SCOTTSDALE PLAZA RESORT

PARADISE VALLEY SPECIAL USE PERMIT APPLICATION

AUGUST 26, 2022
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T.1 TABLE OF CONTENTS

1 PROJECT INTRODUCTION
- PROJECT TEAM
- SITE CONTEXT
  - AERIAL PHOTOS (EXISTING)
  - AERIAL PHOTO (DEMOLITION DIAGRAM)
- PROJECT NARRATIVE
- SPECIAL USE PERMIT INTERMEDIATE AMENDMENT CRITERIA
- PROJECT DATA SUMMARY

2 MASTER PLAN
- PROPOSED MASTER PLAN
  - PROGRAM
  - STRUCTURE TYPE BREAKDOWN
  - BUILDING AREAS
  - LOT COVERAGE
  - MAIN ENTRY CONCEPTUAL RENDERING

3 “BIG SISTER” ARCHITECTURE
- RESORT RESTAURANTS
- HOTEL LOBBY PAVILION
- SPA & SPA SUITES
- MODEL ROOM
- EXTERIOR MATERIALS

4 “LITTLE SISTER” ARCHITECTURE
- PORTE COCHERE
- MAIN BUILDING EXTERIOR
- MAIN BUILDING OCCUPANCY
- GUESTROOMS MODEL ROOM
- CABANA GUESTROOMS, POOL BAR & FITNESS
- EXTERIOR MATERIALS

5 LANDSCAPE ARCHITECTURE
- MASTER LANDSCAPE PLAN
- LANDSCAPE CHARACTER ZONES
- LANDSCAPE CHARACTER IMAGES
- PERIMETER BUFFER PLAN
- STREETSCAPE LANDSCAPE CHARACTER
- STREETSCAPE SECTIONS
- EXTERIOR SITE WALL PLAN

6 LIGHTING
- EXTERIOR LIGHTING DESIGN CONCEPTS
- PERIMETER LIGHTING CONCEPT

7 SIGNAGE
- PERIMETER SITE SIGNAGE
- MAIN ENTRY CONCEPT

8 CIVIL ENGINEERING
- EXISTING ALTA SURVEY & LEGAL DESCRIPTION
- PRELIMINARY GRADING, DRAINAGE & UTILITIES

9 SITE CIRCULATION & PARKING
- VEHICULAR CIRCULATION PLAN - PROPOSED
- PARKING DIAGRAM - PROPOSED

10 APPENDICES
- A. ACOUSTICALREPORTS
- B. CIVIL ENGINEERING REPORTS
- C. EXISTING LIGHTING PHOTOMETRIC STUDY
- D. PARKING ANALYSIS & MEMORANDUM
- E. TRAFFIC IMPACT ANALYSIS

1 PROJECT INTRODUCTION

- PROJECT TEAM
- SITE CONTEXT
    - AERIAL PHOTOS (EXISTING)
    - AERIAL PHOTO (DEMOLITION DIAGRAM)

- PROJECT NARRATIVE
- SPECIAL USE PERMIT INTERMEDIATE AMENDMENT CRITERIA
- PROJECT DATA SUMMARY

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1.2 SITE CONTEXT
EXISTING

0 100 200 FT

N

HIGHGATE HKS FLOOR associates ktgy SDDG Design Agency RLB Rider Levett Bucknall GMLD GRANVILLE MCANEAR LIGHTING DESIGN ATWELL ROSE LAW GROUP pc RICH • CARTER • FISHER SUMMIT LAND MANAGEMENT

SCOTTSDALE PLAZA RESORT

PARADISE VALLEY SPECIAL USE PERMIT APPLICATION

1.3 SITE CONTEXT
DEMOLITION DIAGRAM

DEMOLITION (39,402 SF)

RENOVATION

PARKING DEMOLITION

0 100 200 FT

N

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SCOTTSDALE PLAZA RESORT

PARADISE VALLEY SPECIAL USE PERMIT APPLICATION

1.4 PROJECT NARRATIVE

REQUEST:

Amend the Special Use Permit for the Scottsdale Plaza Resort (“SPR”) to allow for 64 additional hotel rooms, three new signature restaurants, new Spa and Café, new Lobby Pavilion, a redesigned resort pool, freshly painted exterior for all existing buildings, enhanced landscaping, new signage and undergrounding of select parking. The SUP would not include any ownership units nor any additional height.

APPLICANT BACKGROUND:

Highgate is an industry-leading hotel management, investment, and development firm. They have over thirty years of experience and have maintained the character of the business as family-owned from the beginning. Highgate has over 540 properties under their management throughout the US, Latin America, Caribbean and Europe. Highgate’s portfolio includes hotels of all chain scales, including a large subset of luxury and lifestyle properties. They have over seen over $1.5 billion in hotel construction and renovation alone. Highgate manages an equal number of urban and suburban hotels as well as resorts, so they are very attuned to the needs of all environments. They have been recognized by Forbes Travel Guide, U.S. News Best Hotels, Gold Key Awards, and many more for their effectiveness in both service and design.

Highgate has extensive experience in executing both ground-up development and adaptive reuse and redevelopment hotel renovation. Their hands-on approach to projects mirrors the experience of working with a boutique firm despite being a large, international company. They have an industry reputation for being innovators with high performance drive to maximize the asset value based on its individual characteristics.

DETAILS OF REQUEST:

Summary

Scottsdale Plaza Resort was built in 1976 and has continued to be one of the largest hospitality properties in the valley. Highgate was chosen above competing buyers for its pledge to be a good steward of the resort and its people. While maintaining the independent vision and unique local presence of the Scottsdale Plaza Resort, Highgate plans to enhance its offerings, bringing upscale design and amenities to match the character of Paradise Valley. The renovated and repositioned resort will be a beacon for leisure, group, and business travelers as well as a community gathering place.

The proposed project is the work of world-class designers and award-winning architects and landscape architects. All the resort guestrooms and support buildings will get full interior renovations and an exterior facelift. The main resort courtyard, pool, resort restaurant, and bar will also be renovated to reflect a more design focused and refined experience. This redesign will interplay harmoniously with the surrounding area and increase values because of the major investment in these improvements.

Highgate plans to develop two cohesive but distinct resort experiences within the larger Scottsdale Plaza Resort; concepts that will better connect with the local community. The concepts will be in name and branding only, as Highgate will continue to own and manage the entire entity. Additionally, Highgate will pursue a combination of the current three parcels into one lot prior to final approval of the SUP amendment. The concepts have not been named yet, but we have dubbed them “Big and Little Sisters.” “Little Sister” is comprised of the original buildings on the northern half of the site and will provide a livelier, more social option for guests and families. This concept will focus on a slightly younger demographic and encourage an interactive and communal guest and neighborhood experience. The “Big Sister” concept is comprised of the southern half of the site, which was built in a second phase in the 1980s. The current room product in Big Sister are all suites – some of the largest in the Valley. Highgate’s plan is to position this portion of the property at a luxury level and introduce commensurate amenities. By clearly delineating the two concepts, Highgate is codifying the historically different experiences on property and will be able to better match guest expectations.

The entrance to the resort will remain at the main drive stoplight on Scottsdale Road and will be reconfigured to allow for clearer traffic flow between the different areas of the property and an improved pedestrian experience throughout the resort, with a significant reduction in asphalted areas. New signage will be added to meet the elevated aesthetic of the resort and ease navigation throughout.

The new buildings are being carefully located to enhance the internal views of the resort, as well as the views out to Mummy and Camelback Mountains. The new and enhanced xeriscape landscaping will be used throughout the property to enhance the resort atmosphere, mitigate views of traffic, and provide shade. The visual goal is one that is both playful for those on the interior of the property and sophisticated for those looking in from the outside of the property. Existing setbacks throughout the property will be maintained to ensure adequate buffering from neighboring residential uses and to maintain the high-quality character of the town.

The new elevated experience of the property will be anchored by a luxury destination spa and top-tier restaurants. Six spa-focused guestrooms will be added for those who choose to make the spa the focal point of their stay. The southeastern corner of the property will incorporate restaurants from both national and local restaurant groups to top off the resort experience, so guests can access every amenity they need for their stay without ever leaving the property. A new-build, underground guest parking facility will be added to this corner of the lot as well to off-set the parking lost to new guestrooms and restaurants and allow for more landscaping throughout the property. Additionally, the rooms and public areas will be brought up to ADA standards throughout the renovation process, increasing accessibility for the enjoyment of all.

By maintaining the current height, the resort will still have the same subdued style that makes it a visual subsidiary to the mountain views of Paradise Valley. The upgrades to the resort will bring the property into a more analogous character of the surrounding land use. The removal of the tent and relocation of the pool bar will create more insular, interactive experiences that allow pods of socialization at each point in the resort. New guestrooms will replace obsolete buildings such as the fitness center and the spa, maximizing the property’s utility and ensuring accessibility for all. The additional 64 rooms are planned throughout the property to provide additional options for guests. For example, 24 of the new guestrooms will surround the new resort pool, replacing obsolete buildings and providing a unique pool cabana room that will have direct access to the resort pool – a great amenity for families and couples alike. The majority of the new guestrooms 36 are to be located on the current parking lot, which will improve the overall resort-like feel, with increased landscaping and a visual focal point of the arrival experience. These additional keys will help to off-set the costs of the necessity to provide underground parking in sufficient numbers for the new destination restaurants.

The property’s location on Scottsdale Road makes it an innate part of the vision of Paradise Valley for both locals and visitors. It is essential to have such an intimate piece of the community visually reflect the values and lifestyle of the immediate community. Highgate’s plan for the Scottsdale Plaza Resort is in keeping with the overall vision and identity of Paradise Valley and Highgate is honored to be part of it.

Guestrooms

The existing guestrooms will be fully renovated within the current building envelopes. On both the “Little Sister” and “Big Sister” sides, all rooms will receive new carpet, drapes, wallcovering/paint, lighting, TVs, all case goods, soft goods as well as new bathroom tile, vanities and flooring. Images of the completed Model Rooms are included in this submission.

The exteriors of the guestrooms will be painted a soft white to update the architecture to a more modern aesthetic. The entry ways to all guestrooms will receive renovated landscaping as well as new doors to further improve the visual appeal of the resort.

The new guestroom buildings are designed to maintain the current architecture of the resort, albeit in a modern and updated interpretation. The arches of the current buildings are echoed in the new buildings, bringing cohesion across the property, while also delineating the different offerings.

Spa/Fitness Center/Café

The current spa and fitness buildings are both ADA non-compliant and are functionally obsolete. Therefore, we are replacing both structures with new guestrooms and building a new, modern, world-class spa with adjacent fitness center. The two-story structure will house the spa, fitness center and retail on the ground floor and café and pool on the second floor / rooftop.

The café will be fully enclosed with outdoor seating for breakfast and lunch. The café will be open to the public as well as guests regardless of whether they are receiving spa treatments. Operating hours for the café are currently contemplated as 8am-3pm, serving breakfast and lunch, depending on season. Current spa hours are 9am-5pm during the week and 9am-6pm on the weekend. The rooftop pool will only be open to spa guests during the spa operating hours and is only accessible through the spa. The rooftop pool and spa café will be designed as tranquil, relaxing spaces, and they have been located away from the neighbors on the north and west of the property to mitigate sound travel. The ground floor fitness center will be accessible by all guests via keycard access directly from the exterior of the building or through the spa lobby and reception area.

Resort Restaurants

To support the revitalized Resort, we are proposing three new Resort related destination restaurants adjacent to Scottsdale Road at the southeast corner of the property, replacing the long-closed Remington’s restaurant and ten lodge suites. The Resort restaurants will allow the Resort to compete in the high-end marketplace and will add destination dining for local residents. As the SUP process moves forward we will provide more detail on the local and nationally recognized partners/chefs and cache concepts, as Highgate is finalizing details. The restaurants design will be architecturally significant, enhancing the corner of Scottsdale Road and Indian Bend Road. The style will reflect the architecture of the Resort but interpreted to a modern design, allowing unique but cohesive identities for each space.
The Resort restaurants will be programmed as 8,000-12,500 square feet each with indoor and outdoor seating and have dedicated valet underground parking as well as surface parking along Scottsdale Road. The three Resort restaurants will primarily be dinner venues, with their bar areas opening at approximately 4:30pm and dinner served from 5pm until midnight. The bars may remain open after dinner until 2am, depending on the outlet. At least one of the restaurants will likely be open for weekend brunch and may be open for mid-week lunch as well.
The Resort restaurants will serve as an additional amenity for Resort guests and allow Paradise Valley residents a way to feel more connected with the Resort while providing additional convenient high end dining options.

Main / “Little Sister” Lobby Building

The existing main lobby building will continue to be the reception and lobby for the “Little Sister”. The lobby, market and restaurants will all be renovated. The restaurants (JD’s and Garden Court) will be combined into one three-meal restaurant and bar that will have a new storefront along the pool to show off the majestic views of Mummy Mountain and allow for a view corridor from the entrance of the building. Outdoor seating for the restaurant will remain and be upgraded. The market adjacent to the lobby will remain and be upgraded and renovated. All food and beverage outlets in this building will be managed by Highgate and their envisioned hours of operation are as follow (hours may vary based on day of week and seasonality):

Market – open at 6am daily to serve coffee and grab-and-go items; will remain open until the late evening with snacks and beverages as well as curated sundries.
In-room delivery – starts at 7am and will be available until 10pm.
Three-Meal Restaurant – full service breakfast will begin at 7am before transitioning to lunch and dinner with the kitchen closing by 10pm.
Lobby Bar – open at 11am until midnight daily

The conference facilities within and adjacent to the main building will remain, receiving cosmetic upgrades to carpet, wallcovering, paint and lighting. The Las Palmas and El Teatro meeting spaces will be combined to create a new junior ballroom, replacing the current tent in the courtyard and allowing the property to host a broader segment of groups. The patio space outside El Teatro will be enlarged to create a new event lawn anchored by the large, striking Ficus tree. This event lawn will be able to accommodate a temporary tent for inclement weather, should there be a need.

Main / “Little Sister” Pool Bar
The pool bar and food service are planned for daily operation, to start at 11am until sunset.

Water Conservation
Water conservation measures will be taken in existing facilities as well as the new facilities, such as: low flow faucets and toilets will be installed throughout, the current drip irrigation system will be augmented to support the lush desert landscaping. Furthermore, the team is investigating ways to utilize gray water.

Noise Mitigation
As the design progresses, different noise and mitigation strategies, including all strategies gathered by the Town of Paradise Valley in conjunction with MD Acoustics during 2021/2022, will be studied to determine feasibility and applied to the project as needed. Some of the strategies to be studied include, but are not limited to, the following:

- Operating hours for the main pool on Little Sister will be studied and restricted as necessary during nighttime hours, Sundays and legal holidays in order to remain within manageable noise levels that won’t disturb the adjacent single-family homes along Hummingbird Lane.
- Operating hours for the second level spa pool will be restricted to the spa daytime operating hours as mentioned in a previous section.

Timing
The estimated development timeline for the overall project is approximately 18-20 months and will be staged within the property to ensure minimal disruption to traffic and any surrounding areas. Assuming approval by the Town Council in Summer 2023, the renovated resort would relaunch and open in Q1 2025.

1.7 SPECIAL USE PERMIT INTERMEDIATE AMENDMENT CRITERIA

SPECIAL USE PERMIT Intermediate amendment criteria

The Town's intent of providing Special Use Permits is to facilitate creative, high quality development that incorporates the following:

A. Implementation of the goals and policies of the General Plan;
B. The development of substantial open space and/or recreational facilities held in common ownership, control or management;
C. The development of adequate public and private streets, storm drainage, and sewer and water utilities to minimize the impacts on adjacent properties;
D. The preservation of significant natural land characteristics, open space and view corridors;
E. Building design, site design, and construction of amenities that create a unique alternative to conventional development;
F. Assurances of proper property maintenance, including common control or management of the property and the use of stringent development standards;
G. The preservation and enhancement of the neighborhood's appearance;
H. The construction or development of improvements that create substantial public benefits;
I. The incorporation of standards to ensure that the development will have minimal impact on adjacent properties;

This amendment to the existing SUP supports the Town's intent and vision as outlined above. This SUP was established by the Town many decades ago and this request will simply allow for necessary updates and improvements to enhance the resort experience at the most highly visible resort in Paradise Valley on Scottsdale Road. The design team has focused on making the dated buildings current and efficiently utilizing the property while protecting the Town's precious view corridors.

Furthermore, this amendment application complies with the three Intermediate Special Use Permit (SUP) Amendment criteria identified in Section 1102.7.C in Article XI of the Town of Paradise Valley's Zoning Ordinance and outlined below.

1) An Intermediate Amendment to a Special Use Permit shall include any proposal which does not change or add any uses.

The uses described by the SUP will remain the same. The SUP for Scottsdale Plaza will continue to be a resort use with traditional resort accessory uses already active such as spas, restaurants, and pools.

2) An Intermediate Amendment to a Special Use Permit shall include any proposal which does not increase the floor area of the project by more than 40% upon the existing or if still under construction, approved floor area square footage of the affected SUP property, with any such increase to be measured cumulatively over a sixty month period.

The floor area of the existing Scottsdale Plaza Resort SUP is approximately 351,107 SF. The proposed updates and property improvements will increase the floor area to approximately 464,935 SF, which creates a floor area change of approximately 32% which complies with the Town's criteria.

3) An Intermediate Amendment to a Special Use Permit shall include any proposal which does not have any significant material effect on the adjoining property owners that is visible, audible, or otherwise perceptible from adjacent properties that cannot be sufficiently mitigates.

The proposed additions and renovations of Scottsdale Plaza Resort will be predominantly internal and along the Scottsdale Road frontage. The applicant fully intends to utilize best use practices and be in constant communication with the adjacent residents when renovating along the western and northern borders of the property. There will be no significant impacts on adjoining properties as a result of this amendment.

SPECIAL USE PERMIT GUIDELINES

The proposed amendment to the existing Scottsdale Plaza Resort SUP still complies with the Guidelines set forth by the Planning Commission and Town Council. The improvements to the property are compatible with the Town's vision of appropriate development including density, perimeter, parking, signage, lighting, and other related standards.

Lighting

All of the outdoor lighting will be upgraded to the highest and best illumination standards available to date. Lighting elements will be shielded so it is not visible from any neighboring properties and any up lighting will not have luminaire greater than 300 Lumens.

Pole lighting will not exceed 16 ft measured from natural ground level and each light fixture will be set back the appropriate distance as described in the SUP Guidelines.

Lighting levels measured in foot candles will comply with the following:

- Parking Lots - 1.6
- Entrances, interior driveways and drop off areas – 5.0
- Adjacent to service buildings and loading docks – 5.0
- In conjunction with architectural lighting adjacent to all other structures – 3.0
- Outdoor pool decks and other function areas – 5.0
- Outdoor dining areas – 10.0

No outdoor lighting will be permitted within any of the setback areas to the neighboring residential property unless the lighting measured at the property line does not exceed 0.5 foot candles and the lighting emitting elements are less than 3 feet in height.

Open Space Criteria

To maintain view corridors around the perimeter of the property, the building heights will be limited near property lines. The buildings will not penetrate an imaginary plane beginning at 16 feet above the natural grade and 20 feet from exterior property lines which slopes upward at a ratio of one foot vertically for each five feet horizontally measures perpendicular to the nearest property line. This limitation will apply until the maximum height allowed is achieved. All heights will be measure from the ground elevation at the 20 ft beginning line. Also, building heights will be taken from the highest point of the structure to the closest point on the 20 ft beginning line perpendicular to that portion of the structure.

Site Standards

The application complies with the site standards outlined in the Town's SUP Guidelines. Scottsdale Plaza Resort is located on the northwest corner of Scottsdale Rd and Indian Bend Rd and consists of approximately 40 acres. The Resort's primary access is from a frontage of at least 300 feet on the Major Arterial, Scottsdale Road, as designated in the Paradise Valley General Plan. Principal structures and buildings contain guest rooms, guest registration, administrative offices, conference rooms and other accessory uses. Service structures are utilized for support and maintenance of the Resort and all parking on the site will be at the surface or underground. There will be no elevated parking structures allowed and no individual retail business, office or business service will occupy more than 2000 square feet. Entrances to any retail business, office, or business service will be from within a principal or accessory structure.

Bulk and Density Standards

The maximum building height will comply with the following standards:

Structure	Maximum building height
Principal structures	36 ft
Accessory structures	24 ft
Services structures	18 ft

*To maintain view corridors around the perimeter of the property lines, building heights shall be restricted in accordance with the Open Space Criteria as listed in this narrative.

Lot Coverage

Scottsdale Plaza Resort will continue to comply with the following maximums lot coverages as identified in the table below.

Description	Maximum Lot Coverage
Total of all structures	25%
Total of all impervious surfaces including building footprint	60%
*Open space	40%

*Land and water areas retained for active and/or passive recreation purposes or essentially undeveloped areas retained for resource protection or preservation purposes.

Maximum density of guest units: Scottsdale Plaza Resort, which has been in operation since 1976, is the 4th largest resort in the Town of Paradise Valley and currently has 404 keys. The resort is located on highly trafficked Scottsdale Road and surrounded by many non-residential uses adjoining the City of Scottsdale. In order to undertake the much needed and extensive renovations, plus underground the currently unsightly above ground parking, we are proposing to add just 64 additional rooms in addition to three new restaurant buildings and a new spa building. The property will remain a mix of one-story and two-story buildings with a slight increase in density (404 existing keys = 11.1 units per acre to 468 proposed keys = 12.7 units per acre.) Fortunately, the property is expansive and the open space will remain one of the highest in Town for resort uses at 40% of total lot coverage. We are maintaining the maximum heights as required by the Town as well as not changing the existing building footprint. In order to make this site marketable in this highly competitive resort market, and allow for the major enhancements, the additional density is necessary and justified. The new amenities, including the restaurants and spa, will welcome local neighbors as well as hotel guests, improving the quality of life for residents of Paradise Valley. The overall improvements will enhance the quality of the resort and the entrance to Paradise Valley

Perimeter Standards

Furthermore, this amendment will allow for the continued compliance with the following perimeter standards as outlined by the Town's SUP Guidelines and listed below.

Perimeter Standards (continued)

Minimum Distance from exterior property lines where adjacent use is Residential

Principal Structures	100 ft
Accessory Structures	60 ft
Service Structures	100 ft
Outdoor game courts and swimming pools	200 ft
Parking Lots and interior drives*	60 ft
Any portion of equestrian facility	200 ft

Minimum Distance from exterior property lines where adjacent use is other than Residential or is adjacent to a public street

Principal Structures	100 ft
Accessory Structures	40 ft
Service Structures	65 ft
Outdoor game courts and swimming pools	65 ft
Parking Lots and interior drives*	40 ft

*Excluding exterior points of access

Existing buildings will remain in place and maintain their existing setbacks. Additionally, the existing landscape buffer will remain as is along the western boundary of the property. Drought tolerant landscaping will be utilized within landscaped buffers within new construction areas of the site. Furthermore, surface parking stalls along Scottsdale Road will encroach into the 40ft setback; however, this parking is necessary to avoid excessive costs associated with underground parking and will benefit resort guests and visitors by providing efficient parking accessibility specifically near the lobby and restaurant areas. There are existing perimeter principal buildings that are proposed to be remodeled that will remain less than the current SUP Guideline setbacks. There are guest buildings along the west property line with 40ft and 65 ft setbacks. There are also two replacement buildings that will retain existing setbacks not in compliance with the current SUP Guidelines. These are the main lodge building with covered walkways that encroach into the 100ft setback (including the porte cochere) and replacement of the recreation building with new guest units to match the existing 65 ft setback. These deviations are justified because they match the existing setback and the current SUP Guidelines were not in place in 1984. To ensure compliance with the Town's vision there will be enhanced landscaping that will work with the topography to screen vehicles from street view. This amendment will also comply with the provisions or Chapter XXIV, Walls, and Fences, of the Town's Zoning Ordinance.

Parking and Circulation

On-site parking is addressed in the Parking Study prepared by Summit Land Management for the proposed property improvements.

All parking and driveway areas shall be located to prevent lights from shining onto adjacent residential property. All parking areas and driveways located within 200 feet of adjacent residentially zoned property shall be screened with a minimum three-foot high, solid, decorative wall or a landscaped berm providing equivalent screening or a combination of both. Landscaped islands will be provided between every four stalls. No loading, truck parking, trash containers, or outdoor storage area shall be located within 100 feet of adjacent residentially zoned property unless previously approved. All such areas shall provide visual noise screening to minimize impacts on adjacent residential property. There are 547 underground parking spaces proposed. The underground parking will have a bi-directional antennae (BDA) for radio coverage with police and fire as necessary for the Town's radio communications.

Signs

All proposed and/or existing signs will be compliant with the SUP Guidelines. An identification sign will be located at each entrance to the resort from a Major or Minor arterial street. The maximum height shall be 8 feet and the maximum sign area shall be 40 square feet, aggregate. On entrances from all other streets, the height will not be larger than 4 ft and the maximum area shall be 32 square feet, aggregate. All signs will be only backlit or indirectly illuminated according to the standards in Article XXV, Signs, of the Town's Zoning Ordinance.
Signs will not be moving or animated. Traffic and directional signs within the site will not exceed 12 square feet in area, aggregate, and will not exceed 5 feet in height. Signs mounted on exterior walls of any structure will contain only structure identification as necessary for emergency access.

Landscaping and Walls

Landscape and wall setbacks provided are as follow:

- Existing conditions to remain along the west property line. Existing conditions provide setbacks ranging from 40 ft to 65 ft, which are in compliance with the 40 ft wide requirement when an exterior property line abuts residentially zoned property.

- The landscape setback along the north property line, which abuts a local street (Hummingbird Lane) is approximately 25 ft. Existing condition deviates slightly fron the 30 ft requirement in current SUP guidelines, yet it is proposed to remain unchanged.

- The SUP guideline for a 50 foot wide landscaped area where an exterior property line abuts a Major or Minor Arterial, which applies along Indian Bend Road and Scottsdale Road. These setbacks are being proposed for a slight reduction due to existing conditions and adjustments needed to accommodate the parking and traffic flow for the new retail restaurants, and will still provide ample drainage and landscaping areas.

- Site walls and fences will follow the provisions of Chapter XXIV, Walls and Fences of the Town's Zoning Ordinance.

PROGRAM SUMMARY - EXISTING VS PROPOSED

	EXISTING	PROPOSED
GUESTROOM HOTEL UNITS		
LITTLE SISTER KEYS	260	260 (E) + 24 (N) = 284
BIG SISTER KEYS	144	144 (E) -10 (D) + 50 (N) = 184
TOTAL HOTEL KEYS	**404**	**468**
ACCESSORY PROGRAM		
MEETING SPACE	29,736	32,336
NUMBER OF FOOD & BEVERAGE OUTLETS	4	6
BIG SISTER SPA & FITNESS (PROPOSED SPA & FITNESS LOCATED IN THE SAME BUILDING TO REPLACE EXISTING PROGRAM IN SEPARATE BUILDINGS)	7,121	35,500
LITTLE SISTER FITNESS	N/A	2,600

(E) = EXISTING
(N) = NEW / PROPOSED
(D) = DEMO

BUILDING AREA SUMMARY - EXISTING VS PROPOSED

** EXISTING NUMBERS ARE TAKEN FROM THE 01/12/84 PLANNING COMMISSION DRAWINGS (SUP-83-11)*

ESTIMATED EXISTING BUILDING FOOTPRINT	270,721
PROPOSED BUILDING FOOTPRINT	113,380
DEMOLITION	39,402
TOTAL BUILDING FOOTPRINT (EX AND PROPOSED)	**344,699**
ESTIMATED EXISTING FLOOR AREA	351,107
PROPOSED FLOOR AREA	151,150
DEMOLITION	39,402
TOTAL BUILDING AREA (EX AND PROPOSED)	**462,855**

NEW BUILDING AREA SUMMARY

SITE LOCATION	BUILDING	KEYS	TOTAL GROSS AREA (SF)	BUILDING FOOTPRINT (SF)
LITTLE SISTER	CABANA ROOMS	24	10,690	10,690
LITTLE SISTER	FITNESS		2,600	2,600
LITTLE SISTER	POOL BAR & EQUIPMENT		5,010	5,010
BIG SISTER	RESTAURANT 1		14,120	14,120
BIG SISTER	RESTAURANT 2		12,650	12,650
BIG SISTER	RESTAURANT 3		14,620	14,620
BIG SISTER	SPA (LEVELS 1 & 2)		35,500	17,750
BIG SISTER	SPA SUITES	6	5,910	5,910
BIG SISTER	LOBBY PAVILION		2,700	2,700
BIG SISTER	GUESTROOMS LEVELS 1 & 2	36	40,040	20,020
BIG SISTER	VILLAS	8	7,310	7,310
TOTALS		**74**	**151,150**	**113,380**

AREA BREAKDOWN FOR PARKING COUNTS	SF	Notes
New Program		
SPACES USED BY HOTEL GUESTS AND OUTSIDE GUESTS		
new restaurant dining, ancillary and kitchen/BOH area (big sister)	33,750	Note that these are total building sq ft including dining areas and kitchen/BOH.
new restaurant dining, ancillary (big sister)	23,625	
outdoor covered dining	7,640	Outdoor covered dining for the 3 restaurants
new kitchen/BOH area (big sister)	10,125	
new conference and ancillary area	2,600	Little Sister conversion of BOH to meeting space
new fitness and spa area	38,100	
lobby, office & service area (of new fitness and spa)	5,892	Included in previous row
SPACES USED BY HOTEL GUESTS ONLY		
new hotel guest rooms	64	
big sister lobby pavilion	2,700	
lobby check in (of big sister lobby pavilion)	1,933	Included in previous row
hotel pool bar	5,010	
service area (of big sister lobby pavilion)	987	Included in previous row
Existing Program		
existing hotel guest rooms	404	
existing conference and ancillary area	29,736	Renovation maintains existing square footage
existing restaurant dining and ancillary area	11,766	
existing lobby check-in	51,070	In addition to conference/ancillary
existing parking spaces	737	Per 1983 SUP
existing kitchen	13,546	Includes all kitchens for existing restaurants and meeting spaces
existing beauty & spa	3,258	Per 1983 SUP
existing fitness (racquetball & exercise facility)	3,863	Per 1983 SUP
existing retail (pro shop)	1,560	Per 1983 SUP
Demo Program		
demo of restaurant dining and ancillary area	6,935	Demo of Executive Lodge Building SE of site
demo of kitchen	2,331	Demo of Executive Lodge Building SE of site
demo of beauty & spa	3,258	Demo of Bldg 22 (to be replaced with new Little Sister pool)
demo of racquetball & exercise facility	3,863	Demo of Bldg 25 (to be replaced with new villas)
demo of pro shop	1,560	Demo of Bldg 21 (to be replaced with new Little Sister pool)
TOTALS		
TOTAL hotel guest rooms	468	
TOTAL square feet of conference rooms and ancillary area	32,336	
TOTAL square feet of restaurant dining and ancillary area	36,096	
TOTAL fitness and spa area	38,100	
TOTAL kitchens	21,340	

2 MASTER PLAN

- PROPOSED MASTER PLAN

    - PROGRAM
    - STRUCTURE TYPE BREAKDOWN
    - BUILDING AREAS
    - LOT COVERAGE
    - MAIN ENTRY CONCEPTUAL RENDERING

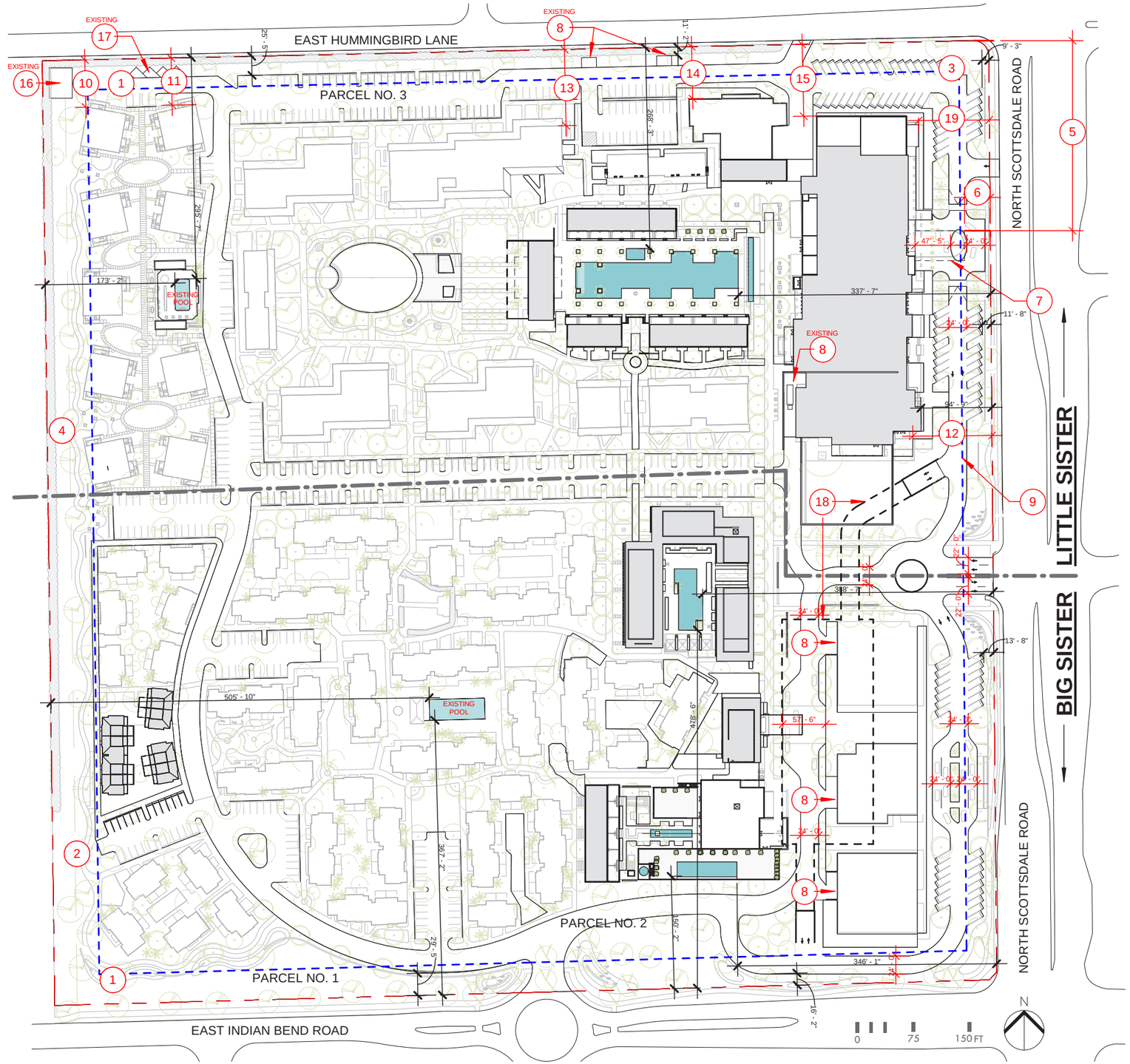
2.1 PROPOSED MASTER PLAN

MASTER PLAN KEYNOTES

1. NORTH & SOUTH SETBACK = 65' - 0"
2. WEST SETBACK PARCEL 1 = 65' - 0"
3. EAST SETBACK = 100' - 0"
4. WEST SETBACK PARCEL 3 = 40' - 0"
5. PORTE COCHERE ROOF DISTANCE FROM NORTH PROPERTY LINE = 254' - 0"
6. PORTE COCHERE ROOF DISTANCE FROM EAST PROPERTY LINE = 34' - 0"
7. PORTE COCHERE ROOF OUTLINE
8. TRASH PICKUP AREA, GATED, TYP. SEE GENERAL NOTE 5.
9. PARKING SETBACK (BLUE DASHED LINE), SEE GENERAL NOTE 3
10. EXISTING GUESTROOM BULDING DISTANCE FROM NORTH PROPERTY LINE = 63' - 3"
11. EXISTING GUESTROOM BULDING DISTANCE FROM NORTH PROPERTY LINE = 62' - 11"
12. EXISTING BULDING DISTANCE FROM EAST PROPERTY LINE = 105' - 11", SEE GENERAL NOTE 4
13. EXISTING BULDING DISTANCE FROM NORTH PROPERTY LINE = 101' - 9"
14. EXISTING BULDING DISTANCE FROM NORTH PROPERTY LINE = 69' - 4"
15. EXISTING BULDING DISTANCE FROM NORTH PROPERTY LINE = 96' - 0"
16. EXISTING FENCED AREA DISTANCE FROM NORTH AND WEST PROPERTY LINE APPROXIMATELY. = 9' - 0"
17. EXISTING ENCLOSURE DISTANCE FROM NORTH AND WEST PROPERTY LINE APPROXIMATELY. = 11' - 0"
18. APPROXIMATE EXTENTS OF UNDERGROUND PARKING GARAGE
19. EXISTING BULDING COVERED AREA DISTANCE FROM EAST PROPERTY LINE = 94' - 7", SEE GENERAL NOTE 4

MASTER PLAN GENERAL NOTES

1. REFERENCE ALTA SURVEY ON CIVIL SECTION 8 OF THIS PACKAGE FOR ADDITIONAL SETBACK INFORMATION.
2. REFERENCE GRADING, DRAINAGE & UTILITIES PLANS UNDER CIVIL SECTION 8 OF THIS PACKAGE FOR ALL EASEMENT INFORMATION.
3. REFERENCE PERIMETER STANDARDS ON SHEET 1.8 FOR ADDITIONAL INFORMATION REGARDING PARKING ALONG THE SCOTTSDALE ROAD FRONTAGE.
4. EXISTING BUILDINGS WILL REMAIN IN PLACE AND MAINTAIN THEIR EXISTING SETBACKS.
5. THE SCREENING WALLS OF THE STORAGE AND TRASH AREAS ALONG HUMMINGBIRD LANE WILL BE KEPT IN THE EXISTING LOCATION, AND MATCH THE EXISTING HEIGHT, BUT BE REPAIRED AND/OR REFINISHED WITH MATERIALS SUCH AS STUCCO, BRICK, STONE, METAL, RAILS, WOOD OR TILE.
6. HVAC/MECHANICAL UNITS FOR NEW BUILDINGS ARE PLANNED TO BE ROOF MOUNTED AND SCREENED BEHIND THE BUILDINGS' PARAPETS. THE LOCATION OF UNITS FOR EXISTING BUILDINGS MAY BE A COMBINATION OF ON GROUND AND ROOF MOUNTED, AND ALWAYS SCREENED WITH FINISHED MATERIALS AS LISTED ON NOTE 5.



