



# Town of Paradise Valley

6401 E Lincoln Dr  
Paradise Valley, AZ 85253

## Meeting Notice and Agenda Planning Commission

*Chair Jonathan Wainwright*  
*Commissioner Thomas G. Campbell*  
*Commissioner Charles Covington*  
*Commissioner Pamela Georgelos*  
*Commissioner Orme Lewis*  
*Commissioner James Rose*  
*Commissioner Daran Wastchak*

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Tuesday, March 16, 2021

6:00 PM

Council Chambers

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**IN-PERSON ATTENDANCE AT PUBLIC MEETINGS HAS BEEN SUSPENDED UNTIL  
FURTHER NOTICE. WATCH LIVE STREAMED MEETINGS AT:  
<https://paradisevalleyaz.legistar.com/Calendar.aspx>**

### 1. CALL TO ORDER

### 2. ROLL CALL

*THIS MEETING WILL BE HELD BY REMOTE PARTICIPATION ONLY*

#### *PUBLIC PARTICIPATION IN THE MEETING*

*Members of the public are encouraged to participate in the meeting via the following options:*

- 1. View the live stream at <https://paradisevalleyaz.legistar.com/Calendar.aspx>
    - (a) Click on Calendar Tab*
    - (b) Look for Planning Commission meeting (you may have to select it from the dropdown list) and find the meeting date*
    - (c) Click the "In Progress" link in the column titled Video**
  - 2. Zoom Conference*
    - (a) Computer: <https://zoom.us/j/6678902153>*
    - (b) Telephone: 1 669 900 6833 Meeting ID 667 890 2153*
  - 3. Submitting questions and comments:*
    - (a) Visit <https://paradisevalleyaz.legistar.com/Calendar.aspx>, search for the meeting date, and click "eComment". Locate the agenda item you are interested in and click "Comment" (Please submit comments at least 1 hr prior to meeting)*
    - (b) Email [pmichaud@paradisevalleyaz.gov](mailto:pmichaud@paradisevalleyaz.gov) (Please submit comments at least 1 hr prior to meeting)*
  - 4. Speaking during Call to the Public / Public Hearings*
    - (a) Visit <https://paradisevalleyaz.legistar.com/Calendar.aspx>, search for the meeting date, and click "eComment". Locate the agenda item and click "Register to Speak". Join the meeting by dialing 1 669 900 6833 Meeting ID 667 890 2153*
    - (b) If attending by Zoom Video Conference, click the chat button and enter your name and the agenda item you would like to address*
- (These meeting participation guidelines are pursuant to Town Council Resolution 2020-08 adopted March 17, 2020.)*
- Notice is hereby given pursuant to A.R.S. §38-431.02. that members of the Planning Commission will attend by audio/video conference call.*

*Notice is hereby given that members of the Public Body will attend either in person or by telephone conference call, pursuant to A.R.S. §38-431(4).*

### 3. EXECUTIVE SESSION

*The Public Body may convene into an executive session at one or more times during the meeting as needed to confer with the Town Attorney for legal advice regarding any of the items listed on the agenda as authorized by A.R.S. §38-431.03.A.3.*

### 4. STUDY SESSION ITEMS

*Work/Study is open to the public however the following items are scheduled for discussion only. The Public Body will be briefed by staff and other Town representatives. There will be no votes and no final action taken on discussion items. The Public Body may give direction to staff and request that items be scheduled for consideration and final action at a later date. The order of discussion items and the estimated time scheduled to hear each item is subject to change.*

- A.     **21-089**     **Discussion of a Minor General Plan Amendment (GPA-20-01), a Rezoning (MI-20-03), a Minor Special Use Permit Amendment (SUP-20-07), and a non-administrative land modification (RP-20-01) to create a Single-Family R-43 Lot Ascension Lutheran Church, 7100 N Mockingbird Lane**

**Staff Contact:**     Paul Michaud, 480-348-3574

**Attachments:**     [A - Staff Report](#)  
                              [B - Vicinity Map \(Aerial - General Plan - Zoning\)](#)  
                              [C - Application - Narrative](#)  
                              [D- SUP History](#)  
                              [E - Water - Utility Information](#)  
                              [F - ALTA & Proposed Maps](#)  
                              [G - Landscaping \(Revised 03-04-2021\)](#)  
                              [H - Noticing](#)  
                              [I - Draft Conditions of Approval](#)

- B.     **21-106**     **Discussion of Building Pad Heights for Non-Hillside Lots**

**Staff Contact:**     Lisa Collins, 480-348-3522

**Attachments:**     [A. Staff Report](#)  
                              [B. Presentation](#)

- C.     **21-107**     **Discussion of Regulations for Walls / View Fences / Combination View Fences**

**Staff Contact:**     Lisa Collins, 480-348-3522

**Attachments:**     [A. Staff Report](#)  
                              [B Presentation](#)

## 5. PUBLIC HEARINGS

*The Public Body may take action on this item.*

## 6. ACTION ITEMS

*The Public Body may take action on this item.*

## 7. CONSENT AGENDA

*All items on the Consent Agenda are considered by the Public Body to be routine and will be enacted by a single motion. There will be no separate discussion of these items. If a Commissioner or member of the public desires discussion on any item it will be removed from the Consent Agenda and considered separately.*

### A. [21-088](#) Approval of the February 16, 2021 Planning Commission Minutes

Attachments: [021621 MN Draft](#)

## 8. STAFF REPORTS

## 9. PUBLIC BODY REPORTS

## 10. FUTURE AGENDA ITEMS

## 11. ADJOURNMENT

*AGENDA IS SUBJECT TO CHANGE*

*\*Notice is hereby given that pursuant to A.R.S. §1-602.A.9, subject to certain specified statutory exceptions, parents have a right to consent before the State or any of its political subdivisions make a video or audio recording of a minor child. Meetings of the Planning Commission are audio and/or video recorded, and, as a result, proceedings in which children are present may be subject to such recording. Parents in order to exercise their rights may either file written consent with the Town Clerk to such recording, or take personal action to ensure that their child or children are not present when a recording may be made. If a child is present at the time a recording is made, the Town will assume that the rights afforded parents pursuant to A.R.S. §1-602.A.9 have been waived.*

*The Town of Paradise Valley endeavors to make all public meetings accessible to persons with disabilities. With 72 hours advance notice, special assistance can also be provided for disabled persons at public meetings. Please call 480-948-7411 (voice) or 480-483-1811 (TDD) to request accommodation to participate in the Planning Commission meeting.*



## Action Report

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**File #:** 21-089

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**AGENDA TITLE:**

Discussion of a Minor General Plan Amendment (GPA-20-01), a Rezoning (MI-20-03), a Minor Special Use Permit Amendment (SUP-20-07), and a non-administrative land modification (RP-20-01) to create a Single-Family R-43 Lot Ascension Lutheran Church, 7100 N Mockingbird Lane

**STAFF CONTACT:**



# TOWN *Of* PARADISE VALLEY

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## STAFF REPORT

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**TO:** Chairman and Planning Commission Members

**FROM:** Lisa Collins, Community Development Director  
Paul Michaud, Planning Manager

**DATE:** March 16, 2021

**DEPARTMENT:** Community Development – Planning Division  
Paul Michaud, 480-348-3574

**AGENDA TITLE:** Discussion of a Minor General Plan Amendment (GPA-20-01), a Rezoning (MI-20-03), a Minor Special Use Permit Amendment (SUP-20-07), and a non-administrative land modification (RP-20-01) to create a Single-Family R-43 Lot  
Ascension Lutheran Church, 7100 N Mockingbird Lane

### **SUMMARY STATEMENT:**

#### Request

Ascension Lutheran Church, Inc., an Arizona Corporation, located at 7100 N Mockingbird Lane (Parcel No. 174-51-033) is requesting approval of several applications to establish a 1.0-net acre R-43 single-family residential lot at the southwest portion of the 6.3-net acre church property. These applications include a Minor General Plan Amendment from “Public/Quasi Public” to “Low Density Residential” designation for the 1.0-net acre area (GPA-20-01), a rezoning from “Special Use Permit - Religious Facility” to “R-43 Single-Family Residential District” for the 1.0-net acre area (MI-20-03), a Minor Special Use Permit to allow for the reduction of the church property zoned “Special Use Permit - Religious Facility” (SUP-20-07), and a non-administrative lot modification to plat the single-family lot (RP-20-01).

#### Update

The Planning Commission discussed these application requests at its February 16, 2021 work session. The main discussion points related to understanding overflow parking over the area proposed for the single-family lot and landscaping (both the buffer along the proposed lot and the areas of noncompliance from the 2002 landscape plan). Also for discussion at the March 16<sup>th</sup> work session includes a summary of the required Citizen Review Session held on March 1<sup>st</sup> (neighborhood meeting) and the draft conditions of approval related to the various applications.

- *Parking.* Commissioner Campbell inquired about the use and any conditions over the undeveloped area proposed for the single-family lot since there is an existing curb cut and it seems like this area may have been used for overflow parking. In reviewing the 2002 approval on the church property, this approval

was specifically to address the lack of parking. The 2002 approval increased the then existing number of parking spaces from 114 to 207 parking spaces based on the uses at the church. The number of parking spaces, uses, and structures at the church are the same since 2002, with no further changes proposed as part of the current request. The past Town approvals required no overflow parking areas. There are no known parking issues on this site over the last several years. However, the removal of this area from the Special Use Permit zoning will limit future expansion of church uses.

- *Landscaping.* As requested, the applicant illustrated the existing parking lot on the landscape plan east of the proposed single-family lot as shown in Attachment G. The focus of this landscape plan is the 40-foot wide buffer north and east of the proposed single-family lot. The area north is now proposed with a row of oleanders compared to the 7 trees and various shrubs in the landscape plan shown to the Planning Commission on February 15, 2021. The area east of the proposed lot is similar to the approved 2002 landscape plan, providing one additional tree (7 instead of 6 trees). The proposed trees are Mesquite and Ironwood (same palette in the 2002 landscape plan). If approved, this proposed landscape plan will supersede the 2002 landscape plan for this buffer area.

As noted at the prior work session, there are no specific Town Special Use Permit Guidelines or requirements for the number and type of landscaping for the buffer along residentially-zoned properties. The new lot owner has opportunity to construct an 8-foot tall wall by right with a building permit along the church site beyond the 40-foot front yard setback along Meadowlark Lane. The proposed grading plan shows the elevation along the east property line of the R-43 lot varying from 1321 feet to 1324 and the adjoining church parking lot at 1320 feet and 1319 feet toward Mockingbird Lane. As such, the proposed trees and existing trees will buffer views into the parking lot. Also, the new owner of the single-family lot will be aware of the existing conditions at the church before purchasing the lot.

The other noted concern were several places the landscaping no longer complies with the 2002 landscape plan as illustrated on Attachment G. This is the circumstance near the area of the ten existing parking spaces adjacent to the proposed R-43 lot and the parking lot median east of this area, groundcover/shrubs in the landscape areas at the northwest corner of Mockingbird Lane/Meadowlark Lane, landscaping along Mockingbird lane between the north entrance and Hummingbird Lane, a couple missing trees east of the Hummingbird entrance, and missing trees along the south parking spaces in the north parking lot. Staff drafted the following stipulation to address this noncompliance for Planning Commission review. It reads, "The Owner shall improve the landscaping on the church site so it is in substantial compliance with the Landscape Plan dated May 28, 2002, prepared by Laskin and Assoc., Inc- sheets LA-1 to LA-6, [prior to recordation of the plat map for the Non-Administrative Lot Modification (RP-20-01) or may want to consider within a period of time after the effective date of the rezoning (if the church needs the funds from the sale to make the drainage improvements)].

- *Citizen Review Session.* The applicant held their required Citizen Review Session (neighborhood meeting) on March 1, 2021. There were two residents that attended. None of the two persons had issue with the creation of the single-family lot. One of the residents remarked that the landscape requirements seemed excessive. Refer to Attachment H for more information.
- *Conditions of Approval.* There are draft conditions of approvals (stipulations) for all but the General Plan Amendment which cannot include conditions in Attachment I. The majority of the proposed conditions are typical, with a specific stipulation on compliance to the 2002 landscape plan and another emphasizing compliance to the Town's Storm Water Design Manual requirements since there are proposed retention basins and removal of rocks along Hummingbird Lane.

### General Plan Amendment

The 2012 General Plan Land Use Map designates the subject 6.3-net acre property as "Public/Quasi Public." "Public/Quasi Public" is the appropriate designation for the church use. The area surrounding the church property is designated "Low Density Residential." "Low Density Residential" is the appropriate designation for the R-43 Single-Family Residential District, requiring minimum one-acre lots. The General Plan designation change is necessary since §9-462.01.F of the Arizona Revised Statutes and Section 306 of the Town's Zoning Ordinance requires amendments to the zoning district boundaries be consistent with and conform to the Land Use Map of the Town's adopted General Plan. Table 9.4-1 of the Town's General Plan defines a change in designation from "Public/Quasi Public" to "Low Density Residential" as a Minor General Plan Amendment. A Minor General Plan Amendment pursuant to the Town Code requires Planning Commission recommendation and Town Council approval. Approval is via resolution. No stipulations are allowable as part of the action.

### Rezoning

The subject 6.3-net acre property is currently zoned "Special Use Permit - Religious Facility," being the appropriate zoning for the church use. The subject area is not designated hillside. The zoning of adjacent properties are "R-43 Single-Family Residential District." Refer to Attachment B for a General Plan designation and Zoning district map of this area.

The request to create a 1.0-net acre single-family residential lot requires the applicant to request a rezoning for this portion of the site from "Special Use Permit - Religious Facility" to "R-43 Single-Family Residential District." A rezoning pursuant to the Town Code requires a Citizen Review Session (a neighborhood meeting prior to the Planning Commission recommendation), Planning Commission recommendation, and Town Council approval. Section 2-5-2.D.1 of the Town Code provides time limits on rezoning applications when they are initiated by the Town. Being applicant driven, there are no timing requirements for the requested rezoning. Approval is via ordinance.

### Special Use Permit (SUP) Amendment

The Town annexed the church property in 1961. The church was constructed in 1963. The Town issued the first Special Use Permit zoning on the property in 1977. Concurrent with the 1977 Special Use Permit, the Town approved the Meadowlark Acres lot split plat map that included the creation of two 1.1-net acre residential R-43 lots (6700 E Meadowlark Lane and 6701 E Hummingbird Lane) from the original 10-gross acre church property. Several amendments to the Special Use Permit occurred

over the years as described in Attachment D. The latest amendment being a replacement monument sign in 2019. Other than the request to sell off 1.0-net acres of the 6.3-net acre church property, the church plans no other changes on the church site (e.g. no new structures, parking, exterior lighting, or other improvements). Except for landscaping described in more detail below, the property is in compliance to past approvals based on available information.

The reduction of the church site area requires a Minor SUP Amendment, review any potential impact of the site area reduction to the Special Use Permit Guidelines, and to review other impacts like drainage. Section 1102.7.B of the Zoning Ordinance requires the request meet four criteria to be a Minor SUP Amendment. The Planning Commission will need to take two actions during the public hearing (yet to be scheduled). This includes an action to determine the request is a Minor SUP Amendment and the second action to deny or approve the Minor SUP Amendment with any stipulations.

The application request to reduce the church site area meets the Minor SUP Amendment criteria as outlined below:

1. Change or add any uses.

There are no proposed changes or addition of uses than already exist or approved at this church with this application request.

2. Increase the floor area of the project by more than 5000 square feet or constitute an increase of more than 15% upon the existing or, if still under construction, approved floor area square footage of the affected SUP property, whichever is less, with any such increase to be measured cumulatively over a sixty month period.

There are no proposed structures on the remaining church property with this request. The church site has 11,691 square feet of dripline/footprint and 15,823 square feet of total square footage. As such, there is no increase in square footage. However, the reduction in site area increases the lot coverage and floor area percentages. The lot coverage will increase from 4.2% to 5.0%, well within the SUP Guideline of 25.0%. The floor area ratio will increase from 5.7% to 6.8%, with no SUP Guideline on floor area. The reduced lot size for the church site at 5.3 acres exceeds the suggested SUP Guideline minimum lot area of 5.0 acres.

3. Have any material effect on the adjoining property owners that is visible, audible, or otherwise perceptible from adjacent properties that cannot be sufficiently mitigated.

The church structure/uses are not changing and will not impact adjacent properties. The new residential lot will be closer to the existing church building. However, the lot owner purchasing the lot will be aware of the adjoining church use. The reduced lot for the church site meets SUP Guidelines in that the nearest church structure will be more than a 100-foot setback from the new residential lot (60' suggested).

The request to split off a residential lot creates a new shared property line between an SUP-zoned lot and an R-43-zoned lot. SUP Guidelines not met to these new shared lot lines include:

- (a) Ten existing parking spaces of the south parking lot will have an approximate minimum 12-foot setback to the new shared lot line instead of the suggested SUP Guideline for a 60-foot setback for parking lots adjoining residential uses. The new owner of the proposed lot will be aware of this condition before purchasing the lot.
- (b) The SUP Guidelines suggest a 40-foot landscape buffer adjoining residential property. The church site presently complies with a minimum 60-foot wide buffer. The proposed R-43 lot results in a reduced buffer adjoining the existing south parking lot as noted above.
- (c) There is no proposed perimeter wall along the proposed shared lot lines of the R-43 lot. Although, the owner of the new R-43 lot will likely construct a wall along the shared lot line with the church. The Town Zoning Ordinance allows for an 8-foot tall wall along property zoned SUP. The SUP Guidelines suggest parking lots be shielded with a minimum 3-foot tall wall or a landscaped berm providing equivalent screening or a combination of both so that no vehicle lights shine onto adjacent residentially zoned property. The SUP Guidelines have a similar criteria along public streets. The existing parking lot was approved in 2002 without any screening.

#### 4. Change the architectural style of the existing Special Use Permit.

The church structure/uses are not changing and will not impact adjacent properties. The new residential lot will be closer to the existing church site. However, the lot owner purchasing the lot will be aware of the adjoining church use.

#### Non-Administrative Lot Modification

The request to create a minimum one-net acre residential lot requires approval of a Non-Administrative Lot Modification application of the plat map of "Meadowlark Acres," approved by the Town in 1977. Pursuant to Section 6-9-7.D of the Town Code a Non-Administrative Lot Modification application (e.g. Lot Split, Lot Split (Exempt), Lot Line Adjustment, Easement Modification) on property with Special Use Permit zoning shall follow the final plat/map process in accordance with Section 6-2 of the Town Code. The typical final plat/map process requires only Council review and approval, unless the final plat/map does not comply with the stipulations or has substantial differences from the preliminary plat/map. Being that the plat map request is dependent upon the Minor SUP and other noted applications, staff finds that Planning Commission recommendation is necessary, requiring Council action on the Non-Administrative Lot Modification application within 40 calendar days of the Planning Commission recommendation instead of 40 calendar days of the application filing.

#### 1. Right-of-Way/Road Improvements

No additional right-of-way is required. The subject site has street frontage adjoining the north, east, and south. Hummingbird Lane to the north and Meadowlark Lane to the south are designated local streets with a suggested total right-of-way width of 50 feet. Both of these streets have a 66-foot right-of-way

width. Mockingbird Lane is to the east. It is a Minor Arterial with a right-of-way width of 80 feet which complies with the appropriate street cross sections of the General Plan.

No adjoining roadway or sidewalks improvements are required. The existing travel lanes, curbing, and sidewalk along Mockingbird Lane complies with the appropriate street cross sections of the Town General Plan.

2. Traffic

Per the Town Engineer, a traffic study is not required. As a new residential lot will be created, this may increase vehicular and pedestrian traffic. However, it is not expected to cause a significant increase in traffic. The Trip Generation Manual by the Institute of Transportation Engineers estimates the typical single-family detached home averages between 8.78 to 10.09 vehicle trip ends per day. There are no proposed changes to the operation of the church, changes to the church driveways, or any new physical improvements that merit a traffic study.

3. Lot Configuration

The proposed plat map meets all area requirements for an R-43 lot, including size, lot width, access to a public street, and setbacks. As noted previously, the reduced lot size for the church site at 5.3 acres exceeds the suggested SUP Guideline minimum lot area of 5.0 acres.

4. Existing Structures

There are no existing structures on the proposed R-43 lot. Approval of the application requests noted in this staff report will allow for the owner of the residential lot to landscape and construct residential structures in accordance with the R-43 Single-Family Residential District via the Town's building permit process. As described under Special Use Permit (SUP) Amendment above, there are no changes to the existing structures on the church site. Attachment F includes an ALTA survey.

5. Drainage

There are no washes on the subject site. As such, no drainage easements are needed. The new residential lot will require an individual engineering site/grading and drainage plan with the building permit application submittal for a new home (although the applicant provided one for the R-43 lot). On-lot retention will be required with the development of this lot. Based on the grading and drainage plan for the remaining church site, the applicant will be adding three new retention basins in the south part of the site and removal of the existing rocks along Hummingbird Lane that affect stormwater flow.

6. Utilities

Each of the proposed lots will have the required 6 or 8-foot public utility easement along the perimeter of the lots in accordance with Section 6-3-3 of the Town Code. All typical utilities will be provided; such as water, electricity, and natural gas. The new home on Lot 1B will be connected to Paradise Valley sewer as sewer lines exist within Meadowlark Lane (and the other streets adjoining the church).

7. Fire Protection Issues:

The proposed R-43 lot, along with the existing church, meets the standards related to fire protection. Both lots have direct access onto a public roadway and are within 400 feet of an existing fire hydrant. There is an existing fire hydrant along Meadowlark Lane near the monument sign for the church. The nearest fire hydrant to the proposed R-43 lot is 370 feet west along Meadowlark Lane at the southwest corner of 6550 E Meadowlark Lane. The new home that will be constructed as a result of this plat map will have fire sprinklers in accordance with the Town Fire Code.

The applicant has provided water service impact documentation. The site is located within the City of Phoenix service area. The documentation demonstrates that the water system falls short of the required flow rate of 1,500 gpm at the residual zone pressure of 20 psi (tested at 1,087 gpm). As in past instances for low water pressure, the approval will include a stipulation (code requirement) that "The property owner(s) or designee(s) shall demonstrate that the fire sprinkler system is in compliance with the National Fire Protection Association standard 13D or the current equivalent code requirement."

8. Landscaping

There is no existing or previously approved landscaping within the area of the proposed R-43 lot or north of this proposed lot with prior Special Use Permit amendments at the church. In 2002, the Town approved the existing parking lots and perimeter landscaping as shown on Attachment D. As noted previously, there are several places the landscaping no longer complies with these plans which the church will correct. The approval also includes additional landscaping along the north and east property lines of the proposed single-family lot.

**COMMENTS & NOTICING**

The Town requires no noticing for work sessions. Refer to the Update section above for a summary of the Citizen Review Session the applicant held on March 1, 2021.

The Town Code and/or policy is for mailing notice to property owners within 1,500 feet of the subject site and a newspaper advertisement at least 15 days prior to any meeting action is taken for all the requested applications (except for the non-administrative land modification requiring by policy only a mailing notification to property owners within 500 feet). Noticing of all the four application requests will follow the rezoning noticing procedures since the four application processes are concurrent.

**NEXT STEPS**

The next scheduled meeting will be the Planning Commission hearing/meeting on the four applications on April 6, 2021. The Minor Special Use Permit application is for Planning Commission action, with an effective date tied to the rezoning request. Council is tentatively set to review the remaining three applications on April 22, 2021, with action tentatively set for May 27, 2021.

**ATTACHMENT(S):**

- A. Staff Report
- B. Vicinity Map (Aerial/General Plan/Zoning)
- C. Application - Narrative
- D. SUP History
- E. Water-Utility Information
- F. ALTA & Proposed Maps
- G. Landscaping
- H. Noticing
- I. Draft Conditions of Approval





# VICINITY MAP

Subject Property



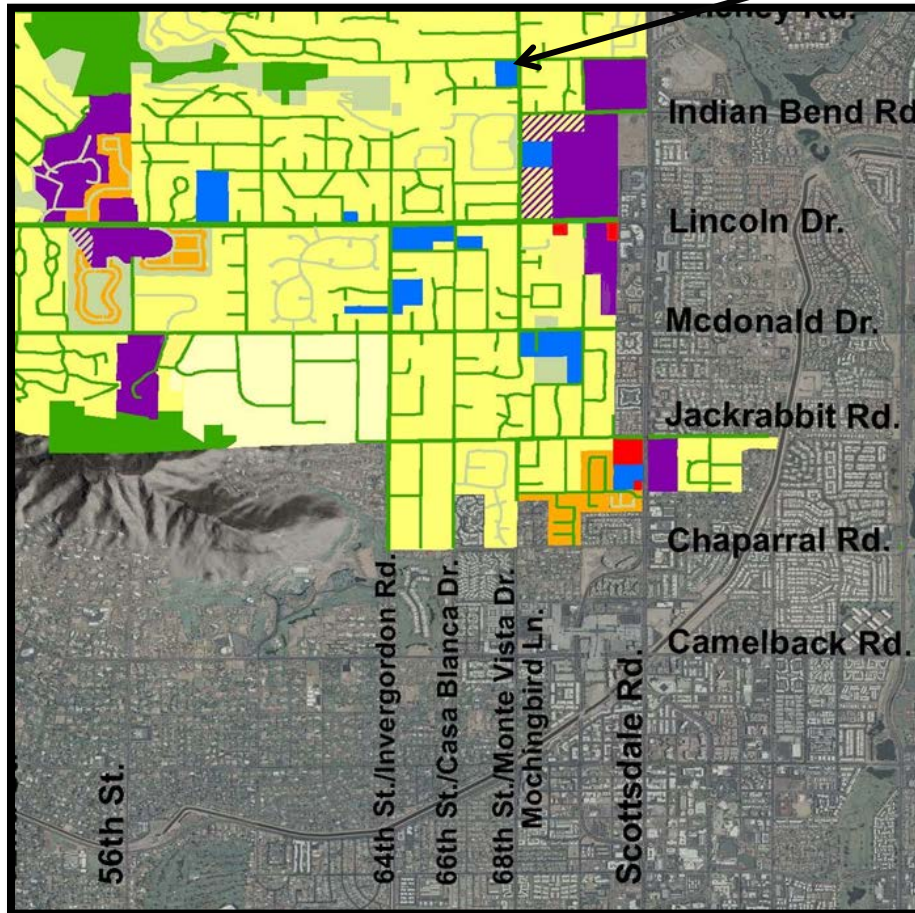
Ascension Lutheran Church SUP

7100 N Mockingbird Lane



# GENERAL PLAN

Subject Property



## Legend

- |  |   |
|--|---|
|  Low Density Residential OR Resort/Country Club |  Private Open Space  |
|  Private Open Space OR Resort/Country Club      |  Public Open Space   |
|  Very Low Density Residential                   |  Medical Office      |
|  Low Density Residential                        |  Public/Quasi Public |
|  Medium Density Residential                     |  Resort/Country Club |

Ascension Lutheran Church SUP

7100 N Mockingbird Lane





# ZONING

**Subject Property**



Zoning	
	R-43S
	R-10
	R-18
	R-18A
	R-18CP
	R-35
	R-35A
	R-35CP
	R-43
	R-43CP
	R-175
	SUP-O
	SUP-P
	SUP-R
	OSP

Ascension Lutheran Church SUP

7100 N Mockingbird Lane



RECEIVED  
DEC 08 2020

## NARRATIVE FOR PURPOSE OF REZONING AND SALE OF LAND PARCEL

Ascension Lutheran Church  
7100 N. Mockingbird lane  
Paradise valley, AZ 85253  
480-948-6050  
ascensionoffice@aol.com

Throughout the years, Ascension Lutheran Church has gone through the same financial challenges as most mainstream church congregations. Those challenges continue. One of the main reasons given for this societal change is quoted in the Pew Report: "The predominant reason offered for not attending worship services is that people practice their faith in other ways rather than attending church."

Of course, the Covid-19 Virus epidemic which swept over our country has wreaked financial havoc with even the most successful churches across the land. It has eliminated church attendance due to social distancing and therefore greatly lessened all financial giving.

Ascension Lutheran Church is requesting to change Minor General Plan Amendment to change the General Plan designation on an approximate 1.1-acre parcel of land on the Ascension Lutheran Church property located a 7100 N. Mockingbird Lane from "Public/Quasi Public" to "Low Density Residential."

Additionally, Ascension Lutheran Church is requesting rezoning of an approximately 1.1-acre parcel of land on the church property located at 7100 N. Mockingbird Lane from "Special Use Permit – Religious Facility" to "R-43, Single Family Residential District."

Additionally, Ascension Lutheran Church is requesting to amend the Minor Special Uses Permit reflecting the reduced area from the church 6.3 acres to 5.1 acres.

There are no proposed changes to any structures or uses on the remaining church parcel.

This request includes a replat to amend the Meadowlark Acres plat to create a new R-43 residential lot.

There are no other proposed changes.

This request meets the Minor SUP criteria that identifies each of the four criteria and specifically how the criteria are met.

1. There are no proposed changes to any structures or uses on the remaining church parcel.
2. This proposal does not increase the floor area of the project by more than 5000 square feet or constitute an increase of more than 15% upon the existing if still under construction, approved floor area square footage of the affected SUP property, whichever is less, with any such increase to be measured cumulatively over a sixty month period. The proposed reduced lot size from 6.329 net acres to 5.353 net acres is within the suggested Special Use Permit Guidelines. The footprint of the existing structures totals 11,691 square feet. (referenced a 2002 site plan) which currently has a lot coverage of 4.2% and will increase to a lot coverage of 5.0% (well below the suggested lot coverage guideline of 25.0%) The reduced lot size with the church at 5.353 acres still exceeds the suggested minimum lot area of 5.0 acres.
3. The church structure/uses are not changing and will not impact adjacent properties. The new residential lot will be closer to the existing church site.  
However, the lot owner purchasing the lot will be aware of the adjoining church use. The reduced lot for the church site meets Special Use Permit Guidelines in that the nearest church structure will be 100-foot setback from the new residential lot (60' suggested). However, the proposed residential lot will not meet some Special Use Permit Guidelines (60-foot setback for parking lots, 3-foot berm/landscape to shield parking lot lights, and 40-foot landscape buffer). A 3-foot screen will be mitigated when the new lot constructs their perimeter wall, landscaping the church plans to add adjoining along this new lot.
4. There are no architectural changes as there are no new structures or changes to the existing church buildings.

The Minor Special Uses Permit is met as there is no increase in the floor area of the project by more than 5000 square feet or constitute an increase of more than 15% upon the existing or, if still under construction, approved floor area square footage of the affected SUP property, whichever is less, with any such increase to be measured cumulatively over a sixty month period.

With the infusion of the sale proceeds, the result is that Ascension Lutheran Church would be better suited financially to continue its community outreach programs well into the future. Ascension wishes to continue to be the "good neighbor" it has been for the past 20 years.

EPA-20-01

MINOR GENERAL PLAN AMENDMENT APPLICATION

PARCEL NO.: 174-51-033  
(County Tax Assessor Number)

DATE: 5/25/20

NAME OF SUBDIVISION OR PARCEL: Lot 1-Meadowlark Acres

ADDRESS OR LOCATION OF PROPERTY: 7100 N. Mockingbird Ln.  
Paradise Valley, AZ 85253

OWNER: Ascension Lutheran Church, Inc., Paradise Valley, AZ  
NAME

7100 N. Mockingbird Ln.  
ADDRESS Paradise Valley, AZ 85253 (480) 948-6050  
PHONE #

EMAIL ascensionoffice@aol.com

X Thomas Mueller  
SIGNATURE OF OWNER

AUTHORIZED AGENT:  
NAME Thomas Mueller

7100 N. Mockingbird Ln., Paradise Valley, AZ 85253  
ADDRESS

(480) 948-6050  
PHONE # (480) 368-2682  
FAX #

EMAIL ascensionoffice@aol.com

X Thomas Mueller  
SIGNATURE OF AUTHORIZED AGENT

**MINOR GENERAL PLAN AMENDMENT APPLICATION**

**(REQUIRED)** PLEASE PROVIDE A NARRATIVE/DESCRIPTION OF THE PROPOSAL

(Please Attach Additional Sheets as Necessary):

*Narrative follows*

OWNER/AGENT SIGNATURE

Thomas Mueller

PRINTED NAME

Thomas Mueller

COMPANY

Ascension Lutheran Church, Paradise Valley, AZ

DATE

5/25/20

EMAIL

ascensionoffice@aol.com

If you have questions regarding the items on this checklist, contact your project planner.

Project Planner

Paul Michaud

Phone 480-368-3574

Email

pmichaud@paradisevalleyaz.gov



Ascension Lutheran Church • 7100 North Mockingbird Lane • Paradise Valley,  
AZ 85253 [www.ascensionparadisevalley.org](http://www.ascensionparadisevalley.org)

Church Office: (480) 948-6050 Fax: (480) 368-2682

Email: [ascensionoffice@aol.com](mailto:ascensionoffice@aol.com)

#### MINOR GENERAL PLAN AMENDMENT CITIZEN REVIEW PLAN MAY 25, 2020

In accordance with the Minor General Plan Amendment requirements, this Citizen Review Plan is submitted for a 6.6138-acre parcel currently owned by Ascension Lutheran Church Inc., Paradise Valley, AZ. This Plan provides for effective, early and continuous public participation and complies with the following requirements pursuant to Section 2-5-2.F of the Town Code.

The broad dissemination of proposals and alternatives,

- a. Sufficient time to learn the substance of the application
- b. Enough information to determine residents that might be impacted by the application
- c. An opportunity to communicate issues or concerns with respect to the application at an early stage in the process prior to public hearings

An aerial photograph has been submitted to the Town indicating the location of the 6.6138-acre parcel, surrounding areas, and adjacent streets. Also, a narrative has been submitted to facilitate the public's easy access to information concerning this Minor General Plan Amendment. A hard copy of the project submittal will be kept on file at the Town of Paradise Valley Planning Division and an electronic version of the submittal may be posted on the Town's website so that all Town residents will have immediate notice of the application. Information will also be provided for contacting the Applicant's representative for additional information.

<sup>10 days</sup> A neighborhood meeting will be held at least 28 days prior to the Planning Commission public hearing, All Paradise Valley homeowners within a 1,500-foot radius of the perimeter of the 6.6138-acre site will be invited to attend the neighborhood meeting. Written notice of the proposed Minor General Plan Amendment for the site will be mailed to all residents within the designated notice area at least two weeks prior to the neighborhood meeting. The notice will include (1) a cover letter describing the date, time, and location of the neighborhood meeting, (2) sufficient details about the application, (3) the General Plan Amendment narrative.

At the neighborhood meeting, materials will be provided explaining the application requests. Applicant representatives will provide information about the proposed

residential development. Meeting attendees will be asked to fill out a sign-in sheet and comment cards. There may be follow-up neighborhood meetings and contacts, if necessary.

All required public hearing notices will be provided in coordination with Town staff. This includes early onsite signage posting notification as may be required by the Town. The applicant will submit to the Town's Planning Division a Citizen Review Report following the neighborhood meeting. This Citizen Review Report will incorporate public comments received during the meeting and will provide an explanation as to how public concerns will be addressed. A copy of the neighborhood meeting sign-in sheet and comment cards will be attached to the Citizen Review Report and will be submitted to the Town Planning Division. The Citizen Review Report may be updated as necessary prior to the initial Planning Commission public hearing.

MI-20-03

**APPENDIX "F"**  
**TOWN OF PARADISE VALLEY**  
**APPLICATION TO REZONE FROM RAP TO LDR**

PARCEL NO.: 174.51.033  
(County Tax Assessor Number)

DATE: 5/25/20

NAME OF PROJECT: Re-plat Lot 1 of Meadowlark Acres

LOCATION OF PROPERTY: 7100 N Mockingbird Lane  
Paradise Valley, AZ 85253

LOT: 1 SUBDIVISION: Meadowlark Acres

APPLICANT: Ascension Lutheran Church, Inc., Paradise Valley, AZ  
7100 N. Mockingbird Ln., Paradise Valley, AZ 85253 480-948-6050  
ADDRESS NAME PHONE #

ENGINEER/OTHER: \_\_\_\_\_  
NAME

ADDRESS PHONE #

ARCHITECT: \_\_\_\_\_  
NAME

ADDRESS PHONE #

OWNER: Thomas Mueller Thomas Mueller  
PRINTED NAME SIGNATURE  
7100 N Mockingbird Ln., Paradise Valley, AZ 85253 480-948-6050  
ADDRESS PHONE #

Thomas Mueller  
SIGNATURE OF REPRESENTATIVE

APPLICATION TO REZONE FROM RQP TO LDR

BRIEF DESCRIPTION OF PROPOSED DEVELOPMENT: Creation of  
residential single-family lot on the  
church property

REASONS FOR REQUESTING REZONING FROM R-43 TO \_\_\_\_\_ (ATTACH ALL  
DOCUMENTS): See Narrative

NAME(S), ADDRESS(ES), AND TELEPHONE NUMBER(S) OF OWNER(S) OF AFFECTED  
PROPERTY:

<u>NAME</u>	<u>ADDRESS</u>	<u>PHONE</u>
Thomas Mueller	7100 N. Mockingbird Lane Paradise Valley, AZ 85253	480-948-6058



## COMMUNITY DEVELOPMENT DEPARTMENT SPECIAL USE PERMIT APPLICATION GUIDE

Town of Paradise Valley • 6401 East Lincoln Drive • Paradise Valley, Arizona 85253 • Phone: (480) 348-3693

### APPLICANT & CONTACT INFORMATION

Please check the appropriate box for the Type(s) of Application(s) you are requesting

#### Special Use Permit

☐ Managerial Amendment

☐ Intermediate Amendment

☒ Minor Amendment

☐ Major Amendment/New SUP

Project Name: Change the existing "Public/Quasi-Public" designation of the General Plan for the proposed residential lot to "Low Density Residential"

Date: 5/25/20 Existing Zoning: PQP/SUP Proposed Zoning: IA-PQP Net Acres: IA- 5.1946 AC  
IB-LDR(443) IB- 1.1192 AC

Property Address: 7100 N. Mockingbird Lane, Paradise Valley, AZ 85253

Assessor's Parcel Number: 174-51-033

Owner: Ascension Lutheran Church

Address: 7100 N. Mockingbird Lane

Phone number: 480-948-6050

E-mail address: ascensionoffice@aol.com

Signature: Thomas Mueller

(Or provide a separate letter of authorization)

Applicant/Representative: Thomas Mueller

Company Name (if Applicable): Ascension Lutheran Church, Inc Paradise

Address: 7100 N. Mockingbird Lane, Paradise Valley, Valley, AZ

Phone number: 480-948-6050

E-mail address: ascensionoffice@aol.com

Signature: Thomas Mueller

THE ABOVE APPLICANT HEREBY APPLIES FOR AN APPLICATION AS INDICATED IN THE SUBMITTED NARRATIVE, PLANS, AND DOCUMENTS IN ACCORDANCE WITH THE TOWN CODE AND TOWN POLICIES.

#### FOR DEPARTMENTAL USE ONLY

App.#: \_\_\_\_\_ Submittal Date: \_\_\_\_\_ Expiration Date: \_\_\_\_\_

Unofficial  
Document

20

20020391063

C1

P2

4/17/02

FIRST AMERICAN TITLE

When recorded, return to:  
Gallagher & Kennedy, P.A.  
2575 E. Camelback Road, 11th Floor  
Phoenix, Arizona 85016-9225  
Attn: John E. Lundin

336-1901267

1/2

SPECIAL WARRANTY DEED

For the consideration of Ten Dollars (\$10.00) and other valuable considerations, ASCENSION LUTHERAN CHURCH, INC., an Arizona corporation ("Grantor"), hereby conveys to ASCENSION LUTHERAN CHURCH, INC., PARADISE VALLEY, ARIZONA, an Arizona non-profit corporation ("Grantee"), the following real property situated in Maricopa County, Arizona, together with all rights and privileges appurtenant thereto:

Lot 1, of MEADOWLARK ACRES, according to the plat of record in the office of the County Recorder of Maricopa County, Arizona, recorded in Book 194 of Maps, Page 11

SUBJECT to all taxes and other assessments, reservations in patents and all easements, rights-of-way, encumbrances, liens, covenants, conditions, reservations, restrictions, obligations, exceptions and liabilities as may appear of record.

Grantor hereby binds itself and its successors to warrant and defend the title, as against all acts of Grantor herein and none other, subject to the matters above set forth.

DATED this 9<sup>th</sup> day of April, 2002.

This Transfer is Exempt  
from the Affidavit  
and Transfer Tax  
under ARS 11-1134

B7

ASCENSION LUTHERAN CHURCH,  
INC., an Arizona corporation

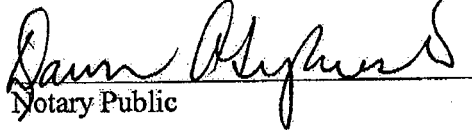
By

  
John E. Lundin

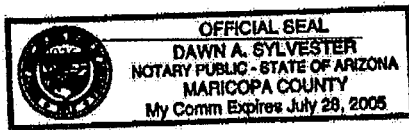
Authorized Member  
"Grantor"

STATE OF ARIZONA       )  
                                  ) ss.  
County of Maricopa       )

Acknowledged before me this 9th day of April, 2002, by ASCENSION LUTHERAN CHURCH, INC., an Arizona corporation, by John E. Lundin, its Authorized Member.

  
Notary Public

My commission expires:



Unofficial Document

RP-20-01

**TOWN OF PARADISE VALLEY**  
**APPLICATION FOR LOT LINE ADJUSTMENTS, REPLAT, LOT COMBINATIONS, AND**  
**EXEMPT LOT SPLITS**

PARCEL NO.: 174-51-033 DATE: 5/25/20  
(County Tax Assessor Number)

NAME OF SUBDIVISION: Meadowlark Acres

If property or properties are not in a subdivision checkbox: ☐

If property or properties are both in and out of a subdivision checkbox: ☐

ADDRESS OR LOCATION OF PROPERTY: 7100 N. Mockingbird Ln.  
Paradise Valley, AZ 85253

OWNER: Thomas Mueller  
NAME

7100 N. Mockingbird Ln, Paradise Valley, AZ 85253 480-948-6050  
ADDRESS PHONE #

Thomas Mueller  
SIGNATURE OF OWNER

*All owners of the property or properties must sign the application or submit an original signed letter acknowledging the processing of this application.*

REPRESENTATIVE: Thomas Mueller Ascension Lutheran Church  
NAME COMPANY

7100 N Mockingbird Lane, Paradise Valley, AZ 85253  
ADDRESS

480-948-6050 480-368-2682  
PHONE # FAX #

Thomas Mueller  
SIGNATURE OF REPRESENTATIVE

If representative is same as owner listed on this application check box ☒

*The listed representative will be the primary contact on this application. The Town will send all correspondence on this application to the listed representative, unless otherwise notated.*



**(REQUIRED)** PLEASE PROVIDE OR ATTACH A NARRATIVE DESCRIPTION OF THE PROPOSAL:

## NO

1                                   **ASCENSION LUTHERAN CHURCH**  
2                                   **7100 N MOCKINGBIRD LANE**  
3                                   **SPECIAL USE PERMIT HISTORY**

4  
5                                   **[Prepared 02-01-2021]**

6  
7                                   May 21, 2019                                   Minor SUP Amendment (SUP-19-03)

8  
9                                   *Approval of a new monument sign along Mockingbird Lane to replace the existing*  
10                                   *monument sign, subject to the following stipulations:*

- 11  
12  
13                                   1. All improvements to the property shall be in substantial compliance with the  
14                                   Narrative, Plans, and Documents:  
15                                   a) The Project Narrative;  
16                                   b) Sheet 1 of 4, prepared by Arizona Commercial Signs and dated May 3,  
17                                   2019;  
18                                   c) Sheet 2 of 4, prepared by Arizona Commercial Signs and dated May 3,  
19                                   2019;  
20                                   d) Sheet 3 of 4, prepared by Arizona Commercial Signs and dated May 3,  
21                                   2019; and  
22                                   e) Sheet 4 of 4, prepared by Arizona Commercial Signs and dated May 3,  
23                                   2019.  
24  
25                                   2. The Ascension Luther Church and the Town shall sign and record a Waiver of  
26                                   Rights and Remedies agreement under A.R.S. § 12-1134 (Proposition 207  
27                                   Waiver) in the form provided by the Town Attorney within 10 calendar days of  
28                                   the approval of this amendment to the Special Use Permit.  
29  
30                                   3. Sign illumination shall be turned off at 10:00p.m., except for special events.  
31  
32                                   4. All existing Special Use Permit stipulations shall remain in full force and effect,  
33                                   unless changed or modified by the Minor Amendment SUP 19-03.  
34  
35                                   5. Non-illuminated address numbers shall be placed on the east side of the sign,  
36                                   facing Mockingbird Lane.  
37

38                                   August 15, 2017                                   Building Permit (BD18-41222)

39  
40                                   *Approval to add restroom facilities and interior entry vestibule underneath a portion*  
41                                   *of an existing covered patio located at the southwest part of the church that was*  
42                                   *deemed in substantial compliance with the existing Special Use Permit. No new*  
43                                   *stipulations.*  
44  
45

46 January 21, 2003

Minor SUP Amendment (SUP-02-01)

47  
48 *Approval of a Minor SUP amendment authorizing the use of a high-pressure sodium*  
49 *light source, rather than a low-pressure sodium light source, for the bollard parking*  
50 *lot lights approved by the Planning Commission on November 19, 2002, subject to*  
51 *the following stipulations:*

- 52  
53 1. Amending Stipulation 7 from SUP 02-01 that All parking lot lighting shall be  
54 installed in compliance with the Lighting Plan, ES-1, presented to the Planning  
55 Commission on December 17, 2002 [*No updated plans on record*]; and  
56  
57 2. The three different zoning of the lights to be operational by January 31, 2003.  
58

59 November 19, 2002

Minor SUP Amendment (SUP-02-01)

60  
61 *Approval of a minor SUP amendment for the installation of 93 additional parking*  
62 *spaces, 37 new bollard lights, additional parking lot landscaping, and an access gate*  
63 *along Hummingbird Lane, subject to the following stipulations:*

- 64  
65 1. The Special Use Permit for the proposed amendment shall be in substantial  
66 conformance with:  
67     • The Site Plan dated April 18, 2002, prepared by Evans, Kuhn, and  
68     Assoc., Inc.  
69     • The Landscape Plan dated May 28, 2002, prepared by Laskin and  
70     Assoc., Inc-sheets LA-1 to LA-6.  
71     • The Electrical Plan dated July 26, 2002, prepared by Peterson  
72     Associates, --sheets ES-1 to ES-3.  
73     • The Grading and Drainage Plans dated July 23, 2002 prepared by  
74     Evans, Kuhn, and Assoc., Inc. – sheets C1.01 to C1.05.  
75  
76 2. The bollard lights shall not be lit before dusk or after 10 p.m. daily.  
77  
78 3. The improvements to Meadowlark Lane shall be completed within close  
79 proximity of the parking lot improvements in coordination with the Town  
80 Engineer.  
81  
82 4. Decomposed granite shall be installed on the unimproved areas of the site that  
83 will be used for overflow parking. The granite shall be desert colored at a size  
84 acceptable to the Town Engineer.  
85 5. The parking lot gate shall remain open during all church activities that require  
86 parking in the north lot.  
87  
88 6. The location of the bollards in the south parking lot are lowered and moved to  
89 the end of the parking island similar to those in the north parking lot.  
90  
91 7. All new parking lot bollard light fixtures shall be low-pressure sodium light  
92 sources.

- 93
- 94 8. All light fixtures will be on automated timers.
- 95
- 96 9. All overflow parking must be accessible via drive curb cuts as shown in sheet
- 97 C-1.
- 98
- 99 10. The north gate will be located 30-feet back of the existing curb as shown on
- 100 sheet C-1.
- 101
- 102 11. Extend the landscaping design from the west end of the property to the south
- 103 end side of the property boundary on the north side of Meadowlark Lane in
- 104 keeping with the approved landscape plan.
- 105
- 106 12. To allow the Applicant to delay the interior landscaping portion of the plan
- 107 but complete the perimeter landscaping concurrent with the hard scape
- 108 improvements
- 109
- 110

111 December 7, 1999 Minor SUP Amendment (SUP-99-07)

112

113 *Approval to modify previously approved columbarium design, subject to the following*

114 *stipulations:*

115

- 116 1. The applicant shall submit a mylar of the revised master plan and memorial
- 117 garden site plan reflecting the columbarium design changes prior to the
- 118 issuance of a building permit.
- 119
- 120 2. All landscaping for the memorial garden shall conform to the landscape plan
- 121 approved as part of the January 9, 1997 amendment to the special use permit.
- 122

123 May 12, 1998 Minor SUP Amendment (SUP-98-01)

124

125 *Approval by the Special Use Permit Review Committee (SUPREC) to add an*

126 *accessible ramp on east side of church, along with low level lighting and landscape*

127 *modifications adjacent to the ramp area, subject to the following stipulations:*

128

- 129 1. That no building permit be issued until Town staff is satisfied with the
- 130 maintenance of existing landscaping on the Church property.
- 131
- 132 2. That new proposed landscaping be installed at the applicant's convenience,
- 133 but within 12 months after commencement of the ramp construction.
- 134
- 135
- 136

137 January 9, 1997

Major SUP Amendment (SUP-96-01)

138  
139 *Approval to authorize a preschool and allow for the construction of a memorial*  
140 *garden, subject to the following stipulations:*

- 141  
142 1. That the memorial garden plan be approved including the proposed six  
143 columbaria each to be constructed within a three-month time frame from start  
144 to finish after issuance of a building permit, but that the proposed parking lot  
145 lighting and restroom addition be shown on the Master Plan for information  
146 purposes only, and that no construction related to either of these features may  
147 take place until the Church applies for and receives approval of a major  
148 amendment to their Special Use Permit.  
149
- 150 2. That a preschool be authorized with a limit of no more than 46 children on the  
151 property on any one day with hours of operation restricted to 9:00 a.m. to 4  
152 p.m.  
153
- 154 3. That the Church submit the revised Master Plan and Landscape Plan as  
155 approved by the Council clearly showing all structures shown for construction  
156 at this time and those shown for information purposes only on 24 x 36 inch  
157 mylar to the Planning Department no later than 30 days after Town Council  
158 approval. [*No plans on record*]  
159
- 160 4. The connection to the sewer shall be made within 1 year of the completion of  
161 the first columbarium but in any event, within 18 months of approval of this  
162 amendment to the special use permit.  
163

164 April 10, 1995

Minor SUP Amendment (SUP-95-01)

165  
166 *Approval by the Special Use Permit Review Committee (SUPREC) to construct an 8'*  
167 *tall wall on the south side of the church building to screen a cooling tower, subject to*  
168 *the following stipulations:*

- 169  
170 1. As shown on the submitted plan marked Exhibit A, Sheets 1 and 2.  
171  
172

173 October 17, 1994 Minor SUP Amendment (SUP-94-01)  
174 *[SUP-19-03 approved by the Planning Commission on May 21, 2019 voids this approval*  
175 *as this sign will be replaced with the new monument sign]*  
176

177 *Approval by the Special Use Permit Review Committee (SUPREC) for a new*  
178 *monument sign along Mockingbird Lane to replace the existing monument sign,*  
179 *subject to the following stipulations:*  
180

- 181 1. Sign illumination shall be turned off at 10:00 p.m. except for special events.
- 182
- 183 2. New sign shall be no closer to the street than the existing sign.
- 184
- 185 3. Any additional plan material added shall conform to the right-of-way
- 186 guidelines plant palette.
- 187
- 188 4. The sign letters shall be a blue which matches the existing blue trim on the
- 189 building.
- 190

191 September 22, 1989 Minor SUP Amendment (SUP-89-01)  
192

193 *Approval by the Special Use Permit Review Committee (SUPREC) to construct a 6'*  
194 *tall wall to house a courtyard at the rear entrance to the church, subject to the*  
195 *following stipulations:*  
196

- 197 1. The addition of a six foot wall within the church property only.
- 198

199 April 19, 1985 Minor SUP Amendment (SUP-85-01)  
200

201 *Approval of the construction of a 6' tall wall to house a children's playground, a*  
202 *waste pen and electrical equipment, subject to the following stipulations:*  
203

- 204 1. No outdoor lighting or address system will be allowed.
- 205
- 206 2. Approval is subject to the submittal of plans to the Planning Department
- 207
- 208 3. All parking Shall have a 60' setback from any residential property line.
- 209

210 September 8, 1977 Major SUP Amendment (SUP-77-01)  
211

212 *Approval to convert the church use into a Special Use Permit, subject to the*  
213 *following stipulations recorded at the Maricopa County Recorder in Docket 12447*  
214 *Pages 1435- 1436. There are no specific stipulations provided. However, the Special*  
215 *use Permit allows the property to be "used for religious purposes and such other*  
216 *uses as are reasonably related to the functions of the Church" as provided in the site*  
217 *plan dated September 1977.*

pharmacy, she urged the Commission not to allow controlled substances there. She expressed that they do not need another urgent care and expressed her concerns with having one there. She expressed further input on uses on the property.

Paul Couture commented that he is disappointed with the applicant because they are unwilling to compromise. He read emails he received from neighbors. He pointed specifics in which the applicants have not compromised with neighbor's desires. He noted that business hours of 8:00 a.m. to 5:00 p.m. would be better than 7:00 a.m. to 7:00 p.m. He indicated they need a compromise on both sides and all he is seeing the applicant do is adding more landscaping.

John Nelson stated that he does not feel this site should be enlarged in any way and would be a mistake.

Chairman Wainwright closed the public comments and thanked those that made comments. He also noted that comments could be emailed in.

**No Reportable Action**

## **5. PUBLIC HEARINGS**

### **A. 19-223**

Consideration of a proposed monument sign at the Ascension Lutheran Church - Minor Special Use Permit Amendment (SUP 19-03)  
7100 N. Mockingbird Lane (APN: 174-51-033)

George Burton, Planner, introduced the item and shared the background and scope of the request. He noted that the Commission needs to decide if this is considered a minor special use permit (SUP) and if so to approve or deny the request. He then reviewed the stipulations.

Commissioner Campbell indicated that he felt since they have been able to consolidate their signage they should have more leeway for a bigger sign. Mr. Burton clarified what parts of the sign were illuminated. Commissioner Georgelos asked if they could take the brightness down a little. Pat Hurley, applicant, indicated they will have a vinyl shielding on it which will make it subtler.

Mr. Hurley shared more details on the sign. He stated he feels the sign complies in principle and that they have made it as small as possible. Commissioner Wastchak indicated he is supportive of the changes that have been made to the sign.

Commissioner Georgelos asked if the church has reached out to the neighbors about the sign changes. Mr. Hurley indicated they have complied

with the noticing requirements.

Commissioner Lewis stated that he is very good friends with Mr. Hurley, but he does not feel that he has a conflict of interest.

Chairman Wainwright opened the meeting for public comment.

Mr. Hurley stated that people at the church are very excited about the sign change.

Jay Harris, representative of St Barnabus church, asked if the capital improvement project for the widening of Mockingbird Lane will impact the proposed setback for the sign. It was indicated that it should not affect it.

Chairman Wainwright closed the meeting for public comment.

**A motion was made by Commissioner Wastchak, seconded by Commissioner Lewis, to deem the requested amendment as a minor amendment to the Special Use Permit zoning per the criteria listed in Section 1102.7.B of the Zoning Ordinance. The motion carried by the following vote:**

**Aye:** 7 - Commissioner Wainwright, Commissioner Anton, Commissioner Campbell, Commissioner Covington, Commissioner Georgelos, Commissioner Lewis and Commissioner Wastchak

**A motion was made by Commissioner Campbell, seconded by Commissioner Anton, to replace an existing monument sign with a new monument sign located at the Ascension Lutheran Church at 7100 N. Mockingbird Lane, subject to the following stipulations:**

- 1. All improvements to the property shall be in substantial compliance with the Narrative, Plans, and Documents:**
  - a. The Project Narrative;**
  - b. Sheet 1 of 4, prepared by Arizona Commercial Signs and dated May 3, 2019;**
  - c. Sheet 2 of 4, prepared by Arizona Commercial Signs and dated May 3, 2019;**
  - d. Sheet 3 of 4, prepared by Arizona Commercial Signs and dated May 3, 2019;**
  - and**
  - e. Sheet 4 of 4, prepared by Arizona Commercial Signs and dated May 3, 2019.**
- 2. The Ascension Lutheran Church and the Town shall sign and record a Waiver of Rights and Remedies agreement under A.R.S. § 12-1134 (Proposition 207 Waiver) in the form provided by the Town Attorney within 10 calendar days of the approval of this amendment to the Special Use Permit.**
- 3. Sign illumination shall be turned off at 10:00p.m., except for special events.**
- 4. All existing Special Use Permit stipulations shall remain in full force and effect, unless changed or modified by the Intermediate Amendment SUP 19-03.**
- 5. Non-illuminated address numbers shall be placed on the east side of the sign, facing Mockingbird Lane.**

**The motion carried by the following vote:**



**Aye:** 7 - Commissioner Wainwright, Commissioner Anton, Commissioner Campbell, Commissioner Covington, Commissioner Georgelos, Commissioner Lewis and Commissioner Wastchak

## **6. STUDY SESSION ITEMS (Continued)**

### **A. 19-226**

Citizen Review Session Regarding Approval of Town Manager Recommendations on Changes to Article XI, Section 1102.2.B of the Zoning Ordinance

Deborah Robberson, Deputy Town Attorney, introduced the code change to have a distance requirement between a medical marijuana dispensary and residential property. She gave background behind the code change. She noted some of the standards in surrounding cities. She then reviewed the next steps and clarified a public hearing would be held for this on June 4, 2019.

Commissioner Campbell commented that it may not be reasonable to enact a zoning ordinance that excludes medical marijuana dispensary entirely. Indicated he would like to have an executive session that addresses this matter. Ms. Robberson suggested that they wait for the next meeting when Town Attorney, Andrew Miller, is present.

Chairman Wainwright opened the meeting up for public comment. None were offered.

**No Reportable Action**

### **B. 19-222**

Discussion of Camelback Lands 6 Lot Split (LS-19-05)  
5307 North Invergordon Road (APN: 173-20-026)

Mr. Burton introduced the item and shared the background of the request.

Paul Mood, Town Engineer, explained further details about site drainage and noted some potential existing drainage problems.

Mr. Burton noted they will have a public hearing for this on June 4, 2019 and that the applicant did notify all neighbors in a 500-foot radius. He added that if it gets a unanimous approval from the Commission on June 4, 2019 it will not need to move to Council.

Discussion was made on covenants, conditions, and restrictions (CC&R). Chairman Wainwright stated the applicant should be aware of CC&R's and litigations that have happened concerning them.

Rob Cullum commented on previous litigations and the drainage of the property. He stated they are fine complying with the storm water drainage,

Ascension Lutheran Church has been experiencing congregational growth over the past two years. The congregation has united behind a recently completed strategic plan. The upgrade and restoration of the building, a Frank Lloyd Wright inspired design by architect William Wesley Peters who was the first apprentice in Frank Lloyd Wright's Fellowship in 1932, is one of Ascension's top priorities. The current church sign is dated, in need of repair, and inadequate for the church's current needs. Due to its design there is limited space for communicating. It is on the ground and hard to see. The current sign does not reflect the iconic design of Ascension's, from its towering spire to its unique pentagon shaped building.

The new sign is far more in keeping the Frank Lloyd Wright design. It will enhance the church architecture. It will provide Ascension with a more updated communication tool. The colors in the building are picked up in the sign. Although both signs are double sided, the new sign is raised higher off the ground for better visibility. The subtle back lighting from within will make it easier to read at night and still maintain the quiet tranquility of Ascension's property and surrounding neighborhood.

There is a wide variety of church signs on Lincoln Drive, Paradise Valley Methodist Church, Paradise Valley Bible Church, and The Franciscan Renewal Retreat Center. Each sign reflects the spirit of their church community. All are attractive in their own way. We at Ascension would like to add another enhancement to Paradise Valley and our church community.



[ EXISTING TO BE REMOVED ] ELEVATION - SCALE: 1/4" = 1'-0"

**A** D/F INTERNALLY-ILLUMINATED MONUMENT STRUCTURE W/ZIP TRACK SYSTEM

SCALE: 1/2" = 1'-0" 71.33 SQ.FT. TOTAL PER SIGN FACE/SIDE

MANUFACTURE AND INSTALL (1) ONE DOUBLE-FACED UL LISTED WHITE L.E.D. INTERNALLY-ILLUMINATED ALUMINUM CONSTRUCTED MONUMENT STRUCTURE AS FOLLOWS:

**"TOP"**, AS SPEC'D MANUFACTURE AND INSTALL (1) ONE DOUBLE-FACED NON-ILLUMINATED ALUMINUM CABINET PAINTED MATTE FINISH TO MATCH BUILDING COLORATION WITH ZIP TRACK LETTER TRACK SYSTEM (4") CONDENSED COPY WITH A TOTAL OF (124) ONE HUNDRED AND TWENTY-FOUR CHARACTERS AVAILABLE ON (3) THREE COPY LINES, INCLUDING LETTER KIT SYSTEM AS SHOWN.

**"CABINET"**, AS SPEC'D MANUFACTURE AND INSTALL (1) ONE DOUBLE-FACED UL LISTED WHITE L.E.D. INTERNALLY-ILLUMINATED ALUMINUM CABINET PAINTED MATTE FINISH TO MATCH BUILDING COLORATION REVERSE-ROUTE COPY WITH (1") CLEAR ACRYLIC PUSH-THRU'S WITH (1ST) SURFACE TRANSLUCENT VINYL OVERLAY & (2ND) SURFACE DIFFUSER VINYL UNDERLAY AS SHOWN.

**"BASE"**, AS SPEC'D MANUFACTURE AND INSTALL (1) ONE DOUBLE-FACED NON-ILLUMINATED ALUMINUM CABINET PAINTED MATTE FINISH TO MATCH BUILDING COLORATION WITH (1") CLEAR ACRYLIC FLAT CUT OUT DIMENSIONAL ADDRESS NUMERALS & PHONE NUMBER STUD MOUNTED FLUSH TO BASE MOUNTED FLUSH TO GRADE AS SHOWN.

- \*\*\* REMOVAL AND DISPOSAL OF EXISTING MONUMENTAL SIGNAGE.
- \*\*\* REQUIRES CITY DESIGN REVIEW & PERMITTING.
- \*\*\* REQUIRES ONSITE FIELD SAKRETE CONCRETE FOOTING POUR FOR INSTALLATION MOUNTING FLUSH TO GRADE.
- \*\*\* REQUIRES CLEAN VECTOR FORMAT ARTWORK TO BE PROVIDED FOR PRODUCTION PURPOSES.



6'-8.25" [80.25"][T] x 10'-8" [128"][W] ÷ 144 = 71.33 SQ.FT.

**COLOR SCHEDULE** **A**

ACRYLIC	VINYL	VINYL	VINYL	TOP/BASE	REVEAL	CABINET	CABINET	FCO'S
1	2	3	4	5	6	7	7	8
Acrylite® Acrylics Color: "Clear" Thickness: (1") GLOSS FINISH	3M™ Scotchcal Translucent Graphic Film Series 3630-20 "White W/Full Color" MATTE FINISH	3M™ Scotchcal™ Translucent Graphic Film Series 3630-10 "WHITE" MATTE FINISH	3M™ Diffuser Film Series 3635-70 Color: "White" [2nd Set] (70% light transmission) MATTE FINISH	10% GRAY [TBD] TO MATCH BUILDING COLOR MATTE FINISH	Matthews® Paint TO MATCH BRAND COLORATION "Teal" MATTE FINISH	3M 3630-326 "TURQUOISE" MATTE FINISH	Dunn Edwards® Paint DE 5187 "Weathered Saddled" MATTE FINISH	Matthews® Paint Black LRV 4.2 SOA929SP MATTE FINISH

**INSTALLATION/BUILD DETAILS**

NOT TO SCALE

ATTACHMENT: Drilled hole with 3/16" threaded Aluminum studs And adhesive (3-4 per letter type)

1" Acrylic Letters Painted To Spec's

Monument Structure

1" PAINTED ACRYLIC LETTERS STUD/ADHESIVE MOUNTED

NOT TO SCALE

(L800) Grade Aluminum Reverse-Route Face(s)

(1") Clear Acrylic With (1st) Surface Translucent Vinyl Graphics & (2nd) Surface Diffuser Vinyl Push-Thru Face(s)

Reverse Stud Mounting Monument Structure

INTERNALLY-ILLUMINATED REVERSE-ROUTE FACES W/ACRYLIC PUSH-THRU'S

**LETTERS ELECTRICAL SPECIFICATIONS**

ALL LETTERS TO BE UL LISTED

115-120 AMP CIRCUITS REQUIRED

ACTUAL AMP LOAD

120 VOLTS 277 VOLTS

CHOOSE

IF THE SIGN IS TO BE USED IN A LOCATION WHERE IT WILL BE EXPOSED TO WEATHER, IT MUST BE PROTECTED BY A GROUNDING SYSTEM. SEE THE NATIONAL ELECTRICAL CODE AND LOCAL ELECTRICAL CODES FOR THE LATEST REQUIREMENTS.

UL LISTED

UL LISTED

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Nationwide Sign Systems

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4018 E. WINSLOW • PHOENIX AZ 85040  
OFFICE: (480) 921-9900 • FAX: (602) 437-8073

PROJECT NAME:

■ ASCENSION LUTHERAN CHURCH  
7100 NORTH MOCKINGBIRD LANE  
PARADISE VALLEY, ARIZONA 85253

CONTACT: THOMAS MUELLER  
PHONE: 480-948-6050  
EMAIL: ASCENSIONOFFICE@AOL.COM

CONTACT REP:

■ GARY DANKS - 480-577-3363

DESIGNER:

■ CHRIS HEARN

DESIGN NUMBER:

■ ASCENSION LUTHERAN 03-15-18 - R13 PERMIT

SCALE:

■ AS NOTATED

DATE:

■ 03/15/2018 10:27 AM MST, per. 05/03/2019 11:00 AM MST

REVISIONS:

1	(A) 3-LINE ZIP, BOLD "ASCENSION", P# ON BASE, MATTE	04/10/18	CH
2	COLOR SCHEMATIC UPDATE, De5187 WEATHERED SADDLE	09/25/18	CH
3	(A4) CLIENT CHOICE, OPTION "LUTHERAN CHURCH" TEAL	09/27/18	CH
4	CLIENT/PASTOR REVISIONS, PROVIDED NEW LOGO	11/01/18	CH
5	BACK TO TEAL REVEALS	11/02/18	CH

LANDLORD / DEVELOPER APPROVAL SIGNATURE & DATE:

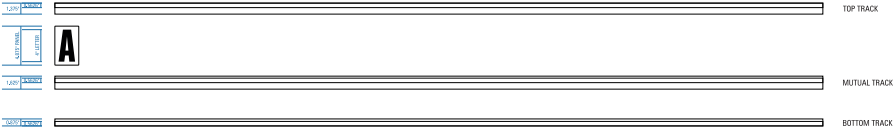
CUSTOMER APPROVAL SIGNATURE & DATE:

SHEET:

**1** OF **4**

**PERMIT**

GEMINI / WAGNER ZIP TRACK SYSTEM

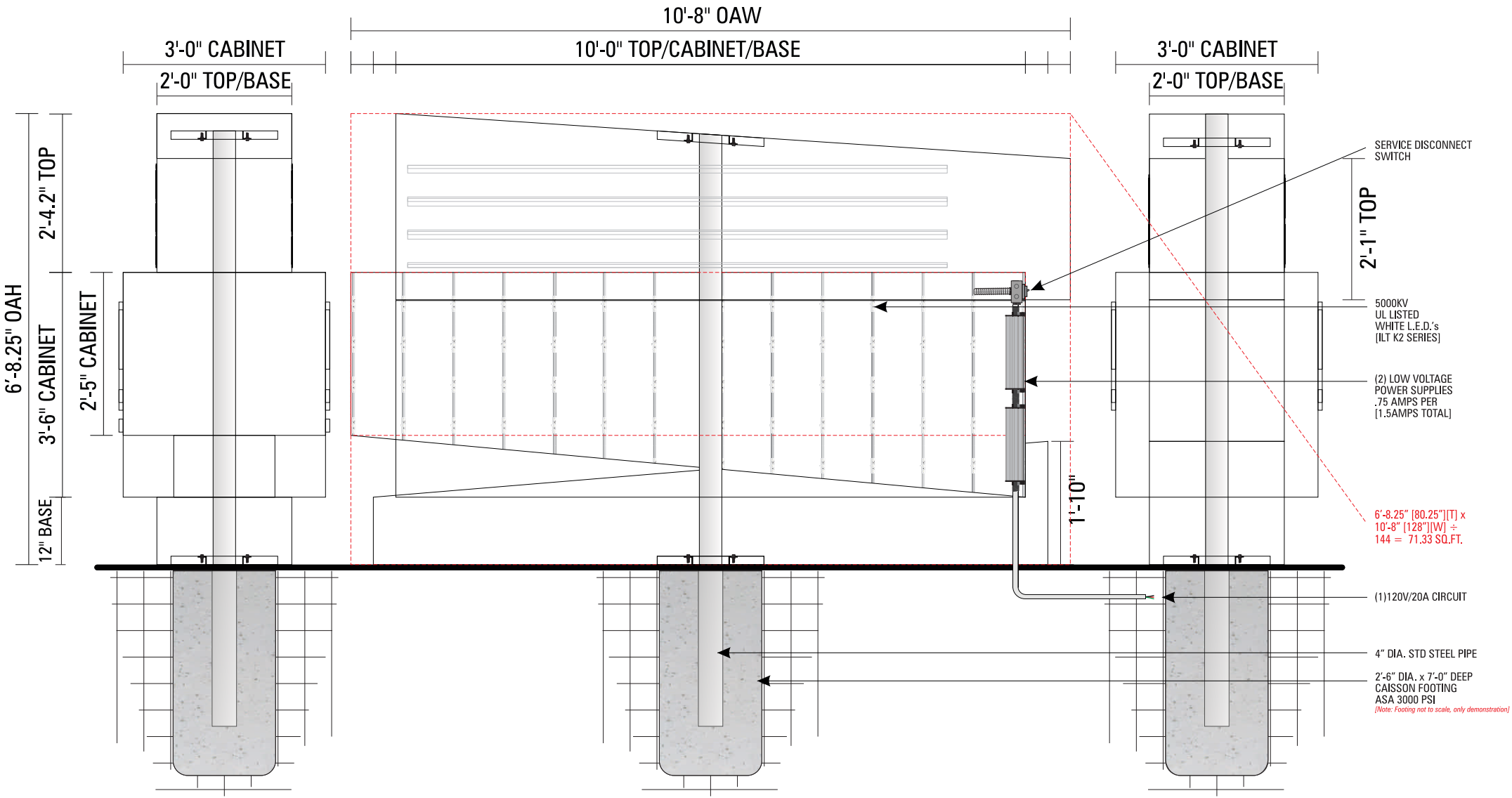
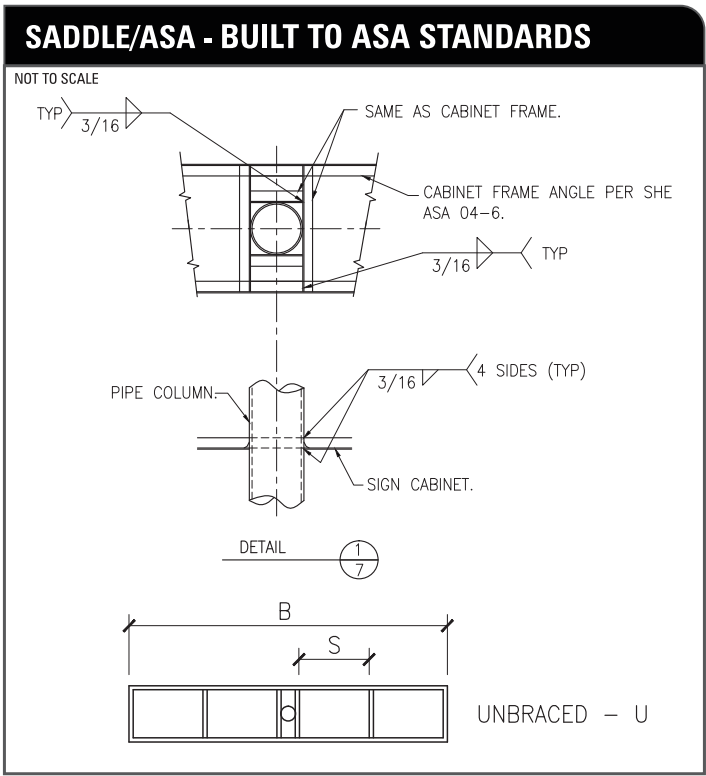


CONDENSED COPY

ABCDEFGHIJKLMNOPQRSTUVWXYZ  
VWXYZ&\$%1234567890\*  
%?!/'":.,' - # + ( ) = 1/2 1/4 3/4 1/3

A D/F INTERNALLY-ILLUMINATED MONUMENT STRUCTURE W/ZIP TRACK SYSTEM

SCALE: 1/2" = 1'-0" 71.33 SQ.FT. TOTAL PER SIGN FACE/SIDE



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LANDLORD / DEVELOPER APPROVAL  
SIGNATURE & DATE:

CUSTOMER APPROVAL  
SIGNATURE & DATE:

SHEET:  
2 OF 4  
PERMIT

# VINYL LOGISTICS

A

D/F INTERNALLY-ILLUMINATED MONUMENT STRUCTURE  
W/ZIP TRACK SYSTEM

SCALE: 1/2" = 1'-0"

71.33 SQ.FT. TOTAL PER SIGN FACE/SIDE

3M™ Scotchcal™ Translucent Graphic Film Series 3630

3M™ Envision™ Translucent Film Series 3730

Product Bulletin 3630/3730

Release L, April 2017

### Product Description

- 2-mil, vinyl translucent films, available in crisp, clear colors (many with simulated PANTONE® color references)
- For Screen Printing, Cut Graphics, and Thermoforming
  - Use film series 3630 for fluorescent lighting applications
  - Use film series 3730 for LED applications

Quick Links

[3M Graphics Warranties](#)

[Technical Information Selector](#)

[Safety Data Sheets \(SDS\)](#)

[Flammability](#)

[Videos](#)

Some of these links lead to web-based resources that are not product-specific.

### Product Features

- Matte surface finish eliminates glare and provides uniform color in reflected and transmitted light
- Pressure sensitive, permanent adhesive adheres to rigid and flexible substrates
- Synthetic, lay-flat liner that is not affected by water or humidity
- Cut electronically
- Thermoformable
- Permanent film
- Expected Performance Life of 7 years (unwarranted period for unprinted film with no graphic protection, applied to a flat, vertical, outdoor surface)

### Recommended Types of Graphics and End Uses

- For indoor or outdoor use on internally-illuminated sign faces
- First and second surface application on rigid substrates
- First surface applications only on flexible substrates
- Thermoforming on rigid plastic substrates
- For use with fluorescent bulbs or LEDs. Typically for best results, 3M recommends:
  - film 3630 for fluorescent light applications
  - film 3730 for LED applications

When constructed and used as described in this Bulletin, these types of graphics and end uses may be warranted by the 3M™ MCS™ Warranty. Please read the entire Bulletin for details.

### Special Considerations

3M recommends weeding before thermoforming when using film with red pigments. The red pigments available to film manufacturers today can stain plastic when thermoformed.

3M is very successful at helping you match day/night colors when the same color density is required in front lit and backlit graphics to maximize the effectiveness of your sign. Please contact 3M for assistance when this is a concern.

### Recommended Compatible Products

#### Screen Printing Inks

- [3M™ Screen Printing Ink Series 1900](#)
- [3M™ Screen Printing UV Ink Series 9800](#)

3M™ Scotchcal™ Translucent Graphic Film Series 3630

3M™ Envision™ Translucent Film Series 3730

### Application Characteristics

Characteristic	Value
Finished Graphic Application Recommendation	Surface type: Flat, without rivets Surface type*: 3M flexible substrates; rigid substrates such as flat acrylic, polycarbonate**, high temperature co-polyester sheet, glass Application method: Wet or Dry, typical Application temperature: 60 °F (16°C) minimum air, substrate
Temperature Range After Application	-50 to +170 °F (-45 to +77 °C) (not for extended periods of time at the extremes) Low temperatures impacts on film applied to flexible substrates may result in cracking of the film and/or substrate
Recommended Light Source (for best results)	Film 3630: Fluorescent bulbs Film 3730: LEDs
Graphic Removal	Permanent

\*These films typically adhere to solar-grade polycarbonate substrate. However, some lots of this substrate may inhibit adhesion. See [3M Instruction Bulletin 5.7](#) for additional information.  
\*\*Polycarbonate substrates require oven drying before use to remove moisture from the polycarbonate that will cause the film to bubble. Refer to manufacturers instructions for proper drying times and temperatures.

IMPORTANT NOTE

The user is responsible for determining and complying with all applicable building codes that affect the use of materials in interior and exterior awning, banner and sign face applications, including flammability standards. For more information on flammability requirements, contact your local building code officials. For information on the results of flammability testing on 3M flexible substrates, call 1-800-328-3908.

**Colors**

Colors shown on monitor and when printed are approximate representations of actual color available.

Some of these products are a simulation of the closest PANTONE®-identified color standard. Consult current PANTONE Color Publications for accurate color. PANTONE® is a trademark or registered trademark of Pantone LLC in the United States and/or other countries.

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IMPORTANT NOTE

All color references are based on reflected, not transmitted, light viewing.



