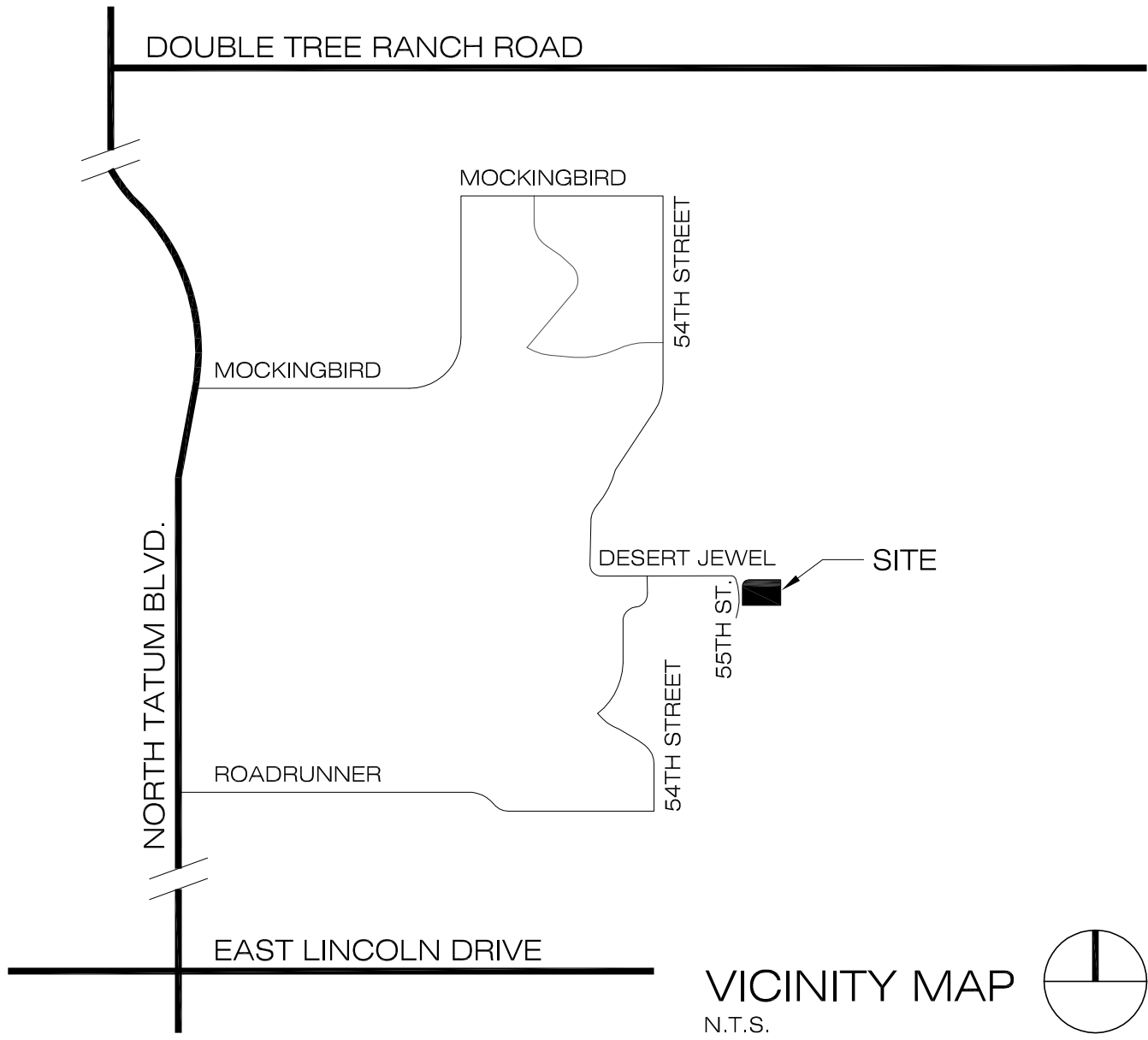




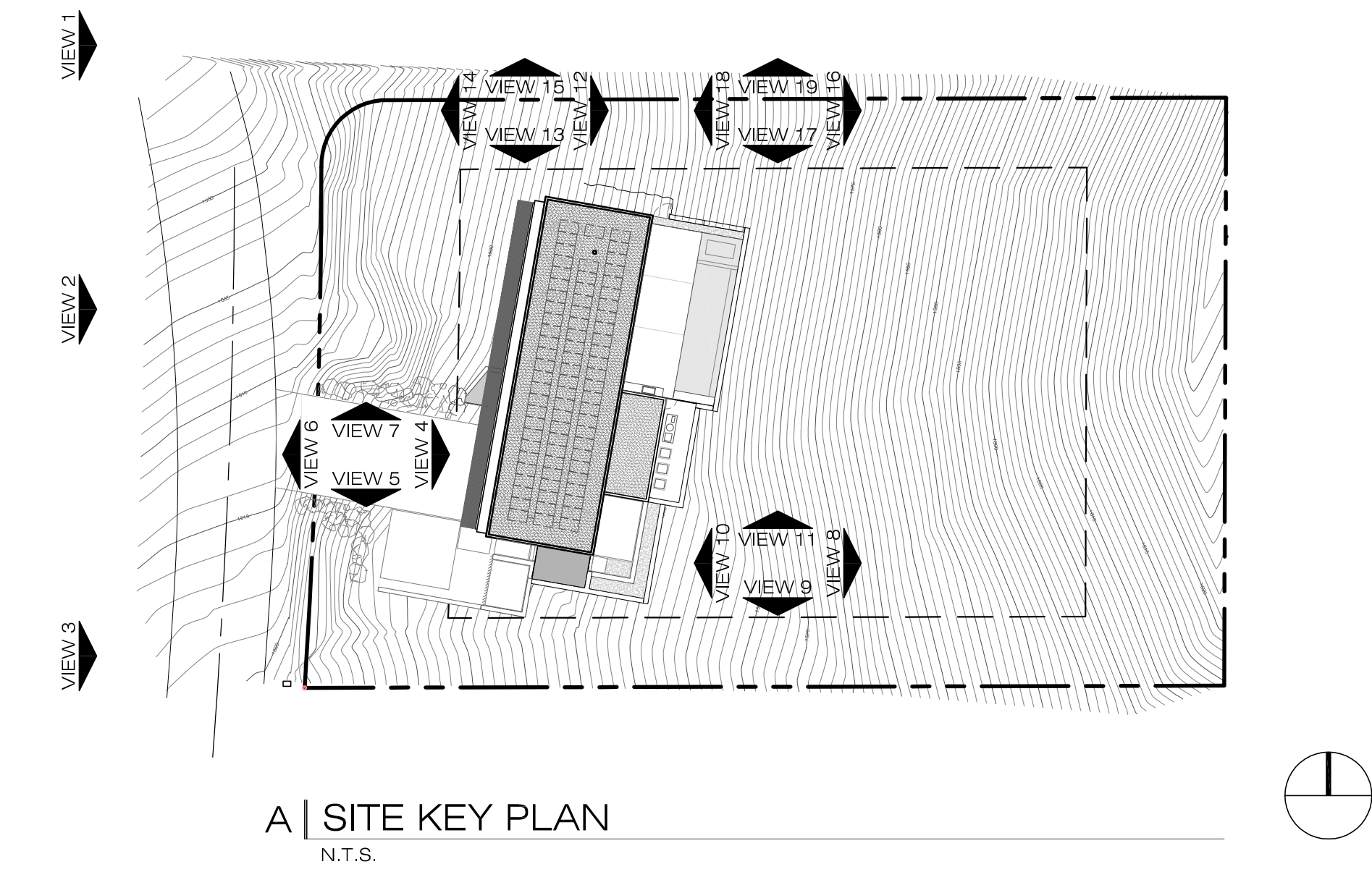
PROJECT TEAM

OWNER
UR PORJECT20 LLC
2720 NORTH VAL VISTA DRIVE
MESA, ARIZONA 85213
JESSE LOWERY
e: JDLLOWERY@UNWIREDREVOLUTION.COM
m: 480.459.7341

ARCHITECT / CONTRACTOR
THE CONSTRUCTION ZONE, LTD
1729 EAST OSBORN ROAD
PHOENIX, ARIZONA 85016
ANDY BYRNES, AIA
e: ANDY@CZPHX.COM
p: 602.230.0383

DRAWING INDEX

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G102	SITE PHOTOS
G103	3D PERSPECTIVES
	AERIAL CONTEXT PLAN
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A200	SITE PLAN
A201	UNDER GROUND GARAGE PLAN
A202	LEVEL 1 FLOOR PLAN
A203	LEVEL 2 FLOOR PLAN
A230	ROOF PLAN & SOLAR PLAN
A300	WEST & EAST ELEVATIONS (OFF SITE)
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A400	SECTIONS
A401	SECTIONS
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	TOPOGRAPHIC SURVEY



VIEW 11



VIEW 6



VIEW 1



VIEW 12



VIEW 7



VIEW 2



VIEW 21



VIEW 18



VIEW 13



VIEW 8



VIEW 3



VIEW 19



VIEW 14



VIEW 9



VIEW 4



VIEW 20



VIEW 15



VIEW 10



VIEW 5

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fax 602.230.0535

HILLSIDE
CONCEPTUAL REVIEW

URproject 20

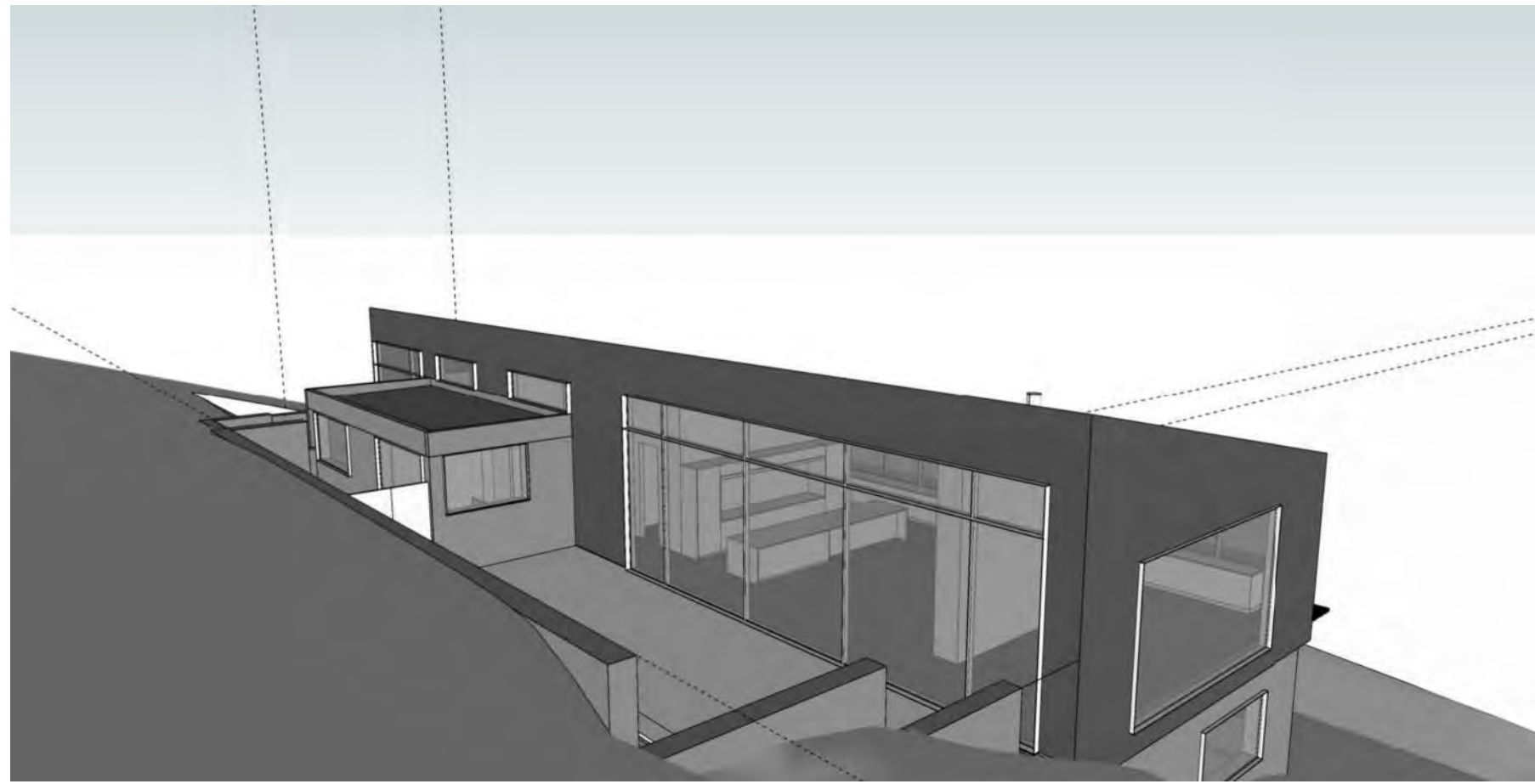
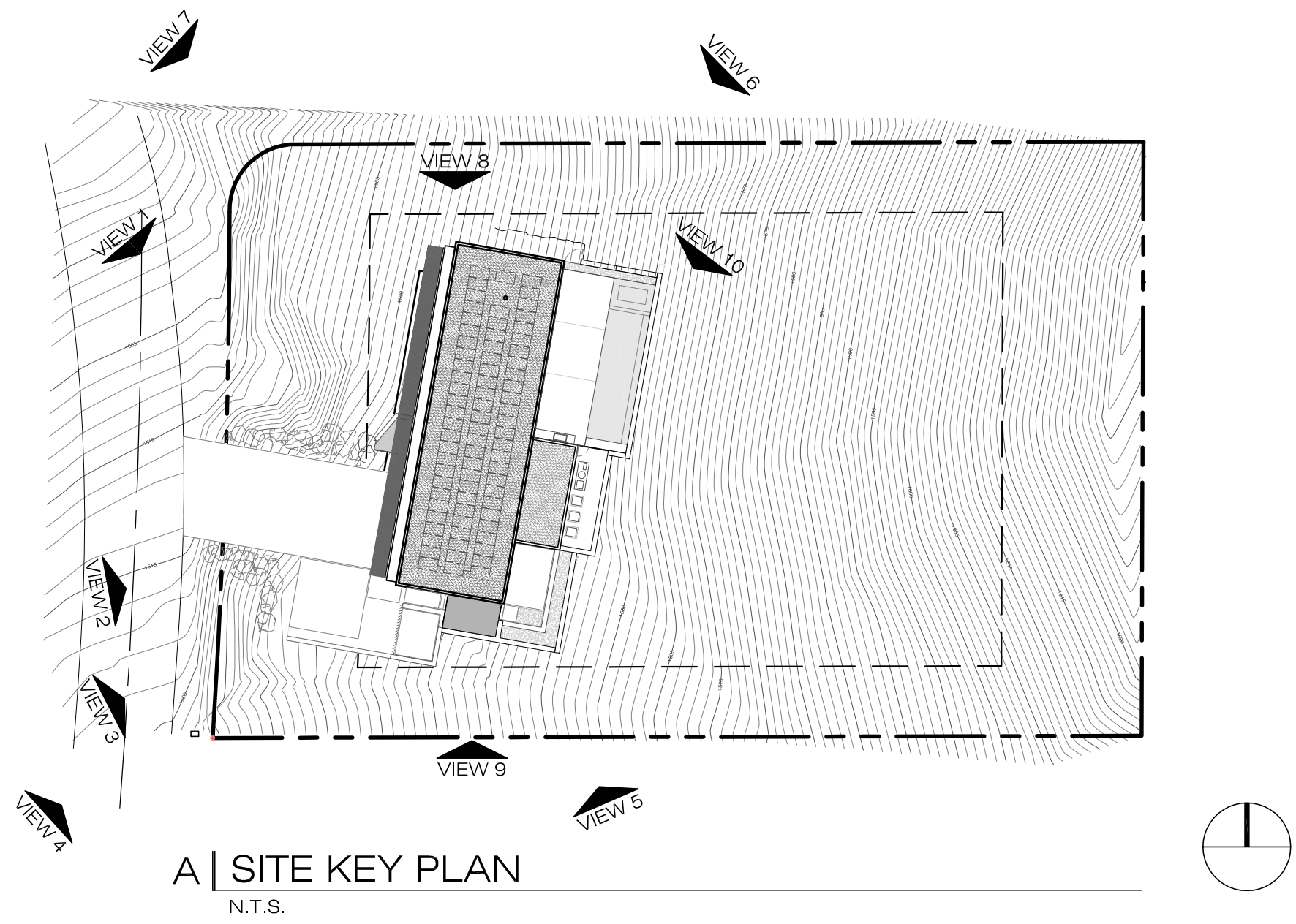
7941 north 55th street, paradise valley, arizona, 85253