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SCOTTSDALE PLAZA RESORT

PARADISE VALLEY SPECIAL USE PERMIT APPLICATION

2.2 MASTER PLAN PROGRAM

COLOR LEGEND - BUILDING PROGRAM TYPES

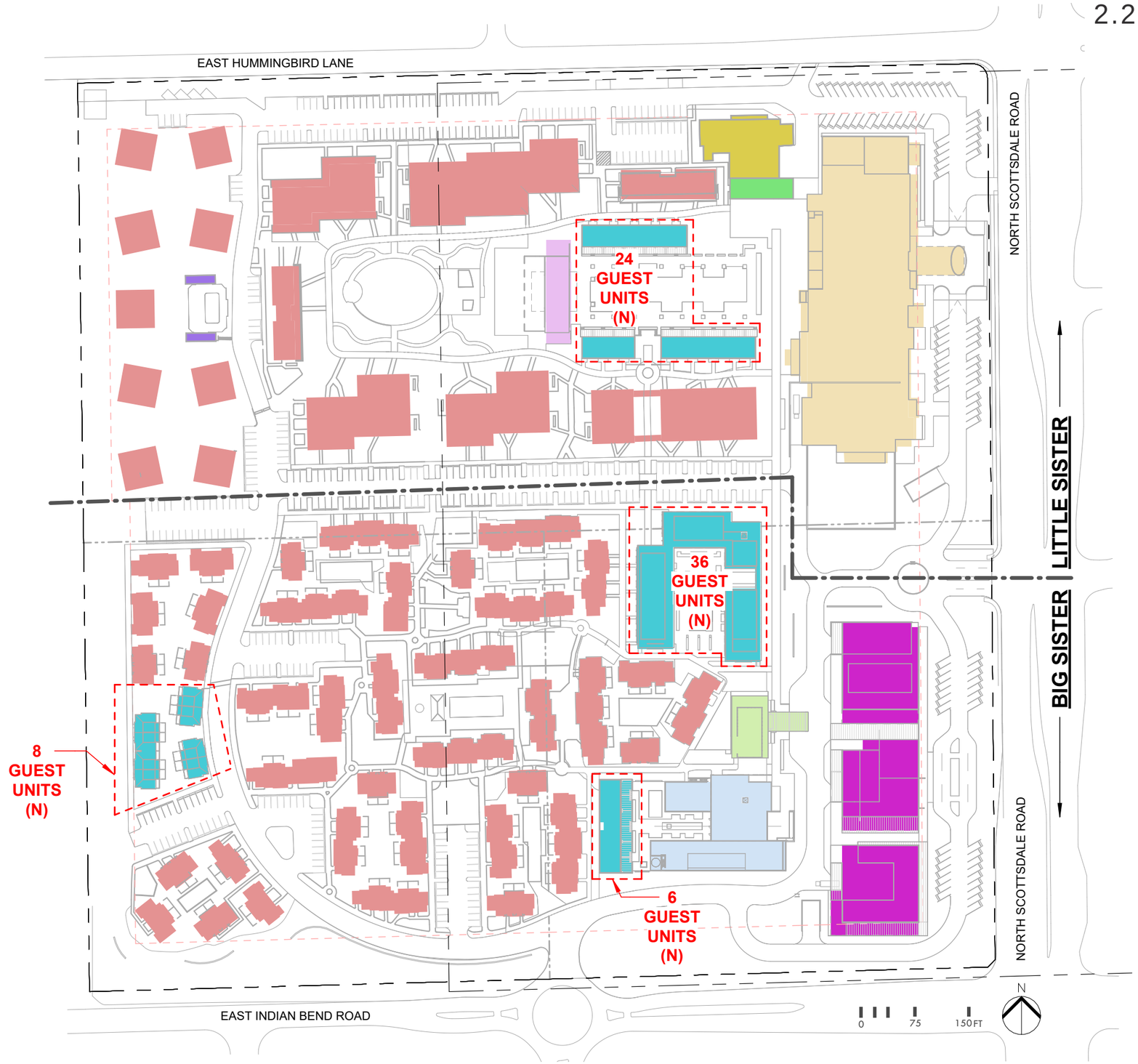
- (E) ACCESSORY
- (E) GUESTROOMS
- (E) LITTLE SISTER CHECK-IN & MTG CENTER
- (E) SERVICE
- (N) BIG SISTER LOBBY PAVILION
- (N) FITNESS
- (N) GUESTROOMS
- (N) POOL BAR/EQUIPMENT
- (N) RESTAURANTS
- (N) SPA

GUESTROOM DENSITY SUMMARY (PER SUP GUIDELINES)	
GUEST UNIT DENSITY PER SUP GUIDELINE	1 UNIT PER 4,000 SF
NET SITE AREA	1,589,360
GUEST UNIT COUNT BASED ON SUP DENSITY GUIDELINE	**397**

GUESTROOM DENSITY EXISTING	
GUEST UNIT DENSITY EXISTING	1 UNIT PER 3,934 SF
LITTLE SISTER GUEST UNITS	260
BIG SISTER KEYS GUEST UNITS	144
TOTAL KEYS	**404**

GUESTROOM DENSITY PROPOSED	
GUEST UNIT DENSITY PROPOSED	1 UNIT PER 3,325 SF
LITTLE SISTER KEYS	284
BIG SISTER KEYS	184
TOTAL KEYS	**468**

NOTE: TOTAL PROPOSED KEYS ACCOUNT FOR 10 EXISTING KEYS BEING DEMOLISHED



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PARADISE VALLEY SPECIAL USE PERMIT APPLICATION

2.3 MASTER PLAN STRUCTURE TYPE BREAKDOWN

COLOR LEGEND - STRUCTURE TYPES

- (E) PRINCIPAL
- (E) SERVICE
- (N) ACCESSORY
- (N) PRINCIPAL

(E) = EXISTING

(N) = NEW / PROPOSED

BUILDING HEIGHTS

STRUCTURE	MAX. BUILDING HEIGHT
PRINCIPAL	36 FT
ACCESSORY	24 FT
SERVICES	18 FT

NOTES:

1. NO RESORT HOTEL UNIT EXCEEDS 28' IN HEIGHT, IN LINE WITH CURRENT SPECIAL USE PERMIT STIPULATIONS.

2. OVERALL NEW BUILDING HEIGHTS INCLUDE SCREENING OF MECHANICAL EQUIPMENT TO BE ROOF MOUNTED.

3. REFERENCE NEW BUILDING ELEVATIONS FOR INDIVIDUAL BUILDING HEIGHTS.

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SCOTTSDALE PLAZA RESORT

PARADISE VALLEY SPECIAL USE PERMIT APPLICATION

2.4 MASTER PLAN BUILDING AREAS

COLOR LEGEND - BUILDING PROGRAM TYPES

- (E) ACCESSORY
- (E) GUESTROOMS
- (E) LITTLE SISTER CHECK-IN & MTG CENTER
- (E) SERVICE
- (N) BIG SISTER LOBBY PAVILION
- (N) FITNESS
- (N) GUESTROOMS
- (N) POOL BAR/EQUIPMENT
- (N) RESTAURANTS
- (N) SPA

(E) = EXISTING

(N) = NEW / PROPOSED

BUILDING FOOTPRINT AREA BREAKDOWN

CURRENT BUILDING TOTAL FOOTPRINT (SUP-83-11) =	270,721 SF
PROPOSED NEW BUILDING FOOTPRINT =	115,460 SF
DEMOLITION =	39,402 SF
TOTAL EXISTING & PROPOSED BUILDING FOOTPRINT AREA =	**346,779 SF**

FLOOR AREA BREAKDOWN

CURRENT EXISTING FLOOR AREA (SUP-83-11) =	351,107 SF
PROPOSED NEW PROGRAM FLOOR AREA (INCLUDING SECOND STORY PROGRAM WHERE OCCURS) =	153,230 SF
PROPOSED DEMOLITION =	39,402 SF
TOTAL EXISTING & PROPOSED FLOOR AREA =	**464,935 SF**

NOTES:

1. ALL PROPOSED SQUARE FOOTAGES ARE APPROXIMATE.

SCOTTSDALE PLAZA RESORT

PARADISE VALLEY SPECIAL USE PERMIT APPLICATION

2.5 MASTER PLAN
LOT COVERAGE

COLOR LEGEND - LOT COVERAGE

- BUILDING STRUCTURES
- ROADS & PARKING
- OPEN SPACE

LOT COVERAGE (TOTAL LOT AREA: 1,589,360 SF)

DESCRIPTION	AREA	APPROX. PROVIDED LOT COVERAGE	SUP GUIDELINE	APPROX. EXISTING LOT COVERAGE
TOTAL OF STRUCTURES	346,779 SF	22%	25%	21%
IMPERVIOUS SURFACES (ROADS & PARKING)	285,840 SF	18%	N/A	25%
TOTAL OF ALL IMPERVIOUS SURFACES (INCLUDING BUILDING FOOTPRINT)	632,619 SF	40%	60%	46%
OPEN SPACE	956,741 SF	60%	40%	54%

NOTE: THE TOTAL OPEN SPACE IS TO MEET OR EXCEED 40% AT ALL TIMES.

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SCOTTSDALE PLAZA RESORT

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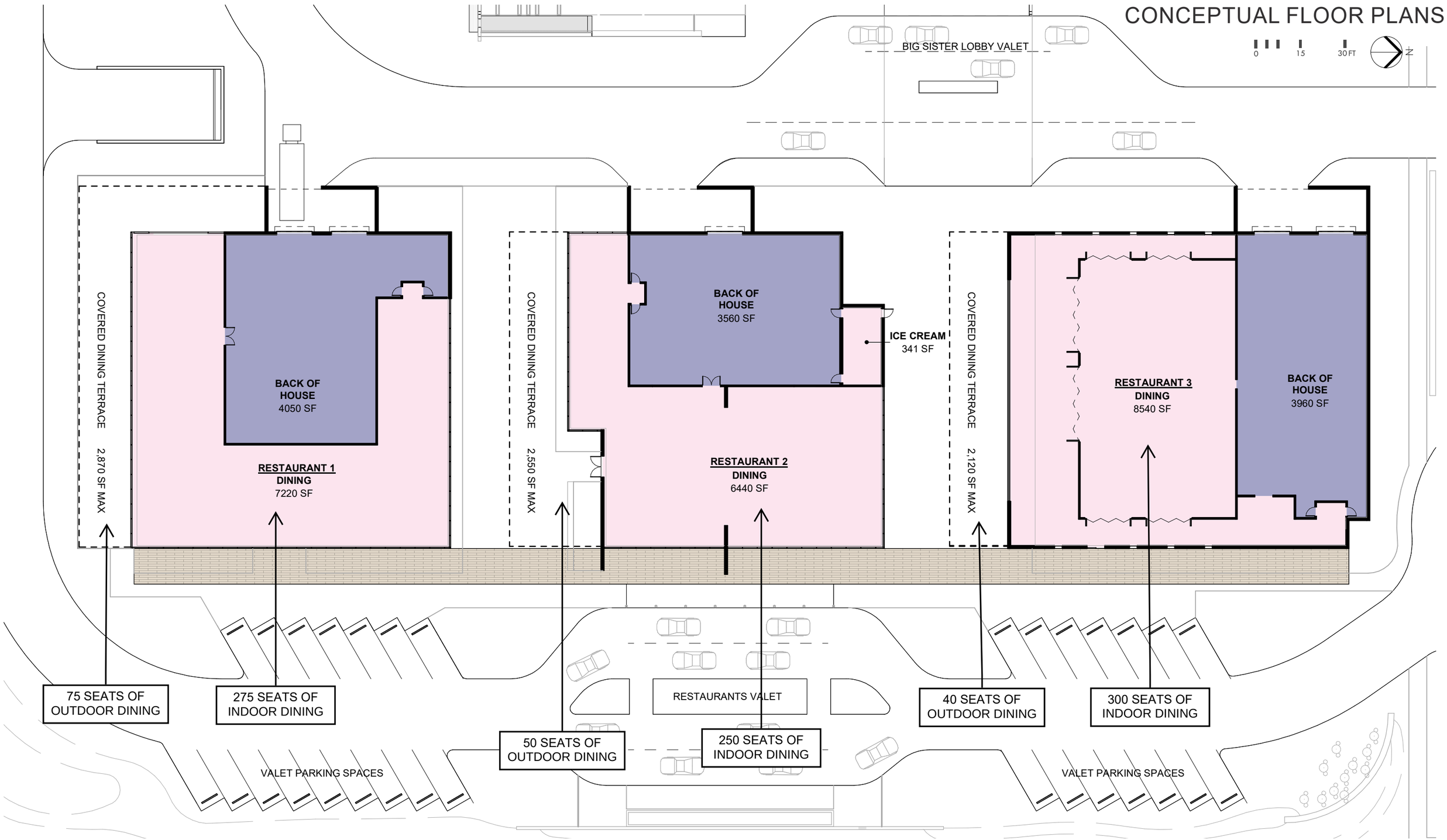
2.6 MAIN ENTRY FROM SCOTTSDALE ROAD
CONCEPTUAL RENDERING

3 “BIG SISTER” ARCHITECTURE

- RESORT RESTAURANTS
- HOTEL LOBBY PAVILION
- SPA & SPA SUITES
- HOTEL GUESTROOM ADDITION
- VILLA GUESTROOMS
- MODEL ROOM
- EXTERIOR MATERIALS

3.1 RESORT RESTAURANTS CONCEPTUAL FLOOR PLANS



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SCOTTSDALE PLAZA RESORT

PARADISE VALLEY SPECIAL USE PERMIT APPLICATION

3.2 RESTAURANT 01
CONCEPTUAL ELEVATION

ELEVATION GENERAL NOTES:

1. LEVEL 01, 100'-0", IS NOTED AS A BENCHMARK TO INDICATE THE LOWEST NATURAL GRADE UNDERNEATH STRUCTURE AND OVERALL BUILDING HEIGHTS WILL BE IN COMPLIANCE WITH ALL ZONING ORDINANCES AND SUP GUIDELINES. SPECIFIC VALUE FOR LOWEST NATURAL GRADE FOR EACH BUILDING TO BE PROVIDED IN THE NEXT PHASE.

2. REFERENCE SHEET 3.28 FOR EXTERIOR MATERIAL PALETTE. MATERIAL CALLOUTS AND EXTERIOR DETAILS WILL BE FURTHER DEVELOPED IN THE NEXT PHASE AND BE IN COMPLIANCE WITH ALL ZONING ORDINANCES AND SUP GUIDELINES.

NORTH ELEVATION

3.3 RESTAURANT 01
CONCEPTUAL ELEVATION

ELEVATION GENERAL NOTES:

1. LEVEL 01, 100'-0", IS NOTED AS A BENCHMARK TO INDICATE THE LOWEST NATURAL GRADE UNDERNEATH STRUCTURE AND OVERALL BUILDING HEIGHTS WILL BE IN COMPLIANCE WITH ALL ZONING ORDINANCES AND SUP GUIDELINES. SPECIFIC VALUE FOR LOWEST NATURAL GRADE FOR EACH BUILDING TO BE PROVIDED IN THE NEXT PHASE.

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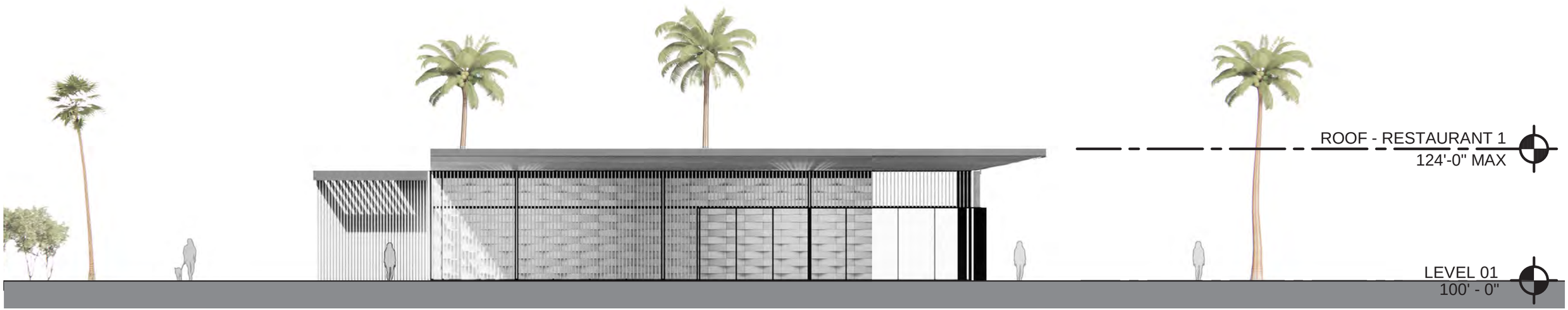

SOUTH ELEVATION

3.4 RESTAURANT 01
CONCEPTUAL ELEVATION

ELEVATION GENERAL NOTES:

1. LEVEL 01, 100'-0", IS NOTED AS A BENCHMARK TO INDICATE THE LOWEST NATURAL GRADE UNDERNEATH STRUCTURE AND OVERALL BUILDING HEIGHTS WILL BE IN COMPLIANCE WITH ALL ZONING ORDINANCES AND SUP GUIDELINES. SPECIFIC VALUE FOR LOWEST NATURAL GRADE FOR EACH BUILDING TO BE PROVIDED IN THE NEXT PHASE.

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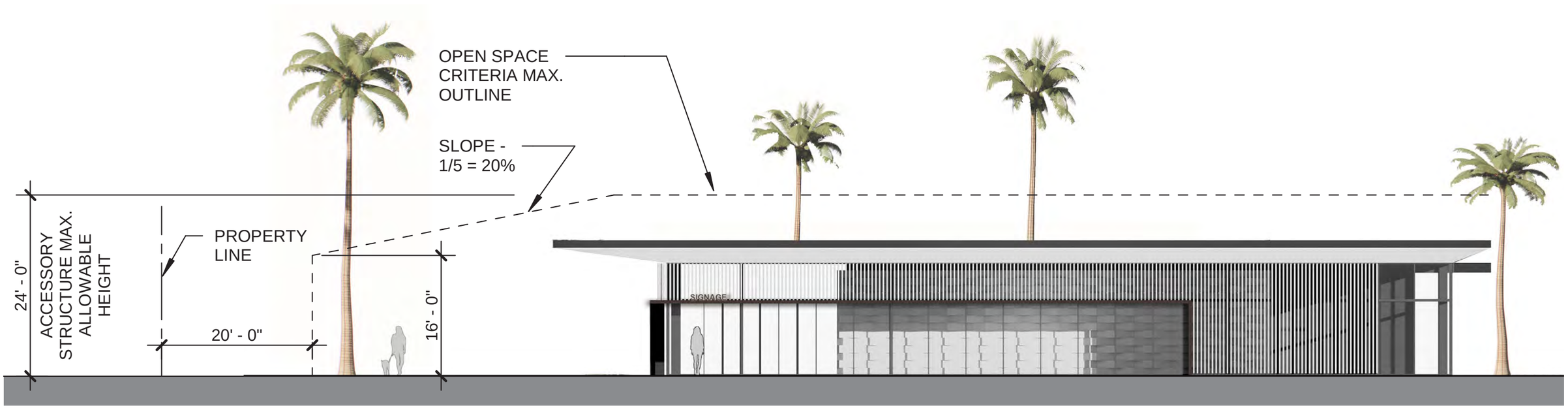


EAST ELEVATION

3.5 RESTAURANT 01
CONCEPTUAL ELEVATION

ELEVATION GENERAL NOTES:

1. LEVEL 01, 100'-0", IS NOTED AS A BENCHMARK TO INDICATE THE LOWEST NATURAL GRADE UNDERNEATH STRUCTURE AND OVERALL BUILDING HEIGHTS WILL BE IN COMPLIANCE WITH ALL ZONING ORDINANCES AND SUP GUIDELINES. SPECIFIC VALUE FOR LOWEST NATURAL GRADE FOR EACH BUILDING TO BE PROVIDED IN THE NEXT PHASE.

2. REFERENCE SHEET 3.28 FOR EXTERIOR MATERIAL PALETTE. MATERIAL CALLOUTS AND EXTERIOR DETAILS WILL BE FURTHER DEVELOPED IN THE NEXT PHASE AND BE IN COMPLIANCE WITH ALL ZONING ORDINANCES AND SUP GUIDELINES.

WEST ELEVATION

DINNER ONLY

DESTINATION RESTAURANT

MOUNTAIN VIEWS

3.7 RESTAURANT 02
CONCEPTUAL ELEVATION

ELEVATION GENERAL NOTES:

1. LEVEL 01, 100'-0", IS NOTED AS A BENCHMARK TO INDICATE THE LOWEST NATURAL GRADE UNDERNEATH STRUCTURE AND OVERALL BUILDING HEIGHTS WILL BE IN COMPLIANCE WITH ALL ZONING ORDINANCES AND SUP GUIDELINES. SPECIFIC VALUE FOR LOWEST NATURAL GRADE FOR EACH BUILDING TO BE PROVIDED IN THE NEXT PHASE.

2. REFERENCE SHEET 3.28 FOR EXTERIOR MATERIAL PALETTE. MATERIAL CALLOUTS AND EXTERIOR DETAILS WILL BE FURTHER DEVELOPED IN THE NEXT PHASE AND BE IN COMPLIANCE WITH ALL ZONING ORDINANCES AND SUP GUIDELINES.

NORTH ELEVATION

3.8 RESTAURANT 02
CONCEPTUAL ELEVATION

ELEVATION GENERAL NOTES:

1. LEVEL 01, 100'-0", IS NOTED AS A BENCHMARK TO INDICATE THE LOWEST NATURAL GRADE UNDERNEATH STRUCTURE AND OVERALL BUILDING HEIGHTS WILL BE IN COMPLIANCE WITH ALL ZONING ORDINANCES AND SUP GUIDELINES. SPECIFIC VALUE FOR LOWEST NATURAL GRADE FOR EACH BUILDING TO BE PROVIDED IN THE NEXT PHASE.

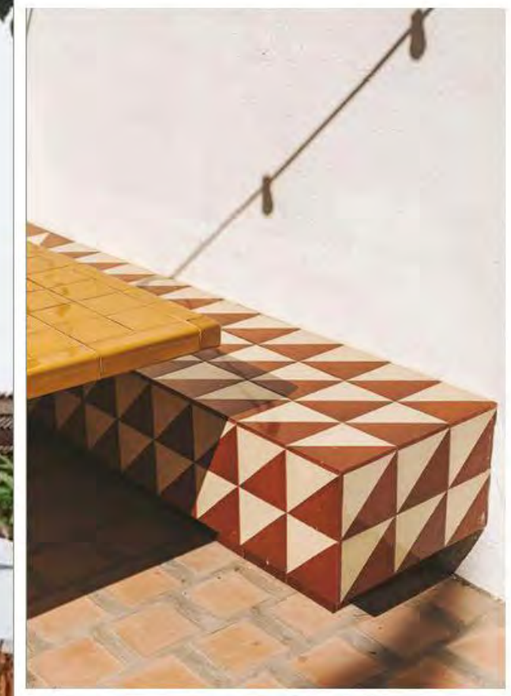
2. REFERENCE SHEET 3.28 FOR EXTERIOR MATERIAL PALETTE. MATERIAL CALLOUTS AND EXTERIOR DETAILS WILL BE FURTHER DEVELOPED IN THE NEXT PHASE AND BE IN COMPLIANCE WITH ALL ZONING ORDINANCES AND SUP GUIDELINES.

SOUTH ELEVATION

BRUNCH/LUNCH/DINNER

CASUAL RESTAURANT

INDOOR/OUTDOOR WALK-UP



3.10 RESTAURANT 03
CONCEPTUAL ELEVATION

ELEVATION GENERAL NOTES:

1. LEVEL 01, 100'-0", IS NOTED AS A BENCHMARK TO INDICATE THE LOWEST NATURAL GRADE UNDERNEATH STRUCTURE AND OVERALL BUILDING HEIGHTS WILL BE IN COMPLIANCE WITH ALL ZONING ORDINANCES AND SUP GUIDELINES. SPECIFIC VALUE FOR LOWEST NATURAL GRADE FOR EACH BUILDING TO BE PROVIDED IN THE NEXT PHASE.

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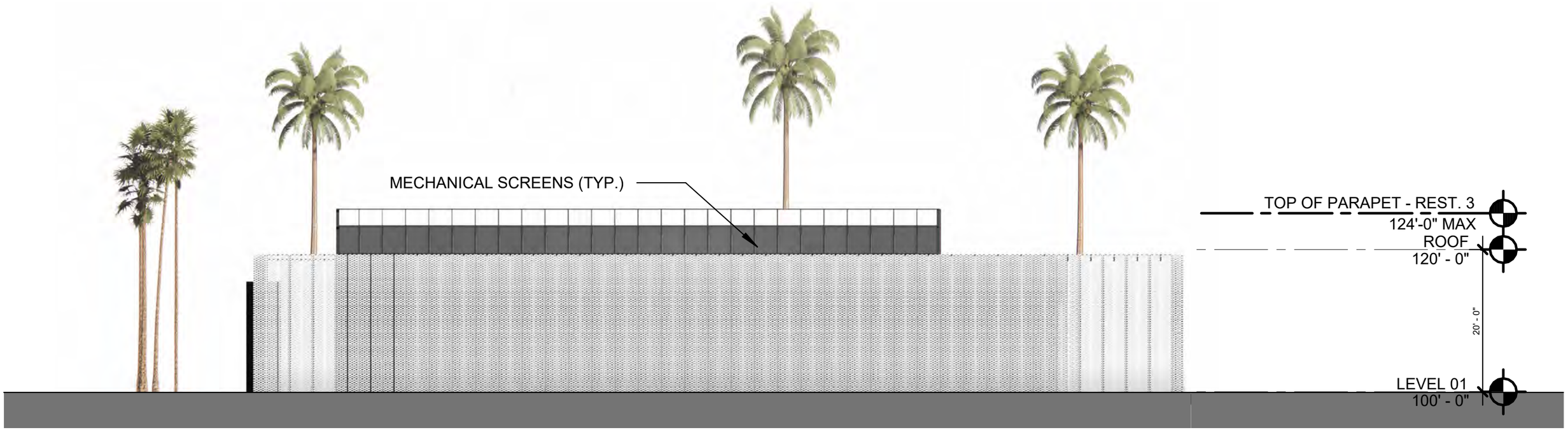

NORTH ELEVATION

ELEVATION GENERAL NOTES:

1. LEVEL 01, 100'-0", IS NOTED AS A BENCHMARK TO INDICATE THE LOWEST NATURAL GRADE UNDERNEATH STRUCTURE AND OVERALL BUILDING HEIGHTS WILL BE IN COMPLIANCE WITH ALL ZONING ORDINANCES AND SUP GUIDELINES. SPECIFIC VALUE FOR LOWEST NATURAL GRADE FOR EACH BUILDING TO BE PROVIDED IN THE NEXT PHASE.

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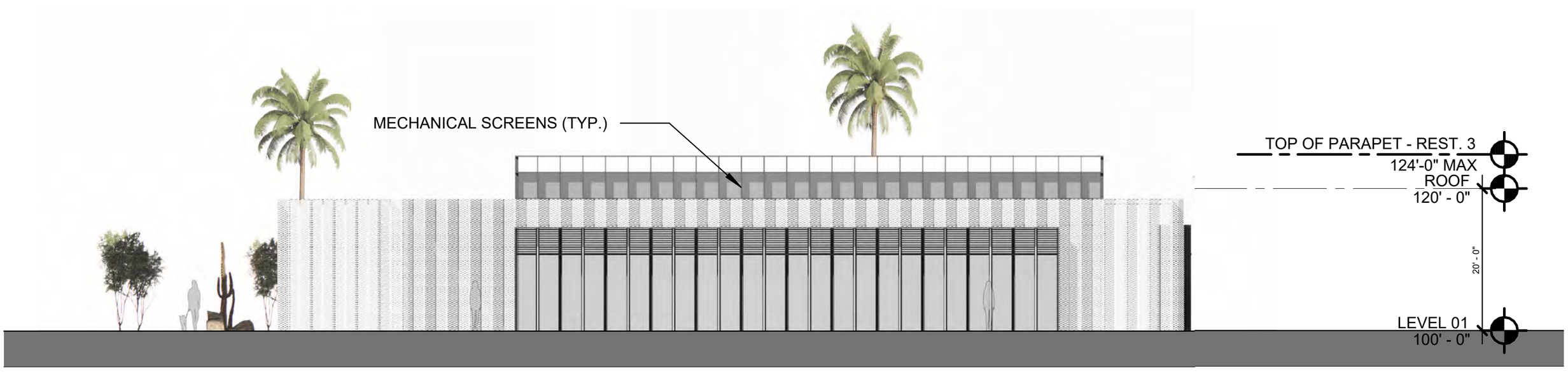
3.11 RESTAURANT 03
CONCEPTUAL ELEVATION



SOUTH ELEVATION

3.12 RESTAURANT 03
CONCEPTUAL ELEVATION

ELEVATION GENERAL NOTES:

1. LEVEL 01, 100'-0", IS NOTED AS A BENCHMARK TO INDICATE THE LOWEST NATURAL GRADE UNDERNEATH STRUCTURE AND OVERALL BUILDING HEIGHTS WILL BE IN COMPLIANCE WITH ALL ZONING ORDINANCES AND SUP GUIDELINES. SPECIFIC VALUE FOR LOWEST NATURAL GRADE FOR EACH BUILDING TO BE PROVIDED IN THE NEXT PHASE.

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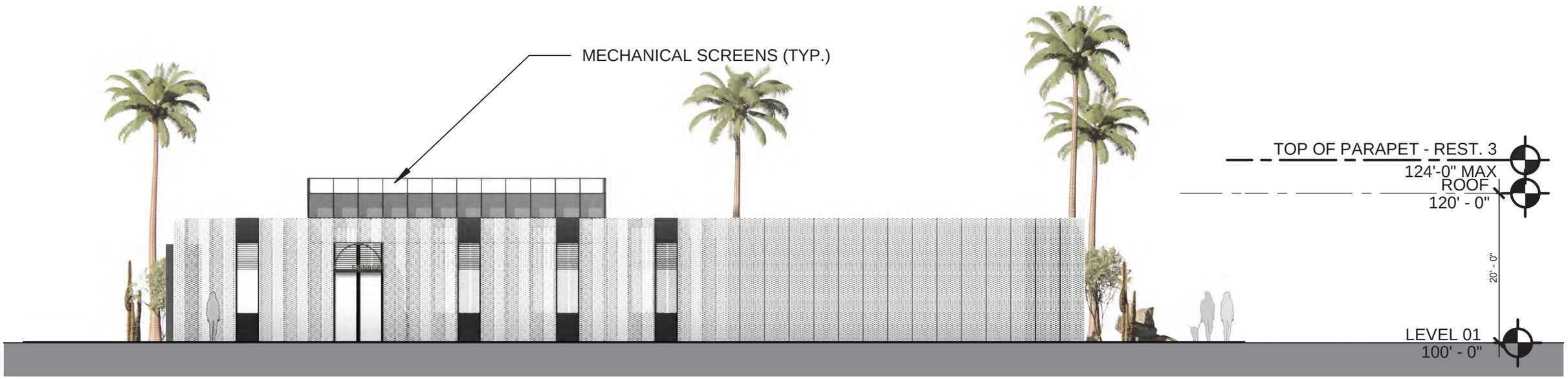

EAST ELEVATION

3.13 RESTAURANT 03
CONCEPTUAL ELEVATION

ELEVATION GENERAL NOTES:

1. LEVEL 01, 100'-0", IS NOTED AS A BENCHMARK TO INDICATE THE LOWEST NATURAL GRADE UNDERNEATH STRUCTURE AND OVERALL BUILDING HEIGHTS WILL BE IN COMPLIANCE WITH ALL ZONING ORDINANCES AND SUP GUIDELINES. SPECIFIC VALUE FOR LOWEST NATURAL GRADE FOR EACH BUILDING TO BE PROVIDED IN THE NEXT PHASE.

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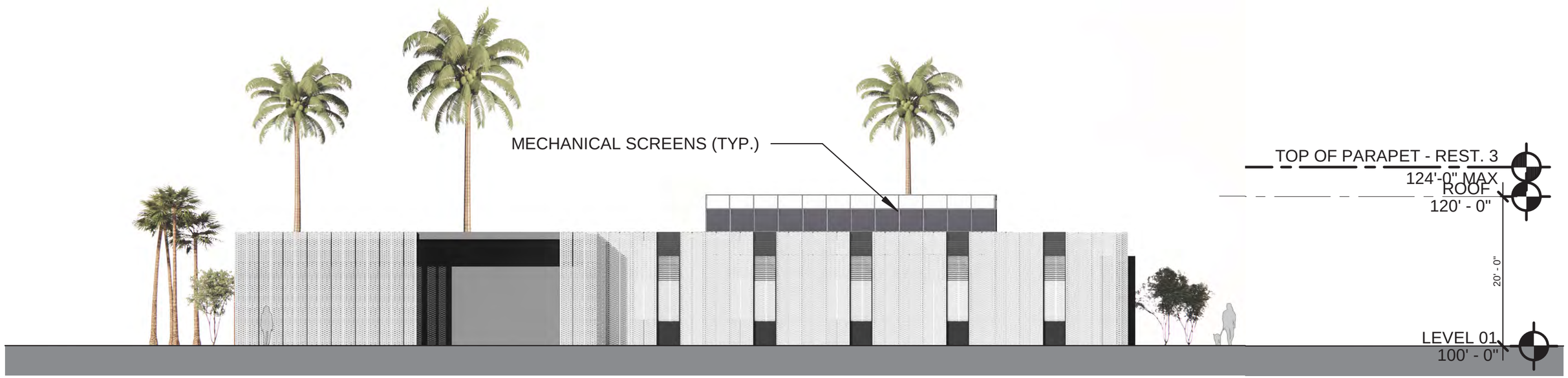


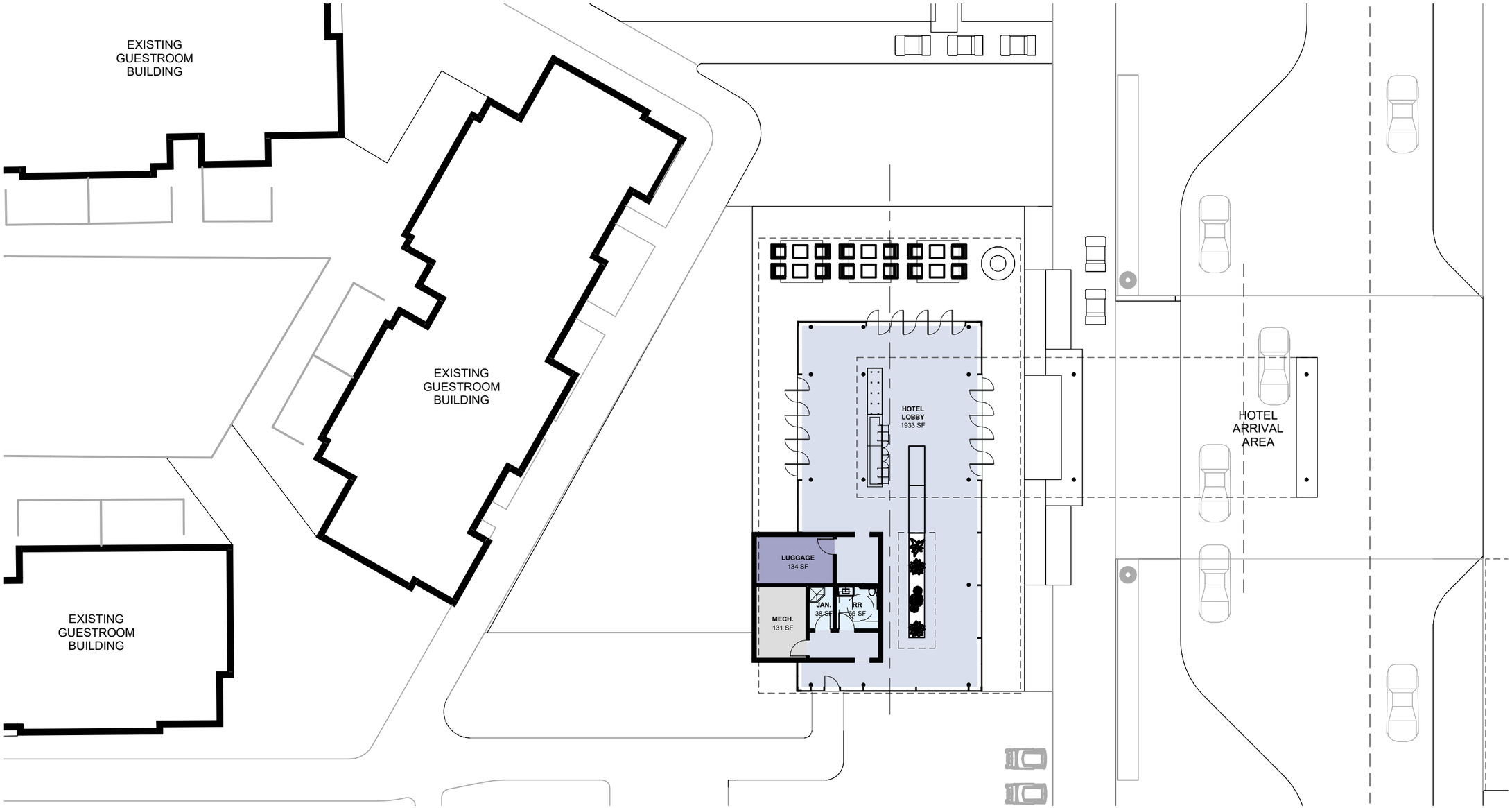
WEST ELEVATION

DINNER

CONTEMPORARY CASUAL DINING

LUSH INNER COURTYARD

3.15 LOBBY PAVILION
CONCEPTUAL FLOOR PLAN



SCOTTSDALE PLAZA RESORT

PARADISE VALLEY SPECIAL USE PERMIT APPLICATION

3.16 “BIG SISTER” LOBBY PAVILION CONCEPTUAL ELEVATIONS

0 10 20 FT

ELEVATION GENERAL NOTES:

1. LEVEL 01, 100’-0”, IS NOTED AS A BENCHMARK TO INDICATE THE LOWEST NATURAL GRADE UNDERNEATH STRUCTURE AND OVERALL BUILDING HEIGHTS WILL BE IN COMPLIANCE WITH ALL ZONING ORDINANCES AND SUP GUIDELINES. SPECIFIC VALUE FOR LOWEST NATURAL GRADE FOR EACH BUILDING TO BE PROVIDED IN THE NEXT PHASE.