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CONTACT REP:

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GARY DANKS - 480-577-3363

DESIGNER:

■

CHRIS HEARN

DESIGN NUMBER:

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SCALE:

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<div>2</div>	COLOR SCHEMATIC UPDATE, D65187 WEATHERED SADDLE	09/25/18	CH
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SIGNATURE & DATE:

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CUSTOMER APPROVAL  
SIGNATURE & DATE:

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SHEET:

3

 OF 

4

PERMIT



PROJECT PERMIT INFORMATION:

PROJECT ADDRESS:

7100 WEST MOCKINGBIRD LANE  
PARADISE VALLEY, ARIZONA 85253

PROJECT SUBDIVISION:

MEADOWLARK ACRES LOT 1-3

ARIZONA PARCEL NUMBER [APN]:

174-51-033

PROPERTY ZONING:

SUP-P

[PUC]:

9270

MARICOPA COUNTY RECORDS [MCR]:

194-11

JURISDICTION:

TOWN OF PARADISE VALLEY



PROJECT DETAILS:

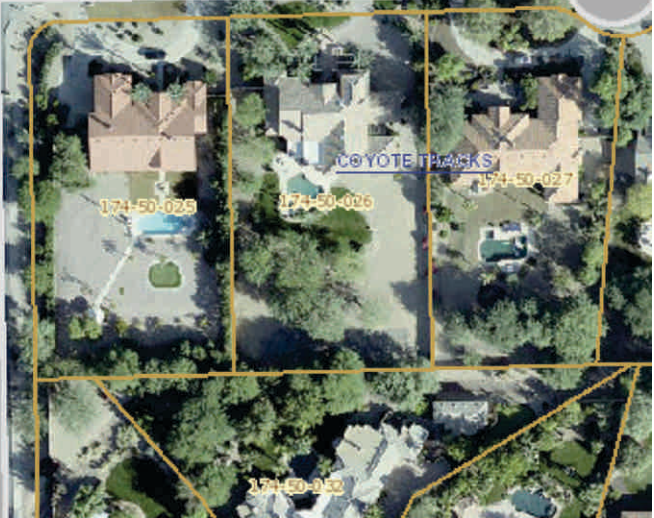
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SCALE: 3/16" = 1'-0"

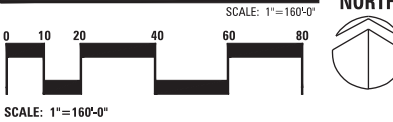
NOTES:

Notes section with lines for handwritten notes.



- PROPERTY LINE
- NEW MONUMENT
- BACK OF CURB
- SIGHT VISIBILITY TRIANGLE

FULL SITE PLAN



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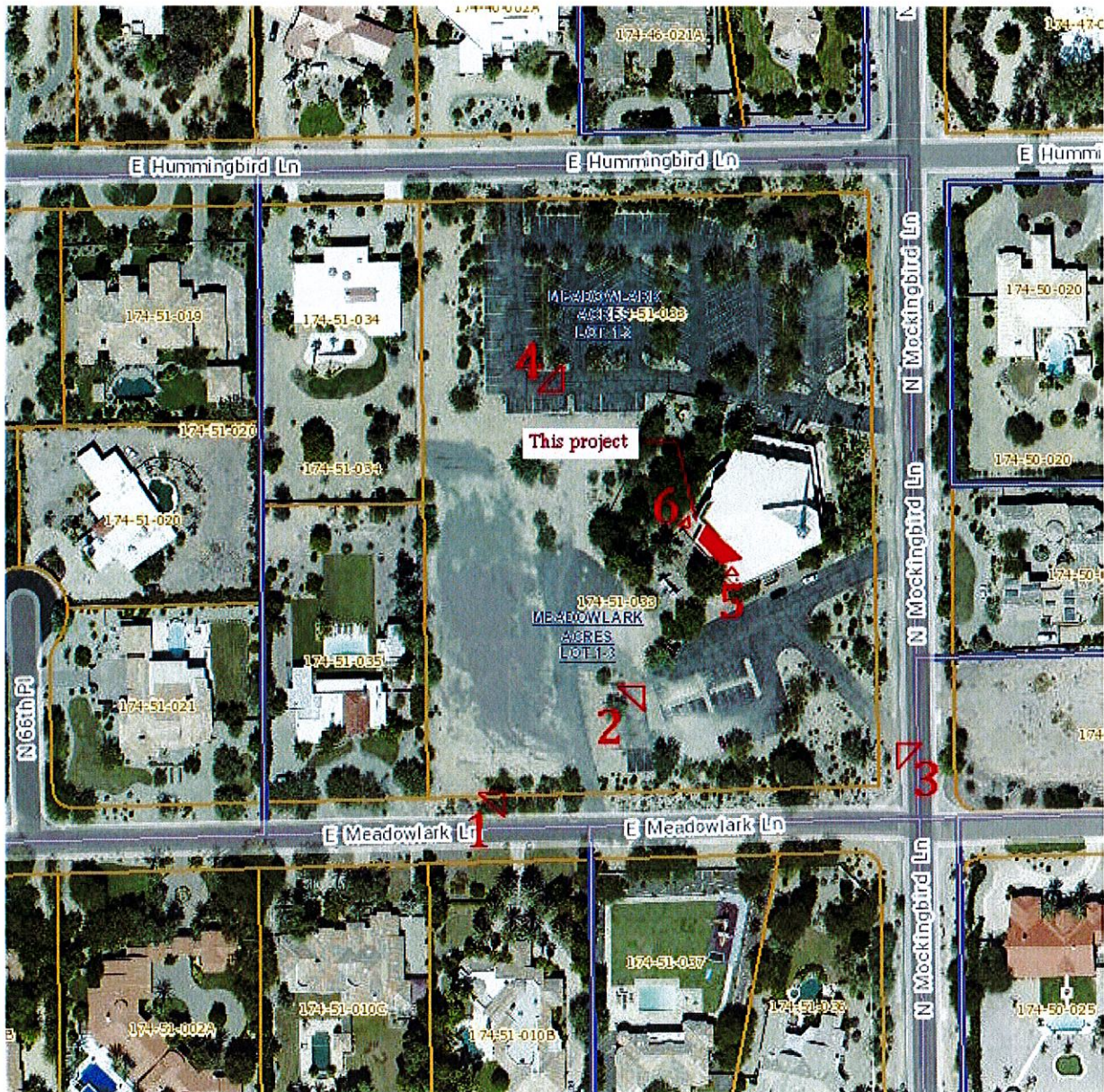
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SHEET:

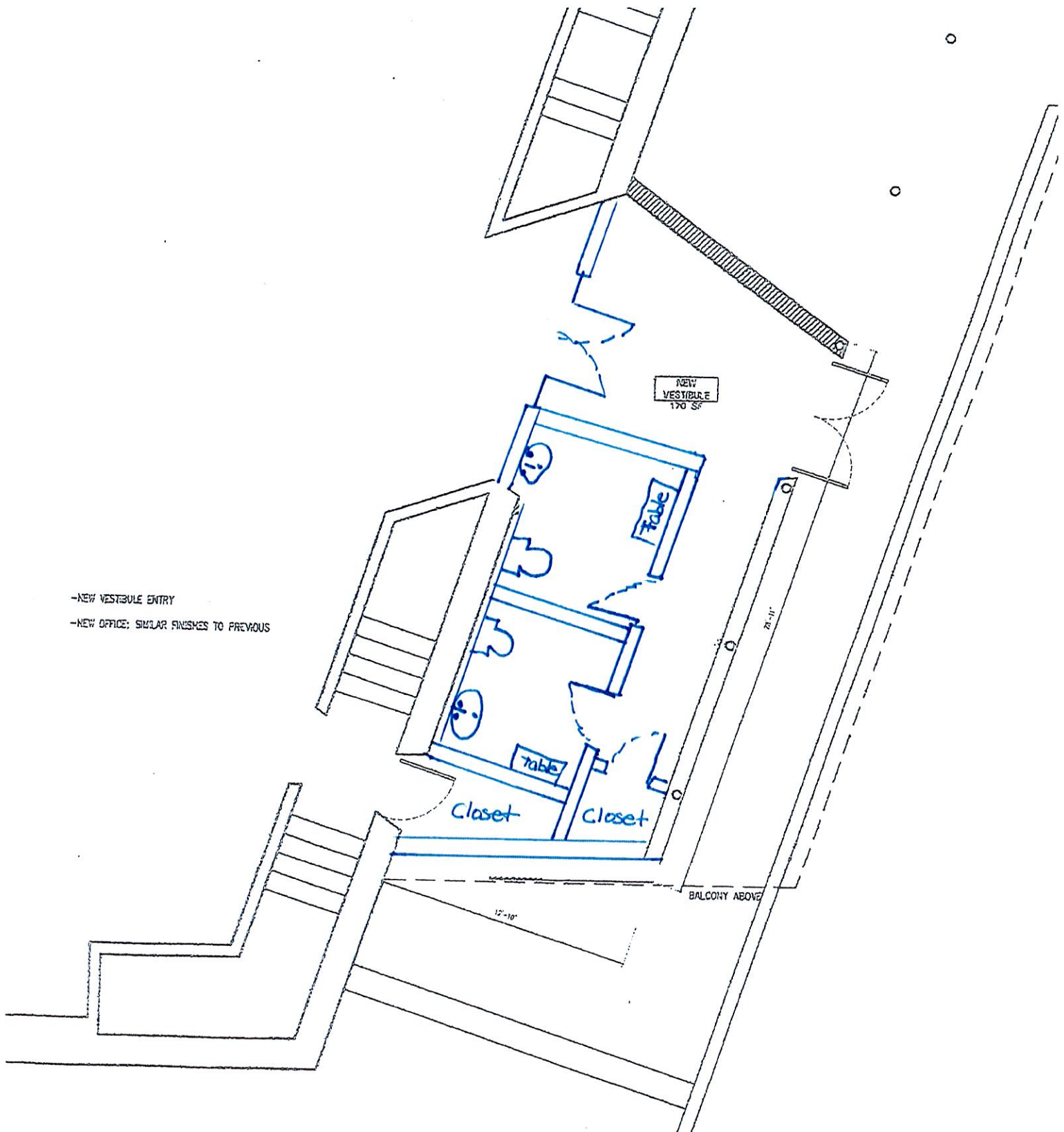
4 OF 4  
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08-15-17  
BD 18-41222





- NEW VESTIBULE ENTRY
- NEW OFFICE: SIMILAR FINISHES TO PREVIOUS

08-15-17



THIS IS A COPY

Commissioner Mahrle made a motion to approve the November 5, 2002 work session meeting minutes as amended. Seconded by Commissioner Werner.

The motion passed by a vote of five (5) to zero (0), with Commissioner Strom abstaining.

Commissioner Werner made a motion to approve the November 19, 2002 work session meeting minutes as presented. Seconded by Commissioner Mahrle.

The motion passed by a vote of six (6) to zero (0).

Commissioner Mahrle made a motion to approve the November 19, 2002 regular meeting minutes as presented. Seconded by Commissioner Werner.

The motion passed by a vote of six (6) to zero (0).

Commissioner Mahrle made a motion to approve the December 3, 2002 work session meeting minutes as presented. Seconded by Commissioner Werner.

The motion passed by a vote of six (6) to zero (0).

Commissioner Strom made a motion to approve the December 17, 2002 work session meeting minutes as presented. Seconded by Commissioner Werner.

The motion passed by a vote of six (6) to zero (0).

### **REGULAR BUSINESS**

**PUBLIC HEARING Consideration of a request for an amendment to the existing Special Use Permit for Ascension Lutheran Church, located at 7100 N. Mockingbird Lane, authorizing the use of a high-pressure sodium light source, rather than a low-pressure sodium light source, for the bollard parking lot lights approved by the Planning Commission on November 19, 2002.**

Mr. Arshadi presented this case as per the project coordination packet. Staff recommends the Planning Commission approve the proposed minor amendment to the Special Use Permit for Ascension Lutheran Church, authorizing the use of a high-pressure sodium light source for the parking lot lighting in compliance with the Lighting Plan, ES-1, presented to the Planning Commission on December 17, 2002.

Commissioner Adams inquired why would they have to go to 12 feet to change from high-pressure to low-pressure. Mr. Arshadi stated based on the information given by the applicant it was presented that due to the large size of the low-pressure sodium lamp and the wattage necessary to provide ample light (100 watts) the lamp could not fit into the bollard fixture. The applicant would either have to change to a 12' pole fixture or reduce the wattage in the lamp. He remarked the idea was to maintain the three-foot bollards.

Mr. Arshadi reported at the December 17, 2003 work study session, staff reported to the Planning Commission new information regarding the changes in technology and it was concluded based on the new information it would be better to use the high pressure sodium light source bollard rather than 12-foot high lighting poles.

Commissioner Strom stated he has observed the new light fixtures and felt the applicant has done a fine job. In addition, they have done a great job on the landscaping. Commissioner Werner agreed.

Parker Adeleman, Project Manager, stated he is available to answer any questions.

Chairman Campbell opened public testimony.

Barbara Parker, 6122 E. Quartz Mountain Road, inquired if the fixtures that are installed currently are low or high pressure. Chairman Campbell replied it is high pressure.

Ms. Parker stated the light spilled over that is cast from these lights appears to reflect more on the street area than it does in the parking lot. She further stated the parking lot is darker than the street. She noted the lights appear to be on every evening. She inquired if the Town has an ordinance regarding the hours of operation. Mr. Arshadi stated the lights are allowed to be on until 10:00 p.m.

Ms. Parker inquired if it was necessary to have the parking lot lights on even when there is no business or activity being conducted at the church.

Commissioner Strom stated the Commission stipulated that the parking lot would be lit in three zones to correspond with the activity levels. Scott Crawford reported they are currently working out the bugs on the three zones. He further reported they should be fixed by the end of the week.

Ms. Parker inquired about the foot-candles. Mr. Crawford provided information on the photometric study. He reported there would not be spill over at the property line.

Carol Adams, 6200 E. Quartz Mountain Road, stated they did a beautiful job with the landscaping. She further stated she was pleased to hear the lights would be done in zones. She commented as long as they keep the height of the lights low it does not matter if they use high or low pressure. She further commented she does not want them to have the lights on when nothing is going on.

Michael B. Seip, 6740 E. Hummingbird Lane, stated he just wants them to ensure that there is the least amount of spill over and glare to their properties.

Chairman Campbell closed public testimony.

Commissioner Strom stated he would suggest they approve this request with the additional stipulation that the zoning of the lights is operation in the near future.

Commissioner Strom moved to approve SUP-02-01 for the proposed minor amendment to the Special Use Permit for Ascension Lutheran Church, authorizing the use of a high-pressure sodium light source, rather than a low-pressure sodium light source, for the hollard parking lot lights approved by the Planning Commission on November 19, 2002, subject to the 12 approved stipulations with the following amendment to Stipulation No. 7:

- All parking lot lighting shall be installed in compliance with the Lighting Plan, ES-1, presented to the Planning Commission on December 17, 2002.

And with the additional stipulation:

- The three different zoning of the lights to be operational by January 31, 2003.

Seconded by Commissioner Werner.

Commissioner Adams recommended staff test the lighting prior to the January 31, 2003 when all three of the zones are going to ensure they are at the proper levels and report to the Commission. Mr. Arshadi stated staff would coordinate that with the church.

The motion passed by a vote of six (6) to zero (0).

**PUBLIC MEETING: Consideration of a request for a proposed lot split of an approximate 2.5 gross acre parcel of land located at the northeast corner of Sage Drive and 74<sup>th</sup> Street, 5311 N. 74<sup>th</sup> Street.**

Mr. Michaud stated the applicant has requested a continuance to the next regular Planning Commission meeting.

Kenny Walton, 5211 N. 74<sup>th</sup> Street, applicant, stated he is requesting the continuance because last week he retained legal counsel and his legal counsel was not able to get out of a prior commitment to attend the hearing.

Chairman Campbell stated there are citizens present to comment on this case so he will open public testimony.

Catherine Jennings, 7401 E. Sage, stated she would save her comments to see what happens after the continuance.

Susan Speirs, 7450 E. Sage Drive, stated she was prepared to make a presentation but would save her comments for the actual hearing. She requested the Commission continue

**TOWN OF PARADISE VALLEY  
PLANNING & ZONING COMMISSION  
NOVEMBER 19 2002**

**FILE COPY**

**MINUTES**

**PRESENT:** Scott LeMarr, Chairman  
George Adams, Commissioner  
Thomas Campbell, Commissioner  
Gary Linthicum, Commissioner  
Richard Mahrle, Commissioner  
Dolf Strom, Commissioner  
Louis Werner, Commissioner

**STAFF:** Hamid Arshadi, Community Development Director  
Eva Cutro, Senior Planner  
Jim Davis, Deputy Town Attorney

**CALL TO ORDER**

The regular meeting of the Town of Paradise Valley Planning Commission was called to order by Chairman Campbell at 7:05 p.m.

**ROLL CALL**

A formal roll call confirmed members present as stated above.

**MINUTES APPROVAL**

Commissioner LeMarr made a motion to approve the October 15, 2002 work session meeting minutes as presented. Second by Commissioner Mahrle.

The motion passed by a vote of seven (7) to zero (0).

Commissioner LeMarr made a motion to approve the October 15, 2002 regular meeting minutes as presented. Second by Commissioner Mahrle.

The motion passed by a vote of seven (7) to zero (0).

**REGULAR BUSINESS**

**PUBLIC MEETING:** Consideration of a request for a minor amendment to the existing Special Use Permit for the Ascension Lutheran Church, located at 7100 N Mockingbird Lane, for additional parking spaces, parking lot lighting, an access gate, and additional parking lot lighting.

Ms. Cutro presented this case as per the project coordination packet. Staff is recommending that the Planning Commission approve SUP-02-01 for the proposed minor amendment to the Special Use Permit for Ascension Lutheran Church, involving the installation of 93 additional parking spaces, 37 new bollard lights, additional parking lot landscaping, and an access gate along Hummingbird Lane, subject to the following stipulations.

1. The Special Use Permit for the proposed amendment shall be in substantial conformance with:
  - The Site Plan dated April 18, 2002, prepared by Evans, Kuhn, and Assoc., Inc.
  - The Landscape Plan dated May 28, 2002, prepared by Laskin and Assoc., Inc.-sheets LA-1 to LA-6.
  - The Electrical Plan dated July 26, 2002, prepared by Peterson Associates, --sheets ES-1 to ES-3.
  - The Grading and Drainage Plans dated July 23, 2002 prepared by Evans, Kuhn, and Assoc., Inc. – sheets C1.01 to C1.05.
2. The bollard lights shall not be lit before dusk or after 10 PM daily.
3. The improvements to Meadowlark Lane shall be completed within thirty-six months in coordination with the Town Engineer.
4. Decomposed granite shall be installed on the unimproved areas of the site that will be used for overflow parking. The granite shall be desert colored at a size acceptable to the Town Engineer.
5. The parking lot gate shall remain open during all church activities that require parking in the north lot.

Commissioner LeMarr inquired if the Applicant would have a problem if they shortened the time frame on improvements on Meadowlark Lane.

Parker Adeleman, Project Manager, stated the reason behind the request for 36 months to make the improvements on Meadowlark Lane is to allow the congregation time to get the financing in place.

Commissioner LeMarr inquired if the Applicant had an estimate for the cost of those improvements. Mr. Keil, General Contractor, stated he would estimate \$70,000 to \$100,000. Commissioner LeMarr stated he would estimate \$15,000 to \$20,000. He further stated they should look at the improvement of the asphalt and the curb from a safety perspective. Commissioner Mahrle stated he felt the 36-month time frame was appropriate.

Commissioner Werner stated the design as presented is fantastic and is a huge improvement. He expressed his concern that as you drive through you would be at eye level with the bollard fixtures and the Applicant might want to consider alternatives for down lighting the bollards. He stated he would request the Applicant look at using low

pressure sodium lights that would create a softer light background and protect the night sky, which is in concert with the General Plan. Scott Gray stated the lighting is designed to go down and out. He stated he felt the high sodium works for what they are trying to accomplish.

Commissioner Werner suggested moving the bollard location in the south parking lot to the end of the parking island. Mr. Adeleman stated they would make that adjustment.

Commissioner Werner remarked he knows the Commission has stipulated in other SUP cases that low-pressure sodium lights are required. He further remarked he would hate to diverge from that.

Mr. Adeleman presented information on their budget for landscaping and hard scape improvements.

Mr. Adeleman reported a neighborhood meeting was held at the church. The Neighborhood concerns included lighting and landscaping. Those concerns have been addressed.

Commissioner Strom requested information on the lighting zones. Mr. Adeleman provided an overview of the zones. He reported one parking lot would be manually controlled. Commissioner Strom expressed his concerns regarding the lighting being manually controlled. He suggested it be stipulated that all light fixtures be on automatic timers.

Chairman Campbell asked Commissioner Linthicum if it would be economical to complete that perimeter landscaping concurrent with the hard scape improvements. Commissioner Linthicum replied that would be the most efficient approach. A discussion ensued that the improvements on Meadowlark are only ten percent of the budget.

Commissioner Werner stated regarding overflow parking the Commission should consider stipulating that all overflow parking must be accessible by drive curb cuts. It was noted that landscaping along that frontage should keep people from driving through it to get out.

Commissioner Werner stated the gatehouse should be located 30-feet back of the existing curb. Mr. Adeleson provided an overview of how the gate would be used.

(There was no public testimony.)

Mr. Davis remarked Commissioner Strom had indicated in study session that he lived in this neighborhood. He requested Commissioner Strom state on the record that he does not have a conflict of interest.

Commissioner Strom state he lives at 6543 E. Meadowlark Lane. He further stated he felt he could be fair and impartial in his decision.

Commissioner Werner moved to approve SUP-02-01 for the proposed minor amendment to the Special Use Permit for Ascension Lutheran Church, involving the installation of 93 additional parking spaces, 37 new bollard lights, additional parking lot landscaping, and an access gate along Hummingbird Lane, subject to the five stipulations as noted and with the following additional stipulations:

6. The location of the bollards in the south parking lot are lowered and moved to the end of the parking island similar to those in the north parking lot.
7. All new parking lot bollard light fixtures shall be low-pressure sodium light sources.
8. All light fixtures will be will be on automated timers.
9. All overflow parking must be accessible via drive curb cuts as shown in sheet C-1.
10. The north gate will be located 30-feet back of the existing curb as shown on sheet C-1.

Commissioner Werner stated he would defer to Commissioner LeMarr for the existing stipulations.

Commissioner LeMarr seconded the motion with the following additions and amendments to the stipulations:

Revision to Stipulation No. 3 that the improvement to Meadowlark Lane is completed within close proximity of the parking lot improvements.

11. Extend the landscaping design from the west end of the property to the south end side of the property boundary on the north side of Meadowlark Lane in keeping with the approved landscape plan.
12. To allow the Applicant to delay the interior landscaping portion of the plan but complete the perimeter landscaping concurrent with the hard scape improvements.

Commissioner Werner stated he would accept those additions to the motion.

The motion passed by a vote of seven (7) to zero (0).

#### **FUTURE AGENDA ITEMS**

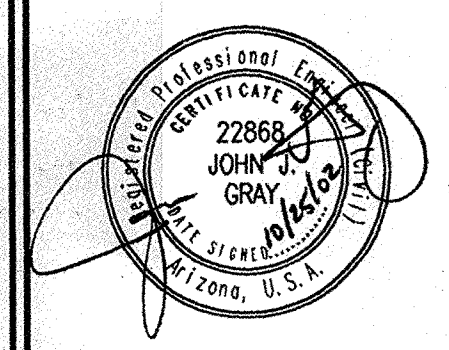
Mr. Arshadi stated the Commission would review the Hillside Code at the December 3 and January 7 meetings.



Evans, Kuhn  
& Associates, Inc.  
727 E. Bethany Home Rd.  
Phoenix, Az 85014  
602.241.0782 phone  
602.248.9158 fax

**SITE PLAN**  
**ASCENSION LUTHERAN CHURCH**  
**7100 NORTH MOCKINGBIRD LANE**  
**PARADISE VALLEY, ARIZONA**

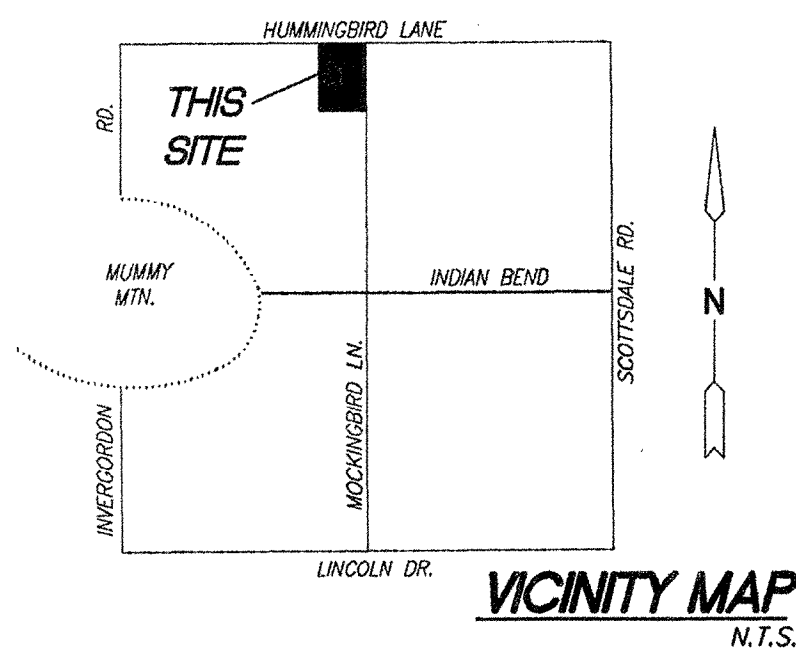
REVISIONS	
DRAWING STATUS:	



DATE ISSUED 04/18/02  
DESIGNED BY  
DRAWN BY JAG  
CHECKED BY JAG  
PROJECT NO. 4929  
DRAWING NO.

**C-1.00**  
**SITE PLAN**  
1"=40'

## SPECIAL USE PERMIT MINOR AMENDMENT



### OWNER/ SITE ADDRESS

ASCENSION LUTHERAN CHURCH  
7100 NORTH MOCKINGBIRD LANE  
PARADISE VALLEY, ARIZONA 85263

### CLIENT

CCG CONSTRUCTION, LLC  
3333 EAST CAMELBACK RD.  
SUITE 250  
PHOENIX, ARIZONA 85018

### ENGINEER

EVANS, KUHN & ASSOCIATES  
727 EAST BETHANY HOME ROAD  
SUITE D-225  
PHOENIX, ARIZONA 85014

### LEGAL DESCRIPTION

LOT 1 OF MEADOWLARK ACRES ACCORDING TO BOOK 194 PAGE 11  
RECORDS OF MARICOPA COUNTY, ARIZONA

### AREA INFORMATION AND PROJECT DATA

AREA=275,250 sq. ft. = 6.32 acres  
ALLOWABLE HEIGHT = 75 FEET  
ACTUAL BUILDING HEIGHT = 57 FEET  
ALLOWABLE SPIRE HEIGHT = 100 FEET  
ACTUAL SPIRE HEIGHT = 100 FEET  
TOTAL FLOOR AREA = 15,823 sq. ft.  
TOTAL FOOTPRINT AREA = 11,691 sq. ft.  
LOT COVERAGE = 4.25%  
ALLOWABLE COVERAGE = 20%  
NORTH PARKING AREA = 70,656 sq.ft.  
NORTH PARKING AREA LANDSCAPE = 18,130 sq.ft. = 25.7%  
SOUTH PARKING AREA = 28,346 sq.ft.  
SOUTH PARKING AREA LANDSCAPE = 10,130 sq.ft. = 35.7%

### SUMMARY OF THE PARKING CALCULATIONS

PARKING ALLOWED		
TOTAL NUMBER OF SEATS IN THE SANCTUARY AT BUILD-OUT: PROVIDE ONE SPACE PER THREE SEATS (PER SECTION 6 OF THE ZONING ORDINANCE)	800 SEATS	266 SPACES
TOTAL ALLOWED		266 SPACES

### EXISTING PARKING

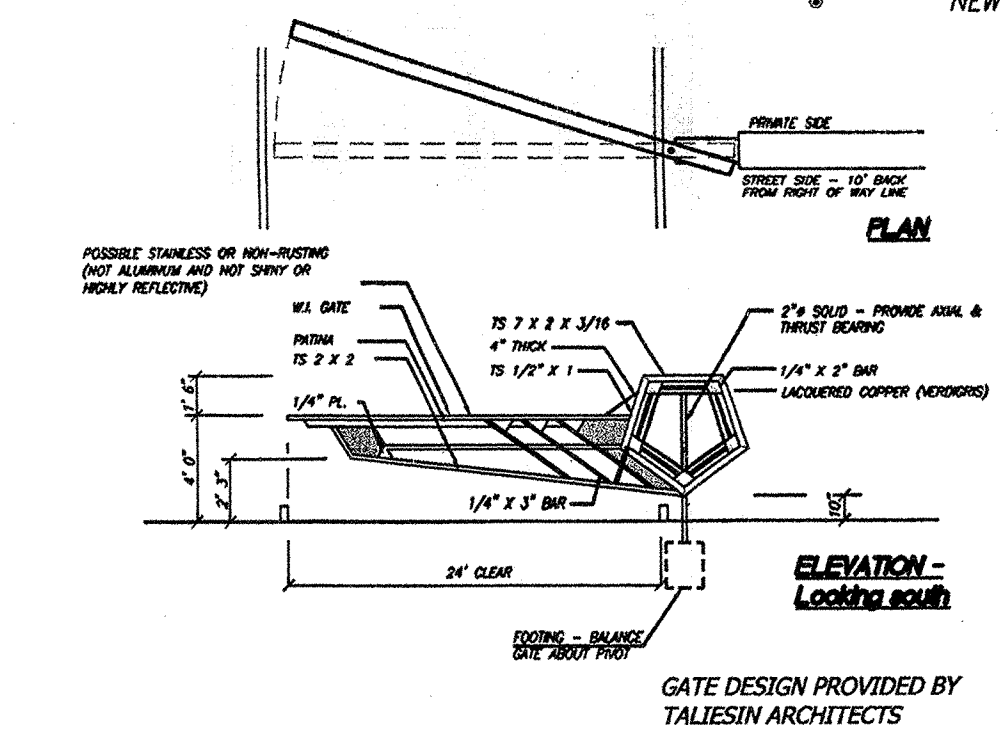
NORTH LOT	69 SPACES
SOUTH LOT	42 SPACES
ACCESSIBLE	3 SPACES
TOTAL	114 SPACES

### PARKING TO BE PROVIDED

NORTH LOT	158 SPACES
SOUTH LOT	42 SPACES
ACCESSIBLE	7 SPACES
TOTAL	207 SPACES

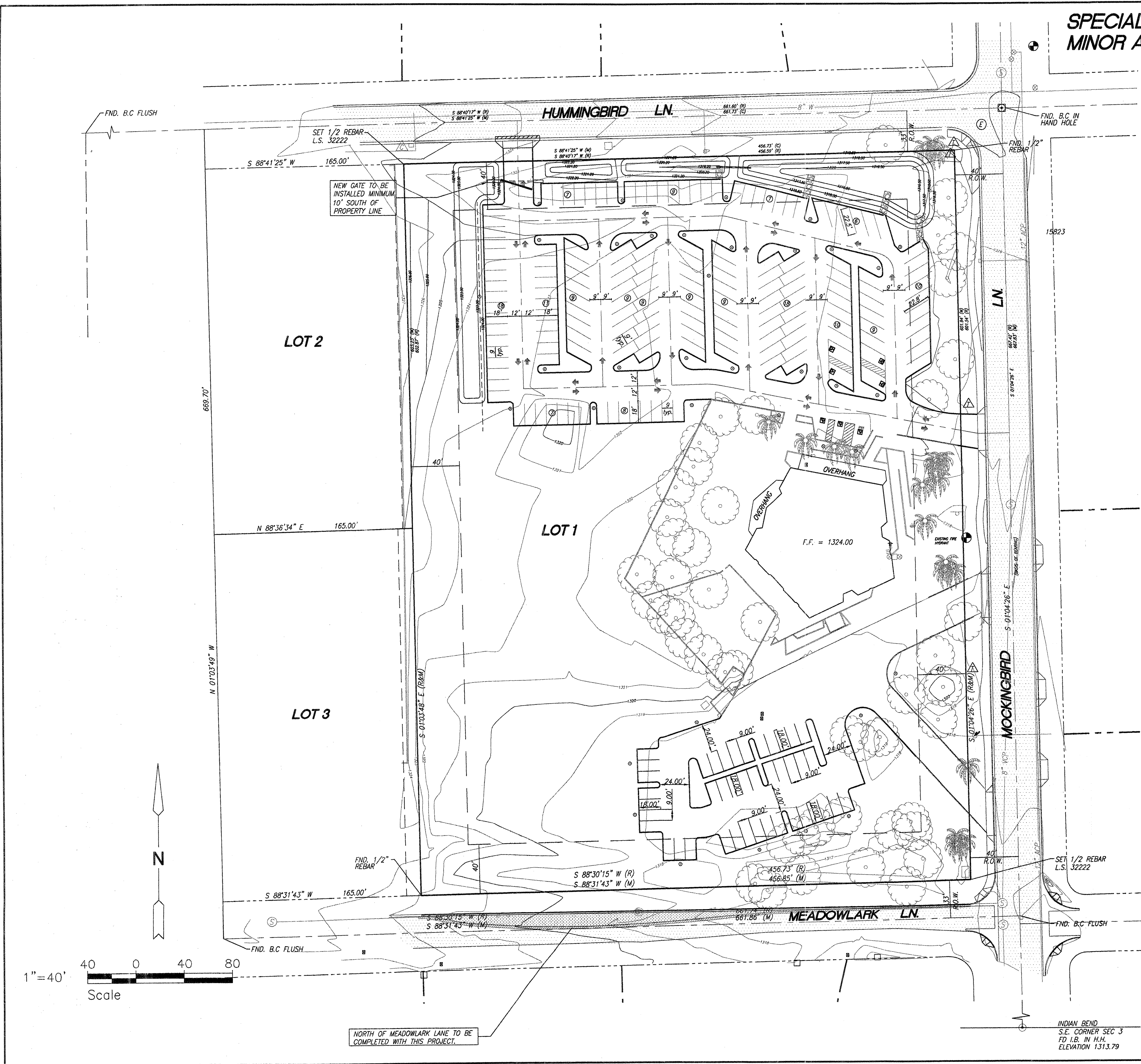
### LEGEND

- |                          |                                |
|--------------------------|--------------------------------|
| MONUMENT LINE/CENTERLINE | BRASS CAP IN HANDHOLE          |
| PROPERTY LINE            | FOUND 1/2" REBAR               |
| RIGHT-OF-WAY LINE        | SANITARY SEWER MANHOLE         |
| EASEMENT LINE            | ELECTRIC MANHOLE               |
| ELECTRIC LINE            | WATER VALVE                    |
| GAS LINE                 | FIRE HYDRANT                   |
| SEWER LINE               | TELEPHONE PEDESTAL             |
| WATER LINE               | M.C.R. MARICOPA COUNTY RECORDS |
| EXISTING CONCRETE        | (R) RECORD COURSE              |
| EXISTING PAVEMENT        | (C) CALCULATED COURSE          |
| BRASS CAP FLUSH          | (M) MEASURED COURSE            |
|                          | B.S.L. BUILDING SETBACK LINE   |
|                          | NEW PARKING LOT BOLLARD LIGHTS |



CALL TWO WORKING DAYS  
BEFORE YOU DO  
**263-1100**  
HOUSE MARICOPA COUNTY

EXTERNAL  
DRAWINGS





EXISTING LANDSCAPE AND IRRIGATION NOTES:

1. Site verify all existing conditions prior to bidding. Any discrepancies are to be brought to the Landscape Architect immediately.

2. All plant material designated as "existing to remain" shall be protected during all phases of construction. Any tree that dies due to lack of water, lack of maintenance or care, neglect or vandalism shall be replaced by a like type tree, (minimum 48" box). At no additional cost to owner. Palms that die shall be replaced with like type, height and size. All shrubs and groundcover shall be replace with 5 gallon plants.

3. Landscape areas disturbed by new construction shall be repaired with new decomposed granite matching existing. Blend all disturbed areas with undisturbed so there is smooth transition between all edges. Replace all disturbed, broken or damaged headers with matching type.

4. All existing plant material and adjacent plant material shall have uninterrupted watering during all phases of construction. This shall include but not be limited to; hand watering, temporary above ground irrigation, existing system ... etc.
5. The existing irrigation system shall be protected, maintained and repaired during all phases of construction. The existing system is tied in adjacent properties. All equipment such as mainline, wires, lateral heads and etc. shall be repaired and replaced to maintain continuous water.

6. Provide new schedule 40 sleeves at all new drives. (See sleeve schedule for size.) Any existing irrigation system is to be maintained at all times during construction and guarantee 100% coverage.

7. All existing trees to remain, shall be selectively pruned per Landscape Architects direction.

8. All existing shrubs within the sight distance lines and sight visibility triangles shall be selectively pruned to a maximum height of 30" at maturity.

9. All trees shall be lifted to clear height of 7'.

GENERAL LANDSCAPING NOTES

1. The Landscape Architect, or his representative, reserve the right to refuse any plant materials he deems unacceptable. (See specifications)

2. Site verify all conditions prior to bidding and start of construction. Any discrepancies are to be brought to the attention of the L.A. in writing immediately.

3. The Landscape Architect is to approve any and all substitutions.

4. Plant list provided for contractor's convenience only. Plans take precedence.

5. Double stake all 15 gallon, 24", and 36" box trees as required.

6. Sprinkler Contractor must guarantee 100% coverage in all landscape areas.

7. Soil shall be raked and free from rocks, roots, weeds, etc.

8. Finished grade in groundcover, granite and lawn areas shall be 1" below adjacent header, paving, curbing, etc.

9. Plants shall be quality material having a growth habit which is normal for the species and be sound, vigorous, healthy, and free from insects and injury.

10. Groundcover and/or decomposed granite shall extend under shrubs unless noted.

11. After all work is completed, the contractor shall remove all materials not incorporated in the Scope of Work from the job site.

12. Grading shall include all excavation, settlement, handling, import, distribution, transportation, and disposal necessary to bring ground to finish grade as shown on the plan. (once general contractor has provided finish grade within 1/10 of 1')

13. All earthwork is to be done so that all water drains away from all structures.

14. A pre-emergent herbicide is to be applied to all granite areas before and after the granite has been laid. Include all river rock areas.

15. All underground conduits are to be located before digging. If doubt exists coordinate with the general contractor and call Blue Stake at (602) 263-1100.

16. All material to be guaranteed for a period of one (1) year after final acceptance.

17. Landscape contractor shall provide arbor guards to all trees located in turf areas.

18. Contractor is responsible for all required sleeving whether it is shown on the plans or not.

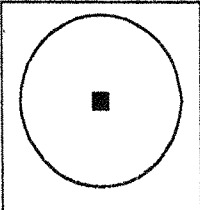
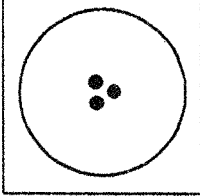
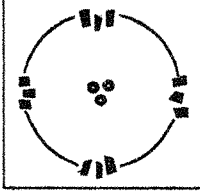
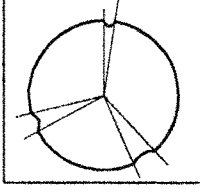
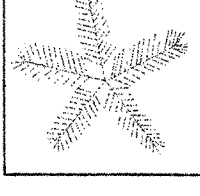
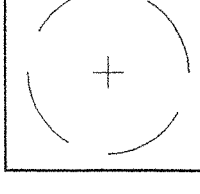
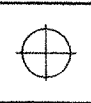


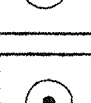
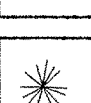
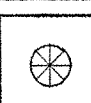

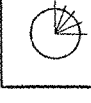
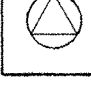


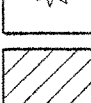



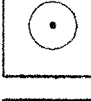



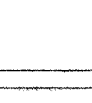
19. Landscape Architect to approve all mounding and grades prior to planting.

20. Landscape Architect to approve placement of all trees, salvaged material and boulders prior to installation.

21. All correspondence with the Landscape Architect shall be done in writing through the general contractor. No exceptions!

LANDSCAPE LEGEND

ALL TREES TO MEET OR EXCEED A.N.A. SPECIFICATIONS  
(U.O.N. - UNLESS OTHERWISE NOTED )

TREES	SIZE	QTY.
 Desert Museum Cercidium hybrid	24" Box u.o.n.	14
 Thornless Honey Mesquite Prosopis grandulosa grandulosa	24" Box u.o.n.	33
 Ironwood Olneya tesota	24" Box u.o.n.	10
 Sweet Acacia Acacia farnesina	24" Box u.o.n.	5
 Existing Palm to remain		
 Existing Tree to remain		
SHRUBS	SIZE	
 Mexican Bird of Paradise Caesalpinia mexicana	5 Gallon	
 Green Cassia Cassia nemophila	5 Gallon	
 Valentine's Bush Eremophyla "valentine"	5 Gallon	
 Green Cloud Sage Leucophyllum frutescens	5 Gallon	
 Fairy Duster Calliandra eriophylla	5 Gallon	
 Red Yucca Hesperaloe parviflora	5 Gallon	
 Brittlebush Encelia farinosa	5 Gallon	
 Desert Globemallow Sphaeralcea ambigua	5 Gallon	
 Golden Eye Viguira multiflora	1 Gallon	
 Desert Marigold Baileya multiradiata	1 Gallon	
GROUNDCOVERS/ACCENTS		
 Desert Spoon Dasylirion wheeleri	5 Gallon	
 Agave sp. Agave murpheyi	5 Gallon	
 Peruvian Verbena Verbena peruviana	1 Gallon	3' o.c.
 Mexican Evening Primrose Oenothera berlandieri	1 Gallon	3' o.c.
 Gold Mound Lantana Lantana montivdensis "Gold Mound"	1 Gallon	3' o.c.
 Sierra Gold Dalea Dalea capitata	1 Gallon	
 Dwarf Trailing Acacia Acacia redolens "Desert Carpet"	1 Gallon	
 Fishhook Barrel Ferocactus wislizeni	3' min.	
 Decomposed Granite 3/4" Minus "Madison Gold", 2" minimum thickness in all landscape areas. (Match existing)		
 Surface Select Granite Boulders in all landscape areas.	3'x3'x3' 2700 lbs. min.	

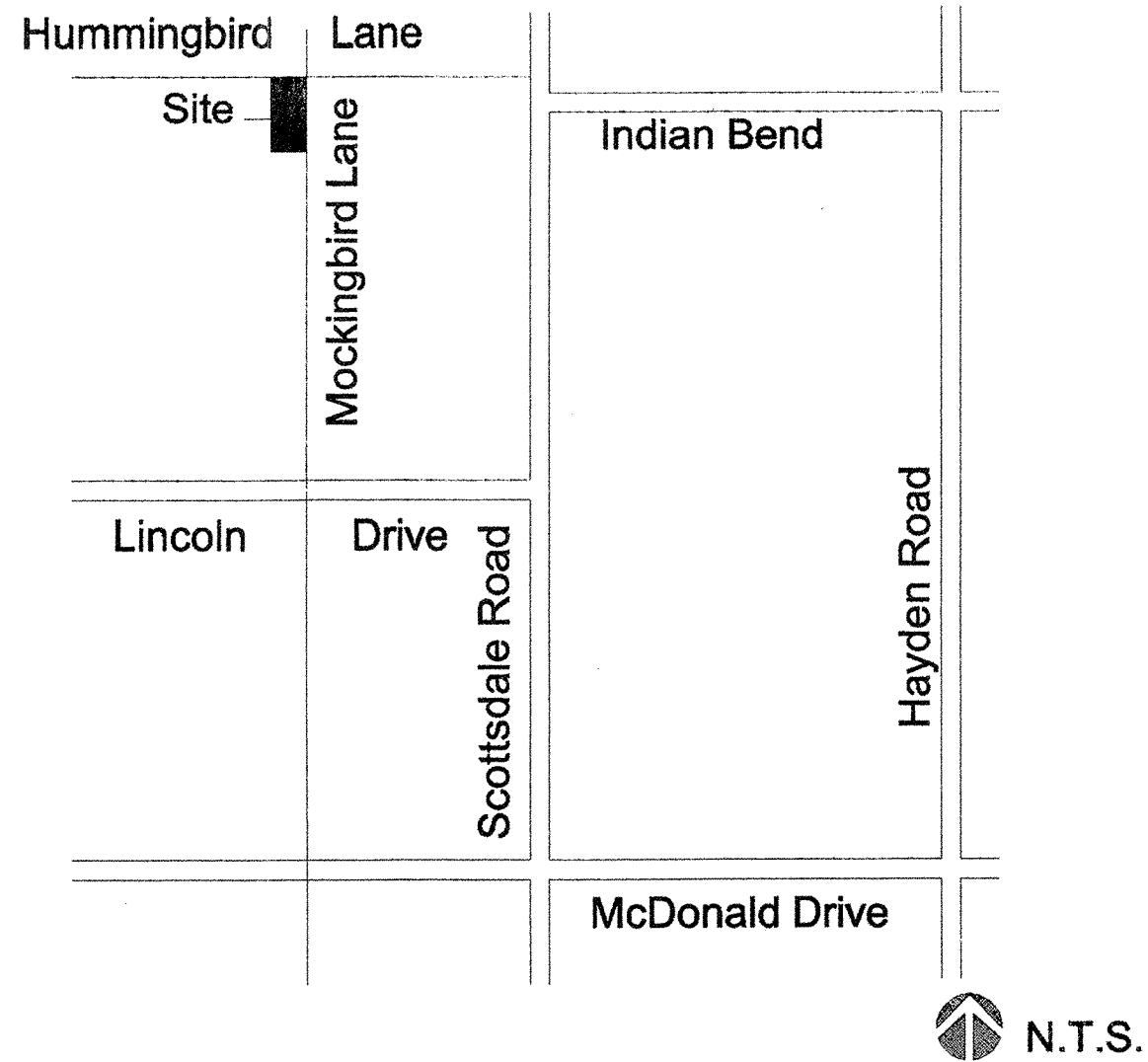
IRRIGATION LEGEND

Sch 40 PVC Sleeve  
(Size Per Sleeving Schedule)

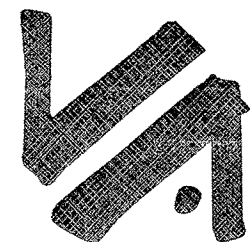
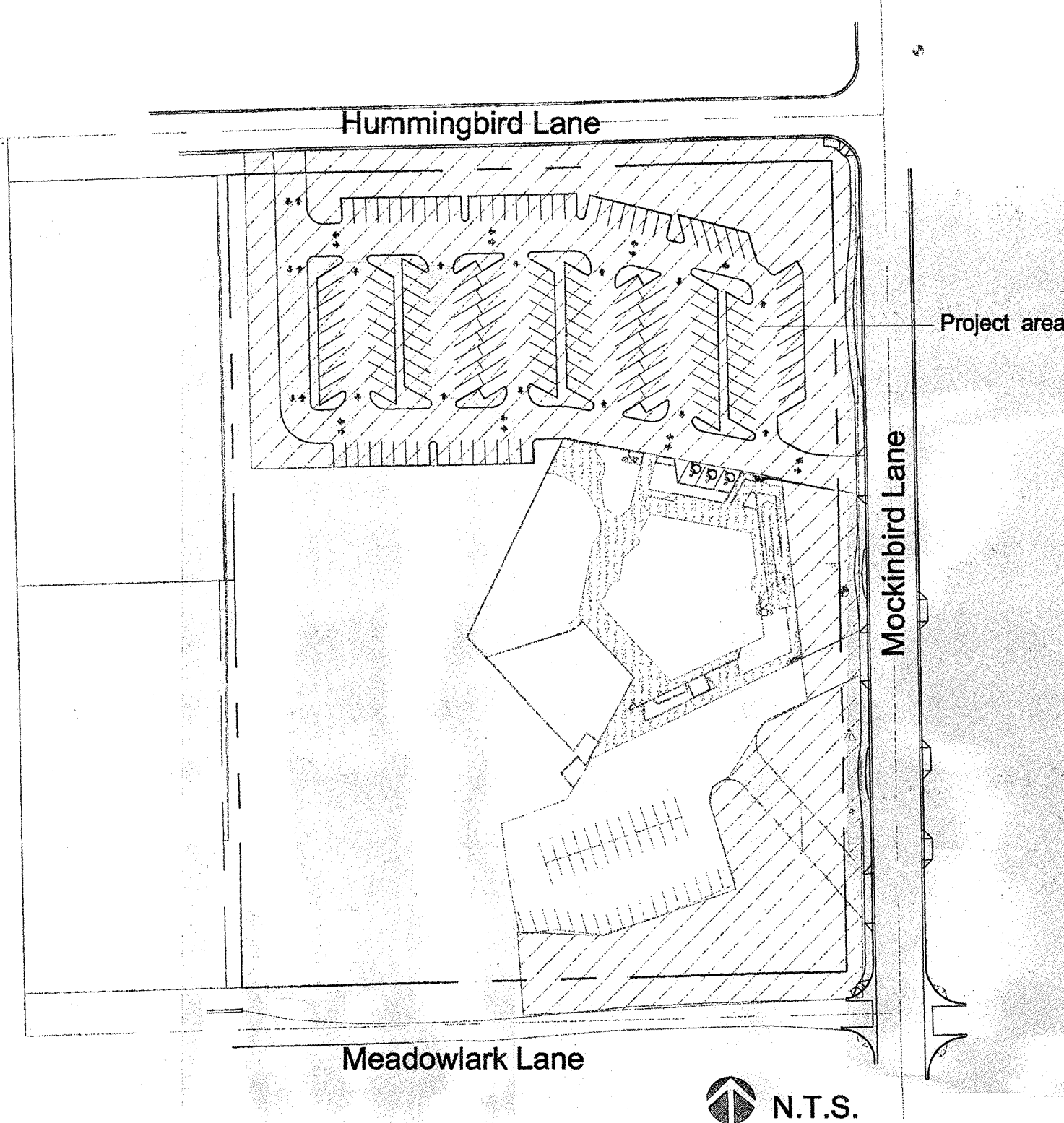
SLEEVEING SCHEDULE: Contractor is responsible for all sleeving whether shown or not.  
Mainline Sleeves  
Drip Lateral Sleeves  
Lateral From Valve To Regulators  
Wires

3"  
3"  
3"

Vicinity Map



Site Plan



LASKIN & ASSOCIATES, INC.  
LANDSCAPE ARCHITECTS  
5112 N. 40th Street  
Suite 202  
Phoenix, Arizona 85018  
p (602) 840-7771  
f (602) 840-8021  
www.laskindesign.com

Ascension Lutheran Church  
Parking Lot Extension  
7100 N. Mockingbird Lane, Paradise Valley, Arizona  
Cover Sheet

DRAWN

SL

CHECKED

HAL

SHEET SCALE

1"=20'

DATE

05.28.02

REVISIONS

07.22.02

CITY NUMBERS

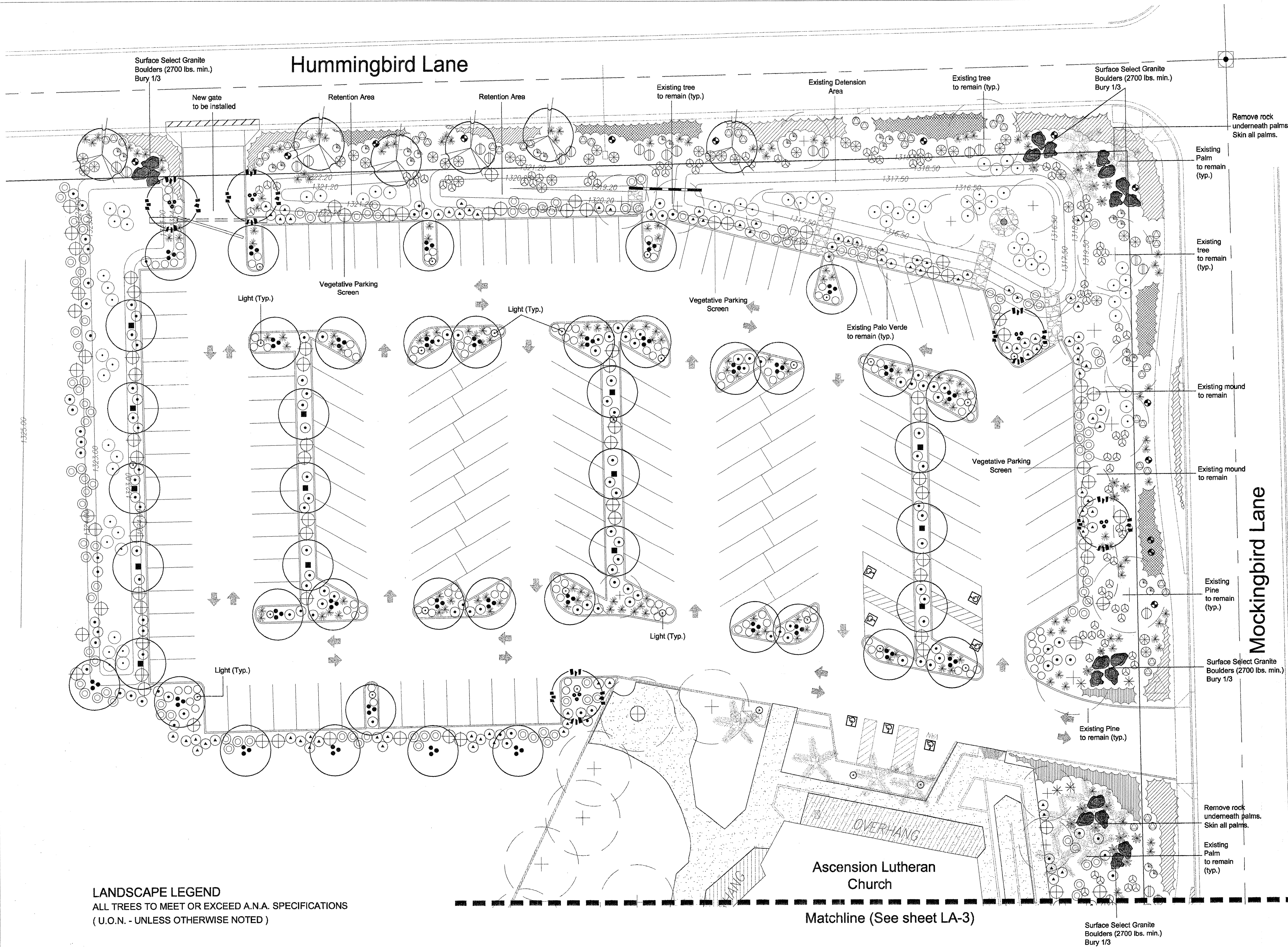
SHEET NUMBER

LA-1

1  
of  
6

263-1100  
Blue Stake Company  
GRAPHIC COLLECTION





NOTES:

1. Leave all existing river rock in place.
2. Remove all existing shrubs.
3. Trim and prune existing trees.
4. All of the mounds to be 36" high, including plantings.

LANDSCAPE LEGEND (CONT.)

ALL TREES TO MEET OR EXCEED A.N.A. SPECIFICATIONS  
(U.O.N. - UNLESS OTHERWISE NOTED)

SHRUBS	SIZE
Mexican Bird of Paradise <i>Caesalpinia mexicana</i>	5 Gallon
Green Cassia <i>Cassia nemophila</i>	5 Gallon
Valentine's Bush <i>Eremophylla "valentine"</i>	5 Gallon
Green Cloud Sage <i>Leucophyllum frutescens</i>	5 Gallon
Fairy Duster <i>Calliandra eriophylla</i>	5 Gallon
Red Yucca <i>Hesperaloe parviflora</i>	5 Gallon
Brittlebush <i>Encelia farinosa</i>	5 Gallon
Desert Globemallow <i>Sphaeralcea ambigua</i>	5 Gallon
Golden Eye <i>Viguiera multiflora</i>	1 Gallon
Desert Marigold <i>Baileya multiradiata</i>	1 Gallon

GROUNDCOVERS/ACCENTS

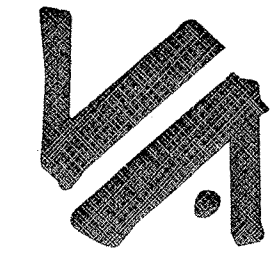
Desert Spoon <i>Dasyliion wheeleri</i>	5 Gallon	
Agave sp. <i>Agave murpheyi</i>	5 Gallon	
Peruvian Verbena <i>Verbena peruviana</i>	1 Gallon	3' o.c.
Mexican Evening Primrose <i>Oenothera berlandieri</i>	1 Gallon	3' o.c.
Gold Mound Lantana <i>Lantana montividenis "Gold Mound"</i>	1 Gallon	3' o.c.
Sierra Gold Dalea <i>Dalea capitata</i>	1 Gallon	
Dwarf Trailing Acacia <i>Acacia redolens "Desert Carpet"</i>	1 Gallon	
Fishhook Barrel <i>Ferocactus wislizeni</i>	3' min.	
Decomposed Granite 3/4" Minus "Madison Gold" 2" minimum thickness in all landscape areas. (Match existing)		
Surface Select Granite Boulders (2700 lbs. min.) Bury 1/3	3'x3'x3'	2700 lbs. min.

LANDSCAPE LEGEND

ALL TREES TO MEET OR EXCEED A.N.A. SPECIFICATIONS  
(U.O.N. - UNLESS OTHERWISE NOTED)

TREES	SIZE	QTY.
Desert Museum <i>Cercidium hybrid</i>	24" Box u.o.n.	14
Thornless Honey Mesquite <i>Prosopis grandulosa grandulosa</i>	36" Box u.o.n.	33
Ironwood <i>Olneya tesota</i>	36" Box u.o.n.	10

TREES	SIZE	QTY.
Sweet Acacia <i>Acacia farnesina</i>	36" Box u.o.n.	5
Existing Palm to remain		
Existing Tree to remain		



LASKIN & ASSOCIATES, INC.  
LANDSCAPE ARCHITECTS  
5112 N. 40th Street  
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Ascension Lutheran Church  
Parking Lot Extension  
7100 N. Mockingbird Lane, Paradise Valley, Arizona  
Landscape Plan

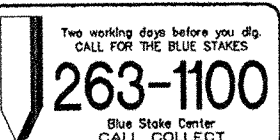
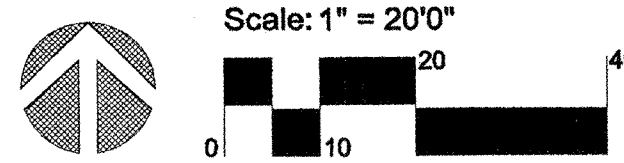
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SHEET SCALE  
1"=20'  
DATE  
05.28.02  
REVISIONS  
07.22.02

CITY NUMBERS

SHEET NUMBER

LA-2

2  
of  
6





Matchline (See sheet LA-2)

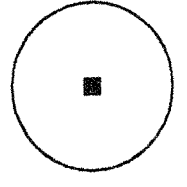
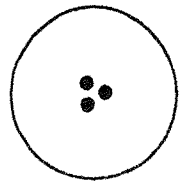
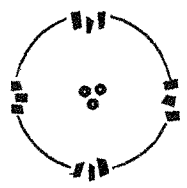
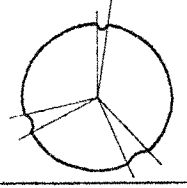
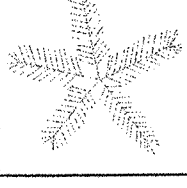
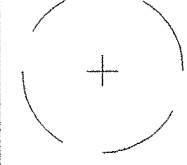
Ascension Lutheran Church

Mockingbird Lane

Meadowlark Lane

LANDSCAPE LEGEND  
ALL TREES TO MEET OR EXCEED A.N.A. SPECIFICATIONS  
( U.O.N. - UNLESS OTHERWISE NOTED )







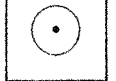



TREES SIZE QTY.

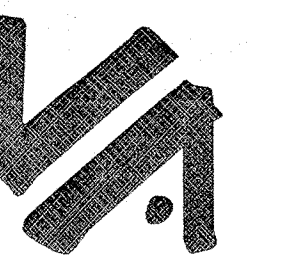
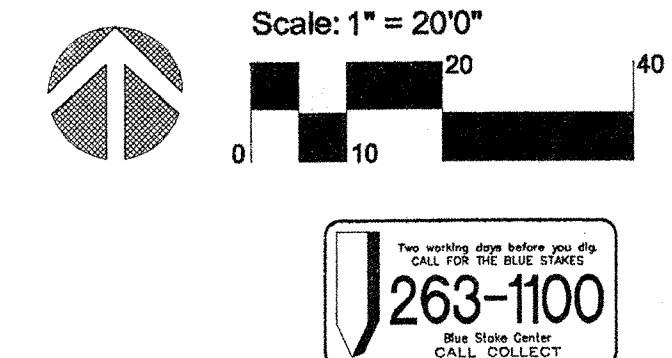
	Desert Museum Cercidium hybrid	24" Box u.o.n.	14
	Thornless Honey Mesquite Prosopis grandulosa grandulosa	36" Box u.o.n.	33
	Ironwood Olneya tesota	36" Box u.o.n.	10
	Sweet Acacia Acacia farnesina	36" Box u.o.n.	5
	Existing Palm to remain		
	Existing Tree to remain		

SHRUBS SIZE

	Mexican Bird of Paradise Caesalpinia mexicana	5 Gallon
	Green Cassia Cassia nemophila	5 Gallon
	Valentine's Bush Eremophylla "valentine"	5 Gallon
	Green Cloud Sage Leucophyllum frutescens	5 Gallon
	Fairy Duster Calliandra eriophylla	5 Gallon
	Red Yucca Hesperaloe parviflora	5 Gallon
	Brittlebush Encelia farinosa	5 Gallon
	Desert Globemallow Sphaeralcea ambigua	5 Gallon
	Golden Eye Vigiera multiflora	1 Gallon
	Desert Marigold Baileya multiradiata	1 Gallon

GROUNDCOVERS/ACCENTS

	Desert Spoon Dasylirion wheeleri	5 Gallon	
	Agave sp. Agave murpheyi	5 Gallon	
	Peruvian Verbena Verbena peruviana	1 Gallon	3' o.c.
	Mexican Evening Primrose Oenothera berlandieri	1 Gallon	3' o.c.
	Gold Mound Lantana Lantana montividenis "Gold Mound"	1 Gallon	3' o.c.
	Sierra Gold Dalea Dalea capitata	1 Gallon	
	Dwarf Trailing Acacia Acacia redolens "Desert Carpet"	1 Gallon	
	Fishhook Barrel Ferocactus wislizeni	3' min.	
	Decomposed Granite 3/4" Minus "Madison Gold", 2" minimum thickness in all landscape areas. (Match existing)		
	Surface Select Granite Boulders in all landscape areas.	3'x3'x3' 2700 lbs. min.	



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Ascension Lutheran Church  
Parking Lot Extension  
7100 N. Mockingbird Lane, Paradise Valley, Arizona  
Landscape Plan

DRAWN

SL

CHECKED

HAL

SHEET SCALE

1"=20'

DATE

05.28.02

REVISIONS

1 07.22.02

CITY NUMBERS

SHEET NUMBER

LA-3

3

of

6



This is a detailed site plan for the Ascension Lutheran Church. The plan includes the following elements:

- Building:** The church building is located in the lower right portion of the plan. It features a main rectangular structure with a steeple and a smaller, shaded rectangular section labeled "OVERHANG".
- Parking Lots:** There are two main parking areas. A large lot is situated to the left of the church building, and a smaller lot is located to the right of the building. Both lots are filled with diagonal lines representing parking spaces.
- Driveways and Access:** Several driveways and access points are shown with arrows indicating the direction of traffic flow. These include a main driveway on the left side and several smaller ones connecting the parking areas to the building and surrounding roads.
- Elevation Contours:** The plan is overlaid with numerous contour lines, each labeled with an elevation value. These values range from 1316.50 to 1325.00, indicating the topography of the site.
- Other Features:** The plan includes various symbols for trees, shrubs, and other landscape elements. There are also several small circles and squares scattered throughout the site, possibly representing utility poles or markers.

3"  
3"  
3"  
3"



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DRAWN

**SL**

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CHECKED

**HAL**

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SHEET SCALE

**1"=20'**

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DATE

**05.28.02**

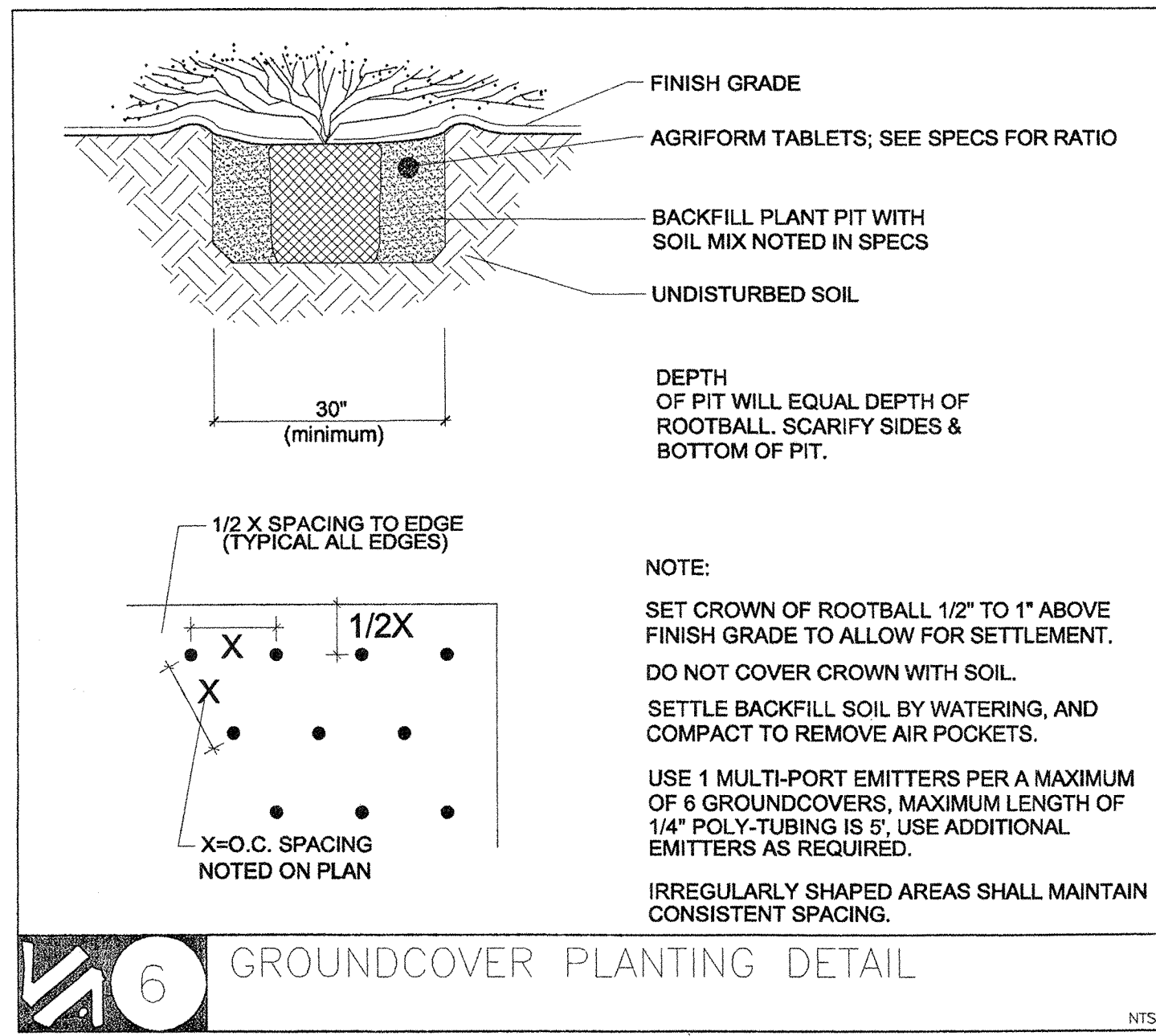
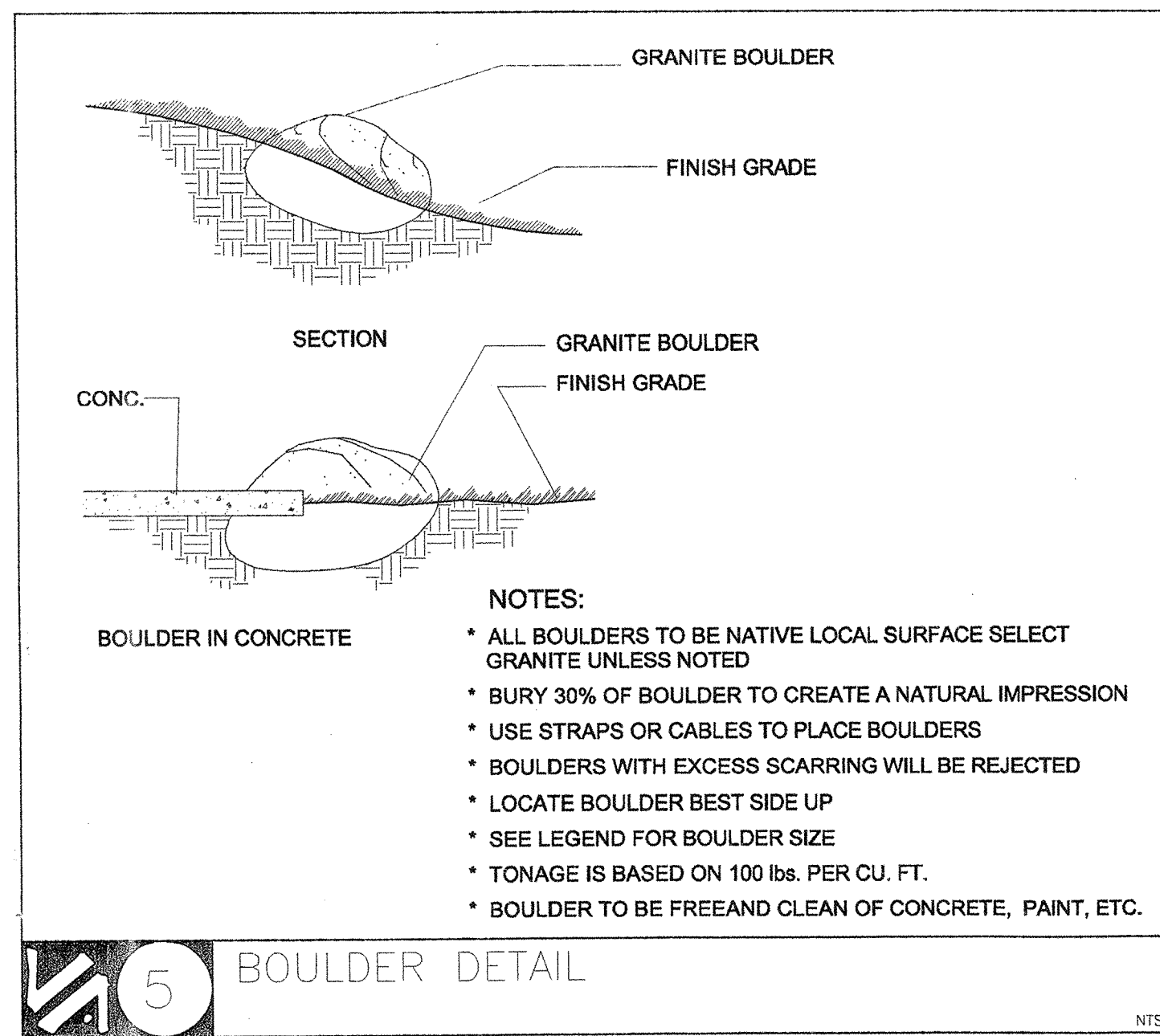
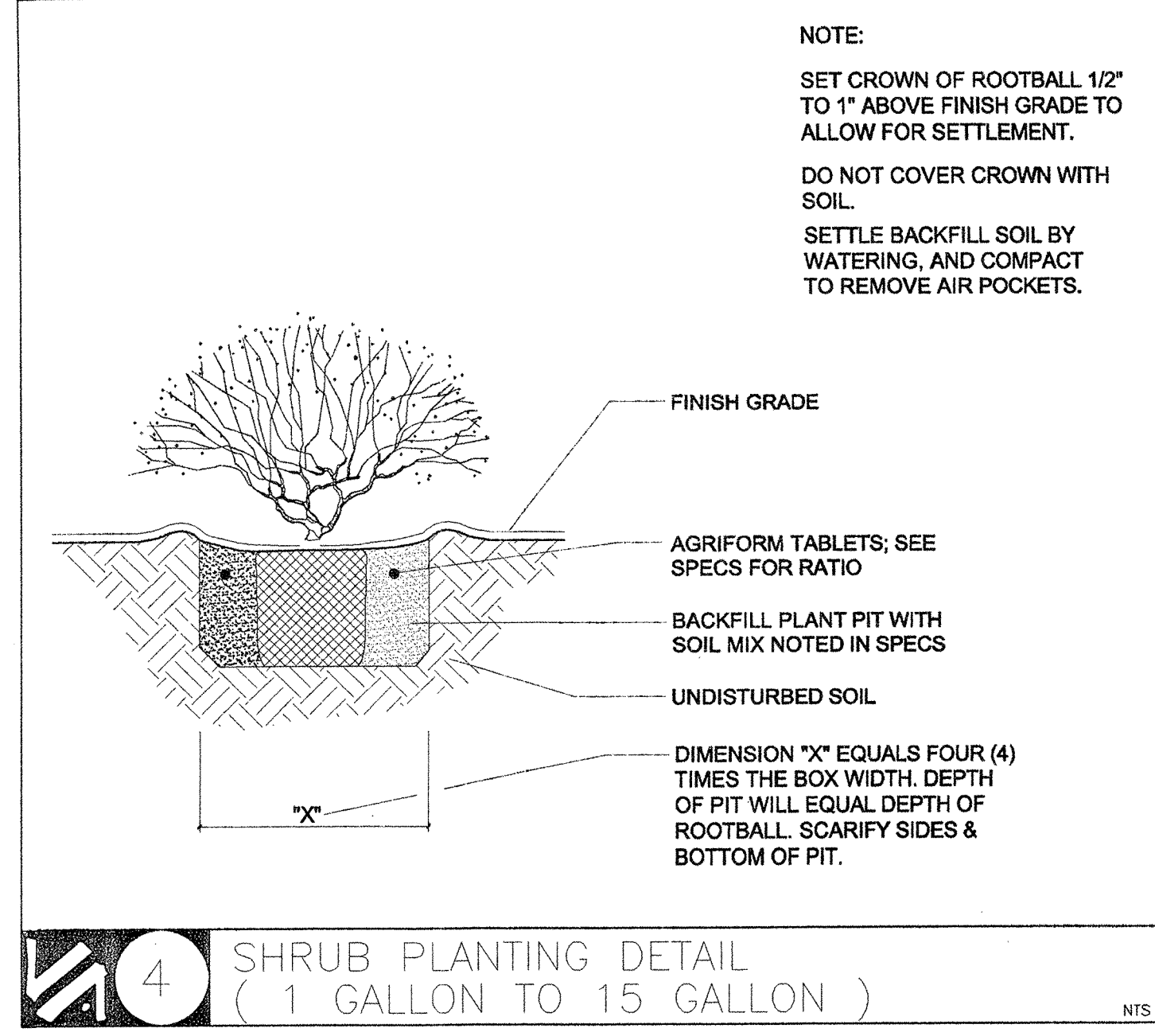
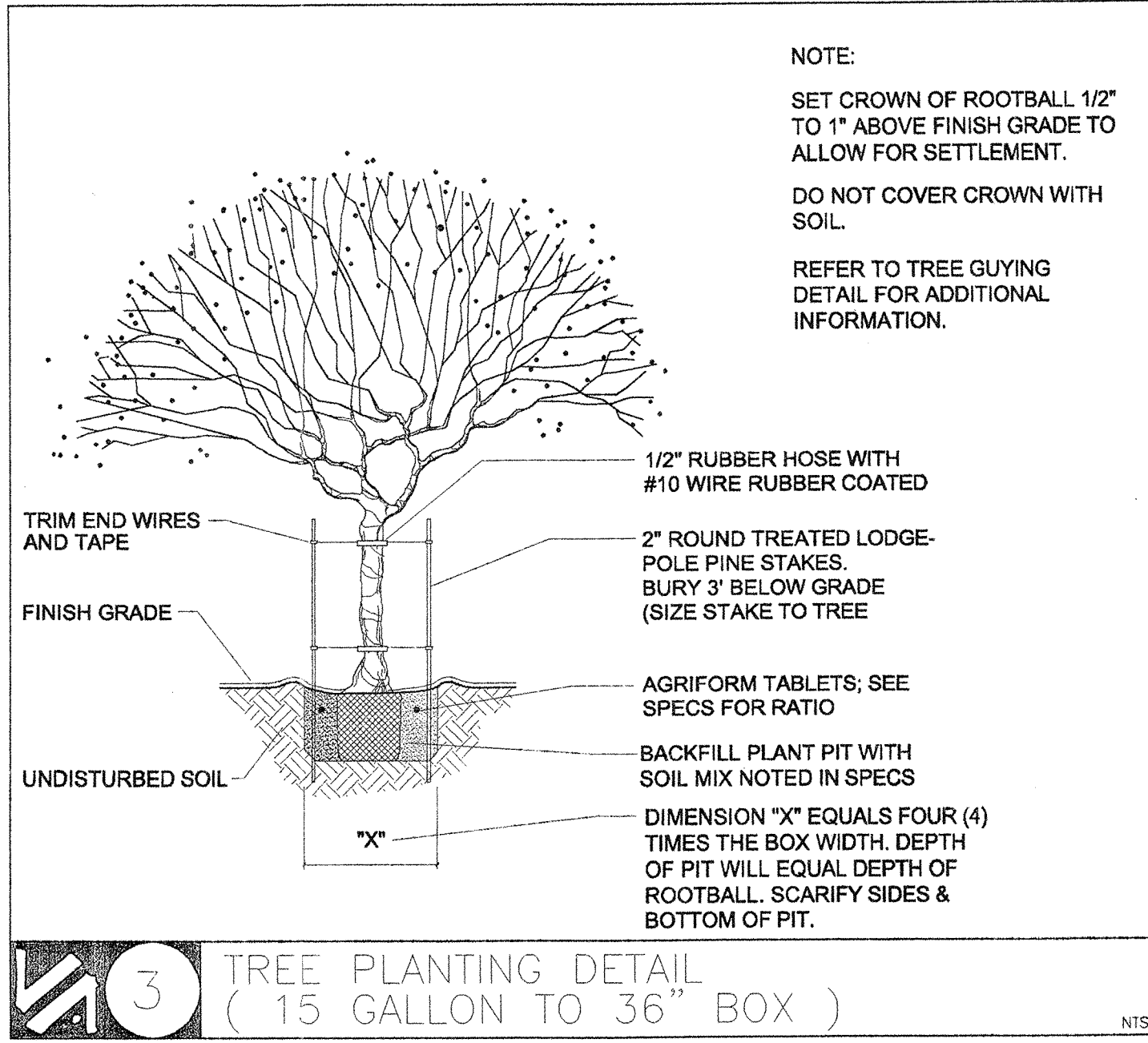
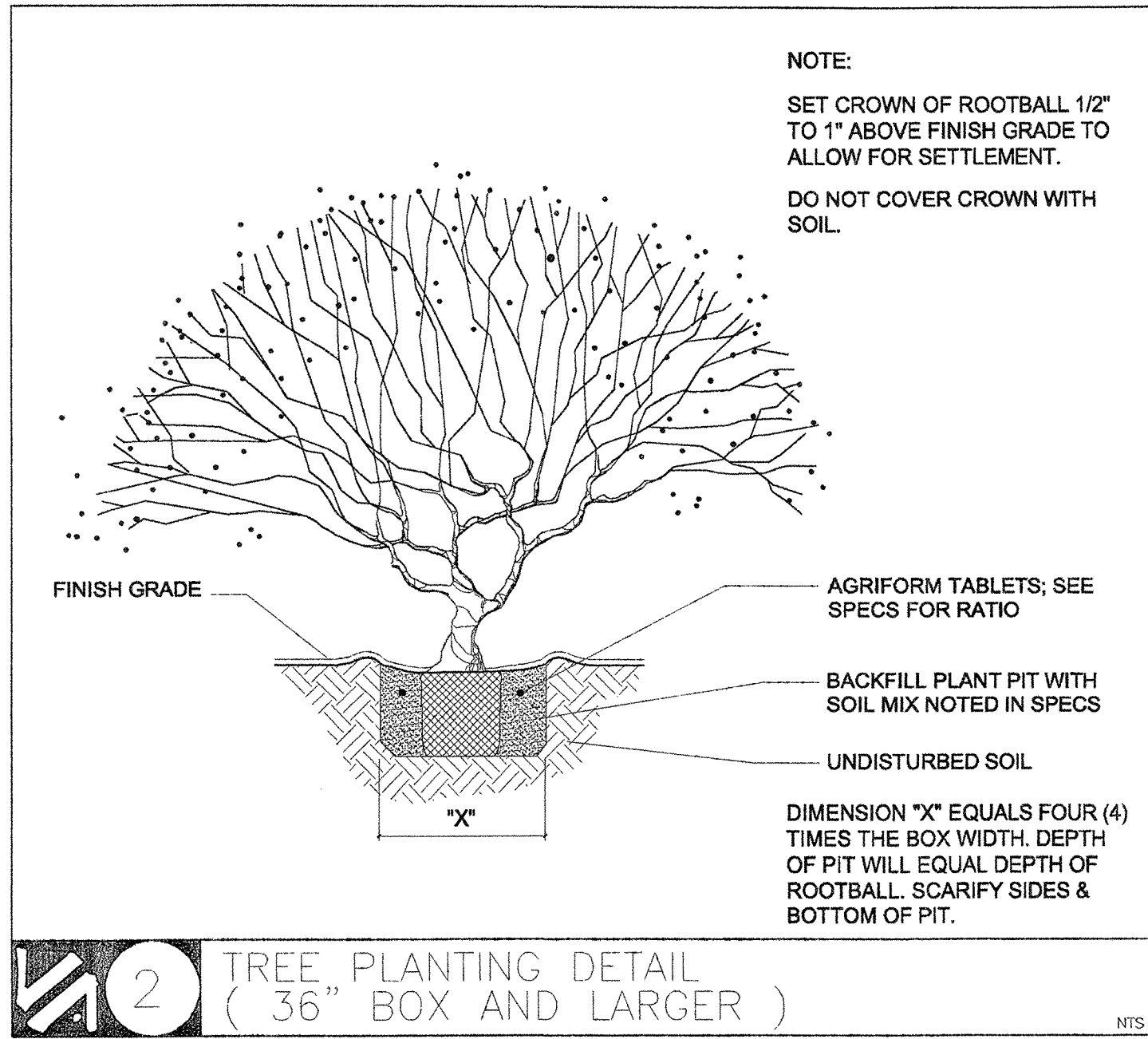
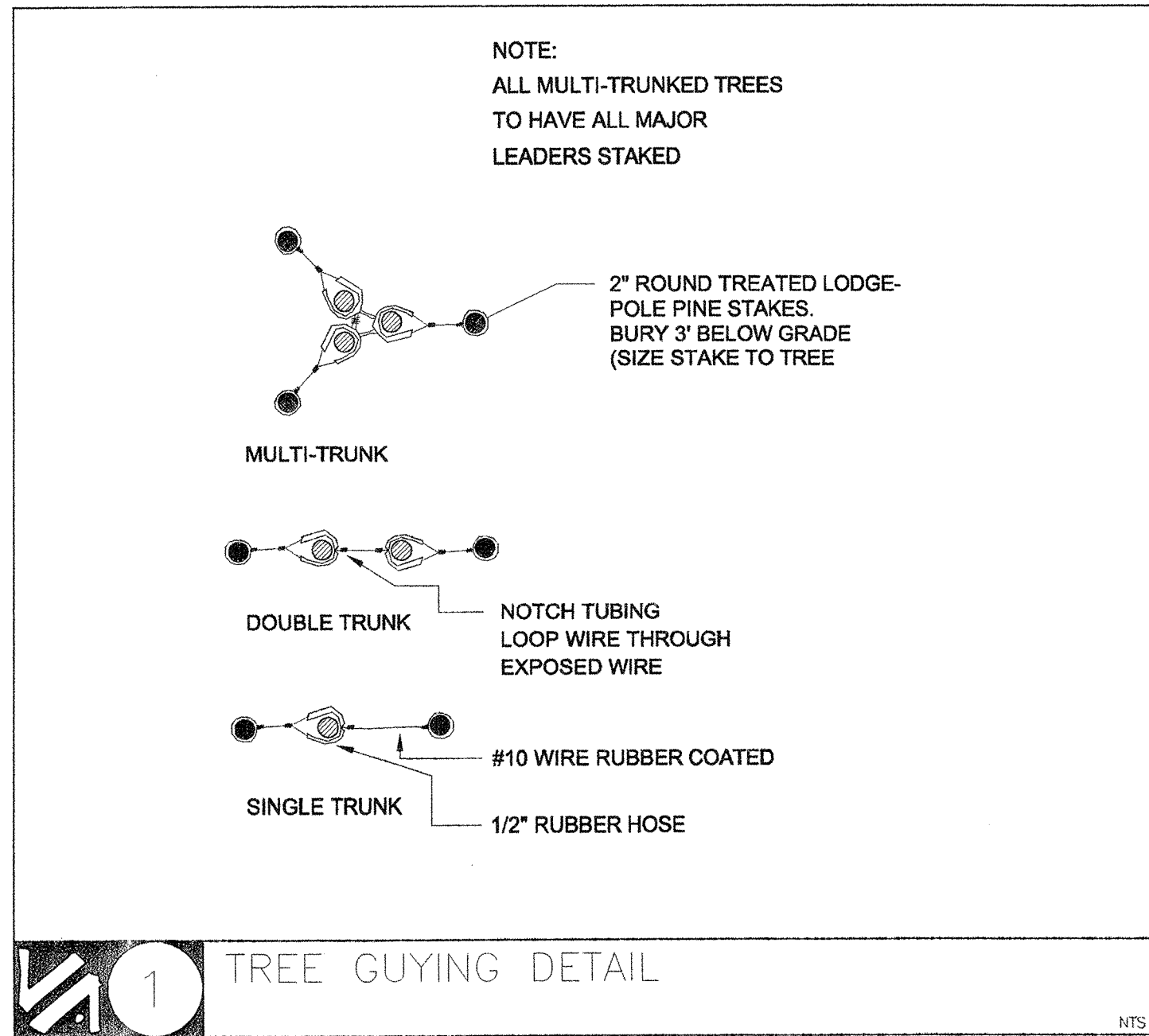
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REVISIONS

**07.22.02**

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## PART 1 - GENERAL

## 1.01 WORK INCLUDED

A. The work included under these specifications shall consist of the furnishing of all labor, material, permits, tools and equipment necessary for the complete installation of the landscaping materials as shown on the drawings and as described in the following specifications.

