADDITIONS ADDING MORE THAN 50% OF
EXISTING STRUCTURE SUBMITTED FROM MARCH 1, 2001 ON, MUST HAVE FIRE
SPRINKLING WITH REVIEW AND APPROVAL BY FIRE MARSHALL FOR TOWN OF
PARADISE VALLEY (RURAL METRO FIRE DEPARTMENT, FIRE PREVENTION
DIVISION).
- CONTRACTOR/BUILDER SHALL NOTIFY THE ENGINEER OF ANY VARIANCES
BETWEEN THESE PLANS AND ON-SITE CONDITIONS.
- ALL DRAINAGE SWALES SHALL BE MAINTAINED BY OWNER TO BE FREE OF
TRASH, SILT, VEGETATION AND DEBRIS.
- CONTRACTOR SHALL VERIFY PROPERTY LINE LOCATIONS PRIOR TO
PROCEEDING WITH WORK.
- ARCHITECTURAL, STRUCTURAL, ELECTRICAL, MECHANICAL AND PLUMBING
ARE NOT A PART OF THIS SITE PLAN.
- LOCATIONS OF ANY VIGATION NOTED ARE APPROXIMATE AND SHOULD
NOT BE USED FOR ARCHITECTURAL LANDSCAPE PLANNING.
- FINISH GRADE SHALL SLOPE 5% FOR A DISTANCE OF 10' TO AN APPROVED
WATER DISPOSAL AREA.
- ALL PROPERTY LINES TO BE IDENTIFIED BY AN ARIZONA REGISTERED LAND
SURVEYOR PRIOR TO FIRST FOOTING INSPECTION. REF. P.V. MINIMUM SUBMITTAL
REQUIREMENTS.
- SWIMMING POOLS, SPAS, FENCES, SITE WALLS, AND RETAINING WALLS
REQUIRE SEPARATE PERMITS.
- ALL MECHANICAL EQUIPMENT (AIR CONDITIONER, POOL EQUIPMENT, ETC.)
SHALL BE SCREENED A MINIMUM OF ONE FOOT HIGHER THAN THE HIGHEST
PORTION OF THE EQUIPMENT, AND SHALL BE COMPATIBLE WITH THE ADJACENT
BUILDING.
- GUESTHOUSES ON LOTS LESS THAN 35,000 Sq. Ft. SHALL NOT PROVIDE
COOKING FACILITIES AND WILL NEVER BE OFFERED FOR RENT. GUESTHOUSES ON
LOTS GREATER THAN 35,000 Sq. Ft. MAY PROVIDE COOKING FACILITIES.