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NORTH ELEVATION

EAST ELEVATION

SOUTH ELEVATION

WEST ELEVATION

3.17 “BIG SISTER” LOBBY PAVILION
CONCEPTUAL RENDERING

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SCOTTSDALE PLAZA RESORT

PARADISE VALLEY SPECIAL USE PERMIT APPLICATION

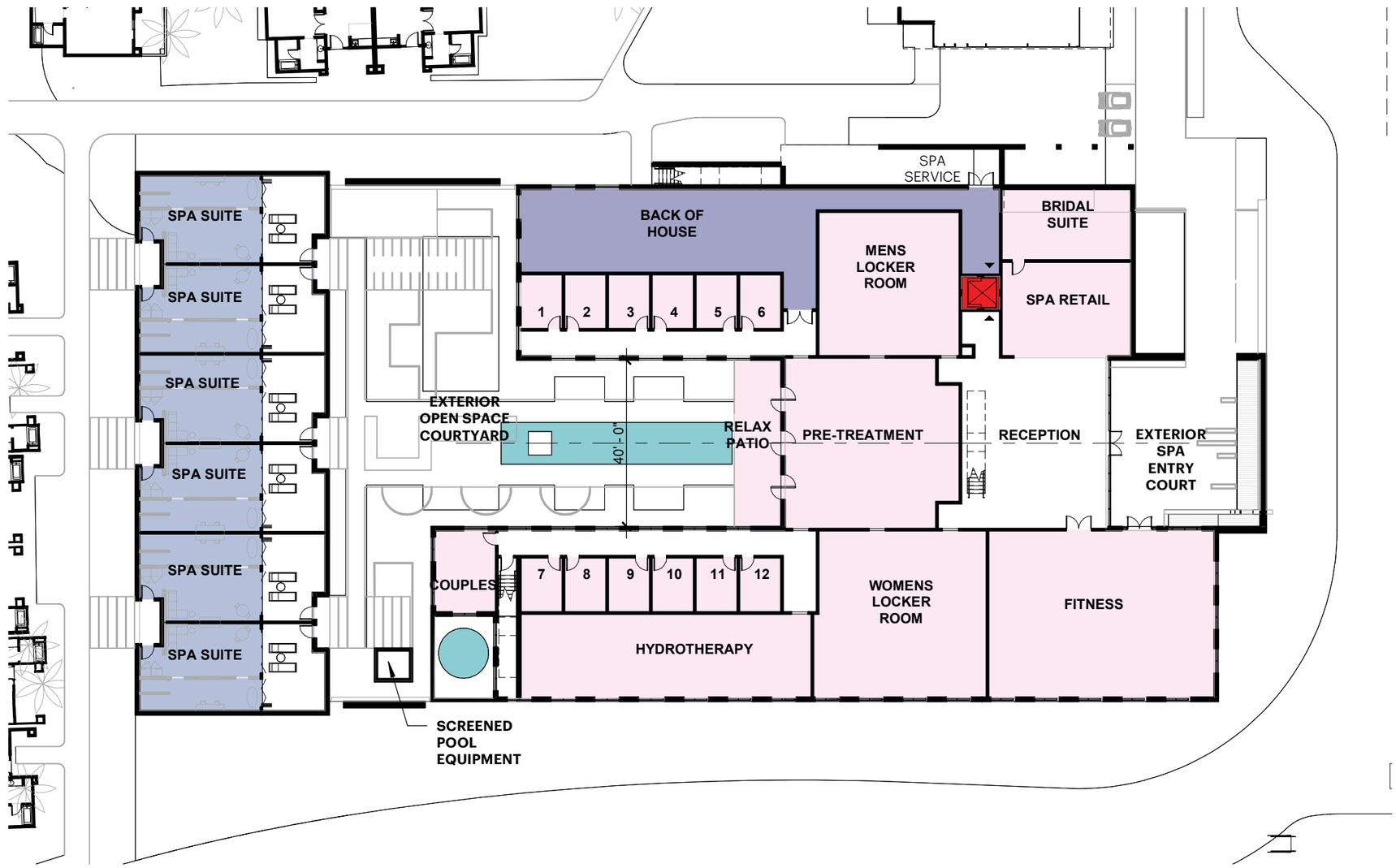
3.18 “BIG SISTER” LOBBY PAVILION
CONCEPTUAL RENDERING

3.19 SPA BUILDING
CONCEPTUAL FLOOR PLAN - LEVEL 01

N

AREA SUMMARY - SPA LV1

SPA FRONT OF HOUSE TOTAL AREA =	14,320 SF
SPA BACK OF HOUSE TOTAL AREA =	1,870 SF
SPA SUITE GUESTROOMS TOTAL AREA =	4,390 SF



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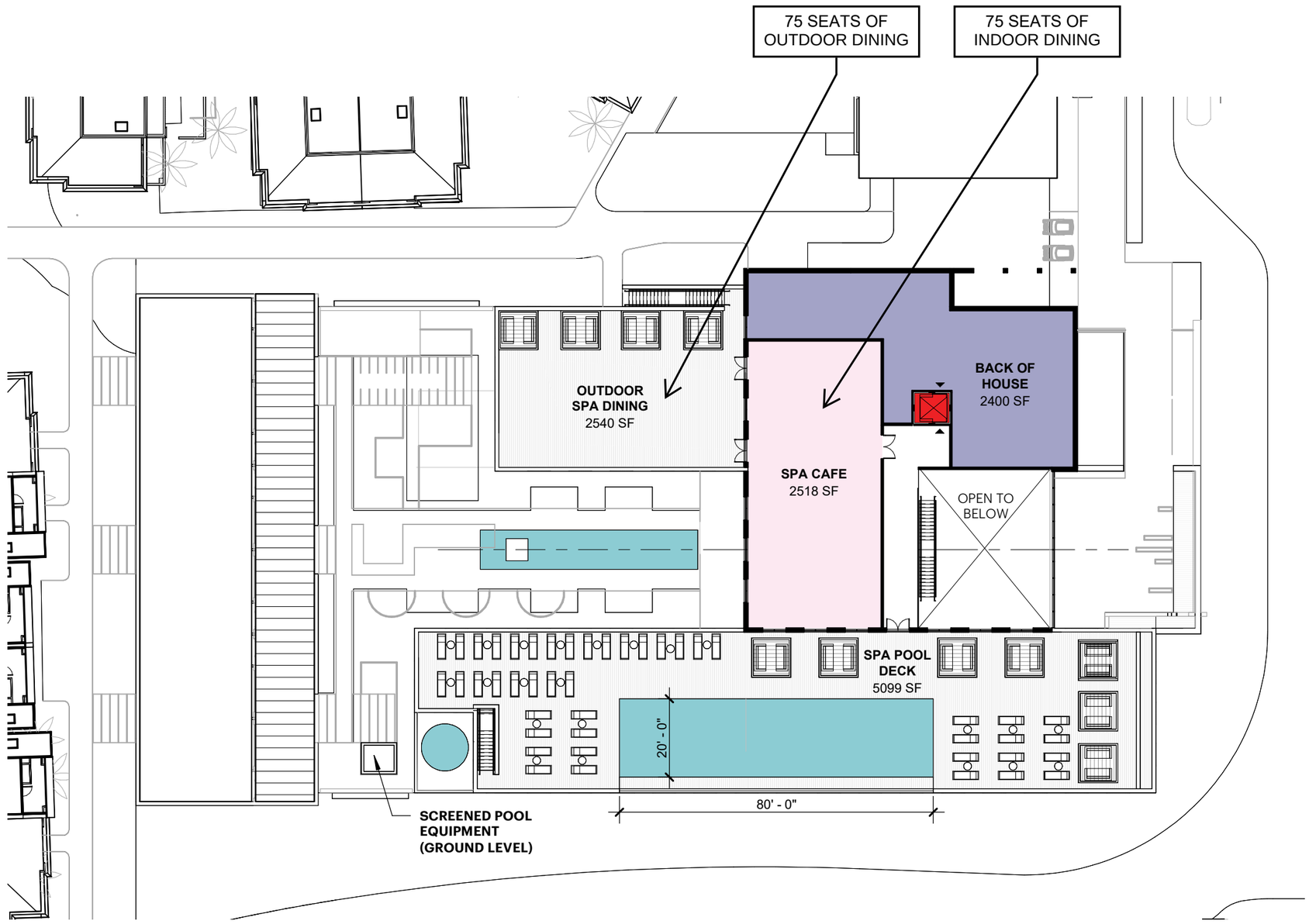
SCOTTSDALE PLAZA RESORT
PARADISE VALLEY SPECIAL USE PERMIT APPLICATION

3.20 SPA BUILDING
CONCEPTUAL FLOOR PLAN - LEVEL 02

AREA SUMMARY - SPA LV2	
SPA FRONT OF HOUSE TOTAL AREA =	11,430 SF
SPA BACK OF HOUSE TOTAL AREA =	2,410 SF



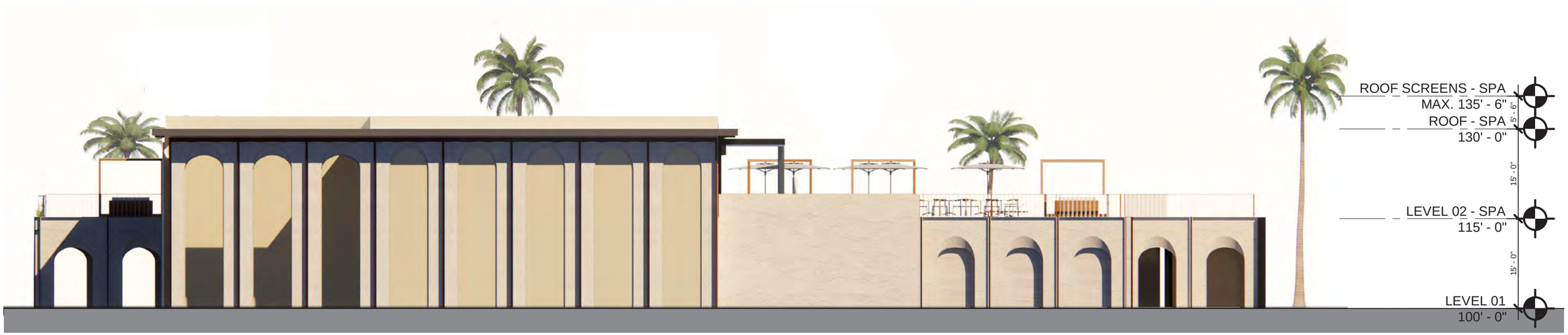
SCOTTSDALE PLAZA RESORT
PARADISE VALLEY SPECIAL USE PERMIT APPLICATION

3.21 SPA BUILDING CONCEPTUAL ELEVATION

ELEVATION GENERAL NOTES:

1. LEVEL 01, 100'-0", IS NOTED AS A BENCHMARK TO INDICATE THE LOWEST NATURAL GRADE UNDERNEATH STRUCTURE AND OVERALL BUILDING HEIGHTS WILL BE IN COMPLIANCE WITH ALL ZONING ORDINANCES AND SUP GUIDELINES. SPECIFIC VALUE FOR LOWEST NATURAL GRADE FOR EACH BUILDING TO BE PROVIDED IN THE NEXT PHASE.

2. REFERENCE SHEET 3.28 FOR EXTERIOR MATERIAL PALETTE. MATERIAL CALLOUTS AND EXTERIOR DETAILS WILL BE FURTHER DEVELOPED IN THE NEXT PHASE AND BE IN COMPLIANCE WITH ALL ZONING ORDINANCES AND SUP GUIDELINES.



NORTH ELEVATION

3.22 SPA BUILDING CONCEPTUAL ELEVATION

ELEVATION GENERAL NOTES:

1. LEVEL 01, 100'-0", IS NOTED AS A BENCHMARK TO INDICATE THE LOWEST NATURAL GRADE UNDERNEATH STRUCTURE AND OVERALL BUILDING HEIGHTS WILL BE IN COMPLIANCE WITH ALL ZONING ORDINANCES AND SUP GUIDELINES. SPECIFIC VALUE FOR LOWEST NATURAL GRADE FOR EACH BUILDING TO BE PROVIDED IN THE NEXT PHASE.

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SOUTH ELEVATION

3.23 SPA BUILDING CONCEPTUAL ELEVATION

ELEVATION GENERAL NOTES:

1. LEVEL 01, 100'-0", IS NOTED AS A BENCHMARK TO INDICATE THE LOWEST NATURAL GRADE UNDERNEATH STRUCTURE AND OVERALL BUILDING HEIGHTS WILL BE IN COMPLIANCE WITH ALL ZONING ORDINANCES AND SUP GUIDELINES. SPECIFIC VALUE FOR LOWEST NATURAL GRADE FOR EACH BUILDING TO BE PROVIDED IN THE NEXT PHASE.

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EAST ELEVATION

3.24 SPA BUILDING CONCEPTUAL ELEVATION

ELEVATION GENERAL NOTES:

1. LEVEL 01, 100'-0", IS NOTED AS A BENCHMARK TO INDICATE THE LOWEST NATURAL GRADE UNDERNEATH STRUCTURE AND OVERALL BUILDING HEIGHTS WILL BE IN COMPLIANCE WITH ALL ZONING ORDINANCES AND SUP GUIDELINES. SPECIFIC VALUE FOR LOWEST NATURAL GRADE FOR EACH BUILDING TO BE PROVIDED IN THE NEXT PHASE.

2. REFERENCE SHEET 3.28 FOR EXTERIOR MATERIAL PALETTE. MATERIAL CALLOUTS AND EXTERIOR DETAILS WILL BE FURTHER DEVELOPED IN THE NEXT PHASE AND BE IN COMPLIANCE WITH ALL ZONING ORDINANCES AND SUP GUIDELINES.

WEST ELEVATION

3.25 SPA SUITES
CONCEPTUAL ELEVATION

ELEVATION GENERAL NOTES:

1. LEVEL 01, 100'-0", IS NOTED AS A BENCHMARK TO INDICATE THE LOWEST NATURAL GRADE UNDERNEATH STRUCTURE AND OVERALL BUILDING HEIGHTS WILL BE IN COMPLIANCE WITH ALL ZONING ORDINANCES AND SUP GUIDELINES. SPECIFIC VALUE FOR LOWEST NATURAL GRADE FOR EACH BUILDING TO BE PROVIDED IN THE NEXT PHASE.

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EAST ELEVATION

3.26 SPA SUITES
CONCEPTUAL ELEVATION

ELEVATION GENERAL NOTES:

1. LEVEL 01, 100'-0", IS NOTED AS A BENCHMARK TO INDICATE THE LOWEST NATURAL GRADE UNDERNEATH STRUCTURE AND OVERALL BUILDING HEIGHTS WILL BE IN COMPLIANCE WITH ALL ZONING ORDINANCES AND SUP GUIDELINES. SPECIFIC VALUE FOR LOWEST NATURAL GRADE FOR EACH BUILDING TO BE PROVIDED IN THE NEXT PHASE.

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WEST ELEVATION

3.27 SPA BUILDING
CONCEPTUAL RENDERING

HIGHGATE HKS FLOOR associates ktgy SDDG Design Agency RLB Rider Levett Bucknall GMLD GRANVILLE MCANEAR LIGHTING DESIGN ATWELL ROSE LAW GROUP pc RICH • CARTER • FISHER SUMMIT LAND MANAGEMENT

SCOTTSDALE PLAZA RESORT

PARADISE VALLEY SPECIAL USE PERMIT APPLICATION

3.28 “BIG SISTER” GUESTROOM BUILDING
CONCEPTUAL FLOOR PLAN - LEVEL 01

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SCOTTSDALE PLAZA RESORT

PARADISE VALLEY SPECIAL USE PERMIT APPLICATION

3.29 “BIG SISTER” GUESTROOM BUILDING
CONCEPTUAL FLOOR PLAN - LEVEL 02

HIGHGATE HKS FLOOR associates ktgy SDDG Design Agency RLB Rider Levett Bucknall GMLD GRANVILLE MCANEAR LIGHTING DESIGN ATWELL ROSE LAW GROUP pc RICH • CARTER • FISHER SUMMIT LAND MANAGEMENT

SCOTTSDALE PLAZA RESORT
PARADISE VALLEY SPECIAL USE PERMIT APPLICATION

3.30 “BIG SISTER” GUESTROOM BUILDING CONCEPTUAL ELEVATION

ELEVATION GENERAL NOTES:

1. LEVEL 01, 100’-0”, IS NOTED AS A BENCHMARK TO INDICATE THE LOWEST NATURAL GRADE UNDERNEATH STRUCTURE AND OVERALL BUILDING HEIGHTS WILL BE IN COMPLIANCE WITH ALL ZONING ORDINANCES AND SUP GUIDELINES. SPECIFIC VALUE FOR LOWEST NATURAL GRADE FOR EACH BUILDING TO BE PROVIDED IN THE NEXT PHASE.

2. REFERENCE SHEET 3.28 FOR EXTERIOR MATERIAL PALETTE. MATERIAL CALLOUTS AND EXTERIOR DETAILS WILL BE FURTHER DEVELOPED IN THE NEXT PHASE AND BE IN COMPLIANCE WITH ALL ZONING ORDINANCES AND SUP GUIDELINES.

NORTH ELEVATION

3.31 “BIG SISTER” GUESTROOM BUILDING CONCEPTUAL ELEVATION

ELEVATION GENERAL NOTES:

1. LEVEL 01, 100’-0”, IS NOTED AS A BENCHMARK TO INDICATE THE LOWEST NATURAL GRADE UNDERNEATH STRUCTURE AND OVERALL BUILDING HEIGHTS WILL BE IN COMPLIANCE WITH ALL ZONING ORDINANCES AND SUP GUIDELINES. SPECIFIC VALUE FOR LOWEST NATURAL GRADE FOR EACH BUILDING TO BE PROVIDED IN THE NEXT PHASE.

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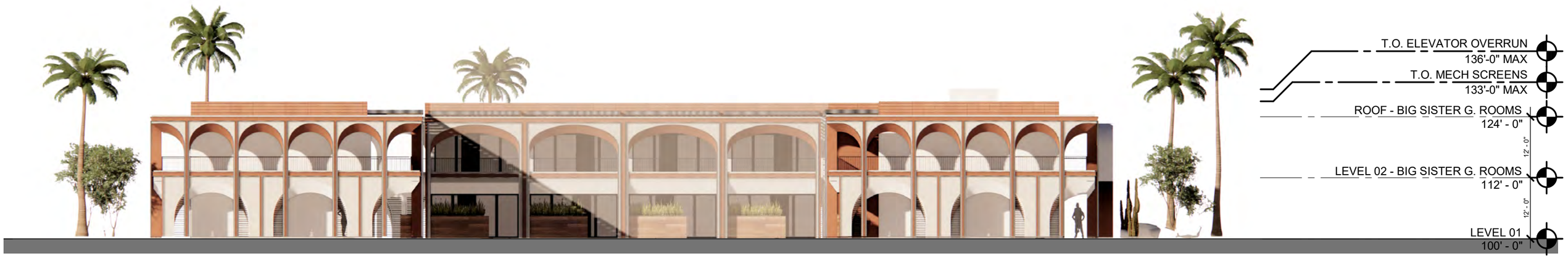

SOUTH ELEVATION

3.32 “BIG SISTER” GUESTROOM BUILDING CONCEPTUAL ELEVATION

ELEVATION GENERAL NOTES:

1. LEVEL 01, 100’-0”, IS NOTED AS A BENCHMARK TO INDICATE THE LOWEST NATURAL GRADE UNDERNEATH STRUCTURE AND OVERALL BUILDING HEIGHTS WILL BE IN COMPLIANCE WITH ALL ZONING ORDINANCES AND SUP GUIDELINES. SPECIFIC VALUE FOR LOWEST NATURAL GRADE FOR EACH BUILDING TO BE PROVIDED IN THE NEXT PHASE.

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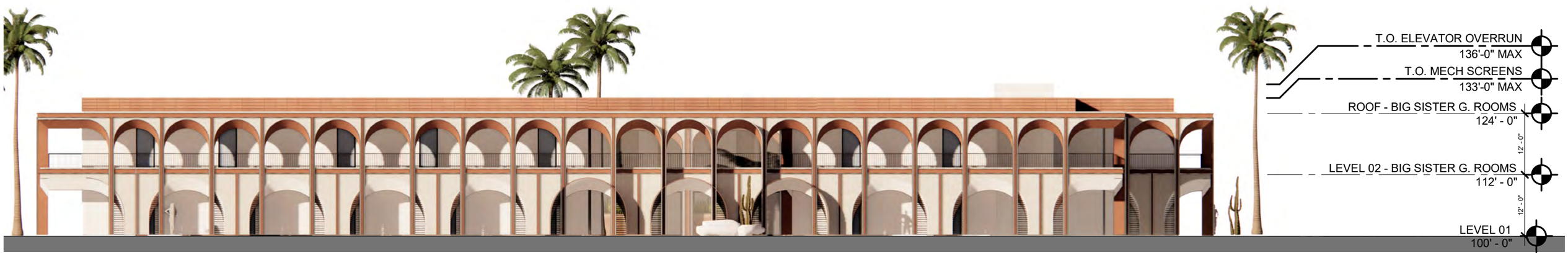

EAST ELEVATION

3.33 “BIG SISTER” GUESTROOM BUILDING CONCEPTUAL ELEVATION

ELEVATION GENERAL NOTES:

1. LEVEL 01, 100’-0”, IS NOTED AS A BENCHMARK TO INDICATE THE LOWEST NATURAL GRADE UNDERNEATH STRUCTURE AND OVERALL BUILDING HEIGHTS WILL BE IN COMPLIANCE WITH ALL ZONING ORDINANCES AND SUP GUIDELINES. SPECIFIC VALUE FOR LOWEST NATURAL GRADE FOR EACH BUILDING TO BE PROVIDED IN THE NEXT PHASE.

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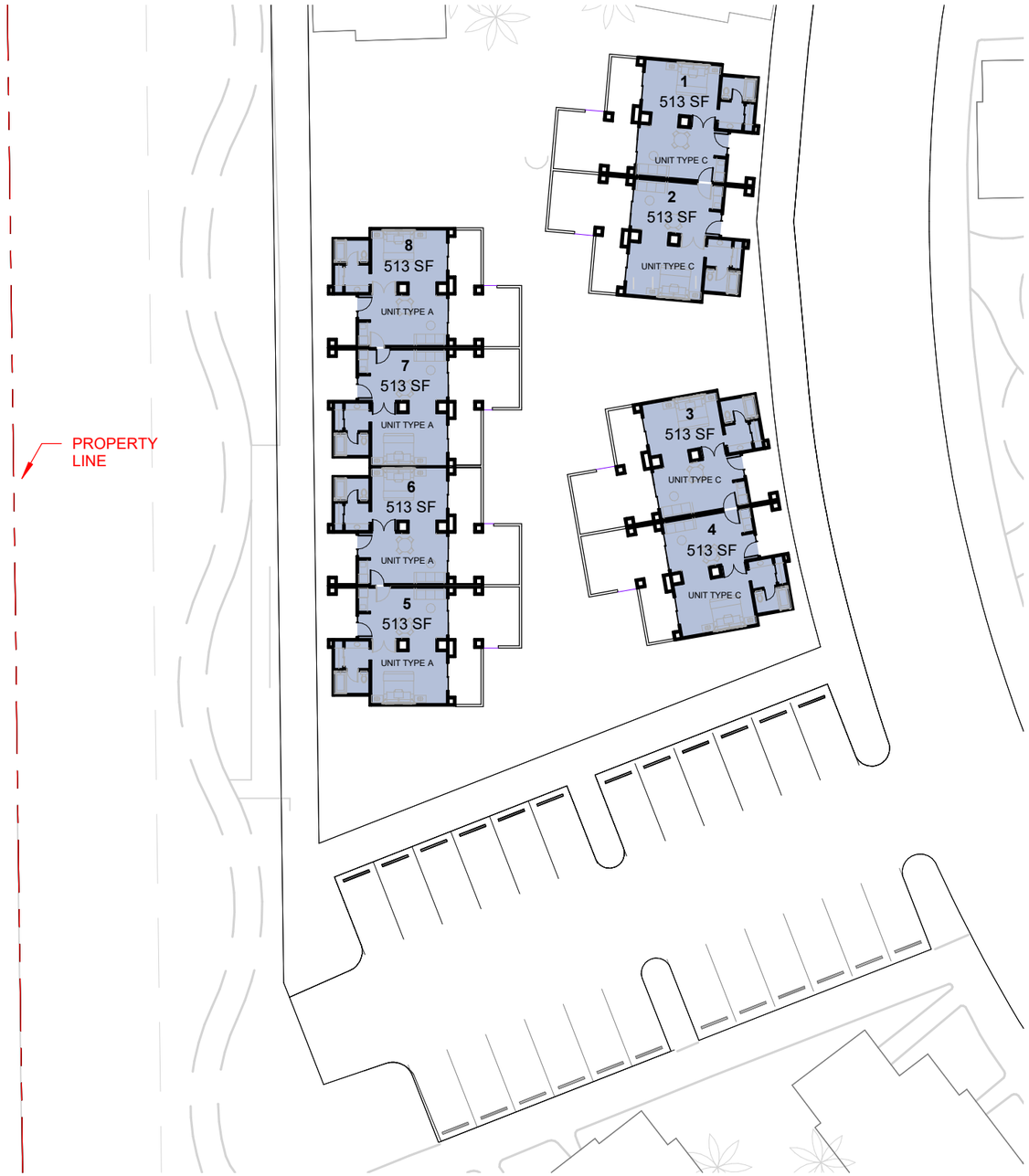
WEST ELEVATION

3.34 “BIG SISTER” GUESTROOM BUILDING CONCEPTUAL RENDERING

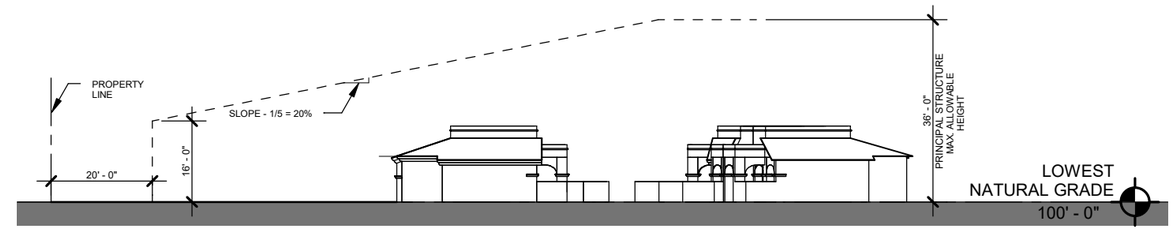
3.35 “BIG SISTER” GUESTROOM VILLAS



"BIG SISTER" VILLAS - FLOOR PLAN

0 15 30 FT

N



OPEN SPACE CRITERIA DIAGRAM

0 15 30 FT

ELEVATION NOTES

1. “BIG SISTER” VILLAS ARE TO MATCH EXISTING ADJACENT VILLA UNITS IN TERMS OF ROOM SIZE AND OVERALL ARCHITECTURAL ELEMENTS/ AESTHETICS.

2. REFERENCE SHEET 3.28 FOR EXTERIOR MATERIAL PALETTE

"BIG SISTER" VILLAS 1-2 - NORTH ELEVATION

0 10 20 FT

"BIG SISTER" VILLAS 3-4 - SOUTH ELEVATION

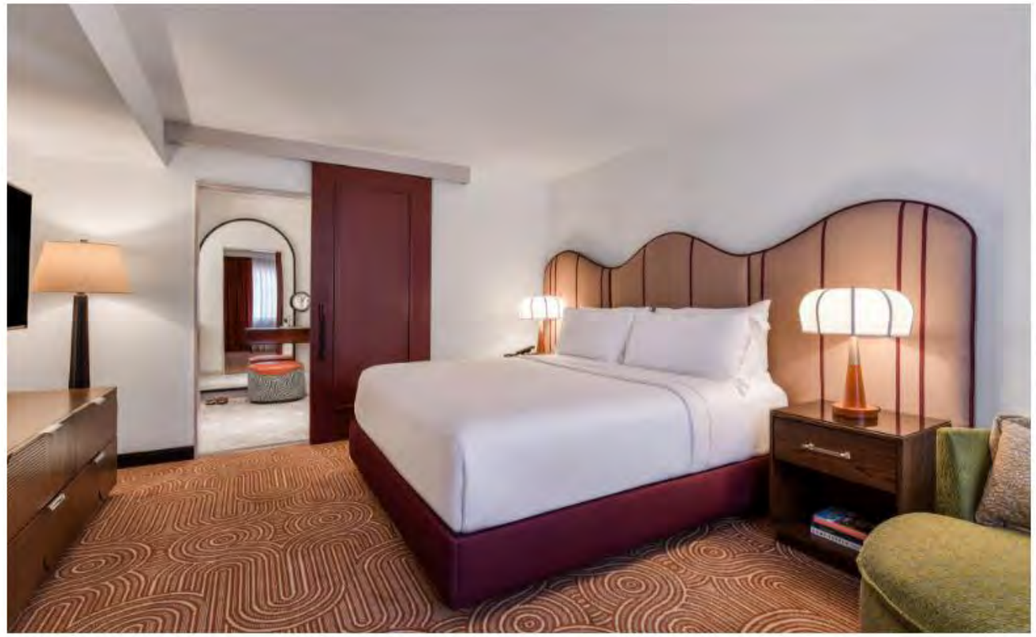
0 10 20 FT

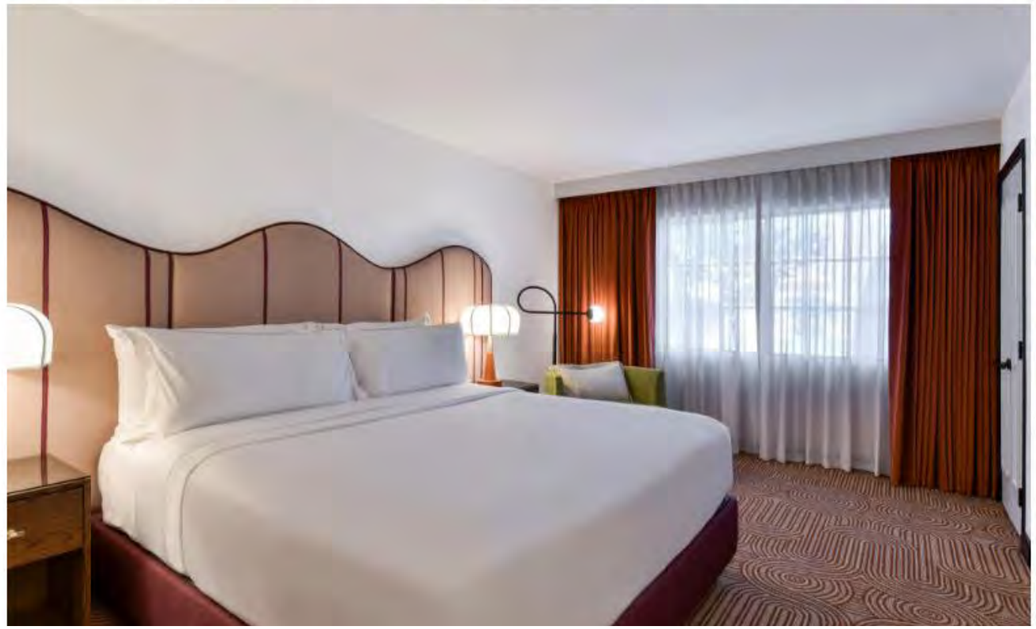
"BIG SISTER" VILLAS 5-8 - WEST ELEVATION

0 10 20 FT

3.36 “BIG SISTER” GUESTROOMS
MODEL ROOM

3.37 “BIG SISTER” GUESTROOMS
MODEL ROOM



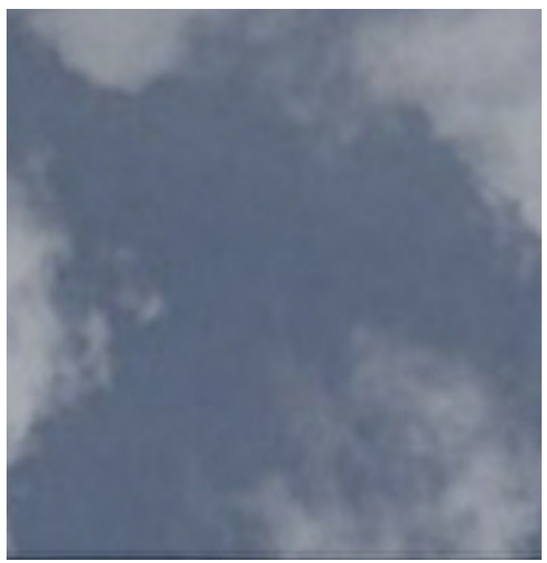


CEMENT PLASTER - OFF WHITE

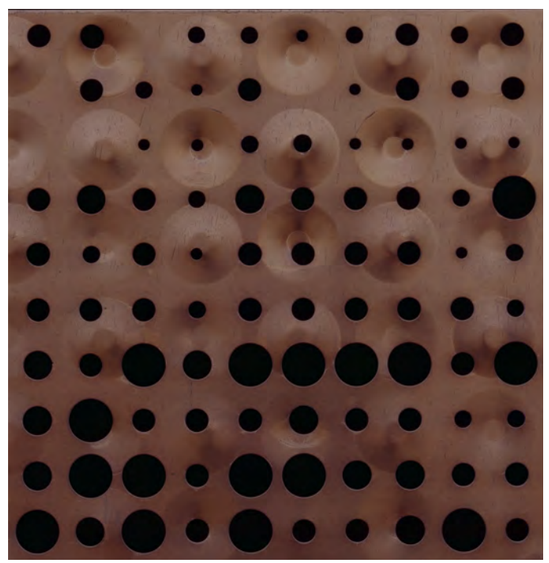
CEMENT PLASTER - BRIGHT WHITE

CEMENT PLASTER - TERRACOTTA

CEMENT PLASTER - DESERT ROSE



HIGH PERFORMANCE GLAZING



METAL CLADDING - PERFORATED

METAL CLADDING

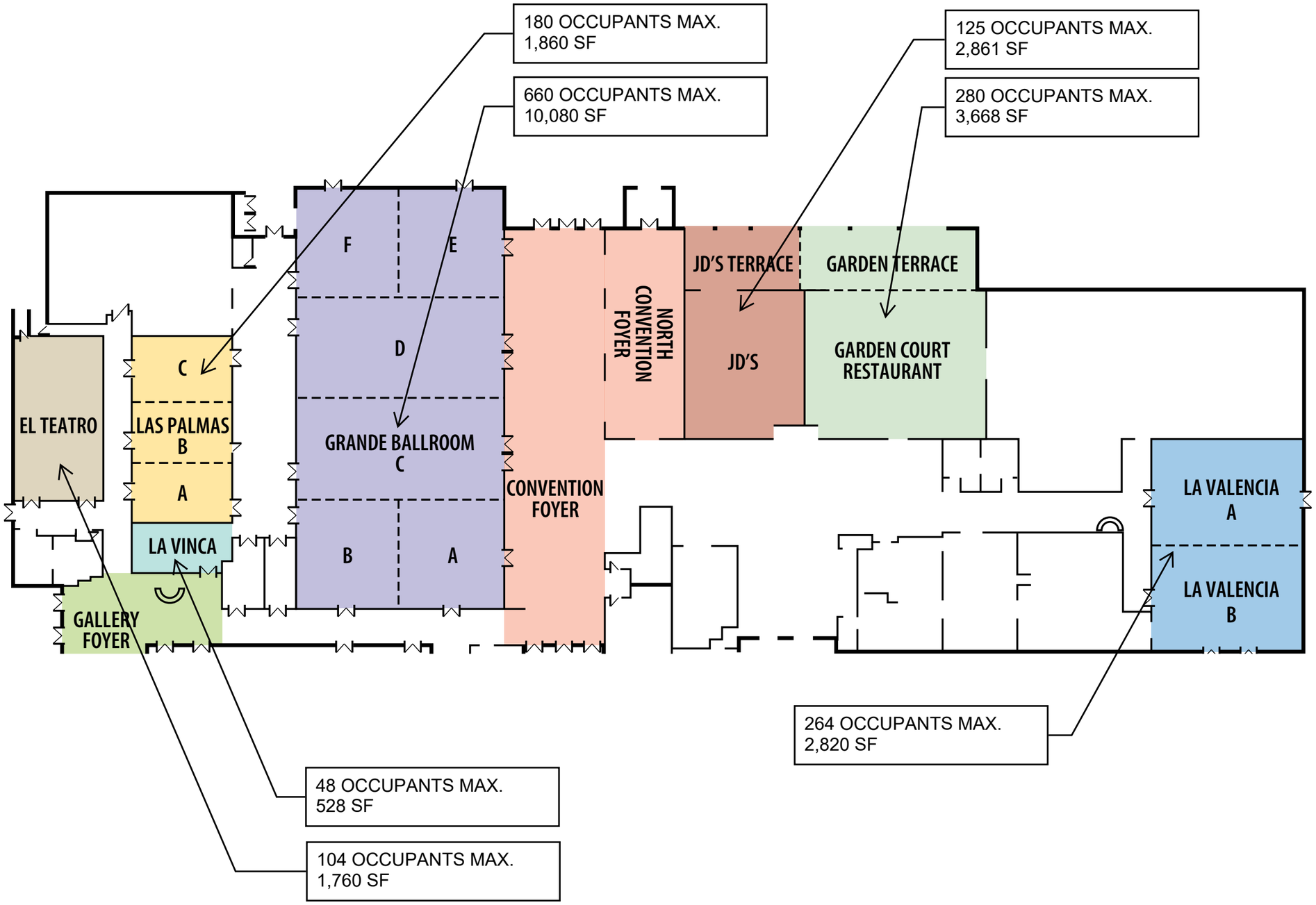
WOOD SOFFITS

4 “LITTLE SISTER” ARCHITECTURE

- PORTE COCHERE
- MAIN BUILDING EXTERIOR
- MAIN BUILDING OCCUPANCY
- GUESTROOMS MODEL ROOM
- CABANA GUESTROOMS, POOL BAR & FITNESS
- EXTERIOR MATERIALS

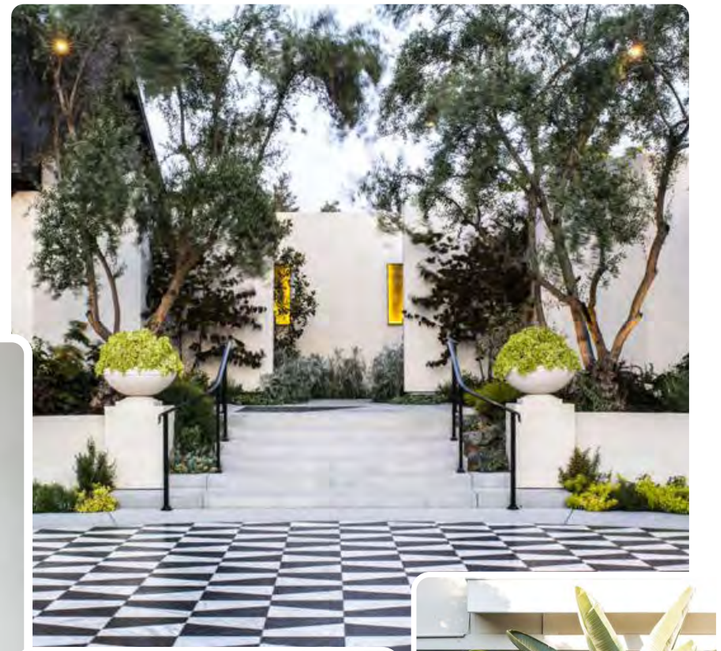
4.1 “LITTLE SISTER” PORTE COCHERE
CONCEPTUAL RENDERING

4.2 “LITTLE SISTER” MAIN BUILDING
CONCEPTUAL EAST ELEVATION

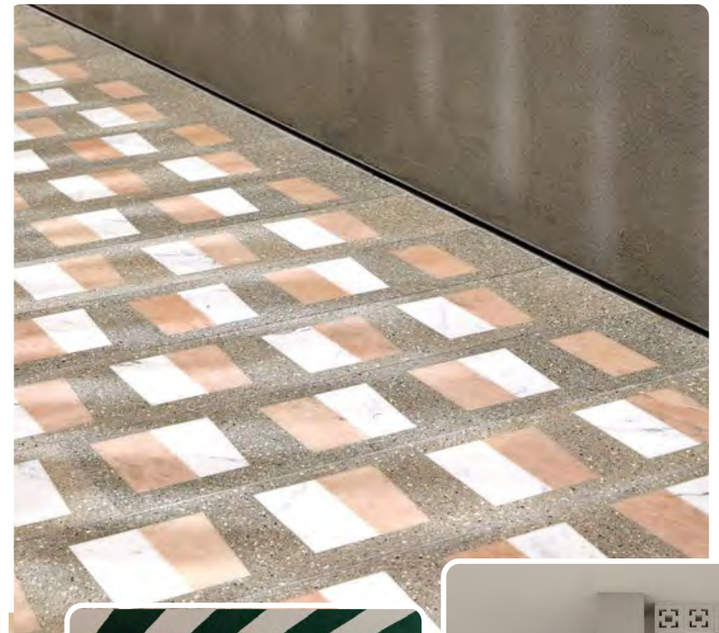

180 OCCUPANTS MAX.
1,860 SF
660 OCCUPANTS MAX.
10,080 SF
125 OCCUPANTS MAX.
2,861 SF
280 OCCUPANTS MAX.
3,668 SF
F
E
D
C
B
A
GRANDE BALLROOM
C
EL TEATRO
LAS PALMAS
B
A
LA VINCA
GALLERY
FOYER
CONVENTION
FOYER
NORTH
CONVENTION
FOYER
JD'S TERRACE
GARDEN TERRACE
JD'S
GARDEN COURT
RESTAURANT
LA VALENCIA
A
LA VALENCIA
B
264 OCCUPANTS MAX.
2,820 SF
48 OCCUPANTS MAX.
528 SF
104 OCCUPANTS MAX.
1,760 SF

4.4 “LITTLE SISTER” PORTE COCHERE
LOOK & FEEL

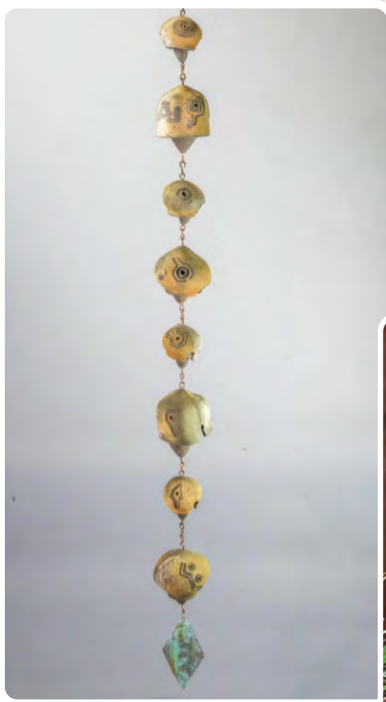
FEATURE FLOOR AT CAR ARRIVAL



TERRAZO & STONE AT ENTRY



NEW ENTRY DOORS

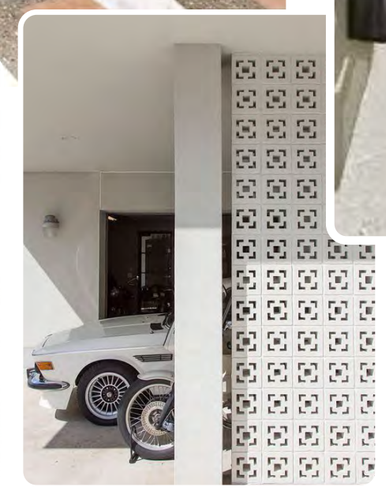


SCULPTURE - COSANTI

POP OF COLOR

LARGE PLANTERS AT ENTRY

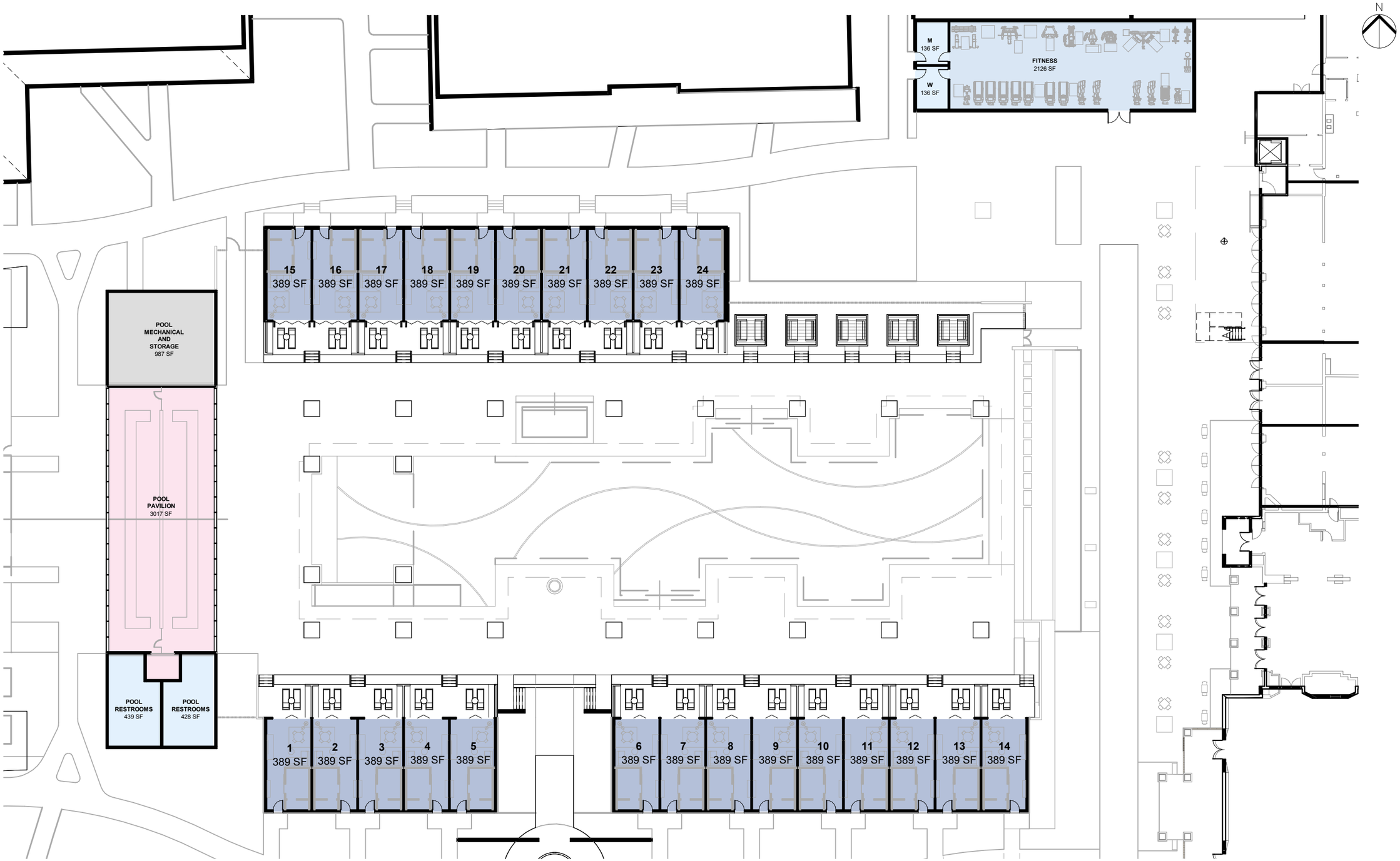
STRIPED PATTERN U/S SOFFIT



SCREENING

414

4.6 “LITTLE SISTER” CABANA GUESTROOMS, POOL BAR & FITNESS
CONCEPTUAL FLOOR PLAN



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SCOTTSDALE PLAZA RESORT

PARADISE VALLEY SPECIAL USE PERMIT APPLICATION

4.7 “LITTLE SISTER” CABANA GUESTROOMS CONCEPTUAL ELEVATIONS

ELEVATION GENERAL NOTES:

1. LEVEL 01, 100’-0”, IS NOTED AS A BENCHMARK TO INDICATE THE LOWEST NATURAL GRADE UNDERNEATH STRUCTURE AND OVERALL BUILDING HEIGHTS WILL BE IN COMPLIANCE WITH ALL ZONING ORDINANCES AND SUP GUIDELINES. SPECIFIC VALUE FOR LOWEST NATURAL GRADE FOR EACH BUILDING TO BE PROVIDED IN THE NEXT PHASE.