## 1.02 QUALITY ASSURANCE

A. For standard products, the manufacturer's analysis will be acceptable. For all other materials, analysis shall be by a recognized laboratory.

B. Analysis shall be made in accordance with the current methods of the Association of Official Agricultural Chemists.

C. Soils shall be analyzed for their composition and fertility in sustaining plant growth and health.

D. All plants furnished under this specification shall be from nursery grown stock, and they must meet the ARIZONA NURSERY ASSOCIATION of the American Association of Nurserymen, Inc. requirements as to sizing, grading, and quality. Plant materials specified shall conform with the nomenclature of STANDARDIZED PLANT NAMES, Second Edition. The Landscape Architect reserves the right to refuse all plant material based on overall appearance and quality regardless of specifications.

E. Plants of the species specified shall be furnished in the variety, size, grade, and quality indicated. Specifications and planting plans shall be strictly adhered to and no changes or substitutions will be allowed prior to bidding without written permission of the Landscape Architect, Owner, or Owner's Representative.

F. By submitting a proposal and accepting award of the Contract, the Contractor acknowledges that he has investigated the supply of planting stock available and has obtained firm commitments from his suppliers assuring delivery of the specific plant materials as required for completion of the project.

G. All plant materials shall be grown in accordance with good horticulture practices and shall bear evidence of proper nursery care during growth under climate conditions similar to those in the locality of the project for at least two (2) years. They shall have been previously transplanted or stem pruned according to standard nursery practice and inspected by State Central Agencies.

H. All plants shall be freshly dug. No heeled in plant or plants from cold storage will be accepted. Plants shall be typical of their species or variety and have normal habits of growth, be healthy and vigorous, well branched, and have dense foliage when in leaf. All plants, including root systems, shall be free of disease, disfiguring knots, sunscald, insect pests, eggs or larvae, dead or broken branches, bark abrasions, and have healthy well developed root systems. The root systems of container grown plants shall be sufficiently developed to hold the earth intact upon removal from the container.

I. Planting, sodding, and seeding shall be performed by personnel familiar with planting procedures and under the supervision of a qualified planting foreman.

## 1.03 SUBMITTALS

A. Submit a soil fertility test of the planting soil for approval by the Landscape Architect prior to delivery of soil to the project site. Test reports shall indicate the location of the source for soil.

B. Upon completion of the work, submit a schedule satisfactory to the Landscape Architect for the maintenance of all plant material.

## PART 2 - PRODUCTS

## 2.01 SOD

A. Approved nursery grade cultivated grass sod, species and cultivar as indicated on the drawings with strong, fibrous root system; free from stones and burned or bare spots.

## 2.02 PLANTING SOIL FOR PLANT PITS AND BEDS

A. Fertile, friable, natural loam containing a liberal amount of humus, capable of sustaining vigorous plant growth. The pH value of the planting soil shall not be higher than 7.5 or lower than 5.5. It shall be free of any admixture of subsoil, stones, lumps, clods of hard earth, plants, or their roots, sticks, and other extraneous matter. Do not use planting soil for planting operations while in a frozen or muddy condition.

## 2.03 PEAT

A. Acceptable peat moss consisting of at least 73% organic content of natural occurrence. It shall be brown, clean, low in content of mineral and woody materials, milky acid, and granulated or shredded.

## 2.04 FERTILIZER

A. Commercial Fertilizer: A complete fertilizer, conforming to FS 0-24-24, Type I, Grade A, part of the elements of which are derived from organic sources containing the following percentages by weight:

10% nitrogen      5% nitrogen  
10% phosphoric acid -or- 10% phosphoric acid  
10% potash      5% potash

B. Organic Fertilizer: An organic activated fertilizer containing a minimum of five percent (5%) nitrogen, three percent (3%) phosphoric acid, and other basic elements by weight.

C. Deliver fertilizer mixed as specified in standard size bags, showing weights, analysis, and name of manufacturer. Store in weatherproof storage place in such manner that it will be kept dry and its effectiveness not impaired.

D. The Landscape Architect reserves the right to vary the percentages of the components of the fertilizers subject to the results of the soil fertility tests.

## 2.05 WATER

A. Shall be furnished by the General Contractor. The Contractor shall furnish all necessary hose, equipment, attachments, and accessories for the adequate irrigation of all planted areas as may be required to complete the work as specified.

## 2.06 PLANT MATERIAL

A. All old abrasions and cuts shall be completely caloused over. All shrubs shall be measured when their branches are in their normal position. Height and spread dimensions specified refer to the main body of the plant and not from branch or root tip to tip.

B. Shrubs shall be matched specimens from single block source.

C. Evergreen trees not fully branched from top to bottom will be rejected, and those with terminal leaders exceeding twelve (12") inches in length will also be rejected. During the spring planting seasons, any evergreen plant delivered with new growth in an advanced stage of candling out will be rejected.

D. Plants shall not be pruned before delivery. Trees which have damaged or crooked leaders, or multiple leaders, unless specified, will be rejected. Trees with bark abrasions, sunscalds, disfiguring knots, or fresh cuts of limbs over one and a quarter inches (1 1/4") which have not completely caloused will be rejected. Plants shall be freshly dug or container grown. Heeled in plants or plants from cold storage will not be accepted.

E. Plants shall be true to species and variety, and shall conform to measurements specified on the Drawings. Plants larger than specified may be used if approved by the Landscape Architect. Use of such plants shall not increase contract price. If larger plants are approved, the ball of earth shall be increased proportionally with the size of plant.

F. Substitutions of plant materials will not be permitted unless authorized in writing by the Landscape Architect. Proof must be submitted that use of nearest equivalent size of variety with corresponding adjustment of Contract Price. Such proof shall be substantiated and submitted in writing.

G. It shall be the responsibility of the Contractor to determine required quantities of plants, as no compensation will be made for error in plant quantities. If plant counts occur on plant legend, it is for the convenience of the contractor only. Verify plant counts with plan. In case of discrepancy, plan shall govern.

H. Each plant shall be properly identified with legible waterproof tags securely fastened. Tags shall remain on the plants until after final acceptance and then be promptly removed by the Contractor.

## PART 3 - INSTALLATION

## 3.01 INSPECTION OF PLANT MATERIAL

A. Plants shall be subject to inspection and approval by Landscape Architect at place of growth and upon delivery. Written request for inspection of plant materials at place of growth shall be submitted to the Landscape Architect at least ten (10) calendar days prior to delivery. This written request shall state place of growth and quantity of plants to be inspected. Landscape Architect reserves the right to waive inspection. Such approval shall not impair the right of inspection and rejection upon delivery at the project site or during the progress of the work for size and condition of balls or roots, diseases, insects, and latent defects or injuries. Rejected plants must be immediately removed from the project site.

B. Certificates of inspection of plant materials as may be required by Federal, State or other authorities to accompany shipments and be furnished to Owner upon completion of project.

## 3.02 DIGGING AND HANDLING

A. Digging shall be done the same season of planting and shall be done by hand as to not injure plants and to meet size requirements. No plant other than the required samples shall be dug or delivered to the site until the required inspections have been made and the plants or samples approved.

B. Dig balled and burlapped (BB) plants with firm, unbroken natural balls of earth, of sufficient diameter and depth to include the fibrous and feeding roots. No synthetic or mudded in balls will be accepted. No plants moved with a ball will be accepted if the ball is cracked or broken before or during planting operations.

C. Roots or ball of all plants shall be adequately protected at all times from excessive exposure to wind, sun, rain, hail, etc. Balled and burlapped plants that cannot be planted immediately on delivery shall be set on the ground and well protected with soil, wet moss or other acceptable insulating material. Bare rooted plants shall be planted or heeled in immediately upon delivery.

D. All plant material shall be handled carefully to prevent injury to rootballs, trunks, or branches. Any plant suffering damage sufficient to impair its health and/or natural form will be rejected. No plant shall be bound with wire or rope at any time so as to damage the bark or break branches.

## 3.03 FERTILIZING SOD SUBSOIL

A. Apply fertilizer at a rate recommended by manufacturer. Apply after line grading and prior to compaction. Mix thoroughly into upper two (2") inches of topsoil.

B. Lightly water to aid the breakdown of fertilizer.

C. Apply fertilizer within forty-eight (48) hours.

## 3.04 LAYING SOD

A. Lay sod as soon as possible after delivery to prevent deterioration.

B. Lay sod closely knit together with no open joints visible, and pieces not overlapped. Lay smooth and flush with adjoining grass areas. Finish grade to be one and a half inches (1 1/2") below paving and top of surface curbs.

C. Immediately water sodded areas after installation. Water in sufficient amount to saturate sod and upper four inches (4") of soil.

D. After sod and soil has dried sufficiently to prevent damage, roll sodded areas to ensure good bond between sod and soil and to remove minor depressions and irregularities. Ensure rolling equipment weight not over 250 lbs. or less than 150 lbs.

## 3.05 TIME OF PLANTING

A. The contractor shall notify the Landscape Architect in writing when other divisions of the work have progressed sufficiently to commence landscape work, including placing of topsoil to finish grade. Thereafter, conduct planting operations under favorable weather conditions.

B. Any plant material installed during typical off seasons (hot summer months or freezing winter months) shall be done at the Contractor's own risk and the Contractor shall be held responsible for replacement of any plant material damaged due to these adverse conditions.

## 3.06 PLANTING OPERATIONS

## A. General

1. The Contractor shall coordinate all aspects of the landscape operations with all aspects of the site construction. The work shall proceed as the indicated portions of the site become available, consistent with the seasonal limitations for landscape planting.

2. The Contractor shall be responsible for any damage to utilities construction, sitework construction, and underground sprinkler systems and shall bear the full cost to repair the damage. Accomplishment of repairs shall be equal to the original installation prior to damage. Any damage shall be immediately reported to the Landscape Architect and repairs shall be approved by him before it is buried.

3. Maintain all trench or grade stakes for work under other Sections until the removal is approved by the Landscape Architect.

4. The Contractor shall stake plant location, shrub pits, and other planting areas and secure the Landscape Architect's approval before starting excavation of same, making adjustments as necessary.

5. Unless otherwise directed by Landscape Architect, indication of plant on drawings is to be interpreted as including digging, watering, furnishing plant of specified size, work of planting, mulching, staking, wrapping, and watering.

6. Plant Pits and Beds

1. Plant pits shall be excavated with vertical sides, large enough to allow twelve (12") inches of space around the ball in all directions. Adjust depth as necessary to permit a minimum of twelve (12") inches planting soil under the ball when the plant is set at the proper depth.

2. Planting pit backfill for all trees and shrubs shall be as follows:

1. 2/3 parts by volume on site soil.

2. 1/3 parts by volume forest mulch.

3. One pound 13-20-0 per cubic yard of mix.

3. Planting pits shall be backfilled with prepared backfill and be water settled to a grade level. The soil in the setting of plant the finish grade level after settlement will be the same as that at which plants were grown. Agriform tablets to be used with each planting (six (6) for 36" box, three (3) for 15 gallon, two (2) for 5 gallon, and one (1) for 1 gallon).

## C. Installations

1. Set plants in center of pits, plumb and straight and at such a level that after settlement the crown of the plant shall be two (2") inches below finish grade and forming a shallow trough directly over the ball of earth and slightly smaller than the pit to facilitate watering. Space all plants as shown.

2. Set balled and burlapped plants upon a well tamped layer of planting soil. Backfill around soil with planting soil in six to eight (6" - 8") inch lifts, each thoroughly tamped and puddled to top of pit. Avoid air pockets. Remove all ropes and wires from tops and sides of balls. No burlap shall be pulled out from under the balls.

3. Plants supplied in containers shall be installed immediately upon being removed from their containers. Removal of plants from containers shall be in a manner that will not disturb the root system or the soil in which they were planted. Under no conditions shall the plant be removed from the containers by pulling on the main stem or plant growth. No plants shall be installed with their containers remaining attached, except as noted on the drawings.

4. Before installing bare root plants, planting soil shall be placed and compacted to a depth of twelve (12") inches in the bottom of the plant pit. The plants shall be installed with their roots evenly distributed and spread in their natural position, with the planting soil being carefully placed and compacted around the roots so as to leave no air space.

D. Pruning, Wrapping, Mulching, Staking, and Spraying

1. Pruning

a. Plants shall not be pruned prior to delivery unless Landscape Architect gives written permission. Pruning will occur only at time of planting and according to standard horticultural practice and at the direction of the Landscape Architect. Amount of pruning shall be limited and is not to exceed thirty-three (33%) percent of total plant as necessary to remove dead or injured twigs and branches and to compensate for root loss resulting from transplanting. Do not cut leaders.

b. Remove all dead wood, suckers, and broken or badly bruised branches.

c. Pruning shall be done with clean, sharp tools according to standard horticultural practices. Cuts shall be made at an angle and shall be smooth.

d. Cuts over 1/2" inch diameter shall be painted over with approved tree paint. Paint shall cover all exposed cambium as well as other exposed living tissue.

e. Injured cambium and bark will be replaced with a material tracked back to living tissue and removed. Smooth and shave wounds so as not to retain water. Treat wound with paint.

2. Staking and Guying

a. Stake or guy all trees per detail. Trees which blow down, sway excessively, or are otherwise injured because of improper bracing shall be replaced at Contractor's expense.

3. Spraying

a. All groundcover and non-lawn areas shall be treated with pre-emergent.

4. Decomposed Granite

a. Prior to placing, the area shall be totally free of weeds using chemical control. Apply a pre-emergence control (Surflan or prior approved equivalent) according to manufacturer's recommendations. The decomposed granite shall be evenly distributed at the designated areas to a depth of two (2") inches. After placing and grading, lightly water to remove fine materials from the surface and water settle or roll to an extent satisfactory to the Landscape Architect. Apply second application of pre-emergence control according to manufacturer's recommendations.

b. Decomposed granite shall match size and color on plants, shall be free from lumps or balls of clay and shall not contain calcareous coating, coliche, organic matter or deleterious substances. Color and source of decomposed granite shall be approved by the Landscape Architect. All material shall be from a single production source and shall present a uniform appearance. Material containing clumps which will not disintegrate with a shovel blow shall be rejected.

5. Workmanship as necessary.

a. Install rock to a depth as indicated on the plans (typically two (2") inches thick).

6. Workmanship - Berms

a. Earth berms (mounding) shall take the form indicated on the plans. The Landscape Architect shall inspect and approve all finished grades prior to any planting.

7. Cleaning Up

a. Keep all areas of this project in a clean, neat, and orderly condition at all times. Trash burning or disposal shall not be done on the site. Prior to acceptance put all areas of the work in a finished condition acceptable to the Landscape Architect.

B. Certificates of inspection of plant materials as may be required by Federal, State or other authorities to accompany shipments and be furnished to Owner upon completion of project.

## 3.02 DIGGING AND HANDLING

A. Digging shall be done the same season of planting and shall be done by hand as to not injure plants and to meet size requirements. No plant other than the required samples shall be dug or delivered to the site until the required inspections have been made and the plants or samples approved.

B. Dig balled and burlapped (BB) plants with firm, unbroken natural balls of earth, of sufficient diameter and depth to include the fibrous and feeding roots. No synthetic or mudded in balls will be accepted. No plants moved with a ball will be accepted if the ball is cracked or broken before or during planting operations.

C. Roots or ball of all plants shall be adequately protected at all times from excessive exposure to wind, sun, rain, hail, etc. Balled and burlapped plants that cannot be planted immediately on delivery shall be set on the ground and well protected with soil, wet moss or other acceptable insulating material. Bare rooted plants shall be planted or heeled in immediately upon delivery.

D. All plant material shall be handled carefully to prevent injury to rootballs, trunks, or branches. Any plant suffering damage sufficient to impair its health and/or natural form will be rejected. No plant shall be bound with wire or rope at any time so as to damage the bark or break branches.

## 3.03 FERTILIZING SOD SUBSOIL

A. Apply fertilizer at a rate recommended by manufacturer. Apply after line grading and prior to compaction. Mix thoroughly into upper two (2") inches of topsoil.

B. Lightly water to aid the breakdown of fertilizer.

C. Apply fertilizer within forty-eight (48) hours.

## 3.04 LAYING SOD

A. Lay sod as soon as possible after delivery to prevent deterioration.

B. Lay sod closely knit together with no open joints visible, and pieces not overlapped. Lay smooth and flush with adjoining grass areas. Finish grade to be one and a half inches (1 1/2") below paving and top of surface curbs.

C. Immediately water sodded areas after installation. Water in sufficient amount to saturate sod and upper four inches (4") of soil.

D. After sod and soil has dried sufficiently to prevent damage, roll sodded areas to ensure good bond between sod and soil and to remove minor depressions and irregularities. Ensure rolling equipment weight not over 250 lbs. or less than 150 lbs.

## 3.05 TIME OF PLANTING

A. The contractor shall notify the Landscape Architect in writing when other divisions of the work have progressed sufficiently to commence landscape work, including placing of topsoil to finish grade. Thereafter, conduct planting operations under favorable weather conditions.

B. Any plant material installed during typical off seasons (hot summer months or freezing winter months) shall be done at the Contractor's own risk and the Contractor shall be held responsible for replacement of any plant material damaged due to these adverse conditions.

## 3.06 PLANTING OPERATIONS

## A. General

1. The Contractor shall coordinate all aspects of the landscape operations with all aspects of the site construction. The work shall proceed as the indicated portions of the site become available, consistent with the seasonal limitations for landscape planting.

2. The Contractor shall be responsible for any damage to utilities construction, sitework construction, and underground sprinkler systems and shall bear the full cost to repair the damage. Accomplishment of repairs shall be equal to the original installation prior to damage. Any damage shall be immediately reported to the Landscape Architect and repairs shall be approved by him before it is buried.

3. Maintain all trench or grade stakes for work under other Sections until the removal is approved by the Landscape Architect.

4. The Contractor shall stake plant location, shrub pits, and other planting areas and secure the Landscape Architect's approval before starting excavation of same, making adjustments as necessary.

5. Unless otherwise directed by Landscape Architect, indication of plant on drawings is to be interpreted as including digging, watering, furnishing plant of specified size, work of planting, mulching, staking, wrapping, and watering.

6. Plant Pits and Beds

1. Plant pits shall be excavated with vertical sides, large enough to allow twelve (12") inches of space around the ball in all directions. Adjust depth as necessary to permit a minimum of twelve (12") inches planting soil under the ball when the plant is set at the proper depth.

2. Planting pit backfill for all trees and shrubs shall be as follows:

1. 2/3 parts by volume on site soil.

2. 1/3 parts by volume forest mulch.

3. One pound 13-20-0 per cubic yard of mix.

3. Planting pits shall be backfilled with prepared backfill and be water settled to a grade level. The soil in the setting of plant the finish grade level after settlement will be the same as that at which plants were grown. Agriform tablets to be used with each planting (six (6) for 36" box, three (3) for 15 gallon, two (2) for 5 gallon, and one (1) for 1 gallon).

## 3.09 INSPECTION FOR ACCEPTANCE

A. Inspection of the landscaping work to determine completion of contract work, exclusive of plants, will be made by the Landscape Architect at the conclusion of the maintenance period.

B. Acceptance: After inspection, the Contractor will be notified in writing by the Landscape Architect of all work of this Section, exclusive of the possible replacement of plants subject to reinspection and guarantee, or if there are and deficiencies of the requirements for completion of the work.

C. Upon acceptance made by the Landscape Architect, the Contractor's maintenance is terminated and the guarantee period begins.

## 3.10 PLANT GUARANTEE AND REPLACEMENT/FINAL ACCEPTANCE

A. The guarantee is for a period of one (1) year from date of acceptance by the Landscape Architect. The guarantee is for all new plant material, lawns, transplants, and existing plant material.

B. At the end of the guarantee period, the Landscape Architect shall inspect all guaranteed work for Final Acceptance upon written request of Contractor. Request shall be received at least ten (10) calendar days before anticipated date for final inspection. Upon final inspection and reinspection or replacements or repairs necessary in judgment of Landscape Architect at that time, Landscape Architect shall certify in writing to Owner as to Final Acceptance of plantings. Contractor shall replace, without cost to Owner, as soon as weather conditions permit, and within specified planting period, all dead plants and all plants not in vigorous thriving conditions as determined by Landscape Architect at the end of guarantee period. Plants shall be free of dead or dying branches and branch tips, and shall bear foliage of normal density, size, and color. Replacements shall closely match adjacent specimens of same species and shall be equal in size to previously planted specimens, including increased growth since planting Replacement shall be subject to all requirements of this Specification. If replacement plant material is not acceptable at the end of two month period following replacement, Owner may elect subsequent replacement or credit for each item. Owner will retain sufficient amount from Contractor's payment to cover estimated cost of possible replacements at time of initial inspection for acceptance, including materials and labor. Contractor shall receive final payment only after all replacements have been made and approved.

C. Portions of lawns and/or plantings may be accepted in part upon Landscape Architect's approval.

## PART 4 - MISCELLANEOUS AND GENERAL NOTES

## 4.01 FINISH GRADING AND GRADING

A. The General Contractor to provide Landscape Contractor finish grade within + 0.1 of a foot as shown on the civil grading plan and landscape plan.

B. All mounding, berms, and finish grading to be approved by the Landscape Architect prior to planting or irrigation work.

## 4.02 GENERAL NOTES

A. The Landscape Contractor at his own expense shall procure all permits, certificates, and licenses required of him by law for the execution of this work. He shall comply with all state, county, and local laws, ordinances, rules, or regulations relating to the performance of this work. All deductions or additions will be made through a change order issued by the Architect. Changes made without a change order are not considered part of the contract and payment cannot be guaranteed.

B. The Contractor shall visit and inspect site to thoroughly inform himself of all existing conditions. Any discrepancies between existing conditions and those shown on drawings should immediately be brought to the attention of the Landscape Architect.

## IRRIGATION SPECIFICATIONS

## SECTION 02900

A. The General Contractor to provide Landscape Contractor finish grade within + 0.1 of a foot as shown on the civil grading plan and landscape plan.

B. All mounding, berms, and finish grading to be approved by the Landscape Architect prior to planting or irrigation work.

## 4.02 GENERAL NOTES

A. The Landscape Contractor at his own expense shall procure all permits, certificates, and licenses required of him by law for the execution of this work. He shall comply with all state, county, and local laws, ordinances, rules, or regulations relating to the performance of this work. All deductions or additions will be made through a change order issued by the Architect. Changes made without a change order are not considered part of the contract and payment cannot be guaranteed.

B. The Contractor shall visit and inspect site to thoroughly inform himself of all existing conditions. Any discrepancies between existing conditions and those shown on drawings should immediately be brought to the attention of the Landscape Architect.

## IRRIGATION SPECIFICATIONS

## SECTION 02900

## PART 1 - GENERAL

## 1.01 WORK INCLUDED

A. The work included under these specifications shall consist of the furnishing of all labor, materials, permits, tools, and equipment necessary for the complete installation of a sprinkler irrigation system in accordance with the following specifications and accompanying drawings.

B. It is the intent of these drawings and specifications to form a guide for a complete installation, and although some items may not be specifically noted, but are reasonably necessary for a complete installation, they shall be furnished under this contract. Sprinklers shall be located such that adequate overlapping of the spray will provide uniform head to head (100%) coverage. The system shall efficiently and evenly irrigate all areas, and shall be complete in every respect, ready for operation by the Owner.

C. It is the responsibility of the Irrigation Contractor to provide 100% coverage to all landscape areas.

## 1.02 CONTRACTOR'S QUALIFICATIONS

A. Installers shall be licensed irrigation contractors with experience in the installation of automatic underground lawn sprinkling systems. All work shall be performed in a professional workmanlike manner by mechanics skilled in the trade.

B. The Contractor shall be responsible for any damage to any work covered by these specifications, under his care and custody, until final acceptance of his work.

C. The Contractor shall obtain all permits from, pay required fees to, and arrange any necessary inspections by any government agency having jurisdiction over the work.

## 1.03 VERIFICATION OF DRAWINGS AND SPECIFICATIONS

A. It shall be the Contractor's responsibility to carefully examine the drawings and specifications, and to visit the site in order to check existing conditions prior to bidding. Any conflict or errors shall be immediately brought to the attention of the Landscape Architect for interpretation or instructions. Otherwise, any changes necessary to meet existing conditions, shall be made at the Contractor's expense.

B. It is the Irrigation Contractor's responsibility to verify water pressure, water source, and size in the field prior to construction. Should a discrepancy exist between design pressure and the field pressure the Landscape Architect shall be notified immediately.

## 1.04 WORKING CONDITIONS

A. The Contractor shall confine his operations to the areas allotted to him by the Owner, for his work and for material and equipment storage.

B. The Contractor shall continuously maintain a competent superintendent, satisfactory to the Owner, on the work during progress, with authority to act for the Contractor in all matters pertaining to the work.

C. The Contractor shall not assign nor sublet any portion of this work without written approval by the Owner.

D. The Contractor shall be responsible for staking out the system from the drawings, using the property lines and building dimensions as a guide.

E. The Contractor shall coordinate his work with that of the other trades, so as to avoid any conflict, and carry the installations to a rapid completion without any unnecessary delays.

## PART 2 - PRODUCTS

## 2.01 PIPING

A. All pressure main piping, on the supply side of the zone valves, shall be class 200 PVC with integrally formed bell-tite joint couplers. All fittings shall be solvent welded, schedule 40 PVC.

B. All lateral piping, on the discharge side of the zone valves, two (2") inches and under, shall be class 200 PVC. Fittings shall be schedule 40 PVC material.

C. All plastic to metal shall be made with PVC schedule 40 male adaptors or PVC schedule 80 nipples. Joints are to be made by such connections shall be Fernmatex type II Teflon tape or a prior approved equivalent.

D. Where pipes are installed under roads, drives, parking areas or walks, schedule 40 PVC sleeves shall be provided for the pipes. In planting areas, where cultivation might damage shallow plastic piping, protective sleeves must be provided, unless copper tubing is installed. Risers in flower beds and shrubbery shall be schedule 80 PVC.

## 2.02 SPRINKLER HEADS

A. Emitter heads shall be on PVC laterals, or prior approved equivalent.

## 2.03 AUTOMATIC CONTROLLER

A. Unit features shall include mechanical time control design, adjustable time setting up to 60 minutes per station, 24-hour clock, 14-day calendar, and automatic advance. Unit shall be UL listed and shall operate on 120 volt, 1 phase, 60 Hertz power. General Contractor to bring power to controller. Irrigation Contractor to hardwire to controller, see detail.

## 2.04 QUICKCOUPLING VALVES

A. Furnish and install where shown on the drawings quick-coupler with swivel and hose bib, 3/4" size, or prior approved equivalent. They shall be mounted on one (1") inch copper swing joint risers, and the risers shall be set flush with the top of the planters. Furnish and deliver to the Owner double-lug coupler key complete with one (1") inch hose swivel for connecting to the above valves. Also furnish two (2) lockstop cover key.

## 2.05 ELECTRICAL CONTROL CABLE

A. All electrical control and ground wire shall be irrigation control cable of size as required. All wiring to be used for connecting the automatic remote control valve to the automatic controllers shall be type "UF" 600 volt, stranded or solid copper, single conductor core conduit, cables or pipeline damaged during the installation of the irrigation system.

B. All control or "hot" wires shall be on one color (red) and all common or "ground" wires shall be or another color (white).

C. Verification of wire types and installation procedures shall be checked to conform to local codes.

D. All electric control cable shall be of size as determined by the equipment manufacturer and shall be installed in the piping trenches wherever possible and in the manner recommended by the manufacturer, leaving slack in the wire. Expansion joints in the wire may be provided at 200-foot intervals by making five or six (5 or 6) turns of the wire around a piece of 1/2" inch pipe, where it is necessary to run wire in a separate trench, the wire shall have a minimum cover of twelve (12") inches.

## PART 3 - INSTALLATION

## 3.01 PROTECTION OF UTILITIES, IRRIGATION SYSTEM, ETC.

A. The Contractor shall verify the location of all utilities and mark location of utilities, irrigation piping and underground obstructions. The contractor shall be responsible for the cost of repairing buried conduit, cables or pipeline damaged during the installation of the irrigation system.

B. The Contractor shall clearly mark and maintain markers showing locations of irrigation system wiring and piping installed in order that other contractors may avoid damaging this work.

C. The Contractor shall take necessary precautions to protect site conditions and plant materials which are to remain. Should damage be incurred, Contractor shall repair damage to its original condition or furnish and install equal replacement at his expense.

D. The Contractor shall coordinate with the Landscape Architect to provide irrigation to existing materials.

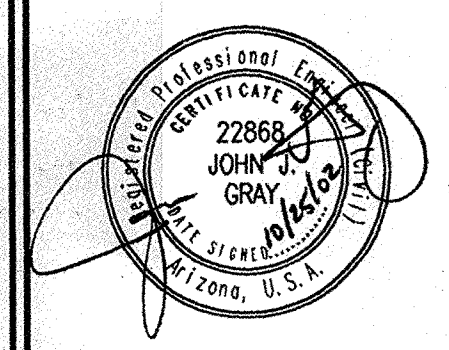
## 3.02 EXCAVATION

A. The Contractor shall do all necessary excavation for the proper installation of his work. Machine trenchers used on the site shall be of an approved type to cut smooth-bottom trenches on uniform slopes. Trenches shall be no wider than necessary to lay the pipe, except where necessary to make joints. Over excavating shall be backfilled and carefully tamped to provide a smooth and firm bearing surface for laying the pipe. When necessary, Contractor must provide barricades and lights to protect



**SITE PLAN**  
**ASCENSION LUTHERAN CHURCH**  
**7100 NORTH MOCKINGBIRD LANE**  
**PARADISE VALLEY, ARIZONA**

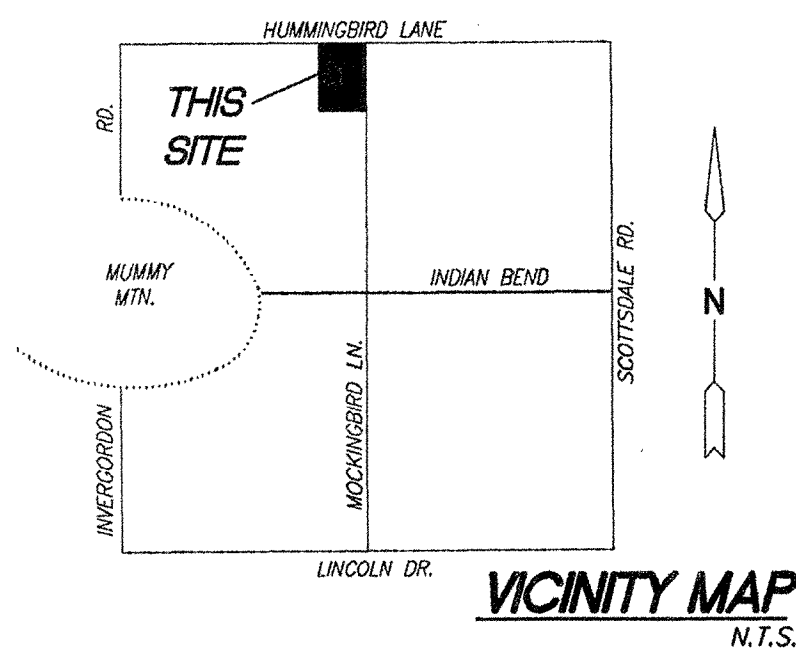
REVISIONS	
DRAWING STATUS:	



DATE ISSUED	04/18/02
DESIGNED BY	JAG
DRAWN BY	JAG
CHECKED BY	JAG
PROJECT NO.	4929
DRAWING NO.	C-1.00

**C-1.00**  
**SITE PLAN**  
1"=40'

**SPECIAL USE PERMIT**  
**MINOR AMENDMENT**



**OWNER/ SITE ADDRESS**

ASCENSION LUTHERAN CHURCH  
7100 NORTH MOCKINGBIRD LANE  
PARADISE VALLEY, ARIZONA 85263

**CLIENT**

CCG CONSTRUCTION, LLC  
3333 EAST CAMELBACK RD.  
SUITE 250  
PHOENIX, ARIZONA 85018

**ENGINEER**

EVANS, KUHN & ASSOCIATES  
727 EAST BETHANY HOME ROAD  
SUITE D-225  
PHOENIX, ARIZONA 85014

**LEGAL DESCRIPTION**

LOT 1 OF MEADOWLARK ACRES ACCORDING TO BOOK 194 PAGE 11  
RECORDS OF MARICOPA COUNTY, ARIZONA

**AREA INFORMATION AND PROJECT DATA**

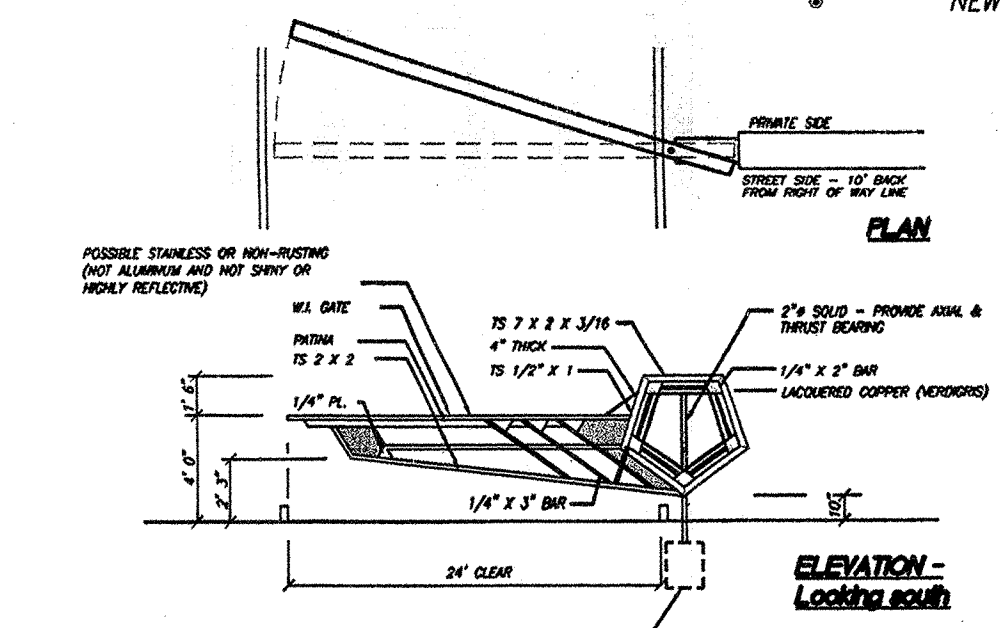
AREA=275,250 sq. ft. = 6.32 acres  
ALLOWABLE HEIGHT = 75 FEET  
ACTUAL BUILDING HEIGHT = 57 FEET  
ALLOWABLE SPIRE HEIGHT = 100 FEET  
ACTUAL SPIRE HEIGHT = 100 FEET  
TOTAL FLOOR AREA = 15,823 sq. ft.  
TOTAL FOOTPRINT AREA = 11,691 sq. ft.  
LOT COVERAGE = 4.25%  
ALLOWABLE COVERAGE = 20%  
NORTH PARKING AREA = 70,656 sq.ft.  
NORTH PARKING AREA LANDSCAPE = 18,130 sq.ft. = 25.7%  
SOUTH PARKING AREA = 28,346 sq.ft.  
SOUTH PARKING AREA LANDSCAPE = 10,130 sq.ft. = 35.7%

**SUMMARY OF THE PARKING CALCULATIONS**

PARKING ALLOWED		800 SEATS	266 SPACES
TOTAL NUMBER OF SEATS IN THE SANCTUARY AT BUILD-OUT, PROVIDE ONE SPACE PER THREE SEATS (PER SECTION 6 OF THE ZONING ORDINANCE)			
TOTAL ALLOWED			266 SPACES
EXISTING PARKING			
NORTH LOT	69 SPACES		
SOUTH LOT	42 SPACES		
ACCESSIBLE	3 SPACES		
TOTAL	114 SPACES		
PARKING TO BE PROVIDED			
NORTH LOT	158 SPACES		
SOUTH LOT	42 SPACES		
ACCESSIBLE	7 SPACES		
TOTAL	207 SPACES		

**LEGEND**

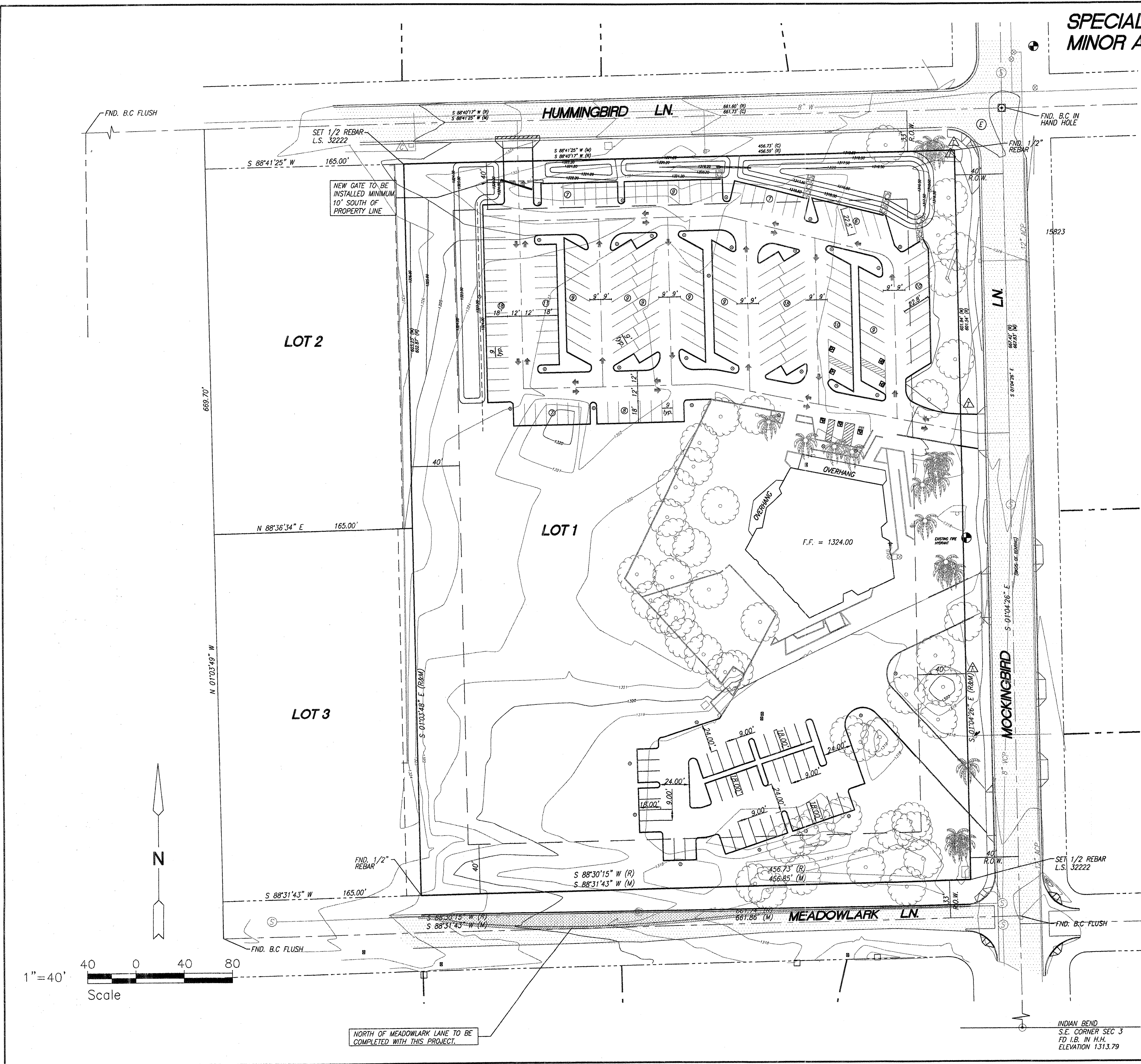
- |                          |                                |
|--------------------------|--------------------------------|
| MONUMENT LINE/CENTERLINE | BRASS CAP IN HANDHOLE          |
| PROPERTY LINE            | FOUND 1/2" REBAR               |
| RIGHT-OF-WAY LINE        | SANITARY SEWER MANHOLE         |
| EASEMENT LINE            | ELECTRIC MANHOLE               |
| ELECTRIC LINE            | WATER VALVE                    |
| GAS LINE                 | FIRE HYDRANT                   |
| SEWER LINE               | TELEPHONE PEDESTAL             |
| WATER LINE               | M.C.R. MARICOPA COUNTY RECORDS |
| EXISTING CONCRETE        | (R) RECORD COURSE              |
| EXISTING PAVEMENT        | (C) CALCULATED COURSE          |
| BRASS CAP FLUSH          | (M) MEASURED COURSE            |
|                          | B.S.L. BUILDING SETBACK LINE   |
|                          | NEW PARKING LOT BOLLARD LIGHTS |



GATE DESIGN PROVIDED BY  
TALIESIN ARCHITECTS

CALL TWO WORKING DAYS  
BEFORE YOU DO  
**263-1100**  
HOLLY MARICOPA COUNTY

EXTERNAL  
DRAWINGS





GRADING AND DRAINAGE PLANS  
FOR  
ASCENSION LUTHERAN CHURCH

7100 NORTH MOCKINGBIRD LANE  
PARADISE VALLEY, ARIZONA

GENERAL NOTES  
(EVANS, KUHN and ASSOCIATES, INC.)

1. EXISTING UNDERGROUND UTILITIES WERE COMPILED FROM THE LATEST AVAILABLE UTILITY RECORDS AND SHOULD BE CONSIDERED APPROXIMATE IN LOCATION AND POSSIBLY INCOMPLETE. EXACT LOCATION MUST BE DETERMINED IN THE FIELD. CALL "BLUE-STAKE" A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO EXCAVATION.
2. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, CENTERLINE OF RIGHT-OF-WAY OR CENTERLINE OF STRUCTURE UNLESS NOTED OTHERWISE.
3. CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING PIPE AT PROPOSED CONNECTIONS PRIOR TO NEW PIPE INSTALLATION. NOTIFY ENGINEER IMMEDIATELY OF CONFLICTS OR DISCREPANCIES.
4. IT SHALL BE THE RESPONSIBILITY OF THE BIDDER TO VERIFY ALL QUANTITIES INCLUDING EXCAVATION, BORROW, EMBANKMENT, SHRINK OR SWELL, GROUND COMPACTION, HAUL AND ANY OTHER ITEMS AFFECTING HIS BID TO COMPLETE THE WORK TO THE ELEVATIONS SHOWN ON THE PLANS AND TO BASE HIS BID SOLELY UPON HIS OWN VERIFIED QUANTITIES IRRESPECTIVE OF THE INFORMATION FURNISHED. IT SHALL BE THE BIDDERS RESPONSIBILITY TO NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION, OR ANY MAJOR DISCREPANCIES.
5. ALL CONSTRUCTION ON SITE SHALL CONFORM TO MAG STANDARD SPECIFICATIONS AND DETAILS, UNLESS MODIFIED ON THE PLANS.
6. CONTRACTOR TO COMPLY WITH ALL ADA REQUIREMENTS RELATING TO CONSTRUCTION.
7. CONTRACTOR SHALL PROVIDE DUST CONTROL FOR ALL UNPAVED AREAS DURING CONSTRUCTION. OWNER IS RESPONSIBLE FOR PROVIDING APPROPRIATE GROUND COVER AND/OR DUST CONTROL MAINTENANCE AS NECESSARY AFTER CONSTRUCTION IS COMPLETED AND ACCEPTED.

The City of Paradise Valley "Storm Drainage Design Manual" was used as the basis for the design of storm water management for this project.

RETENTION SUMMARY

NET AREA, (A) 84,429 s.f.  
RUNOFF COEFFICIENT, (C) 0.90  
DESIGN STORM DEPTH, (d) 1.25 in.

RETENTION REQUIRED:

$$V_R = 7200 \cdot d \cdot A \cdot C$$

V<sub>R</sub> = 15,700 cu. ft.

RETENTION PROVIDED: 15,791 cu. ft.

contour	area	volume
21.2	1474	1091
20.2	707	385
19.2	62	31

1506 cu. ft.

contour	area	volume
19.5	6604.0	5833
18.5	5061.0	4345
17.5	3628.0	2961
16.5	2294.0	1147

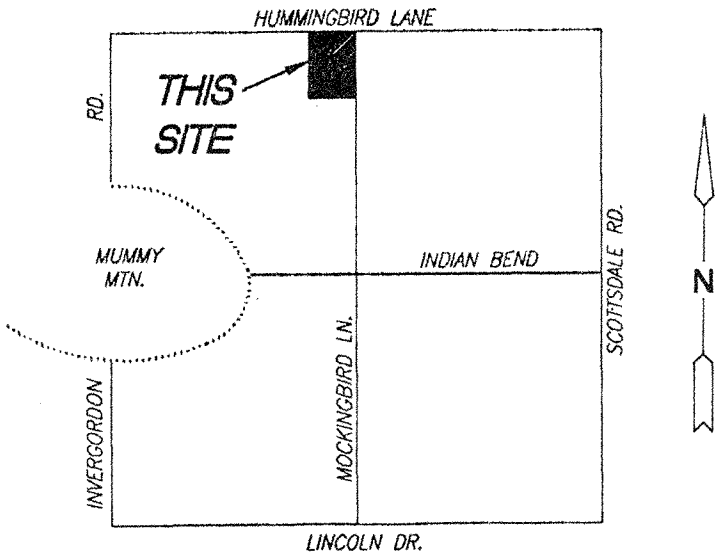
14285 cu. ft.

BASIN A AND D ONLY COLLECT WATER RUNOFF INSIDE THEIR AREAS

The proposed drainage facilities are designed to handle the runoff from the 100-year, 2-hour frequency storm for on-site runoff. The ultimate site outfall elevation 1318.82 is located on the east property line of the site onto Mockingbird Lane.

The finished floor is set adequately above the outfall protecting the building from flooding. The retention for the 100-year frequency storm will drain in less than 36 hours.

The proposed improvements for this project do not increase discharge from the site and comply with City of Paradise Valley drainage design requirements.



VICINITY MAP  
N.T.S.

ENGINEER'S ESTIMATE OF QUANTITIES

PAVING

ASPHALT PAVING SURFACE 7289 SY  
SAWCUT, REMOVE & REPLACE PAVEMENT 119 SY

CONCRETE

EXTRUDED CURB 2,780 L.F.  
RIP-RAP SPILLWAY 4 EA.  
VERTICAL CURB & GUTTER 460 L.F.

DRAINAGE

STORM WATER PIPE 19 L.F.  
12" P.V.C. SDR 35 SD

SHEET INDEX

C1.01 COVER SHEET  
C1.02 GRADING & DRAINAGE PLAN  
C1.03 HORIZONTAL CONTROL & PAVING PLAN  
C1.04 SECTION & DETAILS  
C1.05 SOUTH SIDE IMPROVEMENTS

OWNER/ SITE ADDRESS

ASCENSION LUTHERAN CHURCH  
7100 NORTH MOCKINGBIRD LANE  
PARADISE VALLEY, ARIZONA 85263

ENGINEER/SURVEYOR

EVANS, KUHN & ASSOCIATES, INC.  
727 E. BETHANY HOME ROAD, SUITE D-225  
PHOENIX, ARIZONA 85014  
PHONE: (602) 241-0782  
FAX: (602) 248-9158

CONTRACTOR

CCG CONSTRUCTION, LLC  
3333 EAST CAMELBACK RD.  
SUITE 250  
PHOENIX, ARIZONA 85018

ESTIMATED  
EARTHWORK QUANTITIES

CUT - 759 C.Y.  
FILL - 450 C.Y.

NOTE: QUANTITIES SHOWN ARE IN PLACE ESTIMATES WITH ADJUSTMENTS MADE FOR SCARIFICATION, SHRINKAGE, OR COMPACTION LOSSES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EARTHWORK QUANTITIES AND BASING HIS BID UPON HIS ESTIMATED QUANTITY.

BASIS OF BEARINGS

ASSUMED BEARING OF S01°04'26"E ALONG THE MONUMENT LINE OF MOCKINGBIRD LANE AS SHOWN ON THE RECORDED PLAT FOR MEADOWLARK ACRES, BOOK 194, PAGE 11, M.C.R.

LEGAL DESCRIPTION

LOT 1 OF MEADOWLARK ACRES ACCORDING TO BOOK 194, PAGE 11, RECORDS OF MARICOPA COUNTY, ARIZONA

AREA AND PROJECT DATA

AREA=275,250 sq. ft. = 6.32 acres  
ALLOWABLE HEIGHT = 75 FEET  
ACTUAL BUILDING HEIGHT = 57 FEET  
ALLOWABLE SPIRE HEIGHT = 100 FEET  
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ALLOWABLE COVERAGE = 20%  
NORTH PARKING AREA = 70,656 sq. ft.  
NORTH PARKING AREA LANDSCAPE = 18,130 sq. ft. = 25.7%

BENCHMARK

PARADISE VALLEY BENCH #70 BRASS CAP FLUSH 775'± WEST OF INTERSECTION OF 66TH STREET AND HUMMINGBIRD LANE.  
ELEVATION = 1373.75

FLOODPLAIN

THE SUBJECT PARCEL LIES WITHIN FLOOD ZONE "X" AS DELINEATED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM MAP NO. 04013C1695G DATED 7/19/2001.

FLOOD ZONE "X" IS DEFINED AS AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD.

LEGEND

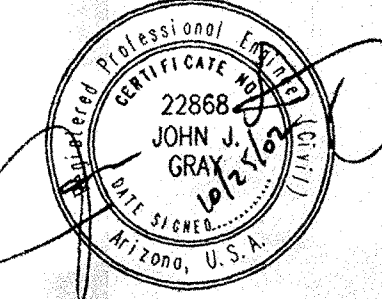
C=	CONCRETE PAVEMENT GRADE	POWER POLE	NEW CURB
P=	ASPHALT PAVEMENT GRADE	FIRE HYDRANT	EXISTING CURB & GUTTER
FG=	PROPOSED FINISHED GRADE	TRANSFORMER	RIGHT-OF-WAY LINE
S/W=	SIDEWALK GRADE	SEWER CLEANOUT	PROPERTY LINE
x1096.00	EXISTING GRADE	M.C.R.	EASEMENT LINE
ELECTRIC BOX, IRRIGATION VALVE BOX,		D/W	RIDGE LINE
DOWN GUY WIRE		T	GRADE BREAK
POWER POLE		G	NEW RETAINING WALL
DIRECTION OF RUNOFF FLOW		8" VCP	HIGH WATER ELEVATION (100 YR. FLOOD INUNDATION)
TRAFFIC SIGN		Brass Cap in Hand Hole	P.U.E. = PUBLIC UTILITY EASEMENT
EXISTING BOLLARD		Brass Cap Flush	Monument Line / Centerline
DRYWELL		EXISTING STREET LIGHT	Building
WATER OR GAS VALVE		EXISTING WATER VALVE	Existing Concrete
		EXISTING TREE	
		EXISTING ASPHALT PAVEMENT	
		PROPOSED CONCRETE SIDEWALK	
		EXISTING SEWER MANHOLE	
		EXISTING METER BOX/ IRRIG. CONTROL BOX	

Evans, Kuhn  
& Associates, Inc.  
727 E. Bethany Home Rd.  
Phoenix, Az 85014  
602.241.0782 phone  
602.248.9158 fax

GRADING AND DRAINAGE PLAN  
ASCENSION LUTHERAN CHURCH  
7100 NORTH MOCKINGBIRD LANE  
PARADISE VALLEY, ARIZONA

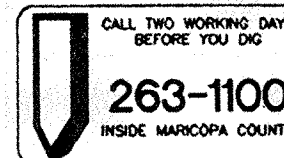
REVISIONS  
1 REVISED 9/20/02

DRAWING STATUS:

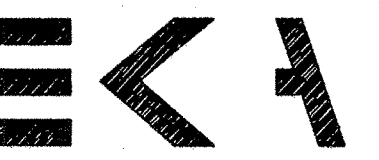


DATE ISSUED 7/23/02  
DESIGNED BY PTT  
DRAWN BY PTT  
CHECKED BY JVG  
PROJECT NO. 4929  
DRAWING NO.

C1.01  
COVER  
SHEET





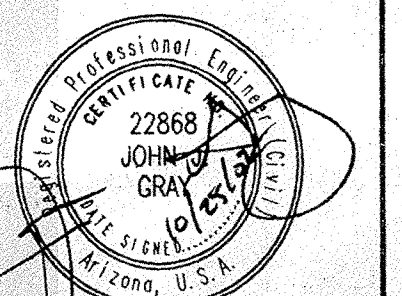


Evans, Kuhn  
& Associates, Inc.  
727 E. Bethany Home Rd.  
Phoenix, Az 85014  
602.241.0782 phone  
602.248.9158 fax

**GRADING AND DRAINAGE PLAN**  
**ASCENSION LUTHERAN CHURCH**  
**7100 NORTH MOCKINGBIRD LANE**  
**PARADISE VALLEY, ARIZONA**

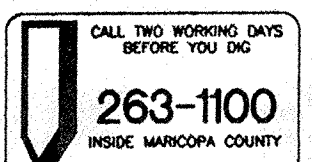
REVISIONS	
1	REVISED 9/20/02
2	REVISED 10/25/02

DRAWING STATUS:

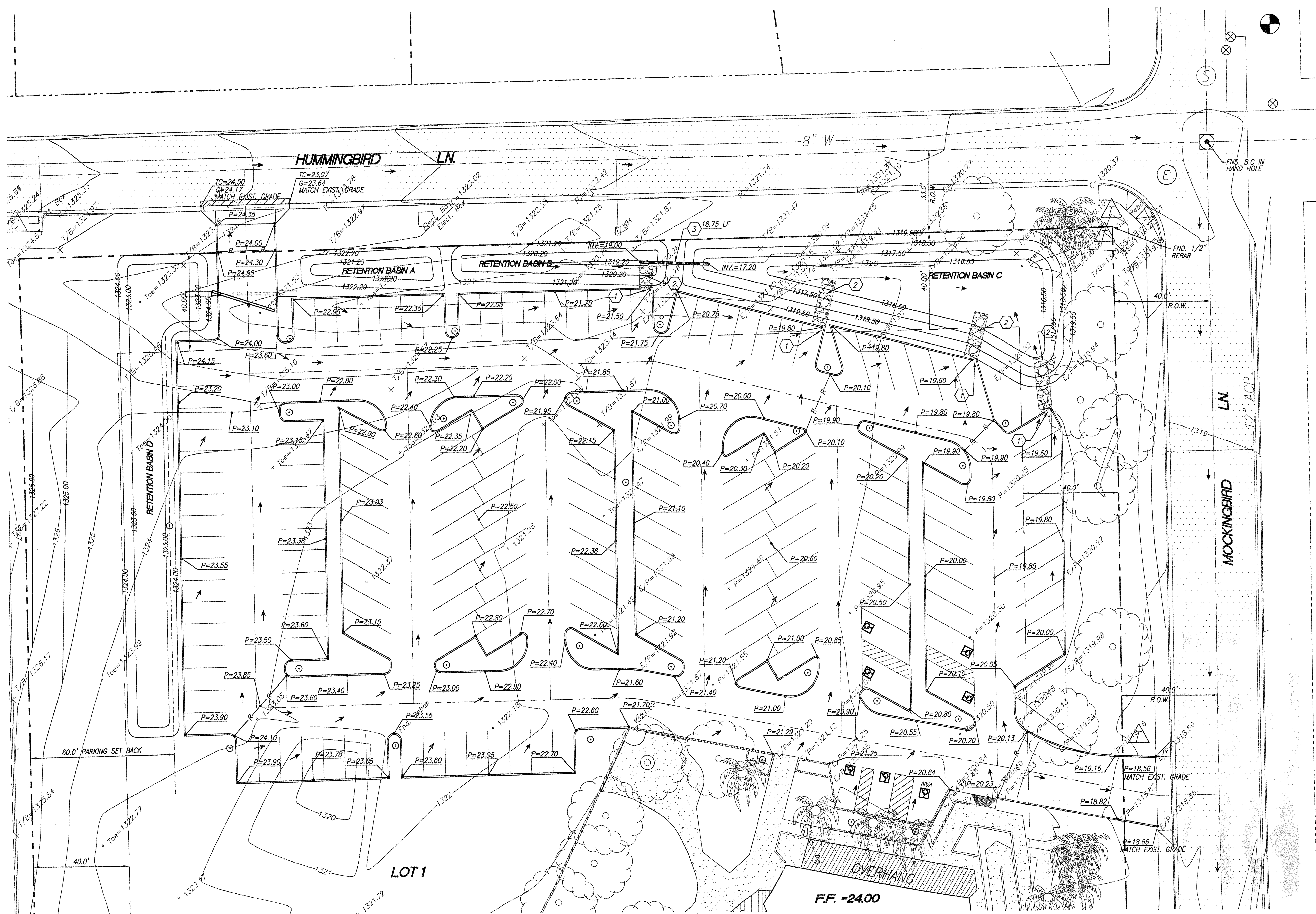


DATE ISSUED	7/23/02
DESIGNED BY	PIT
DRAWN BY	PIT
CHECKED BY	JUG
PROJECT NO.	4929
DRAWING NO.	

**C1.02**  
**GRADING & DRAINAGE**  
**PLAN**  
1"=20'



1"=20' 20 0 20 40  
Scale



**CONSTRUCTION NOTES**

1. CONSTRUCT CURB OPENING PER DETAIL ON SHEET C1.04.
2. CONSTRUCT RIP-RAP SPILLWAY PER DETAIL, ON SHEET C1.04, 6" MINIMUM DIAMETER STONE ONE FOOT THICK TO BOTTOM OF BASIN.
3. INSTALL 12" PVC, SDR 35 STORM DRAIN.

EXTERNAL  
DRAWINGS





Evans, Kuhn  
& Associates, Inc.  
727 E. Bethany Home Rd.  
Phoenix, Az 85014  
602.241.0782 phone  
602.248.9158 fax

**GRADING AND DRAINAGE PLAN**  
**ASCENSION LUTHERAN CHURCH**  
**7100 NORTH MOCKINGBIRD LANE**  
**PARADISE VALLEY, ARIZONA**

**REVISIONS**

1	REVISED 9/20/02
2	REVISED 10/25/02

**DRAWING STATUS:**

DATE ISSUED 7/23/02

DESIGNED BY PTT

DRAWN BY PTT

CHECKED BY JWC

PROJECT NO. 4929

DRAWING NO.

**C1.03**  
**PAVING &**  
**HORIZONTAL**  
**CONTROL PLAN**  
1"=20'

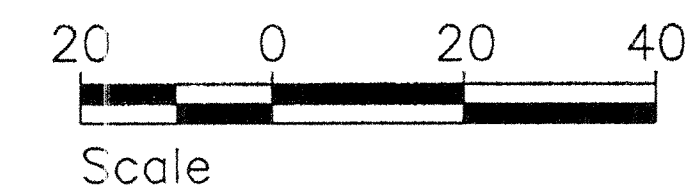
CALL TWO WORKING DAYS  
BEFORE YOU DIG  
**263-1100**  
HOPE MARICOPA COUNTY

CURVE TABLE				
CURVE	LENGTH	RADIUS	TANGENT	DELTA
C1	4.70	3.00'	2.99'	89°43'14"
C2	4.71	3.00'	3.00'	90°00'00"
C3	4.73	3.00'	3.01'	90°15'57"
C4	9.42	3.00'	INFINITE	180°00'00"
C5	4.20	3.00'	2.52'	80°09'44"
C6	4.43	3.00'	2.73'	84°39'12"
C7	4.71	3.00'	3.00'	90°00'00"
C8	6.28	3.00'	5.20'	120°00'00"
C9	1.70	3.00'	0.87'	32°30'32"
C10	4.89	27.50'	2.45'	10°11'44"
C11	4.33	3.00'	2.64'	82°36'18"
C12	4.70	3.00'	2.99'	89°44'03"
C13	4.72	3.00'	3.01'	90°13'25"
C14	18.11	12.00'	11.28'	86°28'35"
C15	4.32	2.00'	3.74'	123°47'22"
C16	4.70	3.00'	2.99'	89°46'35"
C17	4.72	3.00'	3.01'	90°13'25"
C18	4.70	3.00'	2.99'	89°46'35"
C19	2.09	2.00'	1.15'	60°00'00"
C20	4.71	3.00'	3.00'	90°00'00"
C21	9.29	3.00'	136.32'	177°28'43"
C22	7.87	3.00'	11.28'	150°13'25"
C23	4.19	2.00'	3.46'	120°00'00"
C24	18.80	12.00'	11.95'	89°46'35"
C25	4.19	2.00'	3.46'	120°00'00"
C26	18.79	12.00'	11.94'	89°44'03"
C27	6.56	2.50'	9.42'	150°15'57"
C28	7.84	3.00'	11.09'	149°44'03"
C29	19.69	12.50'	12.56'	90°15'57"
C30	5.24	2.50'	4.33'	120°00'00"
C31	5.24	2.50'	4.33'	120°00'00"
C32	19.68	12.50'	12.55'	90°13'25"
C33	11.78	3.50'	5.91'	11°56'45"
C34	6.21	3.50'	4.30'	101°43'31"
C35	2.62	2.50'	1.44'	60°00'00"
C36	4.83	2.00'	5.25'	138°16'29"
C37	21.31	12.00'	14.75'	101°43'31"
C38	3.14	1.50'	2.60'	120°00'00"
C39	3.14	1.50'	2.60'	120°00'00"
C40	21.97	12.00'	15.62'	104°55'06"
C41	3.54	1.50'	3.63'	135°04'54"
C42	8.64	3.00'	22.66'	164°55'06"
C43	15.73	12.00'	9.22'	75°04'54"
C44	6.28	3.00'	5.20'	120°00'00"
C45	7.49	3.00'	8.97'	143°01'59"
C46	11.57	12.00'	6.28'	55°14'30"
C47	5.33	3.00'	3.69'	101°43'31"
C48	3.14	3.00'	1.73'	60°00'00"
C49	3.14	3.00'	1.73'	60°00'00"
C50	10.61	10.00'	5.86'	60°46'21"
C51	39.05	80.00'	19.92'	27°57'53"
C52	4.11	15.50'	2.07'	15°11'04"
C53	20.31	15.50'	11.91'	75°04'54"
C54	9.38	45.00'	4.71'	11°56'45"
C55	4.71	3.00'	3.00'	89°58'06"

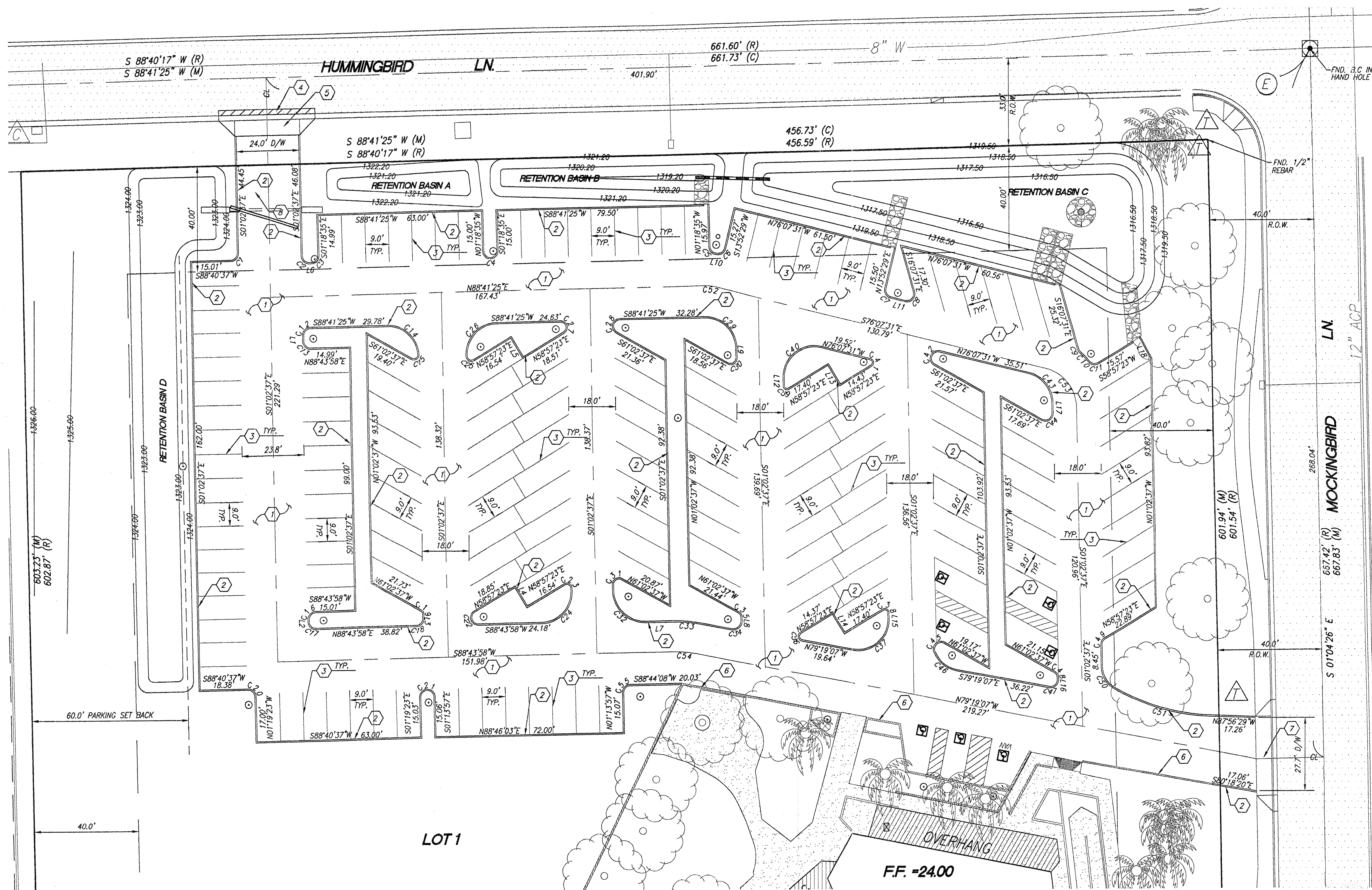
**CONSTRUCTION NOTES**

- CONSTRUCT 2" A.C. (C-3/4 MIX) OVER 4" A.B.C. PAVEMENT.
- CONSTRUCT EXTRUDED CURB PER DETAIL ON SHEET C1.04.
- PAINT 4" WIDE WHITE PARKING STRIPE. (TYPICAL)
- SAWCUT AND REMOVE EXISTING CURB & GUTTER 2' MIN. INTO EXISTING PAVEMENT. REPLACE PAVEMENT IN-KIND OR WITH 3" AC OVER 6" ABC WHICHEVER IS GREATER.
- CONSTRUCT 24" DRIVEWAY ENTRANCE PER MAG STD DET. 263.
- EXISTING EXTRUDED CURB TO REMAIN IN PLACE.
- EXISTING DRIVEWAY TO REMAIN IN PLACE.
- CONSTRUCT ACCESS GATE, SEE DETAIL ON SHEET C-1.04.

