



Town of Paradise Valley

6401 E Lincoln Dr
Paradise Valley, AZ 85253

Meeting Notice and Agenda Planning Commission

*Chair Jonathan Wainwright
Commissioner Thomas G. Campbell
Commissioner Charles Covington
Commissioner Pamela Georgelos
Commissioner Orme Lewis
Commissioner James Rose
Commissioner Daran Wastchak*

Tuesday, February 16, 2021

6:00 PM

Council Chambers

**N-PERSON ATTENDANCE AT PUBLIC MEETINGS HAS BEEN SUSPENDED UNTIL FURTHER NOTICE. WATCH LIVE STREAMED MEETINGS AT:
<https://paradisevalleyaz.legistar.com/Calendar.aspx>**

1. CALL TO ORDER

2. ROLL CALL

THIS MEETING WILL BE HELD BY REMOTE PARTICIPATION ONLY

PUBLIC PARTICIPATION IN THE MEETING

Members of the public are encouraged to participate in the meeting via the following options:

- 1. View the live stream at <https://paradisevalleyaz.legistar.com/Calendar.aspx>
 - (a) Click on Calendar Tab*
 - (b) Look for Planning Commission meeting (you may have to select it from the dropdown list) and find the meeting date*
 - (c) Click the "In Progress" link in the column titled Video**
- 2. Zoom Conference*
 - (a) Computer: <https://zoom.us/j/6678902153>*
 - (b) Telephone: 1 669 900 6833 Meeting ID 667 890 2153*
- 3. Submitting questions and comments:*
 - (a) Visit <https://paradisevalleyaz.legistar.com/Calendar.aspx>, search for the meeting date, and click "eComment". Locate the agenda item you are interested in and click "Comment" (Please submit comments at least 1 hr prior to meeting)*
 - (b) Email pmichaud@paradisevalleyaz.gov (Please submit comments at least 1 hr prior to meeting)*
- 4. Speaking during Call to the Public / Public Hearings*
 - (a) Visit <https://paradisevalleyaz.legistar.com/Calendar.aspx>, search for the meeting date, and click "eComment". Locate the agenda item and click "Register to Speak". Join the meeting by dialing 1 669 900 6833 Meeting ID 667 890 2153*
 - (b) If attending by Zoom Video Conference, click the chat button and enter your name and the agenda item you would like to address*

(These meeting participation guidelines are pursuant to Town Council Resolution 2020-08 adopted March 17, 2020.)

Notice is hereby given pursuant to A.R.S. §38-431.02. that members of the Planning Commission will attend by audio/video conference call.

Notice is hereby given that members of the Public Body will attend either in person or by telephone conference call, pursuant to A.R.S. §38-431(4).

3. EXECUTIVE SESSION

The Public Body may convene into an executive session at one or more times during the meeting as needed to confer with the Town Attorney for legal advice regarding any of the items listed on the agenda as authorized by A.R.S. §38-431.03.A.3.

4. STUDY SESSION ITEMS

Work/Study is open to the public however the following items are scheduled for discussion only. The Public Body will be briefed by staff and other Town representatives. There will be no votes and no final action taken on discussion items. The Public Body may give direction to staff and request that items be scheduled for consideration and final action at a later date. The order of discussion items and the estimated time scheduled to hear each item is subject to change.

A. [21-063](#) Discussion of Building Pad Heights for Non-Hillside Lots

Staff Contact: Lisa Collins, Community Development Director, 480-348-3522

Attachments: [A - Staff Report](#)
[B - Presentation](#)

B. [21-053](#) Discussion of a Minor General Plan Amendment (GPA-20-01), a Rezoning (MI-20-03), a Minor Special Use Permit Amendment (SUP-20-07), and a non-administrative land modification (RP-20-01) to create a Single-Family R-43 Lot Ascension Lutheran Church, 7100 N Mockingbird Lane

Staff Contact: Paul Michaud, 480-348-3574

Attachments: [A - Staff Report](#)
[B - Vicinity Map \(Aerial - General Plan - Zoning\)](#)
[C - Application - Narrative](#)
[D- SUP History](#)
[E - Water - Utility Information](#)
[F - ALTA & Proposed Maps](#)
[G - Landscaping](#)

5. PUBLIC HEARINGS

The Public Body may take action on this item.

6. ACTION ITEMS

The Public Body may take action on this item.

7. CONSENT AGENDA

All items on the Consent Agenda are considered by the Public Body to be routine and

will be enacted by a single motion. There will be no separate discussion of these items. If a Commissioner or member of the public desires discussion on any item it will be removed from the Consent Agenda and considered separately.

A. [21-062](#) **Approval of the February 2, 2021 Planning Commission Minutes**

Attachments: [020221 MN Draft](#)

8. STAFF REPORTS

9. PUBLIC BODY REPORTS

10. FUTURE AGENDA ITEMS

11. ADJOURNMENT

AGENDA IS SUBJECT TO CHANGE

**Notice is hereby given that pursuant to A.R.S. §1-602.A.9, subject to certain specified statutory exceptions, parents have a right to consent before the State or any of its political subdivisions make a video or audio recording of a minor child. Meetings of the Planning Commission are audio and/or video recorded, and, as a result, proceedings in which children are present may be subject to such recording. Parents in order to exercise their rights may either file written consent with the Town Clerk to such recording, or take personal action to ensure that their child or children are not present when a recording may be made. If a child is present at the time a recording is made, the Town will assume that the rights afforded parents pursuant to A.R.S. §1-602.A.9 have been waived.*

The Town of Paradise Valley endeavors to make all public meetings accessible to persons with disabilities. With 72 hours advance notice, special assistance can also be provided for disabled persons at public meetings. Please call 480-948-7411 (voice) or 480-483-1811 (TDD) to request accommodation to participate in the Planning Commission meeting.



Action Report

File #: 21-063

AGENDA TITLE:

Discussion of Building Pad Heights for Non-Hillside Lots

RECOMMENDATION:

Review, discussion and possible recommendations to Town Council related to building pad heights and other related items for residential construction on non-hillside lots.

STAFF CONTACT:

TOWN
Of
PARADISE VALLEY



STAFF REPORT

TO: Chair and Planning Commission Members

FROM: Lisa Collins, Community Development Director
Paul Mood, Town Engineer

DATE: February 16, 2021

AGENDA TITLE:
Discussion of Building Pad Heights for Non-Hillside Lots

RECOMMENDATION:

Review, discussion and possible recommendations to Town Council related to building pad heights and other related items for residential construction on non-hillside lots.

SUMMARY STATEMENT:

At prior Town Council Study Sessions, staff presented material regarding building pad heights on non-hillside lots which is one of the more frequent development related questions associated with new construction. When vacant lots are developed, or existing properties redeveloped, building pad heights and overall allowable structure heights are often questioned by surrounding property owners.

Information was presented on surrounding municipal codes related to building pads and residential structure heights, visual impacts to properties and potential code amendments to require residential properties to more closely follow the contour of the lot for non-hillside properties. Information related to the unrestricted fill heights for outdoor living areas and landscaped areas were also presented. Based on the presentation and discussion, staff was asked to bring this item to the Planning Commission to determine if any recommend Town Code edits are warranted for future Town Council consideration.

Information related to building pad heights was reviewed and discussed at the September 15 and December 15, 2020 Planning Commission meetings. Feedback from residents as well as the development community was also provided. Due to the level of questions and concerns expressed by residents a joint meeting between the Town Council and Planning Commission was held on January 21, 2021 to review, discuss and provide additional feedback and/or direction to staff. Staff was asked to bring this item back to the Planning Commission for additional review and discussion related to potential code amendments as well as establish a timeframe to make a recommendation to the Town Council.

On February 2, 2021, staff presented additional information to the Planning Commission for discussion and input during a Study Session. During that Study Session, the public was also invited to provide input. Based on the discussion and information at that Work

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STAFF REPORT

Session and previous meetings, staff is providing a proposed code amendment to address the most immediate issues and concerns. In accordance with the legal requirements for amendments to the Town Code and in accordance with Town Council direction, the Planning Commission is being asked to provide input on this proposed code amendment for the Town Council's consideration.

Discussions regarding other considerations for non-hillside lots may be addressed as the Planning Commission and Town Council determine necessary.

BUDGETARY IMPACT:

This item is for discussion only with no financial impact to the Town.

ATTACHMENT(S):

- A. Staff Report
- B. Presentation

TOWN OF PARADISE VALLEY

BUILDING PAD HEIGHT

Non-Hillside Lots

Proposed Code Amendment

February 16, 2021



Input on Proposed Code Text Amendment



HISTORY & BACKGROUND

Information related to building pad heights, applicable Town Codes, resident concerns and feedback and development community feedback were provided at the following meetings.

- ✓ January 23, 2020 Town Council Work Study
- ✓ January 30, 2020 Town Council Development Retreat
- ✓ May 14, 2020 Town Council Work Study
- ✓ June 25, 2020 Town Council Work Study
- ✓ September 15, 2020 Planning Commission Work Study
- ✓ December 15, 2020 Planning Commission Work Study
- ✓ January 21, 2021 Joint Town Council & Planning Commission Work Study
- ✓ February 2, 2021 Planning Commission Work Study



RESIDENT FEEDBACK

- Building pad heights, outdoor living & landscape areas block views
- Need to preserve and protect the character of the community
- Require applicants to build into and follow the contour of the land
- Drainage concerns from elevated properties
- Neighbor notification of new residential projects



DEVELOPMENT COMMUNITY FEEDBACK

- Keep 24' height restriction from lowest natural grade
- Open space criteria protects neighbor's views
- Building pads extending over sloped topography lowers the lowest natural grade and building heights
- Add regulations that only 2' of exposed fill can be seen outside of the building footprint.
- Limit fill outside of building pad to 2' to terrace landscape areas
- Update and or add definitions as needed
- Paradise Valley rules are restrictive enough and protect neighboring property views



PLANNING COMMISSION FEEDBACK

Additional Feedback and Discussion at the February 2, 2021 Work Study

- Provide Code language based on the discussion for Planning Commission Input
- Eliminate the slurry fill and thickened concrete slab concept
- Add regulations that only 2' of exposed fill can be seen outside of the building footprint.
- Provide regulations for terrace landscape areas

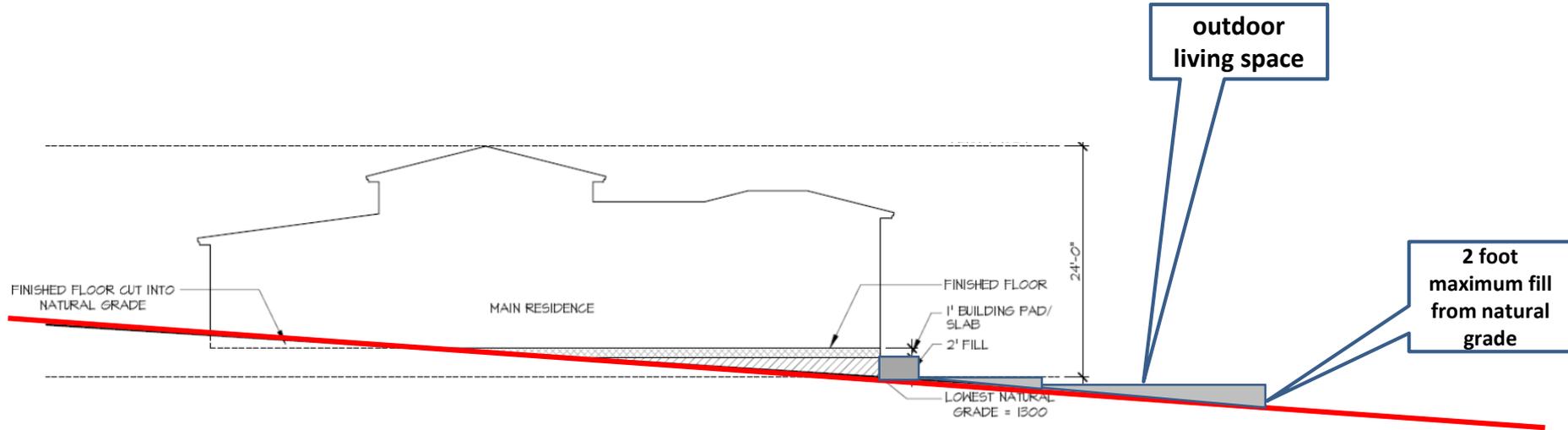


PROPOSED CODE AMENDMENT

The building pad **AND ALL ELEVATED AREAS**
INCLUDING OUTDOOR LIVING SPACES shall not exceed
two (2) feet in height **AS MEASURED FROM LOWEST**
NATURAL GRADE except where required to protect the
building against flooding, in which case the pad shall be one (1)
foot **MAXIMUM** above the water surface elevation of the 100
year event **AT THE ADJACENT NATURAL GRADE.**

Proposed amendments in: CAPS, **BOLD**, and UNDERLINE

PROPOSED CODE AMENDMENT GRAPHIC EXAMPLE



PROPOSED CODE AMENDMENT

Addresses most resident concerns:

- ✓ Building pad heights, outdoor living & landscape areas block views
- ✓ Need to preserve and protect the character of the community
- ✓ Require applicants to build into and follow the contour of the land
- ✓ Drainage concerns from elevated properties

PROPOSED CODE AMENDMENT

Addresses most Development Community Feedback:

- ✓ Keep 24' height restriction from lowest natural grade
- ✓ Open space criteria protects neighbor's views
- ✓ Building pads extending over sloped topography lowers the lowest natural grade and building heights
- ✓ Add regulations that only 2' of exposed fill can be seen outside of the building footprint.
- ✓ Limit fill outside of building pad to 2' to terrace landscape areas
- ✓ Update and or add definitions as needed

NEXT STEPS

Town Council Consideration of Code Amendment



QUESTIONS?





Action Report

File #: 21-053

AGENDA TITLE:

Discussion of a Minor General Plan Amendment (GPA-20-01), a Rezoning (MI-20-03), a Minor Special Use Permit Amendment (SUP-20-07), and a non-administrative land modification (RP-20-01) to create a Single-Family R-43 Lot Ascension Lutheran Church, 7100 N Mockingbird Lane

STAFF CONTACT:



STAFF REPORT

TO: Chairman and Planning Commission Members

FROM: Lisa Collins, Community Development Director
Paul Michaud, Planning Manager

DATE: February 16, 2021

DEPARTMENT: Community Development – Planning Division
Paul Michaud, 480-348-3574

AGENDA TITLE: Discussion of a Minor General Plan Amendment (GPA-20-01), a Rezoning (MI-20-03), a Minor Special Use Permit Amendment (SUP-20-07), and a non-administrative land modification (RP-20-01) to create a Single-Family R-43 Lot
Ascension Lutheran Church, 7100 N Mockingbird Lane

SUMMARY STATEMENT:

Request

Ascension Lutheran Church, Inc., an Arizona Corporation, located at 7100 N Mockingbird Lane (Parcel No. 174-51-033) is requesting approval of several applications to establish a 1.0-net acre R-43 single-family residential lot at the southwest portion of the 6.3-net acre church property. These applications include a Minor General Plan Amendment from "Public/Quasi Public" to "Low Density Residential" designation for the 1.0-net acre area (GPA-20-01), a rezoning from "Special Use Permit - Religious Facility" to "R-43 Single-Family Residential District" for the 1.0-net acre area (MI-20-03), a Minor Special Use Permit to allow for the reduction of the church property zoned "Special Use Permit - Religious Facility" (SUP-20-07), and a non-administrative lot modification to plat the single-family lot (RP-20-01).

General Plan Amendment

The 2012 General Plan Land Use Map designates the subject 6.3-net acre property as "Public/Quasi Public." "Public/Quasi Public" is the appropriate designation for the church use. The area surrounding the church property is designated "Low Density Residential." "Low Density Residential" is the appropriate designation for the R-43 Single-Family Residential District, requiring minimum one-acre lots. The General Plan designation change is necessary since §9-462.01.F of the Arizona Revised Statutes and Section 306 of the Town's Zoning Ordinance requires amendments to the zoning district boundaries be consistent with and conform to the Land Use Map of the Town's adopted General Plan. Table 9.4-1 of the Town's General Plan defines a change in designation from "Public/Quasi Public" to "Low Density Residential" as a Minor General Plan Amendment. A Minor General Plan Amendment pursuant to the Town Code

requires Planning Commission recommendation and Town Council approval. Approval is via resolution. No stipulations are allowable as part of the action.

Rezoning

The subject 6.3-net acre property is currently zoned "Special Use Permit - Religious Facility," being the appropriate zoning for the church use. The subject area is not designated hillside. The zoning of adjacent properties are "R-43 Single-Family Residential District." Refer to Attachment B for a General Plan designation and Zoning district map of this area.

The request to create a 1.0-net acre single-family residential lot requires the applicant to request a rezoning for this portion of the site from "Special Use Permit - Religious Facility" to "R-43 Single-Family Residential District." A rezoning pursuant to the Town Code requires a Citizen Review Session (a neighborhood meeting prior to the Planning Commission recommendation), Planning Commission recommendation, and Town Council approval. Section 2-5-2.D.1 of the Town Code provides time limits on rezoning applications when they are initiated by the Town. Being applicant driven, there are no timing requirements for the requested rezoning. Approval is via ordinance.

Stipulations are allowable as part of the action. Draft stipulations will be provided at a future Planning Commission meeting on this request. Typical stipulations are (1) reference to a legal description(s), (2) requirement that the Town approve all the above related applications before the rezoning is effective, (3) the owner provide a duly executed Proposition 207 waiver pursuant to §12-1134 of the Arizona Revised Statutes regarding the rezoning does not diminish the value of the property, (4) that the remaining church property needs to be brought into compliance with the current Town's Storm Water Design Manual requirements for storm water retention (as shown on the proposed grading and drainage plan with a recommendation completion prior to recordation of the plat map), (5) requirement for assurances related to public improvements (but, this stipulation is not necessary as there are no specific public roadway improvements needed), and (6) other stipulations (which for this request might relate to landscaping).

Special Use Permit (SUP) Amendment

The Town annexed the church property in 1961. The church was constructed in 1963. The Town issued the first Special Use Permit zoning on the property in 1977. Concurrent with the 1977 Special Use Permit, the Town approved the Meadowlark Acres lot split plat map that included the creation of two 1.1-net acre residential R-43 lots (6700 E Meadowlark Lane and 6701 E Hummingbird Lane) from the original 10-gross acre church property. Several amendments to the Special Use Permit occurred over the years as described in Attachment E. The latest amendment being a replacement monument sign in 2019. Other than the request to sell off 1.0-net acres of the 6.3-net acre church property, the church plans no other changes on the church site (e.g. no new structures, parking, exterior lighting, or other improvements). Except for landscaping described in more detail below, the property is in compliance to past approvals based on available information.

The reduction of the church site area requires a Minor SUP Amendment, review any potential impact of the site area reduction to the Special Use Permit Guidelines, and to review other impacts like drainage. Section 1102.7.B of the Zoning Ordinance requires the request meet four criteria to be a Minor SUP Amendment. The Planning Commission will need to take two actions during the public hearing (yet to be scheduled). This includes an action to determine the request is a Minor SUP Amendment and the second action to deny or approve the Minor SUP Amendment with any stipulations.

The application request to reduce the church site area meets the Minor SUP Amendment criteria as outlined below:

1. Change or add any uses.

There are no proposed changes or addition of uses than already exist or approved at this church with this application request.

2. Increase the floor area of the project by more than 5000 square feet or constitute an increase of more than 15% upon the existing or, if still under construction, approved floor area square footage of the affected SUP property, whichever is less, with any such increase to be measured cumulatively over a sixty month period.

There are no proposed structures on the remaining church property with this request. The church site has 11,691 square feet of dripline/footprint and 15,823 square feet of total square footage. As such, there is no increase in square footage. However, the reduction in site area increases the lot coverage and floor area percentages. The lot coverage will increase from 4.2% to 5.0%, well within the SUP Guideline of 25.0%. The floor area ratio will increase from 5.7% to 6.8%, with no SUP Guideline on floor area. The reduced lot size for the church site at 5.3 acres exceeds the suggested SUP Guideline minimum lot area of 5.0 acres.

3. Have any material effect on the adjoining property owners that is visible, audible, or otherwise perceptible from adjacent properties that cannot be sufficiently mitigated.

The church structure/uses are not changing and will not impact adjacent properties. The new residential lot will be closer to the existing church building. However, the lot owner purchasing the lot will be aware of the adjoining church use. The reduced lot for the church site meets SUP Guidelines in that the nearest church structure will be more than a 100-foot setback from the new residential lot (60' suggested).

The request to split off a residential lot creates a new shared property line between an SUP-zoned lot and an R-43-zoned lot. SUP Guidelines not met to these new shared lot lines include:

- (a) Ten existing parking spaces of the south parking lot will have an approximate minimum 12-foot setback to the new shared lot line instead of the suggested SUP Guideline for a 60-foot setback for parking lots adjoining residential uses. The new owner of the proposed lot will be aware of this condition before purchasing the lot.
- (b) The SUP Guidelines suggest a 40-foot landscape buffer adjoining residential property. The church site presently complies with a minimum 60-foot wide buffer. The proposed R-43 lot results in a reduced buffer adjoining the existing south parking lot as noted above.
- (c) There is no proposed perimeter wall along the proposed shared lot lines of the R-43 lot. Although, the owner of the new R-43 lot will likely construct a wall along the shared lot line with the church. The Town Zoning Ordinance allows for an 8-foot tall wall along property zoned SUP. The SUP Guidelines suggest parking lots be shielded with a minimum 3-foot tall wall or a landscaped berm providing equivalent screening or a combination of both so that no vehicle lights shine onto adjacent residentially zoned property. The SUP Guidelines have a similar criteria along public streets. The existing parking lot was approved in 2002 without any screening.

4. Change the architectural style of the existing Special Use Permit.

The church structure/uses are not changing and will not impact adjacent properties. The new residential lot will be closer to the existing church site. However, the lot owner purchasing the lot will be aware of the adjoining church use.

Non-Administrative Lot Modification

The request to create a minimum one-net acre residential lot requires approval of a Non-Administrative Lot Modification application of the plat map of "Meadowlark Acres," approved by the Town in 1977. Pursuant to Section 6-9-7.D of the Town Code a Non-Administrative Lot Modification application (e.g. Lot Split, Lot Split (Exempt), Lot Line Adjustment, Easement Modification) on property with Special Use Permit zoning shall follow the final plat/map process in accordance with Section 6-2 of the Town Code. The typical final plat/map process requires only Council review and approval, unless the final plat/map does not comply with the stipulations or has substantial differences from the preliminary plat/map. Being that the plat map request is dependent upon the Minor SUP and other noted applications, staff finds that Planning Commission recommendation is necessary, requiring Council action on the Non-Administrative Lot Modification application within 40 calendar days of the Planning Commission recommendation instead of 40 calendar days of the application filing.

1. Right-of-Way/Road Improvements

No additional right-of-way is required. The subject site has street frontage adjoining the north, east, and south. Hummingbird Lane to the north and Meadowlark Lane to the south are designated local streets with a suggested total right-of-way width of 50 feet. Both of these streets have a 66-foot right-of-way width. Mockingbird Lane is to the east. It is a Minor Arterial with a right-of-way width of 80 feet which complies with the appropriate street cross sections of the General Plan.

No adjoining roadway or sidewalks improvements are required. The existing travel lanes, curbing, and sidewalk along Mockingbird Lane complies with the appropriate street cross sections of the Town General Plan.

2. Traffic

Per the Town Engineer, a traffic study is not required. As a new residential lot will be created, this may increase vehicular and pedestrian traffic. However, it is not expected to cause a significant increase in traffic. The Trip Generation Manual by the Institute of Transportation Engineers estimates the typical single-family detached home averages between 8.78 to 10.09 vehicle trip ends per day. There are no proposed changes to the operation of the church, changes to the church driveways, or any new physical improvements that merit a traffic study.

3. Lot Configuration

The proposed plat map meets all area requirements for an R-43 lot, including size, lot width, access to a public street, and setbacks. As noted previously, the reduced lot size for the church site at 5.3 acres exceeds the suggested SUP Guideline minimum lot area of 5.0 acres.

4. Existing Structures

There are no existing structures on the proposed R-43 lot. Approval of the application requests noted in this staff report will allow for the owner of the residential lot to landscape and construct residential structures in accordance with the R-43 Single-Family Residential District via the Town's building permit process. As described under Special Use Permit (SUP) Amendment above, there are no changes to the existing structures on the church site. Attachment E includes an ALTA survey.

5. Drainage

There are no washes on the subject site. As such, no drainage easements are needed. The new residential lot will require an individual engineering site/grading and drainage plan with the building permit application submittal for a new home (although the applicant provided one for the R-43 lot). On-lot retention will be required with the development of this lot. Based on the grading and drainage plan for the remaining church site, the applicant will be adding three new retention basins in the south part of the site and removal of the existing rocks along Hummingbird Lane that affect stormwater flow.

6. Utilities

Each of the proposed lots will have the required 6 or 8-foot public utility easement along the perimeter of the lots in accordance with Section 6-3-3 of the Town Code. All typical utilities will be provided; such as water, electricity, and natural gas. The new home on Lot 1B will be connected to Paradise Valley sewer as sewer lines exist within Meadowlark Lane (and the other streets adjoining the church).

7. Fire Protection Issues:

The proposed R-43 lot, along with the existing church, meets the standards related to fire protection as noted below. Both lots have direct access onto a public roadway and are within 400 feet of an existing fire hydrant. There is an existing fire hydrant along Meadowlark Lane near the monument sign for the church. The nearest fire hydrant to the proposed R-43 lot is 370 feet west along Meadowlark Lane at the southwest corner of 6550 E Meadowlark Lane. The new home that will be constructed as a result of this plat map will have fire sprinklers in accordance with the Town Fire Code.

The applicant has provided water service impact documentation. The site is located within the City of Phoenix service area. The documentation demonstrates that the water system falls short of the required flow rate of 1,500 gpm at the residual zone pressure of 20 psi (tested at 1,087 gpm). As in past instances for low water pressure, the approval will include a stipulation (code requirement) that “The property owner(s) or designee(s) shall demonstrate that the fire sprinkler system is in compliance with the National Fire Protection Association standard 13D or the current equivalent code requirement.”

8. Landscaping

There is no existing or previously approved landscaping within the area of the proposed R-43 lot or north of this proposed lot with prior Special Use Permit amendments at the church. In 2002, the Town approved the existing parking lots and perimeter landscaping as shown on Attachment D. Based on an aerial inspection, there are several places the landscaping no longer complies with these plans as illustrated on Attachment G. This is the circumstance near the area of the ten existing parking spaces adjacent to the proposed R-43 lot and the parking lot median east of this area, groundcover/shrubs in the landscape areas at the northwest corner of Mockingbird Lane/Meadowlark Lane, landscaping along Mockingbird lane between the north entrance and Hummingbird Lane, a couple missing trees east of the Hummingbird entrance, and missing trees along the south parking spaces in the north parking lot. The applicant submitted a landscape plan showing the type, size, and quantify of plants in the landscape buffer adjoining the north and east portion of Lot 1B on Attachment G. Planning Commission direction is sought regarding landscaping.

COMMENTS & NOTICING

The Town requires no noticing for work sessions. To date, no persons contacted Town staff about the application requests.

The Town Code requires an applicant for all rezoning applications hold a Citizen Review Session (neighborhood meeting) at least ten days prior to the Planning Commission recommendation and noticing of that meeting at least ten days prior to the neighborhood meeting. The Town Code and/or policy is for mailing notice to property owners within 1,500 feet of the subject site and a newspaper advertisement at least 15 days prior to any meeting action is taken for all the requested applications (except for the non-administrative land modification requiring by policy only a mailing notification to property owners within 500 feet). Noticing of all the four application requests will follow the rezoning noticing procedures since the four application processes are concurrent.

NEXT STEPS

The tentative meeting schedule is an applicant Citizen Review Session (neighborhood meeting) in early March, a second Planning Commission work session on March 16th after the neighborhood meeting, Planning Commission Public Hearing/Meeting on April 6th, Town Council discussion May 13th and/or May 27th, and Council Public Hearing/Meeting on June 10th. Actual meeting dates may vary depending on discussion and input on this request.

ATTACHMENT(S):

- A. Staff Report
- B. Vicinity Map (Aerial/General Plan/Zoning)
- C. Application - Narrative
- D. SUP History
- E. Water-Utility Information
- F. ALTA & Proposed Maps



VICINITY MAP

Subject Property



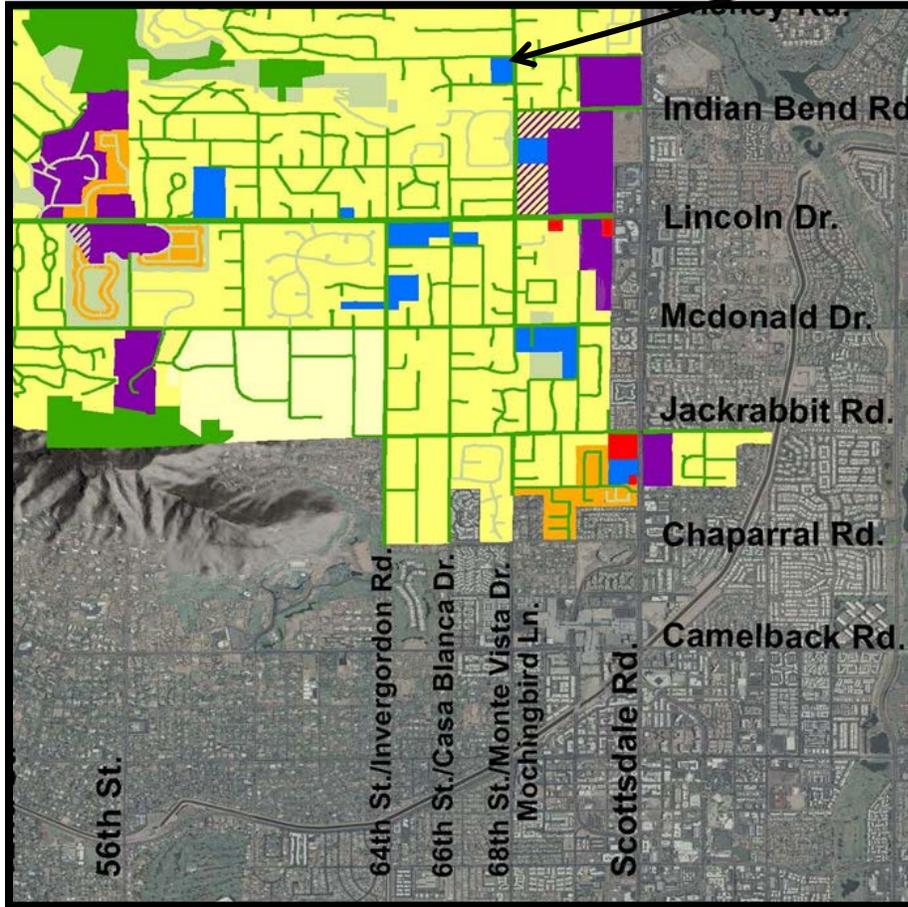
Ascension Lutheran Church SUP

7100 N Mockingbird Lane



GENERAL PLAN

Subject Property



Legend

- | | |
|--|---------------------|
| Low Density Residential OR Resort/Country Club | Private Open Space |
| Private Open Space OR Resort/Country Club | Public Open Space |
| Very Low Density Residential | Medical Office |
| Low Density Residential | Public/Quasi Public |
| Medium Density Residential | Resort/Country Club |

Ascension Lutheran Church SUP

7100 N Mockingbird Lane



ZONING

Subject Property



Zoning	
	R-43S
	R-10
	R-18
	R-18A
	R-18CP
	R-35
	R-35A
	R-35CP
	R-43
	R-43CP
	R-175
	SUP-O
	SUP-P
	SUP-R
	OSP

Ascension Lutheran Church SUP

7100 N Mockingbird Lane



RECEIVED
DEC 08 2020

NARRATIVE FOR PURPOSE OF REZONING AND SALE OF LAND PARCEL

Ascension Lutheran Church
7100 N. Mockingbird lane
Paradise valley, AZ 85253
480-948-6050
ascensionoffice@aol.com

Throughout the years, Ascension Lutheran Church has gone through the same financial challenges as most mainstream church congregations. Those challenges continue. One of the main reasons given for this societal change is quoted in the Pew Report: "The predominant reason offered for not attending worship services is that people practice their faith in other ways rather than attending church."

Of course, the Covid-19 Virus epidemic which swept over our country has wreaked financial havoc with even the most successful churches across the land. It has eliminated church attendance due to social distancing and therefore greatly lessened all financial giving.

Ascension Lutheran Church is requesting to change Minor General Plan Amendment to change the General Plan designation on an approximate 1.1-acre parcel of land on the Ascension Lutheran Church property located a 7100 N. Mockingbird Lane from "Public/Quasi Public" to "Low Density Residential."

Additionally, Ascension Lutheran Church is requesting rezoning of an approximately 1.1-acre parcel of land on the church property located at 7100 N. Mockingbird Lane from "Special Use Permit – Religious Facility" to "R-43, Single Family Residential District."

Additionally, Ascension Lutheran Church is requesting to amend the Minor Special Uses Permit reflecting the reduced area from the church 6.3 acres to 5.1 acres.

There are no proposed changes to any structures or uses on the remaining church parcel.

This request includes a replat to amend the Meadowlark Acres plat to create a new R-43 residential lot.

There are no other proposed changes.

This request meets the Minor SUP criteria that identifies each of the four criteria and specifically how the criteria are met.

1. There are no proposed changes to any structures or uses on the remaining church parcel.
2. This proposal does not increase the floor area of the project by more than 5000 square feet or constitute an increase of more than 15% upon the existing if still under construction, approved floor area square footage of the affected SUP property, whichever is less, with any such increase to be measured cumulatively over a sixty month period. The proposed reduced lot size from 6.329 net acres to 5.353 net acres is within the suggested Special Use Permit Guidelines. The footprint of the existing structures totals 11,691 square feet. (referenced a 2002 site plan) which currently has a lot coverage of 4.2% and will increase to a lot coverage of 5.0% (well below the suggested lot coverage guideline of 25.0%) The reduced lot size with the church at 5.353 acres still exceeds the suggested minimum lot area of 5.0 acres.
3. The church structure/uses are not changing and will not impact adjacent properties. The new residential lot will be closer to the existing church site.
However, the lot owner purchasing the lot will be aware of the adjoining church use. The reduced lot for the church site meets Special Use Permit Guidelines in that the nearest church structure will be 100-foot setback from the new residential lot (60' suggested). However, the proposed residential lot will not meet some Special Use Permit Guidelines (60-foot setback for parking lots, 3-foot berm/landscape to shield parking lot lights, and 40-foot landscape buffer). A 3-foot screen will be mitigated when the new lot constructs their perimeter wall, landscaping the church plans to add adjoining along this new lot.
4. There are no architectural changes as there are no new structures or changes to the existing church buildings.

The Minor Special Uses Permit is met as there is no increase in the floor area of the project by more than 5000 square feet or constitute an increase of more than 15% upon the existing or, if still under construction, approved floor area square footage of the affected SUP property, whichever is less, with any such increase to be measured cumulatively over a sixty month period.

With the infusion of the sale proceeds, the result is that Ascension Lutheran Church would be better suited financially to continue its community outreach programs well into the future. Ascension wishes to continue to be the "good neighbor" it has been for the past 20 years.

MINOR GENERAL PLAN AMENDMENT APPLICATION

PARCEL NO.: 174-51-033
(County Tax Assessor Number)

DATE: 5/25/20

NAME OF SUBDIVISION OR PARCEL: Lot 1 - Meadowlark Acres

ADDRESS OR LOCATION OF PROPERTY: 7100 N. Mockingbird Ln.
Paradise Valley, AZ 85253

OWNER: Ascension Lutheran Church, Inc., Paradise Valley, AZ
NAME

7100 N. Mockingbird Ln. (480) 948-6050
ADDRESS Paradise Valley, AZ 85253 PHONE #

EMAIL ascensionoffice@aol.com

X Thomas Mueller
SIGNATURE OF OWNER

AUTHORIZED AGENT:
NAME Thomas Mueller

7100 N. Mockingbird Ln., Paradise Valley, AZ 85253
ADDRESS

(480) 948-6050 (480) 368-2682
PHONE # FAX #

EMAIL ascensionoffice@aol.com

X Thomas Mueller
SIGNATURE OF AUTHORIZED AGENT

MINOR GENERAL PLAN AMENDMENT APPLICATION

(REQUIRED) PLEASE PROVIDE A NARRATIVE/DESCRIPTION OF THE PROPOSAL

(Please Attach Additional Sheets as Necessary):

Narrative follows

OWNER/AGENT SIGNATURE Thomas Mueller

PRINTED NAME Thomas Mueller

COMPANY Ascension Lutheran Church, Paradise Valley, AZ

DATE 5/25/20

EMAIL ascensionoffice@aol.com

If you have questions regarding the items on this checklist, contact your project planner.

Project Planner Paul Michaud Phone 480-368-3574

Email pmichaud@paradisivalleyaz.gov

Ascension Lutheran Church • 7100 North Mockingbird Lane • Paradise Valley,
AZ 85253 www.ascensionparadisevalley.org

Church Office: (480) 948-6050 Fax: (480) 368-2682

Email: ascensionoffice@aol.com

MINOR GENERAL PLAN AMENDMENT CITIZEN REVIEW PLAN MAY 25, 2020

In accordance with the Minor General Plan Amendment requirements, this Citizen Review Plan is submitted for a 6.6138-acre parcel currently owned by Ascension Lutheran Church Inc., Paradise Valley, AZ. This Plan provides for effective, early and continuous public participation and complies with the following requirements pursuant to Section 2-5-2.F of the Town Code.

The broad dissemination of proposals and alternatives,

- a. Sufficient time to learn the substance of the application
- b. Enough information to determine residents that might be impacted by the application
- c. An opportunity to communicate issues or concerns with respect to the application at an early stage in the process prior to public hearings

An aerial photograph has been submitted to the Town indicating the location of the 6.6138-acre parcel, surrounding areas, and adjacent streets. Also, a narrative has been submitted to facilitate the public's easy access to information concerning this Minor General Plan Amendment. A hard copy of the project submittal will be kept on file at the Town of Paradise Valley Planning Division and an electronic version of the submittal may be posted on the Town's website so that all Town residents will have immediate notice of the application. Information will also be provided for contacting the Applicant's representative for additional information.

^{10 days PER S.E.T 2-5-2.F.3.b}
A neighborhood meeting will be held at least 28 days prior to the Planning Commission public hearing, All Paradise Valley homeowners within a 1,500-foot radius of the perimeter of the 6.6138-acre site will be invited to attend the neighborhood meeting. Written notice of the proposed Minor General Plan Amendment for the site will be mailed to all residents within the designated notice area at least two weeks prior to the neighborhood meeting. The notice will include (1) a cover letter describing the date, time, and location of the neighborhood meeting, (2) sufficient details about the application, (3) the General Plan Amendment narrative.

At the neighborhood meeting, materials will be provided explaining the application requests. Applicant representatives will provide information about the proposed

residential development. Meeting attendees will be asked to fill out a sign-in sheet and comment cards. There may be follow-up neighborhood meetings and contacts, if necessary.

All required public hearing notices will be provided in coordination with Town staff. This includes early onsite signage posting notification as may be required by the Town. The applicant will submit to the Town's Planning Division a Citizen Review Report following the neighborhood meeting. This Citizen Review Report will incorporate public comments received during the meeting and will provide an explanation as to how public concerns will be addressed. A copy of the neighborhood meeting sign-in sheet and comment cards will be attached to the Citizen Review Report and will be submitted to the Town Planning Division. The Citizen Review Report may be updated as necessary prior to the initial Planning Commission public hearing.

MI-20-03

APPENDIX "F"
TOWN OF PARADISE VALLEY
APPLICATION TO REZONE FROM PDP TO LDR

PARCEL NO.: 174-51-033
(County Tax Assessor Number)

DATE: 5/25/20

NAME OF PROJECT: Re-plat Lot 1 of Meadowlark Acres

LOCATION OF PROPERTY: 7100 N Mockingbird Lane
Paradise Valley, AZ 85253

LOT: 1 SUBDIVISION: Meadowlark Acres

APPLICANT: Ascension Lutheran Church, Inc., Paradise Valley, AZ
7100 N. Mockingbird Ln., Paradise Valley, AZ 85253 480-948-6050
ADDRESS PHONE #

ENGINEER/OTHER: _____
NAME

ADDRESS PHONE #

ARCHITECT: _____
NAME

ADDRESS PHONE #

OWNER: Thomas Mueller Thomas Mueller
PRINTED NAME SIGNATURE
7100 N Mockingbird Ln., Paradise Valley, AZ 85253 480-948-6050
ADDRESS PHONE #

Thomas Mueller
SIGNATURE OF REPRESENTATIVE

APPLICATION TO REZONE FROM POP TO LDR

BRIEF DESCRIPTION OF PROPOSED DEVELOPMENT: Creation of
residential single-family lot on the
church property

REASONS FOR REQUESTING REZONING FROM R-43 TO _____ (ATTACH ALL
DOCUMENTS): See Narrative

NAME(S), ADDRESS(ES), AND TELEPHONE NUMBER(S) OF OWNER(S) OF AFFECTED
PROPERTY:

<u>NAME</u>	<u>ADDRESS</u>	<u>PHONE</u>
Thomas Mueller	7100 N. Mockingbird Lane Paradise Valley, AZ 85253	480-948-6058



COMMUNITY DEVELOPMENT DEPARTMENT SPECIAL USE PERMIT APPLICATION GUIDE

Town of Paradise Valley • 6401 East Lincoln Drive • Paradise Valley, Arizona 85253 • Phone: (480) 348-3693

APPLICANT & CONTACT INFORMATION

Please check the appropriate box for the Type(s) of Application(s) you are requesting

Special Use Permit

- | | |
|---|--|
| <input type="checkbox"/> Managerial Amendment | <input type="checkbox"/> Intermediate Amendment |
| <input checked="" type="checkbox"/> Minor Amendment | <input type="checkbox"/> Major Amendment/New SUP |

Project Name: Change the existing "Public/Quasi-Public" designation of the General Plan for the proposed residential lot to "Low Density Residential"

Date: 5/25/20 Existing Zoning: PQP/SUP Proposed Zoning: IA-PQP Net Acres: IA- 5.1946 AC
IB-LDR(243) IB-1.1192 AC

Property Address: 7100 N. Mockingbird Lane, Paradise Valley, AZ 85253

Assessor's Parcel Number: 174-51-033

Owner: Ascension Lutheran Church

Address: 7100 N. Mockingbird Lane

Phone number: 480-948-6050

Email address: ascensionoffice@aol.com

Signature: Thomas Mueller
 (Or provide a separate letter of authorization)

Applicant/Representative: Thomas Mueller

Company Name (if Applicable): Ascension Lutheran Church, Inc Paradise

Address: 7100 N. Mockingbird Lane, Paradise Valley, Valley, AZ
AZ 85253

Phone number: 480-948-6050

Email address: ascensionoffice@aol.com

Signature: Thomas Mueller

THE ABOVE APPLICANT HEREBY APPLIES FOR AN APPLICATION AS INDICATED IN THE SUBMITTED NARRATIVE, PLANS, AND DOCUMENTS IN ACCORDANCE WITH THE TOWN CODE AND TOWN POLICIES.

FOR DEPARTMENTAL USE ONLY

App.#: _____ Submittal Date: _____ Expiration Date: _____

Unofficial
Document

20020391063

C1
Pa 4/17/02

FIRST AMERICAN TITLE

When recorded, return to:
Gallagher & Kennedy, P.A.
2575 E. Camelback Road, 11th Floor
Phoenix, Arizona 85016-9225
Attn: John E. Lundin

336-1901267

1/2

SPECIAL WARRANTY DEED

For the consideration of Ten Dollars (\$10.00) and other valuable considerations, ASCENSION LUTHERAN CHURCH, INC., an Arizona corporation ("Grantor"), hereby conveys to ASCENSION LUTHERAN CHURCH, INC., PARADISE VALLEY, ARIZONA, an Arizona non-profit corporation ("Grantee"), the following real property situated in Maricopa County, Arizona, together with all rights and privileges appurtenant thereto:

Lot 1, of MEADOWLARK ACRES, according to the plat of record in the office of the County Recorder of Maricopa County, Arizona, recorded in Book 194 of Maps, Page 11

SUBJECT to all taxes and other assessments, reservations in patents and all easements, rights-of-way, encumbrances, liens, covenants, conditions, reservations, restrictions, obligations, exceptions and liabilities as may appear of record.

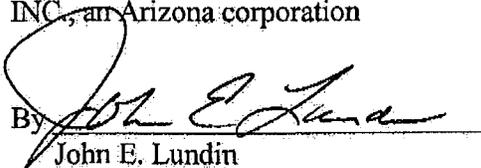
Grantor hereby binds itself and its successors to warrant and defend the title, as against all acts of Grantor herein and none other, subject to the matters above set forth.

DATED this 9th day of April, 2002.

This Transfer is Exempt
from the Affidavit
and Transfer Tax
under ARS 11-1134

B7

ASCENSION LUTHERAN CHURCH,
INC., an Arizona corporation

By 

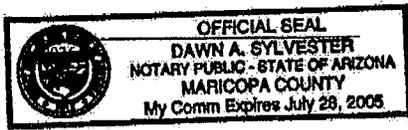
John E. Lundin
Authorized Member
"Grantor"

STATE OF ARIZONA)
) ss.
County of Maricopa)

Acknowledged before me this 9th day of April, 2002, by ASCENSION LUTHERAN CHURCH, INC., an Arizona corporation, by John E. Lundin, its Authorized Member.


Notary Public

My commission expires:



Unofficial Document

RP-20-01

TOWN OF PARADISE VALLEY
APPLICATION FOR LOT LINE ADJUSTMENTS, REPLAT, LOT COMBINATIONS, AND
EXEMPT LOT SPLITS

PARCEL NO.: 174-51-033
(County Tax Assessor Number)

DATE: 5/25/20

NAME OF SUBDIVISION: Meadowlark Acres

If property or properties are not in a subdivision checkbox:

If property or properties are both in and out of a subdivision check box:

ADDRESS OR LOCATION OF PROPERTY: 7100 N. Mockingbird Ln.
Paradise Valley, AZ 85253

OWNER: Thomas Mueller
NAME

7100 N. Mockingbird Ln, Paradise Valley, AZ 85253 480-948-6050
ADDRESS PHONE #

Thomas Mueller
SIGNATURE OF OWNER

All owners of the property or properties must sign the application or submit an original signed letter acknowledging the processing of this application.

REPRESENTATIVE: Thomas Mueller Ascension Lutheran Church
NAME COMPANY

7100 N Mockingbird Lane, Paradise Valley, AZ 85253
ADDRESS

480-948-6050 480-368-2682
PHONE # FAX #

Thomas Mueller
SIGNATURE OF REPRESENTATIVE

If representative is same as owner listed on this application check box

The listed representative will be the primary contact on this application. The Town will send all correspondence on this application to the listed representative, unless otherwise notated.

46 January 21, 2003 Minor SUP Amendment (SUP-02-01)

47
48 *Approval of a Minor SUP amendment authorizing the use of a high-pressure sodium*
49 *light source, rather than a low-pressure sodium light source, for the bollard parking*
50 *lot lights approved by the Planning Commission on November 19, 2002, subject to*
51 *the following stipulations:*

- 52
- 53 1. Amending Stipulation 7 from SUP 02-01 that All parking lot lighting shall be
54 installed in compliance with the Lighting Plan, ES-1, presented to the Planning
55 Commission on December 17, 2002 [*No updated plans on record*]; and
56
- 57 2. The three different zoning of the lights to be operational by January 31, 2003.
58

59 November 19, 2002 Minor SUP Amendment (SUP-02-01)

60
61 *Approval of a minor SUP amendment for the installation of 93 additional parking*
62 *spaces, 37 new bollard lights, additional parking lot landscaping, and an access gate*
63 *along Hummingbird Lane, subject to the following stipulations:*

- 64
- 65 1. The Special Use Permit for the proposed amendment shall be in substantial
66 conformance with:
 - 67 • The Site Plan dated April 18, 2002, prepared by Evans, Kuhn, and
68 Assoc., Inc.
 - 69 • The Landscape Plan dated May 28, 2002, prepared by Laskin and
70 Assoc., Inc-sheets LA-1 to LA-6.
 - 71 • The Electrical Plan dated July 26, 2002, prepared by Peterson
72 Associates, --sheets ES-1 to ES-3.
 - 73 • The Grading and Drainage Plans dated July 23, 2002 prepared by
74 Evans, Kuhn, and Assoc., Inc. – sheets C1.01 to C1.05.
- 75
- 76 2. The bollard lights shall not be lit before dusk or after 10 p.m. daily.
77
- 78 3. The improvements to Meadowlark Lane shall be completed within close
79 proximity of the parking lot improvements in coordination with the Town
80 Engineer.
81
- 82 4. Decomposed granite shall be installed on the unimproved areas of the site that
83 will be used for overflow parking. The granite shall be desert colored at a size
84 acceptable to the Town Engineer.
- 85 5. The parking lot gate shall remain open during all church activities that require
86 parking in the north lot.
87
- 88 6. The location of the bollards in the south parking lot are lowered and moved to
89 the end of the parking island similar to those in the north parking lot.
90
- 91 7. All new parking lot bollard light fixtures shall be low-pressure sodium light
92 sources.

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- 8. All light fixtures will be on automated timers.
- 9. All overflow parking must be accessible via drive curb cuts as shown in sheet C-1.
- 10. The north gate will be located 30-feet back of the existing curb as shown on sheet C-1.
- 11. Extend the landscaping design from the west end of the property to the south end side of the property boundary on the north side of Meadowlark Lane in keeping with the approved landscape plan.
- 12. To allow the Applicant to delay the interior landscaping portion of the plan but complete the perimeter landscaping concurrent with the hard scape improvements

December 7, 1999 Minor SUP Amendment (SUP-99-07)

Approval to modify previously approved columbarium design, subject to the following stipulations:

- 1. The applicant shall submit a mylar of the revised master plan and memorial garden site plan reflecting the columbarium design changes prior to the issuance of a building permit.
- 2. All landscaping for the memorial garden shall conform to the landscape plan approved as part of the January 9, 1997 amendment to the special use permit.

May 12, 1998 Minor SUP Amendment (SUP-98-01)

Approval by the Special Use Permit Review Committee (SUPREC) to add an accessible ramp on east side of church, along with low level lighting and landscape modifications adjacent to the ramp area, subject to the following stipulations:

- 1. That no building permit be issued until Town staff is satisfied with the maintenance of existing landscaping on the Church property.
- 2. That new proposed landscaping be installed at the applicant's convenience, but within 12 months after commencement of the ramp construction.

137 January 9, 1997

Major SUP Amendment (SUP-96-01)

138
139 *Approval to authorize a preschool and allow for the construction of a memorial*
140 *garden, subject to the following stipulations:*

- 141
142 1. That the memorial garden plan be approved including the proposed six
143 columbaria each to be constructed within a three-month time frame from start
144 to finish after issuance of a building permit, but that the proposed parking lot
145 lighting and restroom addition be shown on the Master Plan for information
146 purposes only, and that no construction related to either of these features may
147 take place until the Church applies for and receives approval of a major
148 amendment to their Special Use Permit.
- 149
150 2. That a preschool be authorized with a limit of no more than 46 children on the
151 property on any one day with hours of operation restricted to 9:00 a.m. to 4
152 p.m.
- 153
154 3. That the Church submit the revised Master Plan and Landscape Plan as
155 approved by the Council clearly showing all structures shown for construction
156 at this time and those shown for information purposes only on 24 x 36 inch
157 mylar to the Planning Department no later than 30 days after Town Council
158 approval. [*No plans on record*]
- 159
160 4. The connection to the sewer shall be made within 1 year of the completion of
161 the first columbarium but in any event, within 18 months of approval of this
162 amendment to the special use permit.

163
164 April 10, 1995

Minor SUP Amendment (SUP-95-01)

165
166 *Approval by the Special Use Permit Review Committee (SUPREC) to construct an 8'*
167 *tall wall on the south side of the church building to screen a cooling tower, subject to*
168 *the following stipulations:*

- 169
170 1. As shown on the submitted plan marked Exhibit A, Sheets 1 and 2.

173 October 17, 1994 Minor SUP Amendment (SUP-94-01)
174 *[SUP-19-03 approved by the Planning Commission on May 21, 2019 voids this approval*
175 *as this sign will be replaced with the new monument sign]*
176

177 *Approval by the Special Use Permit Review Committee (SUPREC) for a new*
178 *monument sign along Mockingbird Lane to replace the existing monument sign,*
179 *subject to the following stipulations:*
180

- 181 1. Sign illumination shall be turned off at 10:00 p.m. except for special events.
- 182
- 183 2. New sign shall be no closer to the street than the existing sign.
- 184
- 185 3. Any additional plan material added shall conform to the right-of-way
- 186 guidelines plant palette.
- 187
- 188 4. The sign letters shall be a blue which matches the existing blue trim on the
- 189 building.
- 190

191 September 22, 1989 Minor SUP Amendment (SUP-89-01)
192

193 *Approval by the Special Use Permit Review Committee (SUPREC) to construct a 6'*
194 *tall wall to house a courtyard at the rear entrance to the church, subject to the*
195 *following stipulations:*
196

- 197 1. The addition of a six foot wall within the church property only.
- 198

199 April 19, 1985 Minor SUP Amendment (SUP-85-01)
200

201 *Approval of the construction of a 6' tall wall to house a children's playground, a*
202 *waste pen and electrical equipment, subject to the following stipulations:*
203

- 204 1. No outdoor lighting or address system will be allowed.
- 205
- 206 2. Approval is subject to the submittal of plans to the Planning Department
- 207
- 208 3. All parking Shall have a 60' setback from any residential property line.
- 209

210 September 8, 1977 Major SUP Amendment (SUP-77-01)
211

212 *Approval to convert the church use into a Special Use Permit, subject to the*
213 *following stipulations recorded at the Maricopa County Recorder in Docket 12447*
214 *Pages 1435- 1436. There are no specific stipulations provided. However, the Special*
215 *use Permit allows the property to be "used for religious purposes and such other*
216 *uses as are reasonably related to the functions of the Church" as provided in the site*
217 *plan dated September 1977.*

pharmacy, she urged the Commission not to allow controlled substances there. She expressed that they do not need another urgent care and expressed her concerns with having one there. She expressed further input on uses on the property.