SITE PHOTOS

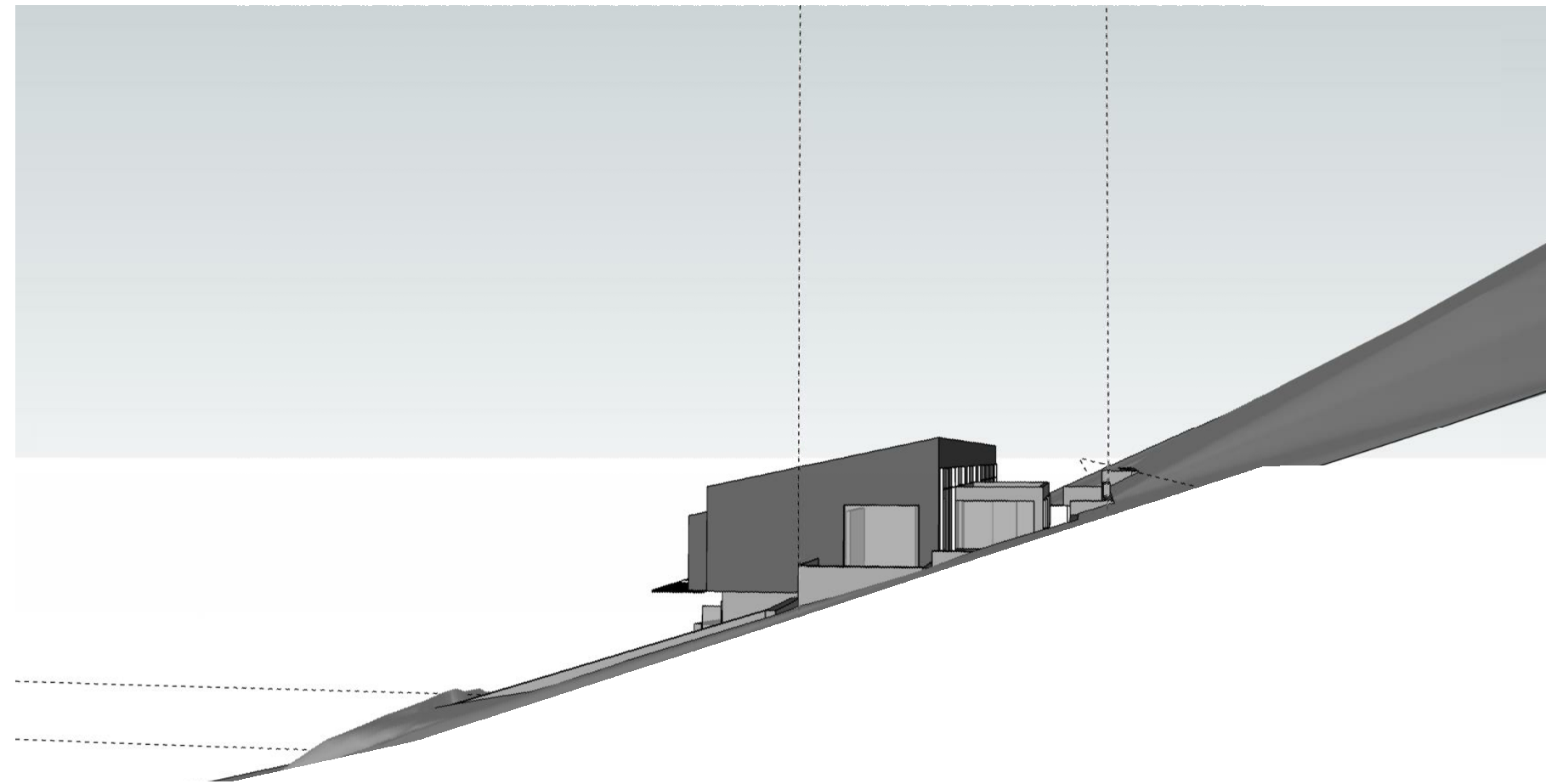
G101

07.12.22

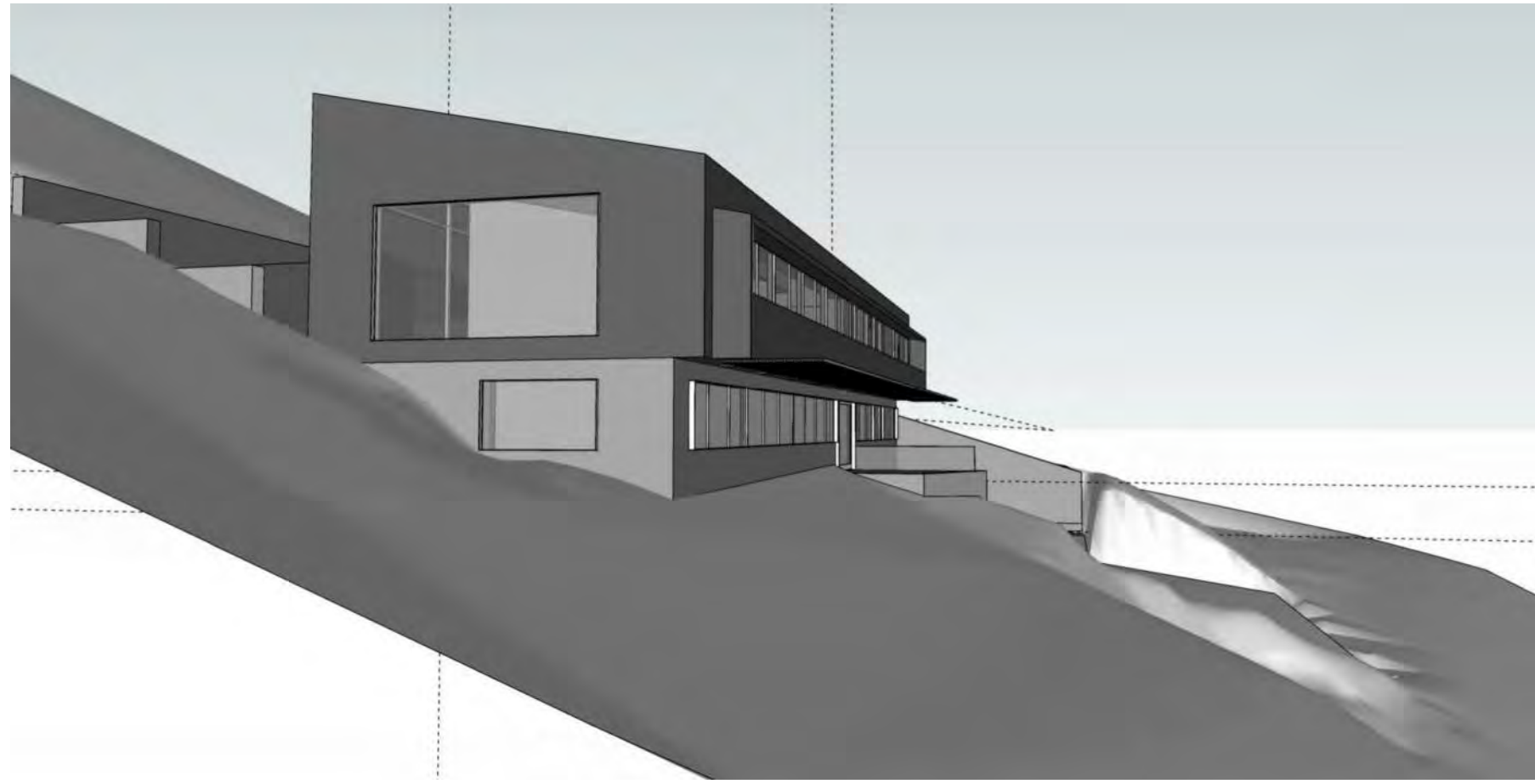
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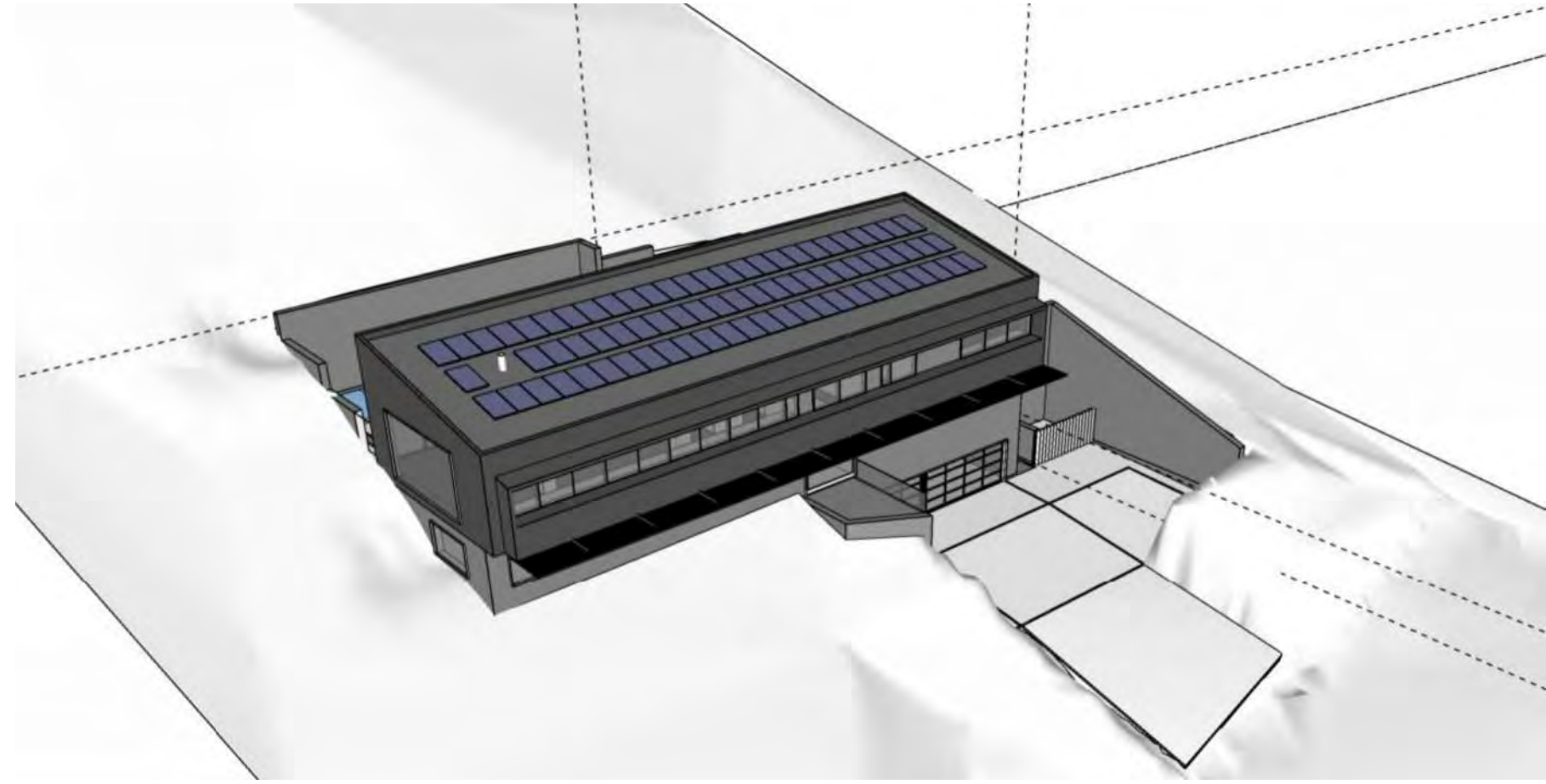
10 | VIEW 10
N.T.S.



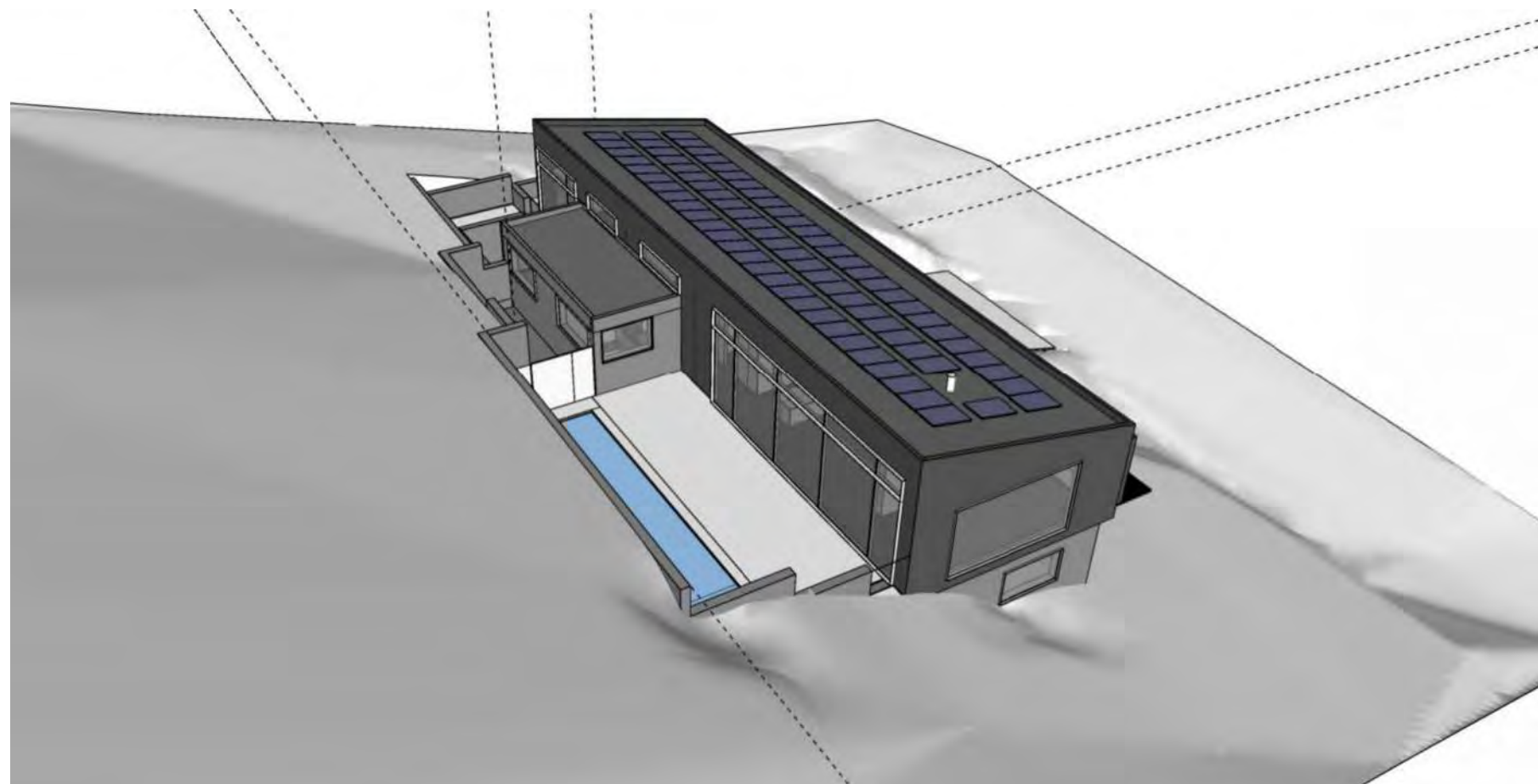
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N.T.S.



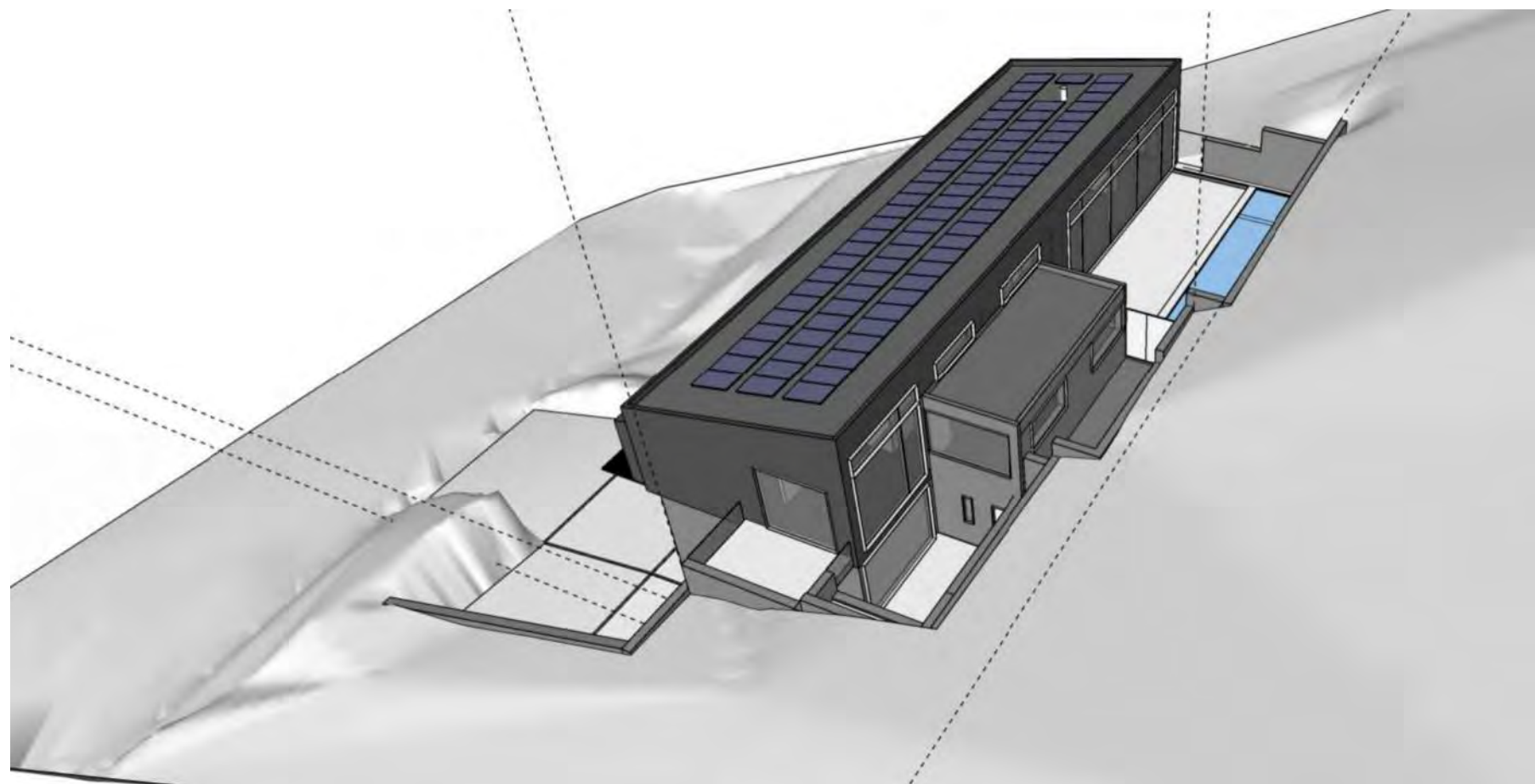
8 | VIEW 8
N.T.S.