1"=20'



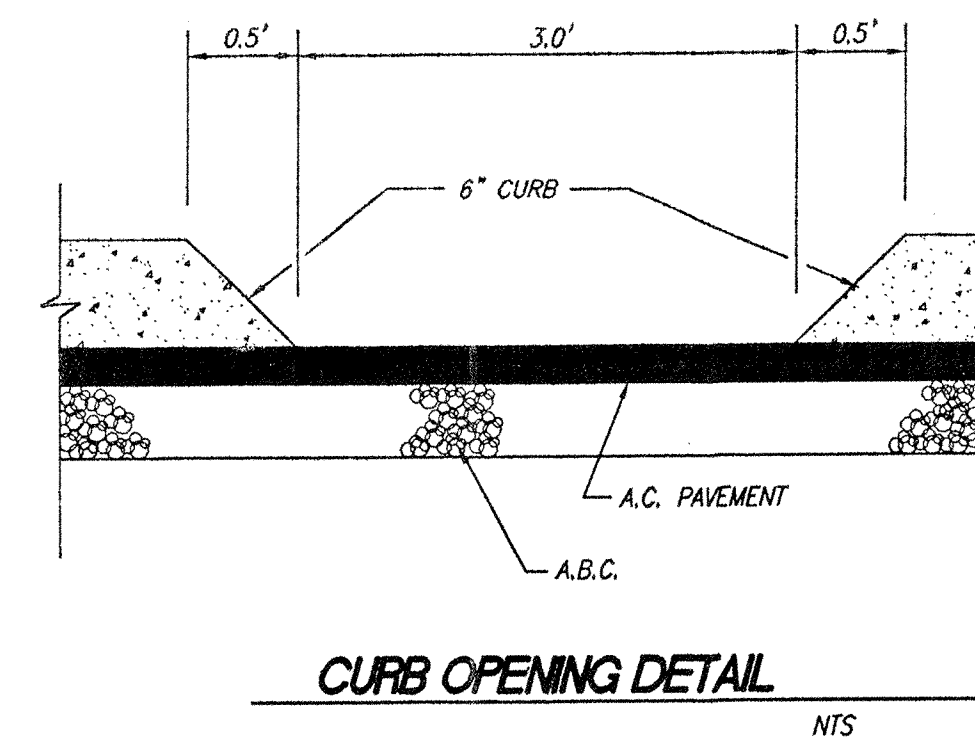
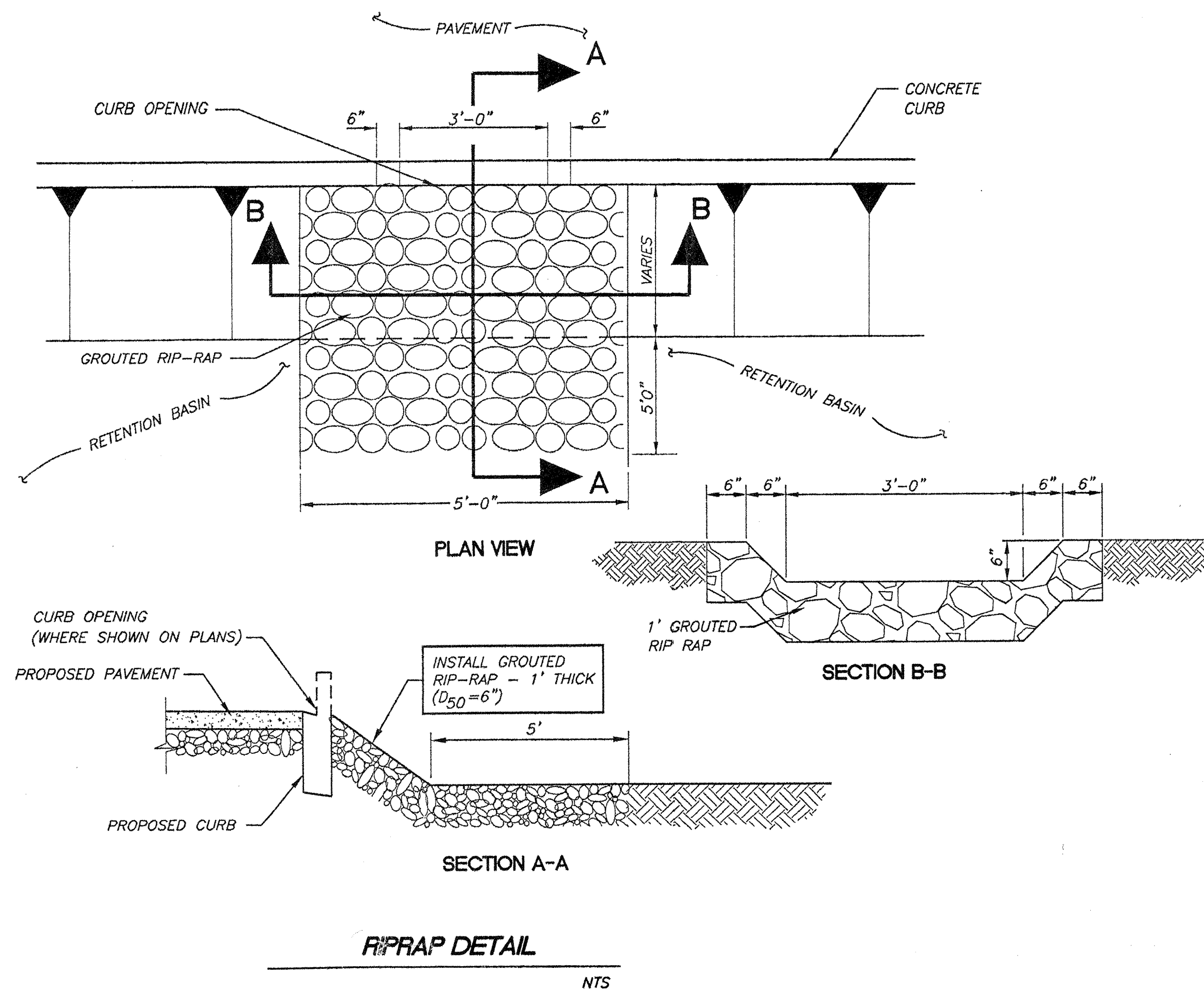
LINE TABLE		
LINE	LENGTH	BEARING
L1	2.29'	S01°02'37"E
L2	1.00'	S01°02'37"E
L3	1.77'	N01°02'37"W
L4	9.00'	S31°02'37"E
L5	9.00'	S31°02'37"E
L6	0.93'	S88°57'23"W
L7	9.93'	N88°43'58"E
L8	1.30'	N01°02'37"W
L9	3.59'	N01°02'37"W
L10	0.62'	N81°28'19"W
L11	5.89'	S76°07'31"E
L12	3.00'	S01°02'37"E
L13	9.00'	S31°02'37"E
L14	9.00'	S31°02'37"E
L15	2.72'	S01°02'37"E
L16	0.85'	N01°02'37"W
L17	3.82'	N01°02'37"W
L18	9.26'	N28°12'38"W



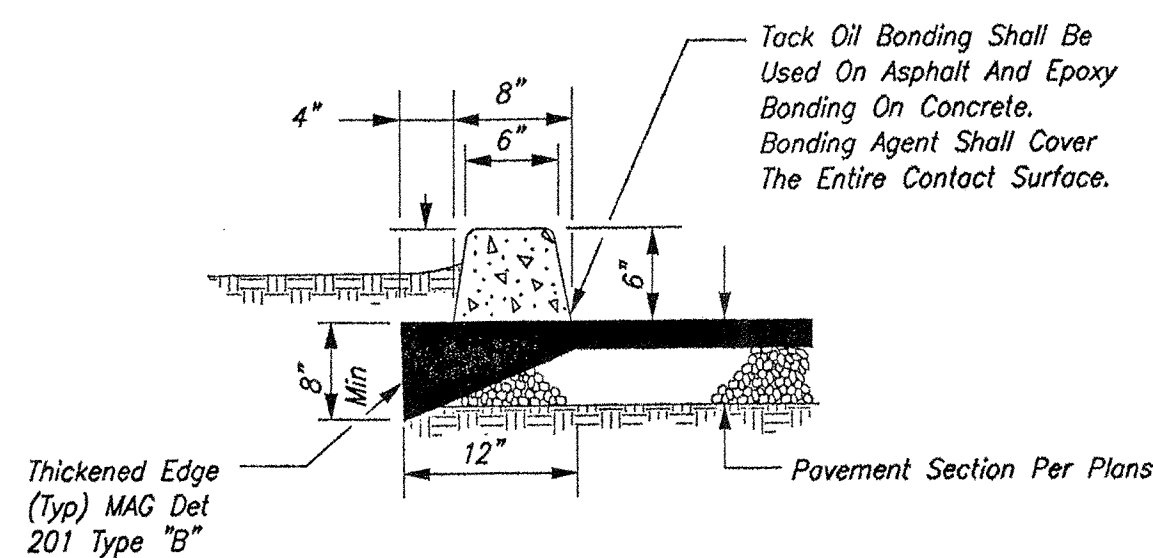
EXTERNAL  
DRAWINGS



EXTERNAL  
DRAWINGS



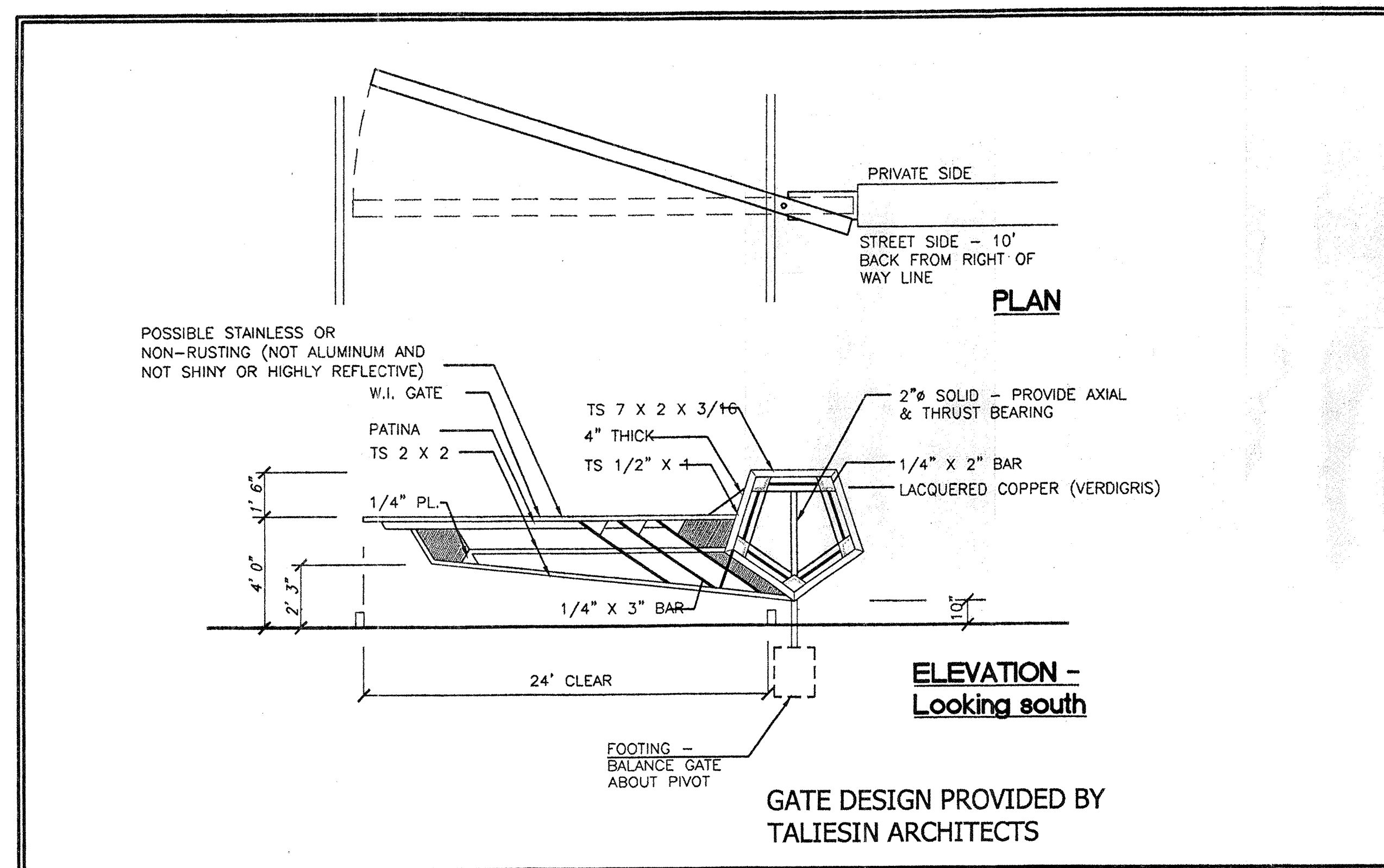
Extruded Curb Shall Have A Tooled Joint Every 10 feet And At Least 3 Per Each Small Radius Curve



Note: Extruded Curb Shall Be Placed By Qualified Applicators. All Material Utilized Shall Be Delivered To The Job Site In Transit Mixers As Per, M.A.C. Specs. 725.

**EXTRUDED CURB DETAIL**

(Not to Scale)

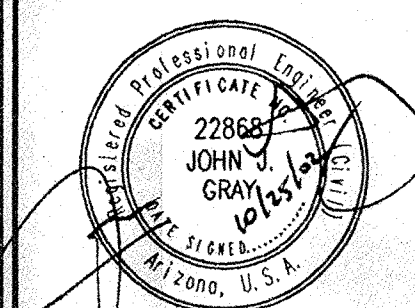


Evans, Kuhn  
& Associates, Inc.  
727 E. Bethany Home Rd.  
Phoenix, Az 85014  
602.241.0782 phone  
602.248.9158 fax

**GRADING AND DRAINAGE PLAN**  
**ASCENSION LUTHERAN CHURCH**  
**7100 NORTH MOCKINGBIRD LANE**  
**PARADISE VALLEY, ARIZONA**

REVISIONS	
1	REVISED 9/20/02
2	REVISED 10/25/02

DRAWING STATUS:



DATE ISSUED	7/23/02
DESIGNED BY	PTT
DRAWN BY	PTT
CHECKED BY	JUG
PROJECT NO.	4929
DRAWING NO.	

**C1.04**  
**SECTION**  
**AND DETAILS**

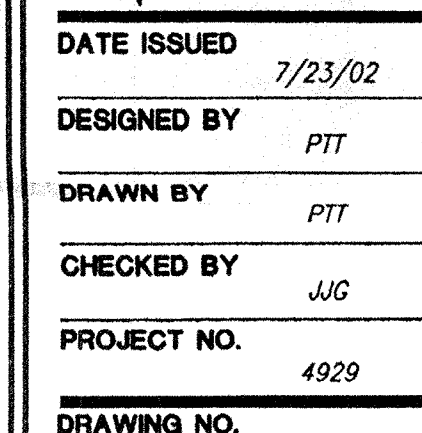
CALL TWO WORKING DAYS  
BEFORE YOU DIG  
**602-263-1100**  
INSIDE MARICOPA COUNTY



**SOUTH SIDE IMPROVEMENTS**  
**ASCENSION LUTHERAN CHURCH**  
**7100 NORTH MOCKINGBIRD LANE**  
**PARADISE VALLEY, ARIZONA**

REVISIONS	

**DRAWING STATUS.**



**C1.05**  
**SOUTH SIDE**  
**IMPROVEMENT**  
**PLAN**  
*1"=20'*

EXTERNAL  
DRAWINGS



## CONSTRUCTION NOTES

- |   |   |   |  |
|---|---|---|--|
| 1 | CONSTRUCT CURB & GUTTER PER MAG STD DETAIL 220, TYPE A.   | 6 | PAINT 4" WIDE WHITE PARKING STRIPE. (TYPICAL)          |
| 2 | CONSTRUCT 3" A.C. (C-3/4 MIX) OVER 6" A.B.C. PAVEMENT.  | 7 | EXISTING CURB TO REMAIN IN PLACE.                      |
| 3 | SAWCUT AND REMOVE EXISTING EDGE OF PAVEMENT 2' MIN. INTO EXISTING PAVEMENT. REPLACE PAVEMENT IN-KIND OR WITH 3" AC C-3/4 MIX OVER 6" ABC, WHICHEVER IS GREATER. | 8 | EXISTING DRIVEWAY TO REMAIN IN PLACE.                  |
| 4 | ADJUST EXISTING SEWER MANHOLE RIM TO MATCH NEW GRADE  | 9 | CONSTRUCT 2" A.C. (C-3/4 MIX) OVER 4" A.B.C. PAVEMENT. |
| 5 | CONSTRUCT EXTRUDED CURB PER DETAIL ON SHEET C1.04.  |   |  |

1"=20'

A horizontal scale bar with alternating black and white segments. Above the bar, the numbers 20, 0, 20, and 40 are marked. Below the bar, the word "Scale" is written.

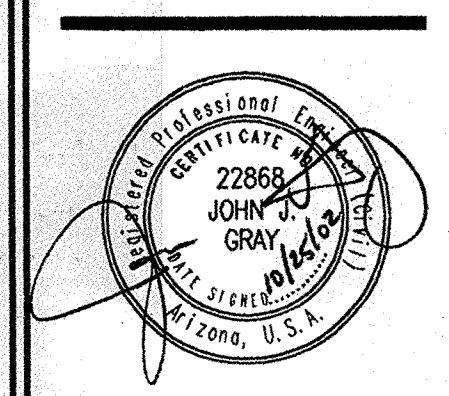




Evans, Kuhn  
& Associates, Inc.  
727 E. Bethany Home Rd.  
Phoenix, Az 85014  
602.241.0782 phone  
602.248.9158 fax

**SITE PLAN**  
**ASCENSION LUTHERAN CHURCH**  
**7100 NORTH MOCKINGBIRD LANE**  
**PARADISE VALLEY, ARIZONA**

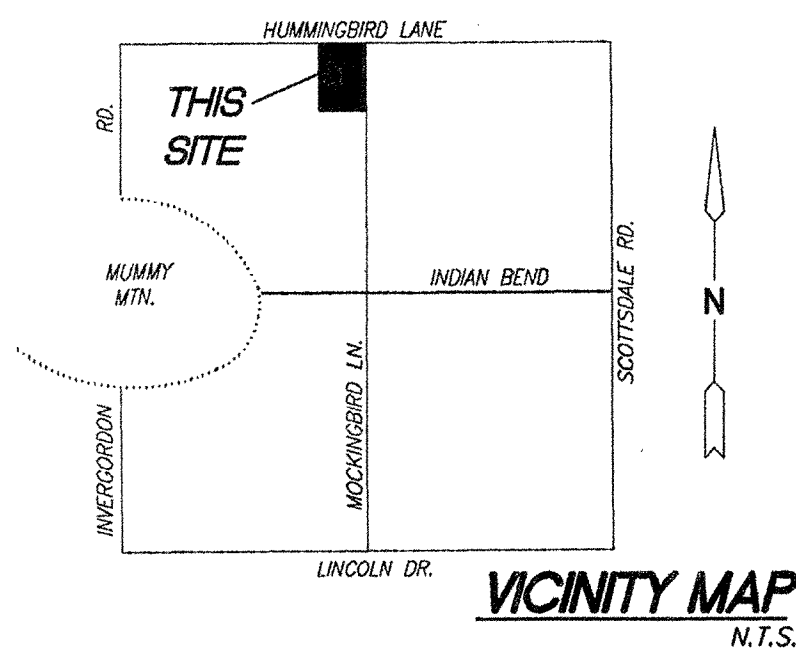
REVISIONS	



**DATE ISSUED** 04/18/02  
**DESIGNED BY**  
**DRAWN BY** JAG  
**CHECKED BY** JAG  
**PROJECT NO.** 4929  
**DRAWING NO.**

**C-1.00**  
**SITE PLAN**  
1"=40'

## SPECIAL USE PERMIT MINOR AMENDMENT



### OWNER/ SITE ADDRESS

ASCENSION LUTHERAN CHURCH  
7100 NORTH MOCKINGBIRD LANE  
PARADISE VALLEY, ARIZONA 85263

### CLIENT

CCG CONSTRUCTION, LLC  
3333 EAST CAMELBACK RD.  
SUITE 250  
PHOENIX, ARIZONA 85018

### ENGINEER

EVANS, KUHN & ASSOCIATES  
727 EAST BETHANY HOME ROAD  
SUITE D-225  
PHOENIX, ARIZONA 85014

### LEGAL DESCRIPTION

LOT 1 OF MEADOWLARK ACRES ACCORDING TO BOOK 194 PAGE 11  
RECORDS OF MARICOPA COUNTY, ARIZONA

### AREA INFORMATION AND PROJECT DATA

AREA=275,250 sq. ft. = 6.32 acres  
ALLOWABLE HEIGHT = 75 FEET  
ACTUAL BUILDING HEIGHT = 57 FEET  
ALLOWABLE SPIRE HEIGHT = 100 FEET  
ACTUAL SPIRE HEIGHT = 100 FEET  
TOTAL FLOOR AREA = 15,823 sq. ft.  
TOTAL FOOTPRINT AREA = 11,691 sq. ft.  
LOT COVERAGE = 4.25%  
ALLOWABLE COVERAGE = 20%  
NORTH PARKING AREA = 70,656 sq.ft.  
NORTH PARKING AREA LANDSCAPE = 18,130 sq.ft. = 25.7%  
SOUTH PARKING AREA = 28,346 sq.ft.  
SOUTH PARKING AREA LANDSCAPE = 10,130 sq.ft. = 35.7%

### SUMMARY OF THE PARKING CALCULATIONS

PARKING ALLOWED		
TOTAL NUMBER OF SEATS IN THE SANCTUARY AT BUILD-OUT: PROVIDE ONE SPACE PER THREE SEATS (PER SECTION 6 OF THE ZONING ORDINANCE)	800 SEATS	266 SPACES
	TOTAL ALLOWED	266 SPACES

### EXISTING PARKING

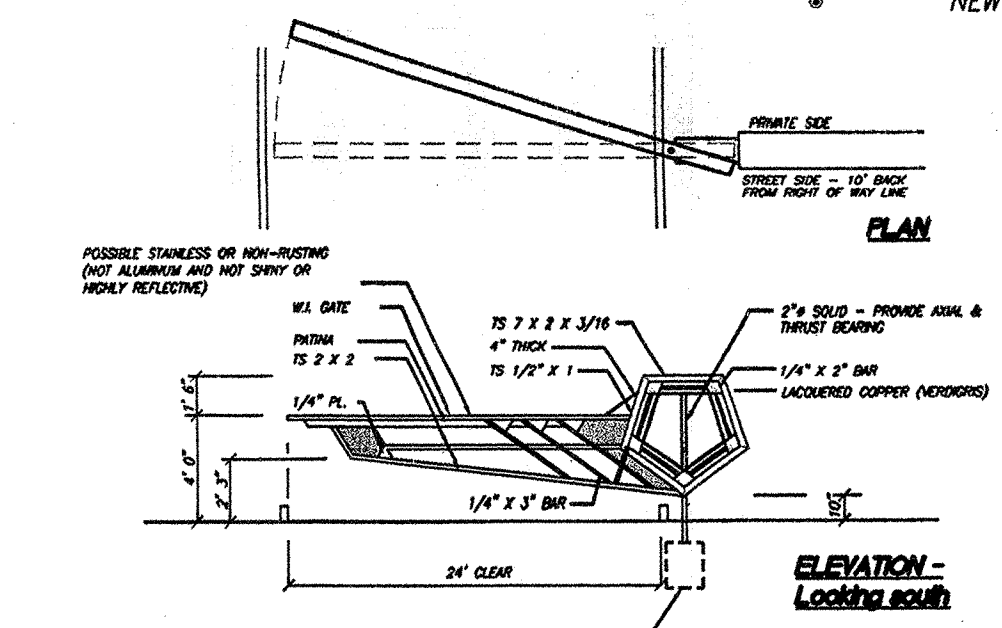
NORTH LOT	69 SPACES
SOUTH LOT	42 SPACES
ACCESSIBLE	3 SPACES
TOTAL	114 SPACES

### PARKING TO BE PROVIDED

NORTH LOT	158 SPACES
SOUTH LOT	42 SPACES
ACCESSIBLE	7 SPACES
TOTAL	207 SPACES

### LEGEND

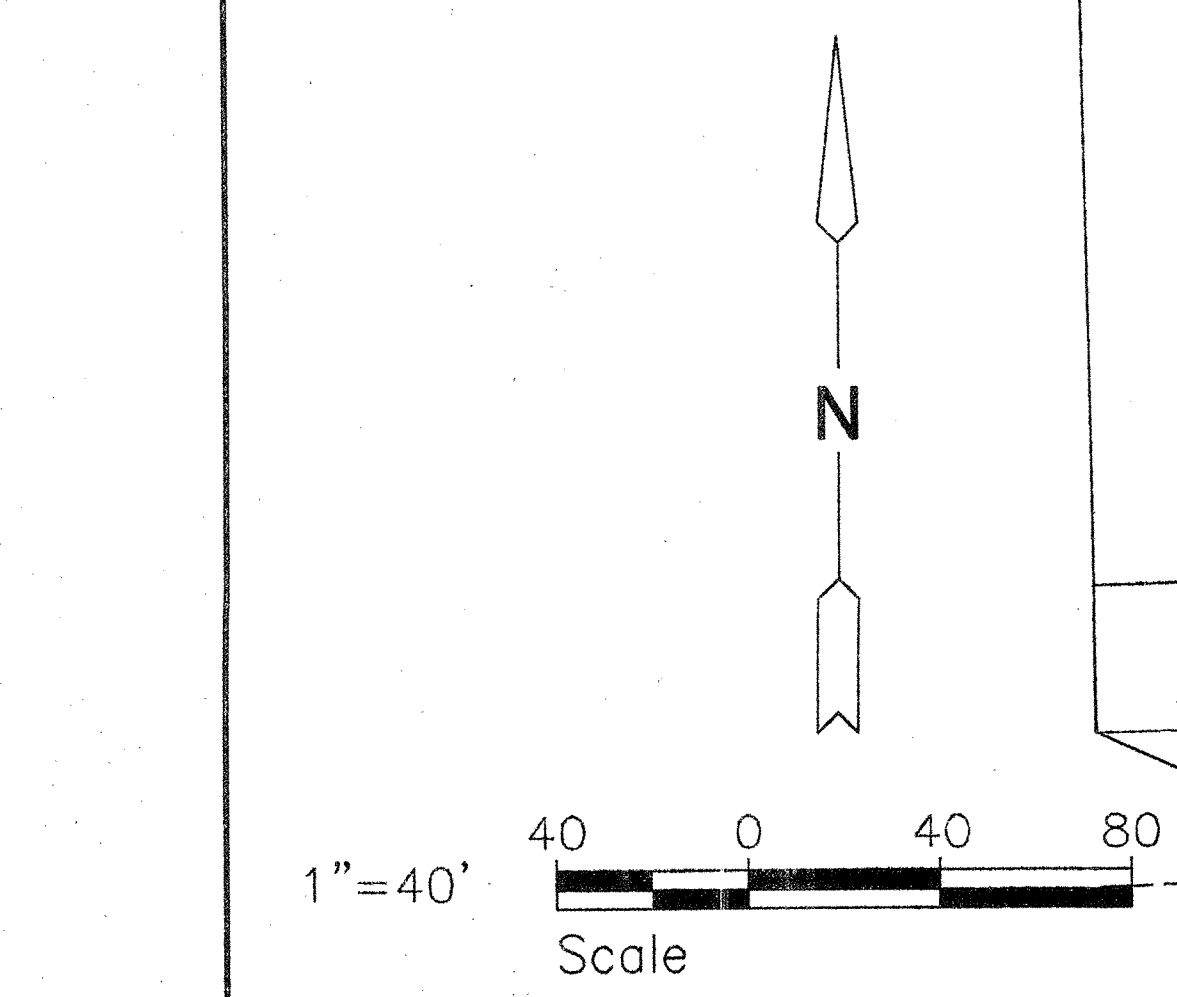
- |                          |                                |
|--------------------------|--------------------------------|
| MONUMENT LINE/CENTERLINE | BRASS CAP IN HANDHOLE          |
| PROPERTY LINE            | FOUND 1/2" REBAR               |
| RIGHT-OF-WAY LINE        | SANITARY SEWER MANHOLE         |
| EASEMENT LINE            | ELECTRIC MANHOLE               |
| ELECTRIC LINE            | WATER VALVE                    |
| GAS LINE                 | FIRE HYDRANT                   |
| SEWER LINE               | TELEPHONE PEDESTAL             |
| WATER LINE               | M.C.R. MARICOPA COUNTY RECORDS |
| EXISTING CONCRETE        | (R) RECORD COURSE              |
| EXISTING PAVEMENT        | (C) CALCULATED COURSE          |
| BRASS CAP FLUSH          | (M) MEASURED COURSE            |
|                          | B.S.L. BUILDING SETBACK LINE   |
|                          | NEW PARKING LOT BOLLARD LIGHTS |



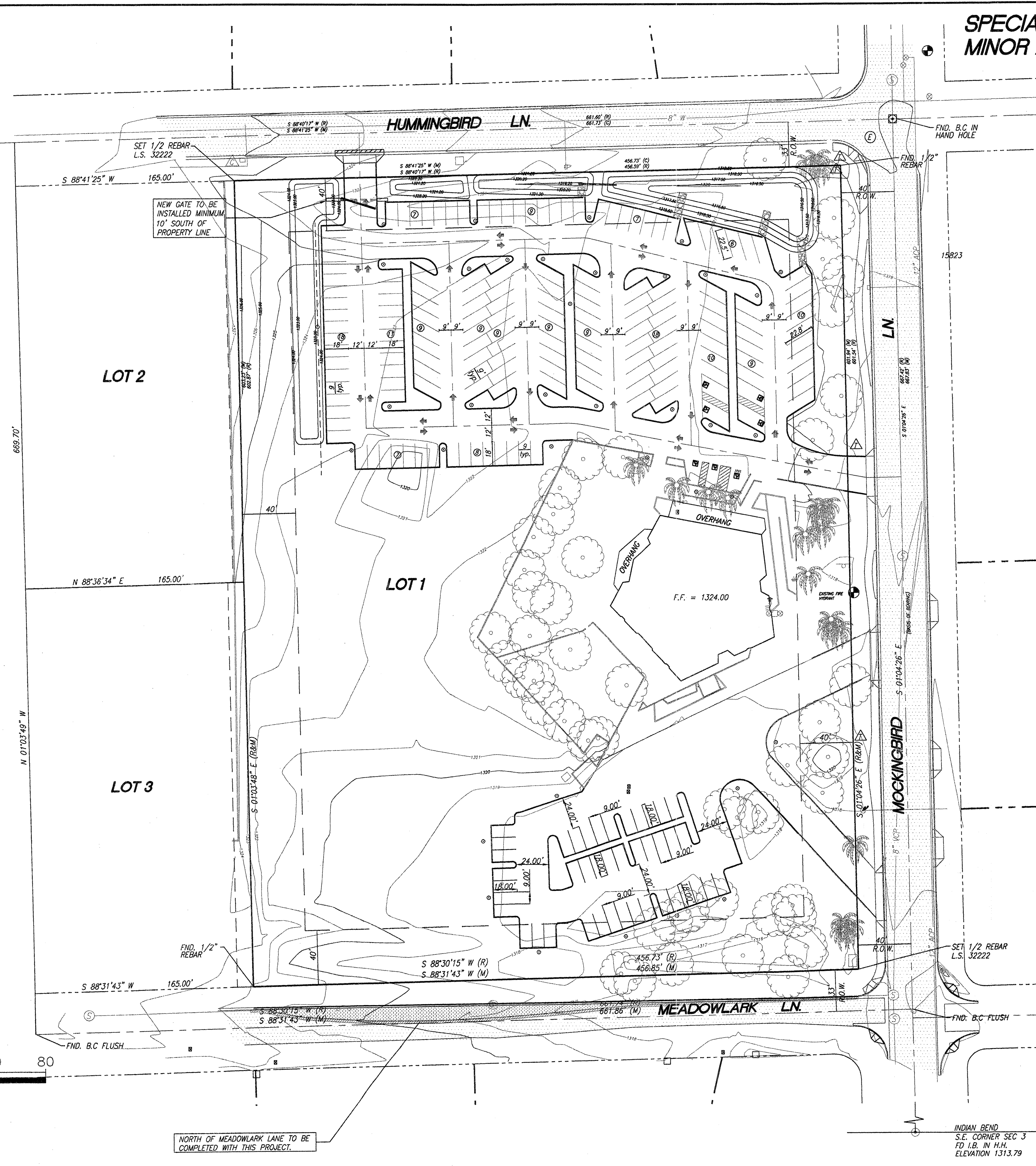
GATE DESIGN PROVIDED BY  
TALIESIN ARCHITECTS

CALL TWO WORKING DAYS  
BEFORE YOU DO  
263-1100  
HOUSE MARICOPA COUNTY

EXTERNAL DRAWINGS



1"=40'  
Scale





GRADING AND DRAINAGE PLANS  
FOR  
ASCENSION LUTHERAN CHURCH

7100 NORTH MOCKINGBIRD LANE  
PARADISE VALLEY, ARIZONA

GENERAL NOTES  
(EVANS, KUHN and ASSOCIATES, INC.)

1. EXISTING UNDERGROUND UTILITIES WERE COMPILED FROM THE LATEST AVAILABLE UTILITY RECORDS AND SHOULD BE CONSIDERED APPROXIMATE IN LOCATION AND POSSIBLY INCOMPLETE. EXACT LOCATION MUST BE DETERMINED IN THE FIELD. CALL "BLUE-STAKE" A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO EXCAVATION.
2. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, CENTERLINE OF RIGHT-OF-WAY OR CENTERLINE OF STRUCTURE UNLESS NOTED OTHERWISE.
3. CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING PIPE AT PROPOSED CONNECTIONS PRIOR TO NEW PIPE INSTALLATION. NOTIFY ENGINEER IMMEDIATELY OF CONFLICTS OR DISCREPANCIES.
4. IT SHALL BE THE RESPONSIBILITY OF THE BIDDER TO VERIFY ALL QUANTITIES INCLUDING EXCAVATION, BORROW, EMBANKMENT, SHRINK OR SWELL, GROUND COMPACTION, HAUL AND ANY OTHER ITEMS AFFECTING HIS BID TO COMPLETE THE WORK TO THE ELEVATIONS SHOWN ON THE PLANS AND TO BASE HIS BID SOLELY UPON HIS OWN VERIFIED QUANTITIES IRRESPECTIVE OF THE INFORMATION FURNISHED. IT SHALL BE THE BIDDERS RESPONSIBILITY TO NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION, OR ANY MAJOR DISCREPANCIES.
5. ALL CONSTRUCTION ON SITE SHALL CONFORM TO MAG STANDARD SPECIFICATIONS AND DETAILS, UNLESS MODIFIED ON THE PLANS.
6. CONTRACTOR TO COMPLY WITH ALL ADA REQUIREMENTS RELATING TO CONSTRUCTION.
7. CONTRACTOR SHALL PROVIDE DUST CONTROL FOR ALL UNPAVED AREAS DURING CONSTRUCTION. OWNER IS RESPONSIBLE FOR PROVIDING APPROPRIATE GROUND COVER AND/OR DUST CONTROL MAINTENANCE AS NECESSARY AFTER CONSTRUCTION IS COMPLETED AND ACCEPTED.

The City of Paradise Valley "Storm Drainage Design Manual" was used as the basis for the design of storm water management for this project.

RETENTION SUMMARY

NET AREA, (A) 84,429 s.f.  
RUNOFF COEFFICIENT, (C) 0.90  
DESIGN STORM DEPTH, (d) 1.25 in.

RETENTION REQUIRED:

$$V_R = 7200 \cdot d \cdot A \cdot C$$

$V_R = 15,700$  cu. ft.

RETENTION PROVIDED: 15,791 cu. ft.

contour	area	volume
21.2	1474	1091
20.2	707	385
19.2	62	31

1506 cu. ft.

contour	area	volume
19.5	6604.0	5833
18.5	5061.0	4345
17.5	3628.0	2961
16.5	2294.0	1147

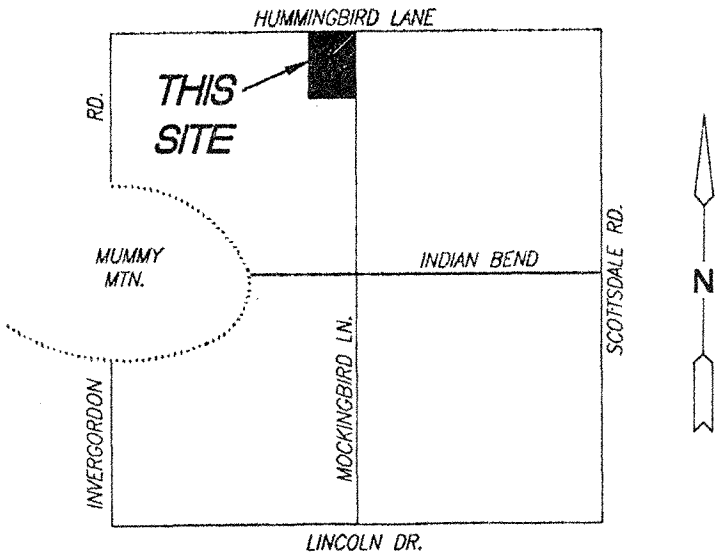
14285 cu. ft.

BASIN A AND D ONLY COLLECT WATER RUNOFF INSIDE THEIR AREAS

The proposed drainage facilities are designed to handle the runoff from the 100-year, 2-hour frequency storm for on-site runoff. The ultimate site outfall elevation 1318.82 is located on the east property line of the site onto Mockingbird Lane.

The finished floor is set adequately above the outfall protecting the building from flooding. The retention for the 100-year frequency storm will drain in less than 36 hours.

The proposed improvements for this project do not increase discharge from the site and comply with City of Paradise Valley drainage design requirements.



VICINITY MAP  
N.T.S.

ENGINEER'S ESTIMATE OF QUANTITIES

PAVING

ASPHALT PAVING SURFACE 7289 SY  
SAWCUT, REMOVE & REPLACE PAVEMENT 119 SY

CONCRETE

EXTRUDED CURB 2,780 L.F.  
RIP-RAP SPILLWAY 4 EA.  
VERTICAL CURB & GUTTER 460 L.F.

DRAINAGE

STORM WATER PIPE 19 L.F.  
12" P.V.C. SDR 35 SD

SHEET INDEX

C1.01 COVER SHEET  
C1.02 GRADING & DRAINAGE PLAN  
C1.03 HORIZONTAL CONTROL & PAVING PLAN  
C1.04 SECTION & DETAILS  
C1.05 SOUTH SIDE IMPROVEMENTS

OWNER/ SITE ADDRESS

ASCENSION LUTHERAN CHURCH  
7100 NORTH MOCKINGBIRD LANE  
PARADISE VALLEY, ARIZONA 85263

ENGINEER/SURVEYOR

EVANS, KUHN & ASSOCIATES, INC.  
727 E. BETHANY HOME ROAD, SUITE D-225  
PHOENIX, ARIZONA 85014  
PHONE: (602) 241-0782  
FAX: (602) 248-9158

CONTRACTOR

CCG CONSTRUCTION, LLC  
3333 EAST CAMELBACK RD.  
SUITE 250  
PHOENIX, ARIZONA 85018

ESTIMATED  
EARTHWORK QUANTITIES

CUT - 759 C.Y.  
FILL - 450 C.Y.

NOTE: QUANTITIES SHOWN ARE IN PLACE ESTIMATES WITH ADJUSTMENTS MADE FOR SCARIFICATION, SHRINKAGE, OR COMPACTION LOSSES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EARTHWORK QUANTITIES AND BASING HIS BID UPON HIS ESTIMATED QUANTITY.

BASIS OF BEARINGS

ASSUMED BEARING OF S01°04'26"E ALONG THE MONUMENT LINE OF MOCKINGBIRD LANE AS SHOWN ON THE RECORDED PLAT FOR MEADOWLARK ACRES, BOOK 194, PAGE 11, M.C.R.

LEGAL DESCRIPTION

LOT 1 OF MEADOWLARK ACRES ACCORDING TO BOOK 194, PAGE 11, RECORDS OF MARICOPA COUNTY, ARIZONA

AREA AND PROJECT DATA

AREA=275,250 sq. ft. = 6.32 acres  
ALLOWABLE HEIGHT = 75 FEET  
ACTUAL BUILDING HEIGHT = 57 FEET  
ALLOWABLE SPIRE HEIGHT = 100 FEET  
ACTUAL SPIRE HEIGHT = 100 FEET  
TOTAL FLOOR AREA = 15,823 sq. ft.  
TOTAL FOOTPRINT AREA = 11,691 sq. ft.  
LOT COVERAGE = 4.25%  
ALLOWABLE COVERAGE = 20%  
NORTH PARKING AREA = 70,656 sq. ft.  
NORTH PARKING AREA LANDSCAPE = 18,130 sq. ft. = 25.7%

BENCHMARK

PARADISE VALLEY BENCH #70 BRASS CAP FLUSH 775'± WEST OF INTERSECTION OF 66TH STREET AND HUMMINGBIRD LANE.  
ELEVATION = 1373.75

FLOODPLAIN

THE SUBJECT PARCEL LIES WITHIN FLOOD ZONE "X" AS DELINEATED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM MAP NO. 04013C1695G DATED 7/19/2001.

FLOOD ZONE "X" IS DEFINED AS AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD.

LEGEND

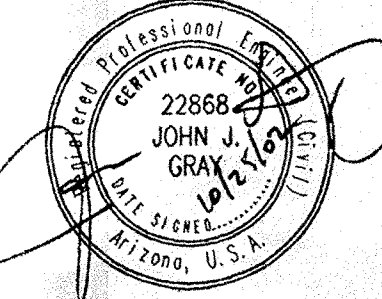
C=	CONCRETE PAVEMENT GRADE	POWER POLE	NEW CURB
P=	ASPHALT PAVEMENT GRADE	FIRE HYDRANT	EXISTING CURB & GUTTER
FG=	PROPOSED FINISHED GRADE	TRANSFORMER	RIGHT-OF-WAY LINE
S/W=	SIDEWALK GRADE	SEWER CLEANOUT	PROPERTY LINE
x1096.00	EXISTING GRADE	M.C.R.	EASEMENT LINE
ELECTRIC BOX, IRRIGATION VALVE BOX,		D/W	RIDGE LINE
DOWN GUY WIRE		T	GRADE BREAK
POWER POLE		G	NEW RETAINING WALL
DIRECTION OF RUNOFF FLOW		8" VCP	HIGH WATER ELEVATION (100 YR. FLOOD INUNDATION)
TRAFFIC SIGN		Brass Cap in Hand Hole	P.U.E. = PUBLIC UTILITY EASEMENT
EXISTING BOLLARD		Brass Cap Flush	Monument Line / Centerline
DRYWELL		EXISTING STREET LIGHT	Building
WATER OR GAS VALVE		EXISTING WATER VALVE	Existing Concrete
		EXISTING TREE	
		EXISTING ASPHALT PAVEMENT	
		PROPOSED CONCRETE SIDEWALK	
		EXISTING SEWER MANHOLE	
		EXISTING METER BOX/ IRRIG. CONTROL BOX	

Evans, Kuhn  
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727 E. Bethany Home Rd.  
Phoenix, Az 85014  
602.241.0782 phone  
602.248.9158 fax

GRADING AND DRAINAGE PLAN  
ASCENSION LUTHERAN CHURCH  
7100 NORTH MOCKINGBIRD LANE  
PARADISE VALLEY, ARIZONA

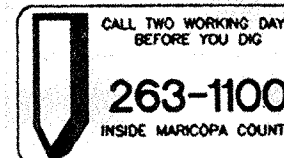
REVISIONS  
1 REVISED 9/20/02

DRAWING STATUS:

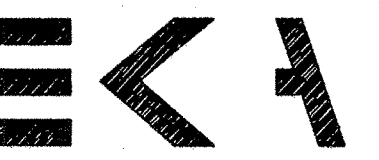


DATE ISSUED 7/23/02  
DESIGNED BY PTT  
DRAWN BY PTT  
CHECKED BY JVG  
PROJECT NO. 4929  
DRAWING NO.

C1.01  
COVER  
SHEET





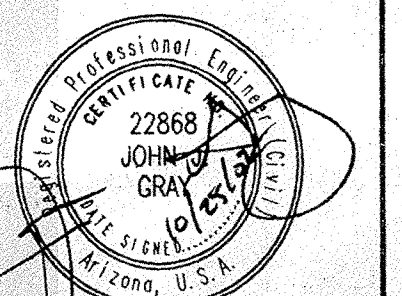


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**GRADING AND DRAINAGE PLAN**  
**ASCENSION LUTHERAN CHURCH**  
**7100 NORTH MOCKINGBIRD LANE**  
**PARADISE VALLEY, ARIZONA**

REVISIONS	
1	REVISED 9/20/02
2	REVISED 10/25/02

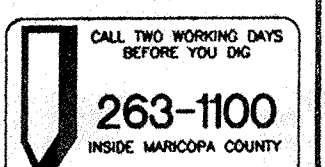
DRAWING STATUS:



DATE ISSUED	7/23/02
DESIGNED BY	PIT
DRAWN BY	PIT
CHECKED BY	JUG
PROJECT NO.	4929
DRAWING NO.	

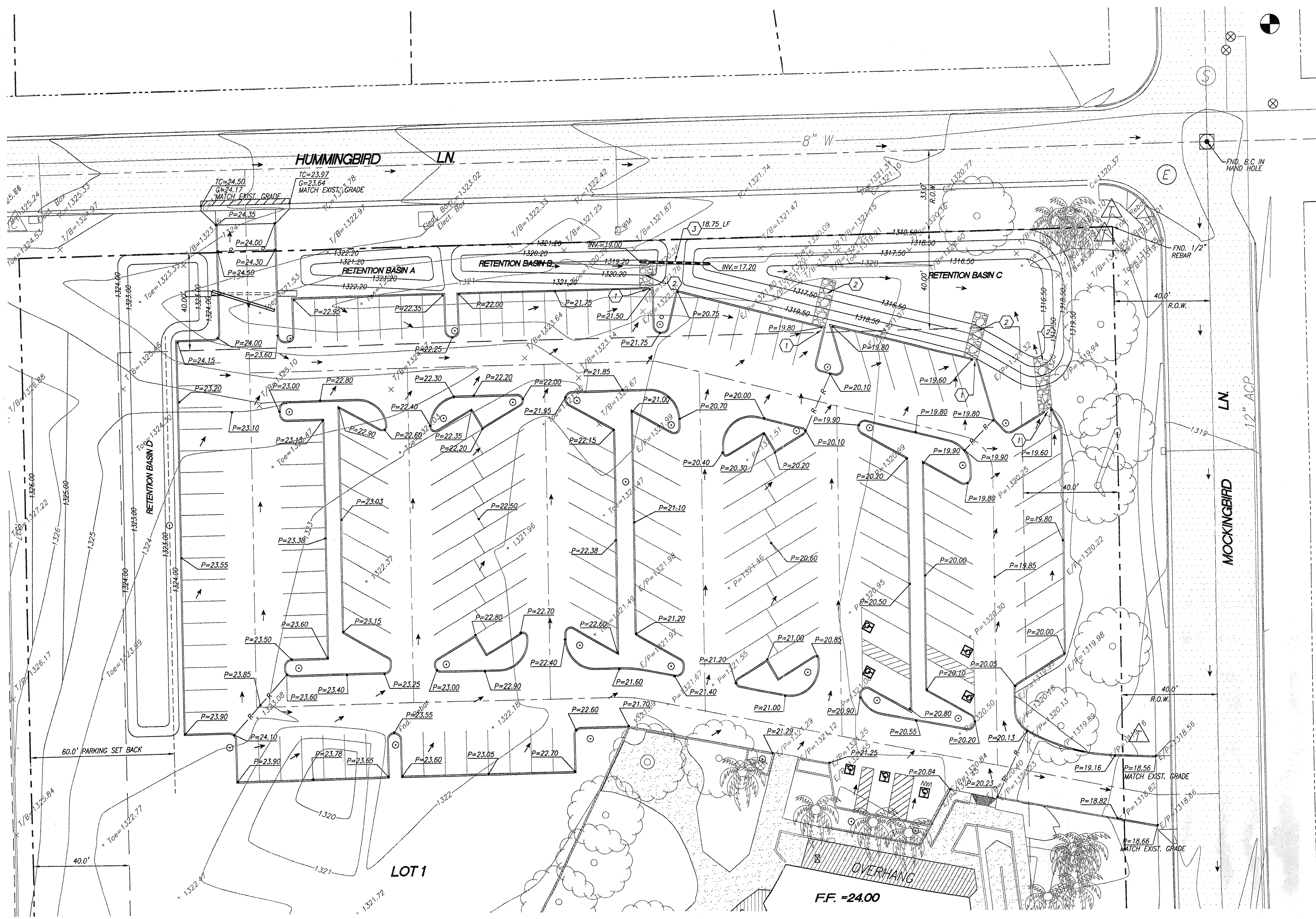
**C1.02**

**GRADING &  
DRAINAGE  
PLAN**  
1"=20'



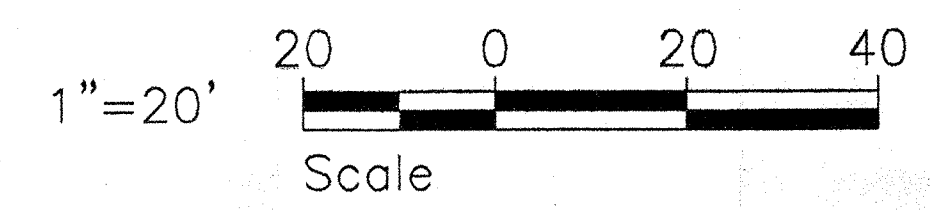
CALL TWO WORKING DAYS  
BEFORE YOU DIG  
263-1100  
HISCO WAPACOA COUNTY

EXTERNAL  
DRAWINGS



**CONSTRUCTION NOTES**

1. CONSTRUCT CURB OPENING PER DETAIL ON SHEET C1.04.
2. CONSTRUCT RIP-RAP SPILLWAY PER DETAIL, ON SHEET C1.04, 6" MINIMUM DIAMETER STONE ONE FOOT THICK TO BOTTOM OF BASIN.
3. INSTALL 12" PVC, SDR 35 STORM DRAIN.







Evans, Kuhn  
& Associates, Inc.  
727 E. Bethany Home Rd.  
Phoenix, Az 85014  
602.241.0782 phone  
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**GRADING AND DRAINAGE PLAN**  
**ASCENSION LUTHERAN CHURCH**  
**7100 NORTH MOCKINGBIRD LANE**  
**PARADISE VALLEY, ARIZONA**

**REVISIONS**

1	REVISED 9/20/02
2	REVISED 10/25/02

**DRAWING STATUS:**

**DATE ISSUED** 7/23/02

**DESIGNED BY** PTT

**DRAWN BY** PTT

**CHECKED BY** JWC

**PROJECT NO.** 4929

**DRAWING NO.**

**C1.03**  
**PAVING & HORIZONTAL CONTROL PLAN**  
1"=20'

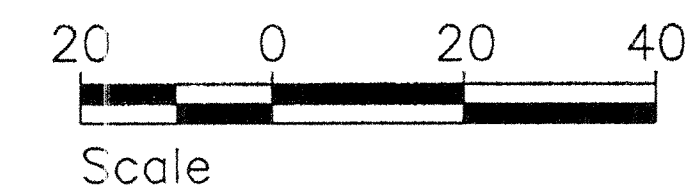
CURVE TABLE				
CURVE	LENGTH	RADIUS	TANGENT	DELTA
C1	4.70	3.00'	2.99'	89°43'14"
C2	4.71	3.00'	3.00'	90°00'00"
C3	4.73	3.00'	3.01'	90°15'57"
C4	9.42	3.00'	INFINITE	180°00'00"
C5	4.20	3.00'	2.52'	80°09'44"
C6	4.43	3.00'	2.73'	84°39'12"
C7	4.71	3.00'	3.00'	90°00'00"
C8	6.28	3.00'	5.20'	120°00'00"
C9	1.70	3.00'	0.87'	32°30'32"
C10	4.89	27.50'	2.45'	10°11'44"
C11	4.33	3.00'	2.64'	82°36'18"
C12	4.70	3.00'	2.99'	89°44'03"
C13	4.72	3.00'	3.01'	90°13'25"
C14	18.11	12.00'	11.28'	86°28'35"
C15	4.32	2.00'	3.74'	123°47'22"
C16	4.70	3.00'	2.99'	89°46'35"
C17	4.72	3.00'	3.01'	90°13'25"
C18	4.70	3.00'	2.99'	89°46'35"
C19	2.09	2.00'	1.15'	60°00'00"
C20	4.71	3.00'	3.00'	90°00'00"
C21	9.29	3.00'	136.32'	177°28'43"
C22	7.87	3.00'	11.28'	150°13'25"
C23	4.19	2.00'	3.46'	120°00'00"
C24	18.80	12.00'	11.95'	89°46'35"
C25	4.19	2.00'	3.46'	120°00'00"
C26	18.79	12.00'	11.94'	89°44'03"
C27	6.56	2.50'	9.42'	150°15'57"
C28	7.84	3.00'	11.09'	149°44'03"
C29	19.69	12.50'	12.56'	90°15'57"
C30	5.24	2.50'	4.33'	120°00'00"
C31	5.24	2.50'	4.33'	120°00'00"
C32	19.68	12.50'	12.55'	90°13'25"
C33	11.78	3.50'	5.91'	11°56'45"
C34	6.21	3.50'	4.30'	101°43'31"
C35	2.62	2.50'	1.44'	60°00'00"
C36	4.83	2.00'	5.25'	138°16'29"
C37	21.31	12.00'	14.75'	101°43'31"
C38	3.14	1.50'	2.60'	120°00'00"
C39	3.14	1.50'	2.60'	120°00'00"
C40	21.97	12.00'	15.62'	104°55'06"
C41	3.54	1.50'	3.63'	135°04'54"
C42	8.64	3.00'	22.66'	164°55'06"
C43	15.73	12.00'	9.22'	75°04'54"
C44	6.28	3.00'	5.20'	120°00'00"
C45	7.49	3.00'	8.97'	143°01'59"
C46	11.57	12.00'	6.28'	55°14'30"
C47	5.33	3.00'	3.69'	101°43'31"
C48	3.14	3.00'	1.73'	60°00'00"
C49	3.14	3.00'	1.73'	60°00'00"
C50	10.61	10.00'	5.86'	60°46'21"
C51	39.05	80.00'	19.92'	27°57'53"
C52	4.11	15.50'	2.07'	15°11'04"
C53	20.31	15.50'	11.91'	75°04'54"
C54	9.38	45.00'	4.71'	11°56'45"
C55	4.71	3.00'	3.00'	89°58'06"

LINE TABLE		
LINE	LENGTH	BEARING
L1	2.29'	S01°02'37"E
L2	1.00'	S01°02'37"E
L3	1.77'	N01°02'37"W
L4	9.00'	S31°02'37"E
L5	9.00'	S31°02'37"E
L6	0.93'	S88°57'23"W
L7	9.93'	N88°43'58"E
L8	1.30'	N01°02'37"W
L9	3.59'	N01°02'37"W
L10	0.62'	N81°28'19"W
L11	5.89'	S76°07'31"E
L12	3.00'	S01°02'37"E
L13	9.00'	S31°02'37"E
L14	9.00'	S31°02'37"E
L15	2.72'	S01°02'37"E
L16	0.85'	N01°02'37"W
L17	3.82'	N01°02'37"W
L18	9.26'	N28°12'38"W

**CONSTRUCTION NOTES**

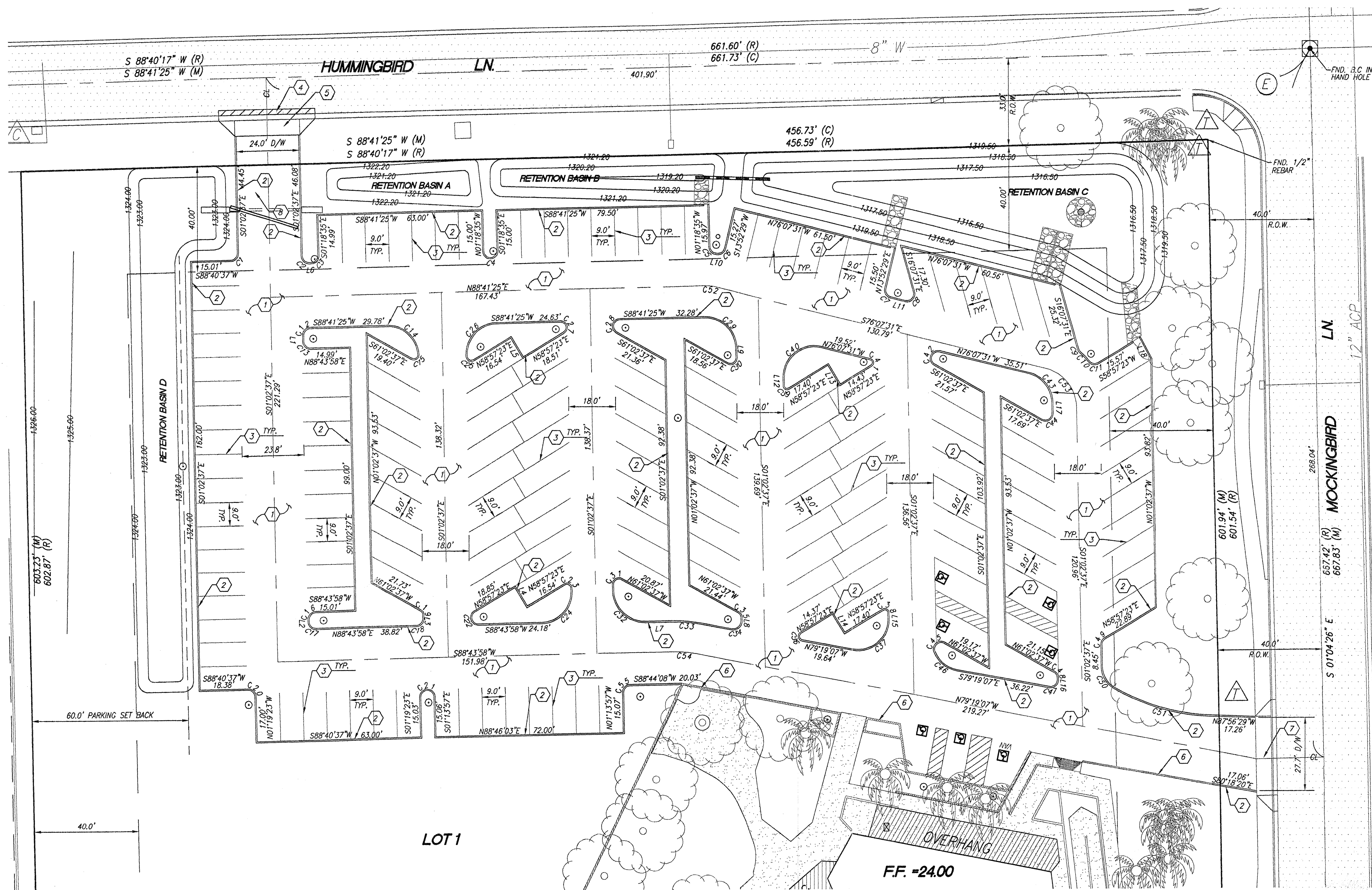
- 1 CONSTRUCT 2" A.C. (C-3/4 MIX) OVER 4" A.B.C. PAVEMENT.
- 2 CONSTRUCT EXTRUDED CURB PER DETAIL ON SHEET C1.04.
- 3 PAINT 4" WIDE WHITE PARKING STRIPE. (TYPICAL)
- 4 SAWCUT AND REMOVE EXISTING CURB & GUTTER 2' MIN. INTO EXISTING PAVEMENT. REPLACE PAVEMENT IN-KIND OR WITH 3" AC OVER 6" ABC WHICHEVER IS GREATER.
- 5 CONSTRUCT 24" DRIVEWAY ENTRANCE PER MAG STD. DET. 263.
- 6 EXISTING EXTRUDED CURB TO REMAIN IN PLACE.
- 7 EXISTING DRIVEWAY TO REMAIN IN PLACE.
- 8 CONSTRUCT ACCESS GATE, SEE DETAIL ON SHEET C-1.04.

1"=20'



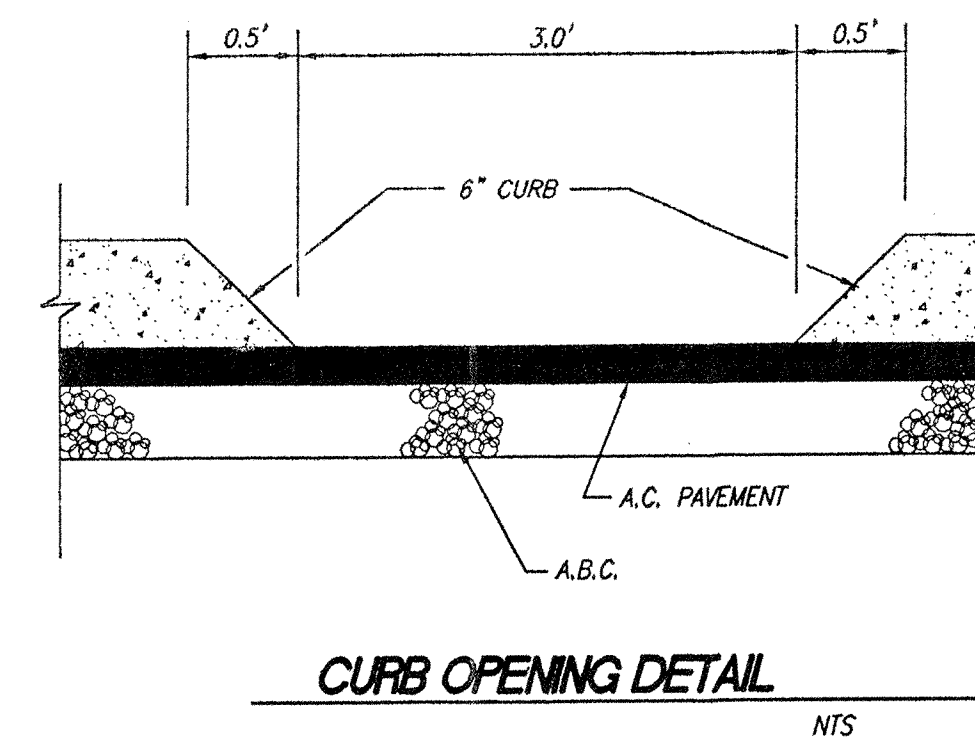
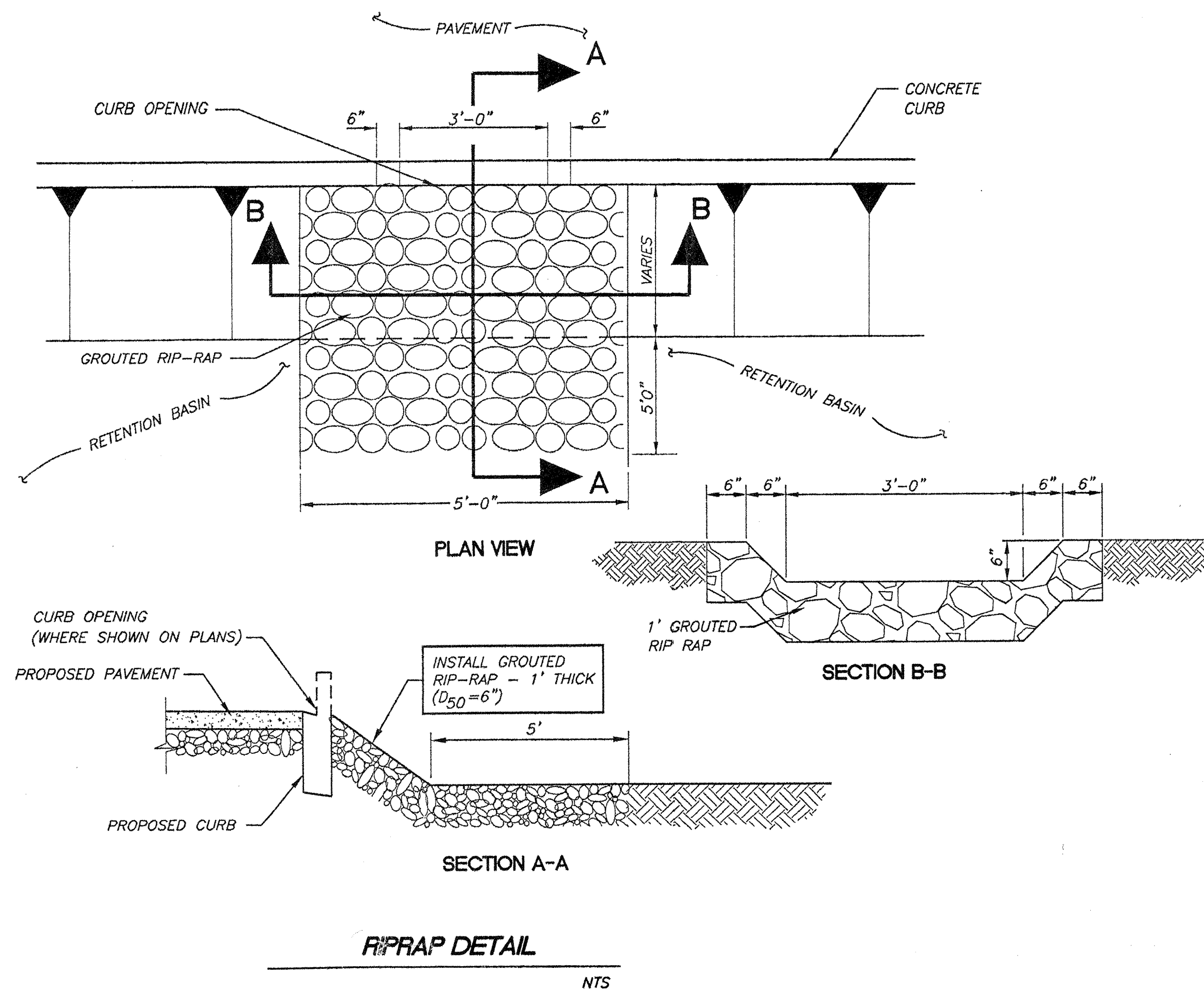
CALL TWO WORKING DAYS  
BEFORE YOU DIG  
**263-1100**  
HOPE MARICOPA COUNTY

EXTERNAL  
DRAWINGS

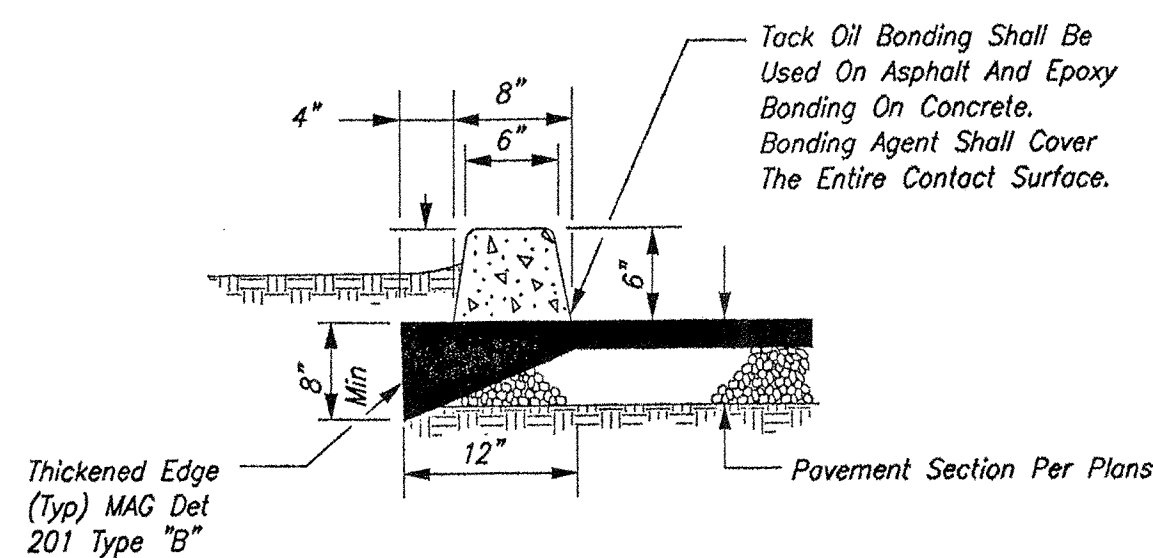




EXTERNAL  
DRAWINGS

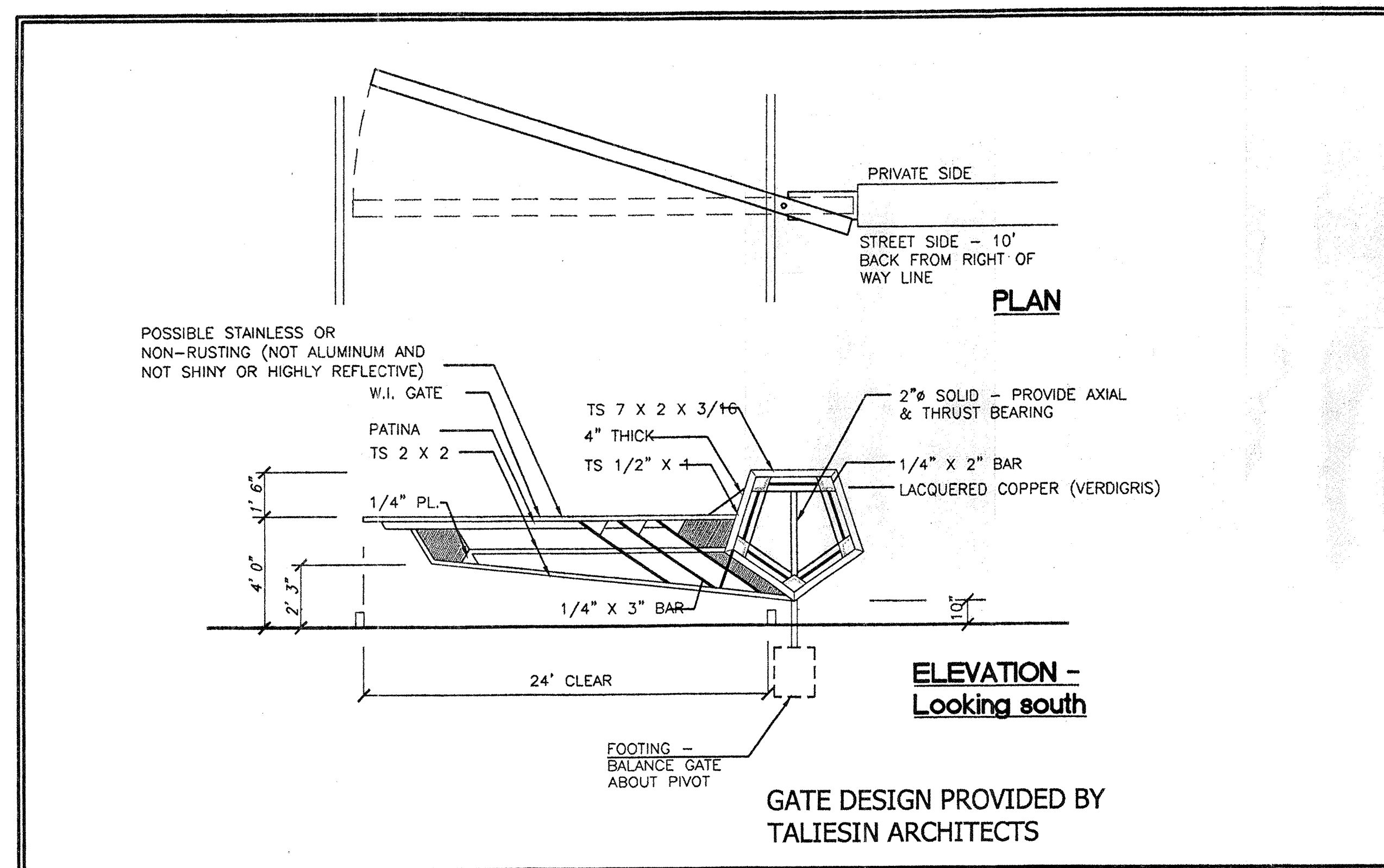


Extruded Curb Shall Have A Tooled Joint Every 10 feet And At Least 3 Per Each Small Radius Curve



Note: Extruded Curb Shall Be Placed By Qualified Applicators. All Material Utilized Shall Be Delivered To The Job Site In Transit Mixers As Per, M.A.C. Specs. 725.

**EXTRUDED CURB DETAIL**  
(Not to Scale)

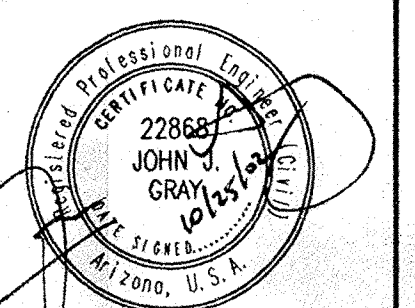


Evans, Kuhn  
& Associates, Inc.  
727 E. Bethany Home Rd.  
Phoenix, Az 85014  
602.241.0782 phone  
602.248.9158 fax

**GRADING AND DRAINAGE PLAN**  
**ASCENSION LUTHERAN CHURCH**  
7100 NORTH MOCKINGBIRD LANE  
PARADISE VALLEY, ARIZONA

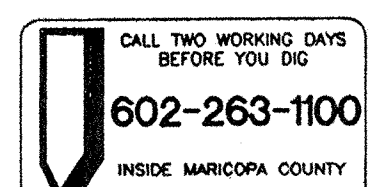
REVISIONS	
1	REVISED 9/20/02
2	REVISED 10/25/02

DRAWING STATUS:



DATE ISSUED	7/23/02
DESIGNED BY	PTT
DRAWN BY	PTT
CHECKED BY	JUG
PROJECT NO.	4929
DRAWING NO.	

**C1.04**  
SECTION  
AND DETAILS

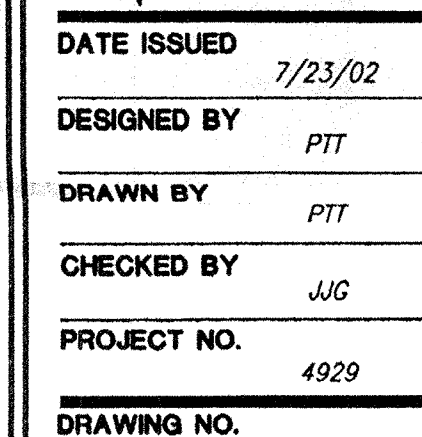




**SOUTH SIDE IMPROVEMENTS**  
**ASCENSION LUTHERAN CHURCH**  
**7100 NORTH MOCKINGBIRD LANE**  
**PARADISE VALLEY, ARIZONA**

REVISIONS	

**DRAWING STATUS.**



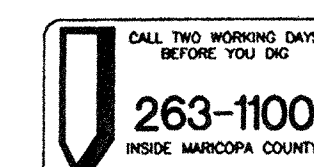
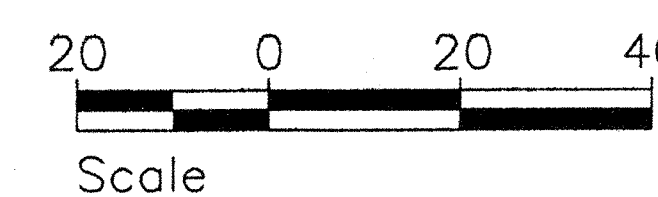
**C1.05**  
**SOUTH SIDE**  
**IMPROVEMENT**  
**PLAN**  
*1"=20'*

EXTERNAL  
DRAWINGS



## CONSTRUCTION NOTES

- |   |   |   |  |
|---|---|---|--|
| 1 | CONSTRUCT CURB & GUTTER PER MAG STD DETAIL 220, TYPE A.   | 6 | PAINT 4" WIDE WHITE PARKING STRIPE. (TYPICAL)          |
| 2 | CONSTRUCT 3" A.C. (C-3/4 MIX) OVER 6" A.B.C. PAVEMENT.  | 7 | EXISTING CURB TO REMAIN IN PLACE.                      |
| 3 | SAWCUT AND REMOVE EXISTING EDGE OF PAVEMENT 2' MIN. INTO EXISTING PAVEMENT. REPLACE PAVEMENT IN-KIND OR WITH 3" AC C-3/4 MIX OVER 6" ABC, WHICHEVER IS GREATER. | 8 | EXISTING DRIVEWAY TO REMAIN IN PLACE.                  |
| 4 | ADJUST EXISTING SEWER MANHOLE RIM TO MATCH NEW GRADE  | 9 | CONSTRUCT 2" A.C. (C-3/4 MIX) OVER 4" A.B.C. PAVEMENT. |
| 5 | CONSTRUCT EXTRUDED CURB PER DETAIL ON SHEET C1.04.  |   |  |

$$1'' = 20$$


Commissioner Adams recommended continuing the minutes to December 21, 1999 meeting. Commissioner Coffman seconded the motion and all were in favor.

**REGULAR BUSINESS**

**CONTINUED MEETING: Consideration of a proposed preliminary plat for a four-lot subdivision located on the southwest corner of Berneil Drive and Scottsdale Road.**

Mr. Pascoc explained that the staff had recommended a continuance to the January 4, 2000 meeting to give the applicant the opportunity to provide on the landscape plans Scottsdale Road widening standards and to explain how the landscaping would be maintained for the subdivision. The continuance would also provide the applicant with the opportunity to contact the eventual home builder of the property to approach the Commission for any questions.

Commissioner LeMarr made a motion to continue the applicant's request to the January 4, 2000 meeting, but he also stated that he had done research into the property. With his resources it was not indicated that the applicant was the owner of the subject property. He stated that he was concerned about that.

Chairman Clarke directed that question to staff as to how staff verifies ownership.

Mr. Pascoe explained that staff requires a title report be submitted with any application, which verifies ownership of the property.

Commissioner Cohen offered an amendment to the motion to continue the item to the January 4, 2000 meeting, and not to continue the item any further without demonstration of good faith from the applicant.

Commissioner Adams seconded the motion and all were in favor.

**PUBLIC MEETING: Consideration of a proposed minor amendment to the Special Use Permit for Ascension Lutheran Church, located at 7100 North Mockingbird Lane, to change the design of previously approved columbariums for the memorial garden.**

Michelle Bickerton presented the staff report.

Chairman Clarke asked if staff had received any complaints on the applicant's request.

Ms. Bickerton replied that staff had not received any inquiries, positive or negative, regarding the applicant's request, and that staff was not aware of any violations of the existing special use permit.

Commissioner Cohen asked why there was a stipulation requesting a mylar of the site plans.

Planning Commission Minutes  
December 7, 1999

Ms. Bickerton explained that any time there is a site plan change approved at either the Commission or Council level, staff requests a mylar to have an updated copy for Town records.

Commissioner Benson asked if there was a change in the presentation technology from previous presentations.

Ms. Bickerton explained that staff was trying out a new software program called Microsoft Power Point for presentations at both the Commission and Council levels.