2. REFERENCE SHEET 3.28 FOR EXTERIOR MATERIAL PALETTE. MATERIAL CALLOUTS AND EXTERIOR DETAILS WILL BE FURTHER DEVELOPED IN THE NEXT PHASE AND BE IN COMPLIANCE WITH ALL ZONING ORDINANCES AND SUP GUIDELINES.

NORTH ELEVATION

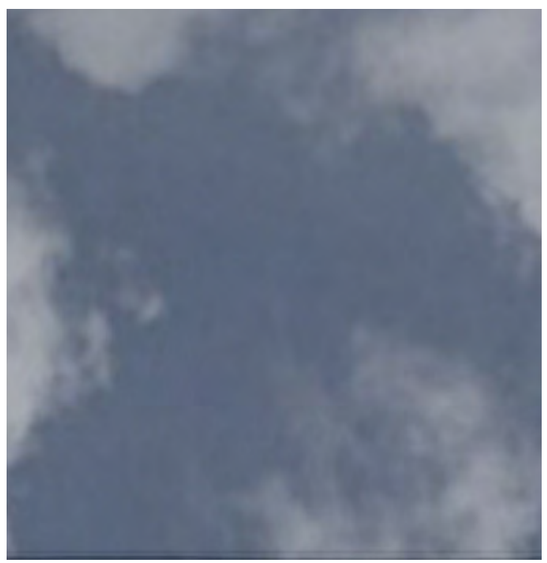
4.8 “LITTLE SISTER” POOL DECK
CONCEPTUAL RENDERING

CEMENT PLASTER - OFF WHITE

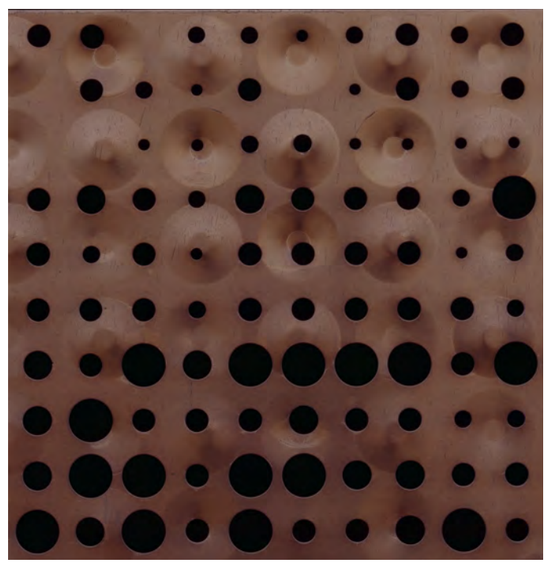
CEMENT PLASTER - BRIGHT WHITE

CEMENT PLASTER - TERRACOTTA

CEMENT PLASTER - DESERT ROSE



HIGH PERFORMANCE GLAZING



METAL CLADDING - PERFORATED

METAL CLADDING

WOOD SOFFITS

5 LANDSCAPE ARCHITECTURE

- MASTER LANDSCAPE PLAN
- LANDSCAPE CHARACTER ZONES
- LANDSCAPE CHARACTER IMAGES
- PERIMETER BUFFER PLAN
- STREETSCAPE LANDSCAPE CHARACTER
- STREETSCAPE SECTIONS
- EXTERIOR SITE WALL PLAN

1. Main Entry
2. New Big Sister Pool
3. Central Paseo
4. Renovated Event Lawn
5. Secondary Entry
6. Little Sister Pool
7. Renovated Recreation Courts
8. Existing Pool
9. Existing Landscape Buffer
10. New Event Lawn

Existing Buffer at West Property Line to Remain

Existing Landscape Buffer at Hummingbird Frontage to Remain

Master Plant List

Trees

Mexican Fan Palm *[Existing]*
Ironwood *[Olneya tesota]*
Mesquite *[Prosopis spp.]*
Palo Verde *[Parkinsonia spp.]*
Ficus *[Existing]*
Cascalote *[Caesalpinia cacalaco]*
Mastic Tree *[Pistacia lentiscus]*
Chaste Tree *[Vitex agnus-castus]*
Sweet Acacia *[Acacia farnesiana]*
Indian Rosewood *[Dalbergia sissoo]*

Large Accents

Saguaro *[Carnegiea gigantea]*
Organ Pipe *[Stenocereus thurberi]*
Cardon *[Pachycereus pringlei]*
Beaked Yucca *[Yucca rostrata]*
Ocotillo *[Fouquieria splendens]*
Cereus spp.
Agave spp.

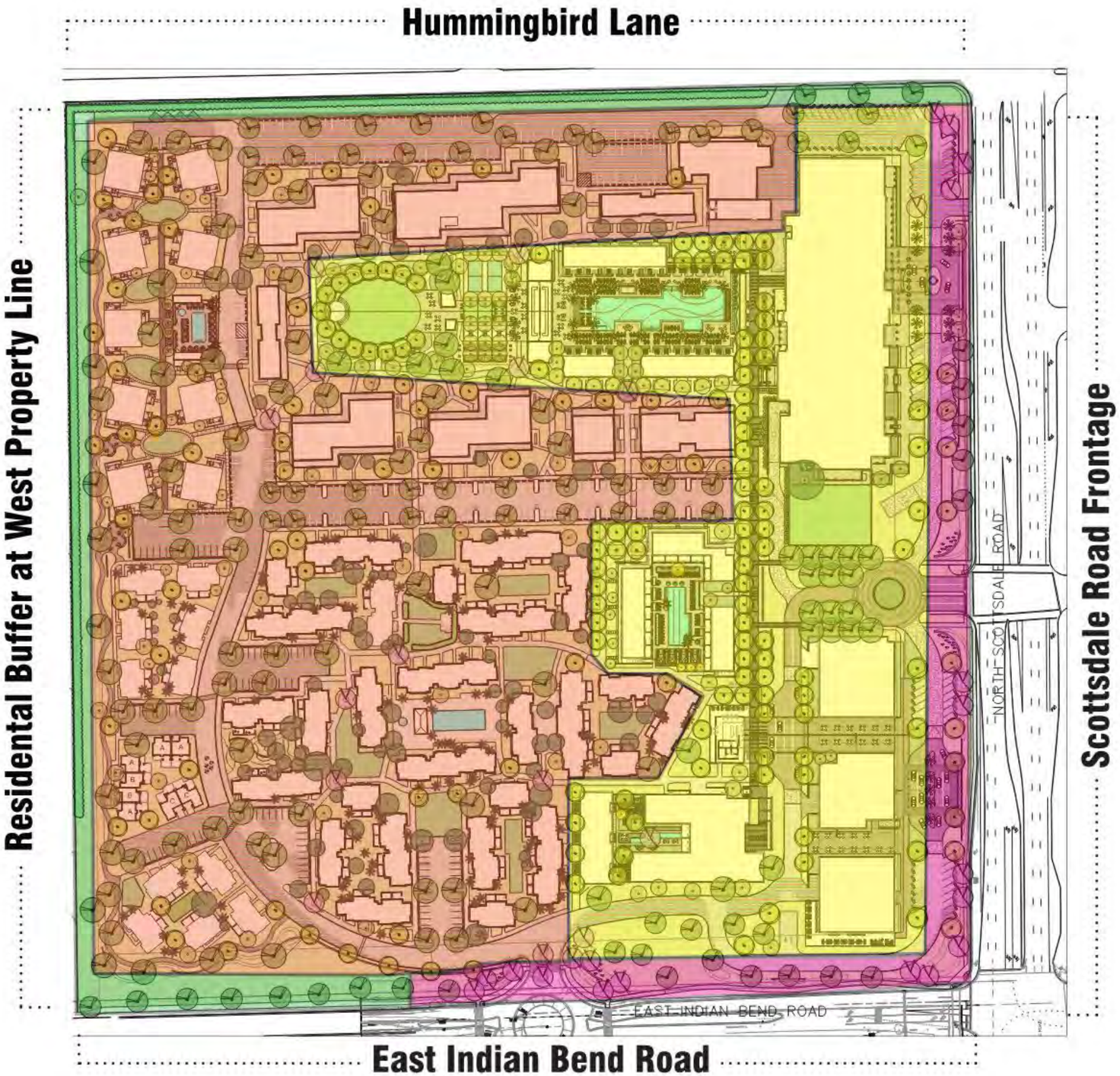
Accents (Massing)

Prickly Pear *[Opuntia spp.]*
Golden Barrel *[Echinocactus grusonii]*
Moroccan Mound *[Euphorbia resinifera]*
Agave spp.
Aloe spp.

Shrubs and Groundcovers / Vines

Natal Plum *[Carissa spp.]*
Lantana *[Lantana spp.]*
Mexican Bird of Paradise *[Caesalpinia mexicana]*
Arizona Yellow Bells *[Tecoma stans]*
Hop Bush *[Dodonaea viscosa]*
Bougainvillea spp.
Jasmine *[Jasminum sambac]*
Lady Banks Rose *[Rosa banksiae]*
Yellow Dot *[Wedelia trilobata]*
Hesperaloe spp.
Leucophyllum spp.

Note:
All proposed landscaping meets the guidelines from the Town's Visually Significant Corridors Master Plan (e.g., Resort Living Character Zone), including the use of low water plants.

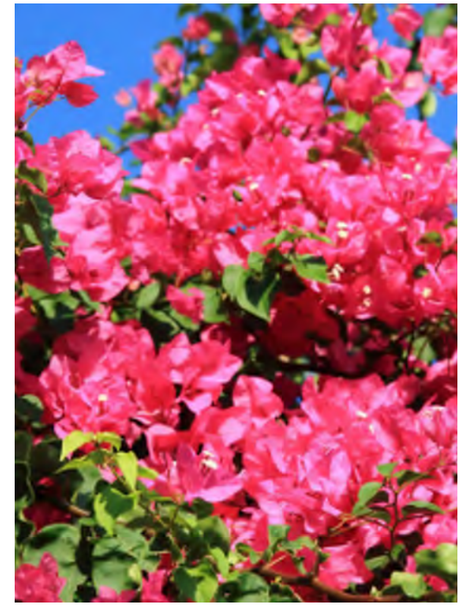


Existing Residental Buffer Zone
Existing Landscape Buffers to remain, including existing perimeter walls and mature Oleander hedges.

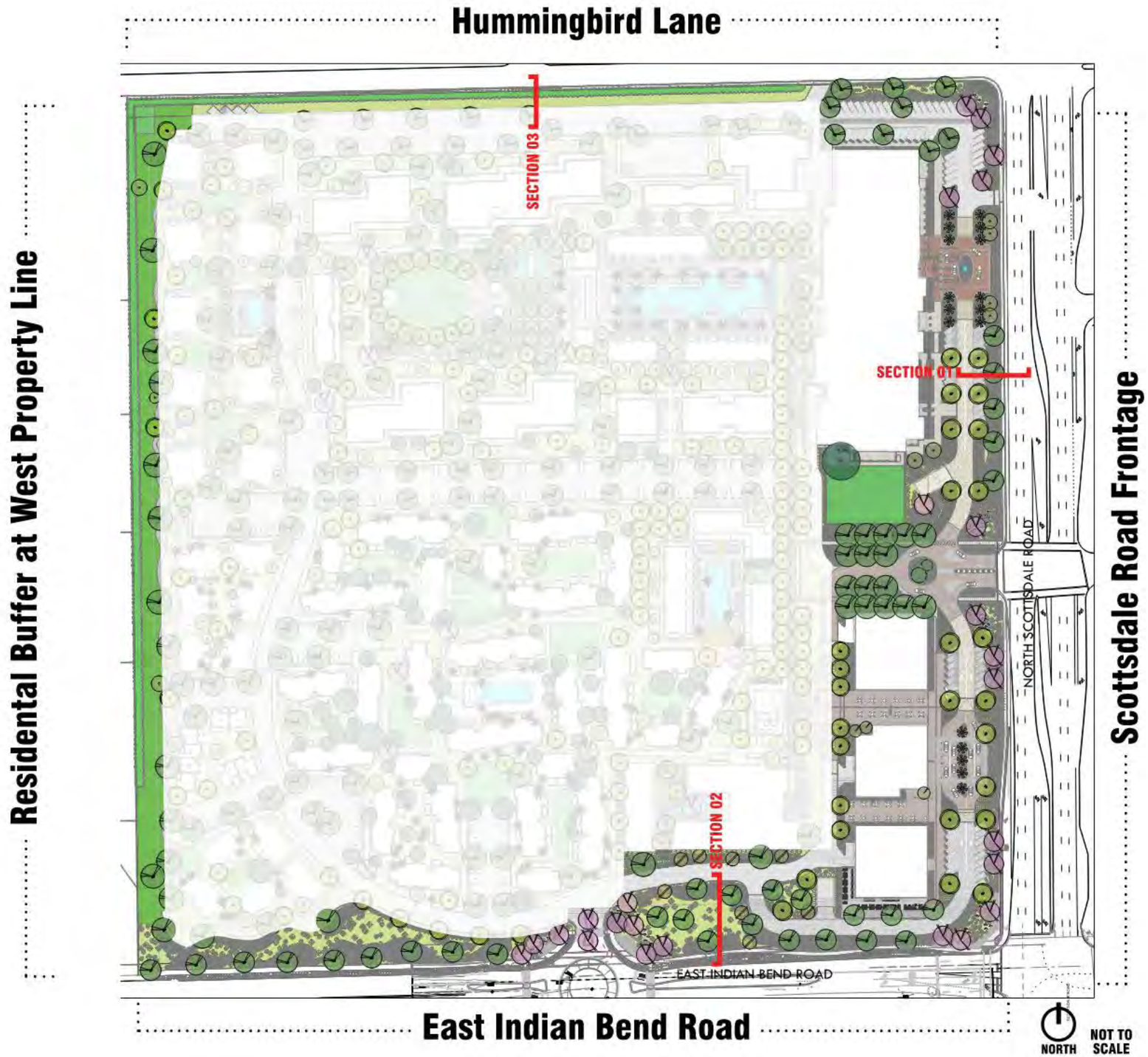
Existing Resort
Existing landscape throughout the existing portions of the resort that are not being redeveloped shall remain in place, with minor enhancements.

Streetscape Frontages
The existing streetscape frontages along Scottsdale Road and East Indian Bend Road are primarily large turf areas with minimal trees or parking lot screening. The new proposed streetscape will eliminate the large turf areas and provide screening through the development of earth berming, strategically placed screen walls and masses of shrubs, groundcovers and accent materials. Street trees will be provided at a minimum of 3 trees per 100 linear feet of frontage and will consist of regionally appropriate desert tree varieties including Ironwood, Mesquite and Palo Verde. Entries and focal areas may include structural plant materials, such as saguaros and date palms, as vertical accents.

Hotel / Oasis Landscape Character
The Resort arrival sequences, open space areas and interior pathways will consist of a combination of regionally appropriate desert trees (Ironwood, Palo Verde and Mesquite), existing mature trees (palms and ficus), massings of flowering shrubs and groundcovers and the strategic use of large sculptural cacti and succulents at focal points and pedestrian intersections. Existing and new palms will be used to provide filtered shade at the pool areas to create a sense of oasis within the desert.



5.5 PERIMETER BUFFER PLAN



PLANT LEGEND

SYM.	BOTANICAL NAME / COMMON NAME	SIZE	MIN. CAL. HT X W	APPROX. QTY.
	TREES			
	OLNEYA TESOTA IRONWOOD	48" BOX MULTI	10' H X 9' W	25
	PROSOPIS SPP. HYBRID THORNLESS MESQUITE	48" BOX MULTI	3.5" CAL 12' H X 11' W	59
	PARKINSONIA X 'DESERT MUSEUM' DESERT MUSEUM PALO VERDE	48" BOX SINGLE	4" CAL 14' H X 10' W	32
	OLEA EUROPAEA 'WILSONII' WILSON OLIVE	36" BOX MULTI	10' H X 7' W	06
	CAESALPINIA CACALACO CASCALOTE	36" BOX MULTI	10' H X 6' W	08
	EUCALYPTUS KRUSEANA BOOK-LEAF MALLEE	36" BOX MULTI	10' H X 8' W	03
	PARKINSONIA MICROPHYLLA FOOTHILL PALO VERDE	48" BOX MULTI	12' H X 10' W	02
	PHOENIX DACTYLIFERA MEDJOOL DATE PALM	18' TRUNK HT	MATCHED DIAMOND CUT	18
	EXISTING FICUS TREE TO BE PROTECTED IN PLACE		N/A	01
	SHRUBS			
	DODONAEA VISCOSA HOPBUSH (7' O.C. MINIMUM)	5 GAL		97
	FICUS NITIDA INDIAN LAUREL (HEDGE)	25 GAL		78
	RUELLIA SIMPLEX MEXICAN PETUNIA (5' O.C. MINIMUM)	5 GAL		423
	CAESALPINIA PULCHERRIMA RED BIRD OF PARADISE	5 GAL		74
	TECOMA STANS AZ YELLOW BELLS	5 GAL		60
	LEUCOPHYLLUM CANDIDUM 'THUNDERCLOUD' THUNDER CLOUD SAGE (6' O.C. MINIMUM)	5 GAL		84
	LARREA TRIDENTATA CREOSOTE	5 GAL		103
	ENCELIA FARINOSA BRITTLEBUSH (6' O.C. MINIMUM)	1 GAL		709
	BOUGAINVILLEA X 'BARBARA KARST' BARBARA KARST BOUGAINVILLEA	15 GAL		37
	ACCENTS			
	YUCCA ROSTRATA BEAKED YUCCA	24" BOX		07
	PEDILANTHUS BRACTEATUS TALL LADY SLIPPER	5 GAL		74
	NOLINA NELSONII BLUE NOLINA	24" BOX		03
	STENOCEREUS THURBERI ORGAN PIPE CACTUS	24" BOX		23
	FOUQUIERIA SPLENDENS OCOTILLO	BARE ROOT 8' CANES MIN.		54
	ALOE 'SAFARI ORANGE' SAFARI ALOE (5' O.C. MINIMUM)	3 GAL		384
	ALOE BARBADENSIS MEDICINAL ALOE (5' O.C. MINIMUM)	3 GAL		984
	MUHLENBERGIA RIGENS DEER GRASS (6' O.C. MINIMUM)	1 GAL		731
	MUHLENBERGIA CAPILLARIS 'WHITE CLOUD' WHITE CLOUD MUHLY (6' O.C. MINIMUM)	1 GAL		1037
	CARNEGIEA GIGANTEA SAGUARO	40% 6'-8' SPEARS 60% 10'-14'		49
	AGAVE SISALANA SISAL AGAVE	5 GAL		23
	AGAVE 'MR. RIPPLE' HARDY CENTURY PLANT	5 GAL		09
	AGAVE AMERICANA 'MARGINATA' VARIEGATED CENTURY PLANT	5 GAL		31
	AGAVE GEMINIFLORA TWIN-FLOWERED AGAVE (7' O.C. MINIMUM)	5 GAL		312
	FURCRAEA MACDOUGALII MACDOUGAL'S CENTURY PLANT	5 GAL		15
	CYCAS REVOLUTA SAGO PALM	15 GAL		72
	YUCCA PALLIDA PALELEAF YUCCA	5 GAL		251
	HESPERALOE PARVIFLORA 'BRAKELIGHTS' BRAKELIGHTS RED YUCCA (5' O.C. MINIMUM)	5 GAL		184
	GROUNDCOVER			
	WEDELIA TRILOBATA YELLOW DOT (5' O.C. MINIMUM)	1 GAL		263
	LANTANA CAMARA 'NEW GOLD' NEW GOLD LANTANA (5' O.C. MINIMUM)	1 GAL		374
	EREMOPHILA GLABRA 'MINGENEW GOLD' GOLD EMU BUSH (6' O.C. MINIMUM)	1 GAL		408
	MYOPORUM PARVIFOLIUM CREEPING MYOPORUM	1 GAL		81

5.6 PERIMETER BUFFER PLAN
SCOTTSDALE ROAD NORTH

PLANT LEGEND

SYM.	BOTANICAL NAME / COMMON NAME	SIZE	MIN. CAL HT X W	APPROX. QTY.
	TREES			
	OLNEYA TESOTA IRONWOOD	48" BOX MULTI	10' H X 9' W	25
	PROSOPIS SPP. HYBRID THORNLESS MESQUITE	48" BOX MULTI	3.5" CAL 12' H X 11' W	59
	PARKINSONIA X 'DESERT MUSEUM' DESERT MUSEUM PALO VERDE	48" BOX SINGLE	4" CAL 14' H X 10' W	32
	OLEA EUROPAEA 'WILSONII' WILSON OLIVE	36" BOX MULTI	10' H X 7' W	06
	CAESALPINIA CACALACO CASCALOTE	36" BOX MULTI	10' H X 6' W	08
	EUCALYPTUS KRUSEANA BOOK-LEAF MALLEE	36" BOX MULTI	10' H X 8' W	03
	PARKINSONIA MICROPHYLLA FOOTHILL PALO VERDE	48" BOX MULTI	12' H X 10' W	02
	PHOENIX DACTYLIFERA MEDJOOL DATE PALM	18' TRUNK HT	MATCHED DIAMOND CUT	18
	EXISTING FICUS TREE TO BE PROTECTED IN PLACE		N/A	01
	SHRUBS			
	DODONAEA VISCOSA HOPBUSH (7' O.C. MINIMUM)	5 GAL		97
	FICUS NITIDA INDIAN LAUREL (HEDGE)	25 GAL		78
	RUELLIA SIMPLEX MEXICAN PETUNIA (5' O.C. MINIMUM)	5 GAL		423
	CAESALPINIA PULCHERRIMA RED BIRD OF PARADISE	5 GAL		74
	TECOMA STANS AZ YELLOW BELLS	5 GAL		60
	LEUCOPHYLLUM CANDIDUM 'THUNDERCLOUD' THUNDER CLOUD SAGE (6' O.C. MINIMUM)	5 GAL		84
	LARREA TRIDENTATA CREOSOTE	5 GAL		103
	ENCELIA FARINOSA BRITTLEBUSH (6' O.C. MINIMUM)	1 GAL		709
	BOUGAINVILLEA X 'BARBARA KARST' BARBARA KARST BOUGAINVILLEA	15 GAL		37
	ACCENTS			
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	STENOCEREUS THURBERI ORGAN PIPE CACTUS	24" BOX		23
	FOUQUIERIA SPLENDENS OCOTILLO	BARE ROOT 8' CANES MIN.		54
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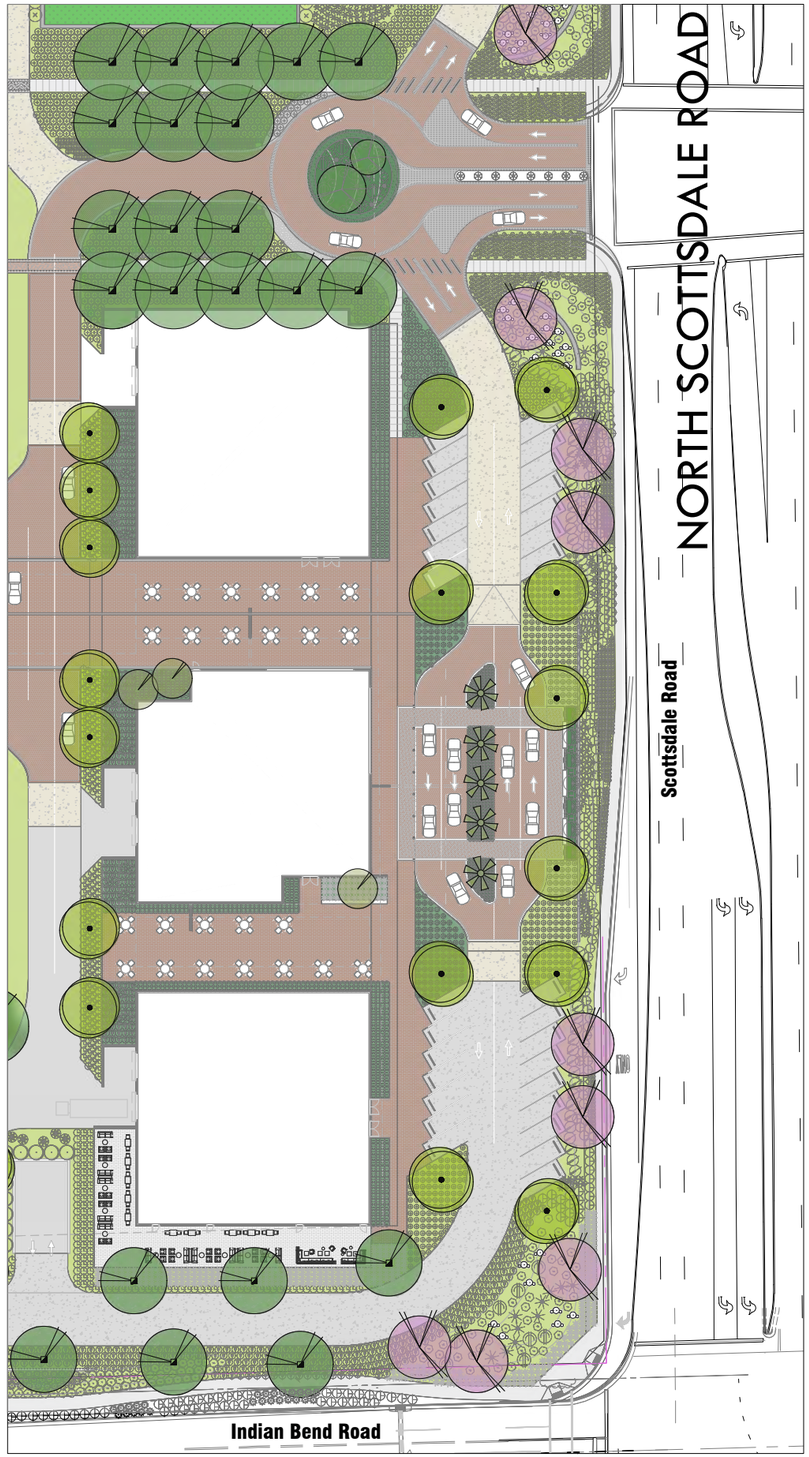
	ALOE BARBADENSIS MEDICINAL ALOE (5' O.C. MINIMUM)	3 GAL		984
	MUHLENBERGIA RIGENS DEER GRASS (6' O.C. MINIMUM)	1 GAL		731
	MUHLENBERGIA CAPILLARIS 'WHITE CLOUD' WHITE CLOUD MUHLY (6' O.C. MINIMUM)	1 GAL		1037
	CARNEGIEA GIGANTEA SAGUARO	40% 6'-8' SPEARS 60% 10'-14'		49
	AGAVE SISALANA SISAL AGAVE	5 GAL		23
	AGAVE 'MR. RIPPLE' HARDY CENTURY PLANT	5 GAL		09
	AGAVE AMERICANA 'MARGINATA' VARIEGATED CENTURY PLANT	5 GAL		31
	AGAVE GEMINIFLORA TWIN-FLOWERED AGAVE (7' O.C. MINIMUM)	5 GAL		312
	FURCRAEA MACDOUGALII MACDOUGAL'S CENTURY PLANT	5 GAL		15
	CYCAS REVOLUTA SAGO PALM	15 GAL		72
	YUCCA PALLIDA PALELEAF YUCCA	5 GAL		251
	HESPERALOE PARVIFLORA 'BRAKELIGHTS' BRAKELIGHTS RED YUCCA (5' O.C. MINIMUM)	5 GAL		184
	GROUNDCOVER			
	WEDELIA TRILOBATA YELLOW DOT (5' O.C. MINIMUM)	1 GAL		263
	LANTANA CAMARA 'NEW GOLD' NEW GOLD LANTANA (5' O.C. MINIMUM)	1 GAL		374
	EREMOPHILA GLABRA 'MINGENEW GOLD' GOLD EMU BUSH (6' O.C. MINIMUM)	1 GAL		408
	MYOPORUM PARVIFOLIUM CREEPING MYOPORUM	1 GAL		81

HIGHGATE HKS FLOOR associates ktgy SDDG Design Agency RLB Rider Levett Bucknall GM LD GRANVILLE MCANEAR LIGHTING DESIGN ATWELL ROSE LAW GROUP pc RICH • CARTER • FISHER SUMMIT LAND MANAGEMENT

SCOTTSDALE PLAZA RESORT
PARADISE VALLEY SPECIAL USE PERMIT APPLICATION

5.7 PERIMETER BUFFER PLAN
SCOTTSDALE ROAD SOUTH



NORTH

NOT TO SCALE

PLANT LEGEND

SYM.	BOTANICAL NAME / COMMON NAME	SIZE	MIN. CAL HT X W	APPROX. QTY.
	TREES			
	OLNEYA TESOTA IRONWOOD	48" BOX MULTI	10' H X 9' W	25
	PROSOPIS SPP. HYBRID THORNLESS MESQUITE	48" BOX MULTI	3.5" CAL 12' H X 11' W	59
	PARKINSONIA X 'DESERT MUSEUM' DESERT MUSEUM PALO VERDE	48" BOX SINGLE	4" CAL 14' H X 10' W	32
	OLEA EUROPAEA 'WILSONII' WILSON OLIVE	36" BOX MULTI	10' H X 7' W	06
	CAESALPINIA CACALACO CASCALOTE	36" BOX MULTI	10' H X 6' W	08
	EUCALYPTUS KRUSEANA BOOK-LEAF MALLEE	36" BOX MULTI	10' H X 8' W	03
	PARKINSONIA MICROPHYLLA FOOTHILL PALO VERDE	48" BOX MULTI	12' H X 10' W	02
	PHOENIX DACTYLIFERA MEDJOOL DATE PALM	18' TRUNK HT	MATCHED DIAMOND CUT	18
	EXISTING FICUS TREE TO BE PROTECTED IN PLACE		N/A	01
	SHRUBS			
	DODONAEA VISCOSA HOPBUSH (7' O.C. MINIMUM)	5 GAL		97
	FICUS NITIDA INDIAN LAUREL (HEDGE)	25 GAL		78
	RUELLIA SIMPLEX MEXICAN PETUNIA (5' O.C. MINIMUM)	5 GAL		423
	CAESALPINIA PULCHERRIMA RED BIRD OF PARADISE	5 GAL		74
	TECOMA STANS AZ YELLOW BELLS	5 GAL		60
	LEUCOPHYLLUM CANDIDUM 'THUNDERCLOUD' THUNDER CLOUD SAGE (6' O.C. MINIMUM)	5 GAL		84
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	BOUGAINVILLEA X 'BARBARA KARST' BARBARA KARST BOUGAINVILLEA	15 GAL		37
	ACCENTS			
	YUCCA ROSTRATA BEAKED YUCCA	24" BOX		07
	PEDILANTHUS BRACTEATUS TALL LADY SLIPPER	5 GAL		74
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	STENOCEREUS THURBERI ORGAN PIPE CACTUS	24" BOX		23
	FOUQUIERIA SPLENDENS OCOTILLO	BARE ROOT 8' CANES MIN.		54
	ALOE 'SAFARI ORANGE' SAFARI ALOE (5' O.C. MINIMUM)	3 GAL		384
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	CARNEGIEA GIGANTEA SAGUARO	40% 6'-8' SPEARS 60% 10'-14'		49
	AGAVE SISALANA SISAL AGAVE	5 GAL		23
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	AGAVE AMERICANA 'MARGINATA' VARIEGATED CENTURY PLANT	5 GAL		31
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	MYOPORUM PARVIFOLIUM CREEPING MYOPORUM	1 GAL		81

5.8 PERIMETER BUFFER PLAN
INDIAN BEND ROAD

NORTH

NOT TO SCALE

PLANT LEGEND

SYM.	BOTANICAL NAME / COMMON NAME	SIZE	MIN. CAL HT X W	APPROX. QTY.
	TREES			
	OLNEYA TESOTA IRONWOOD	48" BOX MULTI	10' H X 9' W	25
	PROSOPIS SPP. HYBRID THORNLESS MESQUITE	48" BOX MULTI	3.5" CAL 12' H X 11' W	59
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	PHOENIX DACTYLIFERA MEDJOOL DATE PALM	18' TRUNK HT	MATCHED DIAMOND CUT	18
	EXISTING FICUS TREE TO BE PROTECTED IN PLACE		N/A	01
	SHRUBS			
	DODONAEA VISCOSA HOPBUSH (7' O.C. MINIMUM)	5 GAL		97
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	YUCCA PALLIDA PALELEAF YUCCA	5 GAL		251
	HESPERALOE PARVIFLORA 'BRAKELIGHTS' BRAKELIGHTS RED YUCCA (5' O.C. MINIMUM)	5 GAL		184
	GROUNDCOVER			
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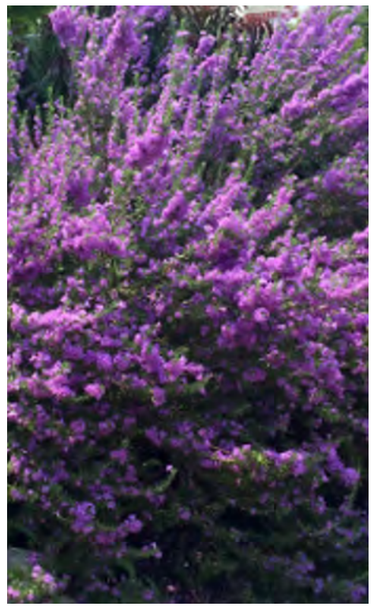
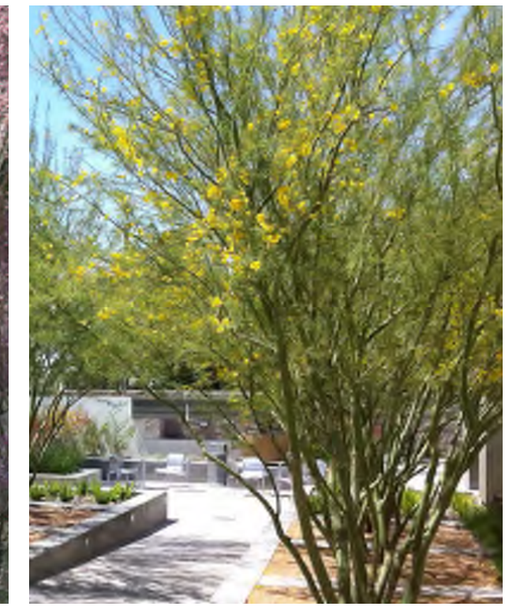
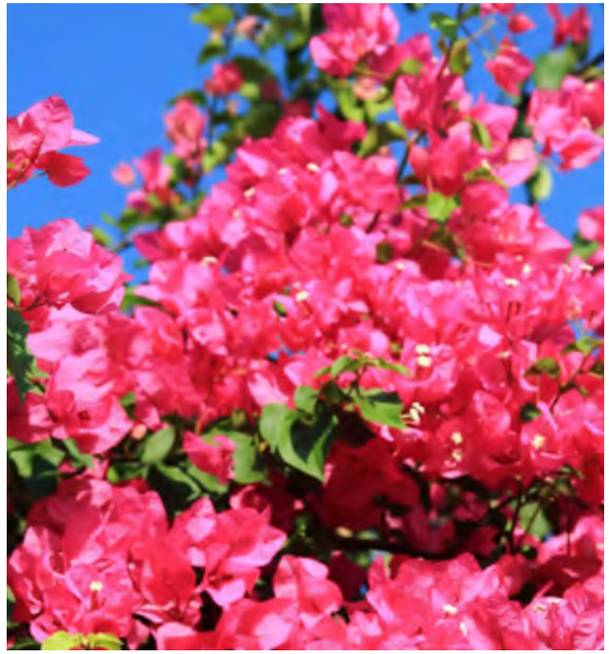
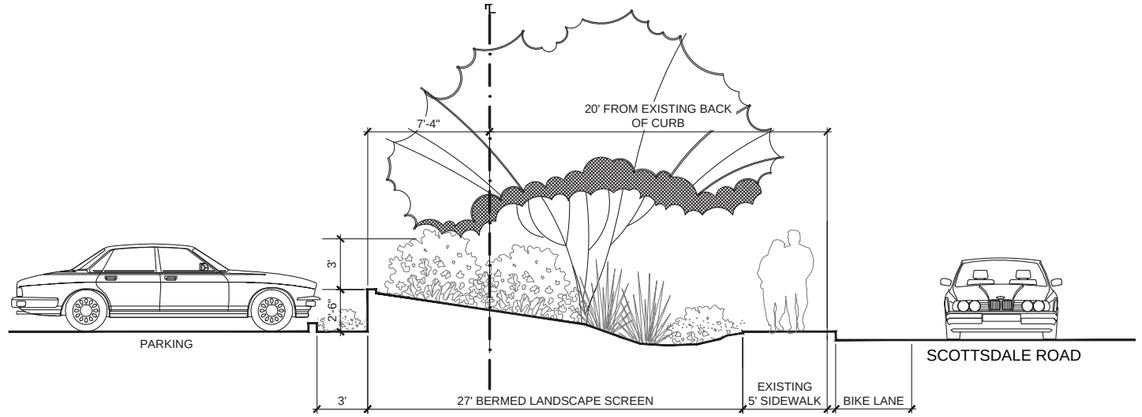
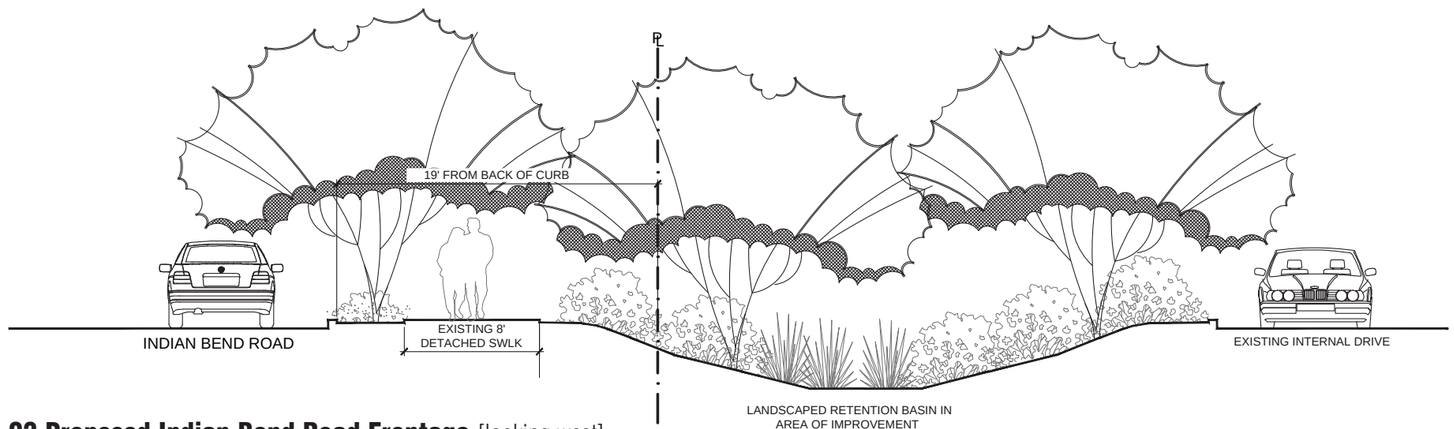




