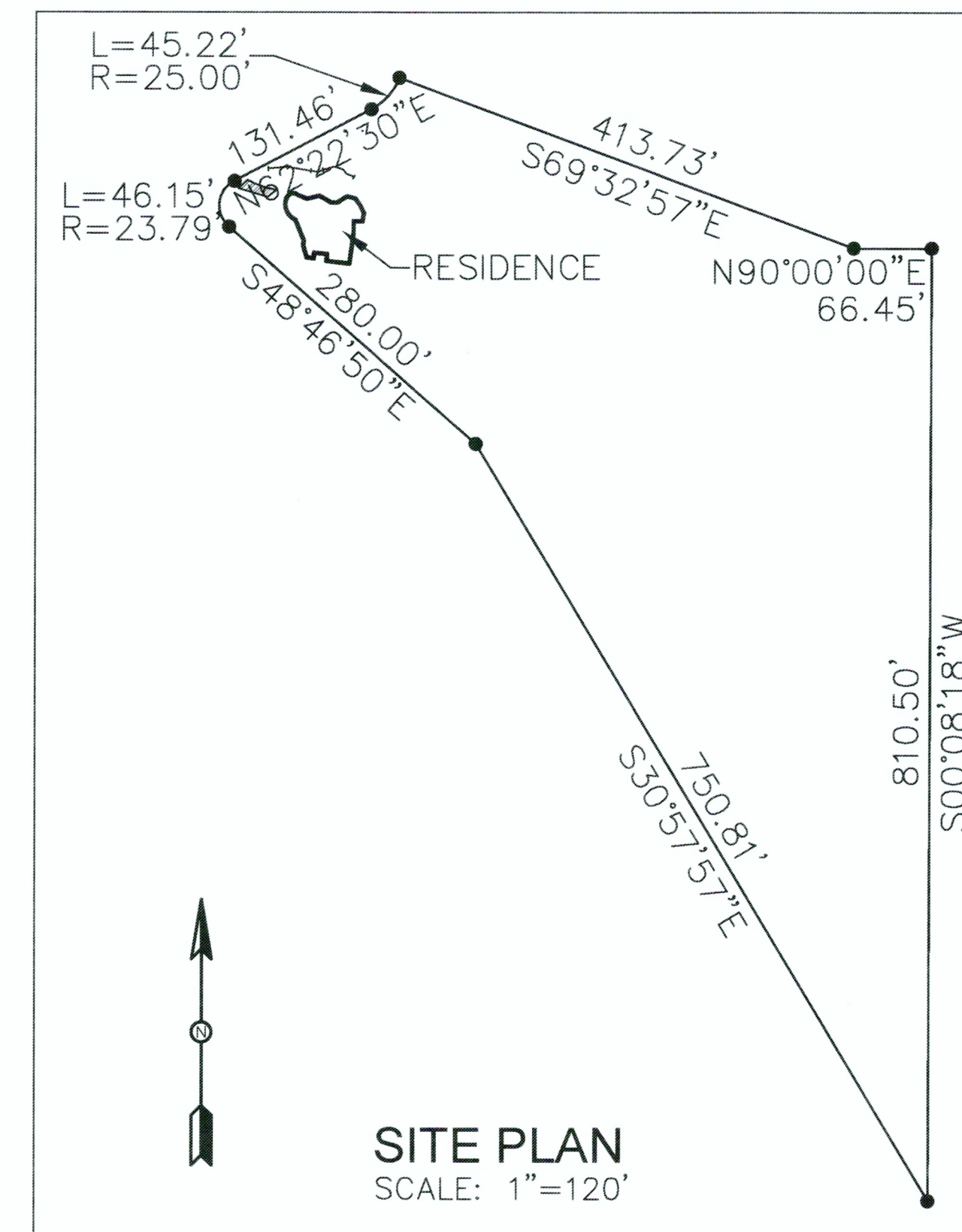