- HILLSIDE NOTES:**
- NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL ALL HILLSIDE
STABILIZATIONS AND ALL TOWN CODE REQUIREMENTS ARE COMPLETED
BUT NOT LIMITED TO LANDSCAPING, GROUND RESTORATION, FIRE FLOW, FIRE
SAFETY AND ALL ONSITE AND OFFSITE IMPROVEMENTS.
 - ALL OUTDOOR LIGHTING SHALL BE IN CONFORMANCE WITH ARTICLE XXII OF
TOWN ZONING ORDINANCE.
 - ALL EXCESS FILL MATERIAL SHALL BE REMOVED FROM THE SITE WITH NO
NEW SPILL SLOPES.
 - THE USE OF HYDRAULIC RAM HAMMERS, OR OTHER HEAVY EQUIPMENT
USED TO CUT THROUGH ROCK, INCLUDING MACHINERY WITH BACKLAP
WARNING DEVICES SHALL BE LIMITED TO USE BETWEEN THE HOURS OF 7:00AM
OR SUNRISE, WHICHEVER IS LATER, AND 6:00PM OR SUNSET, WHICHEVER IS
EARLIER, MONDAY THROUGH FRIDAY, WITH LIMITED WORK ON SATURDAY AND NO
WORK ON SUNDAY OR LEGAL HOLIDAYS.
 - CONSTRUCTION STAKING AND/OR FENCING SHALL BE PLACED AROUND THE
CONSTRUCTION SITE SO AS TO PROTECT THE UNDISTURBED NATURAL
ENGINEERING NOTES:
 - TOPOGRAPHIC/BOUNDARY SURVEY WAS DONE BY OTHERS, S S E MAKES
NO ASSURANCES TO THE ACCURACY OF CONTOURS, BOUNDARY LOCATIONS, OR
EASEMENT LOCATIONS WITHIN SAID SURVEY.
 - THE BUILDING SETBACKS, ENVELOPE AND LOT COVERAGE ARE SHOWN PER
THE ZONING DISTRICT. SETBACKS AND OTHER RESTRICTIONS CREATED BY
AMENDED STANDARDS OR COVENANTS MAY BE APPLICABLE. FINAL
INTERPRETATION IS THE RESPONSIBILITY OF THE OWNER OF SAID PROPERTY AND
THE CORRESPONDING GOVERNMENTAL AGENCY OVERSEEING SAID PROPERTY.
 - WATERMAIN AND SEWER LOCATIONS ARE BASED ON INFORMATION PROVIDED
BY THE TOPOGRAPHIC/BOUNDARY AND MONUMENTS FOUND IN THE FIELD MAY
NOT BE EXACT. CONTRACTOR TO VERIFY ACTUAL SIZES, LOCATIONS AND TYPES
OF ALL UTILITIES PRIOR TO CONSTRUCTION.
 - CONTRACTOR TO ENSURE POSITIVE DRAINAGE FROM BUILDING FOUNDATION
FOR A MINIMUM OF 5% SLOPE FOR 10 FEET, NOTIFY ENGINEER OF ANY
DISCREPANCIES.
 - ALL COMPACTION, EXCAVATION AND BACK FILL SHALL BE DONE IN
ACCORDANCE WITH GEOTECHNICAL REPORT OR AT MINIMUM A 95% COMPACTION
RATE IS REQUIRED PER ASTM D698.
 - ARCHITECTURAL, STRUCTURAL, ELECTRICAL, MECHANICAL AND PLUMBING ARE
NOT A PART OF THIS GRADING AND DRAINAGE PLAN.
 - CONTRACTOR SHALL VERIFY PROPERTY LINE LOCATIONS PRIOR TO
PROCEEDING WITH WORK.
 - ALL DRAINAGE SWALES SHALL BE MAINTAINED BY OWNER TO BE FREE OF
TRASH, SILT, VEGETATION AND DEBRIS.
 - CONTRACTOR/BUILDER SHALL NOTIFY THE ENGINEER OF ANY VARIANCES
BETWEEN THESE PLANS AND ON-SITE CONDITIONS.
 - NO PORTIONS OF THIS LOT HAS NATURAL SLOPES GREATER THAN 15%.

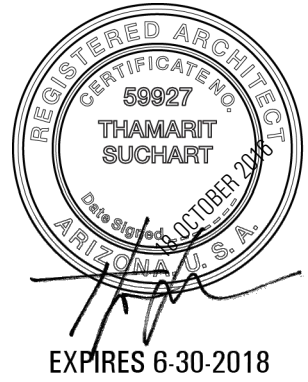
CALL TWO WORKING DAYS
BEFORE YOU DIG
CALL FOR THE BLUESTAKES
263-1100
BLUE STAKE CENTER
CALL COLLECT

PROJECT No. SSE-567-2016
SHEET: C1

PERMIT TRACKING No.

