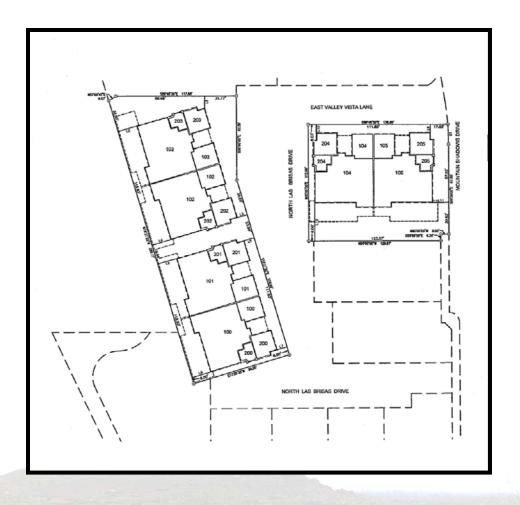


Phase	Request	Process	
Phase 1	20 villas 20 villas 7 villas/2 tracts 12 condos 12 condos	Prelim Plat (4/7/15; 4/21/15; 5/14/15) Final Plat (7/21/15; 9/10/15; 9/24/15) Replat (2/16/16; 3/24/16) Prelim Condo Plat (1/19/16; 2/11/16) Final Condo Plat (5/17/16; 5/26/16)	ondo Hotel
Phase 2	8 villa lots 8 villa lots/Tract E 7 villa lots	Prelim Plat (6/16/15; 9/10/15; 9/24/15) Final Plat (10/20/15; 11/5/15; 11/19/15) Replat (2/16/16; 3/24/16)	
Phase 3	8 villa lots/Tract E 40 condos 40 condos	Final Plat (10/20/15; 11/5/15; 11/19/15) Prelim Condo (10/20/15;11/5/15; 11/19/15) Final Condo Plat (5/17/16; 5/26/16)	
Condo Hotel	Lot 131 44 condos/59 keys 42 condos/59 keys	Final Map (6/15/15) Prelim Condo (10/20/15; 11/5/15; 12/17/15) Final Condo Map (2/16/15; 3/24/16)	TO-CO
OF THE WAY	Overvi	ew (All)	2 23 45 4

Request

Final Plat Map for Resort Residential at Mountain Shadows Resort SUP

12 condominium homes



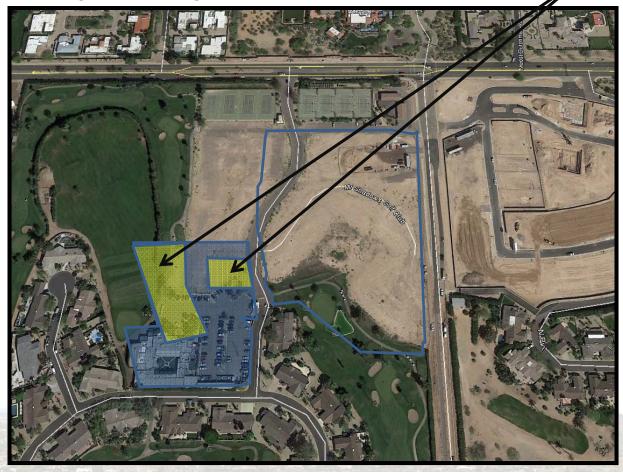


Commission Action

- Discussed at May 17, 2016 study session
- Recommended approval 5 to 0 on May 17, 2016
 - Removed a draft stipulation related to the Town review of the CC&Rs as this has already been completed
 - Added a new stipulation to be completed prior to recordation that would more clearly word the 100 Year Assured Water Supply note on the plat
 - Assured water note has been updated, new stipulation not included since the applicant made the correction

Vicinity Map

Subject Property





Requirements – Processing

- Plat held to SUP & DA standards
- Administrative review/approval process
 - Typical requirements for ROW, easements, lot size, lot width, setbacks etc. do not apply
 - No legislative discretion as in SUP/Rezoning



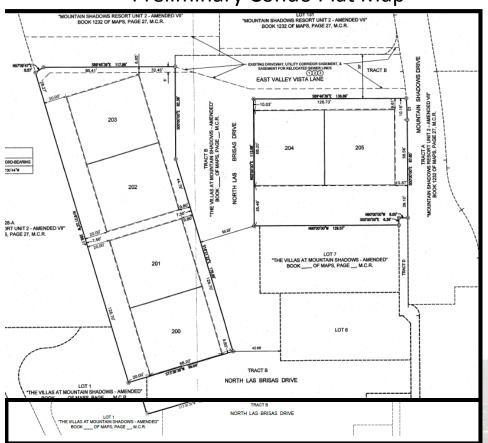
SUP Background

- 1.0 acre of the 3.2 acre final plat (Phase 1)
- Zoned SUP-Resort
- SUP allows for condominiums
- SUP allows for 2 story/24' height (ONG) 28' (AFG)
- Max 300,000 FAR in Area B (Est. 290,000 sf all phases)

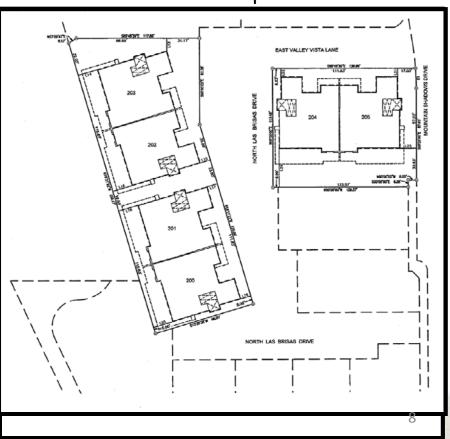


Comparison

Preliminary Condo Plat Map



Final Condo Plat Map



Illustrations





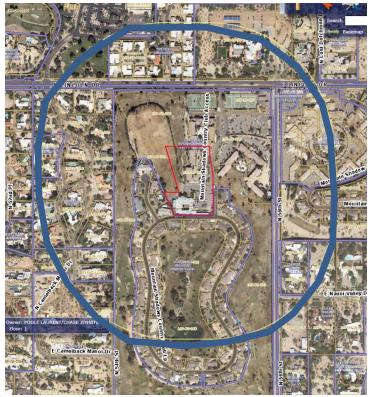


Compliance Overview

- SUP allows for villas and condos
- Roadways were approved with final plat complies with 30' ROW & 26' pavement
- SUP requires no so setbacks for condo tracts
- Plat complies with drainage, utilities, and fire protection as reviewed with prior MSR plats
- Development meets SUP for parking, each unit has 2car garage

Homes will comply with the SUP height at 24'

Final Plat Public Comments



- 1,000' radius mailed notice
- No comments

Recommendation (Summary)

- Development shall be in substantial compliance with the Final Condo Plat Map
- 2. Final subdivision improvements shall be in substantial compliance with the approved improvement plans
- 3. Within 60 days of approval, the applicant shall submit to the Town mylars and plans in a pdf format



Next Steps

• If approved, construction permits



Questions?