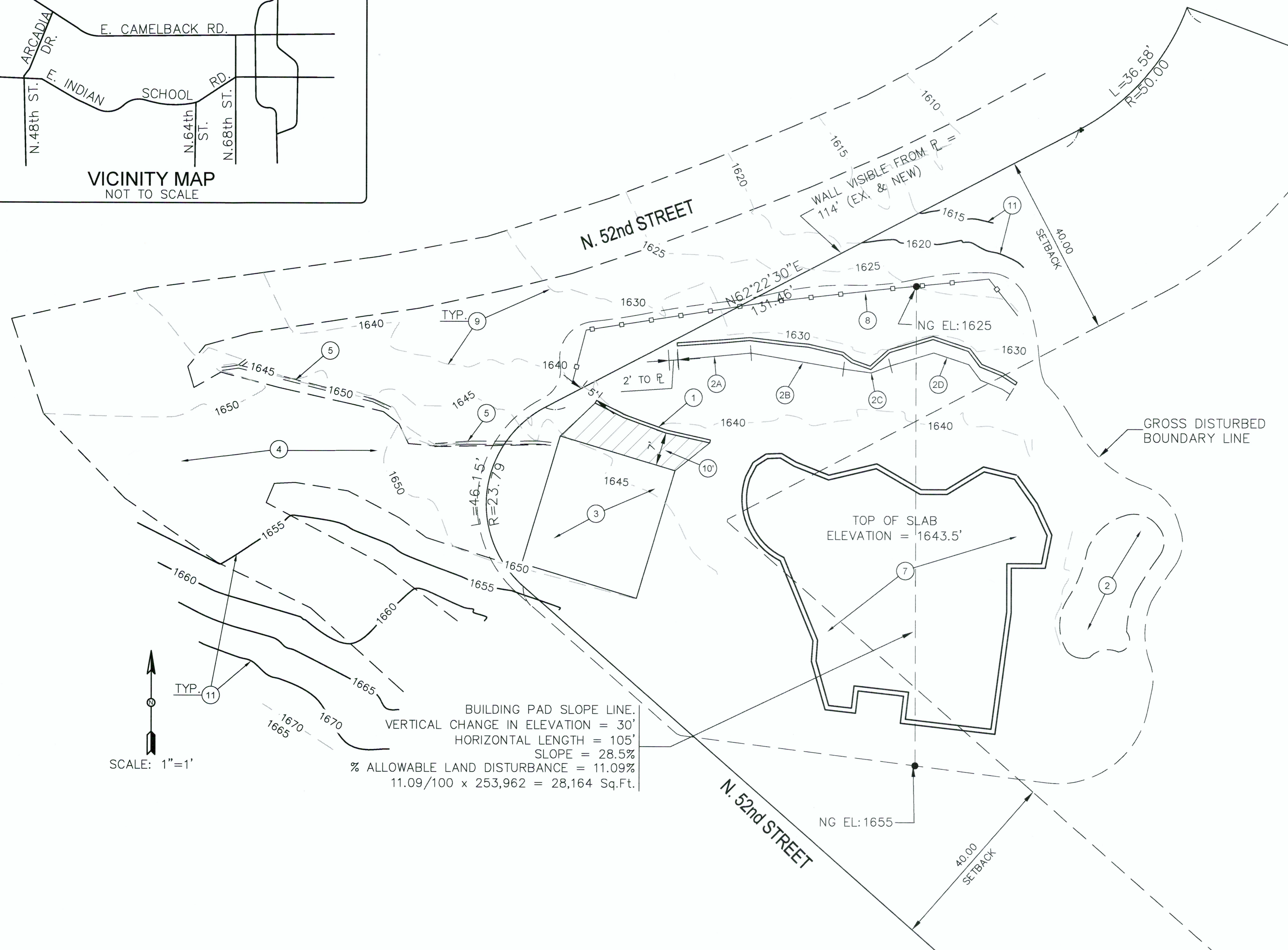