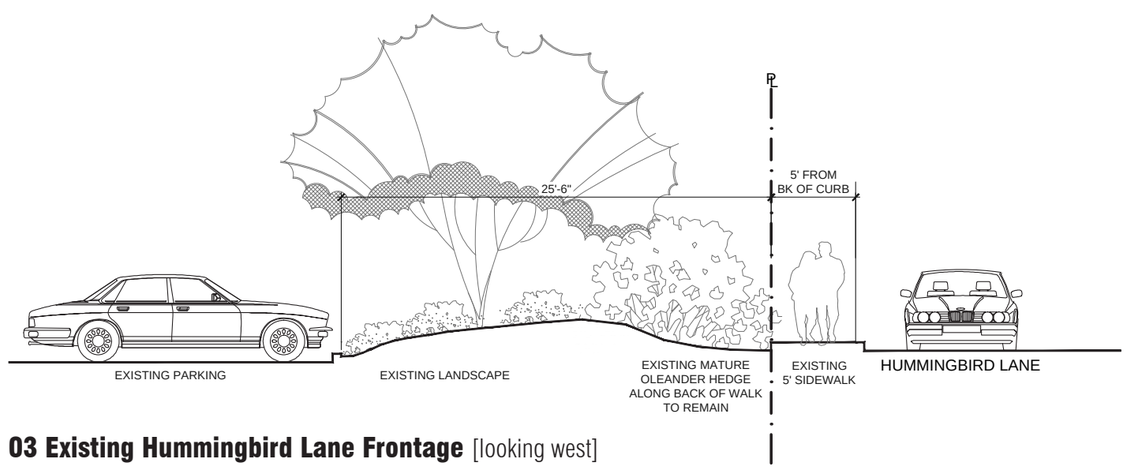




01 | Proposed Scottsdale Road Frontage [looking north]

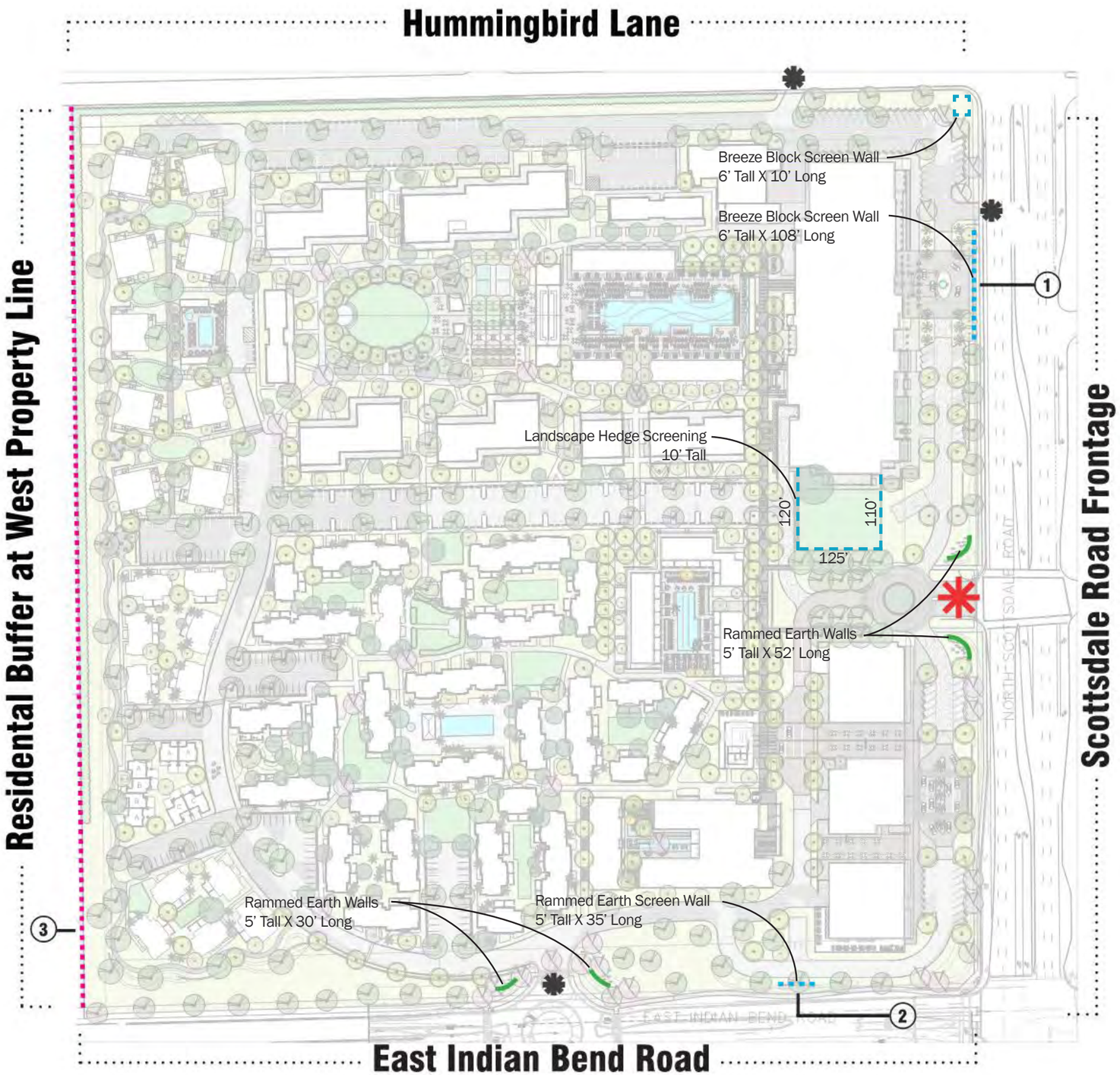


02 Proposed Indian Bend Road Frontage [looking west]



03 Existing Hummingbird Lane Frontage [looking west]

5.11 EXTERIOR SITE WALL PLAN



Legend

- Existing at Property Line (to remain)
- Entry / Low Signage Wall
- Decorative Screening (Landscape or Wall)
- Main Entry
- Secondary Entry

Key Notes:

1. Screen Wall at Porte Cochere
2. Screen Wall at Parking Garage Entry
3. Existing Perimeter Wall to Remain

Proposed Breeze Block Wall

Proposed Rammed Earth Wall

Proposed Landscape Hedge Screen Walls

Notes:

- Perimeter site walls will be kept to a minimum and will be used in specific areas to provide screening for utilities, surface parking lots, below grade parking entrances and trash enclosures.

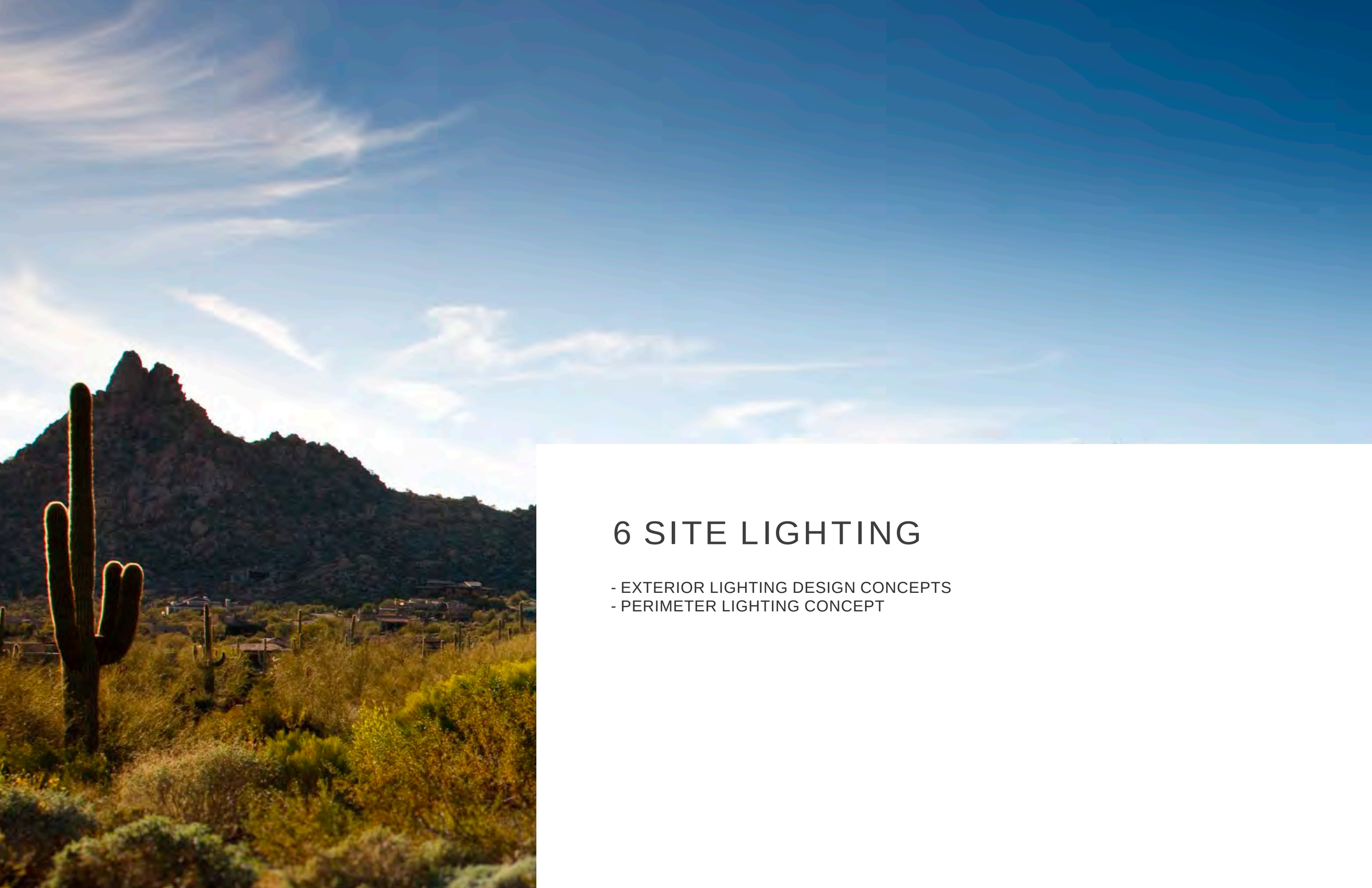
-The screen walls of the storage and trash areas along Hummingbird Lane will be kept in the existing locations and will match the existing height and will be repaired and/or refinished with materials such as sutcco, brick, stone, metal, rails, wood or tile. See Exhibit 2.1.

- All walls will be in compliance with Article XXIV of the Zoning Ordinance unless noted otherwise.

-All walls will be designed and finished to complement adjacent architecture including materials, paint and finishes.

-Entry sign walls will be located at primary Scottsdale Road entry and entry at Indian Bend Road.

-Existing perimeter wall along west property to remain.



6 SITE LIGHTING

- EXTERIOR LIGHTING DESIGN CONCEPTS
- PERIMETER LIGHTING CONCEPT

6.1 EXTERIOR LIGHTING DESIGN CONCEPTS

LIGHTING DESIGN NOTES:

1. REFER TO APPENDIX E, EXISTING LIGHTING PHOTOMETRIC STUDY FOR EXISTING CONDITIONS.

2. OVERALL SITE LIGHTING PLAN IS UNDER DESIGN DEVELOPMENT. FINAL LIGHTING PLAN WILL REFLECT FOR ALL PROJECT LIGHTING TO BE EITHER RETROFITTED, UPGRADED OR REPLACED FOLLOWING THE CRITERIA DESCRIBED BELOW ON NOTES 3 THROUGH 10.

3. ALL EXTERIOR LIGHTING AT THE PERIMETER WILL BE MOUNTED NO CLOSER THAN 10'-0" FROM THE PROPERTY LINE AND WILL PROVIDE NO MORE THAN 0.5 FOOT-CANDLES AT THE NEAREST PROPERTY LINE.

4. EXTERIOR LIGHT SOURCES WILL BE NO WHITER THAN 2700°K, FULLY SHIELDED, WILL NOT EXCEED 300 LUMENS AND WILL NOT BE HIGHER THAN 3'-0" ABOVE GRADE, INCLUDING ANY POST-MOUNTED FIXTURES.

5. ANY UPLIGHTS (NO MORE THAN 1,589) WILL NOT BE SPECIFIED WITH BEAMS WIDER THAN 45° AND WILL ALL HAVE HEX LOUVERS AND BE FULLY SHIELDED FOR GLARE CONTROL.

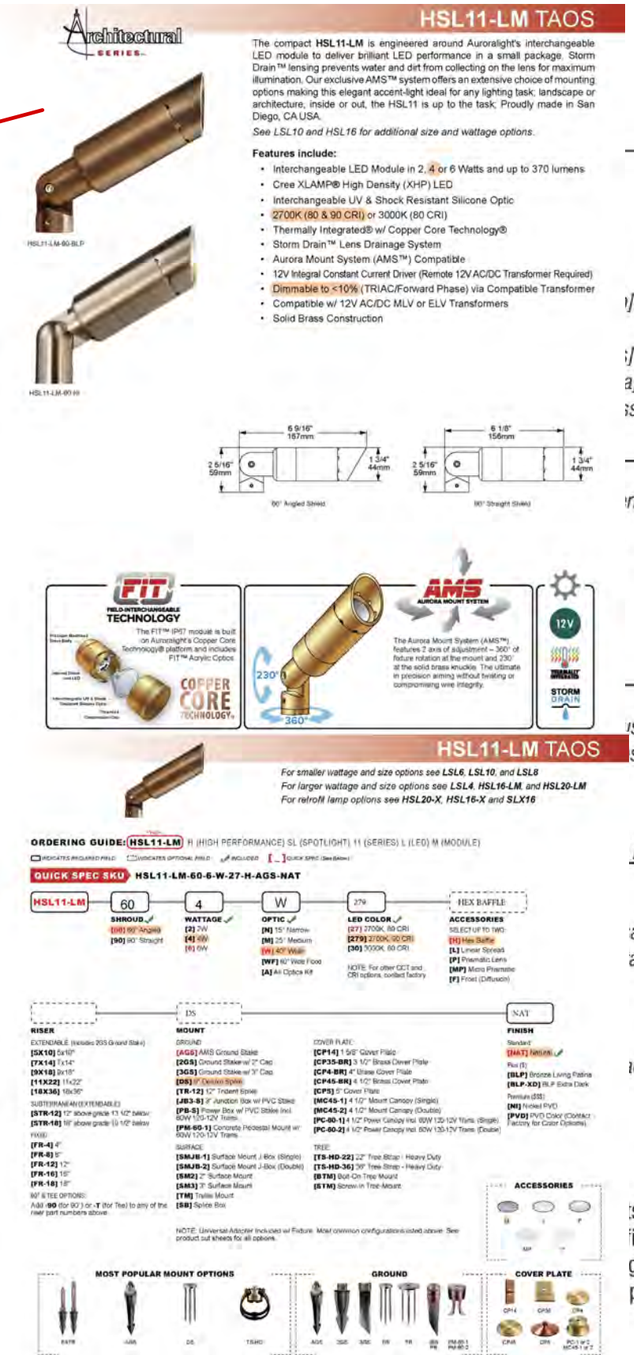
6. SOME ENTRY LIGHTING BY DOORS WILL BE NO HIGHER THAN 8'-6" ABOVE GRADE, SHIELDED BY ARCHITECTURE AND NOT NECESSARILY BE A SHIELDED FIXTURE ITSELF.

7. ANY LIGHTING IN TREES WILL BE FULLY SHIELDED 150 LUMEN MAXIMUM DOWNLIGHTS NO HIGHER THAN 8'-6" ABOVE GRADE AND NO MORE THAN THREE PER TREE.

8. POLE LIGHTING WILL NOT EXCEED 16'-0" HEIGHT ABOVE GRADE.

9. PARKING LOTS WILL NOT EXCEED 1.6 FOOT-CANDLES AND MOST OTHER AREAS WILL NOT EXCEED 3 TO 5 FOOT-CANDLES.

NO LIGHTING THIS ZONE
Hummingbird Lane
Residental Buffer at West Property Line
Scottsdale Road Frontage
NORTH SCOTTSDALE ROAD
EAST INDIAN BEND ROAD
East Indian Bend Road
1
2
3
4
5
6
7
8
9
10


Architectural SERIES
HSL11-LM TAOS
The compact HSL11-LM is engineered around Auroralight's interchangeable LED module to deliver brilliant LED performance in a small package. Storm Drain™ lensing prevents water and dirt from collecting on the lens for maximum illumination. Our exclusive AMS™ system offers an extensive choice of mounting options making this elegant accent-light ideal for any lighting task; landscape or architecture, inside or out, the HSL11 is up to the task. Proudly made in San Diego, CA USA.
See LSL10 and HSL16 for additional size and wattage options.
Features include:
Interchangeable LED Module in 2, 4 or 6 Watts and up to 370 lumens
Cree XLAMP® High Density (XHP) LED
Interchangeable UV & Shock Resistant Silicone Optic
2700K (80 & 90 CRI) or 3000K (80 CRI)
Thermally Integrated® w/ Copper Core Technology®
Storm Drain™ Lens Drainage System
Aurora Mount System (AMS™) Compatible
12V Integral Constant Current Driver (Remote 12V AC/DC Transformer Required)
Dimmable to <10% (TRIAC/Forward Phase) via Compatible Transformer
Compatible w/ 12V AC/DC MLV or ELV Transformers
Solid Brass Construction
FIT FIELD-INTERCHANGEABLE TECHNOLOGY
COPPER CORE TECHNOLOGY
AMS AURORA MOUNT SYSTEM
12V
STORM DRAIN
HSL11-LM TAOS
For smaller wattage and size options see LSL6, LSL10, and LSL8
For larger wattage and size options see LSL4, HSL16-LM, and HSL20-LM
For retrofit lamp options see HSL20-X, HSL16-X and SLX16
ORDERING GUIDE: HSL11-LM H (HIGH PERFORMANCE) SL (SPOTLIGHT) 11 (SERIES) L (LED) M (MODULE)
QUICK SPEC SKU HSL11-LM-60-6-W-27-H-AGS-NAT
HSL11-LM 60 4 W 279 HEX BAFFLE
SHROUD
WATTAGE
OPTIC
LED COLOR
ACCESSORIES
FINISH
MOST POPULAR MOUNT OPTIONS
GROUND
COVER PLATE

7 SIGNAGE

- SIGN LOCATIONS PRELIMINARY DIAGRAM
- MAIN ENTRY CONCEPT

7.1 PERIMETER SITE SIGNAGE
SIGN LOCATIONS PRELIMINARY DIAGRAM

SIGNAGE LEGEND

- MAIN ID ENTRANCE SIGNS
- SECONDARY ID ENTRANCE SIGNS
- RESTAURANT SIGNS (SEE NOTE 8)

SIGNAGE GENERAL NOTES:

1. ALL PROPOSED AND/OR EXISTING SIGNS WILL BE COMPLIANT WITH THE SUP GUIDELINES AND ZONING ORDINANCES UNLESS OTHERWISE NOTED.

2. AN IDENTIFICATION SIGN WILL BE LOCATED AT EACH ENTRANCE TO THE RESORT FROM A MAJOR OR MINOR ARTERIAL STREET. THE MAXIMUM HEIGHT SHALL BE 8 FEET AND THE MAXIMUM SIGN AREA SHALL BE 40 SQUARE FEET, AGGREGATE.

3. ON ENTRANCES FROM ALL OTHER STREETS, THE HEIGHT WILL NOT BE LARGER THAN 4 FT AND THE MAXIMUM AREA SHALL BE 32 SQUARE FEET, AGGREGATE.

4. ALL SIGNS WILL BE ONLY BACKLIT OR INDIRECTLY ILLUMINATED ACCORDING TO THE STANDARDS IN ARTICLE XXV, SIGNS, OF THE TOWN'S ZONING ORDINANCE.

5. SIGNS WILL NOT BE MOVING OR ANIMATED.

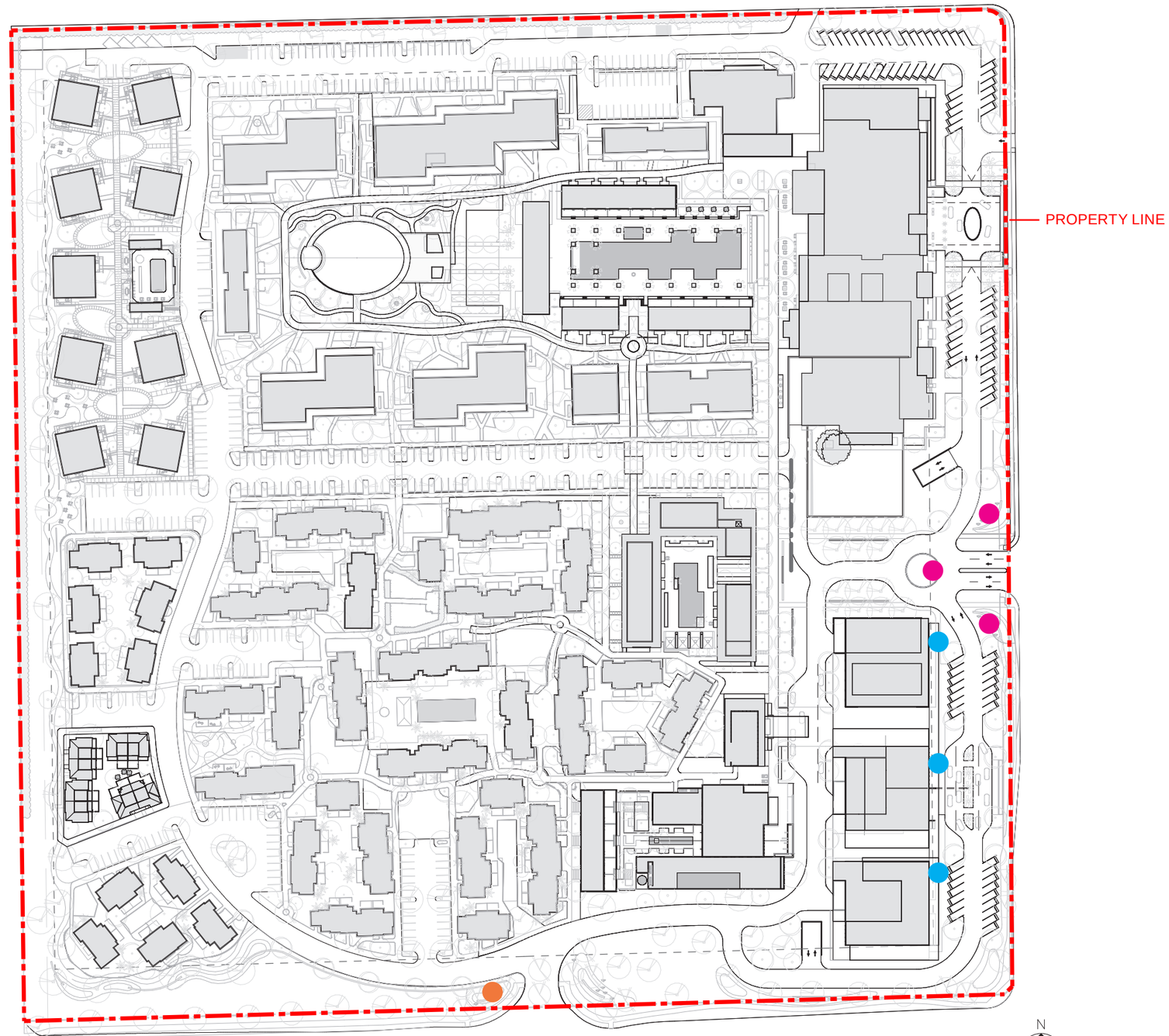
6. TRAFFIC AND DIRECTIONAL SIGNS WITHIN THE SITE WILL NOT EXCEED 12 SQUARE FEET IN AREA, AGGREGATE, AND WILL NOT EXCEED 5 FEET IN HEIGHT.

6. SIGNS MOUNTED ON EXTERIOR WALLS OF ANY STRUCTURE WILL CONTAIN ONLY STRUCTURE IDENTIFICATION AS NECESSARY FOR EMERGENCY ACCESS, UNLESS OTHERWISE NOTED.

7. ALL SIGNS WILL BE MOUNTED INSIDE THE BOUNDARY OF THE PROPERTY LINE, AND THEREFORE, WILL NOT ENCROACH ON ANY RIGHT-OF-WAY.

8. FUTURE RESORT RESTAURANTS' OPERATORS MAY DESIRE TO ADD SPECIFIC BUILDING FACADE MOUNTED BRANDING SIGNAGE TO RESTAURANTS 1 THROUGH 3. IF THAT WERE THE CASE, ANOTHER AMENDMENT TO THE SPECIAL USE PERMIT WILL BE SUBMITTED AT A FUTURE DATE.

9. SPECIFIC QUANTITIES FOR VARIOUS SIGN TYPES WILL BE FURTHER DEVELOPED IN THE NEXT PHASE.



0 75 150 FT

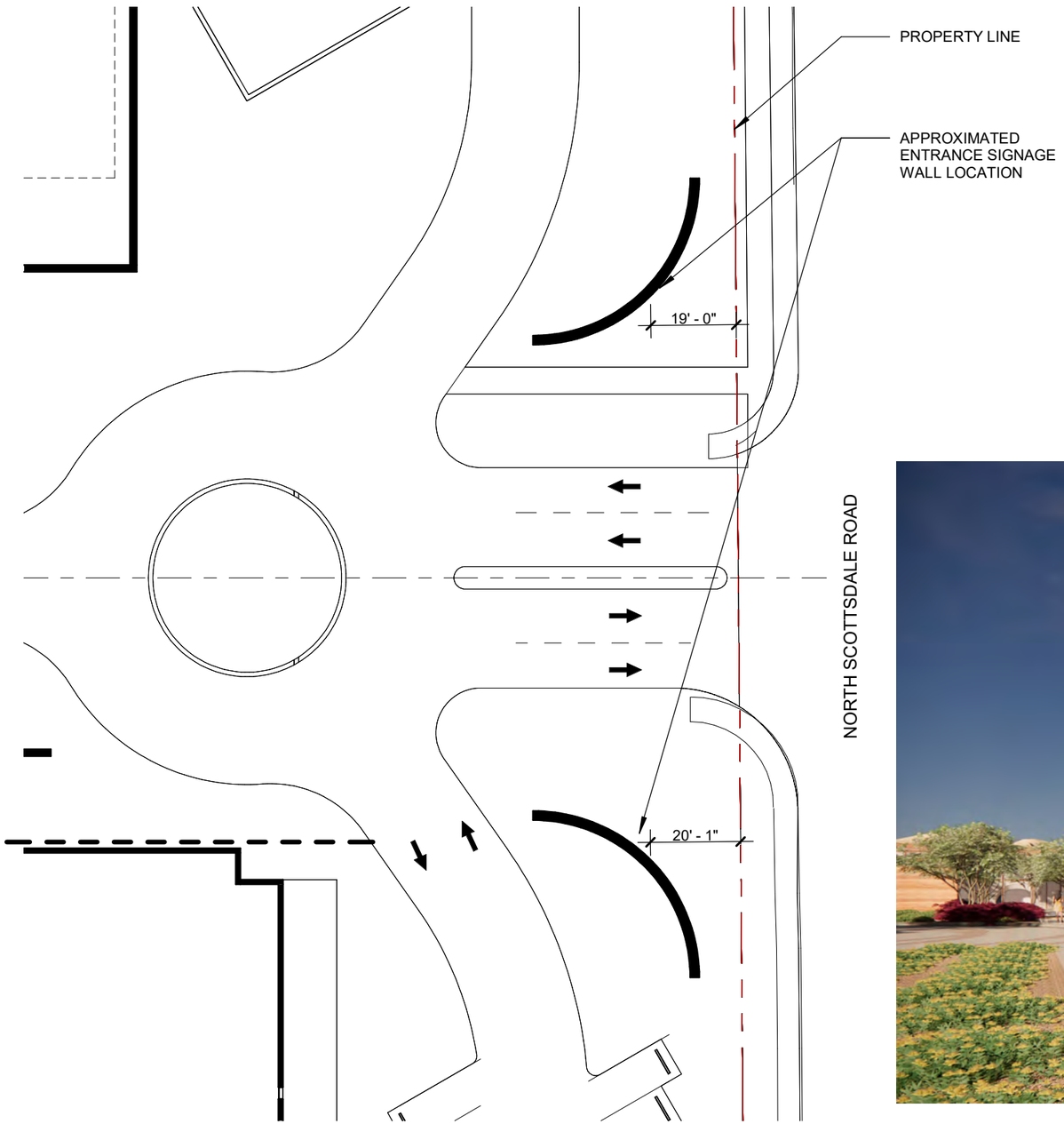
N

HIGHGATE HKS FLOOR associates ktgy SDDG Design Agency RLB Rider Levett Bucknall GMLD GRANVILLE MCANEAE LIGHTING DESIGN ATWELL ROSE LAW GROUP pc RICH • CARTER • FISHER SUMMIT LAND MANAGEMENT

SCOTTSDALE PLAZA RESORT

PARADISE VALLEY SPECIAL USE PERMIT APPLICATION

7.2 SIGNAGE
MAIN ENTRY CONCEPT



8 CIVIL ENGINEERING

- EXISTING ALTA SURVEY & LEGAL DESCRIPTION
- PRELIMINARY GRADING, DRAINAGE & UTILITIES

SCOTTSDALE PLAZA RESORT
A.L.T.A./N.S.P.S. LAND TITLE SURVEY

A PORTION OF LAND LOCATED IN THE SOUTHEAST QUARTER OF SECTION 3, TOWNSHIP 2 NORTH, RANGE 4 EAST, OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

TITLE NOTES

THIS SURVEY IS BASED ON A COMMITMENT FOR TITLE INSURANCE BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, ISSUED BY FIDELITY NATIONAL TITLE AGENCY, INC.
FILE NO. CCHI2101291NT (NCS) Z2135694-001-IMP-MB2 (LOCAL) DATED 02/12/2021

THE PROPERTY IS SUBJECT TO THE FOLLOWING, ACCORDING TO SCHEDULE B OF SAID COMMITMENT:

1. PROPERTY TAXES, INCLUDING ANY PERSONAL PROPERTY TAXES AND ANY ASSESSMENTS COLLECTED WITH TAXES, FOR THE SECOND INSTALLMENT OF 2020 TAXES.
(AFFECTS ALL PARCELS - BLANKET EFFECT - NOT MAPPABLE)

2. PROPERTY TAXES, WHICH ARE A LIEN NOT YET DUE AND PAYABLE, INLCUDING ANY ASSESSMENTS COLLECTED WITH TAXES TO BE LEVIED FOR THE YEAR 2021.
(AFFECTS ALL PARCELS - BLANKET EFFECT - NOT MAPPABLE)

3. RESERVATIONS CONTAINED IN THE PATENT FROM THE UNITED STATES OF AMERICA RECORDED FEBRUARY 19, 1912 IN BOOK 95 OF DEEDS, PAGE 575 WHICH AMONG OTHER THINGS RECITES AS FOLLOWS:
SUBJECT TO ANY VESTED AND ACCRUED WATER RIGHTS FOR MINING, AGRICULTURAL, MANUFACTURING, OR OTHER PURPOSES AND RIGHTS TO DITCHES AND RESERVOIRS USED IN CONNECTION WITH SUCH WATER RIGHTS, AS MAY BE RECOGNIZED AND ACKNOWLEDGED BY THE LOCAL CUSTOMS, LAWS AND DECISIONS OF THE COURTS, AND THE RESERVATION FROM THE LANDS HEREBY GRANTED, A RIGHT OF WAY THEREON FOR DITCHES OR CANALS CONSTRUCTED BY THE AUTHORITY OF THE UNITED STATES.
(AFFECTS ALL PARCELS - BLANKET EFFECT - NOT MAPPABLE)

4. WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS.
(AFFECTS ALL PARCELS - BLANKET EFFECT - NOT MAPPABLE)

5. EASEMENT FOR ELECTRIC LINES AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT RECORDED JULY 17, 1941 AS BOOK 62 OF MISCELLANEOUS, PAGE 21.
(AFFECTS ALL PARCELS - MAPPED HEREON)

6. EASEMENT(S) FOR GAS MAINS AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT RECORDED JUNE 17, 1955 AS DOCKET 1652, PAGE 165.
(AFFECTS PARCELS 1 AND 2 - MAPPED HEREON)

7. MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED SPECIAL USE PERMIT #71-8 RECORDED AUGUST 9, 1971 AS DOCKET 8872, PAGE 166 AND THEREAFTER APPROVAL FOR AN AMENDMENT RECORDED DECEMBER 30, 1981 AS DOCKET 15732, PAGE 866 AND THEREAFTER AMENDMENT RECORDED JANUARY 4, 1983 AS RECORDING NO. 83-002292 AND THEREAFTER APPROVAL FOR AN AMENDMENT RECORDED APRIL 2, 1984 AS RECORDING NO. 84-136743 AND THEREAFTER AMENDMENT RECORDED APRIL 18, 1989 AS RECORDING NO. 89-176300.
(AFFECTS ALL PARCELS - MAPPED HEREON)

8. EASEMENT FOR WATER LINES AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT RECORDED FEBRUARY 21, 1985 AS RECORDING NO. 85-076722.
(AFFECTS ALL PARCELS - MAPPED HEREON)

9. INTERGOVERNMENTAL AGREEMENT ACCORDING TO THE TERMS AND CONDITIONS CONTAINED THEREIN EXECUTED BY THE CITY OF SCOTTSDALE, A MUNICIPAL CORPORATION AND THE TOWN OF PARADISE VALLEY, A MUNICIPAL CORPORATION RECORDED FEBRUARY 12, 1996 AS RECORDING NO. 96-0095319.
(AFFECTS ALL PARCELS - BLANKET EFFECT - NOT MAPPABLE)

10. EASEMENT(S) FOR ELECTRICAL AND TELECOMMUNICATION LINES, FACILITIES AND FIXTURES AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT RECORDED JULY 8, 2003 AS RECORDING NO. 2003-0885362.
(AFFECTS PARCEL 3 - MAPPED HEREON)

11. ANY RIGHTS OF THE PARTIES IN POSSESSION OF A PORTION OF, OR ALL OF, SAID LAND, WHICH RIGHTS ARE NOT DISCLOSED BY THE PUBLIC RECORDS.
(AFFECTS ALL PARCELS - BLANKET EFFECT - NOT MAPPABLE)

12. MATERS WHICH MAY BE DISCLOSED BY AN INSPECTION AND/OR BY A CORRECT ALTA/NSPS LAND TITLE SURVEY OF SAID LAND THAT IS SATISFACTORY TO THE COMPANY, AND/OR BY INQUIRY OF THE PARTIES IN POSSESSION THEREOF.
(AFFECTS ALL PARCELS - BLANKET EFFECT - NOT MAPPABLE)

ADJOINING PARCEL TABLE

APN	LOT NO.	DEED NO.	OWNER(S)
174-50-009	2	2016-0864251	NUCAPITULO LLC
174-50-010	3	2003-0533505	MICHAEL STAMPS TRUST & BEATRIZ GARCIA TRUST
174-50-011	4	2017-0323291	ALICIA & ESTELIA MANGRAM
174-50-012	5	2017-0893523	MICHAEL & JOY OTHITES TRUST
174-50-013	6	2019-0549243	JOSEPH P FERRARO
174-50-014	7	2017-0763233	CLAYTON W COADY LIVING TRUST

ALL ADJOINING PARCELS ARE LOTS WITHIN ADOBE RANCH UNIT 1, PER BOOK 86 OF MAPS, PAGE 29, MARICOPA COUNTY RECORDS.

PARCEL AREA TABLE

PARCEL	NET AREA (SF)	NET AREA (AC)	GROSS AREA (SF)	GROSS AREA (AC)
PARCEL NO. 1	398,326	9.144	398,326	9.144
PARCEL NO. 2	385,999	8.861	428,864	9.845
PARCEL NO. 3	805,035	18.481	805,035	11.481
TOTAL	1,589,360	36.487	1,632,225	37.471

SURVEY NOTES

PURSUANT TO TABLE "A", ITEM 1, MONUMENTS HAVE BEEN PLACED (OR A REFERENCE MONUMENT OR WITNESS TO THE CORNER) AT ALL MAJOR CORNERS OF THE BOUNDARY OF THE PROPERTY, UNLESS ALREADY MARKED OR REFERENCED BY EXISTING MONUMENTS OR WITNESSES IN CLOSE PROXIMITY TO THE CORNER.

PURSUANT TO TABLE "A", ITEM 2, THE PROPERTY ADDRESS IS 7200 NORTH SCOTTSDALE ROAD, PARADISE VALLEY, ARIZONA 85253.

PURSUANT TO TABLE "A", ITEM 3, FLOOD ZONE INFORMATION IS SHOWN IN THE FLOOD ZONE CERTIFICATION.

PURSUANT TO TABLE "A", ITEM 4, PARCEL AREAS ARE SHOWN IN THE PARCEL AREA TABLE BELOW.

PURSUANT TO TABLE "A", ITEM 6(A), THE SURVEYED PARCELS ARE ZONED S.U.P.(SPECIAL USE PERMIT) - RESORT ACCORDING TO ZONING INFORMATION PROVIDED BY THE CLIENT ON APRIL 2, 2018. THIS SPECIAL USE PERMIT INCLUDES A MAXIMUM BUILDING HEIGHT RESTRICTION OF 28' AND A MAXIMUM BUILDING COVERAGE OF 17.5%. IT IS ALSO THE SAME DOCUMENTS AS SCHEDULE B, ITEM 7.

PURSUANT TO TABLE "A", ITEM 6(B), SETBACKS DEPICTED IN THE SPECIAL USE PERMIT ZONING INFORMATION PROVIDED BY THE CLIENT ON APRIL 2, 2018 ARE SHOWN ON THE PLAT OF SURVEY.

PURSUANT TO TABLE "A", ITEM 7(A), EXTERIOR DIMENSIONS OF THE BUILDINGS AT GROUND LEVEL ARE SHOWN ON THE PLAT OF SURVEY.

PURSUANT TO TABLE "A", ITEM 7(B)(1), THE SQUARE FOOTAGE OF ALL BUILDINGS AT GROUND LEVEL ARE SHOWN ON THE PLAT OF SURVEY.

PURSUANT TO TABLE "A", ITEM 7(C), THE MEASURED HEIGHT OF ALL BUILDINGS ARE SHOWN ON THE PLAT OF SURVEY. BUILDING HEIGHTS ARE MEASURED FROM FINISH FLOOR TO THE TOP OF BUILDING.

PURSUANT TO TABLE "A", ITEM 8, SUBSTANTIAL FEATURES OBSERVED IN THE FIELD ARE SHOWN ON THE PLAT OF SURVEY.

PURSUANT TO TABLE "A", ITEM 9, THE SURVEYED PARCEL CONTAINS A TOTAL OF 736 STRIPED PARKING SPACES, OF WHICH 16 ARE HANDICAP ACCESSIBLE SPACES. PARKING SPACES ARE SHOWN ON THE PLAT OF SURVEY.