SHOUMAKER RENOVATION

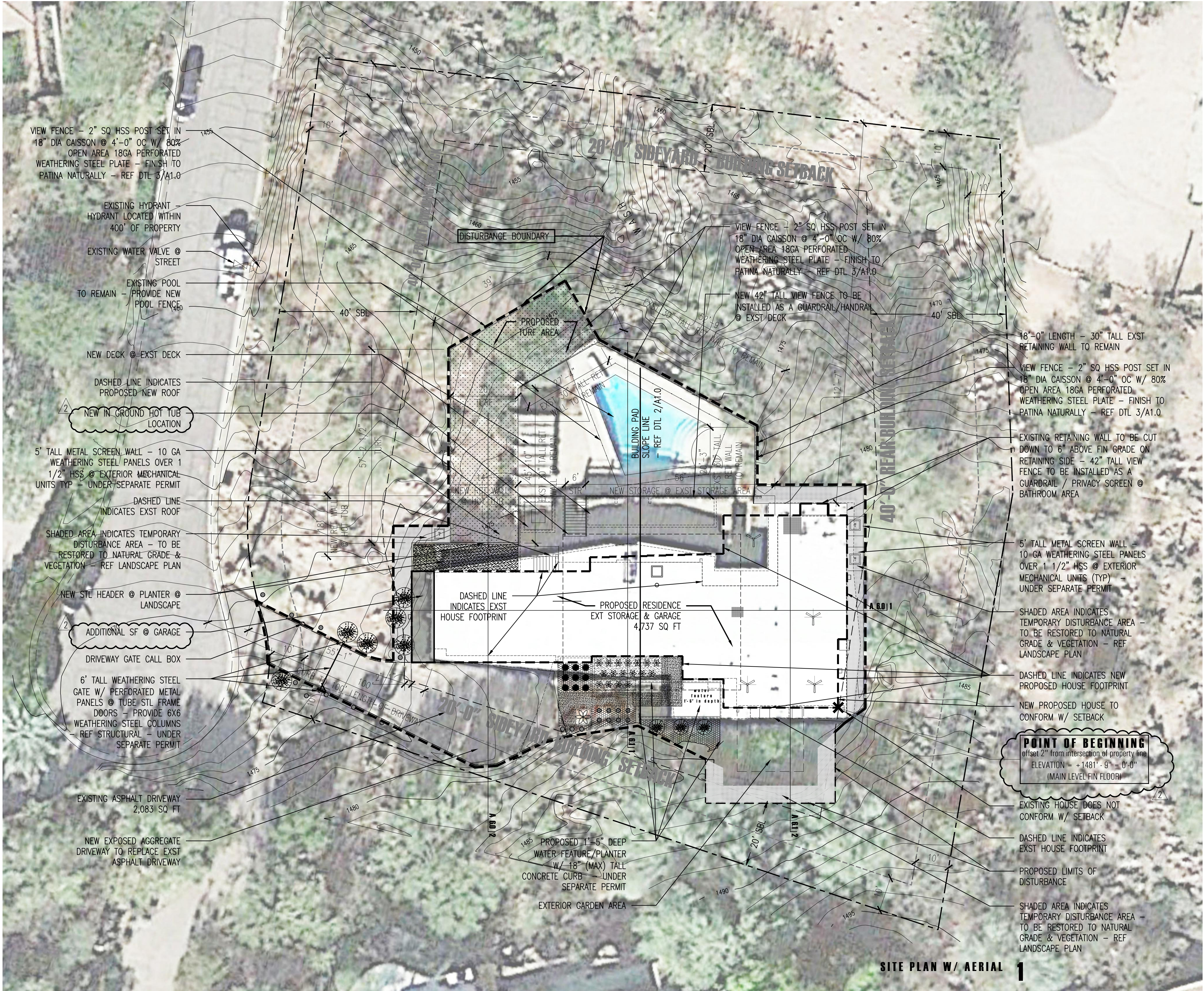
5715 n 55th place
paradise valley, az 85253



architects:

CHEN+SUCHART STUDIO, LLC

7070 east third avenue
scottsdale, arizona 85212
mobile : 480.332.1704 (tommy)
mobile : 480.332.1706 (patricia)
email : thamarit@chensuchartstudio.com



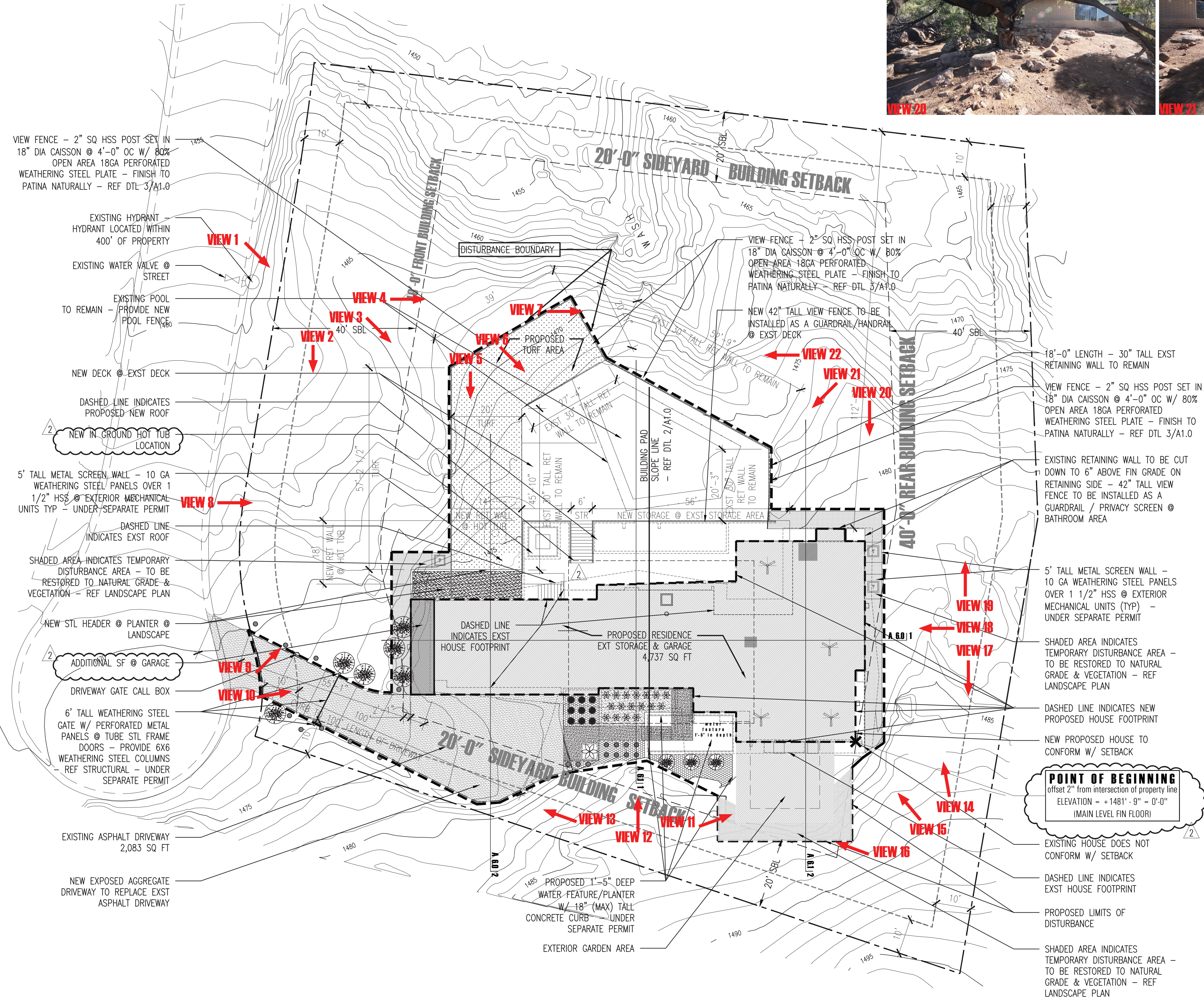
TOWN OF PV COMMENTS/REVISIONS 17_0714
SITE / CLIENT REVISIONS 17_1018