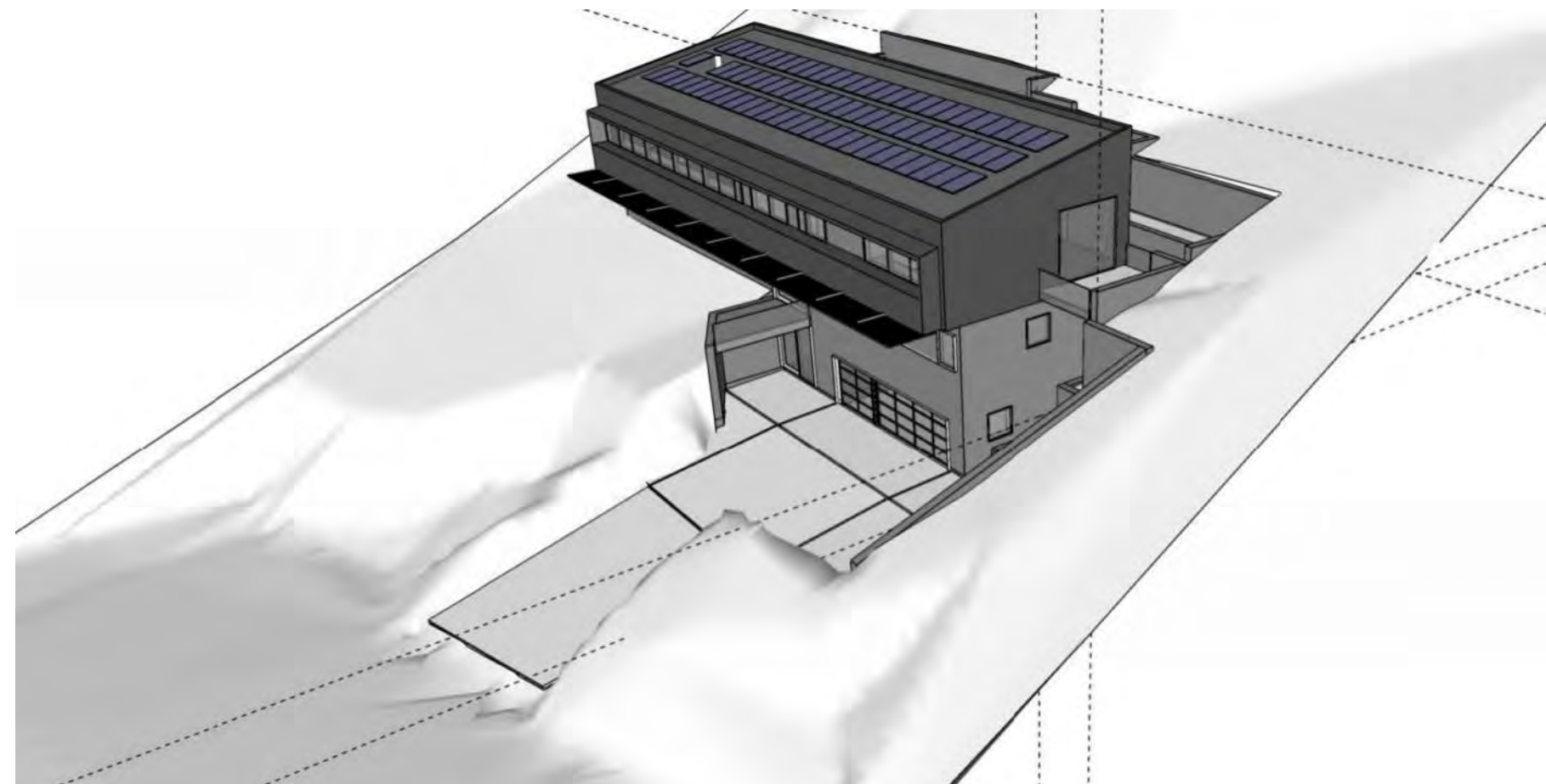
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N.T.S.



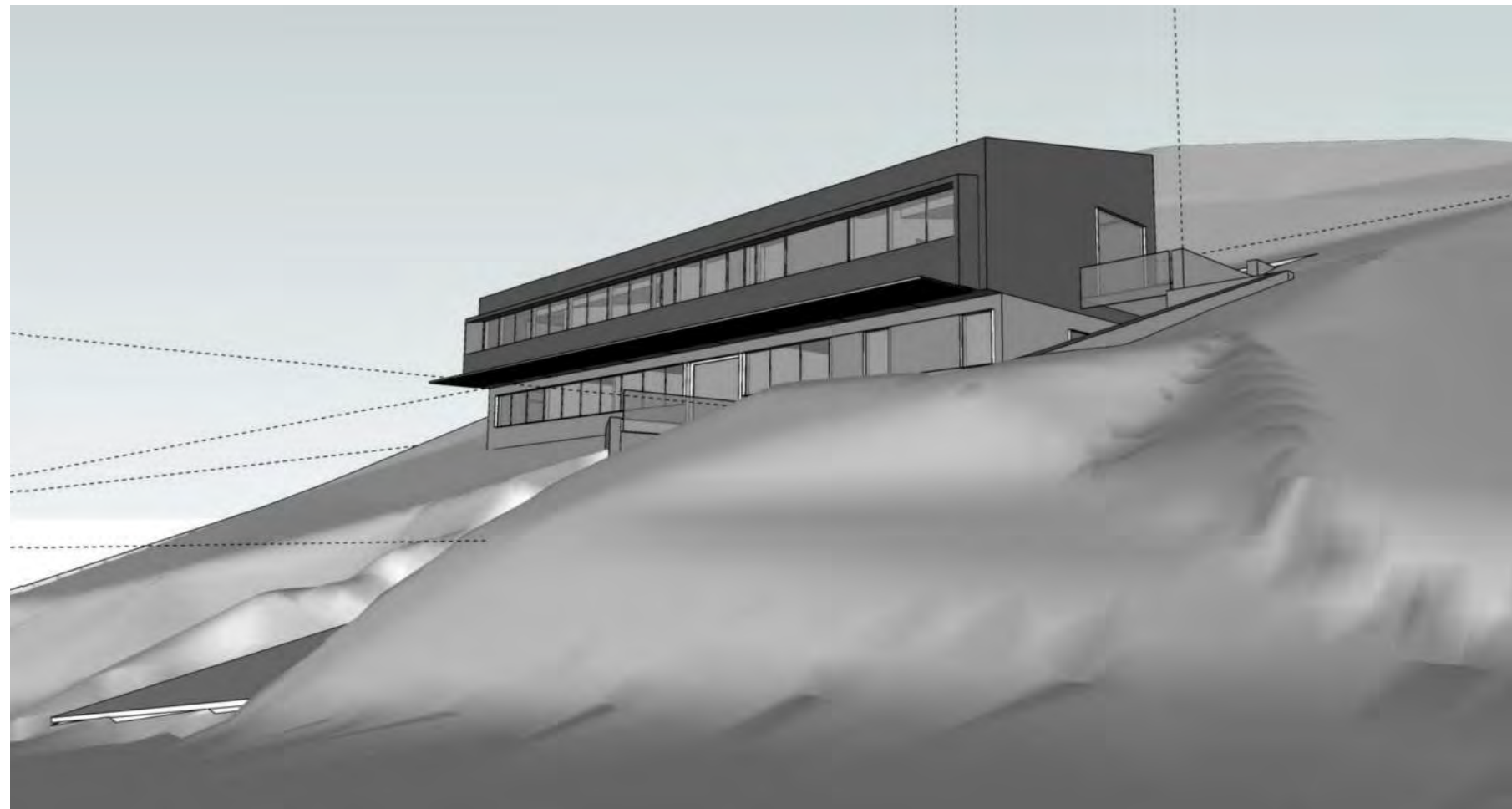
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N.T.S.



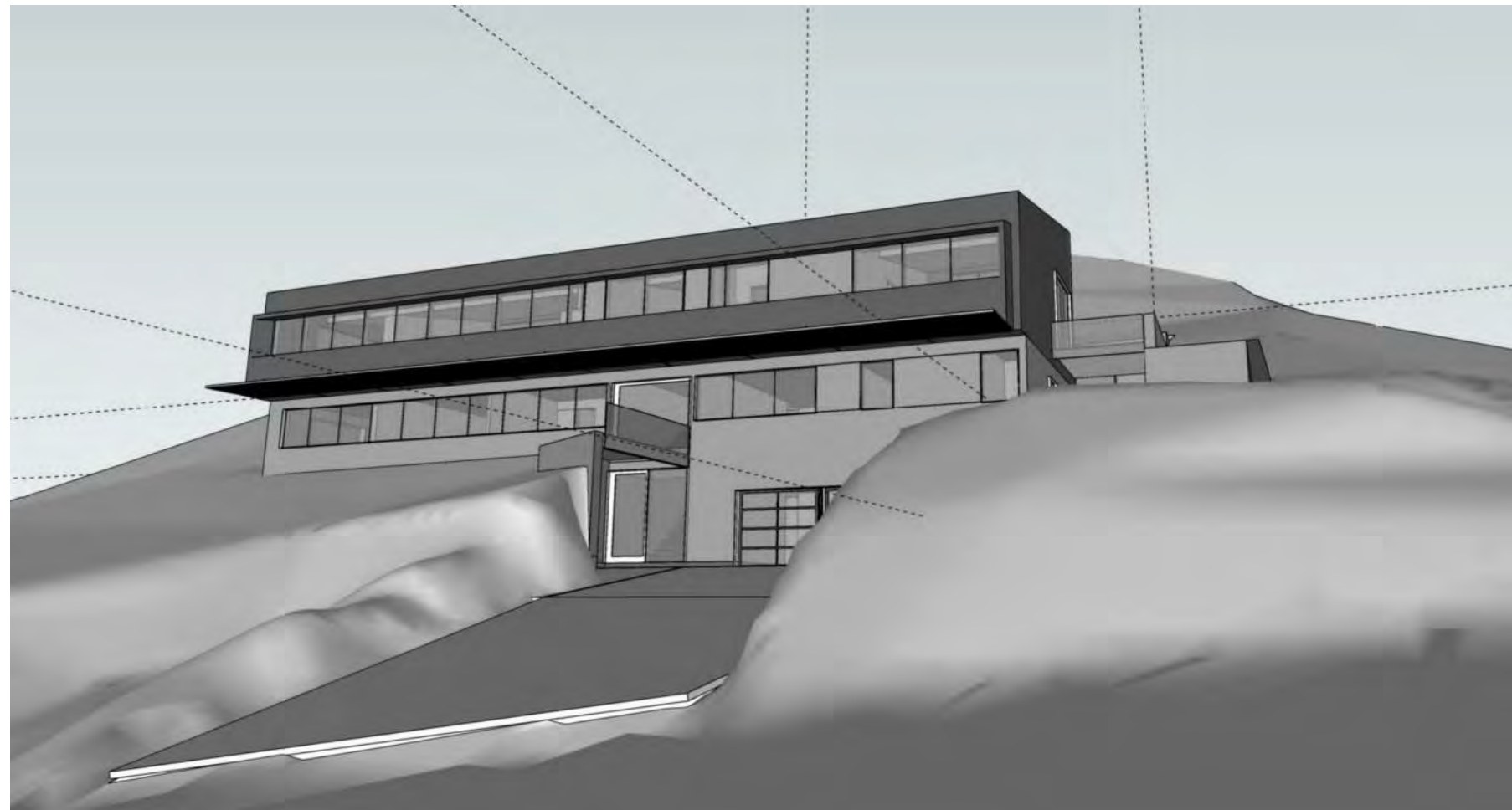
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N.T.S.



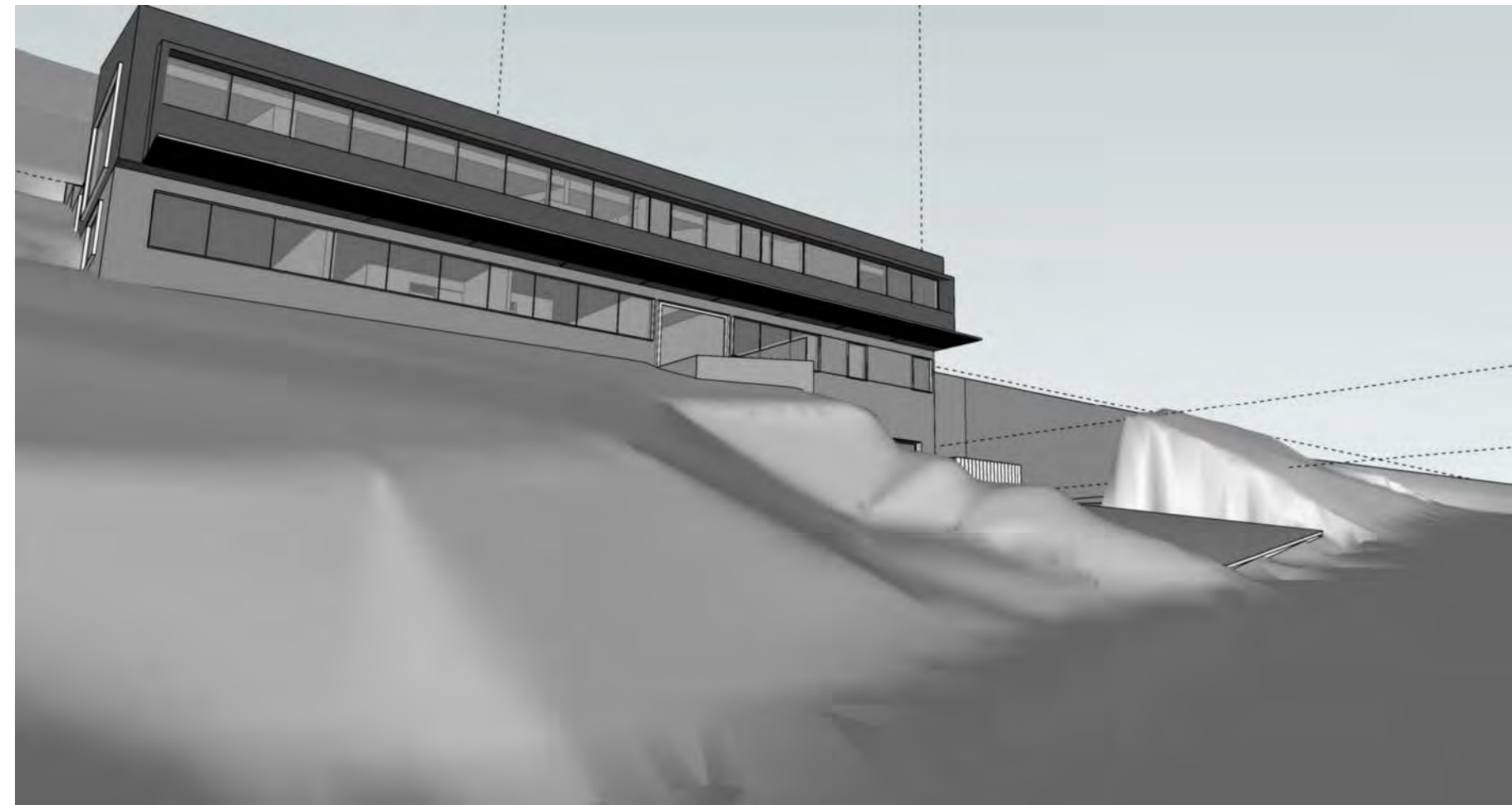
4 | VIEW 4
N.T.S.



3 | VIEW 3
N.T.S.



2 | VIEW 2
N.T.S.



1 | VIEW 1
N.T.S.

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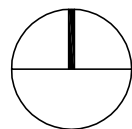
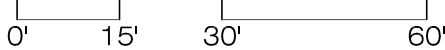
HILLSIDE
CONCEPTUAL REVIEW

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07.12.22
3D PERSPECTIVES
G102



1 | AERIAL CONTEXT SITE PLAN
SCALE: 1"=30'



URproject 20

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AERIAL CONTEXT PLAN

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HILLSIDE CONCEPTUAL REVIEW

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DRAWING KEY

- PROPOSED DISTURBED AREA
- INDICATES PATH OF WATER FLOW (DRAINAGE)

SITE DATA

PROJECT DESCRIPTION	NEW THREE STORY SINGLE FAMILY RESIDENCE. THE SCOPE OF WORK SHALL ALSO INCLUDE FULL SITE WORK AND APPURTENANCES, INCLUDING A POOL AND LANDSCAPING.
PROJECT ADDRESS	7941 NORTH 55TH STREET PARADISE VALLEY, ARIZONA 85253
LEGAL DESCRIPTION	LOT 25, OF EL DORADO ESTATES, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA RECORDED IN BOOK 174 OF MAPS, PAGE 26.
APN	169-06-076B
ZONING	R-43 (HILLSIDE)
AREA OF LOT (NET)	44,180 SF (1.014 ACRES±)
BUILDING SETBACKS	FRONT 40 FT REAR 40 FT SIDE 20 FT

BUILDING AREA & FLOOR AREA RATIO

BUILDING / SITE AREA	CONDITIONED:	
	BASEMENT	575 SF
	LEVEL 1	3,295 SF
	LEVEL 2	3,465 SF
	TOTAL GROSS LIVABLE	7,335 SF
UNCONDITIONED:	GARAGE (BASEMENT)	1,440 SF
	TRELLIS:	240 SF (480 SF @ 50% OPEN)
DECKS:	STAIR DECK	105 SF
	MAIN BED DECK	150 SF
PATIOS:	GUEST PATIO	210 SF
	POOL PATIO	715 SF
DRIVEWAY	GUEST PARKING	1,590 SF
	POOL & SPA	550 SF
FLOOR AREA	UNDER ROOF (LEVEL 2)	3,750 SF
	LEVEL 1	3,295 SF
	BASEMENT	575 SF
	GARAGE	1,440 SF
	TRELLIS	240 SF
	TOTAL FLOOR AREA	9,300 SF
FLOOR AREA RATIO	21.0% (TOTAL FLOOR AREA / AREA OF LOT) (25% ALLOWED F.A.R.)	