PURSUANT TO TABLE "A", ITEM 10, THE RELATIONSHIP AND LOCATION OF DIVISION OR PARTY WALLS TO ADJOINING PROPERTIES ARE SHOWN ON THE PLAT OF SURVEY.

PURSUANT TO TABLE "A", ITEM 11(A), UNDERGROUND UTILITIES SHOWN ARE BASED ON PLANS AND/OR REPORTS PROVIDED BY A THIRD PARTY (DRY UTILITIES, INC.).

PURSUANT TO TABLE "A", ITEM 13, NAMES OF ADJOINING OWNERS OF SUBDIVIDED LANDS ACCORDING TO CURRENT TAX RECORDS ARE SHOWN ON THE PLAT OF SURVEY.

PURSUANT TO TABLE "A", ITEM 14, THE DISTANCE TO THE NEAREST INTERSECTION STREET IS SHOWN ON THE PLAT OF SURVEY.

PURSUANT TO TABLE "A", ITEM 16, THERE IS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.

PURSUANT TO TABLE "A", ITEM 17, THERE IS NO INFORMATION AVAILABLE CONCERNING ANY CHANGES IN STREET RIGHT OF WAY LINES, EITHER COMPLETED OR PROPOSED. INDIAN BEND ROAD IS CURRENTLY UNDER CONSTRUCTION. THERE IS OTHERWISE NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.

PURSUANT TO TABLE "A", ITEM 18, PLOTTABLE OFFSITE EASEMENTS AND SERVITUDES DISCLOSED TO OR OBTAINED BY THIS SURVEYOR ARE SHOWN ON THE PLAT OF SURVEY.

NO INFORMATION CONCERNING RIGHT-OF-WAY DEDICATIONS OR EASEMENTS ON PARCEL NO. 2 OR OTHER ADJOINING ROADWAYS HAS BEEN DISCLOSED. ADJOINING RIGHTS-OF-WAY ARE MAPPED PER INFORMATION FROM THE MARICOPA COUNTY ASSESSOR UNLESS NOTED OTHERWISE.

BEARINGS, DISTANCES AND CURVE DATA NOT SPECIFIED AS RECORD OR MEASURED REPRESENT CVL FIELD MEASURED DATA.

THE PROPERTY DESCRIBED HEREON IS THE SAME AS THE PROPERTY DESCRIBED IN CHICAGO TITLE INSURANCE COMPANY COMMITMENT NO. CCHI2101291NT WITH AN EFFECTIVE DATE OF FEBRUARY 12, 2021 AND THAT ALL EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID TITLE COMMITMENT OR APPARENT FROM A PHYSICAL INSPECTION OF THE SITE OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE SUBJECT PROPERTY.

SOURCES USED IN THE PREPARATION OF THIS SURVEY INCLUDE:
BOOK 734 OF MAPS, PAGE 10
BOOK 1221 OF MAPS, PAGE 41
BOOK 1297 OF MAPS, PAGE 21

LEGAL DESCRIPTION

PARCEL NO. 1: (174-49-001B)

A PARCEL OF LAND LOCATED IN THE SOUTHEAST QUARTER OF SECTION 3, TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

BEGINNING AT THE POINT OF INTERSECTION OF THE WEST LINE OF THE SAID SOUTH HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 3 WITH THE NORTH RIGHT OF WAY LINE OF INDIAN BEND ROAD FROM WHICH THE SOUTHWEST CORNER OF SAID SOUTH HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 3 BEARS SOUTH 0 DEGREES 48 MINUTES 00 SECONDS WEST, 33.00 FEET AND SAID SOUTHWEST CORNER IS MARKED WITH 1 1/2 INCH IRON PIPE;

THENCE NORTH 0 DEGREES 48 MINUTES 00 SECONDS EAST, 630.97 FEET TO THE NORTHWEST CORNER OF THE SAID SOUTH HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 3 AND WHICH POINT IS MARKED WITH A INCH IRON BAR;

THENCE SOUTH 89 DEGREES 50 MINUTES 00 SECONDS EAST, 640.26 FEET TO A POINT FROM WHICH THE NORTHEAST CORNER OF THE SAID SOUTH HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 3 BEARS SOUTH 89 DEGREES 50 MINUTES 00 SECONDS EAST, 687.26 FEET AND IS MARKED WITH A BRASS CAP SET IN CONCRETE;

THENCE SOUTH 0 DEGREES 56 MINUTES 10 SECONDS WEST, 629.12 FEET TO A POINT ON THE NORTH RIGHT OF WAY LINE OF INDIAN BEND ROAD;

THENCE WEST ALONG THE NORTH RIGHT OF WAY LINE OF INDIAN BEND ROAD, 638.78 FEET TO THE POINT OF BEGINNING.

PARCEL NO. 2: (174-49-001A)

THE SOUTH HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 3, TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA;

EXCEPT THAT PORTION DESCRIBED AS FOLLOWS:

BEGINNING AT THE POINT OF INTERSECTION OF THE WEST LINE OF THE SAID SOUTH HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 3 WITH THE NORTH RIGHT OF WAY LINE OF INDIAN BEND ROAD FROM WHICH THE SOUTHWEST CORNER OF SAID SOUTH HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 3 BEARS SOUTH 0 DEGREES 48 MINUTES 00 SECONDS WEST, 33.00 FEET AND SAID SOUTHWEST CORNER IS MARKED WITH A 1 1/2 INCH IRON PIPE;

THENCE NORTH 0 DEGREES 48 MINUTES 00 SECONDS EAST, 630.97 FEET TO THE NORTHWEST CORNER OF THE SAID SOUTH HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 3 AND WHICH POINT IS MARKED WITH A 3/4 INCH IRON BAR;

THENCE SOUTH 89 DEGREES 50 MINUTES 00 SECONDS EAST, 640.26 FEET TO A POINT FROM WHICH THE NORTHEAST CORNER OF THE SAID SOUTH HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 3 BEARS SOUTH 89 DEGREES 50 MINUTES 00 SECONDS EAST, 687.26 FEET AND IS MARKED WITH A BRASS CAP SET IN CONCRETE;

THENCE SOUTH 0 DEGREES 56 MINUTES 10 SECONDS WEST, 629.12 FEET TO A POINT ON THE NORTH RIGHT OF WAY LINE OF INDIAN BEND ROAD;

THENCE WEST ALONG THE NORTH RIGHT OF WAY LINE OF INDIAN BEND ROAD, 638.78 FEET TO THE POINT OF BEGINNING;

EXCEPT FROM PARCEL NOS. 1 AND 2 ABOVE THE FOLLOWING DESCRIBED PROPERTY:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 3;

THENCE SOUTH 89 DEGREES 57 MINUTES 05 SECONDS WEST, ALONG THE SOUTH LINE OF SAID SECTION 3, 33.01 FEET, TO THE WEST LINE OF THE EAST 33.00 FEET OF SAID SECTION 3, SAID POINT BEING THE TRUE POINT OF BEGINNING;

THENCE NORTH 01 DEGREES 02 MINUTES 30 SECONDS EAST, ALONG SAID WEST LINE, 660.29 FEET, TO THE NORTH LINE OF THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SAID SOUTHEAST QUARTER;

THENCE NORTH 89 DEGREES 53 MINUTES 12 SECONDS WEST, ALONG SAID NORTH LINE, 32.00 FEET, TO THE WEST LINE OF THE EAST 65.00 FEET OF SAID SECTION 3;

THENCE SOUTH 01 DEGREES 02 MINUTES 30 SECONDS WEST, ALONG SAID WEST LINE, 610.37 FEET;

THENCE SOUTH 45 DEGREES 29 MINUTES 47 SECONDS WEST, 14.28 FEET, TO THE NORTH LINE OF THE SOUTH 40.00 FEET OF SAID SECTION 3;

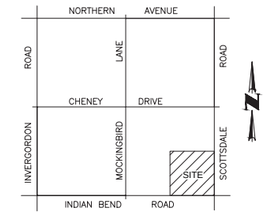
THENCE SOUTH 89 DEGREES 57 MINUTES 05 SECONDS WEST, ALONG SAID NORTH LINE, 1249.30 FEET, TO THE WEST LINE OF THE SOUTHEAST QUARTER OF SAID SOUTHEAST QUARTER;

THENCE SOUTH 00 DEGREES 48 MINUTES 00 SECONDS WEST, ALONG SAID WEST LINE, 7.00 FEET, TO THE NORTH LINE OF THE SOUTH 33.00 FEET OF SAID SECTION 3;

THENCE NORTH 89 DEGREES 57 MINUTES 05 SECONDS EAST, ALONG SAID NORTH LINE, 638.79 FEET;

THENCE SOUTH 00 DEGREES 56 MINUTES 10 SECONDS WEST, 33.00 FEET, TO THE SOUTH LINE OF SAID SECTION 3;

THENCE NORTH 89 DEGREES 57 MINUTES 05 SECONDS EAST, ALONG SAID SOUTH LINE, 652.43 FEET, TO THE TRUE POINT OF BEGINNING.



VICINITY MAP
(NOT-TO-SCALE)

LEGAL DESCRIPTION

PARCEL NO. 3: (174-49-002A)

THE NORTH HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 3, TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA;

EXCEPT THAT PORTION OF THE ABOVE REAL PROPERTY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID SECTION 3;

THENCE NORTH ALONG THE EAST LINE OF SAID SECTION 3, A DISTANCE OF 660.24 FEET TO THE SOUTHEAST CORNER OF THE NORTH HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 3;

THENCE SOUTH 89 DEGREES 05 MINUTES 16 SECONDS WEST ALONG THE SOUTH LINE OF THE NORTH HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 3,A DISTANCE OF 65.00 FEET TO THE TRUE POINT OF BEGINNING;

THENCE NORTH 615.24 FEET TO THE BEGINNING OF A CURVE TO THE LEFT WITH A DELTA OF 90 DEGREES 44 MINUTES 03 SECONDS AND A LENGTH OF 31.67 FEET TO A POINT;

THENCE SOUTH 89 DEGREES 15 MINUTES 03 SECONDS WEST 1245 FEET TO A POINT ON THE WEST LINE OF THE NORTH HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 3 BEING 25 FEET SOUTH OF THE NORTH LINE OF THE NORTH HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 3;

THENCE NORTH 0 DEGREES 20 MINUTES 53 SECONDS WEST, 25 FEET TO SAID NORTH LINE;

THENCE NORTH 89 DEGREES 15 MINUTES 03 SECONDS EAST 1330 FEET TO THE NORTHEAST CORNER OF THE NORTH HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 3;

THENCE SOUTH 660.24 FEET;

THENCE SOUTH 89 DEGREES 5 MINUTES 16 SECONDS WEST 65.00 FEET TO THE POINT OF BEGINNING.

SHEET INDEX

SHEET 1	COVER
SHEETS 2-3	A.L.T.A. SURVEY
SHEETS 4-6	BUILDING DETAILS

FLOOD ZONE CERTIFICATION

THIS IS TO CERTIFY THAT THIS PROPERTY IS LOCATED WITHIN THE UNSHADED ZONE "X" FLOOD HAZARD AREA PER FIRM MAP PANEL NUMBER 04013C-1770 M DATED SEPTEMBER 18, 2020 AS PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) AND AS OBTAINED FROM THE FEMA WEBSITE ON MARCH 2, 2021.

UNSHADED ZONE "X" AS DEFINED BY FEMA IS:
AREAS OF MINIMAL FLOOD HAZARD.

BASIS OF BEARING

THE BASIS OF BEARINGS FOR THIS SURVEY IS NORTH 88°25'57" EAST ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 3, TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER MERIDIAN, ACCORDING TO BOOK 1297 OF MAPS, PAGE 21, MARICOPA COUNTY RECORDS.

CERTIFICATION

TO THE SCOTTSDALE PLAZA RESORT, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY; AND CHICAGO TITLE INSURANCE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(A), 6(B), 7(A), 7(B)(1), 7(C), 8, 9, 10, 11(A), 13, 14, 16, 17, 18 AND 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 03/03/2021.

DATE OF PLAT OR MAP: 03/03/2021

RICHARD G. ALCOCER
REGISTRATION NUMBER 33851
4550 N. 12TH STREET
PHOENIX, ARIZONA 85014
(602)-264-6831
CVLSURVEY@CVLCI.COM

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CELEBRATING 60 YEARS
4550 North 12th Street
Phoenix, Arizona 85014
602-264-6831
www.cvlci.com

NO.	REVISION	DATE

Coe & Van Loo Consultants, Inc.

A.L.T.A. / N.S.P.S. LAND TITLE SURVEY

SCOTTSDALE PLAZA RESORT
PARADISE VALLEY, ARIZONA

Registered Land Surveyor
CERTIFICATE NO.
33851
RICHARD G.
ALCOCER
Date Signed 3-4-21
ARIZONA U.S.A.

SHEET 1 OF 6

CVL Contact: M. RUSSO
CVL Project #: 1-01-03176-01

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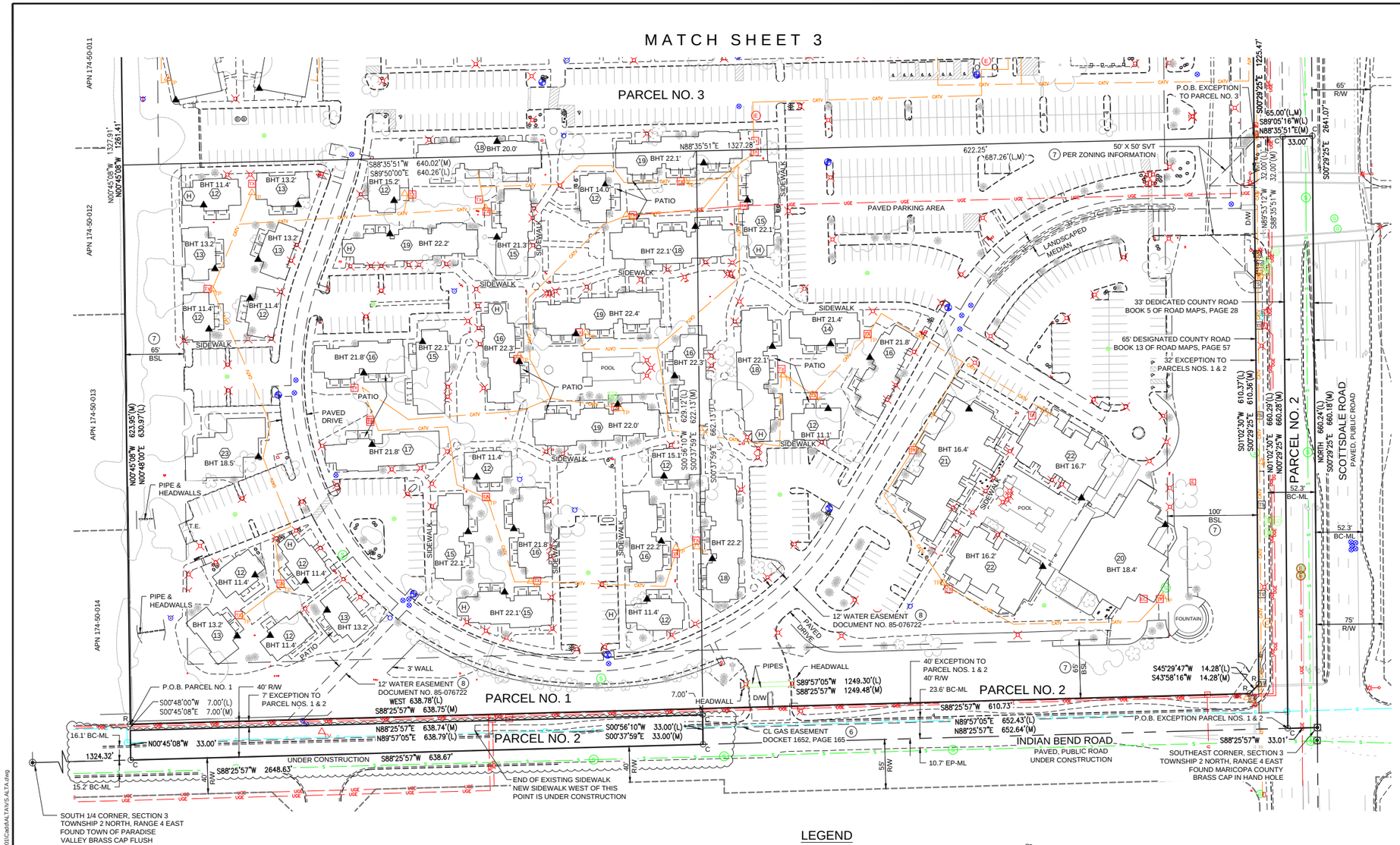

LEGEND

(L)	RECORD INFORMATION PER LEGAL DESCRIPTION	P.O.B.	POINT OF BEGINNING		MANHOLE STORM DRAIN		TELEPHONE PEDESTAL		TREE (GENERIC)		PROPERTY LINE
(M)	MEASURED INFORMATION	PL	PROPERTY LINE		MANHOLE (GENERIC)		MANHOLE COMMUNICATIONS		TREE - PALM		UNDERGROUND WATER LINE
APN	ASSESSOR PARCEL NUMBER	R/W	RIGHT-OF-WAY		POLE STREET LIGHT		MANHOLE SANITARY SEWER		SAGUARO CACTUS		UNDERGROUND SEWER LINE
BC	BACK OF CURB		CALCULATED POSITION - NOTHING FOUND, NOTHING SET		ELECTRIC CABINET		FIRE HYDRANT		BOULDER		UNDERGROUND STORM DRAIN LINE
BHT	BUILDING HEIGHT		FOUND BRASS CAP FLUSH		JUNCTION BOX		WATER VALVE		BACKFLOW PREVENTOR		UNDERGROUND ELECTRICAL LINE
BSL	BUILDING SETBACK LINE		FOUND BRASS CAP IN HAND HOLE		MANHOLE ELECTRIC		WATER METER		BOLLARD		UNDERGROUND GAS LINE
CL	CENTERLINE		SET 1/2" REBAR WITH CAP LS#33851		TRANSFORMER		GAS VALVE		FIRE DEPARTMENT CONNECTION		UNDERGROUND CABLE TV LINE
D/W	DRIVEWAY		BUILDING HEIGHT MEASUREMENT POINT		TRAFFIC CABINET		SIGN - GAS UNDERGROUND		SIGN WITH LANDSCAPE LIGHTS		EDGE OF VEGETATION
EP	EDGE OF PAVEMENT		CATCH BASIN		TRAFFIC SIGNAL POLE		SIGN		SCHEDULE B ITEM NUMBER		STRIPING ARROW
ML	MONUMENT LINE		DRYWELL		TRAFFIC PULL BOX		HANDICAP ACCESSIBLE PARKING		BUILDING TYPE NUMBER		AREA UNDER CONSTRUCTION AT DATE OF SITE VISIT

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SCOTTSDALE PLAZA RESORT
PARADISE VALLEY, ARIZONA

Registered Land Surveyor
CERTIFICATE NO.
33851
RICHARD G. ALCOCER
Date Signed 3-4-21
ARIZONA U.S.A.

SHEET 2 OF 6

CVL Contact: M. RUSSO
CVL Project #: 1-01-03176-01

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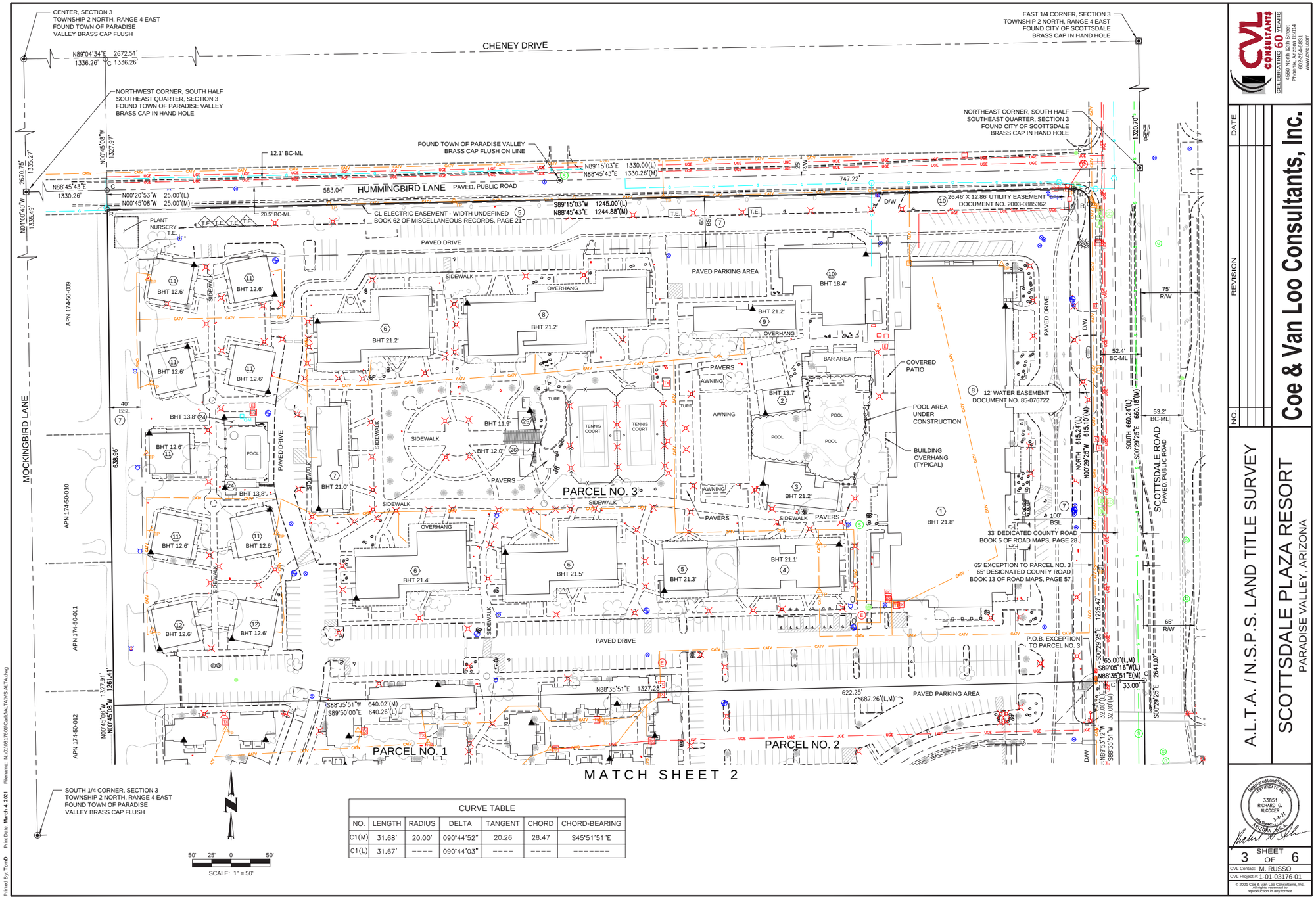

CURVE TABLE						
NO.	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD-BEARING
C1(M)	31.68'	20.00'	090°44'52"	20.26	28.47	S45°51'51"E
C1(L)	31.67'	----	090°44'03"	----	----	--------

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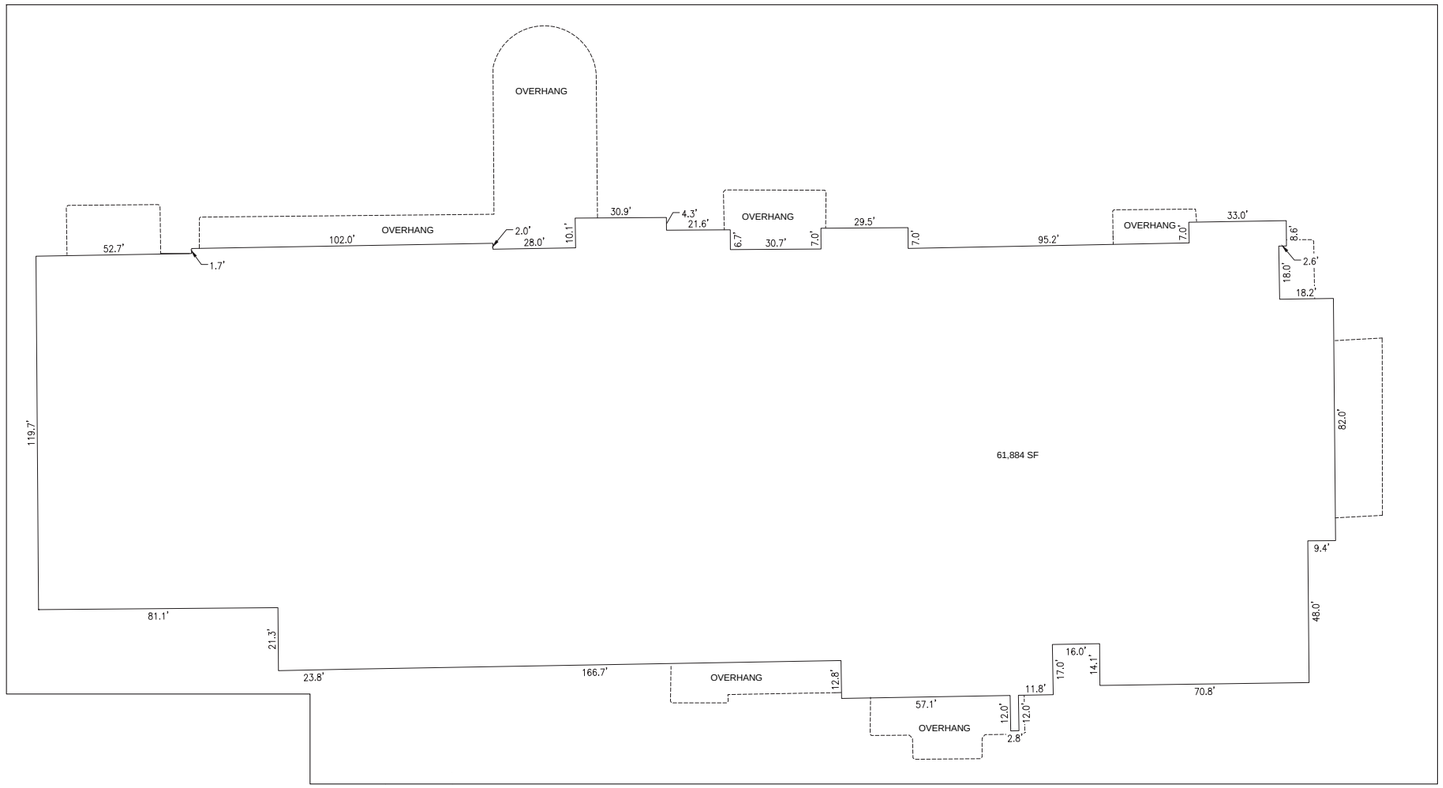

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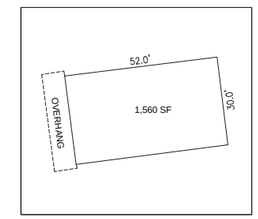

BUILDING TYPE 2 DETAIL
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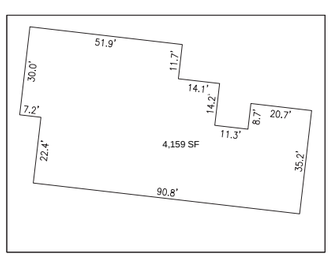

BUILDING TYPE 3 DETAIL
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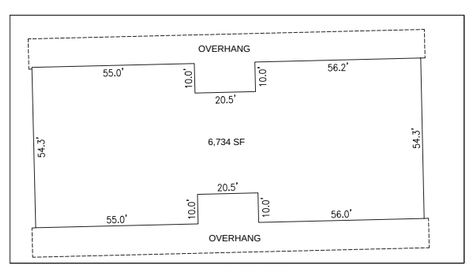

BUILDING TYPE 4 DETAIL
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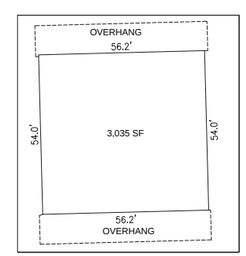

BUILDING TYPE 5 DETAIL
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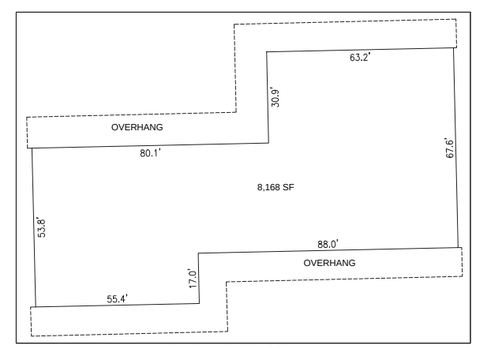

BUILDING TYPE 6 DETAIL
SCALE: 1" = 20'

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ALCOCER
Expires 3-31-21
ARIZONA U.S.A.

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CVL Project #: 1-01-03176-01

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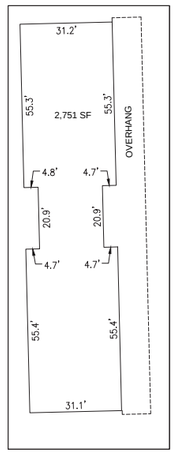
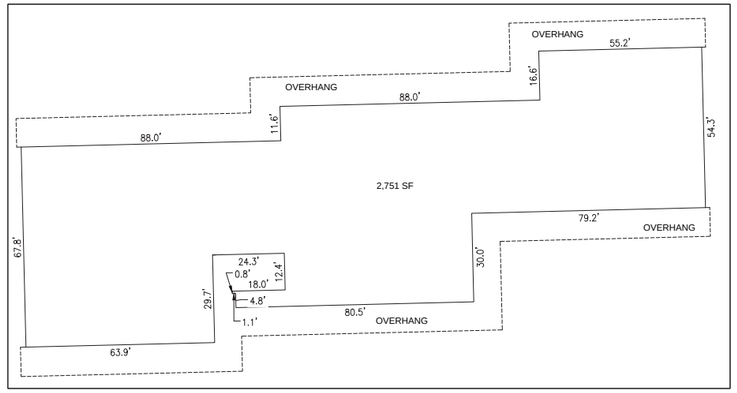


BUILDING TYPE 7 DETAIL
SCALE: 1" = 20'



BUILDING TYPE 8 DETAIL
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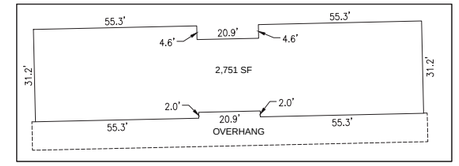
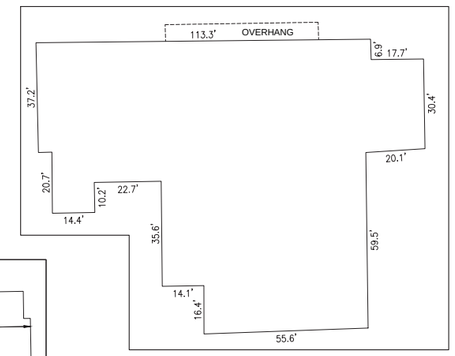
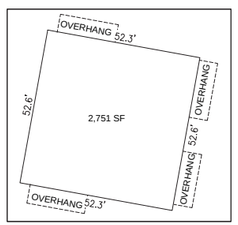


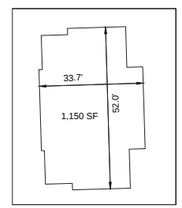
BUILDING TYPE 9 DETAIL
SCALE: 1" = 20'



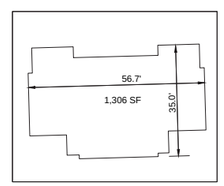
BUILDING TYPE 10 DETAIL
SCALE: 1" = 20'



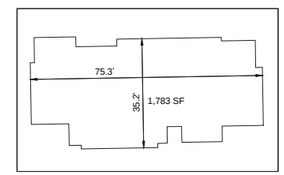
BUILDING TYPE 11 DETAIL
SCALE: 1" = 20'



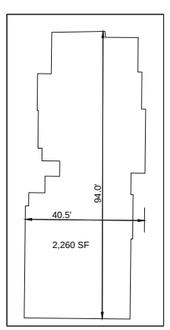
BUILDING TYPE 12 DETAIL
SCALE: 1" = 20'



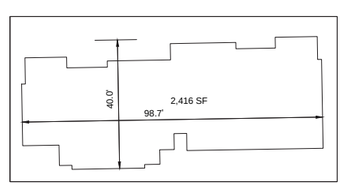
BUILDING TYPE 13 DETAIL
SCALE: 1" = 20'



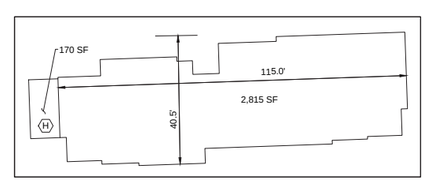
BUILDING TYPE 14 DETAIL
SCALE: 1" = 20'



BUILDING TYPE 15 DETAIL
SCALE: 1" = 20'



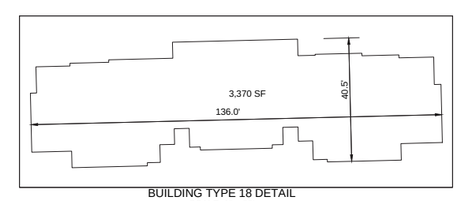
BUILDING TYPE 16 DETAIL
SCALE: 1" = 20'



BUILDING TYPE 17 & HOUSKEEPING MODULE DETAIL
SCALE: 1" = 20'

SEVERAL BUILDINGS HAVE A HOUSEKEEPING MODULE INCLUDED NOTED BY (H)

THESE MODULES MEASURE 10.0' X 17.0' AND CONTAIN 170 SF OF FLOOR SPACE.



BUILDING TYPE 18 DETAIL
SCALE: 1" = 20'

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CVL Project #: 1-01-03176-01

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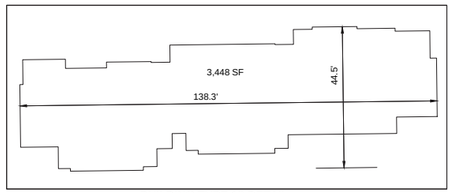
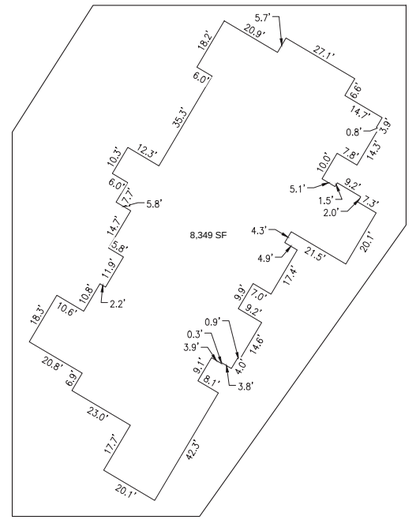
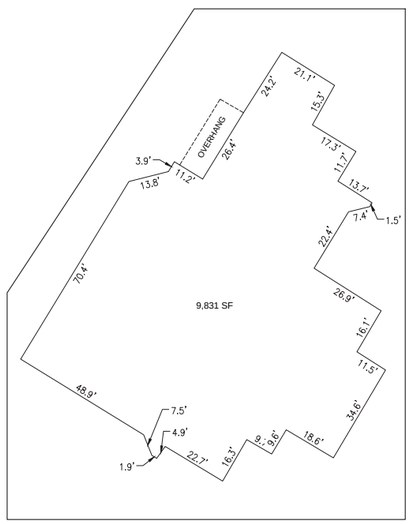


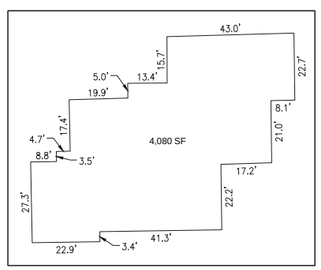
BUILDING TYPE 19 DETAIL
SCALE: 1" = 20'



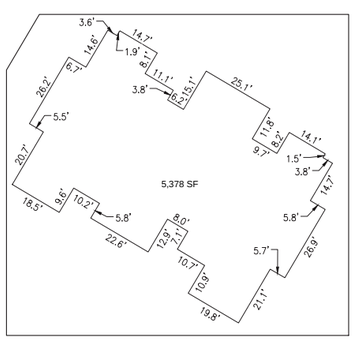
BUILDING TYPE 21 DETAIL
SCALE: 1" = 20'



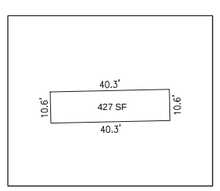
BUILDING TYPE 20 DETAIL
SCALE: 1" = 20'



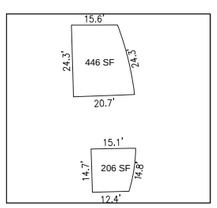
BUILDING TYPE 23 DETAIL
SCALE: 1" = 20'



BUILDING TYPE 22 DETAIL
SCALE: 1" = 20'



BUILDING TYPE 24 DETAIL
SCALE: 1" = 20'



BUILDING TYPE 25 & 26 DETAIL
SCALE: 1" = 20'

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PRELIMINARY GRADING, DRAINAGE, & UTILITIES

FOR

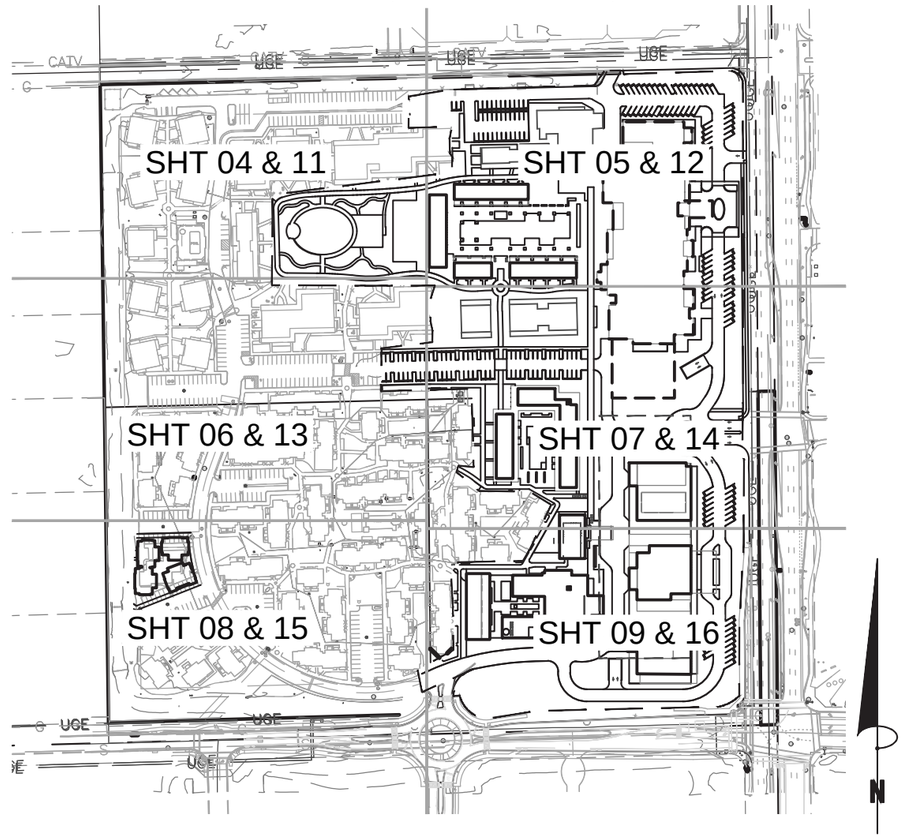
SCOTTSDALE PLAZA RESORT

7200 E INDIAN BEND RD PARADISE VALLEY, AZ 85253

PORTION OF THE NORTHEAST QUARTER OF SECTION 3, TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

8.7 GRADING, DRAINAGE & UTILITIES PLANS

SHEET INDEX	
Sheet Number	Sheet Title
01	COVERSHEET
02	NOTES
03	REMOVAL LIMITS
04	PRELIM. GRADING & DRAINAGE
05	PRELIM. GRADING & DRAINAGE
06	PRELIM. GRADING & DRAINAGE
07	PRELIM. GRADING & DRAINAGE
08	PRELIM. GRADING & DRAINAGE
09	PRELIM. GRADING & DRAINAGE
10	EXISTING & PROPOSED UTILITIES
11	PRELIM. UTILITIES
12	PRELIM. UTILITIES
13	PRELIM. UTILITIES
14	PRELIM. UTILITIES
15	PRELIM. UTILITIES
16	PRELIM. UTILITIES



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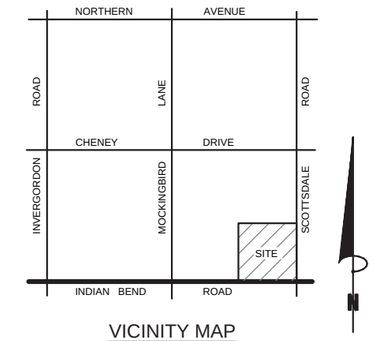
GRAPHIC SCALE
1" = 300'



VICINITY MAP
N.T.S.