site plan with aerial
scale : 1/16" = 1'-0"

A1.2

100% construction documents
18 october 2017





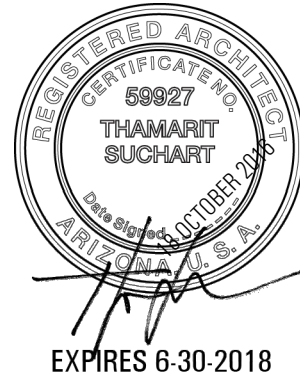
SITE PLAN 1

general notes

THESE DRAWINGS ARE NOT TO BE REPRODUCED OR USED FOR ANY OTHER CONSTRUCTION EXCEPT FOR THE NAME ON THESE DRAWINGS. ANY OTHER USE OF THESE PLANS WILL BE WITH THE CONSENT OF THE DESIGNER. THE DESIGN HEREIN SHALL NOT BE ALTERED BY THE OWNER OR ANY OTHER PARTY WITHOUT WRITTEN AUTHORIZATION FROM THE DESIGNER. ANY MAJOR CHANGE TO THE PROJECT THAT WILL OCCUR DURING THE CONSTRUCTION PHASE WILL REQUIRE THE WRITTEN APPROVAL OF:
CHEN + SUCHART STUDIO, LLC
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SHOUMAKER RENOVATION

5715 n 55th place
paradise valley, az 85253



architects:

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email : thamant@chensuchartstudio.com

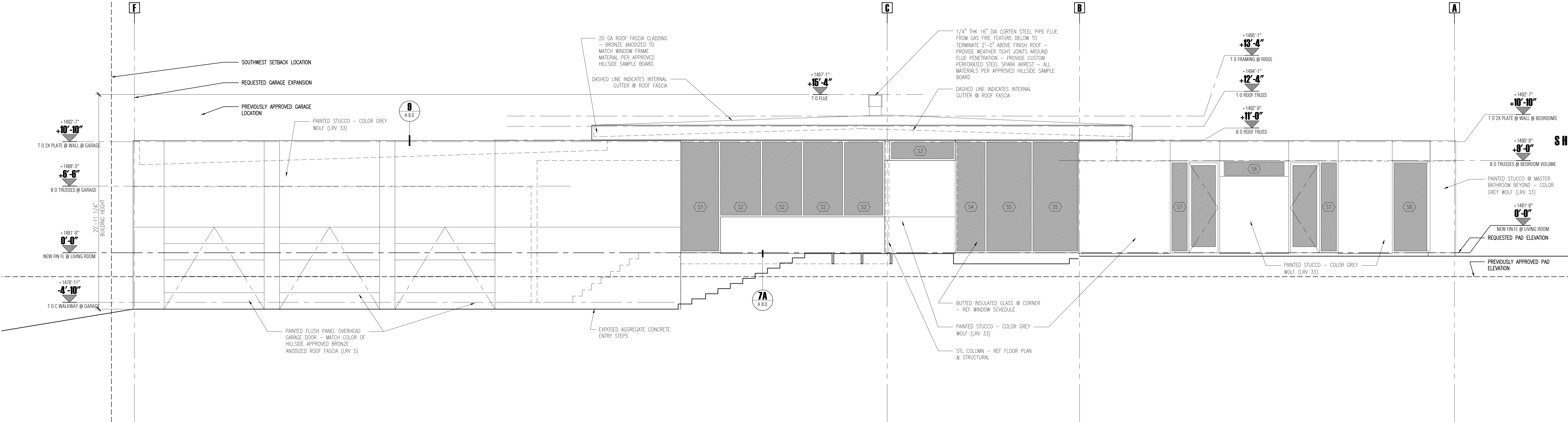
TOWN OF PV COMMENTS/REVISIONS 17_0714 1
SITE / CLIENT REVISIONS 17_1018 2