FINISH FLOOR ELEVATIONS

UNDERGROUND GARAGE F.F. = (-11'-6") 1523.83'
LEVEL 1 F.F. = (+0'-0") 1534.5.33'
LEVEL 2 F.F. = (+11'-6") 1546.83'

DISTURBANCE

BUILDING PAD SLOPE	42.0% (42' VERT. / 100'-0" HORIZ.)
ALLOWABLE DISTURBED AREA	4,329.64 SF (44,180 SF x 9.8%)
DRIVEWAY/ AUTO COURT REDUCTION	0 SF (1,630 SF x 0%) EXCEEDS 18" FROM NATURAL GRADE
BUILDING FOOTPRINT	3,465 SF
EXISTING DISTURBED AREA	2,200 SF (EXISTING ROAD CUT)
PROPOSED DISTURBED AREA	
GROSS AREA	16,000 SF
EXISTING DISTURBED AREA	+ 1,565 SF (EXISTING ROAD CUT)
BUILDING FOOTPRINT	- 3,465 SF
DRIVEWAY REDUCTION	- 0 SF
RESTORATION	- 1,230 SF
NET DISTURBANCE	12,870 SF
% OF LOT DISTURBED	29.1%

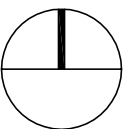
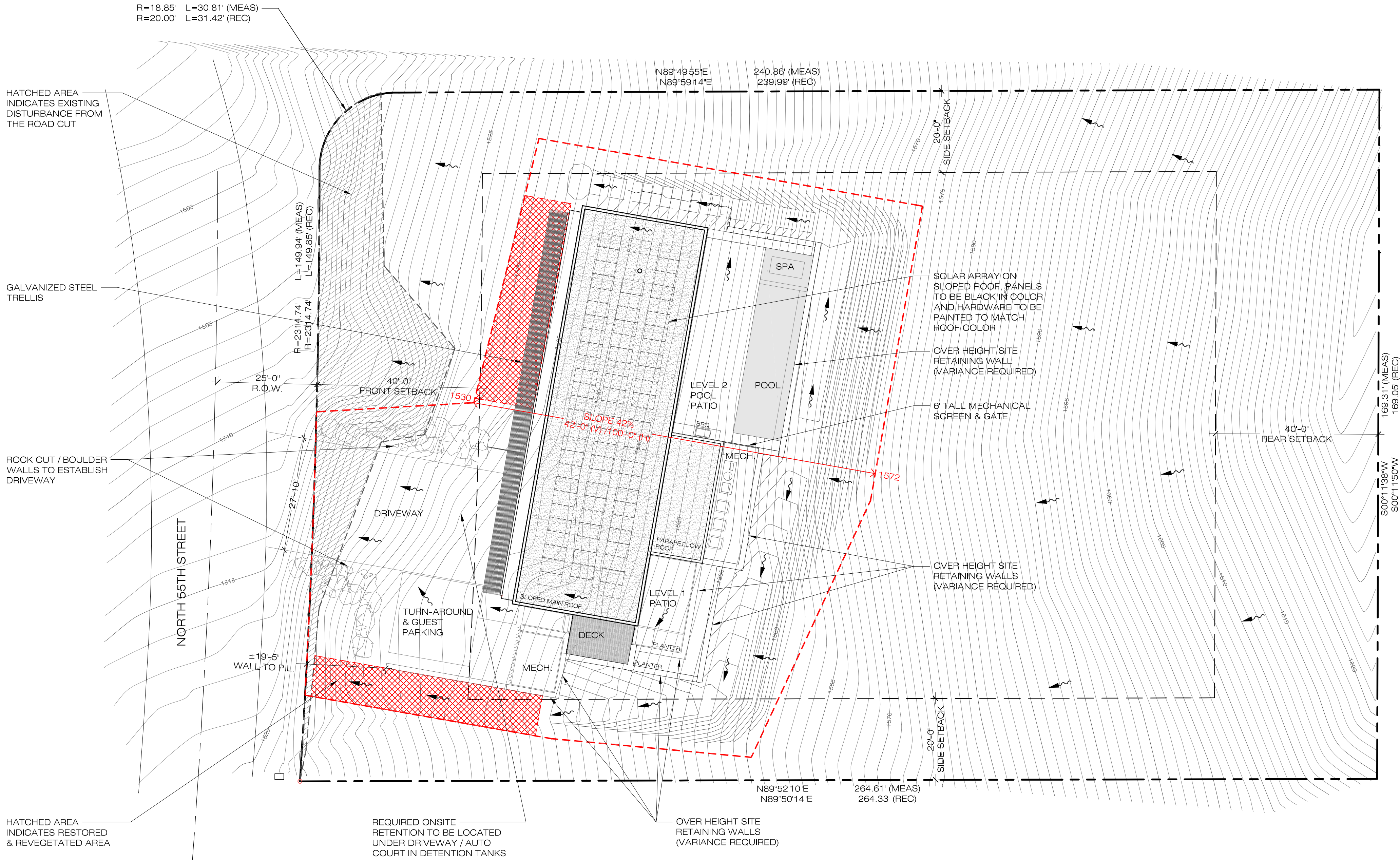
*NOTE: HATCHED AREAS THAT ARE MARKED FOR RESTORATION SHALL RESTORE NATURAL GRADE AND NATIVE VEGETATION.

GENERAL NOTE

THE SITE WITH IN THE PROPOSED DISTURBANCE NOT LABELED AS RESTORED WILL BE RE-VEGETATED, TO MATCH THE SURROUND HILLSIDE, BACK TO THE HOUSE. NO CREDIT TO REDUCE THE DISTURBANCE CAN BE GIVEN SINCE THE NATURAL GRADE CAN NOT BE RESTORED.

BOARD OF ADJUSTMENT

CASE NO. BA-00-00



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fax 602.230.0535

HILLSIDE
CONCEPTUAL REVIEW

URproject 20

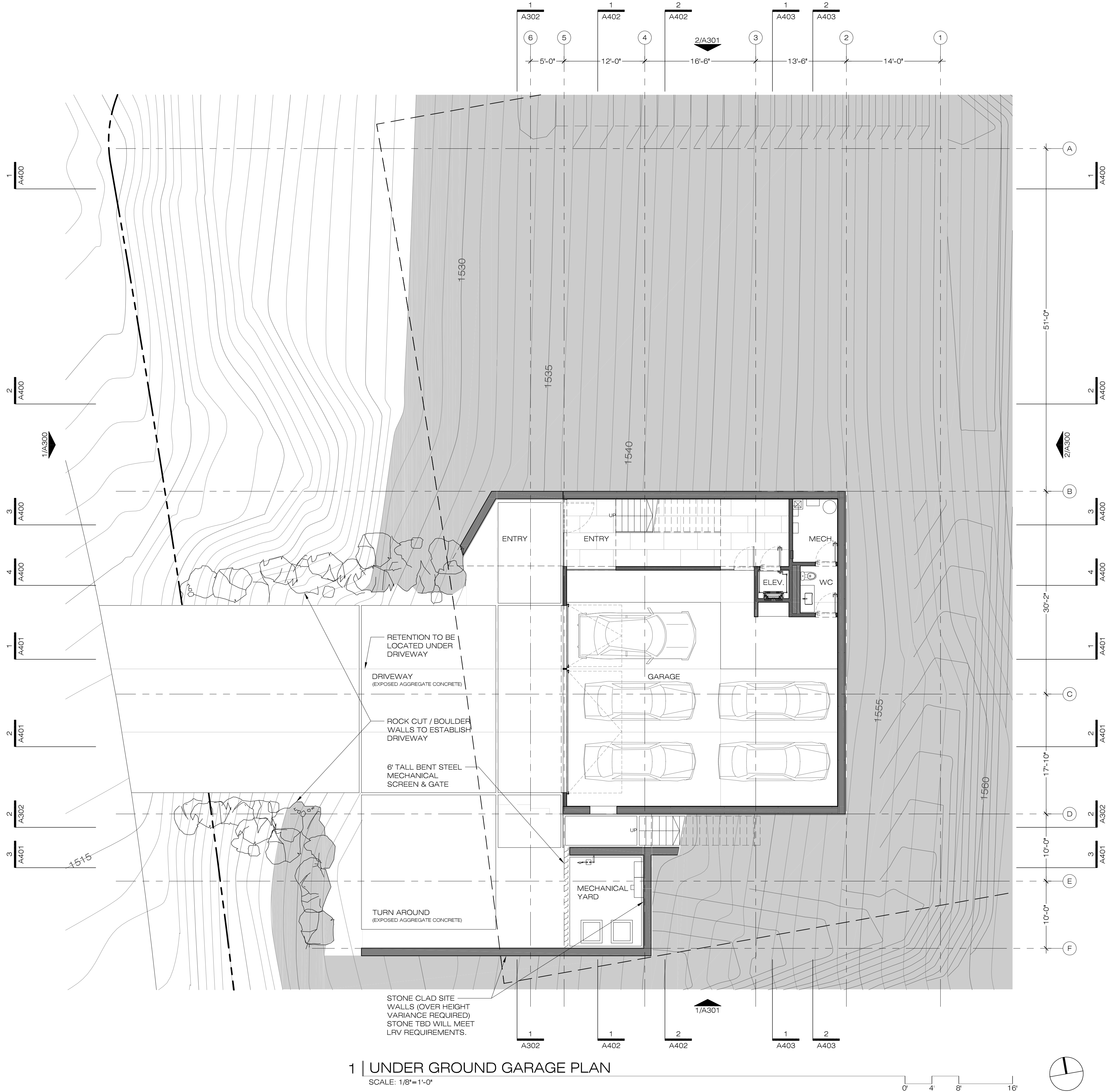
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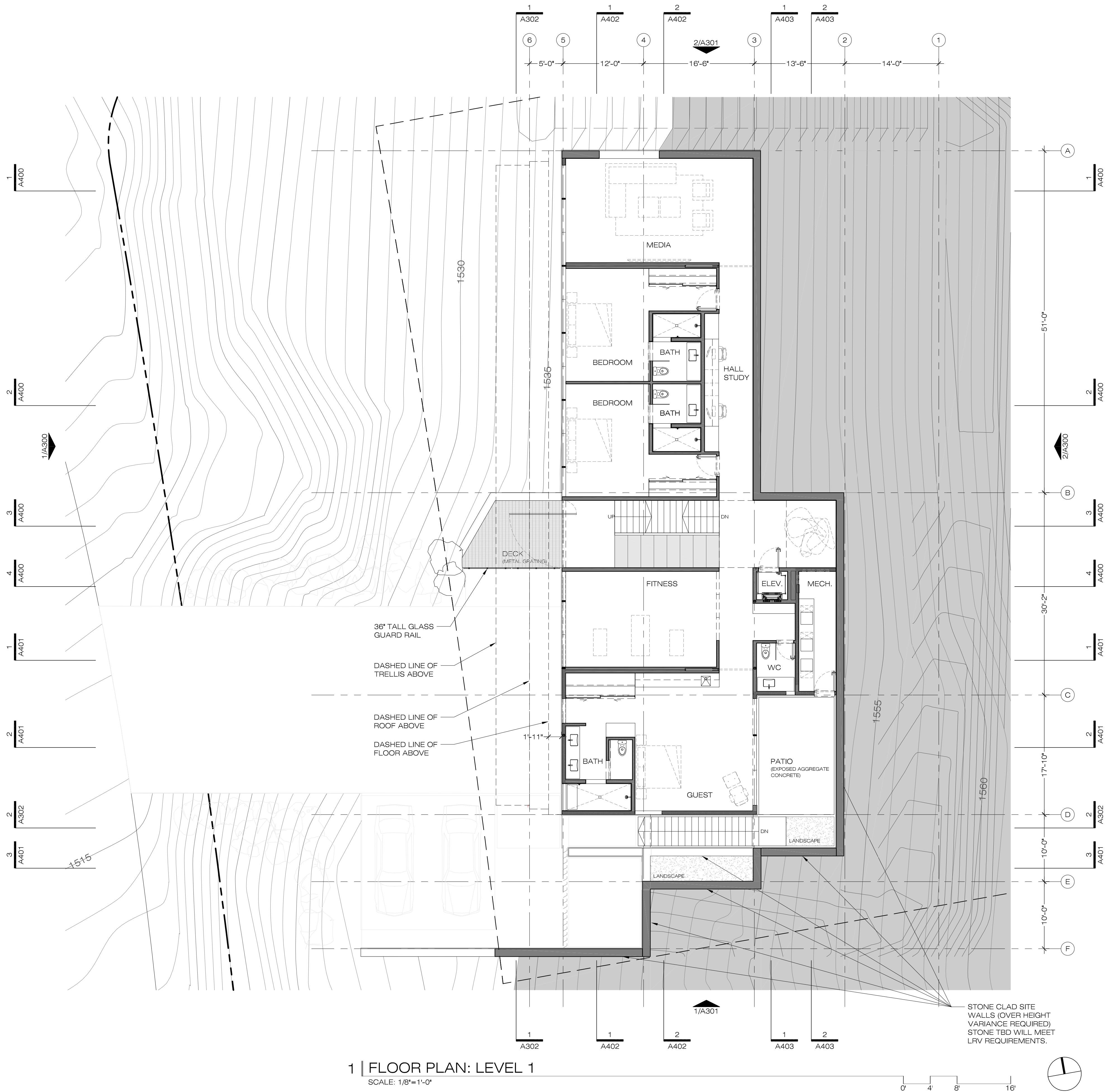
SITE PLAN

07.12.22

A100

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1 | FLOOR PLAN: LEVEL 1
SCALE: 1/8"=1'-0"

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HILLSIDE
CONCEPTUAL REVIEW

URproject 20

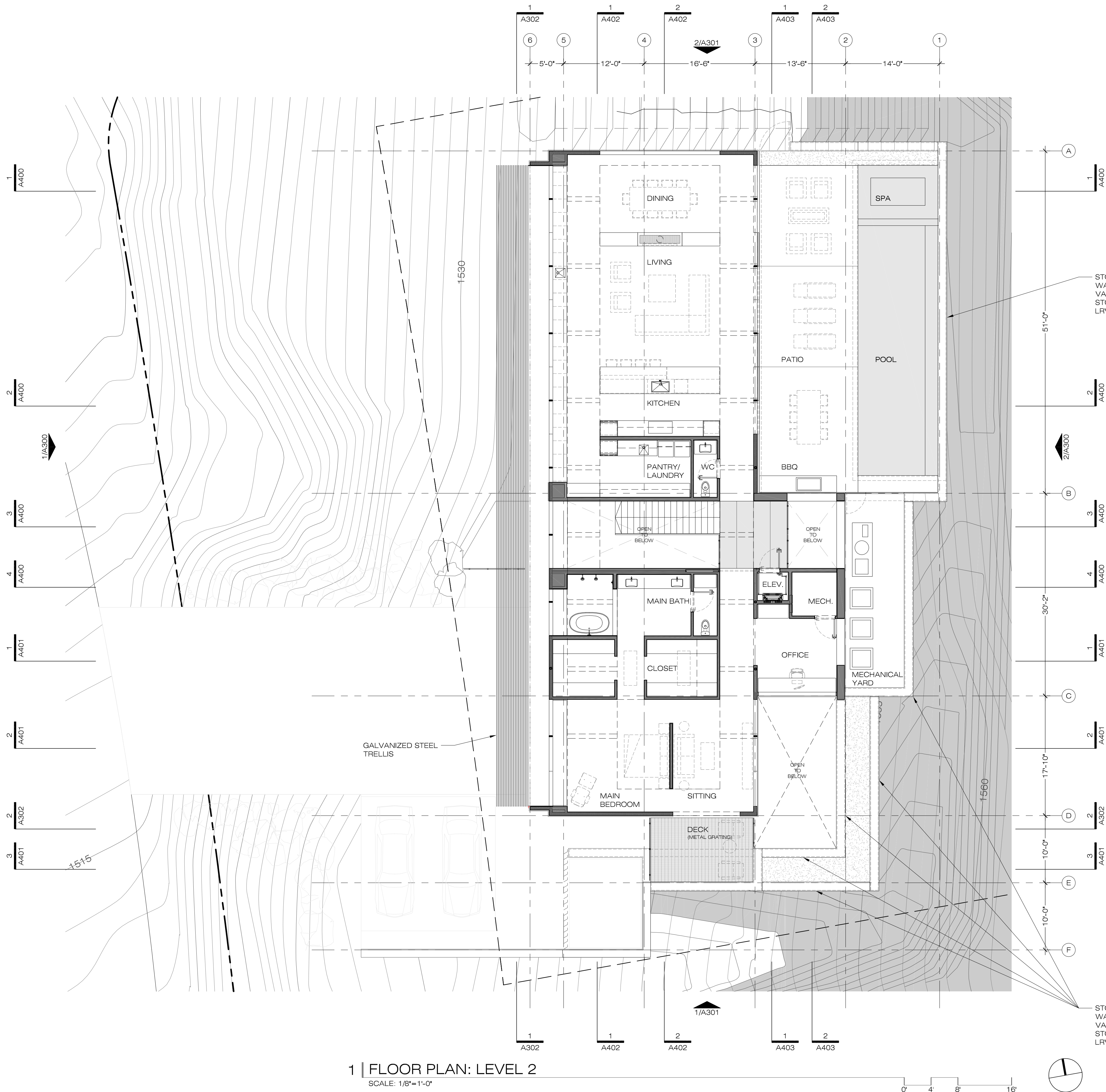
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LEVEL 1 FLOOR PLAN

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A201

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1 | FLOOR PLAN: LEVEL 2
SCALE: 1/8"=1'-0"

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HILLSIDE CONCEPTUAL REVIEW

URproject 20

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LEVEL 2 FLOOR PLAN

07.12.22

A202

STONE CLAD SITE
WALLS (OVER HEIGHT
VARIANCE REQUIRED).
STONE TBD WILL MEET
LRV REQUIREMENTS.

STONE CLAD SITE
WALLS (OVER HEIGHT
VARIANCE REQUIRED).
STONE TBD WILL MEET
LRV REQUIREMENTS.