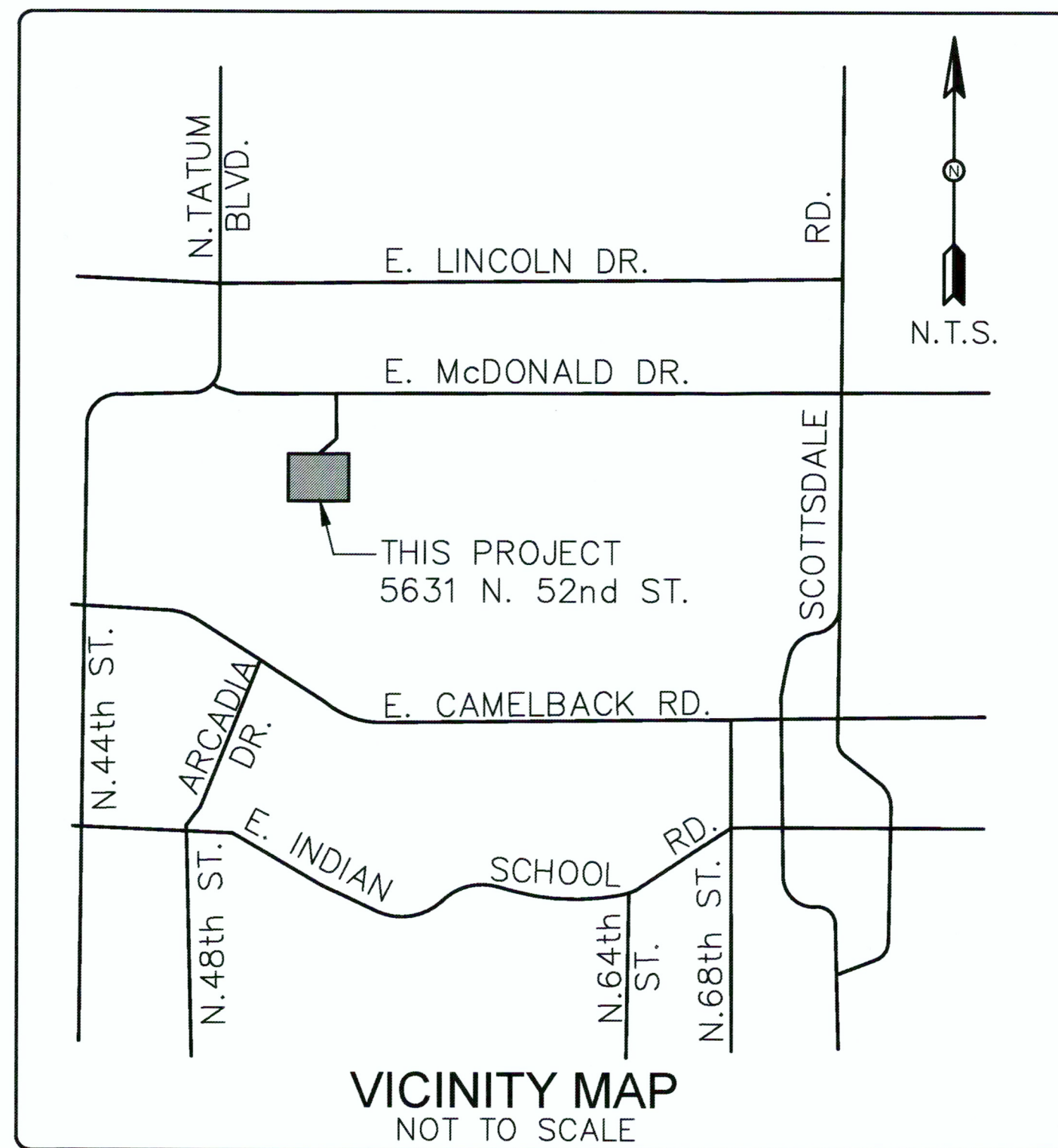