Paul Couture commented that he is disappointed with the applicant because they are unwilling to compromise. He read emails he received from neighbors. He pointed specifics in which the applicants have not compromised with neighbor's desires. He noted that business hours of 8:00 a.m. to 5:00 p.m. would be better than 7:00 a.m. to 7:00 p.m. He indicated they need a compromise on both sides and all he is seeing the applicant do is adding more landscaping.

John Nelson stated that he does not feel this site should be enlarged in any way and would be a mistake.

Chairman Wainwright closed the public comments and thanked those that made comments. He also noted that comments could be emailed in.

No Reportable Action

5. PUBLIC HEARINGS

A. 19-223

Consideration of a proposed monument sign at the Ascension Lutheran Church - Minor Special Use Permit Amendment (SUP 19-03)
7100 N. Mockingbird Lane (APN: 174-51-033)

George Burton, Planner, introduced the item and shared the background and scope of the request. He noted that the Commission needs to decide if this is considered a minor special use permit (SUP) and if so to approve or deny the request. He then reviewed the stipulations.

Commissioner Campbell indicated that he felt since they have been able to consolidate their signage they should have more leeway for a bigger sign. Mr. Burton clarified what parts of the sign were illuminated. Commissioner Georgelos asked if they could take the brightness down a little. Pat Hurley, applicant, indicated they will have a vinyl shielding on it which will make it subtler.

Mr. Hurley shared more details on the sign. He stated he feels the sign complies in principle and that they have made it as small as possible. Commissioner Wastchak indicated he is supportive of the changes that have been made to the sign.

Commissioner Georgelos asked if the church has reached out to the neighbors about the sign changes. Mr. Hurley indicated they have complied

with the noticing requirements.

Commissioner Lewis stated that he is very good friends with Mr. Hurley, but he does not feel that he has a conflict of interest.

Chairman Wainwright opened the meeting for public comment.

Mr. Hurley stated that people at the church are very excited about the sign change.

Jay Harris, representative of St Barnabus church, asked if the capital improvement project for the widening of Mockingbird Lane will impact the proposed setback for the sign. It was indicated that it should not affect it.

Chairman Wainwright closed the meeting for public comment.

A motion was made by Commissioner Wastchak, seconded by Commissioner Lewis, to deem the requested amendment as a minor amendment to the Special Use Permit zoning per the criteria listed in Section 1102.7.B of the Zoning Ordinance. The motion carried by the following vote:

Aye: 7 - Commissioner Wainwright, Commissioner Anton, Commissioner Campbell, Commissioner Covington, Commissioner Georgelos, Commissioner Lewis and Commissioner Wastchak

A motion was made by Commissioner Campbell, seconded by Commissioner Anton, to replace an existing monument sign with a new monument sign located at the Ascension Lutheran Church at 7100 N. Mockingbird Lane, subject to the following stipulations:

1. **All improvements to the property shall be in substantial compliance with the Narrative, Plans, and Documents:**
 - a. **The Project Narrative;**
 - b. **Sheet 1 of 4, prepared by Arizona Commercial Signs and dated May 3, 2019;**
 - c. **Sheet 2 of 4, prepared by Arizona Commercial Signs and dated May 3, 2019;**
 - d. **Sheet 3 of 4, prepared by Arizona Commercial Signs and dated May 3, 2019;**
 - and
 - e. **Sheet 4 of 4, prepared by Arizona Commercial Signs and dated May 3, 2019.**
2. **The Ascension Lutheran Church and the Town shall sign and record a Waiver of Rights and Remedies agreement under A.R.S. § 12 1134 (Proposition 207 Waiver) in the form provided by the Town Attorney within 10 calendar days of the approval of this amendment to the Special Use Permit.**
3. **Sign illumination shall be turned off at 10:00p.m., except for special events.**
4. **All existing Special Use Permit stipulations shall remain in full force and effect, unless changed or modified by the Intermediate Amendment SUP 19-03.**
5. **Non-illuminated address numbers shall be placed on the east side of the sign, facing Mockingbird Lane.**

The motion carried by the following vote:

Aye: 7 - Commissioner Wainwright, Commissioner Anton, Commissioner Campbell, Commissioner Covington, Commissioner Georgelos, Commissioner Lewis and Commissioner Wastchak

6. STUDY SESSION ITEMS (Continued)

- A.** 19-226 Citizen Review Session Regarding Approval of Town Manager Recommendations on Changes to Article XI, Section 1102.2.B of the Zoning Ordinance
- Deborah Robberson, Deputy Town Attorney, introduced the code change to have a distance requirement between a medical marijuana dispensary and residential property. She gave background behind the code change. She noted some of the standards in surrounding cities. She then reviewed the next steps and clarified a public hearing would be held for this on June 4, 2019.
- Commissioner Campbell commented that it may not be reasonable to enact a zoning ordinance that excludes medical marijuana dispensary entirely. Indicated he would like to have an executive session that addresses this matter. Ms. Robberson suggested that they wait for the next meeting when Town Attorney, Andrew Miller, is present.
- Chairman Wainwright opened the meeting up for public comment. None were offered.
- No Reportable Action**
- B.** 19-222 Discussion of Camelback Lands 6 Lot Split (LS-19-05)
5307 North Invergordon Road (APN: 173-20-026)
- Mr. Burton introduced the item and shared the background of the request.
- Paul Mood, Town Engineer, explained further details about site drainage and noted some potential existing drainage problems.
- Mr. Burton noted they will have a public hearing for this on June 4, 2019 and that the applicant did notify all neighbors in a 500-foot radius. He added that if it gets a unanimous approval from the Commission on June 4, 2019 it will not need to move to Council.
- Discussion was made on covenants, conditions, and restrictions (CC&R). Chairman Wainwright stated the applicant should be aware of CC&R's and litigations that have happened concerning them.
- Rob Cullum commented on previous litigations and the drainage of the property. He stated they are fine complying with the storm water drainage,

Ascension Lutheran Church has been experiencing congregational growth over the past two years. The congregation has united behind a recently completed strategic plan. The upgrade and restoration of the building, a Frank Lloyd Wright inspired design by architect William Wesley Peters who was the first apprentice in Frank Lloyd Wright's Fellowship in 1932, is one of Ascension's top priorities. The current church sign is dated, in need of repair, and inadequate for the church's current needs. Due to its design there is limited space for communicating. It is on the ground and hard to see. The current sign does not reflect the iconic design of Ascension's, from its towering spire to its unique pentagon shaped building.

The new sign is far more in keeping the Frank Lloyd Wright design. It will enhance the church architecture. It will provide Ascension with a more updated communication tool. The colors in the building are picked up in the sign. Although both signs are double sided, the new sign is raised higher off the ground for better visibility. The subtle back lighting from within will make it easier to read at night and still maintain the quiet tranquility of Ascension's property and surrounding neighborhood.

There is a wide variety of church signs on Lincoln Drive, Paradise Valley Methodist Church, Paradise Valley Bible Church, and The Franciscan Renewal Retreat Center. Each sign reflects the spirit of their church community. All are attractive in their own way. We at Ascension would like to add another enhancement to Paradise Valley and our church community.



[EXISTING TO BE REMOVED] ELEVATION - SCALE: 1/4" = 1'-0"

A D/F INTERNALLY-ILLUMINATED MONUMENT STRUCTURE W/ZIP TRACK SYSTEM

SCALE: 1/2" = 1'-0"

71.33 SQ.FT. TOTAL PER SIGN FACE/SIDE

MANUFACTURE AND INSTALL (1) ONE DOUBLE-FACED UL LISTED WHITE L.E.D. INTERNALLY-ILLUMINATED ALUMINUM CONSTRUCTED MONUMENT STRUCTURE AS FOLLOWS:

"TOP", AS SPEC'D MANUFACTURE AND INSTALL (1) ONE DOUBLE-FACED NON-ILLUMINATED ALUMINUM CABINET PAINTED MATTE FINISH TO MATCH BUILDING COLORATION WITH ZIP TRACK LETTER TRACK SYSTEM (4") CONDENSED COPY WITH A TOTAL OF (124) ONE HUNDRED AND TWENTY-FOUR CHARACTERS AVAILABLE ON (3) THREE COPY LINES, INCLUDING LETTER KIT SYSTEM AS SHOWN.

"CABINET", AS SPEC'D MANUFACTURE AND INSTALL (1) ONE DOUBLE-FACED UL LISTED WHITE L.E.D. INTERNALLY-ILLUMINATED ALUMINUM CABINET PAINTED MATTE FINISH TO MATCH BUILDING COLORATION REVERSE-ROUTE COPY WITH (1") CLEAR ACRYLIC PUSH-THRU'S WITH (1ST) SURFACE TRANSLUCENT VINYL OVERLAY & (2ND) SURFACE DIFFUSER VINYL UNDERLAY AS SHOWN.

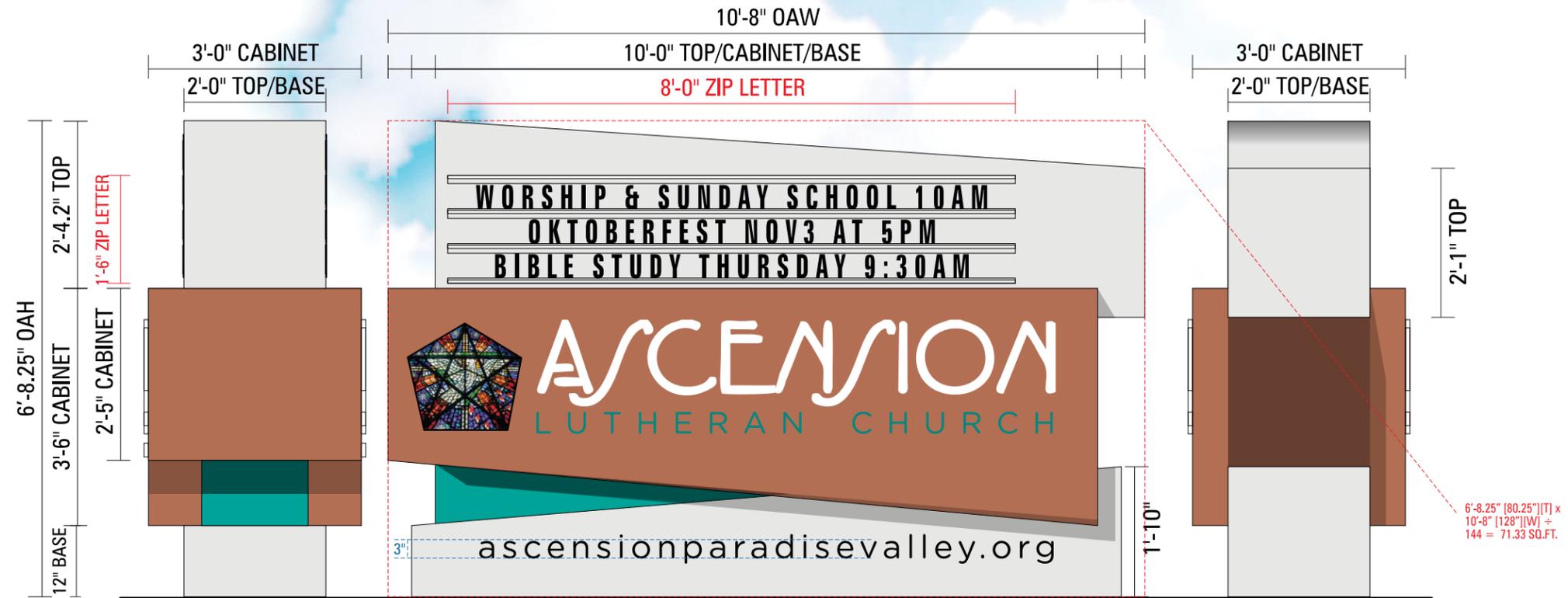
"BASE", AS SPEC'D MANUFACTURE AND INSTALL (1) ONE DOUBLE-FACED NON-ILLUMINATED ALUMINUM CABINET PAINTED MATTE FINISH TO MATCH BUILDING COLORATION WITH (1") CLEAR ACRYLIC FLAT CUT OUT DIMENSIONAL ADDRESS NUMERALS & PHONE NUMBER STUD MOUNTED FLUSH TO BASE MOUNTED FLUSH TO GRADE AS SHOWN.

*** REMOVAL AND DISPOSAL OF EXISTING MONUMENTAL SIGNAGE.

*** REQUIRES CITY DESIGN REVIEW & PERMITTING.

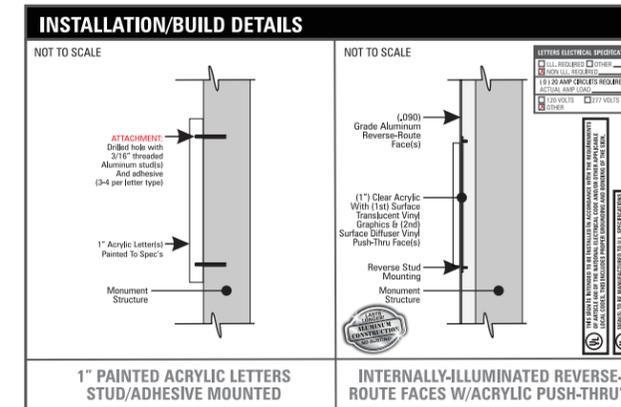
*** REQUIRES ONSITE FIELD SAKRETE CONCRETE FOOTING POUR FOR INSTALLATION MOUNTING FLUSH TO GRADE.

*** REQUIRES CLEAN VECTOR FORMAT ARTWORK TO BE PROVIDED FOR PRODUCTION PURPOSES.



COLOR SCHEDULE A

1 ACRYLIC Acrylite® Acrylics Color: "Clear" Thickness: (1") GLOSS FINISH	2 VINYL 3M™ Scotchal Translucent Graphic Film Series 3630-20 "White W/Full Color" MATTE FINISH	3 VINYL 3M™ Scotchal™ Translucent Graphic Film Series 3630-10 "WHITE" MATTE FINISH	4 VINYL 3M™ Diffuser Film Series 3635-70 Color: "White" (70% light transmission) MATTE FINISH	5 TOP/BASE 10% GRAY [TBD] TO MATCH BUILDING COLOR MATTE FINISH	6 REVEAL Matthews® Paint TO MATCH BRAND COLORATION "Teal" MATTE FINISH	7 CABINET 3M 3630-326 "TURQUOISE" MATTE FINISH	7 CABINET Dunn Edwards® Paint DE 5187 "Weathered Saddled" MATTE FINISH	8 FCO'S Matthews® Paint Black LRV 4.2 SOA929SP MATTE FINISH
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PROJECT NAME:

■ ASCENSION LUTHERAN CHURCH
7100 NORTH MOCKINGBIRD LANE
PARADISE VALLEY, ARIZONA 85253

CONTACT: THOMAS MUELLER
PHONE: 480-948-6050
EMAIL: ASCENSIONOFFICE@AOL.COM

CONTACT REP:

■ GARY DANKS - 480-577-3363

DESIGNER:

■ CHRIS HEARN

DESIGN NUMBER:

■ ASCENSION LUTHERAN 03-15-18 - R13 PERMIT

SCALE:

■ AS NOTATED

DATE:

■ 03/15/2018 10:27 AM MST, per. 05/03/2019 11:00 AM MST

REVISIONS:

1	(A) 3-LINE ZIP, BOLD "ASCENSION", P# ON BASE, MATTE	04/10/18	CH
2	COLOR SCHEMATIC UPDATE, De5187 WEATHERED SADDLE	09/25/18	CH
3	(A4) CLIENT CHOICE, OPTION "LUTHERAN CHURCH" TEAL	09/27/18	CH
4	CLIENT/PASTOR REVISIONS, PROVIDED NEW LOGO	11/01/18	CH
5	BACK TO TEAL REVEALS	11/02/18	CH

LANDLORD / DEVELOPER APPROVAL

SIGNATURE & DATE:

CUSTOMER APPROVAL
SIGNATURE & DATE:

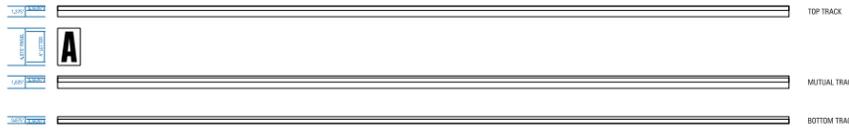
SHEET:

1 OF 4
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ARIZONA COMMERCIAL SIGNS
4018 E. WINSLOW • PHOENIX AZ 85040
OFFICE: (480) 921-9900 • FAX: (602) 437-8073

GEMINI / WAGNER ZIP TRACK SYSTEM



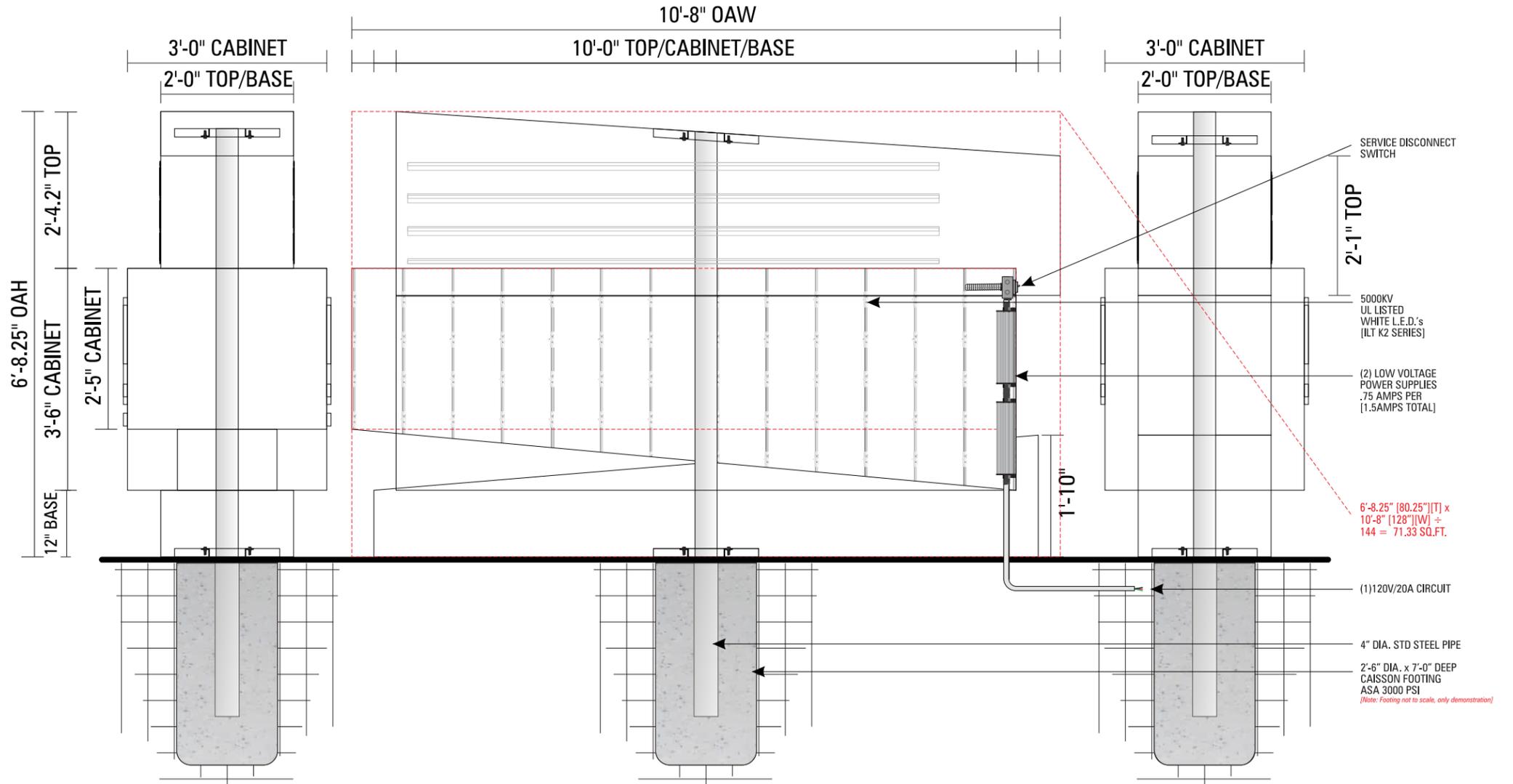
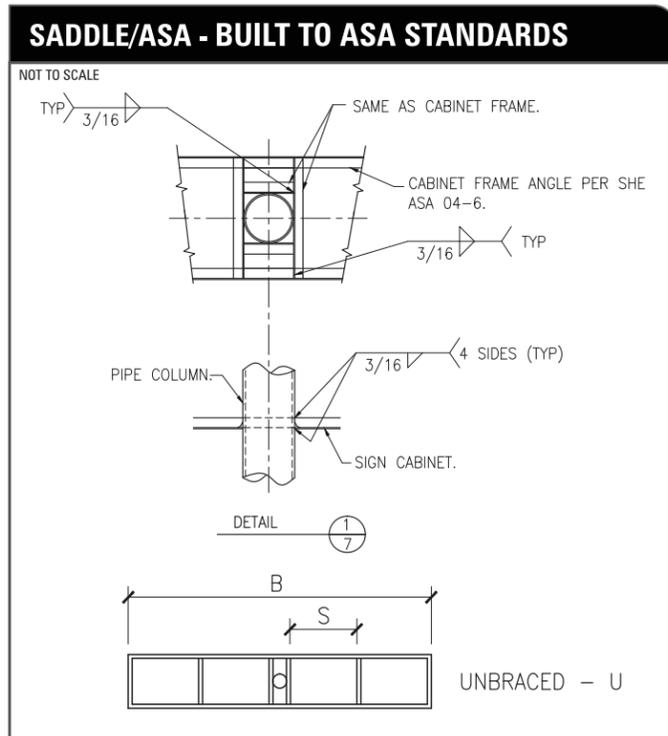
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A D/F INTERNALLY-ILLUMINATED MONUMENT STRUCTURE W/ZIP TRACK SYSTEM

SCALE: 1/2" = 1'-0"

71.33 SQ.FT. TOTAL PER SIGN FACE/SIDE



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 PARADISE VALLEY, ARIZONA 85253
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 PHONE: 480-948-6050
 EMAIL: ASCENSIONOFFICE@AOL.COM

CONTACT REP:
GARY DANKS - 480-577-3363
 DESIGNER:
CHRIS HEARN

DESIGN NUMBER:
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 SIGNATURE & DATE:

 CUSTOMER APPROVAL
 SIGNATURE & DATE:

SHEET:
2 OF 4
PERMIT

VINYL LOGISTICS

A D/F INTERNALLY-ILLUMINATED MONUMENT STRUCTURE W/ZIP TRACK SYSTEM

SCALE: 1/2" = 1'-0"

71.33 SQ.FT. TOTAL PER SIGN FACE/SIDE

3M™ Scotchcal™ Translucent Graphic Film Series 3630
3M™ Envision™ Translucent Film Series 3730

Product Bulletin 3630/3730
Release L, April 2017

3M™ Scotchcal™ Translucent Graphic Film Series 3630
3M™ Envision™ Translucent Film Series 3730

Product Description

- 2-mil, vinyl translucent films, available in crisp, clear colors (many with simulated PANTONE® color references)
- For Screen Printing, Cut Graphics, and Thermoforming
 - Use film series 3630 for fluorescent lighting applications
 - Use film series 3730 for LED applications

Product Features

- Matte surface finish eliminates glare and provides uniform color in reflected and transmitted light
- Pressure sensitive, permanent adhesive adheres to rigid and flexible substrates
- Synthetic, lay-flat liner that is not affected by water or humidity
- Cut electronically
- Thermoformable
- Permanent film
- Expected Performance Life of 7 years (unwarranted period for unprinted film with no graphic protection, applied to a flat, vertical, outdoor surface)

Recommended Types of Graphics and End Uses

- For indoor or outdoor use on internally-illuminated sign faces
- First and second surface application on rigid substrates
- First surface applications only on flexible substrates
- Thermoforming on rigid plastic substrates
- For use with fluorescent bulbs or LEDs. Typically for best results, 3M recommends:
 - film 3630 for fluorescent light applications
 - film 3730 for LED applications

When constructed and used as described in this Bulletin, these types of graphics and end uses may be warranted by the 3M™ MCS™ Warranty. Please read the entire Bulletin for details.

Special Considerations

3M recommends weeding before thermoforming when using film with red pigments. The red pigments available to film manufacturers today can stain plastic when thermoformed.

3M is very successful at helping you match day/night colors when the same color density is required in front lit and backlit graphics to maximize the effectiveness of your sign. Please contact 3M for assistance when this is a concern.

Recommended Compatible Products

Screen Printing Inks

- [3M™ Screen Printing Ink Series 1900](#)
- [3M™ Screen Printing UV Ink Series 9800](#)

Quick Links
[3M Graphics Warranties](#)
[Technical Information Selector](#)
[Safety Data Sheets \(SDS\)](#)
[Flammability](#)
[Videos](#)

Some of these links lead to web-based resources that are not product-specific.

Application Characteristics

Characteristic	Value
Finished Graphic Application Recommendation	Surface type: Flat, without rivets Surface type*: 3M flexible substrates; rigid substrates such as flat acrylic, polycarbonate**, high temperature co-polyester sheet, glass Application method: Wet or Dry, typical Application temperature: 60 °F (16°C) minimum air, substrate
Temperature Range After Application	-50 to +170 °F (-45 to +77 °C) (not for extended periods of time at the extremes) Low temperatures impacts on film applied to flexible substrates may result in cracking of the film and/or substrate
Recommended Light Source (for best results)	Film 3630: Fluorescent bulbs Film 3730: LEDs
Graphic Removal	Permanent

*These films typically adhere to solar-grade polycarbonate substrate. However, some lots of this substrate may inhibit adhesion. See [3M Instruction Bulletin 5.7](#) for additional information.

**Polycarbonate substrates require oven drying before use to remove moisture from the polycarbonate that will cause the film to bubble. Refer to manufacturers instructions for proper drying times and temperatures.

IMPORTANT NOTE

The user is responsible for determining and complying with all applicable building codes that affect the use of materials in interior and exterior awning, banner and sign face applications, including flammability standards. For more information on flammability requirements, contact your local building code officials. For information on the results of flammability testing on 3M flexible substrates, call 1-800-328-3908.

Colors

Colors shown on monitor and when printed are approximate representations of actual color available.

Some of these products are a simulation of the closest PANTONE®-identified color standard. Consult current PANTONE Color Publications for accurate color. PANTONE® is a trademark or registered trademark of Pantone LLC in the United States and/or other countries.

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IMPORTANT NOTE

All color references are based on reflected, not transmitted, light viewing.



Product Bulletin - Release L, April 2017

3

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7100 NORTH MOCKINGBIRD LANE
PARADISE VALLEY, ARIZONA 85253

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PHONE: 480-948-6050
EMAIL: ASCENSIONOFFICE@AOL.COM

CONTACT REP:

■ GARY DANKS - 480-577-3363

DESIGNER:

■ CHRIS HEARN

DESIGN NUMBER:

■ ASCENSION LUTHERAN 03-15-18 - R13 PERMIT

SCALE:

■ AS NOTATED

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■ 03/15/2018 10:27 AM MST, per. 05/03/2019 11:00 AM MST

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- 5 BACK TO TEAL REVEALS 11/02/18 CH

LANDLORD / DEVELOPER APPROVAL
SIGNATURE & DATE:

CUSTOMER APPROVAL
SIGNATURE & DATE:

SHEET:

3 OF 4
PERMIT



PROJECT PERMIT INFORMATION:

PROJECT ADDRESS:

7100 WEST MOCKINGBIRD LANE
PARADISE VALLEY, ARIZONA 85253

PROJECT SUBDIVISION:

MEADOWLARK ACRES LOT 1-3

ARIZONA PARCEL NUMBER [APN]:

174-51-033

PROPERTY ZONING:

SUP-P

[PUC]:

9270

MARICOPA COUNTY RECORDS [MCR]:

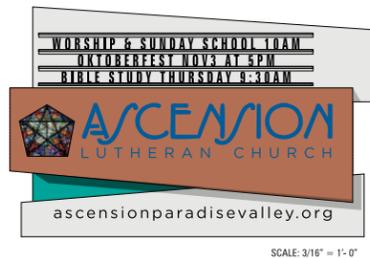
194-11

JURISDICTION:

TOWN OF PARADISE VALLEY



PROJECT DETAILS:



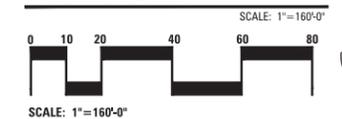
SCALE: 3/16" = 1'-0"

NOTES:



- = PROPERTY LINE
- = NEW MONUMENT
- = BACK OF CURB
- = SIGHT VISIBILITY TRIANGLE

FULL SITE PLAN



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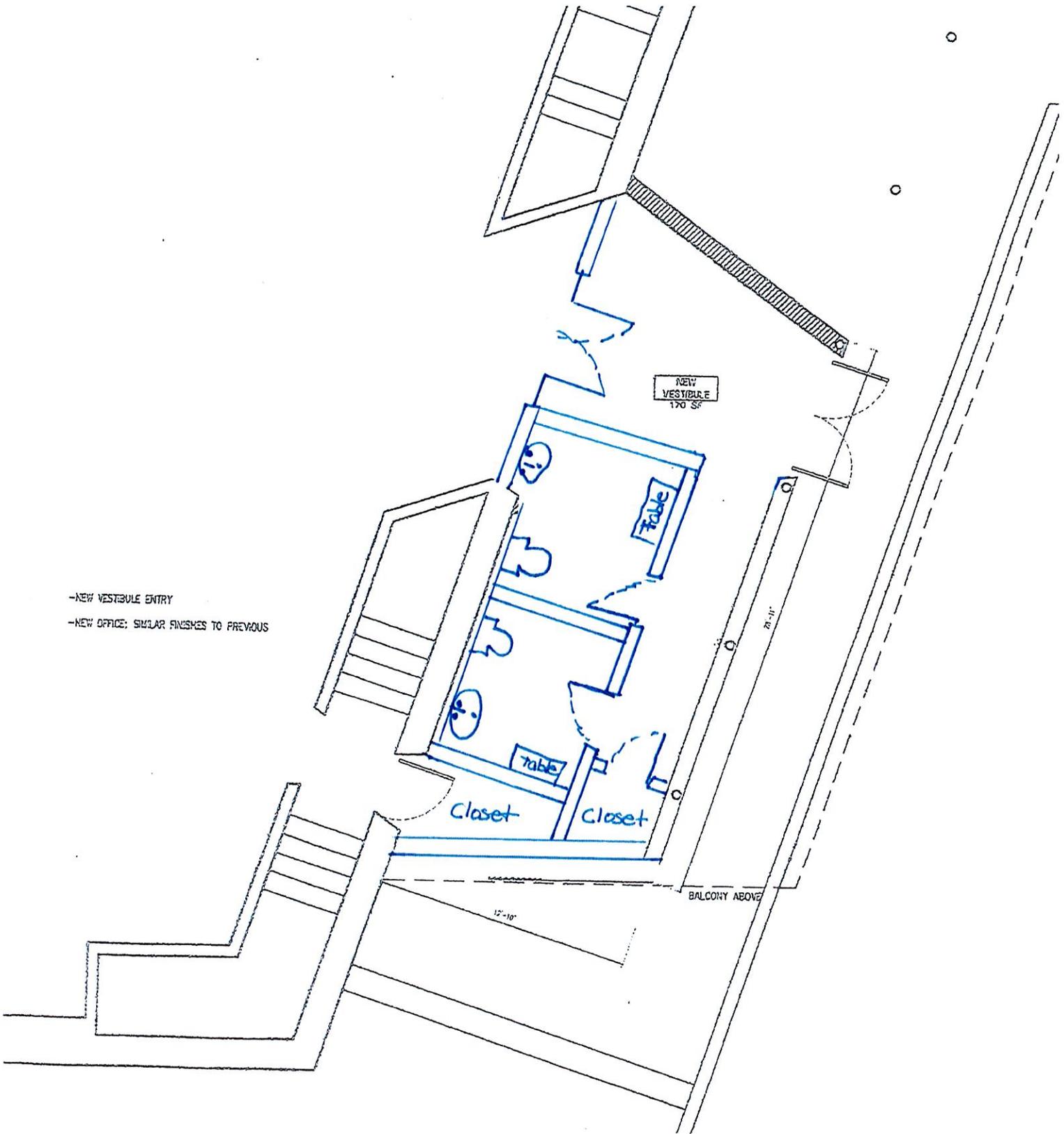
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CUSTOMER APPROVAL SIGNATURE & DATE:

SHEET:

4 OF **4**
PERMIT



- NEW VESTIBULE ENTRY
- NEW OFFICE: SIMILAR FINISHES TO PREVIOUS

08-15-17

THIS IS A COPY

Commissioner Mahrle made a motion to approve the November 5, 2002 work session meeting minutes as amended. Seconded by Commissioner Werner.

The motion passed by a vote of five (5) to zero (0), with Commissioner Strom abstaining.

Commissioner Werner made a motion to approve the November 19, 2002 work session meeting minutes as presented. Seconded by Commissioner Mahrle.

The motion passed by a vote of six (6) to zero (0).

Commissioner Mahrle made a motion to approve the November 19, 2002 regular meeting minutes as presented. Seconded by Commissioner Werner.

The motion passed by a vote of six (6) to zero (0).

Commissioner Mahrle made a motion to approve the December 3, 2002 work session meeting minutes as presented. Seconded by Commissioner Werner.

The motion passed by a vote of six (6) to zero (0).

Commissioner Strom made a motion to approve the December 17, 2002 work session meeting minutes as presented. Seconded by Commissioner Werner.

The motion passed by a vote of six (6) to zero (0).

REGULAR BUSINESS

PUBLIC HEARING Consideration of a request for an amendment to the existing Special Use Permit for Ascension Lutheran Church, located at 7100 N. Mockingbird Lane, authorizing the use of a high-pressure sodium light source, rather than a low-pressure sodium light source, for the bollard parking lot lights approved by the Planning Commission on November 19, 2002.

Mr. Arshadi presented this case as per the project coordination packet. Staff recommends the Planning Commission approve the proposed minor amendment to the Special Use Permit for Ascension Lutheran Church, authorizing the use of a high-pressure sodium light source for the parking lot lighting in compliance with the Lighting Plan, ES-1, presented to the Planning Commission on December 17, 2002.

Commissioner Adams inquired why would they have to go to 12 feet to change from high-pressure to low-pressure. Mr. Arshadi stated based on the information given by the applicant it was presented that due to the large size of the low-pressure sodium lamp and the wattage necessary to provide ample light (100 watts) the lamp could not fit into the bollard fixture. The applicant would either have to change to a 12' pole fixture or reduce the wattage in the lamp. He remarked the idea was to maintain the three-foot bollards.

Mr. Arshadi reported at the December 17, 2003 work study session, staff reported to the Planning Commission new information regarding the changes in technology and it was concluded based on the new information it would be better to use the high pressure sodium light source bollard rather than 12-foot high lighting poles.

Commissioner Strom stated he has observed the new light fixtures and felt the applicant has done a fine job. In addition, they have done a great job on the landscaping. Commissioner Werner agreed.

Parker Adeleman, Project Manager, stated he is available to answer any questions.

Chairman Campbell opened public testimony.

Barbara Parker, 6122 E. Quartz Mountain Road, inquired if the fixtures that are installed currently are low or high pressure. Chairman Campbell replied it is high pressure.

Ms. Parker stated the light spilled over that is cast from these lights appears to reflect more on the street area than it does in the parking lot. She further stated the parking lot is darker than the street. She noted the lights appear to be on every evening. She inquired if the Town has an ordinance regarding the hours of operation. Mr. Arshadi stated the lights are allowed to be on until 10:00 p.m.

Ms. Parker inquired if it was necessary to have the parking lot lights on even when there is no business or activity being conducted at the church.

Commissioner Strom stated the Commission stipulated that the parking lot would be lit in three zones to correspond with the activity levels. Scott Crawford reported they are currently working out the bugs on the three zones. He further reported they should be fixed by the end of the week.

Ms. Parker inquired about the foot-candles. Mr. Crawford provided information on the photometric study. He reported there would not be spill over at the property line.

Carol Adams, 6200 E. Quartz Mountain Road, stated they did a beautiful job with the landscaping. She further stated she was pleased to hear the lights would be done in zones. She commented as long as they keep the height of the lights low it does not matter if they use high or low pressure. She further commented she does not want them to have the lights on when nothing is going on.

Michael B. Seip, 6740 E. Hummingbird Lane, stated he just wants them to ensure that there is the least amount of spill over and glare to their properties.

Chairman Campbell closed public testimony.

Commissioner Strom stated he would suggest they approve this request with the additional stipulation that the zoning of the lights is operation in the near future.

Commissioner Strom moved to approve SUP-02-01 for the proposed minor amendment to the Special Use Permit for Ascension Lutheran Church, authorizing the use of a high-pressure sodium light source, rather than a low-pressure sodium light source, for the hollard parking lot lights approved by the Planning Commission on November 19, 2002, subject to the 12 approved stipulations with the following amendment to Stipulation No. 7:

- All parking lot lighting shall be installed in compliance with the Lighting Plan, ES-1, presented to the Planning Commission on December 17, 2002.

And with the additional stipulation:

- The three different zoning of the lights to be operational by January 31, 2003.

Seconded by Commissioner Werner.

Commissioner Adams recommended staff test the lighting prior to the January 31, 2003 when all three of the zones are going to ensure they are at the proper levels and report to the Commission. Mr. Arshadi stated staff would coordinate that with the church.

The motion passed by a vote of six (6) to zero (0).

PUBLIC MEETING: Consideration of a request for a proposed lot split of an approximate 2.5 gross acre parcel of land located at the northeast corner of Sage Drive and 74th Street, 5311 N. 74th Street.

Mr. Michaud stated the applicant has requested a continuance to the next regular Planning Commission meeting.

Kenny Walton, 5211 N. 74th Street, applicant, stated he is requesting the continuance because last week he retained legal counsel and his legal counsel was not able to get out of a prior commitment to attend the hearing.

Chairman Campbell stated there are citizens present to comment on this case so he will open public testimony.

Catherine Jennings, 7401 E. Sage, stated she would save her comments to see what happens after the continuance.

Susan Speirs, 7450 E. Sage Drive, stated she was prepared to make a presentation but would save her comments for the actual hearing. She requested the Commission continue

**TOWN OF PARADISE VALLEY
PLANNING & ZONING COMMISSION
NOVEMBER 19 2002**

FILE COPY

MINUTES

PRESENT: Scott LeMarr, Chairman
George Adams, Commissioner
Thomas Campbell, Commissioner
Gary Linthicum, Commissioner
Richard Mahrle, Commissioner
Dolf Strom, Commissioner
Louis Werner, Commissioner

STAFF: Hamid Arshadi, Community Development Director
Eva Cutro, Senior Planner
Jim Davis, Deputy Town Attorney

CALL TO ORDER

The regular meeting of the Town of Paradise Valley Planning Commission was called to order by Chairman Campbell at 7:05 p.m.

ROLL CALL

A formal roll call confirmed members present as stated above.

MINUTES APPROVAL

Commissioner LeMarr made a motion to approve the October 15, 2002 work session meeting minutes as presented. Second by Commissioner Mahrle.

The motion passed by a vote of seven (7) to zero (0).

Commissioner LeMarr made a motion to approve the October 15, 2002 regular meeting minutes as presented. Second by Commissioner Mahrle.

The motion passed by a vote of seven (7) to zero (0).

REGULAR BUSINESS

PUBLIC MEETING: Consideration of a request for a minor amendment to the existing Special Use Permit for the Ascension Lutheran Church, located at 7100 N Mockingbird Lane, for additional parking spaces, parking lot lighting, an access gate, and additional parking lot lighting.

Ms. Cutro presented this case as per the project coordination packet. Staff is recommending that the Planning Commission approve SUP-02-01 for the proposed minor amendment to the Special Use Permit for Ascension Lutheran Church, involving the installation of 93 additional parking spaces, 37 new bollard lights, additional parking lot landscaping, and an access gate along Hummingbird Lane, subject to the following stipulations.

1. The Special Use Permit for the proposed amendment shall be in substantial conformance with:
 - The Site Plan dated April 18, 2002, prepared by Evans, Kuhn, and Assoc., Inc.
 - The Landscape Plan dated May 28, 2002, prepared by Laskin and Assoc., Inc.-sheets LA-1 to LA-6.
 - The Electrical Plan dated July 26, 2002, prepared by Peterson Associates, --sheets ES-1 to ES-3.
 - The Grading and Drainage Plans dated July 23, 2002 prepared by Evans, Kuhn, and Assoc., Inc. – sheets C1.01 to C1.05.
2. The bollard lights shall not be lit before dusk or after 10 PM daily.
3. The improvements to Meadowlark Lane shall be completed within thirty-six months in coordination with the Town Engineer.
4. Decomposed granite shall be installed on the unimproved areas of the site that will be used for overflow parking. The granite shall be desert colored at a size acceptable to the Town Engineer.
5. The parking lot gate shall remain open during all church activities that require parking in the north lot.

Commissioner LeMarr inquired if the Applicant would have a problem if they shortened the time frame on improvements on Meadowlark Lane.

Parker Adeleman, Project Manager, stated the reason behind the request for 36 months to make the improvements on Meadowlark Lane is to allow the congregation time to get the financing in place.

Commissioner LeMarr inquired if the Applicant had an estimate for the cost of those improvements. Mr. Keil, General Contractor, stated he would estimate \$70,000 to \$100,000. Commissioner LeMarr stated he would estimate \$15,000 to \$20,000. He further stated they should look at the improvement of the asphalt and the curb from a safety perspective. Commissioner Mahrle stated he felt the 36-month time frame was appropriate.

Commissioner Werner stated the design as presented is fantastic and is a huge improvement. He expressed his concern that as you drive through you would be at eye level with the bollard fixtures and the Applicant might want to consider alternatives for down lighting the bollards. He stated he would request the Applicant look at using low

pressure sodium lights that would create a softer light background and protect the night sky, which is in concert with the General Plan. Scott Gray stated the lighting is designed to go down and out. He stated he felt the high sodium works for what they are trying to accomplish.

Commissioner Werner suggested moving the bollard location in the south parking lot to the end of the parking island. Mr. Adeleman stated they would make that adjustment.

Commissioner Werner remarked he knows the Commission has stipulated in other SUP cases that low-pressure sodium lights are required. He further remarked he would hate to diverge from that.

Mr. Adeleman presented information on their budget for landscaping and hard scape improvements.

Mr. Adeleman reported a neighborhood meeting was held at the church. The Neighborhood concerns included lighting and landscaping. Those concerns have been addressed.

Commissioner Strom requested information on the lighting zones. Mr. Adeleman provided an overview of the zones. He reported one parking lot would be manually controlled. Commissioner Strom expressed his concerns regarding the lighting being manually controlled. He suggested it be stipulated that all light fixtures be on automatic timers.

Chairman Campbell asked Commissioner Linthicum if it would be economical to complete that perimeter landscaping concurrent with the hard scape improvements. Commissioner Linthicum replied that would be the most efficient approach. A discussion ensued that the improvements on Meadowlark are only ten percent of the budget.

Commissioner Werner stated regarding overflow parking the Commission should consider stipulating that all overflow parking must be accessible by drive curb cuts. It was noted that landscaping along that frontage should keep people from driving through it to get out.

Commissioner Werner stated the gatehouse should be located 30-feet back of the existing curb. Mr. Adeleson provided an overview of how the gate would be used.

(There was no public testimony.)

Mr. Davis remarked Commissioner Strom had indicated in study session that he lived in this neighborhood. He requested Commissioner Strom state on the record that he does not have a conflict of interest.

Commissioner Strom state he lives at 6543 E. Meadowlark Lane. He further stated he felt he could be fair and impartial in his decision.

Commissioner Werner moved to approve SUP-02-01 for the proposed minor amendment to the Special Use Permit for Ascension Lutheran Church, involving the installation of 93 additional parking spaces, 37 new bollard lights, additional parking lot landscaping, and an access gate along Hummingbird Lane, subject to the five stipulations as noted and with the following additional stipulations:

6. The location of the bollards in the south parking lot are lowered and moved to the end of the parking island similar to those in the north parking lot.
7. All new parking lot bollard light fixtures shall be low-pressure sodium light sources.
8. All light fixtures will be will be on automated timers.
9. All overflow parking must be accessible via drive curb cuts as shown in sheet C-1.
10. The north gate will be located 30-feet back of the existing curb as shown on sheet C-1.

Commissioner Werner stated he would defer to Commissioner LeMarr for the existing stipulations.

Commissioner LeMarr seconded the motion with the following additions and amendments to the stipulations:

Revision to Stipulation No. 3 that the improvement to Meadowlark Lane is completed within close proximity of the parking lot improvements.

11. Extend the landscaping design from the west end of the property to the south end side of the property boundary on the north side of Meadowlark Lane in keeping with the approved landscape plan.
12. To allow the Applicant to delay the interior landscaping portion of the plan but complete the perimeter landscaping concurrent with the hard scape improvements.

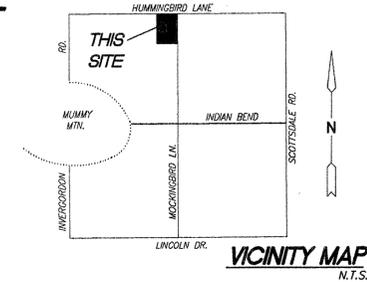
Commissioner Werner stated he would accept those additions to the motion.

The motion passed by a vote of seven (7) to zero (0).

FUTURE AGENDA ITEMS

Mr. Arshadi stated the Commission would review the Hillside Code at the December 3 and January 7 meetings.

**SPECIAL USE PERMIT
MINOR AMENDMENT**



**Evans, Kuhn
& Associates, Inc.**
727 E. Bethony Home Rd.
Phoenix, Az 85014
602.241.0782 phone
602.248.9158 fax

OWNER/ SITE ADDRESS

ASCENSION LUTHERAN CHURCH
7100 NORTH MOCKINGBIRD LANE
PARADISE VALLEY, ARIZONA 85263

CLIENT

CCG CONSTRUCTION, LLC
3333 EAST CAMELBACK RD.
SUITE 250
PHOENIX, ARIZONA 85018

ENGINEER

EVANS, KUHN & ASSOCIATES
727 EAST BETHANY HOME ROAD
SUITE D-225
PHOENIX, ARIZONA 85014

LEGAL DESCRIPTION

LOT 1 OF MEADOWLARK ACRES ACCORDING TO BOOK 194 PAGE 11
RECORDS OF MARICOPA COUNTY, ARIZONA

AREA INFORMATION AND PROJECT DATA

AREA=275,250 sq. ft. = 6.32 acres
ALLOWABLE HEIGHT = 75 FEET
ACTUAL BUILDING HEIGHT = 57 FEET
ALLOWABLE SPIRE HEIGHT = 100 FEET
ACTUAL SPIRE HEIGHT = 100 FEET
TOTAL FLOOR AREA = 15,823 sq. ft.
TOTAL FOOTPRINT AREA = 11,691 sq. ft.
LOT COVERAGE = 4.25%
ALLOWABLE COVERAGE = 20%
NORTH PARKING AREA = 70,656 sq.ft.
NORTH PARKING AREA LANDSCAPE = 18,130 sq.ft. = 25.7%
SOUTH PARKING AREA = 28,346 sq.ft.
SOUTH PARKING AREA LANDSCAPE = 10,130 sq.ft. = 35.7%

SUMMARY OF THE PARKING CALCULATIONS

PARKING ALLOWED	
TOTAL NUMBER OF SEATS IN THE SANCTUARY AT BUILD-OUT; PROVIDE ONE SPACE PER THREE SEATS (PER SECTION 6 OF THE ZONING ORDINANCE)	800 SEATS 266 SPACES
TOTAL ALLOWED	266 SPACES

EXISTING PARKING

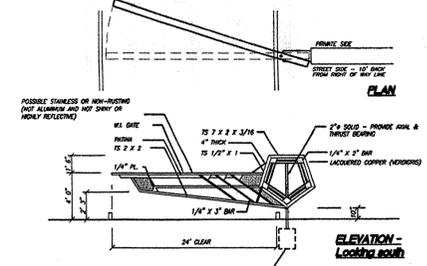
NORTH LOT	69 SPACES
SOUTH LOT	42 SPACES
ACCESSIBLE	3 SPACES
TOTAL	114 SPACES

PARKING TO BE PROVIDED

NORTH LOT	158 SPACES
SOUTH LOT	42 SPACES
ACCESSIBLE	7 SPACES
TOTAL	207 SPACES

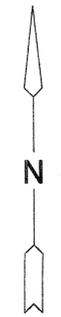
LEGEND

- MONUMENT LINE/CENTERLINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- EASEMENT LINE
- E- ELECTRIC LINE
- G- GAS LINE
- SS- SEWER LINE
- W- WATER LINE
- [Pattern] EXISTING CONCRETE
- [Pattern] EXISTING PAVEMENT
- BRASS CAP FLUSH
- ⊙ BRASS CAP IN HANDHOLE
- FOUND 1/2" REBAR
- ⊙ SANITARY SEWER MANHOLE
- ⊙ ELECTRIC MANHOLE
- ⊙ WATER VALVE
- ⊙ FIRE HYDRANT
- ⊙ TELEPHONE PEDESTAL
- M.C.R. MARICOPA COUNTY RECORDS
- (R) RECORD COURSE
- (C) CALCULATED COURSE
- (M) MEASURED COURSE
- B.S.L. BUILDING SETBACK LINE
- NEW PARKING LOT BOLLARD LIGHTS



GATE DESIGN PROVIDED BY
TALIESIN ARCHITECTS

EXTERNAL DRAWINGS



NORTH OF MEADOWLARK LANE TO BE COMPLETED WITH THIS PROJECT.

INDIAN BEND
S.E. CORNER SEC 3
T.D. 1.B. IN H.H.
ELEVATION 1313.79

SITE PLAN
ASCENSION LUTHERAN CHURCH
7100 NORTH MOCKINGBIRD LANE
PARADISE VALLEY, ARIZONA

REVISIONS

NO.	DESCRIPTION

DRAWING STATUS:



DATE ISSUED 04/18/02

DESIGNED BY

DRAWN BY JAG

CHECKED BY JAG

PROJECT NO. 4929

DRAWING NO.

C-1.00
SITE PLAN

CALL THE WORKING DAYS BEFORE YOU DIG
263-1100
HOUSE, MARICOPA COUNTY

EXISTING LANDSCAPE AND IRRIGATION NOTES:

1. Site verify all existing conditions prior to bidding. Any discrepancies are to be brought to the Landscape Architect immediately.
2. All plant material designated as "existing to remain" shall be protected during all phases of construction. Any tree that dies due to lack of water, lack of maintenance or care, neglect or vandalism shall be replaced by a like type tree, (minimum 48" box). At no additional cost to owner. Palms that die shall be replaced with like type, height and size. All shrubs and groundcover shall be replaced with 5 gallon plants.
3. Landscape areas disturbed by new construction shall be repaired with new decomposed granite matching existing. Blend all disturbed areas with undisturbed so there is smooth transition between all edges. Replace all disturbed, broken or damaged headers with matching type.
4. All existing plant material and adjacent plant material shall have uninterrupted watering during all phases of construction. This shall include but not be limited to; hand watering, temporary above ground irrigation, existing system ... etc.

5. The existing irrigation system shall be protected, maintained and repaired during all phases of construction. The existing system is tied in adjacent properties. All equipment such as mainline, wires, lateral heads and etc. shall be repaired and replaced to maintain continuous water.
6. Provide new schedule 40 sleeves at all new drives. (See sleeve schedule for size.) Any existing irrigation system is to be maintained at all times during construction and guarantee 100% coverage.
7. All existing trees to remain, shall be selectively pruned per Landscape Architects direction.
8. All existing shrubs within the sight distance lines and sight visibility triangles shall be selectively pruned to a maximum height of 30" at maturity.
9. All trees shall be lifted to clear height of 7'.

GENERAL LANDSCAPING NOTES

1. The Landscape Architect, or his representative, reserve the right to refuse any plant materials he deems unacceptable. (See specifications)
2. Site verify all conditions prior to bidding and start of construction. Any discrepancies are to be brought to the attention of the L.A. in writing immediately.
3. The Landscape Architect is to approve any and all substitutions.
4. Plant list provided for contractor's convenience only. Plans take precedence.
5. Double stake all 15 gallon, 24", and 36" box trees as required.
6. Sprinkler Contractor must guarantee 100% coverage in all landscape areas.
7. Soil shall be raked and free from rocks, roots, weeds, etc.
8. Finished grade in groundcover, granite and lawn areas shall be 1" below adjacent header, paving, curbing, etc.
9. Plants shall be quality material having a growth habit which is normal for the species and be sound, vigorous, healthy, and free from insects and injury.
10. Groundcover and/or decomposed granite shall extend under shrubs unless noted.
11. After all work is completed, the contractor shall remove all materials not incorporated in the Scope of Work from the job site.
12. Grading shall include all excavation, settlement, handling, import, distribution, transportation, and disposal necessary to bring ground to finish grade as shown on the plan. (once general contractor has provided finish grade within 1/10 of 1')
13. All earthwork is to be done so that all water drains away from all structures.
14. A pre-emergent herbicide is to be applied to all granite areas before and after the granite has been laid. Include all river rock areas.
15. All underground conduits are to be located before digging. If doubt exists coordinate with the general contractor and call Blue Stake at (602) 263-1100.
16. All material to be guaranteed for a period of one (1) year after final acceptance.
17. Landscape contractor shall provide arbor guards to all trees located in turf areas.
18. Contractor is responsible for all required sleeving whether it is shown on the plans or not.
19. Landscape Architect to approve all mounding and grades prior to planting.
20. Landscape Architect to approve placement of all trees, salvaged material and boulders prior to installation.
21. All correspondence with the Landscape Architect shall be done in writing through the general contractor. No exceptions!

