

KEIM RESIDENCE

PROJECT DIRECTORY

OWNER:	ARROYO PROPERTIES 3104 E CAMELBACK RD PHOENIX, ARIZONA 85016
ARCHITECT:	TOMECAR DESIGN 4368 NORTH CIVIC CENTER PLAZA SUITE 201 SCOTTSDALE, ARIZONA 85251
CIVIL ENGINEER:	JACOBS WALLACE, LLC 2233 WEST BETHANY HOME ROAD PHOENIX, ARIZONA 85015

DRAWING INDEX

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VICINITY MAP





1 LOOKING NORTH
NOT TO SCALE



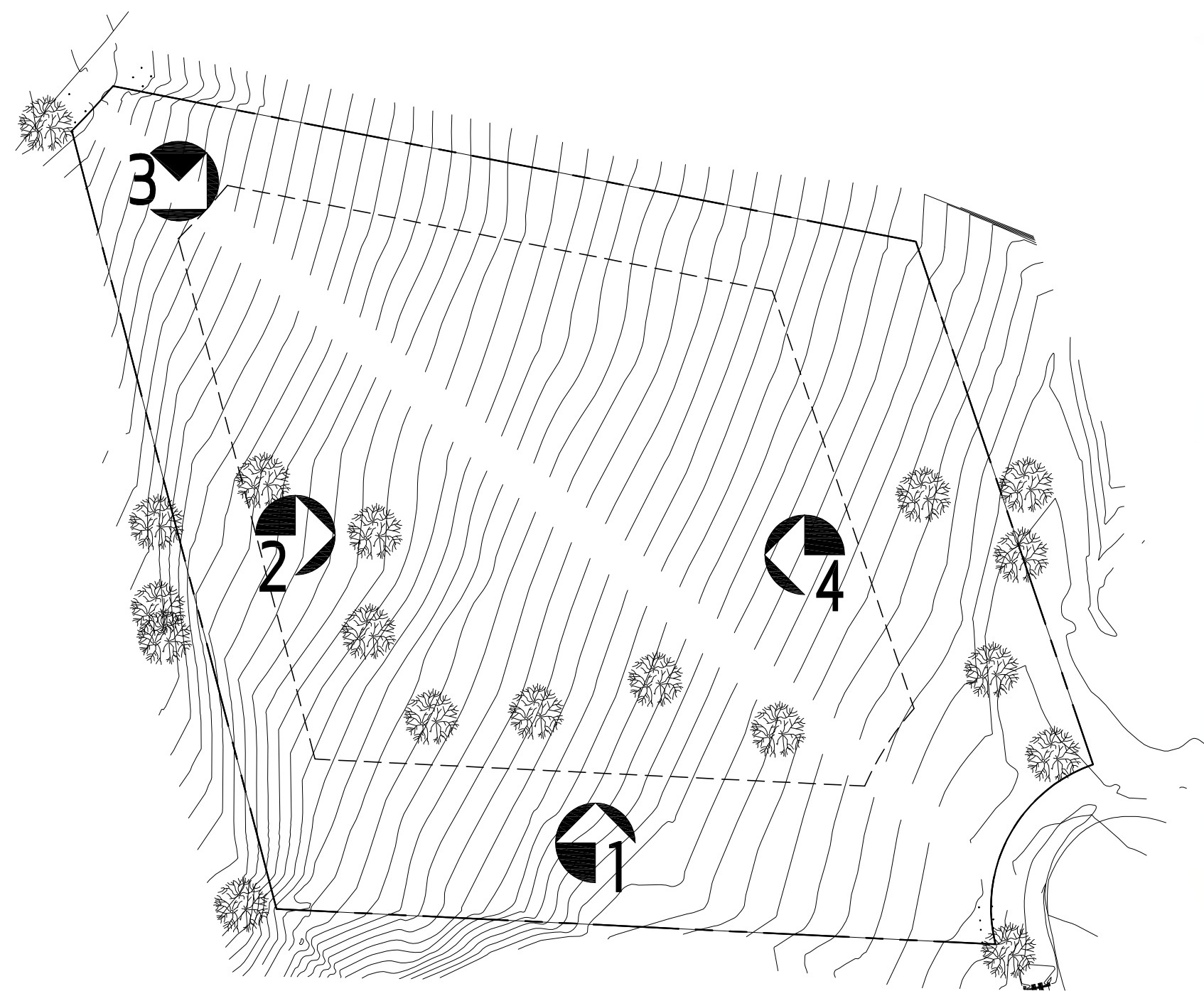
2 LOOKING EAST
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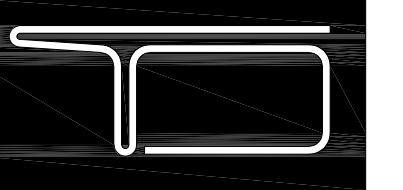
3 LOOKING SOUTH
NOT TO SCALE



4 LOOKING WEST
NOT TO SCALE



KEY PLAN
NOT TO SCALE



TOMECAK
DESIGN

4368 NORTH CIVIC CENTER PLAZA
SUITE 201
SCOTTSDALE, ARIZONA 85251

T 602.619.7751
F 480.718.8387
E INFO@TOMECAKDESIGN.COM

PROJECT:
KEIM RESIDENCE

4117 E KEIM DR
PARADISE VALLEY, ARIZONA 85253

REVISED:
FORMAL REVIEW 12.08.2021

JOB #:
20-24

DATE:
08.01.2021

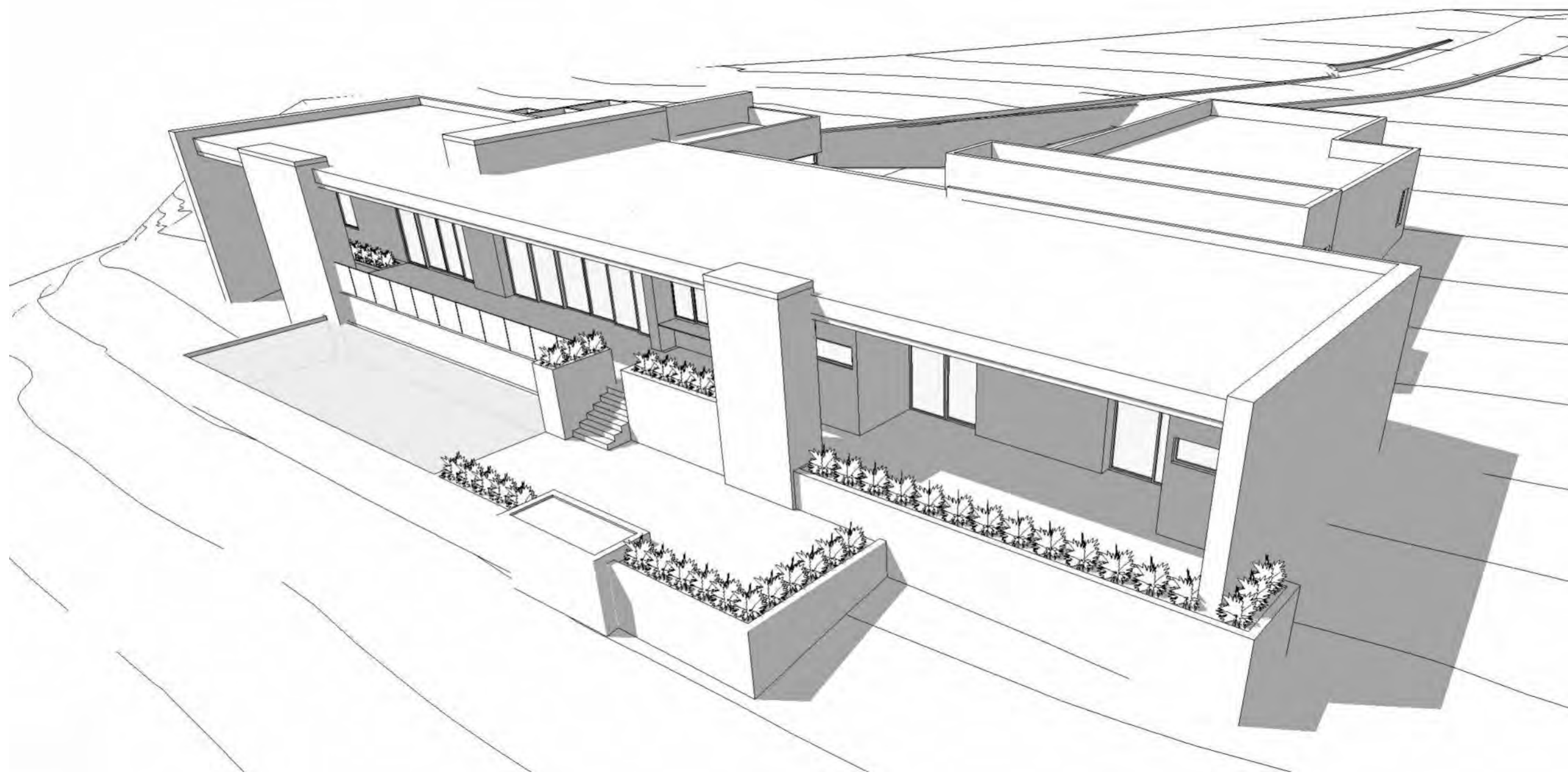
CONTENTS:
SITE PHOTOS

SHEET NO:
A-2

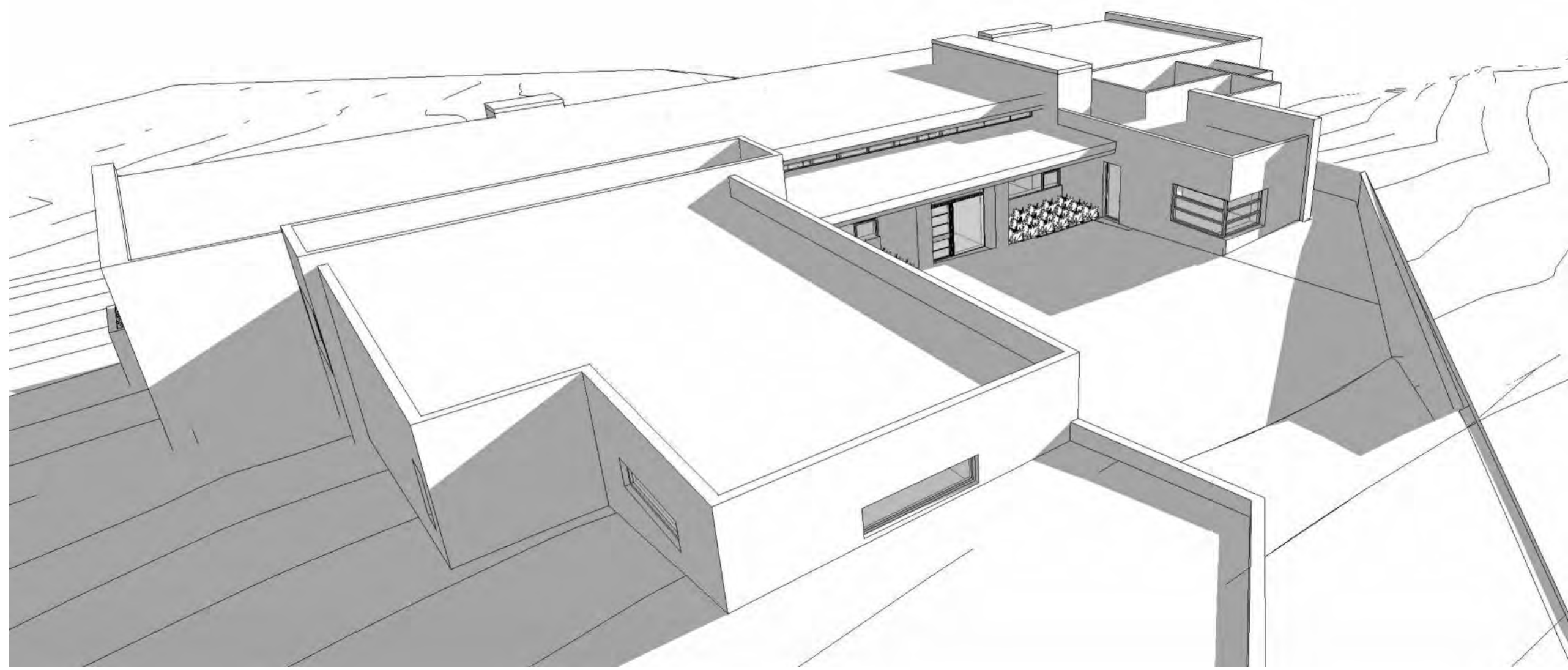
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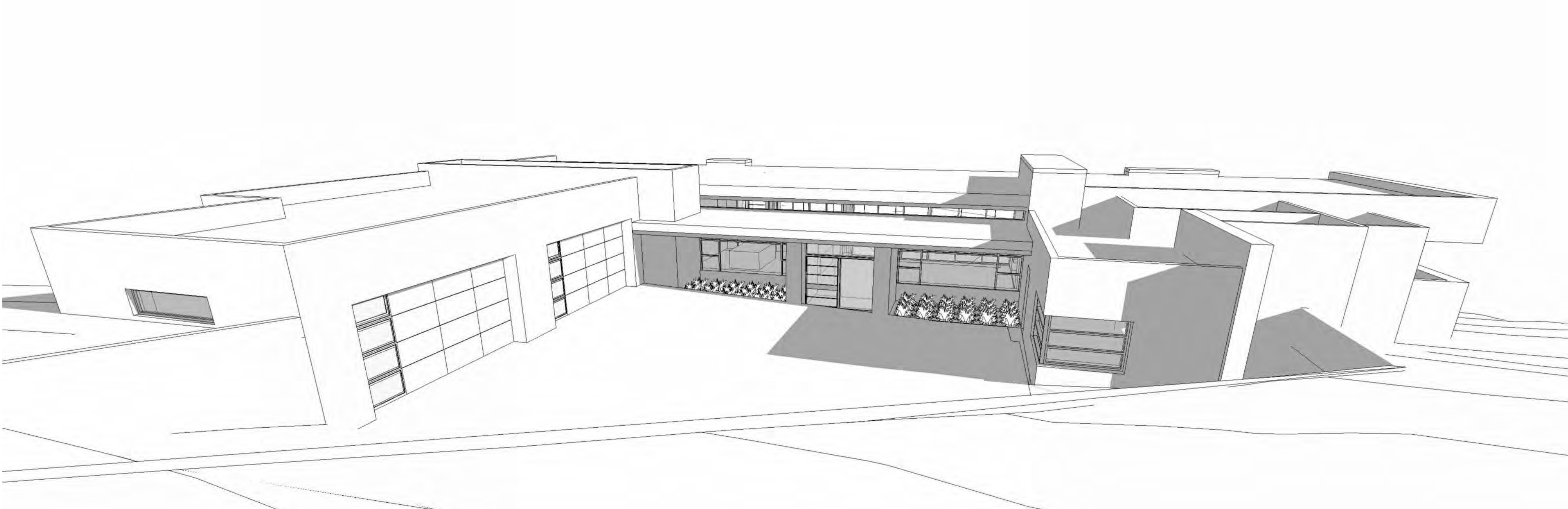
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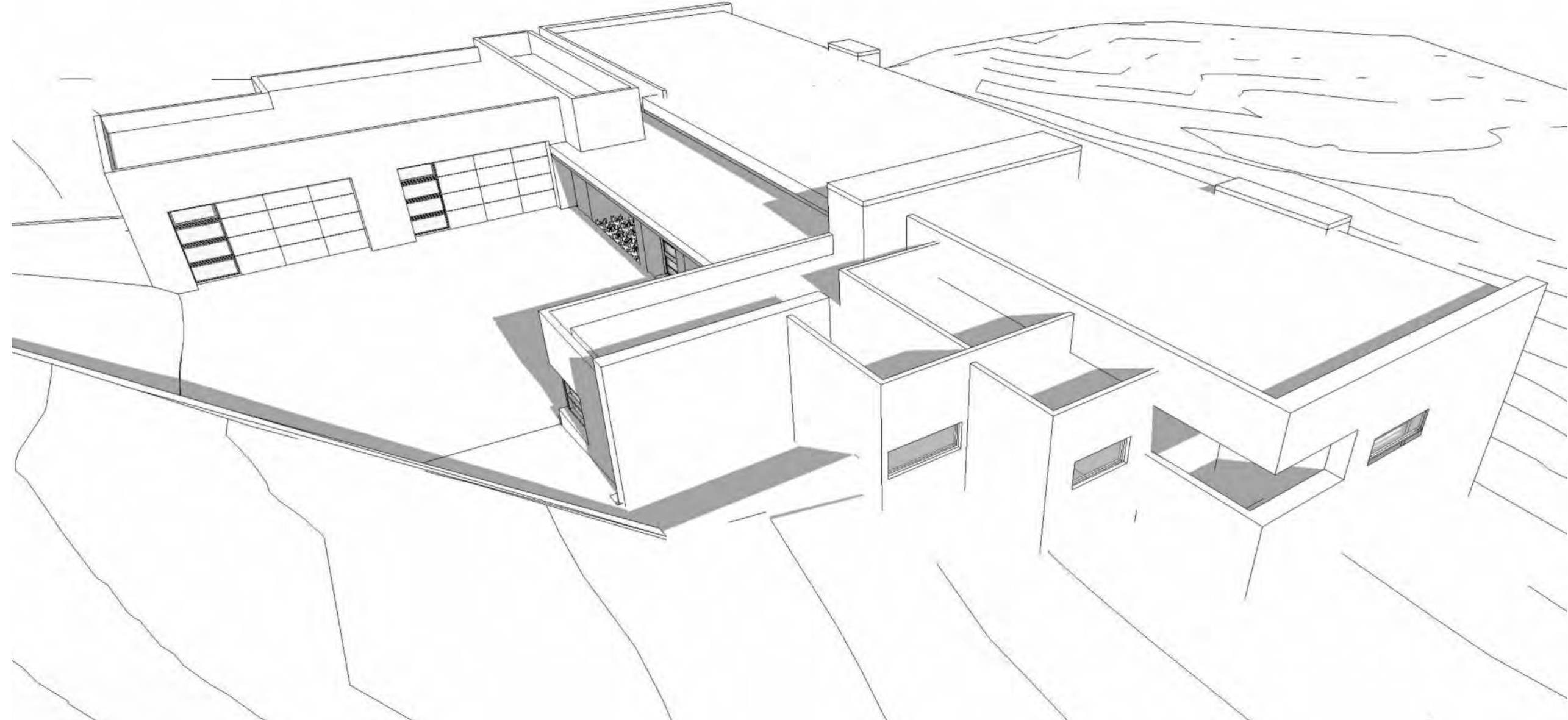
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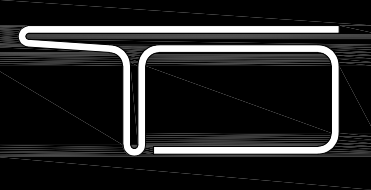
3
NOT TO SCALE