site plan with site photos
scale : 1/16" = 1'-0"

A1.3

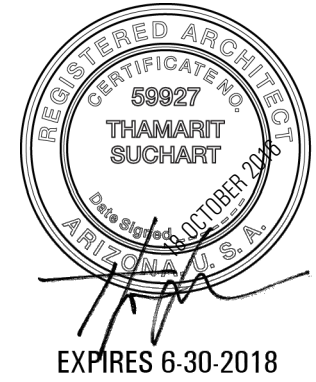
100% construction documents
18 october 2017





SHOUMAKER RENOVATION

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7070 east third avenue

scottsdale, arizona 85212

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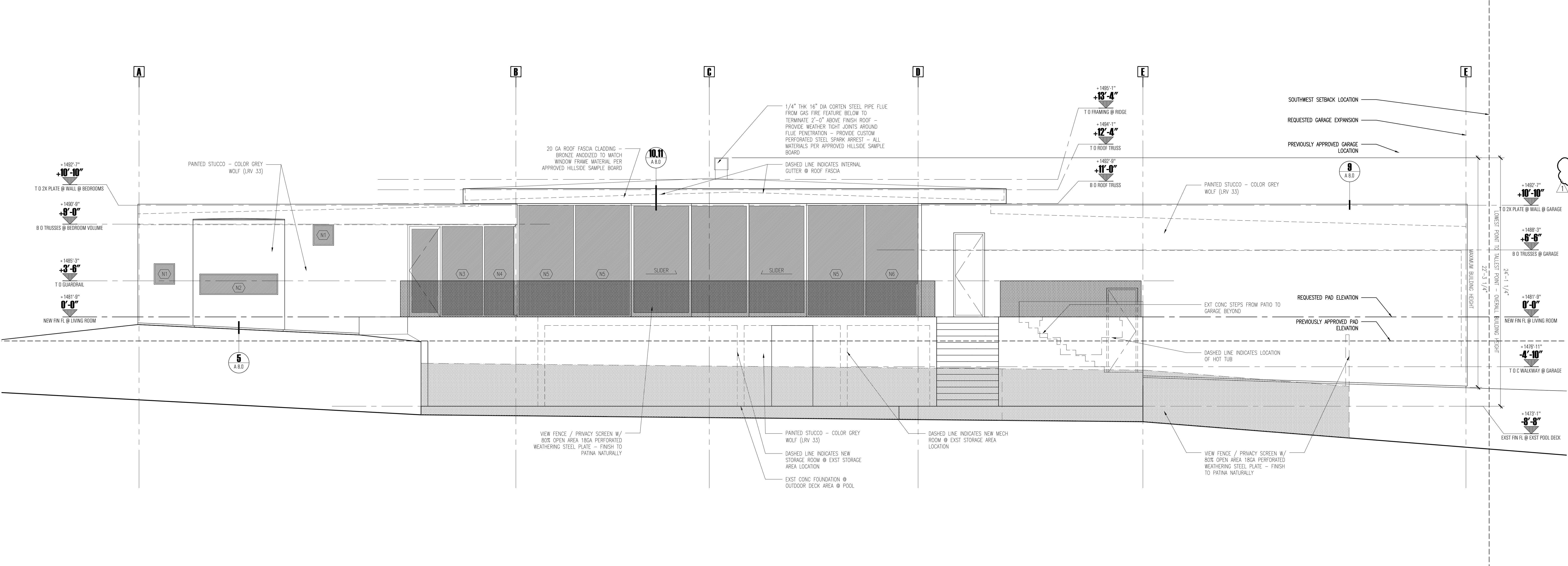
mobile : 480.332.1706 (patricia)