LANDSCAPE LEGEND

ALL TREES TO MEET OR EXCEED A.N.A. SPECIFICATIONS (U.O.N. - UNLESS OTHERWISE NOTED)

TREES	SIZE	QTY.
 Desert Museum Cercidium hybrid	24" Box u.o.n.	14
 Thornless Honey Mesquite Prosopis grandulosa grandulosa	24" Box u.o.n.	33
 Ironwood Olneya tesota	24" Box u.o.n.	10
 Sweet Acacia Acacia farnesina	24" Box u.o.n.	5
 Existing Palm to remain		
 Existing Tree to remain		
SHRUBS	SIZE	
 Mexican Bird of Paradise Caesalpinia mexicana	5 Gallon	
 Green Cassia Cassia nemophila	5 Gallon	
 Valentine's Bush Eremophyla "valentine"	5 Gallon	
 Green Cloud Sage Leucophyllum frutescens	5 Gallon	
 Fairy Duster Calliandra eriophylla	5 Gallon	
 Red Yucca Hesperaloe parviflora	5 Gallon	
 Brittlebush Encelia farinosa	5 Gallon	
 Desert Globemallow Sphaeralcea ambigua	5 Gallon	
 Golden Eye Viguira multiflora	1 Gallon	
 Desert Marigold Baileya multiradiata	1 Gallon	
GROUNDCOVERS/ACCENTS		
 Desert Spoon Dasylirion wheeleri	5 Gallon	
 Agave sp. Agave murpheyi	5 Gallon	
 Peruvian Verbena Verbena peruviana	1 Gallon	3' o.c.
 Mexican Evening Primrose Oenothera berlandieri	1 Gallon	3' o.c.
 Gold Mound Lantana Lantana montivdensis "Gold Mound"	1 Gallon	3' o.c.
 Sierra Gold Dalea Dalea capitata	1 Gallon	
 Dwarf Trailing Acacia Acacia redolens "Desert Carpet"	1 Gallon	
 Fishhook Barrel Ferocactus wislezeni	3' min.	
 Decomposed Granite 3/4" Minus "Madison Gold", 2" minimum thickness in all landscape areas. (Match existing)		
 Surface Select Granite Boulders in all landscape areas.	3'x3'x3' 2700 lbs. min.	

IRRIGATION LEGEND

Sch 40 PVC Sleeve (Size Per Sleeving Schedule)

SLEEVE SCHEDULE: Contractor is responsible for all sleeving whether shown or not.
Mainline Sleeves
Drip Lateral Sleeves
Lateral From Valve To Regulators
Wires

Vicinity Map



Site Plan



LASKIN & ASSOCIATES, INC.
LANDSCAPE ARCHITECTS
5112 N. 40th Street
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Phoenix, Arizona 85018
p (602) 840-7771
f (602) 840-8021
www.laskindesign.com

Ascension Lutheran Church
Parking Lot Extension
7100 N. Mockingbird Lane, Paradise Valley, Arizona
Cover Sheet

DRAWN	SL
CHECKED	HAL
SHEET SCALE	1"=20'
DATE	05.28.02
REVISIONS	07.22.02

CITY NUMBERS	
SHEET NUMBER	LA-1
	1 of 6





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Ascension Lutheran Church
Parking Lot Extension
7100 N. Mockingbird Lane, Paradise Valley, Arizona
Landscape Plan

DRAWN
SL
CHECKED
HAL
SHEET SCALE
1"=20'
DATE
05.28.02
REVISIONS
07.22.02

CITY NUMBERS

SHEET NUMBER

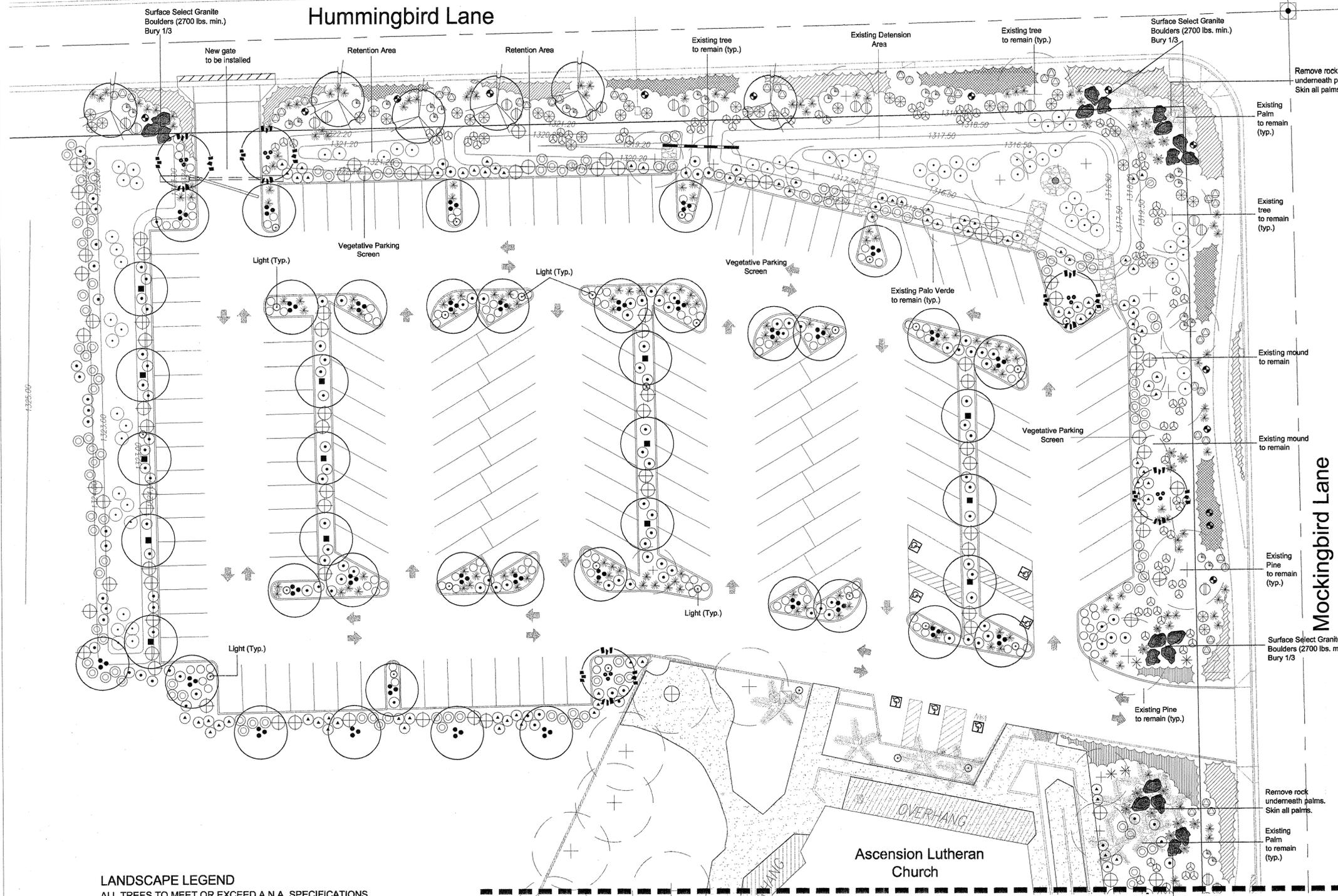
LA-2
2
of
6

NOTES:

1. Leave all existing river rock in place.
2. Remove all existing shrubs.
3. Trim and prune existing trees.
4. All of the mounds to be 36" high, including plantings.

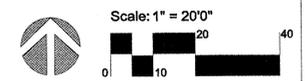
LANDSCAPE LEGEND (CONT.)
ALL TREES TO MEET OR EXCEED A.N.A. SPECIFICATIONS
(U.O.N. - UNLESS OTHERWISE NOTED)

SHRUBS	SIZE	
Mexican Bird of Paradise <i>Caesalpinia mexicana</i>	5 Gallon	
Green Cassia <i>Cassia nemophila</i>	5 Gallon	
Valentine's Bush <i>Eremophylla "valentine"</i>	5 Gallon	
Green Cloud Sage <i>Leucophyllum frutescens</i>	5 Gallon	
Fairy Duster <i>Calliandra eriophylla</i>	5 Gallon	
Red Yucca <i>Hesperaloe parviflora</i>	5 Gallon	
Brittlebush <i>Encelia farinosa</i>	5 Gallon	
Desert Globemallow <i>Sphaeralcea ambigua</i>	5 Gallon	
Golden Eye <i>Viguiera multiflora</i>	1 Gallon	
Desert Marigold <i>Baileya multiradiata</i>	1 Gallon	
GROUNDCOVERS/ACCENTS		
Desert Spoon <i>Dasyliion wheeleri</i>	5 Gallon	
Agave sp. <i>Agave murpheyi</i>	5 Gallon	
Peruvian Verbena <i>Verbena peruviana</i>	1 Gallon	3' o.c.
Mexican Evening Primrose <i>Oenothera berlandieri</i>	1 Gallon	3' o.c.
Gold Mound Lantana <i>Lantana montividenis "Gold Mound"</i>	1 Gallon	3' o.c.
Sierra Gold Dalea <i>Dalea capitata</i>	1 Gallon	
Dwarf Trailing Acacia <i>Acacia redolens "Desert Carpet"</i>	1 Gallon	
Fishhook Barrel <i>Ferocactus wislizeni</i>	3' min.	
Decomposed Granite 3/4" Minus "Madison Gold" 2" minimum thickness in all landscape areas. (Match existing)		
Surface Select Granite Boulders in all landscape areas.	3'x3'x3' 2700 lbs. min.	

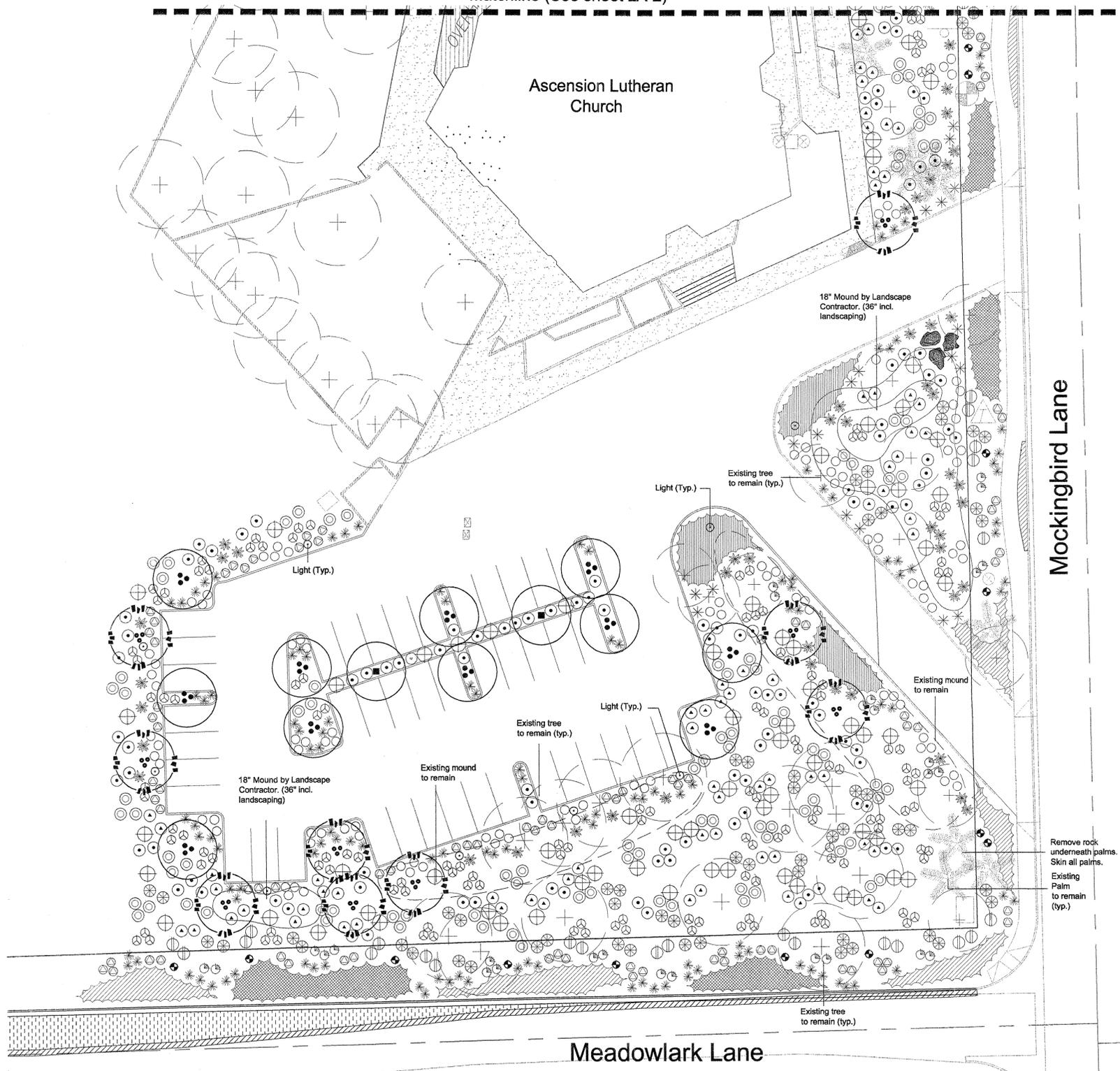


LANDSCAPE LEGEND
ALL TREES TO MEET OR EXCEED A.N.A. SPECIFICATIONS
(U.O.N. - UNLESS OTHERWISE NOTED)

TREES	SIZE	QTY.	TREES	SIZE	QTY.
Desert Museum <i>Cercidium hybrid</i>	24" Box u.o.n.	14	Sweet Acacia <i>Acacia farnesina</i>	36" Box u.o.n.	5
Thornless Honey Mesquite <i>Prosopis grandulosa grandulosa</i>	36" Box u.o.n.	33	Existing Palm to remain		
Ironwood <i>Olneya tesota</i>	36" Box u.o.n.	10	Existing Tree to remain		



Matchline (See sheet LA-2)



LANDSCAPE LEGEND
ALL TREES TO MEET OR EXCEED A.N.A. SPECIFICATIONS
(U.O.N. - UNLESS OTHERWISE NOTED)

TREES	SIZE	QTY.
Desert Museum Cercidium hybrid	24" Box u.o.n.	14
Thornless Honey Mesquite Prosopis grandulosa grandulosa	36" Box u.o.n.	33
Ironwood Olneya tesota	36" Box u.o.n.	10
Sweet Acacia Acacia farnesina	36" Box u.o.n.	5
Existing Palm to remain		
Existing Tree to remain		

SHRUBS	SIZE	
Mexican Bird of Paradise Caesalpinia mexicana	5 Gallon	
Green Cassia Cassia nemophila	5 Gallon	
Valentine's Bush Eremophylla "valentine"	5 Gallon	
Green Cloud Sage Leucophyllum frutescens	5 Gallon	
Fairy Duster Calliandra eriophylla	5 Gallon	
Red Yucca Hesperaloe parviflora	5 Gallon	
Brittlebush Encelia farinosa	5 Gallon	
Desert Globemallow Sphaeralcea ambigua	5 Gallon	
Golden Eye Vigiera multiflora	1 Gallon	
Desert Marigold Baileya multiradiata	1 Gallon	

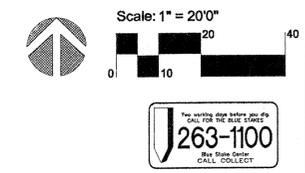
GROUNDCOVERS/ACCENTS		
Desert Spoon Dasylirion wheeleri	5 Gallon	
Agave sp. Agave murpheyi	5 Gallon	
Peruvian Verbena Verbena peruviana	1 Gallon	3' o.c.
Mexican Evening Primrose Oenothera berlandieri	1 Gallon	3' o.c.
Gold Mound Lantana Lantana montividenis "Gold Mound"	1 Gallon	3' o.c.
Sierra Gold Dalea Dalea capitata	1 Gallon	
Dwarf Trailing Acacia Acacia redolens "Desert Carpet"	1 Gallon	
Fishhook Barrel Ferocactus wislezeni	3' min.	
Decomposed Granite 3/4" Minus "Madison Gold", 2" minimum thickness in all landscape areas. (Match existing)		
Surface Select Granite Boulders in all landscape areas.	3'x3'3' 2700 lbs. min.	

LASKIN & ASSOCIATES, INC.
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f (602) 840-8821
www.laskindesign.com

Ascension Lutheran Church
Parking Lot Extension
7100 N. Mockingbird Lane, Paradise Valley, Arizona
Landscape Plan

DRAWN
SL
CHECKED
HAL
SHEET SCALE
1"=20'
DATE
05.28.02
REVISIONS
07.22.02

CITY NUMBERS
SHEET NUMBER
LA-3
3
of
6



Hummingbird Lane

Mockingbird Lane

Ascension Lutheran Church

NOTES:

- 1. Landscape Contractor to provide 100% coverage to all new and existing plant material.
- 2. Contractor to retrofit and to tie into existing irrigation as needed. Place all trees on a separate valve.

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 www.laskin.com

Ascension Lutheran Church
 Parking Lot Extension
 7100 N. Mockingbird Lane, Paradise Valley, Arizona
 Slewing Plan

DRAWN
SL
 CHECKED
HAL
 SHEET SCALE
1"=20'
 DATE
05.28.02
 REVISIONS
 07.22.02

CITY NUMBERS

SHEET NUMBER

LA-4
 4
 of
 6

IRRIGATION LEGEND

Sch 40 PVC Sleeve
 (Size Per Slewing Schedule)

SLEWING SCHEDULE: Contractor is responsible for all slewing whether shown or not.

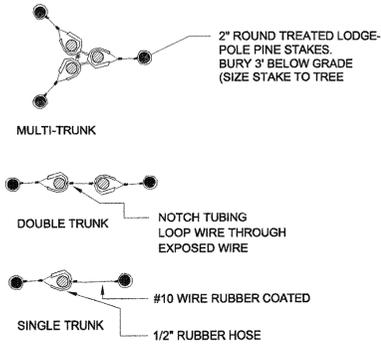
Mainline Sleeves 3"
 Drip Lateral Sleeves 3"
 Lateral From Valve To Regulators 3"
 Wires 3"

Scale: 1" = 20'0"

263-1100
 THE LASKIN GROUP
 LANDSCAPE ARCHITECTS

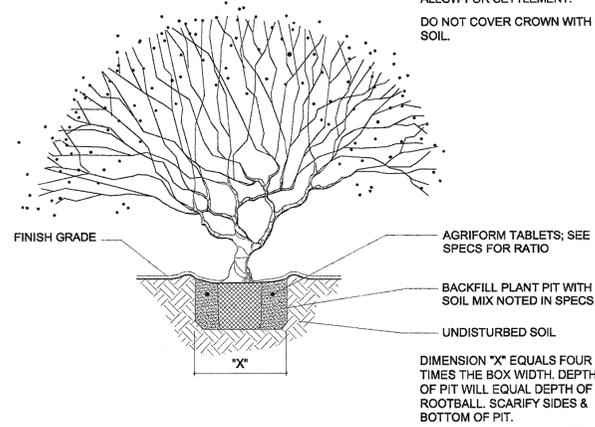


NOTE:
ALL MULTI-TRUNKED TREES
TO HAVE ALL MAJOR
LEADERS STAKED



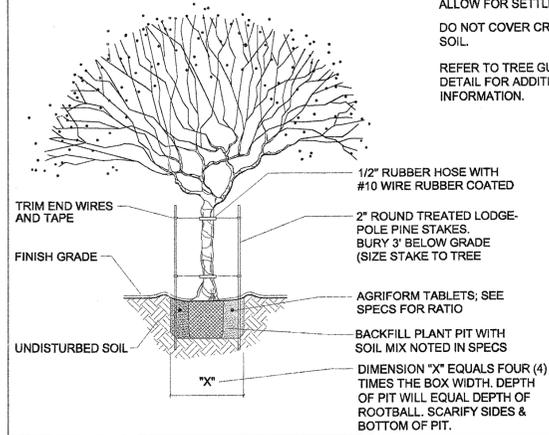
1 TREE GUYING DETAIL

NOTE:
SET CROWN OF ROOTBALL 1/2"
TO 1" ABOVE FINISH GRADE TO
ALLOW FOR SETTLEMENT.
DO NOT COVER CROWN WITH
SOIL.



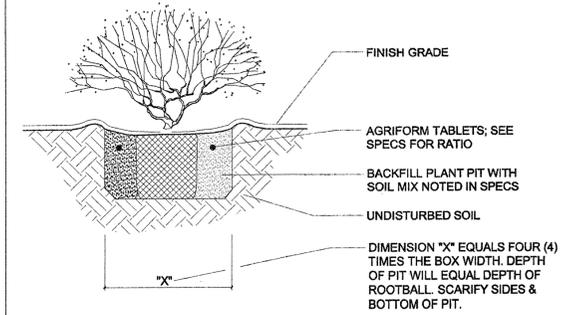
2 TREE PLANTING DETAIL
(36" BOX AND LARGER)

NOTE:
SET CROWN OF ROOTBALL 1/2"
TO 1" ABOVE FINISH GRADE TO
ALLOW FOR SETTLEMENT.
DO NOT COVER CROWN WITH
SOIL.
REFER TO TREE GUYING
DETAIL FOR ADDITIONAL
INFORMATION.

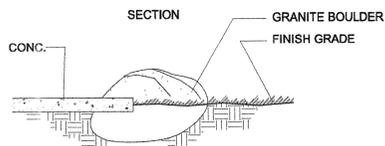
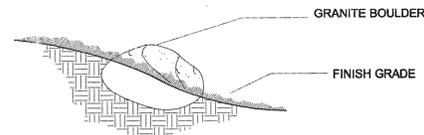


3 TREE PLANTING DETAIL
(15 GALLON TO 36" BOX)

NOTE:
SET CROWN OF ROOTBALL 1/2"
TO 1" ABOVE FINISH GRADE TO
ALLOW FOR SETTLEMENT.
DO NOT COVER CROWN WITH
SOIL.
SETTLE BACKFILL SOIL BY
WATERING, AND COMPACT
TO REMOVE AIR POCKETS.



4 SHRUB PLANTING DETAIL
(1 GALLON TO 15 GALLON)

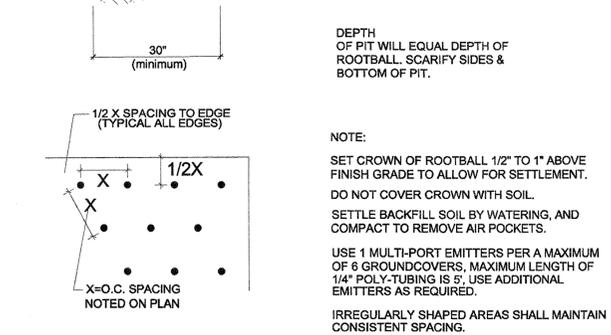
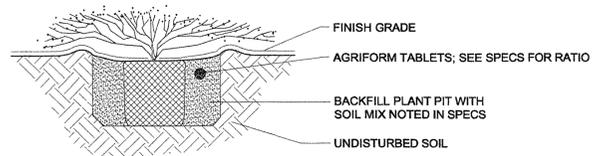


BOULDER IN CONCRETE

NOTES:

- * ALL BOULDERS TO BE NATIVE LOCAL SURFACE SELECT GRANITE UNLESS NOTED
- * BURY 30% OF BOULDER TO CREATE A NATURAL IMPRESSION
- * USE STRAPS OR CABLES TO PLACE BOULDERS
- * BOULDERS WITH EXCESS SCARRING WILL BE REJECTED
- * LOCATE BOULDER BEST SIDE UP
- * SEE LEGEND FOR BOULDER SIZE
- * TONAGE IS BASED ON 100 lbs. PER CU. FT.
- * BOULDER TO BE FREE AND CLEAN OF CONCRETE, PAINT, ETC.

5 BOULDER DETAIL



6 GROUNDCOVER PLANTING DETAIL



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Ascension Lutheran Church
Parking Lot Extension
7100 N. Mockingbird Lane, Paradise Valley, Arizona
Landscape Details

DRAWN

SL

CHECKED

HAL

SHEET SCALE

1"=20'

DATE

05.28.02

REVISIONS

07.22.02

CITY NUMBERS

SHEET NUMBER

LA-5

5

of

6



PART 1 - GENERAL

1.01 WORK INCLUDED

A. The work included under these specifications shall consist of the furnishing of all labor, material, permits, tools, and equipment necessary for the complete installation of the landscaping materials as shown on the drawings and as described in the following specifications.

1.02 QUALITY ASSURANCE

A. For standard products, the manufacturer's analysis will be acceptable. For all other materials, analysis shall be by a recognized laboratory.

B. Analysis shall be made in accordance with the current methods of the Association of Official Agricultural Chemists.

C. Soils shall be analyzed for their composition and fertility in sustaining plant growth and health.

D. All plants furnished under this specification shall be from nursery stock, and when stock, an then meet the ARIZONA NURSERY ASSOCIATION of the American Association of Nurserymen, Inc. requirements as to sizing, grading, and quality. Plant materials specified shall conform with the nomenclature of STANDARDIZED PLANT NAMES, Second Edition. The Landscape Architect reserves the right to refuse all plant material based on overall appearance and quality regardless of specifications.

E. Plants of the species specified shall be furnished in the variety, size, grade, and quality indicated. Specifications and planting plans shall be strictly adhered to and no changes or substitutions will be allowed prior to bidding without written permission of the Landscape Architect, Owner, or Owner's Representative.

F. By submitting a proposal and accepting award of the Contract, the Contractor acknowledges that he has investigated the supply of planting stock available and has obtained firm commitments from his suppliers assuring delivery of the specific plant materials as required for completion of the project.

G. All plant materials shall be grown in accordance with good horticulture practices and shall bear evidence of proper nursery care during growth under climate conditions similar to those in the locality of the project for at least two (2) years. They shall have been previously transplanted or root pruned according to standard nursery practice and inspected by State Central Agencies.

H. All plants shall be freshly dug. No heeled in plant or plants from cold storage will be accepted. Plants shall be typical of their species or variety and have normal habits of growth, be healthy and vigorous, well branched, and have dense foliage when in leaf. All plants, including root systems, shall be free of disease, disfiguring knots, sunscald, insect pests, eggs or larvae, dead or broken branches, bark abrasions, and have healthy well developed root systems. The root systems of container grown plants shall be sufficiently developed to hold the earth intact upon removal from the container.

I. Planting, sodding, and seeding shall be performed by personnel familiar with planting operations and under the supervision of a qualified planting foreman.

1.03 SUBMITTALS

A. Submit a soil fertility test of the planting soil for approval by the Landscape Architect prior to delivery of soil to the project site. Test reports shall indicate the location of the source for soil.

B. Upon completion of the work, submit a schedule satisfactory to the Landscape Architect for the maintenance of all plant material.

PART 2 - PRODUCTS

2.01 SOD

A. Approved nursery grade cultivated grass sod, species and cultivar as indicated on the drawings with strong, fibrous root system, free from stones and burned or bare spots.

2.02 PLANTING SOIL FOR PLANT PITS AND BEDS

A. Fertile, friable, natural loam containing a liberal amount of humus, capable of sustaining vigorous plant growth. The pH value of the planting soil shall not be higher than 7.5 or lower than 5.5. It shall be free of any admixture of subsoil, stones, lumps, clods of hard earth, plants, or their roots, sticks, and other extraneous matter. Do not use planting soil for planting operations while in a frozen or muddy condition.

2.03 PEAT

A. Acceptable peat moss consisting of at least 73% organic content of natural occurrence. It shall be brown, clean, low in content of mineral and woody materials, milky acid, and granulated or shredded.

2.04 FERTILIZER

A. Commercial Fertilizer: A complete fertilizer, conforming to FS 0-F-241, Type I, Grade A, part of the elements of which are derived from organic sources containing the following percentages by weight:
10% nitrogen 5% nitrogen
10% phosphoric acid -or- 10% phosphoric acid
10% potash 5% potash

B. Organic Fertilizer: An organic activated fertilizer containing a minimum of five percent (5%) nitrogen, three percent (3%) phosphoric acid, and other basic elements by weight.

C. Delivered fertilizer mixed as specified in standard size bags, showing weights, analysis, and name of manufacturer. Store in weatherproof storage place in such manner that it will be kept dry and its effectiveness not impaired.

D. The Landscape Architect reserves the right to vary the percentages of the components of the fertilizers subject to the results of the soil fertility tests.

2.05 WATER

A. Shall be furnished by the General Contractor. The Contractor shall furnish all necessary hose, equipment, attachments, and accessories for the adequate irrigation of all planted areas as may be required to complete the work as specified.

2.06 PLANT MATERIAL

A. All old abrasions and cuts shall be completely calloused over. All shrubs shall be measured when their branches are in their normal position. Height and spread dimensions specified refer to the main body of the plant and not from branch or root tip to tip.

B. Shrubs shall be matched specimens from single block source.

C. Evergreen trees not fully branched from top to bottom will be rejected, and those with terminal leaders exceeding twelve (12") inches in length will also be rejected. During the spring planting seasons, any evergreen plant delivered with new growth in an advanced stage of candling out will be rejected.

D. Plants shall not be pruned before delivery. Trees which have damaged or crooked leaders, or multiple leaders, unless specified, will be rejected. Trees with bark abrasions, sunscald, disfiguring knots, or fresh cuts of limbs over one and a quarter inches (1 1/4") which have not completely calloused will be rejected. Plants shall be freshly dug or container grown. Heeled in plants or plants from cold storage will not be accepted.

E. Plants shall be true to species and variety, and shall conform to measurements specified on the Drawings. Plants larger than specified may be used if approved by the Landscape Architect. Use of such plants shall not increase contract price. If larger plants are approved, the ball of earth shall be increased proportionately with the size of plant.

F. Substitutions of plant materials will not be permitted unless authorized in writing by the Landscape Architect. Proof must be submitted that use of nearest equivalent size of variety with corresponding adjustment of Contract Price. Such proof shall be substantiated and submitted in writing.

G. It shall be the responsibility of the Contractor to determine required quantities of plants, as no compensation will be made for error in plant quantities. If plant counts occur on plant legend, it is for the convenience of the contractor only. Verify plant counts with plan. In case of discrepancy, plan shall govern.

H. Each plant shall be properly identified with legible waterproof tags securely fastened. Tags shall remain on the plants until after final acceptance and then be promptly removed by the Contractor.

PART 3 - INSTALLATION

3.01 INSPECTION OF PLANT MATERIAL

A. Plants shall be subject to inspection and approval by Landscape Architect at place of growth and upon delivery. Written request for inspection of plant materials at place of growth shall be submitted to Landscape Architect at least ten (10) calendar days prior to delivery. This written request shall state place of growth and quantity of plants to be inspected. Landscape Architect reserves the right to waive inspection. Such approval shall not impair the right of inspection and rejection upon delivery at the project site or during the progress of the work for size and condition of balls or roots, diseases, insects, and latent defects or injuries. Rejected plants must be immediately removed from the project site.

B. Certificates of inspection of plant materials as may be required by Federal, State or other authorities to accompany shipments and be furnished to Owner upon completion of project.

3.02 DIGGING AND HANDLING

A. Digging shall be done the same season of planting and shall be done by hand so as not to injure plants and to meet size requirements. No plant other than the required samples shall be dug or delivered to the site until the required inspections have been made and the plants or samples approved.

B. Dig balled and burlapped (BB) plants with firm, unbroken natural balls of earth, of sufficient diameter and depth to include the fibrous and feeding roots. No synthetic or mudded in balls will be accepted. No plants moved with a ball will be accepted if the ball is cracked or broken before or during planting operations.

C. Roots or ball of all plants shall be adequately protected at all times from excessive exposure to wind, sun, rain, hail, etc. Balled and burlapped plants that cannot be planted immediately on delivery shall be set on the ground and well protected with soil, wet moss or similar protective material. Bare rooted plants shall be planted or heeled in immediately upon delivery.

D. All plant material shall be handled carefully to prevent injury to rootballs, trunks, or branches. Any plant suffering damage sufficient to impair its health and/or natural form will be rejected. No plant shall be bound with wire or rope at any time so as to damage the bark or break branches.

3.03 FERTILIZING SOD SUBSOIL

A. Apply fertilizer at a rate recommended by manufacturer. Apply after fine grading and prior to compaction. Mix thoroughly into upper two (2") inches of topsoil.

B. Lightly water to aid the breakdown of fertilizer.

C. Apply fertilizer within forty-eight (48) hours.

3.04 LAYING SOD

A. Lay sod as soon as possible after delivery to prevent deterioration.

B. Lay sod closely knit together with no open joints visible, and pieces not overlapped. Lay smooth and flush with adjoining grass areas. Finish grade to be one and a half inches (1 1/2") below paving and top of surface curbs.

C. Immediately water sodded areas after installation. Water in sufficient amount to saturate sod and upper four inches (4") of soil.

D. After sod and soil has dried sufficiently to prevent damage, roll sodded areas to ensure good bond between sod and soil and to remove minor depressions and irregularities. Ensure rolling equipment weight not over 250 lbs. or less than 150 lbs.

3.05 TIME OF PLANTING

A. The contractor shall notify the Landscape Architect in writing when other divisions of the work have progressed sufficiently to commence landscape work, including placing of topsoil to finish grade. Thereafter, conduct planting operations under favorable weather conditions.

B. Any plant material installed during typical off seasons (hot summer months or freezing winter months) shall be done at the Contractor's own risk and the Contractor shall be held responsible for replacement of any plant material damaged due to these adverse conditions.

3.06 PLANTING OPERATIONS

A. General

1. The Contractor shall coordinate all aspects of the landscape operations with all aspects of the site construction. The work shall proceed as the indicated portions of the site become available, consistent with the seasonal limitations for landscape planting.

2. The Contractor shall be responsible for any damage to utilities construction, sitework construction, and underground sprinkler systems and shall bear the full cost to repair the damage. Accomplishment of repairs shall be equal to the original installation prior to damage. Any damage shall be immediately reported to the Landscape Architect and repairs shall be approved by him before it is buried.

3. Maintain all trench or grade stakes for work under other Sections until their removal is approved by the Landscape Architect.

4. The Contractor shall stake plant location, shrub pits, and other planting areas and secure the Landscape Architect's approval before starting excavation of same, making adjustments as necessary.

5. Unless otherwise directed by Landscape Architect, indication of plant on drawings is to be interpreted as including digging holes, furnishing soil of specified size, work of planting, mulching, grading, staking, wrapping, and watering.

B. Plant Pits and Beds

1. Plant pits shall be excavated with vertical sides, large enough to allow twelve (12") inches of space around the ball in all directions. Adjust depth as necessary to permit a minimum of twelve (12") inches planting soil under the ball when the plant is set at the proper depth.

2. Planting pit backfill for all trees and shrubs shall be as follows:
1. 2/3 parts by volume on site soil.
2. 1/3 parts by volume forest mulch.
3. One pound 13-20-0 per cubic yard of mix.

3. Planting pits shall be backfilled with prepared backfill and be water settled to a grade sufficient that in the setting of plants the finish grade level after settlement will be the same as that at which plants were grown. Agriform tablets to be used with each planting (six (6) for 36" box, three (3) for 15 gallon, two (2) for 5 gallon, and one (1) for 1 gallon).

C. Installations

1. Set plants in center of pits, plumb and straight and at such a level that after settlement the crown of the plant shall be two (2") inches below finish grade and forming a shallow trough directly over the ball of earth and slightly smaller than the pit to facilitate watering. Space all plants as shown.

2. Set balled and burlapped plants upon a well tamped layer of planting soil. Backfill around soil with planting soil in six to eight (6" - 8") inch lifts, each thoroughly tamped and puddled to top of pit. Avoid air pockets. Remove all ropes and wires from tops and sides of balls. No burlap shall be pulled out from under the ball.

3. Plants placed in containers shall be installed immediately upon being removed from their containers. Removal of plants from containers shall be in a manner that will not disturb the root system or the soil in which they were planted. Under no conditions shall the plant be removed from the containers by pulling on the main stem or plant growth. No plants shall be installed with their containers remaining attached, except as noted on the drawings.

4. Before installing bare root plants, planting soil shall be placed and compacted to a depth of twelve (12") inches in the bottom of the plant pit. The plants shall be installed with their roots evenly distributed and spread in their natural position, with the planting soil being carefully spaced and compacted around the roots so as to leave no air space.

D. Pruning, Wrapping, Mulching, Staking, and Spraying

1. Pruning
a. Any plant shall not be pruned prior to delivery unless Landscape Architect gives written permission. Pruning will occur only at time of planting and according to standard horticultural practice and at the direction of the Landscape Architect. Amount of pruning shall be limited and is not to exceed thirty-three (33%) percent of total plant as necessary to remove dead or injured twigs and branches and to compensate for root loss resulting from transplanting. Do not cut leaders.
b. Remove all dead wood, suckers, and broken or badly diseased branches.
c. Pruning shall be done with clean, sharp tools according to standard horticultural practices. Cuts shall be made slightly above the branch.
d. Cuts over 1/2" inch diameter shall be painted over with approved tree paint. Paint shall cover all exposed cambium as well as other exposed living tissue.

2. Staking and Guying
a. Stake or guy all trees per detail. Trees which blow down, sway excessively, or are otherwise injured because of improper staking or guying shall be replaced at Contractor's expense.
b. Pruning
c. All groundcover and non-lawn areas shall be treated with pre-emergent.
d. Decomposed Granite
e. Prior to placing, the area shall be totally free of weeds using chemical control. Apply a pre-emergence control (Surflan or prior approved equivalent) according to manufacturer's recommendations. The decomposed granite shall be evenly distributed at the designated areas to a depth of two (2") inches. After placing and grading, lightly cover the decomposed granite materials from the surface and water settle or roll to an extent satisfactory to the Landscape Architect. Apply second application of pre-emergence control according to manufacturer's recommendations.
f. Decomposed granite shall match size and color on plans, shall be free from lumps or balls of clay and shall not contain any deleterious coating, calcine, organic matter or deleterious substances. Color and source of decomposed granite shall be approved by the Landscape Architect. All material shall be from a single production source and shall present a uniform appearance. Material containing clumps which will not disintegrate with a shovel ball shall be rejected.
g. Workmanship - Berms
i. Earth berms (mounding) shall take the form indicated on the plans. The Landscape Architect shall inspect and approve all finished grades prior to any planting.
j. Cleaning Up
k. Keep all areas of this project in a clean, neat, and orderly condition at all times. Trash burning and disposal shall not be done on the site. Prior to acceptance put all areas of the work in a finished condition acceptable to the Landscape Architect.

3.07 OBSTRUCTIONS BELOW GROUND
A. In the event that rock or underground construction work or obstructions are encountered in the excavation of plant pits, alternate locations may be selected by the Landscape Architect. Where locations cannot be changed, remove the obstructions (but not new construction work) to a depth of not less than six (6") inches below the required pit depth.

B. Proper drainage of plant pits is necessary. Bring subsoil conditions permitting the retention of water in planting pits for more than twenty-four (24) hours to the attention of the Landscape Architect, the changes required will not increase the contract price.

C. The Contractor is responsible for any damage to underground utilities resulting from landscape operations and bear the full cost to repair the damage. Accomplishment of repairs shall be equal to the original installation prior to damage. Report damage immediately to Landscape Architect who shall approve repairs before they are buried.

3.08 MAINTENANCE
A. Protect and maintain plant material (trees, shrubs, groundcover, lawn, and vines) immediately after planting. Maintenance to be provided for sixty (60) days from acceptance by the Landscape Architect. At the end of sixty (60) days the Landscape Architect may extend the maintenance period if during that period the maintenance is not acceptable. Maintenance includes watering, weeding, cultivation, mulching, lightening, and repairing of guys, removal of dead material, resetting plants to proper grade or upright positions and restoration of the planting saucer and other construction work until acceptance.
B. Sod
1. Maintain sodded areas immediately after placement and for a sixty (60) day period. After acceptance maintenance includes weekly mowing and all necessary irrigation adjustment.
2. After sixty (60) day maintenance, coordinate post-maintenance mowing of new sod with Owner's maintenance personnel.
3. Water sod when required and in sufficient quantities to prevent grass and underlying soil from drying out.
4. Roll and sand sod when required to remove minor depressions or irregularities.
5. Control growth of weeds and sod. When using herbicides, apply in accordance with manufacturer's instructions. Remedy damage resulting from negligent or improper use of herbicides.
6. Immediately repair or replace any sodded areas which show deterioration or bare spots.
7. Protect sodded areas with warning signs during maintenance period.

3.09 INSPECTION FOR ACCEPTANCE

A. Inspection of the landscaping work to determine completion of contract work, exclusive of plants, will be made by the Landscape Architect at the conclusion of the maintenance period.

B. Acceptance: After inspection, the Contractor will be notified in writing by the Landscape Architect of all work of this Section, exclusive of the possible replacement of plants subject to reinspection and guarantee, or if there are deficiencies of the requirements for completion of the work.

C. Upon acceptance made by the Landscape Architect, the Contractor's maintenance is terminated and the guarantee period begins.

3.10 PLANT GUARANTEE AND REPLACEMENT/FINAL ACCEPTANCE

A. The guarantee is for a period of one (1) year from date of acceptance by the Landscape Architect. The guarantee is for all new plant material, lawns, transplants, and existing plant material.

B. At the end of the guarantee period, the Landscape Architect shall respect all guaranteed work for Final Acceptance upon written request of Contractor. Request shall be received at least ten (10) calendar days before anticipated date for final inspection. Upon final inspection and reinspection of replacements or repairs necessary in judgment of Landscape Architect at that time, Landscape Architect shall certify in writing to Owner as to Final Acceptance of plantings. Contractor shall replace, without cost to Owner, as soon as weather conditions permit, and within specified planting period, all dead plants and all plants not in vigorous, thriving conditions as determined by Landscape Architect at the end of guarantee period. Plants shall be free of dead or dying branches and branch tips, and shall bear foliage of normal density, size, and color. Replacements shall closely match adjacent specimens of same species and shall be equal in size to previously planted specimens, including increased growth since planting. Replacement shall be subject to all requirements of this Specification. If replacement plant material is not acceptable at end of two month period following replacement, Owner may elect subsequent replacement or credit for each item. Owner will retain sufficient amount from Contractor's payment to cover estimated cost of possible replacements at time of initial inspection or acceptance, including materials and labor. Contractor shall receive final payment only after all replacements have been made and approved.

C. Portions of lawns and/or plantings may be accepted in part upon Landscape Architect's approval.

PART 4 - MISCELLANEOUS AND GENERAL NOTES

4.01 FINISH GRADING AND GRADING

A. The General Contractor to provide Landscape Contractor finish grade within ± 0.1 of a foot as shown on the civil grading plan and landscape plan.

B. All mounding, berms, and finishing grading to be approved by the Landscape Architect prior to planting or irrigation work.
C. The Landscape Contractor at his own expense shall procure all permits, certificates, and licenses required of him by law for the execution of this work. He shall comply with all state, county, and local laws, ordinances, rules, or regulations relating to the performance of this work. All deductions or additions will be made through a change order issued by the Architect. Changes made without a change order are not considered part of the contract and payment cannot be guaranteed.
D. The Contractor shall visit and inspect site to thoroughly inform himself of all existing conditions. Any discrepancies between existing conditions and those shown on drawings shall be immediately brought to the attention of the Landscape Architect.

4.02 GENERAL NOTES

A. The Landscape Contractor at his own expense shall procure all permits, certificates, and licenses required of him by law for the execution of this work. He shall comply with all state, county, and local laws, ordinances, rules, or regulations relating to the performance of this work. All deductions or additions will be made through a change order issued by the Architect. Changes made without a change order are not considered part of the contract and payment cannot be guaranteed.
B. The Contractor shall visit and inspect site to thoroughly inform himself of all existing conditions. Any discrepancies between existing conditions and those shown on drawings shall be immediately brought to the attention of the Landscape Architect.

IRRIGATION SPECIFICATIONS SECTION 02900

PART 1 - GENERAL

1.01 WORK INCLUDED

A. The work included under these specifications shall consist of the furnishing of all labor, materials, permits, tools, and equipment necessary for the complete installation of a sprinkler irrigation system in accordance with the following specifications and accompanying drawings.
B. It is the intent of these drawings and specifications to form a guide for a complete installation, and although some items may not be specifically noted, but are reasonably necessary for a complete installation, they shall be furnished under this contract. Sprinklers shall be located at spaced so that adequate overlapping of the spray will provide uniform head to head (100%) coverage. The system shall efficiently and evenly irrigate all areas, and shall be complete in every respect, ready for operation by the Owner.
C. It is the responsibility of the Irrigation Contractor to provide 100% coverage to all landscape areas.

1.02 CONTRACTOR'S QUALIFICATIONS

A. Installers shall be licensed irrigation contractors with experience in the installation of automatic underground lawn sprinkling systems. All work shall be performed in a professional workmanlike manner by mechanics skilled in the trade.
B. The Contractor shall be responsible for any damage to any work covered by these specifications, under his care and custody, until final acceptance of his work.
C. The Contractor shall obtain all permits from, pay required fees to, and arrange any necessary inspections by any government agency having jurisdiction over the work.

1.03 VERIFICATION OF DRAWINGS AND SPECIFICATIONS

A. It shall be the Contractor's responsibility to carefully examine the drawings and specifications, and to visit the site in order to check existing conditions prior to bidding. Any conflict or errors shall be immediately brought to the attention of the Landscape Architect for interpretation or instructions. Otherwise, any changes necessary to meet existing conditions, shall be made at the Contractor's expense.
B. Under existing drives or sidewalks, the Contractor shall either saw cut concrete and replace it to the former condition or install the pipe by boring or jacking under the area.
C. As soon as the work has been installed, inspected and accepted, all excavations and trenches shall be filled and water settled with fine earth materials, free from clods, rocks, or other unsuitable substances. Trenches must be left flush with adjacent finished grade after compacting to the original density of the soil. Flooding of trenches will be permitted downstream of zone valves. Care shall be taken to place any previously tilled and fertilized soil in the top portion of the trench, and subsoil will not be allowed in the top six (6") inches of the backfill.
D. The Contractor shall be responsible for staking out the system from the drawings, using the property lines and building dimensions as a guide.
E. The Contractor shall coordinate his work with that of the other trades, so as to avoid any conflict, and carry the installations to a rapid completion without any unnecessary delays.

1.04 WORKING CONDITIONS

A. The Contractor shall confine his operations to the areas allotted to him by the Owner, for his work and for material and equipment storage.
B. The Contractor shall continuously maintain a competent superintendent, satisfactory to the Owner, on the work during progress, with authority to act for the Contractor in all matters pertaining to the work.
C. The Contractor shall not assign nor sublet any portion of this work without written approval by the Owner.
D. The Contractor shall be responsible for staking out the system from the drawings, using the property lines and building dimensions as a guide.
E. All lateral piping, on the discharge side of the zone valves, two (2") inches and under, shall be class 200 PVC. Fittings shall be schedule 40 PVC material.

2.01 PIPING

A. All plastic to metal shall be made with PVC schedule 40 male adaptors or PVC schedule 80 nipples. Joint compound for such connections shall be Fernmatex Type II Teflon tape or a prior approved equivalent.
B. Where pipes are installed under roads, drives, parking areas or walks, schedule 40 PVC elbows shall be provided for the lines. In planting areas, where cultivation might damage shallow plastic piping, protective sleeves must be provided, unless copper tubing is installed. Risers in flower beds and shrubbery shall be schedule 80 PVC.
C. Emitter heads shall be on PVC laterals, or prior approved equivalent.
D. AUTOMATIC CONTROLLER
A. Unit features shall include mechanical time control design, adjustable time setting up to 60 minutes per station, 24-hour clock, 14-day calendar, and automatic reset feature. Unit shall be UL listed and shall operate on 120 volt, 1 phase, 60 Hertz power. General Contractor to bring power to controller. Irrigation Contractor to hardwire to controller, see detail.
E. QUICK-COUPLING VALVES
A. Furnish and install where shown on the drawings quick-coupler with swivel and hose bib, 3/4" size, or prior approved equivalent. They shall be mounted on one (1") inch copper swing joint risers, and the risers shall be set flush with the top of the plants. Furnish and deliver to the Owner double-lug coupler key complete with one (1") inch hose swivel for connecting to the above valves. Also furnish two (2) lockout cover key.
F. ELECTRICAL CONTROL CABLE
A. All electrical control and ground wire shall be irrigation control cable of size as required. All wiring to be used for connecting the automatic remote control valve to the automatic controllers shall be Type "UF" 600 volt, stranded or solid copper, single conductor core with PVC insulation and bear UL approval for direct underground burial feeder cable.
B. All control or "hot" wires shall be on one color (red) and all common or "ground" wires shall be or another color (white).
C. Verification of wire types and installation procedures shall be checked to conform to local codes.
D. All electric control cable shall be of size as determined by the equipment manufacturer and shall be installed in the piping trenches wherever possible and in the manner recommended by the manufacturer, leaving slack in the wire. Expansion joints in the wire may be provided at 200-foot intervals by making five or six (5 or 6) turns of the wire around a piece of 1/2" inch pipe, where it is necessary to run wire in a separate trench, the wire shall have a minimum cover of twelve (12") inches.
G. The Contractor shall clearly mark and maintain markers showing locations of irrigation system wiring and piping installed in order that other contractors may avoid damaging this work.
H. The Contractor shall take necessary precautions to protect site conditions and plant materials which are to remain. Should damage be incurred, Contractor shall repair damage to its original condition or furnish and install equal replacement at his expense.
I. The Contractor shall coordinate with the Landscape Architect to provide irrigation to existing materials.
J. EXCAVATION
K. The Contractor shall do all necessary excavation for the proper installation of his work. Machine trenches used on the site shall be of an approved type to cut smooth-bottom trenches on uniform slopes. Trenches shall be no wider than necessary to lay the pipe, except where necessary to make joints. Over excavating shall be backfilled and carefully tamped to provide a smooth and firm bearing surface for laying the pipe. When necessary, Contractor must provide barricades and lights for public protection. Minimum depth of cover shall be at least eighteen (18") inches for the main piping, and at least twelve (12") inches for the lateral branch lines.
L. PIPE INSTALLATION
M. All pipe lines shall be installed in the locations and of the sizes indicated, and of the materials specified. Pipe shall be installed in the same trench. Pipe shall be laid accurately to the line and grade required, with full uniform bearing on the trench bottom. No piping shall be laid on the soft fill or other unstable material. No direct contact, with other piping or structures, will be permitted at crossing. Interior of piping shall be kept clear of foreign matter before installation, and shall be kept clean by means of plugged or capped ends after lowering into the trench. The supply main lines shall be flushed out and tested for leaks, with control valves in place, before backfilling of the joints. All lateral piping sections shall be flushed out before sprinkler heads are attached.
N. All pipe shall be installed in strict accordance with recommendations of the manufacturer. This shall apply to thrust blocking, handling, storage, depth of cover, expansion allowance, testing, etc.
O. Under existing drives or sidewalks, the Contractor shall either saw cut concrete and replace it to the former condition or install the pipe by boring or jacking under the area.
P. As soon as the work has been installed, inspected and accepted, all excavations and trenches shall be filled and water settled with fine earth materials, free from clods, rocks, or other unsuitable substances. Trenches must be left flush with adjacent finished grade after compacting to the original density of the soil. Flooding of trenches will be permitted downstream of zone valves. Care shall be taken to place any previously tilled and fertilized soil in the top portion of the trench, and subsoil will not be allowed in the top six (6") inches of the backfill.
Q. SPRINKLER HEADS
R. Sprinklers shall be set plumb and level with the turf at locations shown on the drawings. In lawn areas where grass has not been established, the heads shall be installed in temporary risers at least three inches (3") above the grade. After the turf is established, the Contractor shall, within ten (10) days after notification, lower the heads to their permanent positions flush with the finished grade. This elevation is critical and Contractor shall exercise care to set them exactly at grade - never below.
S. AUTOMATIC VALVES
T. Each sprinkler zone shall be operated by automatic electric valves in the sizes indicated on the drawings. Each valve shall be provided with a built-in pressure regulator capable of holding a steady downstream pressure, regardless of fluctuations in the main supply pressure. The valves shall be installed where shown and supplied with a tag on which the valve's zone number shall be plainly marked.
U. All valves shall be in valve boxes.
V. Each valve shall be housed in an Ametex valve box, or prior approved equivalent. Place valve boxes in an orderly fashion. In the lawn place valve boxes in such a manner that mowing and weeding can easily be performed.

A. The Contractor shall be responsible for any damage to any work covered by these specifications, under his care and custody, until final acceptance of his work.
C. The Contractor shall obtain all permits from, pay required fees to, and arrange any necessary inspections by any government agency having jurisdiction over the work.
D. The Contractor shall be responsible for staking out the system from the drawings, using the property lines and building dimensions as a guide.
E. The Contractor shall coordinate his work with that of the other trades, so as to avoid any conflict, and carry the installations to a rapid completion without any unnecessary delays.

2.02 PIPING

A. All pressure main piping, on the supply side of the zone valves, shall be class 200 PVC with integrally formed ball-tite joint couplers. All fittings shall be solvent welded, schedule 40 PVC.
B. All lateral piping, on the discharge side of the zone valves, two (2") inches and under, shall be class 200 PVC. Fittings shall be schedule 40 PVC material.

2.03 SPRINKLER HEADS

A. Sprinklers shall be set plumb and level with the turf at locations shown on the drawings. In lawn areas where grass has not been established, the heads shall be installed in temporary risers at least three inches (3") above the grade. After the turf is established, the Contractor shall, within ten (10) days after notification, lower the heads to their permanent positions flush with the finished grade. This elevation is critical and Contractor shall exercise care to set them exactly at grade - never below.