4
NOT TO SCALE



5
NOT TO SCALE



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REVISED:

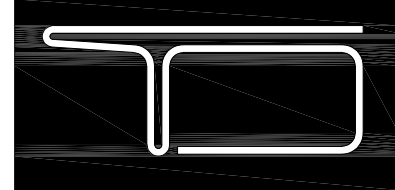
JOB #.: 20-24

DATE: 08.01.2021

CONTENTS: MODEL VIEWS

SHEET No: A-3

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PROJECT:
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4117 E KEIM DR
PARADISE VALLEY, ARIZONA 85253

REVISED:

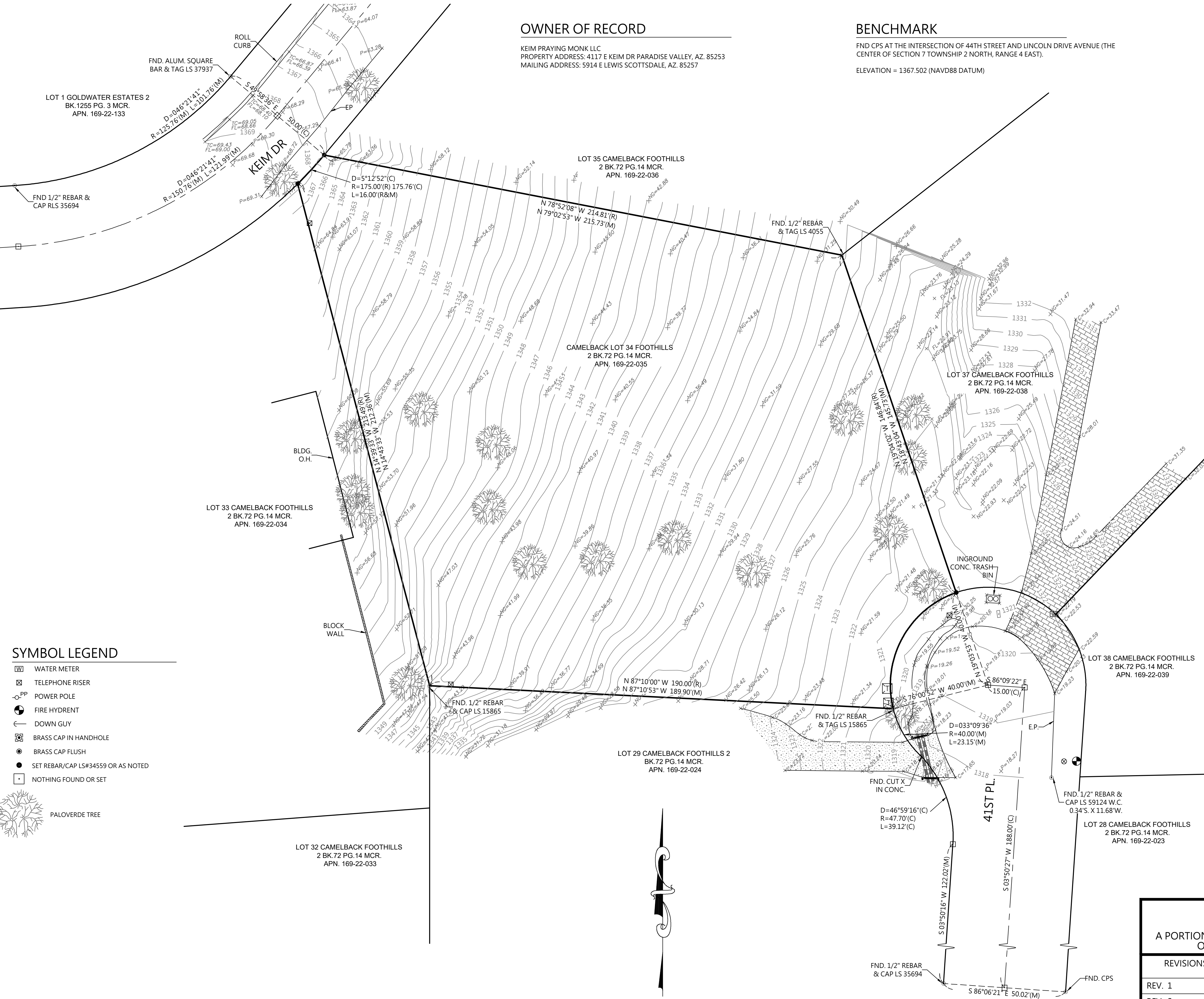
JOB #.: 20-24

DATE: 08.01.2021

CONTENTS: AERIAL PHOTO

SHEET No: **A-4**

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- SYMBOL LEGEND**
- WATER METER
 - TELEPHONE RISER
 - POWER POLE
 - FIRE HYDRENT
 - DOWN GUY
 - BRASS CAP IN HANDHOLE
 - BRASS CAP FLUSH
 - SET REBAR/CAP LS#34559 OR AS NOTED
 - NOTHING FOUND OR SET

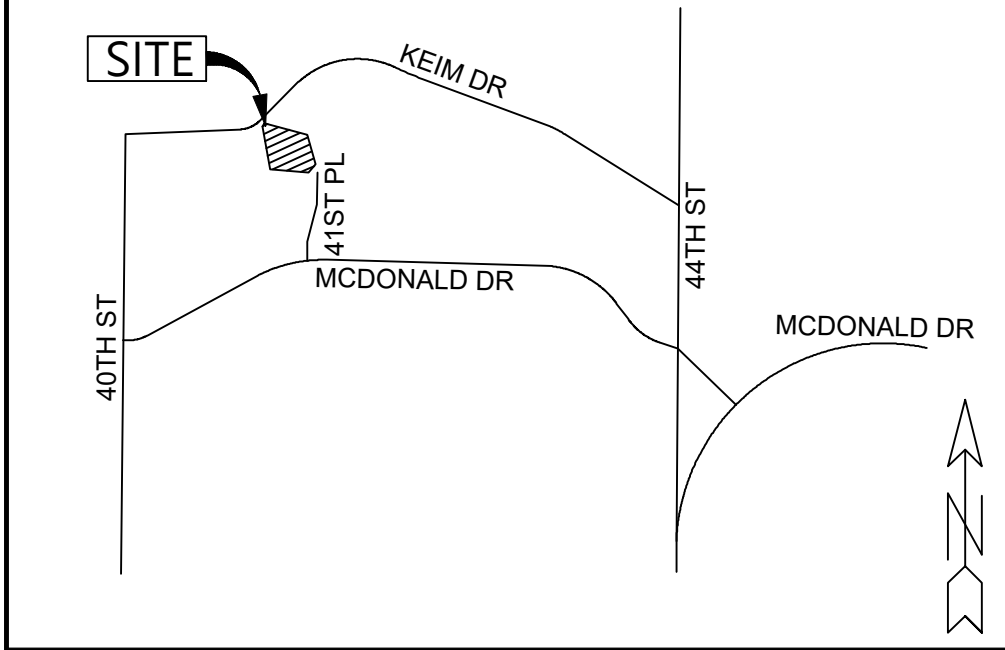


OWNER OF RECORD

KEIM PRAYING MONK LLC
PROPERTY ADDRESS: 4117 E KEIM DR PARADISE VALLEY, AZ. 85253
MAILING ADDRESS: 5914 E LEWIS SCOTTSDALE, AZ. 85257

BENCHMARK

FND CPS AT THE INTERSECTION OF 44TH STREET AND LINCOLN DRIVE AVENUE (THE CENTER OF SECTION 7 TOWNSHIP 2 NORTH, RANGE 4 EAST).
ELEVATION = 1367.502 (NAVD88 DATUM)



VICINITY MAP N.T.S.

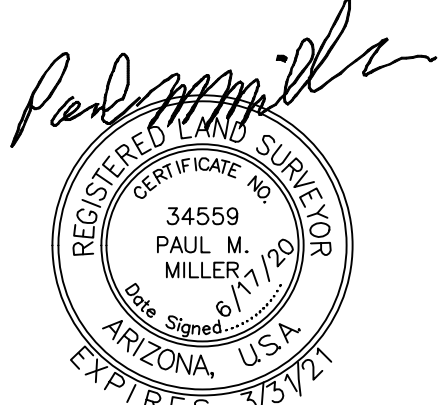
- SURVEYORS NOTES**
- MONUMENTS FOUND DURING THIS FIELD SURVEY WERE ACCEPTED UNLESS OTHERWISE NOTED HEREIN.
 - CURRENT MINERAL CLAIMS ON LANDS SHOWN IN THIS SURVEY ARE NOT KNOWN TO THIS SURVEYOR.
 - IT IS RECOMMENDED THAT THE CLIENT RETAIN LEGAL CONSULTATION TO THOROUGHLY EXAMINE TITLE FOR ANY CLAIMS, DEFECTS OR LIABILITY UNDISCLOSED BY THIS SURVEY.
 - THIS DOCUMENT MUST BE COMPARED TO THE ORIGINAL HARD COPY ISSUE AT THE SURVEY DATE WITH ITS ORIGINAL SEAL TO ENSURE THE ACCURACY OF THE INFORMATION AND TO FURTHER ENSURE THAT NO CHANGES, ALTERATIONS OR MODIFICATIONS HAVE BEEN MADE.
 - THIS SURVEY WAS PERFORMED USING GPS (GLOBAL POSITIONING SYSTEMS) TO OPTIMIZE THE RELATIVE POSITIONING OF FOUND CORNERS. EXTREME CARE HAS BEEN TAKEN TO PRODUCE SURFACE MEASUREMENTS OF THE MONUMENTS FOUND.
 - THIS SURVEYOR WAS NOT CONTRACTED TO PERFORM A BOUNDARY SURVEY.
 - EVERY DOCUMENT OF RECORD REVIEWED AND CONSIDERED AS PART OF THIS SURVEY IS NOTED HEREON. ONLY THE DOCUMENTS NOTED HEREON WERE SUPPLIED TO OR OBTAINED BY THIS SURVEYOR. NO ABSTRACT OF TITLE WAS FURNISHED TO THIS SURVEYOR. THERE MAY EXIST OTHER DOCUMENTS OF RECORD WHICH WOULD AFFECT THIS PARCEL.

LEGAL DESCRIPTION

CAMELBACK FOOTHILLS UNIT II, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE MARICOPA COUNTY RECORDER IN BOOK 72 OF MAPS, PAGE 14

LAND SURVEYORS CERTIFICATION

I HEREBY CERTIFY THAT THE SURVEY OF THE PREMISES DESCRIBED AND MAPPED HEREON WERE MADE UNDER MY DIRECTION DURING THE MONTH OF SEPTEMBER, 2020; THAT THE SURVEY IS TRUE AND COMPLETE AS SHOWN; THAT THE MONUMENTS SHOWN ACTUALLY EXIST OR WILL BE SET AS SHOWN; THAT THEIR POSITIONS ARE CORRECTLY SHOWN AND THAT SAID MONUMENTS ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.