email : thamarit@chensuchartstudio.com

general notes

- FOR ALL STRUCTURAL REQ - REF STRUCTURAL DRAWINGS
- FOR ALL MECHANICAL REQ - REF MECHANICAL DRAWINGS
- ALL GLAZING TO BE TEMPERED FOR SAFETY - REF GLAZING SCHEDULE
- ALL GLAZING SIZES SHOWN ARE APPROXIMATE & ARE PROVIDED AS A GUIDE FOR BIDDING PURPOSES ONLY - FIELD MEASUREMENT REQUIRED.
- AT LOCATIONS WHERE TWO DISSIMILAR METALS ARE ADJACENT TO ONE ANOTHER - THE CONTRACTOR IS TO PROVIDE A TO MIL RUBBER MEMBRANE SEPARATING THE TWO DISSIMILAR METALS DUE TO ISSUES OF GALVANIC ACTION (TYP)
- ALL GLAZING THICKNESSES ARE TO BE CONFIRMED BY THE GLAZING SUBCONTRACTOR
- PROVIDE WEATHER TIGHT JOINTS, WEATHERFLASHING WEATHERPROOFING @ ALL EXTERIOR WALLS PENETRATIONS/OPINGS
- ALL DIMENSIONS SHOWN ARE TO FACE OF STUD OR FACE OF CONCRETE UNO
- REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL INTERIOR GLAZING
- AS88 WEATHERING STEEL PLATE WALL CLADDING @ MAIN RESIDENCE TO HAVE WATERPROOFING MEMBRANE AS FOLLOWS: GRAFTE ULTRA (ICB@8907) BY GRAFCE CONSTRUCTION PRODUCTS - NO SUBSTITUTION
- PROVIDE POLYISOCYANURATE SPRAY FOAM INSULATION
R-38 IN ALL CEILINGS
R-15 IN ALL 2X4 WD STUD WALLS
R-21 IN ALL 2X6 WD STUD WALLS
- ALL STEEL PLATE CLADDING LOCATED @ EXTERIOR OF RESIDENCE TO BE AS88 OR A606 WEATHERING STEEL-STEEL PLATE IN CA AS NOTED ON DRAWINGS UNO
- ALL STEEL PLATE CLADDING TO RUST NATURALLY PER APPROVED HILLSIDE MEETINGS

ELEVATION - SOUTH 2



TOWN OF PV COMMENTS/REVISIONS 17_0714
TOWN OF PV COMMENTS/REVISIONS 17_0914
MATERIAL COLOR & FINISH CLARIFICATIONS
SITE / CLIENT REVISIONS 17_0920

elevations
scale : 1/4" = 1'-0"

A5.0

18 october 2017

ELEVATION - NORTH 1

glazing type (uno)

TYPE A (UNO) = 1" INSULATED GLASS, TEMPERED
(1/4" CLEAR + 1/2" AIR SPACE + 1/4" CLEAR) W/ SOLARBAN-70 LOW-E COATING BY PPG @ SURFACE 2
- U-FACTOR = 0.29 - VERIFY W/ GLAZING MANF

INSTALLED IN BRONZE ANODIZED ALUMINUM STOREFRONT TYPE FRAME

TYPE B = THERMALLY IMPROVED ALUMINUM SERIES BY MILGARD W/ LOW-E INSULATED GLAZING, BRONZE ANODIZED, TEMPERED

window schedule

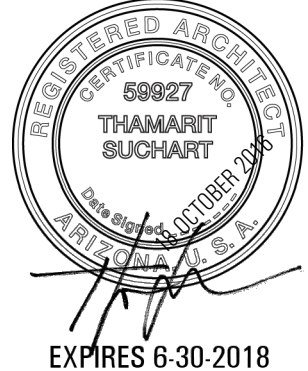
FINAL ROUGH OPNG, SIZES & TYPE TO BE VERIFIED IN THE FIELD