2.04 AUTOMATIC VALVES

A. Each sprinkler zone shall be operated by automatic electric valves in the sizes indicated on the drawings. Each valve shall be provided with a built-in pressure regulator capable of holding a steady downstream pressure, regardless of fluctuations in the main supply pressure. The valves shall be installed where shown and supplied with a tag on which the valve's zone number shall be plainly marked.

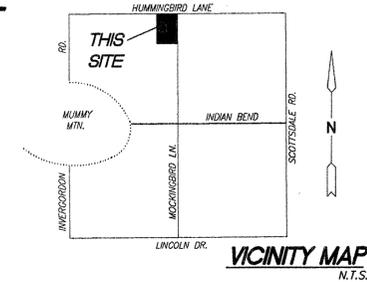
2.05 ELECTRICAL CONTROL CABLE

A. All electrical control and ground wire shall be irrigation control cable of size as required. All wiring to be used for connecting the automatic remote control valve to the automatic controllers shall be Type "UF" 600 volt, stranded or solid copper, single conductor core with PVC insulation and bear UL approval for direct underground burial feeder cable.

2.06 GENERAL NOTES

A. The Contractor shall clearly mark and maintain markers showing locations of irrigation system wiring and piping installed in order that other contractors may avoid damaging this work.
B. The Contractor shall take necessary precautions to protect site conditions and plant materials which are to remain. Should damage be incurred, Contractor shall repair damage to its original condition or furnish and install equal replacement at his expense.
C. The Contractor shall coordinate with the Landscape Architect to provide irrigation to existing materials.
D. EXCAVATION
E. The Contractor shall do all necessary excavation for the proper installation of his work. Machine trenches used on the site shall be of an approved type to cut smooth-bottom trenches on uniform slopes. Trenches shall be no wider than necessary to lay the pipe, except where necessary to make joints. Over excavating shall be backfilled and carefully tamped to provide a smooth and firm bearing surface for laying the pipe. When necessary, Contractor must provide barricades and lights for public protection.

**SPECIAL USE PERMIT
MINOR AMENDMENT**



EKA
Evans, Kuhn
& Associates, Inc.
727 E. Bethony Home Rd.
Phoenix, Az 85014
602.241.0782 phone
602.248.9158 fax

SITE PLAN
ASCENSION LUTHERAN CHURCH
7100 NORTH MOCKINGBIRD LANE
PARADISE VALLEY, ARIZONA

OWNER/ SITE ADDRESS

ASCENSION LUTHERAN CHURCH
7100 NORTH MOCKINGBIRD LANE
PARADISE VALLEY, ARIZONA 85263

CLIENT

CCG CONSTRUCTION, LLC
3333 EAST CAMELBACK RD.
SUITE 250
PHOENIX, ARIZONA 85018

ENGINEER

EVANS, KUHN & ASSOCIATES
727 EAST BETHANY HOME ROAD
SUITE D-225
PHOENIX, ARIZONA 85014

LEGAL DESCRIPTION

LOT 1 OF MEADOWLARK ACRES ACCORDING TO BOOK 194 PAGE 11
RECORDS OF MARICOPA COUNTY, ARIZONA

AREA INFORMATION AND PROJECT DATA

AREA=275,250 sq. ft. = 6.32 acres
ALLOWABLE HEIGHT = 75 FEET
ACTUAL BUILDING HEIGHT = 57 FEET
ALLOWABLE SPIRE HEIGHT = 100 FEET
ACTUAL SPIRE HEIGHT = 100 FEET
TOTAL FLOOR AREA = 15,823 sq. ft.
TOTAL FOOTPRINT AREA = 11,691 sq. ft.
LOT COVERAGE = 4.25%
ALLOWABLE COVERAGE = 20%
NORTH PARKING AREA = 70,656 sq.ft.
NORTH PARKING AREA LANDSCAPE = 18,130 sq.ft. = 25.7%
SOUTH PARKING AREA = 28,346 sq.ft.
SOUTH PARKING AREA LANDSCAPE = 10,130 sq.ft. = 35.7%

SUMMARY OF THE PARKING CALCULATIONS

PARKING ALLOWED	
TOTAL NUMBER OF SEATS IN THE SANCTUARY AT BUILD-OUT; PROVIDE ONE SPACE PER THREE SEATS (PER SECTION 6 OF THE ZONING ORDINANCE)	800 SEATS 266 SPACES
TOTAL ALLOWED	266 SPACES

EXISTING PARKING

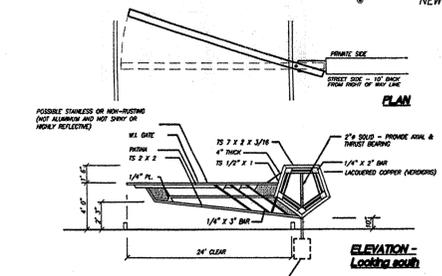
NORTH LOT	69 SPACES
SOUTH LOT	42 SPACES
ACCESSIBLE	3 SPACES
TOTAL	114 SPACES

PARKING TO BE PROVIDED

NORTH LOT	158 SPACES
SOUTH LOT	42 SPACES
ACCESSIBLE	7 SPACES
TOTAL	207 SPACES

LEGEND

- MONUMENT LINE/CENTERLINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- EASEMENT LINE
- E- ELECTRIC LINE
- G- GAS LINE
- SS- SEWER LINE
- W- WATER LINE
- [Pattern] EXISTING CONCRETE
- [Pattern] EXISTING PAVEMENT
- BRASS CAP FLUSH
- ⊙ BRASS CAP IN HANDHOLE
- FOUND 1/2" REBAR
- ⊙ SANITARY SEWER MANHOLE
- ⊙ ELECTRIC MANHOLE
- ⊙ WATER VALVE
- ⊙ FIRE HYDRANT
- ⊙ TELEPHONE PEDESTAL
- M.C.R. MARICOPA COUNTY RECORDS
- (R) RECORD COURSE
- (C) CALCULATED COURSE
- (M) MEASURED COURSE
- B.S.L. BUILDING SETBACK LINE
- NEW PARKING LOT BOLLARD LIGHTS



REVISIONS

NO.	DESCRIPTION

DRAWING STATUS:

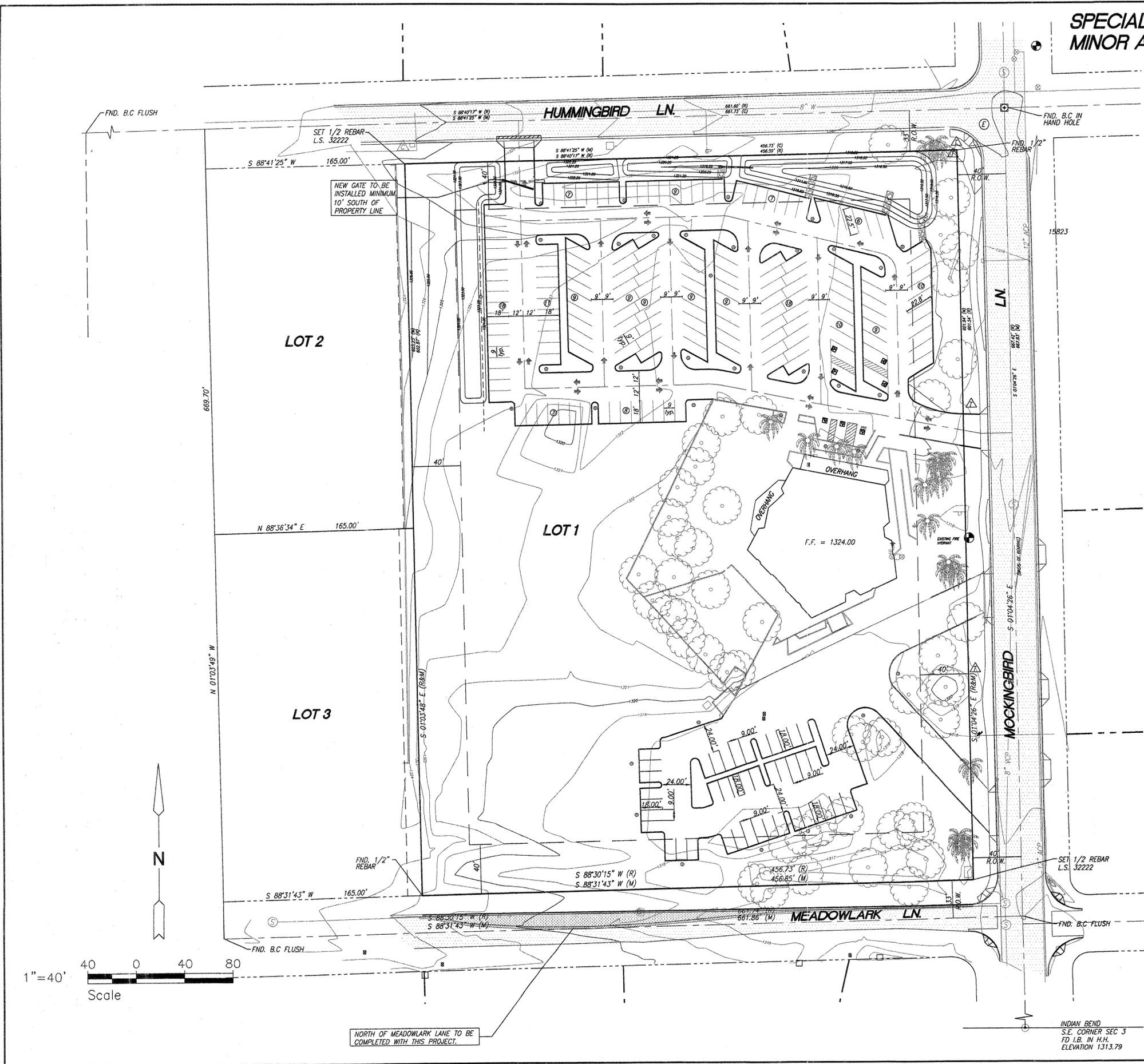


DATE ISSUED 04/18/02
DESIGNED BY
DRAWN BY JAG
CHECKED BY JAG
PROJECT NO. 4929
DRAWING NO.

C-1.00
SITE PLAN
1"=40'

CALL THE WORKING DAYS BEFORE YOU DIG
263-1100
HOUSE, MARICOPA COUNTY

EXTERNAL DRAWINGS



NORTH OF MEADOWLARK LANE TO BE COMPLETED WITH THIS PROJECT.

GRADING AND DRAINAGE PLANS FOR ASCENSION LUTHERAN CHURCH 7100 NORTH MOCKINGBIRD LANE PARADISE VALLEY, ARIZONA

FILE COPY

DO NOT REMOVE FROM FILE
Minor ASUP PLAT WENT TO
COUNCIL PLANNING AND ZONING
ON 11-19-02

EKA
Evans, Kuhn & Associates, Inc.
727 E. Bethany Home Rd.
Phoenix, Az 85014
602.241.0782 phone
602.248.9158 fax

**GRADING AND DRAINAGE PLAN
ASCENSION LUTHERAN CHURCH
7100 NORTH MOCKINGBIRD LANE
PARADISE VALLEY, ARIZONA**

**GENERAL NOTES
(EVANS, KUHN and ASSOCIATES, INC.)**

1. EXISTING UNDERGROUND UTILITIES WERE COMPILED FROM THE LATEST AVAILABLE UTILITY RECORDS AND SHOULD BE CONSIDERED APPROXIMATE IN LOCATION AND POSSIBLY INCOMPLETE. EXACT LOCATION MUST BE DETERMINED IN THE FIELD. CALL "BLUE-STAKE" A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO EXCAVATION.
2. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, CENTERLINE OF RIGHT-OF-WAY OR CENTERLINE OF STRUCTURE UNLESS NOTED OTHERWISE.
3. CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING PIPE AT PROPOSED CONNECTIONS PRIOR TO NEW PIPE INSTALLATION. NOTIFY ENGINEER IMMEDIATELY OF CONFLICTS OR DISCREPANCIES.
4. IT SHALL BE THE RESPONSIBILITY OF THE BIDDER TO VERIFY ALL QUANTITIES INCLUDING EXCAVATION, BORROW, EMBANKMENT, SHRINK OR SWELL, GROUND COMPACTION, HAUL AND ANY OTHER ITEMS AFFECTING HIS BID TO COMPLETE THE WORK TO THE ELEVATIONS SHOWN ON THE PLANS AND TO BASE HIS BID SOLELY UPON HIS OWN VERIFIED QUANTITIES IRRESPECTIVE OF THE INFORMATION FURNISHED. IT SHALL BE THE BIDDERS RESPONSIBILITY TO NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION, OR ANY MAJOR DISCREPANCIES.
5. ALL CONSTRUCTION ON SITE SHALL CONFORM TO MAG STANDARD SPECIFICATIONS AND DETAILS, UNLESS MODIFIED ON THE PLANS.
6. CONTRACTOR TO COMPLY WITH ALL ADA REQUIREMENTS RELATING TO CONSTRUCTION.
7. CONTRACTOR SHALL PROVIDE DUST CONTROL FOR ALL UNPAVED AREAS DURING CONSTRUCTION. OWNER IS RESPONSIBLE FOR PROVIDING APPROPRIATE GROUND COVER AND/OR DUST CONTROL MAINTENANCE AS NECESSARY AFTER CONSTRUCTION IS COMPLETED AND ACCEPTED.

The City of Paradise Valley "Storm Drainage Design Manual" was used as the basis for the design of storm water management for this project.

RETENTION SUMMARY

NET AREA, (A)	84,429 s.f.
RUNOFF COEFFICIENT, (C)	0.90
DESIGN STORM DEPTH, (d)	1.25 in.

RETENTION REQUIRED:

$$V_R = 7200 \cdot d \cdot A \cdot C$$

V_R = 15,700 cu. ft.

RETENTION PROVIDED: 15,791 cu. ft.

BASIN B		
contour	area	volume
21.2	1474	
		1091
20.2	707	385
19.2	62	31
		1506 cu. ft.

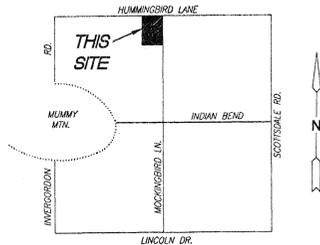
BASIN C		
contour	area	volume
19.5	6604.0	5833
18.5	5061.0	4345
17.5	3628.0	2961
16.5	2294.0	1147
		14285 cu. ft.

BASIN A AND D ONLY COLLECT WATER RUNOFF INSIDE THEIR AREAS

The proposed drainage facilities are designed to handle the runoff from the 100-year, 2-hour frequency storm for on-site runoff. The ultimate site outfall elevation 1318.82 is located on the east property line of the site onto Mockingbird Lane.

The finished floor is set adequately above the outfall protecting the building from flooding. The retention for the 100-year frequency storm will drain in less than 36 hours.

The proposed improvements for this project do not increase discharge from the site and comply with City of Paradise Valley drainage design requirements.



VICINITY MAP
N.T.S.

ENGINEER'S ESTIMATE OF QUANTITIES

PAVING

ASPHALT PAVING SURFACE	7289 SY
SAWCUT, REMOVE & REPLACE PAVEMENT	119 SY

CONCRETE

EXTRUDED CURB	2,780 L.F.
RIP-RAP SPILLWAY	4 EA.
VERTICAL CURB & GUTTER	460 L.F.

DRAINAGE

STORM WATER PIPE	19 L.F.
12" P.V.C. SDR 35 SD	

SHEET INDEX

- C1.01 COVER SHEET
- C1.02 GRADING & DRAINAGE PLAN
- C1.03 HORIZONTAL CONTROL & PAVING PLAN
- C1.04 SECTION & DETAILS
- C1.05 SOUTH SIDE IMPROVEMENTS

OWNER/ SITE ADDRESS

ASCENSION LUTHERAN CHURCH
7100 NORTH MOCKINGBIRD LANE
PARADISE VALLEY, ARIZONA 85263

ENGINEER/SURVEYOR

EVANS, KUHN & ASSOCIATES, INC.
727 E. BETHANY HOME ROAD, SUITE 0-225
PHOENIX, ARIZONA 85014
PHONE: (602) 241-0782
FAX: (602) 248-9158

CONTRACTOR

CCG CONSTRUCTION, LLC
3333 EAST CAMELBACK RD.
SUITE 250
PHOENIX, ARIZONA 85018

**ESTIMATED
EARTHWORK QUANTITIES**

CUT - 759 C.Y.
FILL - 450 C.Y.

NOTE: QUANTITIES SHOWN ARE IN PLACE ESTIMATES WITH ADJUSTMENTS MADE FOR SCARIFICATION, SHRINKAGE, OR COMPACTION LOSSES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EARTHWORK QUANTITIES AND BASING HIS BID UPON HIS ESTIMATED QUANTITY.

BASIS OF BEARINGS

ASSUMED BEARING OF S01°04'26"E ALONG THE MONUMENT LINE OF MOCKINGBIRD LANE AS SHOWN ON THE RECORDED PLAT FOR MEADOWLARK ACRES, BOOK 194, PAGE 11, M.C.R.

LEGAL DESCRIPTION

LOT 1 OF MEADOWLARK ACRES ACCORDING TO BOOK 194, PAGE 11, RECORDS OF MARICOPA COUNTY, ARIZONA

AREA AND PROJECT DATA

AREA = 275,250 sq. ft. = 6.32 acres
ALLOWABLE HEIGHT = 75 FEET
ACTUAL BUILDING HEIGHT = 57 FEET
ALLOWABLE SPIRE HEIGHT = 100 FEET
ACTUAL SPIRE HEIGHT = 100 FEET
TOTAL FLOOR AREA = 15,823 sq. ft.
TOTAL FOOTPRINT AREA = 11,691 sq. ft.
LOT COVERAGE = 4.25%
ALLOWABLE COVERAGE = 20%
NORTH PARKING AREA = 70,656 sq. ft.
NORTH PARKING AREA LANDSCAPE = 18,130 sq. ft. = 25.7%

BENCHMARK

PARADISE VALLEY BENCH #70 BRASS CAP FLUSH 775'± WEST OF INTERSECTION OF 66TH STREET AND HUMMINGBIRD LANE.
ELEVATION = 1373.75

FLOODPLAIN

THE SUBJECT PARCEL LIES WITHIN FLOOD ZONE "X" AS DELINEATED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM MAP NO. 04013C1695G DATED 7/19/2001.

FLOOD ZONE "X" IS DEFINED AS AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD.

EXTERNAL DRAWINGS

LEGEND

C= CONCRETE PAVEMENT GRADE	POWER POLE	NEW CURB
P= ASPHALT PAVEMENT GRADE	FIRE HYDRANT	EXISTING CURB & GUTTER
FG= PROPOSED FINISHED GRADE	TRANSFORMER	RIGHT-OF-WAY LINE
S/W= SIDEWALK GRADE	M.C.R. Maricopa County Recorder	PROPERTY LINE
EXISTING GRADE	D/W Driveway	EASEMENT LINE
ELECTRIC BOX, IRRIGATION VALVE BOX,	T Telephone Conduit	RIDGE LINE
DOWN GUY WIRE	G 2" Gas Line	GRADE BREAK
POWER POLE	8" VCP Sanitary Sewer Line	NEW RETAINING WALL
DIRECTION OF RUNOFF FLOW	Brass Cap in Hand Hole	HIGH WATER ELEVATION (100 YR. FLOOD INUNDATION)
TRAFFIC SIGN	Brass Cap Flush	P.U.E. = PUBLIC UTILITY EASEMENT
EXISTING BOLLARD	EXISTING STREET LIGHT	Monument Line / Centerline
DRYWELL	EXISTING WATER VALVE	Building
WATER OR GAS VALVE	EXISTING TREE	Existing Concrete
	EXISTING ASPHALT PAVEMENT	
	PROPOSED CONCRETE SIDEWALK	
		EXISTING SEWER MANHOLE
		EXISTING METER BOX/ IRRIG. CONTROL BOX

REVISIONS

1	REVISED 9/20/02
---	-----------------

DRAWING STATUS:



DATE ISSUED 7/23/02

DESIGNED BY PTT

DRAWN BY PTT

CHECKED BY JYG

PROJECT NO. 4929

DRAWING NO.

**C1.01
COVER
SHEET**





Evans, Kuhn
& Associates, Inc.
727 E. Bethony Home Rd.
Phoenix, Az 85014
602.241.0782 phone
602.248.9158 fax

GRADING AND DRAINAGE PLAN
ASCENSION LUTHERAN CHURCH
7100 NORTH MOCKINGBIRD LANE
PARADISE VALLEY, ARIZONA

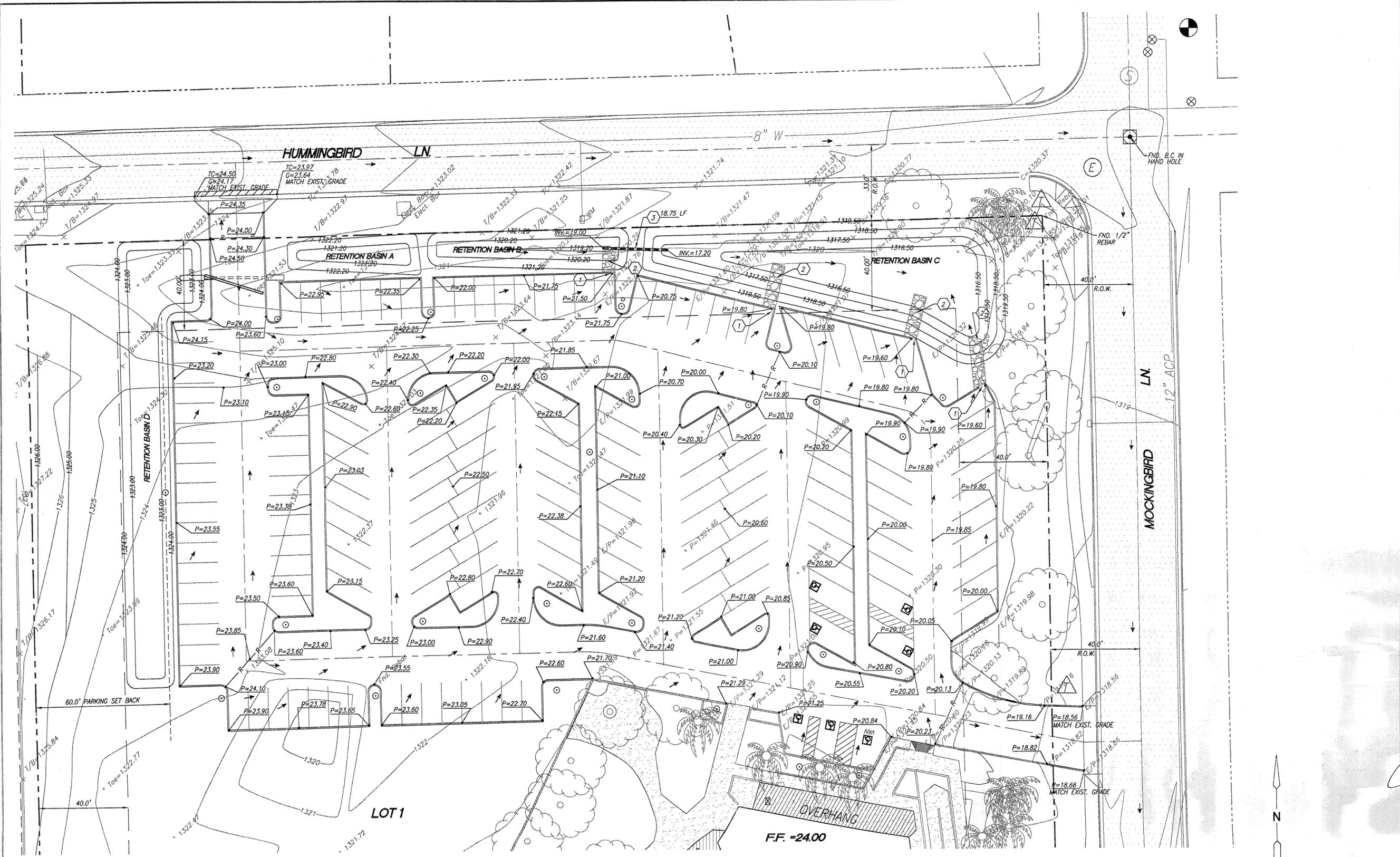
REVISIONS	
1	REVISED 9/20/02
2	REVISED 10/25/02

DRAWING STATUS:



DATE ISSUED	7/23/02
DESIGNED BY	PIT
DRAWN BY	PIT
CHECKED BY	JUG
PROJECT NO.	4929
DRAWING NO.	

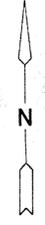
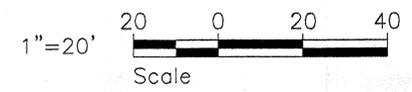
C1.02
GRADING & DRAINAGE PLAN
1"=20'



EXTERNAL DRAWINGS

CONSTRUCTION NOTES

- 1 CONSTRUCT CURB OPENING PER DETAIL ON SHEET C1.04.
- 2 CONSTRUCT RIP-RAP SPILLWAY PER DETAIL, ON SHEET C1.04, 6" MINIMUM DIAMETER STONE ONE FOOT THICK TO BOTTOM OF BASIN.
- 3 INSTALL 12" PVC, SDR 35 STORM DRAIN.





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GRADING AND DRAINAGE PLAN
ASCENSION LUTHERAN CHURCH
7100 NORTH MOCKINGBIRD LANE
PARADISE VALLEY, ARIZONA

REVISIONS

1	REVISED 9/20/02
2	REVISED 10/25/02

DRAWING STATUS:



DATE ISSUED 7/23/02

DESIGNED BY PTT

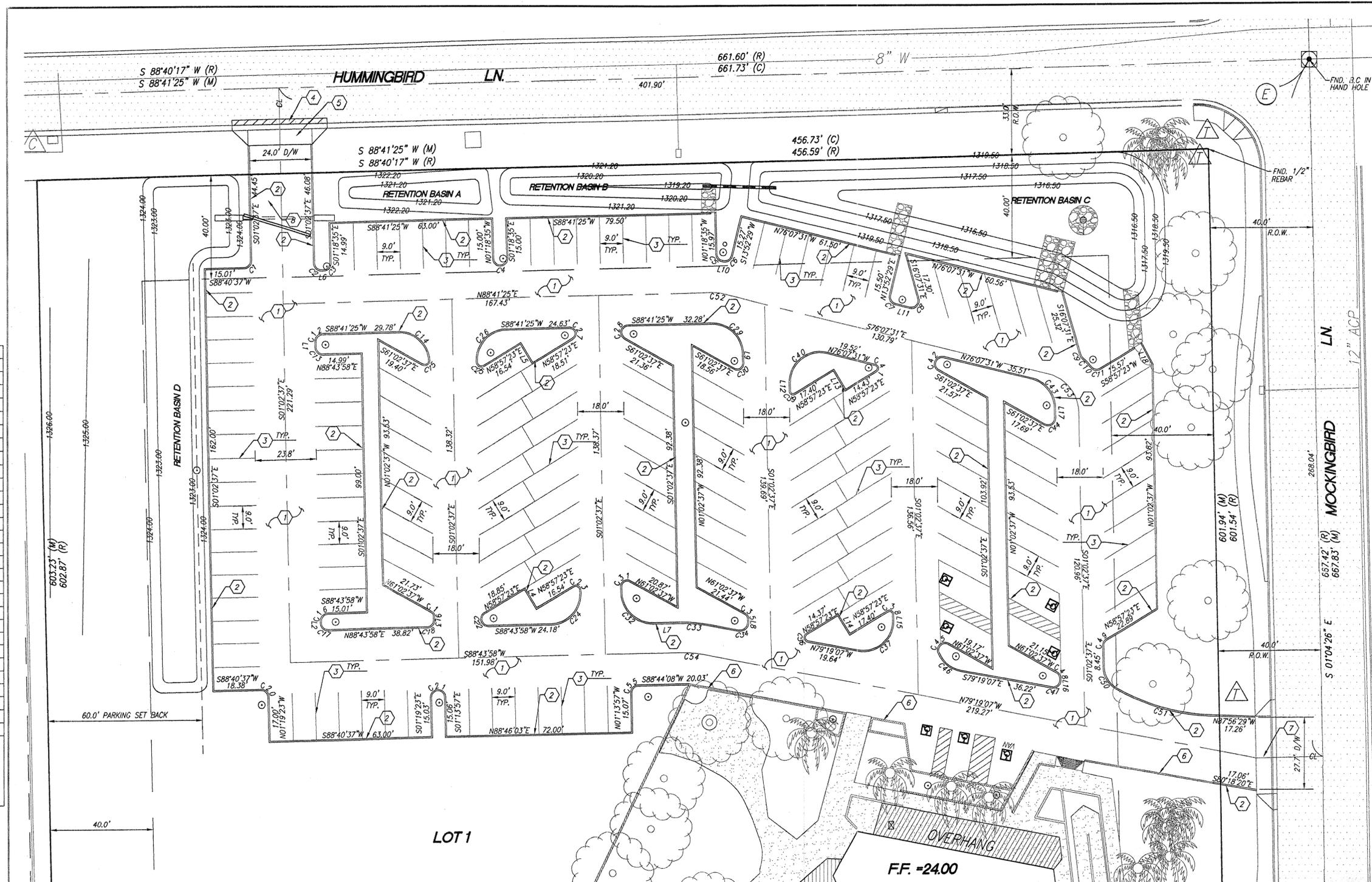
DRAWN BY PTT

CHECKED BY JIG

PROJECT NO. 4929

DRAWING NO.

C1.03
PAVING &
HORIZONTAL
CONTROL PLAN
1"=20'



CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	DELTA
C1	4.70	3.00'	2.99'	89°43'14"
C2	4.71	3.00'	3.00'	90°00'00"
C3	4.73	3.00'	3.01'	90°15'57"
C4	9.42	3.00'	INFINITE	180°00'00"
C5	4.20	3.00'	2.52'	80°09'44"
C6	4.43	3.00'	2.73'	84°39'12"
C7	4.71	3.00'	3.00'	90°00'00"
C8	6.28	3.00'	5.20'	120°00'00"
C9	1.70	3.00'	0.87'	32°30'32"
C10	4.89	27.50'	2.45'	10°11'44"
C11	4.33	3.00'	2.64'	82°36'18"
C12	4.70	3.00'	2.99'	89°44'03"
C13	4.72	3.00'	3.01'	90°13'25"
C14	18.11	12.00'	11.28'	86°28'35"
C15	4.32	2.00'	3.74'	123°47'22"
C16	4.70	3.00'	2.99'	89°46'35"
C17	4.72	3.00'	3.01'	90°13'25"
C18	4.70	3.00'	2.99'	89°46'35"
C19	2.09	2.00'	1.15'	60°00'00"
C20	4.71	3.00'	3.00'	90°00'00"
C21	9.29	3.00'	136.32'	177°28'43"
C22	7.87	3.00'	11.28'	150°13'25"
C23	4.19	2.00'	3.46'	120°00'00"
C24	18.80	12.00'	11.95'	89°46'35"
C25	4.19	2.00'	3.46'	120°00'00"
C26	18.79	12.00'	11.94'	89°44'03"
C27	6.56	2.50'	9.42'	150°15'57"
C28	7.84	3.00'	11.09'	149°44'03"
C29	19.69	12.50'	12.56'	90°15'57"
C30	5.24	2.50'	4.33'	120°00'00"
C31	5.24	2.50'	4.33'	120°00'00"
C32	19.68	12.50'	12.55'	90°13'25"
C33	11.78	56.50'	5.91'	11°56'45"
C34	6.21	3.50'	4.30'	101°43'31"
C35	2.62	2.50'	1.44'	60°00'00"
C36	4.83	2.00'	5.25'	138°16'29"
C37	21.31	12.00'	14.75'	101°43'31"
C38	3.14	1.50'	2.60'	120°00'00"
C39	3.14	1.50'	2.60'	120°00'00"
C40	21.97	12.00'	15.62'	104°55'06"
C41	3.54	1.50'	3.63'	135°04'54"
C42	8.64	3.00'	22.66'	164°55'06"
C43	15.73	12.00'	9.22'	75°04'54"
C44	6.28	3.00'	5.20'	120°00'00"
C45	7.49	3.00'	8.92'	143°01'59"
C46	11.57	12.00'	6.28'	55°14'30"
C47	5.33	3.00'	3.69'	101°43'31"
C48	3.14	3.00'	1.73'	60°00'00"
C49	3.14	3.00'	1.73'	60°00'00"
C50	10.61	10.00'	5.86'	60°46'21"
C51	39.05	80.00'	19.92'	27°57'53"
C52	4.11	15.50'	2.02'	15°11'04"
C53	20.31	15.50'	11.91'	75°04'54"
C54	9.38	45.00'	4.71'	11°56'45"
C55	4.71	3.00'	3.00'	89°58'06"

LINE TABLE

LINE	LENGTH	BEARING
L1	2.29'	S01°02'37"E
L2	1.00'	S01°02'37"E
L3	1.77'	N01°02'37"W
L4	9.00'	S31°02'37"E
L5	9.00'	S31°02'37"E
L6	9.93'	S88°57'23"W
L7	9.93'	N88°43'58"E
L8	1.30'	N01°02'37"W
L9	3.59'	N01°02'37"W
L10	0.62'	N81°28'19"W
L11	5.89'	S76°07'31"E
L12	3.00'	S01°02'37"E
L13	9.00'	S31°02'37"E
L14	9.00'	S31°02'37"E
L15	2.72'	S01°02'37"E
L16	0.85'	N01°02'37"W
L17	3.82'	N01°02'37"W
L18	9.26'	N28°12'38"W

CONSTRUCTION NOTES

- 1 CONSTRUCT 2" A.C. (C-3/4 MIX) OVER 4" A.B.C. PAVEMENT.
- 2 CONSTRUCT EXTRUDED CURB PER DETAIL ON SHEET C1.04.
- 3 PAINT 4" WIDE WHITE PARKING STRIPE. (TYPICAL)
- 4 SAWCUT AND REMOVE EXISTING CURB & GUTTER 2" MIN. INTO EXISTING PAVEMENT. REPLACE PAVEMENT IN-KIND OR WITH 3" AC OVER 6" ABC WHICHEVER IS GREATER.
- 5 CONSTRUCT 24" DRIVEWAY ENTRANCE PER MAG STD DET. 263.
- 6 EXISTING EXTRUDED CURB TO REMAIN IN PLACE.
- 7 EXISTING DRIVEWAY TO REMAIN IN PLACE.
- 8 CONSTRUCT ACCESS GATE, SEE DETAIL ON SHEET C-1.04.



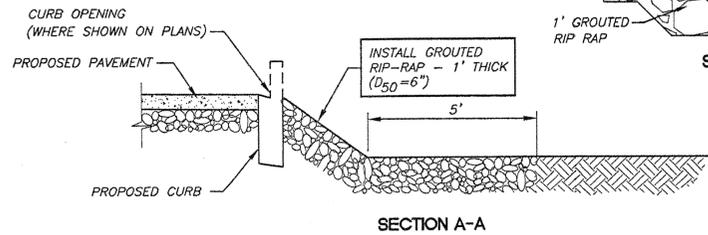
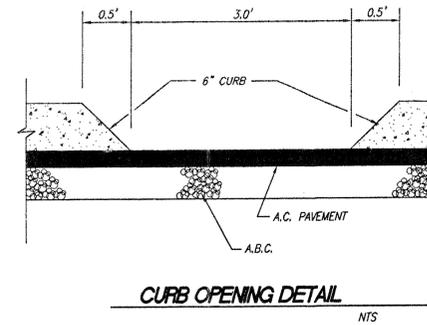
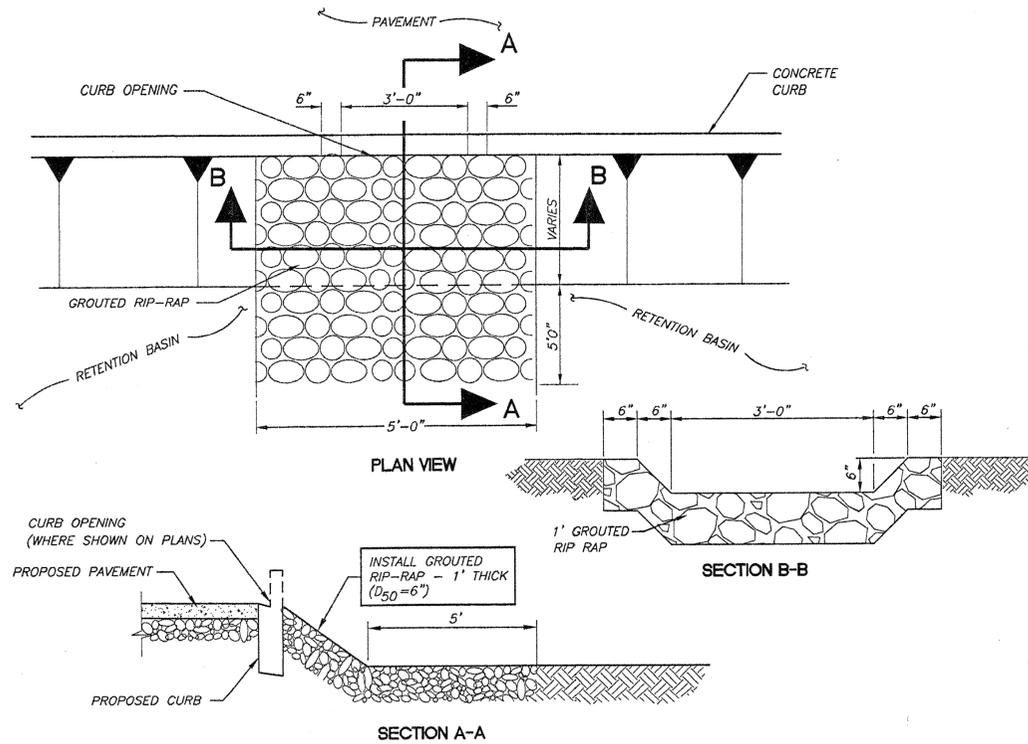
EXTERNAL DRAWINGS

CALL TWO WORKING DAYS BEFORE YOU DIG
263-1100
HOPE MARICOPA COUNTY



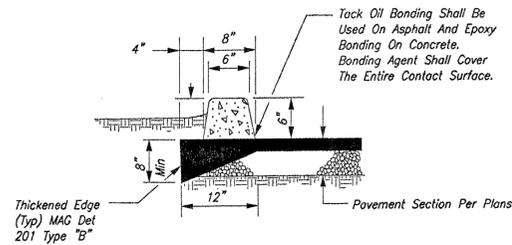
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& Associates, Inc.
727 E. Bethany Home Rd.
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602.241.0782 phone
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GRADING AND DRAINAGE PLAN
ASCENSION LUTHERAN CHURCH
7100 NORTH MOCKINGBIRD LANE
PARADISE VALLEY, ARIZONA



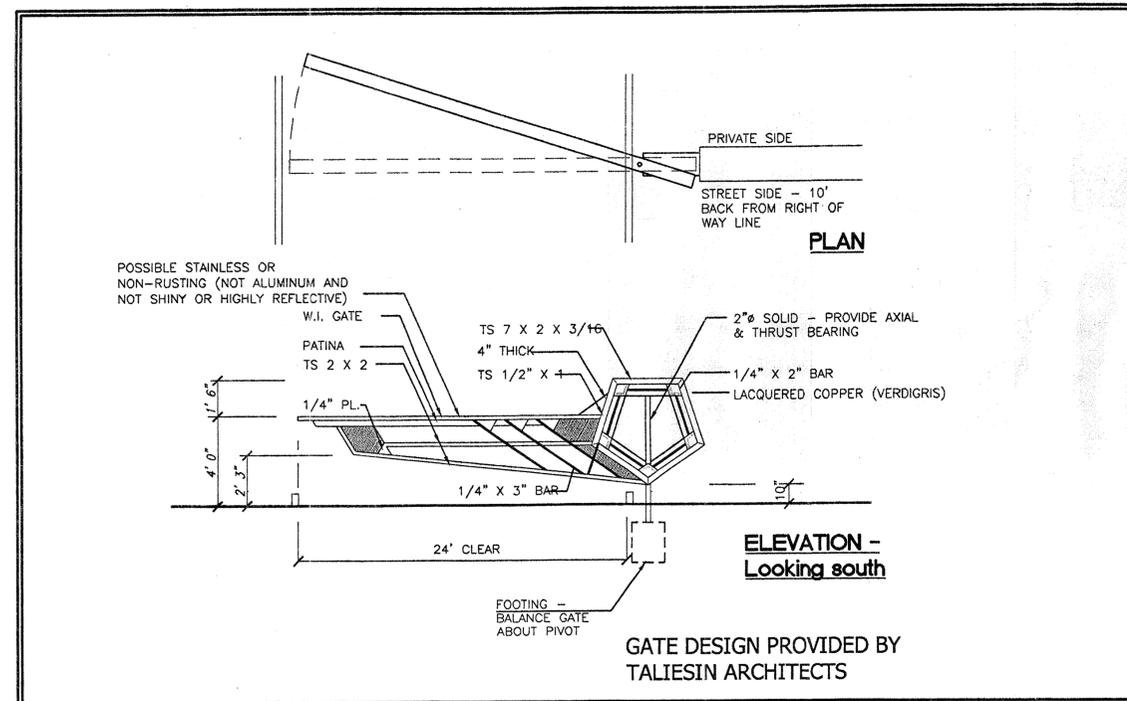
RIPRAP DETAIL
NTS

Extruded Curb Shall Have A Tooled Joint Every 10 feet And At Least 3 Per Each Small Radius Curve



Note: Extruded Curb Shall Be Placed By Qualified Applicators. All Material Utilized Shall Be Delivered To The Job Site In Transit Mixers As Per, M.A.C. Specs. 725.

EXTRUDED CURB DETAIL
(Not to Scale)



GATE DESIGN PROVIDED BY
TALIESIN ARCHITECTS

REVISIONS	
1	REVISED 9/20/02
2	REVISED 10/25/02

DRAWING STATUS:



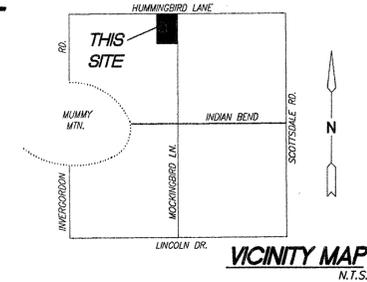
DATE ISSUED	7/23/02
DESIGNED BY	PTT
DRAWN BY	PTT
CHECKED BY	JUG
PROJECT NO.	4929
DRAWING NO.	

C104
SECTION
AND DETAILS



EXTERNAL DRAWINGS

**SPECIAL USE PERMIT
MINOR AMENDMENT**



Evans, Kuhn & Associates, Inc.
727 E. Bethony Home Rd.
Phoenix, Az 85014
602.241.0782 phone
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SITE PLAN
ASCENSION LUTHERAN CHURCH
7100 NORTH MOCKINGBIRD LANE
PARADISE VALLEY, ARIZONA

OWNER/ SITE ADDRESS

ASCENSION LUTHERAN CHURCH
7100 NORTH MOCKINGBIRD LANE
PARADISE VALLEY, ARIZONA 85263

CLIENT

CCG CONSTRUCTION, LLC
3333 EAST CAMELBACK RD.
SUITE 250
PHOENIX, ARIZONA 85018

ENGINEER

EVANS, KUHN & ASSOCIATES
727 EAST BETHANY HOME ROAD
SUITE D-225
PHOENIX, ARIZONA 85014

LEGAL DESCRIPTION

LOT 1 OF MEADOWLARK ACRES ACCORDING TO BOOK 194 PAGE 11
RECORDS OF MARICOPA COUNTY, ARIZONA

AREA INFORMATION AND PROJECT DATA

AREA=275,250 sq. ft. = 6.32 acres
ALLOWABLE HEIGHT = 75 FEET
ACTUAL BUILDING HEIGHT = 57 FEET
ALLOWABLE SPIRE HEIGHT = 100 FEET
ACTUAL SPIRE HEIGHT = 100 FEET
TOTAL FLOOR AREA = 15,823 sq. ft.
TOTAL FOOTPRINT AREA = 11,691 sq. ft.
LOT COVERAGE = 4.25%
ALLOWABLE COVERAGE = 20%
NORTH PARKING AREA = 70,656 sq.ft.
NORTH PARKING AREA LANDSCAPE = 18,130 sq.ft. = 25.7%
SOUTH PARKING AREA = 28,346 sq.ft.
SOUTH PARKING AREA LANDSCAPE = 10,130 sq.ft. = 35.7%

SUMMARY OF THE PARKING CALCULATIONS

PARKING ALLOWED	
TOTAL NUMBER OF SEATS IN THE SANCTUARY AT BUILD-OUT; PROVIDE ONE SPACE PER THREE SEATS (PER SECTION 6 OF THE ZONING ORDINANCE)	800 SEATS 266 SPACES
TOTAL ALLOWED	266 SPACES

EXISTING PARKING

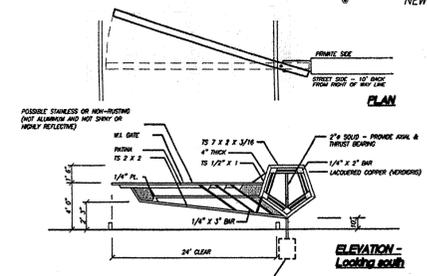
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SOUTH LOT	42 SPACES
ACCESSIBLE	3 SPACES
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NORTH LOT	158 SPACES
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TOTAL	207 SPACES

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- BRASS CAP FLUSH
- BRASS CAP IN HANDHOLE
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- (M) MEASURED COURSE
- B.S.L. BUILDING SETBACK LINE
- NEW PARKING LOT BOLLARD LIGHTS



REVISIONS

NO.	DESCRIPTION

DRAWING STATUS



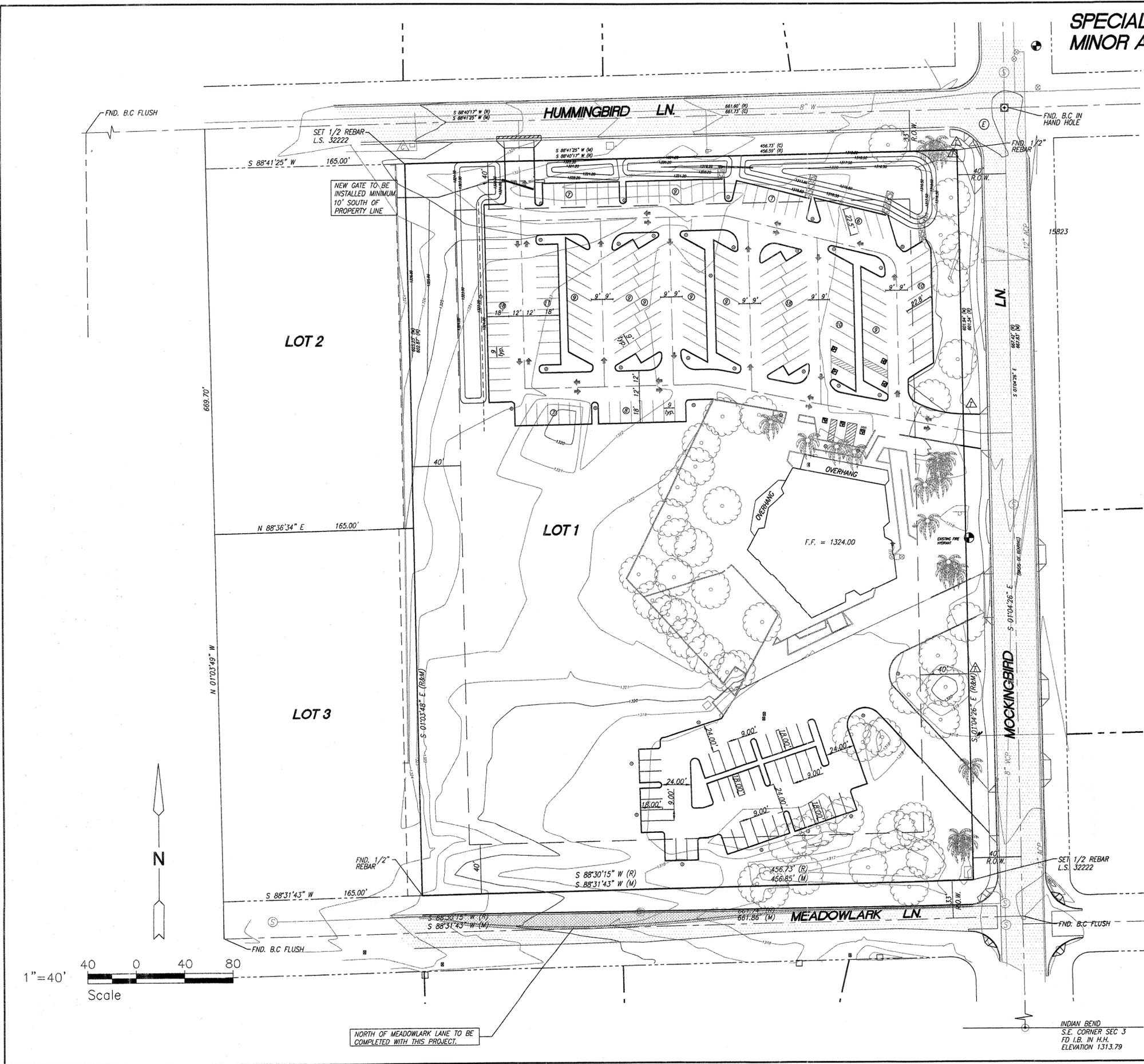
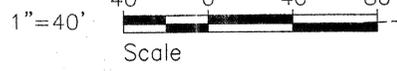
DATE ISSUED 04/18/02
DESIGNED BY
DRAWN BY JAG
CHECKED BY JAG
PROJECT NO. 4929
DRAWING NO.

C-1.00
SITE PLAN

CALL THE WORKING DAYS BEFORE YOU DIG
263-1100
HOUSE, MARICOPA COUNTY

1"=40'

EXTERNAL DRAWINGS



NORTH OF MEADOWLARK LANE TO BE COMPLETED WITH THIS PROJECT.

INDIAN BEND
S.E. CORNER SEC 3
T.D. 1.B. IN H.H.
ELEVATION 1313.79

GRADING AND DRAINAGE PLANS FOR ASCENSION LUTHERAN CHURCH

7100 NORTH MOCKINGBIRD LANE
PARADISE VALLEY, ARIZONA

FILE COPY

DO NOT REMOVE FROM FILE
Minor ASUP PLAT WENT TO
COUNCIL PLANNING AND ZONING
ON 11-19-02

EKA
Evans, Kuhn
& Associates, Inc.
727 E. Bethany Home Rd.
Phoenix, Az 85014
602.241.0782 phone
602.248.9158 fax

**GRADING AND DRAINAGE PLAN
ASCENSION LUTHERAN CHURCH
7100 NORTH MOCKINGBIRD LANE
PARADISE VALLEY, ARIZONA**

**GENERAL NOTES
(EVANS, KUHN and ASSOCIATES, INC.)**

1. EXISTING UNDERGROUND UTILITIES WERE COMPILED FROM THE LATEST AVAILABLE UTILITY RECORDS AND SHOULD BE CONSIDERED APPROXIMATE IN LOCATION AND POSSIBLY INCOMPLETE. EXACT LOCATION MUST BE DETERMINED IN THE FIELD. CALL "BLUE-STAKE" A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO EXCAVATION.
2. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, CENTERLINE OF RIGHT-OF-WAY OR CENTERLINE OF STRUCTURE UNLESS NOTED OTHERWISE.
3. CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING PIPE AT PROPOSED CONNECTIONS PRIOR TO NEW PIPE INSTALLATION. NOTIFY ENGINEER IMMEDIATELY OF CONFLICTS OR DISCREPANCIES.
4. IT SHALL BE THE RESPONSIBILITY OF THE BIDDER TO VERIFY ALL QUANTITIES INCLUDING EXCAVATION, BORROW, EMBANKMENT, SHRINK OR SWELL, GROUND COMPACTION, HAUL AND ANY OTHER ITEMS AFFECTING HIS BID TO COMPLETE THE WORK TO THE ELEVATIONS SHOWN ON THE PLANS AND TO BASE HIS BID SOLELY UPON HIS OWN VERIFIED QUANTITIES IRRESPECTIVE OF THE INFORMATION FURNISHED. IT SHALL BE THE BIDDERS RESPONSIBILITY TO NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION, OR ANY MAJOR DISCREPANCIES.
5. ALL CONSTRUCTION ON SITE SHALL CONFORM TO MAG STANDARD SPECIFICATIONS AND DETAILS, UNLESS MODIFIED ON THE PLANS.
6. CONTRACTOR TO COMPLY WITH ALL ADA REQUIREMENTS RELATING TO CONSTRUCTION.
7. CONTRACTOR SHALL PROVIDE DUST CONTROL FOR ALL UNPAVED AREAS DURING CONSTRUCTION. OWNER IS RESPONSIBLE FOR PROVIDING APPROPRIATE GROUND COVER AND/OR DUST CONTROL MAINTENANCE AS NECESSARY AFTER CONSTRUCTION IS COMPLETED AND ACCEPTED.

The City of Paradise Valley "Storm Drainage Design Manual" was used as the basis for the design of storm water management for this project.

RETENTION SUMMARY

NET AREA, (A)	84,429 s.f.
RUNOFF COEFFICIENT, (C)	0.90
DESIGN STORM DEPTH, (d)	1.25 in.

RETENTION REQUIRED:

$$V_R = 7200 \cdot d \cdot A \cdot C$$

V_R = 15,700 cu. ft.

RETENTION PROVIDED: 15,791 cu. ft.

BASIN B		
contour	area	volume
21.2	1474	
20.2	707	1091
19.2	62	385
		31
		1506 cu. ft.

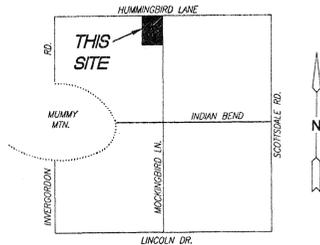
BASIN C		
contour	area	volume
19.5	6604.0	5833
18.5	5061.0	4345
17.5	3628.0	2961
16.5	2294.0	1147
		14285 cu. ft.