REGISTRATION NO. 34559, AZ.
REGISTERED LAND SURVEYOR

BOUNDARY AND TOPOGRAPHIC SURVEY
OF
A PORTION OF SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 2 NORTH, RANGE 4 EAST
OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

REVISIONS:	DESIGN BY: N/A DRAWN BY: MMM
REV. 1	SCALE: 1"=20' DATE: 9/17/20
REV. 2	JOB NO. 20-104
REV. 3	C0.0
REV. 4	

MILLER & SONS SURVEYING

2432 W PEORIA AVE. STE. 1302 BLDG 17 PHOENIX, AZ. 85029
PH: (623) 875-1200 F: (623) 875-3777

GENERAL GRADING NOTES (PV)

1. PRIOR TO THE FIRST INSPECTION OF STRUCTURES WITHIN 3 FEET OF A SETBACK LINE, THE PROPERTY PINS SHALL BE PLACED BY A REGISTERED CIVIL ENGINEER OR LAND SURVEYOR OF THE STATE OF ARIZONA, AND THE PROPERTY LINE(S) IDENTIFIED.
2. WHERE EXCAVATION IS TO OCCUR THE TOP 4" OF EXCAVATED NATIVE SOIL SHALL REMAIN ON THE SITE AND SHALL BE REUSED IN A MANNER THAT TAKES ADVANTAGE OF THE NATURAL SOIL SEED BANK IT CONTAINS.
3. ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL MUNICIPALITY UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS.
4. THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL STATE, AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO THE CONSTRUCTION COVERED BY THIS PLAN.
5. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
6. ALL EXTERIOR SITE LIGHTING SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS FOR TYPE, LOCATION, HEIGHT, WATTAGE, AND LUMEN BASED UPON THE FIXTURES INSTALLED PURSUANT TO SECTION 1023 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCE FOR NON-HILLSIDE PROPERTIES, SECTION 2208 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCE FOR HILLSIDE PROPERTIES, OR AS SPECIFIED IN THE SPECIAL USE PERMIT FOR SPECIAL USE PERMIT PERMITES.
7. A DUST CONTROL PLAN AND PERMIT MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
8. A SEPARATE RIGHT-OF-WAY PERMIT IS NECESSARY FOR ANY OFF-SITE CONSTRUCTION.
9. AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
10. EAVE PROJECTIONS INTO REQUIRED SETBACKS ARE LIMITED TO A MAXIMUM OF 24" PURSUANT TO SECTION 1008 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES.
11. ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
12. ALL NEW AND EXISTING ELECTRICAL SERVICE LINES SHALL BE BURIED PER THE TOWN OF PARADISE VALLEY REQUIREMENTS.
13. IT SHALL BE THE RESPONSIBILITY OF THE PERMITEE TO ARRANGE FOR THE RELOCATION AND RELOCATION COSTS OF ALL UTILITIES, AND TO SUBMIT A UTILITY RELOCATION SCHEDULE PRIOR TO THE ISSUANCE OF AN ENGINEERING CONSTRUCTION PERMIT.
14. EXISTING AND/OR NEW UTILITY CABINETS AND PEDESTALS SHALL BE LOCATED A MINIMUM OF 4" BEHIND ULTIMATE BACK OF CURB LOCATION.
15. POOL, SPA, BARBECUE AND ANY PROPOSED STRUCTURES OVER 8" ABOVE GRADE REQUIRE SEPARATE PERMIT APPLICATIONS.
16. POOLS SHALL BE CONSTRUCTED BY SEPARATE PERMIT AND SECURED FROM UNWANTED ACCESS PER TOWN CODE, ARTICLE 5-2.
17. ALL FILL MATERIAL UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95%.
18. SETBACK CERTIFICATION IS REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO STEM WALL INSPECTION.
19. FOR BUILDING PADS THAT HAVE 1'OR MORE OF FILL MATERIAL, SOILS COMPACTION TEST RESULTS ARE REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO PRE-SLAB INSPECTION.
20. FINISHED FLOOR ELEVATION CERTIFICATION IS REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO STRAP AND SHEAR INSPECTION.
21. MAIL BOXES SHALL COMPLY WITH THE TOWN OF PARADISE VALLEY STANDARDS FOR MAIL BOXES IN THE RIGHTOF-WAY FOR HEIGHT, WIDTH AND BREAK AWAY FEATURES.
22. ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE.
23. TRENCH BEDDING AND SHADING SHALL BE FREE OF ROCKS AND DEBRIS.
24. THE TOWN ONLY APPROVES THE SCOPE OF WORK AND NOT THE ENGINEERING DESIGN. ANY CONSTRUCTION QUANTITIES SHOWN ARE NOT VERIFIED BY THE TOWN.
25. THE APPROVAL OF THE PLANS IS VALID FOR 180 DAYS. IF A PERMIT FOR CONSTRUCTION HAS NOT BEEN ISSUED WITHIN 180 DAYS, THE PERMIT MUST BE RENEWED.
26. A TOWN INSPECTOR WILL INSPECT ALL WORK WITHIN THE TOWN'S RIGHTS-OF-WAY. NOTIFY TOWN INSPECTION SERVICES TO SCHEDULE A PRECONSTRUCTION MEETING PRIOR TO STARTING CONSTRUCTION.
27. WHENEVER EXCAVATION IS NECESSARY, CALL ARIZONA811 BY DIALING 811 OR 602-263-1100, TWO (2) WORKING DAYS BEFORE EXCAVATION BEGINS.
28. EXCAVATIONS SHALL COMPLY WITH REQUIREMENTS OF OSHA EXCAVATION STANDARDS (29 CFR, PART 1926, SUBPART P). UNDER NO CIRCUMSTANCES WILL THE CONTRACTORS BE ALLOWED TO WORK IN A TRENCH LOCATED WITHIN THE TOWN'S RIGHT-OF-WAY WITHOUT PROPER SHORING OR EXCAVATION METHODS.
29. PERMIT HOLDER SHALL POST A 6 SQUARE FOOT (2'X3') IDENTIFICATION SIGN, MADE OF DURABLE MATERIAL, IN THE FRONT YARD OF SUBJECT PROPERTY AND NOT IN THE TOWN'S RIGHT-OF-WAY. THE SIGN MAY NOT EXCEED A MAXIMUM OF 6 FEET IN HEIGHT FROM GRADE TO TOP OF THE SIGN. THE SIGN MUST INCLUDE THE PERMITEE OR COMPANY NAME, PHONE NUMBER, TYPE OF WORK, ADDRESS OF PROJECT AND TOWN CONTACT NUMBER, 480-348-3556.
30. WHEN DEEMED NECESSARY, A 6-FOOT HIGH CHAIN LINK FENCE MUST BE INSTALLED AROUND THE CONSTRUCTION AREA TO PREVENT ANY POTENTIAL SAFETY HAZARD FOR THE PUBLIC. THE FENCE SHALL BE SETBACK AT LEAST 10 FEET FROM ALL RIGHTS-OF-WAY AND HAVE A 50-FOOT STREET CORNER SITE TRIANGLE WHERE APPLICABLE.
31. CLEAR ACCESS FOR NEIGHBORING PROPERTIES AND EMERGENCY VEHICLES MUST BE MAINTAINED AT ALL TIMES. CONSTRUCTION RELATED VEHICLES MUST BE LEGALLY PARKED ONLY ON ONE SIDE OF THE STREET OR JOB SITE PROPERTY.
32. ALL CONSTRUCTION DEBRIS AND EQUIPMENT MUST BE CONTAINED ON SITE AT ALL TIMES. CONTRACTOR AND PROPERTY OWNER MUST MAINTAIN THE JOB SITE FREE OF LITTER AND UNSIGHTLY MATERIALS AT ALL TIMES. CONSTRUCTION MATERIALS ARE PROHIBITED IN THE TOWN'S RIGHT-OF-WAY.
33. CONSTRUCTION ACTIVITIES ARE PERMITTED BETWEEN THE HOURS OF 7 AM AND 5 PM MONDAY THROUGH CONSTRUCTION ACTIVITIES MAY START ONE (1) HOUR EARLIER DURING THE SUMMER (MAY 1ST THROUGH SEPTEMBER 30TH).
34. THE USE AND OPERATION OF FUEL-FIRED GENERATORS IS PROHIBITED UNLESS DUE TO A HARDSHIP. TOWN APPROVAL SHALL BE REQUIRED.
35. THE CONTRACTOR AND PROPERTY OWNER SHALL BE LIABLE FOR ANY DAMAGE DONE TO ANY PUBLIC PROPERTY AS A RESULT OF ANY CONSTRUCTION OR CONSTRUCTION RELATED ACTIVITIES. NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL AFFECTED RIGHTS-OF-WAY ARE CLEANED AND/OR REPAIRED TO THEIR ORIGINAL CONDITION AND UNTIL ANY AND ALL DAMAGES TO AFFECTED PROPERTIES ARE RESTORED TO ORIGINAL CONDITION.
36. A KEYED SWITCH SHALL BE REQUIRED ON ALL NEW AND EXISTING ELECTRIC ENTRY GATES. THE KEYED SWITCH SHALL BE INSTALLED IN A LOCATION THAT IS READILY VISIBLE AND ACCESSIBLE. KNOX BOX ORDER FORMS ARE AVAILABLE AT THE TOWN'S BUILDING SAFETY DEPARTMENT.
37. PROPERTY OWNER, BUILDER, OR GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR CONTROLLING DUST FROM THE SITE AT ALL TIMES. ALL MEANS NECESSARY SHALL BE USED BY THE BUILDER OR GENERAL CONTRACTOR TO CONTROL THE EXISTENCE OF DUST CAUSED BY ANY EARTHWORK, SPRAY APPLICATION OF MATERIALS, OR OTHER DUST-CAUSING PRACTICES REQUIRED BY THE CONSTRUCTION PROCESS.
38. APPROVAL OF THESE PLANS ARE FOR PERMIT PURPOSES ONLY AND SHALL NOT PREVENT THE TOWN FROM REQUIRING CORRECTION OF ERRORS IN THE PLANS WHERE SUCH ERRORS ARE SUBSEQUENTLY FOUND TO BE IN VIOLATION OF ANY LAW, ORDINANCE, HEALTH, SAFETY, OR OTHER DESIGN ISSUES.
39. ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTION DITCHES, PIPES PROTECTIVE BERMS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT PROPOSED AND EXISTING IMPROVEMENTS FROM RUNOFF OR DAMAGE FROM STORM WATER, MUST BE CONSTRUCTED PRIOR TO THE CONSTRUCTION OF ANY IMPROVEMENTS.

LEGEND

- NG NATURAL GRADE
P PAVEMENT
TF TOP OF FOOTING
FG FINISHED GRADE
C CONCRETE/PAVER
TRW TOP OF RETAINING WALL
TC TOP OF CURB
PG PAGE
BK BOOK
MCR MARICOPA COUNTY RECORDER
TC TOP OF CURB
WO WALL OPENING
G GUTTER
● BRASS CAP IN HAND HOLE

- BRASS CAP FLUSH
SET RBR/CAP LS#34559

- ⊗ SEWER MANHOLE

- W WATER METER

- ⊗ GAS VALVE

- ⊗ GAS MARKER

- ⊗ TELEPHONE RISER

- T TRANSFORMER

- C.M.U. WALL
--- ROAD CENTERLINE
--- BOUNDARY

- ⊗ EXISTING MESQUITE TREE

- ⊗ EXISTING OCOTILLO

- ⊗ EXISTING SAGUARO

- ⊗ PROPOSED OCOTILLO

- ⊗ PROPOSED SAGUARO

GRADING & DRAINAGE PLAN

4117 E. KEIM DRIVE

OF
A PORTION OF SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 2
NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER MERIDIAN,
MARICOPA COUNTY, ARIZONA.

RETENTION

FIRST FLUSH

DRAINAGE AREA DATA			
AREA ID	AREA "A"	RUNOFF COEFFICIENT "C"	100-YEAR REQUIRED VOLUME CF
LOT	18,975	0.88	696
Total	18,975		

Vr=0.5/12 X A X C

A=AREA OF DISTURBANCE FIRST FLUSH EVENT

PRE VS. POST

PRE-DEVELOPED

DRAINAGE AREA DATA				DRAINAGE AREA DATA			
RAINFALL "P" IN/HR	AREA	"A" COEFFICIENT "C"	100-YEAR REQUIRED VOLUME CF	RAINFALL "P" IN/HR	AREA	"A" COEFFICIENT "C"	100-YEAR REQUIRED VOLUME CF
2.22	18,975	0.65	2282	2.22	18,975	0.88	3089

Vr=POST Vr- PRE Vr

Vr= 807 CF Use First Flush

Prorated Required Volume allowed due to 17% slope (hillside). 65%

Vr= 525 CF Use First Flush

Vr= (C * P * A)/12

A=AREA OF SITE (NET)

P=RAINFALL DEPTHS IN INCHES (NOAA ATLAS 14)

PRE

C=RAVERAGE RUNOFF COEFFICIENT (Appendix 5A PV SDDM)

Impervious=0.65f (0.95) (Pavement & Rooftops)

Hillslopes= (0.65)

Cw = 0.65

POST

C=RAVERAGE RUNOFF COEFFICIENT (Appendix 5A PV SDDM)

Impervious=14708sf (0.95) (Pavement & Rooftops)

Hillslopes=4254sf (0.65)

Cw = 0.88

PROVIDED RETENTION

BASIN							
Basin #	Elevation Bottom (ft)	H.W.E. Top (ft)	Depth (ft)	Area Bottom (ft²)	Area Top (ft²)	Provided Volume (ft³)	As-Built Volume (ft³)
1	19.50	21.00	1.25	306	850	723	

Drain Time:

a= 850 sf

r= 1.25ft/hr

Capacity= 1062.5cf/hr

Time= 723cf/1062.5cf/hr= 0.68 hours

Perc Rate: 15 in/hr = 1.25ft/hr (per Geotech report)

FLOOD ZONE (FIRM)

ACCORDING TO FIRM FLOOD INSURANCE RATE MAP NO. 04013C1765L DATED OCTOBER 16, 2013, THE SUBJECT PROPERTY IS LOCATED IN ZONE X DESCRIBED AS:
*AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

DRAINAGE STATEMENT/PROJECT DESCRIPTION

- CONSTRUCT NEW HOME ON VACANT LOT WITHIN THE GUIDELINES OF THE TOWN OF PARADISE VALLEY REQUIREMENTS. IN GENERAL THE LOT DRAINS FROM NORTHWEST TO SOUTHEAST.
- THE ULTIMATE STORM WATER OUTFALL OCCURS AT THE SOUTHEAST OF THE SITE AT AN ELEVATION OF 1321.0. THE BASIN OUTFALL OCCURS AT THE SAME LOCATION AT AN ELEVATION OF 1321.0.
 - PROPOSED DEVELOPMENT DOES NOT IMPACT DRAINAGE CONDITIONS OF ADJOINING LOTS
 - RETENTION IS PROVIDED FOR THE FIRST FLUSH CONDITION FOR THE DISTURBED AREA PER THE STORM WATER DRAINAGE DESIGN MANUAL
 - THE LOWEST FINISHED FLOOR ELEVATION OF 1348.50 IS SAFE FROM INUNDATION DURING 100 YR PEAK RUN OFF EVENT IF CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS.

CERTIFICATION

THE LOWEST FINISHED FLOOR ELEVATION OF THE HOUSE OF 1347.50 FEET IS A MINIMUM OF 12" ABOVE THE 100 YEAR 2 HOUR STORM ELEVATION OF 1324.0 .

 11-10-21

CHARLES G. JACOBS, P.E.
ARIZONA REGISTRATION NO. 40224

NOTE:

PRIOR TO FIRST FOOTING INSPECTION OF ANY TYPE, ALL PROPERTY PINS SHALL BE PLACED BY A REGISTERED LAND SURVEYOR OF THE STATE OF ARIZONA, AND PROPERTY LINES MUST BE PHYSICALLY LOCATED AND IDENTIFIED PRIOR TO INSPECTION.

CONTRACTOR TO COORDINATE SEWER AND WATER SERVICE ENTRY LOCATIONS WITH PLUMBING PLANS PRIOR TO CONSTRUCTION.

SEPTIC SYSTEM WILL BE DESIGNED AND PERMITTED BY OTHERS.

PLANT LIST FOR REMOVAL AND REPLACEMENT OF EXISTING TREES AND OTHER VEGETATION WILL BE PERFORMED BY OTHERS

THESE PLANS ARE BASED ON BOUNDARY & TOPOGRAPHIC INFORMATION PROVIDED M.A.S. SURVEYING, LLC. THE ENGINEER, JACOBS WALLACE, LLC ASSUMES NO RESPONSIBILITY FOR ERRORS RESULTING FROM ERRORS ON THE BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED AND SHOWN HEREON.

THE EXISTING UTILITIES SHOWN HEREON ARE BASED ON INFORMATION OBTAINED IN THE FIELD AS WELL AS MAPS SUPPLIED BY THE CITY, VARIOUS UTILITY COMPANIES & THE SURVEYOR. THE ENGINEER, JACOBS WALLACE LLC ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITIES NOT SHOWN. CALL BLUESTAKE PRIOR TO ANY DIGGING. IF DISCREPANCIES EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.

SITE ADDRESS

4117 E KEIM DR
PARADISE VALLEY, AZ 85253

ZONING

R-43

A.P.N.

169-22-035

LEGAL DESCRIPTION

LOT 34 OF CAMELBACK FOOTHILLS UNIT II, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE MARICOPA COUNTY RECORDER IN BOOK 72 OF MAPS, PAGE 14

SITE AREA

NET AREA: 43016 SF = 0.986 AC

% OF LOT STEEPER THAN NG

2,130 SF (4.9%)=5% MAX

BENCHMARK

FND CPS AT THE INTERSECTION OF 44TH STREET AND LINCOLN DRIVE AVENUE (THE CENTER OF SECTION 7 TOWNSHIP 2 NORTH, RANGE 4 EAST).