FRAME MARK	GLAZING TYPE	GLAZING WIDTH	GLAZING HEIGHT	DTL	REMARKS
N1	B	2'-0"	9'-0"	-	
N2	B	1'-8"	5'-6"	-	
N3	A	4'-11"	5'-6"	-	
N4	A	1'-4"	9'-0"	-	IG BUTT GLAZED @ CRNR TO ADJACENT IG UNIT
N5	A	4'-11"	5'-6"	-	
N6	A	1'-4"	9'-0"	-	IG BUTT GLAZED @ CRNR TO ADJACENT IG UNIT
S1	A	4'-0"	11'-0"	-	
S2	A	4'-0"	7'-6"	-	
S3	A	6'-0"	2'-0"	-	
S4	A	2'-8"	11'-0"	-	
S5	A	4'-4"	11'-0"	-	
S6	B	5'-10"	1'-6"	-	
S7	A	1'-6"	9'-0"	-	
S8	A	3'-2"	9'-0"	-	IG BUTT GLAZED @ CRNR TO ADJACENT IG UNIT
E1	A	3'-2"	9'-0"	-	IG BUTT GLAZED @ CRNR TO ADJACENT IG UNIT
E2	B	3'-1"	9'-0"	-	
E3	B	2'-6"	9'-0"	-	
W1	A	2'-8"	9'-0"	-	IG BUTT GLAZED @ CRNR TO ADJACENT IG UNIT
W2	A	2'-0"	9'-0"	-	
W3	A	4'-0"	2'-0"	-	TRANSOM
W4	A	1'-4"	11'-0"	-	IG BUTT GLAZED @ CRNR TO ADJACENT IG UNIT

THESE DRAWINGS ARE NOT TO BE REPRODUCED OR USED FOR ANY OTHER CONSTRUCTION EXCEPT FOR THE NAME ON THESE DRAWINGS. ANY OTHER USE OF THESE PLANS WILL BE WITH THE CONSENT OF THE DESIGNERS. THE DESIGN HEREIN SHALL NOT BE ALTERED BY THE OWNER OR ANY OTHER PARTY WITHOUT WRITTEN AUTHORIZATION FROM THE DESIGNERS. ANY MAJOR CHANGE TO THE PROJECT THAT WILL OCCUR DURING THE CONSTRUCTION PHASE WILL REQUIRE THE WRITTEN APPROVAL OF
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SHOUMAKER RENOVATION

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paradise valley, az 85253



architects:

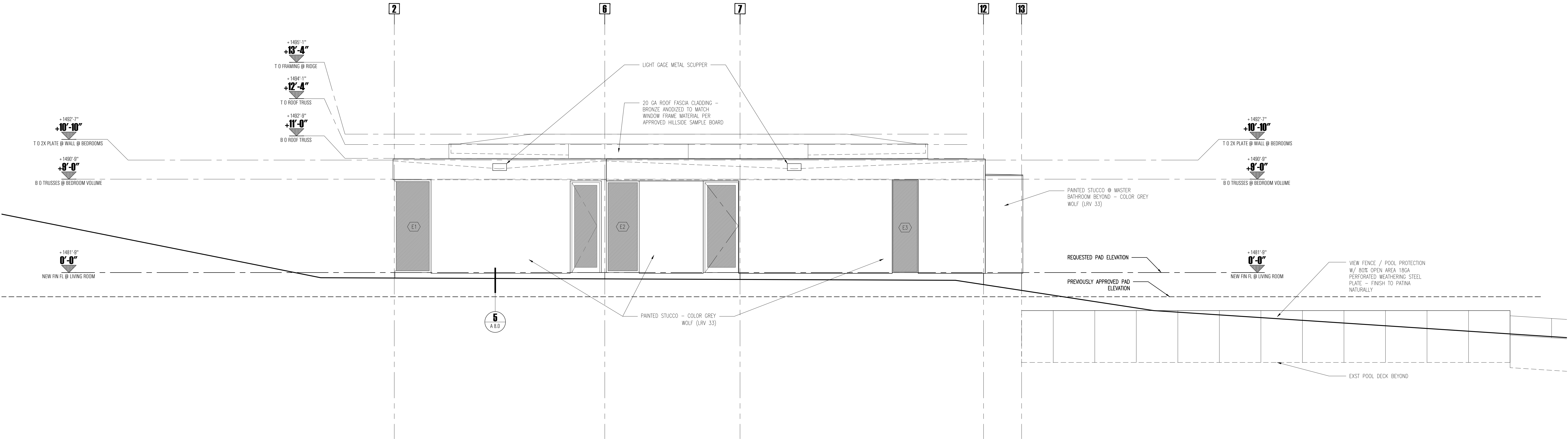
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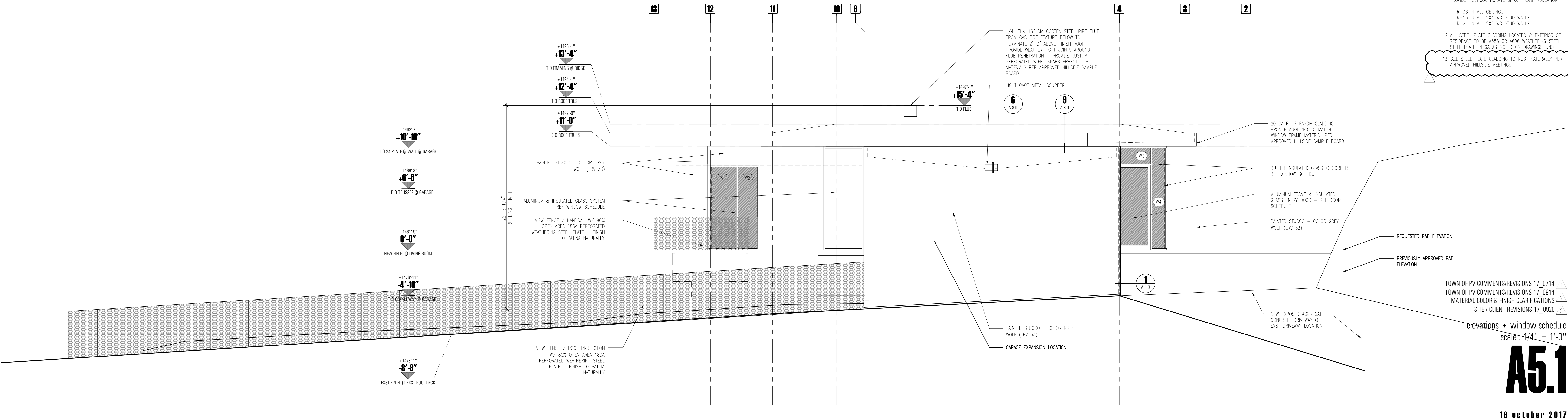
mobile : 480.332.1704 (tommy)
mobile : 480.332.1706 (patricia)
email : thamarit@chensuchartstudio.com