DISTURB AREA CALCULATIONS:

LOT AREA	= 253,962 Sq.Ft. (5.83 Acres)
BUILDING SITE SLOPE	= 28.5%
VERTICAL CHANGE IN DEPTH	= 30'
HORIZONTAL LENGTH	= 105'
ALLOWABLE DISTURBED AREA	= 28,164 Sq.Ft.(11.09%)
GROSS DISTURBED AREA	= 12,620 Sq.Ft.-2,850 Sq.Ft.= 9,770 Sq.Ft.

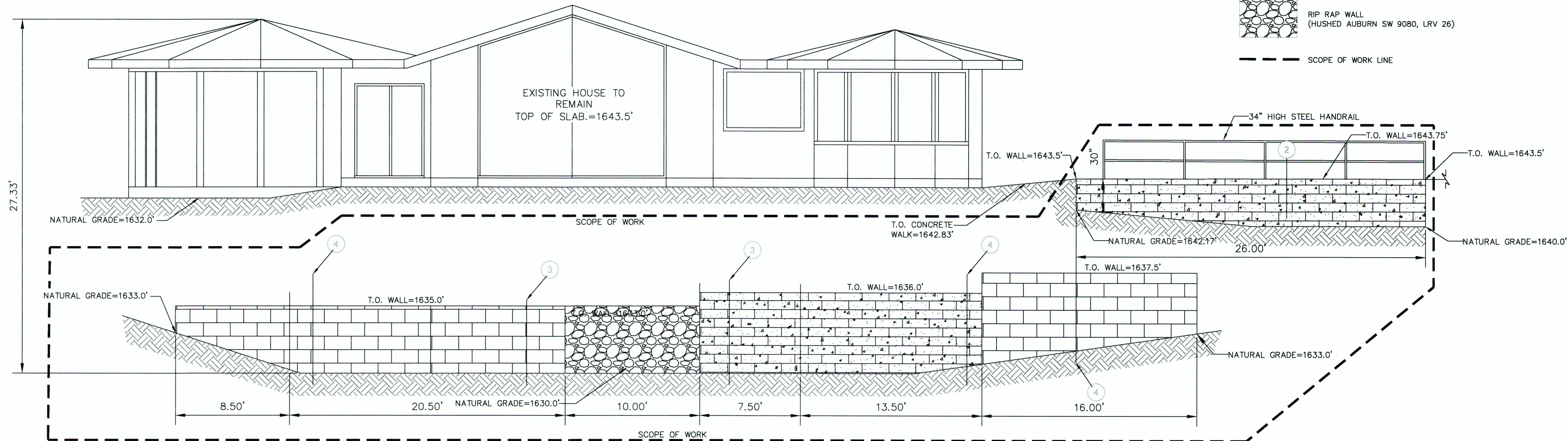
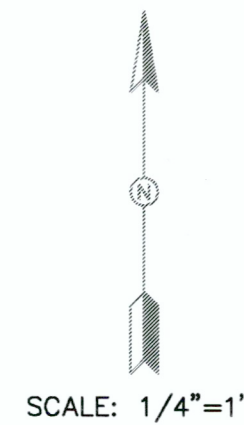
BUILDING DATA:

APN#	= 172-47-037B
LOT#	= LOT 37 STONE CANYON
ZONING;	= R-43 (HILLSIDE)
SCOPE OF WORK:	= NEW RETAINING WALL

SITE PLAN KEY NOTES:

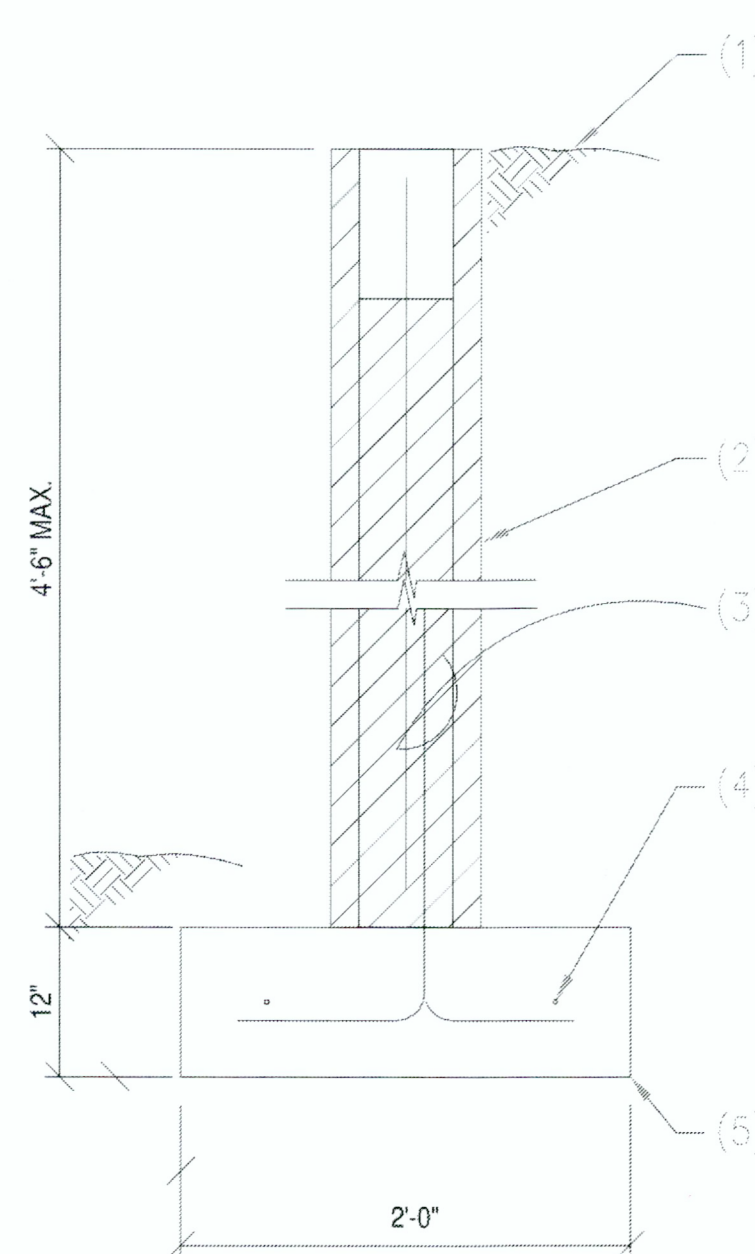
1. NEW 26' LONG MASONRY WALL SECTION (8" THICK) WITH OLD STONE FACING TO MATCH EXISTING
2. CONTINUOUS RETAINING WALL COMPOSED OF NEW AND EXISTING SECTIONS, ORIGINATES FROM THE WEST SIDE.
 - A- NEW CINDER BLOCK SECTION 16' LONG
 - B- NEW 21' LONG MASONRY WALL SECTION (8" THICK) WITH OLD STONE FACING TO MATCH EXISTING
 - C- EXISTING 10' LONG RIPRAP WALL SECTION
 - D- NEW CINDER BLOCK WALL SECTION 29' LONG
3. EXISTING CARPORT TO REMAIN.
4. EXISTING ASPHALT TO REMAIN.
5. EXISTING CONCRETE RETAINING TO REMAIN.
6. EXISTING POOL TO REMAIN.
7. EXISTING RESIDENCE TO REMAIN.
8. EXISTING CHAIN LINK FENCE.
9. CONTOURS ARE FINISHED GRADE.
10. FLAGSTONE EMBEDDED IN CONCRETE WALKWAY.
11. NATURAL CONTOURS





LEGEND

- CINDER BLOCK WALL
(WHEAT PENNY SW7705, LRV 18)
- MASONRY BLOCK WALL WITH OLD STONE FENCING
(FIRED WEED SW6328, LRV7 AT THE WALL WITH STEEL HANDRAIL,
WHEAT PENNY, SW 7705, LRV 18 AT THE SECOND WALL)
- RIP RAP WALL
(HUSHED AUBURN SW 9080, LRV 26)
- SCOPE OF WORK LINE