Commissioner Benson recommended a change in staff report layout. Instead of using the word "enforcement" to discuss violations or complaints of special use permits, he recommended that staff consider using the word "compliance".

Commissioner Benson asked if there was any timing associated with the 1997 approval for the columbariums in the memorial garden.

Ms. Bickerton explained that staff did not see any expiration date or time limit for construction of the 1997 special use permit. Staff was under the impression that after approval in 1997, the applicant received bids for construction and it was determined the cost of the proposed design of the columbariums was substantial. This resulted in a request for a design change to save in construction costs.

Mr. Pascoe explained that there was a requirement that the applicant hook up to the sewer by Spring 1999 as part of the 1997 special use permit approval. The applicant had hooked up the sewer as required.

Chairman Clarke asked if the applicant had any words to share with the Commission.

The applicant stated there was nothing to discuss and that staff had addressed the applicant's request.

Chairman Clarke opened the meeting to the public and asked the audience if anyone wanted to speak. There were none.

Chairman Clarke asked for a motion.

Commissioner Benson made a motion to approve the applicant's request as a minor amendment to the Special Use Permit. Commissioner Cohen seconded the motion and all were in favor.

Commissioner Benson made a motion to approve the applicant's request for a minor amendment to the special use permit with the following stipulations:

1. The applicant shall submit a mylar of the revised master plan and memorial garden site plan reflecting the columbarium design changes prior to the issuance

- of the building permit.
2. All landscaping for the memorial garden shall conform to the landscape plan approved as part of the January 9, 1997 amendment to the special use permit.

Commissioner Coffman seconded the motion and all were in favor.

**PUBLIC MEETING: Consideration of a proposed amendment to the Special Use Permit for Tesseract School, located at 4800 E. Doubletree Ranch Road, to add a shade structure over a portion of an existing basketball court area on the western side of the school building and a security gate near the existing pre-school classrooms.**

Ms. Bickerton presented the staff report.

Chairman Clarke asked staff why they didn't include that the property used to be called the Foothills Swim Club in their background study.

Ms. Bickerton explained that in doing research, ownership information regarding the Foothills Swim Club didn't turn up until after the staff report had been completed. Staff would make sure that information was included in the action report.

Commissioner Cohen asked if it is policy for the affidavit of mailing to include the residents name along with the property address. In looking through the packet, he noticed that the Tesseract notices said "resident". He asked for an explanation.

Mr. Pascoe stated that it is policy that notices are sent by first class mail, but it is practice to include the name and address in the affidavit of mailing.

There was discussion of Tesseract's compliance with their enrollment.

Commissioner Benson asked if staff evaluated the entire existing special use permit when an application came through, in addition to looking at the applicant's compliance with the special use permit.

Mr. Pascoe explained that if there had been no previous complaints or violations, no exhaustive research is done with the special use permit. If problems do exit, staff does a more exhaustive research.

Jill Kessler, executive director of Tesseract School, introduced Dr. Luber.

Dr. Luber, 9116 N. Morning Glory Road, discussed skin care statistics and the responsibility of the Town and government to protect children. He stated the Town should require shade structures in all open areas and encouraged the Planning Commission to see that all schools had shade structures.

Chairman Clarke encouraged Dr. Luber to get with staff to suggest that sort of policy.



LOT 2  
MEADOWLARK ACRES  
BK 194, PG 11, MCR

LOT 3  
MEADOWLARK ACRES  
BK 194, PG 11, MCR

HUMMINGBIRD LANE

EXISTING CHURCH  
BUILDING

PLAYGROUND  
EQUIPMENT  
ON SAND

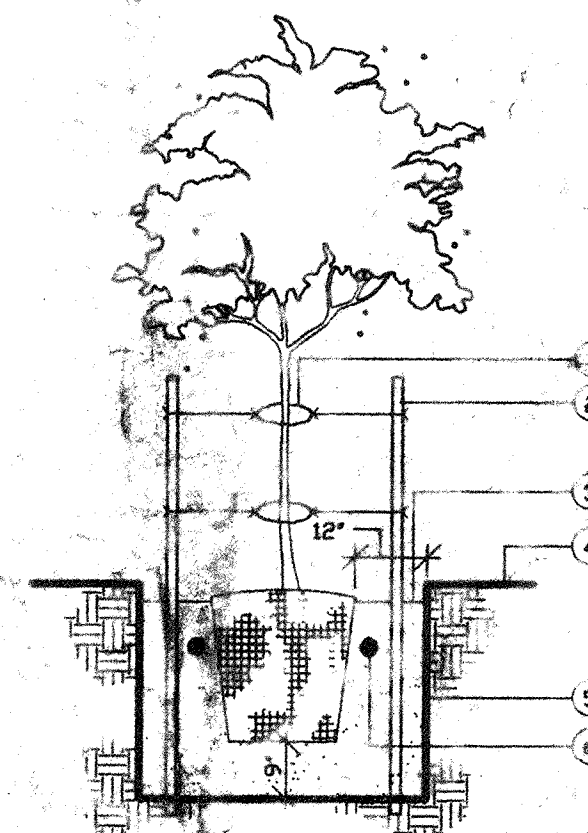
MEADOWLARK LANE

### PROPOSED LANDSCAPE

- CERCIDIUM FLORIDUM  
BLUE PALO VERDE  
24" BOX
- DASYLERION WHEELERII  
DESERT SPOON  
5 GALLON
- CASSIA PHYLLODENIA  
CASSIA  
5 GALLON
- AMBROSIA DELTOIDEA  
BURR SAGE  
GALLON

### EXISTING LANDSCAPE

- EXISTING TREES  
TO REMAIN
- MEXICAN FAN PALM  
AFRICAN SUMAC  
ABORVITE  
ALLEPO PINE  
PALO VERDE  
MESQUITE
- EXISTING SHRUBS  
TO REMAIN
- CREOSOTE  
CASSIA  
ACACIA  
JUNIPER  
BRITTLE BUSH  
YUCCA  
AGAVE  
LANTANA  
JUSTICIA  
OLEANDER

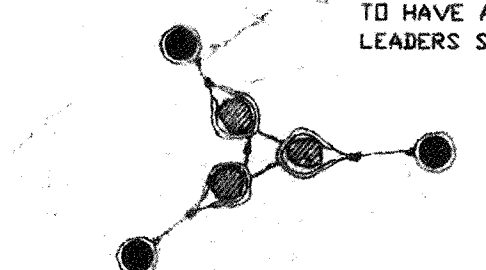


- 1/2" RUBBER HOSE WITH #10 WIRE
- TWO 2" RODS BY 8' LONG GREEN  
TREE STAKES BURY 3" BELOW GRADE
- 4" BASIN
- GRADE
- ROUGHEN SIDES OF PLANT PIT TO  
PREVENT GLAZING
- AGRIFORM TABLETS

BACKFILL PLANT PIT WITH SOIL MIX  
NOTED IN SPECS.

### DOUBLE STAKING DETAIL

NOTE:  
MULTI-TRUNKED TREES  
TO HAVE ALL MAJOR  
LEADERS STAKED



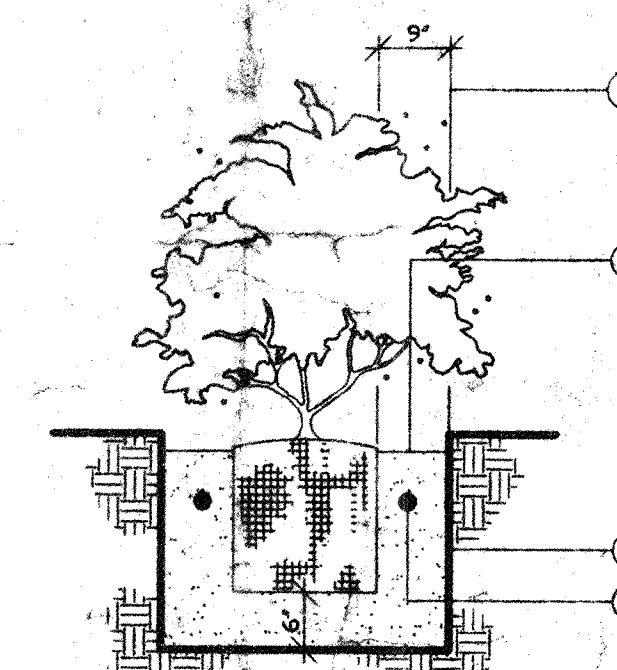
MULTI-TRUNK

DOUBLE-TRUNK

SINGLE-TRUNK

1. NOTCH TUBING LOOP  
WIRE THROUGH  
EXPOSED WIRE
2. #10 WIRE RUBBER COATED
3. 1/2" RUBBER HOSE

### TREE GUYING DETAIL



1. MINIMUM DIMENSION FOR 5 GAL. PLANTS
- 2' BASIN
- ROUGHEN SIDES OF PLANT PIT TO  
PREVENT GLAZING
4. AGRIFORM TABLETS SEE SPECS. FOR  
RATIO

BACKFILL PLANT PIT WITH SOIL MIX  
NOTED IN SPECS.

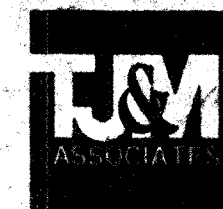
### SHRUB PLANTING DETAIL

40 0 40 80  
scale feet



APPROVED BY

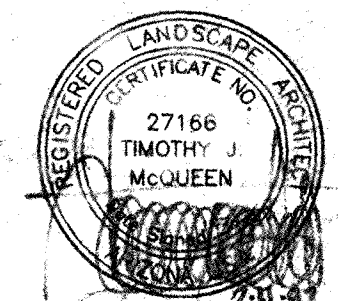
DATE



T.J. McQUEEN & ASSOCIATES, INC.  
LANDSCAPE ARCHITECTURE  
URBAN DESIGN  
SITE PLANNING  
1121 East Missouri Ave., Suite 218  
Phoenix, Arizona 85014  
(602) 265-0320  
FAX 265-6619

STEPHEN  
G.  
BUNYARD  
ARCHITECT

3444 E. ORAIBI DR.  
PHOENIX, AZ. 85024  
(602) 569-5677



DESIGNED BY

DRAWN BY

CHECKED BY

DATE

SCALE

PROJECT

REVISION

NO.

DATE

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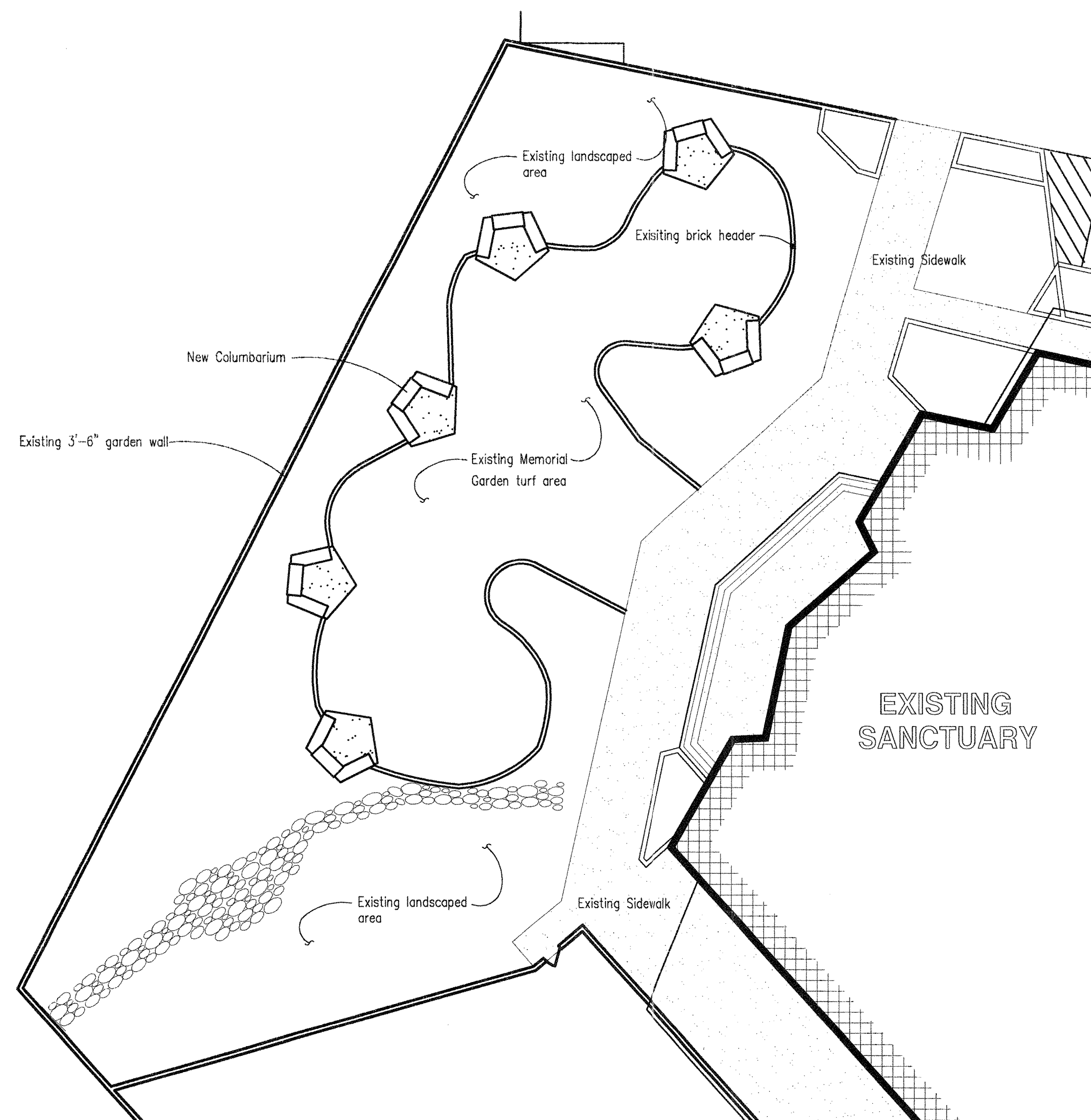
BY

DATE

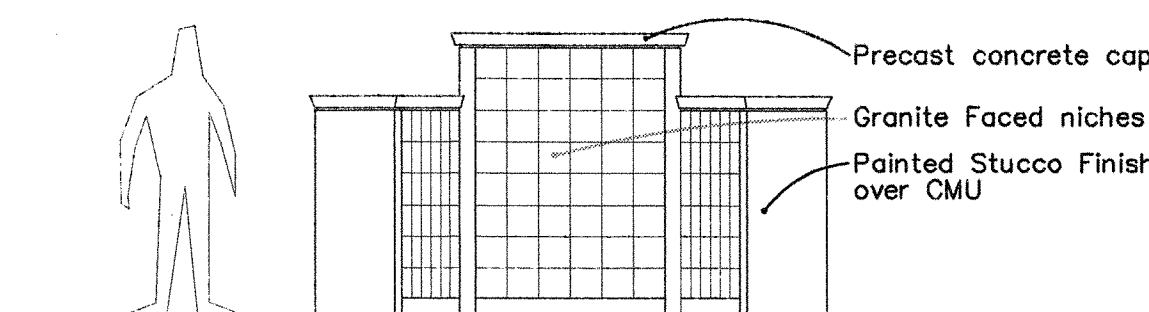
BY

DATE

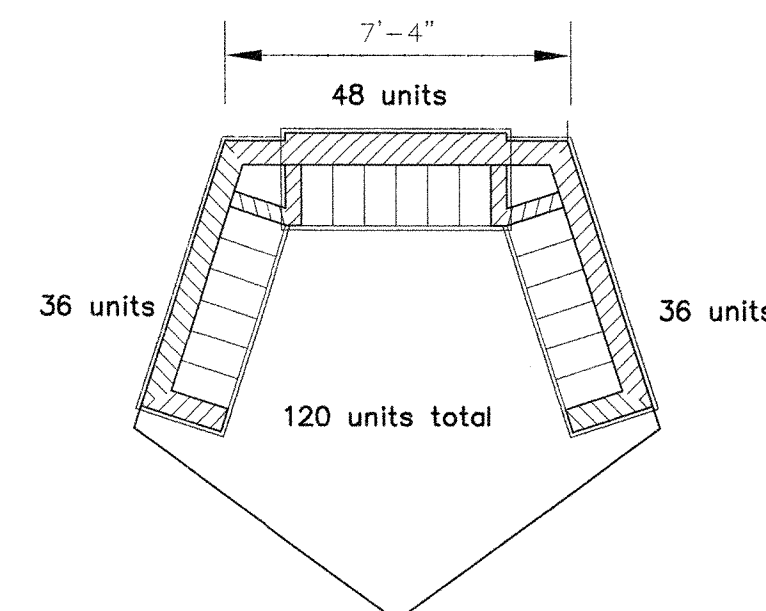




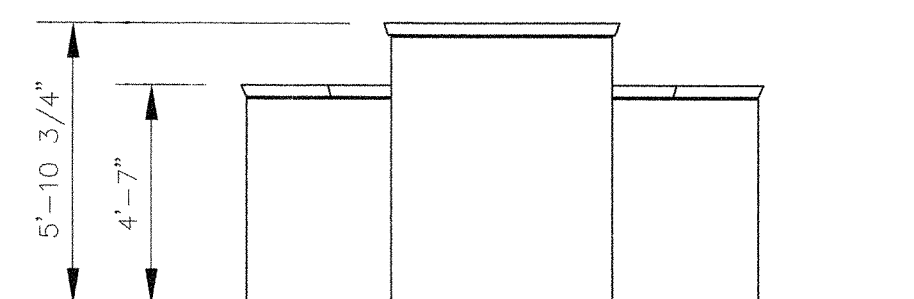
MERMORIAL GARDEN SITE PLAN  
SCALE: 1/16" = 1'-0"



Front Elevation



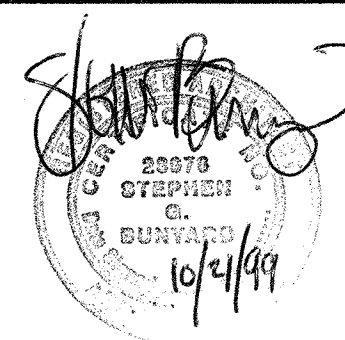
Plan



Rear Elevation

COLUMBARIUM PLAN / ELEVATIONS  
SCALE: 1/4" = 1'-0"

STEPHEN G. BUNYARD  
ARCHITECT  
3444 E. Oraibi Drive  
Phoenix, Az. 85050  
(602) 534-8077



DESIGNED: SGB

DRAWN: SGB

CHECKED: SGB

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Ascension Lutheran Church  
Minor Amendment to Special Use Permit  
7100 N. MOCKINGBIRD LANE  
SCOTTSDALE, AZ. 85253

REVISION	
5-1-99	Revise Columbarium Design

ISSUED FOR Special Use Permit

DATE: 5/1/99

DRAWING NUMBER: PAGE 2 OF 4

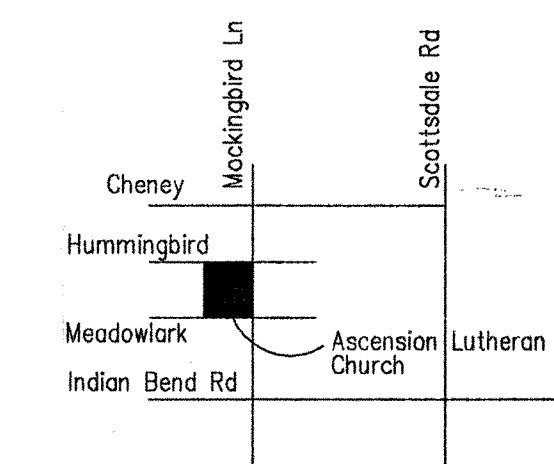
AMP-2

SUBMITTAL # 2

☐ NEEDS CORRECTIONS

☒ APPROVED *pending*

Vicinity Map



Drawing Index

AMP-1 (1 OF 4)	OVERALL MASTER PLAN
AMP-2 (2 OF 4)	MEMORIAL GARDEN SHHET
L-101 (3 OF 4)	PREVIOUS LANDSCAPE AMENDMENTS
LMP-1 (4 OF 4)	LANDSCAPE MASTER PLAN

LEGAL DESCRIPTION

Northeast Quarter of the Southeast Quarter of the Southwest Quarter of Section Three (3), Township Two (2) North, Range Four (4) East of the Gila and Salt River Base and Meridian.

EXCEPT the North 33 Feet and the East 40 feet and the South 33 feet and the West 165 feet of the Northeast Quarter of the Southeast Quarter of the Southwest Quarter of said Section Three (3).

APN# 174-51-033

PROJECT DATA

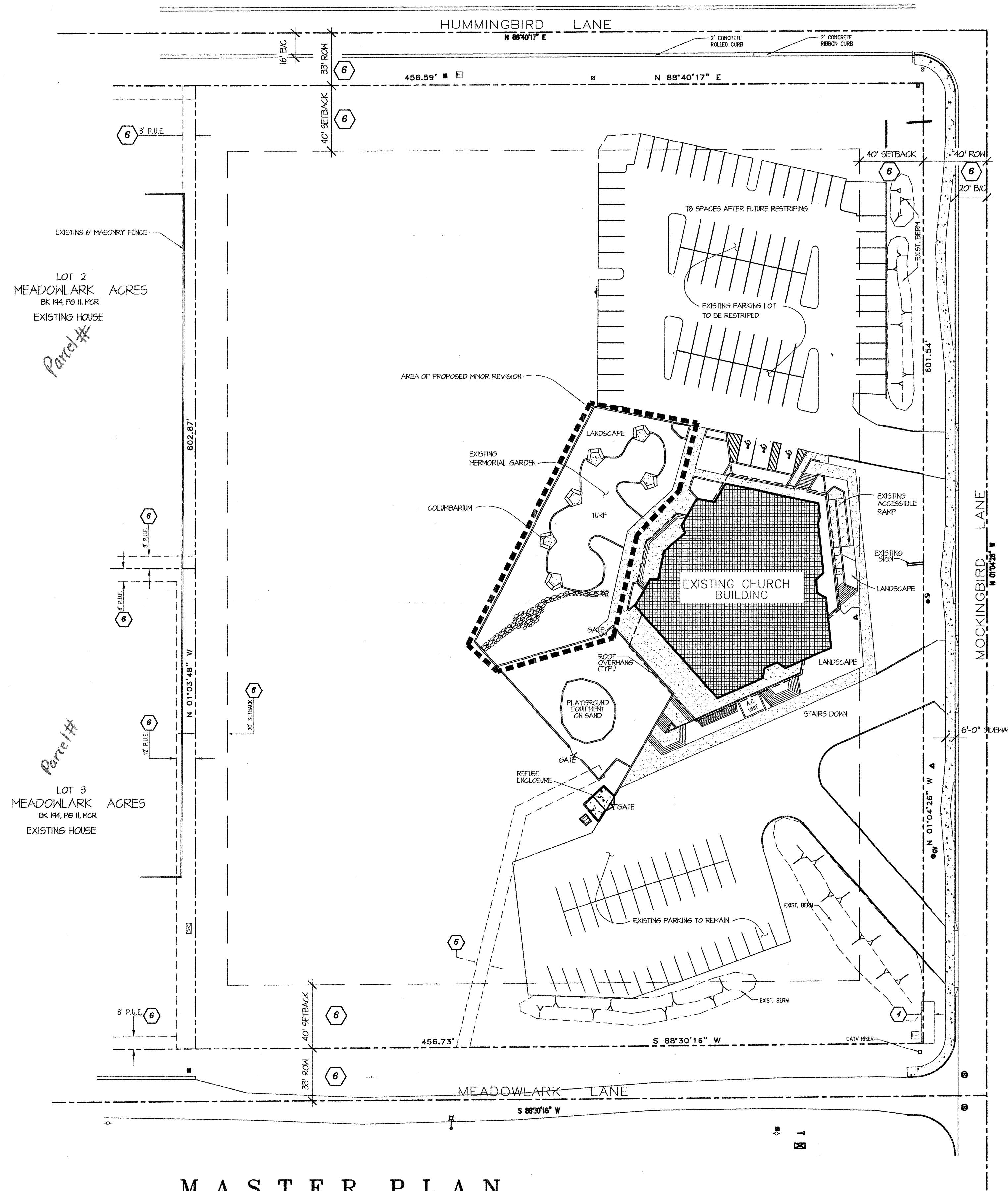
Owner:	Ascension Lutheran Church	948-6050
Net Property Area:	299,867 S.F.	(6.884 ACRES)
Lot Coverage	14,851 S.F.	(4.9% Coverage)
Existing Building Height	57'	
Existing Spire Height	100'	
Required Parking	$\pm 22,000 \text{ S.F. Gross Building Area} / 300 = 74 \text{ parking Spaces}$ 3 Accessible Spaces Required	
Existing Parking	113 spaces	
	3 Accessible Spaces	

LEGEND

	A.C. PAVEMENT		ELEC. TRANSFORMER ON PAD
	CONCRETE		TELEPHONE PEDESTAL
	EDGE OF BUILDING		SANITARY SEWER MANHOLE
	CMU WALL		ELECTRIC MANHOLE
	GAS VALVE		ELECTRIC BOX
	JUNCTION BOX		FIRE HYDRANT
	WATER METER		WATER VALVE
	POWER POLE		SIGN POST & PANEL
	DOWN GUY		FIRE RISER

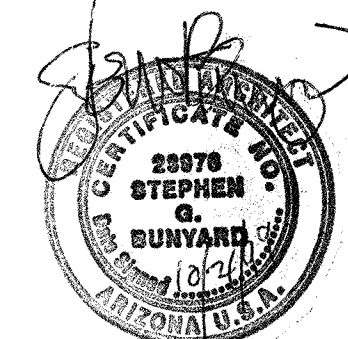
SCHEDULE "B" RESTRICTIONS

- 4 8' WIDE EASEMENT FOR UNDERGROUND ELECTRIC LINES
- 5 8' WIDE EASEMENT FOR UNDERGROUND ELECTRIC LINES
- 6 EASEMENTS AS NOTED PER "MEADOWLARK ACRES", BOOK 194 OF MAPS, PAGE 11, M.C.R.



MASTER PLAN

STEPHEN G. BUNYARD  
ARCHITECT  
3444 E. Oraibi Drive  
Phoenix, Az. 85050  
(602) 534-8077



DESIGNED:	SCB
DRAWN:	SCB
CHECKED:	SCB

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Ascension Lutheran Church  
Minor Amendment to Special Use Permit  
7100 N. MOCKINGBIRD LANE  
SCOTTSDALE, AZ. 85253

REVISION:	
1	12-1-94 Revise Columbarium Design

ISSUED FOR	Special Use Permit
DATE:	11/4/96
DRAWING NUMBER:	PAGE 1 OF 4

AMP-1



**Special Use Permit Review Committee Minutes  
May 12, 1998**

Judy Lenz, preschool director for the Church, explained that a handicap student is starting in the fall and the Church needs the handicap accessible ramp to fulfill the needs of that student and others needing accessibility.

There was discussion of landscaping on church property and the Town Landscape Guidelines.

There was discussion of the existing plant palette on the Church property.

Pastor David Kupka said he would like to sit with Ms. Taylor to discuss the unmaintained landscape.

Brent Maxwell, Family Life director, concurred with Pastor Kupka's request to sit with the neighbor to discuss landscaping.

Committee Member Benson moved to reconsider his original motion that the application is minor in nature; seconded by Chairman Cole.

There was discussion of the status of the application if not approved.

Mr. Pascoe said the application would be left undecided and probably be processed as a major amendment to the Church's Special Use Permit.

Dan Kline, general contractor for the ramp construction, said the ramp is required by the ADA.

Committee Member Moya directed staff to act on an administrative level when Federal laws are at issue for Special Use Permit applications.

The motion passed 3 - 0.

Mr. McCullough presented staff's report to the SUPREC Committee.

There was discussion of stipulations with regard to landscape maintenance and the installation of new landscaping.

Chairman Cole closed the public hearing.

Committee Member Benson moved to approve the minor amendment to the Special Use Permit of Ascension Lutheran Church to construct a handicap ramp and install landscaping and outdoor walkway lighting with the following stipulations:

1. That no building permit be issued until Town staff is satisfied with the maintenance of existing landscaping on the Church property.
2. That new proposed landscaping be installed at the applicant's convenience, but within 12 months after commencement of the ramp construction.

**Special Use Permit Review Committee Minutes**  
**May 12, 1998**

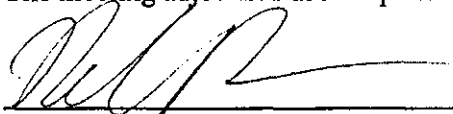
Seconded by Chairman Cole.

There was discussion of ADA requirements for the handicap accessible ramp and Church bathrooms.

The motion passed 3 – 0.

**ADJOURNMENT**

The meeting adjourned at 5:10 p.m.

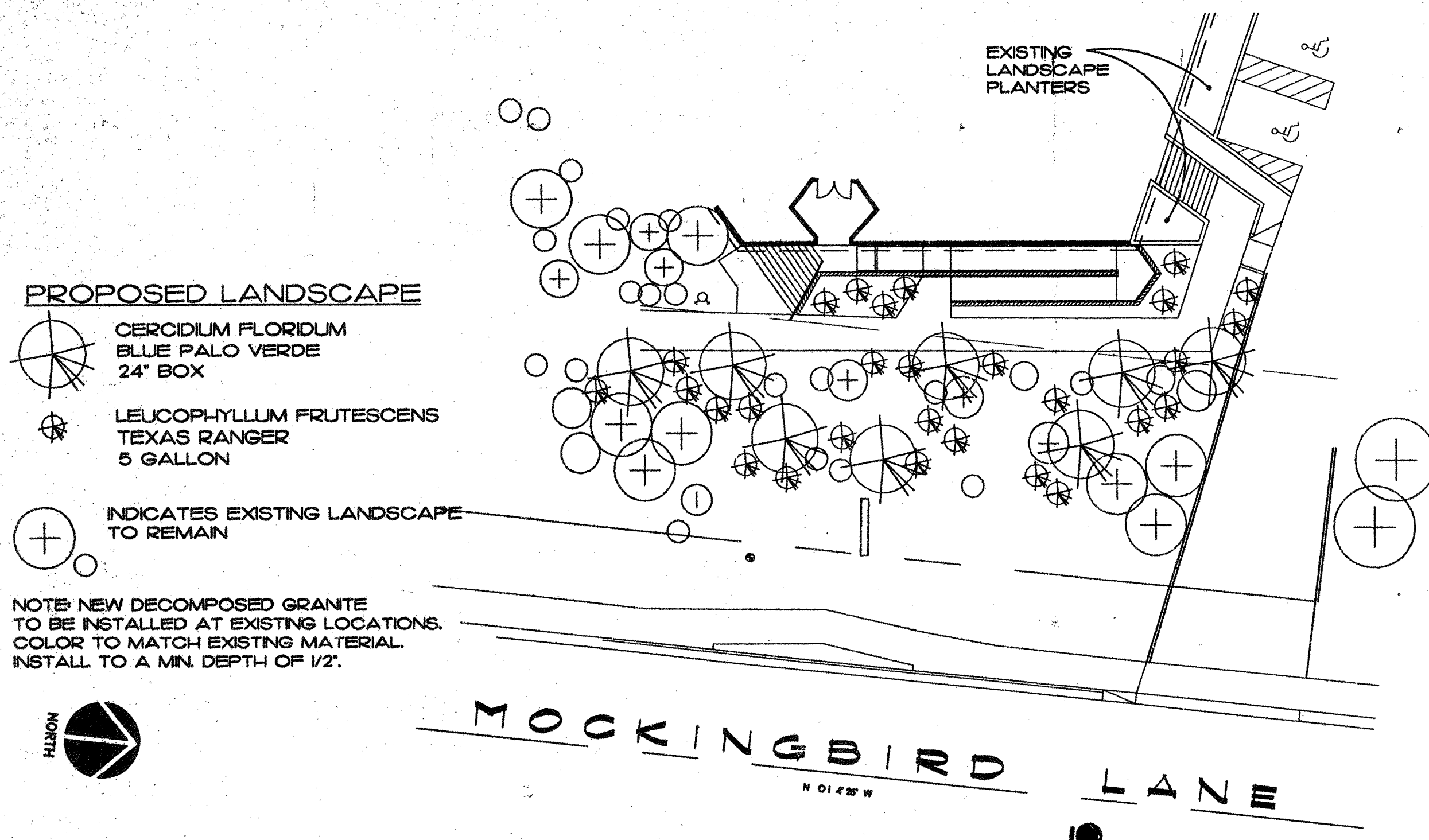


Neal Pascoe, Secretary



Jane Cole, SUPREC Chairman

*May 18, 1998*



## LANDSCAPE PLANTING PLAN

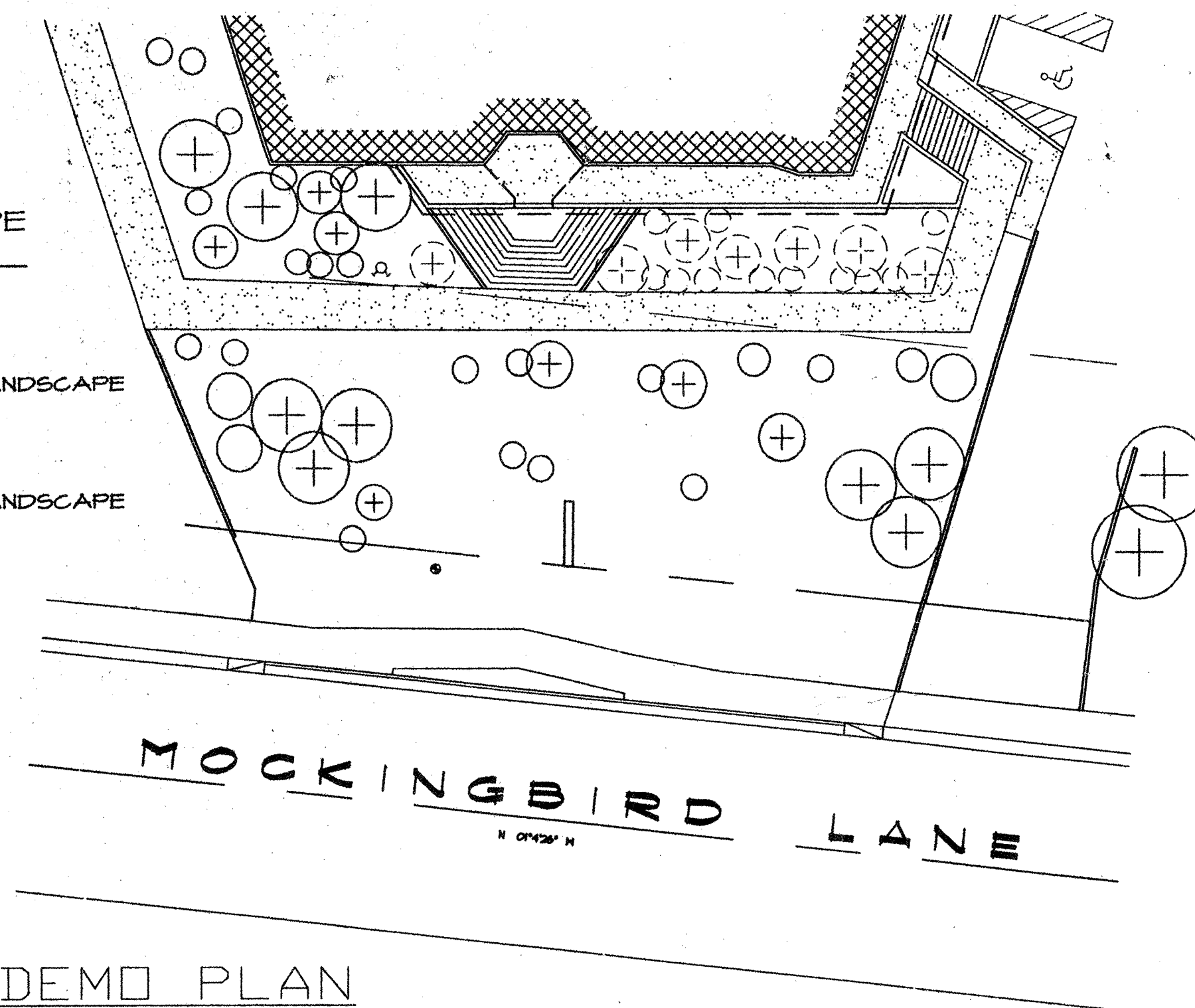
SCALE: 1" = 20'

## EXISTING LANDSCAPE TO BE REMOVED

- 3 - ITALIAN CYPRESS TREES
- 4 - ARBORVITE TREES
- 4 - JUNIPER SHRUBS

INDICATES EXISTING LANDSCAPE TO BE REMOVED

INDICATES EXISTING LANDSCAPE TO REMAIN



## LANDSCAPE DEMO PLAN

SCALE: 1" = 20'

texture and allow for setting.

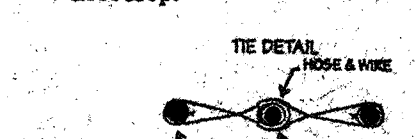
### Planting Trees

1. Mark a circular area three to five times the diameter of the root ball. Fill this area to a depth no deeper than the root ball. Walls of the undisturbed soil should be rough and sloping. Dig a hole in the center of the tilled area slightly wider and no deeper than the root ball.
2. Always handle the plant by the container or the root ball. Remove the plant from the container with minimal disturbance to the root ball. Score the root ball to cut any circling roots and to disturb the media-backfill interface. Make a vertical cut 1/4 to 1/2 inch deep four times around the sides and twice across the bottom.
3. The top of the root ball should be level with or slightly above the finished grade. Backfill with unamended soil. Do not pack the soil.
4. Remove the nursery stake. Do not prune unnecessarily. Remove only broken or infested branches, and double leaders using clean, sharp bypass pruners. Do not cover wounds with sealant or paint. Remove trunk sprouts gradually over several years.
5. Form an irrigation well, if used, at the edge of the root ball to ensure that irrigations wet the container media, irrigate the plant and the entire tilled area. Apply enough water to thoroughly wet the soil to the depth of the root ball. This will remove air pockets without compacting the soil.
6. Mulch the entire tilled area with 3 to 4 inches of organic material. Do not let mulch contact the trunk. If planting in a lawn, keep the tilled area free of grass.

### Staking Trees

1. Do not stake trees unnecessarily. If staking is required, use two stakes only. Place them outside the root ball and irrigation well at right angles to the prevailing wind. Make sure stakes penetrate undisturbed soil at least 6 inches.
2. To determine tie height, hold trunk with one hand and bend canopy to one side. If canopy does not return to an upright position, move up the trunk and try again. Find lowest point on trunk at which the canopy will return to an upright position. Place ties about 6 inches above this point.

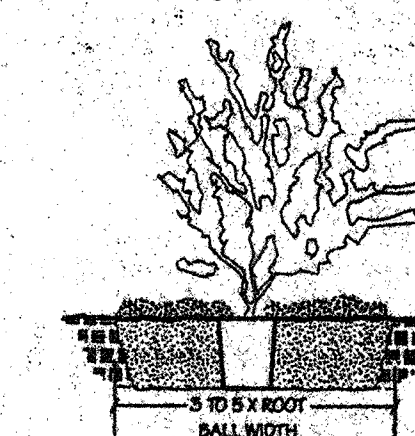
3. Use one set of ties only. Protect trunk from the wire by enclosing the wire in garden hose. The garden hose should be just long enough to loop around the trunk. Twist wires to keep the garden hose from moving along the wire. The trunk should not move inside the garden hose loop.



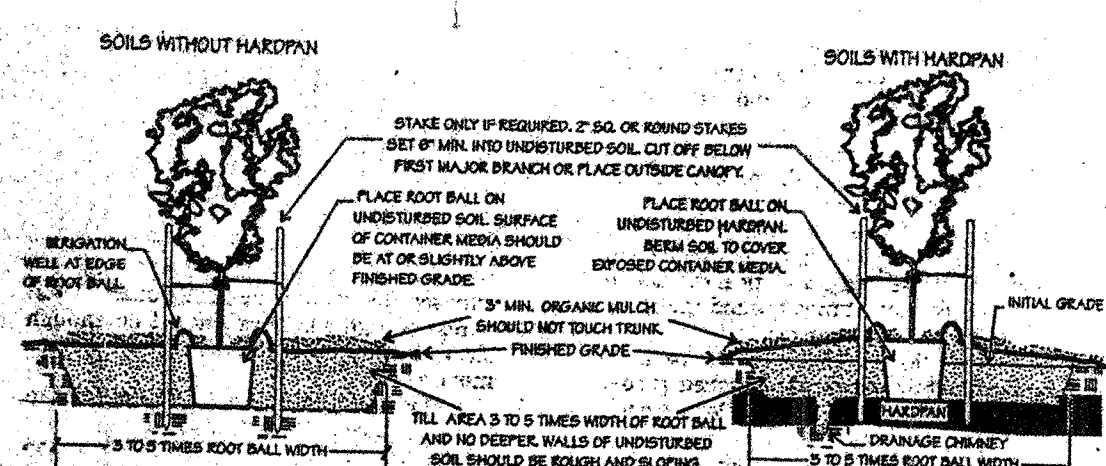
4. Fasten wires to stake so the cut ends are between the stake and the tree, not exposed on the outside of the stake. Twist wires to tighten. There should be enough slack to allow the trunk and garden hose to move as a unit.
5. Cut the stakes off below the canopy to prevent wounds to branches.
6. Inspect and loosen wires periodically as the tree grows. Remove stakes as soon as possible.

### Planting Shrubs

Follow same procedures as for planting trees. Be sure the plant crown is at or above the final grade to avoid crown rots.



Prepared by Dr. J. L. Tipton, Acid Greenhouse Extension Specialist, University of Arizona Department of Plant Sciences. Draft version. Contact Dr. Tipton at 520-621-1000 (ext. 320) 621-7186 (fax) or jltipton@ag.arizona.edu (email) with comments.



### Introduction

The majority of tree and shrub roots lie in the top 2 feet of soil and extend 1.5 to four times the width of the canopy. Planting practices that encourage the development of this root system can reduce the establishment phase and enhance plant stability. These practices are characterized by shallow, wide planting holes, no organic amendments in the backfill, an organic surface mulch, and proper staking of trees.

### Materials

1. Soil: Native soil should be reasonably free of construction materials and other debris. Cultivate compacted soils to a depth of 8 to 10 inches. Ideally soil should be 18 to 24 inches deep. Soil imported to increase depth or to achieve other objectives should be free of diseases, pests, weeds, debris, and should be similar in texture to native soil.
2. Soil Amendments: Do not add organic amendments to the backfill. Sulfur,

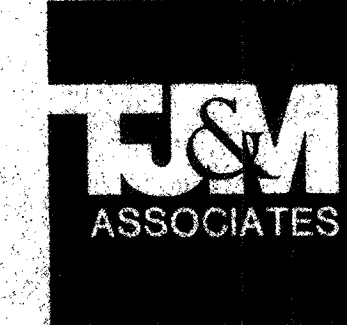
3. Plant Materials: See Selecting Plants (Landscape Plants No. 449).
4. Tree Stakes and Ties: Wood stakes should be 2 inches in diameter or 2 inches square. Construct ties of 1/2 inch garden hose and No. 12 to 14 gauge galvanized wire.
5. Mulch: Suitable organic mulch materials include ground bark, wood chips, and compost.

### Drainage Test

1. Test drainage by digging a hole 1 foot deep or so. Fill with water several times during the day. Drainage is poor if water is still standing 24 hours after the last filling.
2. Chimney holes may improve poor drainage due to a shallow, thin hardpan. Place drainage chimney beside, not beneath, root ball to avoid problems due to excess water (see illustration, above right).
3. Adding soil to increase rooting depth can also improve drainage. Use soil similar in

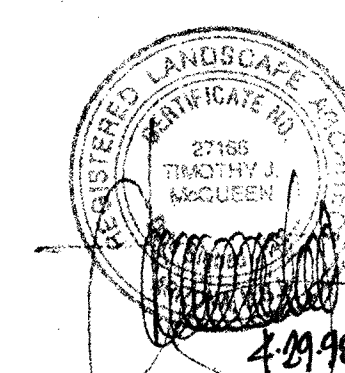
based in *Handbook of Cooperative Extension work*, vol. of May 8 and June 10, 1914, in cooperation with the U.S. Department of Agriculture, James A. Childersman, Director, Cooperative Extension, College of Agriculture, University of Arizona.

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**T.J. McQUEEN & ASSOCIATES, INC.**  
LANDSCAPE ARCHITECTURE  
URBAN DESIGN  
SITE PLANNING  
1121 East Missouri Ave., Suite 218  
Phoenix, Arizona 85014  
(602) 255-0320  
FAX 255-8819

**STEPHEN G. BUNYARD**  
ARCHITECT  
3444 E. Oraibi Drive  
Phoenix, AZ. 85024  
(602) 569-5877



DESIGNED: SGB  
DRAWN: SGB  
CHECKED: SGB

CONSENT: I, JAMES A. CHILDERSMAN, DIRECTOR, COOPERATIVE EXTENSION, COLLEGE OF AGRICULTURE, UNIVERSITY OF ARIZONA, HEREBY CERTIFY THAT THIS DRAWING IS AN INSTRUMENT OF SERVICE, IT IS THE PROPERTY OF THE UNIVERSITY OF ARIZONA, AND MAY NOT BE REPRODUCED OR REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE UNIVERSITY OF ARIZONA.

Ascension Lutheran Church  
Special Use Permit Minor Amendment  
Ramp Addition  
7100 N. MOCKINGBIRD LANE  
SCOTTSDALE, AZ. 85253

REVISION:	

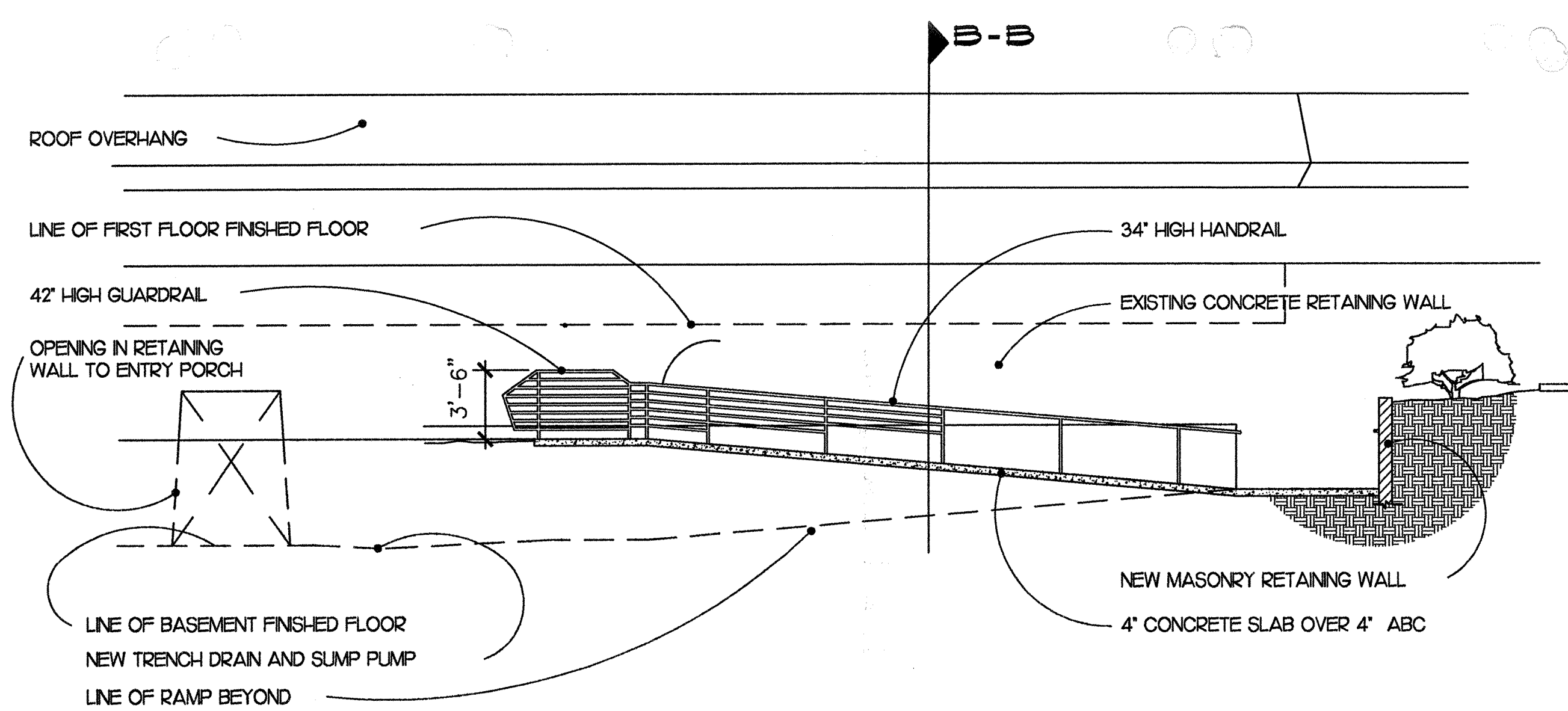
ISSUED FOR SUPREC

DATE: 4-6-98

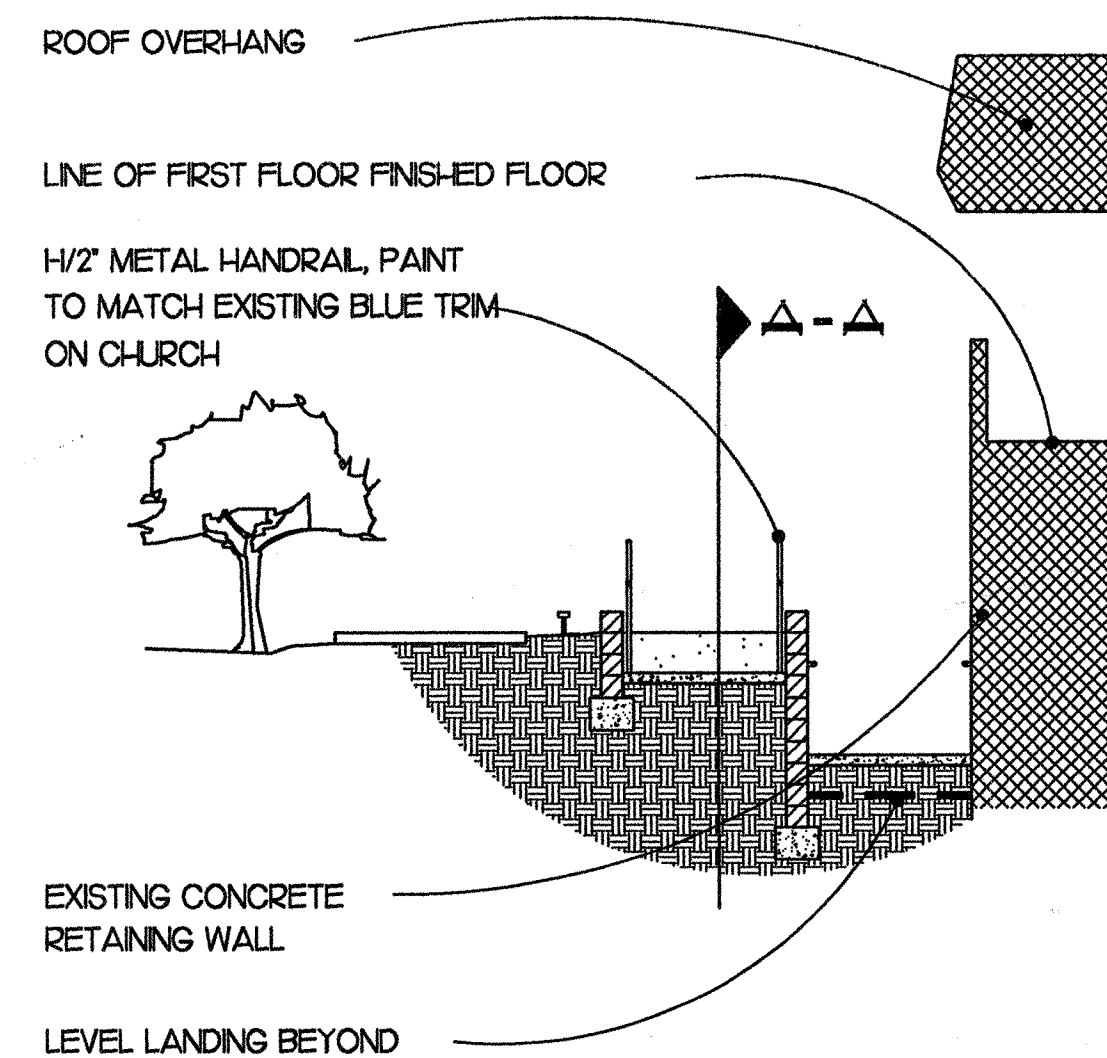
DRAWING NUMBER:

L-101

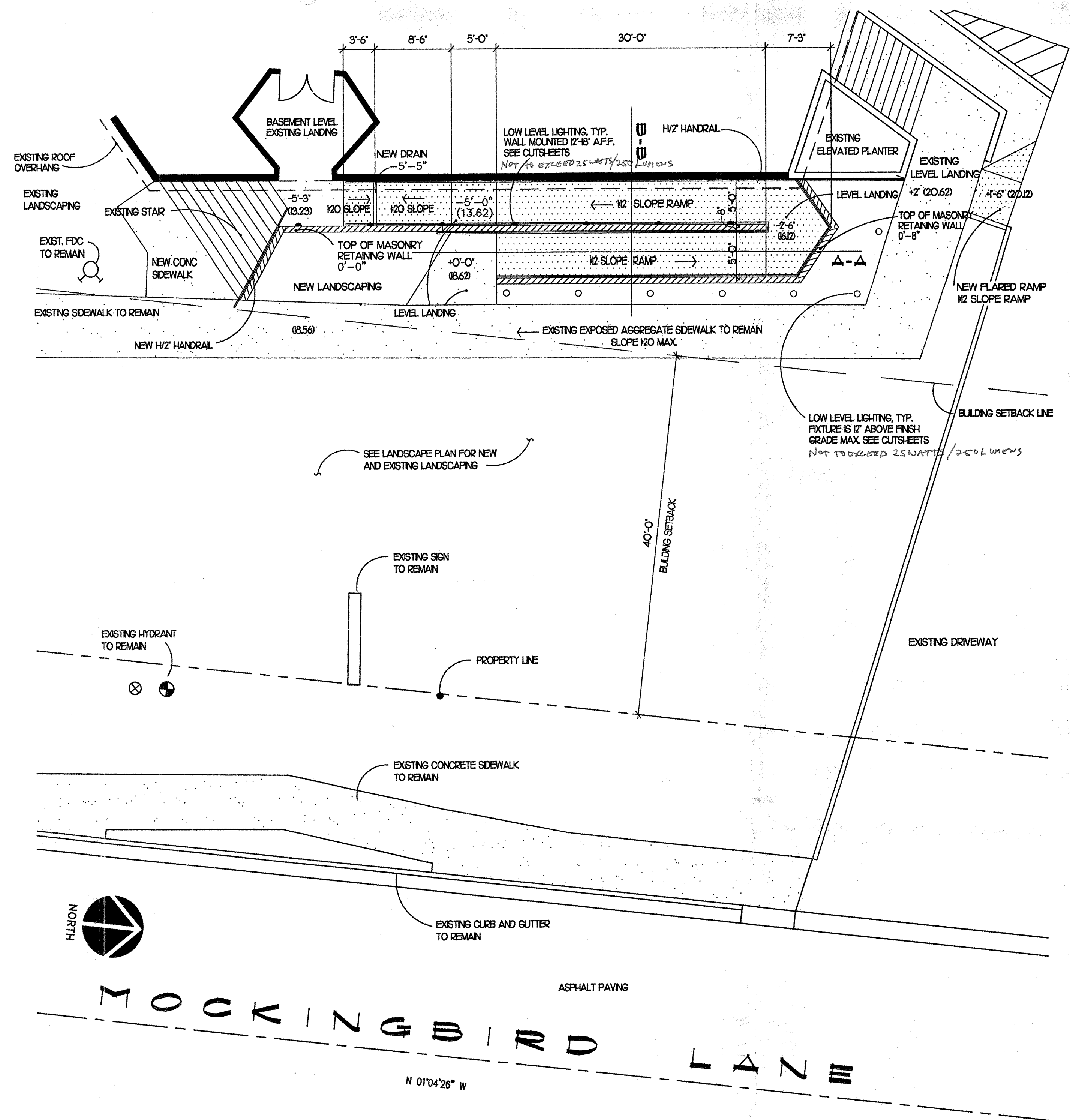
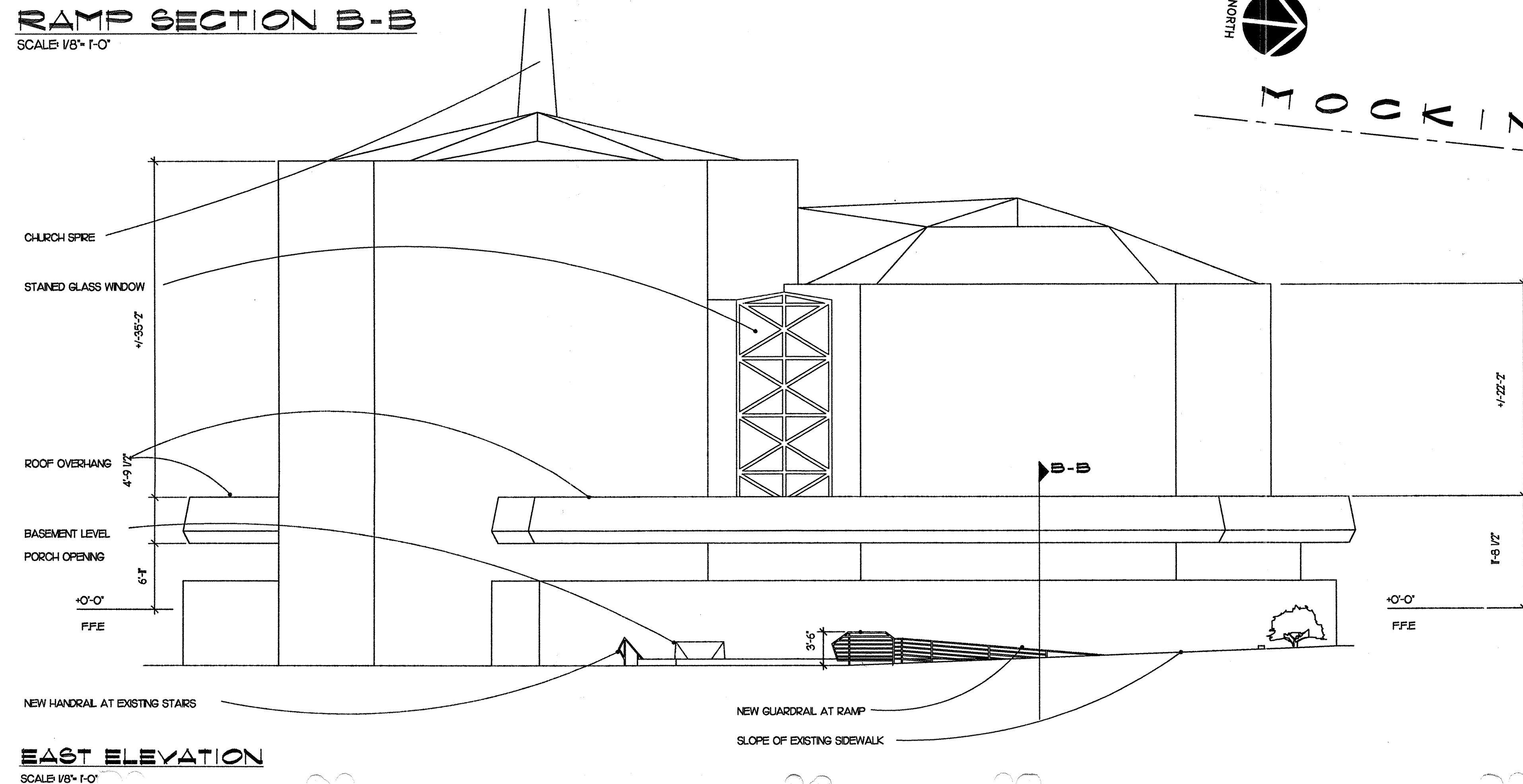
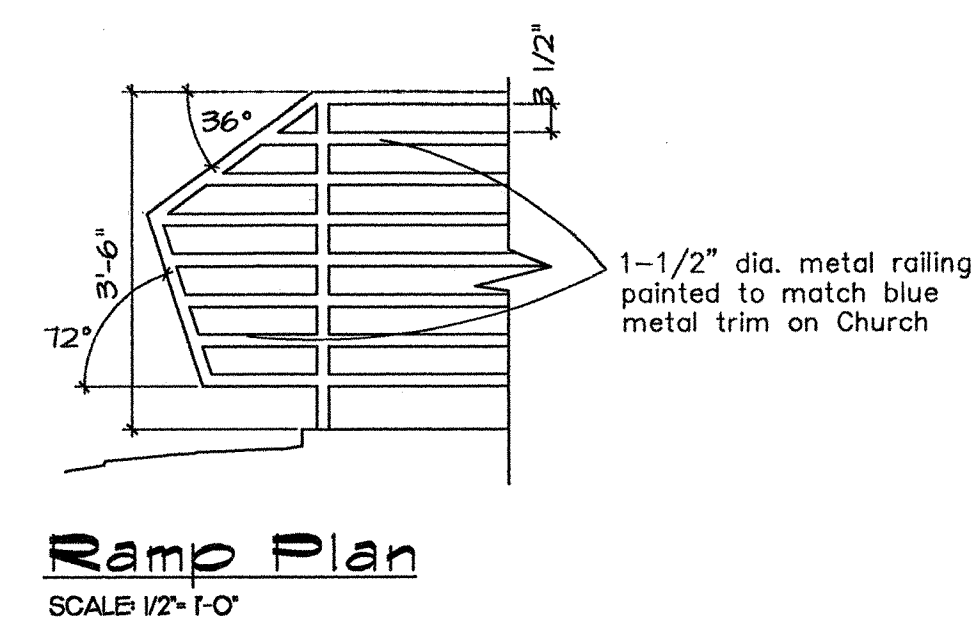




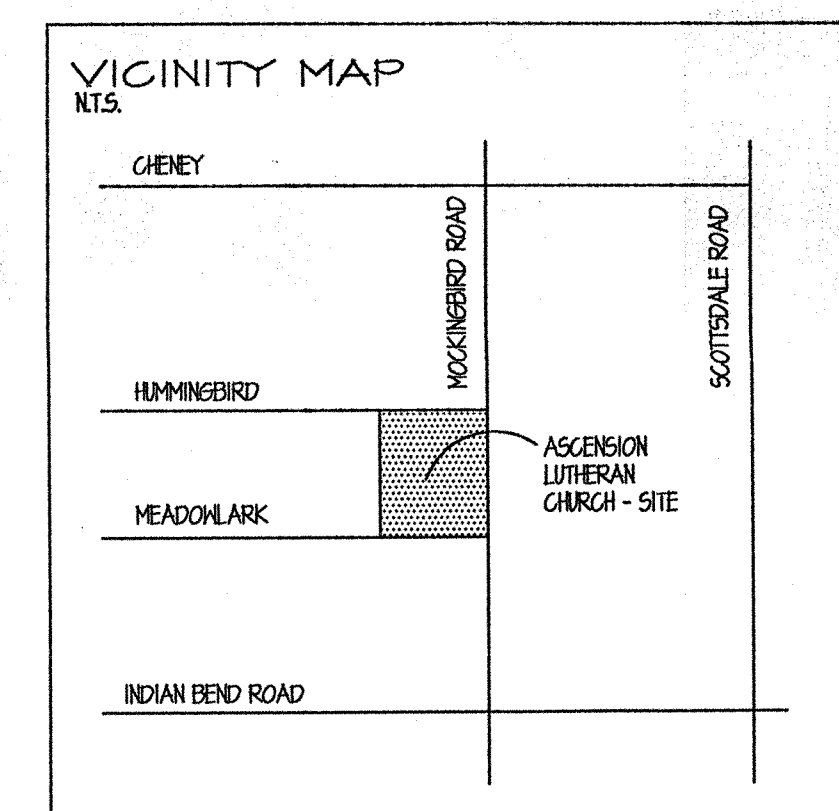
**RAMP SECTION A-A**  
SCALE: 1/8" = 1'-0"



**RAMP SECTION B-B**  
SCALE: 1/8" = 1'-0"



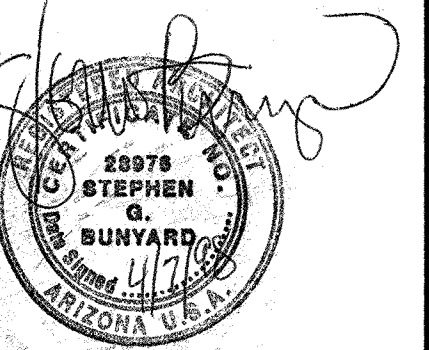
**PLAN VIEW**  
SCALE: 1" = 10'-0"



**PROJECT DATA**  
N.T.S.  
APN # 174-51-33  
LEGAL: NE 1/4, SE 1/4, SW 1/4, SEC. 3 T.2N.

**APPROVAL**  
TOWN OF PARADISE VALLEY  
PLANNING DIRECTOR  
DATE

**STEPHEN G. BUNYARD**  
ARCHITECT  
3444 E. Oraibi Drive  
Phoenix, AZ. 85024  
(602) 569-5677



DESIGNED: SGB  
DRAWN: SGB  
CHECKED: SGB  
COPYRIGHT 1998, ALL RIGHTS RESERVED, STEPHEN G. BUNYARD ARCHITECT. THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS THE PROPERTY OF STEPHEN G. BUNYARD ARCHITECT AND MAY NOT BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF STEPHEN G. BUNYARD ARCHITECT.

**Ascension Lutheran Church**  
Special Use Permit Minor Amendment  
Ramp Addition  
7100 N. MOCKINGBIRD LANE  
SCOTTSDALE, AZ. 85253

REVISION:  
ISSUED FOR TOWN REVIEW  
DATE: 4-6-98  
DRAWING NUMBER:

**A-100**

**TOWN COUNCIL MEETING - MINUTES  
JANUARY 9, 1997**

Councilmember Moya moved to amend stipulation 2 by replacing "children" with "preschool students". Councilman Thomas seconded the motion, which failed 2-5 with Mayor Davis, Vice Mayor Yoder and Councilmembers Cole, Hook, and Jackson voting no.

Councilmember Moya moved to stipulate that there must be a connection to the sewer within one year of the completion of the construction of the first columbarium. Vice Mayor Yoder asked if that would also replace the text in General Note 1 of the Master Plan and Councilmember Moya said yes. Councilman Hook asked that the connection to the sanitary sewer line not exceed 18 months from approval of this amendment to the special use permit. Councilmember Moya accepted the change and the stipulation was amended to read "The connection to the sewer shall be made within 1 year of the completion of the first columbarium but in any event, within 18 months of approval of this amendment to the special use permit". Councilmember Cole seconded the motion.

The applicant accepted the change. The amendment to the main motion carried 7-0.

The main motion carried 7-0.

The amended stipulations as approved by Council were as follows:

1. That the memorial garden plan be approved including the proposed six columbaria each to be constructed within a three-month time frame from start to finish after issuance of a building permit, but that the proposed parking lot lighting and restroom addition be shown on the Master Plan for information purposes only, and that no construction related to either of these features may take place until the Church applies for and receives approval of a major amendment to their Special Use Permit.
2. That a preschool be authorized with a limit of no more than 46 children on the property on any one day with hours of operation restricted to 9:00 a.m. to 4 p.m.
3. That the Church submit the revised Master Plan and Landscape Plan as approved by the Council clearly showing all structures shown for construction at this time and those shown for information purposes only on 24 x 36 inch mylar to the Planning Department no later than 30 days after Town Council approval.
4. The connection to the sewer shall be made within 1 year of the completion of the first columbarium but in any event, within 18 months of approval of this amendment to the special use permit.

**Consideration of Ordinance #435 - Special Meetings**

Mr. Siket presented Ordinance #435 on Special Meetings to conform the Town Code to the State Statutes regarding notices of special meetings of the Town Council.

Helen Harold felt residents should be notified five days in advance and felt the agenda should be more detailed.

950210213

MINOR AMENDMENT TO SPECIAL USE PERMIT

ASCENSION LUTHERAN CHURCH

Town of PV

38

Pursuant to Section XI of the Zoning Code of the Town of Paradise Valley, the Special Use Permit Review committee met on April 10, 1995, and agreed to permit the following minor amendment(s) to the existing special use permit approved by the Town Council on September 8, 1977, recorded Docket 12447, page 1435-1436, Maricopa County Recorder's Office.

These minor amendments are subject to the following conditions:

1. As show on the submitted plan marked Exhibit A, sheets 1 and 2.

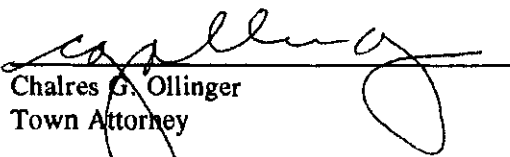
TOWN OF PARADISE VALLEY



ATTEST:

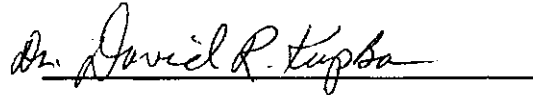


APPROVED AS TO FORM:



Charles G. Ollinger  
Town Attorney

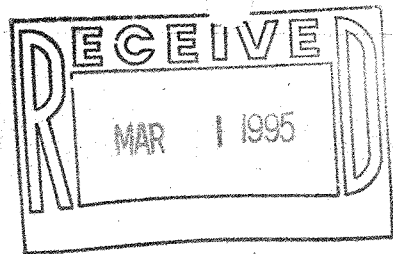
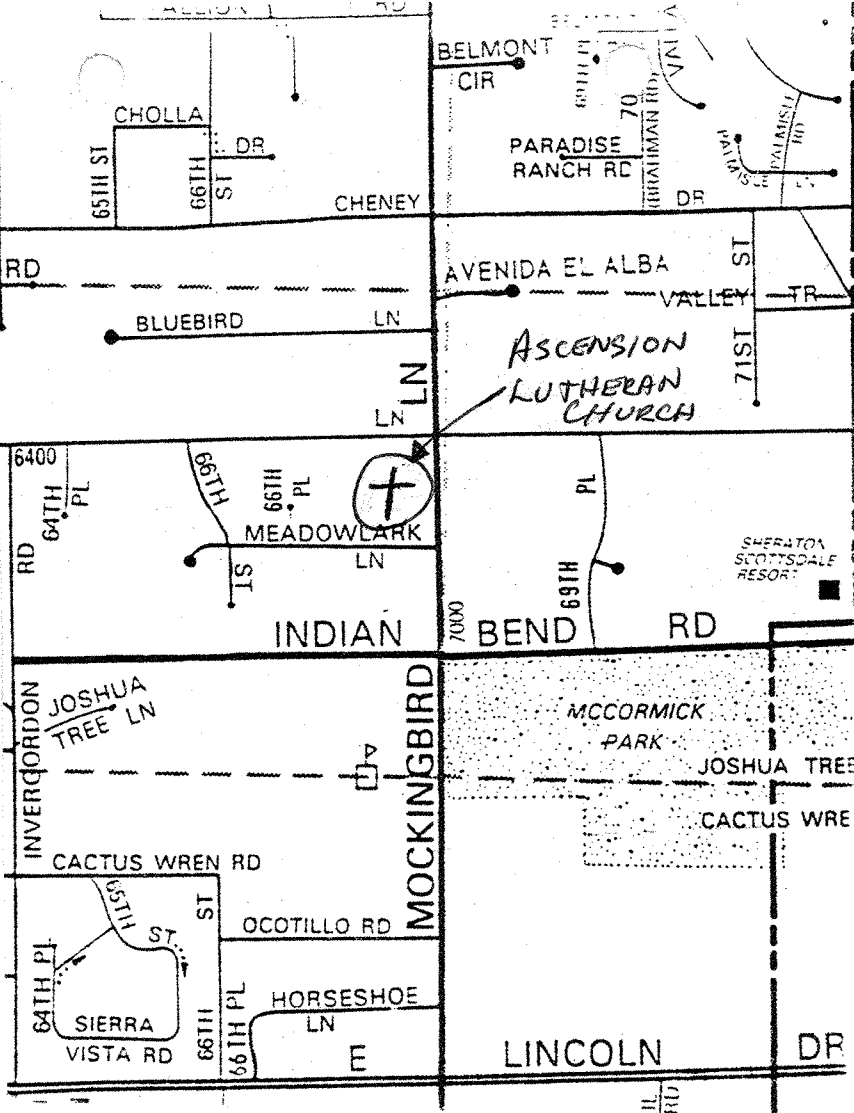
ACCEPTED AND AGREED TO BY:



BY:





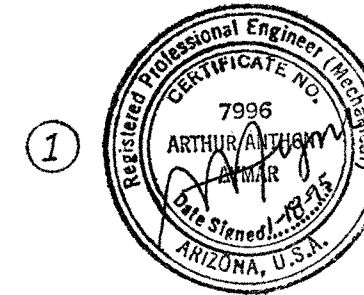


① EXHIBIT "A" - SECOND SHEET

ASCENSION LUTHERAN CHURCH  
7100 NORTH MOCKINGBIRD LANE  
SCOTTSDALE, AZ 85253

AIR CONDITIONING MODIFICATION PROJECT  
INSTALLATION OF NEW WATER COOLING TOWER  
LOCATION - SOUTH SIDE PARKING LOT

DRAWING BY: ARTHUR A. AYMAR, P.E.  
JANUARY 18, 1995



① REVISED: 2-28-95

LOCATION OF COOLING TOWER  
SEE INSTALLATION DWG. B

SOUTH PARKING LOT

MAIN FLOOR

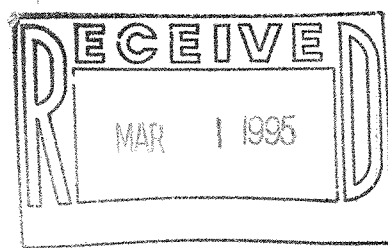
SCALE: 1" = 20'-0"



PROPERTY LINE

MOCKINGBIRD LANE

PLOT PLAN DWG. A



Minor Amendment 1994  
Exh A (Sheets 1 and 2)  
SUBMITTAL # 2

☐ NEEDS CORRECTIONS  
☒ APPROVED *AP*

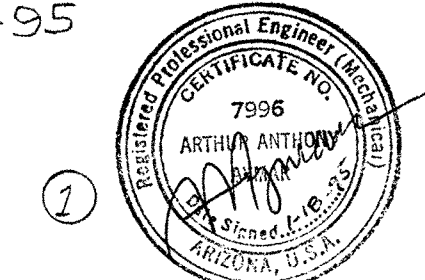
① EXHIBIT "A"

ASCENSION LUTHERAN CHURCH  
7100 NORTH MOCKINGBIRD LANE  
SCOTTSDALE, AZ 85253  
  
AIR CONDITIONING MODIFICATION PROJECT  
INSTALLATION OF NEW WATER COOLING TOWER  
LOCATION - SOUTH SIDE PARKING LOT

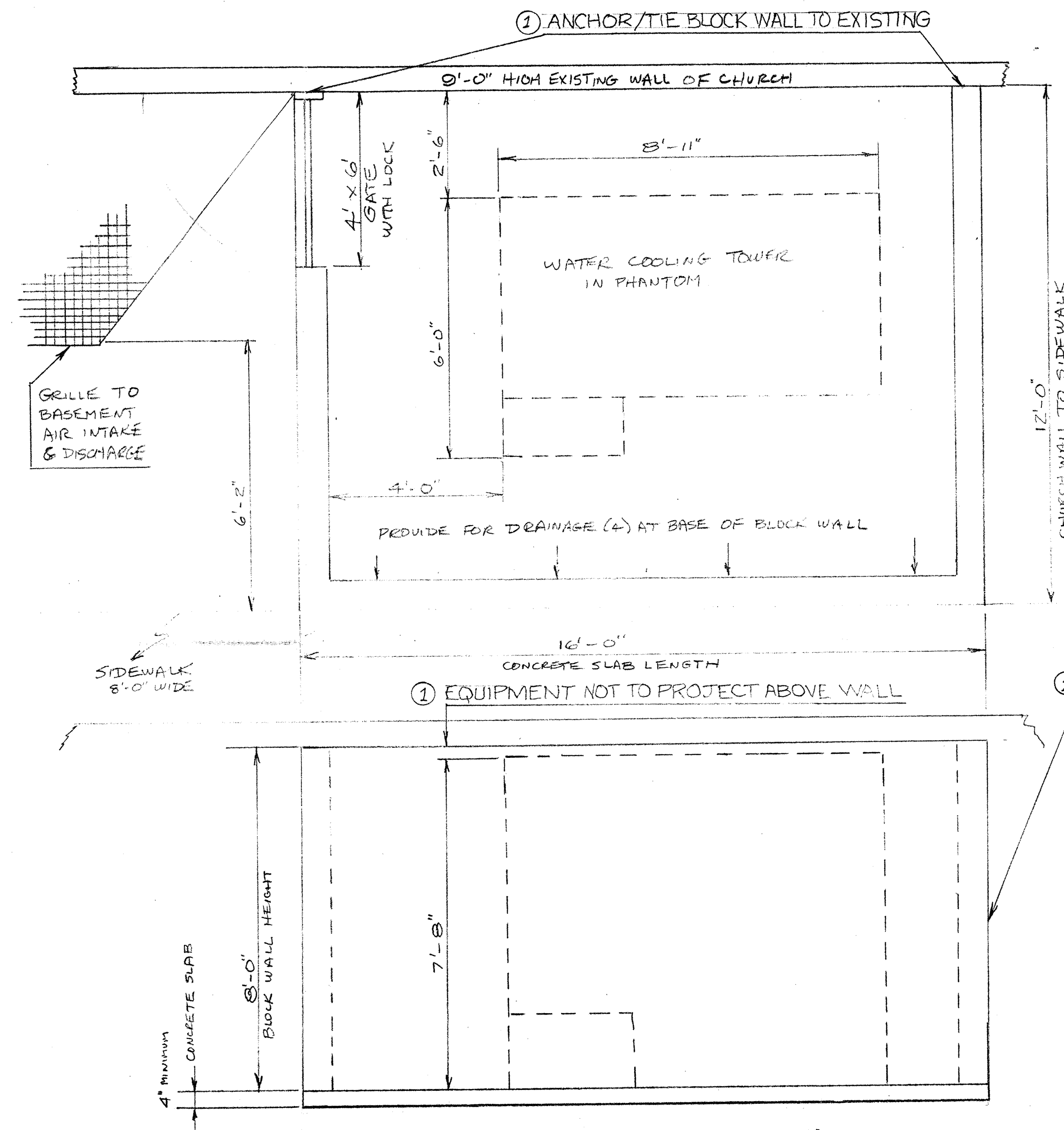
①  
N

DRAWING BY: ARTHUR A. AYMAR, P.E.  
JANUARY 18, 1995

① REVISED: 2-28-95

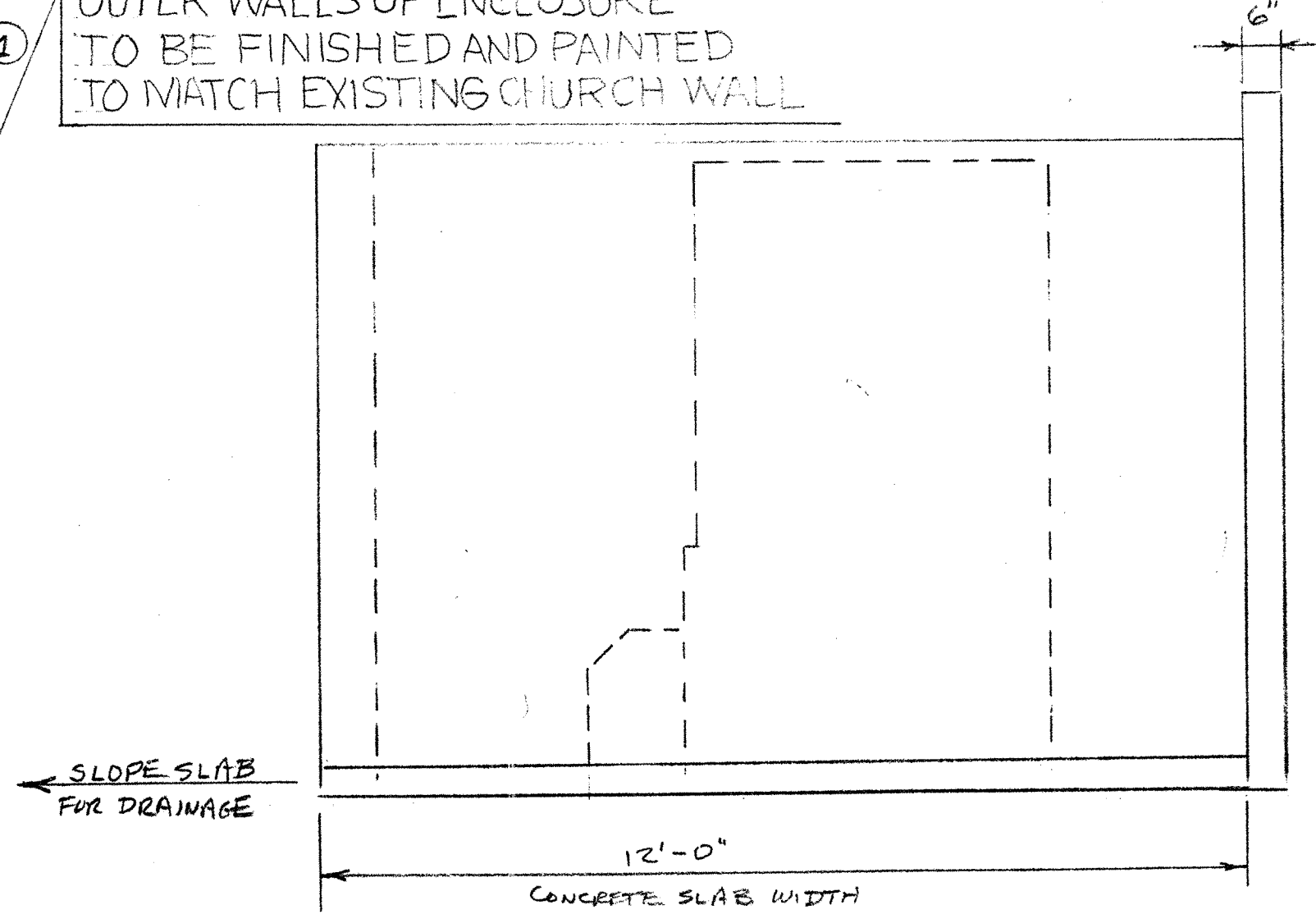


SCALE: 1" = 2'-0"



NOTE: CONCRETE SLAB TO BE MESH REINFORCED.  
SURFACE TO BE FINISHED SMOOTH AND LEVEL.