ELEVATION = 1367.502 (NAVD88 DATUM)

DISTRUBED AREA CALCULATION

LOT AREA: 43016 SF = 0.986 AC

AREA UNDER ROOF:
LIVABLE - 5013 SF
COVERED PATIO - 1354 SF
GARAGE - 1364 SF

TOTAL AREA: 7731 SF

FLOOR AREA RATIO: 7731/43016=17.9%

BUILDING PAD SLOPE: 17.1%
VERTICAL= 18.8 FT
HORIZONTAL= 109.9 FT

ALLOWABLE DISTURBED AREA =26.99% =11,610 SF

PROPOSED GROSS DISTURBED AREA =18,926 SF
(-) TOTAL LIVABLE FOOTPRINT 5013 SF
(-) ATTACHED GARAGE FOOTPRINT 1364 SF
(-) DRIVEWAY CREDIT 0 SF
(-) RETENTION BASIN CREDIT 1372= 658.5 SF
(-) RESTORED AREAS 540 SF (SEPTIC SYSTEM)

NET PROPOSED DISTURBED AREA 11,350.5 SF

RETAINING WALL

# OF RETAINING WALLS	LENGTH OF EACH RETAINING WALL	HEIGHT OF EACH RETAINING WALL
EA	LF	FT
#RW1	25	1.7
#RW2	100	6.5
#RW3	30	8.0
#RW4	18	7.5
#RW5	89	7.4
#RW6	16	8.0
#RW7	23	8.0
#RW8	49	7.5
#RW9	63	7.1
#RW10	26	2.3

MAXIMUM CONTINUOUS WALL LENGTH CANNOT BE MORE THAN 100 LF.

VISIBLE RETAINING WALL LENGTHS:
NORTHEAST: 159 LF
NORTHWEST: 134 LF
SOUTHEAST: 82 LF
SOUTHWEST: 129 LF

DRIVEWAY

HALF STREET OR RIGHT OF WAY IMPROVEMENTS ARE REQUIRED

AREA: 2965 SF
MATERIAL: 3 PIECE CONCRETE PAVER
COLOR & LRV: SONORAN GRAY BEL20-352 - 20 LRV
MAX DISTANCE FROM NG: 2"
CREDIT: 0
MAX DRIVEWAY SLOPE: 23% MAX 30%
MINIMUM DRIVEWAY WIDTH: 12' - 12' MIN.

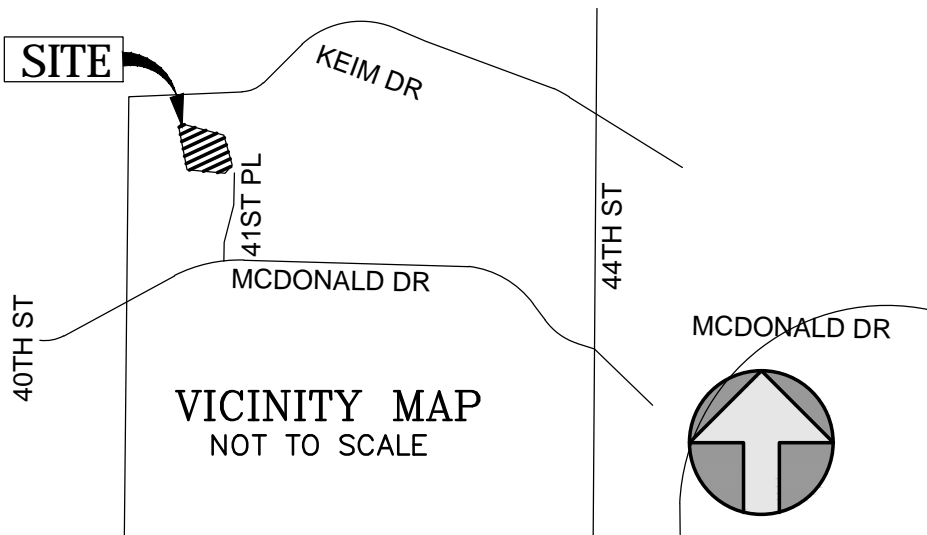
EARTHWORK-RESTORE TO NG

CUT = 660 C.Y.
FILL = 1475 C.Y.
NET = 815 C.Y. (F)
OWNER/CONTRACTOR RESPONSIBLE FOR THEIR OWN CALCULATIONS. THESE ARE UNADJUSTED ESTIMATIONS

HILLSIDE ASSURANCE FEE:
35XGRADING PERMIT FEE
35X(\$142+21*100)=\$78,470

HILLSIDE G&D NOTES (PV)

- NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL ALL HILLSIDE STIPULATIONS AND ALL TOWN CODE REQUIREMENTS ARE COMPLIED INCLUDING, BUT NOT LIMITED TO LANDSCAPING, GROUND RESTORATION, FIRE FLOW, FIRE SAFETY AND ALL ONSITE AND OFFSITE IMPROVEMENTS.
- ALL OUTDOOR LIGHTING SHALL BE IN CONFORMANCE WITH ARTICLE XXII OF THE TOWN ZONING ORDINANCE.
- ALL EXCESS FILL MATERIAL SHALL BE REMOVED FROM THE SITE WITH NO NEW SPILL SLOPES.
- THE USE OF HYDRAULIC RAM HAMMERS, OR OTHER HEAVY EQUIPMENT USED TO CUT THROUGH ROCK, INCLUDING 8 MACHINERY WITH AUDIBLE BACK UP WARNING DEVICES SHALL BE LIMITED TO USE BETWEEN THE HOURS OF 7:00AM OR SUNRISE, WHICHEVER IS LATER, AND 6:00PM OR SUNSET, WHICHEVER IS EARLIER, MONDAY THROUGH FRIDAY, WITH LIMITED WORK ON SATURDAY AND NO WORK ON SUNDAY OR LEGAL HOLIDAYS. RAM HAMMERS AND OTHER HEAVY EQUIPMENT CANNOT BE USED ON SATURDAYS WITHOUT A WAIVER FROM THE TOWN MANAGER.
- CONSTRUCTION STAKING AND /OR FENCING SHALL BE PLACED AROUND THE CONSTRUCTION SITE SO AS TO PROTECT THE UNDISTURBED NATURAL AREA.
- ALL RETAINING WALLS SHALL NOT EXTEND MORE THAN 6 INCHES ABOVE THE MATERIAL THEY RETAIN (WITH EXCEPTION OF DRIVEWAY RETAINING WALLS IN ACCORDANCE WITH 2207.VI.6).



ARCHITECT

TOMECAK DESIGN
MARK TOMECAK
4368 N. CIVIC CENTER PL
SCOTTSDALE, AZ 85250
602.619.7751
MARK@TOMECAKDESIGN.COM

OWNER

ARROYO PROPERTIES LLC
3104 E CAMELBACK RD
STE 1001
PHOENIX AZ 85016
BOB BANOVAC
ROBERT@BANOVAC.COM

ENGINEER

JACOBS WALLACE, LLC
2233 W BETHANY HOME RD
PHOENIX, AZ 85015
CHUCK JACOBS
602.757.5964
JACOBS@JACOBSWALLACE.COM

LNG NOTE

THE HOUSE LOW FINISHED FLOOR ELEVATION IS SET APPROXIMATELY 8.5' ABOVE THE LOWEST ADJACENT NATURAL GRADE. THE HIGHEST PART OF THE ROOF IS ROUGHLY 15.5' ABOVE THE LOWEST FFE. THIS CREATES A HEIGHT OF 24.0' ABOVE LOWEST ADJACENT NATURAL GRADE. PER THE TOWN HILLSIDE ORDINANCE BOTH OF THESE HEIGHTS FALL BELOW THE ALLOWABLE 40' OVERALL HEIGHT.

NATIVE PLAN STATEMENT

ALL NATIVE PLANTS IMPACTED BY CONSTRUCTION SHALL BE RELOCATED ON SITE. SEE LANDSCAPE PLAN AND NATIVE PLANT INVENTORY & SALVAGE PLAN

UTILITY PROVIDERS

WATER EPCOR USA
SANITARY SEWER PRIVATE SEPTIC SYSTEM
ELECTRIC SALT RIVER PROJECT
TELEPHONE COX
GAS SOUTHWEST GAS
CABLE COX

SHEET INDEX

C1.0 GRADING & DRAINAGE PLAN COVER SHEET
C2.0 GRADING & DRAINAGE PLAN
C3.0 GRADING & DRAINAGE DETAILS

AS-BUILT CERTIFICATION

I HEREBY CERTIFY THAT THE "RECORD DRAWING" MEASUREMENTS AS SHOWN HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

REGISTERED ENGINEER _____ DATE _____

REGISTRATION NUMBER _____

APPROVED: TOWN OF PARADISE VALLEY TOWN ENGINEER DATE _____

THIS SET OF PLANS HAS BEEN REVIEWED FOR COMPLIANCE WITH TOWN OF PARADISE VALLEY REQUIREMENTS PRIOR TO ISSUANCE OF PERMIT. THE TOWN NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. THIS COMPLIANCE APPROVAL SHALL NOT PREVENT THE TOWN ENGINEER FROM REQUIRING CORRECTIONS OF ERRORS OR OMISSIONS IN THE PLANS TO BE FOUND IN VIOLATION OF LAWS OR ORDINANCES.



CUSTOM HOME
4117 E KEIM DR
PARADISE VALLEY, AZ

GRADING AND DRAINAGE

JACOBS WALLACE, LLC

ENGINEERING - PLANNING - MANAGEMENT

2233 W BETHANY HOME ROAD
PHOENIX, AZ 85015
602.757.5964



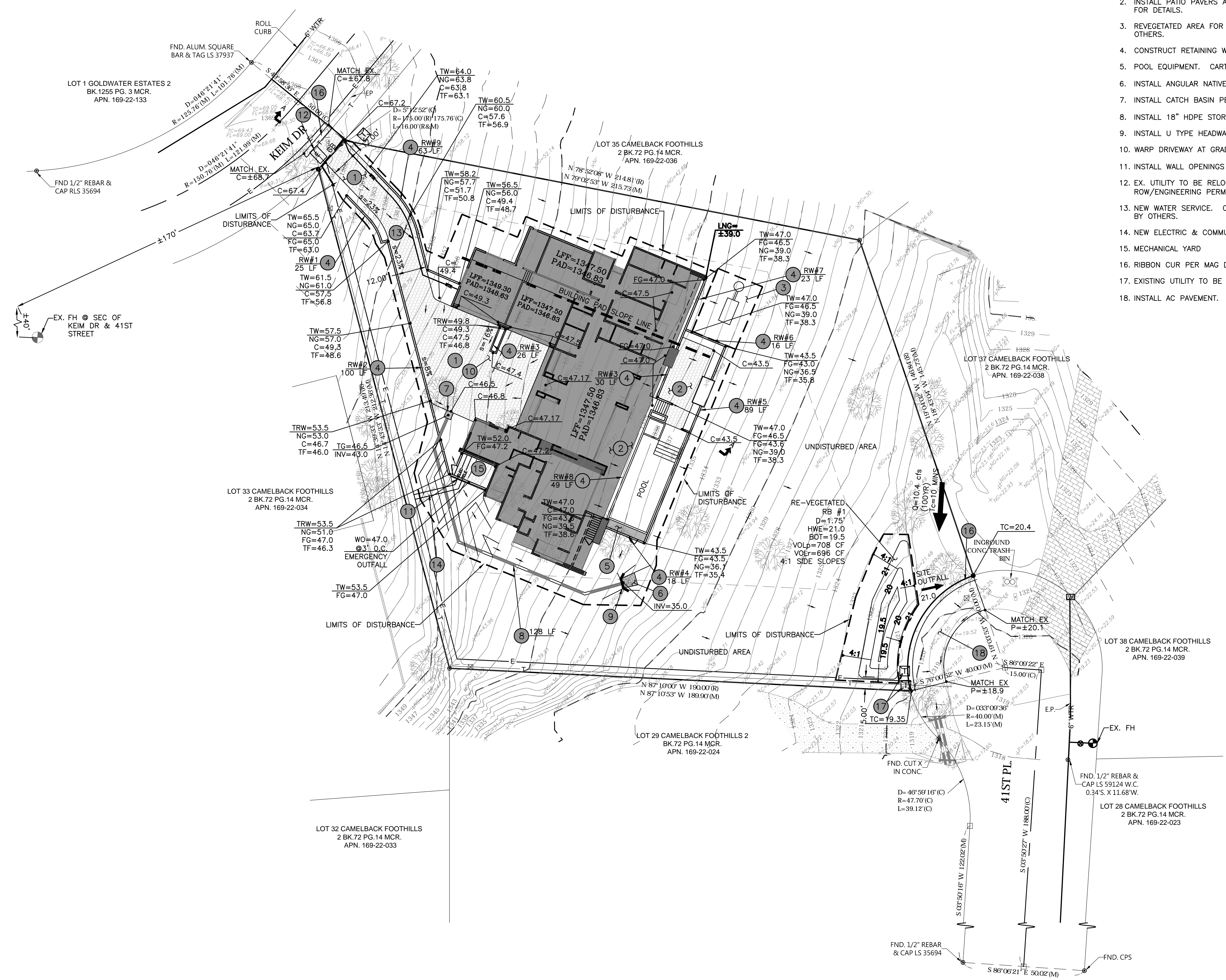
DATE: DEC 2020

DRAWING NO.

C1.0

JOB#: 0175

BD*



CONSTRUCTION NOTES

1. CONSTRUCT PAVER DRIVEWAY. SEE ARCHITECT PLANS FOR DETAILS
2. INSTALL PATIO PAVERS AT ELEVATIONS SHOWN. SEE ARCHITECT PLANS FOR DETAILS.
3. REVEGETATED AREA FOR SEPTIC SYSTEM. DESING AND PERMITTING BY OTHERS.
4. CONSTRUCT RETAINING WALL. SEE STRUCTURAL PANS FOR DETAILS.
5. POOL EQUIPMENT. CARTRIDGE FILTERS.
6. INSTALL ANGULAR NATIVE STONE RIP-RAP AT PIPE OUTLET. 6'X8'
7. INSTALL CATCH BASIN PER MAG STD DTL 535
8. INSTALL 18" HDPE STORM DRAIN PER MANUFACTURERS SPECS
9. INSTALL U TYPE HEADWALL PER MAG STD DTL 501
10. WARP DRIVEWAY AT GRADES SHOWN
11. INSTALL WALL OPENINGS (12) PER DETAIL SHEET C3.0
12. EX. UTILITY TO BE RELOCATED BY OTHERS. BY SEPARATE ROW/ENGINEERING PERMIT
13. NEW WATER SERVICE. COVER TRENCH WITH STEEL PLAT AS APPLICABLE. BY OTHERS.
14. NEW ELECTRIC & COMMUNICATION SERVICE. BY OTHERS.
15. MECHANICAL YARD
16. RIBBON CUR PER MAG DTL 220-1 TYPE B
17. EXISTING UTILITY TO BE RELOCATED AS NEEDED BY OTHERS
18. INSTALL AC PAVEMENT. 3"AC/6"ABC/PREPARED SUBGRADE

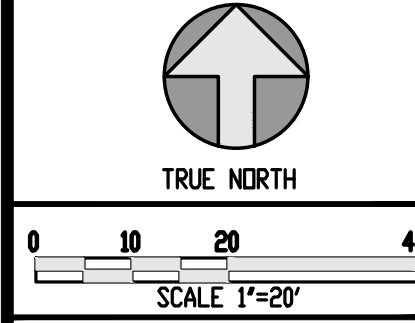
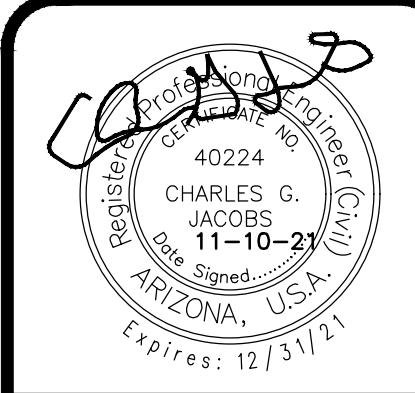
CUSTOM HOME
4117 E KEIM DR
PARADISE VALLEY, AZ