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DEMAND MANAGER:
ENERGY SENTRY 9388A OR APPROVED EQUAL
NOT PAINTED SCREENED FROM VIEW

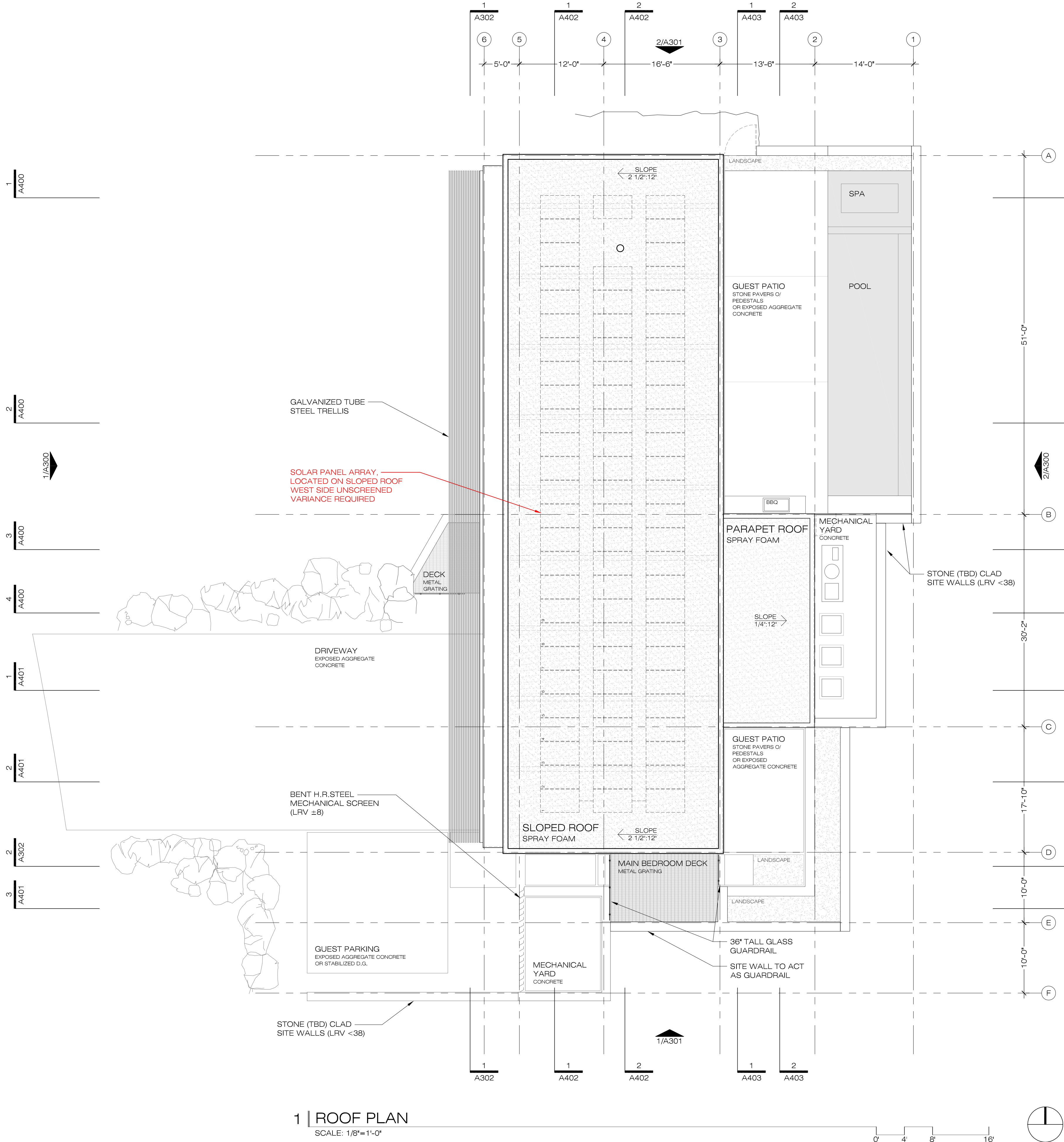
SOLAR PANELS:
HANWHA Q CELLS Q.PEAK G4.1 305 OR SILFAB 330

INVERTER:
SOLAR EDGE SE7600H-US OR APPROVED EQUAL
NOT PAINTED SCREENED FROM VIEW

RACKING SYSTEM:
EVEREST MOUNTING RAIL
6000 SERIES

1. SOLAR SYSTEM TO BE ENGINEERED
2. NEW SOLAR ARRAY TO CONSIST OF SILFAB, Q CELL OR EQUAL SOLAR PANELS TO BE LOCATED ON THE SLOPED ROOF. SOLAR PANELS TO BE BLACK IN COLOR.
3. PANELS WILL BE SCREENED WHEN VIEWED FROM THE SAME ELEVATION AS THE EXISTING 12' HIGH BRICK TALL PARAPET TO THE NORTH AND SOUTH. PANELS WILL NOT BE VISIBLE FROM THE EAST HOWEVER DUE TO THE SLOPE PANELS WILL BE VISIBLE TO THE WEST.
4. THE METER, DISCONNECT, INVERTER AND DEMAND MANAGER WILL BE LOCATED IN THE MECHANICAL YARD AND WILL NOT BE VISIBLE FROM THE EXTERIOR.

METER / DISCONNECT:
NOT PAINTED SCREENED FROM VIEW



BROADCAST:
"CEDAR-SHAKEWOOD BLEND RG43" BY LUCAS GRANULES OF
"LONESTAR #8-16 AQUARIUM BUFF" BY PARAGON BUILDING
MATERIALS (OR APPROVED EQ.) INTO WET TOPCOAT

the construction zone
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phoenix, arizona 85016
office 602.230.0383
fax 602.230.0535

HILLSIDE

CONCEPTUAL REVIEW

URproject 20

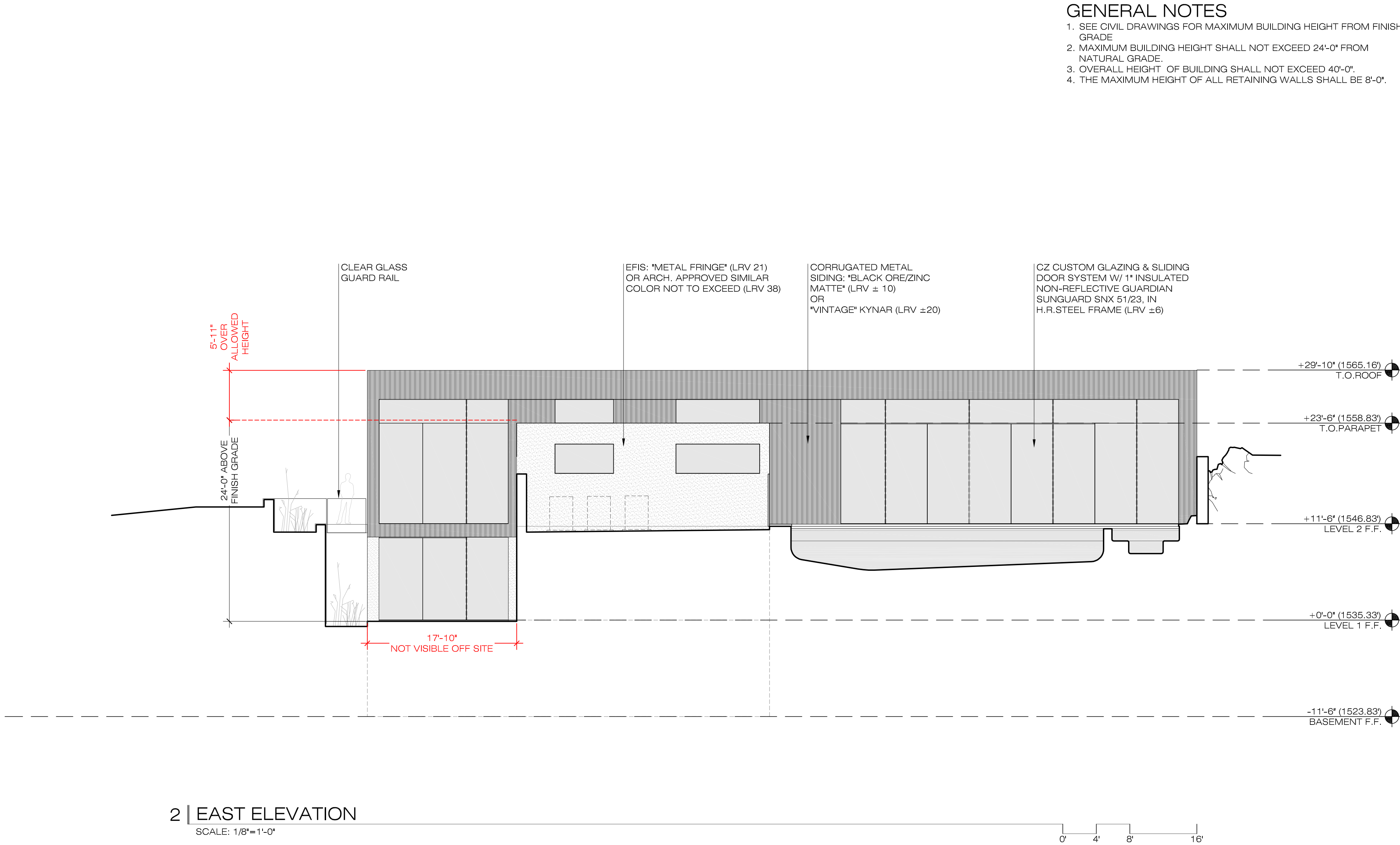
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ROOF PLAN & SOLAR PLAN

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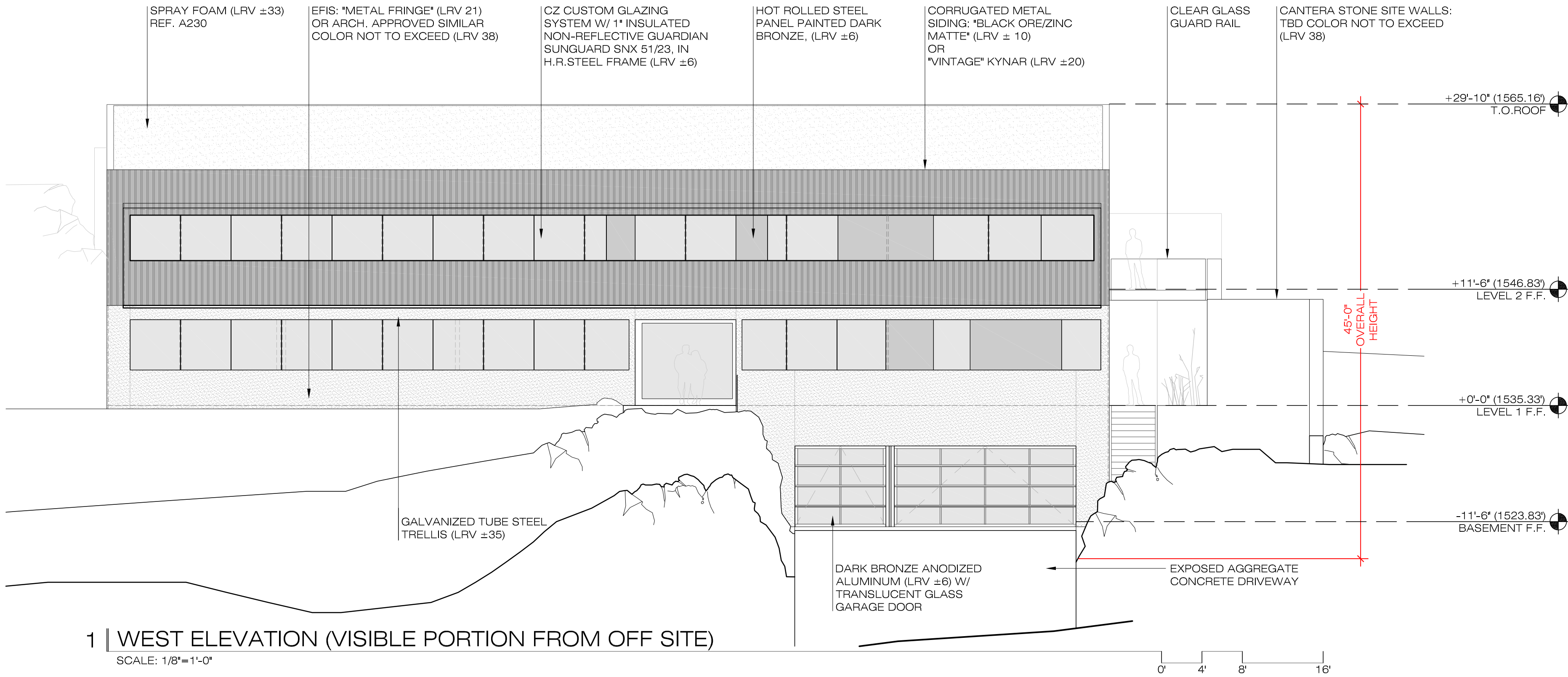
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A230



2 | EAST ELEVATION

SCALE: 1/8"=1'-0"



1 | WEST ELEVATION (VISIBLE PORTION FROM OFF SITE)

SCALE: 1/8"=1'-0"

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phoenix, arizona 85016
office 602.230.0383
fax 602.230.0535

HILLSIDE
CONCEPTUAL REVIEW

URproject 20

7941 north 55th street, paradise valley, arizona, 85253

WEST & EAST ELEVATIONS

07.12.22

A300

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office 602.230.0383
fax 602.230.0535

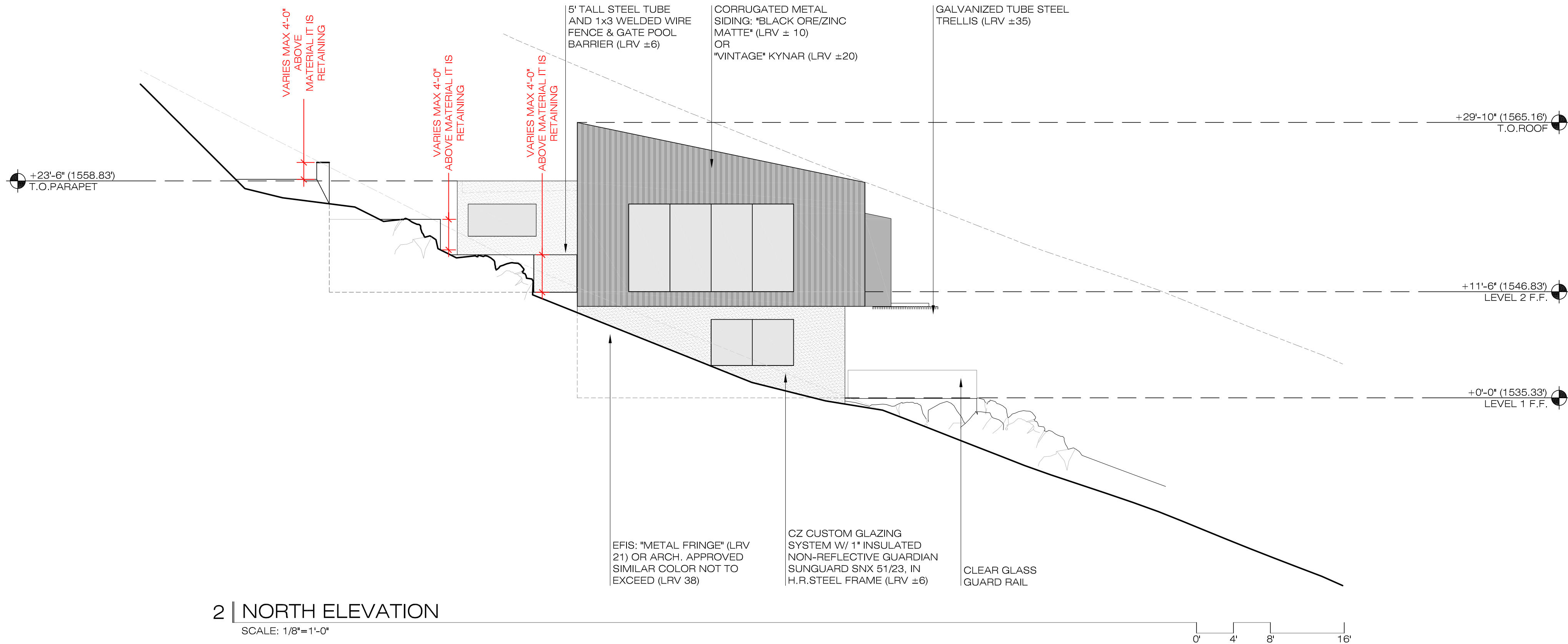
HILLSIDE
CONCEPTUAL REVIEW

URproject 20
7941 north 55th street, paradise valley, arizona, 85253
07.12.22
SOUTH & NORTH ELEVATIONS

A301

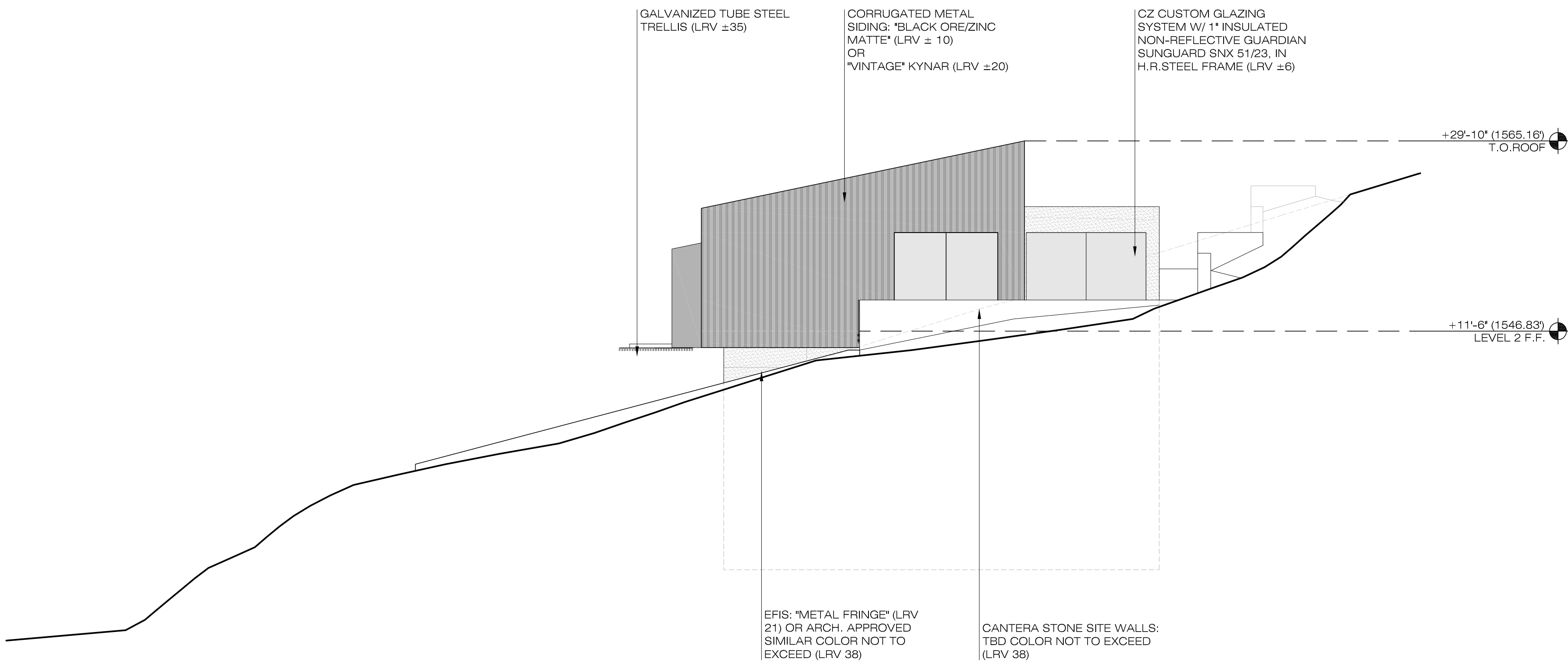
GENERAL NOTES

1. SEE CIVIL DRAWINGS FOR MAXIMUM BUILDING HEIGHT FROM FINISH GRADE
2. MAXIMUM BUILDING HEIGHT SHALL NOT EXCEED 24'-0" FROM NATURAL GRADE.
3. OVERALL HEIGHT OF BUILDING SHALL NOT EXCEED 40'-0".
4. THE MAXIMUM HEIGHT OF ALL RETAINING WALLS SHALL BE 8'-0".