① OUTER WALLS OF ENCLOSURE  
TO BE FINISHED AND PAINTED  
TO MATCH EXISTING CHURCH WALL



INSTALLATION DWG. B

MINOR AMENDMENT TO SPECIAL USE PERMITASCENSION LUTHERAN CHURCH

Pursuant to Section XI of the Zoning Code of the Town of Paradise Valley, the Special Use Permit Review committee met on October 17, 1994, and agreed to permit the following minor amendment(s) to the existing special use permit approved by the Town Council on September 8, 1977, recorded Docket 12447, page 1435-1436, Maricopa County Recorder's Office.

**1. Replace existing sign.**

These minor amendments are subject to the following conditions:

1. Sign illumination shall be turned off at 10:00 p.m. except for special events.
2. New sign shall be no closer to the street than the existing sign.
3. Any additional plan material added shall conform to the right-of-way guidelines plant palette.
4. The sign letters shall be a blue which matches the existing blue trim on the building.

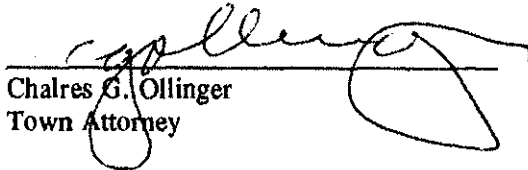
TOWN OF PARADISE VALLEY



ATTEST:

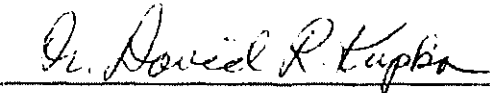


APPROVED AS TO FORM:

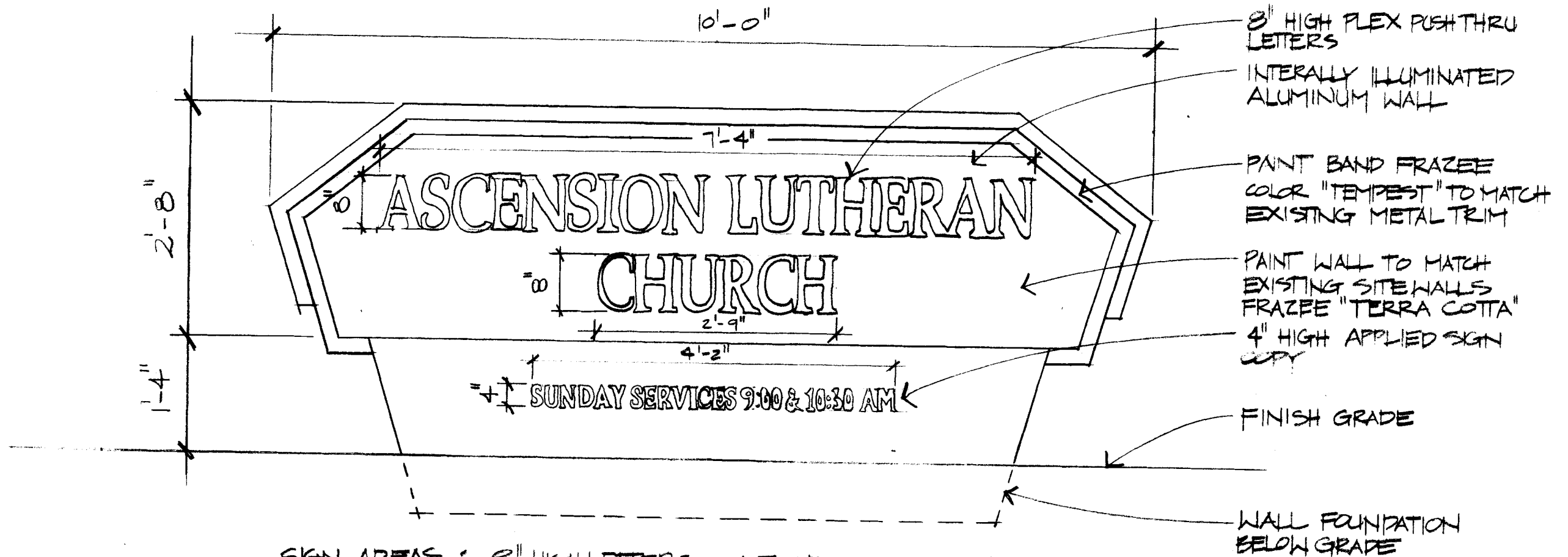


Charles G. Ollinger  
Town Attorney

ACCEPTED AND AGREED TO BY:



BY: Senior Pastor



SIGN AREAS : 8" HIGH LETTERS 6.7 SF X 2 = 13.4 SF  
 3" HIGH LETTERS = 1.4 SF X 2 = 2.8 SF  
TOTAL SIGN AREA = 16.2 SF

WALL MOUNTED SIGN

SCALE: 3/4" = 1'-0"

ASCENSION  
 6-7-94

LUTHERAN CHURCH 7100 N. MOCKINGBIRD LN.  
 PARADISE VALLEY, ARIZONA

Paradise

RETURN TO DANE  
HAWKINS & CAMPBELL

MINOR AMENDMENT TO SPECIAL USE PERMIT

MISC RCRD (XX)

CONGREGATION OF THE

ASCENSION LUTHERAN CHURCH

90 016712

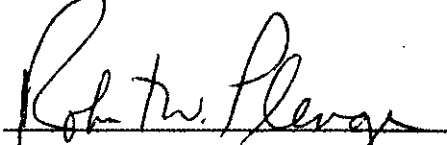
Pursuant to Section XI of the Zoning Code of the Town of Paradise Valley, the Special Use Permit Review Committee met on September 22, 1989, and agreed to permit the following minor amendment(s) to the existing special use permit approved by the Town Council on September 8, 1977, recorded Docket 12447, page 1435-1436, Maricopa County Recorder's Office.

1. Richard Mybeck
2. George Adams
3. Muin M. Kalla
4. Bill Mead

These minor amendments are subject to the following conditions:

1. The addition of a six foot wall within the church property only.
- 2.
- 3.

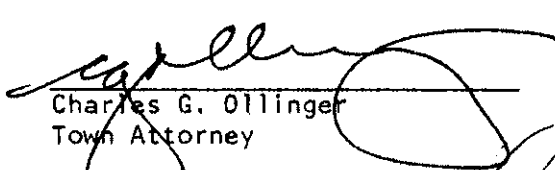
TOWN OF PARADISE VALLEY

  
Robert W. Plenge, Mayor

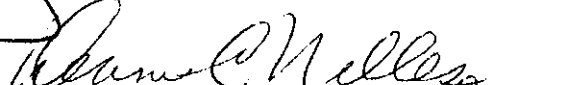
ATTEST:

  
Mary Ann Brines, Town Clerk

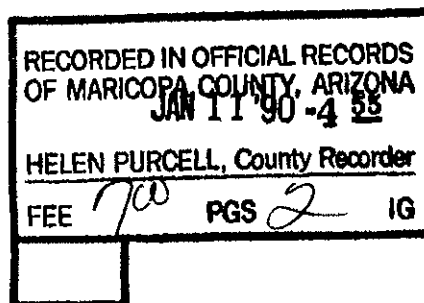
APPROVED AS TO FORM:

  
Charles G. Ollinger  
Town Attorney

ACCEPTED AND AGREED TO BY

  
Ascension Lutheran Church

BY: \_\_\_\_\_



EXISTING APPROVED  
6' WALL

OPEN  
FIELD

PROPOSED  
6' WALL ADDITION

OPEN  
FIELD

EXISTING APPROVED  
WALL

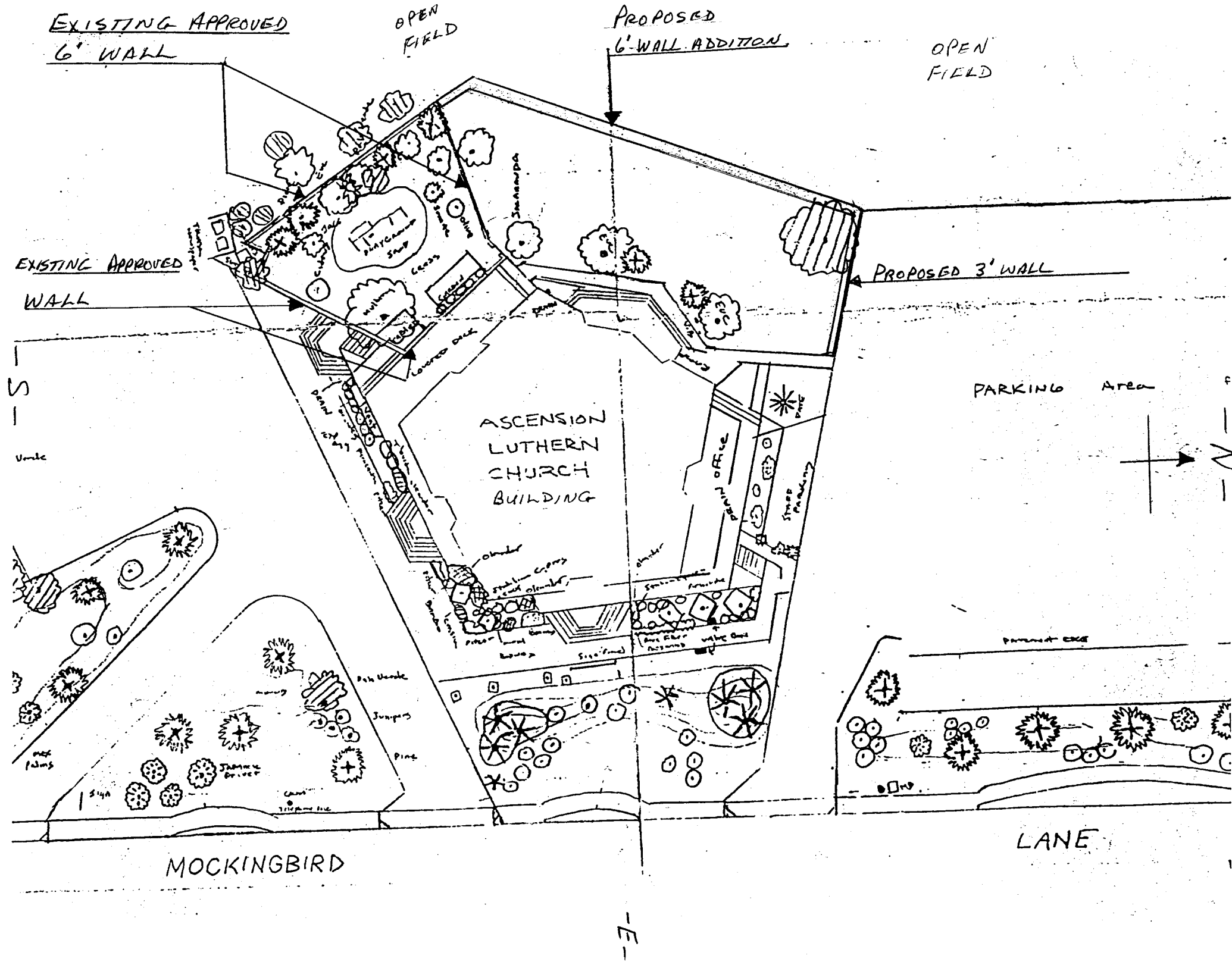
PROPOSED 3' WALL

PARKING Area

ASCENSION  
LUTHERN  
CHURCH  
BUILDING

MOCKINGBIRD

LANE





MINOR AMENDMENT TO SPECIAL USE PERMIT  
ASCENSION LUTHERAN CHURCH  
7100 North Mockingbird Lane


Pursuant to Section XI of the Zoning Code of the Town of Paradise Valley, the Special Use Permit Review Committee met on April 19, 1985, and agreed to permit the following minor amendment(s) to the existing special use permit approved by the Town Council on September 8, 1977, recorded Book 12447, page 1435, Maricopa County Recorder's Office.

1. The construction of a 6 foot wall to house a children's playground, a waste pen and electrical equipment.

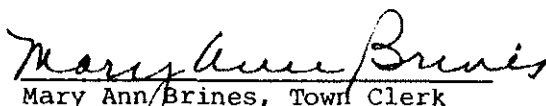
These minor amendments are subject to the following conditions:

1. No outdoor lighting or address system will be allowed.
2. Approval is subject to the submittal of plans to the Planning Department.
3. All parking shall have a 60' setback from any residential property line.

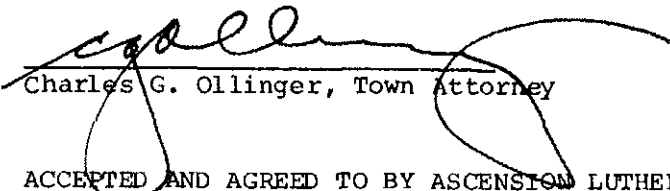
TOWN OF PARADISE VALLEY

  
Joan R. Lincoln, Mayor

ATTEST:

  
Mary Ann Brines, Town Clerk

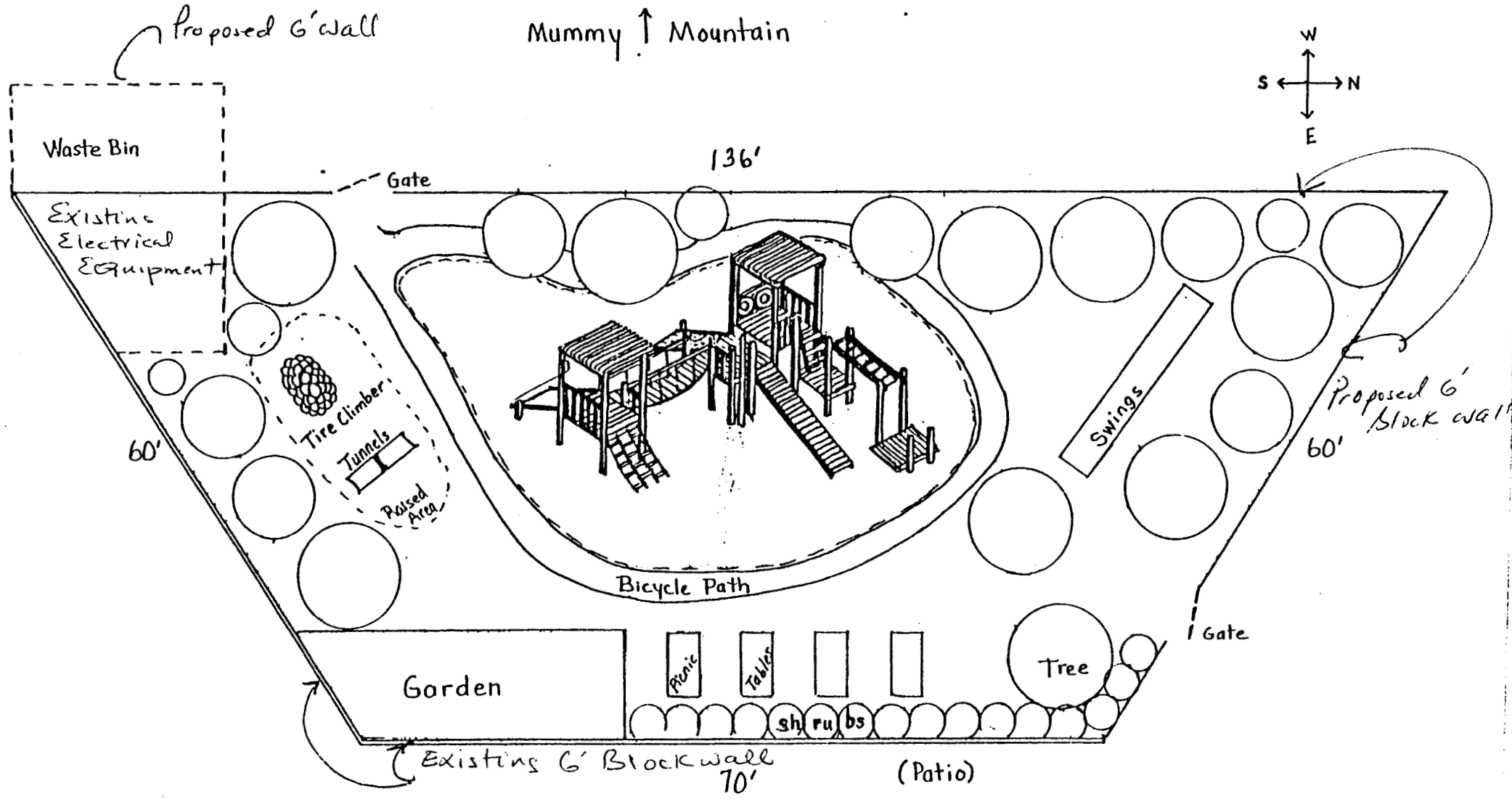
APPROVED AS TO FORM:

  
Charles G. Ollinger, Town Attorney

ACCEPTED AND AGREED TO BY ASCENSION LUTHERAN CHURCH:

BY:





ASCENSION PLAYGROUND

ASCENSION LUTHERAN CHURCH  
7100 NORTH MOCKINGBIRD LANE

SPECIAL USE PERMIT

279044

PERMIT

GRANTOR: Town of Paradise Valley, Arizona  
a municipal corporation

GRANTEE: Ascension Lutheran Church  
(affiliated with the American Lutheran Church)  
7100 North Mockingbird Lane  
Paradise Valley, AZ 85253

This Special Use Permit is hereby issued to the  
Ascension Lutheran Church for a church, pursuant to Section 1101  
(n) of the Zoning Ordinance of the Town of Paradise Valley,  
Arizona, for the use of the property hereinafter described upon  
the terms and conditions hereinafter set forth:

1. Property: The property for which this Special Use Permit  
is granted is located at 7100 North Mockingbird Lane, in the  
Town of Paradise Valley, Arizona, and is that property which is  
indicated as the Ascension Lutheran Church property on those  
certain documents entitled "Site Plans for Ascension Lutheran  
Church Special Use Permit, September, 1977" as certified and authen-  
ticated as such Plans by the Paradise Valley Town Clerk. The  
"Site Plans for Ascension Lutheran Church Special Use Permit, Sep-  
tember, 1977" are hereby incorporated by reference into this  
Special Use Permit and made an integral part hereof. The legal  
description of the property subject to this Special Use Permit  
is as follows:

NE $\frac{1}{4}$  SE $\frac{1}{4}$  SW $\frac{1}{4}$  of Section 3, T2N, R4E, G&SRB&M;  
EXCEPT beginning at a point 33 feet South of the  
Northwest corner of the NE $\frac{1}{4}$  SE $\frac{1}{4}$  SW $\frac{1}{4}$  of said  
section; thence South 25 feet; thence East  
75 feet; thence North 25 feet; thence West  
75 feet to the Point of Beginning; EXCEPT the  
North 33 feet and the East 40 feet and the  
South 33 feet and the West 165 feet of the NE $\frac{1}{4}$   
SE $\frac{1}{4}$  SW $\frac{1}{4}$  of said Section 3.

2. Nature of Use: Said Property may be used for religious  
purposes and such other uses as are reasonably related to the  
functions of the Church, as provided herein and in the "Site  
Plans for Ascension Lutheran Church Special Use Permit, Septem-  
ber, 1977", and there shall be no expansions, additions, or  
changes or alterations to said real property, buildings,  
structures or accessory uses without an express written amend-  
ment to this Special Use Permit.

3. Severability-Unenforceable Provisions: Should any portion of this Permit be adjudicated to be unenforceable or invalid by a court of competent jurisdiction, such a determination shall not affect the balance of the provisions of this Special Use Permit.

4. Breach of Special Use Permit by Ascension Lutheran Church: This Special Use Permit shall become void and of no force and effect, at the option of the Paradise Valley Town Council, upon the failure of the grantee Special Use Permit holder to comply with any of the terms, conditions, or stipulations of this Special Use Permit. The Town Council shall provide notice to the grantee and an opportunity to be heard, prior to taking action pursuant to this paragraph.

GRANTED AND APPROVED BY THE MAYOR AND COMMON COUNCIL of the Town of Paradise Valley, Arizona, this 8 day of September, 1977.

Barbara vonAmmon  
Barbara vonAmmon, Mayor

ATTEST:

Mary Ann Brines  
Mary Ann Brines, Town Clerk

APPROVED AS TO FORM:

Roger A. McKee  
Roger A. McKee, Town Attorney

ACCEPTED AND AGREED TO:

Conrad S. Linder  
Pastor, Ascension Lutheran Church

Robert C. Eram MD  
President of the Church Council of the Ascension Lutheran Church

STATE OF ARIZONA } ss  
County of Maricopa }

I hereby certify that the within instrument was filed and recorded at request of

TOWN OF PARADISE VALLEY

SEP 23 1977 -12 10

In Docket 12447

on page 1435-1436

Witness my hand and official seal the day and year aforesaid.

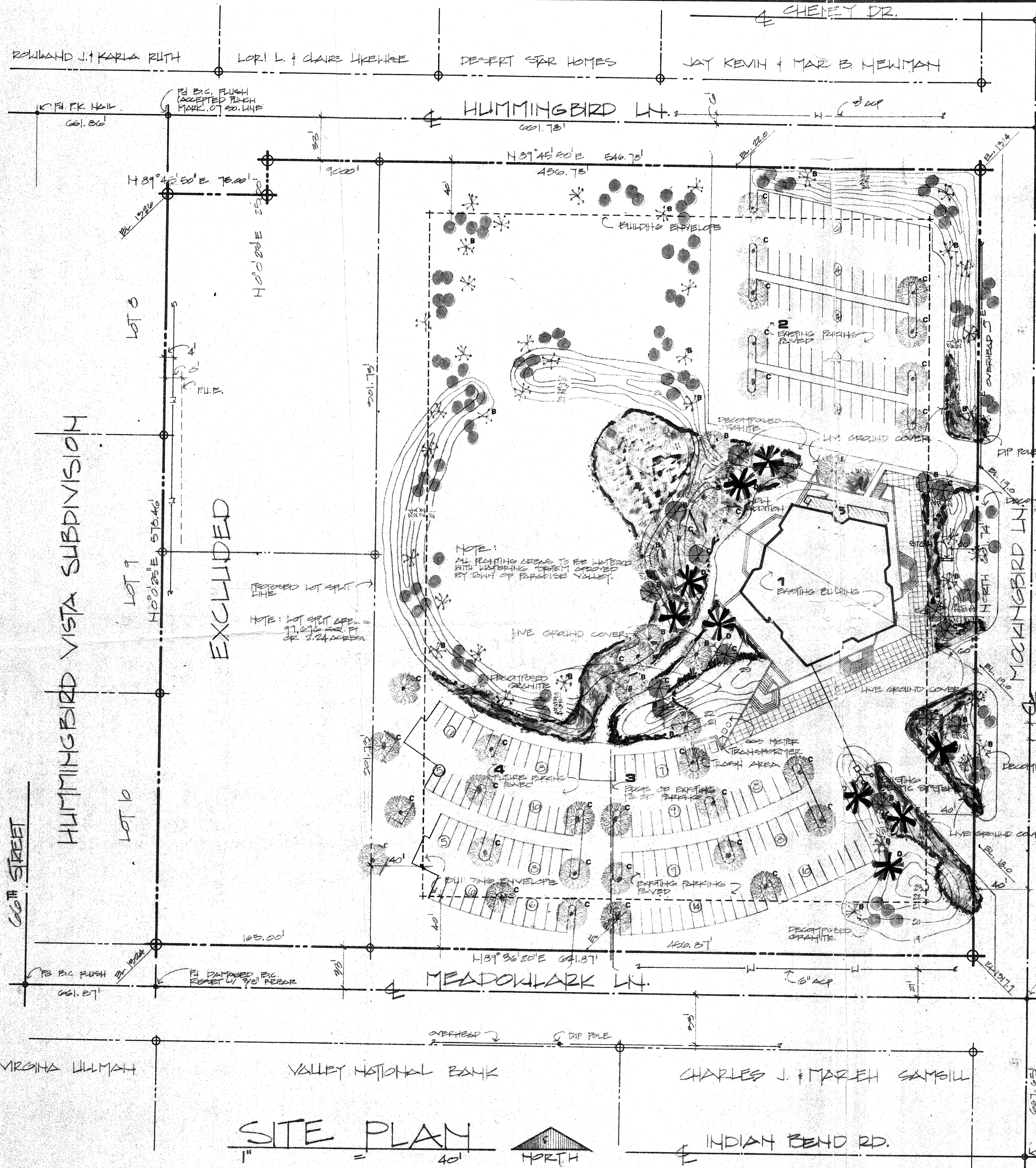
Tom Freestone

County Recorder

By [Signature]  
Deputy Recorder

200





# **SITE PLAN FOR ASCENSION LUTHERAN CHURCH** SPECIAL USE PERMIT, JULY 1977

## **LEGEND DESCRIPTION**

Northwest quarter of the Southeast quarter of the Southwest quarter of Section Three (3), Township Two (2) North, Range Four (4) East of the Gila and Salt River Base and Meridian;  
EXCEPT the North 33 feet and the East 40 feet and the South 33 feet and the West 165 feet of the Northeast quarter of the Southeast quarter of the Southwest quarter of said Section 3.

## **ARE INFORMATION**

Net Lot Area = 299,867 Sq. Ft. = 6.884 Acres  
Allowable Coverage @ 20 % = 59,973 Sq. Ft.  
Actual Coverage = 14,851 Sq. Ft.

## **HEIGHT INFORMATION**

Allowable Building Height = 75 feet  
Actual Building Height = 57 feet  
Allowable Spire Height = 100 feet  
Actual Spire Height = 100 feet

## **PARKING INFORMATION**

Sanctuary Seating = 600 Seats  
Other Seating = 150 Seats  
Total = 750 Seats  
Parking Required @ 1/4 seats = 187 Spaces  
Parking Provided = 191 Spaces (with future)

## **APPLICANT AND OWNER**

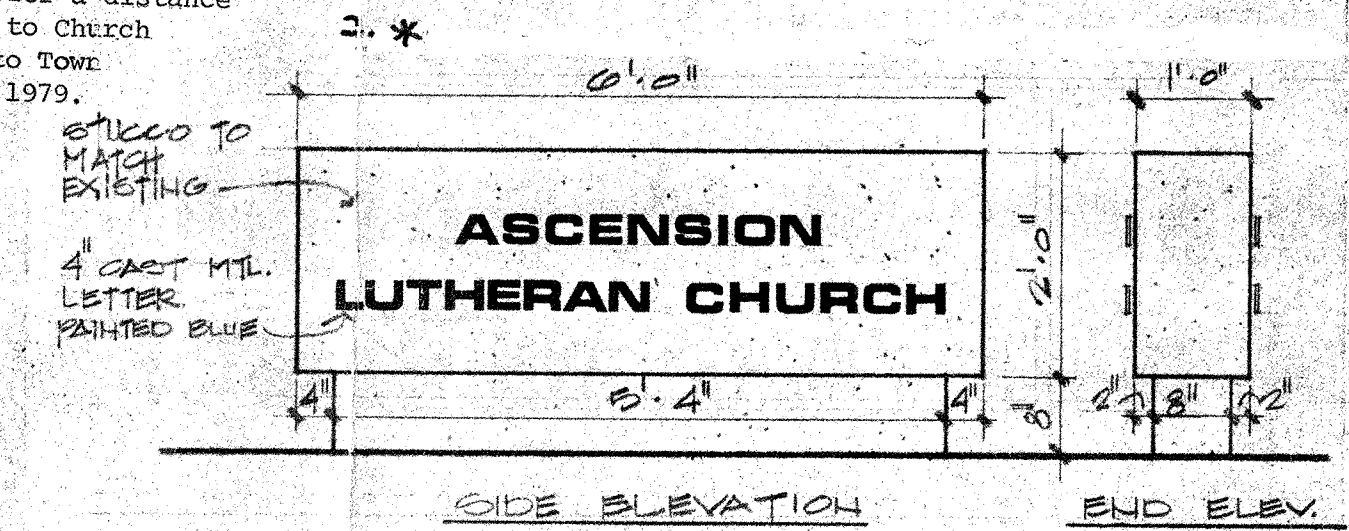
ASCENSION LUTHERAN CHURCH, ALC  
7100 North Mockingbird Lane  
Scottsdale, Arizona 85263  
Phone: 948-6050

## **SITE IMPROVEMENT KEY**

- Existing Church - Main Level Finish Floor Elevation 1323.00  
Lot Coverage = 14,851 Sq. Ft.
- Existing North Parking Lot - 72 Spaces - Landscape to be added.
- Existing South Parking Lot - 60 Spaces - Landscape to be added.
- Future South Parking Lot - 54 Spaces with Landscaping.
- Pastor and Secretary Office Addition - Approximately 625 Sq. Ft. enclosed beneath existing canopy. (north side) All new construction to match existing color and texture.

## **COMPLETION DATES**

- Office Addition and Landscaping to be completed by January 1979.
- 



## **SIGN**

## **TREE SIZE**

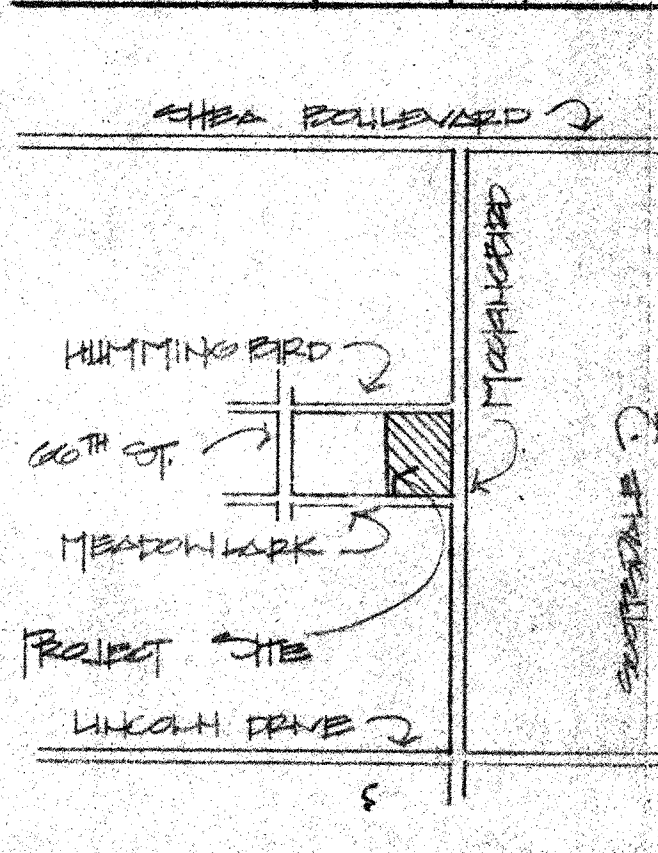
- B 15' GALLON
- C 20' TREE
- D 10' HIGH
- E 8' HIGH

## **TREE SCHEDULE**

- DATE PALMS
- PAVO VERDES
- EVERGREEN BULBS
- EUCALYPTUS
- POPLE TREES

NOTE: ALL PALM TREES & EUCALYPTUS TO BE 5' HIGH. UNLESS NOTED.

## **UNITY MAP**



IMPROVEMENTS TO ASCENSION LUTHERAN CHURCH  
7100 NORTH MOCKINGBIRD LN. PARADISE VALLEY, ARIZONA  
**ROBERT B. BALL ASSOCIATES, ARCHITECT**  
8722 EAST MONTE VISTA, SCOTTSDALE, ARIZONA 85257 948-9493

JOB NO. 71-15  
DATE JUNE, 1977  
DRAWN BY WT

REVISIONS  
JUNE, 1977  
JULY 13, 1977

SHEET NO.  
**1 OF 2**



# City of Phoenix, Water Services Department Fire Flow Test Result



Location: **FIRE FLOW TEST - 7100 N MOCKING BIRD** Q.S. No. **Q23-43**  
 KIVA/Project # **WSFT 20037744**  
 For: **LAND DEVELOPMENT GROUP LLC**  
 Requested By: **COP** Request Date: **10/8/2020 2:27:41**  
 Phone: **602-889-1984** E-MAIL: **NICK@LDGENG.COM**  
 Test Type: **X** 2.5" Std. **4" Std.** Single  
 Observers: **COP**  
 Test Time: **12:00 PM** Test Date: **10/20/2020**

**CAUTION:** Results of this flow test identify water system characteristics for the date, time, and locations of this test only.

Pressure and flows within the water system can vary with time, seasonal and operational pressure variations can be as much as 20 psi. It is expected and should be considered when preparing designs based upon fire flow test data.

Numerous factors affect the water system, such as water level fluctuations in reservoirs, operating pressure ranges at booster pump stations, elevations at point of use, daily demand fluctuations, seasonal demands, emergency demands, water treatment plant availability, increased demands due to growth, operation/maintenance schedules, etc.

Designers should consider the above when preparing designs based upon fire flow test data. The City of Phoenix may be able to provide additional information on water system characteristics upon request.

**NOTE: TEST LOCATION SKETCH IS ATTACHED**

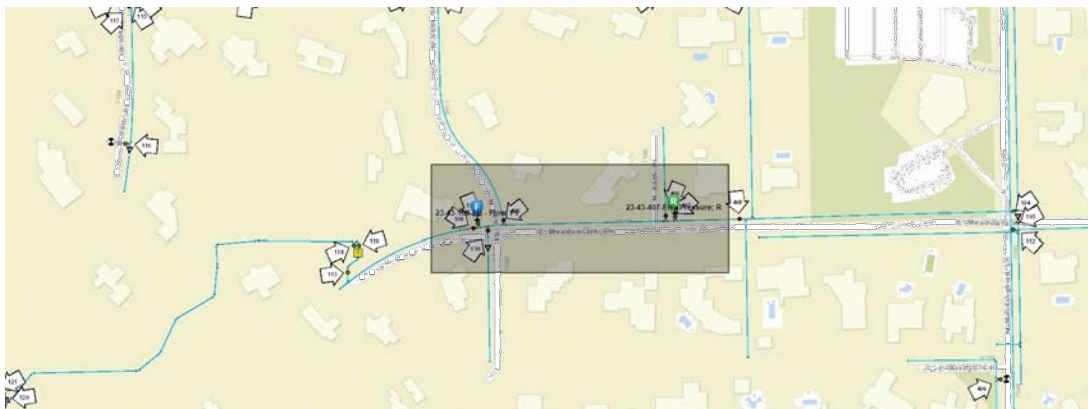
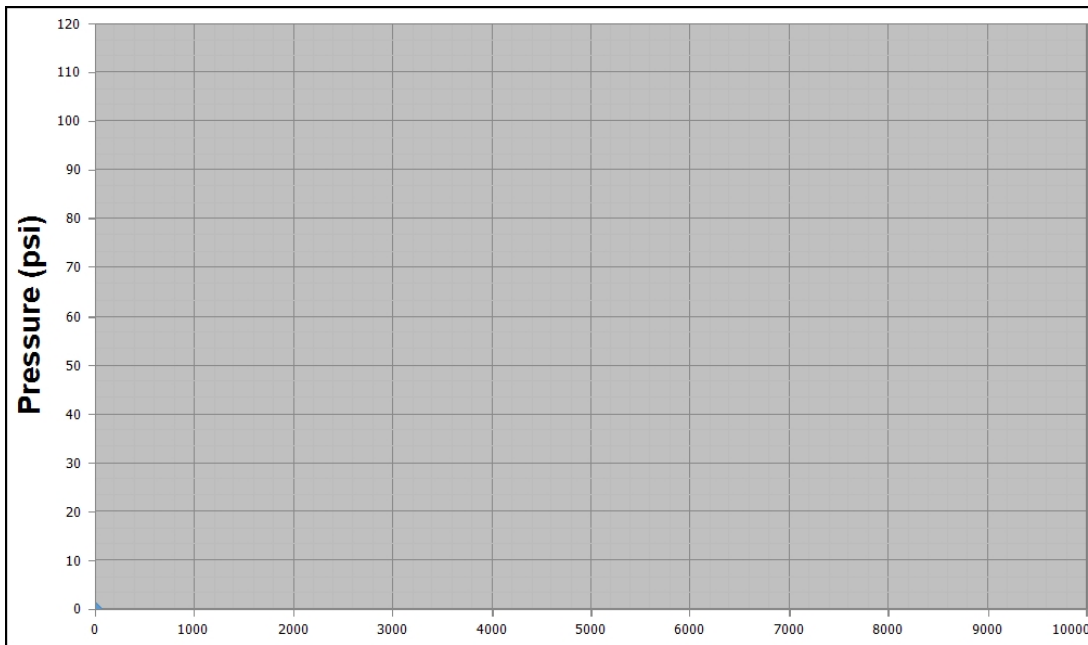
Observed Test Data						
HYDRANT DESIGNATION	HYDRANT NUMBER	FLOW OPENING (2.5" or 4")	STATIC PRESSURE (psi)	RESIDUAL PRESSURE (psi)	PITOT PRESSURE (psi)	FLOW (gpm)
Pressure, R	23-43-407-FH		90	74		
Flow, F1	23-43-108-FH	2.5			42	1087
Flow, F2						
Flow, F3						
Flow, F4						
Note: Hydrant Nozzle Coef. = 0.9			<b>**Pressure Drop %</b>		<b>Total Flow:</b>	
			<b>17.8%</b>		<b>1087</b>	

Calculated Results **		
Pressure (psi)	20	25
Flow (gpm)	NA	NA

**\*\* Theoretical calculation of expected flows or rated capacities are based on sufficient discharge to cause a drop in pressure at the residual hydrant of at least 25%.**

Calculated flow values will not appear if a 25% pressure drop between static and residual pressures is not reached. If additional volume is required, a complex 4-inch port fire flow test may be needed.

Instructions: All Fields Highlighted Green can be used.







**City Of Phoenix**  
Water Services Department  
Infrastructure Record Services

October 8, 2020

Ascension Lutheran Church Inc  
Dustin Wagoner

RE: 174-51-033  
7100 N Mockingbird Ln  
Q.S.# 23-43

Dustin Wagoner,

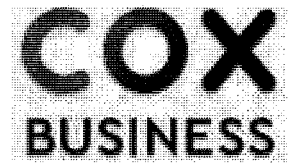
Your request for water availability to the mentioned properties/street has been reviewed. The property is in the City of Phoenix service area. You have the capability to connect to the City of Phoenix Water System.

If you have any questions regarding these guidelines, please contact via email [mario.murillo@phoenix.gov](mailto:mario.murillo@phoenix.gov) or call (602) 256-4296.

Sincerely,

*Mario Murillo*

Mario Murillo  
Water Services Department  
Infrastructure Record Services



3010 W Agua Fria Freeway  
Phoenix, AZ 85027

October 30, 2020

Dustin Wagoner  
LDG Civil Engineering/Land Surveying  
8808 N. Central Ave.  
Suite 288  
Phoenix, AZ 85020

Dear Dustin:

*Project*                      *Commercial Project – Church*  
                                      *7100 N. Mockingbird Ln.*  
                                      *Paradise Valley, AZ 85253*

This letter is to confirm that Cox Communications is a licensed telecommunications operator for the Town of Paradise Valley in which this project resides. Cox Communications may be able to provide cable services or other required telecommunication services for this project; however, the final requirement of a service agreement will be necessary.

As you move forward with this project, please contact Matt Kuhn, Account Executive at (623) 328-4889 or [matt.kuhn@cox.com](mailto:matt.kuhn@cox.com) who will be able to assist you with all of your telecommunication needs.

If you have any questions, please feel free to contact me.

Sincerely,

*Annie Sandoval*

Annie Sandoval  
Cox Business  
623-328-2431



P.O. Box 53933  
Phoenix, Arizona 85072

October 22, 2020

ASCENSION LUTHERAN CHURCH, INC.,  
PARADISE VALLEY, ARIZONA, AN ARIZONA NON-PROFIT CORPORATION  
7100 N MOCKINGBIRD LN.,  
PARADISE VALLEY, AZ 85253

Re: 7100 N Mockingbird Ln

To Whom It Concerns,

The above referenced project is located in Arizona Public Service Company's electric service area. The Company extends its lines in accordance with the "Conditions Governing Extensions of Electric Distribution Lines and Services," Schedule 3, and the "Terms and Conditions for the Sale of Electric Service," Schedule 1, on file with the Arizona Corporation Commission at the time we begin installation of the electric facilities.

Application for the Company's electric service often involves construction of new facilities for various distances and costs depending upon customer's location, load size and load characteristics. With such variations, it is necessary to establish conditions under which Arizona Public Service will extend its facilities.

The enclosed policy governs the extension of overhead and underground electric facilities to customers whose requirements are deemed by Arizona Public Service to be usual and reasonable in nature.

Please give Angela Rosenow call at (602) 250-1647 so that we may set up an appointment to discuss the details necessary for your project.

Sincerely,

*Angela Rosenow*

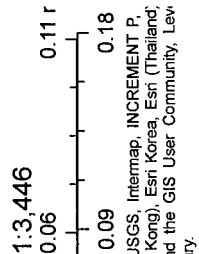
Angela Rosenow  
Customer Project Representative  
Customer Construction East \Enclosures

# Lumen Relo Utility Map



October 8, 2020

CLA	Non Owned Facilities	Level 3 Facilities	CTL Facilities	Local Fiber	Underground
— Aerial	— Aerial	— Aerial	— Aerial	— Aerial	— Aerial
- Underground	- Underground	- Underground	- Underground	- Underground	- Underground



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), OpenStreetMap contributors, and the GIS User Community, Lumen Highly Confidential and Proprietary


Persons working in the area covered by this data must contact the statewide Call-Before-You-Dig System to ascertain the location of underground facilities prior to performing any excavation. Lumen Data is Highly Confidential and Lumen Data is Confidential and



# Town of Paradise Valley

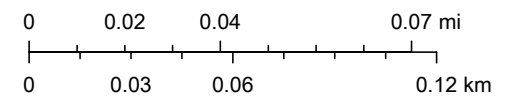


2/4/2021, 1:28:51 PM

— Paradise Valley Sewer Services  Parcels

— Paradise Valley Gravity Main

1:2,670


































COMMITMENT FOR TITLE INSURANCE FILE NO.: 40200015-040-JDA-SW  
BY SECURITY TITLE AGENCY, INC.  
DATE OF REPORT: JANUARY 14, 2020

## GENERAL NOTES

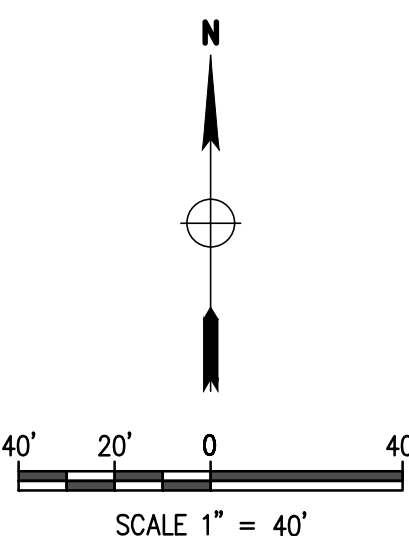
- THE PREMISES SURVEYED HAVE NO KNOWN DISCREPANCIES, BOUNDARY LINE CONFLICTS, ENCROACHMENTS, OVERLAPPING OF IMPROVEMENTS, EASEMENTS OR RIGHT-OF-WAYS EXCEPT AS SHOWN, AND HAS ACCESS TO OR FROM A DEDICATED ROADWAY.
- THIS IS AN ABOVE GROUND SURVEY. THE UNDERGROUND UTILITIES AS SHOWN ARE BASED ON INFORMATION PROVIDED BY THE VARIOUS UTILITY COMPANIES AND THESE LOCATIONS SHOULD BE CONSIDERED APPROXIMATE. THERE MAY BE ADDITIONAL UNDERGROUND UTILITIES, NOT SHOWN ON THE DRAWING. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN HEREON ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE AT THE TIME OF THE SURVEY.
- BUILDING SETBACK LINES, ZONING, FLOOD AREA ZONES, AND ADDRESSES THAT MAY BE SHOWN ARE SUPPLIED BY THE GOVERNING AGENCY OR TAKEN FROM THE BEST AVAILABLE RECORDS. THE SURVEYOR WILL NOT ACCEPT RESPONSIBILITY FOR THE ACCURACY OF ANY INFORMATION SUPPLIED BY ANY OTHER SOURCE.
- EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS MAP, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: EASEMENTS, OTHER THAN POSSIBLE EASEMENTS, WHICH WERE VISIBLE AT THE TIME OF MAKING THIS SURVEY; BUILDING SETBACK LINES; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS; ZONING OR OTHER LAND USE REGULATIONS, AND ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- THE DESCRIPTION OF PROPERTY BOUNDARIES AND EASEMENTS SHOWN HEREON, REPRESENT THAT INFORMATION PROVIDED ON BOOK 194 OF MAPS, PAGE 11 AND SPECIAL WARRANTY DEED REC. DO. 2002-0391063, RECORDS OF MARICOPA COUNTY, ARIZONA.
- EVERY DOCUMENT OF RECORD REVIEWED AND CONSIDERED AS A PART OF THIS SURVEY IS NOTED HEREON. ONLY THE DOCUMENTS NOTED HEREON WERE FOUND TO BE AVAILABLE TO THE SURVEYOR AT THE TIME OF THE SURVEY. THERE MAY EXIST OTHER DOCUMENTS OF RECORD, WHICH WOULD AFFECT THIS PARCEL.
- ANY INFORMATION SHOWN WHICH MAY VARY FROM THE CONTENTS OF THE REPORT(S) NOTED ABOVE, REPRESENTS INFORMATION AND MEASUREMENTS FOUND DURING THE COURSE OF THE SURVEY.
- ON-SITE PLANT INFORMATION SHOWN HEREON IS FOR REFERENCE ONLY. SURVEYOR ASSUMES NO LIABILITY FOR THE EVALUATION, SALVAGEABILITY REMOVAL AND/RELOCATION OF ON-SITE PLANT MATERIALS.
- ALL MEASURED BEARINGS AND DISTANCES EQUAL RECORD UNLESS NOTED OTHERWISE.
0. ANY AERIAL MAPS SHOWN ON THIS PLAN ARE FOR REFERENCE ONLY AND DO NOT NECESSARILY DEPICT THE EXACT CURRENT CONDITIONS.

**CHENEY DRIVE** | C1/4 COR, SEC 3, T2N, R4E



- |   | SECTION | CORNER                           |
|---|---------|----------------------------------|
|    |         | BRASS CAP FLUSH                  |
|    |         | FOUND REBAR OR AS NOTED          |
|    |         | SET 1/2" REBAR & TAG OR AS NOTED |
|    |         | CALCULATED POINT                 |
|    |         | PROPERTY LINE                    |
|    |         | EASEMENT LINE                    |
|    |         | MONUMENT LINE                    |
|    |         | SIGN                             |
|    |         | WATER VALVE                      |
|    |         | FIRE HYDRANT                     |
|    |         | UTILITY BOX                      |
|    |         | GAS METER                        |
|    |         | SEWER CLEANOUT                   |
|    |         | CABLE TV RISER                   |
|    |         | SEWER MANHOLE                    |
|    |         | TELEPHONE PEDESTAL               |
|    |         | LIGHT POLE                       |
|    |         | SCHEDULE B ITEM                  |
|    |         | SEWER LINE                       |
|    |         | COMMUNICATIONS LINE              |
|  |         | CATV, PHONE                      |
|  |         | GAS LINE                         |
|  |         | WATER LINE                       |
|  |         | ELECTRIC LINE                    |
|  |         | EXISTING CONTOUR                 |
|  |         | EXIST. SPOT ELEVATION            |
|  |         | PALM TREE                        |
|  |         | TREE                             |
|  |         | PALO VERDE                       |

BSL	BUILDING SETBACK LINE
EG	EXISTING GRADE
EL, ELEV	ELEVATION
EP	EDGE OF PAVEMENT
ESMT	EASEMENT
EX, EXIST.	EXISTING
G	GUTTER, GAS
INV	INVERT
(M)	MEASURED
MGR	MARICOPA COUNTY RECORDER
MANHOLE	MANHOLE
P, PWMT	PUBLIC UTILITY
PUE	PUBLIC UTILITY EASEMENT
(R), REC.	RECORDED
R	RADIUS
R/W	RIGHT OF WAY
T	TANGENT, TELEPHONE
TC	TOP OF CURB
TOP OF	TOP OF PARADISE VALLEY
W	WEST, WATERLINE
WMO	WATER/MANHOLE OPENING
WM	WATER METER



ASCENSION LUTHERAN CHURCH, INC., PARADISE VALLEY, ARIZONA,  
AN ARIZONA NON-PROFIT CORPORATION  
7100 N MOCKINGBIRD LN.,  
PARADISE VALLEY, AZ 85253

APN: 174-51-033  
ADDRESS: 7100 N MOCKINGBIRD LN.  
PARADISE VALLEY, AZ 85  
ZONING: SUP-P  
LOT AREA: 275,697 S.F. (6.329 AC.)  
TOPV QS #: 23-43

THE EAST LINE OF THE SOUTHWEST QUARTER OF SECTION T2N, R3W, THE BEARING OF WHICH IS N01°00'43"E.

BRASS CAP FLUSH MOCKINGBIRD AVE AND INDIAN BEND ROAD HAVING AN  
ELEVATION OF 1316.44 NAVD 88 DATUM, GDACS# 24524-1.

LOT 1, OF MEADOWLARK ACRES, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 194 OF MAPS, PAGE 11.

1. MARICOPA COUNTY PARCEL MAP 825-03-03-04.
2. SPECIAL WARRANTY DEED RECORDED IN DOC. NO. 2002-0391063, M.C.R.
3. RECORDED PLAT PER BOOK 194 OF MAPS, PAGE 11, M.C.R.

WATER: CITY OF PHOENIX  
SANITARY SEWER: TOWN OF PARADISE VALLEY  
ELECTRIC: APS  
TELEPHONE: CENTURY LINK, COX COMMUNICATIONS  
NATURAL GAS: SOUTHWEST GAS CORPORATION  
CABLE TV: CENTURY LINK, COX COMMUNICATIONS

COMMUNITY # 040049	PANEL # 1770 OF 4425		SUFFIX L	BASE FLOOD ELEVATION N/A
MAP # 04013C	PANEL DATE 10/16/2013	FIRM INDEX DATE 11/04/2015	ZONE X*	

\*AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

**CERTIFIED TO:**  
**SECURITY TITLE AGENCY, INC.**  
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH  
IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM  
STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS,  
JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES  
ITEMS 1-5, 8, 11 AND 13-14, OF TABLE THEREOF. THE FIELD WORK WAS  
COMPLETED IN FEBRUARY, 2020.



JAMES FLACK, RLS

03/15/20  
DATE

# ALTA/NSPS LAND TITLE SURVEY

**LOT 1 - MEADOWLARK ACRES  
7100 N MOCKINGBIRD LN.,  
PARADISE VALLEY, AZ 85253**





## LEGEND

- 1/4 QUARTER
- BRASS CAP FLUSH
- FOUND REBAR AS NOTED
- SET 1/2" REBAR & TAG OR AS NOTED
- CALCULATED POINT
- PROPERTY LINE
- ADJACENT PROPERTY LINE
- EASEMENT LINE
- MONUMENT LINE

## DEDICATION

STATE OF ARIZONA

COUNTY OF MARICOPA

### KNOW ALL MEN BY THESE PRESENTS:

ASCENSION LUTHERAN CHURCH, INC., AS LEGAL OWNER OF SAID REAL PROPERTY, HAS SUBDIVIDED PARCEL NO. 174-51-033, MARICOPA COUNTY RECORDS, LOCATED WITHIN THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 2 NORTH, RANGE 4 EAST, OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA UNDER THE NAME OF "MEADOWLARK ACRES II", AS SHOWN AND PLATTED HEREON AND HEREBY PUBLISHES THIS LOT SPLIT AND HEREBY DECLARES THAT THIS LOT SPLIT SETS FORTH THE LOCATION AND GIVES THE DIMENSIONS OF THE LOTS AND STREETS CONSTITUTING SAME AND THAT EACH LOT AND STREET SHALL BE KNOWN BY THE NUMBER OR NAME GIVEN EACH RESPECTIVELY ON THIS PLAT.

### IN WITNESS WHEREOF:

ASCENSION LUTHERAN CHURCH, INC., AS OWNER, HAS HEREUNTO AFFIXED HER SIGNATURE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2021.

## ACKNOWLEDGEMENT

STATE OF ARIZONA

COUNTY OF MARICOPA

ON THIS \_\_\_\_\_ OF \_\_\_\_\_, 2021, BEFORE ME, THE UNDERSIGNED, PERSONALLY APPEARED ASCENSION LUTHERAN CHURCH, INC., WHO ACKNOWLEDGED SELF TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE INSTRUMENT WITHIN, AND WHO EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED.

### IN WITNESS WHEREOF; I HEREUNTO SET MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC \_\_\_\_\_ DATE \_\_\_\_\_

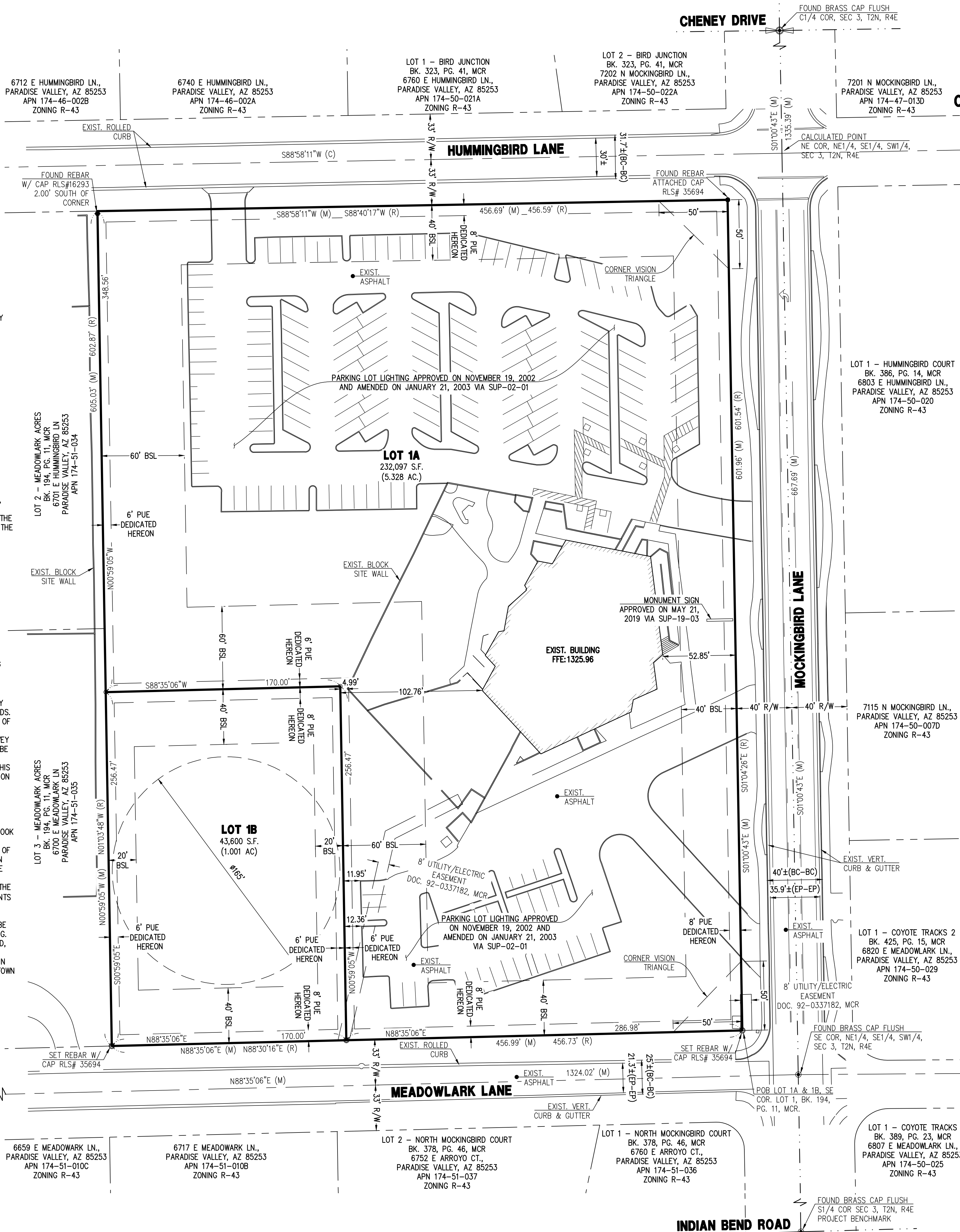
MY COMMISSION EXPIRES \_\_\_\_\_ 2021 \_\_\_\_\_

## NOTES

- THIS IS NOT AN ALTA/ACSM TITLE SURVEY.
- NO CC&R'S ARE CREATED WITH THIS MAP. EXISTING CC&R'S AFFECTING THE SUBJECT PROPERTIES ARE LISTED UNDER SECTION "SURVEY REFERENCES" ABOVE.
- BUILDING SETBACK LINES, ZONING, FLOOD AREA ZONES, OWNERSHIP INFORMATION, AND ADDRESSES THAT MAY BE SHOWN ARE SUPPLIED BY THE GOVERNING AGENCY OR TAKEN FROM THE BEST AVAILABLE RECORDS. THE SURVEYOR WILL NOT ACCEPT RESPONSIBILITY FOR THE ACCURACY OF ANY INFORMATION SUPPLIED BY OTHERS.
- EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS MAP, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: EASEMENTS, OTHER THAN POSSIBLE EASEMENTS, WHICH WERE VISIBLE AT THE TIME OF MAKING THIS SURVEY; BUILDING SETBACK LINES; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS; ZONING OR OTHER LAND USE REGULATIONS, AND ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- THE DESCRIPTION OF PROPERTY BOUNDARIES AND EASEMENTS SHOWN HEREON, REPRESENT THAT INFORMATION PROVIDED IN WARRANTY DEED RECORDED IN DOC. NO 2002-0391063, M.C.R. & PLAT RECORDED IN BOOK 194, PAGE 11, M.C.R.
- EVERY DOCUMENT OF RECORD REVIEWED AND CONSIDERED AS A PART OF THIS SURVEY IS NOTED HEREON. ONLY THE DOCUMENTS NOTED HEREON WERE SUPPLIED OR AVAILABLE TO THE SURVEYOR AT THE TIME OF THE SURVEY.
- ANY INFORMATION SHOWN WHICH MAY VARY FROM THE CONTENTS OF THE REPORT(S) NOTED ABOVE, REPRESENTS INFORMATION AND MEASUREMENTS FOUND DURING THE COURSE OF THE SURVEY.
- UNLESS OTHERWISE NOTED, ALL DIMENSIONS SHOWN ARE MEASURED. THE EXISTING STRUCTURES ON THE LOT ALONG CARDINAL DRIVE WILL BE DEMOLISHED, THIS INCLUDES THE GUESTHOUSE, BARN AND ANY FENCING. THE TOWN WILL NOT RECORD A PLAT UNTIL A DEMO PERMIT IS APPLIED, ISSUED, AND FINALIZED.
- ALL LANDSCAPING WITHIN THE RIGHTS-OF-WAY WILL BE LANDSCAPED IN ACCORDANCE WITH SECTION 5-10-7.D OF THE TOWN CODE AND THE TOWN LANDSCAPE GUIDELINES.
- FOLLOWING RECORDING DOCUMENTS REFERENCE CERTAIN COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS ASSOCIATED WITH THIS PROPERTY:  
REC. DOC. 1992-0337182, MCR

## ABBREVIATIONS

- BSL BUILDING SETBACK LINE
- ¢ CENTERLINE
- D/W DRIVEWAY
- E EAST
- ESMT EASEMENT
- EX, EXIST. EXISTING
- (M) MEASURED
- MCR MARICOPA COUNTY RECORDER
- N NORTH
- PUE PUBLIC UTILITY EASEMENT
- (R), REC. RECORDED
- R RADIUS
- R/W RIGHT OF WAY
- S SOUTH
- T TANGENT
- W WEST



# MEADOWLARK ACRES II

## A LOT SPLIT OF LOT 1 MEADOWLARK ACRES

A SUBDIVISION PLAT RECORDED IN BOOK 194 OF MAPS, PAGE 11, MCR,  
LOCATED IN A PORTION OF THE NE 1/4 OF THE SE 1/4 OF THE SW 1/4 OF  
SECTION 3, T.2N, R.4E

OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

## OWNER

ASCENSION LUTHERAN CHURCH, INC., PARADISE VALLEY, ARIZONA,  
AN ARIZONA NON-PROFIT CORPORATION  
7100 N MOCKINGBIRD LN.,  
PARADISE VALLEY, AZ 85253

## SURVEY REFERENCES

- MARICOPA COUNTY PARCEL MAP 825-03-03-04.
- SPECIAL WARRANTY DEED RECORDED IN DOC. NO. 2002-0391063, M.C.R.
- RECORDED PLAT PER BOOK 194 OF MAPS, PAGE 11, M.C.R.

## FLOOD INSURANCE RATE MAP (FIRM) DATA

COMMUNITY #	PANEL #	SUFFIX	BASE FLOOD
040049	1770 OF 4425	L	ELEVATION
MAP #	PANEL DATE	FIRM INDEX DATE	ZONE
04013C	10/16/2013	11/04/2015	X*
			N/A

\*AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

## LOT 1A - LEGAL DESCRIPTION

THAT PORTION OF LOT 1, OF "MEADOWLARK ACRES", ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 194 OF MAPS, PAGE 11, AND LYING IN THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 1, SAID POINT BEING REBAR WITH CAP RLS# 35694;

THENCE SOUTH 88 DEGREES 35 MINUTES 06 SECONDS WEST, ALONG THE SOUTH LINE OF SAID LOT 1, A DISTANCE OF 286.98 FEET TO REBAR WITH CAP RLS# 35694;

THENCE NORTH 00 DEGREES 59 MINUTES 05 SECONDS WEST, A DISTANCE OF 170.00 FEET TO A POINT ON THE WEST LINE OF SAID LOT 1;

THENCE SOUTH 88 DEGREES 35 MINUTES 06 SECONDS WEST, A DISTANCE OF 170.00 FEET TO A POINT ON THE WEST LINE OF SAID LOT 1;

THENCE NORTH 00 DEGREES 59 MINUTES 05 SECONDS WEST, ALONG SAID WEST LINE, A DISTANCE OF 348.56 FEET TO THE NORTHWEST CORNER OF SAID LOT 1, BEING MARKED BY REBAR WITH CAP RLS# 16293, SOUTH 2.00 FEET OF CORNER.

THENCE NORTH 88 DEGREES 58 MINUTES 11 SECONDS EAST, ALONG THE NORTH LINE OF SAID LOT 1, A DISTANCE OF 456.69 FEET TO THE NORTHEAST CORNER OF SAID LOT 1, BEING MARKED BY A REBAR WITH ATTACHED CAP RLS# 35694;

THENCE SOUTH 01 DEGREES 00 MINUTES 43 SECONDS EAST, ALONG THE EAST LINE OF SAID LOT 1, A DISTANCE OF 601.96 FEET TO THE POINT OF BEGINNING.

## LOT 1B - LEGAL DESCRIPTION

THAT PORTION OF LOT 1, OF "MEADOWLARK ACRES", ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 194 OF MAPS, PAGE 11, AND LYING IN THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID LOT 1, SAID POINT BEING A REBAR WITH CAP RLS# 35694;

THENCE SOUTH 88 DEGREES 35 MINUTES 06 SECONDS WEST, ALONG THE SOUTH LINE OF SAID LOT 1, A DISTANCE OF 286.98 FEET TO A REBAR WITH CAP RLS# 35694, SAID POINT BEING THE POINT OF BEGINNING;

THENCE CONTINUING SOUTH 88 DEGREES 35 MINUTES 06 SECONDS WEST, ALONG SAID SOUTH LINE, A DISTANCE OF 170 FEET TO THE SOUTHWEST CORNER OF SAID LOT 1 BEING MARKED BY REBAR WITH CAP RLS# 35694;

THENCE NORTH 00 DEGREES 59 MINUTES 05 SECONDS WEST, ALONG THE WEST LINE OF SAID LOT 1, A DISTANCE OF 256.47 FEET;

THENCE NORTH 88 DEGREES 35 MINUTES 06 SECONDS EAST, A DISTANCE OF 170.00 FEET;

THENCE SOUTH 00 DEGREES 59 MINUTES 05 SECONDS EAST, A DISTANCE OF 256.47 FEET TO THE POINT OF BEGINNING.

## UTILITIES

WATER: CITY OF PHOENIX  
SANITARY SEWER: TOWN OF PARADISE VALLEY  
ELECTRIC: APS  
TELEPHONE: CENTURY LINK, COX COMMUNICATIONS  
NATURAL GAS: SOUTHWEST GAS CORPORATION  
CABLE TV: CENTURY LINK, COX COMMUNICATIONS

## AREAS

LOT 1A: 232,097 S.F. (5.328 AC.)  
FLOOR AREA RATIO:  
15,823+/232,097 = 6.82%

LOT 1B: 43,600 S.F. (1.001 AC.)

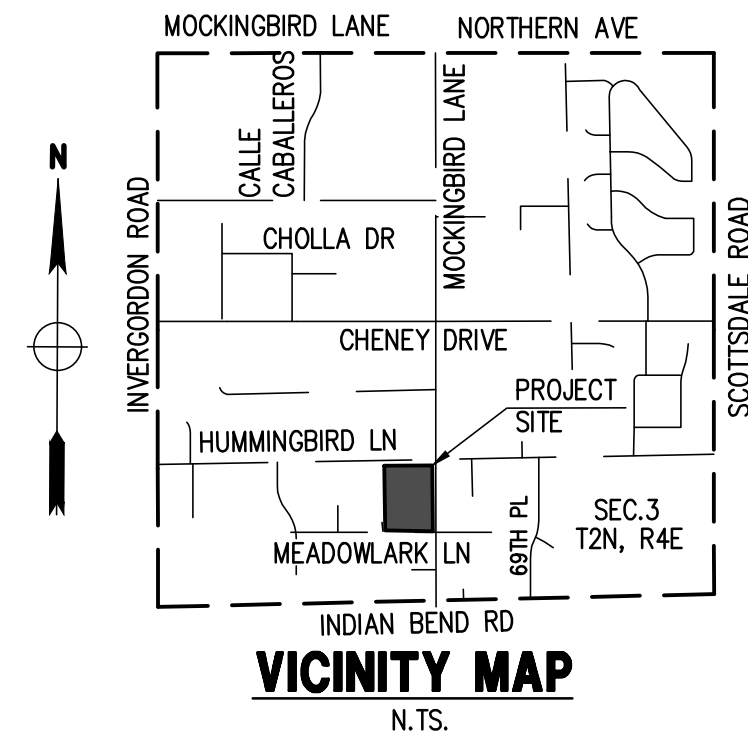
## ZONING

LOT 1A: SUP-P

LOT 1B: R-43

## BENCHMARK

BRASS CAP FLUSH MOCKINGBIRD  
AVE AND INDIAN BEND ROAD  
HAVING AN ELEVATION OF 1316.44  
NAVD 88 DATUM, GDACS#  
24524-1.



## SITE DATA

APN: 174-51-033  
ADDRESS: 7100 N MOCKINGBIRD LN.,  
PARADISE VALLEY, AZ 85253

ZONING: SUP-P  
QS #: 23-43  
PARENT LOT AREA: 275,697 SF (6.329 AC.)

### LOT 1A:

PROPOSED AREA: 232,097 SF (5.328 AC.)  
TOTAL FLOOR AREA: 15,823+ SF  
FLOOR AREA RATIO: 6.82%  
MAX ACTUAL BUILDING HEIGHT: 57 FT  
MAX SPIRE HEIGHT: 100 FT  
TOTAL FOOTPRINT AREA: 11,691 SF  
LOT COVERAGE: 5.04%  
ALLOWED PARKING: 266 SPACES:  
TOTAL NUMBER OF SEATS IN THE SANCTUARY: 800 SEATS  
EXISTING PARKING: 158 SPACES (NORTH)  
EXISTING PARKING: 42 SPACES (SOUTH)  
EXISTING PARKING ACCESSIBLE: 7 SPACES  
TOTAL PARKING PROVIDED: 207 SPACES

### LOT 1B:

PROPOSED AREA: 43,600 S.F. (1.001 AC.)  
MAX FLOOR AREA RATIO: 25%  
MAXIMUM BUILDING HEIGHT: 24 FT.

## BASIS OF BEARINGS

THE EAST LINE OF THE SOUTHWEST QUARTER OF SECTION T2N, R3W, THE BEARING OF WHICH IS N01°00'43"E.

## PARENT LEGAL DESCRIPTION

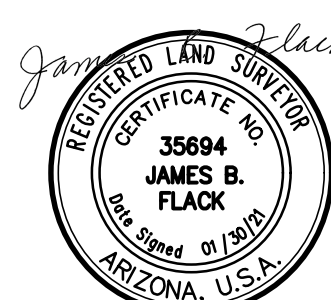
LOT 1, OF MEADOWLARK ACRES, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 194 OF MAPS, PAGE 11.

## DRAINAGE EASEMENT RESTRICTIONS

PURSUANT TO A.R.S. §9-463.01 (c), AND SECTIONS 6-4 (E), 8-7-1 ET. SEQ., AND 6-3-8 OF THE CODE OF ORDINANCES OF THE TOWN OF PARADISE VALLEY, DRAINAGE EASEMENTS ARE FOR THE PURPOSE OF ALLOWING STORM, FLOOD, AND OTHER WATERS TO PASS OVER, UNDER OR THROUGH THE LAND SET ASIDE FOR SUCH EASEMENTS, AND NOTHING WHICH MAY, TO ANY DEGREE, IMPEDE OR OBSTRUCT THE FLOW OF SUCH WATERS, SHALL BE CONSTRUCTED, PLACED, PLANTED, OR ALLOWED TO GROW ON OR IN SUCH EASEMENTS. THE MAINTENANCE AND CLEARING OF THESE DRAINAGE EASEMENTS SHALL BE THE SOLE RESPONSIBILITY AND DUTY OF THE OWNER OF THE PROPERTY ON WHICH SAID EASEMENTS ARE PLATTED. HOWEVER, THE TOWN OF PARADISE VALLEY, A MUNICIPAL CORPORATION, MAY, IF THE TOWN DEEMS IT TO BE IN THE BEST INTERESTS OF THE HEALTH, SAFETY, OR WELFARE OF THE TOWN OF PARADISE VALLEY, CONSTRUCT AND/OR MAINTAIN DRAINAGE FACILITIES ON OR UNDER SUCH EASEMENTS. AGENTS AND EMPLOYEES OF THE TOWN OF PARADISE VALLEY SHALL HAVE FREE ACCESS TO AND FROM ALL PORTIONS OF SUCH EASEMENTS AT ALL TIMES.

## SURVEYOR'S CERTIFICATION

THIS IS TO CERTIFY THAT (1) THE SURVEY OF THE PREMISES DESCRIBED AND PLATTED HEREIN WERE MADE UNDER MY DIRECTION DURING THE MONTH OF MAY, 2016, AND (2) THIS PLAT IS CORRECT AND ACCURATE, AND (3) THE MONUMENT OR MONUMENTS SHOWN HEREIN HAVE BEEN LOCATED AS DESCRIBED.



JAMES FLACK, RLS

01/30/21

DATE

## APPROVALS

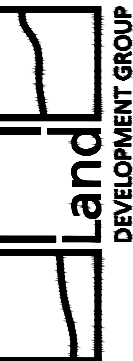
APPROVED BY THE TOWN COUNCIL ON \_\_\_\_\_ 2021.