general notes

- FOR ALL STRUCTURAL REQ - REF STRUCTURAL DRAWINGS
- FOR ALL MECHANICAL REQ - REF MECHANICAL DRAWINGS
- ALL GLAZING TO BE TEMPERED FOR SAFETY - REF GLAZING SCHEDULE
- ALL GLAZING SIZES SHOWN ARE APPROXIMATE & ARE PROVIDED AS A GUIDE FOR BIDDING PURPOSES ONLY - FIELD MEASUREMENT REQUIRED.
- AT LOCATIONS WHERE TWO DISSIMILAR METALS ARE ADJACENT TO ONE ANOTHER - THE CONTRACTOR IS TO PROVIDE A TO MIL RUBBER MEMBRANE SEPARATING THE TWO DISSIMILAR METALS DUE TO ISSUES OF GALVANIC ACTION (TYP)
- ALL GLAZING THICKNESSES ARE TO BE CONFIRMED BY THE GLAZING SUBCONTRACTOR
- PROVIDE WEATHER TIGHT JOINTS, WEATHERFLASHING WEATHERPROOFING @ ALL EXTERIOR WALLS PENETRATIONS/OPNGS
- ALL DIMENSIONS SHOWN ARE TO FACE OF STUD OR FACE OF CONCRETE UNO
- REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL INTERIOR GLAZING
- AS88 WEATHERING STEEL PLATE WALL CLADDING @ MAIN RESIDENCE TO HAVE WATERPROOFING MEMBRANE AS FOLLOWS: GRADE ULTRA (ICB@8907) BY GRADE CONSTRUCTION PRODUCTS - NO SUBSTITUTION
- PROVIDE POLYISOCYANURATE SPRAY FOAM INSULATION
R-38 IN ALL CEILINGS
R-15 IN ALL 2X4 WD STUD WALLS
R-21 IN ALL 2X6 WD STUD WALLS
- ALL STEEL PLATE CLADDING LOCATED @ EXTERIOR OF RESIDENCE TO BE AS88 OR A606 WEATHERING STEEL-STEEL PLATE IN GA AS NOTED ON DRAWINGS UNO
- ALL STEEL PLATE CLADDING TO RUST NATURALLY PER APPROVED HILLSIDE MEETINGS



ELEVATION - EAST 2



ELEVATION - WEST 1

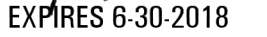
TOWN OF PV COMMENTS/REVISIONS 17_0714
TOWN OF PV COMMENTS/REVISIONS 17_0914
MATERIAL COLOR & FINISH CLARIFICATIONS
SITE / CLIENT REVISIONS 17_0920

elevations + window schedule
scale: 1/4" = 1'-0"

A5.1

18 october 2017

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paradise valley, az 85253



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email : thamkari@chensuchartstudio.comSITE / CLIENT REVISIONS 17_1018 2

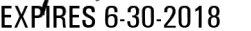
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1. FOR ALL STRUCTURAL REQ - REF STRUCTURAL
COMMENTS

building sections
scale : 1/4" = 1'-0"

AG 1

Ad. I

18 october 2017