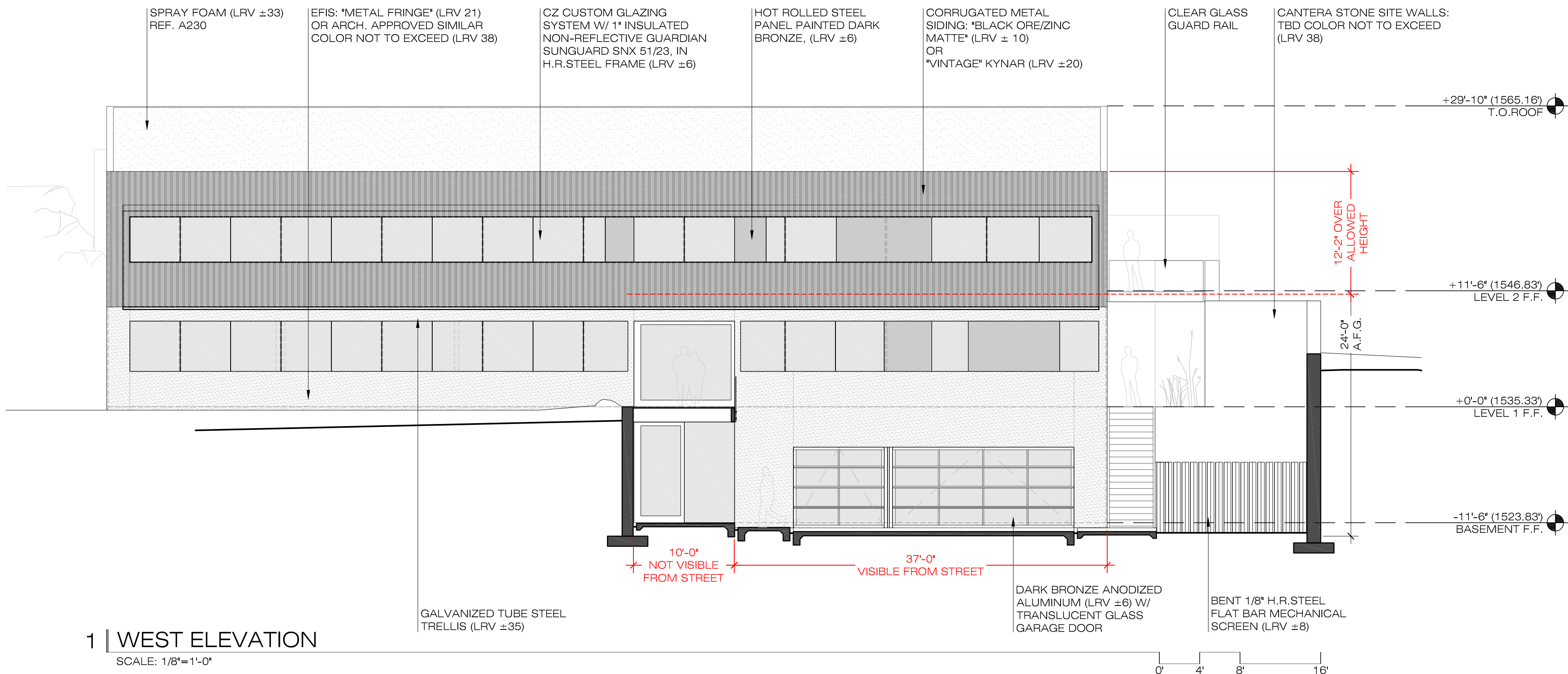
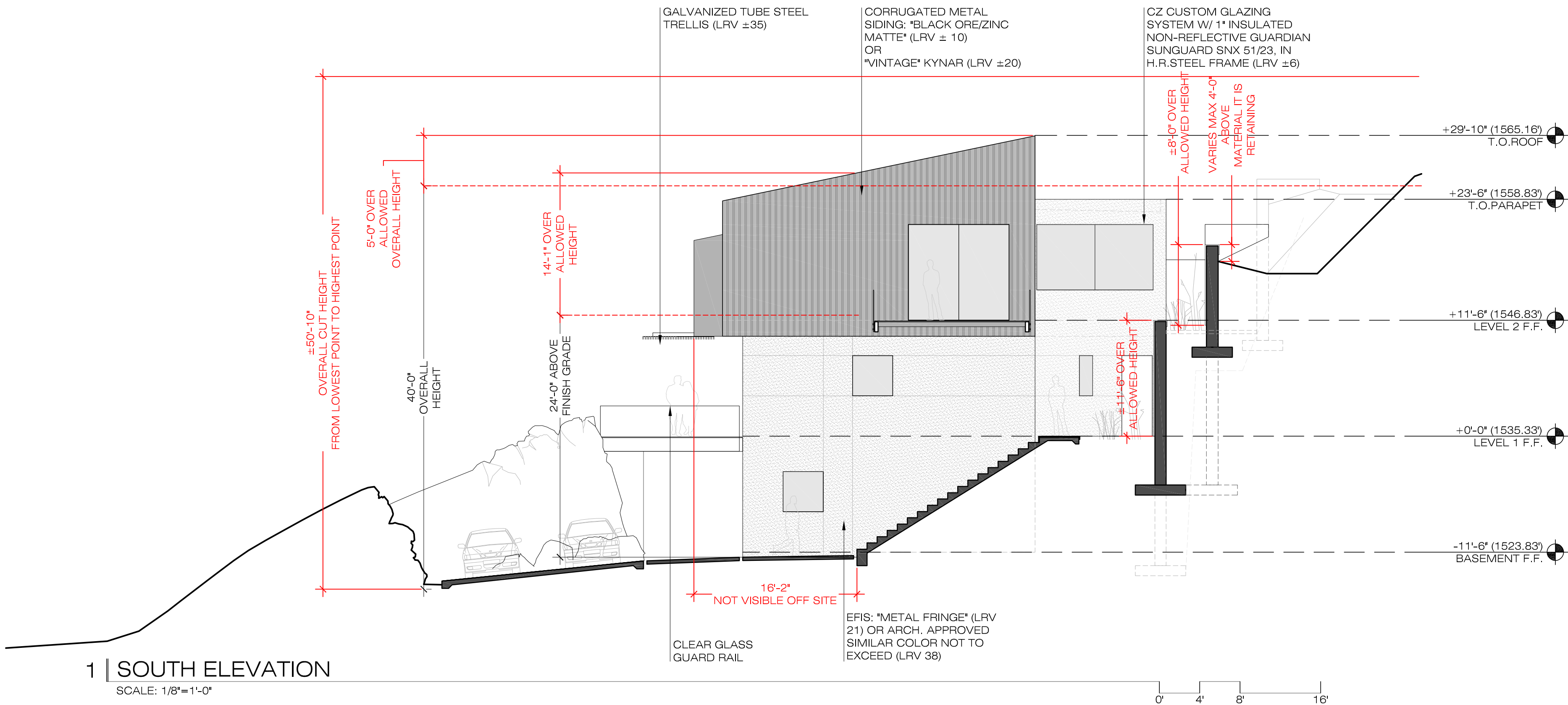
2 | NORTH ELEVATION

SCALE: 1/8"=1'-0"



1 | SOUTH ELEVATION (VISIBLE PORTION FROM OFF SITE)

SCALE: 1/8"=1'-0"



- GENERAL NOTES
1. SEE CIVIL DRAWINGS FOR MAXIMUM BUILDING HEIGHT FROM FINISH GRADE
 2. MAXIMUM BUILDING HEIGHT SHALL NOT EXCEED 24'-0" FROM NATURAL GRADE.
 3. OVERALL HEIGHT OF BUILDING SHALL NOT EXCEED 40'-0".
 4. THE MAXIMUM HEIGHT OF ALL RETAINING WALLS SHALL BE 8'-0".

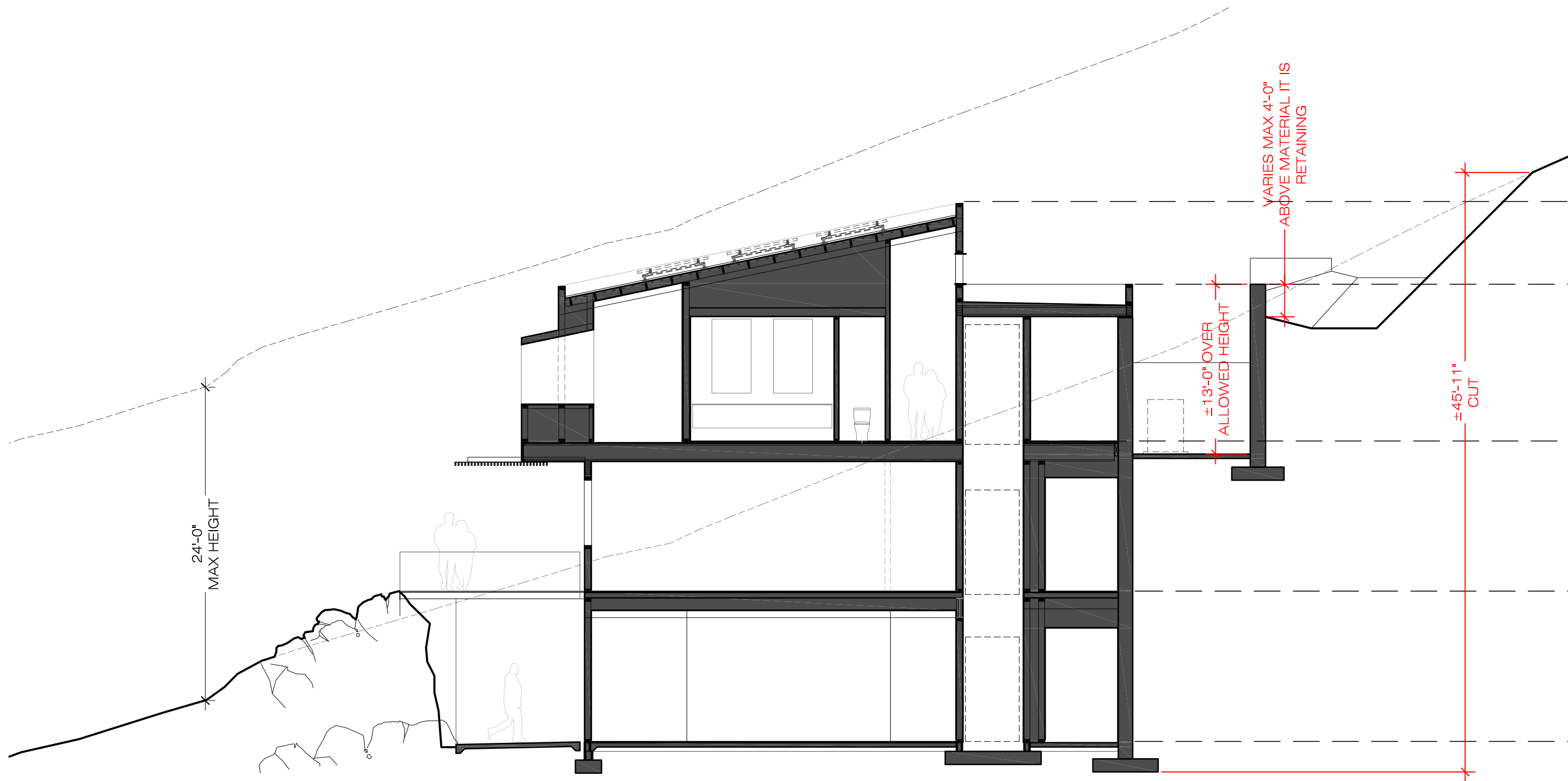
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office 602.230.0383
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HILLSIDE
CONCEPTUAL REVIEW

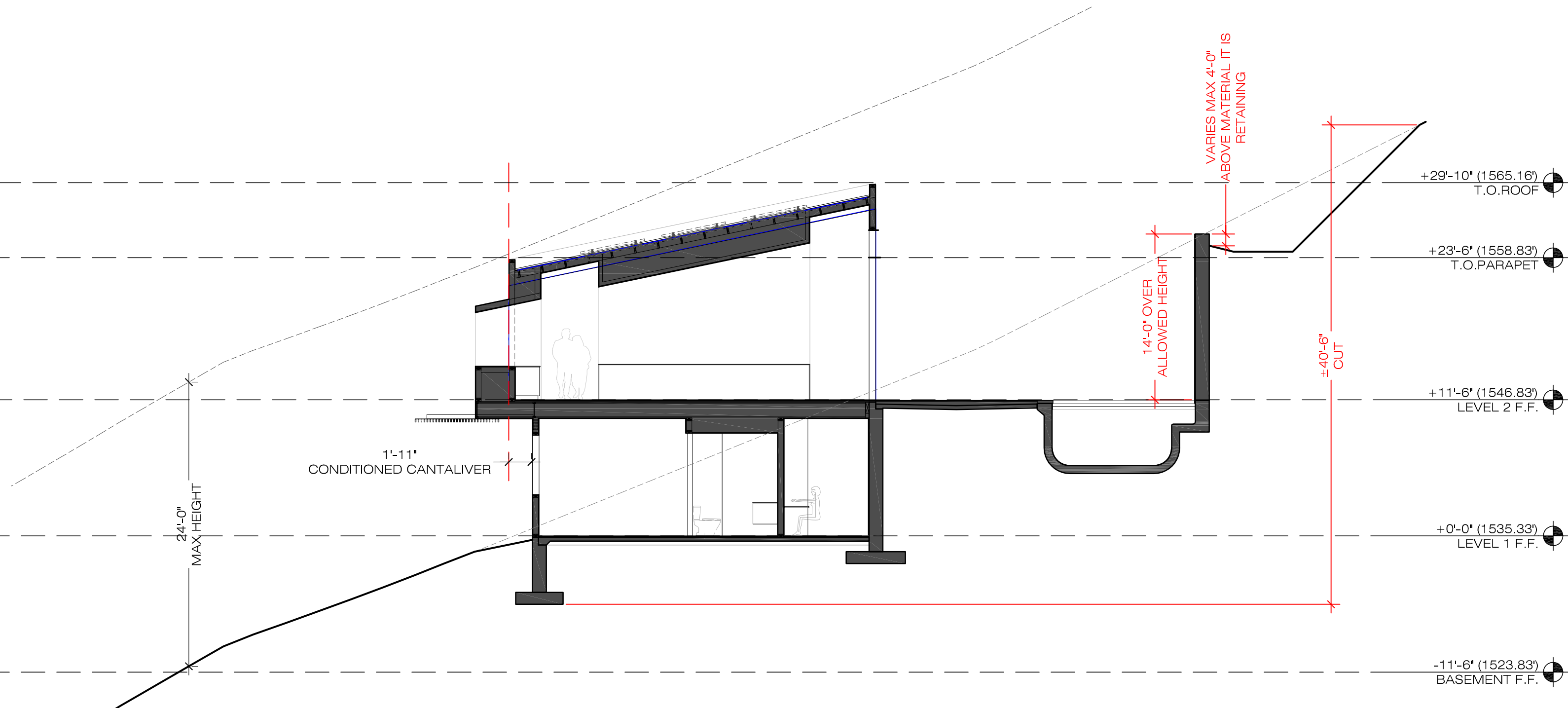
URproject 20
7941 north 55th street, paradise valley, arizona, 85253
WEST & SOUTH ELEVATIONS
07.12.22