BY: \_\_\_\_\_ TOWN CLERK

BY: \_\_\_\_\_ TOWN ENGINEER

LOT SPLIT MAP

MEADOWLARK ACRES II  
7100 N MOCKINGBIRD LN.,  
PARADISE VALLEY, AZ 85253



P 602 889 1984 | F 602 445 9482  
8808 N CENTRAL AVE., SUITE 288  
PHOENIX, AZ 85020  
PHOENIX@LDG.COM



TOWN OF PARADISE VALLEY NOTES

- PRIOR TO THE FIRST INSPECTION OF STRUCTURES WITHIN 3 FEET OF A SETBACK LINE, THE PROPERTY PINS SHALL BE PLACED BY A REGISTERED CIVIL ENGINEER OR LAND SURVEYOR OF THE STATE OF ARIZONA, AND THE PROPERTY LINE(S) IDENTIFIED.
- WHERE EXCAVATION IS TO OCCUR THE TOP 4" OF EXCAVATED NATIVE SOIL SHALL REMAIN ON THE SITE AND SHALL BE REUSED IN A MANNER THAT TAKES ADVANTAGE OF THE NATURAL SOIL SEED BANK IT CONTAINS.
- ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL MUNICIPALITY UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS.
- THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL STATE, AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO THE CONSTRUCTION COVERED BY THIS PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
- ALL EXTERIOR SITE LIGHTING SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS FOR TYPE, LOCATION, HEIGHT, WATTAGE, AND LUMEN BASED UPON THE FIXTURES INSTALLED PURSUANT TO SECTION 1023 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCE FOR NON-HILLSIDE PROPERTIES, SECTION 2208 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCE FOR HILLSIDE PROPERTIES, OR AS SPECIFIED IN THE SPECIAL USE PERMIT FOR SPECIAL USE PERMIT PROPERTIES.
- A DUST CONTROL PLAN AND PERMIT MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
- A SEPARATE RIGHT-OF-WAY PERMIT IS NECESSARY FOR ANY OFF-SITE CONSTRUCTION.
- AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
- EAVE PROJECTIONS INTO REQUIRED SETBACKS ARE LIMITED TO A MAXIMUM OF 24" PURSUANT TO SECTION 1008 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES.
- ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
- ALL NEW AND EXISTING ELECTRICAL SERVICE LINES SHALL BE BURIED PER THE TOWN OF PARADISE VALLEY REQUIREMENTS.
- IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE TO ARRANGE FOR THE RELOCATION AND RELOCATION COSTS OF ALL UTILITIES, AND TO SUBMIT A UTILITY RELOCATION SCHEDULE PRIOR TO THE ISSUANCE OF AN ENGINEERING CONSTRUCTION PERMIT.
- EXISTING AND/OR NEW UTILITY CABINETS AND PEDESTALS SHALL BE LOCATED A MINIMUM OF 4' BEHIND ULTIMATE BACK OF CURB LOCATION.
- POOL, SPA, BARBEQUE AND ANY PROPOSED STRUCTURES OVER 8' ABOVE GRADE REQUIRE SEPARATE PERMIT APPLICATIONS.
- POOLS SHALL BE CONSTRUCTED BY SEPARATE PERMIT AND SECURED FROM UNWANTED ACCESS PER TOWN CODE, ARTICLE 5-2.
- ALL FILL MATERIAL UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95%.
- SETBACK CERTIFICATION IS REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO STEM WALL INSPECTION.
- FOR BUILDING PADS THAT HAVE 1' OR MORE OF FILL MATERIAL, SOILS COMPACTION TEST RESULTS ARE REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO PRE-SLAB INSPECTION.
- FINISHED FLOOR ELEVATION CERTIFICATION IS REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO FRAMING INSPECTION.
- MAIL BOXES SHALL COMPLY WITH THE TOWN OF PARADISE VALLEY STANDARDS FOR MAIL BOXES IN THE RIGHT-OF-WAY FOR HEIGHT, WIDTH AND BREAK AWAY FEATURES.
- ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE.
- TRENCH BEDDING AND SHADING SHALL BE FREE OF ROCKS AND DEBRIS.
- THE TOWN ONLY APPROVES THE SCOPE OF WORK AND NOT THE ENGINEERING DESIGN. ANY CONSTRUCTION QUANTITIES SHOWN ARE NOT VERIFIED BY THE TOWN.
- THE APPROVAL OF THE PLANS IS VALID FOR 180 DAYS. IF A PERMIT FOR CONSTRUCTION HAS NOT BEEN ISSUED WITHIN 180 DAYS, THE PERMIT MUST BE RENEWED.
- A TOWN INSPECTOR WILL INSPECT ALL WORK WITHIN THE TOWN'S RIGHTS-OF-WAY. NOTIFY TOWN INSPECTION SERVICES TO SCHEDULE A PRECONSTRUCTION MEETING PRIOR TO STARTING CONSTRUCTION.
- WHENEVER EXCAVATION IS NECESSARY, CALL ARIZONA811 BY DIALING 811 OR 602-263-1100, TWO (2) WORKING DAYS BEFORE EXCAVATION BEGINS.
- EXCAVATIONS SHALL COMPLY WITH REQUIREMENTS OF OSHA EXCAVATION STANDARDS (29 CFR, PART 1926, SUBPART P). UNDER NO CIRCUMSTANCES WILL THE CONTRACTORS BE ALLOWED TO WORK IN A TRENCH LOCATED WITHIN THE TOWN'S RIGHT-OF-WAY WITHOUT PROPER SHORING OR EXCAVATION METHODS.
- PERMIT HOLDER SHALL POST A 6 SQUARE FOOT (2'X3') IDENTIFICATION SIGN, MADE OF DURABLE MATERIAL, IN THE FRONT YARD OF SUBJECT PROPERTY AND NOT IN THE TOWN'S RIGHT-OF-WAY. THE SIGN MAY NOT EXCEED A MAXIMUM OF 6 FEET IN HEIGHT FROM GRADE TO TOP OF THE SIGN. THE SIGN MUST INCLUDE THE PERMITTEE OR COMPANY NAME, PHONE NUMBER, TYPE OF WORK, ADDRESS OF PROJECT AND TOWN CONTACT NUMBER, 480-348-3556.
- WHEN DEEMED NECESSARY, A 6-FOOT HIGH CHAIN LINK FENCE MUST BE INSTALLED AROUND THE CONSTRUCTION AREA TO PREVENT ANY POTENTIAL SAFETY HAZARD FOR THE PUBLIC. THE FENCE SHALL BE SETBACK AT LEAST 10 FEET FROM ALL RIGHTS-OF-WAY AND HAVE A 50-FOOT STREET CORNER SITE TRIANGLE WHERE APPLICABLE.
- CLEAR ACCESS FOR NEIGHBORING PROPERTIES AND EMERGENCY VEHICLES MUST BE MAINTAINED AT ALL TIMES. CONSTRUCTION RELATED VEHICLES MUST BE LEGALLY PARKED ONLY ON ONE SIDE OF THE STREET OR JOB SITE PROPERTY.
- ALL CONSTRUCTION DEBRIS AND EQUIPMENT MUST BE CONTAINED ON SITE AT ALL TIMES. CONTRACTOR AND PROPERTY OWNER MUST MAINTAIN THE JOB SITE FREE OF LITTER AND UNSIGHTLY MATERIALS AT ALL TIMES. CONSTRUCTION MATERIALS ARE PROHIBITED IN THE TOWN'S RIGHT-OF-WAY.
- CONSTRUCTION ACTIVITIES ARE PERMITTED BETWEEN THE HOURS OF 7 AM AND 5 PM MONDAY THROUGH CONSTRUCTION ACTIVITIES MAY START ONE (1) HOUR EARLIER DURING THE SUMMER (MAY 1ST THROUGH SEPTEMBER 30TH).
- THE USE AND OPERATION OF FUEL-FIRED GENERATORS IS PROHIBITED UNLESS DUE TO A HARSHSHIP. TOWN APPROVAL SHALL BE REQUIRED.
- THE CONTRACTOR AND PROPERTY OWNER SHALL BE LIABLE FOR ANY DAMAGE DONE TO ANY PUBLIC PROPERTY AS A RESULT OF ANY CONSTRUCTION OR CONSTRUCTION RELATED ACTIVITIES. NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL AFFECTED RIGHTS-OF-WAY ARE CLEANED AND/OR REPAIRED TO THEIR ORIGINAL CONDITION AND UNTIL ANY AND ALL DAMAGES TO AFFECTED PROPERTIES ARE RESTORED TO ORIGINAL CONDITION.
- A KEYED SWITCH SHALL BE REQUIRED ON ALL NEW AND EXISTING ELECTRIC ENTRY GATES. THE KEYED SWITCH SHALL BE INSTALLED IN A LOCATION THAT IS READILY VISIBLE AND ACCESSIBLE. KNOX BOX ORDER FORMS ARE AVAILABLE AT THE TOWN'S BUILDING SAFETY DEPARTMENT.
- PROPERTY OWNER, BUILDER, OR GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR CONTROLLING DUST FROM THE SITE AT ALL TIMES. ALL MEANS NECESSARY SHALL BE USED BY THE BUILDER OR GENERAL CONTRACTOR TO CONTROL THE EXISTENCE OF DUST CAUSED BY ANY EARTHWORK, SPRAY APPLICATION OF MATERIALS, OR OTHER DUST-CAUSING PRACTICES REQUIRED BY THE CONSTRUCTION PROCESS.
- APPROVAL OF THESE PLANS ARE FOR PERMIT PURPOSES ONLY AND SHALL NOT PREVENT THE TOWN FROM REQUIRING CORRECTION OF ERRORS IN THE PLANS WHERE SUCH ERRORS ARE SUBSEQUENTLY FOUND TO BE IN VIOLATION OF ANY LAW, ORDINANCE, HEALTH, SAFETY, OR OTHER DESIGN ISSUES.
- ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTION DITCHES, PIPES PROTECTIVE BERMS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT PROPOSED AND EXISTING IMPROVEMENTS FROM RUNOFF OR DAMAGE FROM STORM WATER, MUST BE CONSTRUCTED PRIOR TO THE CONSTRUCTION OF ANY IMPROVEMENTS.

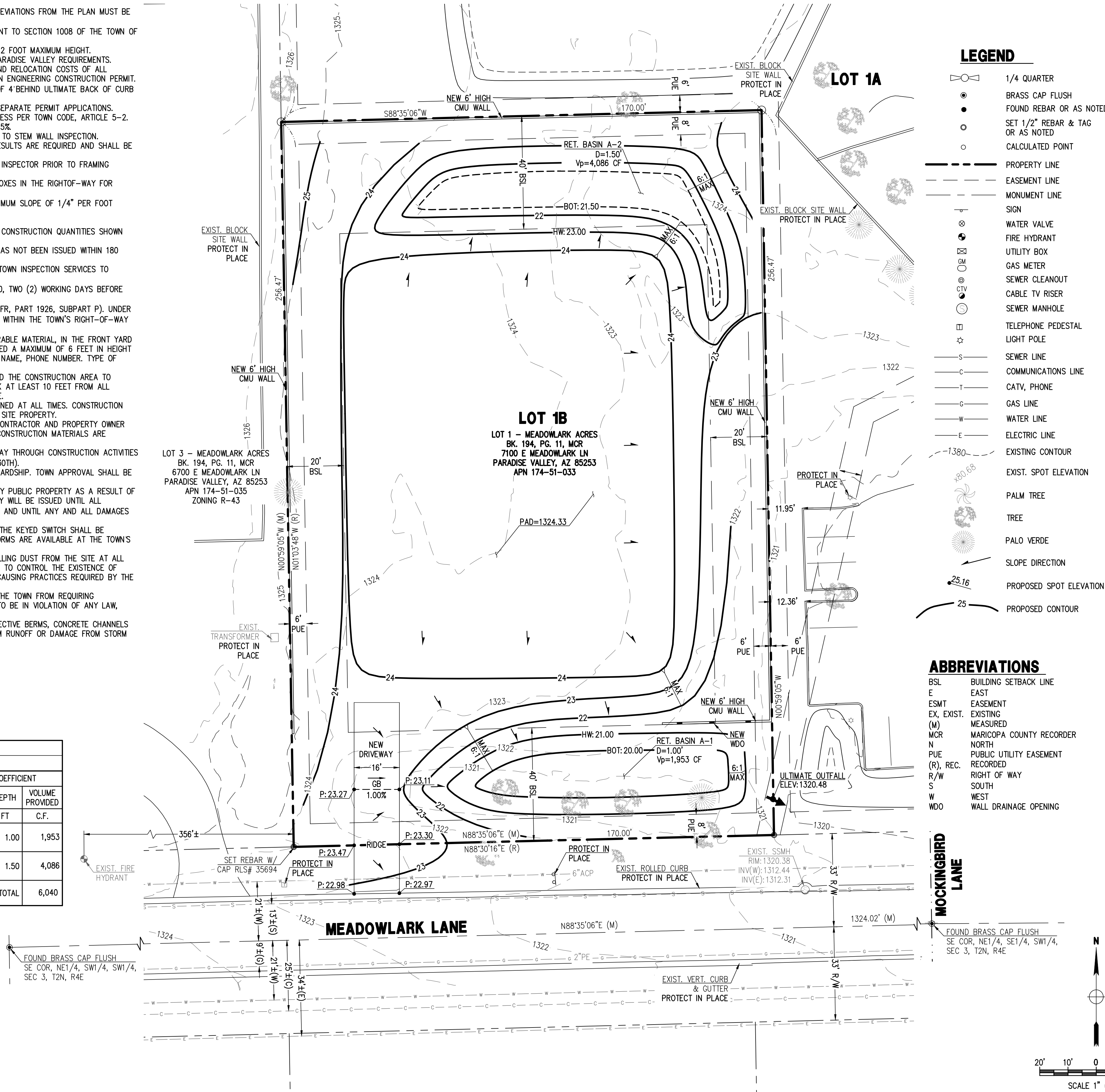
DRAINAGE STATEMENT

- ULTIMATE STORM OUTFALL IS LOCATED NEAR THE SOUTHEASTERLY PROPERTY CORNER AT AN ELEVATION OF 1320.48
- PROPOSED DEVELOPMENT DOES NOT IMPACT DRAINAGE CONDITIONS OF ADJOINING LOTS.
- RETENTION IS PROVIDED FOR THE 100-YEAR, 2-HOUR STORM EVENT.
- NO OFFSITE FLOWS IMPACT THE SITE.

ON-SITE RETENTION FOR THE 100-YEAR, 2-HOUR STORM EVENT							
V=DxAsCw/12							
D - RAINFALL DEPTH=2.20" (1)   A - TRIBUTARY AREA, SF   Cw - WEIGHTED RUNOFF COEFFICIENT							
DRAINAGE AREA	AREA	RUNOFF COEFFICIENT	VOLUME REQUIRED	RETENTION BASIN ID	CONTOUR ELEVATION		VOLUME PROVIDED
	S.F.	Cw	C.F.		S.F.	FT	
A	43,600	0.70	5,621	A1	HW	21.00	2,613
					BOTTOM	20.00	1,294
				A2	HW	23.00	4,157
					BOTTOM	21.50	1,291
TOTAL			5,621			TOTAL	6,040

(1) RAINFALL DEPTH IS PER NOAA ATLAS 14, VOLUME 1, VERSION 5.

PRELIMINARY GRADING & DRAINAGE PLAN  
7100 N MOCKINGBIRD LN, PARADISE VALLEY, AZ 85253  
LOT 1B - MEADOWLARK ACRES II  
A LOT SPLIT OF LOT 1 MEADOWLARK ACRES  
A SUBDIVISION PLAT RECORDED IN BOOK 194 OF MAPS, PAGE 11, MCR.,  
LOCATED IN A PORTION OF THE NE 1/4 OF THE SE 1/4 OF THE SW 1/4 OF SECTION 3, T.2N, R.4E  
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA





TOWN OF PARADISE VALLEY NOTES

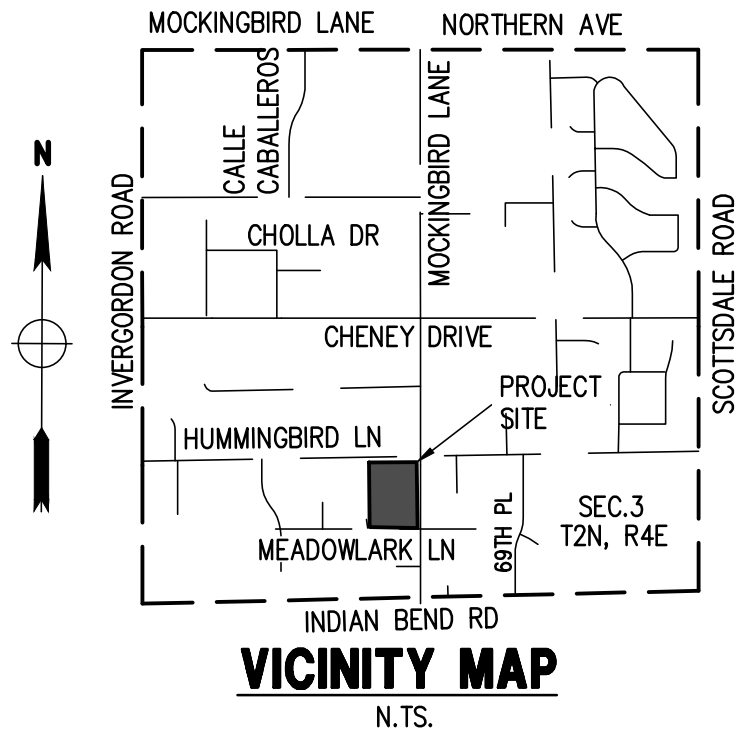
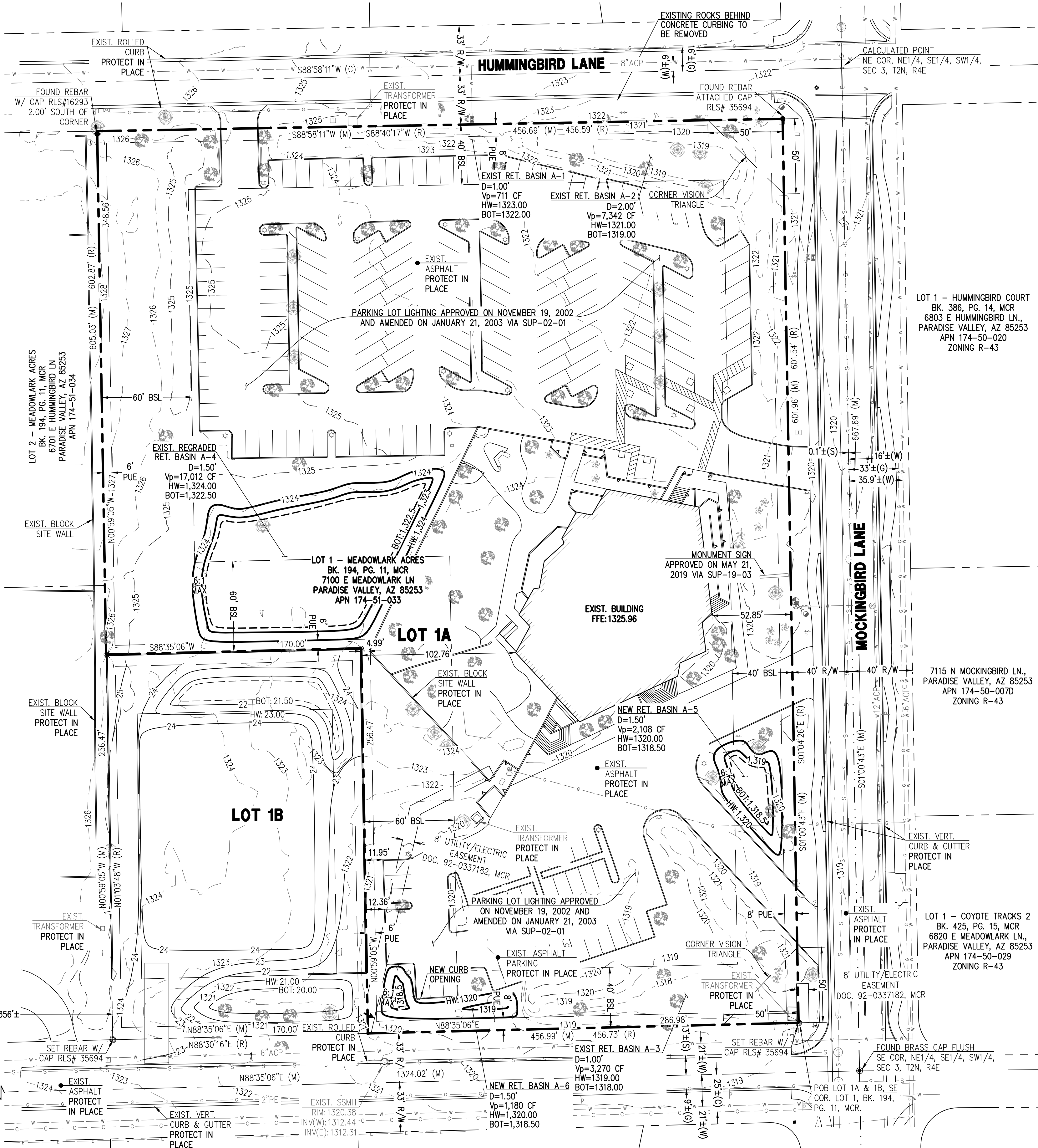
- PRIOR TO THE FIRST INSPECTION OF STRUCTURES WITHIN 3 FEET OF A SETBACK LINE, THE PROPERTY PINS SHALL BE PLACED BY A REGISTERED CIVIL ENGINEER OR LAND SURVEYOR OF THE STATE OF ARIZONA, AND THE PROPERTY LINE(S) IDENTIFIED.
- WHERE EXCAVATION IS TO OCCUR THE TOP 4" OF EXCAVATED NATIVE SOIL SHALL REMAIN ON THE SITE AND SHALL BE REUSED IN A MANNER THAT TAKES ADVANTAGE OF THE NATURAL SOIL SEED BANK IT CONTAINS.
- ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL MUNICIPALITY UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS.
- THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL STATE, AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO THE CONSTRUCTION COVERED BY THIS PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
- ALL EXTERIOR SITE LIGHTING SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS FOR TYPE, LOCATION, HEIGHT, WATTAGE, AND LUMEN BASED UPON THE FIXTURES INSTALLED PURSUANT TO SECTION 1023 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCE FOR NON-HILLSIDE PROPERTIES, SECTION 2208 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCE FOR HILLSIDE PROPERTIES, OR AS SPECIFIED IN THE SPECIAL USE PERMIT FOR SPECIAL USE PERMIT PROPERTIES.
- A DUST CONTROL PLAN AND PERMIT MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
- A SEPARATE RIGHT-OF-WAY PERMIT IS NECESSARY FOR ANY OFF-SITE CONSTRUCTION.
- AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
- EAVE PROJECTIONS INTO REQUIRED SETBACKS ARE LIMITED TO A MAXIMUM OF 24" PURSUANT TO SECTION 1008 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES.
- ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
- ALL NEW AND EXISTING ELECTRICAL SERVICE LINES SHALL BE BURIED PER THE TOWN OF PARADISE VALLEY REQUIREMENTS.
- IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE TO ARRANGE FOR THE RELOCATION AND RELOCATION COSTS OF ALL UTILITIES, AND TO SUBMIT A UTILITY RELOCATION SCHEDULE PRIOR TO THE ISSUANCE OF AN ENGINEERING CONSTRUCTION PERMIT.
- EXISTING AND/OR NEW UTILITY CABINETS AND PEDESTALS SHALL BE LOCATED A MINIMUM OF 4' BEHIND ULTIMATE BACK OF CURB LOCATION.
- POOL, SPA, BARBEQUE AND ANY PROPOSED STRUCTURES OVER 8' ABOVE GRADE REQUIRE SEPARATE PERMIT APPLICATIONS.
- POOLS SHALL BE CONSTRUCTED BY SEPARATE PERMIT AND SECURED FROM UNWANTED ACCESS PER TOWN CODE, ARTICLE 5-2.
- ALL FILL MATERIAL UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95%.
- SETBACK CERTIFICATION IS REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO STEM WALL INSPECTION.
- FOR BUILDING PADS THAT HAVE 1' OR MORE OF FILL MATERIAL, SOILS COMPACTION TEST RESULTS ARE REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO PRE-SLAB INSPECTION.
- FINISHED FLOOR ELEVATION CERTIFICATION IS REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO FRAMING INSPECTION.
- MAIL BOXES SHALL COMPLY WITH THE TOWN OF PARADISE VALLEY STANDARDS FOR MAIL BOXES IN THE RIGHT-OF-WAY FOR HEIGHT, WIDTH AND BREAK AWAY FEATURES.
- ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE.
- TRENCH BEDDING AND SHADING SHALL BE FREE OF ROCKS AND DEBRIS.
- THE TOWN ONLY APPROVES THE SCOPE OF WORK AND NOT THE ENGINEERING DESIGN. ANY CONSTRUCTION QUANTITIES SHOWN ARE NOT VERIFIED BY THE TOWN.
- THE APPROVAL OF THE PLANS IS VALID FOR 180 DAYS. IF A PERMIT FOR CONSTRUCTION HAS NOT BEEN ISSUED WITHIN 180 DAYS, THE PERMIT MUST BE RENEWED.
- A TOWN INSPECTOR WILL INSPECT ALL WORK WITHIN THE TOWN'S RIGHTS-OF-WAY. NOTIFY TOWN INSPECTION SERVICES TO SCHEDULE A PRECONSTRUCTION MEETING PRIOR TO STARTING CONSTRUCTION.
- WHENEVER EXCAVATION IS NECESSARY, CALL ARIZONA811 BY DIALING 811 OR 602-263-1100, TWO (2) WORKING DAYS BEFORE EXCAVATION BEGINS.
- EXCAVATIONS SHALL COMPLY WITH REQUIREMENTS OF OSHA EXCAVATION STANDARDS (29 CFR, PART 1926, SUBPART P). UNDER NO CIRCUMSTANCES WILL THE CONTRACTORS BE ALLOWED TO WORK IN A TRENCH LOCATED WITHIN THE TOWN'S RIGHT-OF-WAY WITHOUT PROPER SHORING OR EXCAVATION METHODS.
- PERMIT HOLDER SHALL POST A 6 SQUARE FOOT (2'x3') IDENTIFICATION SIGN, MADE OF DURABLE MATERIAL, IN THE FRONT YARD OF SUBJECT PROPERTY AND NOT IN THE TOWN'S RIGHT-OF-WAY. THE SIGN MAY NOT EXCEED A MAXIMUM OF 6 FEET IN HEIGHT FROM GRADE TO TOP OF THE SIGN. THE SIGN MUST INCLUDE THE PERMITTEE OR COMPANY NAME, PHONE NUMBER, TYPE OF WORK, ADDRESS OF PROJECT AND TOWN CONTACT NUMBER, 480-348-3556.
- WHEN DEEMED NECESSARY, A 6-FOOT HIGH CHAIN LINK FENCE MUST BE INSTALLED AROUND THE CONSTRUCTION AREA TO PREVENT ANY POTENTIAL SAFETY HAZARD FOR THE PUBLIC. THE FENCE SHALL BE SETBACK AT LEAST 10 FEET FROM ALL RIGHTS-OF-WAY AND HAVE A 50-FOOT STREET CORNER SITE TRIANGLE WHERE APPLICABLE.
- CLEAR ACCESS FOR NEIGHBORING PROPERTIES AND EMERGENCY VEHICLES MUST BE MAINTAINED AT ALL TIMES. CONSTRUCTION RELATED VEHICLES MUST BE LEGALLY PARKED ONLY ON ONE SIDE OF THE STREET OR JOB SITE PROPERTY.
- ALL CONSTRUCTION DEBRIS AND EQUIPMENT MUST BE CONTAINED ON SITE AT ALL TIMES. CONTRACTOR AND PROPERTY OWNER MUST MAINTAIN THE JOB SITE FREE OF LITTER AND UNSIGHTLY MATERIALS AT ALL TIMES. CONSTRUCTION MATERIALS ARE PROHIBITED IN THE TOWN'S RIGHT-OF-WAY.
- CONSTRUCTION ACTIVITIES ARE PERMITTED BETWEEN THE HOURS OF 7 AM AND 5 PM MONDAY THROUGH CONSTRUCTION ACTIVITIES MAY START ONE (1) HOUR EARLIER DURING THE SUMMER (MAY 1ST THROUGH SEPTEMBER 30TH).
- THE USE AND OPERATION OF FUEL-FIRED GENERATORS IS PROHIBITED UNLESS DUE TO A HARSHSHIP. TOWN APPROVAL SHALL BE REQUIRED.
- THE CONTRACTOR AND PROPERTY OWNER SHALL BE LIABLE FOR ANY DAMAGE DONE TO ANY PUBLIC PROPERTY AS A RESULT OF ANY CONSTRUCTION OR CONSTRUCTION RELATED ACTIVITIES. NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL AFFECTED RIGHTS-OF-WAY ARE CLEANED AND/OR REPAIRED TO THEIR ORIGINAL CONDITION AND UNTIL ANY AND ALL DAMAGES TO AFFECTED PROPERTIES ARE RESTORED TO ORIGINAL CONDITION.
- A KEYED SWITCH SHALL BE REQUIRED ON ALL NEW AND EXISTING ELECTRIC ENTRY GATES. THE KEYED SWITCH SHALL BE INSTALLED IN A LOCATION THAT IS READILY VISIBLE AND ACCESSIBLE. KNOX BOX ORDER FORMS ARE AVAILABLE AT THE TOWN'S BUILDING SAFETY DEPARTMENT.
- PROPERTY OWNER, BUILDER, OR GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR CONTROLLING DUST FROM THE SITE AT ALL TIMES. ALL MEANS NECESSARY SHALL BE USED BY THE BUILDER OR GENERAL CONTRACTOR TO CONTROL THE EXISTENCE OF DUST CAUSED BY ANY EARTHWORK, SPRAY APPLICATION OF MATERIALS, OR OTHER DUST-CAUSING PRACTICES REQUIRED BY THE CONSTRUCTION PROCESS.
- APPROVAL OF THESE PLANS ARE FOR PERMIT PURPOSES ONLY AND SHALL NOT PREVENT THE TOWN FROM REQUIRING CORRECTION OF ERRORS IN THE PLANS WHERE SUCH ERRORS ARE SUBSEQUENTLY FOUND TO BE IN VIOLATION OF ANY LAW, ORDINANCE, HEALTH, SAFETY, OR OTHER DESIGN ISSUE.
- ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTION DITCHES, PIPES PROTECTIVE BERMS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT PROPOSED AND EXISTING IMPROVEMENTS FROM RUNOFF OR DAMAGE FROM STORM WATER, MUST BE CONSTRUCTED PRIOR TO THE CONSTRUCTION OF ANY IMPROVEMENTS.

ON-SITE RETENTION FOR THE 100-YEAR, 2-HOUR STORM EVENT									
V=DxAxCw/12									
D – RAINFALL DEPTH=2.20" (1)   A – TRIBUTARY AREA, SF   Cw – WEIGHTED RUNOFF COEFFICIENT									
DRAINAGE AREA	AREA	RUNOFF COEFFICIENT	VOLUME REQUIRED	RETENTION BASIN ID	CONTOUR ELEVATION		CONTOUR AREA	DEPTH	VOLUME PROVIDED
	S.F.	Cw	C.F.				S.F.		FT
A	232,097	0.73	31,203	EXIST. BASIN A1	HW	1,323.00	1,094	1.00	711
					BOTTOM		1,322.00		
				EXIST. BASIN A2	HW	1,321.00	5,452	2.00	7,342
					BOTTOM		1,319.00		
				EXIST. BASIN A3	HW	1,319.00	4,610	1.00	3,270
					BOTTOM		1,318.00		
				EXIST. REGRADED BASIN A4	HW	1,324.00	13,416	1.50	17,012
					BOTTOM		1,322.50		
				NEW BASIN A5	HW	1,320.00	2,176	1.50	2,108
					BOTTOM		1,318.50		
NEW BASIN A6	HW	1,320.00	1,544	1.50	1,180				
	BOTTOM		1,318.50			30			
TOTAL			31,203	TOTAL				31,624	

(1) RAINFALL DEPTH IS PER NOAA ATLAS 14, VOLUME 1, VERSION 5.

WEIGHTED RUNOFF COEFFICIENT, Cw AREA A			
SURFACE TYPE	RUNOFF COEFFICIENT C	AREA SF	C*AREA
PAVEMENT & ROOFTOPS	0.95	116,177	110,368
DESERT LANDSCAPING	0.50	115,920	57,960
TOTAL		232,097	168,328
Cw = C * AREA / TOTAL AREA			
0.73			

PRELIMINARY GRADING & DRAINAGE PLAN  
7100 N MOCKINGBIRD LN, PARADISE VALLEY, AZ 85253  
LOT 1A - MEADOWLARK ACRES II  
A LOT SPLIT OF LOT 1 MEADOWLARK ACRES  
A SUBDIVISION PLAT RECORDED IN BOOK 194 OF MAPS, PAGE 11, MCR.,  
LOCATED IN A PORTION OF THE NE 1/4 OF THE SE 1/4 OF THE SW 1/4 OF SECTION 3, T.2N, R.4E  
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA



**OWNER**  
ASCENSION LUTHERAN CHURCH, INC.,  
PARADISE VALLEY, ARIZONA, AN ARIZONA  
NON-PROFIT CORPORATION  
7100 N MOCKINGBIRD LN.,  
PARADISE VALLEY, AZ 85253

**PARENT SITE DATA**  
APN: 174-51-033  
ADDRESS: 7100 N MOCKINGBIRD LN.,  
PARADISE VALLEY, AZ 85253  
ZONING: SUP-P  
OS #: 23-43  
PARENT LOT AREA: 275,697 S.F. (6.329 AC.)

**AREAS**  
LOT 1A: 232,097 S.F. (5.328 AC.)

**ZONING**  
LOT 1A: SUP-P

**PARENT LEGAL DESCRIPTION**  
LOT 1, OF MEADOWLARK ACRES, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 194 OF MAPS, PAGE 11.

**BENCHMARK**  
BRASS CAP FLUSH MOCKINGBIRD AVE AND INDIAN BEND ROAD HAVING AN ELEVATION OF 1316.44 NAVD 88 DATUM, GDACS# 24524-1.

**BASIS OF BEARINGS**  
THE EAST LINE OF THE SOUTHWEST QUARTER OF SECTION 12N, R3W, THE BEARING OF WHICH IS N01°00'43"E.

**LOT 1A - LEGAL DESCRIPTION**  
THAT PORTION OF LOT 1, OF "MEADOWLARK ACRES", ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 194 OF MAPS, PAGE 11, AND LYING IN THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:  
BEGINNING AT THE SOUTHEASTER CORNER OF SAID LOT 1, SAID POINT BEING REBAR WITH CAP RLS# 35694;  
THENCE SOUTH 88 DEGREES 35 MINUTES 06 SECONDS WEST, ALONG THE SOUTH LINE OF SAID LOT 1, A DISTANCE OF 286.98 FEET TO REBAR WITH CAP RLS# 35694;  
THENCE NORTH 00 DEGREES 59 MINUTES 05 SECONDS WEST, A DISTANCE OF 256.47 FEET;  
THENCE SOUTH 88 DEGREES 35 MINUTES 06 SECONDS WEST, A DISTANCE OF 170.00 FEET TO A POINT ON THE WEST LINE OF SAID LOT 1;  
THENCE NORTH 00 DEGREES 59 MINUTES 05 SECONDS WEST, ALONG SAID WEST LINE, A DISTANCE OF 348.56 FEET TO THE NORTHWEST CORNER OF SAID LOT 1, BEING MARKED BY REBAR WITH CAP RLS# 16293, SOUTH 2.00 FEET OF CORNER.  
THENCE NORTH 88 DEGREES 58 MINUTES 11 SECONDS EAST, ALONG THE NORTH LINE OF SAID LOT 1, A DISTANCE OF 456.69 FEET TO THE NORTHEAST CORNER OF SAID LOT 1, BEING MARKED BY A REBAR WITH ATTACHED CAP RLS# 35694;  
THENCE SOUTH 01 DEGREES 00 MINUTES 43 SECONDS EAST, ALONG THE EAST LINE OF SAID LOT 1, A DISTANCE OF 601.96 FEET TO THE POINT OF BEGINNING.

**PROJECT DESCRIPTION**  
SITE IMPROVEMENTS OF NEW LOT WITH ONSITE RETENTION.

**UTILITIES**  
WATER: CITY OF PHOENIX  
SANITARY SEWER: TOWN OF PARADISE VALLEY  
ELECTRIC: APS  
TELEPHONE: CENTURY LINK, COX COMMUNICATIONS  
NATURAL GAS: SOUTHWEST GAS CORPORATION  
CABLE TV: CENTURY LINK, COX COMMUNICATIONS

**UTILITIES NOTES**  
HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THE PLAN ARE APPROXIMATE ONLY AND WILL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO START OF CONSTRUCTION WORK. CALL BLUE STAKE @ (602) 263-1100.

FLOOD INSURANCE RATE MAP (FIRM) DATA

COMMUNITY #	PANEL #	SUFFIX	BASE FLOOD ELEVATION
040049	1770 OF 4425	L	N/A
MAP #	PANEL DATE	FIRM INDEX DATE	ZONE
04013C	10/16/2013	11/04/2015	X*

\*AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

DRAINAGE STATEMENT

- ULTIMATE STORM OUTFALL IS LOCATED NEAR THE SOUTHEASTERLY PROPERTY CORNER AT AN ELEVATION OF 1320.48
- PROPOSED DEVELOPMENT DOES NOT IMPACT DRAINAGE CONDITIONS OF ADJOINING LOTS.
- RETENTION IS PROVIDED FOR THE 100-YEAR, 2-HOUR STORM EVENT.
- NO OFFSITE FLOWS IMPACT THE SITE.

APPROVAL

THIS SET OF PLANS HAS BEEN REVIEWED FOR COMPLIANCE WITH TOWN OF PARADISE VALLEY REQUIREMENTS PRIOR TO ISSUANCE OF PERMIT. THE TOWN NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. THIS COMPLIANCE APPROVAL SHALL NOT PREVENT THE TOWN ENGINEER FROM REQUIRING CORRECTIONS OF ERRORS OR OMISSIONS IN THE PLANS TO BE FOUND IN VIOLATION OF LAWS OR ORDINANCES.

TOWN ENGINEER  
TOWN OF PARADISE VALLEY

DATE



REVISIONS:

DATE:	DATE: 07/30/21
SCALE: 1"=40'	JOB: 2020041
DESIGNED BY: NP	VERSION: 2.1
DRAWN BY: DW	CHECKED BY: NP
PLOT DATE: 07/30/21	

PRELIMINARY GRADING & DRAINAGE PLAN

MEADOWLARK ACRES II  
7100 N MOCKINGBIRD LN.,  
PARADISE VALLEY, AZ 85253

REGISTERED PROFESSIONAL ENGINEER  
P. 602 889 1984 | F. 602 445 9482  
8808 N CENTRAL AVE., SUITE 288  
PHOENIX, AZ 85020  
PHOENIXDVG.COM

and  
DEVELOPMENT GROUP

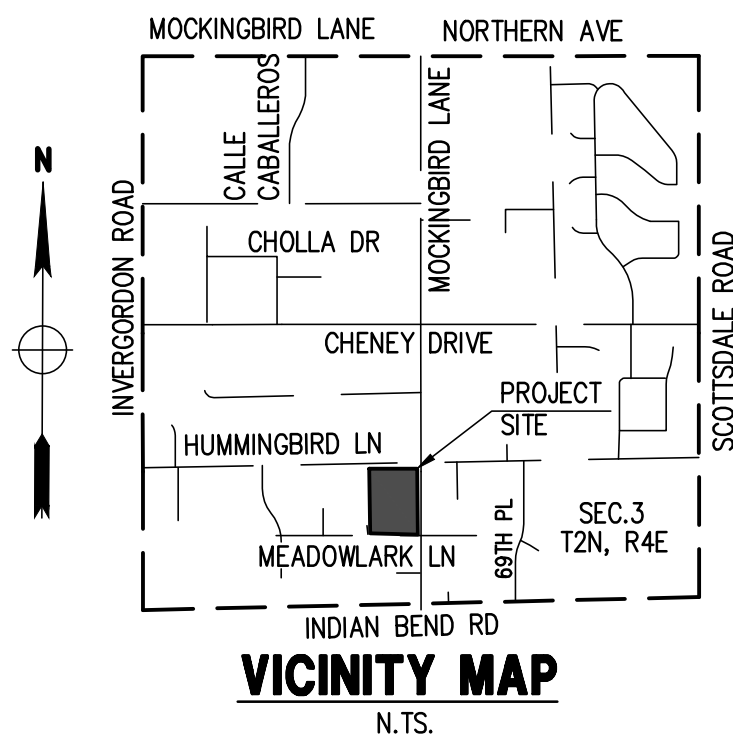
PRELIMINARY  
NOT FOR CONSTRUCTION

Arizona811  
Call 811 or click Arizona811.com

C-1  
1 OF 1



SPECIAL USE PERMIT MINOR  
AMENDMENT SITE PLAN  
LOCATED IN A PORTION OF THE NE 1/4 OF THE SE 1/4 OF THE SW 1/4 OF  
SECTION 3, T.2N, R.4E  
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA



LOT 1A - LEGAL DESCRIPTION

THAT PORTION OF LOT 1, OF "MEADOWLARK ACRES", ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 194 OF MAPS, PAGE 11, AND LYING IN THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:  
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THENCE SOUTH 88 DEGREES 35 MINUTES 06 SECONDS WEST, A DISTANCE OF 170.00 FEET TO A POINT ON THE WEST LINE OF SAID LOT 1;  
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THENCE SOUTH 01 DEGREES 00 MINUTES 43 SECONDS EAST, ALONG THE EAST LINE OF SAID LOT 1, A DISTANCE OF 601.96 FEET TO THE POINT OF BEGINNING.

LEGEND

- 1/4 QUARTER
- BRASS CAP FLUSH
- FOUND REBAR AS NOTED
- SET 1/2" REBAR & TAG OR AS NOTED
- CALCULATED POINT
- PROPERTY LINE
- ADJACENT PROPERTY LINE
- EASEMENT LINE
- MONUMENT LINE

ABBREVIATIONS

- BSL BUILDING SETBACK LINE
- C CENTERLINE
- D/W DRIVEWAY
- E EAST
- ESMT EASEMENT
- EX, EXIST. EXISTING
- (M) MEASURED
- MCR MARICOPA COUNTY RECORDER
- N NORTH
- PUE PUBLIC UTILITY EASEMENT
- (R), REC. RECORDED
- R RADIUS
- R/W RIGHT OF WAY
- S SOUTH
- T TANGENT
- W WEST

OWNER

ASCENSION LUTHERAN CHURCH, INC., PARADISE VALLEY, ARIZONA, AN ARIZONA NON-PROFIT CORPORATION  
7100 N MOCKINGBIRD LN.,  
PARADISE VALLEY, AZ 85253

AREAS

LOT 1A: 232,097 S.F. (5.328 AC.)  
FLOOR AREA RATIO: 15,823±/232,097 = 6.82%

ZONING

LOT 1A: SUP-P

SITE DATA

APN: 174-51-033  
ADDRESS: 7100 N MOCKINGBIRD LN.,  
PARADISE VALLEY, AZ 85253  
ZONING: SUP-P  
QS # 23-43  
LOT AREA: 232,097 SF (5.328 AC.)  
TOTAL FLOOR AREA: 15,823± SF  
FLOOR AREA RATIO: 6.82%  
MAX BUILDING HEIGHT: 57 FT  
MAX SPIRE HEIGHT: 100 FT  
TOTAL FOOTPRINT AREA: 11,691 SF  
LOT COVERAGE: 5.04%  
ALLOWED PARKING: 266 SPACES:  
TOTAL NUMBER OF SEATS IN THE SANCTUARY: 800 SEATS  
EXISTING PARKING: 158 SPACES (NORTH)  
EXISTING PARKING: 42 SPACES (SOUTH)  
EXISTING PARKING ACCESSIBLE: 7 SPACES  
TOTAL PARKING PROVIDED: 207 SPACES

BASIS OF BEARINGS

THE EAST LINE OF THE SOUTHWEST QUARTER OF SECTION T2N, R3W, THE BEARING OF WHICH IS N01°00'43"E.

BENCHMARK

BRASS CAP FLUSH MOCKINGBIRD AVE AND INDIAN BEND ROAD HAVING AN ELEVATION OF 1316.44 NAVD 88 DATUM, GDACS# 24524-1.

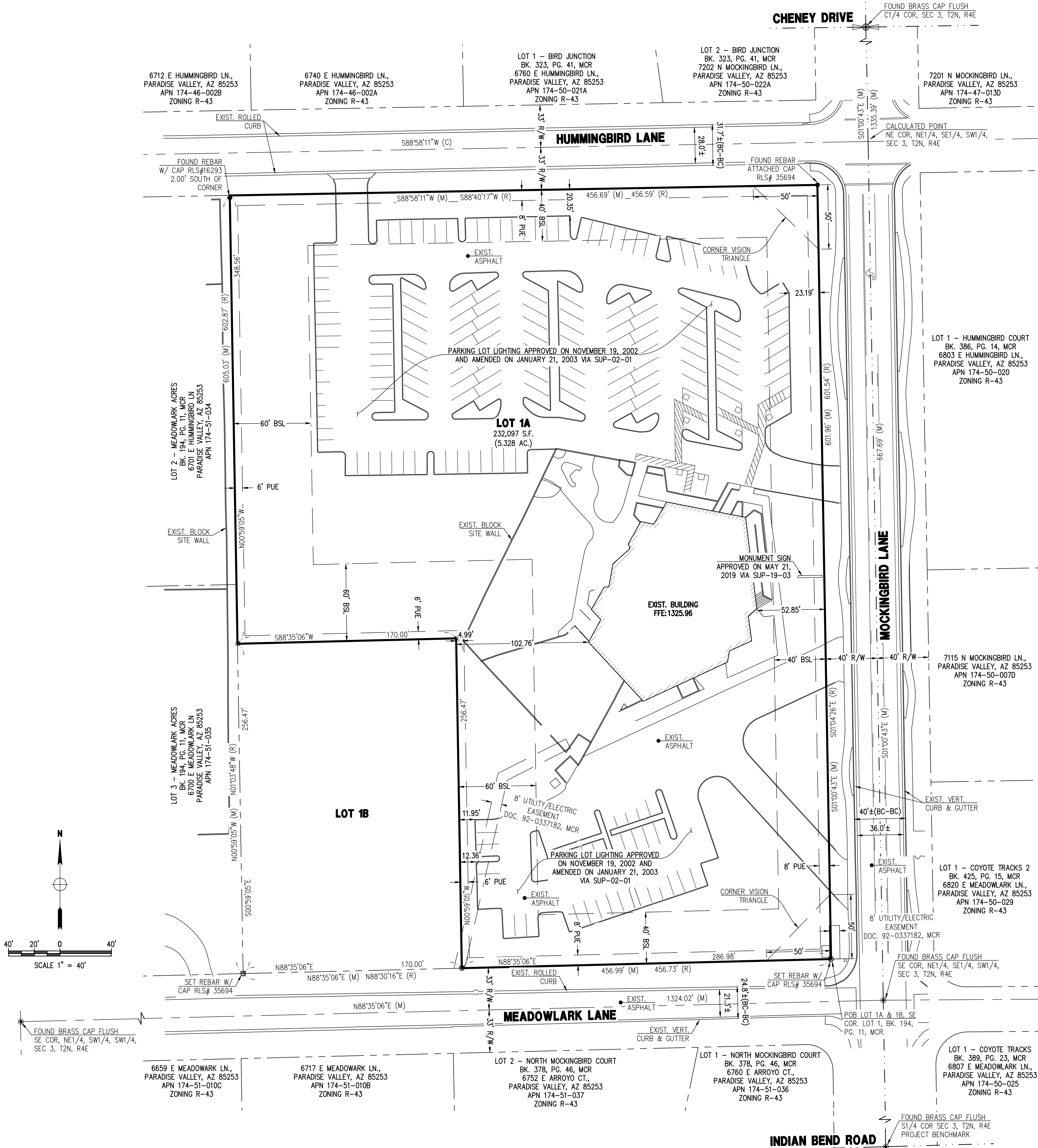
UTILITIES

WATER: CITY OF PHOENIX  
SANITARY SEWER: TOWN OF PARADISE VALLEY  
ELECTRIC: APS  
TELEPHONE: CENTURY LINK, COX COMMUNICATIONS  
NATURAL GAS: SOUTHWEST GAS CORPORATION  
CABLE TV: CENTURY LINK, COX COMMUNICATIONS

FLOOD INSURANCE RATE MAP (FIRM) DATA

COMMUNITY #	PANEL #	SUFFIX	BASE FLOOD ELEVATION
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MAP #	PANEL DATE	FIRM INDEX DATE	ZONE
04013C	10/16/2013	11/04/2015	X*

\*AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

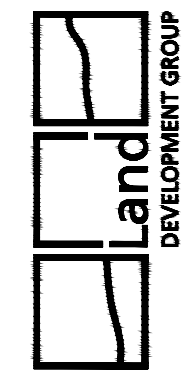


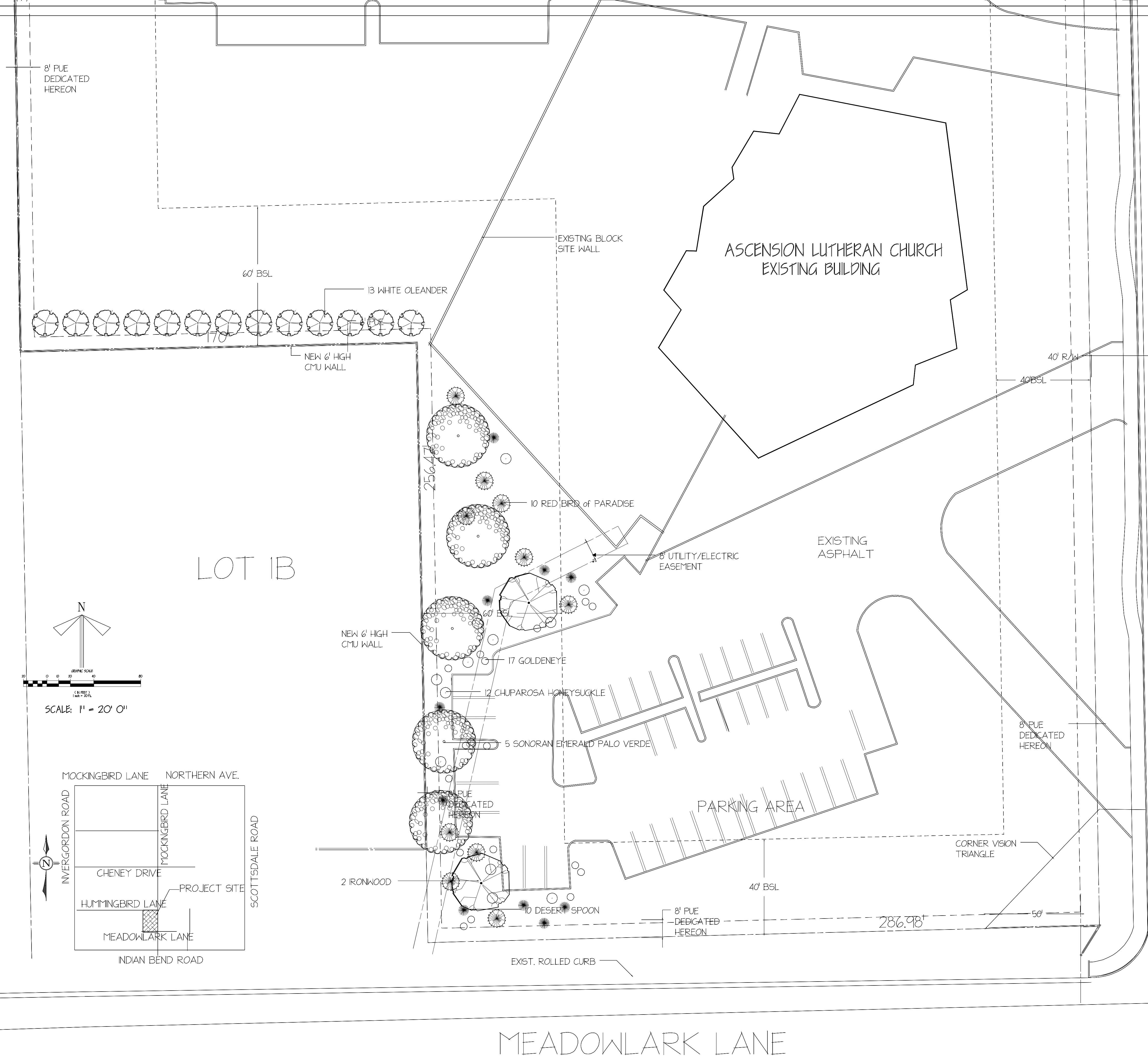
DATE: 01/30/21	DESIGNED BY: NP	CHECKED BY: NP
JOB: 2020041	DRAWN BY: DW	
VERSION: 2.1		
PLOT DATE: 01/30/21		

SPECIAL USE PERMIT  
MINOR AMENDMENT  
SITE PLAN

MEADOWLARK ACRES II  
7100 N MOCKINGBIRD LN.,  
PARADISE VALLEY, AZ 85253

P 602 889 1984 | F 602 445 9482  
8808 N CENTRAL AVE., SUITE 288  
PHOENIX, AZ 85020  
PHOENIXLANDGEN.COM





RECEIVED  
By Paul Michaud at 1:50 pm, Mar 04, 2021

PROJECT NOTES:  
TREE & SHRUB QUANTITIES MEET MINIMUMS AS NOTED IN THE TOWN OF PARADISE GUIDELINES - INCLUDING 20' IRONWOOD TREES AND LOW WATER USE SHRUBS.  
TREES PLANTED AT MINIMUM 30' ON CENTER PLACEMENT AS PER GUIDELINES  
PLANTS SHALL BE BACKFILLED and STAKED IN ACCORDANCE WITH CURRENT INDUSTRY STANDARDS.  
ALL TREES and SHRUBS TO BE IRRIGATED USING FULLY AUTOMATIC UNDERGROUND DRIP IRRIGATION SYSTEM  
ROCK GROUND COVER AS SPECIFIED IN LANDSCAPE GUIDELINES TO BE DESERT COLORED, 3/4" MINIMUM AT 2" DEPTH

Qty	Botanical Name	Common Name	Size/Condition
Trees			
5	Cercidium hybrid	SONORAN EMERALD PALO VERDE	24" box
13	Nerium oleander 'White'	WHITE OLEANDER	15 gallon
2	Olneya tesota	IRONWOOD	24" box
Shrubs			
10	Caesalpinia pulcherrima	RED BIRD of PARADISE	5 gallon
12	Justicia californica	CHUPAROSA HONEYSUCKLE	5 gallon
17	Viguiera deltoidea	GOLDENEYE	1 gallon
Succulents			
10	Dasylinion wheeleri	DESERT SPOON	5 gallon

NOTES

MEADOWLARK ACRES II  
ASCENSION LUTHERAN CHURCH  
7100 N MOCKINGBIRD LANE  
PARADISE VALLEY, ARIZONA 85253

LANDSCAPE PLAN  
PARKING AREA and NEW WALL ADDITION

No.	Date	Description	By
1	3.4.2021	TOWN COMMENTS SCALE REVISED	

SCALE: 1" = 20' 0"

DRAWN BY

CHECKED BY

DATE: 02.06.2021

DATE OF PRINT

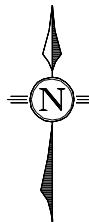
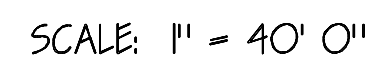
PROJECT NO:  
ALCO22021-4

SHEET NO:  
1

PLANTING PLAN

PROPOSED LANDSCAPE BUFFER  
AREA FOR MAR 16, 2021 COMMISSION  
WORK SESSION





LOT 1A

EXISTING BUILDING

LOT 1B

MEADOWLARK LANE

PROJECT NOTES:

TREE & SHRUB QUANTITIES MEET MINIMUMS AS NOTED IN THE TOWN OF PARADISE GUIDELINES - INCLUDING 20' MINIMUM TREES AND LOW WATER USE SHRUBS.

TREES PLANTED AT MINIMUM 30' ON CENTER PLACEMENT AS PER GUIDELINES

PLANTS SHALL BE BACKFILLED AND STAKED IN ACCORDANCE WITH CURRENT INDUSTRY STANDARDS.

ALL TREES AND SHRUBS TO BE IRRIGATED USING FULLY AUTOMATIC UNDERGROUND DRIP IRRIGATION SYSTEM

ROCK GROUND COVER AS SPECIFIED IN LANDSCAPE GUIDELINES TO BE DESERT COVERED, 3/4" MINIMUM AT 2" DEPTH.

Qty	Botanical Name	Common Name	Size/Condition
<b>Trees</b>			
7	Cercidium hybrid	SONORAN EMERALD PALO VERDE	24" box
3	Olneya tesota	IRONWOOD	24" box
3	Prosopis alba	ARGENTINE MESQUITE	24" box
<b>Shrubs</b>			
10	Caesalpinia pulcherrima	RED BIRD OF PARADISE	5 gallon
12	Justicia californica	CHUPAROSA HONEYSUCKLE	5 gallon
<b>Succulents</b>			
10	Dasyliroton wheeleri	DESERT SPOON	5 gallon

## PROPOSED LANDSCAPE BUFFER AREA FROM FEB 16, 2021 COMMISSION WORK SESSION

NOTES

MEADOWLARK ACRES II  
ASCENSION LUTHERAN CHURCH  
7100 N MOCKINGBIRD LANE  
PARADISE VALLEY, ARIZONA 85253

LANDSCAPE PLAN  
PARKING AREA and NEW WALL ADDITION

No.	Date	scrip
REVISIONS		

SCALE 1" = 40' 0"

DRAWN BY

<p> <input type="checkbox"/> <b>Checked by</b>  <input type="checkbox"/> <b>Reviewed by</b>  <input type="checkbox"/> <b>Approved by</b> </p>	<p> <input type="checkbox"/> <b>Checked by</b>  <input type="checkbox"/> <b>Reviewed by</b>  <input type="checkbox"/> <b>Approved by</b> </p>
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DATE 02.06.2021

PROJECT NO.

ALCO2.2021-4

SHEET NO.

4.

## PLANTING PLAN

couple trees missing  
ground cover missing

# NOTES:

1. Leave all existing river rock in place.
2. Remove all existing shrubs.
3. Trim and prune existing trees.
4. All of the mounds to be 36" high, including plantings.

## LANDSCAPE LEGEND (CONT.) ALL TREES TO MEET OR EXCEED A.N.A. SPECIFICATIONS (U.O.N. - UNLESS OTHERWISE NOTED)

SHRUBS	SIZE
Mexican Bird of Paradise <i>Caesalpinia mexicana</i>	5 Gallon
Green Cassia <i>Cassia nemoralis</i>	5 Gallon
Valentine's Bush <i>Eremophila "valentine"</i>	5 Gallon
Green Cloud Sage <i>Leucophyllum frutescens</i>	5 Gallon
Fairy Duster <i>Calliandra eriophylla</i>	5 Gallon
Red Yucca <i>Hesperaloe parviflora</i>	5 Gallon
Bottlebrush <i>Eriocaulis fasciosa</i>	5 Gallon
Desert Globemallow <i>Sphaeralcea ambigua</i>	5 Gallon
Golden Eye <i>Viguiera multistylis</i>	1 Gallon
Desert Mangold <i>Baileya multiradiata</i>	1 Gallon

## GROUNDCOVERS/ACCENTS

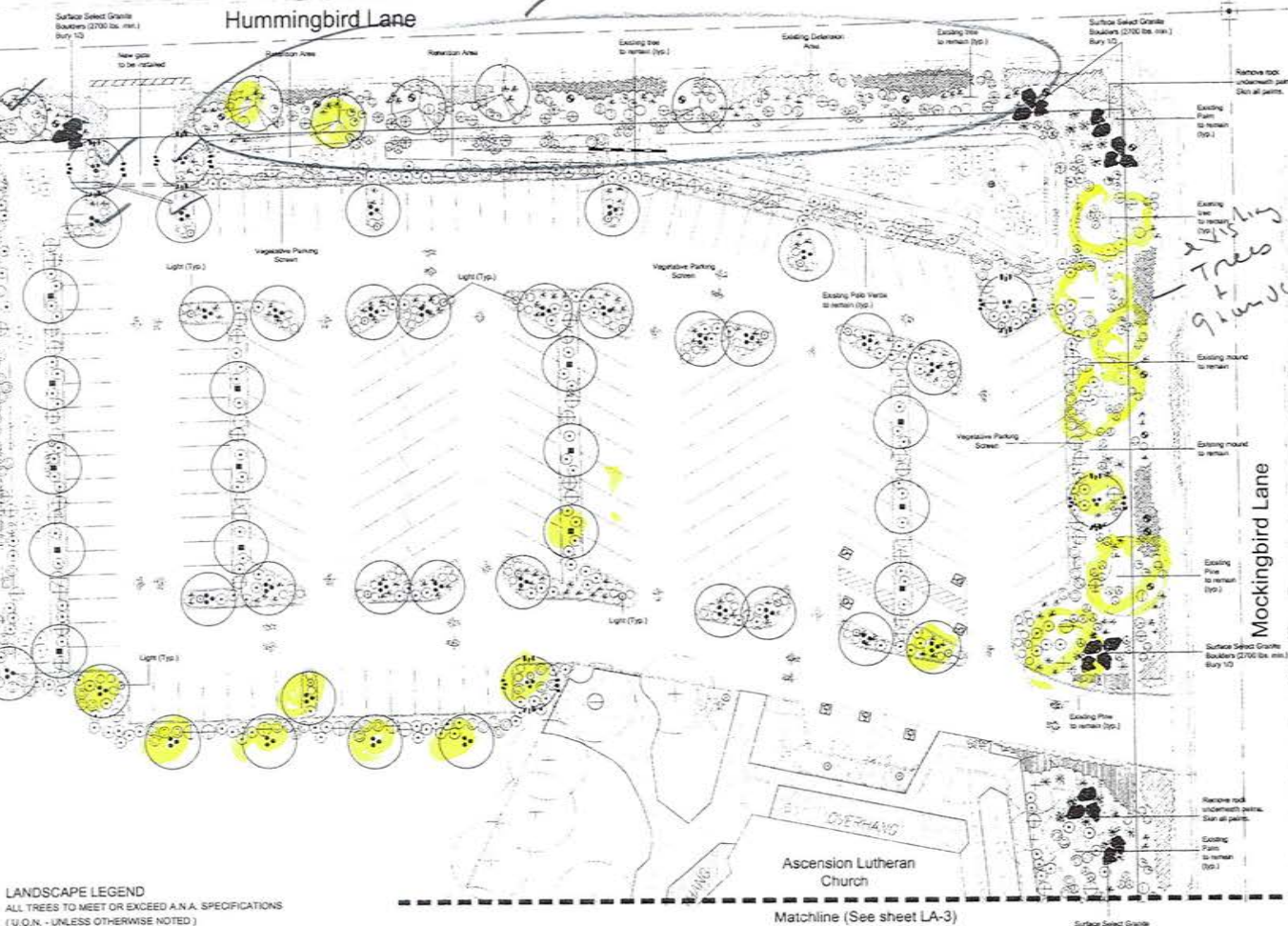
Desert Spoon <i>Dasylirion wheeleri</i>	5 Gallon
Agave sp. <i>Agave murphyi</i>	5 Gallon
Peruvian Verbena <i>Verbena peruviana</i>	1 Gallon 3' o.c.
Mexican Evening Primrose <i>Oenothera biennis</i>	1 Gallon 3' o.c.
Gold Mound Lantana <i>Lantana montevidensis "Gold Mound"</i>	1 Gallon 3' o.c.
Sierra Gold Delos <i>Delos capitata</i>	1 Gallon
Dwarf Trailing Acacia <i>Acacia dealbens "Desert Carpet"</i>	1 Gallon
Fishhook Barrel <i>Ferocactus wislizeni</i>	3' min.
Decomposed Granite 3/4" Minus "Madison Gold" 2" minimum thickness in all landscape areas. (Match existing)	
Surface Select Granite Boulders (2700 lbs. min.) Bury 10"	3'x3'x3' 2700 lbs. min.



Ascension Lutheran Church  
Parking Lot Extension  
7100 N. Mockingbird Lane, Paradise Valley, Arizona  
Landscape Plan

DATE: 05.28.02  
BY: [Signature]  
CHECKED: [Signature]  
SL  
HAL  
1"=20'

LA-2  
2  
6



## LANDSCAPE LEGEND ALL TREES TO MEET OR EXCEED A.N.A. SPECIFICATIONS (U.O.N. - UNLESS OTHERWISE NOTED)

TREES	SIZE	QTY.	TREES	SIZE	QTY.
Desert Museum <i>Cercidium hybrid</i>	24" Box u.o.n.	14	Sweet Acacia <i>Acacia farnesina</i>	36" Box u.o.n.	5
Thornless Honey Mesquite <i>Prosopis grandulosa grandulosa</i>	36" Box u.o.n.	33	Existing Palm to remain		
Ironwood <i>Olneya tesota</i>	36" Box u.o.n.	10	Existing Tree to remain		







## **Meadowlark Dr. (Ascension Lutheran Church Lot Split)**

A public open house was held at Ascension Lutheran Church on Tuesday, March 1, 2021 from 5:30pm – 6:30pm.

The following are the attendees and an explanation of conversation regarding the pending lot split:

**Dolf Strom**

██████ E. Meadowlark Lane  
Paradise Valley, AZ 85253  
████████████████████

We showed Mr. Strom where the property will be split. We discussed some of the landscape changes that will be required to be completed along with the removal of the rock border that runs along Hummingbird Dr. Mr. Strom says he was once on the Planning Commission with the Town of Paradise Valley and thought the landscape requirements seemed excessive.

When asked if he had any specific questions, the answer was no, and he express no concern for the pending lot split.

**Jeannie G. Berg**

██████ E. Catesby Rd.  
Paradise Valley, AZ 85253  
████████████████████

We showed Mrs. Berg where the property will be spit. We discussed more of the impact the Ritz Resort construction had on St. Barnabas Episcopal Church of which she is a member and serves on their Planning Board.

When asked if she had any specific questions, the answer was no, and express no concern with the pending lot split.

# AFFIDAVIT OF MAILING NOTIFICATION

STATE OF ARIZONA )

) ss:

County of Maricopa )

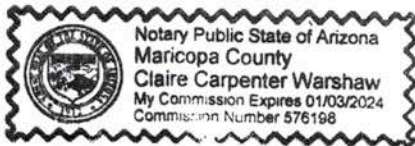
In accordance with the requirements of the Town of Paradise Valley, the undersigned hereby certifies that the mailing list for the proposed project is a complete list of property owners within 1,500 feet of the subject property, as obtained from the Maricopa County Assessor's Office on the following date Feb. 1, 2021, and such notification has been mailed on the following date Feb. 17, 2021.

M. H. Pugh  
Signature

The foregoing instrument was acknowledged by me this 17<sup>TH</sup> day of FEBRUARY, 2021, by Claire Carpenter Warsaw.

Name

CLAIRE CARPENTER WARSHAW



NOTARY PUBLIC

My commission expires:

01/03/2024



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Paul Michaud  
Planning Manager  
Town of Paradise Valley  
6401 E. Lincoln Drive  
Paradise Valley, AZ 85253

**NOTIFICATION OF**                    **(1) NEIGHBORHOOD MEETING**  
   **(2) PLANNING COMMISSION HEARING/MEETING**

Dear Resident:

This letter is being sent to advise you of several upcoming meetings in connection with several applications to create a single-family minimum one-net acre residential lot from the Ascension Lutheran Church property located at 7100 N Mockingbird Lane. This proposed residential lot is located at the southwest portion of the existing church site along Meadowlark Lane. Mailing notification is being sent to property owners within 1,500 feet of the church. Additional mailing notice(s) will be sent later once these applications move onto Town Council. There is a great deal of information in this letter, so please read the letter in its entirety.

If you have any questions about this request, please contact Paul Michaud with the Town of Paradise Valley Community Development Department at 480-348-3574 or [pmichaud@paradisevalleyaz.gov](mailto:pmichaud@paradisevalleyaz.gov) and/or contact the church representative Thomas Mueller at 480-948-6050 or [ascensionoffice@aol.com](mailto:ascensionoffice@aol.com).

Sincerely,  
**Paul Michaud**  
Planning Manager



## **(1) NEIGHBORHOOD MEETING**

The church will be hosting a neighborhood informational meeting (Citizen Review Session) regarding four applications to create a 1.0-net acre R-43 single-family residential lot at the southwest portion of the 6.3-net acre church property along Mockingbird Lane. This neighborhood informational meeting is in accordance with Section 2.5.2.F of the Town Code.

These applications include a Minor General Plan Amendment from “Public/Quasi Public” to “Low Density Residential” designation for the 1.0-net acre area (GPA-20-01), a rezoning from “Special Use Permit - Religious Facility” to “R-43 Single-Family Residential District” for the 1.0-net acre area (MI-20-03), a Minor Special Use Permit to allow for the reduction of the church property zoned “Special Use Permit - Religious Facility” (SUP-20-07), and a non-administrative lot modification to plat the single-family lot (RP-20-01).

**This neighborhood informational meeting will be on-site on Monday, March 1, 2021 from 5:30 p.m. to 6:30 p.m. at the Ascension Lutheran Church** located at 7100 N Mockingbird Lane, Paradise Valley, Arizona 85253. You are invited to attend to learn about the application and make your opinion known. Parking will be available in the church parking lot. If you plan to attend in person, please let us know ahead of time so that we can maintain social distancing protocols.

In consideration of those who may not want to attend in person due to the COVID-19 pandemic or to provide us comments or questions, please contact Mark Ficklin at (480) 751-7377 or [jamofmaui@gmail.com](mailto:jamofmaui@gmail.com).

## **(2) PLANNING COMMISSION HEARING/MEETING**

Notice is hereby given that the **Town of Paradise Valley Planning Commission will hold a public hearing/meeting at 6:00 p.m. on Tuesday, April 6, 2021**, at Town Hall, 6401 East Lincoln Drive, Paradise Valley, Arizona, 85253 for:

PUBLIC HEARING/MEETING: Ascension Lutheran Church, Inc., an Arizona Corporation, located at 7100 N Mockingbird Lane (Parcel No. 174-51-033) is requesting approval of several applications to establish a 1.0-net acre R-43 single-family residential lot at the southwest portion of the 6.3-net acre church property. These applications include a Minor General Plan Amendment from “Public/Quasi Public” to “Low Density Residential” designation for the 1.0-net acre area (GPA-20-01), a rezoning from “Special Use Permit - Religious Facility” to “R-43 Single-Family Residential District” for the 1.0-net acre area (MI-20-03), a Minor Special Use Permit to allow for the reduction of the church property zoned “Special Use Permit - Religious Facility” (SUP-20-07), and a non-administrative lot modification to plat the single-family lot (RP-20-01).

### **THIS MEETING MAY BE HELD BY REMOTE PARTICIPATION ONLY**

#### **PUBLIC PARTICIPATION IN THE MEETING:**

Members of the public are encouraged to participate in the meeting via the following options:

1. View the live stream at <https://paradisevalleyaz.legistar.com/Calendar.aspx>
  - (a) Click on Calendar Tab
  - (b) Look for Planning Commission meeting (you may have to select it from the dropdown list) and find the meeting date
  - (c) Click the “In Progress” link in the column titled Video
2. Zoom Conference
  - (a) Computer: <https://zoom.us/j/6678902153>
  - (b) Telephone: 1 669 900 6833 Meeting ID 667 890 2153
3. Submitting questions and comments:
  - (a) Visit <https://paradisevalleyaz.legistar.com/Calendar.aspx>, search for the meeting date, and click “eComment”. Locate the agenda item you are interested in and click “Comment” (Please submit comments at least 1 hour prior to meeting)
  - (b) Email [pmichaud@paradisevalleyaz.gov](mailto:pmichaud@paradisevalleyaz.gov) (Please submit comments at least 1 hour prior to meeting)
4. Speaking during Call to the Public / Public Meetings
  - (a) Visit <https://paradisevalleyaz.legistar.com/Calendar.aspx>, search for the meeting date, and click “eComment”. Locate the agenda item and click “Register to Speak”. Join the meeting by dialing 1 669 900 6833 Meeting ID 667 890 2153
  - (b) If attending by Zoom Video Conference, click the chat button and enter your name and the agenda item you would like to address

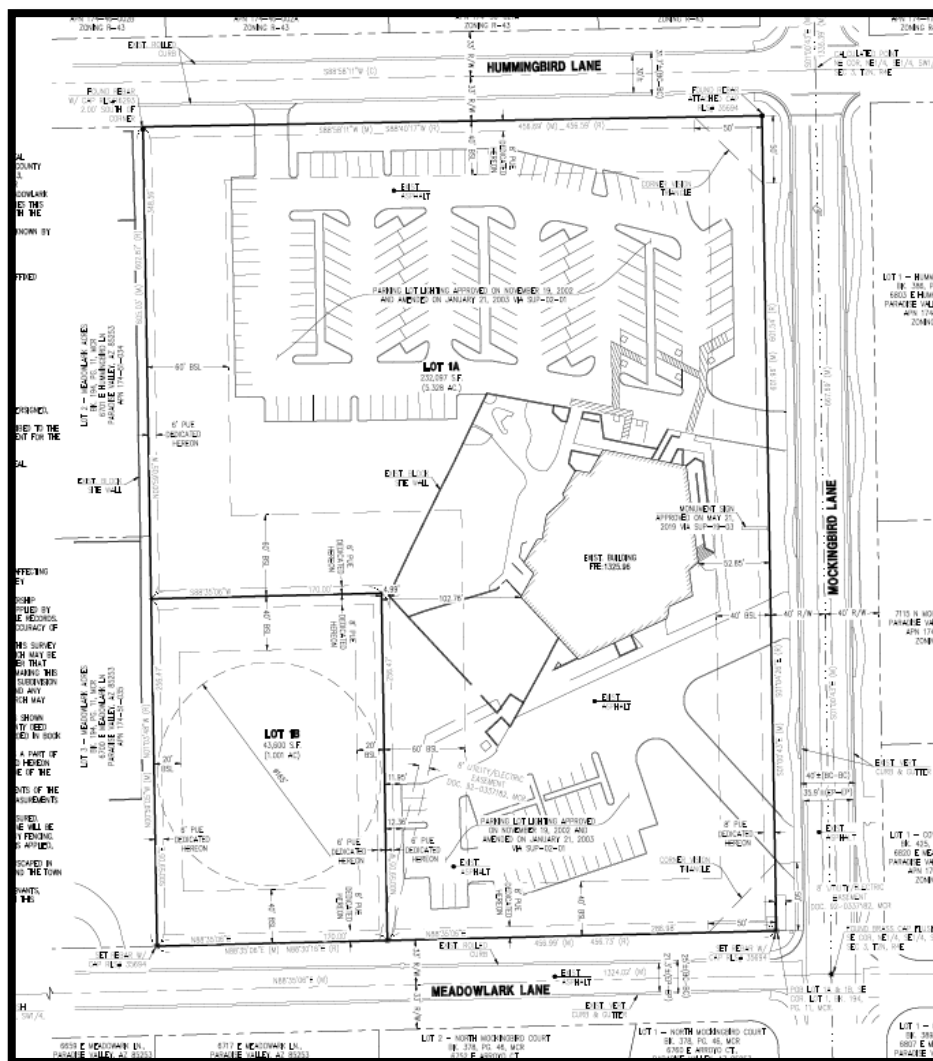
(These meeting participation guidelines are pursuant to Town Council Resolution 2020-08 adopted March 17, 2020.)

Notice is hereby given pursuant to A.R.S. §38-431.02. that members of the Planning Commission will attend by audio/video conference call.

The Town of Paradise Valley endeavors to make all public meetings accessible to persons with disabilities. With 72 hours advance notice, special assistance can be provided for disabled persons at public meetings. Please call 480-948-7411 (voice) or 483-1811 (TDD) to request accommodation.

For further information about any of these matters, please contact the Community Development Department, 6401 E. Lincoln Drive, Paradise Valley, Arizona, 480-348-3692.

All agendas are subject to change. You can view the agenda, find application material, and provide your input via eComment approximately 4-6 days prior to the meeting date at <https://paradisevalleyaz.legistar.com/Calendar.aspx>. You may also contact the staff liaison, Paul Michaud on this application at [pmichaud@paradisevalleyaz.gov](mailto:pmichaud@paradisevalleyaz.gov) or 480-348-3574 at any time before the scheduled meeting date.





## **NOTICE OF PUBLIC HEARING TOWN OF PARADISE VALLEY**

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If you have questions about this application, please call the Community Development Department at (480) 348-3692.