SITE DATA

ZONING: SUP-R
NET ACREAGE: 36.49 AC / 1,589,360 SF
TOTAL DISTURBED: 37.47 AC / 1,632,225 SF
PROJECT ADDRESS: 7200 E INDIAN BEND RD, PARADISE VALLEY, AZ 85253
APN: 174-49-002A, 174-49-001B AND 174-49-001A

PROJECT DESCRIPTION

THE PROJECT IS A RENOVATION OF THE EXISTING SCOTTSDALE PLAZA RESORT THAT INCLUDES THE REMOVAL OF SOME EXISTING BUILDINGS TO GENERATE SPACE FOR NEW BUILDINGS , AN UNDERGROUND PARKING STRUCTURE, AND PARKING LOT/AISLE CHANGES

BASIS OF BEARING

THE BASIS OF BEARINGS FOR THIS SURVEY IS NORTH 88°25'57" EAST ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 3, TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER MERIDIAN, ACCORDING TO BOOK 1297 OF MAPS, PAGE 21, MARICOPA COUNTY RECORDS.

FEMA FLOODZONE DATA

THIS PROPERTY IS LOCATED WITHIN THE UNSHADED ZONE "X" FLOOD HAZARD AREA PER FIRM MAP PANEL NUMBER 04013C-1770M DATED SEPTEMBER 18,2020 AS PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) AND AS OBTAINED FROM THE FEMA WEBSITE ON AUGUST 4, 2022.

UNSHADED ZONE "X" AS DEFINED BY FEMA IS:
AREAS OF MINIMAL FLOOD HAZARD.

FIRM INFORMATION

THE LOWEST FLOOR ELEVATION(S) AND/OR FLOOD PROOFING ELEVATION(S) ON THIS PLAN ARE SUFFICIENTLY HIGH TO PROVIDE PROTECTION FROM FLOODING CAUSED BY A 100-YEAR STORM, AND ARE IN ACCORDANCE WITH THE SCOTTSDALE REVISED CODE, CHAPTER 37.

COMMUNITY NUMBER	PANEL NUMBER PANEL DATE	SUFFIX	DATE OF FIRM	FIRM ZONE	BASE FLOOD ELEVATION (IN AO USE DEPTH)
04013C	1770 09/18/2020	M	09/18/2020	X	-

REGISTERED PROFESSIONAL ENGINEER (CIVIL)
CERTIFICATE NO.
37287
RAMZI
GEORGES
Date Signed 08/24/2022
ARIZONA U.S.A.

HIGHGATE HKS FLOOR associates xtev SDDG Design Agency RLB Rider Levett Bucknall GM LD GRANVILLE MCANEAR LIGHTING DESIGN ATWELL ROSE LAW GROUP pc RICH • CARTER • FISHER SUMMIT LAND MANAGEMENT

SCOTTSDALE PLAZA RESORT

PARADISE VALLEY SPECIAL USE PERMIT APPLICATION

8.8 GRADING, DRAINAGE & UTILITIES PLANS NOTES

LEGEND

- BRASS CAP IN HANDHOLE
- BRASS CAP FLUSH
- CHISELED 'X'
- WATER METER
- WATER CHECK VALVE
- FIRE HYDRANT
- WATER MANHOLE
- WATER VALVE
- FIRE DEPARTMENT CONNECTION
- LIGHT POLE
- ELECTRIC MANHOLE
- TRAFFIC JUNCTION BOX
- UTILITY POLE
- ELECTRIC JUNCTION BOX
- ELECTRIC METER
- TRAFFIC SIGNAL
- EX. LIGHT POLE
- LIGHT POLE
- ELECTRIC TRANSFORMER
- SEWER MANHOLE
- SEWER CLEANOUT
- STORM DRAIN MANHOLE
- MONITORING WELL
- HANDICAP PARKING
- TELEPHONE MANHOLE
- TELEPHONE RISER
- CABLE TV JUNCTION BOX
- BOLLARD
- PARKING METER
- GAS VALVE
- SIGN
- WATER MANHOLE
- MONUMENT

- BOUNDARY LINE
- CENTER LINE
- EASEMENT LINE
- G — EX GAS LINE
- SD — EX STORM DRAIN LINE (SIZE INDICATED)
- S — EX SEWER LINE (SIZE INDICATED)
- W — EX WATER LINE (SIZE INDICATED)
- T — EX TELECOMMUNICATION
- E — EX ELECTRICAL
- STORM DRAIN PIPE
- 12" W — WATER PIPE
- 8" S — SEWER PIPE

LEGAL DESCRIPTION

PARCEL NO. 1: (174-49-001B)
A PARCEL OF LAND LOCATED IN THE SOUTHEAST QUARTER OF SECTION 3, TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:
BEGINNING AT THE POINT OF INTERSECTION OF THE WEST LINE OF THE SAID SOUTH HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 3 WITH THE NORTH RIGHT OF WAY LINE OF INDIAN BEND ROAD FROM WHICH THE SOUTHWEST CORNER OF SAID SOUTH HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 3 BEARS SOUTH 0 DEGREES 48 MINUTES 00 SECONDS WEST, 33.00 FEET AND SAID SOUTHWEST CORNER IS MARKED WITH 1 1/2 INCH IRON PIPE;
THENCE NORTH 0 DEGREES 48 MINUTES 00 SECONDS EAST, 630.97 FEET TO THE NORTHWEST CORNER OF THE SAID SOUTH HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 3 AND WHICH POINT IS MARKED WITH A INCH IRON BAR;
THENCE SOUTH 89 DEGREES 50 MINUTES 00 SECONDS EAST, 640.26 FEET TO A POINT FROM WHICH THE NORTHEAST CORNER OF THE SAID SOUTH HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 3 BEARS SOUTH 89 DEGREES 50 MINUTES 00 SECONDS EAST, 687.26 FEET AND IS MARKED WITH A BRASS CAP SET IN CONCRETE;
THENCE SOUTH 0 DEGREES 56 MINUTES 10 SECONDS WEST, 629.12 FEET TO A POINT ON THE NORTH RIGHT OF WAY LINE OF INDIAN BEND ROAD;
THENCE WEST ALONG THE NORTH RIGHT OF WAY LINE OF INDIAN BEND ROAD, 638.78 FEET TO THE POINT OF BEGINNING.

PARCEL NO. 2: (174-49-001A)
THE SOUTH HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 3, TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA;
EXCEPT THAT PORTION DESCRIBED AS FOLLOWS:
BEGINNING AT THE POINT OF INTERSECTION OF THE WEST LINE OF THE SAID SOUTH HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 3 WITH THE NORTH RIGHT OF WAY LINE OF INDIAN BEND ROAD FROM WHICH THE SOUTHWEST CORNER OF SAID SOUTH HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 3 BEARS SOUTH 0 DEGREES 48 MINUTES 00 SECONDS WEST, 33.00 FEET AND SAID SOUTHWEST CORNER IS MARKED WITH A 1 1/2 INCH IRON PIPE;
THENCE NORTH 0 DEGREES 48 MINUTES 00 SECONDS EAST, 630.97 FEET TO THE NORTHWEST CORNER OF THE SAID SOUTH HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 3 AND WHICH POINT IS MARKED WITH A 3/4 INCH IRON BAR;
THENCE SOUTH 89 DEGREES 50 MINUTES 00 SECONDS EAST, 640.26 FEET TO A POINT FROM WHICH THE NORTHEAST CORNER OF THE SAID SOUTH HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 3 BEARS SOUTH 89 DEGREES 50 MINUTES 00 SECONDS EAST, 687.26 FEET AND IS MARKED WITH A BRASS CAP SET IN CONCRETE;
THENCE SOUTH 0 DEGREES 56 MINUTES 10 SECONDS WEST, 629.12 FEET TO A POINT ON THE NORTH RIGHT OF WAY LINE OF INDIAN BEND ROAD;
THENCE WEST ALONG THE NORTH RIGHT OF WAY LINE OF INDIAN BEND ROAD, 638.78 FEET TO THE POINT OF BEGINNING;
EXCEPT FROM PARCEL NOS. 1 AND 2 ABOVE THE FOLLOWING DESCRIBED PROPERTY:
COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 3;
THENCE SOUTH 89 DEGREES 57 MINUTES 05 SECONDS WEST, ALONG THE SOUTH LINE OF SAID SECTION 3, 33.01 FEET, TO THE WEST LINE OF THE EAST 33.00 FEET OF SAID SECTION 3, SAID POINT BEING THE TRUE POINT OF BEGINNING;
THENCE NORTH 01 DEGREES 02 MINUTES 30 SECONDS EAST, ALONG SAID WEST LINE, 660.29 FEET, TO THE NORTH LINE OF THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SAID SOUTHEAST QUARTER;
THENCE NORTH 89 DEGREES 53 MINUTES 12 SECONDS WEST, ALONG SAID NORTH LINE, 32.00 FEET, TO THE WEST LINE OF THE EAST 65.00 FEET OF SAID SECTION 3;
THENCE SOUTH 01 DEGREES 02 MINUTES 30 SECONDS WEST, ALONG SAID WEST LINE, 610.37 FEET;
THENCE SOUTH 45 DEGREES 29 MINUTES 47 SECONDS WEST, 14.28 FEET, TO THE NORTH LINE OF THE SOUTH 40.00 FEET OF SAID SECTION 3;
THENCE SOUTH 89 DEGREES 57 MINUTES 05 SECONDS WEST, ALONG SAID NORTH LINE, 1249.30 FEET, TO THE WEST LINE OF THE SOUTHEAST QUARTER OF SAID SOUTHEAST QUARTER;
THENCE SOUTH 00 DEGREES 48 MINUTES 00 SECONDS WEST, ALONG SAID WEST LINE, 7.00 FEET, TO THE NORTH LINE OF THE SOUTH 33.00 FEET OF SAID SECTION 3;
THENCE NORTH 89 DEGREES 57 MINUTES 05 SECONDS EAST, ALONG SAID NORTH LINE, 638.79 FEET;
THENCE SOUTH 00 DEGREES 56 MINUTES 10 SECONDS WEST, 33.00 FEET, TO THE SOUTH LINE OF SAID SECTION 3;
THENCE NORTH 89 DEGREES 57 MINUTES 05 SECONDS EAST, ALONG SAID SOUTH LINE, 652.43 FEET, TO THE TRUE POINT OF BEGINNING.

LEGAL DESCRIPTION

PARCEL NO. 3: (174-49-002A)
THE NORTH HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 3, TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA;
EXCEPT THAT PORTION OF THE ABOVE REAL PROPERTY DESCRIBED AS FOLLOWS:
BEGINNING AT THE SOUTHEAST CORNER OF SAID SECTION 3;
THENCE NORTH ALONG THE EAST LINE OF SAID SECTION 3, A DISTANCE OF 660.24 FEET TO THE SOUTHEAST CORNER OF THE NORTH HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 3;
THENCE SOUTH 89 DEGREES 05 MINUTES 16 SECONDS WEST ALONG THE SOUTH LINE OF THE NORTH HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 3,A DISTANCE OF 65.00 FEET TO THE TRUE POINT OF BEGINNING;
THENCE NORTH 615.24 FEET TO THE BEGINNING OF A CURVE TO THE LEFT WITH A DELTA OF 90 DEGREES 44 MINUTES 03 SECONDS AND A LENGTH OF 31.67 FEET TO A POINT;
THENCE SOUTH 89 DEGREES 15 MINUTES 03 SECONDS WEST 1245 FEET TO A POINT ON THE WEST LINE OF THE NORTH HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 3 BEING 25 FEET SOUTH OF THE NORTH LINE OF THE NORTH HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 3;
THENCE NORTH 0 DEGREES 20 MINUTES 53 SECONDS WEST, 25 FEET TO SAID NORTH LINE;
THENCE NORTH 89 DEGREES 15 MINUTES 03 SECONDS EAST 1330 FEET TO THE NORTHEAST CORNER OF THE NORTH HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 3;
THENCE SOUTH 660.24 FEET;
THENCE SOUTH 89 DEGREES 5 MINUTES 16 SECONDS WEST 65.00 FEET TO THE POINT OF BEGINNING

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37287
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GEORGES
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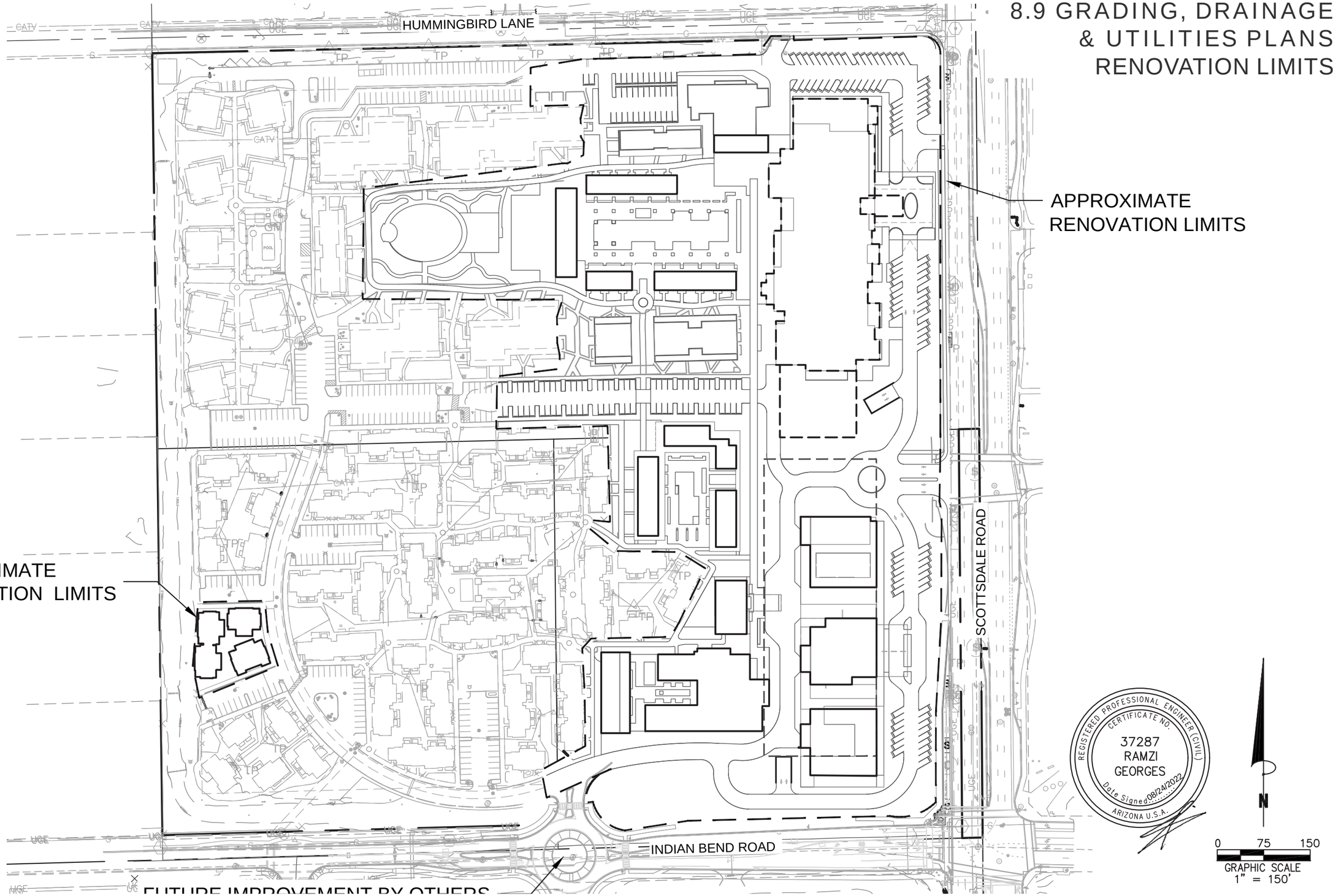
ARIZONA U.S.A.

8.9 GRADING, DRAINAGE & UTILITIES PLANS RENOVATION LIMITS



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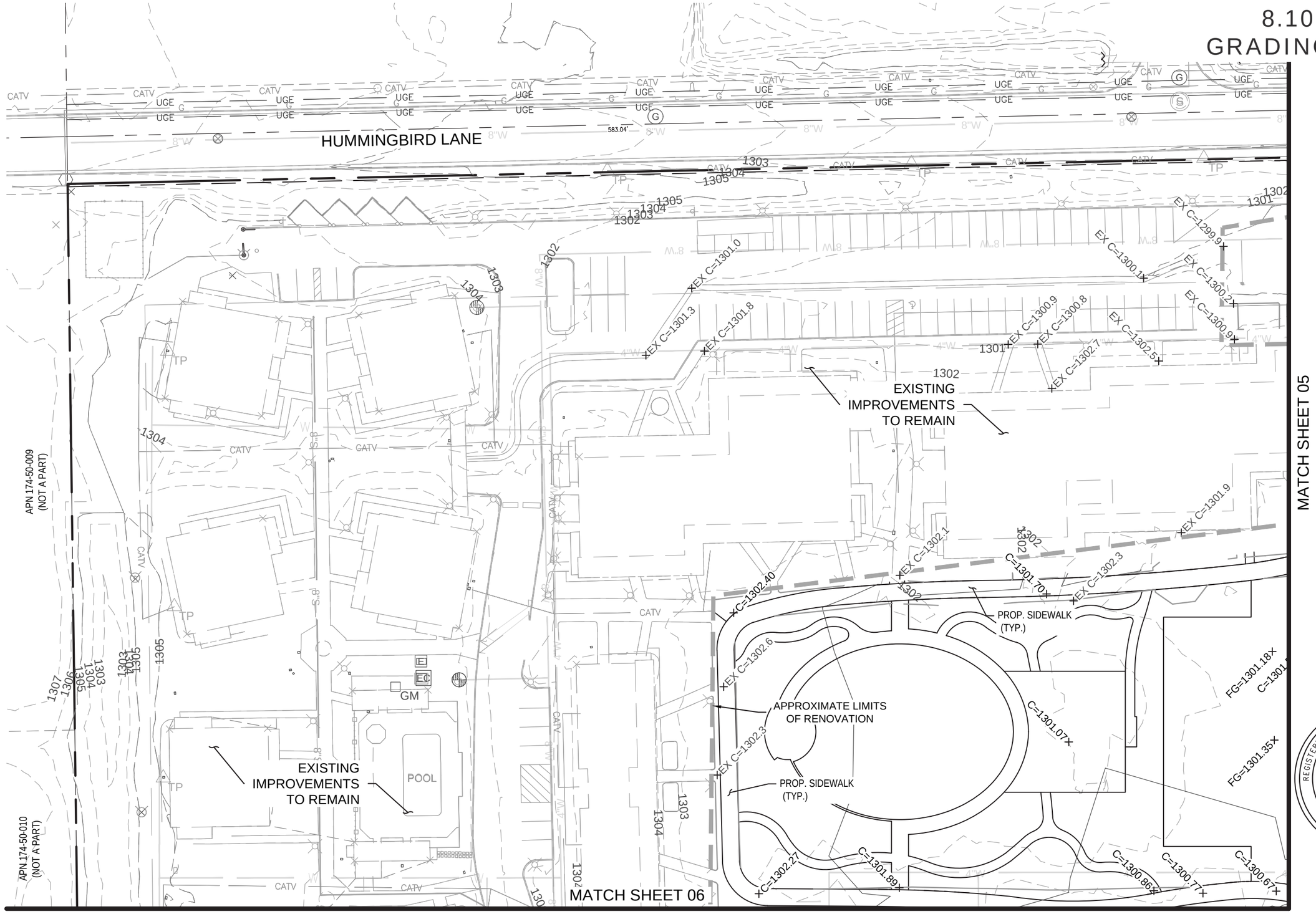
8.10 PRELIMINARY GRADING & DRAINAGE



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N

0 25 50
GRAPHIC SCALE
1" = 50'

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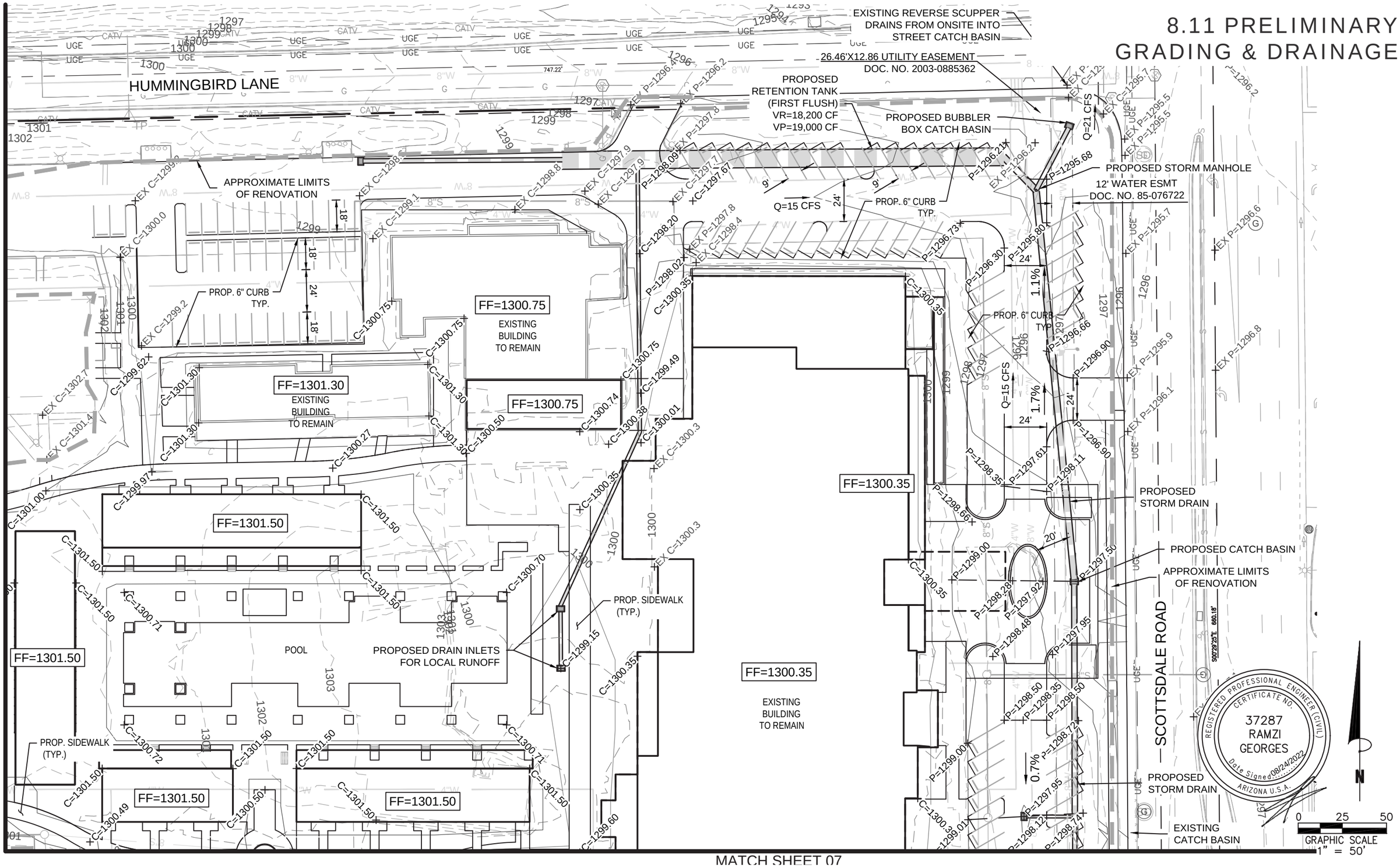
8.11 PRELIMINARY GRADING & DRAINAGE



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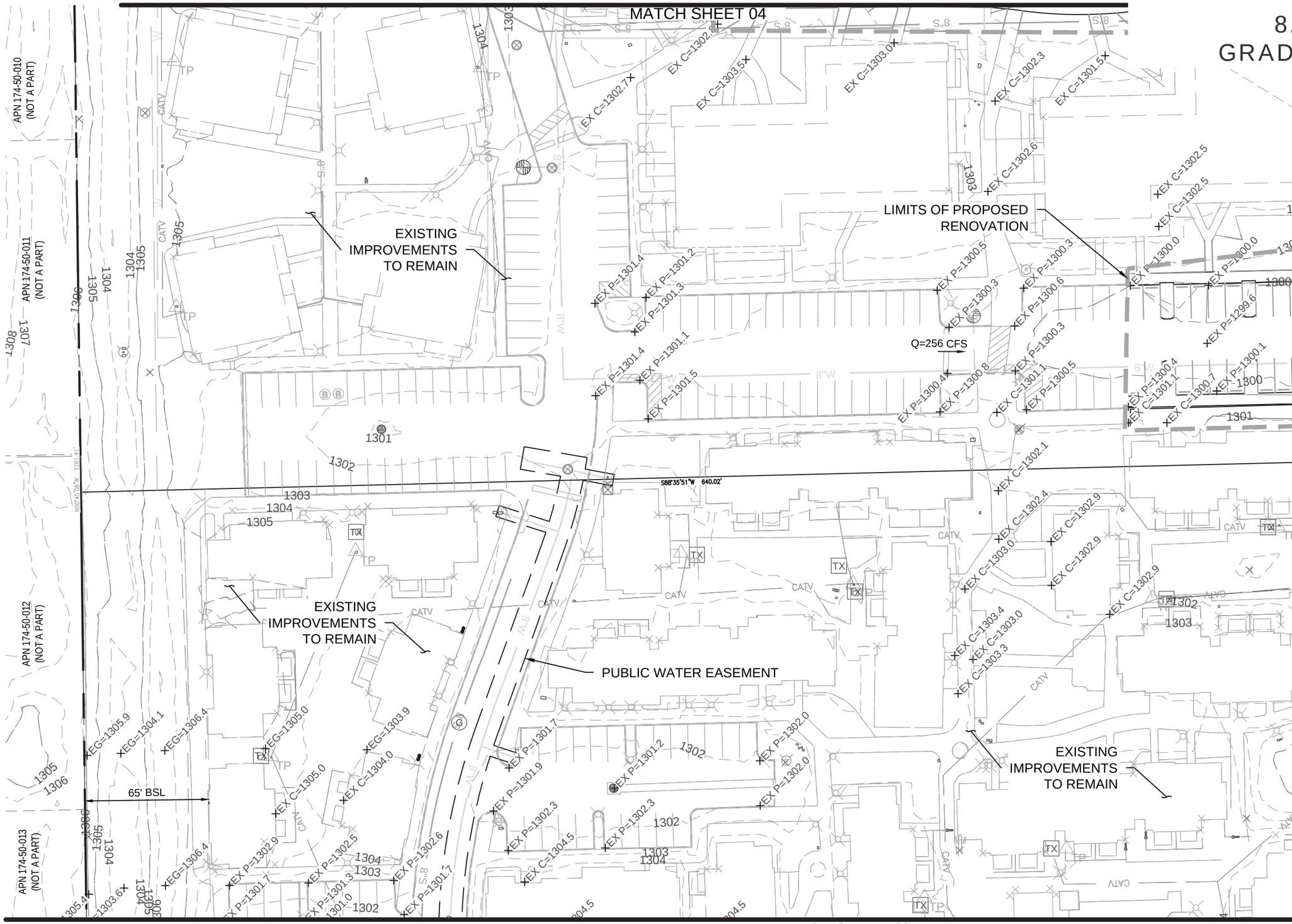
8.12 PRELIMINARY GRADING & DRAINAGE



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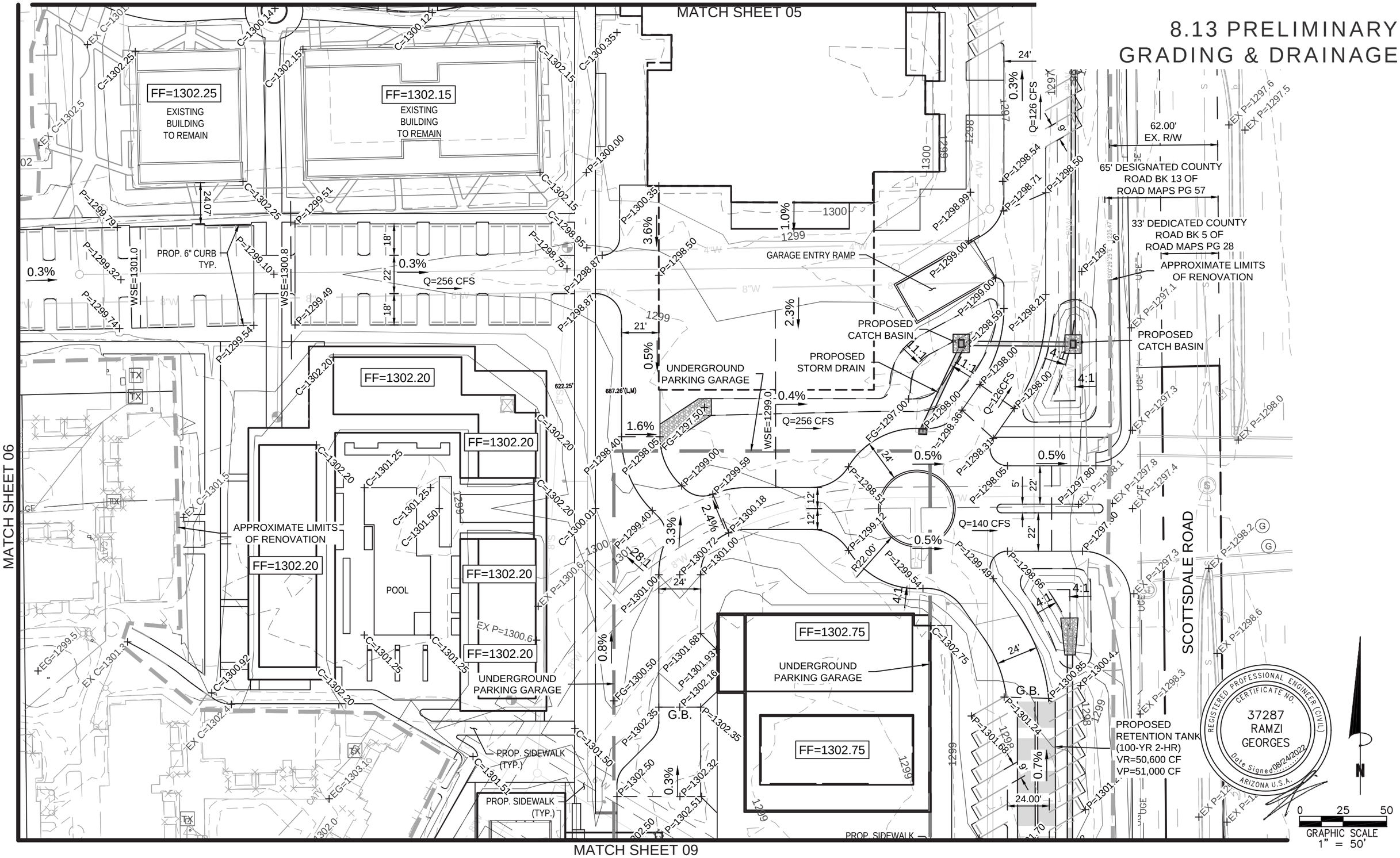
8.13 PRELIMINARY GRADING & DRAINAGE



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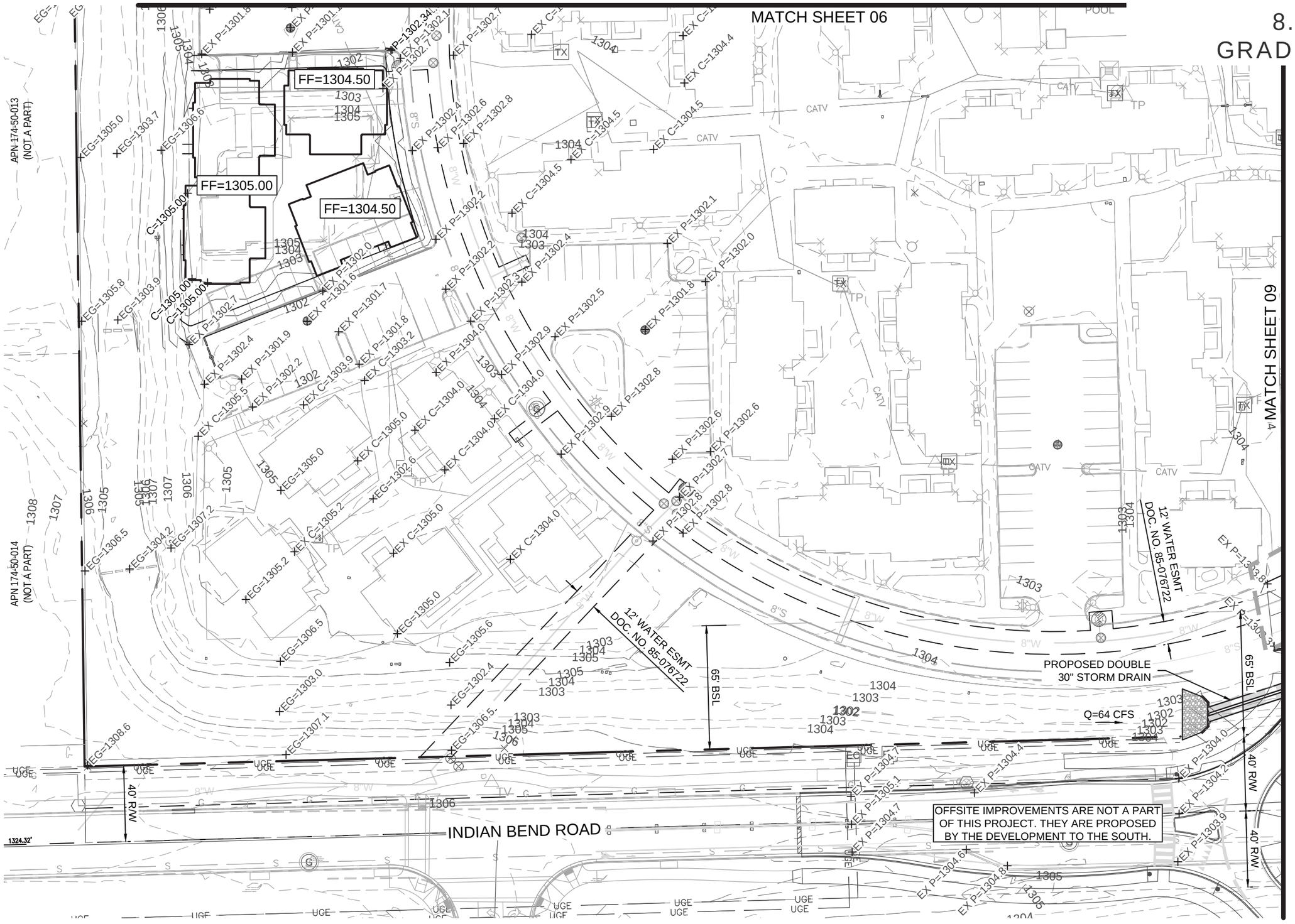
8.14 PRELIMINARY GRADING & DRAINAGE



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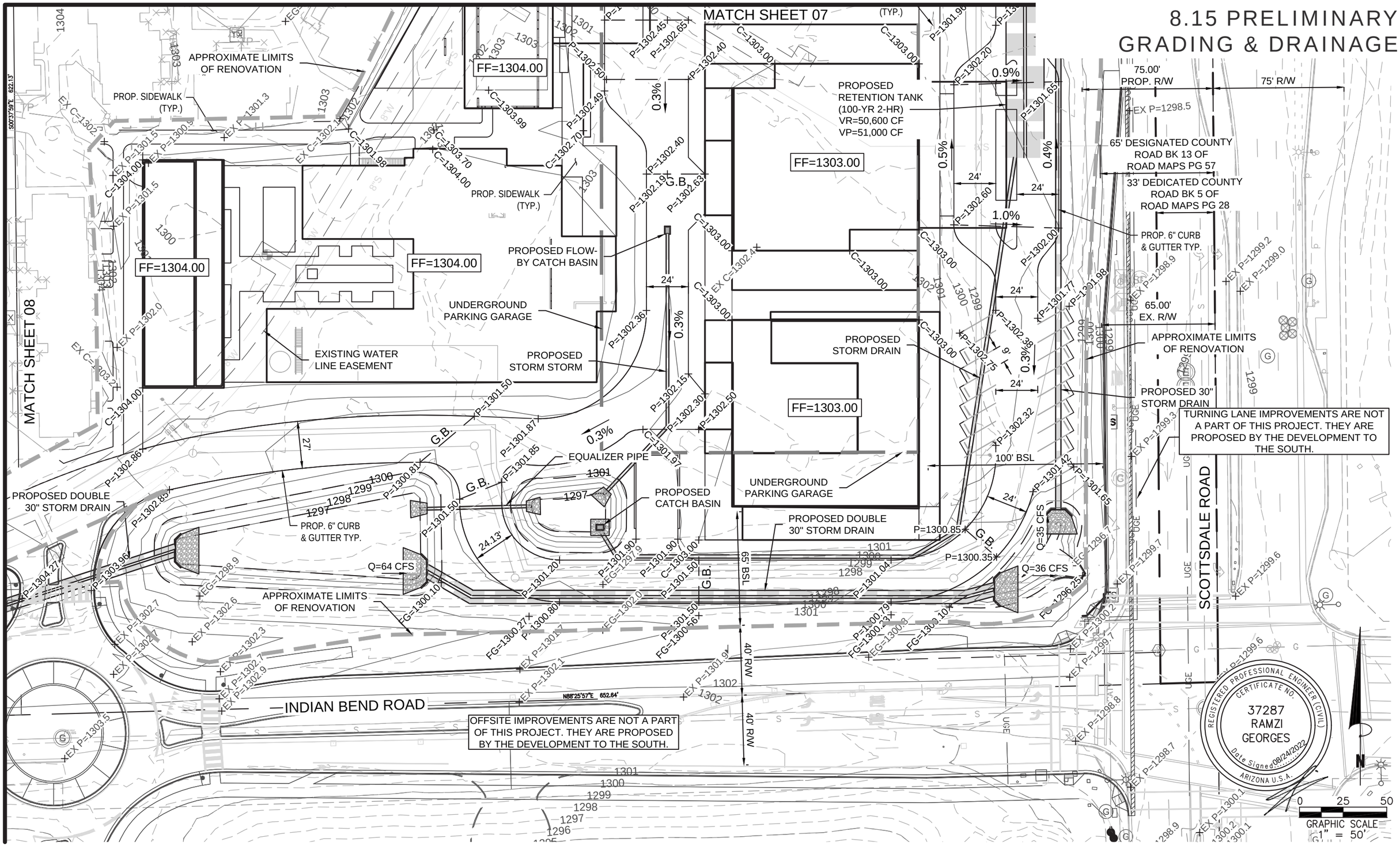
8.15 PRELIMINARY GRADING & DRAINAGE