BASIN A AND D ONLY COLLECT WATER RUNOFF INSIDE THEIR AREAS

The proposed drainage facilities are designed to handle the runoff from the 100-year, 2-hour frequency storm for on-site runoff. The ultimate site outfall elevation 1318.82 is located on the east property line of the site onto Mockingbird Lane.

The finished floor is set adequately above the outfall protecting the building from flooding. The retention for the 100-year frequency storm will drain in less than 36 hours.

The proposed improvements for this project do not increase discharge from the site and comply with City of Paradise Valley drainage design requirements.



VICINITY MAP
N.T.S.

ENGINEER'S ESTIMATE OF QUANTITIES

PAVING	
ASPHALT PAVING SURFACE	7289 SY
SAWCUT, REMOVE & REPLACE PAVEMENT	119 SY
CONCRETE	
EXTRUDED CURB	2,780 L.F.
RIP-RAP SPILLWAY	4 EA.
VERTICAL CURB & GUTTER	460 L.F.
DRAINAGE	
STORM WATER PIPE	19 L.F.
12" P.V.C. SDR 35 SD	

SHEET INDEX

- C1.01 COVER SHEET
- C1.02 GRADING & DRAINAGE PLAN
- C1.03 HORIZONTAL CONTROL & PAVING PLAN
- C1.04 SECTION & DETAILS
- C1.05 SOUTH SIDE IMPROVEMENTS

OWNER/ SITE ADDRESS

ASCENSION LUTHERAN CHURCH
7100 NORTH MOCKINGBIRD LANE
PARADISE VALLEY, ARIZONA 85263

ENGINEER/SURVEYOR

EVANS, KUHN & ASSOCIATES, INC.
727 E. BETHANY HOME ROAD, SUITE 0-225
PHOENIX, ARIZONA 85014
PHONE: (602) 241-0782
FAX: (602) 248-9158

CONTRACTOR

CCG CONSTRUCTION, LLC
3333 EAST CAMELBACK RD.
SUITE 250
PHOENIX, ARIZONA 85018

**ESTIMATED
EARTHWORK QUANTITIES**

CUT - 759 C.Y.
FILL - 450 C.Y.

NOTE: QUANTITIES SHOWN ARE IN PLACE ESTIMATES WITH ADJUSTMENTS MADE FOR SCARIFICATION, SHRINKAGE, OR COMPACTION LOSSES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EARTHWORK QUANTITIES AND BASING HIS BID UPON HIS ESTIMATED QUANTITY.

BASIS OF BEARINGS

ASSUMED BEARING OF S01°04'26"E ALONG THE MONUMENT LINE OF MOCKINGBIRD LANE AS SHOWN ON THE RECORDED PLAT FOR MEADOWLARK ACRES, BOOK 194, PAGE 11, M.C.R.

LEGAL DESCRIPTION

LOT 1 OF MEADOWLARK ACRES ACCORDING TO BOOK 194, PAGE 11, RECORDS OF MARICOPA COUNTY, ARIZONA

AREA AND PROJECT DATA

AREA = 275,250 sq. ft. = 6.32 acres
ALLOWABLE HEIGHT = 75 FEET
ACTUAL BUILDING HEIGHT = 57 FEET
ALLOWABLE SPIRE HEIGHT = 100 FEET
ACTUAL SPIRE HEIGHT = 100 FEET
TOTAL FLOOR AREA = 15,823 sq. ft.
TOTAL FOOTPRINT AREA = 11,691 sq. ft.
LOT COVERAGE = 4.25%
ALLOWABLE COVERAGE = 20%
NORTH PARKING AREA = 70,656 sq. ft.
NORTH PARKING AREA LANDSCAPE = 18,130 sq. ft. = 25.7%

BENCHMARK

PARADISE VALLEY BENCH #70 BRASS CAP FLUSH 775'± WEST OF INTERSECTION OF 66TH STREET AND HUMMINGBIRD LANE.
ELEVATION = 1373.75

FLOODPLAIN

THE SUBJECT PARCEL LIES WITHIN FLOOD ZONE "X" AS DELINEATED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM MAP NO. 04013C1695G DATED 7/19/2001.

FLOOD ZONE "X" IS DEFINED AS AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD.

EXTERNAL DRAWINGS

LEGEND

C= CONCRETE PAVEMENT GRADE	POWER POLE	NEW CURB
P= ASPHALT PAVEMENT GRADE	FIRE HYDRANT	EXISTING CURB & GUTTER
FG= PROPOSED FINISHED GRADE	TRANSFORMER	RIGHT-OF-WAY LINE
S/W= SIDEWALK GRADE	M.C.R. Maricopa County Recorder	PROPERTY LINE
EXISTING GRADE	D/W Driveaway	EASEMENT LINE
ELECTRIC BOX, IRRIGATION VALVE BOX,	T Telephone Conduit	RIDGE LINE
DOWN GUY WIRE	G 2" Gas Line	GRADE BREAK
POWER POLE	8" VCP Sanitary Sewer Line	NEW RETAINING WALL
DIRECTION OF RUNOFF FLOW	Brass Cap in Hand Hole	HIGH WATER ELEVATION (100 YR. FLOOD INUNDATION)
TRAFFIC SIGN	Brass Cap Flush	P.U.E. = PUBLIC UTILITY EASEMENT
EXISTING BOLLARD	EXISTING STREET LIGHT	Monument Line / Centerline
DRYWELL	EXISTING WATER VALVE	Building
WATER OR GAS VALVE	EXISTING TREE	Existing Concrete
	EXISTING ASPHALT PAVEMENT	
	PROPOSED CONCRETE SIDEWALK	
		EXISTING SEWER MANHOLE
		EXISTING METER BOX/ IRRIG. CONTROL BOX

REVISIONS

1	REVISED 9/20/02
---	-----------------

DRAWING STATUS:



DATE ISSUED 7/23/02

DESIGNED BY PTT

DRAWN BY PTT

CHECKED BY JYG

PROJECT NO. 4929

DRAWING NO.

**C1.01
COVER
SHEET**





Evans, Kuhn & Associates, Inc.
 727 E. Bethony Home Rd.
 Phoenix, Az 85014
 602.241.0782 phone
 602.248.9158 fax

GRADING AND DRAINAGE PLAN
ASCENSION LUTHERAN CHURCH
 7100 NORTH MOCKINGBIRD LANE
 PARADISE VALLEY, ARIZONA

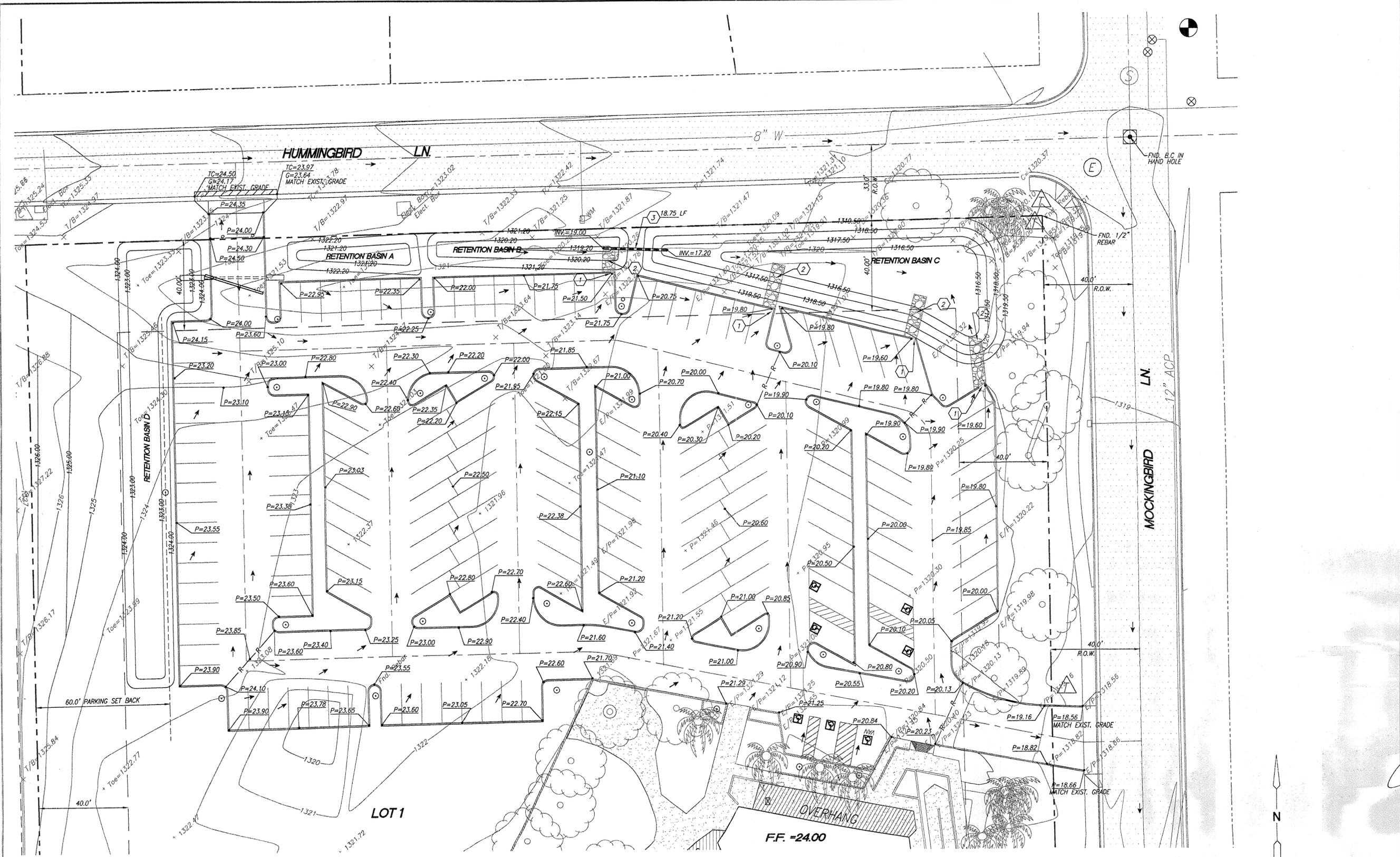
REVISIONS	
1	REVISED 9/20/02
2	REVISED 10/25/02

DRAWING STATUS:



DATE ISSUED	7/23/02
DESIGNED BY	PIT
DRAWN BY	PIT
CHECKED BY	JUG
PROJECT NO.	4929
DRAWING NO.	

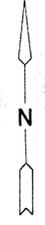
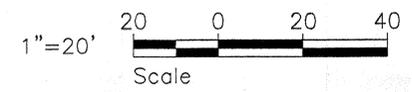
C1.02
GRADING & DRAINAGE PLAN
 1"=20'



EXTERNAL DRAWINGS

CONSTRUCTION NOTES

- 1 CONSTRUCT CURB OPENING PER DETAIL ON SHEET C1.04.
- 2 CONSTRUCT RIP-RAP SPILLWAY PER DETAIL, ON SHEET C1.04, 6" MINIMUM DIAMETER STONE ONE FOOT THICK TO BOTTOM OF BASIN.
- 3 INSTALL 12" PVC, SDR 35 STORM DRAIN.





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GRADING AND DRAINAGE PLAN
ASCENSION LUTHERAN CHURCH
7100 NORTH MOCKINGBIRD LANE
PARADISE VALLEY, ARIZONA

REVISIONS

1	REVISED 9/20/02
2	REVISED 10/25/02

DRAWING STATUS:



DATE ISSUED 7/23/02

DESIGNED BY PTT

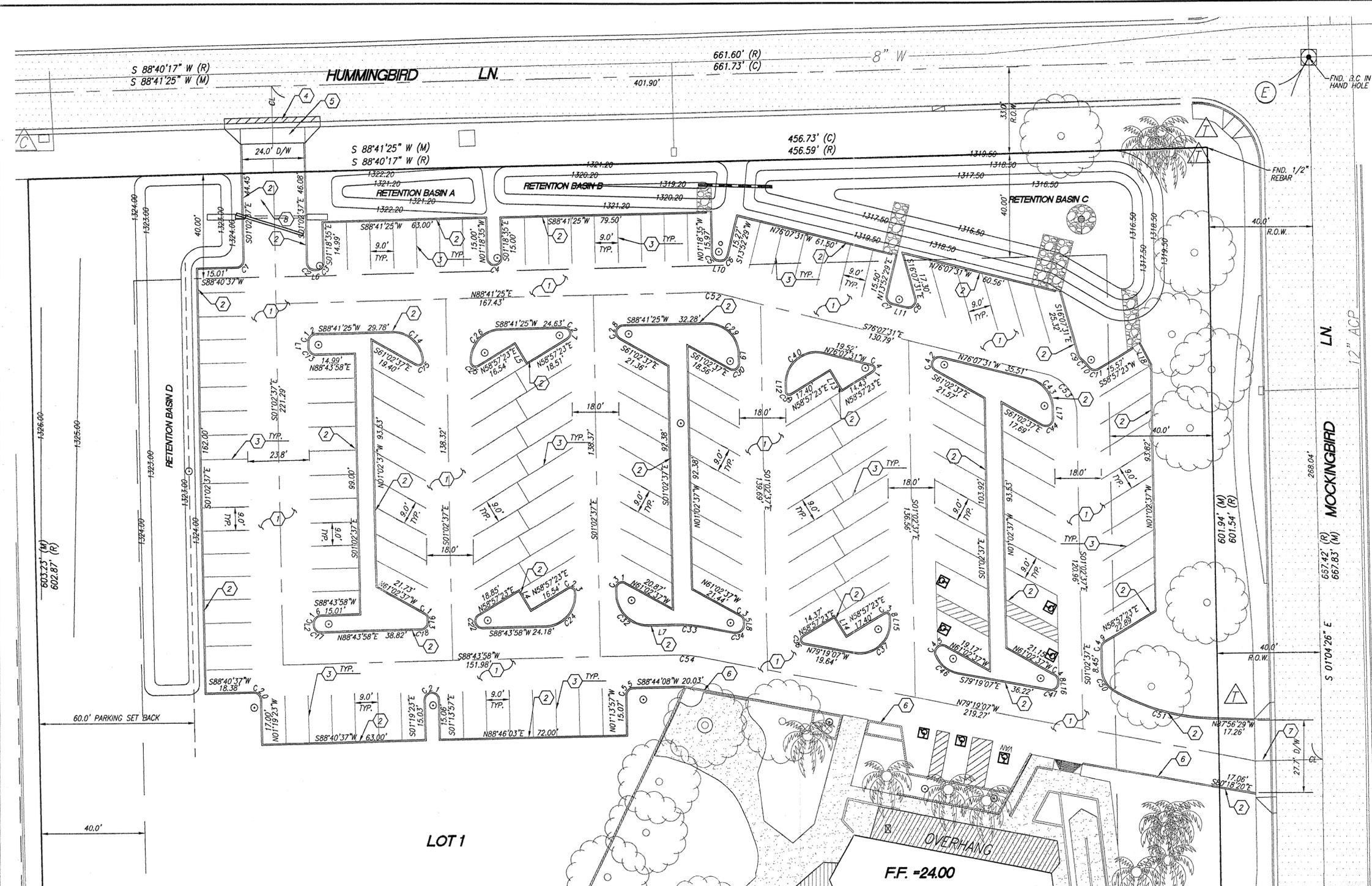
DRAWN BY PTT

CHECKED BY JIG

PROJECT NO. 4929

DRAWING NO.

C1.03
PAVING & HORIZONTAL CONTROL PLAN
1"=20'



CURVE TABLE

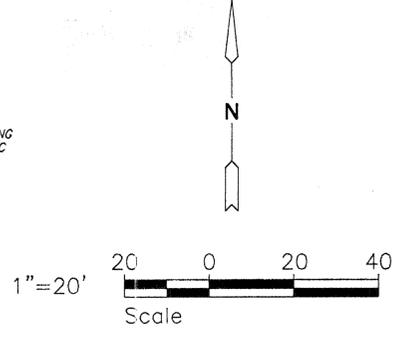
CURVE	LENGTH	RADIUS	TANGENT	DELTA
C1	4.70	3.00'	2.99'	89°43'14"
C2	4.71	3.00'	3.00'	90°00'00"
C3	4.73	3.00'	3.01'	90°15'57"
C4	9.42	3.00'	INFINITE	180°00'00"
C5	4.20	3.00'	2.52'	80°09'44"
C6	4.43	3.00'	2.73'	84°39'12"
C7	4.71	3.00'	3.00'	90°00'00"
C8	6.28	3.00'	5.20'	120°00'00"
C9	1.70	3.00'	0.87'	32°30'32"
C10	4.89	27.50'	2.45'	10°11'44"
C11	4.33	3.00'	2.64'	82°36'18"
C12	4.70	3.00'	2.99'	89°44'03"
C13	4.72	3.00'	3.01'	90°13'25"
C14	18.11	12.00'	11.28'	86°28'35"
C15	4.32	2.00'	3.74'	123°47'22"
C16	4.70	3.00'	2.99'	89°46'35"
C17	4.72	3.00'	3.01'	90°13'25"
C18	4.70	3.00'	2.99'	89°46'35"
C19	2.09	2.00'	1.15'	60°00'00"
C20	4.71	3.00'	3.00'	90°00'00"
C21	9.29	3.00'	136.32'	177°28'43"
C22	7.87	3.00'	11.28'	150°13'25"
C23	4.19	2.00'	3.46'	120°00'00"
C24	18.80	12.00'	11.95'	89°46'35"
C25	4.19	2.00'	3.46'	120°00'00"
C26	18.79	12.00'	11.94'	89°44'03"
C27	6.56	2.50'	9.42'	150°15'57"
C28	7.84	3.00'	11.09'	149°44'03"
C29	19.69	12.50'	12.56'	90°15'57"
C30	5.24	2.50'	4.33'	120°00'00"
C31	5.24	2.50'	4.33'	120°00'00"
C32	19.68	12.50'	12.55'	90°13'25"
C33	11.78	56.50'	5.91'	11°56'45"
C34	6.21	3.50'	4.30'	101°43'31"
C35	2.62	2.50'	1.44'	60°00'00"
C36	4.83	2.00'	5.25'	138°16'29"
C37	21.31	12.00'	14.75'	101°43'31"
C38	3.14	1.50'	2.60'	120°00'00"
C39	3.14	1.50'	2.60'	120°00'00"
C40	21.97	12.00'	15.62'	104°55'06"
C41	3.54	1.50'	3.63'	135°04'54"
C42	8.64	3.00'	22.66'	164°55'06"
C43	15.73	12.00'	9.22'	75°04'54"
C44	6.28	3.00'	5.20'	120°00'00"
C45	7.49	3.00'	8.92'	143°01'59"
C46	11.57	12.00'	6.28'	55°14'30"
C47	5.33	3.00'	3.69'	101°43'31"
C48	3.14	3.00'	1.73'	60°00'00"
C49	3.14	3.00'	1.73'	60°00'00"
C50	10.61	10.00'	5.86'	60°46'21"
C51	39.05	80.00'	19.92'	27°57'53"
C52	4.11	15.50'	2.02'	15°11'04"
C53	20.31	15.50'	11.91'	75°04'54"
C54	9.38	45.00'	4.71'	11°56'45"
C55	4.71	3.00'	3.00'	89°58'06"

LINE TABLE

LINE	LENGTH	BEARING
L1	2.29'	S01°02'37"E
L2	1.00'	S01°02'37"E
L3	1.77'	N01°02'37"W
L4	9.00'	S31°02'37"E
L5	9.00'	S31°02'37"E
L6	9.93'	S88°57'23"W
L7	9.93'	N88°43'58"E
L8	1.30'	N01°02'37"W
L9	3.59'	N01°02'37"W
L10	0.62'	N81°28'19"W
L11	5.89'	S76°07'31"E
L12	3.00'	S01°02'37"E
L13	9.00'	S31°02'37"E
L14	9.00'	S31°02'37"E
L15	2.72'	S01°02'37"E
L16	0.85'	N01°02'37"W
L17	3.82'	N01°02'37"W
L18	9.26'	N28°12'38"W

CONSTRUCTION NOTES

- 1 CONSTRUCT 2" A.C. (C-3/4 MIX) OVER 4" A.B.C. PAVEMENT.
- 2 CONSTRUCT EXTRUDED CURB PER DETAIL ON SHEET C1.04.
- 3 PAINT 4" WIDE WHITE PARKING STRIPE. (TYPICAL)
- 4 SAWCUT AND REMOVE EXISTING CURB & GUTTER 2" MIN. INTO EXISTING PAVEMENT. REPLACE PAVEMENT IN-KIND OR WITH 3" AC OVER 6" ABC WHICHEVER IS GREATER.
- 5 CONSTRUCT 24" DRIVEWAY ENTRANCE PER MAG STD DET. 263.
- 6 EXISTING EXTRUDED CURB TO REMAIN IN PLACE.
- 7 EXISTING DRIVEWAY TO REMAIN IN PLACE.
- 8 CONSTRUCT ACCESS GATE, SEE DETAIL ON SHEET C-1.04.



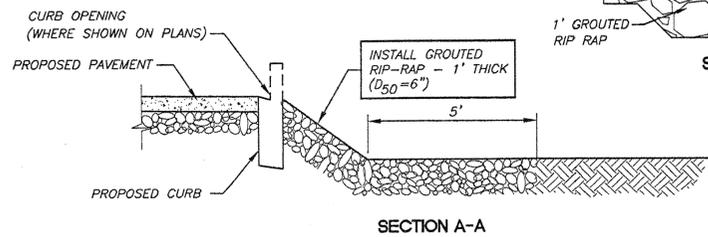
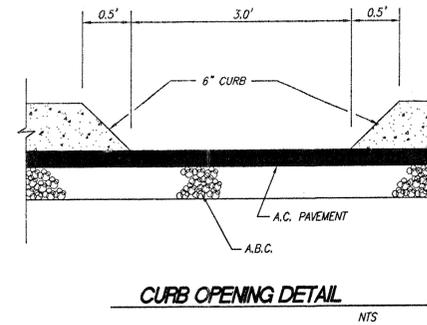
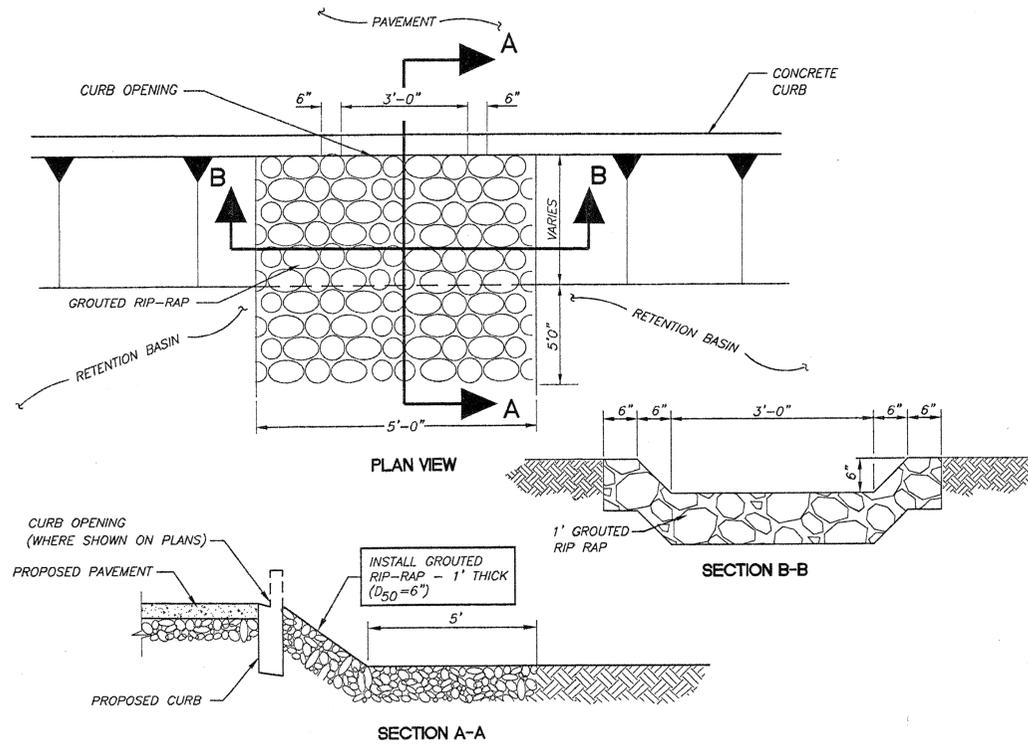
EXTERNAL DRAWINGS

CALL TWO WORKING DAYS BEFORE YOU DIG
263-1100
HOPE MARICOPA COUNTY



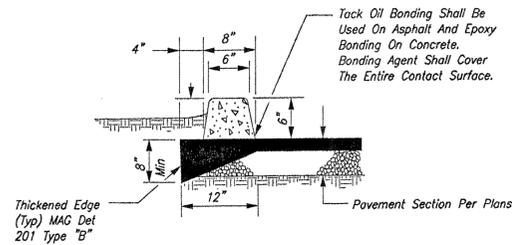
Evans, Kuhn
& Associates, Inc.
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GRADING AND DRAINAGE PLAN
ASCENSION LUTHERAN CHURCH
7100 NORTH MOCKINGBIRD LANE
PARADISE VALLEY, ARIZONA



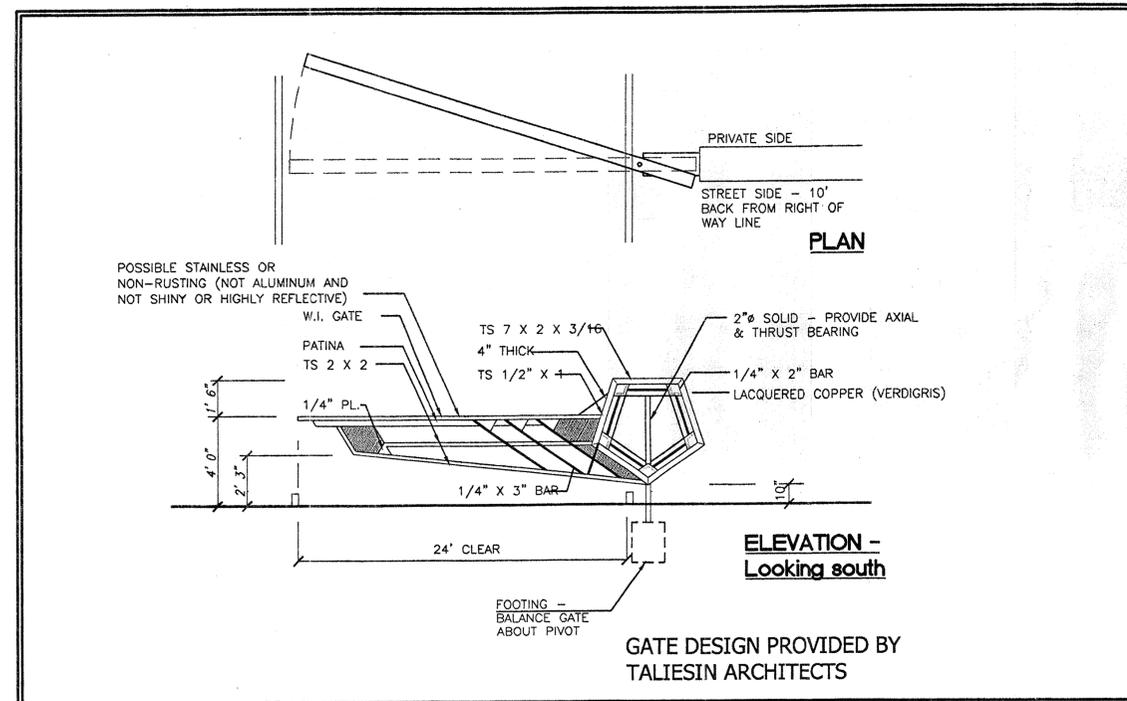
RIPRAP DETAIL
NTS

Extruded Curb Shall Have A Tooled Joint Every 10 feet And At Least 3 Per Each Small Radius Curve



Note: Extruded Curb Shall Be Placed By Qualified Applicators. All Material Utilized Shall Be Delivered To The Job Site In Transit Mixers As Per, M.A.C. Specs. 725.

EXTRUDED CURB DETAIL
(Not to Scale)



REVISIONS	
1	REVISED 9/20/02
2	REVISED 10/25/02

DRAWING STATUS:



DATE ISSUED	7/23/02
DESIGNED BY	PTT
DRAWN BY	PTT
CHECKED BY	JUG
PROJECT NO.	4929
DRAWING NO.	

C104
SECTION AND DETAILS



EXTERNAL DRAWINGS

Commissioner Adams recommended continuing the minutes to December 21, 1999 meeting. Commissioner Coffman seconded the motion and all were in favor.

REGULAR BUSINESS

CONTINUED MEETING: Consideration of a proposed preliminary plat for a four-lot subdivision located on the southwest corner of Berneil Drive and Scottsdale Road.

Mr. Pascoe explained that the staff had recommended a continuance to the January 4, 2000 meeting to give the applicant the opportunity to provide on the landscape plans Scottsdale Road widening standards and to explain how the landscaping would be maintained for the subdivision. The continuance would also provide the applicant with the opportunity to contact the eventual home builder of the property to approach the Commission for any questions.

Commissioner LeMarr made a motion to continue the applicant's request to the January 4, 2000 meeting, but he also stated that he had done research into the property. With his resources it was not indicated that the applicant was the owner of the subject property. He stated that he was concerned about that.

Chairman Clarke directed that question to staff as to how staff verifies ownership.

Mr. Pascoe explained that staff requires a title report be submitted with any application, which verifies ownership of the property.

Commissioner Cohen offered an amendment to the motion to continue the item to the January 4, 2000 meeting, and not to continue the item any further without demonstration of good faith from the applicant.

Commissioner Adams seconded the motion and all were in favor.

PUBLIC MEETING: Consideration of a proposed minor amendment to the Special Use Permit for Ascension Lutheran Church, located at 7100 North Mockingbird Lane, to change the design of previously approved columbariums for the memorial garden.

Michelle Bickerton presented the staff report.

Chairman Clarke asked if staff had received any complaints on the applicant's request.

Ms. Bickerton replied that staff had not received any inquiries, positive or negative, regarding the applicant's request, and that staff was not aware of any violations of the existing special use permit.

Commissioner Cohen asked why there was a stipulation requesting a mylar of the site plans.

Planning Commission Minutes
December 7, 1999

Ms. Bickerton explained that any time there is a site plan change approved at either the Commission or Council level, staff requests a mylar to have an updated copy for Town records.

Commissioner Benson asked if there was a change in the presentation technology from previous presentations.

Ms. Bickerton explained that staff was trying out a new software program called Microsoft Power Point for presentations at both the Commission and Council levels.

Commissioner Benson recommended a change in staff report layout. Instead of using the word "enforcement" to discuss violations or complaints of special use permits, he recommended that staff consider using the word "compliance".

Commissioner Benson asked if there was any timing associated with the 1997 approval for the columbariums in the memorial garden.

Ms. Bickerton explained that staff did not see any expiration date or time limit for construction of the 1997 special use permit. Staff was under the impression that after approval in 1997, the applicant received bids for construction and it was determined the cost of the proposed design of the columbariums was substantial. This resulted in a request for a design change to save in construction costs.

Mr. Pascoe explained that there was a requirement that the applicant hook up to the sewer by Spring 1999 as part of the 1997 special use permit approval. The applicant had hooked up the sewer as required.

Chairman Clarke asked if the applicant had any words to share with the Commission.

The applicant stated there was nothing to discuss and that staff had addressed the applicant's request.

Chairman Clarke opened the meeting to the public and asked the audience if anyone wanted to speak. There were none.

Chairman Clarke asked for a motion.

Commissioner Benson made a motion to approve the applicant's request as a minor amendment to the Special Use Permit. Commissioner Cohen seconded the motion and all were in favor.

Commissioner Benson made a motion to approve the applicant's request for a minor amendment to the special use permit with the following stipulations:

1. The applicant shall submit a mylar of the revised master plan and memorial garden site plan reflecting the columbarium design changes prior to the issuance

- of the building permit.
2. All landscaping for the memorial garden shall conform to the landscape plan approved as part of the January 9, 1997 amendment to the special use permit.

Commissioner Coffman seconded the motion and all were in favor.

PUBLIC MEETING: Consideration of a proposed amendment to the Special Use Permit for Tesseract School, located at 4800 E. Doubletree Ranch Road, to add a shade structure over a portion of an existing basketball court area on the western side of the school building and a security gate near the existing pre-school classrooms.

Ms. Bickerton presented the staff report.

Chairman Clarke asked staff why they didn't include that the property used to be called the Foothills Swim Club in their background study.

Ms. Bickerton explained that in doing research, ownership information regarding the Foothills Swim Club didn't turn up until after the staff report had been completed. Staff would make sure that information was included in the action report.

Commissioner Cohen asked if it is policy for the affidavit of mailing to include the residents name along with the property address. In looking through the packet, he noticed that the Tesseract notices said "resident". He asked for an explanation.

Mr. Pascoe stated that it is policy that notices are sent by first class mail, but it is practice to include the name and address in the affidavit of mailing.

There was discussion of Tesseract's compliance with their enrollment.

Commissioner Benson asked if staff evaluated the entire existing special use permit when an application came through, in addition to looking at the applicant's compliance with the special use permit.

Mr. Pascoe explained that if there had been no previous complaints or violations, no exhaustive research is done with the special use permit. If problems do exit, staff does a more exhaustive research.

Jill Kessler, executive director of Tesseract School, introduced Dr. Luber.

Dr. Luber, 9116 N. Morning Glory Road, discussed skin care statistics and the responsibility of the Town and government to protect children. He stated the Town should require shade structures in all open areas and encouraged the Planning Commission to see that all schools had shade structures.

Chairman Clarke encouraged Dr. Luber to get with staff to suggest that sort of policy.

**Special Use Permit Review Committee Minutes
May 12, 1998**

Judy Lenz, preschool director for the Church, explained that a handicap student is starting in the fall and the Church needs the handicap accessible ramp to fulfill the needs of that student and others needing accessibility.

There was discussion of landscaping on church property and the Town Landscape Guidelines.

There was discussion of the existing plant palette on the Church property.

Pastor David Kupka said he would like to sit with Ms. Taylor to discuss the unmaintained landscape.

Brent Maxwell, Family Life director, concurred with Pastor Kupka's request to sit with the neighbor to discuss landscaping.

Committee Member Benson moved to reconsider his original motion that the application is minor in nature; seconded by Chairman Cole.

There was discussion of the status of the application if not approved.

Mr. Pascoe said the application would be left undecided and probably be processed as a major amendment to the Church's Special Use Permit.

Dan Kline, general contractor for the ramp construction, said the ramp is required by the ADA.

Committee Member Moya directed staff to act on an administrative level when Federal laws are at issue for Special Use Permit applications.

The motion passed 3 - 0.

Mr. McCullough presented staff's report to the SUPREC Committee.

There was discussion of stipulations with regard to landscape maintenance and the installation of new landscaping.

Chairman Cole closed the public hearing.

Committee Member Benson moved to approve the minor amendment to the Special Use Permit of Ascension Lutheran Church to construct a handicap ramp and install landscaping and outdoor walkway lighting with the following stipulations:

1. That no building permit be issued until Town staff is satisfied with the maintenance of existing landscaping on the Church property.
2. That new proposed landscaping be installed at the applicant's convenience, but within 12 months after commencement of the ramp construction.

**Special Use Perm Review Committee Minutes
May 12, 1998**

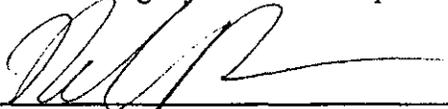
Seconded by Chairman Cole.

There was discussion of ADA requirements for the handicap accessible ramp and Church bathrooms.

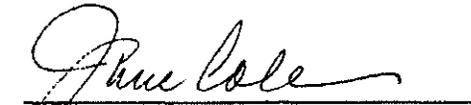
The motion passed 3 – 0.

ADJOURNMENT

The meeting adjourned at 5:10 p.m.

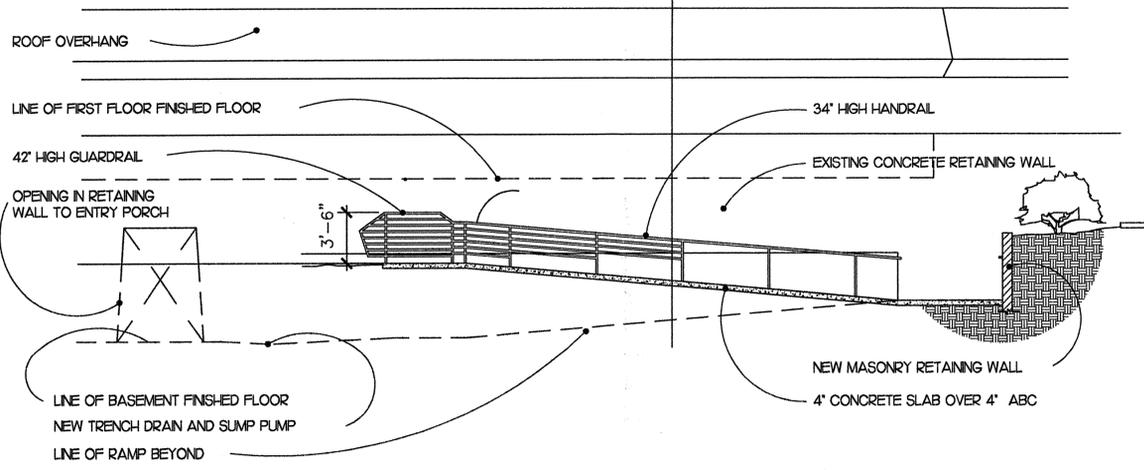


Neal Pascoe, Secretary

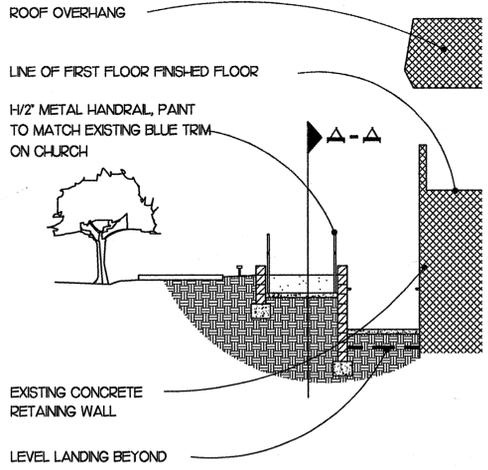


Jane Cole, SUPREC Chairman

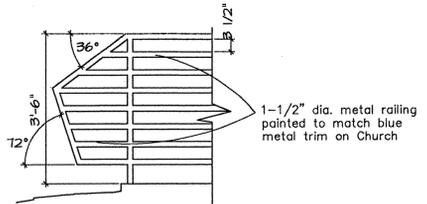
May 18, 1998



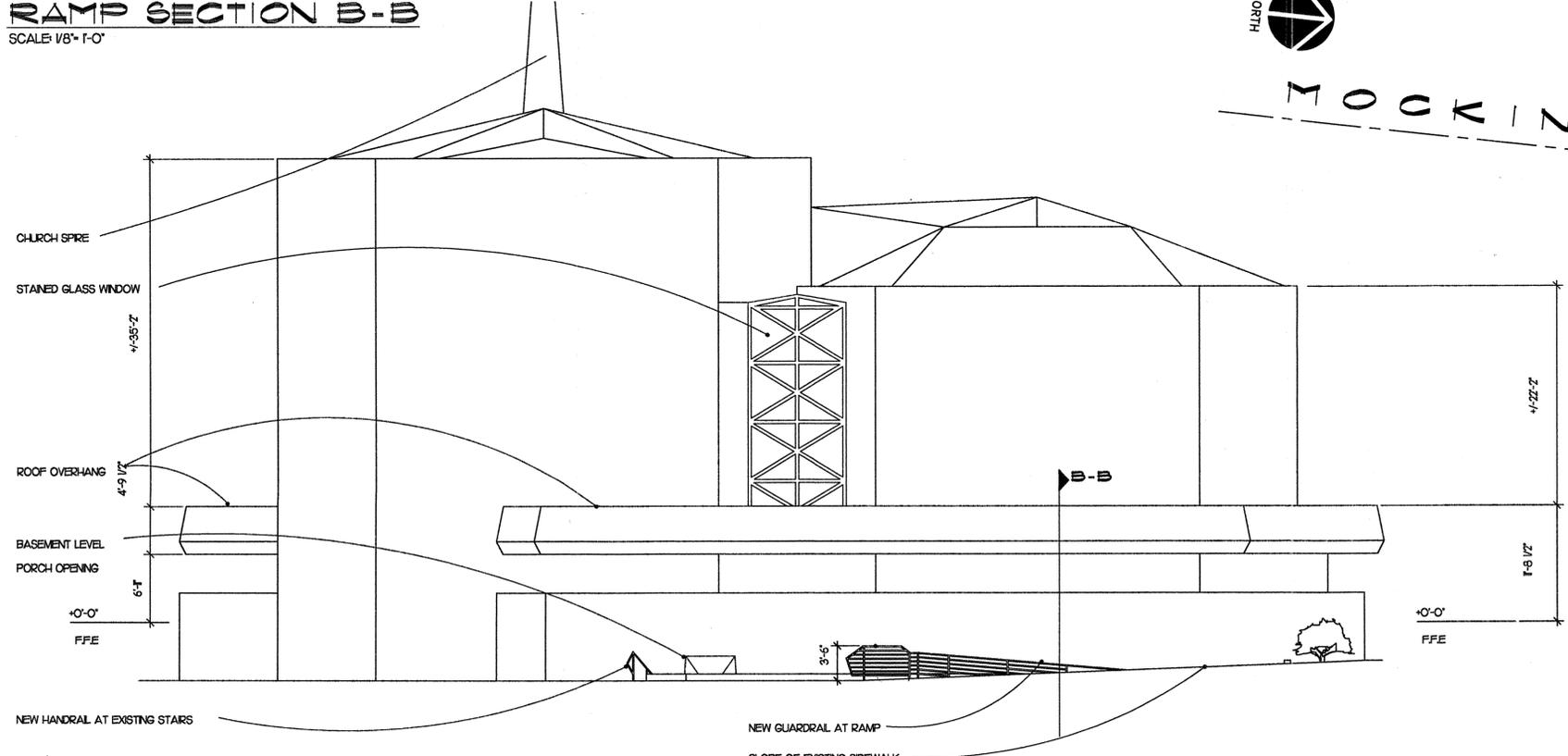
RAMP SECTION A-A
SCALE: 1/8" = 1'-0"



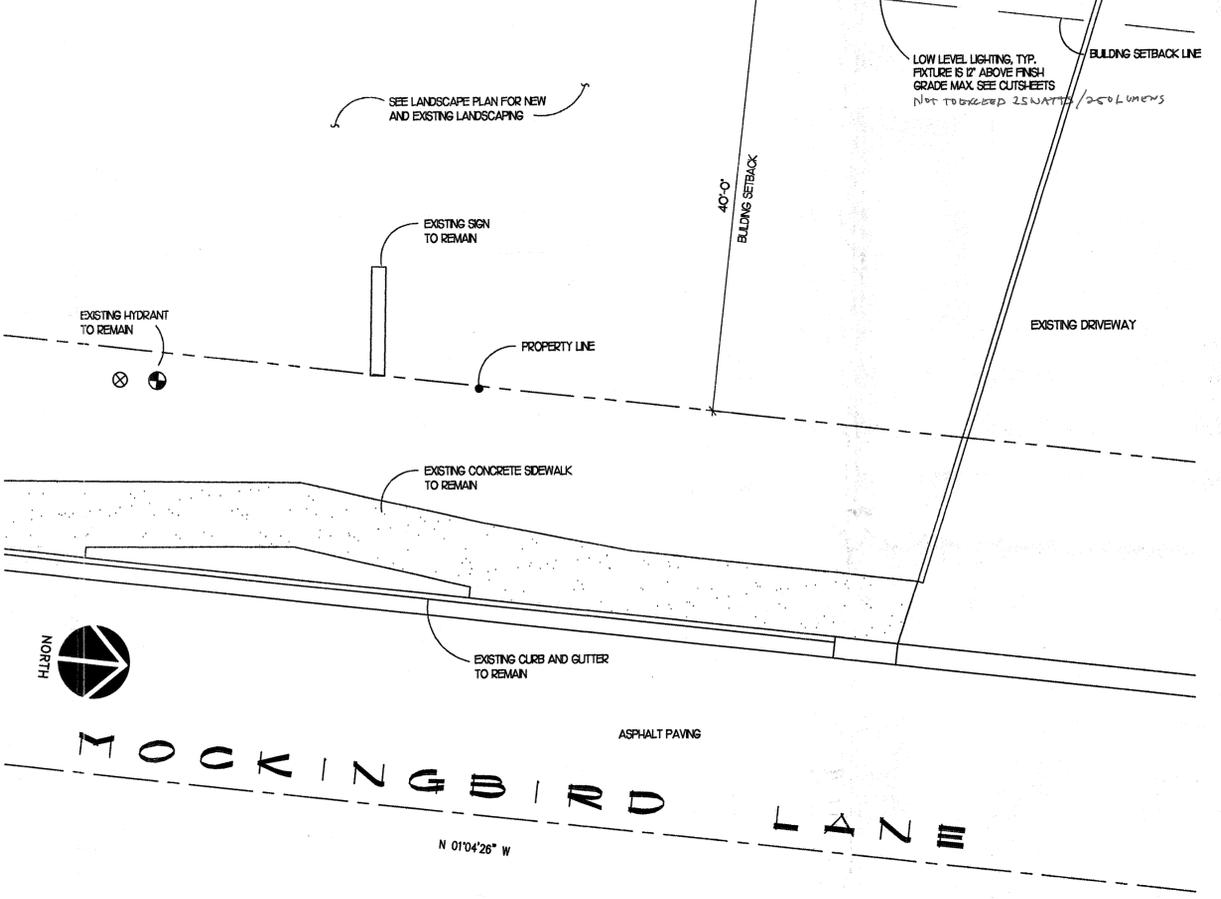
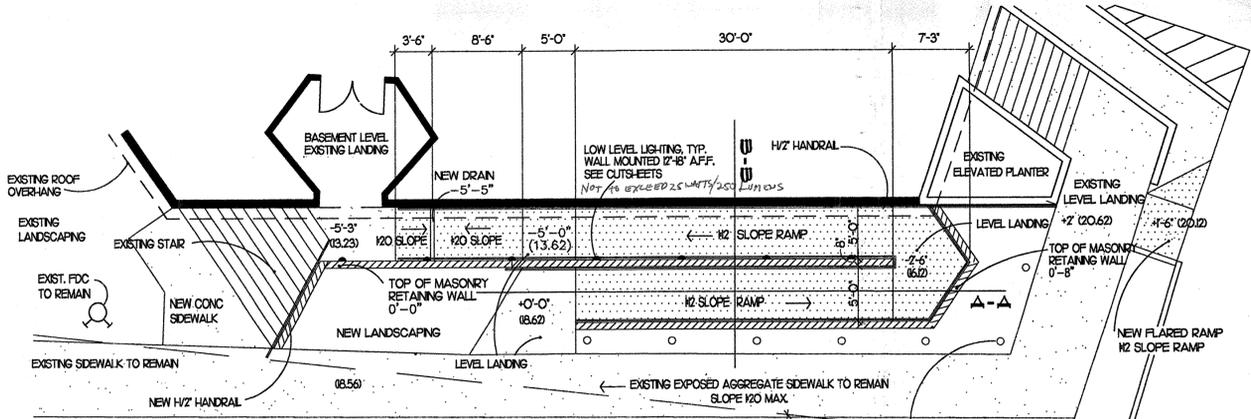
RAMP SECTION B-B
SCALE: 1/8" = 1'-0"



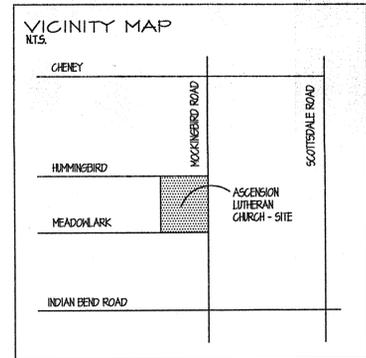
Ramp Plan
SCALE: 1/2" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"



PLAN VIEW
SCALE: 1'-0" = 1'-0"



PROJECT DATA
N.T.S.
APN # 174-51-33
LEGAL: NE 1/4, SE 1/4, SW 1/4, SEC. 3 T.Z.N.

APPROVAL
TOWN OF PARADISE VALLEY
PLANNING DIRECTOR
DATE

STEPHEN G. BUNYARD
ARCHITECT
3444 E. Oraibi Drive
Phoenix, AZ. 85024
(602) 569-5677



DESIGNED: SGB
DRAWN: SGB
CHECKED: SGB

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Ascension Lutheran Church
Special Use Permit Minor Amendment
Ramp Addition
7100 N. MOCKINGBIRD LANE
SCOTTSDALE, AZ. 85253

REVISION	DATE

ISSUED FOR TOWN REVIEW
DATE: 4-6-98
DRAWING NUMBER:
A-100

**TOWN COUNCIL MEETING - MINUTES
JANUARY 9, 1997**

Councilmember Moya moved to amend stipulation 2 by replacing "children" with "preschool students". Councilman Thomas seconded the motion, which failed 2-5 with Mayor Davis, Vice Mayor Yoder and Councilmembers Cole, Hook, and Jackson voting no.

Councilmember Moya moved to stipulate that there must be a connection to the sewer within one year of the completion of the construction of the first columbarium. Vice Mayor Yoder asked if that would also replace the text in General Note 1 of the Master Plan and Councilmember Moya said yes. Councilman Hook asked that the connection to the sanitary sewer line not exceed 18 months from approval of this amendment to the special use permit. Councilmember Moya accepted the change and the stipulation was amended to read "The connection to the sewer shall be made within 1 year of the completion of the first columbarium but in any event, within 18 months of approval of this amendment to the special use permit". Councilmember Cole seconded the motion.

The applicant accepted the change. The amendment to the main motion carried 7-0.

The main motion carried 7-0.

The amended stipulations as approved by Council were as follows:

1. That the memorial garden plan be approved including the proposed six columbaria each to be constructed within a three-month time frame from start to finish after issuance of a building permit, but that the proposed parking lot lighting and restroom addition be shown on the Master Plan for information purposes only, and that no construction related to either of these features may take place until the Church applies for and receives approval of a major amendment to their Special Use Permit.
2. That a preschool be authorized with a limit of no more than 46 children on the property on any one day with hours of operation restricted to 9:00 a.m. to 4 p.m.
3. That the Church submit the revised Master Plan and Landscape Plan as approved by the Council clearly showing all structures shown for construction at this time and those shown for information purposes only on 24 x 36 inch mylar to the Planning Department no later than 30 days after Town Council approval.
4. The connection to the sewer shall be made within 1 year of the completion of the first columbarium but in any event, within 18 months of approval of this amendment to the special use permit.

Consideration of Ordinance #435 - Special Meetings

Mr. Siket presented Ordinance #435 on Special Meetings to conform the Town Code to the State Statutes regarding notices of special meetings of the Town Council.

Helen Harold felt residents should be notified five days in advance and felt the agenda should be more detailed.

950210213

MINOR AMENDMENT TO SPECIAL USE PERMIT

ASCENSION LUTHERAN CHURCH

Town of PV

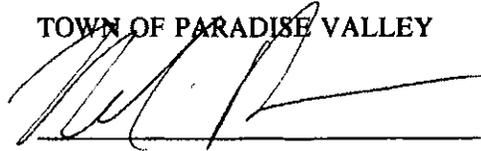
38

Pursuant to Section XI of the Zoning Code of the Town of Paradise Valley, the Special Use Permit Review committee met on April 10, 1995, and agreed to permit the following minor amendment(s) to the existing special use permit approved by the Town Council on September 8, 1977, recorded Docket 12447, page 1435-1436, Maricopa County Recorder's Office.