GRADING AND DRAINAGE
PLAN

JACOBS WALLACE, LLC

ENGINEERING - PLANNING - MANAGEMENT

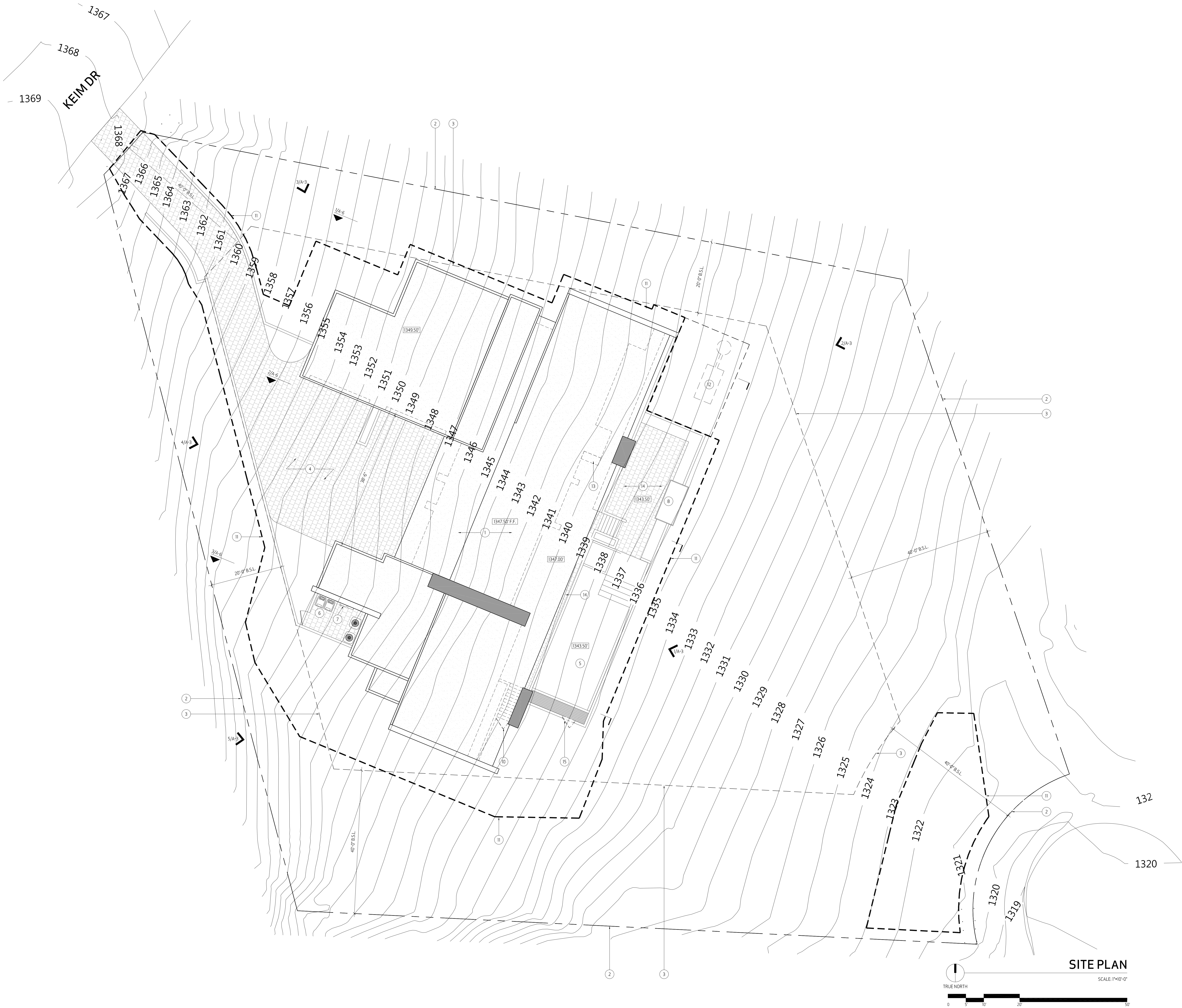
2233 W BETHANY HOME ROAD
PHOENIX, AZ 85015
602.757.5964



DATE: DEC 2020

DRAWING NO.
C2.0
JOB: 0175

BD*



PROJECT INFO:

ADDRESS: 4117 E KEIM DR PARADISE VALLEY, AZ 85253
SUBDIVISION: CAMELBACK FOOTHILLS 2
LOT#: 34

LEGAL DESCRIPTION:

APN: 169-22-035
ZONING: R-43

SET BACKS:

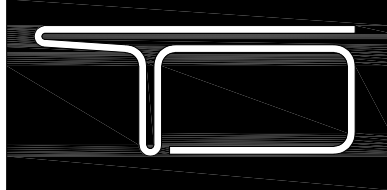
FRONT - 40'-0"
REAR - 40'-0"
SIDE - 20'-0"
SIDE - 20'-0"

LOT DATA:

LOT AREA:	43,016 S.F. (0.98 ACRES)
AREA UNDER ROOF (LIVABLE)	5,013 SF
GARAGE (UNLIVABLE)	1,364 SF
COVERED PATIO	1,364 SF
TOTAL:	7,739 SF
FLOOR AREA RATIO (FAR):	17.9%
BUILDING PAD SLOPE:	17%
VERTICAL	(18.8 FT)
HORIZONTAL	(109.9 FT)
ALLOWABLE NET DISTURBED AREA	11,730 SF (27.27% LOT AREA)
PROPOSED GROSS DISTURBED AREA:	18,926 SF
DRIVEWAY CREDIT:	0 SF
LIVABLE FOOTPRINT:	5,013 SF
GARAGE FOOTPRINT:	1,364 SF
RETENTION BASIN CREDIT (1317/2):	658.5 SF
SEPTIC AREA TO BE RESTORED:	540 SF
PROPOSED NET DISTURBED AREA:	11,350.5 SF

SITE PLAN KEYNOTES:

1. NEW HOUSE.
2. PROPERTY LINE.
3. BUILDING SETBACK LINE.
4. NEW DRIVEWAY W/ AUTO COURT - BELGARD LAFITT GRANA SLAB - METROPOLITAN SERIES - RIO COLOR LRV 15
5. NEW POOL W/ HOT TUB.
6. NEW TRASH/UTILITY ENCLOSURE - SHALL BE 12" HIGHER THAN THE TRASH CANS AND 4" HIGHER THAN THE SES (MIN.)
7. NEW SES PANEL.
8. NEW GAS/FED FIRE FEATURE.
9. FACE OF WALL BELOW - TYP.
10. POOL FENCE TO COMPLY WITH T.O.P.V. ORDINANCE AND INTERNATIONAL RESIDENTIAL CODE - POOL GATE TO BE SELF-CLOSING AND LATCHING.
11. LIMITS OF DISTURBANCE AREA.
12. NEW SEPTIC SYSTEM.
13. NEW GAS/FED BBQ.
14. PATIO PAVING - BELGARD LAFITT GRANA SLAB METROPOLITAN SERIES - RIO COLOR LRV 15.
15. POOL EQUIPMENT ENCLOSURE TO BE SCREENED WITH METAL BAR GRATING AT ROOF. ROOF ELEVATION TO BE SET APP. 8" BELOW TOP OF WALL ELEVATION.



TOMECAK
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4368 NORTH CIVIC CENTER PLAZA
SUITE 201
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F 480.718.8387
E INFO@TOMECAKDESIGN.COM

PROJECT:

KEIM RESIDENCE

4117 E KEIM DR
PARADISE VALLEY, ARIZONA 85253

REVISED:

FORMAL REVIEW 12.08.2021

JOB #:

20-24

DATE:

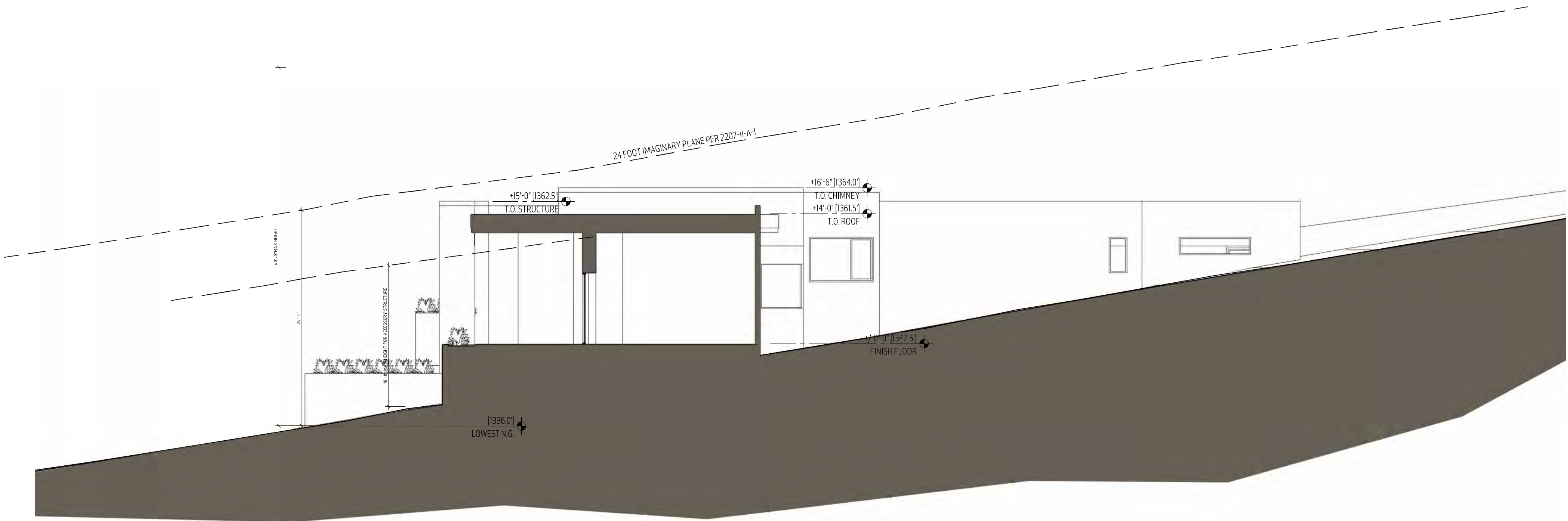
08.01.2021

CONTENTS:

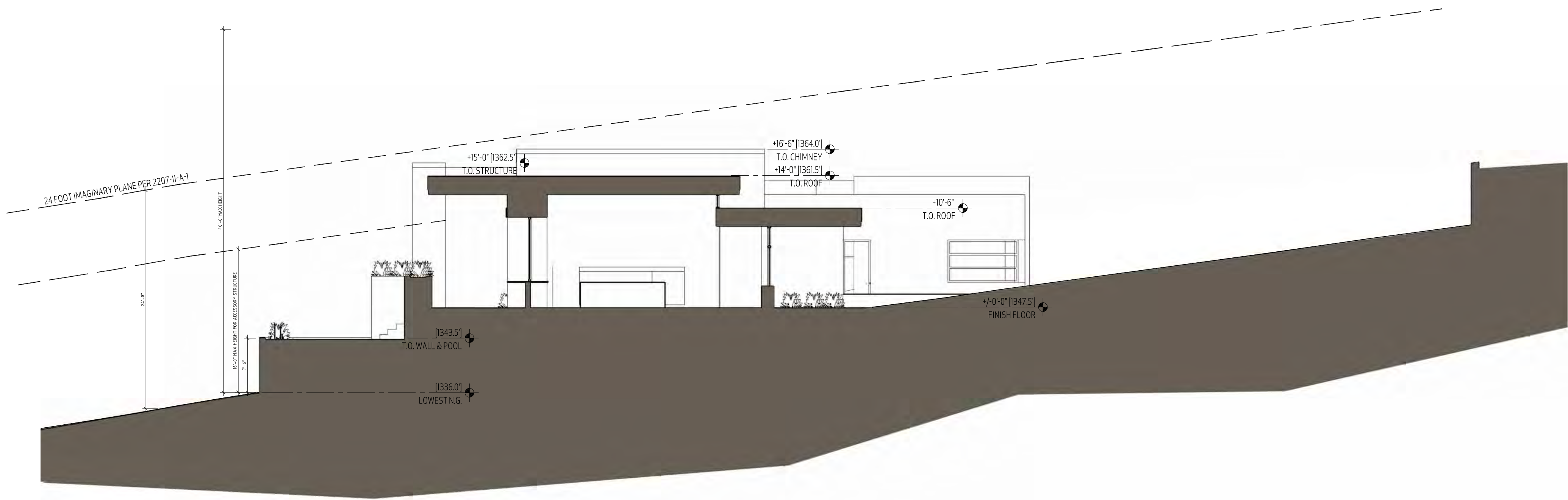
SITE PLAN

SHEET No:

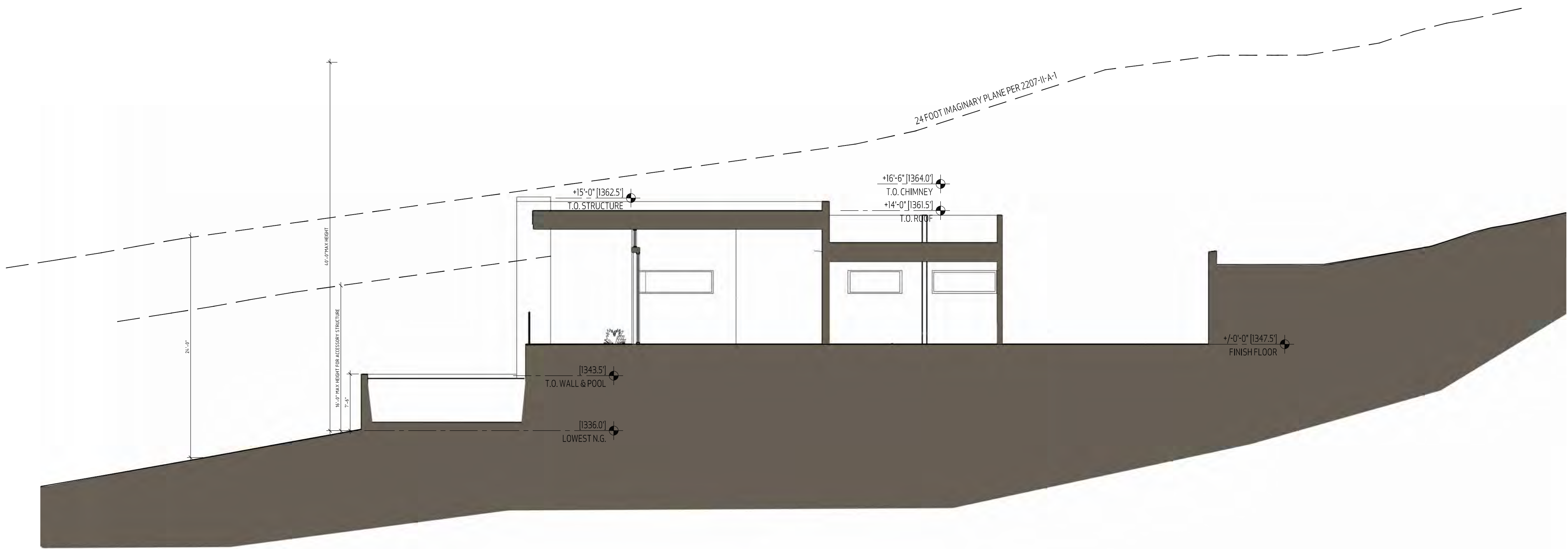
A-5



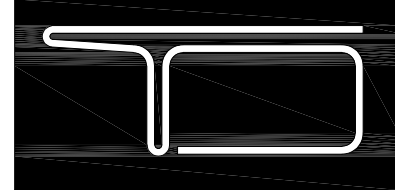
1 CROSS SITE SECTION
SCALE: 1/8"=1'-0"



2 CROSS SITE SECTION
SCALE: 1/8"=1'-0"



3 CROSS SITE SECTION
SCALE: 1/8"=1'-0"



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PROJECT:
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PARADISE VALLEY, ARIZONA 85253