A302

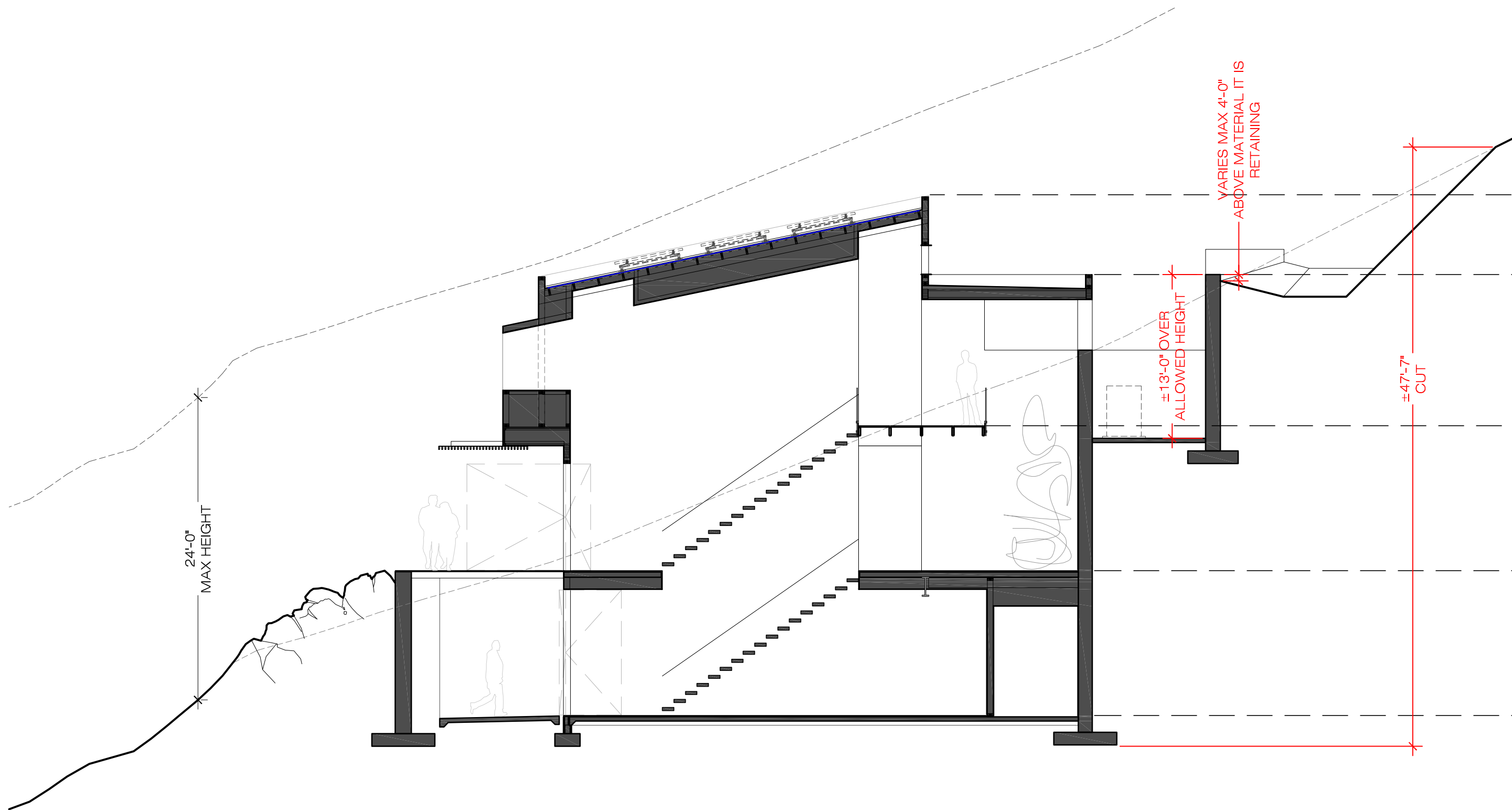
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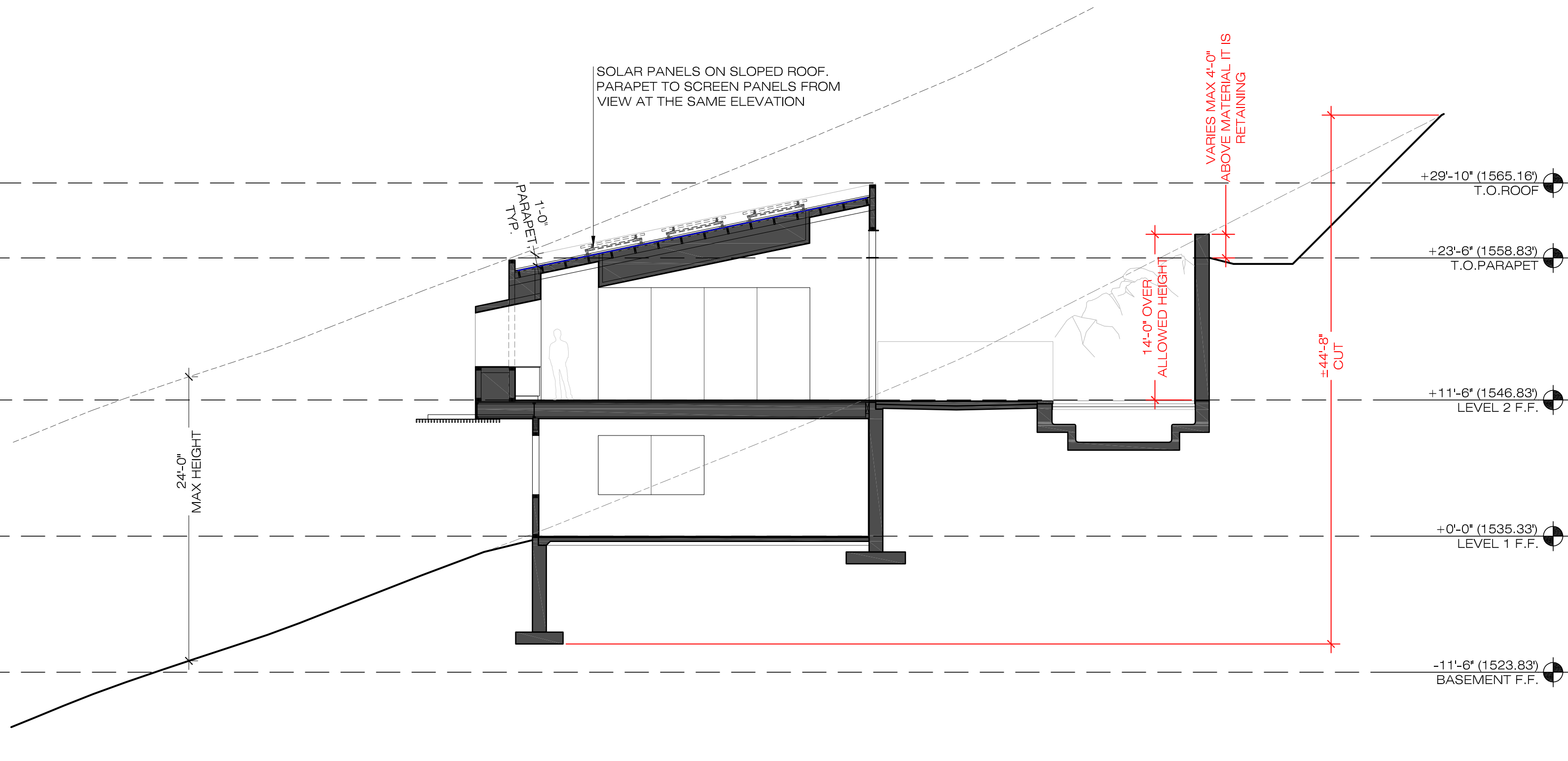
4 | SECTION
SCALE: 1/8"=1'-0"



2 | SECTION
SCALE: 1/8"=1'-0"



3 | SECTION
SCALE: 1/8"=1'-0"



1 | SECTION
SCALE: 1/8"=1'-0"

GENERAL NOTES

1. MAXIMUM BUILDING HEIGHT SHALL NOT EXCEED 24'-0" FROM NATURAL GRADE.
2. OVERALL HEIGHT OF BUILDING SHALL NOT EXCEED 40'-0".
3. THE MAXIMUM HEIGHT OF ALL RETAINING WALLS SHALL BE 8'-0".
4. ALL HOUSE RETAINING WALLS BELOW GRADE SHALL BE FULLY WATERPROOFED FROM TOP OF FOOTING TO THE FINISHED GRADE ON THE RETAINING (NON-VISIBLE SIDE) WITH 'BITUTHENE 4000' WATERPROOFING WITH DOW 1/4" HPU FAN BOARD PROTECTION* OR APPROVED EQUAL PER MANUFACTURER'S RECOMMENDED INSTALLATION.
5. ALL SITE RETAINING WALLS VISIBLE FROM ONE SIDE, SHALL BE FULLY DAMP PROOFED FROM TOP OF FOOTING TO THE FINISHED GRADE ON THE RETAINING (NON-VISIBLE SIDE) WITH 'HENRY SEALER AND DAMP PROOFER' OR APPROVED EQUAL PER MANUFACTURER'S RECOMMENDED INSTALLATION.

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HILLSIDE
CONCEPTUAL REVIEW

URproject 20

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SECTIONS

07.12.22

A400

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1. MAXIMUM BUILDING HEIGHT SHALL NOT EXCEED 24'-0" FROM NATURAL GRADE.
2. OVERALL HEIGHT OF BUILDING SHALL NOT EXCEED 40'-0".
3. THIRD FLOOR HEIGHT OF ALL RETAINING WALLS SHALL BE 8'-0".
4. ALL HOUSE RETAINING WALLS BELOW GRADE SHALL BE FULLY WATERPROOFED FROM TOP OF FOOTING TO THE FINISHED GRADE ON THE RETAINING (NON-VISIBLE SIDE) WITH "BITUTHENE 4000 WATERPROOFING WITH DOW 1/4" HPU FAN BOARD PROTECTION" OR EQUIVALENT EQUAL PER MANUFACTURERS' RECOMMENDED INSTALLATION.
5. ALL SITE RETAINING WALLS VISIBLE FROM ONE SIDE, SHALL BE FULLY DAMP PROOFED FROM TOP OF FOOTING TO THE FINISHED GRADE ON THE RETAINING (NON-VISIBLE SIDE) WITH "HENRY SEALER AND DAMP PROOFER" OR APPROVED EQUAL PER MANUFACTURERS' RECOMMENDED INSTALLATION.

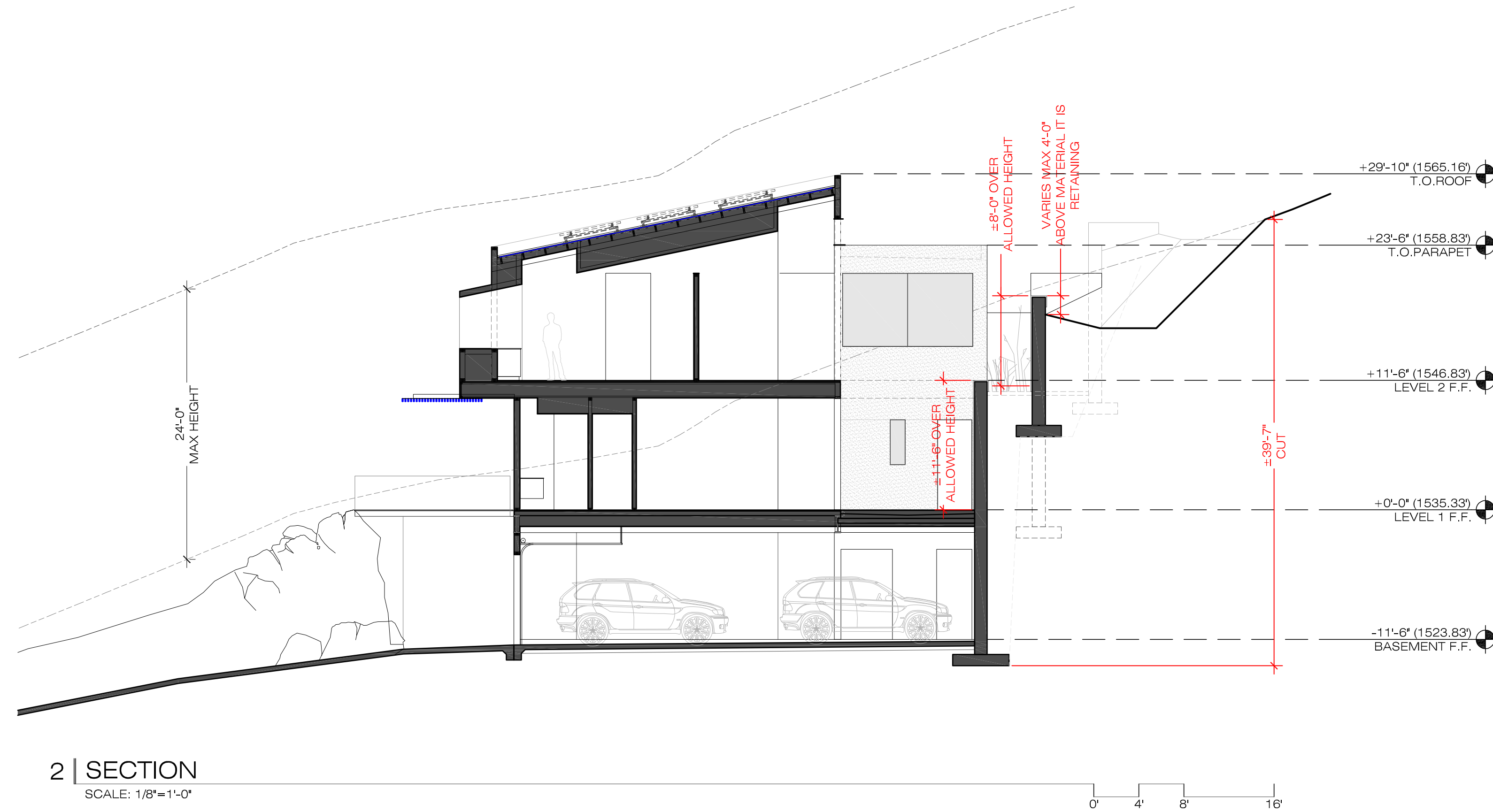
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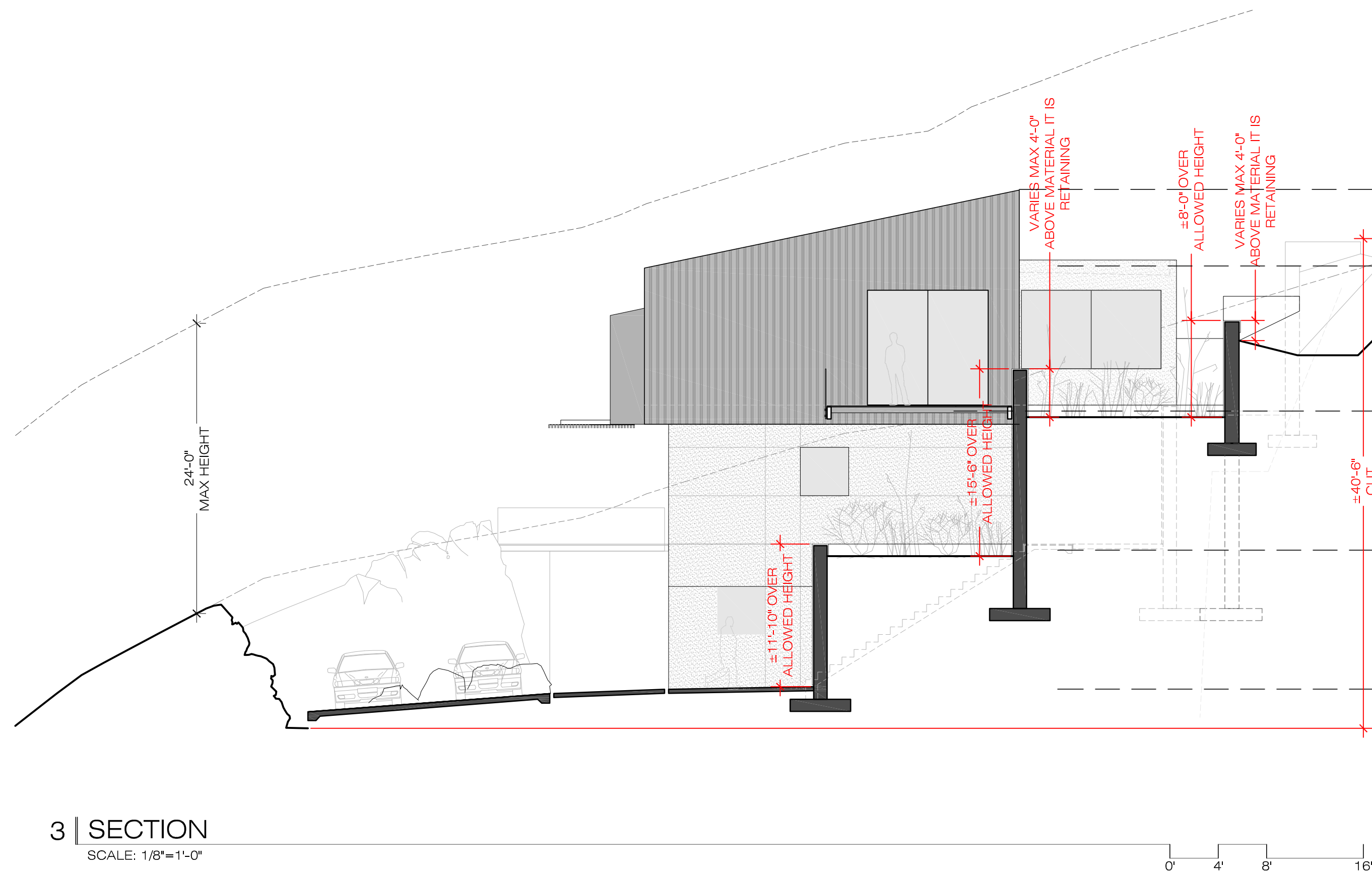
CONCEPTUAL REVIEW

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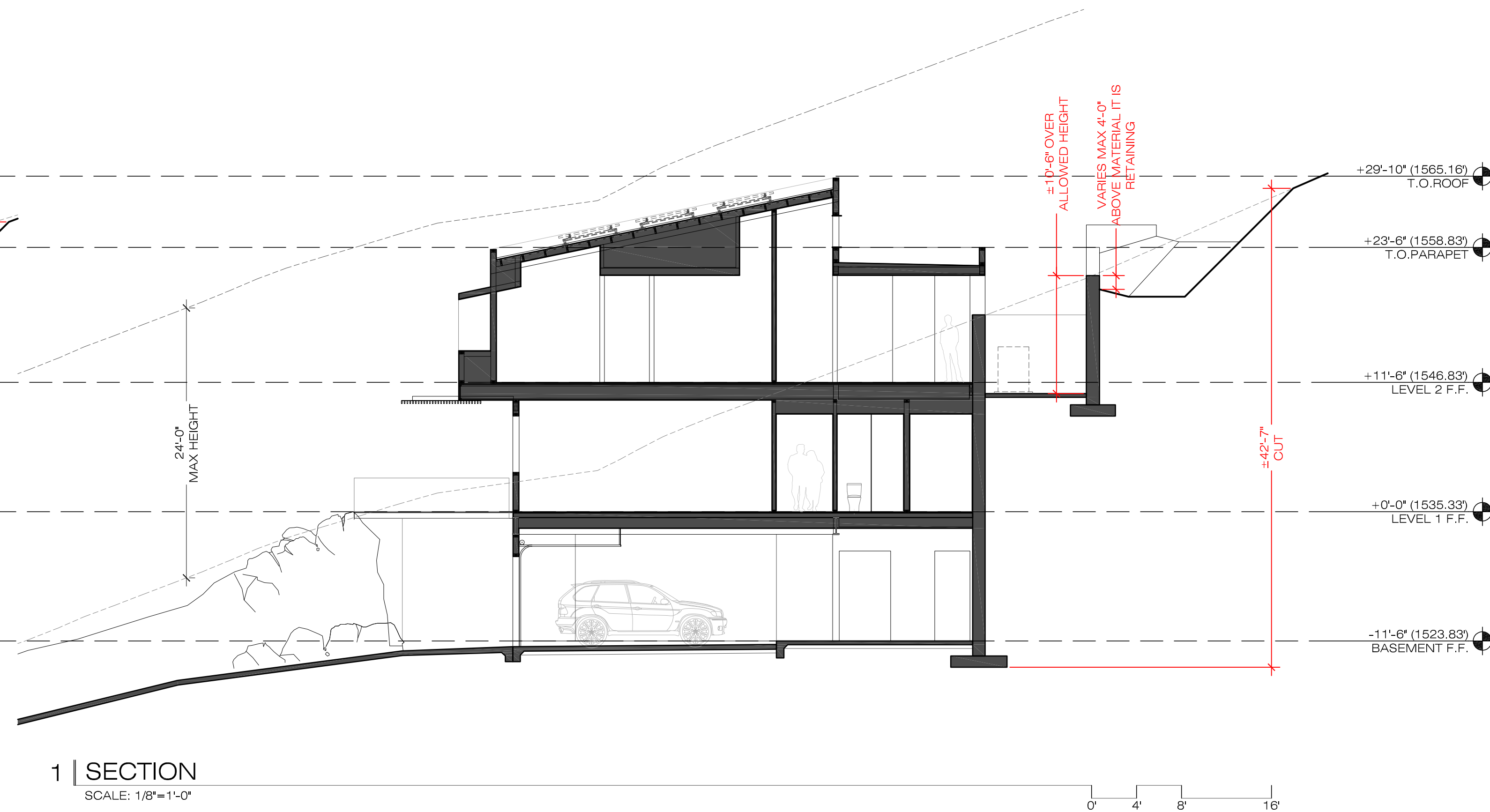
SCALE: 1/8"=1'-0"



SCALE: 1/8"=1'-0"



SCALE: 1/8"=1'-0"