These minor amendments are subject to the following conditions:

1. As show on the submitted plan marked Exhibit A, sheets 1 and 2.

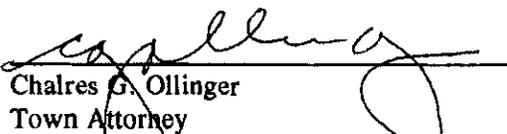
TOWN OF PARADISE VALLEY



ATTEST:



APPROVED AS TO FORM:



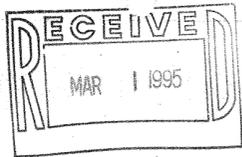
Charles G. Ollinger
Town Attorney

ACCEPTED AND AGREED TO BY:



BY:





① EXHIBIT "A" - SECOND SHEET

ASCENSION LUTHERAN CHURCH
7100 NORTH MOCKINGBIRD LANE
SCOTTSDALE, AZ 85253

AIR CONDITIONING MODIFICATION PROJECT
INSTALLATION OF NEW WATER COOLING TOWER
LOCATION - SOUTH SIDE PARKING LOT

DRAWING BY: ARTHUR A. AYMAR, P.E.
JANUARY 18, 1995



① REVISED: 2-28-95

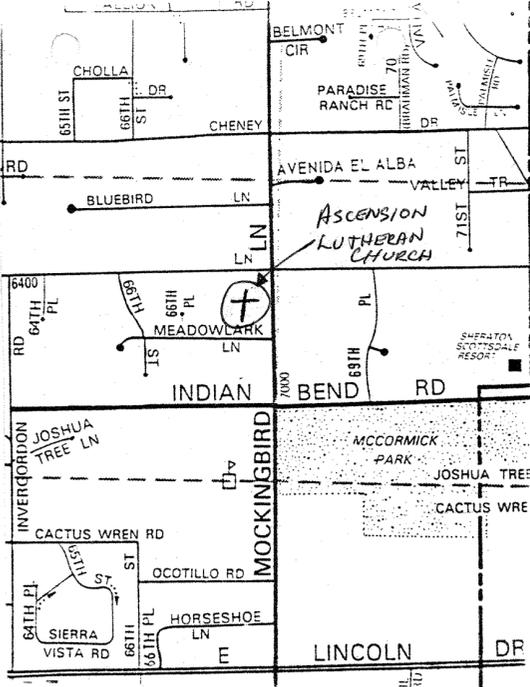
SCALE: 1" = 20'-0"



PROPERTY LINE

MOCKINGBIRD LANE

PLOT PLAN DWG. A

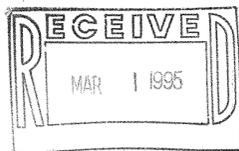


PROPERTY LINE

LOCATION OF COOLING TOWER
SEE INSTALLATION DWG. B

SOUTH PARKING LOT

MAIN FLOOR

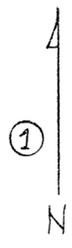


NEEDS CORRECTIONS
 APPROVED *AP*

① EXHIBIT "A"

ASCENSION LUTHERAN CHURCH
700 NORTH MOCKINGBIRD LANE
SCOTTSDALE, AZ 85253

AIR CONDITIONING MODIFICATION PROJECT
INSTALLATION OF NEW WATER COOLING TOWER
LOCATION - SOUTH SIDE PARKING LOT

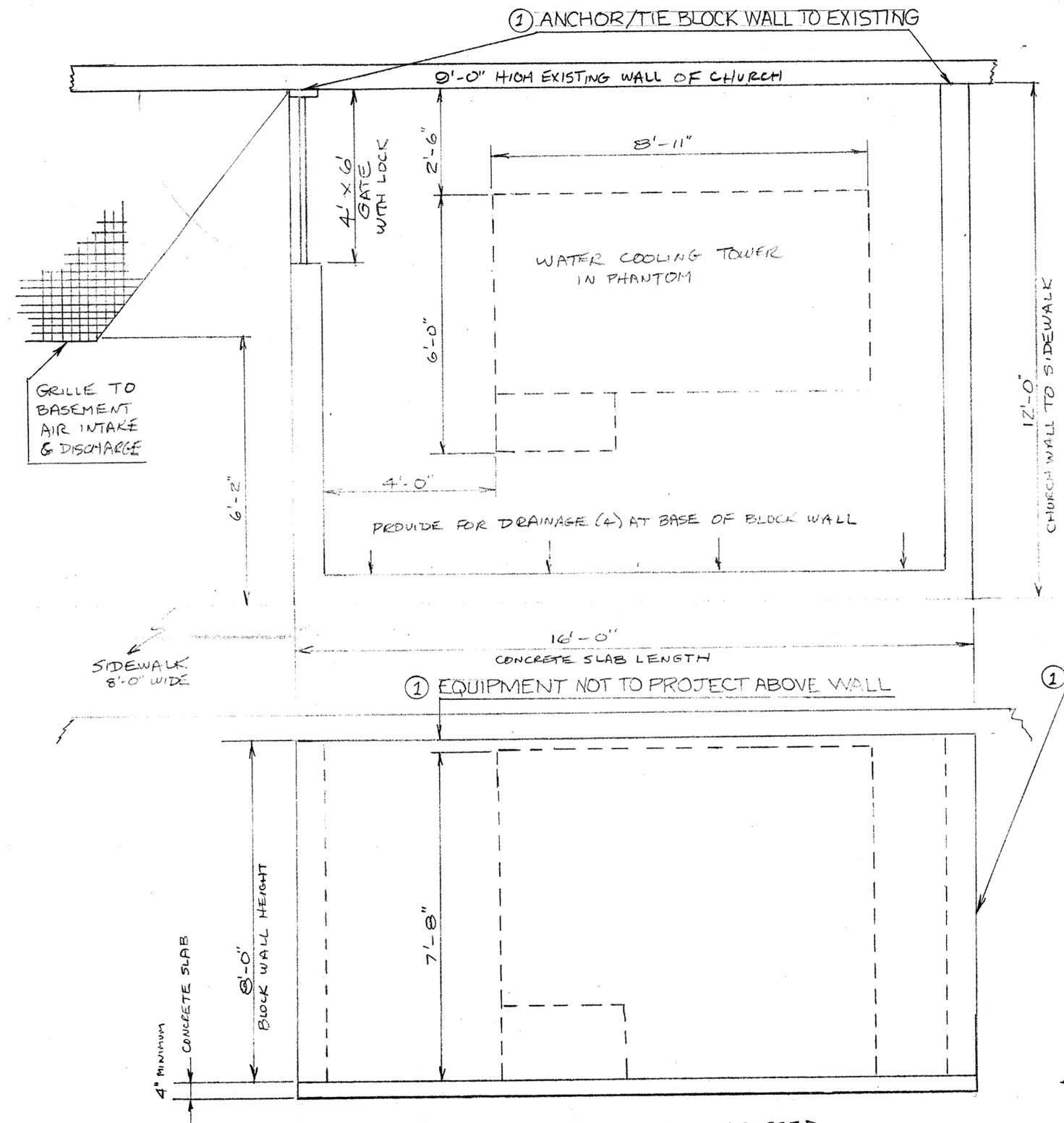


DRAWING BY: ARTHUR A. AYMAR, P.E.
JANUARY 18, 1995

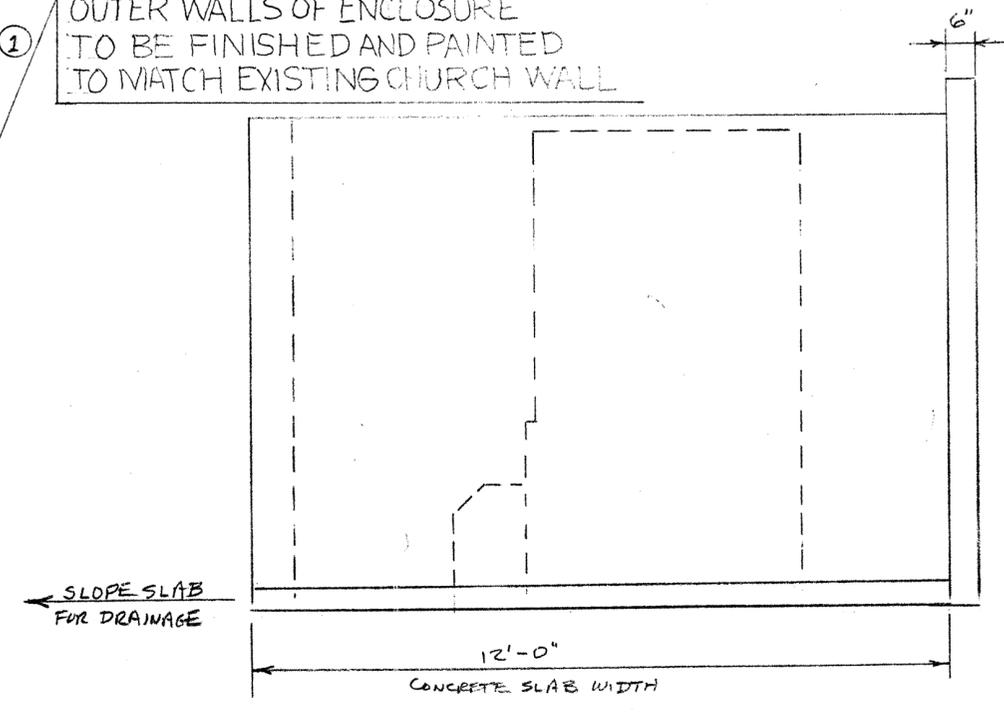
① REVISED: 2-28-95



SCALE: 1" = 2'-0"



① OUTER WALLS OF ENCLOSURE
TO BE FINISHED AND PAINTED
TO MATCH EXISTING CHURCH WALL



NOTE: CONCRETE SLAB TO BE MESH REINFORCED,
SURFACE TO BE FINISHED SMOOTH AND LEVEL.

INSTALLATION DWG. B

MINOR AMENDMENT TO SPECIAL USE PERMIT

ASCENSION LUTHERAN CHURCH

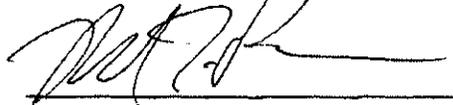
Pursuant to Section XI of the Zoning Code of the Town of Paradise Valley, the Special Use Permit Review committee met on October 17, 1994, and agreed to permit the following minor amendment(s) to the existing special use permit approved by the Town Council on September 8, 1977, recorded Docket 12447, page 1435-1436, Maricopa County Recorder's Office.

- 1. **Replace existing sign.**

These minor amendments are subject to the following conditions:

- 1. **Sign illumination shall be turned off at 10:00 p.m. except for special events.**
- 2. **New sign shall be no closer to the street than the existing sign.**
- 3. **Any additional plan material added shall conform to the right-of-way guidelines plant palette.**
- 4. **The sign letters shall be a blue which matches the existing blue trim on the building.**

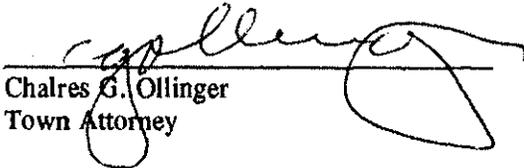
TOWN OF PARADISE VALLEY



ATTEST:

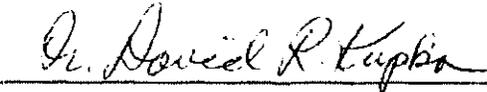


APPROVED AS TO FORM:

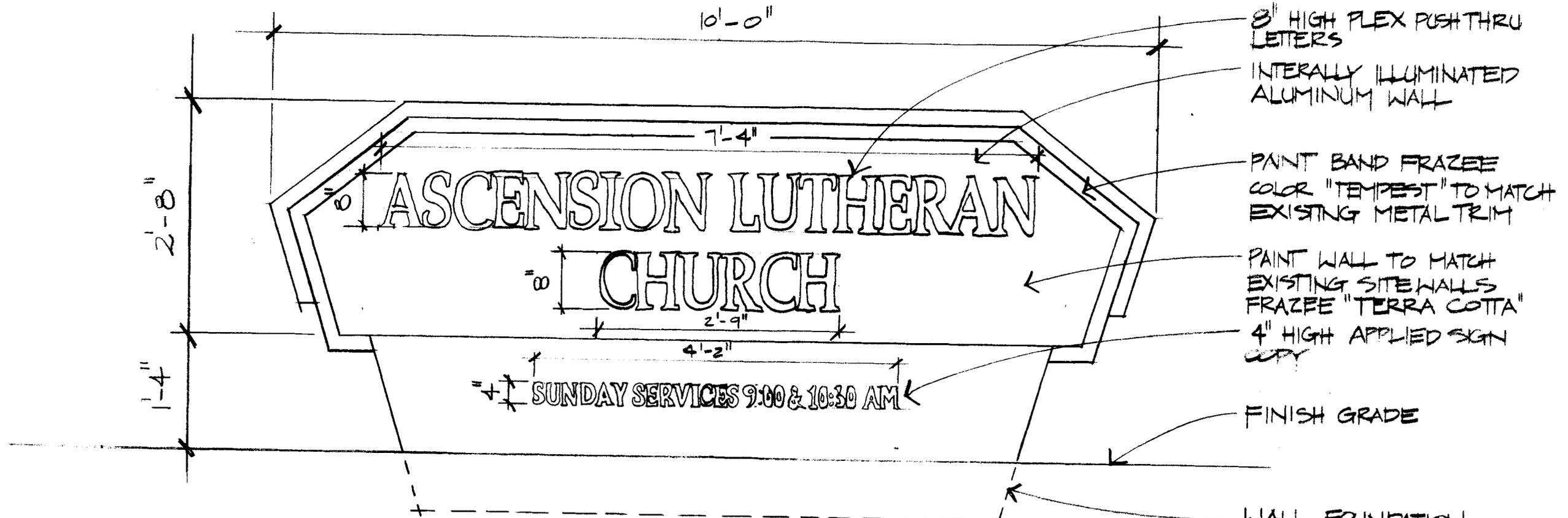


Charles G. Ollinger
Town Attorney

ACCEPTED AND AGREED TO BY:



BY: Senior Pastor



SIGN AREAS : 8" HIGH LETTERS 6.7 SF x 2 = 13.4 SF
 3" HIGH LETTERS = 1.4 SF x 2 = 2.8 SF
TOTAL SIGN AREA = 16.2 SF

WALL MOUNTED SIGN
 SCALE: 3/4" = 1'-0"

ASCENSION
 6-7-94

LUTHERAN CHURCH 7100 N. MOCKINGBIRD LN.
PARADISE VALLEY, ARIZONA

Paradise

RETURN TO DANE
HAWKINS & CAMPBELL

MINOR AMENDMENT TO SPECIAL USE PERMIT MISC RCRD (XX)

CONGREGATION OF THE
ASCENSION LUTHERAN CHURCH

90 016712

Pursuant to Section XI of the Zoning Code of the Town of Paradise Valley, the Special Use Permit Review Committee met on September 22, 1989, and agreed to permit the following minor amendment(s) to the existing special use permit approved by the Town Council on September 8, 1977, recorded Docket 12447, page 1435-1436, Maricopa County Recorder's Office.

1. Richard Mybeck
2. George Adams
3. Muin M. Kalla
4. Bill Mead

These minor amendments are subject to the following conditions:

1. The addition of a six foot wall within the church property only.
- 2.
- 3.

TOWN OF PARADISE VALLEY

Robert W. Plenge
Robert W. Plenge, Mayor

ATTEST:

Mary Ann Brines
Mary Ann Brines, Town Clerk

RECORDED IN OFFICIAL RECORDS OF MARICOPA COUNTY, ARIZONA		
JAN 11 1990 -4 55		
HELEN PURCELL, County Recorder		
FEE	7.00	PGS 2 IG

APPROVED AS TO FORM:

Charles G. Ollinger
Charles G. Ollinger
Town Attorney

ACCEPTED AND AGREED TO BY Ascension Lutheran Church

BY: _____

MINOR AMENDMENT TO SPECIAL USE PERMIT
ASCENSION LUTHERAN CHURCH
7100 North Mockingbird Lane

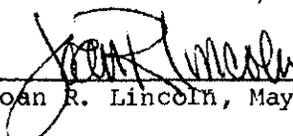
Pursuant to Section XI of the Zoning Code of the Town of Paradise Valley, the Special Use Permit Review Committee met on April 19, 1985, and agreed to permit the following minor amendment(s) to the existing special use permit approved by the Town Council on September 8, 1977, recorded Book 12447, page 1435, Maricopa County Recorder's Office.

1. The construction of a 6 foot wall to house a children's playground, a waste pen and electrical equipment.

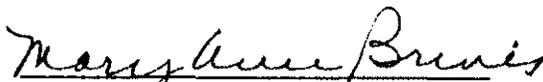
These minor amendments are subject to the following conditions:

1. No outdoor lighting or address system will be allowed.
2. Approval is subject to the submittal of plans to the Planning Department.
3. All parking shall have a 60' setback from any residential property line.

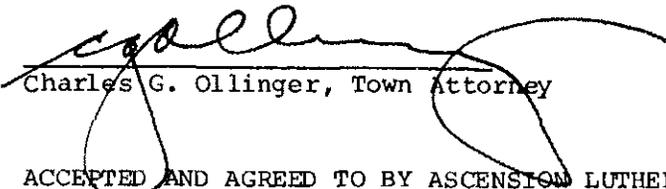
TOWN OF PARADISE VALLEY


Joan R. Lincoln, Mayor

ATTEST:

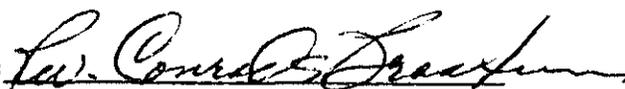

Mary Ann Brines, Town Clerk

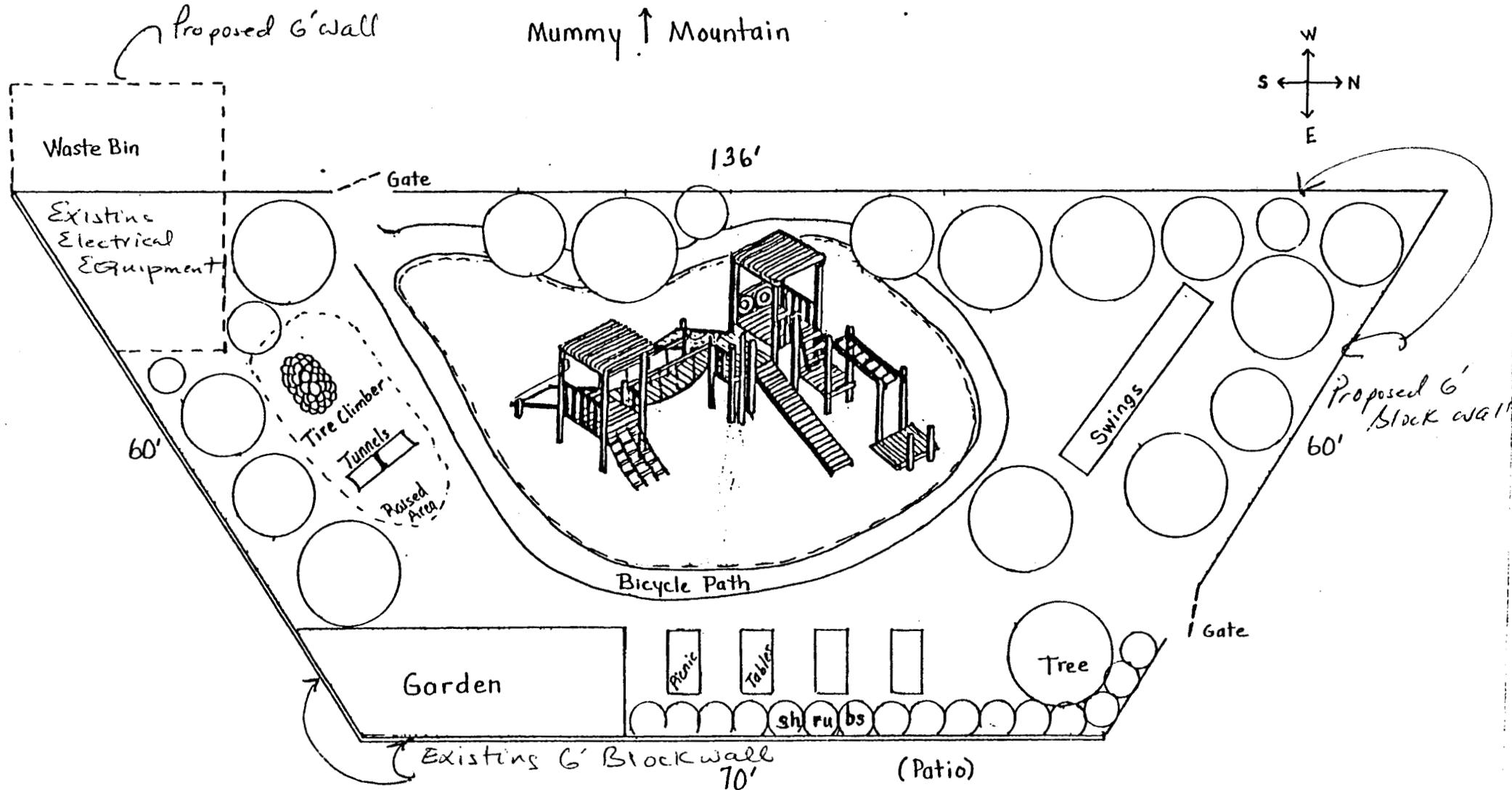
APPROVED AS TO FORM:


Charles G. Ollinger, Town Attorney

ACCEPTED AND AGREED TO BY ASCENSION LUTHERAN CHURCH:

BY:





ASCENSION PLAYGROUND

ASCENSION LUTHERAN CHURCH
7100 NORTH MOCKINGBIRD LANE

SPECIAL USE PERMIT

279044

PERMIT

GRANTOR: Town of Paradise Valley, Arizona
a municipal corporation

GRANTEE: Ascension Lutheran Church
(affiliated with the American Lutheran Church)
7100 North Mockingbird Lane
Paradise Valley, AZ 85253

This Special Use Permit is hereby issued to the Ascension Lutheran Church for a church, pursuant to Section 1101 (n) of the Zoning Ordinance of the Town of Paradise Valley, Arizona, for the use of the property hereinafter described upon the terms and conditions hereinafter set forth:

1. Property: The property for which this Special Use Permit is granted is located at 7100 North Mockingbird Lane, in the Town of Paradise Valley, Arizona, and is that property which is indicated as the Ascension Lutheran Church property on those certain documents entitled "Site Plans for Ascension Lutheran Church Special Use Permit, September, 1977" as certified and authenticated as such Plans by the Paradise Valley Town Clerk. The "Site Plans for Ascension Lutheran Church Special Use Permit, September, 1977" are hereby incorporated by reference into this Special Use Permit and made an integral part hereof. The legal description of the property subject to this Special Use Permit is as follows:

NE $\frac{1}{4}$ SE $\frac{1}{4}$ SW $\frac{1}{4}$ of Section 3, T2N, R4E, G&SRB&M;
EXCEPT beginning at a point 33 feet South of the Northwest corner of the NE $\frac{1}{4}$ SE $\frac{1}{4}$ SW $\frac{1}{4}$ of said section; thence South 25 feet; thence East 75 feet; thence North 25 feet; thence West 75 feet to the Point of Beginning; EXCEPT the North 33 feet and the East 40 feet and the South 33 feet and the West 165 feet of the NE $\frac{1}{4}$ SE $\frac{1}{4}$ SW $\frac{1}{4}$ of said Section 3.

2. Nature of Use: Said Property may be used for religious purposes and such other uses as are reasonably related to the functions of the Church, as provided herein and in the "Site Plans for Ascension Lutheran Church Special Use Permit, September, 1977", and there shall be no expansions, additions, or changes or alterations to said real property, buildings, structures or accessory uses without an express written amendment to this Special Use Permit.

1 3. Severability-Unenforceable Provisions: Should any portion
2 of this Permit be adjudicated to be unenforceable or invalid by
3 a court of competent jurisdiction, such a determination shall
4 not affect the balance of the provisions of this Special Use Permit.

5 4. Breach of Special Use Permit by Ascension Lutheran Church:
6 This Special Use Permit shall become void and of no force and
7 effect, at the option of the Paradise Valley Town Council, upon
8 the failure of the grantee Special Use Permit holder to comply
9 with any of the terms, conditions, or stipulations of this Special
10 Use Permit. The Town Council shall provide notice to the grantee
11 and an opportunity to be heard, prior to taking action pursuant
12 to this paragraph.

13 GRANTED AND APPROVED BY THE MAYOR AND COMMON COUNCIL
14 of the Town of Paradise Valley, Arizona, this 8 day of
15 September, 1977.

16 Barbara vonAmmon
17 Barbara vonAmmon, Mayor

18 ATTEST:
19 Mary Ann Brines
20 Mary Ann Brines, Town Clerk

21 APPROVED AS TO FORM:
22 Roger A. McKee
23 Roger A. McKee, Town Attorney

24 ACCEPTED AND AGREED TO:
25 Conrad S. ...
26 Pastor, Ascension Lutheran Church
27 Robert C. ...
28 President of the Church Council of
29 the Ascension Lutheran Church

STATE OF ARIZONA }
County of Maricopa } ss

I hereby certify that the with-
in instrument was filed and re-
corded at request of

TOWN OF PARADISE VALLEY

SEP 23 1977 -12 10

in Docket 12447
on page 1435-1436

Witness my hand and official
seal the day and year aforesaid.

Tom Freestone
County Recorder

By [Signature]
Deputy Recorder

200



SITE PLAN FOR ASCENSION LUTHERAN CHURCH

SPECIAL USE PERMIT, JULY 1977

LEGAL DESCRIPTION
 Northeast quarter of the Southeast quarter of the Southwest quarter of Section Three (3), Township Two (2) North, Range Four (4) East of the G1a and Salt River Base and Meridian;
 EXCEPT the North 33 feet and the East 40 feet and the South 33 feet and the West 165 feet of the Northeast quarter of the Southeast quarter of the Southwest quarter of said Section 3.

AREA INFORMATION
 Net Lot Area = 299,867 Sq. Ft. = 6.884 Acres*
 Allowable Coverage @ 20% = 59,973 Sq. Ft.
 Actual Coverage = 14,851 Sq. Ft.*

HEIGHT INFORMATION
 Allowable Building Height = 75 feet
 Actual Building Height = 57 feet
 Allowable Spire Height = 100 feet
 Actual Spire Height = 100 feet

PARKING INFORMATION
 Sanctuary Seating = 600 Seats
 Other Seating = 150 Seats
 Total = 750 Seats
 Parking Required @ 1/4 seats = 187 Spaces
 Parking Provided = 191 Spaces (with future)

APPLICANT AND OWNER
 ASCENSION LUTHERAN CHURCH, ALC
 7100 North Mockingbird Lane
 Scottsdale, Arizona 85263
 Phone: 948-6050

SITE IMPROVEMENT KEY

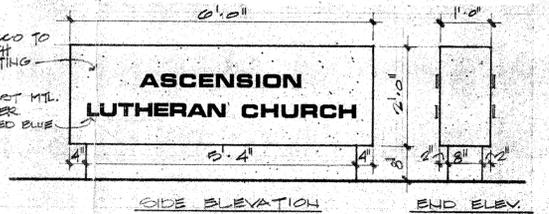
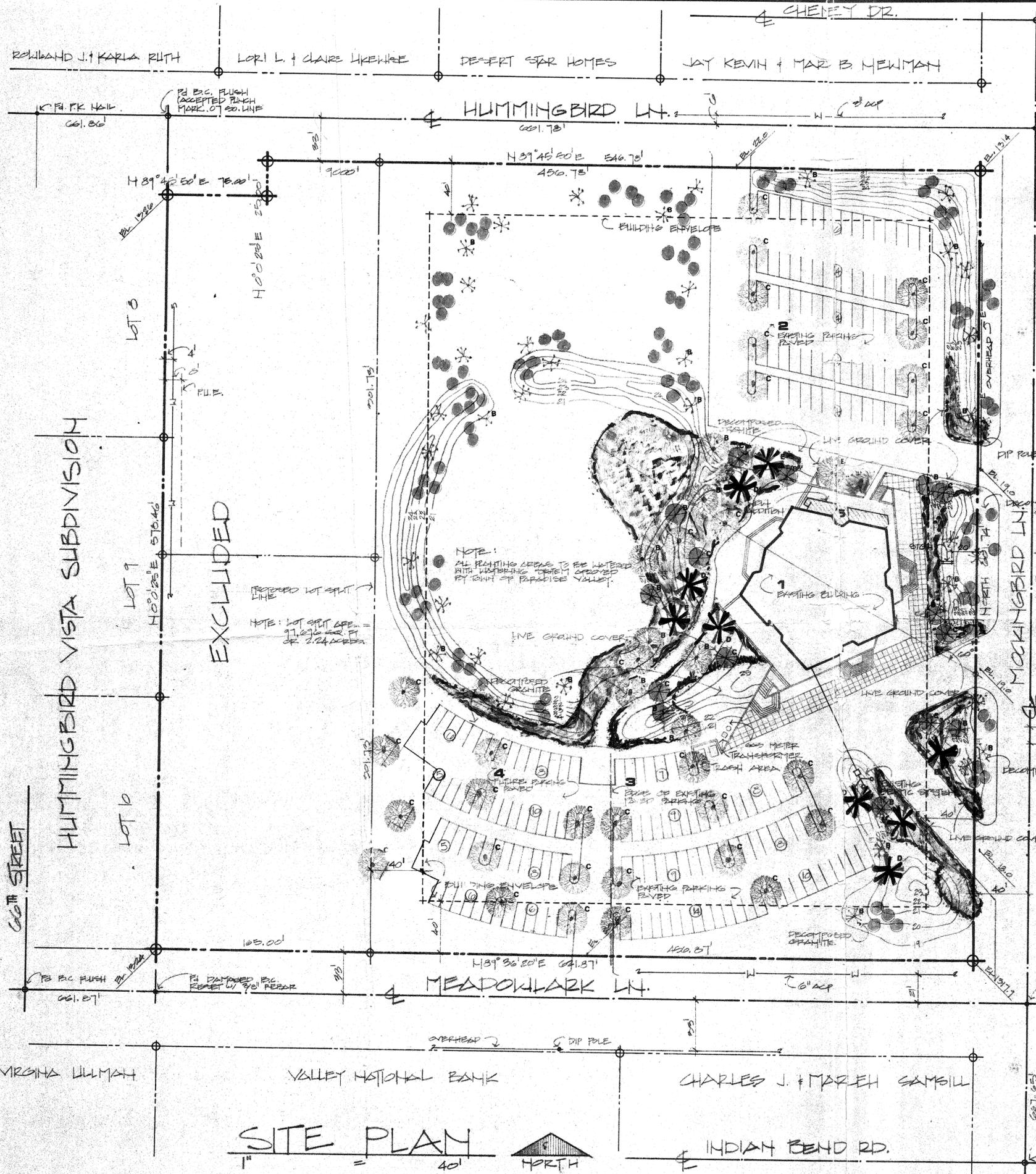
- Existing Church - Main Level Finish Floor Elevation 1323.00' Lot Coverage = 14,851 Sq. Ft.
- Existing North Parking Lot - 72 Spaces - Landscape to be added.
- Existing South Parking Lot - 60 Spaces - Landscape to be added.
- Future South Parking Lot - 54 Spaces with Landscaping.
- Pastor and Secretary Office Addition - Approximately 625 Sq. Ft. enclosed beneath existing canopy. (north side) All new construction to match existing color and texture.

COMPLETION DATES

- Office Addition and Landscaping to be completed by January 1979.
- * * *

I certify this to be "SITE PLANS FOR ASCENSION LUTHERAN CHURCH SPECIAL USE PERMIT, SEPTEMBER, 1977"

OFFICIAL SEAL
 OFFICE OF TOWN CLERK
 TOWN OF PARADISE VALLEY
 MARY ANN BRING
 TOWN CLERK



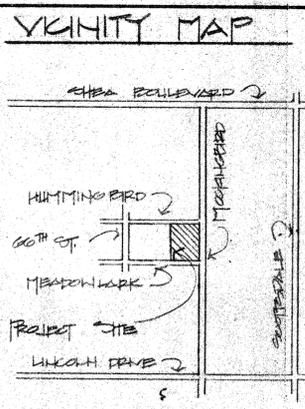
TREE SIZE

B 15 GALLON
 C 20" DBH
 D 6' HIGH
 E 8' HIGH

TREE SCHEDULE

- DATE PALMS
- PALO VERDES
- EVERGREEN BUSH
- EUCALYPTUS
- POPLAR TREES

NOTE: ALL PALM TREES & EUCALYPTUS TO BE PAVED TO 20% INLANDS NOTED.



IMPROVEMENTS TO ASCENSION LUTHERAN CHURCH
 7100 NORTH MOCKINGBIRD LN. PARADISE VALLEY, ARIZONA

ROBERT B. BALL ASSOCIATES, ARCHITECT
 8722 EAST MONTE VISTA, SCOTTSDALE, ARIZONA 85257 948-9493

JOB NO. 71-15
 DATE JULY, 1977
 DRAWN BY KT

REVISIONS
 JULY, 1977
 JULY 13, 1977

SHEET NO. 1 OF 2

SITE PLAN

1" = 40'

NORTH

City of Phoenix, Water Services Department Fire Flow Test Result



Location: FIRE FLOW TEST - 7100 N MOCKING BIRD Q.S. No. Q23-43
KIVA/Project # WSFT 20037744
For: LAND DEVELOPMENT GROUP LLC
Requested By: Request Date: 10/8/2020 2:27:41
Phone: 602-889-1984 E-MAIL: NICK@LDGENG.COM
Test Type: X 2.5" Std. 4" Std. Single
Observers: COP
Test Time: 12:00 PM Test Date: 10/20/2020

CAUTION: Results of this flow test identify water system characteristics for the date, time, and locations of this test only.

Pressure and flows within the water system can vary with time, seasonal and operational pressure variations can be as much as 20 psi. It is expected and should be considered when preparing designs based upon fire flow test data.

Numerous factors affect the water system, such as water level fluctuations in reservoirs, operating pressure ranges at booster pump stations, elevations at point of use, daily demand fluctuations, seasonal demands, emergency demands, water treatment plant availability, increased demands due to growth, operation/maintenance schedules, etc.

Designers should consider the above when preparing designs based upon fire flow test data. The City of Phoenix may be able to provide additional information on water system characteristics upon request.

NOTE: TEST LOCATION SKETCH IS ATTACHED

Observed Test Data

HYDRANT DESIGNATION	HYDRANT NUMBER	FLOW OPENING (2.5" or 4")	STATIC PRESSURE (psi)	RESIDUAL PRESSURE (psi)	PITOT PRESSURE (psi)	FLOW (gpm)
Pressure, R	23-43-407-FH		90	74		
Flow, F1	23-43-108-FH	2.5			42	1087
Flow, F2						
Flow, F3						
Flow, F4						
Note: Hydrant Nozzle Coef. = 0.9			**Pressure Drop %		Total Flow: 1087	
			17.8%			

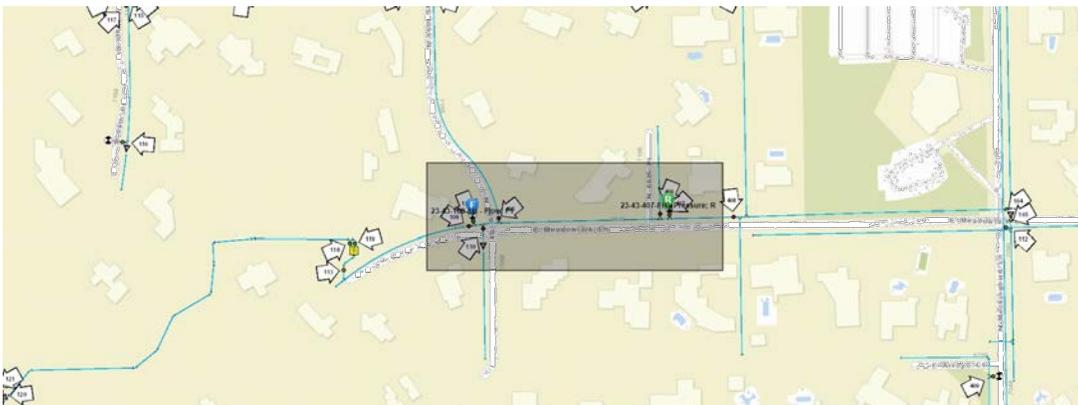
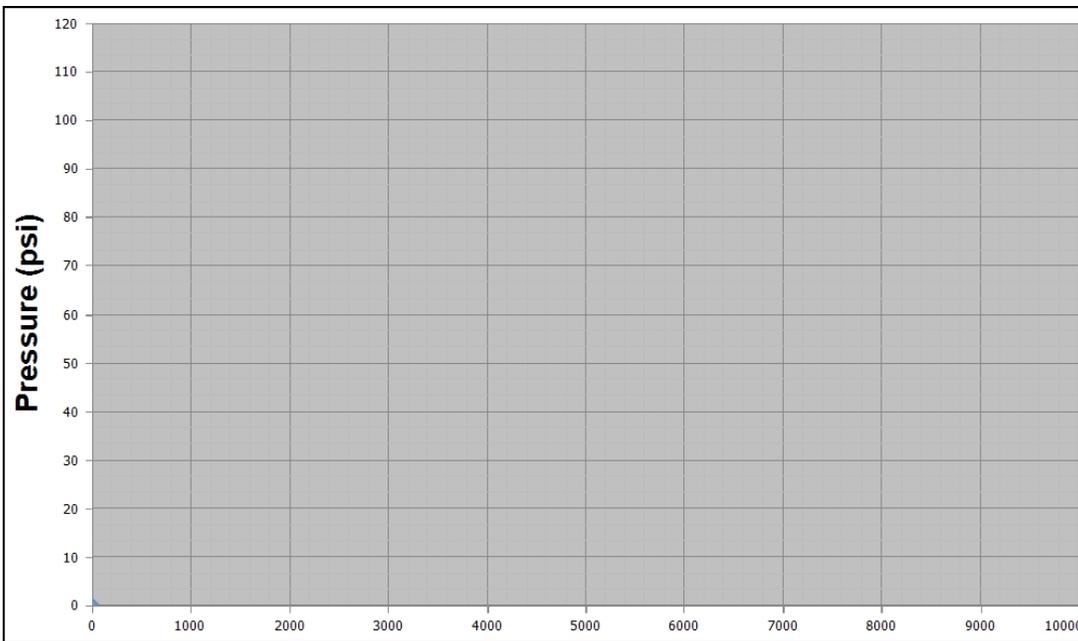
Calculated Results **

Pressure (psi)	20	25
Flow (gpm)	NA	NA

** Theoretical calculation of expected flows or rated capacities are based on sufficient discharge to cause a drop in pressure at the residual hydrant of at least 25%.

Calculated flow values will not appear if a 25% pressure drop between static and residual pressures is not reached. If additional volume is required, a complex 4-inch port fire flow test may be needed.

Instructions: All Fields Highlighted Green can be used.





City Of Phoenix
Water Services Department
Infrastructure Record Services

October 8, 2020

Ascension Lutheran Church Inc
Dustin Wagoner

RE: 174-51-033
7100 N Mockingbird Ln
Q.S.# 23-43

Dustin Wagoner,

Your request for water availability to the mentioned properties/street has been reviewed. The property is in the City of Phoenix service area. You have the capability to connect to the City of Phoenix Water System.

If you have any questions regarding these guidelines, please contact via email mario.murillo@phoenix.gov or call (602) 256-4296.

Sincerely,

Mario Murillo

Mario Murillo
Water Services Department
Infrastructure Record Services



P.O. Box 53933
Phoenix, Arizona 85072

October 22, 2020

ASCENSION LUTHERAN CHURCH, INC.,
PARADISE VALLEY, ARIZONA, AN ARIZONA NON-PROFIT CORPORATION
7100 N MOCKINGBIRD LN.,
PARADISE VALLEY, AZ 85253

Re: 7100 N Mockingbird Ln

To Whom It Concerns,

The above referenced project is located in Arizona Public Service Company's electric service area. The Company extends its lines in accordance with the "Conditions Governing Extensions of Electric Distribution Lines and Services," Schedule 3, and the "Terms and Conditions for the Sale of Electric Service," Schedule 1, on file with the Arizona Corporation Commission at the time we begin installation of the electric facilities.

Application for the Company's electric service often involves construction of new facilities for various distances and costs depending upon customer's location, load size and load characteristics. With such variations, it is necessary to establish conditions under which Arizona Public Service will extend its facilities.

The enclosed policy governs the extension of overhead and underground electric facilities to customers whose requirements are deemed by Arizona Public Service to be usual and reasonable in nature.

Please give Angela Rosenow call at (602) 250-1647 so that we may set up an appointment to discuss the details necessary for your project.

Sincerely,

Angela Rosenow

Angela Rosenow
Customer Project Representative
Customer Construction East \ Enclosures

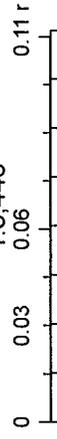
Lumen Relo Utility Map



October 8, 2020

CLA	Non Owned Facilities	Level 3 Facilities	CTL Facilities	Local Fiber	Underground
—	Aerial	—	Aerial	—	Aerial
- -	Underground	- -	Underground	- -	Underground

1:3,446



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), OpenStreetMap contributors, and the GIS User Community, Lumen Data is Confidential and Proprietary.

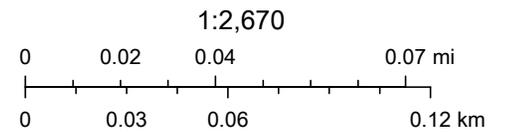
Persons working in the area covered by this data must contact the statewide Call-Before-You-Dig System to ascertain the location of underground facilities prior to performing any excavation. Lumen Data is Highly Confidential and Lumen Data is Confidential and

Town of Paradise Valley



2/4/2021, 1:28:51 PM

-  Paradise Valley Sewer Services
-  Parcels
-  Paradise Valley Gravity Main



SCHEDULE 'B' ITEMS

COMMITMENT FOR TITLE INSURANCE FILE NO.: 4020015-040-JDA-SW
 BY SECURITY TITLE AGENCY, INC.
 DATE OF REPORT: JANUARY 14, 2020

A	ANY DEFECT, LIEN, ENCUMBRANCE, ADVERSE CLAIM, OR OTHER MATTER THAT APPEARS FOR THE FIRST TIME IN THE PUBLIC RECORDS OR IS CREATED, ATTACHES, OR IS DISCLOSED BETWEEN THE COMMITMENT DATE AND THE DATE ON WHICH ALL OF THE SCHEDULE B, PART 1 - REQUIREMENTS ARE MET.	NOT PLOTABLE, NOT SHOWN
1	PROPERTY TAXES, WHICH ARE A LIEN NOT YET DUE AND PAYABLE, INCLUDING ANY ASSESSMENTS COLLECTED WITH TAXES TO BE LEVIED FOR THE YEAR 2020.	NOT PLOTABLE, NOT SHOWN
2	ALL OR A PART OF THE LAND HEREIN DESCRIBED DOES NOT APPEAR TO BE ASSESSED ON THE TAX ROLL FOR THE YEAR(S) 2019. SAID LAND IS SUBJECT TO THE POSSIBLE ASSESSMENT AND COLLECTION OF PROPERTY TAXES FOR CURRENT AND PRIOR YEARS.	NOT PLOTABLE, NOT SHOWN
3	ANY OUTSTANDING LIABILITIES AND OBLIGATIONS, INCLUDING UNPAID ASSESSMENTS, IMPOSED UPON SAID LAND BY REASON OF: (A) INCLUSION THEREOF WITHIN THE BOUNDARIES OF THE SALT RIVER PROJECT AGRICULTURAL IMPROVEMENT AND POWER DISTRICT; (B) MEMBERSHIP OF THE OWNER THEREOF IN THE SALT RIVER VALLEY WATER USERS' ASSOCIATION, AN ARIZONA CORPORATION AND (C) THE TERMS OF ANY WATER RIGHT APPLICATION MADE UNDER THE RECLAMATION LAWS OF THE UNITED STATES FOR THE PURPOSES OF OBTAINING WATER RIGHTS FOR SAID LAND.	NOT PLOTABLE, NOT SHOWN
4	EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: GRANTED TO: CENTRAL ARIZONA LIGHT AND POWER COMPANY PURPOSE: ELECTRIC LINES AND POLES RECORDING DATE: AUGUST 1, 1946 RECORDING NO.: BOOK 76 OF MISCELLANEOUS RECORDS, PAGE 353 AFFECTS: SAID LAND MORE PARTICULARLY DESCRIBED THEREIN	APPEARS EASEMENT FALLS WITHIN CURRENT STREET RIGHT OF WAY, NO WIDTH PROVIDED.
5	MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED: SPECIAL USE PERMIT DATED: SEPTEMBER 8, 1977 EXECUTED BY: TOWN OF PARADISE VALLEY TO ASCENSION LUTHERAN CHURCH RECORDING DATE: SEPTEMBER 23, 1977 RECORDING NO.: DOCKET 12447, PAGE 1435 THEREAFTER MINOR AMENDMENTS WERE RECORDED JANUARY 11, 1990 IN RECORDING NO. 90-016712; RECORDED FEBRUARY 13, 1995 IN RECORDING NO. 95-0080692 AND RECORDED APRIL 14, 1995 IN RECORDING NO. 95-0210213 REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.	THIS ITEM APPEARS TO BE REGARDING USE PERMITS TO CONSTRUCT SPECIFIC SITE RELATED ITEMS. AFFECTS ENTIRE PARCEL
6	EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS AS SET FORTH ON THE RECORDED PLAT OF MEADOWLARK ACRES, RECORDED NOVEMBER 16, 1977 IN BOOK 194 OF MAPS, PAGE 11.	THIS ITEM DOES AFFECT THE SURVEY, AND IS SHOWN BY THE INDEX 6.
7	EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: GRANTED TO: ARIZONA PUBLIC SERVICE COMPANY PURPOSE: UNDERGROUND ELECTRIC LINES AND APPURTENANT FACILITIES RECORDING DATE: JANUARY 13, 1989 RECORDING NO.: 89-017816 AFFECTS: SAID LAND MORE PARTICULARLY DESCRIBED THEREIN	THIS ITEM DOES AFFECT THE SURVEY, AND IS SHOWN BY THE INDEX 7.
8	EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: GRANTED TO: ARIZONA PUBLIC SERVICE COMPANY PURPOSE: UNDERGROUND ELECTRIC LINES AND APPURTENANT FACILITIES RECORDING DATE: JUNE 22, 1992 RECORDING NO.: 92-0337182 AFFECTS: SAID LAND MORE PARTICULARLY DESCRIBED THEREIN	THIS ITEM DOES AFFECT THE SURVEY, AND IS SHOWN BY THE INDEX 8.
9	MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED: WAIVER OF RIGHTS AD REMEDIES UNDER A.R.S.12-1134 DATED: MAY 23, 2019 EXECUTED BY: ASCENSION LUTHERAN CHURCH INC., PARADISE VALLEY ARIZONA, AN ARIZONA NON-PROFIT CORPORATION TO THE TOWN OF PARADISE VALLEY RECORDING DATE: JUNE 5, 2019 RECORDING NO.: 20190418994 REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.	THIS ITEM APPEARS TO BE REGARDING USE PERMITS TO CONSTRUCT SPECIFIC SITE RELATED ITEMS. AFFECTS ENTIRE PARCEL

GENERAL NOTES

- THE PREMISES SURVEYED HAVE NO KNOWN DISCREPANCIES, BOUNDARY LINE CONFLICTS, ENCROACHMENTS, OVERLAPPING OF IMPROVEMENTS, EASEMENTS OR RIGHT-OF-WAYS EXCEPT AS SHOWN, AND HAS ACCESS TO OR FROM A DEDICATED ROADWAY.
- THIS IS AN ABOVE GROUND SURVEY. THE UNDERGROUND UTILITIES AS SHOWN ARE BASED ON INFORMATION PROVIDED BY THE VARIOUS UTILITY COMPANIES AND THESE LOCATIONS SHOULD BE CONSIDERED APPROXIMATE. THERE MAY BE ADDITIONAL UNDERGROUND UTILITIES, NOT SHOWN ON THIS DRAWING. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN HEREON ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE AT THE TIME OF THE SURVEY.
- BUILDING SETBACK LINES, ZONING, FLOOD AREA ZONES, AND ADDRESSES THAT MAY BE SHOWN ARE SUPPLIED BY THE GOVERNING AGENCY OR TAKEN FROM THE BEST AVAILABLE RECORDS. THE SURVEYOR WILL NOT ACCEPT RESPONSIBILITY FOR THE ACCURACY OF ANY INFORMATION SUPPLIED BY OTHERS.
- EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS MAP, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: EASEMENTS OTHER THAN THOSE SHOWN ON THIS SURVEY; BUILDING SETBACK LINES; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS; ZONING OR OTHER LAND USE REGULATIONS, AND ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- THE DESCRIPTION OF PROPERTY BOUNDARIES AND EASEMENTS SHOWN HEREON, REPRESENT THAT INFORMATION PROVIDED ON BOOK 194 OF MAPS, PAGE 11 AND SPECIAL WARRANTY DEED REC. DOC. 2002-0391063, RECORDS OF MARICOPA COUNTY, ARIZONA.
- EVERY DOCUMENT OF RECORD REVIEWED AND CONSIDERED AS A PART OF THIS SURVEY IS NOTED HEREON. ONLY THE DOCUMENTS NOTED HEREON WERE SUPPLIED OR AVAILABLE TO THE SURVEYOR AT THE TIME OF THE SURVEY. THERE MAY EXIST OTHER DOCUMENTS OF RECORD, WHICH WOULD AFFECT THIS PARCEL.
- ANY INFORMATION SHOWN WHICH MAY VARY FROM THE CONTENTS OF THE REPORT(S) NOTED ABOVE, REPRESENTS INFORMATION AND MEASUREMENTS FOUND DURING THE COURSE OF THE SURVEY.
- ON-SITE PLANT INFORMATION SHOWN HEREON IS FOR REFERENCE ONLY. SURVEYOR ASSUMES NO LIABILITY FOR THE EVALUATION, SALVAGEABILITY, REMOVAL AND/RELOCATION OF ON-SITE PLANT MATERIALS.
- ALL MEASURED BEARINGS AND DISTANCES EQUAL RECORD UNLESS NOTED OTHERWISE.
- ANY AERIAL MAPS SHOWN ON THIS PLAN ARE FOR REFERENCE ONLY AND DO NOT NECESSARILY DEPICT THE EXACT CURRENT CONDITIONS.

ALTA/NSPS LAND TITLE SURVEY
7100 M MOCKINGBIRD LN., PARADISE VALLEY, AZ 85253

LOT 1 - MEADOWLARK ACRES
A SUBDIVISION PLAT RECORDED IN BOOK 194 OF MAPS, PAGE 11, MCR.,
LOCATED IN A PORTION OF THE NE 1/4 OF THE SE 1/4 OF THE SW 1/4 OF SECTION 3, T.2N, R.4E
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

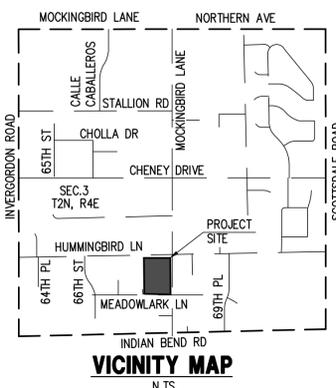


LEGEND

- SECTION CORNER
- 1/4 QUARTER
- BRASS CAP FLUSH
- FOUND REBAR OR AS NOTED
- SET 1/2" REBAR & TAG OR AS NOTED
- CALCULATED POINT
- PROPERTY LINE
- EASEMENT LINE
- MONUMENT LINE
- SIGN
- WATER VALVE
- FIRE HYDRANT
- UTILITY BOX
- GAS METER
- SEWER CLEANOUT
- CABLE TV RISER
- SEWER MANHOLE
- TELEPHONE PEDestal
- LIGHT POLE
- SCHEDULE B ITEM
- SEWER LINE
- COMMUNICATIONS LINE
- CATV, PHONE
- GAS LINE
- WATER LINE
- ELECTRIC LINE
- EXISTING CONTOUR
- EXIST. SPOT ELEVATION
- PALM TREE
- TREE
- PALO VERDE

ABBREVIATIONS

- BSL BUILDING SETBACK LINE
- EG EXISTING GRADE
- EL ELEV
- EP EDGE OF PAVEMENT
- ESMT EASEMENT
- EX, EXIST. EXISTING
- G GUTTER, GAS
- INV INVERT
- (M) MEASURED
- MCR MARICOPA COUNTY RECORDER
- MH MANHOLE
- P, PVMT PAVEMENT
- PUE PUBLIC UTILITY EASEMENT
- (R), REC. RECORDED
- RADIUS
- R/W RIGHT OF WAY
- T TANGENT, TELEPHONE
- TC TOP OF CURB
- TPV TOWN OF PARADISE VALLEY
- W WEST, WATERLINE
- WBO WAIFORM/BERSE OPENING
- WM WATER METER



OWNER
 ASCENSION LUTHERAN CHURCH, INC., PARADISE VALLEY, ARIZONA,
 AN ARIZONA NON-PROFIT CORPORATION
 7100 N MOCKINGBIRD LN.,
 PARADISE VALLEY, AZ 85253

SITE DATA

APN: 174-51-033
 ADDRESS: 7100 N MOCKINGBIRD LN.,
 PARADISE VALLEY, AZ 85253
 ZONING: SUP-P
 LOT AREA: 275,697 S.F. (6.329 AC.)
 TOPV QS #: 23-43

BASIS OF BEARINGS

THE EAST LINE OF THE SOUTHWEST QUARTER OF SECTION T2N, R3W, THE BEARING OF WHICH IS N01°00'43"E.

BENCHMARK

BRASS CAP FLUSH MOCKINGBIRD AVE AND INDIAN BEND ROAD HAVING AN ELEVATION OF 1316.44 NAVD 88 DATUM, GDACS# 24524-1.

LEGAL DESCRIPTION

LOT 1, OF MEADOWLARK ACRES, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 194 OF MAPS, PAGE 11.

SURVEY REFERENCES

- MARICOPA COUNTY PARCEL MAP 825-03-03-04.
- SPECIAL WARRANTY DEED RECORDED IN DOC. NO. 2002-0391063, M.C.R.
- RECORDED PLAT PER BOOK 194 OF MAPS, PAGE 11, M.C.R.

UTILITIES

WATER: CITY OF PHOENIX
 SANITARY SEWER: TOWN OF PARADISE VALLEY
 ELECTRIC: APS
 TELEPHONE: CENTURY LINK, COX COMMUNICATIONS
 NATURAL GAS: SOUTHWEST GAS CORPORATION
 CABLE TV: CENTURY LINK, COX COMMUNICATIONS

FLOOD INSURANCE RATE MAP (FIRM) DATA

COMMUNITY #	PANEL #	SUFFIX L	BASE FLOOD ELEVATION
040049	1770 OF 4425		N/A
MAP # 04013C	PANEL DATE 10/16/2013	FIRM INDEX DATE 11/04/2015	ZONE X*

*AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

CERTIFICATE OF SURVEY

CERTIFIED TO:
 SECURITY TITLE AGENCY, INC.
 THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1-5, 8, 11 AND 13-14, OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED IN FEBRUARY, 2020.