REVISED:

JOB #:

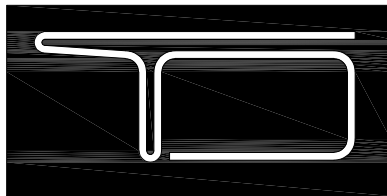
DATE:

CONTENTS:

SHEET NO:

A-6

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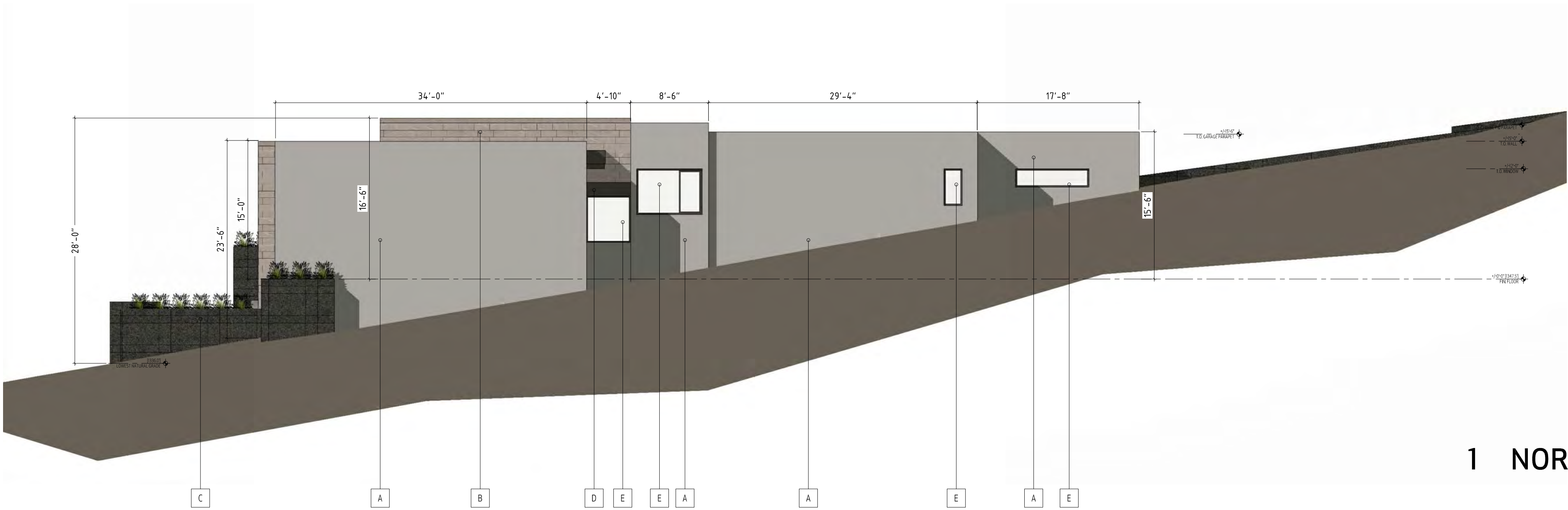
TOMECAK
DESIGN

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SCOTTSDALE, ARIZONA 85251

T 602.619.7751
F 480.718.8387
E INFO@TOMECAKDESIGN.COM

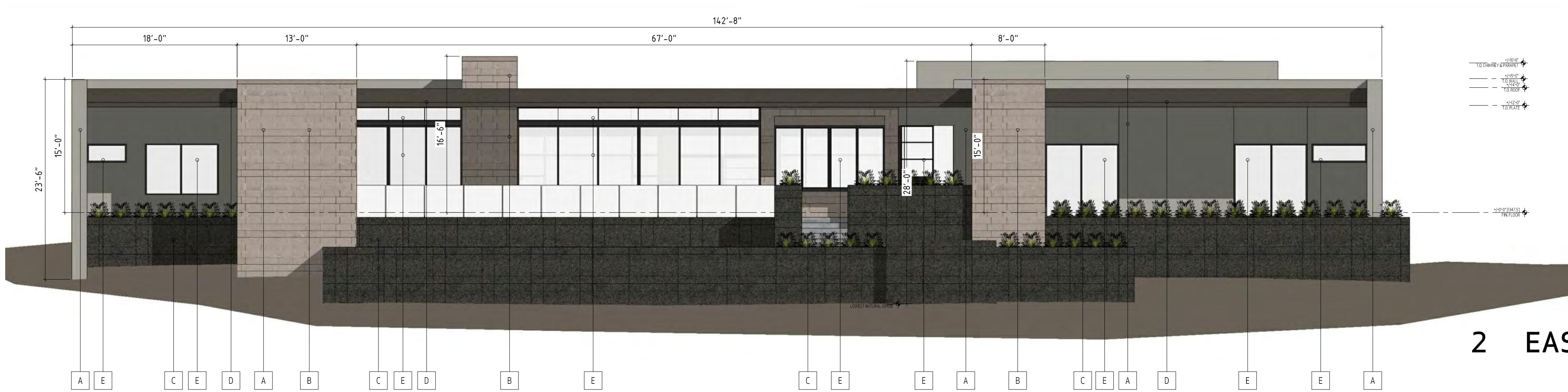
MATERIAL SCHEDULE

MATERIAL	
A	PAINTED STUCCO DUINN EDWARDS DETS11 "DAPPLE GRAY" LRV 29
B	STONE VENEER TUSCAN STONE LRV 30
C	BURNISHED CMU OPAL LRV 15
D	DECORATIVE CLADDING WESTERN STATES METAL BLACK ORE MATTE LRV 24
E	WINDOW (LOW-E) WESTERN DARK BRONZE ALUM. LRV 24
	EXTERIOR CEILINGS DUINN EDWARDS DEES375 "CASTLE ROCK" LRV 37
	PAVERS BELGARD LAFITTE GRANA SLAB COLOR - RIO LRV 15
	NOTE: ALL FLAT ROOFS TO GET ROOF BALLAST SYSTEM "CEDAR BLEND" COLOR LRV 33
NOTE: 1. ANY POST/BREAM THAT IS LOCATED AT THE CORNER OR BETWEEN WINDOWS SHALL BE CLAD IN BREAK METAL TO MATCH THE COLOR OF THE WINDOW FRAMES -TYP. 2. ALL EXTERIOR MATERIAL PALETTE SHALL BE IN ACCORDANCE WITH SECTION 2207.II.D 3. ALL EXTERIOR LIGHTING SHALL COMPLY WITH SECTION 2208.	



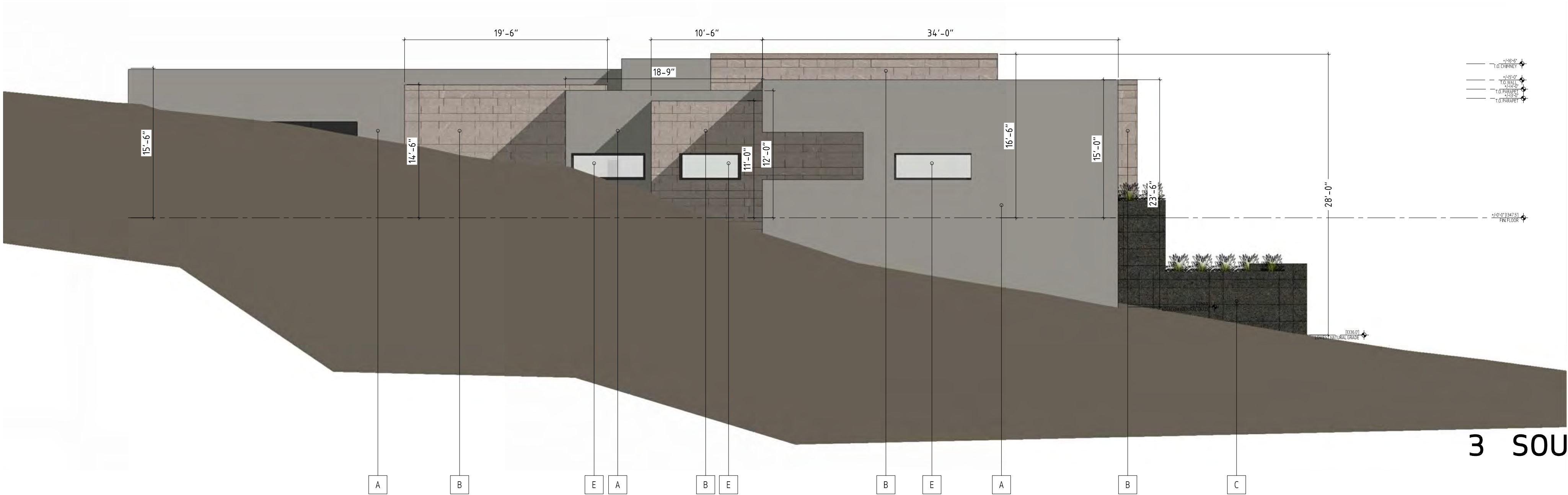
1 NORTH SIDE ELEVATION

SCALE:1/8"=1'-0"



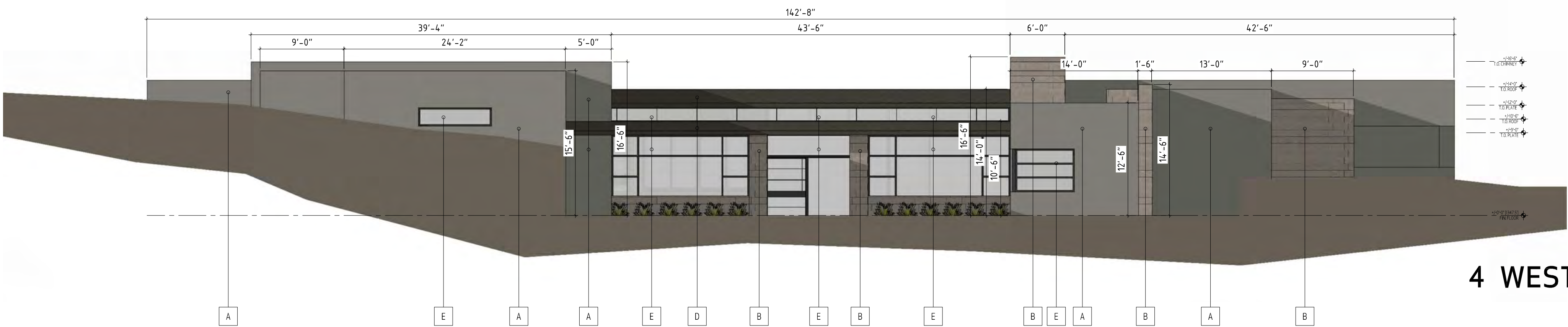
2 EAST REAR ELEVATION

SCALE:1/8"=1'-0"



3 SOUTH SIDE ELEVATION

SCALE:1/8"=1'-0"



4 WEST FRONT ELEVATION

SCALE:1/8"=1'-0"

PROJECT:
KEIM RESIDENCE

4117 E KEIM DR
PARADISE VALLEY, ARIZONA 85253

REVISED:

JOB #.: 20-24

DATE: 08.01.2021

CONTENTS: ELEVATIONS

SHEET NO: A-7

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EXTERIOR WALL LIGHT:

BRUCK

JOB NAME
Extra Residence

CONTACT

ORDERING CODE

OUTDOOR ECLIPSE

Down IP65 Wall



DESCRIPTION
The Outdoor Eclipse is an exterior sconce made of extruded aluminum. Its contemporary organic design allows for a modern look with a warm glow illuminating the wall with either up (damp location only) or down installation. Outdoor Eclipse includes an enclosed driver, 3" canopy is easily surface mounted to cover a standard junction box. It is offered in anthracite finish.

HOUSING
• Extruded aluminum housing in anthracite.

MOUNTING
• Mounts to 3-1/2" to 4" square recessed junction box.

ELECTRICAL/CONTROLS
• Integrated LED Module
• Non-dimmable

LISTING
• ETL-Listed to UL1598 (suitable for wet locations)
• VET-Listed to CSA C22.2 #250.0
• ADA compliant
• BULB Rating: 81 - U1 - 00

LED INFO
• LED: Zopen Z01B0X0K0H0
• BDCM: 3-step MacAdam Ellipse
• Lumen Maintenance L_{70} > 50,000 hrs
• Warranty: 5 year limited warranty

Bruck By Ledra Brands Inc. | 88 Macmillan Irvine, CA 92618 | PH: 714.258.8898 | www.brucklighting.com

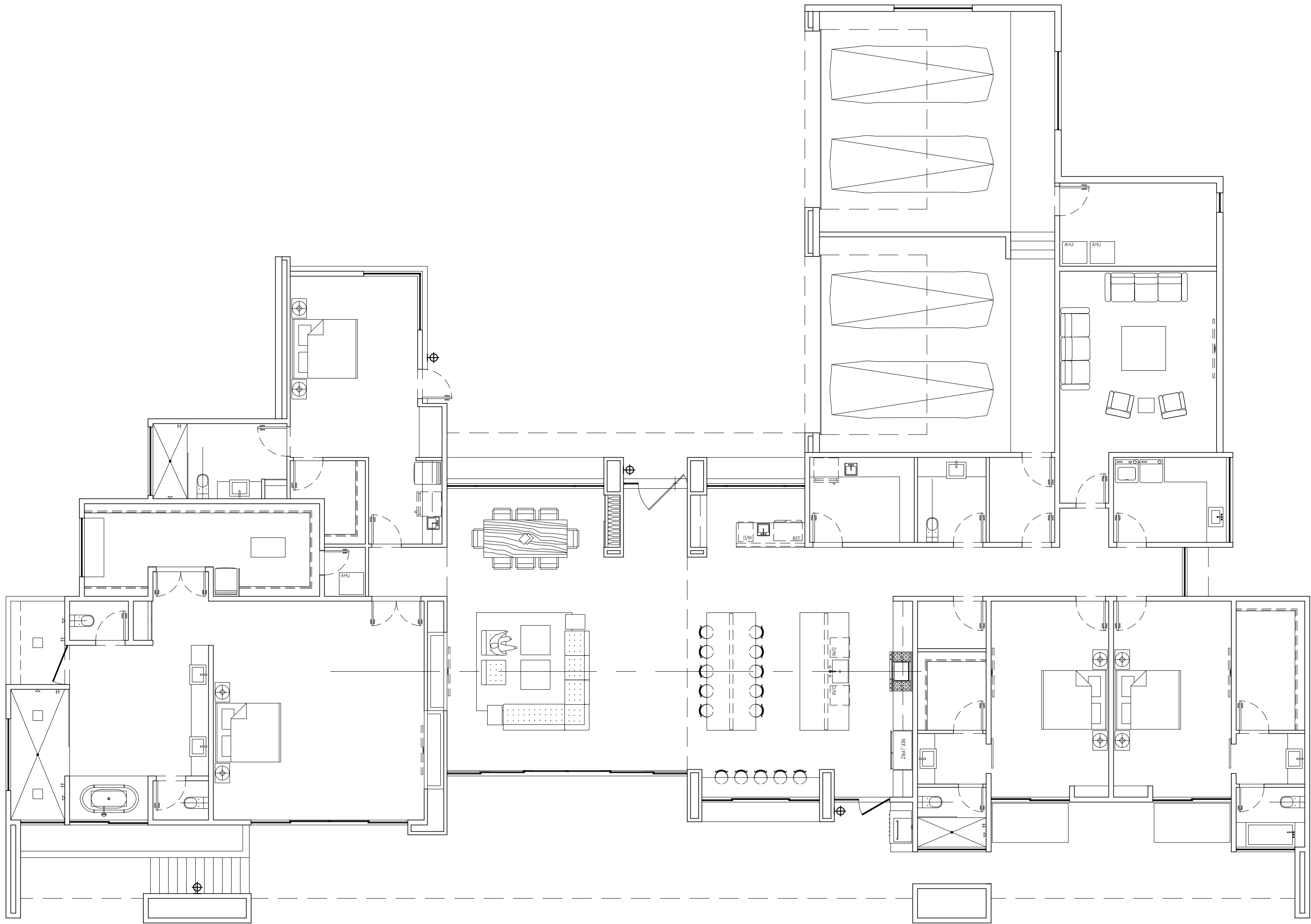
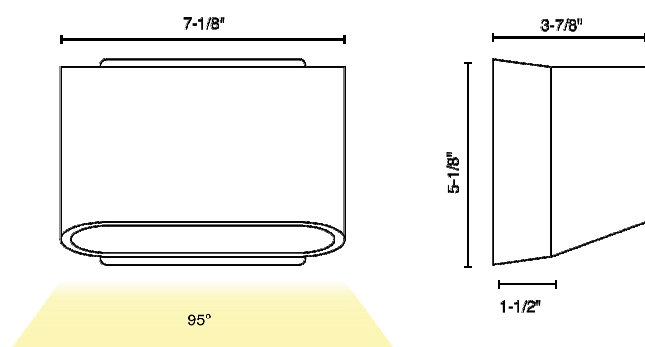
ORDERING CODE

LM-79

Series	EXT	exterior
Type	ED	eclipse down, 9.6W, 618lm
CCT	30K	3000K
CR	B0	90 CRI
Voltage	UNV	120V-277V
Finish	BK	anthracite

ORDERING CODE

Follow the steps to specify your fixture, example:
EXT-ED-30K-B0-UNV-BK



LIGHTING TABLE

FIXTURE TYPE	QTY.	SYMBOL	DESCRIPTION	FINISH	COLOR TEMP	LUMENS
WALL DOWN LIGHT	4	⊕	EXTERIOR SCONCE DOWN LIGHT	BLACK ALUMINUM	3000K	618

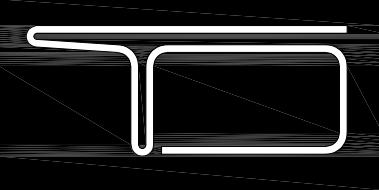
NOTE: ALL LIGHTING SHALL DEMONSTRATE COMPLIANCE PER ARTICLE XXII SECTION 2208

ALL EXTERIOR LIGHTS SHALL NOT EXCEED 750 LUMENS WHEN ATTACHED TO A STRUCTURE AND CONFINED TO THE IMMEDIATE VICINITY OF A BUILDING ENTRANCE OR OUTDOOR LIVING AREA OF THE RESIDENCE.