### **THIS MEETING MAY BE HELD BY REMOTE PARTICIPATION**

Please check the meeting agenda at <https://paradisevalleyaz.legistar.com/Calendar.aspx> to determine if the Planning Commission meeting will be held by remote participation. If held by remote participation, members of the public are encouraged to participate in the meeting via the following options:

1. View the live stream at <https://paradisevalleyaz.legistar.com/Calendar.aspx> (a) Click on Calendar Tab (b) Look for Planning Commission meeting (you may have to select it from the dropdown list) and find the meeting date (c) Click the "In Progress" link in the column titled Video
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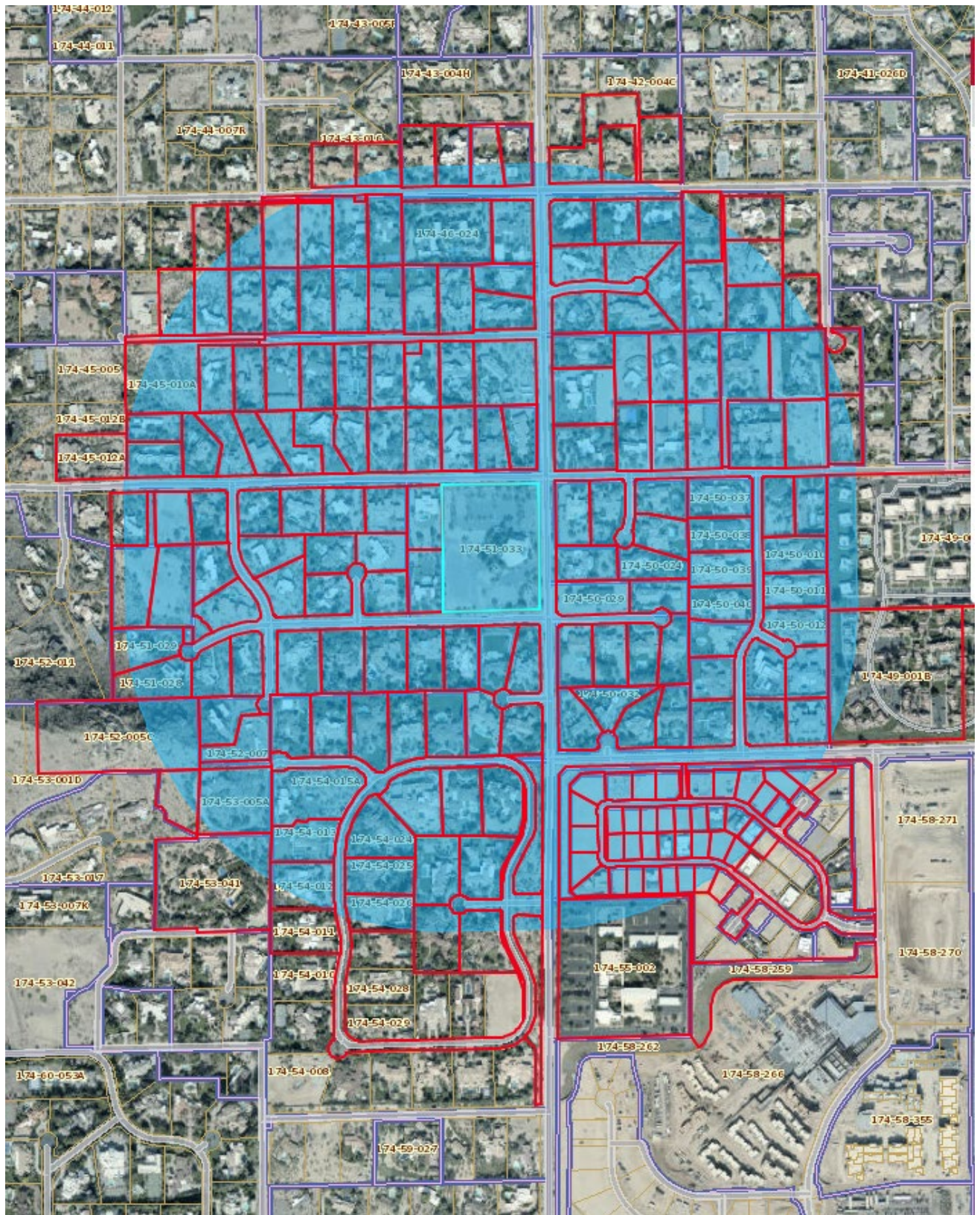
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	Parcel Number	Owner	Property Address
1	174-42-002D	DEBARROS PROPERTIES LLC	6838 E CHENEY DR PARADISE VALLEY 85253
2	174-42-002F	KALAMCHI FAMILY TRUST	6830 E CHENEY DR PARADISE VALLEY 85253
3	174-42-002H	COOPER FAMILY TRUST	6850 E CHENEY DR PARADISE VALLEY 85253
4	174-42-002L	MELKA DAVID P/ROSLYN J	6900 E CHENEY DR PARADISE VALLEY 85253
5	174-43-003C	DECEDENTS EXEMPT TRUST	6700 E CHENEY DR PARADISE VALLEY 85253
6	174-43-003D	SINGH MUMICK LIVING TRUST	6712 E CHENEY DR PARADISE VALLEY 85253
7	174-43-019	GARDUNO REVOCABLE TRUST	6636 E CHENEY DR PARADISE VALLEY 85253
8	174-43-020	BEAN JEFFREY W/SKILLMAN SYDNEY TR	6666 E CHENEY DR PARADISE VALLEY 85253
9	174-43-027	LAURO DONNA M TR	6734 E CHENEY DR PARADISE VALLEY 85253
10	174-43-028	ERIC WEINBRENNER LIVING TRUST	7500 N MOCKINGBIRD LN PARADISE VALLEY 85253
11	174-45-002B	BLODGETT FAMILY TRUST	6539 E CHENEY DR PARADISE VALLEY 85253
12	174-45-002C	RICHARD AND MELODY SIMONCIC FAMILY TRUST	6520 E BLUEBIRD LN PARADISE VALLEY 85253
13	174-45-002D	LONG REVOCABLE TRUST	6432 E BLUEBIRD LN PARADISE VALLEY 85253
14	174-45-002E	HAMRA JEFFREY J/SOPHIA TR	6521 E CHENEY DR PARADISE VALLEY 85253
15	174-45-004B	PARADISE VALLEY TOWN OF	6400 E BLUEBIRD LN PARADISE VALLEY 85253
16	174-45-004D	GEORGE LIVING TRUST	6424 E BLUEBIRD LN PARADISE VALLEY 85253
17	174-45-006A	ERICKSON MARTIN C	6512 E HUMMINGBIRD LN PARADISE VALLEY 85253
18	174-45-006B	SKS HOLDINGS INC	6514 E HUMMINGBIRD LN PARADISE VALLEY 85253
19	174-45-007A	VILLAVASO LIVING TRUST	6539 E BLUEBIRD LN PARADISE VALLEY 85253
20	174-45-007B	LANDEIRA RICHARD L	6535 E BLUEBIRD LN PARADISE VALLEY 85253
21	174-45-008B	HALPERN REVOCABLE TRUST	6600 E HUMMINGBIRD LN PARADISE VALLEY 85253
22	174-45-008D	RIPPEY MICHAEL/CHERIE	6536 E HUMMINGBIRD LN PARADISE VALLEY 85253
23	174-45-008E	WELCH TIMOTHY S/CARLEY L TR	6538 E HUMMINGBIRD LN PARADISE VALLEY 85253
24	174-45-010A	MENZIES ROBERT M II/WALTON CHARLOTTE A TR	6515 E BLUEBIRD LN PARADISE VALLEY 85253
25	174-45-012A	OLSON KEVIN/ALEXANDER BONNIE	6430 E HUMMINGBIRD LN PARADISE VALLEY 85253
26	174-46-002A	MCKEE YURI F/YUMI T	6740 E HUMMINGBIRD LN PARADISE VALLEY 85253
27	174-46-002B	TROCKI KRISTOPHER P/STACEY A	6712 E HUMMINGBIRD LN PARADISE VALLEY 85253
28	174-46-003B	TODD MICHAEL/SUE	6701 E BLUEBIRD LN PARADISE VALLEY 85253
29	174-46-003C	SUPERFON CHARLES/SARAH	6719 E BLUEBIRD LN PARADISE VALLEY 85253
30	174-46-004	TODD MICHAEL/SUE	6795 E BLUEBIRD PARADISE VALLEY 85253
31	174-46-005	GARY D FROST AND KRISTINE M MARCHIONDA-FROST FAMILY T	6767 E BLUEBIRD LN PARADISE VALLEY 85253
32	174-46-007A	JBW 29 HOLDINGS LLC	6601 E CHENEY DR PARADISE VALLEY 85253
33	174-46-007B	BACH MARTIN/SHIRLEY TR	6615 E CHENEY DR PARADISE VALLEY 85253
34	174-46-008A	TONOPAH INVESTMENT PROPERTIES LLC	6720 E BLUEBIRD LN PARADISE VALLEY 85253
35	174-46-008B	GASPARI REVOCABLE TRUST OF 2008	6700 E BLUEBIRD LN PARADISE VALLEY 85253
36	174-46-009C	ELLING ROLAND J & KARLA RUTH	6710 E HUMMINGBIRD LN PARADISE VALLEY 85253
37	174-46-009F	IZZO FAMILY TRUST	6700 E HUMMINGBIRD LN PARADISE VALLEY 85253
38	174-46-009H	BECKMAN SHAWN CHRISTOPHER/PATTY	6624 E HUMMINGBIRD LN PARADISE VALLEY 85253
39	174-46-012A	PERKINS DOUGLAS K	6631 E CHENEY DR PARADISE VALLEY 85253
40	174-46-012B	MARSILLO FAMILY REVOCABLE LIVING TRUST	6713 E CHENEY DR PARADISE VALLEY 85253
41	174-46-014B	MCCAULEY HEIDI	6612 E HUMMINGBIRD LN PARADISE VALLEY 85253
42	174-46-015E	ZONGAS MARY E ETAL	6613 E BLUEBIRD LN PARADISE VALLEY 85253
43	174-46-015F	BARNES BENNY B/GEORGIA A TR	6639 E BLUEBIRD LN PARADISE VALLEY 85253
44	174-46-015G	DESERT RETREAT REVOCABLE TRUST	6627 E BLUEBIRD LN PARADISE VALLEY 85253
45	174-46-015H	FIRST AMENDED AND RESTATED SURVIVORS TRUST	6577 E BLUEBIRD LN PARADISE VALLEY 85253
46	174-46-018A	BOND TAWNIA L	6770 E BLUEBIRD LN PARADISE VALLEY 85253
47	174-46-018B	THOMAS JOSEPH W/MARY L	7318 N MOCKINGBIRD LN PARADISE VALLEY 85253
48	174-46-020	PERKINS DOUGLAS K	6631 E CHENEY DR PARADISE VALLEY 85253
49	174-46-021A	WILLIAMS SUZANNE/JOHN	6760 E HUMMINGBIRD LN PARADISE VALLEY 85253
50	174-46-022A	SWENSON CARL GUSTA IV/KATHERINE YVONNE D TR	7202 N MOCKINGBIRD LN PARADISE VALLEY 85253
51	174-46-023	BRADFORD KEVIN B TR	6729 E CHENEY DR PARADISE VALLEY 85253
52	174-46-024	SIMONE VILLA LLC	6721 E CHENEY DR PARADISE VALLEY 85253
53	174-46-025	SCHUBERT FAMILY TRUST	6600 E BLUEBIRD LN PARADISE VALLEY 85253
54	174-46-026	PV 1031 LLC	6618 E BLUEBIRD LN PARADISE VALLEY 85253
55	174-46-027	BERGER MELANY	6626 E BLUEBIRD LN PARADISE VALLEY 85253
56	174-46-028	BICKNELL MARTIN C/VOHLAND CHERYL	6646 E BLUEBIRD LN PARADISE VALLEY 85253
57	174-47-001C	KAISER FRED	
58	174-47-001G	AH TRUST	6920 E HUMMINGBIRD LN PARADISE VALLEY 85253
59	174-47-005B	NORTON JAROD/ANNMARIE	6830 E HUMMINGBIRD LN PARADISE VALLEY 85253
60	174-47-005C	BERTZ STEPHEN	6824 E HUMMINGBIRD LN PARADISE VALLEY 85253
61	174-47-005D	HONACKER HORST/ROSINA	6836 E HUMMINGBIRD LN PARADISE VALLEY 85253
62	174-47-005E	SINGER ROBERT/CYNTHIA MACDONALD	6842 E HUMMINGBIRD LN PARADISE VALLEY 85253
63	174-47-006A	NENAD FAMILY REVOCABLE LIVING TRUST	6901 E CHENEY DR PARADISE VALLEY 85253
64	174-47-007A	CHENEY HOLDINGS LLC	6905 E CHENEY DR PARADISE VALLEY 85253
65	174-47-009	BTSH FAMILY TRUST	6902 E HUMMINGBIRD LN PARADISE VALLEY 85253

66	174-47-010E	FLETCHER LILLIE SUSANNA	7300 N 70TH ST PARADISE VALLEY 85253
67	174-47-012F	KLIBANOFF ALAN/STACY	6929 E CHENEY DR PARADISE VALLEY 85253
68	174-47-012G	LEIGHTON RUDY/DIANE	6927 E CHENEY DR PARADISE VALLEY 85253
69	174-47-012H	JASPER TRUST	6925 E CHENEY DR PARADISE VALLEY 85253
70	174-47-013B	NERM LIVING TRUST	7239 N MOCKINGBIRD LN PARADISE VALLEY 85253
71	174-47-013C	CRAIK DAVID L/VIOLET	7235 N MOCKINGBIRD LN PARADISE VALLEY 85253
72	174-47-013D	FEINBERG JACK H & JUDITH W TR	7201 N MOCKINGBIRD LN PARADISE VALLEY 85253
73	174-47-014	TURNIPSEED BERTHA J	7437 N MOCKINGBIRD LN PARADISE VALLEY 85253
74	174-47-015	MERVIS ADAM J/KROACK LAUREL L	6825 E CHENEY DR PARADISE VALLEY 85253
75	174-47-016	WESTOVER DECEDENTS TRUST	6835 E CHENEY DR PARADISE VALLEY 85253
76	174-47-017	SCHEMBS PAMELA D TR	7321 N MOCKINGBIRD LN PARADISE VALLEY 85253
77	174-47-018	BEUCUS ELIZABETH L TR/ROBERT W	6824 E AVENIDA EL ALBA PARADISE VALLEY 85253
78	174-47-019	KABAT WALTER C	6840 E AVENIDA EL ALBA PARADISE VALLEY 85253
79	174-47-020	EBERLE LEO T/VIVIAN LISA J	6823 E AVENIDA EL ALBA PARADISE VALLEY 85253
80	174-47-021	R AND R MILLER FAMILY TRUST	7301 N MOCKINGBIRD LN PARADISE VALLEY 85253
81	174-47-022	ORRETT JENNIFER/ROSS	6908 E HUMMINGBIRD LN PARADISE VALLEY 85253
82	174-47-025	CAREY ROBERT B/GRETCHEN K	6912 E HUMMINGBIRD LN PARADISE VALLEY 85253
83	174-47-026	GINSBURG HOWARD L	6934 E HUMMINGBIRD LN PARADISE VALLEY 85253
84	174-48-039	NELSON KELLY K	7213 N 70TH ST PARADISE VALLEY 85253
85	174-48-040	WIENER SANDER N/LINDA B	7012 E HUMMINGBIRD LN PARADISE VALLEY 85253
86	174-49-001B	SCOTTSDALE PLAZA RESORT LLC	7200 E INDIAN BEND RD PARADISE VALLEY 85253
87	174-49-002A	SCOTTSDALE PLAZA RESORT LLC	7200 N SCOTTSDALE RD PARADISE VALLEY 85253
88	174-50-007D	GAIDICI FLORIN/ADRIANA T TR	7115 N MOCKINGBIRD LN PARADISE VALLEY 85253
89	174-50-008	JERRY AND THORA BARKER FAMILY TRUST	6923 E HUMMINGBIRD LN PARADISE VALLEY 85253
90	174-50-009	NUCAPITULO LLC	6939 E HUMMINGBIRD LN PARADISE VALLEY 85253
91	174-50-010	STAMPS MICHAEL RAY TR/BEATRIZ GARCIA TR	7115 N 69TH PL PARADISE VALLEY 85253
92	174-50-011	MANGRAM ALICIA J/ESTELIA	7101 N 69TH PL PARADISE VALLEY 85253
93	174-50-012	MICHAEL OTHITES AND JOY OTHITES REV TRUST	7045 N 69TH PL PARADISE VALLEY 85253
94	174-50-013	FERRARO JOSEPH P	7035 N 69TH PL PARADISE VALLEY 85253
95	174-50-014	CLAYTON W COADY LIVING TRUST	6940 E INDIAN BEND RD PARADISE VALLEY 85253
96	174-50-015	GLORIA STAKEMILLER LIVING TRUST	6924 E INDIAN BEND RD PARADISE VALLEY 85253
97	174-50-016	SOUL INVESTMENT PROPERTIES II LLC	7019 N 69TH PL PARADISE VALLEY 85253
98	174-50-018	DAVIS RICHARD K/THERESA A	7018 N 69TH PL PARADISE VALLEY 85253
99	174-50-019	CANAD MANOR AZ INC	7008 N 69TH PL PARADISE VALLEY 85253
100	174-50-020	TAYLOR BRUCE E/ROSEMARY E TR	6803 E HUMMINGBIRD LN PARADISE VALLEY 85253
101	174-50-021	EAST HUMMINGBIRD LLC	6819 E HUMMINGBIRD LN PARADISE VALLEY 85253
102	174-50-022	STANTON GERALD E	7181 N 68TH PL PARADISE VALLEY 85253
103	174-50-023	LOVEJOY JEREMY O/COX-LOVEJOY SABRINA L TR	7123 N 68TH PL PARADISE VALLEY 85253
104	174-50-024	BAIN FAMILY TRUST	7117 N 68TH PL PARADISE VALLEY 85253
105	174-50-025	KRISHNA SUNITA A	6807 E MEADOWLARK LN PARADISE VALLEY 85253
106	174-50-026	FORSTER KARL D/ SALLY A TR	6835 E MEADOWLARK LN PARADISE VALLEY 85253
107	174-50-027	MITCHELL GARY/CONNIE	6853 E MEADOWLARK LN PARADISE VALLEY 85253
108	174-50-028	HARDY DAVID/ERIN	6867 E MEADOWLARK LN PARADISE VALLEY 85253
109	174-50-029	STONER ALAN B/CINDY M	6820 E MEADOWLARK LN PARADISE VALLEY 85253
110	174-50-030	ARSANJANI REZA/KILIAN CAROLINE	6848 E MEADOWLARK LN PARADISE VALLEY 85253
111	174-50-031	THURMAN FAMILY LIVING TRUST	7002 N 68TH PL PARADISE VALLEY 85253
112	174-50-032	CARTER INVESTMENTS PARTNERSHIP USA	7008 N 68TH PL PARADISE VALLEY 85253
113	174-50-033	MAKKAR AKASH/MEENAKSHI	7005 N 68TH PL PARADISE VALLEY 85253
114	174-50-034	KOUROUGLOS MINAS J/MELIKA	6814 E INDIAN BEND RD PARADISE VALLEY 85253
115	174-50-036	HOLWAY RICHARD V/ROBIN J	7036 N 69TH PL PARADISE VALLEY 85253
116	174-50-037	KOZLOV ALEKSEY/KOZLOVA IRINA	7170 N 69TH PL PARADISE VALLEY 85253
117	174-50-038	DE LA ROSA ANTONIO/NICOLE TR	7130 N 69TH PL PARADISE VALLEY 85253
118	174-50-039	SANDRA BRUINSMA FAMILY TRUST 2017	7100 N 69TH PL PARADISE VALLEY 85253
119	174-50-040	APORIA LLC	7050 N 69TH PL PARADISE VALLEY 85253
120	174-51-002A	BIGGS CHRISTOPHER A/IRENE W	6641 E MEADOWLARK LN PARADISE VALLEY 85253
121	174-51-002B	PAQUELET CHARLES A/KELLY RAE	6629 E MEADOWLARK LN PARADISE VALLEY 85253
122	174-51-002C	MLPVAZ LLC	6601 E MEADOWLARK LN PARADISE VALLEY 85253
123	174-51-010B	MILLER JAMIR M	6717 E MEADOWLARK LN PARADISE VALLEY 85253
124	174-51-010C	AMAZING BLUE TRUST I	6659 E MEADOWLARK LN PARADISE VALLEY 85253
125	174-51-013	JOHNSON STEPHEN L/DONNA LISLE	6511 E HUMMINGBIRD LN PARADISE VALLEY 85253
126	174-51-014A	MNF INVESTMENTS LLC	
127	174-51-015	SCHERER JOHN W	6543 E HUMMINGBIRD LN PARADISE VALLEY 85253
128	174-51-016	SCHUST RICHARD D/CHRISTY L TR	6601 E HUMMINGBIRD LN PARADISE VALLEY 85253
129	174-51-017	JIB FAMILY TRUST	6627 E HUMMINGBIRD LN PARADISE VALLEY 85253
130	174-51-018	YOUNGJOHN JAMES R JR TR	6655 E HUMMINGBIRD LN PARADISE VALLEY 85253
131	174-51-019	AMBRAD REVOCABLE TRUST	6665 E HUMMINGBIRD LN PARADISE VALLEY 85253

132	174-51-020	ELTANAL MARLYN S TR	7127 N 66TH PL PARADISE VALLEY 85253
133	174-51-021	MEADOWLARK LANE REVOCABLE TRUST	6650 E MEADOWLARK LN PARADISE VALLEY 85253
134	174-51-022	PATEL VIRENDA B TR/VINTA HEMANT TR	6610 E MEADOWLARK LN PARADISE VALLEY 85253
135	174-51-023	\TODD R AND CHRISTIE A PETERS REVOCABLE TRUST	7126 N 66TH PL PARADISE VALLEY 85253
136	174-51-024	DAVID J OWENS REVOCABLE LIVING TRUST	7127 N 66TH ST PARADISE VALLEY 85253
137	174-51-025	DALONZO ROSEMARIE	6600 E MEADOWLARK LN PARADISE VALLEY 85253
138	174-51-026	RUHT KURT D/BARBARA RITCHIE	6563 E MEADOWLARK LN PARADISE VALLEY 85253
139	174-51-027	STROM FAMILY TRUST	6543 E MEADOWLARK LN PARADISE VALLEY 85253
140	174-51-028	BENNETT MATTHEW ELJE	6515 E MEADOWLARK LN PARADISE VALLEY 85253
141	174-51-029	ROSEN LAWRENCE J/SANDRA H	6516 E MEADOWLARK LN PARADISE VALLEY 85253
142	174-51-030D	ZUCKER FAMILY TRUST	6544 E MEADOWLARK LN PARADISE VALLEY 85253
143	174-51-031	ROBBINS JESSE M/JEAN M TR	7126 N 66TH ST PARADISE VALLEY 85253
144	174-51-033	ASCENSION LUTHERAN CHURCH INC, P V AZ	7100 N MOCKINGBIRD LN PARADISE VALLEY 85253
145	174-51-034	KIREI NIWA TRUST/SABRINA DAIZA TRUST	6701 E HUMMINGBIRD LN PARADISE VALLEY 85253
146	174-51-035	ELLINGON FAMILY TRUST/COWARD FAMILY TRUST	6700 E MEADOWLARK LN PARADISE VALLEY 85253
147	174-51-036	LAUB JON I TR/LAUB SHERYL TR	6760 E ARROYO CT PARADISE VALLEY 85253
148	174-51-037	ZOWINE DAVID T TR	6752 E ARROYO CT PARADISE VALLEY 85253
149	174-51-038	VERDOORN JAMES L/STEPHANIE	6743 E ARROYO CT PARADISE VALLEY 85253
150	174-51-039	BLOOM DONALD G/ROSEANN G	6767 E ARROYO CT PARADISE VALLEY 85253
151	174-52-002G	HUMMINGBIRD AZ LLC	6519 E HUMMINGBIRD LN PARADISE VALLEY 85253
152	174-52-002H	HUMMINGBIRD AZ LLC	6528 E MEADOWLARK LN PARADISE VALLEY 85253
153	174-52-005C	RICCI KENNETH C/PAMELA J	7011 N INVERGORDON RD PARADISE VALLEY 85253
154	174-52-006	PHOENIX CITY OF	6530 E MEADOWLARK LN PARADISE VALLEY 85253
155	174-52-007	COMSTOCK MELVIN B/AMANDA C TR	6544 E INDIAN BEND RD PARADISE VALLEY 85253
156	174-52-008	FARAJI MICHAEL	7026 N 66TH ST PARADISE VALLEY 85253
157	174-53-001F	PRIMROSE VALLEY PROPERTIES LLC	6543 E INDIAN BEND RD PARADISE VALLEY 85253
158	174-53-005A	PRIMROSE VALLEY PROPERTIES LLC	6543 E INDIAN BEND RD PARADISE VALLEY 85253
159	174-53-041	PRIMROSE VALLEY PROPERTIES LLC	6600 E CACTUS WREN PL PARADISE VALLEY 85253
160	174-54-011	LLV MANAGEMENT LLC	6638 N 66TH PL PARADISE VALLEY 85253
161	174-54-012	MCCAFFERTY LIVING TRUST	6646 N 66TH PL PARADISE VALLEY 85253
162	174-54-013	PARASHER FAMILY TRUST	6650 N 66TH PL PARADISE VALLEY 85253
163	174-54-015A	WICK BARBARA TR	6601 E INDIAN BEND RD PARADISE VALLEY 85253
164	174-54-016	PV1 IB LLC	6602 E INDIAN BEND RD PARADISE VALLEY 85253
165	174-54-017	MH RESIDENTIAL PROPERTIES LLC	6644 E INDIAN BEND RD PARADISE VALLEY 85253
166	174-54-018	SCHLITT JOHN K/JENNIFER L	6658 E INDIAN BEND RD PARADISE VALLEY 85253
167	174-54-019	GREGORY MICHAEL W/THERESA A	6670 E INDIAN BEND RD PARADISE VALLEY 85253
168	174-54-020	WILLIAM B EDSON AND SHARON L EDSON FAMILY TRUST	6682 E INDIAN BEND RD PARADISE VALLEY 85253
169	174-54-021	GREEN ROBERT S/JILL S	6695 E INDIAN BEND RD PARADISE VALLEY 85253
170	174-54-022	WINN GREGORY M/RADCLIFF MARY M TR	6677 E INDIAN BEND RD PARADISE VALLEY 85253
171	174-54-023	BARKDULL DOUGLAS W/JULIETTE IRAKLEV	6659 E INDIAN BEND RD PARADISE VALLEY 85253
172	174-54-024	4606MO LLC	6655 N 66TH PL PARADISE VALLEY 85253
173	174-54-025	WILLIAM G PETTY JR TRUST	6643 N 66TH PL PARADISE VALLEY 85253
174	174-54-026	FEUER FAMILY TRUST	6639 N 66TH PL PARADISE VALLEY 85253
175	174-54-033	MCGRATH JOHN D JR/KRISTAL D	6683 E JUDSON RD PARADISE VALLEY 85253
176	174-54-034	6671 JUDSON LLC	6671 E JUDSON RD PARADISE VALLEY 85253
177	174-54-035	LENTINO LESLIE F TR/MICHELIN A TR	6674 E JUDSON RD PARADISE VALLEY 85253
178	174-54-036	GROENDYKE JOHN D/VIRGINIA G	6688 E JUDSON RD PARADISE VALLEY 85253
179	174-54-037	JUDSON COMMUNITY ASSOCIATION	6700 E JUDSON RD PARADISE VALLEY 85253
180	174-54-038	JUDSON COMMUNITY ASSOCIATION	
181	174-54-039	JUDSON COMMUNITY ASSOCIATION	
182	174-54-040	JUDSON COMMUNITY ASSOCIATION	
183	174-54-041	JUDSON COMMUNITY ASSOCIATION	
184	174-55-002	ST BARNABAS OF THE DESERT	6715 N MOCKINGBIRD LN PARADISE VALLEY 85253
185	174-58-187	TENN FAMILY TRUST	6917 E CACTUS WREN RD PARADISE VALLEY 85253
186	174-58-188	SHEA HOMES LTD PARTNERSHIP	6905 E CACTUS WREN RD PARADISE VALLEY 85253
187	174-58-189	YOROKOBI LLC	6893 E CACTUS WREN RD PARADISE VALLEY 85253
188	174-58-190	SHEA HOMES LTD PARTNERSHIP	6881 E CACTUS WREN RD PARADISE VALLEY 85253
189	174-58-191	DICKSON NANCY W	6869 E CACTUS WREN RD PARADISE VALLEY 85253
190	174-58-192	SHEA HOMES LTD PARTNERSHIP	6857 E CACTUS WREN RD PARADISE VALLEY 85253
191	174-58-193	SHUKUFUKU LLC	6845 E CACTUS WREN RD PARADISE VALLEY 85253
192	174-58-199	SMITH REVOCABLE LIVING TRUST	6826 E JOSHUA TREE LN PARADISE VALLEY 85253
193	174-58-200	SAM MARCHESE TRUST	6838 E JOSHUA TREE LN PARADISE VALLEY 85253
194	174-58-201	SHEA HOMES LTD PARTNERSHIP	6850 E JOSHUA TREE LN PARADISE VALLEY 85253
195	174-58-202	MEGUMI LLC	6862 E JOSHUA TREE LN PARADISE VALLEY 85253
196	174-58-203	JIHI LLC	6874 E JOSHUA TREE LN PARADISE VALLEY 85253
197	174-58-204	WEISEL JOHN T/JOSEPHINE ANN C	6886 E JOSHUA TREE LN PARADISE VALLEY 85253



198	174-58-205	SHEA HOMES LTD PARTNERSHIP	6898 E JOSHUA TREE LN PARADISE VALLEY 85253
199	174-58-207	SHEA HOMES LTD PARTNERSHIP	6914 N JOSHUA TREE CT PARADISE VALLEY 85253
200	174-58-208	SHEA HOMES LTD PARTNERSHIP	6920 N JOSHUA TREE CT PARADISE VALLEY 85253
201	174-58-222	GREGG AND DAPHNE WARREN 2015 FAMILY TRUST	6914 E CACTUS WREN RD PARADISE VALLEY 85253
202	174-58-223	SHEA HOMES LTD PARTNERSHIP	6908 E CACTUS WREN RD PARADISE VALLEY 85253
203	174-58-224	SHEA HOMES LTD PARTNERSHIP	6902 E CACTUS WREN RD PARADISE VALLEY 85253
204	174-58-225	VICORI REVOCABLE TRUST	6890 E CACTUS WREN RD PARADISE VALLEY 85253
205	174-58-226	ROBERT J AMMAN AND MARINA R AMMAN FAMILY TRUST	6878 E CACTUS WREN RD PARADISE VALLEY 85253
206	174-58-227	SB TRUST	6866 E CACTUS WREN RD PARADISE VALLEY 85253
207	174-58-228	SHEA HOMES LTD PARTNERSHIP	6854 E CACTUS WREN RD PARADISE VALLEY 85253
208	174-58-229	DENISE R BOYLE TRUST	6842 E CACTUS WREN RD PARADISE VALLEY 85253
209	174-58-230	WINCHELSEA LLC	6823 E JOSHUA TREE LN PARADISE VALLEY 85253
210	174-58-231	JB ARIZONA LLC	6829 E JOSHUA TREE LN PARADISE VALLEY 85253
211	174-58-232	ROBERT M TAXIN LIVING TRUST	6835 E JOSHUA TREE LN PARADISE VALLEY 85253
212	174-58-233	SHEA HOMES LTD PARTNERSHIP	6847 E JOSHUA TREE LN PARADISE VALLEY 85253
213	174-58-234	VIKKI L RASKIN REVOCABLE TRUST	6851 E JOSHUA TREE LN PARADISE VALLEY 85253
214	174-58-235	BERTRAM BRIAN D/PAIGE K	6863 E JOSHUA TREE LN PARADISE VALLEY 85253
215	174-58-236	YOURTZ GARY L/TERESA A	6875 E JOSHUA TREE LN PARADISE VALLEY 85253
216	174-58-237	DALTON FAMILY TRUST	6883 E JOSHUA TREE LN PARADISE VALLEY 85253
217	174-58-238	LEROY PIERRE E	6901 E JOSHUA TREE LN PARADISE VALLEY 85253
218	174-58-239	SHEA HOMES LTD PARTNERSHIP	6919 E JOSHUA TREE LN PARADISE VALLEY 85253
219	174-58-249	7000 EAST LINCOLN RESORT COMMUNITY PARCEL B RESIDENTIAL	
220	174-58-250	7000 EAST LINCOLN RESORT COMMUNITY PARCEL B RESIDENTIAL	
221	174-58-251	7000 EAST LINCOLN RESORT COMMUNITY PARCEL B RESIDENTIAL	
222	174-58-255	7000 EAST LINCOLN RESORT COMMUNITY PARCEL B RESIDENTIAL	
223	174-58-259	FIVE STAR LAND OWNER LLC	
224	174-58-261	FIVE STAR LAND OWNER LLC	
225	174-58-358	PHILIPOVITCH FAMILY TRUST	6910 E JOSHUA TREE LN PARADISE VALLEY 85253
226	174-58-451	EILEEN ELLENS LIVING TRUST	6833 E CACTUS WREN RD PARADISE VALLEY 85253
227	174-58-452	KAZOKU HOLDINGS LLC	6821 E CACTUS WREN RD PARADISE VALLEY 85253
228	174-58-453	MARY SHEILA SMITH TRUST	6809 E CACTUS WREN RD PARADISE VALLEY 85253
229	174-58-454	BAIRD HAL C/BEVERLY	6802 E JOSHUA TREE LN PARADISE VALLEY 85253
230	174-58-455	FLAMINGO REVOCABLE TRUST	6814 E JOSHUA TREE LN PARADISE VALLEY 85253
231	174-58-456	7000 EAST LINCOLN RESORT COMMUNITY PARCEL B RESIDENTIAL	

Minor General Plan Amendment (GPA-20-01)

*Approval of an amendment to the Town of Paradise Valley General Plan from “Public/Quasi Public” to “Low Density Residential” for the 1.0-net acre property.*

No stipulations, effective date is the same as Rezoning (MI-20-03)

Rezoning (MI-20-03)

*Approval a rezoning from “Special Use Permit - Religious Facility” to “R-43 Single-Family Residential District” for the 1.0-net acre area; subject to the following stipulations:*

1. This rezoning shall apply to the property as described on the land legally described as that portion of the Southwest quarter of Section 3, Township 2 North, Range 4 East of the Gila and Salt River Base and Meridian, Maricopa County; Arizona, more particularly described on Exhibit "A," attached hereto (the "Property") from “Special Use Permit - Religious Facility” to “R-43 Single-Family Residential District”.
2. The Minor General Plan Amendment from “Public/Quasi Public” to “Low Density Residential” designation for the 1.0-net acre area (GPA-20-01), Minor Special Use Permit to allow for the reduction of the church property zoned “Special Use Permit - Religious Facility” (SUP-20-07), and the Non-Administrative Lot Modification to plat the single-family lot (RP-20-01) shall also be approved by the Town.
3. Development of the Property shall comply with all applicable Federal, State of Arizona, and Town Ordinances, including the Zoning Ordinance and obtaining necessary building permits, as such requirements may be amended, for this R-43 Single-Family District property.
4. The property owner and Town shall sign and record a Waiver of Rights and Remedies agreement under A.R.S. § 12-1134 (Proposition 207 Waiver) in the form provided by the Town Attorney within 10 calendar days of the effective date of this ordinance.

*Approval of the reduction of area zoned "Special Use Permit- Religious Facilities, Private Schools, Non-Profit Organizations, and Public/Quasi Public Structures," specifically for religious purposes and such other uses as are reasonably related to the functions of the church for the Property from 6.3-net acres to 5.3-net acres; subject to the following stipulations:*

1. All improvements shall be in substantial compliance with the following:
  - a) The application and narrative received on December 8, 2020;
  - b) The ALTA/NSPS Land Title Survey prepared by Land Development Group, date sealed by James B. Flack on March 15, 2020;
  - c) Special Use Permit Amendment Site Plan prepared by Land Development Group, date sealed by Nickola J. Prodanov on January 30, 2021;
  - d) Preliminary Grading & Drainage Plan for Lot 1A, Sheet C-1 for Lot 1A prepared by Land Development Group, date sealed by Nickola J. Prodanov on January 30, 2021; and
  - e) The Planting Plan for the 40-foot wide buffer area on the church property adjoining the north and east side of Lot 1B as shown on Meadowlark Acres II, Sheet L.1, prepared by DynaSCAPE, dated February 6, 2021 and received by the Town dated March 3, 2021. Walls along the church property shall comply with Article XXIV, Walls and Fences, of the Town Zoning Ordinance, as may be amended (allows for walls between a residential property and an adjoining non-residential property, other than a right-of-way, up to 8-feet tall).
2. The remaining church property shall be brought into compliance with the current Town's Storm Water Design Manual requirements for storm water retention as shown on the Preliminary Grading & Drainage Plan referenced in Stipulation 1, with the completion of these improvements *[prior to recordation of the plat map for the Non-Administrative Lot Modification (RP-20-01) or may want to consider within a period of time after the effective date of the rezoning (if the church needs the funds from the sale to make the drainage improvements)]*.
3. The Owner shall improve the landscaping on the church site so it is in substantial compliance with the Landscape Plan dated May 28, 2002, prepared by Laskin and Assoc., Inc-sheets LA-1 to LA-6, *[prior to recordation of the plat map for the Non-Administrative Lot Modification (RP-20-01) or may want to consider within a period of time after the effective date of the rezoning (if the church needs the funds from the sale to make the drainage improvements)]*.
4. The property owner and Town shall sign and record a Waiver of Rights and Remedies agreement under A.R.S. § 12-1134 (Proposition 207 Waiver) in the form provided by the Town Attorney within 10 calendar days of the effective date of this amendment to the Special Use Permit.



5. The effective date of SUP-20-07 shall be the same as the effective date of Ordinance 2021-02 that changes the zoning of the one-net acre property from "Special Use Permit - Religious Facility" to "R-43 Single-Family Residential District."
6. All existing Special Use Permit stipulations for Ascension Lutheran Church shall remain in full force and effect, unless changed or modified by this Minor SUP Amendment (SUP-20-07).

Non-Administrative Land Modification (RP-20-01)

*Approval of a non-administrative lot modification to plat map the 1.0-net acre lot for single-family use and the 5.3-net acre lot for continued church use; subject to the following stipulations:*

1. The plat map must be recorded with the Maricopa County Recorder's Office, in substantial compliance with the "Meadowlark Acres II" plan prepared by Land Development Group, date sealed by James Flack on January 30, 2021.
2. The property owner(s) or designee(s) of Lot 1B (single-family lot) shall demonstrate that the fire sprinkler system is in compliance with the National Fire Protection Association standard 13D or the current equivalent code requirement.
3. The property owner(s) or designee(s) of Lot 1B (single-family lot) shall provide a final grading and drainage plan with the building permit for the home that is in general compliance with the Preliminary Grading & Drainage Plan for Lot 1B, Sheet C-1 for Lot 1A prepared by Land Development Group, date sealed by Nickola J. Prodanov on January 30, 2021
4. Within 60 days of approval of the plat map, the applicant shall submit Mylars and an electronic version in a pdf format for the Town's permanent record.



# Town of Paradise Valley

6401 E Lincoln Dr  
Paradise Valley, AZ 85253

## Action Report

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**File #:** 21-106

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**AGENDA TITLE:**  
**Discussion of Building Pad Heights for Non-Hillside Lots**

**STAFF CONTACT:**



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## STAFF REPORT

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**TO:** Chair and Planning Commission Members

**FROM:** Lisa Collins, Community Development Director  
Paul Mood, Town Engineer

**DATE:** March 16, 2021

**AGENDA TITLE:**  
**Discussion of Building Pad Heights for Non-Hillside Lots**

**RECOMMENDATION:**

Review, discussion and possible recommendations to Town Council related to building pad heights and other related items for residential construction on non-hillside lots.

**SUMMARY STATEMENT:**

At prior Town Council Study Sessions on January 23, 2020, May 14, 2020, June 25, 2020 and at a Town Council Development Retreat on January 30, 2020 and at a Joint Town Council & Planning Commission on January 21, 2021, staff presented material regarding building pad heights on non-hillside lots which is one of the more frequent development related questions associated with new construction. Staff received input before and during all these meetings from residents and developers. When vacant lots are developed, or existing properties redeveloped building pad heights and overall allowable structure heights are often questioned by surrounding property owners.

Based on input from meetings with residents, developers, Planning Commission and Town Council, potential code amendments to require development that more closely follows the contour of the lot for non-hillside properties have been presented at Planning Commission and the Town Council Study Sessions. At the most recent Town Council Study Session on February 25, 2021, staff presented the input received at the February 2 and February 16, Planning Commission Study Sessions along with a proposed code amendment.

The Council requested that staff bring this item back to the Planning Commission for additional review and input for the Council's consideration.

Staff is providing a proposed amendment for discussion and input that addresses limits on pad heights using the finished floor, limits on outdoor living area pad heights and definitions for fill, building pad and finished floor.

**BUDGETARY IMPACT:**

This item is for discussion only with no financial impact to the Town.



TOWN  
*Of*  
PARADISE VALLEY

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**STAFF REPORT**

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**ATTACHMENT(S):**

- A. Staff Report
- B. Presentation

# **TOWN OF PARADISE VALLEY**

**BUILDING PAD HEIGHT**

**Non-Hillside Lots**

**Proposed Code Amendment**

**March 16, 2021**



## **Input on Proposed Town Code Text Amendment**





# PROCESS

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## Amendments Town Code vs. Zoning Ordinance Required Processing:

**Town Code Amendments** – Town Council consideration and decision

- No formal Planning Commission recommendation
- Study Sessions and input as directed by Town Council

**Zoning Ordinance Amendments** – Town Council consideration and decision

- Planning Commission consideration and recommendation



# HISTORY & BACKGROUND

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Meetings on building pad heights, applicable Town Codes, resident concerns and feedback and development community

- |                      |   |
|----------------------|---|
| ✓ January 23, 2020   | Town Council Work Study                             |
| ✓ January 30, 2020   | Town Council Development Retreat                    |
| ✓ May 14, 2020       | Town Council Work Study                             |
| ✓ June 25, 2020      | Town Council Work Study                             |
| ✓ September 15, 2020 | Planning Commission Work Study                      |
| ✓ December 15, 2020  | Planning Commission Work Study                      |
| ✓ January 21, 2021   | Joint Town Council & Planning Commission Work Study |
| ✓ February 2, 2021   | Planning Commission Work Study                      |
| ✓ February 16, 2021  | Planning Commission Work Study                      |
| ✓ February 25, 2021  | Town Council Study Session                          |



# RESIDENT FEEDBACK

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- Building pad heights, outdoor living & landscape areas block views
- Need to preserve and protect the character of the community
- Require applicants to build into and/or follow the contour of the land
- Drainage concerns from elevated properties
- Neighbor notification of new residential projects





# DEVELOPMENT COMMUNITY FEEDBACK

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- Keep 24' height restriction from lowest natural grade
- Open space criteria protects neighbor's views
- Building pads extending over sloped topography lowers the lowest natural grade and building heights
- Add regulations that only 2' of exposed fill can be seen outside of the building footprint.
- Limit fill outside of building pad to 2' to terrace landscape areas
- Update and or add definitions as needed
- Paradise Valley rules are restrictive enough and protect neighboring property views



# SUMMARY OF WHAT WE HEARD

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- 1. Provide amended code language that is clear and does not allow for unintended consequences**
- 2. Provide additional code language that deals with outdoor pad areas that are currently not addressed in the current code**
- 3. Provide additional definitions to make sure the various terms are specific and clear**

# CURRENT CODE & PROPOSED CHANGES

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## Town Code Chapter 5 Building and Construction

1. For the purpose of this Article, the following terms shall have the meanings respectively ascribed to them in this Section:
  - a. Grading means any excavating or filling or otherwise changing the gradient of land.
  - b. Excavating means the removal of earthen material resulting in a lowering of the grade at that location.
  - c. Filling means dumping or depositing earthen material resulting in raising of the grade at that location.
  - d. ~~Earthen material means any rock, natural soil or any combination thereof.~~
  - e. Land disturbance or disturb the land or similar words means clearing, grading, grubbing, scraping, excavating, filling, uncovering, destabilizing, moving or otherwise modifying the earth's surface.
  - f. Vacant lot shall mean developed land upon which no person or persons reside or use for the purpose for which the land was developed.



# PROPOSED ADDITIONS

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**G. BUILDING PAD MEANS THE TOTAL AREA UNDER ANY STRUCTURE OR IMPROVED OUTDOOR AREA CREATED BY EITHER DEPOSITING FILL, ENGINEERED OR OTHERWISE, OR BY CUTTING.**

**H. FINISHED FLOOR MEANS THE CONCRETE SURFACE OR OTHER SURFACE ON TOP THE BUILDING PAD WHERE A STRUCTURE OR OUTDOOR AREA IS CONSTRUCTED.**

**I.FINISHED FLOOR ELEVATION MEANS THE HEIGHT OF THE FINISHED FLOOR ONCE CONSTRUCTION HAS BEEN COMPLETED BUT BEFORE ANY FINISHES HAVE BEEN APPLIED.**

**J. IMPROVED OUTDOOR AREA MEANS IMPROVEMENTS INCLUDING, BUT NOT LIMITED TO, OUTDOOR LIVING SPACES, AUTO COURTS, RECREATIONAL AREAS AND LANDSCAPED AREAS.**

# CURRENT CODE

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2. No land disturbance may occur on any lot or parcel in the Town without a grading permit being first obtained from the Town Engineer, and, if necessary, a hauling permit and payment of the hauling permit fees, as prescribed in the "Town of Paradise Valley Fee Schedule," except as otherwise provided herein. No grading permit may be issued without the following submittals, each in a form approved by the Town Engineer:
  - a. A grading plan prepared by a Civil Engineer.
    - a) Where excavation is to occur the top four (4) inches of excavated native soil shall remain on the site and shall be reused in a manner that takes advantage of the natural soil seed bank it contains.
    - b) The grading plan shall contain the preparing engineer's certification of the 100 year water surface elevation and finished floor elevation.
    - c) The building pad shall not exceed two (2) feet in height except where required to protect the building against flooding, in which case the pad shall be one (1) foot above the water surface elevation of the 100 year event.
    - d) A stabilization plan describing how areas potentially prone to erosion will be protected.
    - e) A drainage plan showing washes in an undisturbed state except for modifications approved by the Town Engineer that are required to accommodate storm water. Washes shall not be realigned except as approved by the Town Engineer and Community Development Director when necessary to accommodate storm water or to restore a disturbed wash

## PROPOSED AMENDMENT

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**B)** The grading plan shall contain the preparing engineer's certification of the 100 year water surface elevation and finished floor elevation, **THE FINISHED FLOOR ELEVATION SHALL NOT EXCEED EIGHT (8) INCHES IN HEIGHT ABOVE THE BUILDING PAD EXCEPT WHERE THE PREPARING ENGINEER CERTIFIES THAT ADDITIONAL HEIGHT UP TO MAXIMUM OF ONE (1) FOOT IS NECESSARY FOR STRUCTURAL PURPOSES.**



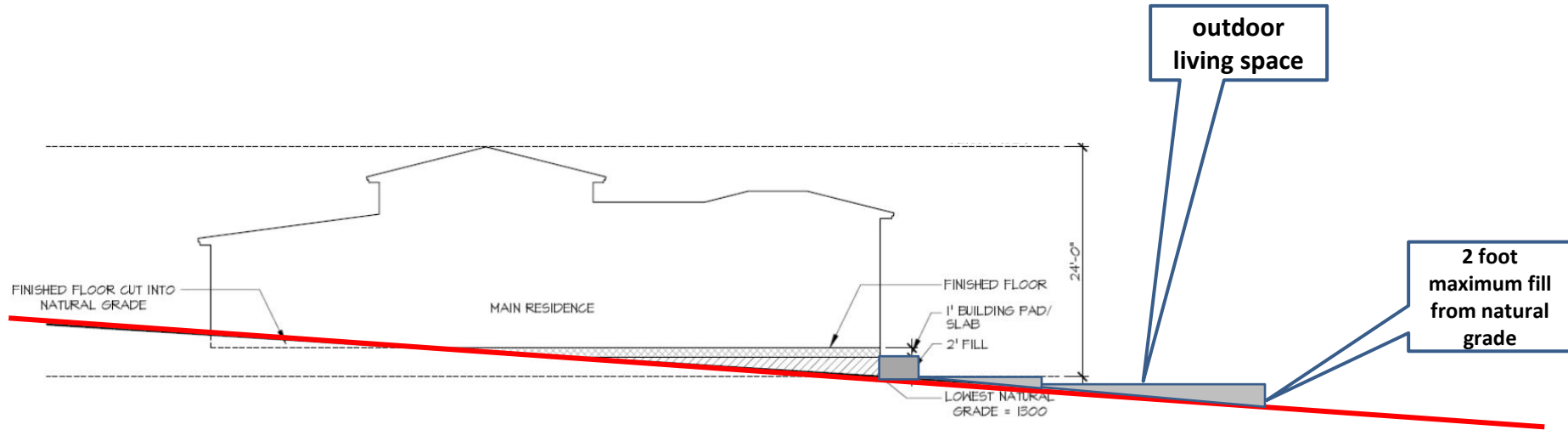
# PROPOSED AMENDMENT

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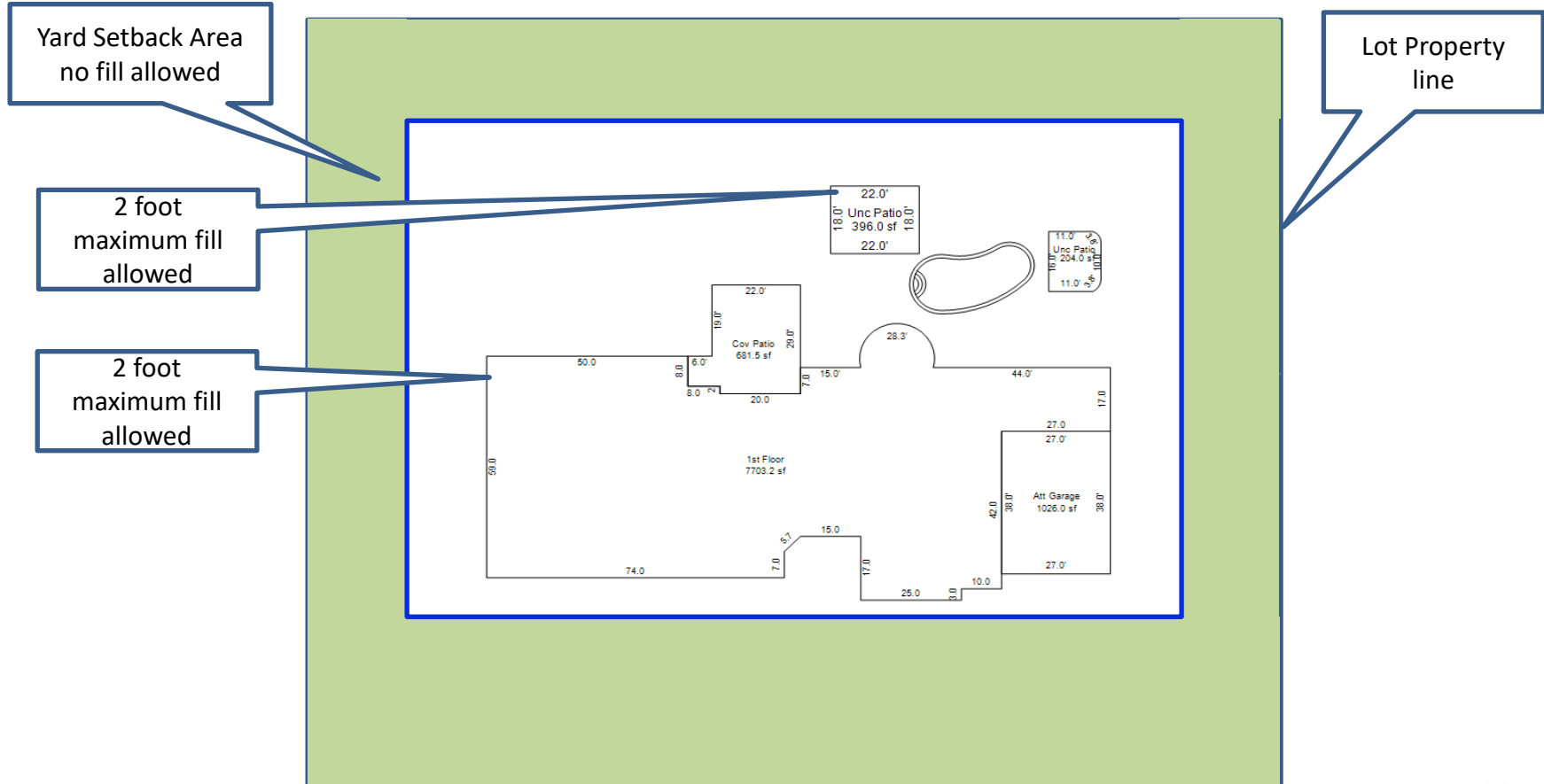
C) The Building Pad shall not exceed two (2) feet in height **AS MEASURED FROM LOWEST NATURAL GRADE UNDER THE STRUCTURE OR IMPROVED OUTDOOR AREA** except where required to protect the building against flooding, in which case the pad shall be one (1) foot MAXIMUM above the water surface elevation of the 100 year event **AT THE LOWEST NATURAL GRADE ADJACENT TO THE STRUCTURE OR IMPROVED OUTDOOR AREA.**

# PROPOSED CODE AMENDMENT

## GRAPHIC EXAMPLE



# PROPOSED CODE AMENDMENT





# PROPOSED CODE AMENDMENT

## **Addresses most resident concerns:**

- ✓ Building pad heights, outdoor living & landscape areas block views
- ✓ Need to preserve and protect the character of the community
- ✓ Require applicants to build into and follow the contour of the land
- ✓ Drainage concerns from elevated properties

# PROPOSED CODE AMENDMENT

## **Addresses most Development Community Feedback:**

- ✓ Keep 24' height restriction from lowest natural grade
- ✓ Open space criteria protects neighbor's views
- ✓ Building pads extending over sloped topography lowers the lowest natural grade and building heights
- ✓ Add regulations that only 2' of exposed fill can be seen outside of the building footprint.
- ✓ Limit fill outside of building pad to 2' to terrace landscape areas
- ✓ Update and or add definitions as needed

# NEXT STEPS

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- **Planning Commission Discussion & Input**
- **Council Discussion & Input**
- **Town Council Consideration of Code Amendment**





# QUESTIONS?





# Town of Paradise Valley

6401 E Lincoln Dr  
Paradise Valley, AZ 85253

## Action Report

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**File #:** 21-107

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**AGENDA TITLE:**

Discussion of Regulations for Walls / View Fences / Combination View Fences

**STAFF CONTACT:**

TOWN  
*Of*  
PARADISE VALLEY

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**STAFF REPORT**

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**TO:** Chair and Planning Commission Members

**FROM:** Lisa Collins, Community Development Director

**DATE:** March 16, 2021

**AGENDA TITLE:**  
**Discussion of Regulations for Walls / View Fences / Combination View Fences**

**RECOMMENDATION:**

Information, discussion and possible direction to staff regarding consistency and clarity of side and front yard regulations for wall, view fences and combination view fences.

**SUMMARY STATEMENT:**

At a prior Town Council Study Sessions on January 28, 2021 staff presented current code requirements and possible amendments that would result in consistency and clarity of side and front yard regulations for wall, view fences and combination view fences.

**DISCUSSION:**

During demolition, reconstruction, and a lot combination on a corner lot , a code clarity issue arose related to the Town's Wall and Fence Ordinance.

After additional review of residential lots that adjoin Collector and Minor Arterial streets, it was determined that a text amendment should be considered to treat those lots similar to those on Major Arterial street. The current code differentiates between Major Arterials and all others, allowing higher and closer fencing for Major Arterials only. This proposal differentiates between Local Streets and all others, allowing higher and closer fencing on Major Arterials AND Minor Arterials and Collectors. Because streets of that level are more traveled, a taller fence closer to the street could result in more use of the front yard area and would allow a greater sense of security.

**ATTACHMENTS:**

- A. Staff Report
- B. Presentation



TOWN  
*Of*  
PARADISE VALLEY

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**STAFF REPORT**

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**ATTACHMENT(S):**

- A. Staff Report
- B. Presentation

# TOWN OF PARADISE VALLEY

## **Wall and Fence Ordinance Study Session March 16, 2021**



# TODAY'S GOAL

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2

Information and discussion of proposal to amend code requirements for walls, view fences and combination view fences



March 16, 2021



# CURRENT CODE & PROPOSAL SUMMARY

3

## **Current code:**

Residential Yards, front or side, fronting on Major Arterials allow higher and closer fencing

## **Proposed regulations:**

Residential Yards, front or side, fronting on Major Arterials AND **Minor Arterials and Collectors** allow higher and closer fencing.



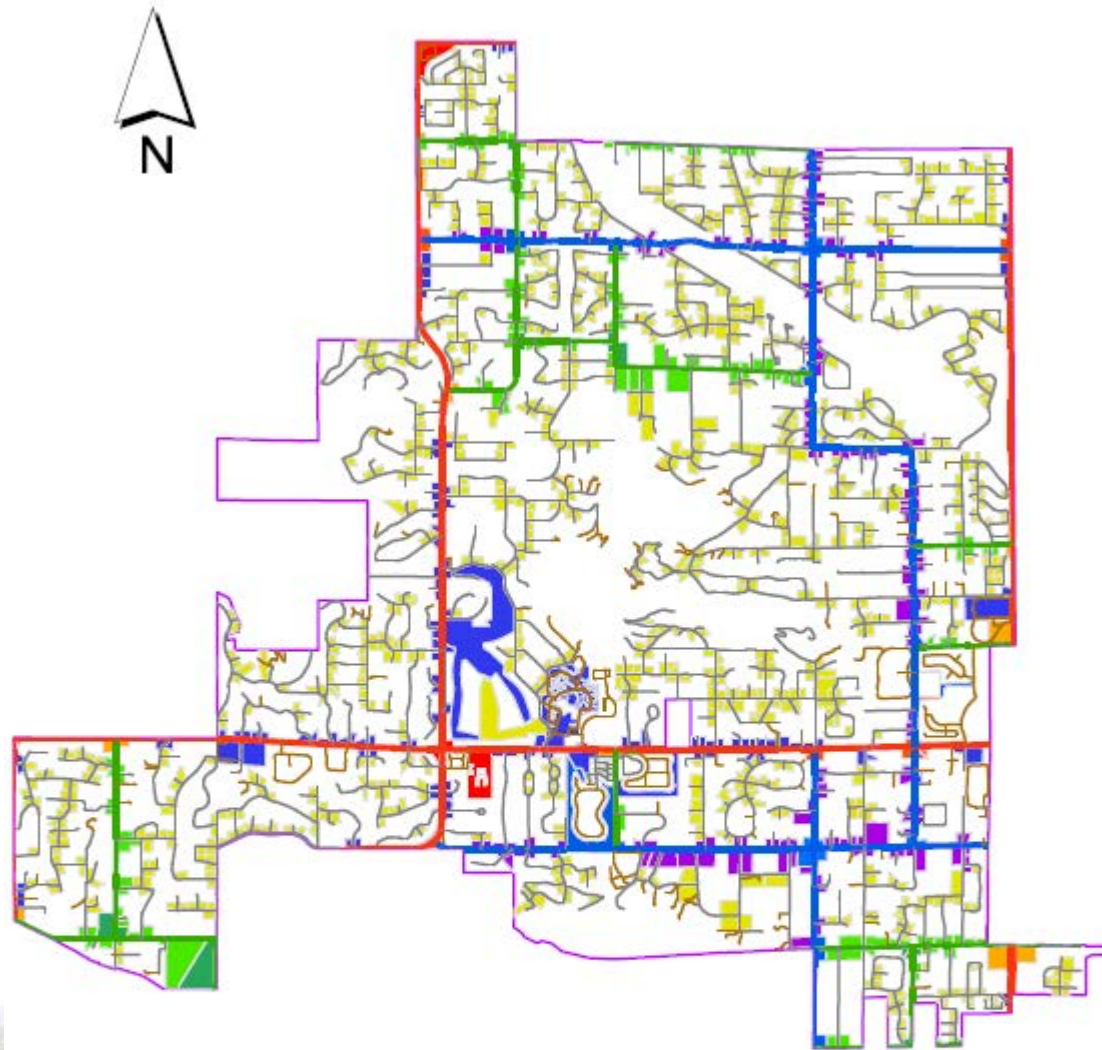
March 16, 2021

# CURRENT CODE & PROPOSAL SUMMARY

4

FRONT YARD ALONG RIGHTS-OF-WAY			
STREET TYPE	TYPE OF WALL OR FENCE	SETBACK FROM PROPERTY LINE, FEET	MAXIMUM HEIGHT, FEET
<u>COLLECTORS, MINOR AND MAJOR ARTERIALS</u>	View Fence	10, Minimum	**8, including berm
	Meandering Wall	15, Average	**8, including berm
	<del>All Others</del> <u>ANY</u>	20, Minimum	**8, including berm
	Any	10, Minimum	3
<del>Local, Collector, Minor</del>	Any	10, Minimum	3
	View Fence/Combination View Fence	***20, Minimum (Landscape Restrictions with Maintenance Requirements)	6
	<del>All Others</del> <u>ANY</u>	*40, Minimum	6
SIDE OR REAR YARD ALONG RIGHTS-OF-WAY			
<u>COLLECTORS, MINOR AND MAJOR ARTERIALS</u>	View Fence	10, Minimum	**8, including berm
	Meandering Wall	15, Average	**8, including berm
	<del>All Others</del> <u>ANY</u>	20, Minimum	**8, including berm
	Any	10, Minimum	3
<del>Local, Collector, Minor</del>	View Fence	10, Minimum	6
	Meandering Wall	15, Average	6
	<del>All Others</del> <u>ANY</u>	20, Minimum	6
	Any	10, Minimum	3
SIDE OR REAR YARD INTERIOR (not along any right-of-way)			
Not applicable	Any	None Required	6
SIDE OR REAR YARD INTERIOR (adjoining non-residential property other than a right-of-way)			
Not applicable	Any	None Required	**8, including berm

# STEEET CLASSIFICATIONS & LOTS



## Corner Lot Type and Street Classification

<span style="color: red;">■</span> MART/MART (6)	<span style="color: blue;">■</span> MinorART/COL (19)	<span style="color: red;">■</span> Major Arterial	<span style="color: grey;">■</span> Local
<span style="color: orange;">■</span> MART/MinorART (13)	<span style="color: purple;">■</span> MinorART/LOC (168)	<span style="color: blue;">■</span> Minor Arterial	<span style="color: brown;">■</span> Private
<span style="color: yellow;">■</span> MART/COL (15)	<span style="color: darkgreen;">■</span> COL/COL (13)	<span style="color: green;">■</span> Collector	<span style="color: purple;">■</span> Boundary
<span style="color: blue;">■</span> MART/LOC (127)	<span style="color: lightgreen;">■</span> COL/LOC (143)		
<span style="color: lightblue;">■</span> MinorART/MinorART (13)	<span style="color: yellow;">■</span> LOC/LOC (960)		



# DISCUSSION

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7

Input and discussion regarding walls, view fences and combination view fences and the proposed amendment.



March 16, 2021



# Town of Paradise Valley

6401 E Lincoln Dr  
Paradise Valley, AZ 85253

## Action Report

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**File #:** 21-088

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**Approval of the February 16, 2021 Planning Commission Minutes**



# Town of Paradise Valley

6401 E Lincoln Dr  
Paradise Valley, AZ 85253

## Minutes - Draft

### Planning Commission

*Chair Jonathan Wainwright*  
*Commissioner Thomas G. Campbell*  
*Commissioner Charles Covington*  
*Commissioner Pamela Georgelos*  
*Commissioner Orme Lewis*  
*Commissioner James Rose*  
*Commissioner Daran Wastchak*

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Tuesday, February 16, 2021

6:00 PM

Council Chambers

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**IN-PERSON ATTENDANCE AT PUBLIC MEETINGS HAS BEEN SUSPENDED UNTIL  
FURTHER NOTICE. WATCH LIVE STREAMED MEETINGS AT:  
<https://paradisevalleyaz.legistar.com/Calendar.aspx>**

#### 1. CALL TO ORDER

##### **STAFF MEMBERS PRESENT**

Interim Town Attorney Deborah Robberson (attended remotely)  
Community Development Director Lisa Collins (attended remotely)  
Planning Manager Paul Michaud  
Town Engineer Paul Mood (attended remotely)

#### 2. ROLL CALL

**Commissioner Lewis had difficulty connecting remotely, but joined the meeting  
via phone at 7:15 p.m.**

**Present** 7 - Commissioner Jonathan Wainwright  
Commissioner Thomas G. Campbell  
Commissioner Charles Covington  
Commissioner Pamela Georgelos  
Commissioner Orme Lewis  
Commissioner James Rose  
Commissioner Daran Wastchak

#### 3. EXECUTIVE SESSION

None

#### 4. STUDY SESSION ITEMS

**A.**     [21-063](#)     Discussion of Building Pad Heights for Non-Hillside Lots

Lisa Collins, Community Development Director, introduced the item and



indicated staff would like the Commission's feedback on the proposed Town Code amendment. She reviewed the past work that had been done to gather information and create the proposed code amendment. She shared highlights of resident feedback which included a desire to protect the character of the community, requiring applicants to build into and follow the contour of the land, and a desire for notification of new residential projects. She presented feedback from the development community which included keeping the 24-foot height restriction from lowest natural grade, keeping the open space requirement criteria to protect neighbor's views, and only allowing two feet of exposed fill outside of the building footprint.

Ms. Collins reviewed the Planning Commission's feedback from their previous meeting which included a desire for additional code language, elimination of slurry and thickened concrete slab concept, additional regulations to limit exposed fill to only two feet, and more regulations on fill for terrace and landscaped areas.

Ms. Collins presented the proposed code amendment which read "The building pad and all elevated areas including outdoor living spaces shall not exceed two (2) feet in height as measured from lowest natural grade except where required to protect the building against flooding, in which case the pad shall be one (1) foot maximum above the water surface elevation of the 100 year event at the adjacent natural grade."

Ms. Collins provided visual examples using the proposed code amendment. She pointed out that the amended language was regulating the outdoor living space more, by requiring it to follow the natural grade and only allowing two feet of fill. She noted that the proposed amendment addressed most of the residents' and development community's concerns.

Commissioner Campbell suggested that the code language identify that the restrictions applied to both automotive areas and outdoor living spaces.

Ms. Collins indicated the language can be changed, noting the intent was to apply to all elevated areas.

Commissioner Wastchak pointed out the amendment did not address slurry fill.

Ms. Collins responded the intent was to limit whatever material used to two feet. She noted that the code could include a definition of fill that might clear up any additional issues.

Commissioner Campbell noted that slurry was much more expensive than compacted earth and believed it was previously used to get around the code and get more height. He shared that he did not feel slurry needed to be addressed since the code language includes a limit to any type of fill.

Chairman Wainwright commented that he was not against the use of slurry.

Commissioner Covington remarked that he was not in favor of prescribing means and methods.

Commissioner Georgelos stated she wanted to be clear in the amendment language so there was not room for reasonable interpretations. She indicated that she would like to see a definition of fill and how it can be used added to the code.

Commissioner Wastchak asked what would prohibit someone from getting around the two-foot fill rule, giving an example of building a crawlspace with stem walls that can be up to six feet tall.

Paul Mood, Town Engineer, responded that a developer could argue that they were not violating code by doing that.

Ms. Collins noted the building height limit would stay the same since it was always measured at the lowest natural grade. He pointed out that this would likely not happen since it would raise the finished floor and the applicant would lose ceiling height.

Commissioner Covington asked if a stem wall would be limited to two feet above the natural grade.

Ms. Collins replied that was the intent, but staff could add language to clarify that point.

Commissioner Wastchak pointed out that six-foot stem walls would need to be prohibited if they did that.

Commissioner Campbell commented that he was not as concerned with what the builder did inside the home if the building did not go above the 24-foot height limit and the fill did not go way outside the building area.

Ms. Collins stated the code language could clarify anything done outside of the building envelope not to be more than two feet above the natural grade whether it was an auto court or putting green.

Commissioner Wastchak asked how finished floor height recommendations fit into the limitation of only two feet of exposed fill.

Ms. Collins replied that staff could look into that, but did not believe limiting the pad and finished floor height was necessary, especially since most of the issues people had dealt with living spaces that were projecting out from the pads.

Commissioner Wastchak pointed out that putting a limit to the finished floor height may reduce potential issues with people using stem walls to get around limits.

Chairman Wainwright pointed out that this was a drastic change going from essentially unlimited fill in outdoor living spaces to a limit of two feet of fill. He noted that he felt it was a good change. He asked if there was any interest in allowing for a larger limit than two feet on the amount of fill.

Commissioner Covington indicated he liked the limit of two feet.

Commissioner Rose stated he would support a limit of no more than two feet of fill.

Commissioner Campbell replied that he was fine with the limit of two feet and having people step their outdoor living spaces down when needed.

Commissioner Georgelos remarked that another big issue was where there is such substantial mounding in lots that it no longer fits in with the neighborhood. She stated that what the Town is trying to address was not creating mounded areas. She noted that the Planning Commission had not sufficiently addressed retaining walls and crawl spaces.

Commissioner Wastchak shared that it seemed like the development community was comfortable with the two-foot limit and indicated he was comfortable with that change as well.

Chairman Wainwright asked if the limit on a retaining wall could be creating a hardship for people using it as a pool barrier as well, especially if there is retention area next to it that is below grade.

Ms. Collins replied that this was why there was no suggested amendments to the limit on retaining walls. She pointed out that sometimes retaining walls were a result of a cut rather than fill.

Commissioner Covington commented that he believed the two-foot limitation satisfied what most people wanted, and that builders and architects could work around it.

Commissioner Campbell pointed out that most people on flatland lots put up six-foot perimeter fences. He added that he would rather have to deal with a pool fence than a large mass of fill that elevated the whole backyard.

Commissioner Lewis noted that retaining walls could be created that reflected more of what the desert was about than a flat wall.

Commissioner Campbell asked what staff's experience was with perimeter walls on property lines.

Mr. Mood replied that traditional flat land lots typically had six-foot perimeter walls and low sloping areas, while foothill areas had a mixture of leaving things more natural and enclosing only portions of the yard area.

Commissioner Georgelos commented that there were a lot of properties with special characteristics, whether that be slopes or washes. She agreed that it was difficult to consider everything that could happen. She expressed that the Planning Commission may consider taking more time to consider what the unintended consequences may be and do additional word smithing.



Chairman Wainwright asked if anyone disagreed with the consensus to limit the fill under the dwelling or in the yard to two feet.

Commissioner Lewis agreed and encouraged that retaining walls take on their own personality no matter how tall they are.

Chairman Wainwright asked how staff determined when a building pad needed to be higher to protect against a 100-year flood event.

Mr. Mood replied that in a delineated flood plain area the pad is required to be one foot above the 100-year water surface elevation. He noted in non-delineated flood plain areas the Town requires a drainage report to determine the flood elevation and leave it up to the engineer to make sure the pad and finished floor are protected.

Chairman Wainwright indicated he received a text asking for them to address water surface elevation.

Mr. Mood responded that when a property is at the bottom of a sloping lot that homes are typically built up to protect against flooding and sometimes see finished floors project out to keep them flat in those situations even though the property continues to slope down. He noted that this amendment would require the building pad to go no higher than two feet of fill or one foot above the 100-year flood level even if the lot continued to slope down.

Commissioner Campbell reiterated adding language regarding automotive areas in the amendment. He indicated it might be helpful to clarify that it was two feet above the lowest adjacent natural grade for anything in the yard.

Commissioner Georgelos pointed out that she would like additional clarification on what elevated areas were without it simply being a laundry list of items.

Ms. Collins stated she would work on making those changes and clarify that it included all altered area on a property.

Commissioner Georgelos inquired which changes will be added and what language would be included in those definitions.

Chairman Wainwright noted that the proposed amendment did not define the idea of slurry or other means to make the finished floor higher, but he was not sure it needs to add those definitions.

Ms. Collins remarked that she did not think those modifications were necessary based off of the discussion this evening.

Commissioner Lewis stated that regarding retaining walls they need to maintain sound geometry while keeping the personality of the Town.

Commissioner Georgelos noted she was fine moving forward to take care of some more immediate issues. She feels it would be good to revisit the topic as they move forward with the General Plan update and address the differences

between flat, intermediate, and hillside lots.

Commissioner Campbell commented that he likes the idea of an intermediate zone, but believed it was outside of the scope of what is currently under review.

Commissioner Georgelos indicated she would like to discuss notices for adjacent property owners for building or construction permits. She recognized that this may not be something they sort out tonight, but something the Planning Commission should be looking to address in the future.

Commissioner Covington asked if the Town is still considering a permitting requirement for the finished pad height before framing could begin.

Ms. Collins replied that staff would look into putting that into their practices, but was unsure that would be included in the amendment.

Chairman Wainwright asked how many more meetings the Planning Commission could have to discuss this topic before it needed to be back to Town Council.

Ms. Collins responded the sooner the better. She clarified that they are hoping to go over the suggestions with Council at their meeting on February 25, 2021.

Mark Stanton, Vice Mayor, applauded all their work and robust conversation. He commented that they could take another meeting to review this item if they needed.

Julie Pace, Council Member, indicated the goal was allow the Planning Commission to get a deep dive and make sure everything is clear to applicants and the development community. She noted the Commission are the technical experts and would like to make sure they have enough time to give the Council good feedback. She shared that she was happy to let them have another meeting or two to discuss the amendment.

Chairman Wainwright opened the meeting up for public comments.

Phyllis Peskin, resident, expressed that she was concerned with the end of the amendment which read "the pad shall be one foot maximum above the water surface elevation of the 100-year event at the adjacent natural grade." She indicated that Mr. Mood was aware of her situation and asked if this amendment would help.

Mr. Mood responded that this code amendment means that the pad would be allowed to be a maximum of one foot above the 100-year flood surface elevation but did not have to be a full foot above it. He clarified that someone could build below the 100-year flood elevation if they had proper flood proofing.

Ms. Peskin encouraged people to drive around her neighborhood at 5421 East Via Buena Vista. She asked for consideration to deepen the Cherokee wash to lower the 100-year water elevation.

Commissioner Georgelos asked what the comments were at their last meeting regarding the pad inspection prior to framing.

Mr. Mood indicated that there was nothing in their permitting software to make that a hard requirement. He noted there was a comment that the pad could be changed after the inspection and so it was ultimately the finished floor elevation they want to look at.

Chairman Wainwright asked if the Council's meeting on the 25th was open to the public.

Ms. Collins indicated that it was, but it would be up to whoever was running the meeting if they would allow public comments.

**No Reportable Action**

- B.**      [21-053](#)      Discussion of a Minor General Plan Amendment (GPA-20-01), a Rezoning (MI-20-03), a Minor Special Use Permit Amendment (SUP-20-07), and a non-administrative land modification (RP-20-01) to create a Single-Family R-43 Lot Ascension Lutheran Church, 7100 N Mockingbird Lane

Paul Michaud, Planning Manager, introduced the item and explained that the applicant desired to split off a net acre for an R-43 single-family lot on their property. He noted that to do this it required several applications including a Minor General Plan amendment, Rezoning, Minor Special Use Permit, and a Non-Administrative Land Modification that were all being done concurrently. He identified the location of the site and provided background on it.

Mr. Michaud reviewed the General Plan amendment application to make the general plan designation and zoning district consistent with the zone change to low density residential. He explained the rezoning was from Special Use Permit (SUP) to R-43. He noted draft stipulations will follow at the next meeting. He shared that the SUP amendment was required since the size of the church site was being reduced. He reviewed the criteria for a Minor SUP amendment. He shared that a plat map is required to create the desired new lot.

Mr. Michaud pointed out that there was no need for any right-of-way dedication and that the proposed residential lot met the four general tests regarding lot design including orthodox shape, circle configuration test, acre size or larger, and access to a public or private road. He reviewed the drainage, utilities, fire protection, and landscaping for the site. He shared that staff would be noticing for the citizen review session and for a neighborhood review meeting that were tentatively scheduled in March and April.

Commissioner Campbell asked if any of the previous amendments to the SUP considered the subject area, which he noted was currently overflow parking, in their required parking count.

Mr. Michaud replied that he did not believe so, but would double check.

Commissioner Campbell indicated he was shocked by the lack of current landscaping at the site and indicated they should be sure to include that in their



conditions of approval. He pointed out that it was unclear on the proposed landscape plan if there was curbing around some of the landscaping east of the proposed lot and asked for clarification on that to be provided.

Commissioner Wastchak asked if the perimeter wall would be six feet or eight feet tall.

Mr. Michaud replied that the new lot owner would be able to put in either a six or eight-foot-tall wall.

Commissioner Wastchak asked what the purpose was of a landscape buffer if the applicant could put portions of the parking lot in it.

Mr. Michaud responded that normally the landscape buffer would only have landscaping in it, unless the SUP approved otherwise. He clarified that this plan had about 12 feet of landscaping in the buffer area adjoining the parking lot area noted.

Commissioner Wastchak inquired if there was a requirement for a 60-foot landscape buffer.

Mr. Michaud stated there was not. He explained that these were SUP guidelines that could be modified. He added that 40 feet was the recommended landscape buffer and 60 feet was the recommended parking lot setback when such uses adjoin residential.

The applicant commented that it was a hard decision for the church to sell this portion of their property, but is necessary to get money to make necessary improvements to their building.

**No Reportable Action**

## **5. PUBLIC HEARINGS**

None

## **6. ACTION ITEMS**

None

## **7. CONSENT AGENDA**

### **A. [21-062](#) Approval of the February 2, 2021 Planning Commission Minutes**

**A motion was made by Commissioner Campbell, seconded by Commissioner Wastchak, to approve the February 2, 2021 minutes with some corrections to simplify the verbatim comments. The motion carried by the following vote:**

**Aye:** 7 - Commissioner Wainwright, Commissioner Campbell, Commissioner Covington, Commissioner Georgelos, Commissioner Lewis, Commissioner Rose and Commissioner Wastchak

**8. STAFF REPORTS**

None

**9. PUBLIC BODY REPORTS**

None

**10. FUTURE AGENDA ITEMS**

Mr. Michaud announced the next scheduled meeting was on March 2, 2021. He noted there was currently no items on that agenda. He indicated their following meeting would be held on March 16, 2021 where they will see the Ascension Lutheran Church item, a code update to walls and fences, and possibly pad heights again.

Chairman Wainwright asked the Commission if they would like to hold a meeting on March 2, 2021 since there were no agenda items. It was determined that they would cancel that meeting.

**11. ADJOURNMENT**

**A motion was made by Commissioner Wastchak at 8:59 p.m., seconded by Commissioner Covington, to adjourn the meeting. The motion carried by the following vote:**

**Aye:** 7 - Commissioner Wainwright, Commissioner Campbell, Commissioner Covington, Commissioner Georgelos, Commissioner Lewis, Commissioner Rose and Commissioner Wastchak

**Paradise Valley Planning Commission**

By: \_\_\_\_\_  
Paul Michaud, Secretary