JAMES FLACK, RLS
 DATE: 03/15/20

ALTA/NSPS LAND TITLE SURVEY
LOT 1 - MEADOWLARK ACRES
7100 N MOCKINGBIRD LN.,
PARADISE VALLEY, AZ 85253

DATE: 03/15/20
 JOB: 202004
 VERSION: 1.1
 PLOT DATE: 03/15/20

SCALE: 1" = 40'
 DESIGNED BY: NP
 DRAWN BY: DW
 CHECKED BY: NP

REVISIONS:

P. 602.889.1984 | F. 602.445.9492
 8808 N CENTRAL AVE., SUITE 288
 PHOENIX, AZ 85020
 FIDELITYLAND.COM

DEVELOPMENT GROUP

1 OF 1

MEADOWLARK ACRES II

A LOT SPLIT OF LOT 1 MEADOWLARK ACRES
A SUBDIVISION PLAT RECORDED IN BOOK 194 OF MAPS, PAGE 11, MCR.,
LOCATED IN A PORTION OF THE NE 1/4 OF THE SE 1/4 OF THE SW 1/4 OF
SECTION 3, T.2N, R.4E
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

OWNER

ASCENSION LUTHERAN CHURCH, INC., PARADISE VALLEY, ARIZONA,
 AN ARIZONA NON-PROFIT CORPORATION
 7100 N MOCKINGBIRD LN.,
 PARADISE VALLEY, AZ 85253

SURVEY REFERENCES

- MARICOPA COUNTY PARCEL MAP 825-03-03-04.
- SPECIAL WARRANTY DEED RECORDED IN DOC. NO. 2002-0391063, M.C.R.
- RECORDED PLAT PER BOOK 194 OF MAPS, PAGE 11, M.C.R.

FLOOD INSURANCE RATE MAP (FIRM) DATA

COMMUNITY #	PANEL #	SUFFIX	BASE FLOOD ELEVATION
040049	1770 OF 4425	L	N/A
MAP # 04013C	PANEL DATE 10/16/2013	FIRM INDEX DATE 11/04/2015	ZONE X*

*AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

LOT 1A - LEGAL DESCRIPTION

THAT PORTION OF LOT 1, OF "MEADOWLARK ACRES", ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 194 OF MAPS, PAGE 11, AND LYING IN THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:
 BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 1, SAID POINT BEING REBAR WITH CAP RLS# 35694;
 THENCE SOUTH 88 DEGREES 35 MINUTES 06 SECONDS WEST, ALONG THE SOUTH LINE OF SAID LOT 1, A DISTANCE OF 286.98 FEET TO REBAR WITH CAP RLS# 35694;
 THENCE NORTH 00 DEGREES 59 MINUTES 05 SECONDS WEST, A DISTANCE OF 256.47 FEET;
 THENCE SOUTH 88 DEGREES 35 MINUTES 06 SECONDS WEST, A DISTANCE OF 170.00 FEET TO A POINT ON THE WEST LINE OF SAID LOT 1;
 THENCE NORTH 00 DEGREES 59 MINUTES 05 SECONDS WEST, ALONG SAID WEST LINE, A DISTANCE OF 348.56 FEET TO THE NORTHWEST CORNER OF SAID LOT 1, BEING MARKED BY REBAR WITH CAP RLS# 16293, SOUTH 2.00 FEET OF CORNER.
 THENCE NORTH 88 DEGREES 58 MINUTES 11 SECONDS EAST, ALONG THE NORTH LINE OF SAID LOT 1, A DISTANCE OF 456.69 FEET TO THE NORTHEAST CORNER OF SAID LOT 1, BEING MARKED BY A REBAR WITH ATTACHED CAP RLS# 35694;
 THENCE SOUTH 01 DEGREES 00 MINUTES 43 SECONDS EAST, ALONG THE EAST LINE OF SAID LOT 1, A DISTANCE OF 601.96 FEET TO THE POINT OF BEGINNING.

LOT 1B - LEGAL DESCRIPTION

THAT PORTION OF LOT 1, OF "MEADOWLARK ACRES", ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 194 OF MAPS, PAGE 11, AND LYING IN THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:
 COMMENCING AT THE SOUTHEAST CORNER OF SAID LOT 1, SAID POINT BEING A REBAR WITH CAP RLS# 35694;
 THENCE SOUTH 88 DEGREES 35 MINUTES 06 SECONDS WEST, ALONG THE SOUTH LINE OF SAID LOT 1, A DISTANCE OF 286.98 FEET TO A REBAR WITH CAP RLS# 35694, SAID POINT BEING THE POINT OF BEGINNING;
 THENCE CONTINUING SOUTH 88 DEGREES 35 MINUTES 06 SECONDS WEST, ALONG SAID SOUTH LINE, A DISTANCE OF 170 FEET TO THE SOUTHWEST CORNER OF SAID LOT 1 BEING MARKED BY REBAR WITH CAP RLS# 35694;
 THENCE NORTH 00 DEGREES 59 MINUTES 05 SECONDS WEST, ALONG THE WEST LINE OF SAID LOT 1, A DISTANCE OF 256.47 FEET;
 THENCE NORTH 88 DEGREES 35 MINUTES 06 SECONDS EAST, A DISTANCE OF 170.00 FEET;
 THENCE SOUTH 00 DEGREES 59 MINUTES 05 SECONDS EAST, A DISTANCE OF 256.47 FEET TO THE POINT OF BEGINNING.

UTILITIES

WATER: CITY OF PHOENIX
 SANITARY SEWER: TOWN OF PARADISE VALLEY
 ELECTRIC: APS
 TELEPHONE: CENTURY LINK, COX COMMUNICATIONS
 NATURAL GAS: SOUTHWEST GAS CORPORATION
 CABLE TV: CENTURY LINK, COX COMMUNICATIONS

AREAS

LOT 1A: 232,097 S.F. (5.328 AC.)
 FLOOR AREA RATIO:
 15,823±/232,097 = 6.82%

LOT 1B: 43,600 S.F. (1.001 AC.)

ZONING

LOT 1A: SUP-P
 LOT 1B: R-43

BENCHMARK

BRASS CAP FLUSH MOCKINGBIRD AVE AND INDIAN BEND ROAD HAVING AN ELEVATION OF 1316.44 NAVD 88 DATUM, GDACS# 24524-1.

SURVEYOR'S CERTIFICATION

THIS IS TO CERTIFY THAT (1) THE SURVEY OF THE PREMISES DESCRIBED AND PLATTED HEREIN WERE MADE UNDER MY DIRECTION DURING THE MONTH OF MAY, 2016, AND (2) THIS PLAT IS CORRECT AND ACCURATE, AND (3) THE MONUMENT OR MONUMENTS SHOWN HEREIN HAVE BEEN LOCATED AS DESCRIBED.



JAMES FLACK, RLS

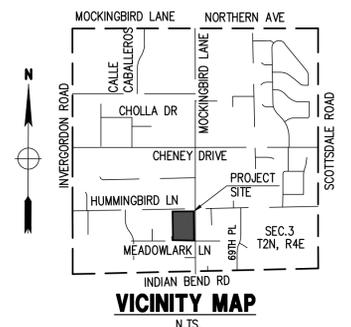
01/30/21
DATE

APPROVALS

APPROVED BY THE TOWN COUNCIL ON _____ 2021.

BY: _____ TOWN CLERK

BY: _____ TOWN ENGINEER



SITE DATA

APN: 174-51-033
 ADDRESS: 7100 N MOCKINGBIRD LN., PARADISE VALLEY, AZ 85253
 ZONING: SUP-P
 QS #: 23-43
 PARENT LOT AREA: 275,697 SF (6.329 AC.)
LOT 1A:
 PROPOSED AREA: 232,097 SF (5.328 AC.)
 TOTAL FLOOR AREA: 15,823± SF
 FLOOR AREA RATIO: 6.82%
 MAX ACTUAL BUILDING HEIGHT: 57 FT
 MAX SPIRE HEIGHT: 100 FT
 TOTAL FOOTPRINT AREA: 11,691 SF
 LOT COVERAGE: 5.04%
 ALLOWED PARKING: 266 SPACES
 TOTAL NUMBER OF SEATS IN THE SANCTUARY: 800 SEATS
 EXISTING PARKING: 158 SPACES (NORTH)
 EXISTING PARKING: 42 SPACES (SOUTH)
 EXISTING PARKING ACCESSIBLE: 7 SPACES
 TOTAL PARKING PROVIDED: 207 SPACES
LOT 1B:
 PROPOSED AREA: 43,600 S.F. (1.001 AC.)
 MAX FLOOR AREA RATIO: 25%
 MAXIMUM BUILDING HEIGHT: 24 FT.

BASIS OF BEARINGS

THE EAST LINE OF THE SOUTHWEST QUARTER OF SECTION T2N, R3W, THE BEARING OF WHICH IS N01°00'43"E.

PARENT LEGAL DESCRIPTION

LOT 1, OF MEADOWLARK ACRES, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 194 OF MAPS, PAGE 11.

DRAINAGE EASEMENT RESTRICTIONS

PURSUANT TO A.R.S. §9-463.01 (C), AND SECTIONS 6-4 (E) (J), 8-7-1 ET. SEQ., AND 6-3-8 OF THE CODE OF ORDINANCES OF THE TOWN OF PARADISE VALLEY, DRAINAGE EASEMENTS ARE FOR THE PURPOSE OF ALLOWING STORM, FLOOD, AND OTHER WATERS TO PASS OVER, UNDER OR THROUGH THE LAND SET ASIDE FOR SUCH EASEMENTS, AND NOTHING WHICH MAY, TO ANY DEGREE, IMPEDE OR OBSTRUCT THE FLOW OF SUCH WATERS, SHALL BE CONSTRUCTED, PLACED, PLANTED, OR ALLOWED TO GROW ON OR IN SUCH EASEMENTS. THE MAINTENANCE AND CLEARING OF THESE DRAINAGE EASEMENTS SHALL BE THE SOLE RESPONSIBILITY AND DUTY OF THE OWNER OF THE PROPERTY ON WHICH SAID EASEMENTS ARE PLATTED. HOWEVER, THE TOWN OF PARADISE VALLEY, A MUNICIPAL CORPORATION, MAY, IF THE TOWN DEEMS IT TO BE IN THE BEST INTERESTS OF THE HEALTH, SAFETY, OR WELFARE OF THE TOWN OF PARADISE VALLEY, CONSTRUCT AND/OR MAINTAIN DRAINAGE FACILITIES ON OR UNDER SUCH EASEMENTS. AGENTS AND EMPLOYEES OF THE TOWN OF PARADISE VALLEY SHALL HAVE FREE ACCESS TO AND FROM ALL PORTIONS OF SUCH EASEMENTS AT ALL TIMES.

LEGEND

- 1/4 QUARTER
- BRASS CAP FLUSH
- FOUND REBAR AS NOTED
- SET 1/2" REBAR & TAG OR AS NOTED
- CALCULATED POINT
- PROPERTY LINE
- ADJACENT PROPERTY LINE
- EASEMENT LINE
- MONUMENT LINE

DEDICATION

STATE OF ARIZONA)
 COUNTY OF MARICOPA) SS

KNOW ALL MEN BY THESE PRESENTS:

ASCENSION LUTHERAN CHURCH, INC. AS LEGAL OWNER OF SAID REAL PROPERTY, HAS SUBDIVIDED PARCEL NO. 174-51-033, MARICOPA COUNTY RECORDS, LOCATED WITHIN THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 2 NORTH, RANGE 4 EAST, OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA UNDER THE NAME OF "MEADOWLARK ACRES II", AS SHOWN AND PLATTED HEREON AND HEREBY PUBLISHES THIS LOT SPLIT AND HEREBY DECLARES THAT THIS LOT SPLIT SETS FORTH THE LOCATION AND GIVES THE DIMENSIONS OF THE LOTS AND STREETS CONSTITUTING SAME AND THAT EACH LOT AND STREET SHALL BE KNOWN BY THE NUMBER OR NAME GIVEN EACH RESPECTIVELY ON THIS PLAT.

IN WITNESS WHEREOF:

ASCENSION LUTHERAN CHURCH, INC. AS OWNER, HAS HEREUNTO AFFIXED HER SIGNATURE THIS _____ DAY OF _____ 2021.

ACKNOWLEDGEMENT

STATE OF ARIZONA)
 COUNTY OF MARICOPA) SS

ON THIS _____ OF _____ 2021, BEFORE ME, THE UNDERSIGNED, PERSONALLY APPEARED ASCENSION LUTHERAN CHURCH, INC. WHO ACKNOWLEDGED SELF TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE INSTRUMENT WITHIN, AND WHO EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED.

IN WITNESS WHEREOF; I HEREUNTO SET MY HAND AND OFFICIAL SEAL.

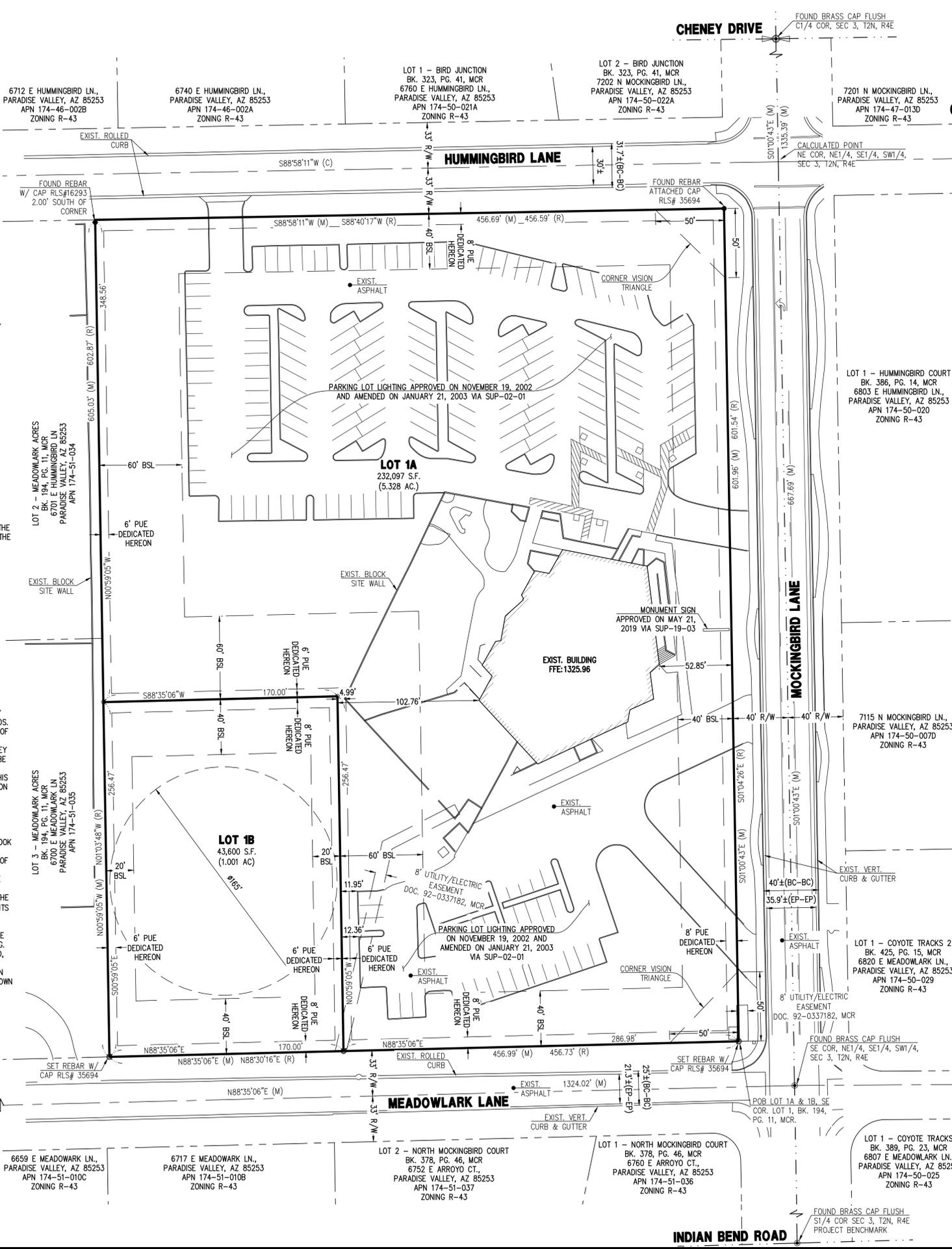
NOTARY PUBLIC _____ DATE _____ 2021
 MY COMMISSION EXPIRES _____

NOTES

- THIS IS NOT AN ALTA/ACSM TITLE SURVEY.
- NO CC&R'S ARE CREATED WITH THIS MAP. EXISTING CC&R'S AFFECTING THE SUBJECT PROPERTIES ARE LISTED UNDER SECTION "SURVEY REFERENCES" ABOVE.
- BUILDING SETBACK LINES, ZONING, FLOOD AREA ZONES, OWNERSHIP INFORMATION, AND ADDRESSES THAT MAY BE SHOWN ARE SUPPLIED BY THE GOVERNING AGENCY OR TAKEN FROM THE BEST AVAILABLE RECORDS. THE SURVEYOR WILL NOT ACCEPT RESPONSIBILITY FOR THE ACCURACY OF ANY INFORMATION SUPPLIED BY OTHERS.
- EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS MAP, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: EASEMENTS, OTHER THAN POSSIBLE EASEMENTS, WHICH WERE VISIBLE AT THE TIME OF MAKING THIS SURVEY; BUILDING SETBACK LINES; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS; ZONING OR OTHER LAND USE REGULATIONS, AND ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- THE DESCRIPTION OF PROPERTY BOUNDARIES AND EASEMENTS SHOWN HEREON, REPRESENT THAT INFORMATION PROVIDED IN WARRANTY DEED RECORDED IN DOC. NO. 2002-0391063, M.C.R. & PLAT RECORDED IN BOOK 194, PAGE 11, M.C.R.
- EVERY DOCUMENT OF RECORD REVIEWED AND CONSIDERED AS A PART OF THIS SURVEY IS NOTED HEREON. ONLY THE DOCUMENTS NOTED HEREON WERE SUPPLIED OR AVAILABLE TO THE SURVEYOR AT THE TIME OF THE SURVEY.
- ANY INFORMATION SHOWN WHICH MAY VARY FROM THE CONTENTS OF THE REPORT(S) NOTED ABOVE, REPRESENTS INFORMATION AND MEASUREMENTS FOUND DURING THE COURSE OF THE SURVEY.
- UNLESS OTHERWISE NOTED, ALL DIMENSIONS SHOWN ARE MEASURED.
- THE EXISTING STRUCTURES ON THE LOT ALONG CARDINAL DRIVE WILL BE DEMOLISHED. THIS INCLUDES THE GUESTHOUSE, BARN AND ANY FENCING. THE TOWN WILL NOT RECORD A PLAT UNTIL A DEMO PERMIT IS APPLIED, ISSUED, AND FINALIZED.
- ALL LANDSCAPING WITHIN THE RIGHTS-OF-WAY WILL BE LANDSCAPED IN ACCORDANCE WITH SECTION 5-10-7.D OF THE TOWN CODE AND THE TOWN LANDSCAPE GUIDELINES.
- FOLLOWING RECORDING DOCUMENTS REFERENCE CERTAIN COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS ASSOCIATED WITH THIS PROPERTY:
 REC. DOC. 1992-0337182, MCR

ABBREVIATIONS

- B/S/L BUILDING SETBACK LINE
- CL CENTERLINE
- D/W DRIVEWAY
- E EAST
- ESMT EASEMENT
- EX, EXIST. EXISTING
- (M) MEASURED
- MCR MARICOPA COUNTY RECORDER
- N NORTH
- PUE PUBLIC UTILITY EASEMENT
- (R), REC. RECORDED
- R RADIUS
- R/W RIGHT OF WAY
- S SOUTH
- T TANGENT
- W WEST



DATE: 01/30/21
 JOB: 200204
 VERSION: 2.1
 PLOT DATE: 01/30/21

SCALE: 1"=40'

DESIGNED BY: NP
 DRAWN BY: DW
 CHECKED BY: NP

LOT SPLIT MAP

MEADOWLARK ACRES II
 7100 N MOCKINGBIRD LN.,
 PARADISE VALLEY, AZ 85253

P. 602.889.1984 | F. 602.445.9492
 8808 N CENTRAL AVE., SUITE 288
 PHOENIX, AZ 85020
 PHOENIXLANDING.COM

1 OF 1

TOWN OF PARADISE VALLEY NOTES

- PRIOR TO THE FIRST INSPECTION OF STRUCTURES WITHIN 3 FEET OF A SETBACK LINE, THE PROPERTY PINS SHALL BE PLACED BY A REGISTERED CIVIL ENGINEER OR LAND SURVEYOR OF THE STATE OF ARIZONA, AND THE PROPERTY LINE(S) IDENTIFIED.
- WHERE EXCAVATION IS TO OCCUR THE TOP 4" OF EXCAVATED NATIVE SOIL SHALL REMAIN ON THE SITE AND SHALL BE REUSED IN A MANNER THAT TAKES ADVANTAGE OF THE NATURAL SOIL SEED BANK IT CONTAINS.
- ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL MUNICIPALITY UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS.
- THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL STATE, AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO THE CONSTRUCTION COVERED BY THIS PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
- ALL EXTERIOR SITE LIGHTING SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS FOR TYPE, LOCATION, HEIGHT, WATTAGE, AND LUMEN BASED UPON THE FIXTURES INSTALLED PURSUANT TO SECTION 1023 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCE FOR NON-HILLSIDE PROPERTIES, SECTION 2208 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCE FOR HILLSIDE PROPERTIES, OR AS SPECIFIED IN THE SPECIAL USE PERMIT FOR SPECIAL USE PERMIT PROPERTIES.
- A DUST CONTROL PLAN AND PERMIT MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
- A SEPARATE RIGHT-OF-WAY PERMIT IS NECESSARY FOR ANY OFF-SITE CONSTRUCTION.
- AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
- EAVE PROJECTIONS INTO REQUIRED SETBACKS ARE LIMITED TO A MAXIMUM OF 24" PURSUANT TO SECTION 1008 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES.
- ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
- ALL NEW AND EXISTING ELECTRICAL SERVICE LINES SHALL BE BURIED PER THE TOWN OF PARADISE VALLEY REQUIREMENTS.
- IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE TO ARRANGE FOR THE RELOCATION AND RELOCATION COSTS OF ALL UTILITIES, AND TO SUBMIT A UTILITY RELOCATION SCHEDULE PRIOR TO THE ISSUANCE OF AN ENGINEERING CONSTRUCTION PERMIT.
- EXISTING AND/OR NEW UTILITY CABINETS AND PEDESTALS SHALL BE LOCATED A MINIMUM OF 4' BEHIND ULTIMATE BACK OF CURB LOCATION.
- POOL, SPA, BARBEQUE AND ANY PROPOSED STRUCTURES OVER 8' ABOVE GRADE REQUIRE SEPARATE PERMIT APPLICATIONS.
- POOLS SHALL BE CONSTRUCTED BY SEPARATE PERMIT AND SECURED FROM UNWANTED ACCESS PER TOWN CODE, ARTICLE 5-2.
- ALL FILL MATERIAL UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95%.
- SETBACK CERTIFICATION IS REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO STEM WALL INSPECTION.
- FOR BUILDING PADS THAT HAVE 1' OR MORE OF FILL MATERIAL, SOILS COMPACTION TEST RESULTS ARE REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO PRE-SLAB INSPECTION.
- FINISHED FLOOR ELEVATION CERTIFICATION IS REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO FRAMING INSPECTION.
- MAIL BOXES SHALL COMPLY WITH THE TOWN OF PARADISE VALLEY STANDARDS FOR MAIL BOXES IN THE RIGHT-OF-WAY FOR HEIGHT, WIDTH AND BREAK AWAY FEATURES.
- ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE.
- TRENCH BEDDING AND SHADING SHALL BE FREE OF ROCKS AND DEBRIS.
- THE TOWN ONLY APPROVES THE SCOPE OF WORK AND NOT THE ENGINEERING DESIGN. ANY CONSTRUCTION QUANTITIES SHOWN ARE NOT VERIFIED BY THE TOWN.
- THE APPROVAL OF THE PLANS IS VALID FOR 180 DAYS. IF A PERMIT FOR CONSTRUCTION HAS NOT BEEN ISSUED WITHIN 180 DAYS, THE PERMIT MUST BE RENEWED.
- A TOWN INSPECTOR WILL INSPECT ALL WORK WITHIN THE TOWN'S RIGHTS-OF-WAY. NOTIFY TOWN INSPECTION SERVICES TO SCHEDULE A PRECONSTRUCTION MEETING PRIOR TO STARTING CONSTRUCTION.
- WHENEVER EXCAVATION IS NECESSARY, CALL ARIZONA811 BY DIALING 811 OR 602-263-1100, TWO (2) WORKING DAYS BEFORE EXCAVATION BEGINS.
- EXCAVATIONS SHALL COMPLY WITH REQUIREMENTS OF OSHA EXCAVATION STANDARDS (29 CFR, PART 1926, SUBPART P). UNDER NO CIRCUMSTANCES WILL THE CONTRACTORS BE ALLOWED TO WORK IN A TRENCH LOCATED WITHIN THE TOWN'S RIGHT-OF-WAY WITHOUT PROPER SHORING OR EXCAVATION METHODS.
- PERMIT HOLDER SHALL POST A 6 SQUARE FOOT (2'X3') IDENTIFICATION SIGN, MADE OF DURABLE MATERIAL, IN THE FRONT YARD OF SUBJECT PROPERTY AND NOT IN THE TOWN'S RIGHT-OF-WAY. THE SIGN MAY NOT EXCEED A MAXIMUM OF 6 FEET IN HEIGHT FROM GRADE TO TOP OF THE SIGN. THE SIGN MUST INCLUDE THE PERMITTEE OR COMPANY NAME, PHONE NUMBER, TYPE OF WORK, ADDRESS OF PROJECT AND TOWN CONTACT NUMBER, 480-348-3556.
- WHEN DEEMED NECESSARY, A 6-FOOT HIGH CHAIN LINK FENCE MUST BE INSTALLED AROUND THE CONSTRUCTION AREA TO PREVENT ANY POTENTIAL SAFETY HAZARD FOR THE PUBLIC. THE FENCE SHALL BE SETBACK AT LEAST 10 FEET FROM ALL RIGHTS-OF-WAY AND HAVE A 50-FOOT STREET CORNER SITE TRIANGLE WHERE APPLICABLE.
- CLEAR ACCESS FOR NEIGHBORING PROPERTIES AND EMERGENCY VEHICLES MUST BE MAINTAINED AT ALL TIMES. CONSTRUCTION RELATED VEHICLES MUST BE LEGALLY PARKED ONLY ON ONE SIDE OF THE STREET OR JOB SITE PROPERTY.
- ALL CONSTRUCTION DEBRIS AND EQUIPMENT MUST BE CONTAINED ON SITE AT ALL TIMES. CONTRACTOR AND PROPERTY OWNER MUST MAINTAIN THE JOB SITE FREE OF LITTER AND UNSIGHTLY MATERIALS AT ALL TIMES. CONSTRUCTION MATERIALS ARE PROHIBITED IN THE TOWN'S RIGHT-OF-WAY.
- CONSTRUCTION ACTIVITIES ARE PERMITTED BETWEEN THE HOURS OF 7 AM MONDAY THROUGH CONSTRUCTION ACTIVITIES MAY START ONE (1) HOUR EARLIER DURING THE SUMMER (MAY 1ST THROUGH SEPTEMBER 30TH).
- THE USE AND OPERATION OF FUEL-FIRED GENERATORS IS PROHIBITED UNLESS DUE TO A HARDSHIP. TOWN APPROVAL SHALL BE REQUIRED.
- THE CONTRACTOR AND PROPERTY OWNER SHALL BE LIABLE FOR ANY DAMAGE DONE TO ANY PUBLIC PROPERTY AS A RESULT OF ANY CONSTRUCTION OR CONSTRUCTION RELATED ACTIVITIES. NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL AFFECTED RIGHTS-OF-WAY ARE CLEANED AND/OR REPAIRED TO THEIR ORIGINAL CONDITION AND UNTIL ANY AND ALL DAMAGES TO AFFECTED PROPERTIES ARE RESTORED TO ORIGINAL CONDITION.
- A KEYED SWITCH SHALL BE REQUIRED ON ALL NEW AND EXISTING ELECTRIC ENTRY GATES. THE KEYED SWITCH SHALL BE INSTALLED IN A LOCATION THAT IS READILY VISIBLE AND ACCESSIBLE. KNOX BOX ORDER FORMS ARE AVAILABLE AT THE TOWN'S BUILDING SAFETY DEPARTMENT.
- PROPERTY OWNER, BUILDER, OR GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR CONTROLLING DUST FROM THE SITE AT ALL TIMES. ALL MEANS NECESSARY SHALL BE USED BY THE BUILDER OR GENERAL CONTRACTOR TO CONTROL THE EXISTENCE OF DUST CAUSED BY ANY EARTHWORK, SPRAY APPLICATION OF MATERIALS, OR OTHER DUST-CAUSING PRACTICES REQUIRED BY THE CONSTRUCTION PROCESS.
- APPROVAL OF THESE PLANS ARE FOR PERMIT PURPOSES ONLY AND SHALL NOT PREVENT THE TOWN FROM REQUIRING CORRECTION OF ERRORS IN THE PLANS WHERE SUCH ERRORS ARE SUBSEQUENTLY FOUND TO BE IN VIOLATION OF ANY LAW, ORDINANCE, HEALTH, SAFETY, OR OTHER DESIGN ISSUES.
- ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTION DITCHES, PIPES PROTECTIVE BERMS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT PROPOSED AND EXISTING IMPROVEMENTS FROM RUNOFF OR DAMAGE FROM STORM WATER, MUST BE CONSTRUCTED PRIOR TO THE CONSTRUCTION OF ANY IMPROVEMENTS.

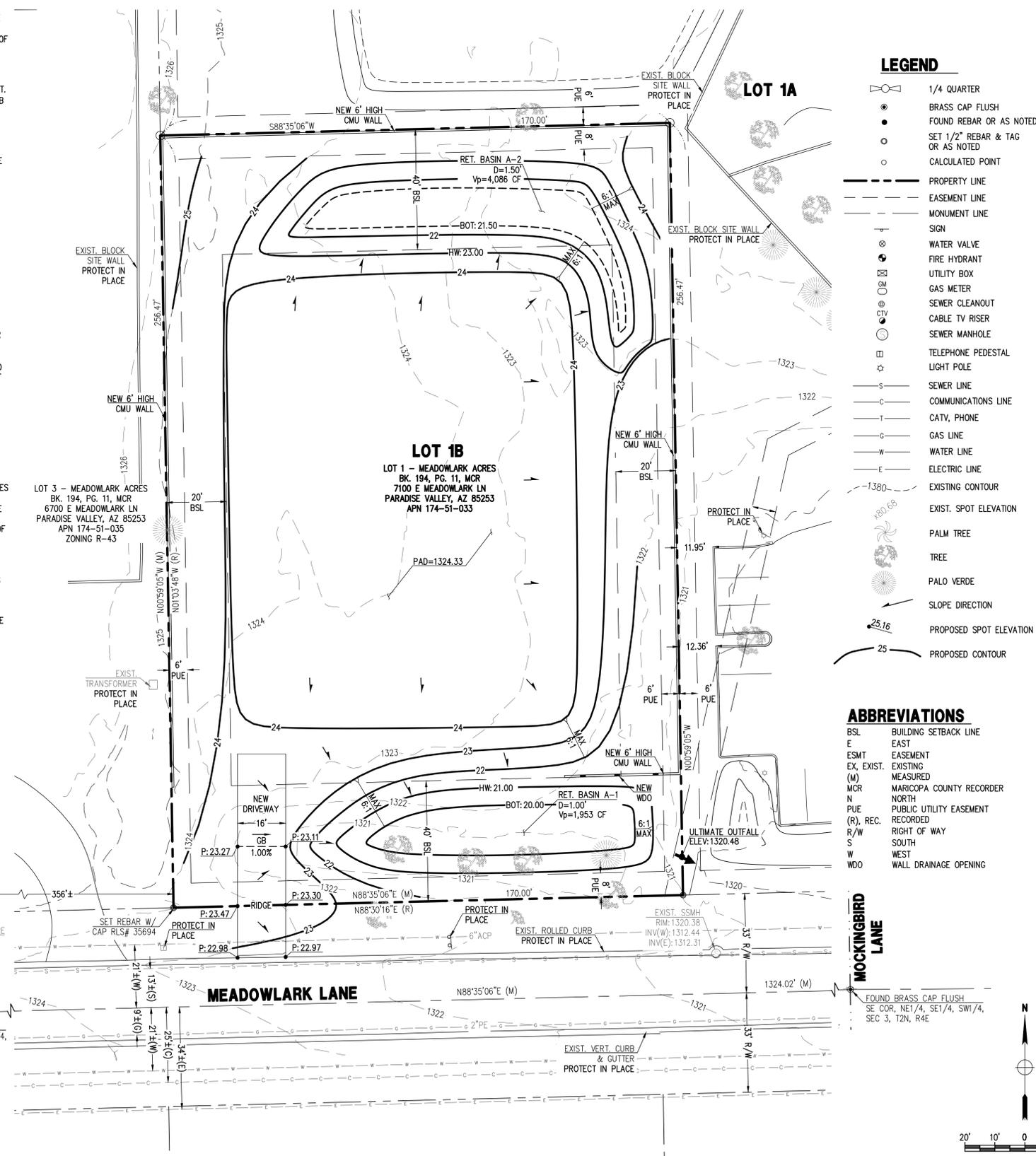
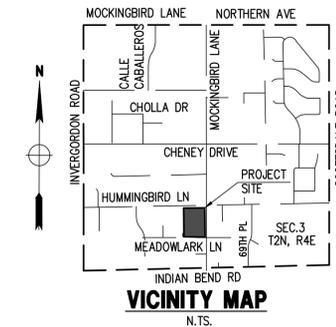
DRAINAGE STATEMENT

- ULTIMATE STORM OUTFALL IS LOCATED NEAR THE SOUTHEASTERLY PROPERTY CORNER AT AN ELEVATION OF 1320.48
- PROPOSED DEVELOPMENT DOES NOT IMPACT DRAINAGE CONDITIONS OF ADJOINING LOTS.
- RETENTION IS PROVIDED FOR THE 100-YEAR, 2-HOUR STORM EVENT.
- NO OFFSITE FLOWS IMPACT THE SITE.

ON-SITE RETENTION FOR THE 100-YEAR, 2-HOUR STORM EVENT									
V=DxAxCw/12									
D - RAINFALL DEPTH=2.20" (1) A - TRIBUTARY AREA, SF Cw - WEIGHTED RUNOFF COEFFICIENT									
DRAINAGE AREA	AREA S.F.	RUNOFF COEFFICIENT Cw	VOLUME REQUIRED C.F.	RETENTION BASIN ID	CONTOUR ELEVATION		DEPTH FT	VOLUME PROVIDED C.F.	
					HW	BOTTOM			
A	43,600	0.70	5,621	A1	HW	21.00	2,613	1.00	1,953
					BOTTOM	20.00	1,294		
A	43,600	0.70	5,621	A2	HW	23.00	4,157	1.50	4,086
					BOTTOM	21.50	1,291		
TOTAL			5,621				TOTAL	6,040	

(1) RAINFALL DEPTH IS PER NOAA ATLAS 14, VOLUME 1, VERSION 5.

PRELIMINARY GRADING & DRAINAGE PLAN
7100 N MOCKINGBIRD LN, PARADISE VALLEY, AZ 85253
LOT 1B - MEADOWLARK ACRES II
A LOT SPLIT OF LOT 1 MEADOWLARK ACRES
A SUBDIVISION PLAT RECORDED IN BOOK 194 OF MAPS, PAGE 11, MCR.,
LOCATED IN A PORTION OF THE NE 1/4 OF THE SE 1/4 OF THE SW 1/4 OF SECTION 3, T.2N, R.4E
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA



LEGEND

- 1/4 QUARTER
- BRASS CAP FLUSH
- FOUND REBAR OR AS NOTED
- SET 1/2" REBAR & TAG OR AS NOTED
- CALCULATED POINT
- PROPERTY LINE
- EASEMENT LINE
- MONUMENT LINE
- SIGN
- WATER VALVE
- FIRE HYDRANT
- UTILITY BOX
- GAS METER
- SEWER CLEANOUT
- CABLE TV RISER
- SEWER MANHOLE
- TELEPHONE PEDESTAL
- LIGHT POLE
- SEWER LINE
- COMMUNICATIONS LINE
- CATV, PHONE
- GAS LINE
- WATER LINE
- ELECTRIC LINE
- EXISTING CONTOUR
- EXIST. SPOT ELEVATION
- PALM TREE
- TREE
- PALO VERDE
- SLOPE DIRECTION
- PROPOSED SPOT ELEVATION
- PROPOSED CONTOUR

ABBREVIATIONS

- BSL BUILDING SETBACK LINE
- E EAST
- ESMT EASEMENT
- EX, EXIST. EXISTING
- (M) MEASURED
- MCR MARICOPA COUNTY RECORDER
- N NORTH
- PUE PUBLIC UTILITY EASEMENT
- (R), REC. RECORDED
- R/W RIGHT OF WAY
- S SOUTH
- W WEST
- WDO WALL DRAINAGE OPENING

OWNER

ASCENSION LUTHERAN CHURCH, INC.,
 PARADISE VALLEY, ARIZONA, AN ARIZONA
 NON-PROFIT CORPORATION
 7100 N MOCKINGBIRD LN.,
 PARADISE VALLEY, AZ 85253

PARENT SITE DATA

APN: 174-51-033
 ADDRESS: 7100 N MOCKINGBIRD LN.,
 PARADISE VALLEY, AZ 85253
 ZONING: SUP-P
 QS # 23-43
 PARENT LOT AREA: 275,697 S.F. (6.329 AC.)

AREAS

LOT 1B: 43,600 S.F. (1.001 AC.)

ZONING

LOT 1B: R-43

PARENT LEGAL DESCRIPTION

LOT 1, OF MEADOWLARK ACRES, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 194 OF MAPS, PAGE 11.

BASIS OF BEARINGS

THE EAST LINE OF THE SOUTHWEST QUARTER OF SECTION T2N, R3W, THE BEARING OF WHICH IS N01°00'43"E.

BENCHMARK

BRASS CAP FLUSH MOCKINGBIRD AVE AND INDIAN BEND ROAD HAVING AN ELEVATION OF 1316.44 NAVD 88 DATUM, GDACS# 24524-1.

LOT 1B - LEGAL DESCRIPTION

THAT PORTION OF LOT 1, OF "MEADOWLARK ACRES", ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 194 OF MAPS, PAGE 11, AND LYING IN THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:
 COMMENCING AT THE SOUTHEAST CORNER OF SAID LOT 1, SAID POINT BEING A REBAR WITH CAP RLS# 35694;
 THENCE SOUTH 88 DEGREES 35 MINUTES 06 SECONDS WEST, ALONG THE SOUTH LINE OF SAID LOT 1, A DISTANCE OF 286.98 FEET TO A REBAR WITH CAP RLS# 35694, SAID POINT BEING THE POINT OF BEGINNING;
 THENCE CONTINUING SOUTH 88 DEGREES 35 MINUTES 06 SECONDS WEST, ALONG SAID SOUTH LINE, A DISTANCE OF 170 FEET TO THE SOUTHWEST CORNER OF SAID LOT 1 BEING MARKED BY REBAR WITH CAP RLS# 35694;
 THENCE NORTH 00 DEGREES 59 MINUTES 05 SECONDS WEST, ALONG THE WEST LINE OF SAID LOT 1, A DISTANCE OF 256.47 FEET;
 THENCE NORTH 88 DEGREES 35 MINUTES 06 SECONDS EAST, A DISTANCE OF 170.00 FEET;
 THENCE SOUTH 00 DEGREES 59 MINUTES 05 SECONDS EAST, A DISTANCE OF 256.47 FEET TO THE POINT OF BEGINNING.

PROJECT DESCRIPTION

NEW LOT PLANNED AS A R-43 UNDER TOWN OF PARADISE VALLEY ZONING ORDINANCE

UTILITIES

WATER: CITY OF PHOENIX
 SANITARY SEWER: TOWN OF PARADISE VALLEY
 ELECTRIC: APS
 TELEPHONE: CENTURY LINK, COX COMMUNICATIONS
 NATURAL GAS: SOUTHWEST GAS CORPORATION
 CABLE TV: CENTURY LINK, COX COMMUNICATIONS

UTILITIES NOTES

HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THE PLAN ARE APPROXIMATE ONLY AND WILL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO START OF CONSTRUCTION WORK. CALL BLUE STAKE @ (602) 263-1100.

FLOOD INSURANCE RATE MAP (FIRM) DATA

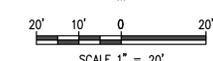
COMMUNITY #	PANEL #	SUFFIX	BASE FLOOD ELEVATION
040049	1770 OF 4425	L	N/A
MAP #	PANEL DATE	FIRM INDEX DATE	ZONE
04013C	10/16/2013	11/04/2015	X*

*AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

APPROVAL

THIS SET OF PLANS HAS BEEN REVIEWED FOR COMPLIANCE WITH TOWN OF PARADISE VALLEY REQUIREMENTS PRIOR TO ISSUANCE OF PERMIT. THE TOWN NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. THIS COMPLIANCE APPROVAL SHALL NOT PREVENT THE TOWN ENGINEER FROM REQUIRING CORRECTIONS OF ERRORS OR OMISSIONS IN THE PLANS TO BE FOUND IN VIOLATION OF LAWS OR ORDINANCES.

TOWN ENGINEER: TOWN OF PARADISE VALLEY
 DATE: _____



DATE: 07/30/21
 JOB: 202004
 VERSION: 2.1
 PLOT DATE: 07/30/21

SCALE: 1"=20'
 DESIGNED BY: NP
 DRAWN BY: DW
 CHECKED BY: NP

REVISIONS:

PRELIMINARY GRADING & DRAINAGE PLAN

MEADOWLARK ACRES II
7100 N MOCKINGBIRD LN.,
PARADISE VALLEY, AZ 85253

P. 602.889.1984 | F. 602.445.9482
 8808 N CENTRAL AVE., SUITE 288
 PHOENIX, AZ 85020
 PHOENIX@LANDDEVELOPMENT.COM

REGISTERED PROFESSIONAL ENGINEER
ARIZONA811
 PRELIMINARY GRADING & DRAINAGE PLAN
 7100 N MOCKINGBIRD LN., PARADISE VALLEY, AZ 85253
 U.S. National

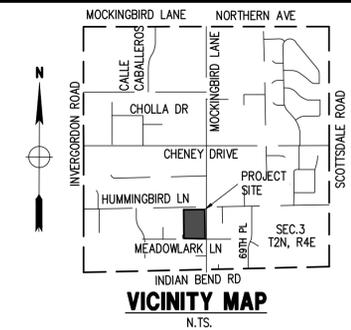
C-1
 1 OF 1



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- MAIL BOXES SHALL COMPLY WITH THE TOWN OF PARADISE VALLEY STANDARDS FOR MAIL BOXES IN THE RIGHT-OF-WAY FOR HEIGHT, WIDTH AND BREAK AWAY FEATURES.
- ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE.
- TRENCH BEDDING AND SHADING SHALL BE FREE OF ROCKS AND DEBRIS.
- THE TOWN ONLY APPROVES THE SCOPE OF WORK AND NOT THE ENGINEERING DESIGN. ANY CONSTRUCTION QUANTITIES SHOWN ARE NOT VERIFIED BY THE TOWN.
- THE APPROVAL OF THE PLANS IS VALID FOR 180 DAYS. IF A PERMIT FOR CONSTRUCTION HAS NOT BEEN ISSUED WITHIN 180 DAYS, THE PERMIT MUST BE RENEWED.
- A TOWN INSPECTOR WILL INSPECT ALL WORK WITHIN THE TOWN'S RIGHTS-OF-WAY. NOTIFY TOWN INSPECTION SERVICES TO SCHEDULE A PRECONSTRUCTION MEETING PRIOR TO STARTING CONSTRUCTION.
- WHENEVER EXCAVATION IS NECESSARY, CALL ARIZONA811 BY DIALING 811 OR 602-263-1100, TWO (2) WORKING DAYS BEFORE EXCAVATION BEGINS.
- EXCAVATIONS SHALL COMPLY WITH REQUIREMENTS OF OSHA EXCAVATION STANDARDS (29 CFR, PART 1926, SUBPART P). UNDER NO CIRCUMSTANCES WILL THE CONTRACTORS BE ALLOWED TO WORK IN A TRENCH LOCATED WITHIN THE TOWN'S RIGHT-OF-WAY WITHOUT PROPER SHORING OR EXCAVATION METHODS.
- PERMIT HOLDER SHALL POST A 6 SQUARE FOOT (2'x3') IDENTIFICATION SIGN, MADE OF DURABLE MATERIAL, IN THE FRONT YARD OF SUBJECT PROPERTY AND NOT IN THE TOWN'S RIGHT-OF-WAY. THE SIGN MAY NOT EXCEED A MAXIMUM OF 6 FEET IN HEIGHT FROM GRADE TO TOP OF THE SIGN. THE SIGN MUST INCLUDE THE PERMITTEE OR COMPANY NAME, PHONE NUMBER, TYPE OF WORK, ADDRESS OF PROJECT AND TOWN CONTACT NUMBER, 480-348-3556.
- WHEN DEEMED NECESSARY, A 6-FOOT HIGH CHAIN LINK FENCE MUST BE INSTALLED AROUND THE CONSTRUCTION AREA TO PREVENT ANY POTENTIAL SAFETY HAZARD FOR THE PUBLIC. THE FENCE SHALL BE SETBACK AT LEAST 10 FEET FROM ALL RIGHTS-OF-WAY AND HAVE A 50-FOOT STREET CORNER SITE TRIANGLE WHERE APPLICABLE.
- CLEAR ACCESS FOR NEIGHBORING PROPERTIES AND EMERGENCY VEHICLES MUST BE MAINTAINED AT ALL TIMES. CONSTRUCTION RELATED VEHICLES MUST BE LEGALLY PARKED ONLY ON ONE SIDE OF THE STREET OR JOB SITE PROPERTY.
- ALL CONSTRUCTION DEBRIS AND EQUIPMENT MUST BE CONTAINED ON SITE AT ALL TIMES. CONTRACTOR AND PROPERTY OWNER MUST MAINTAIN THE JOB SITE FREE OF LITTER AND UNSIGHTLY MATERIALS AT ALL TIMES. CONSTRUCTION MATERIALS ARE PROHIBITED IN THE TOWN'S RIGHT-OF-WAY.
- CONSTRUCTION ACTIVITIES ARE PERMITTED BETWEEN THE HOURS OF 7 AM AND 5 PM MONDAY THROUGH CONSTRUCTION ACTIVITIES MAY START ONE (1) HOUR EARLIER DURING THE SUMMER (MAY 1ST THROUGH SEPTEMBER 30TH).
- THE USE AND OPERATION OF FUEL-FIRED GENERATORS IS PROHIBITED UNLESS DUE TO A HARSHIP. TOWN APPROVAL SHALL BE REQUIRED.
- THE CONTRACTOR AND PROPERTY OWNER SHALL BE LIABLE FOR ANY DAMAGE DONE TO ANY PUBLIC PROPERTY AS A RESULT OF ANY CONSTRUCTION OR CONSTRUCTION RELATED ACTIVITIES. NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL AFFECTED RIGHTS-OF-WAY ARE CLEANED AND/OR REPAIRED TO THEIR ORIGINAL CONDITION AND UNTIL ANY AND ALL DAMAGES TO AFFECTED PROPERTIES ARE RESTORED TO ORIGINAL CONDITION.
- A KEYSWITCH SHALL BE REQUIRED ON ALL NEW AND EXISTING ELECTRIC ENTRY GATES. THE KEYSWITCH SHALL BE INSTALLED IN A LOCATION THAT IS READILY VISIBLE AND ACCESSIBLE. KNOX BOX ORDER FORMS ARE AVAILABLE AT THE TOWN'S BUILDING SAFETY DEPARTMENT.
- PROPERTY OWNER, BUILDER, OR GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR CONTROLLING DUST FROM THE SITE AT ALL TIMES. ALL MEANS NECESSARY SHALL BE USED BY THE BUILDER OR GENERAL CONTRACTOR TO CONTROL THE EXISTENCE OF DUST CAUSED BY ANY EARTHWORK, SPRAY APPLICATION OF MATERIALS, OR OTHER DUST-CAUSING PRACTICES REQUIRED BY THE CONSTRUCTION PROCESS.
- APPROVAL OF THESE PLANS ARE FOR PERMIT PURPOSES ONLY AND SHALL NOT PREVENT THE TOWN FROM REQUIRING CORRECTION OF ERRORS IN THE PLANS WHERE SUCH ERRORS ARE SUBSEQUENTLY FOUND TO BE IN VIOLATION OF ANY LAW, ORDINANCE, HEALTH, SAFETY, OR OTHER DESIGN ISSUES.
- ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTION DITCHES, PIPES PROTECTIVE BERMS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT PROPOSED AND EXISTING IMPROVEMENTS FROM RUNOFF OR DAMAGE FROM STORM WATER, MUST BE CONSTRUCTED PRIOR TO THE CONSTRUCTION OF ANY IMPROVEMENTS.

PRELIMINARY GRADING & DRAINAGE PLAN
7100 N MOCKINGBIRD LN, PARADISE VALLEY, AZ 85253
LOT 1A - MEADOWLARK ACRES II
A LOT SPLIT OF LOT 1 MEADOWLARK ACRES
A SUBDIVISION PLAT RECORDED IN BOOK 194 OF MAPS, PAGE 11, MCR.,
LOCATED IN A PORTION OF THE NE 1/4 OF THE SE 1/4 OF THE SW 1/4 OF SECTION 3, T.2N, R.4E
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA



OWNER
 ASCENSION LUTHERAN CHURCH, INC.,
 PARADISE VALLEY, ARIZONA, AN ARIZONA
 NON-PROFIT CORPORATION
 7100 N MOCKINGBIRD LN.,
 PARADISE VALLEY, AZ 85253

PARENT SITE DATA
 APN: 174-51-033
 ADDRESS: 7100 N MOCKINGBIRD LN.,
 PARADISE VALLEY, AZ 85253
 ZONING: SUP-P
 OS #: 23-43
 PARENT LOT AREA: 275,697 S.F. (6.329 AC.)

AREAS
 LOT 1A: 232,097 S.F. (5.328 AC.)

ZONING
 LOT 1A: SUP-P

PARENT LEGAL DESCRIPTION
 LOT 1, OF MEADOWLARK ACRES, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 194 OF MAPS, PAGE 11.

BENCHMARK
 BRASS CAP FLUSH MOCKINGBIRD AVE AND INDIAN BEND ROAD HAVING AN ELEVATION OF 1316.44 NAVD 88 DATUM, GDACS# 24524-1.

BASIS OF BEARINGS
 THE EAST LINE OF THE SOUTHWEST QUARTER OF SECTION 12N, R3W, THE BEARING OF WHICH IS N01°00'43"E.

LOT 1A - LEGAL DESCRIPTION
 THAT PORTION OF LOT 1, OF "MEADOWLARK ACRES", ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 194 OF MAPS, PAGE 11, AND LYING IN THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:
 BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 1, SAID POINT BEING REBAR WITH CAP RLS# 35694;

THENCE SOUTH 88 DEGREES 35 MINUTES 06 SECONDS WEST, ALONG THE SOUTH LINE OF SAID LOT 1, A DISTANCE OF 286.98 FEET TO REBAR WITH CAP RLS# 35694;
 THENCE NORTH 00 DEGREES 59 MINUTES 05 SECONDS WEST, A DISTANCE OF 256.47 FEET;
 THENCE SOUTH 88 DEGREES 35 MINUTES 06 SECONDS WEST, A DISTANCE OF 170.00 FEET TO A POINT ON THE WEST LINE OF SAID LOT 1;
 THENCE NORTH 00 DEGREES 59 MINUTES 05 SECONDS WEST, ALONG SAID WEST LINE, A DISTANCE OF 348.56 FEET TO THE NORTHWEST CORNER OF SAID LOT 1, BEING MARKED BY REBAR WITH CAP RLS# 16293, SOUTH 2.00 FEET OF CORNER.
 THENCE NORTH 88 DEGREES 58 MINUTES 11 SECONDS EAST, ALONG THE NORTH LINE OF SAID LOT 1, A DISTANCE OF 456.69 FEET TO THE NORTHEAST CORNER OF SAID LOT 1, BEING MARKED BY A REBAR WITH ATTACHED CAP RLS# 35694;
 THENCE SOUTH 01 DEGREES 00 MINUTES 43 SECONDS EAST, ALONG THE EAST LINE OF SAID LOT 1, A DISTANCE OF 601.96 FEET TO THE POINT OF BEGINNING.

PROJECT DESCRIPTION
 SITE IMPROVEMENTS OF NEW LOT WITH ONSITE RETENTION.

UTILITIES
 WATER: CITY OF PHOENIX
 SANITARY SEWER: TOWN OF PARADISE VALLEY
 ELECTRIC: APS
 TELEPHONE: CENTURY LINK, COX COMMUNICATIONS
 NATURAL GAS: SOUTHWEST GAS CORPORATION
 CABLE TV: CENTURY LINK, COX COMMUNICATIONS

UTILITIES NOTES
 HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THE PLAN ARE APPROXIMATE ONLY AND WILL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO START OF CONSTRUCTION WORK. CALL BLUE STAKE @ (602) 263-1100.