ALL EXTERIOR LIGHTS SHALL NOT EXCEED 250 LUMENS FOR ALL OTHER USES.

ALL EXTERIOR LIGHTS SHALL NOT EXCEED 3000 K COLOR TEMP.

BUILDING LIGHTING PLAN
SCALE: 1/8"=1'-0"



**TOMECAK
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PROJECT:
KEIM RESIDENCE
4117 E KEIM DR
PARADISE VALLEY, ARIZONA 85253

REVISED:
FORMAL REVIEW 12.08.2021

JOB #.: 20-24

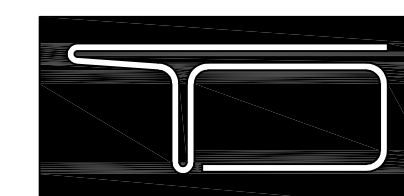
DATE: 08.01.2021

CONTENTS: BLDG LIGHTING PLAN

SHEET No: **A-8**

SITE PLAN KEYNOTES:

1. NEW HOUSE.
2. PROPERTY LINE.
3. BUILDING SETBACK LINE.
4. NEW DRIVEWAY W/ AUTO COURT.
5. NEW POOL W/ HOT TUB.
6. NEW TRASH/UTILITY ENCLOSURE - SHALL BE 12" HIGHER THAN THE TRASH CANS AND 4" HIGHER THAN THE SES (MIN.)
7. NEW SES PANELS.
8. NEW GAS FED FIRE FEATURE.
9. FACE OF WALL BELOW - TYP.
10. POOL FENCE TO COMPLY WITH T.O.P.V. ORNANCE AND INTERNATIONAL RESIDENTIAL CODE - POOL GATE TO BE SELF-CLOSING AND LATCHING.
11. LIMITS OF DISTURBANCE AREA.
12. NEW SEPTIC SYSTEM.

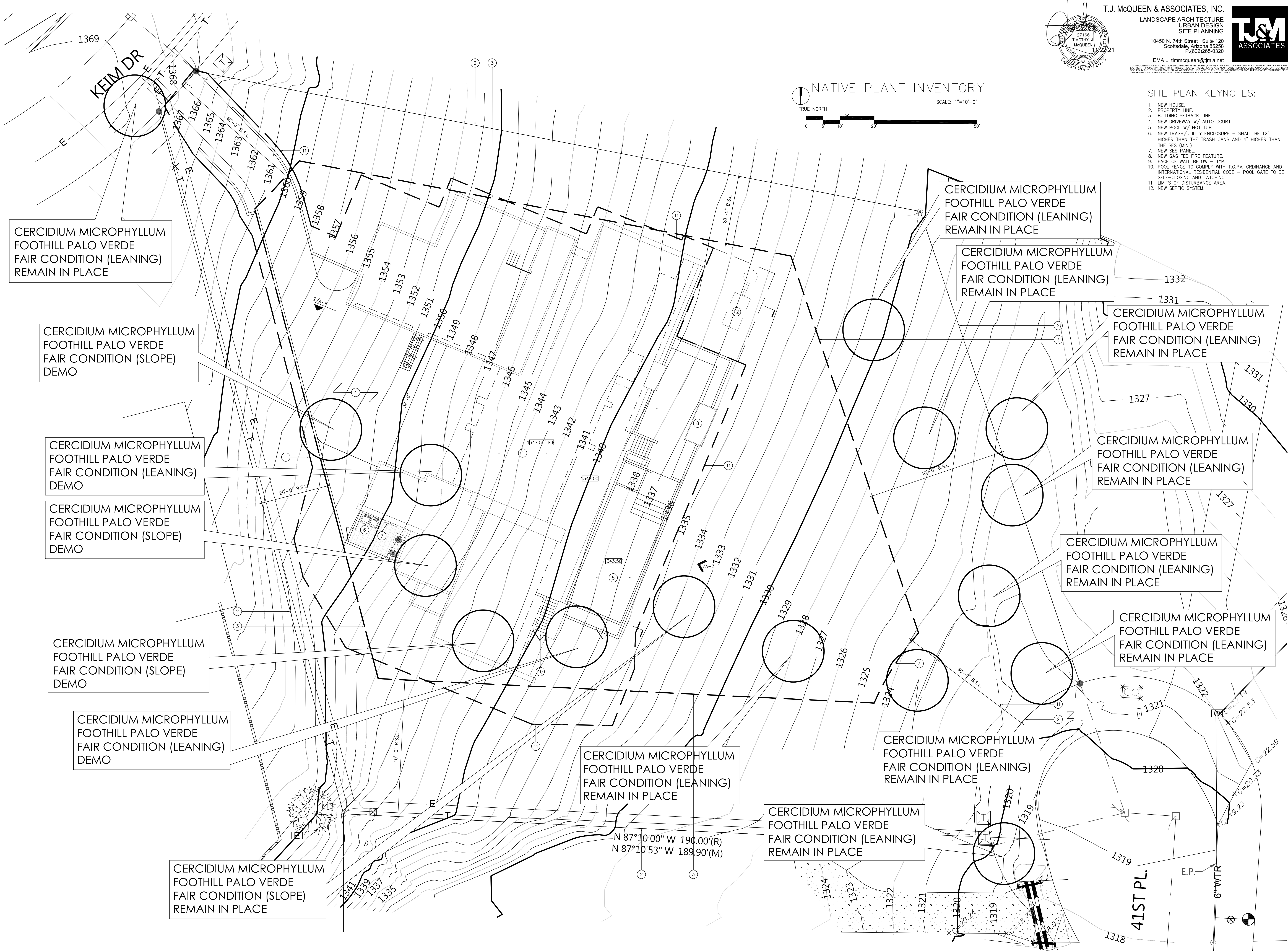


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sheet No:

LA.01



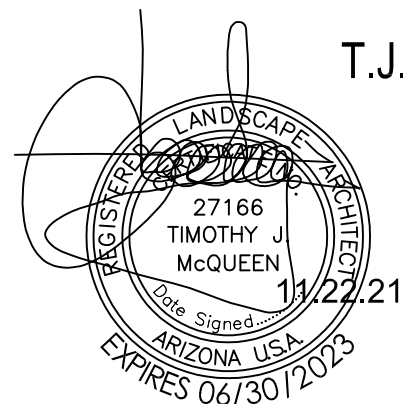
LANDSCAPE LEGEND

- CERCIDIUM FLORIDUM
BLUE PALO VERDE
36" BOX
- PROSOPIS VELUTINA
NATIVE MESQUITE
24" BOX
- SOPHORA SECUNDIFLORA
TEXAS MOUNTAIN LAUREL
1.5" CALIP.(MULTI) 4'T, 3.5'W

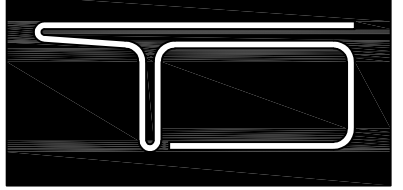
- LARREA TRIDENTATA
CREOSOTE
5 GALLON
- AGAVE WEBERII
WEBBER'S AGAVE
5 GALLON
- HESPERALOE PARVIFLORA
RED YUCCA
5 GALLON

- DASYLIRION WHEELERII
DESERT SPOON
5 GALLON
- SIMMONDSIA CHINENSIS
JOJOBA
5 GALLON
- PACHYCEREUS MARGINATUS
MEXICAN FENCE POST
24" BOX
- ALOE 'BLUE ELF'
BLUE ELF ALOE
5 GALLON

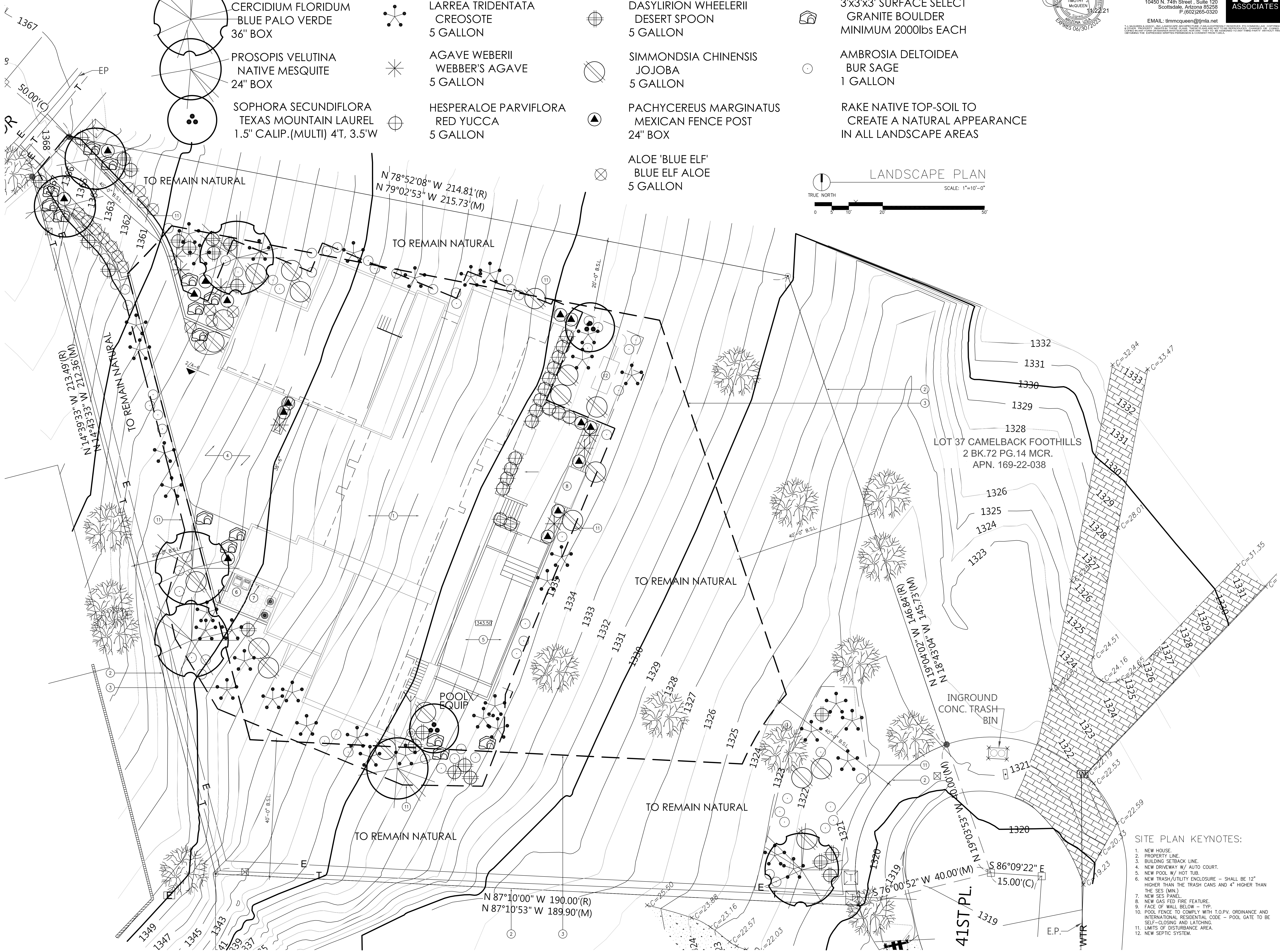
- 3'x3'x3' SURFACE SELECT
GRANITE BOULDER
MINIMUM 2000lbs EACH
- AMBROSIA DELTOIDEA
BUR SAGE
1 GALLON
- RAKE NATIVE TOP-SOIL TO
CREATE A NATURAL APPEARANCE
IN ALL LANDSCAPE AREAS



T.J. McQUEEN & ASSOCIATES, INC.
LANDSCAPE ARCHITECTURE
URBAN PLANNING
SITE PLANNING
10450 N. 74th Street, Suite 120
Scottsdale, Arizona 85258
P: (602) 265-0320
EMAIL: timmcqueen@tjmla.net



TOMECAK
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4368 NORTH CIVIC CENTER
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E: INFO@TOMECAKDESIGN.COM



- SITE PLAN KEYNOTES:
1. NEW HOUSE.
 2. PROPERTY LINE.
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 10. POOL FENCE TO COMPLY WITH T.O.P.V. ORDINANCE AND INTERNATIONAL RESIDENTIAL CODE - POOL GATE TO BE SELF-CLOSING AND LATCHING.
 11. LIMITS OF DISTURBANCE AREA.
 12. NEW SEPTIC SYSTEM.

project:
KEIM RESIDENCE

4117 E KEIM DR
PARADISE VALLEY, ARIZONA 85255

revised:

job #:

date:

contents:

LANDSCAPE PLAN

sheet No:

LA.02

UP LIGHT:

FXLuminaire

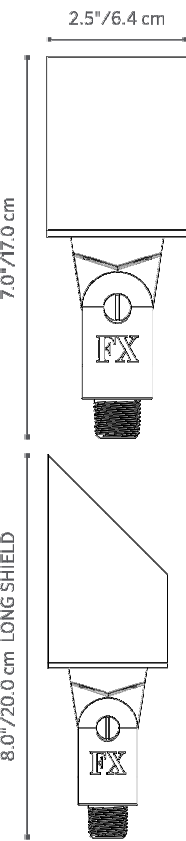
LED Up Lights



The NR is a copper and brass version of the popular NP up light, available in 1, 3, 6, or 9 LED. Its durable materials make it the perfect choice for coastal areas and other harsh environments. Four color filters are included with standard and ZD fixtures. ZDC compatibility is also an option, creating more than 30,000 custom colors with the Luxor ZDC controller (no filters required).