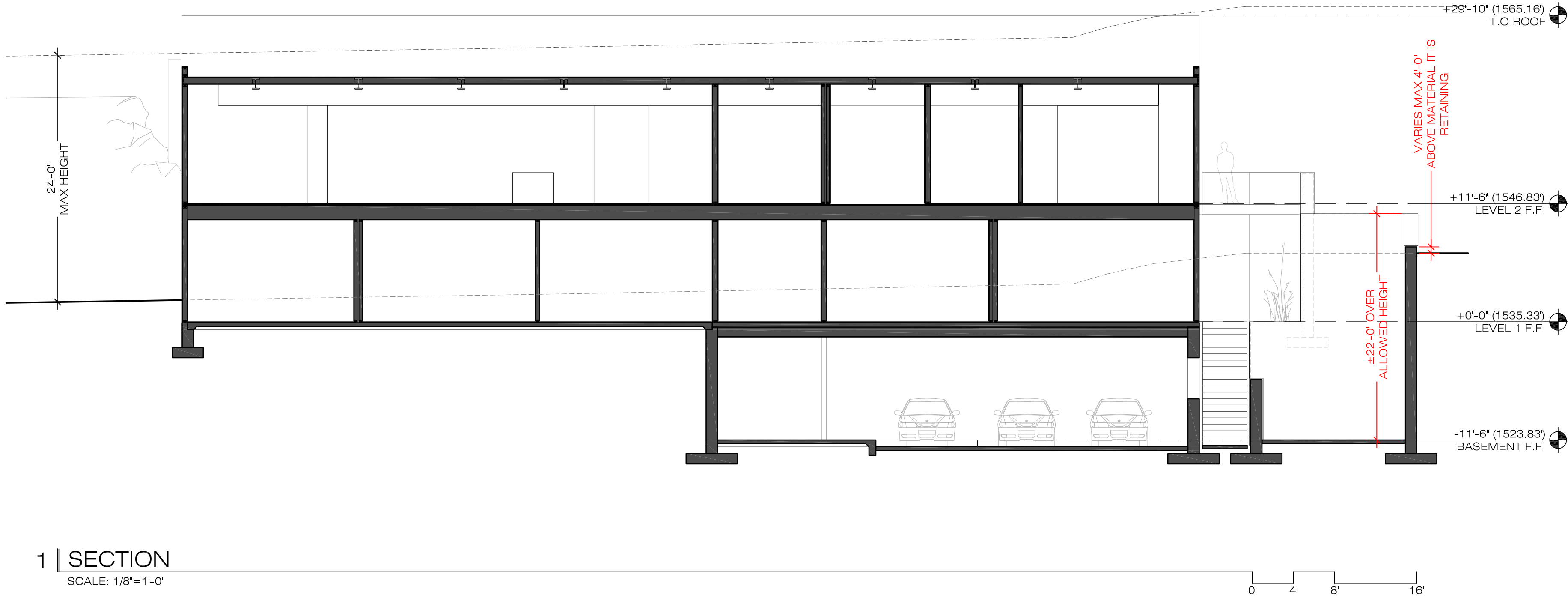
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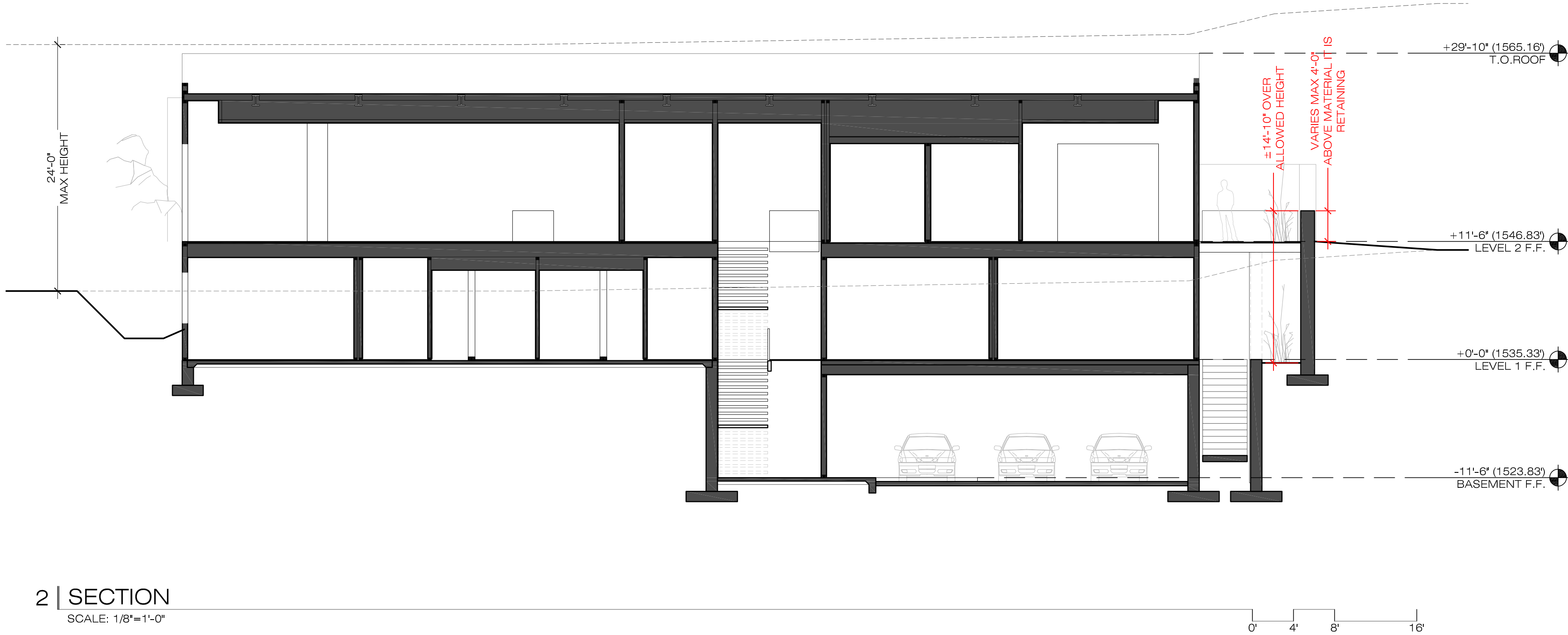
SECTIONS

07.12.22

A401



1 | SECTION
SCALE: 1/8"=1'-0"



2 | SECTION
SCALE: 1/8"=1'-0"

GENERAL NOTES

1. MAXIMUM BUILDING HEIGHT SHALL NOT EXCEED 24'-0" FROM NATURAL GRADE.
2. OVERALL HEIGHT OF BUILDING SHALL NOT EXCEED 40'-0".
3. THE MAXIMUM HEIGHT OF ALL RETAINING WALLS SHALL BE 8'-0".
4. ALL HOUSE RETAINING WALLS BELOW GRADE SHALL BE FULLY WATERPROOFED FROM TOP OF FOOTING TO THE FINISHED GRADE ON THE RETAINING (NON=VISIBLE SIDE) WITH 'BITUTHENE 4000 WATERPROOFING WITH DOW 1/4" HPU FAN BOARD PROTECTION' OR APPROVED EQUAL PER MANUFACTURER'S RECOMMENDED INSTALLATION.
5. ALL SITE RETAINING WALLS VISIBLE FROM ONE SIDE, SHALL BE FULLY DAMP PROOFED FROM TOP OF FOOTING TO THE FINISHED GRADE ON THE RETAINING (NON=VISIBLE SIDE) WITH 'HENRY SEALER AND DAMP PROOFER' OR APPROVED EQUAL PER MANUFACTURER'S RECOMMENDED INSTALLATION.

the construction zone
1729 east osborn road
phoenix, arizona 85016
office 602.230.0383
fax 602.230.0535

HILLSIDE CONCEPTUAL REVIEW

URproject 20

7941 north 55th street, paradise valley, arizona, 85253

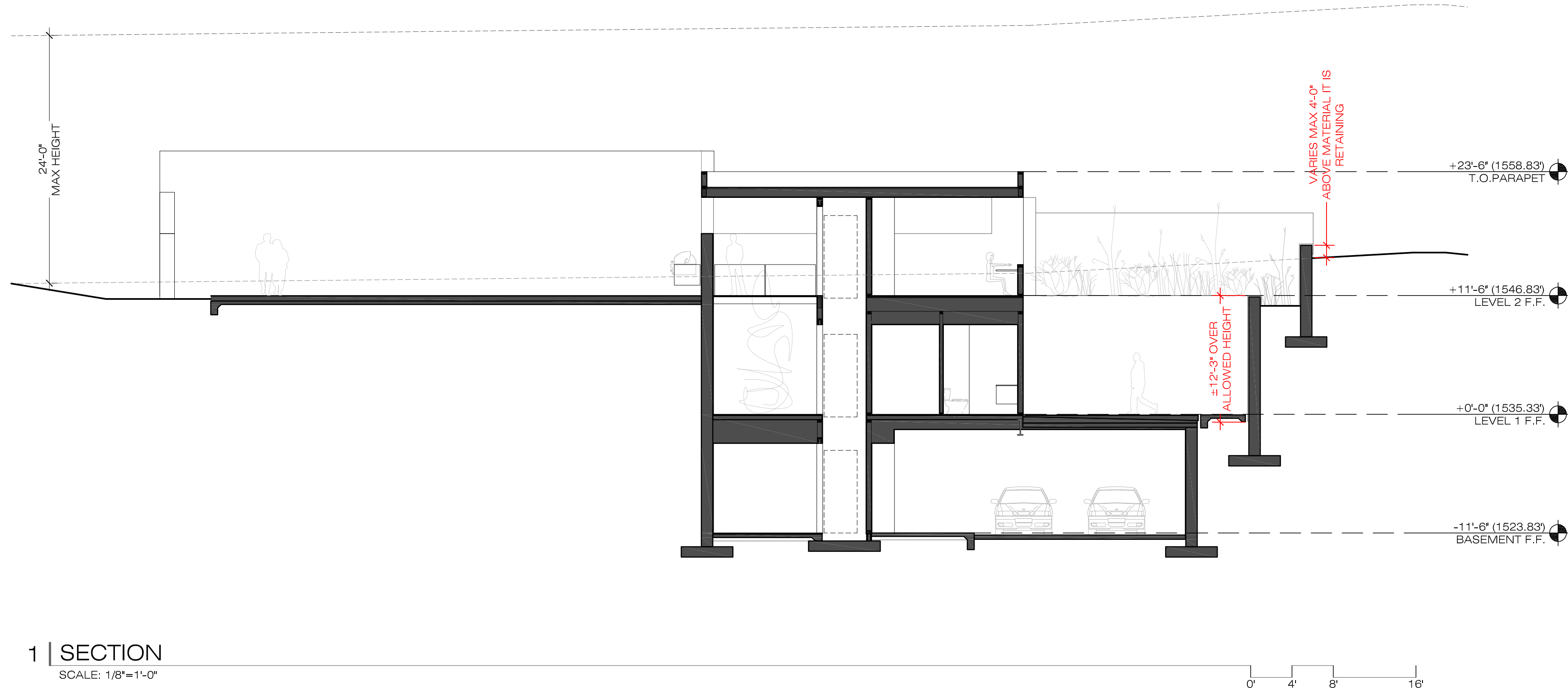
SECTIONS

07.12.22

A402

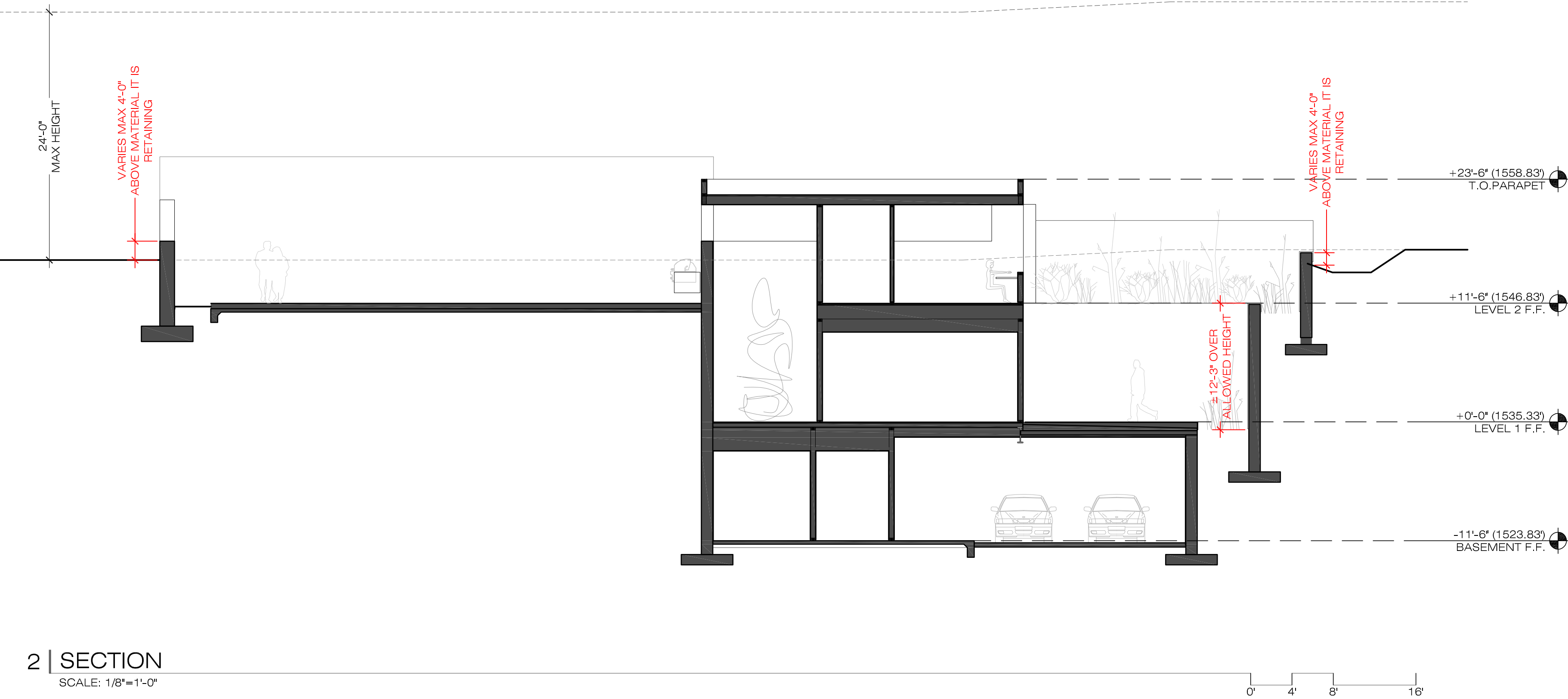
1 | SECTION

SCALE: 1/8"=1'-0"



2 | SECTION

SCALE: 1/8"=1'-0"



GENERAL NOTES

1. MAXIMUM BUILDING HEIGHT SHALL NOT EXCEED 24'-0" FROM NATURAL GRADE.
2. OVERALL HEIGHT OF BUILDING SHALL NOT EXCEED 40'-0".
3. THE MAXIMUM HEIGHT OF ALL RETAINING WALLS SHALL BE 8'-0".
4. ALL HOUSE RETAINING WALLS BELOW GRADE SHALL BE FULLY WATERPROOFED FROM TOP OF FOOTING TO THE FINISHED GRADE ON THE RETAINING (NON=VISIBLE SIDE) WITH 'BITUTHENE 4000 WATERPROOFING WITH DOW 1/4" HPU FAN BOARD PROTECTION' OR APPROVED EQUAL PER MANUFACTURER'S RECOMMENDED INSTALLATION.
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SECTIONS

07.12.22

A403

SURVEY PERFORMED FOR THE BENEFIT OF BROSEMANN PROPERTIES INC.

BEARINGS SHOWN HEREON ARE BASED UPON U.S.
STATE PLANE NAD83 COORDINATE SYSTEM
ARIZONA CENTRAL ZONE, DETERMINED BY GPS
OBSERVATIONS.

DEED: 2006-0526505
RESULTS OF SURVEY:
BK. 171 PG. 28
BK. 174 PG. 26
BK. 734 PG. 10

06/15/2021

LOT 25, OF EL DORADO ESTATES, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA RECORDED IN BOOK 174 OF MAPS, PAGE 26.

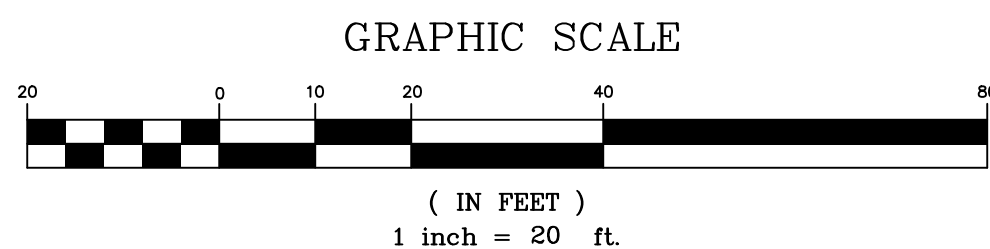
1) HEREBY CERTIFY THAT THIS DRAWING IS BASED ON A SURVEY PERFORMED BY ME OR UNDER MY SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

2) THE SURVEYOR HAS OBTAINED NO INFORMATION RELATING TO, AND HAS NO KNOWLEDGE OF ANY PROPOSED RIGHT OF WAYS, EASEMENTS, OR DEDICATIONS THAT ANY MUNICIPALITY OR GOVERNMENTAL AGENCY MAY REQUIRE.

3) USE OF THIS INFORMATION CONTAINED IN THIS INSTRUMENT FOR OTHER THAN THE SPECIFIC PURPOSE FOR WHICH IT WAS INTENDED IS FORBIDDEN UNLESS EXPRESSLY PERMITTED IN WRITING IN ADVANCE BY WESTERN GEOMATICS SERVICES. WESTERN GEOMATICS SERVICES SHALL HAVE NO LIABILITY FOR ANY SUCH UNAUTHORIZED USE OF THIS INFORMATION WITHOUT THEIR WRITTEN CONSENT.

4) A TITLE REPORT WAS NOT PROVIDED AT THE TIME THIS SURVEY WAS PERFORMED. ANY EASEMENTS OR OTHER ITEMS CONTAINED WITHIN THE DEED WHICH MAY AFFECT THE PROPERTY HAVE NOT BEEN PLOTTED.

	SET 1/2" REBAR W/CAP L5 28719 OR AS NOTED
	POWER POLE
	WATER VALVE
	WATER METER
	WATER SHUT OFF
	FIRE HYDRANT
	SEWER MANHOLE
	GAS VALVE



I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEY UNDER THE LAWS OF THE STATE OF ARIZONA.

2 SIGNED  06/15/2021
JEFF R. COOK AZ Reg. No. 28719 Date
My License renewal date is March 31, 2022

[illegible]