FLOOD INSURANCE RATE MAP (FIRM) DATA

COMMUNITY #	PANEL #	SUFFIX #	BASE FLOOD ELEVATION
040049	1770 OF 4425		N/A
MAP # 04013C	PANEL DATE 10/16/2013	FIRM INDEX DATE 11/04/2015	ZONE X*

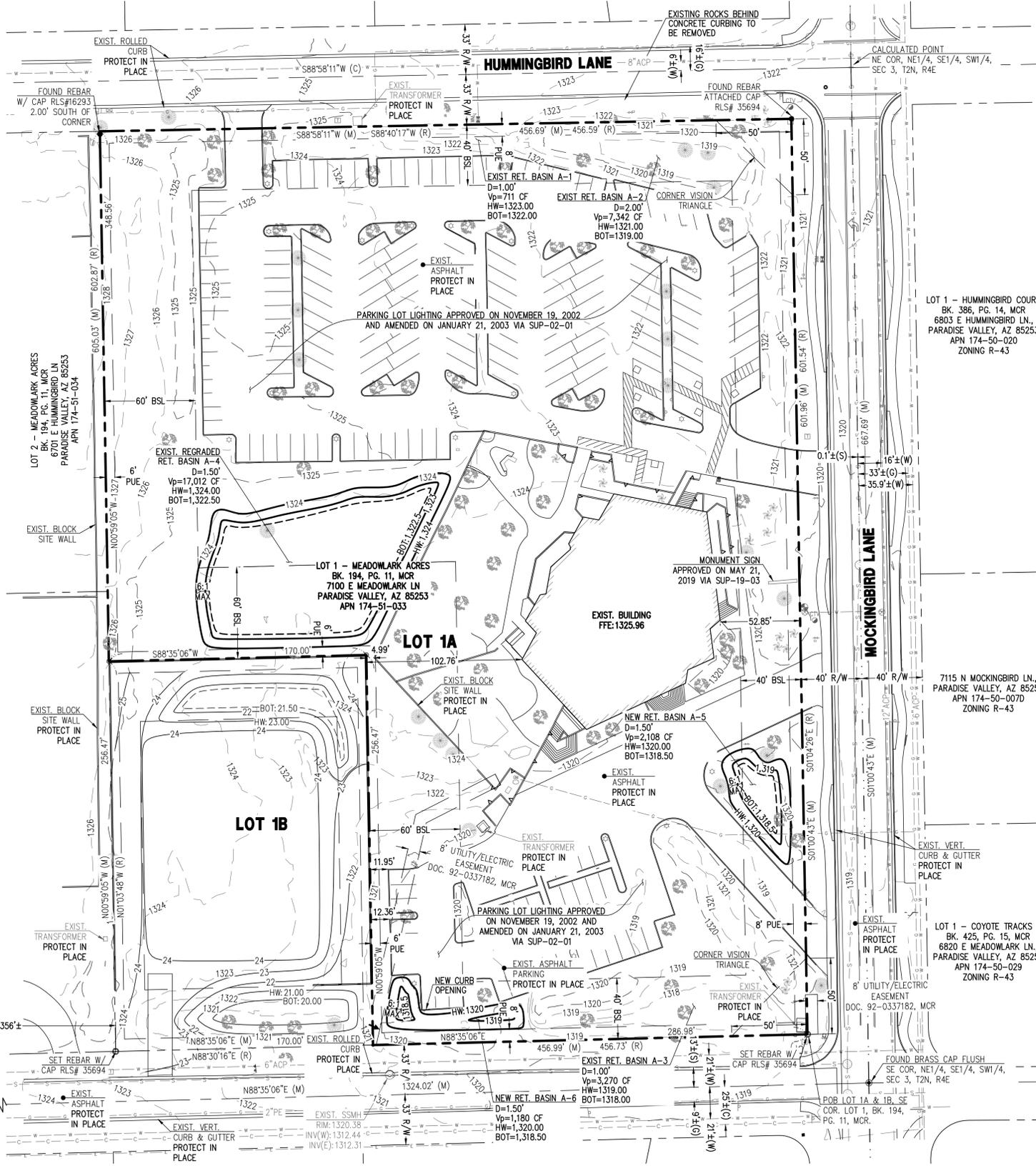
*AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

DRAINAGE STATEMENT

- ULTIMATE STORM OUTFALL IS LOCATED NEAR THE SOUTHEASTLY PROPERTY CORNER AT AN ELEVATION OF 1320.48
- PROPOSED DEVELOPMENT DOES NOT IMPACT DRAINAGE CONDITIONS OF ADJOINING LOTS.
- RETENTION IS PROVIDED FOR THE 100-YEAR, 2-HOUR STORM EVENT.
- NO OFFSITE FLOWS IMPACT THE SITE.

APPROVAL
 THIS SET OF PLANS HAS BEEN REVIEWED FOR COMPLIANCE WITH TOWN OF PARADISE VALLEY REQUIREMENTS PRIOR TO ISSUANCE OF PERMIT. THE TOWN NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. THIS COMPLIANCE APPROVAL SHALL NOT PREVENT THE TOWN ENGINEER FROM REQUIRING CORRECTIONS OF ERRORS OR OMISSIONS IN THE PLANS TO BE FOUND IN VIOLATION OF LAWS OR ORDINANCES.

TOWN ENGINEER: [Signature] DATE: [Blank]
 TOWN OF PARADISE VALLEY



ON-SITE RETENTION FOR THE 100-YEAR, 2-HOUR STORM EVENT
 $V = D \times A \times C_w / 12$

DRAINAGE AREA	AREA S.F.	RUNOFF COEFFICIENT C _w	VOLUME REQUIRED C.F.	RETENTION BASIN ID	CONTOUR ELEVATION	CONTOUR AREA S.F.	DEPTH FT	VOLUME PROVIDED C.F.
A	232,097	0.73	31,203	EXIST. BASIN A1	HW 1,323.00	1,094	1.00	711
				BOTTOM	1,322.00	329		
				EXIST. BASIN A2	HW 1,321.00	5,452	2.00	7,342
				BOTTOM	1,319.00	1,890		
				EXIST. BASIN A3	HW 1,319.00	4,610	1.00	3,270
				BOTTOM	1,318.00	1,931		
				EXIST. REGRADED BASIN A4	HW 1,324.00	13,416	1.50	17,012
				BOTTOM	1,322.50	9,267		
				NEW BASIN A5	HW 1,320.00	2,176	1.50	2,108
				BOTTOM	1,318.50	634		
				NEW BASIN A6	HW 1,320.00	1,544	1.50	1,180
				BOTTOM	1,318.50	30		
TOTAL			31,203				TOTAL 31,624	

WEIGHTED RUNOFF COEFFICIENT, C_w AREA A

SURFACE TYPE	RUNOFF COEFFICIENT C	AREA SF	C*AREA
PAVEMENT & ROOFTOPS	0.95	116,177	110,368
DESERT LANDSCAPING	0.50	115,920	57,960
TOTAL		232,097	168,328
$C_w = C * AREA / TOTAL AREA$			0.73

DATE: 07/30/21
 JOB: 202004
 VERSION: 2.1
 PLOT DATE: 07/30/21

SCALE: 1"=40'
 DESIGNED BY: NP
 DRAWN BY: DW
 CHECKED BY: NP

REVISIONS:

PRELIMINARY GRADING & DRAINAGE PLAN

MEADOWLARK ACRES II
7100 N MOCKINGBIRD LN.,
PARADISE VALLEY, AZ 85253

P 602 889 1984 | F 602 445 9482
 8808 N CENTRAL AVE., SUITE 288
 PHOENIX, AZ 85020
 PHOENIX@LANDDEV.COM

PHOENIX PROFESSIONAL ENGINEERING & SURVEYING
 PRELIMINARY PLAN
 NOT FOR CONSTRUCTION

Arizona Professional Engineer
 License No. 12345

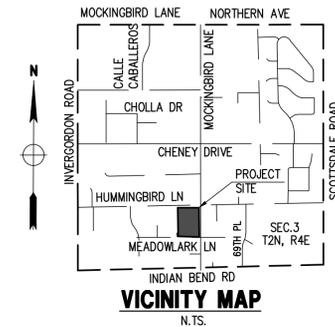
CONTACT ARIZONA 811 AT LEAST TWO WORKING DAYS BEFORE YOU BEGIN EXCAVATION

ARIZONA811.COM
 Call 811 or click Arizona811.com

C-1
 1 OF 1

SPECIAL USE PERMIT MINOR AMENDMENT SITE PLAN

**LOCATED IN A PORTION OF THE NE 1/4 OF THE SE 1/4 OF THE SW 1/4 OF
SECTION 3, T.2N, R.4E
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA**



LOT 1A - LEGAL DESCRIPTION

THAT PORTION OF LOT 1, OF "MEADOWLARK ACRES", ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 194 OF MAPS, PAGE 11, AND LYING IN THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:
BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 1, SAID POINT BEING REBAR WITH CAP RLS# 35694;
THENCE SOUTH 88 DEGREES 35 MINUTES 06 SECONDS WEST, ALONG THE SOUTH LINE OF SAID LOT 1, A DISTANCE OF 286.98 FEET TO REBAR WITH CAP RLS# 35694;
THENCE NORTH 00 DEGREES 59 MINUTES 05 SECONDS WEST, A DISTANCE OF 256.47 FEET;
THENCE SOUTH 88 DEGREES 35 MINUTES 06 SECONDS WEST, A DISTANCE OF 170.00 FEET TO A POINT ON THE WEST LINE OF SAID LOT 1;
THENCE NORTH 00 DEGREES 59 MINUTES 05 SECONDS WEST, ALONG SAID WEST LINE, A DISTANCE OF 348.56 FEET TO THE NORTHWEST CORNER OF SAID LOT 1, BEING MARKED BY REBAR WITH CAP RLS# 16293, SOUTH 2.00 FEET OF CORNER.
THENCE NORTH 88 DEGREES 58 MINUTES 11 SECONDS EAST, ALONG THE NORTH LINE OF SAID LOT 1, A DISTANCE OF 456.69 FEET TO THE NORTHEAST CORNER OF SAID LOT 1, BEING MARKED BY A REBAR WITH ATTACHED CAP RLS# 35694;
THENCE SOUTH 01 DEGREES 00 MINUTES 43 SECONDS EAST, ALONG THE EAST LINE OF SAID LOT 1, A DISTANCE OF 601.96 FEET TO THE POINT OF BEGINNING.

LEGEND

- 1/4 QUARTER
- BRASS CAP FLUSH
- FOUND REBAR AS NOTED
- SET 1/2" REBAR & TAG OR AS NOTED
- CALCULATED POINT
- PROPERTY LINE
- ADJACENT PROPERTY LINE
- EASEMENT LINE
- MONUMENT LINE

ABBREVIATIONS

- BSL BUILDING SETBACK LINE
- C CENTERLINE
- D/W DRIVEWAY
- E EAST
- ESMT EASEMENT
- EX, EXIST. EXISTING
- (M) MEASURED
- MCR MARICOPA COUNTY RECORDER
- N NORTH
- PUE PUBLIC UTILITY EASEMENT
- (R), REC. RECORDED
- R RADIUS
- R/W RIGHT OF WAY
- S SOUTH
- T TANGENT
- W WEST

OWNER

ASCENSION LUTHERAN CHURCH, INC., PARADISE VALLEY, ARIZONA, AN ARIZONA NON-PROFIT CORPORATION
7100 N MOCKINGBIRD LN., PARADISE VALLEY, AZ 85253

AREAS

LOT 1A: 232,097 S.F. (5.328 AC.)
FLOOR AREA RATIO: 15,823±/232,097 = 6.82%

ZONING

LOT 1A: SUP-P

SITE DATA

APN: 174-51-033
ADDRESS: 7100 N MOCKINGBIRD LN., PARADISE VALLEY, AZ 85253
ZONING: SUP-P
OS # 23-43
LOT AREA: 232,097 SF (5.328 AC.)
TOTAL FLOOR AREA: 15,823± SF
FLOOR AREA RATIO: 6.82%
MAX BUILDING HEIGHT: 57 FT
MAX SPIRE HEIGHT: 100 FT
TOTAL FOOTPRINT AREA: 11,691 SF
LOT COVERAGE: 5.04%
ALLOWED PARKING: 266 SPACES
TOTAL NUMBER OF SEATS IN THE SANCTUARY: 800 SEATS
EXISTING PARKING: 158 SPACES (NORTH)
EXISTING PARKING: 42 SPACES (SOUTH)
EXISTING PARKING ACCESSIBLE: 7 SPACES
TOTAL PARKING PROVIDED: 207 SPACES

BASIS OF BEARINGS

THE EAST LINE OF THE SOUTHWEST QUARTER OF SECTION T2N, R3W, THE BEARING OF WHICH IS N01°00'43"E.

BENCHMARK

BRASS CAP FLUSH MOCKINGBIRD AVE AND INDIAN BEND ROAD HAVING AN ELEVATION OF 1316.44 NAVD 88 DATUM, GDACS# 24524-1.

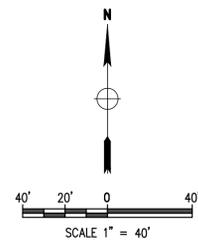
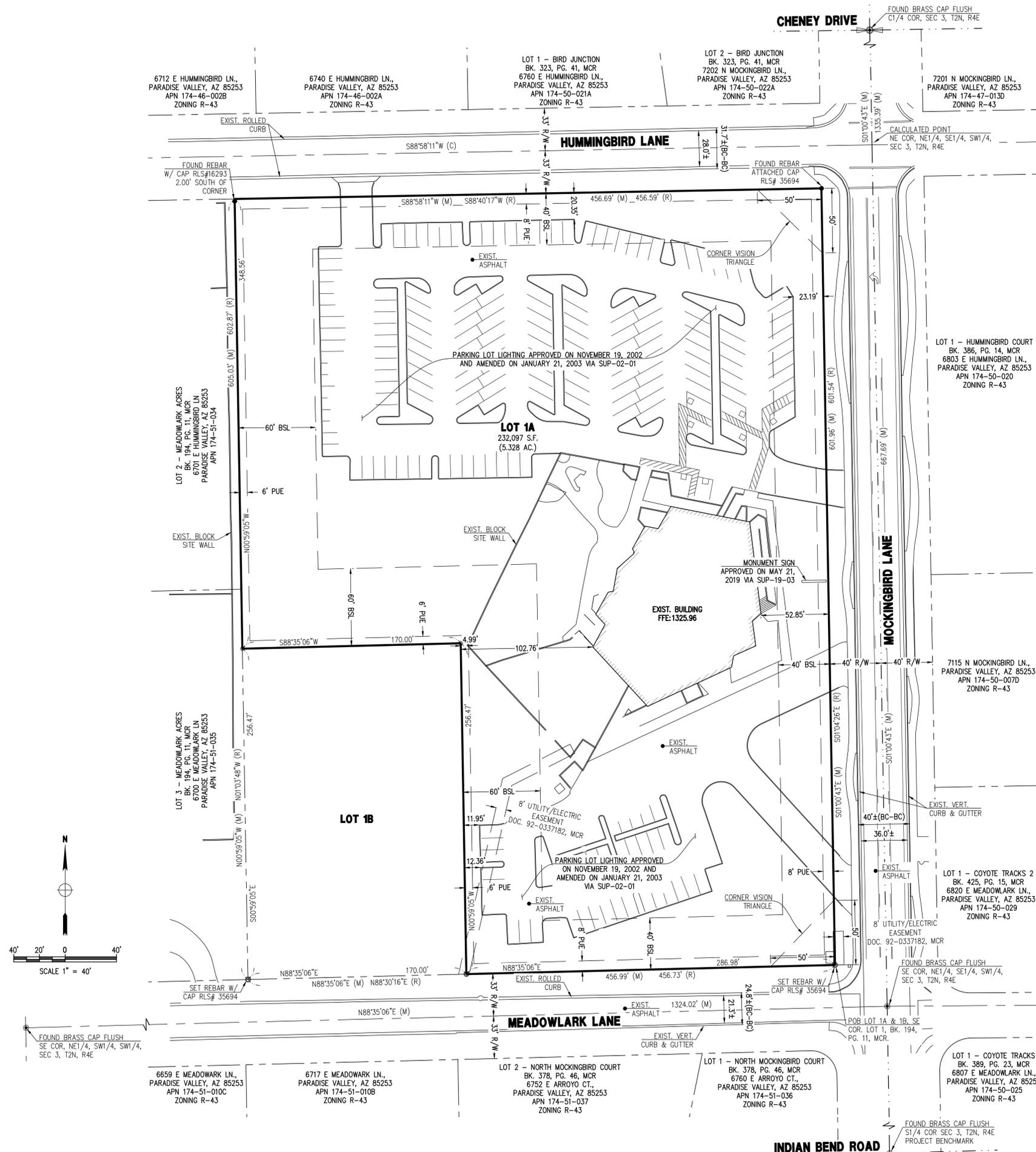
UTILITIES

WATER: CITY OF PHOENIX
SANITARY SEWER: TOWN OF PARADISE VALLEY
ELECTRIC: APS
TELEPHONE: CENTURY LINK, COX COMMUNICATIONS
NATURAL GAS: SOUTHWEST GAS CORPORATION
CABLE TV: CENTURY LINK, COX COMMUNICATIONS

FLOOD INSURANCE RATE MAP (FIRM) DATA

COMMUNITY #	PANEL #	SUFFIX L	BASE FLOOD ELEVATION
040049	1770 OF 4425		N/A
MAP #	PANEL DATE	FIRM INDEX DATE	ZONE X*
04013C	10/16/2013	11/04/2015	X*

*AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.



**SPECIAL USE PERMIT
MINOR AMENDMENT
SITE PLAN**

**MEADOWLARK ACRES II
7100 N MOCKINGBIRD LN.,
PARADISE VALLEY, AZ 85253**

DATE: 01/30/21
JOB: 202004
VERSION: 2.1
PLOT DATE: 01/30/21

SCALE: 1"=40'
DESIGNED BY: NP
DRAWN BY: DW
CHECKED BY: NP

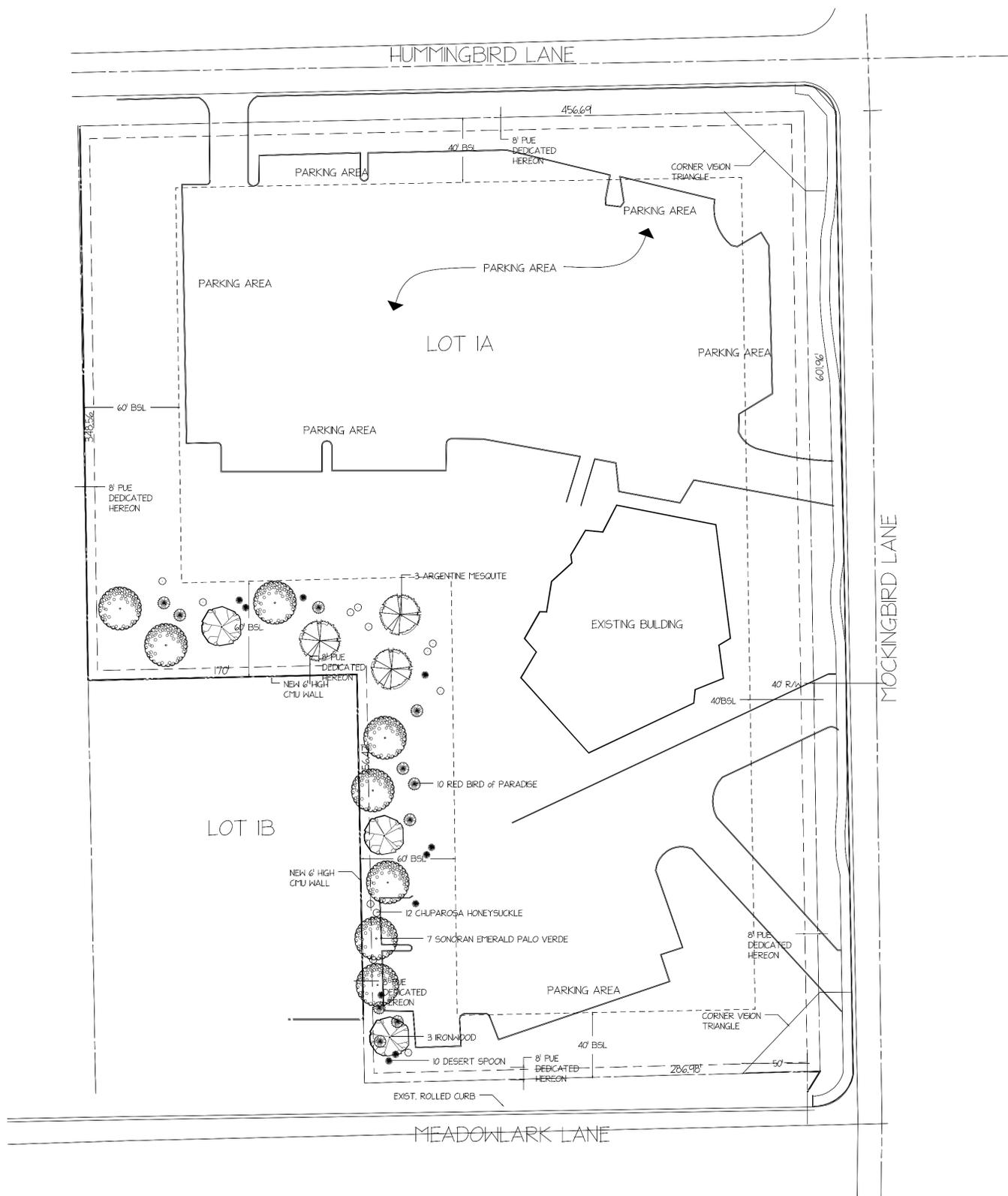
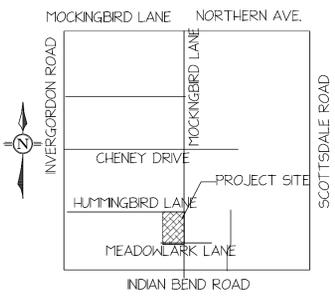
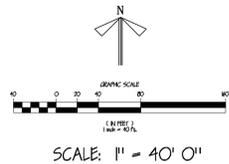
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P. 602.889.1984 | F. 602.445.9482
8808 N CENTRAL AVE., SUITE 288
PHOENIX, AZ 85020
PHOENIXLANDGEN.COM

**land
DEVELOPMENT GROUP**

REGISTERED PROFESSIONAL ENGINEER
CERTIFICATE NO. 41005
NICKOLA J. PRODANOV
Exp. 07/31/25
Arizona State Board of Engineers and Architects

1 OF 1



PROJECT NOTES:
 TREE & SHRUB QUANTITIES MEET MINIMUMS AS NOTED IN THE TOWN OF PARADISE GUIDELINES - INCLUDING 20 IRONWOOD TREES AND LOW WATER USE SHRUBS.
 TREES PLANTED AT MINIMUM 30' ON CENTER PLACEMENT AS PER GUIDELINES
 PLANTS SHALL BE BACKFILLED and STAKED IN ACCORDANCE WITH CURRENT INDUSTRY STANDARDS.
 ALL TREES and SHRUBS TO BE IRRIGATED USING FULLY AUTOMATIC UNDERGROUND DRIP IRRIGATION SYSTEM
 ROCK GROUND COVER AS SPECIFIED IN LANDSCAPE GUIDELINES TO BE DESERT COLORED, 3/4" MINIMUM AT 2" DEPTH

Qty	Botanical Name	Common Name	Size/Condition
Trees			
7	<i>Cercidium hybrid</i>	SONORAN EMERALD PALO VERDE	24" box
3	<i>Olneya tesota</i>	IRONWOOD	24" box
3	<i>Prosopis alba</i>	ARGENTINE MESQUITE	24" box
Shrubs			
10	<i>Caesalpinia pulcherrima</i>	RED BIRD OF PARADISE	5 gallon
12	<i>Justicia californica</i>	CHUPAROSA HONEYSUCKLE	5 gallon
Succulents			
10	<i>Diosyriion wheeleri</i>	DESERT SPOON	5 gallon

NOTES

MEADOWLARK ACRES II
 ASCENSION LUTHERAN CHURCH
 7100 N MOCKINGBIRD LANE
 PARADISE VALLEY, ARIZONA 85253

LANDSCAPE PLAN
 PARKING AREA and NEW WALL ADDITION

No.	Date	Description	By

SCALE: 1" = 40' 0"
 DRAWN BY:
 CHECKED BY:
 DATE: 02.06.2021
 DATE OF PRINT:

PROJECT NO:
 ALCO22021-4
 SHEET NO:
 LJ
 PLANTING PLAN

couple trees missing
ground cover missing

NOTES:

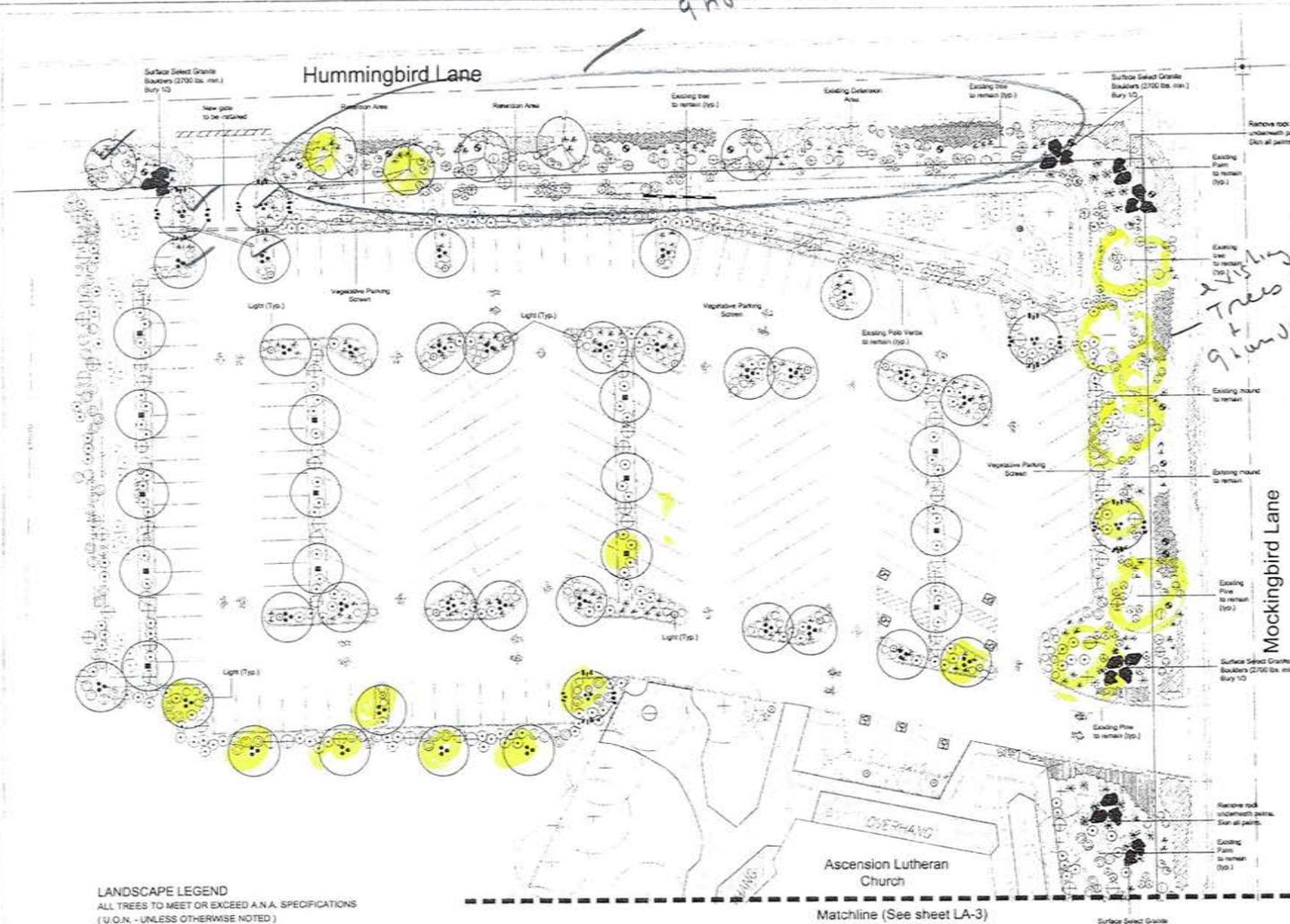
1. Leave all existing river rock in place.
2. Remove all existing shrubs.
3. Trim and prune existing trees.
4. All of the mounds to be 36" high, including plantings.

LANDSCAPE LEGEND (CONT.)
ALL TREES TO MEET OR EXCEED A.N.A. SPECIFICATIONS
(U.O.N. - UNLESS OTHERWISE NOTED)

SHRUBS	SIZE
Mexican Bird of Paradise <i>Caesalpinia mexicana</i>	5 Gallon
Green Cassia <i>Cassia nemophila</i>	5 Gallon
Valentine's Bush <i>Eremophylla 'valentine'</i>	5 Gallon
Green Cloud Sage <i>Leucophyllum frutescens</i>	5 Gallon
Fairy Duster <i>Calliandra eriophylla</i>	5 Gallon
Red Yucca <i>Hesperaloe parviflora</i>	5 Gallon
Brittlebush <i>Eriolla farnosa</i>	5 Gallon
Desert Globemallow <i>Sphaeralcea ambigua</i>	5 Gallon
Golden Eye <i>Viguiera multiflora</i>	1 Gallon
Desert Mangold <i>Baileya multiradiata</i>	1 Gallon

GROUNDCOVERS/ACCENTS	SIZE
Desert Spoon <i>Dasyliion wheeleri</i>	5 Gallon
Agave sp. <i>Agave murphyi</i>	5 Gallon
Peruvian Verbena <i>Verbena peruviana</i>	1 Gallon 3" o.c.
Mexican Evening Primrose <i>Oenothera benardii</i>	1 Gallon 3" o.c.
Gold Mound Lantana <i>Lantana montevidensis 'Gold Mound'</i>	1 Gallon 3" o.c.
Sierra Gold Delia <i>Dalca capitata</i>	1 Gallon
Dwarf Trailing Acacia <i>Acacia redolens 'Desert Carpet'</i>	1 Gallon
Fishhook Barrel <i>Ferocactus wislizeni</i>	3" min.
Decomposed Granite 3/4" Minus "Madison Gold" 2" minimum thickness in all landscape areas. (Match existing)	
Surface Select Granite Boulders (2700 lbs. min.) Bury 1/2"	3'x3'x3" 2700 lbs. min.

2 existing trees missing
9 plants



LANDSCAPE LEGEND
ALL TREES TO MEET OR EXCEED A.N.A. SPECIFICATIONS
(U.O.N. - UNLESS OTHERWISE NOTED)

TREES	SIZE	QTY.
Desert Museum <i>Cercidium hybrid</i>	24" Box u.o.n.	14
Thornless Honey Mesquite <i>Prosopis grandulosa grandulosa</i>	36" Box u.o.n.	33
Ironwood <i>Oleaya tesota</i>	36" Box u.o.n.	10

TREES	SIZE	QTY.
Sweet Acacia <i>Acacia farnesina</i>	36" Box u.o.n.	5
Existing Palm to remain		
Existing Tree to remain		



Ascension Lutheran Church
Parking Lot Extension
7100 N. Mockingbird Lane, Paradise Valley, Arizona
Landscape Plan

DATE: 05.28.02
SCALE: 1" = 20'
DRAWN BY: SL
CHECKED BY: HAL
REVISIONS: 05.28.02

LA-2
2
6



11-19-02

Matchline (See sheet LA-2)

Ascension Lutheran Church



LANDSCAPE LEGEND

ALL TREES TO MEET OR EXCEED A.N.A. SPECIFICATIONS
(U.O.N. - UNLESS OTHERWISE NOTED)

TREES	SIZE	QTY.
Desert Museum <i>Cercidium hybrid</i>	24" Box u.o.n.	34
Thornless Honey Mesquite <i>Prosopis grandulosa grandulosa</i>	36" Box u.o.n.	33
Ironwood <i>Olneya tesota</i>	36" Box u.o.n.	10
Sweet Acacia <i>Acacia farnesina</i>	36" Box u.o.n.	5
Existing Palm to remain		
Existing Tree to remain		

SHRUBS	SIZE
Mexican Bird of Paradise <i>Caesalpinia mexicana</i>	5 Gallon
Green Cassia <i>Cassia nemophila</i>	5 Gallon
Valentine's Bush <i>Eriophylla "valentine"</i>	5 Gallon
Green Cloud Sage <i>Leucophyllum frutescens</i>	5 Gallon
Fairy Duster <i>Calliandra eriophylla</i>	5 Gallon
Red Yucca <i>Hesperaloe parviflora</i>	5 Gallon
Bottlebrush <i>Eriocaulis tinosa</i>	5 Gallon
Desert Globe-mallow <i>Sphaeralcea ambigua</i>	5 Gallon
Golden Eye <i>Viguiera multiflora</i>	1 Gallon
Desert Mangold <i>Baleya multiradiata</i>	1 Gallon

GROUNDCOVERS/ACCENTS	SIZE
Desert Spoon <i>Dasyliodon wheeleri</i>	5 Gallon
Agave sp. <i>Agave murphyi</i>	5 Gallon
Peruvian Verbena <i>Verbena peruviana</i>	1 Gallon 3' o.c.
Mexican Evening Primrose <i>Oenothera bertandieri</i>	1 Gallon 3' o.c.
Gold Mound Lantana <i>Lantana monivideris "Gold Mound"</i>	1 Gallon 3' o.c.
Sierra Gold Dalea <i>Dalea californica</i>	1 Gallon
Dwarf Trailing Acacia <i>Acacia nebolens "Desert Carpet"</i>	1 Gallon
Fishhook Barrel <i>Ferocactus wislizeni</i>	3' min.
Decomposed Granite 3/4" Minus "Madison Gold", 2" minimum thickness in all landscape areas. (Match existing)	
Surface Select Granite Boulders in all landscape areas.	3'x3' 2700 lbs. min.



LASKIN & ASSOCIATES, INC.
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Ascension Lutheran Church
Parking Lot Extension
7100 N. Mockingbird Lane, Paradise Valley, Arizona
Landscape Plan

DATE: SL
ISSUE: HAL
SHEET SCALE: 1"=20'
DATE: 05.28.02
DESIGNER: [Signature]
DATE: 07.22.02

LA-3
3
6



11-19-02



Town of Paradise Valley

6401 E Lincoln Dr
Paradise Valley, AZ 85253

Action Report

File #: 21-062

Approval of the February 2, 2021 Planning Commission Minutes



Town of Paradise Valley

6401 E Lincoln Dr
Paradise Valley, AZ 85253

Minutes - Draft

Planning Commission

Chair Jonathan Wainwright
Commissioner Thomas G. Campbell
Commissioner Charles Covington
Commissioner Pamela Georgelos
Commissioner Orme Lewis
Commissioner James Rose
Commissioner Daran Wastchak

Tuesday, February 2, 2021

6:00 PM

Council Chambers

**N-PERSON ATTENDANCE AT PUBLIC MEETINGS HAS BEEN SUSPENDED UNTIL FURTHER NOTICE. WATCH LIVE STREAMED MEETINGS AT:
<https://paradisevalleyaz.legistar.com/Calendar.aspx>**

1. CALL TO ORDER

Chairman Wainwright called the meeting to order at 6:05 p.m.

STAFF MEMBERS PRESENT

Interim Town Attorney Deborah Robberson
Community Development Director Lisa Collins
Senior Planner George Burton
Town Engineer Paul Mood
Planning Manager Paul Michaud

2. ROLL CALL

Present 7 - Commissioner Jonathan Wainwright
Commissioner Charles Covington
Commissioner Pamela Georgelos
Commissioner Daran Wastchak
Commissioner Orme Lewis
Commissioner Thomas G. Campbell
Commissioner James Rose

3. EXECUTIVE SESSION

A. [21-015](#) Legal Advice Regarding Small Wireless Facilities Process

A motion was made by Commissioner Lewis at 8:40 p.m., seconded by Commissioner Georgelos, to move into executive session. The motion carried by the following vote:

Aye: 7 - Commissioner Wainwright, Commissioner Covington, Commissioner Georgelos, Commissioner Wastchak, Commissioner Lewis, Commissioner Campbell and Commissioner Rose

A motion was made by Commissioner Campbell at 9:10 p.m., seconded by Commissioner Georgelos, to move out of executive session. The motion carried by the following vote:

Aye: 7 - Commissioner Wainwright, Commissioner Covington, Commissioner Georgelos, Commissioner Wastchak, Commissioner Lewis, Commissioner Campbell and Commissioner Rose

4. STUDY SESSION ITEMS

A. [21-044](#) Discussion of Building Pad Heights for Non-Hillside Lots

Lisa Collins, Community Development Director, introduced the item and provided a history on it. She reviewed the lists of main ideas from feedback received from residents and architects/engineers/builders. She shared a map that identified hillside parcels, parcels with 50% or more of the area being a 5% -10% slope, parcels with less than 50% of the area being a 5%-10% slope, and parcels with less than a 5% slope. She provided an overview of the current Town Code that guides the building pad and finished floor elevations. She noted that the code did not speak to the amount of fill used in landscaped areas if drainage was not affected.

Ms. Collins shared proposed clarifications to the code to help interpretations follow the intent of the code and preserve the natural desert landscape. Some clarifications included maintain maximum two-feet of fill or putting a limit on finished floor heights, clarify that materials such as slurry, thickened concrete slab, etc. cannot be used to fill area between two-feet maximum building pad height and finished floor, maintaining the requirement for building one foot above the 100 year flood elevation and clarifying that height must step down accordingly across the site to follow the natural topography.

Ms. Collins presented the potential code amendments which included adding a maximum finished floor height requirement above natural grade, adding a maximum fill above natural grade of outdoor living areas, patios, yards, driveways, auto courts, etc., and adding a maximum fill above natural grade of landscaped areas.

Ms. Collins reviewed the next steps of the process and outlined upcoming meetings where the item would be discussed, including the February 16, 2021 Planning Commission meeting.

Commissioner Campbell asked if the limited two feet of exposed fill or fill outside the building pad was vertical or horizontal.

Ms. Collins replied that it was vertical. She clarified it would require the pad to step down for outdoor areas.

Commissioner Campbell commented that he was not sure it made sense to

require the finished floor elevation certification before framing inspection. He suggested it be required before the slab was poured to avoid issues if it was wrong.

Commissioner Wastchak stated he agreed. He clarified that he did not think the Town should allow for framing until the slab has been certified. He asked staff if there were any negative consequences to requiring the certification earlier.

Commissioner Georgelos asked if the Town inspects the form instead and if that would help with timing.

Commissioner Wastchak noted that the form is not final where a slab is permanent.

Ms. Collins remarked that this would require more staff time, but she believed that it could be realistic. She indicated she would like to take it to the development community to be sure there would not be an issue with certifying after the slab was put in but before the framing.

Commissioner Rose commented that he understood there were homes that were built on pads raised almost eight feet and blocked some of the neighbor's views. He asked if there was something in the code about raising the pad height.

Ms. Collins responded that she did not know about the specific example, but indicated that the overall building height should never be greater than 24 feet from the lowest grade which could allow some extensive pad heights. She noted that this was part of the reason for the discussion this evening. She explained that some of the clarifications proposed would address this issue.

Commissioner Georgelos remarked that this was a two-point issue; one regarding the pad height and the other regarding the height of all the areas around it including landscaping.

Chairman Wainwright stated that he felt it was important the Town no longer allows all the extra amount of fill in the landscaping. He clarified that he would like the exposed fill limited to no more than two feet, whether it was in landscaping or under the house for parcels under a 10% slope. He noted that if more than that amount of fill was needed that a retaining wall should be used.

Ms. Collins pointed out that the Town would still need to allow for the one foot above the 100-year flood plain.

Commissioner Wastchak expressed that he did not think there will be a lot of push back for limiting the exposed fill to two feet since it was included as a recommendation in the feedback from the developers.

Ms. Collins clarified that what she understood the Commission wanted was to limit the exposed fill to no more than two feet, putting a limit on retaining walls, and no excessive exposed fill.

Commissioner Covington asked if staff could craft language regarding what Ms. Collins said to work off at their next meeting.

Commissioner Campbell inquired if staff could expand on the cross-section examples.

Commissioner Georgelos asked if slurry backfill would be done away with the proposed changes.

Chairman Wainwright replied that he believed it may still be needed to help build on properties that are not flat.

Commissioner Campbell pointed out that if they banned slurry back fill that people could use thickened concrete or other options to accomplish the same thing.

Chairman Wainwright noted that ultimately the height of the building would be limited from the natural grade, but noted that consumers do not want steps in houses.

Commissioner Wastchak pointed out if not more than two feet of exposed fill is allowable than the slurry issue would not exist. He noted that he would still like to hear back from the building community what unintended consequences might be from limiting the amount of exposed fill.

Commissioner Georgelos remarked only prohibiting slurry or thickened concrete that stem walls and floating floors could still be used to lift the floor up to be on one level. She stated the Commission should be discussing what can happen on these non-flat land lots.

Commissioner Campbell indicated limiting the finish floor height because it would encourage people to keep their functional outdoor living space lower as well. He noted that garages would be at almost the same height of the finish floor resulting in vehicle lights shining into neighbors' windows if the pad is too high.

Ms. Collins stated staff could look at addressing that issue regarding the outdoor space. She noted that a maximum finish floor could also be considered.

Chairman Wainwright asked if the Commission would like to lower the limit of landscape retaining walls from six feet tall.

Commissioner Rose remarked that he is supportive of that modification.

Commissioner Covington agreed.

Commissioner Georgelos stated the reduction of stem wall heights needs addressing since that directly affects the height of the area around the home.

Chairman Wainwright noted a reduction in the amount of exposed fill and the height of the retaining wall will bring down the height of yard areas.

Commissioner Campbell stated the lower the ground floor the better for both the front and back yard.

Commissioner Georgelos noted there was a large range of lot types in the Town and she did not believe that it made sense to take a graded lot and turn it into a flat lot. She added that builders should be mindful of that if they want a home with no stairs.

Chairman Wainwright suggested creating a new zoning district and having the Hillside Building Committee review single-family homes on lots between a 5% and 10% slope. He noted that this would not put additional regulations on those properties, but would offer another look and additional feedback.

Commissioner Campbell responded that if the Town created this additional zone, the zone should have code that addresses what is wanted in that area.

Commissioner Georgelos agreed.

Discussion was made regarding landscaping.

Chairman Wainwright noted that the Commission may want to put landscaping on their next meeting agenda to discuss it further since their current topic was pad height.

Commissioner Campbell noted that if there was an intermediate zone, it could include elements from hillside such as the amount of disturbed area or following the natural grade. He inquired if the Hillside Building Committee would be able to take on the extra work if they were to review new builds in this intermediate zone.

Chairman Wainwright asked if the Commission was interested in the additional review and possible noticing for lots that were in the transitional area.

Commissioner Georgelos stated she thought the noticing would be a good idea so the community could be involved in the process rather than just reacting to something that has been done. She added that noticing may be helpful in other areas during the construction process.

[Verbatim comments by Rod Cullum, resident and homebuilder] (1:58:00 -2:10:12)

Uh, thank you.

Um, uh, having dealt with, uh, building in PV for many years I feel the. What I would dub the foothills, uh, homes instead of hillside homes needs to be addressed and its been long coming. I think the thing that needs to be thought about is a 2% sloping lot is typically next to another 2% sloping lot. And, uh, there is very few knolls that people are building on, um. And, so, what is really happening in out market, and we see people coming into our shop for architectural work that are really wanting to get the view. It's all about getting the

view. And so, we are seeing people starting to drive the garage under the house.

So, I really think you need to deal, if you are going to allow more than two feet of fill, you need to deal with non-habitable and habitable areas. Because if someone comes in and puts a nine-foot-tall garage with two-foot floor system. You can build a 12, 14-foot roof on top. You can stay under the 24 feet on a flat land lot. What's really interesting is the view corridor when we went from 30 foot lots to 24-foot lots, it was really about a house that was built over, just off of Tatum, and they did exactly that. They just went under with all these garages and platformed the house way up in the air. And we are seeing that trend really happening within, uh, the coming market. So, it's something we need to address as a town to have better architecture long term.

I would encourage you to go by 6767 North 63rd Place. It's a home we built about a year ago that we, that we finished about a year ago, we started it maybe three or four years ago and that design process, we actually begged the town to let us opt into the hillside rules, but that was not allowed so we had to build using the flat land rules. And we met all those requirements. And there is some, there is a lot of issues with that you need to cover in this quest that you are on, which I think is an excellent one.

I do think the current rules really address well a lot that is in the 0 to maybe 2 ½ or 3% slope and I, the reason I say that, if you think about a typical building envelope. Many of our lots are 165-foot-wide with 20-foot setbacks which leaves you about 125-foot width. Most of our homes are about 150 foot roughly in depth. So, if you have that slope over that entire home, uh, the two-foot fill rule probably works well, and I would tell you we really need to get rid of this slurry concept. Uh, and, um I know for many years under the Bill Mead rule, um, he just didn't allow it, right. And then I think the town got threatened, that you know, this wasn't fill and now its slurry.

So, we can build retaining walls. We can build crawl spaces. So, all, there is a lot of ways around the current rule, and, that's being built and it's really harming our neighbors especially when we have a flatter lot next to a flatter lot. We have homes that are being built that when they stand on their patio, uh against, a flat land lot their standing six feet above the house next door looking right into their backyards. So, it is a real issue that we need to address.

I think you need to break down every lot you look at into three areas, fill under the footprint of the home, which we do address and, uh, I think it's well applied. Truly saying you can only have two feet of fill under the footprint of the house, especially when we are dealing with maybe, you know, a number yet be determined, but like 3% or less of slope. Then you got a need to deal with fill outside the footprint but within the building envelope. And that's really the conversation you guys were having about how to deal with landscaping. And right now, its, there are no rules. We can put as much fill, we can mound, we can, you know, build a fire pit eight feet in the air.

Uh, we actually used to build water slides into people's pools and the town really struggled with it because we had people build ten foot of mound of dirt and have

a water slide down. And, uh, and you know the only control they had, was they decided you can't do that within the 20-foot set back all the way around the lot. So, you have the fill of the footprint of the house, you have the setbacks, and then you have the area that is unbuildable, which is the last 20 feet of every lot. And, I believe in that last 20 feet to protect the neighbors. There should not be any fill other than fill required for drainage. Um, so, those are the three areas I'd break every lot down to as you go forward in this quest.

Um, in a. I think we do need a new category called the foothill category and that is the lots that are greater than can be 5% can be 4% and up. And those are really unique lots. Typically, those lots are bordering another lot that has a similar slope. Um. Very seldom do we see that, you know, a slope and it goes to a flat land lot. And that's what I was confronted with in 6767 and 63rd. We actually had this client, when you look at that, he wanted to build his tennis court on, on top of a mound. He just thought it would be cool. We convinced him otherwise. So, play courts, which technically can be inside the 20 need to be addressed and I would say with no more than two feet of fill.

Um, and then, uh, another item that I would bring to your attention is, I, I strongly urge you to, uh, do the foothill group and get rules and have at least a preliminary (G and D) grading and drainage plan of, uh, benchmark of height, overall heights, lowest point of natural grade, have it reviewed to make sure that no shenanigans are going on with the landscape fill. I am not sure you can wait for that. I think you need to immediately address the fill outside of the home and, and, and limit it within the setbacks to be not more than X, whatever that is. At 6767 because we were in about a 9% sloping lot we actually have, we met all the rules of lowest point of naturally grade we had to carve into the front for the, part of the drive and the house. We found, uh, a natural point to build the house. Had to build a rather narrow house and wide. But then we have the pool with the negative edge, and we have a six-foot retaining wall across the midpoint of the lot. And we actually cut the tennis court down, we have a ten foot, maybe 12-foot end to the tennis court that goes out to zero. So, that was cut into the mountain. And then we have a guest house all the way down below. And you need to remember the guest house can be moved and. Because auxiliary buildings can be built within a closer setback. And, so there, technically we have a 16-foot guest house only pushed back against the 20 backyard. So, these are some things that, that the diagrams that are here represent, you know, maybe a typical lot. There is a lot of odd shaped lots in this town that, um, you know, need to be thought about when you are writing these rules.

I believe anything greater than about a 2 or 3% slope, uh, should have something greater than a fill. One of the possibilities you could do is to say not more than four feet of fill, but not more than a two-foot average under the footprint. And then allow that to continue out but not more than six foot of retaining wall at any point. Uh, and that needs to be an aggregate otherwise you are going to end up with a lot of two footsteps. A six foot from your building footprint, or your building setback, so, that would mean 40 feet off the street in the front, 40 feet off the back yard, and 20 foot on the sides. And because we have the 25-foot lot coverage you are seeing a lot of these homes being built touching setback to setback, side to side and trying to get more back yard. And pushing them forward on the lot to the 40-foot setback. So, what all this does is

your designing these homes, um, it would help control the neighbor's experience in, in those lots that are transitioning to a slope or foothill area. I know it was an awful lot to say as quick as I could. But, but I would encourage you guys to really one, get an immediate stop to the more than two feet of fill at least as a stop gap for the next nine months or six months whatever it takes you to, to create this hopefully new category.

Last comment is on these certifications of heights. Um, I feel that, um, the builder and the homeowner are the responsible party and I know it's, uh, you know, if they accidentally or intentionally build at the wrong height that they've got to fix it. Um, there has been homes in this neighborhood, in this town, I've seen people cut six feet off the roof cause they had to fix it. So, I think accountability, uh, is the builder's responsibility and the homeowner's responsibility. The one thing that you could do because having a certification before you pour really isn't a certification, having a certification, uh, before you do a framing inspection from the time the slab is poured, so the builder starts at risk with, on the framing, I think that's fine. We have to have a pad certification before you can call the framing inspection. But to, there is no way to stop, you have no means, uh no reasonable means to stop a builder from, you know, pouring the slab and wanting to get framers on there in the next day or two. Uh, and having an engineer have to come back and certify could take three to five days in a good market and some, in tougher times it may take longer.

So, I encourage you to just hold people accountable. I mean, uh, you know, the benchmarks and the elevations are, I mean it's the builder's responsibility, it's the homeowner's responsibility. And if the town finds that they violated it by more than a reasonable tolerance, you know, an inch/inch and a quarter whatever that reasonable tolerance is, uh, because if you find out your pad height is wrong you can make it up in your ceiling heights and in your overall. I would have a zero tolerance on overall heights of the projects. Uh, but, you know, the benchmarking of the slab is really more about are they out of the, to me its more about Paul Mood making sure we don't have homes that will flood because the 24 foot is an absolute you cant exceed it. If you do you get your skill saw and cut your roof of and I can show you dozens of homes around this town that had, had to do that. So, thank you for your time. Be glad to answer questions be glad to answer questions even if you want to call me and discuss things deeper

[Verbatim comments end by Rod Cullum, resident and homebuilder] (1:58:00 -2:10:12)

Commissioner Wastchak asked if Mr. Cullum could get them his recommendations in writing. He asked why it was any better to pause for certification after the framing was done rather than before.

Rod Cullum explained that the inspector already needed to come out to do an as built certification to certify flood requirements were met. He reiterated that he did not think the Town needed to come out an additional time and that if the height ended up being wrong that the builder would need to take care of it.

Phil Hagenah, resident, asked how many architects and builders they received

comments. He commented that it was wrong that the residents were last in line and pled with the Commission to listen to the residents. He asked when the 24-foot height limit was established. He pointed out that when he moved into the area 25 years ago that he believed the average home height was only 18 feet and he felt this was an issue.

James Kuykendall, resident, asked if the Town provided a notice in residential areas if a building permit was taken out.

Ms. Collins responded they did not. She clarified that the Town provides notification of meetings and public hearings.

Phyllis Peskin, resident, indicated her property was flat and that her deed restrictions only allowed for 20-foot-tall homes because the homes were adjacent to a wash. She asked that the Commission consider the elevating of properties adjacent to a wash. She requested everyone look at her neighborhood in Mockingbird Lane Estates as an example.

No Reportable Action

5. PUBLIC HEARINGS

None

6. ACTION ITEMS

None

7. CONSENT AGENDA

George Burton gave a presentation on Items CP-21-01 and CP-21-02.

George Burton, Senior Planner, stated that AT&T submitted two small wireless facility applications to replace two existing light poles with new ones. He indicated both were located next to the Doubletree Paradise Valley Resort with one closer to Vista Lane and the other near the main entrance of the resort. He noted that the new poles will be relocated several feet from the existing poles and will be about six feet taller than the existing poles.

Commissioner Lewis asked what assurance the Town has that the esthetics of the structures would be maintained.

Mr. Burton responded that there was not much to maintain. He noted that the proposed style and color was very similar to the existing poles and that there should not be much esthetic difference other than the addition of the cannister on top.

Chairman Wainwright noted that Mr. Burton did a thorough presentation that was included in their packets and was available on the Town website.

A motion was made by Commissioner Campbell, seconded by Commissioner Wastchak, to approve the four items on the consent agenda. The motion carried by the following vote:

Aye: 7 - Commissioner Wainwright, Commissioner Covington, Commissioner Georgelos, Commissioner Wastchak, Commissioner Lewis, Commissioner Campbell and Commissioner Rose

- A. [21-042](#) CP-21-01. Small Wireless Facility located at 5303 N Scottsdale Rd (AT&T Site I.D. PHX01-008A)
- B. [21-043](#) CP-21-02. Small Wireless Facility located at 5391 N Scottsdale Rd (AT&T Site I.D. PHX01-010A)
- C. [21-013](#) Approval of the December 1, 2020 Planning Commission Minutes
- D. [21-014](#) Approval of the December 15, 2020 Planning Commission Minutes

8. STAFF REPORTS ^{None}

9. PUBLIC BODY REPORTS

Council Member Pace thanked the Commission for their work. She noted that they did a lot of work and had a lot of synergy as a group. She thanked them again for their commitment to the Town and the community's brand.

Chairman Wainwright thanked Council Member Pace for her time as the Planning Commission Liaison and noted that she was always welcome to their meetings.

Vice Mayor Stanton complimented staff and the Commission Members for their work and focus. He indicated that he is honored to be their new liaison. He asked that they reach out to him if they had any questions or concerns.

Chairman Wainwright thanked Vice Mayor Stanton and congratulated him on his new position as Vice Mayor.

Commissioner Wastchak asked if Ms. Collins could summarize the recommendations made by Mr. Cullum.

Paul Michaud, Planning Manager, noted for the record that there were no public hearing items or action items on the agenda.

Ms. Collins gave background on herself to the Planning Commission.

10. FUTURE AGENDA ITEMS

Mr. Michaud announced that the next meeting is on February 16, 2021. He noted that the agenda for that meeting included discussion on pad height, Ascension Lutheran church application R-43 lot, and possible discussion on a text amendment for walls and fences.

11. ADJOURNMENT

A motion was made by Commissioner Lewis at 9:24 p.m., seconded by Commissioner Georgelos, to adjourn the meeting. The motion carried by the following vote:

Aye: 7 - Commissioner Wainwright, Commissioner Covington, Commissioner Georgelos, Commissioner Wastchak, Commissioner Lewis, Commissioner Campbell and Commissioner Rose

Paradise Valley Planning Commission

By: _____
Paul Michaud, Secretary