NR: Up Light

NUMBER OF LEDS:	1	3	6	9	ZDC
HALOGEN LUMEN OUTPUT EQUIVALENT:	10 Watt	20 Watt	35 Watt	50 Watt	20 Watt
MINIMUM RATED LIFE (L70):	50,000 hrs avg	50,000 hrs avg	50,000 hrs avg	50,000 hrs avg	50,000 hrs avg
INPUT VOLTAGE:	10 to 15V	10 to 15V	10 to 15V	10 to 15V	10 to 15V
VA TOTAL (Use this number to size the transformer):	2.4	4.5	13.5	13.5	11.0
WATTS USED:	2.0	4.2	10.1	11.2	9.1
EFFICACY (LUMENS PER WATT):	38	51	48	43	23
MAX LUMENS:	73	208	397	430	117
CRI:	82	82	84	84	82
CBCP:	313	1,140	2,761	2,577	183



Learn more about FX Luminaire up lights. Visit: fxl.com/products

ORDERING INFORMATION

LED



NR: Up Light

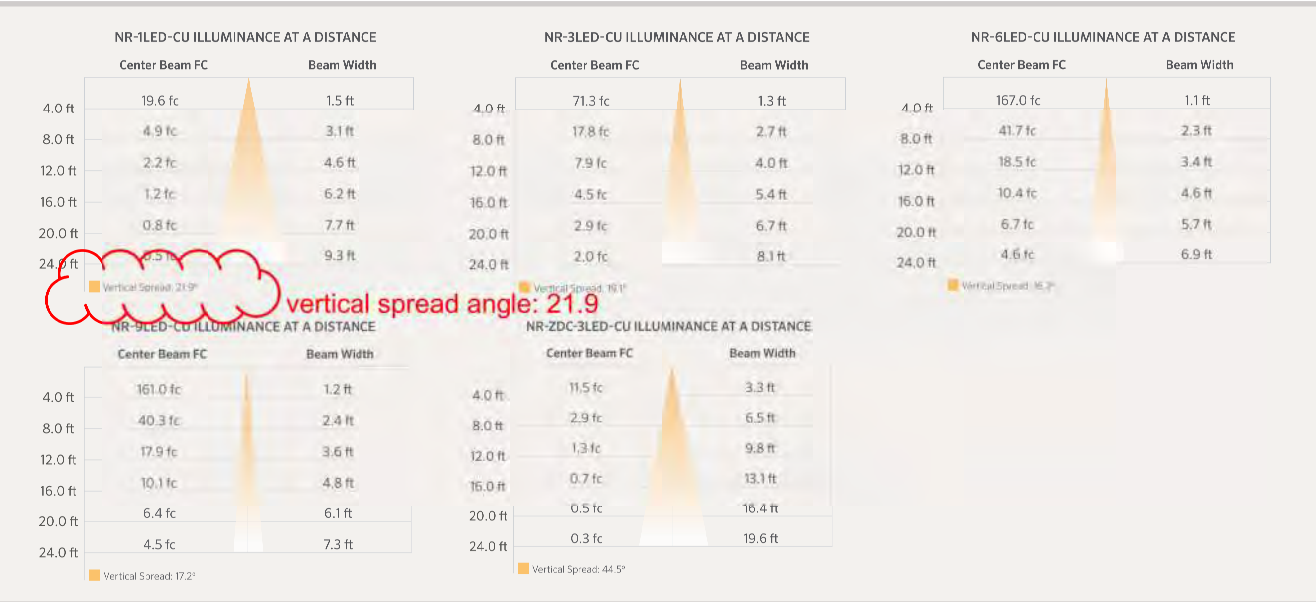
STEP	DESCRIPTION	CODE
1	FIXTURE	NR
2	LUXOR OPTION	ZD, ZDC (Color)
3	LAMP	1LED, 3LED, 6LED, 9LED, ...
4	OPTIONAL SHROUD	LS (Long shroud)
5	FINISH	CU, AB, AT, NP

EXAMPLE: NR-3LED-LS-CU = NR - 3LED Board - Long Shroud Option - Copper Finish
NR-ZDC-AB = NR - ZDC Option - Antique Bronze Finish
† Features specified with ZDC Technology™ are available only in one circuit board configuration. Do not specify a number of LEDs when ordering.

MOUNTS	BEAM ANGLE LENSES
Super Slot Spike (250010840000) 2.5" x 10"	Diffuser 18" (chrome plated)
Large Slot Spike (Included) (250010840000) 2.5" x 10"	Diffuser 18" (chrome plated)
Super-Ring (SI-KX) 1.25" x 12"	Fixed Lens 30-32° (1 notch)
Post Mount (PM-KX) 2.5" x 13"	Wide Flood Lens 55-58° (2 notches)

EXAMPLE: PM-BS = Post Mount - Brass Finish

PHOTOMETRICS:



*Measured with the diffuser lens and amber filter assembled.

METALS
AB = Antique Bronze*
AT = Antique Turquoise
NP = Nickel Plate*
CU = Copper

All NR up lights come standard with amber, green, blue and frosted filters
* May require longer lead time
** XX Denotes finish code

The NR includes an LED board, your choice of finish, 4 ft lead wire and a Large Slot Spike.

Beam angle is defined as two times the vertical angle at which the intensity is 50% of the maximum. It is calculated using LM-79 method for SSL luminaires.

NR SPEC CHART

NUMBER OF LEDS	1	3	6	9	ZDC
Halogen Lumen Output Equivalent	10 Watt	20 Watt	35 Watt	50 Watt	20 Watt
Minimum Rated Life (L70)	50,000 hrs avg	50,000 hrs avg	50,000 hrs avg	50,000 hrs avg	50,000 hrs avg
Input Voltage	10 to 15V	10 to 15V	10 to 15V	10 to 15V	10 to 15V
VA Total (Use this number to size the transformer)	2.4	4.5	13.5	13.5	11.0
Watts Used	2.0	4.2	10.1	11.2	9.1
Efficacy (Lumens per Watt)	38	51	48	43	23
Max Lumens	73	208	397	430	117
CRI	82	82	84	84	82
CBCP	313	1,140	2,761	2,577	183
CCT					
Amber Filter	2700K	2700K	2700K	2700K	N/A
Frosted Filter	3900K	3900K	3900K	3900K	N/A
Green Filter	4500K	4500K	4500K	4500K	N/A
Blue Filter	5200K	5200K	5200K	5200K	N/A

PATH LIGHT:

FXLuminaire

LED Recessed Wall Lights



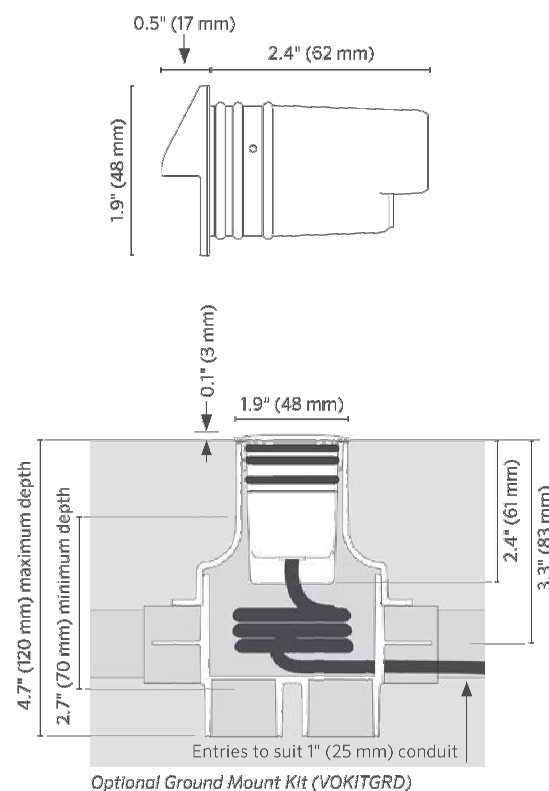
In-Ground Mounting Recessed Wall Mounting

VO Wall Light DESIGNER PREMIUM

The VO Wall Light includes a sturdy installation sleeve ideal for landscape applications. Clean stainless steel construction makes the fixture at home in a range of settings.

Quick Facts

- 316 marine-grade stainless steel
- Compatible with Luxor® Technology
- Phase and PWM dimmable
- Input voltage: 10 to 15 V



VO Wall Light SPECIFICATIONS

Output	1LED (ST)	1LED (RD)
Total Lumens	178	98
Input Voltage	10 to 15 V	10 to 15 V
Input Power	2.8 W	2.8 W
Power Consumption (VA)	3.3 W	3.3 W
Efficacy	64 lm/W	33 lm/W
Color Rendering Index (CRI)	80+	80+
Center Beam Candlepower	431	300
Max Candela	431	300
Dimming	PWM, Phase	PWM, Phase
RGBW Available	No	No
Luxor Compatibility		
Z Option	--	--
ZD Option (default)	Zoning/Dimming	Zoning/Dimming
ZDC Option	--	--
Minimum Rated Life L90 B10 (Hrs)	55,000	55,000

VO Wall Light PHOTOMETRICS

VO-ST 1LED Illuminance at a Distance				VO-RD 1LED Illuminance at a Distance			
Feet (Meters)	Center Beam Feet-Candle (Lux)	Beam Width Vertical 30° Horizontal 35°	Beam Width	Feet (Meters)	Center Beam Feet-Candle (Lux)	Beam Width Vertical 30° Horizontal 35°	Beam Width
2.0' (0.6 m)	107.0 fc (1,552 lx)	1.2' (0.4 m)	1.3' (0.4 m)	0.5' (0.2 m)	219.0 fc (236 lx)	0.18' (0.1 m)	0.31' (0.1 m)
4.0' (1.2 m)	26.7 fc (287 lx)	2.4' (0.7 m)	2.6' (0.8 m)	1.0' (0.3 m)	54.8 fc (59 lx)	0.36' (0.1 m)	0.62' (0.2 m)
6.0' (1.8 m)	11.9 fc (128 lx)	3.6' (1.1 m)	3.9' (1.2 m)	1.5' (0.5 m)	24.4 fc (26 lx)	0.55' (0.2 m)	0.92' (0.3 m)
8.0' (2.4 m)	6.7 fc (72 lx)	4.8' (1.5 m)	5.2' (1.6 m)	2.0' (0.6 m)	13.7 fc (15 lx)	0.73' (0.2 m)	1.23' (0.4 m)
10.0' (3.1 m)	4.3 fc (46 lx)	6.0' (1.8 m)	6.5' (2.0 m)	2.5' (0.8 m)	8.8 fc (9 lx)	0.91' (0.3 m)	1.54' (0.5 m)
12.0' (3.7 m)	3.0 fc (32 lx)	7.2' (2.2 m)	7.8' (2.4 m)	3.0' (0.9 m)	6.6 fc (7 lx)	1.09' (0.3 m)	1.85' (0.6 m)

LANDSCAPE LIGHTING TABLE

FIXTURE TYPE	QTY.	SYMBOL	DESCRIPTION	FINISH	COLOR TEMP	LUMENS
SPOT LIGHT	7	⊙	SPOT UP LIGHT WITH SHIELD	BRONZE	82-2700K	73
PATH LIGHT	15	⊕	WALL MOUNTED PATH LIGHT	STAINLESS STEEL	80-300K	98

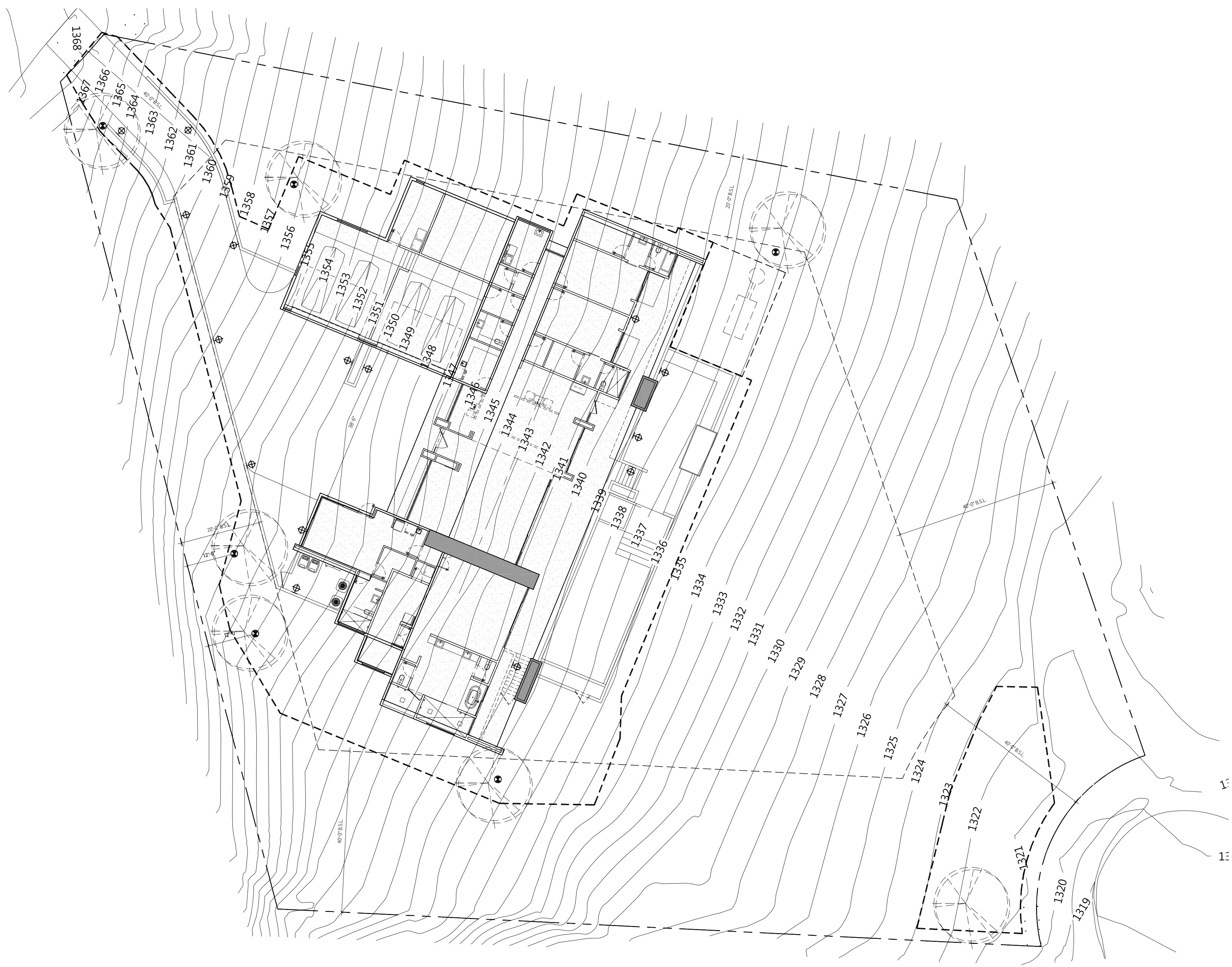
ALL LIGHTS SHALL FOLLOW A MAXIMUM COLOR TEMPERATURE OF 300K AND A MAXIMUM OF A 150 LUMENS.

ALL LIGHTS SHALL NOT EXCEED A BEAM ANGLE SPREAD OF 45 DEGREES.

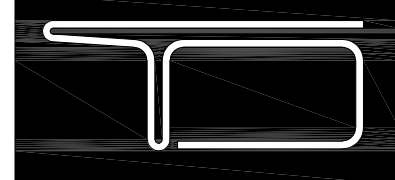
NUMBER OF UP LIGHTS ALLOWED (ONE LIGHT PER 1000 OF ALLOWED DISTURBED AREA) @ 11,350.5/1000 = 11 UP LIGHTS

NUMBER OF UP LIGHTS PROVIDED = 7 UP LIGHTS

NOTE: ALL LIGHTING SHALL DEMONSTRATE COMPLIANCE PER ARTICLE XXII SECTION 2208



LANDSCAPE LIGHTING PLAN SCALE 1/16\"/>



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4117 E KEIM DR
PARADISE VALLEY, ARIZONA 85253

REVISED:

JOB #: 20-24

DATE: 08.01.2021

CONTENTS: LANDSCAPE LIGHTING PLAN

SHEET NO:

LA.03