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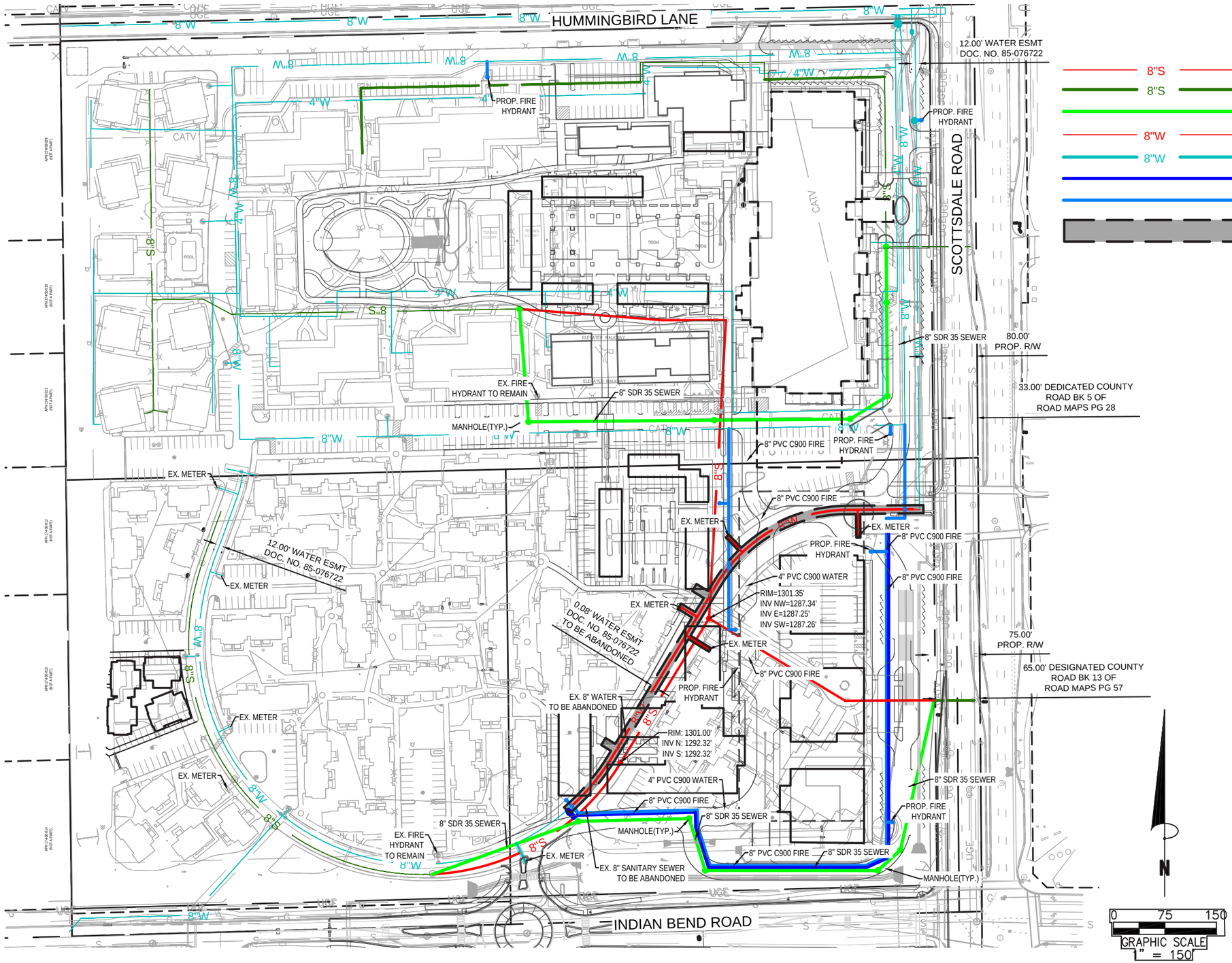
8.16 EXISTING & PROPOSED UTILITIES



LEGEND

- 8"S — 8" SANITARY SEWER TO BE ABANDONED
- 8"S — 8" SANITARY SEWER TO REMAIN
- 8" PROPOSED SANITARY SEWER
- 8"W — 8" WATER TO BE ABANDONED
- 8"W — 8" WATER TO REMAIN
- 4" PROPOSED DOMESTIC WATER
- 8" PROPOSED FIRE LINE
- EX. EASEMENT TO BE ABANDONED

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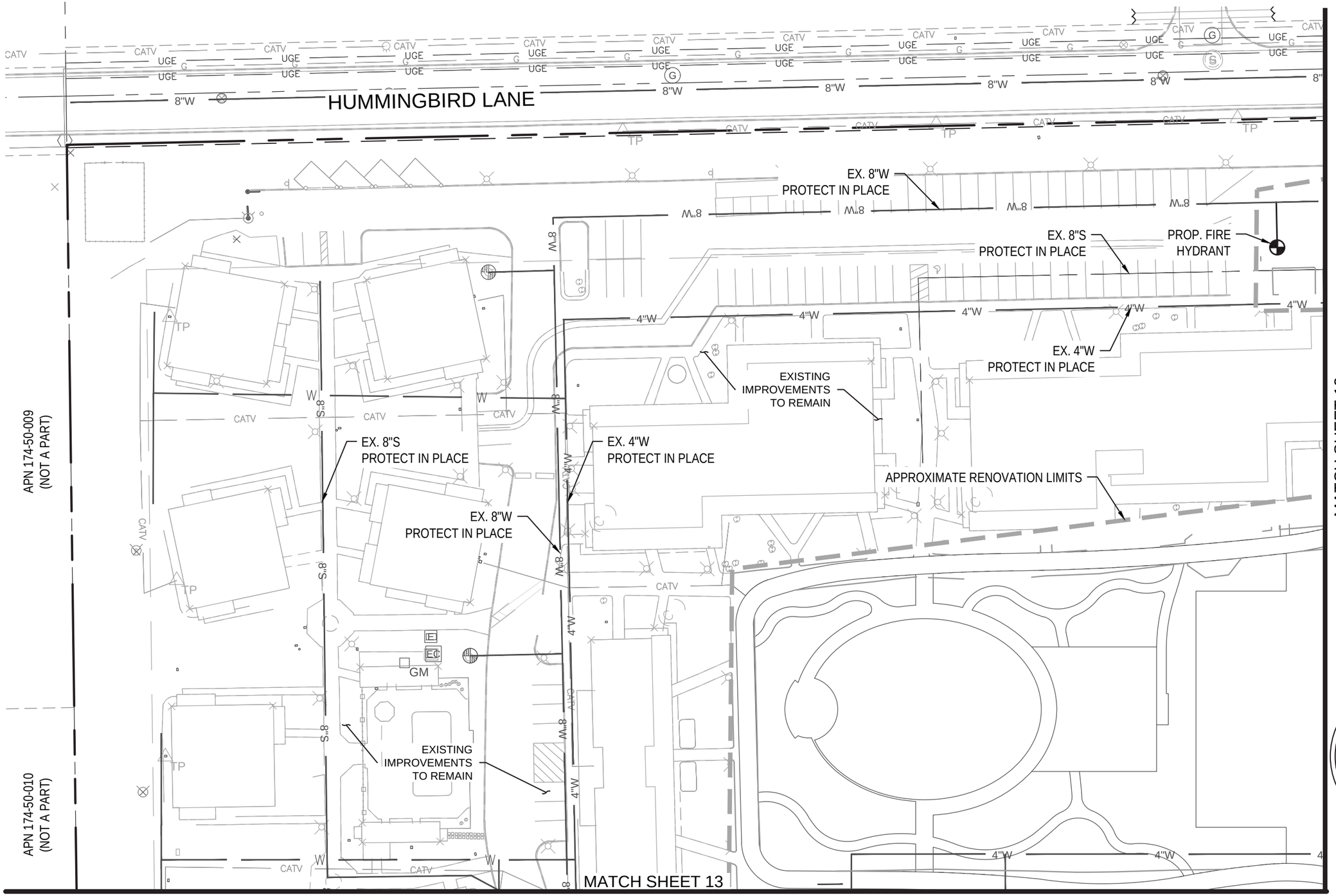
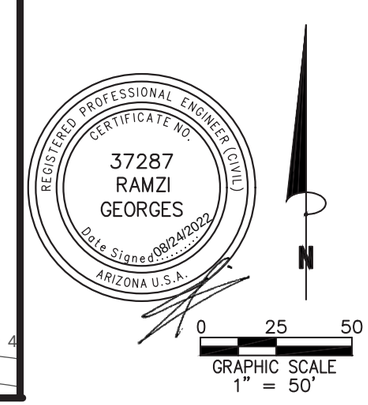
8.17 PRELIMINARY UTILITIES





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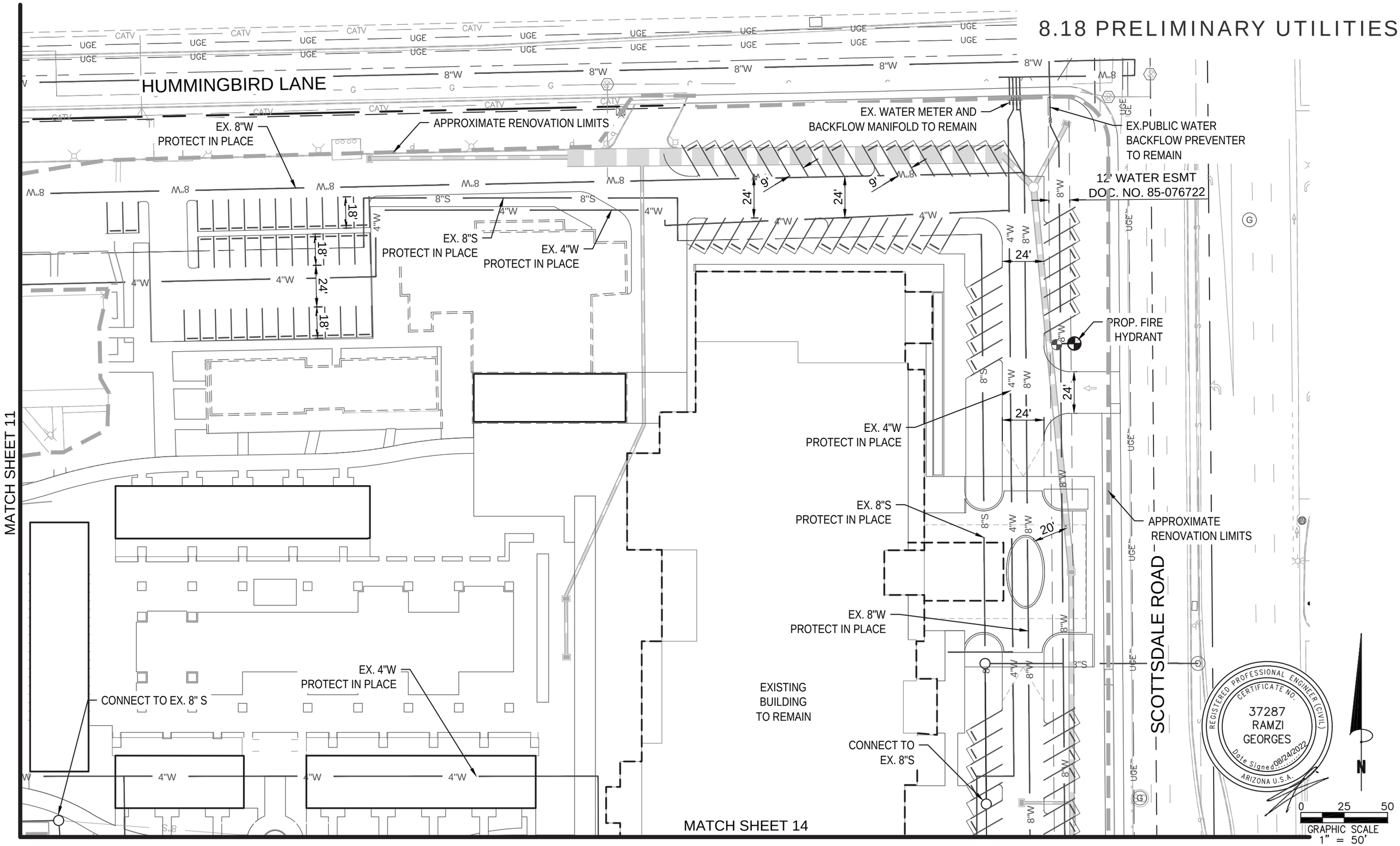
8.18 PRELIMINARY UTILITIES



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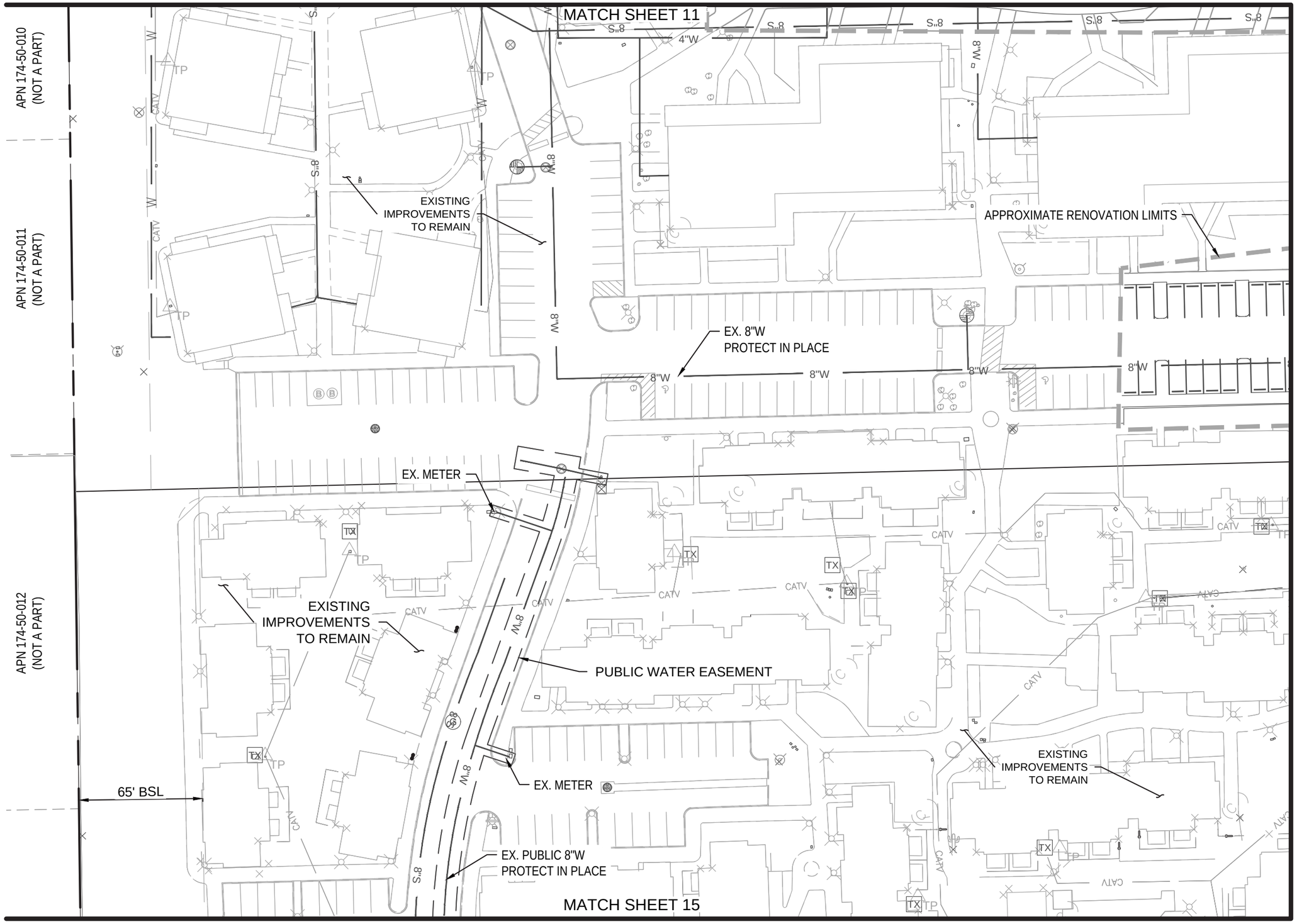
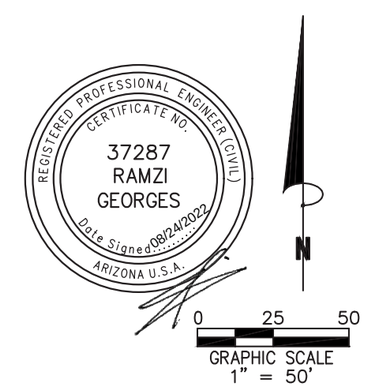
PARADISE VALLEY SPECIAL USE PERMIT APPLICATION

8.19
PRELIMINARY UTILITIES





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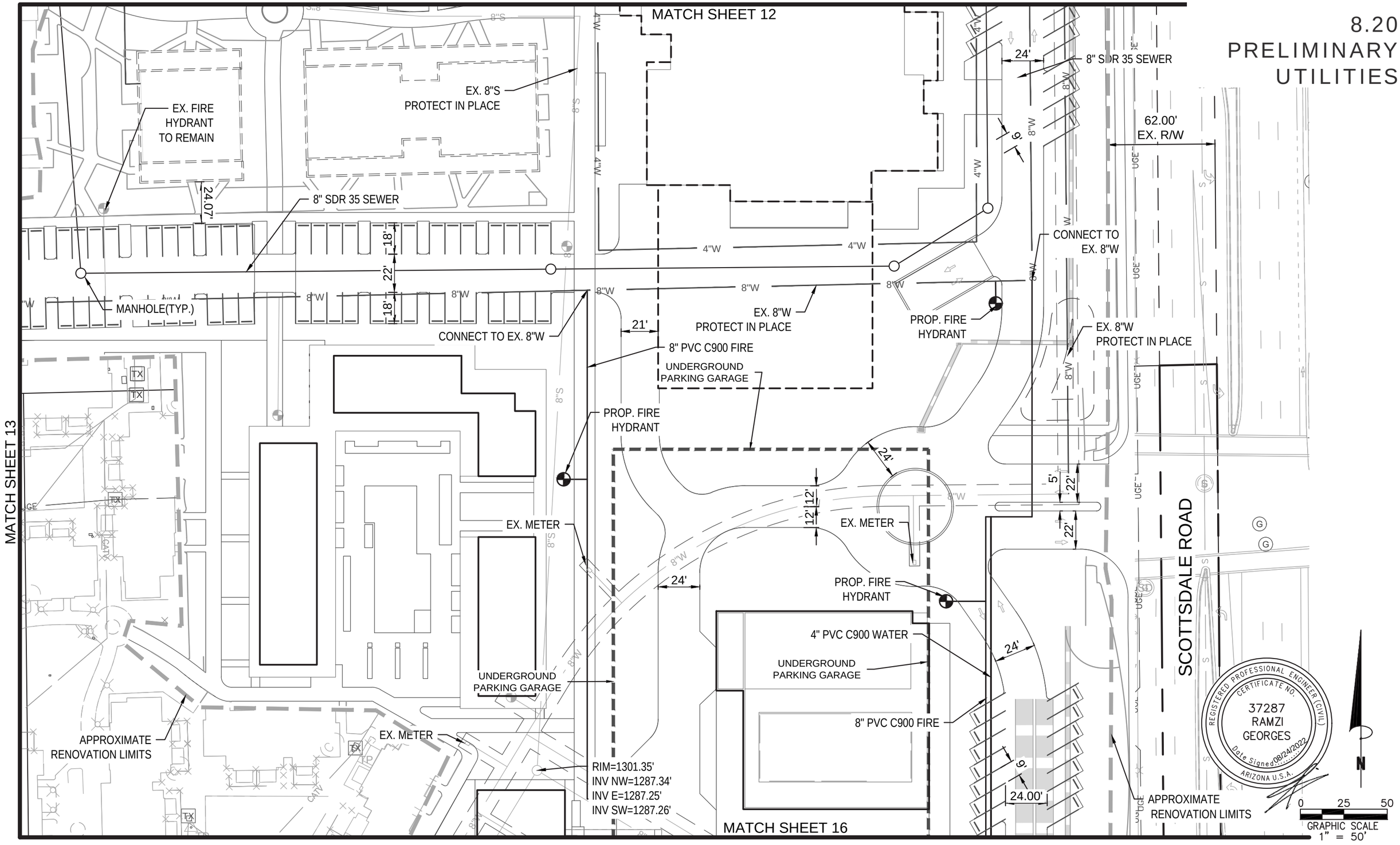
PARADISE VALLEY SPECIAL USE PERMIT APPLICATION

8.20 PRELIMINARY UTILITIES



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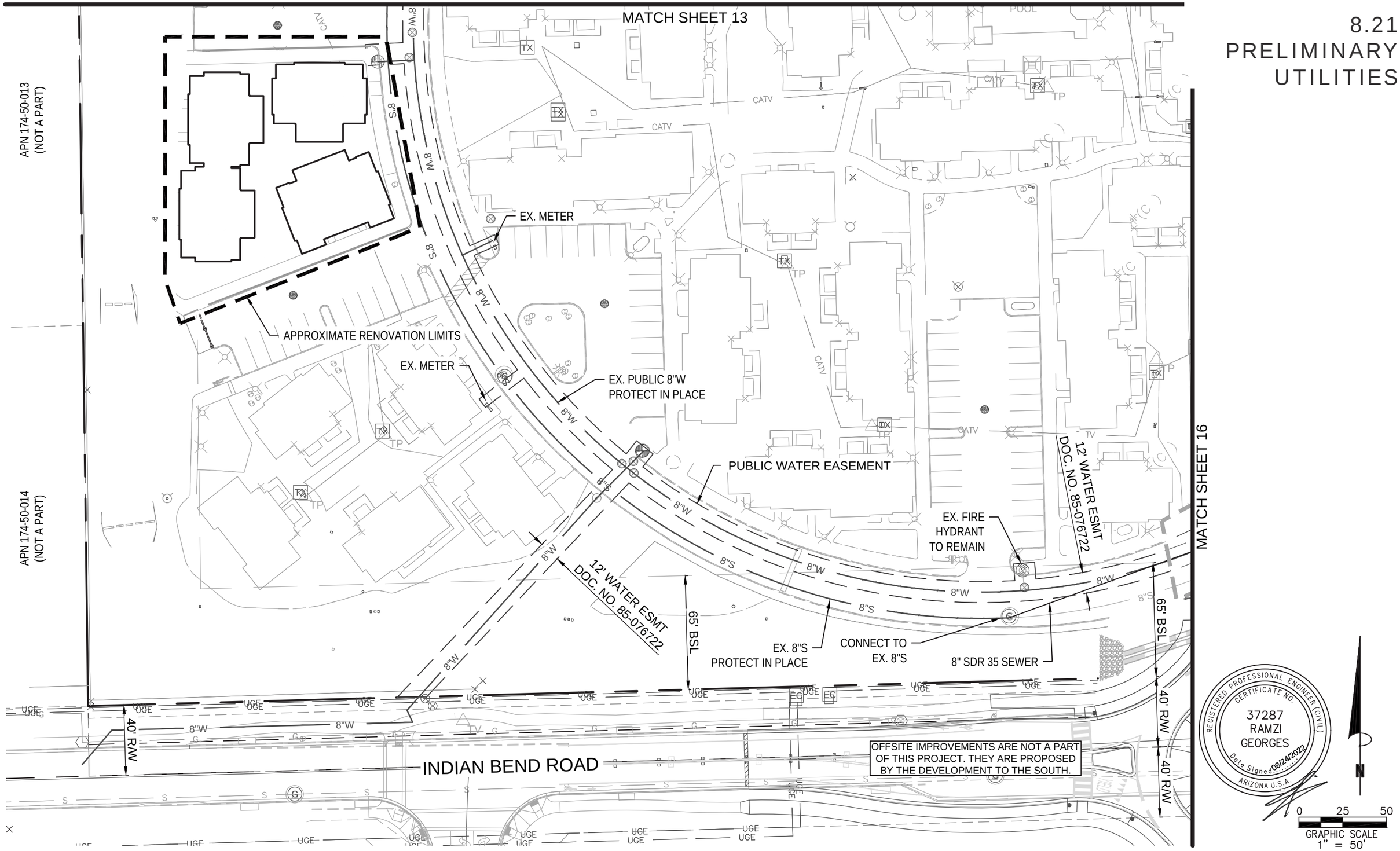
PARADISE VALLEY SPECIAL USE PERMIT APPLICATION

8.21
PRELIMINARY UTILITIES



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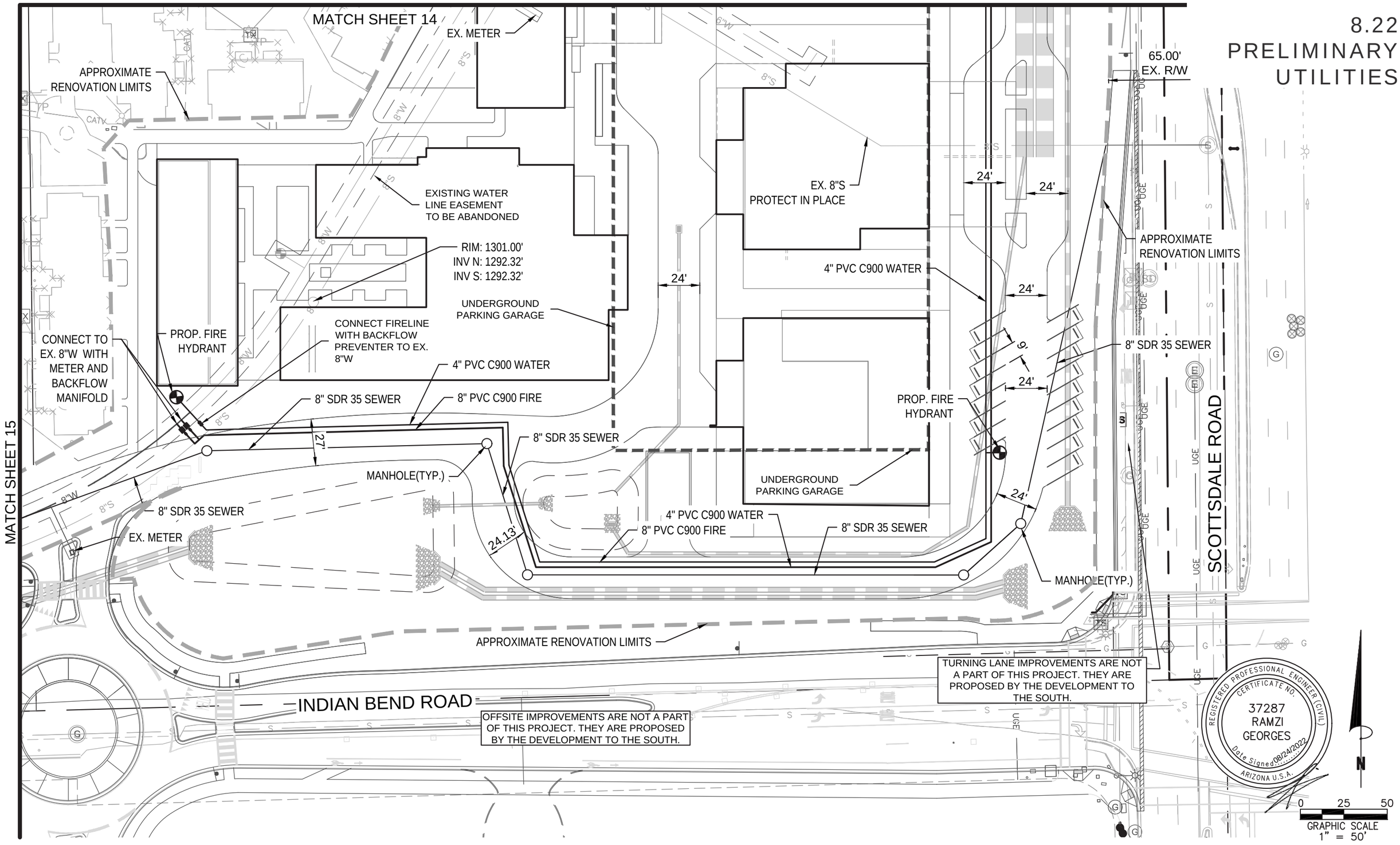
PARADISE VALLEY SPECIAL USE PERMIT APPLICATION

8.22 PRELIMINARY UTILITIES



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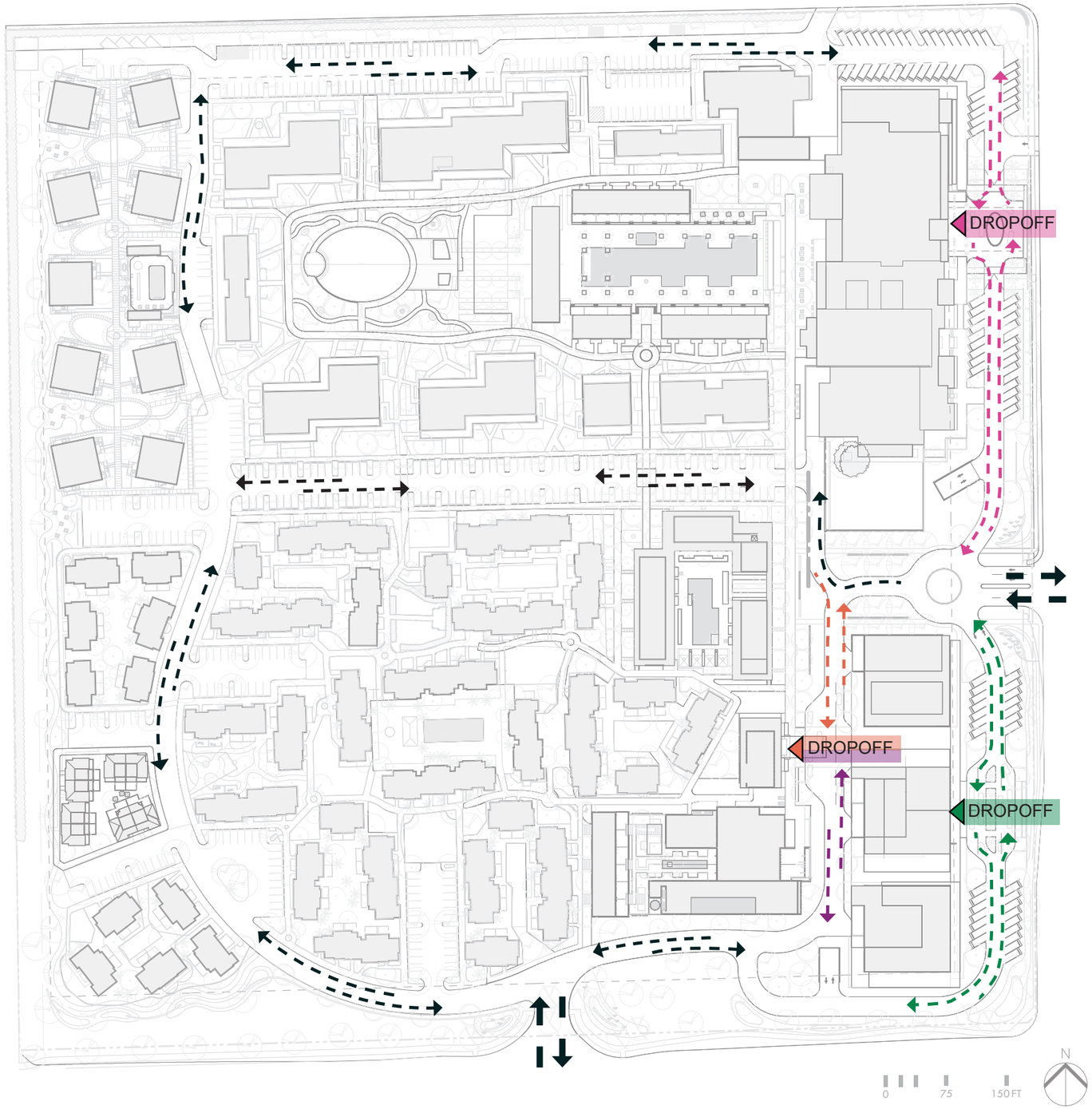
PARADISE VALLEY SPECIAL USE PERMIT APPLICATION

9 SITE CIRCULATION & PARKING

- VEHICULAR CIRCULATION PLAN - PROPOSED
- PARKING DIAGRAM - PROPOSED

9.1 VEHICULAR CIRCULATION PLAN PROPOSED

- LITTLE SISTER VALET
- BIG SISTER HOTEL VALET
- RESTAURANT VALET
- SPA VALET
- GENERAL CIRCULATION



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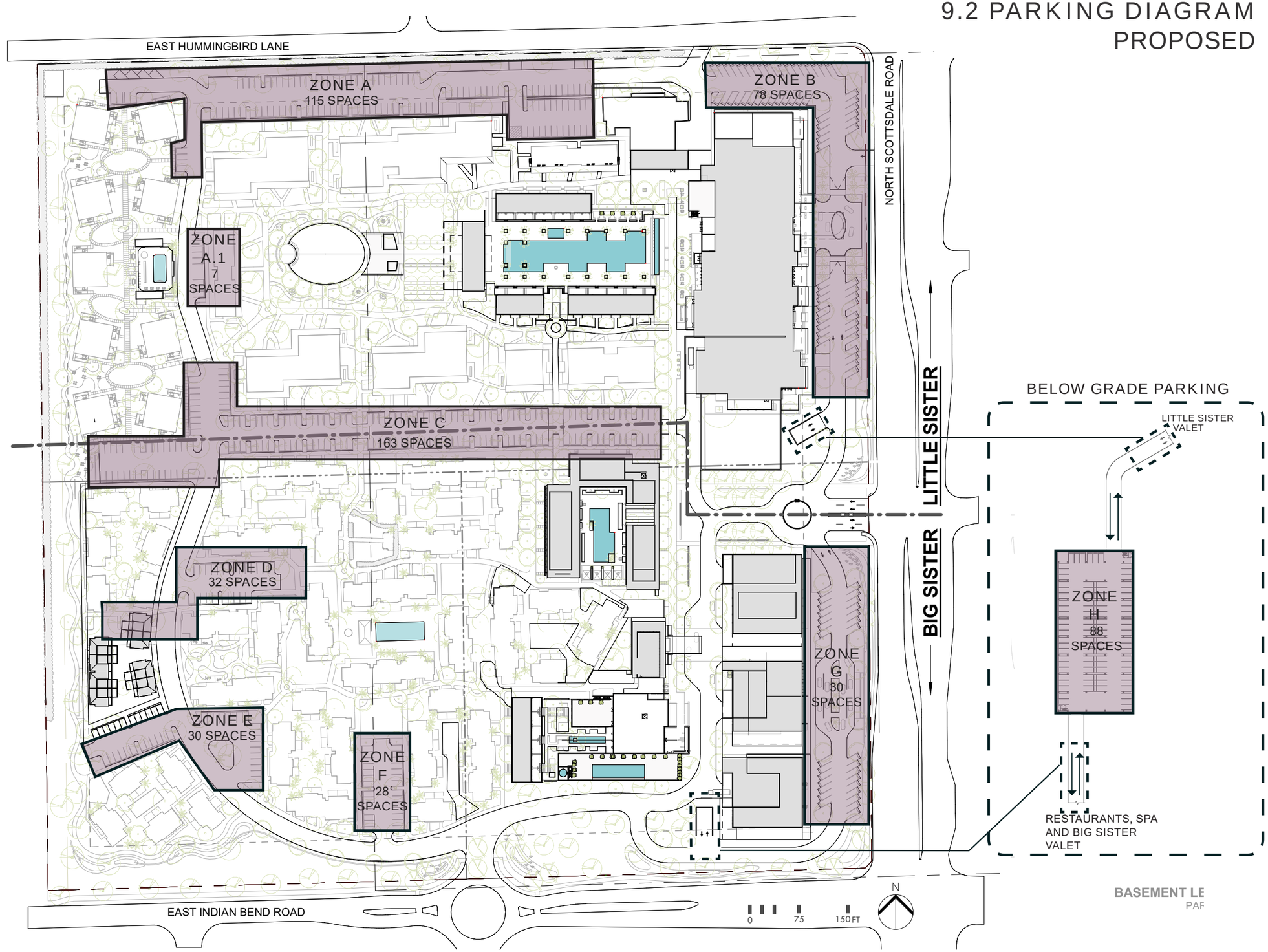
PARADISE VALLEY SPECIAL USE PERMIT APPLICATION

9.2 PARKING DIAGRAM PROPOSED

PARKING COUNT SUMMARY	
GROUND LEVEL STALLS	
ZONE A	115
ZONE A.1	7
ZONE B	78
ZONE C	163
ZONE D	32
ZONE E	30
ZONE F	28
ZONE G	30
GROUND LEVEL SUB-TOTAL	*483*
BASEMENT GARAGE STALLS	
ZONE H	88
BASEMENT LEVEL SUBTOTAL	*88*
TOTAL PARKING REQUIRED BASED ON PARKING ANALYSIS	571
TOTAL PARKING PROVIDED	571

ACCESSIBLE PARKING
IBC SECTION 1106
REQUIRED MINIMUM NUMBER OF ACCESSIBLE SPACES TO BE 2% OF TOTAL, WHEN TOTAL PARKING SPACES RANGES BETWEEN 501 T0 1,000
ACCESSIBLE SPACES TO BE PROVIDED: **13**

TYPICAL PARKING DIMENSIONS	
TYPICAL AISLE WIDTH FOR TWO-WAY TRAFFIC	24 FT
TYPICAL PARKING SPACE	9 FT X 18 FT
ACCESS AISLE WIDTH FOR ACCESSIBLE STALLS	5 FT



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SCOTTSDALE PLAZA RESORT

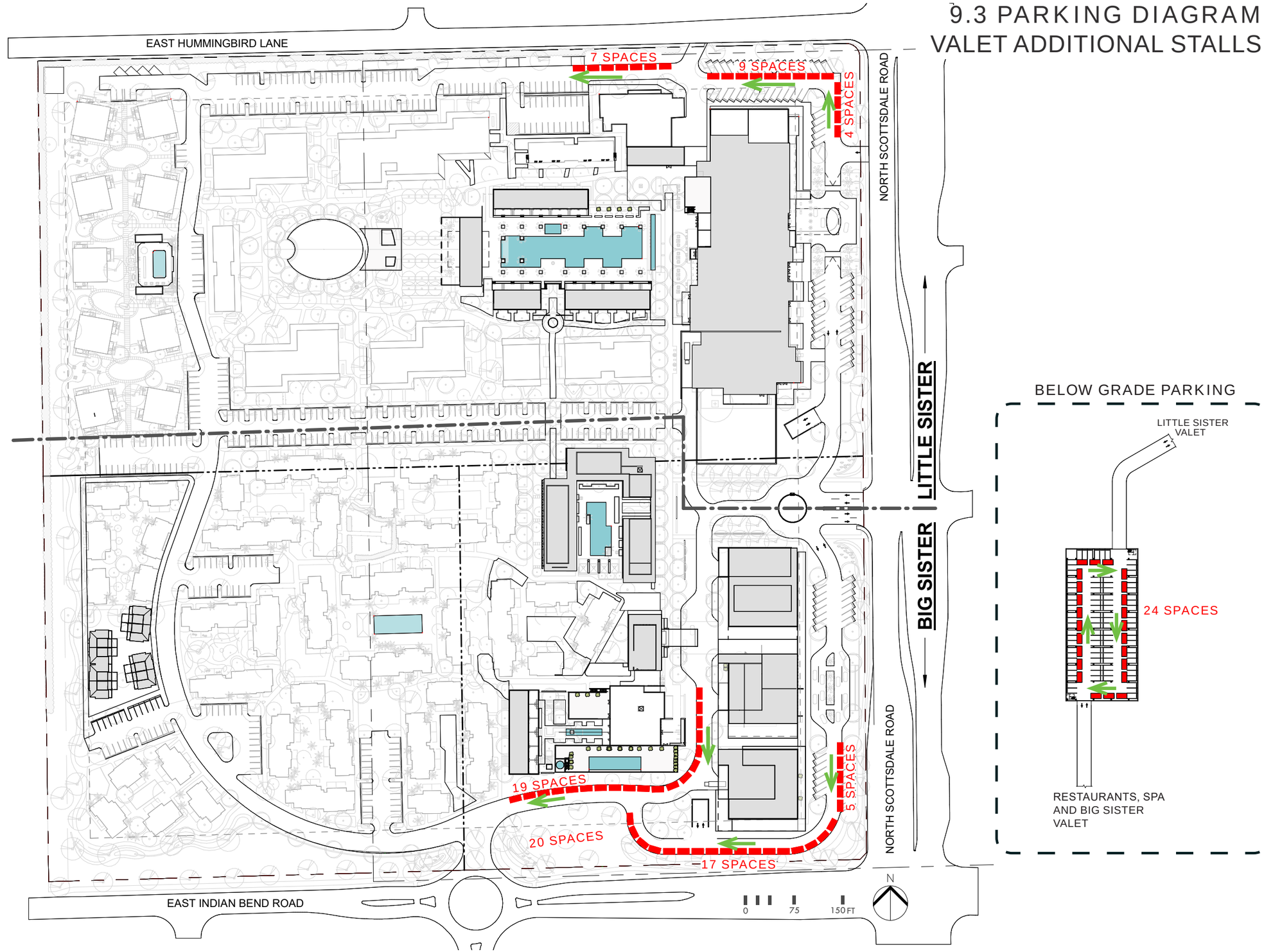
PARADISE VALLEY SPECIAL USE PERMIT APPLICATION

9.3 PARKING DIAGRAM
VALET ADDITIONAL STALLS

PARKING COUNT SUMMARY	
GROUND LEVEL STALLS	
ZONE A	115
ZONE A.1	7
ZONE B	78
ZONE C	163
ZONE D	32
ZONE E	30
ZONE F	28
ZONE G	30
GROUND LEVEL SUB-TOTAL	*483*
BASEMENT GARAGE STALLS	
ZONE H	88
BASEMENT LEVEL SUBTOTAL	*88*
TOTAL PARKING REQUIRED BASED ON PARKING ANALYSIS	571
TOTAL PARKING PROVIDED	571

PARKING COUNT SUMMARY - VALET ADD. SPACES	
GROUND LEVEL ADDITIONAL VALET SPACES	61
BASEMENT GARAGE ADDITIONAL VALET SPACES	24
TOTAL ADDITIONAL VALET SPACES	*85*
TOTAL PARKING CAPACITY WITH VALET SPACES	*656*

ONE-WAY TRAFFIC



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