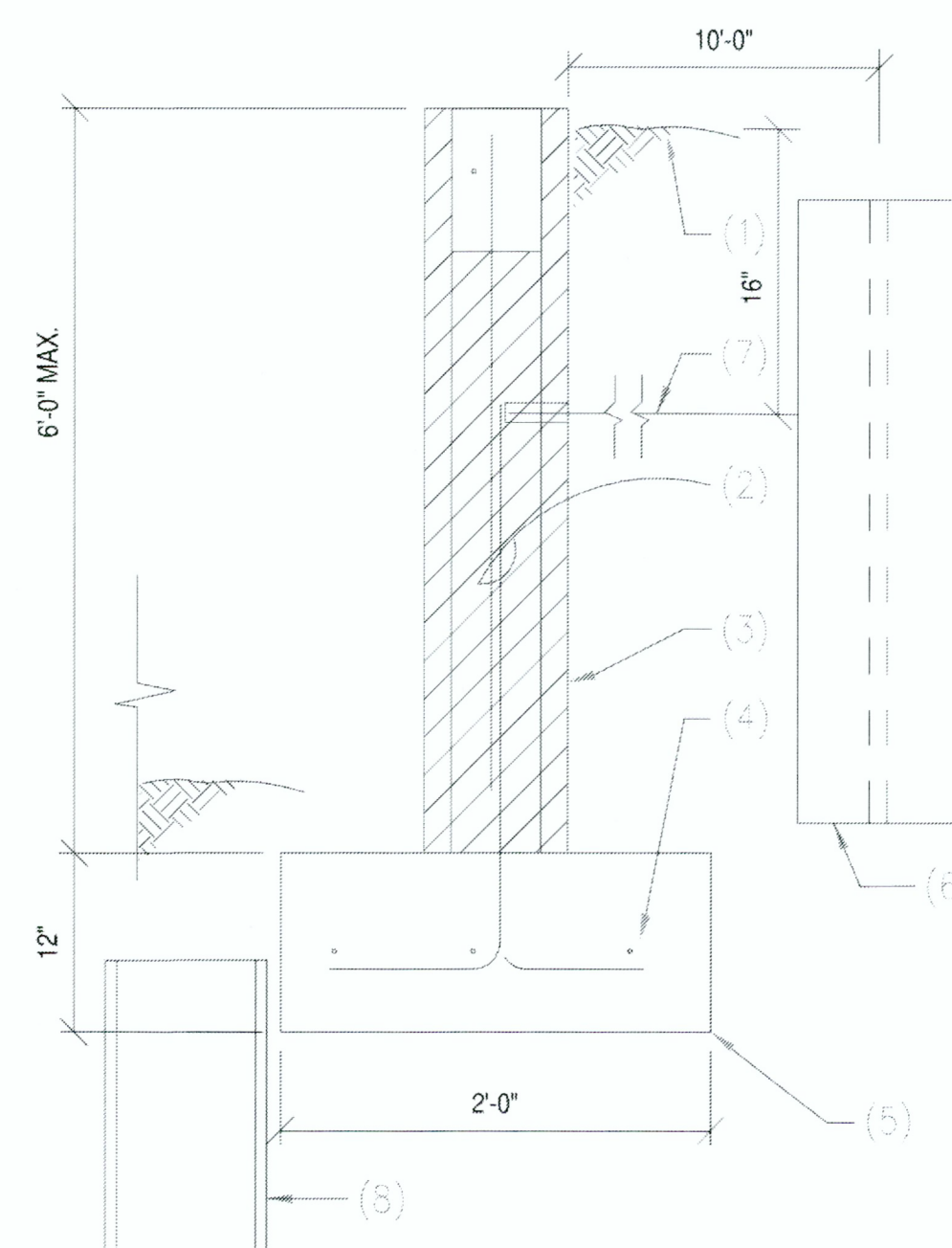


3 MASONRY RETAINING WALL #3
3/4" = 1'-0"

NOTES:

1. FINISHED GRADE.
2. 12" MASONRY WALL WITH #5 VERTICALS AT 16" O.C. - GROUT SOLID.
3. DOWELS TO MATCH AND LAP VERTICAL WALL REINFORCING - ALTERNATE BENDS.
4. 2 #5 CONTINUOUS.
5. CONCRETE FOOTING.

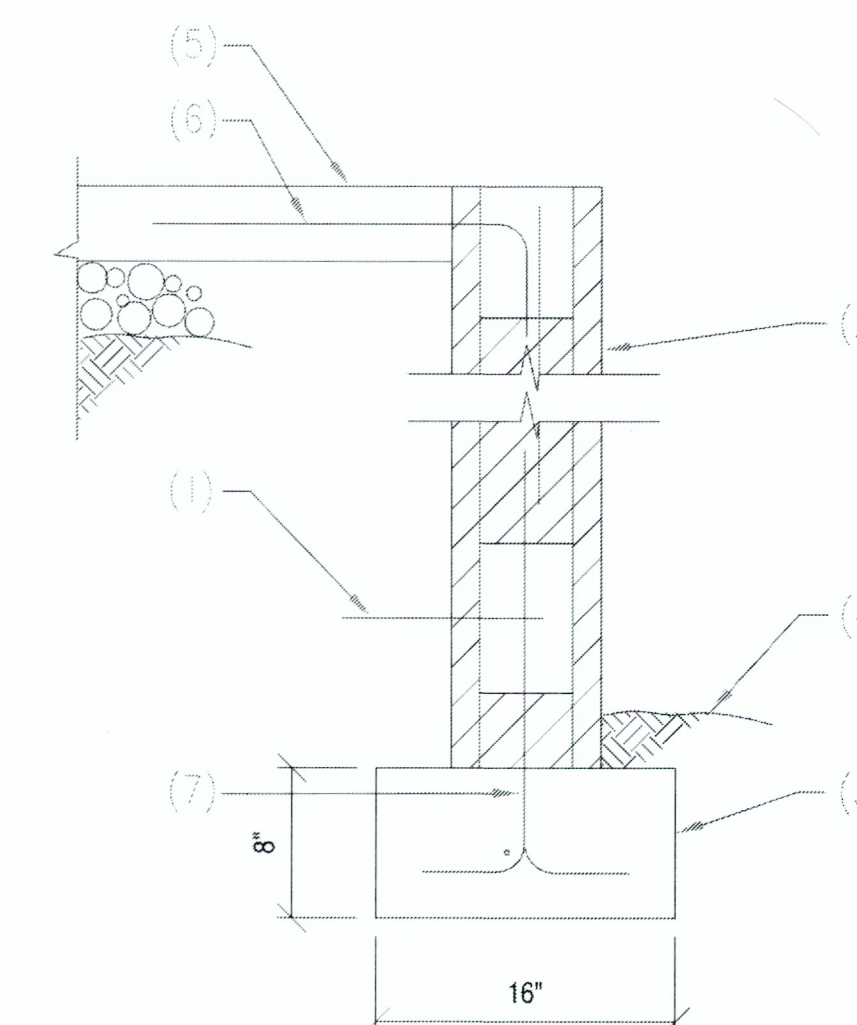
NOTE:
FINISH GRADE TO MATCH TOP OF RETAINING WALL HEIGHTS.



4 MASONRY RETAINING WALL #2
3/4" = 1'-0"

NOTES:

1. FINISHED GRADE.
2. DOWELS TO MATCH AND LAP VERTICAL WALL REINFORCING.
3. 12" MASONRY WALL WITH #5 VERTICALS AT 16" O.C. CENTERED IN WALL - GROUT SOLID.
4. 2 #5 CONTINUOUS.
5. CONCRETE FOOTING WITH 2 #5 CONTINUOUS.
6. W6x9 4' LONG GALVANIZED STEEL POST @ 4'-0" O.C. AT WALL HEIGHT > 4'-0" ONLY.
7. 1/2" GALVANIZED ROD.
8. W6x9 4' LONG GALVANIZED STEEL POST @ 2'-0" O.C. AT WALL HEIGHT > 4'-0" ONLY.



2 MASONRY RETAINING WALL #1
3/4" = 1'-0"

NOTES:

1. 1 - #4 @ 8" O.C.
2. 6" MASONRY WALL - GROUT SOLID.
3. CONCRETE FOOTING WITH 2 #5 CONTINUOUS.
4. FINISHED GRADE.
5. CONCRETE SLAB ON GRADE.
6. SLAB DOWEL #4 AT 24" O.C. BEND 45°x34° (SLV).
7. DOWELS TO MATCH AND LAP VERTICAL WALL REINFORCING.



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North Elevation

DRAWN BY:
NM

DATE:
3-7-2017

PROJECT NO.
1272016-1

DRAWING NO.



PHOTO #1



PHOTO #2



PHOTO #3



SITE PLAN

SITE PLAN KEY NOTES

1. NEW 26' LONG MASONRY SECTION (8" THICK) WITH OLD STONE FACING TO MATCH EXISTING. (PHOTO #1)
2. CONTINUOUS RETAINING WALL COMPOSED OF NEW AND EXISTING SECTIONS, ORIGINATES FROM THE WEST SIDE.
 - A- NEW CINDER BLOCK SECTION 16' LONG
 - B- NEW 21' LONG MASONRY WALL SECTION (8" THICK) WITH OLD STONE FACING TO MATCH EXISTING
 - C- EXISTING 10' LONG RIPRAP WALL SECTION
 - D- NEW CINDER BLOCK WALL SECTION 29' LONG (PHOTO #2)
3. EXISTING RESIDENCE TO REMAIN (PHOTO #3)
4. SEE SHEET S1 FOR WALL LAYOUT EXACT DIMENSIONS



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SITE PLAN
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