



Town of Paradise Valley

6401 E Lincoln Dr
Paradise Valley, AZ 85253

Meeting Notice and Agenda

Hillside Building Committee

Wednesday, January 13, 2021

8:00 AM

Town Hall Boardroom

**IN-PERSON ATTENDANCE AT PUBLIC MEETINGS HAS BEEN SUSPENDED UNTIL
FURTHER NOTICE. WATCH LIVE STREAMED MEETINGS AT:**

<https://paradisevalleyaz.legistar.com/Calendar.aspx>

THIS MEETING WILL BE HELD BY REMOTE PARTICIPATION ONLY

PUBLIC PARTICIPATION IN THE MEETING

Members of the public are encouraged to participate in the meeting via the following options:

1. View the live stream at <https://paradisevalleyaz.legistar.com/Calendar.aspx>
 - (a) Click on Calendar Tab
 - (b) Look for Town Council meeting (you may have to select it from the dropdown list) and find the meeting date

- (c) Click the "In Progress" link in the column titled Video

2. Zoom Conference

- (a) Computer: <https://zoom.us/j/6678902153>

- (b) Telephone: 1 669 900 6833 Meeting ID 667 890 2153

3. Submitting questions and comments:

- (a) Visit <https://paradisevalleyaz.legistar.com/Calendar.aspx>, search for the meeting date, and click "eComment". Locate the agenda item you are interested in and click "Comment" (Please submit comments at least 1 hr prior to meeting)

- (b) Email hillsidecommittee@paradisevalleyaz.gov (Please submit comments at least 1 hr prior to meeting)

4. Speaking during the meeting

- (a) Visit <https://paradisevalleyaz.legistar.com/Calendar.aspx>, search for the meeting date, and click "eComment". Locate the agenda item and click "Register to Speak".

Join the meeting by dialing 1 669 900 6833 Meeting ID 667 890 2153

- (b) If attending by Zoom Video Conference, click the chat button and enter your name and the agenda item you would like to address

(These meeting participation guidelines are pursuant to Town Council Resolution 2020-08 adopted March 17, 2020.)

Notice is hereby given pursuant to A.R.S. §38-431.02. that members of the Hillside Building Committee will attend by audio/video conference call.

Committee Members

Chair Scott Jarson, Scott Tonn, Pamela Georgelos, Thomas Campbell, Orme Lewis

1. Call to Order

Notice is hereby given that members of the Committee will attend either in person or by telephone conference call, pursuant to A.R.S. §38-431(4).

2. Executive Session

The Committee may convene into an executive session at one or more times during the meeting as needed to confer with the Town Attorney for legal advice regarding any of the items listed on the agenda as authorized by A.R.S. §38-431.03.A.3.

3. Application Review

The Committee may take action on these items.

[21-010](#) **Concept Review for a new single family residence at 8020 N Mummy Mountain Road (APN 168-77-008).**

[21-011](#) **Concept Review for a major remodel and addition at 7404 N Las Brisas Lane (APN 169-06-090).**

[21-012](#) **Combined Review for an addition and guesthouse at 5001 E McDonald Drive (APN 172-04-009).**

4. Staff Reports

[21-016](#) **Election of Hillside Building Committee Chair**

Staff Contact:

5. Committee Reports

6. Next Meeting Date

The next Hillside Building Committee meeting dates are tentatively scheduled for Wednesday, February 10, 2021 at 8:00 a.m. and Wednesday, March 10, 2021 at 8:00 a.m.

7. Adjournment

AGENDA IS SUBJECT TO CHANGE

**Notice is hereby given that pursuant to A.R.S. §1-602.A.9, subject to certain specified statutory exceptions, parents have a right to consent before the State or any of its political subdivisions make a video or audio recording of a minor child. Meetings of the Planning Commission are audio and/or video recorded, and, as a result, proceedings in which children are present may be subject to such recording. Parents in order to exercise their rights may either file written consent with the Town Clerk to such recording, or take personal action to ensure that their child or children are not present when a recording may be made. If a child is present at the time a recording is made, the Town will assume that the rights afforded parents pursuant to A.R.S. §1-602.A.9 have been waived.*

The Town of Paradise Valley endeavors to make all public meetings accessible to persons with disabilities. With 72 hours advance notice, special assistance can also be provided for disabled persons at public meetings. Please call 480-948-7411 (voice) or 480-483-1811 (TDD) to request accommodation to participate in the meeting.



Action Report

File #: 21-010

To: Hillside Building Committee

From: Hugo Vasquez; Hillside Development Administrator

Date: January 13th, 2021

Subject: Concept Review for a new single family residence at 8020 N Mummy Mountain Road (APN 168-77-008).

Narrative: The proposed project shall demolish the existing residence and construct a new single family residence. The new project has an application date of October 15th, 2020 and will be reviewed under the 2018 Hillside Development Regulations.

Lot Data		
1.	Area of Lot	5.056 ac or 220,257 ft ²
2.	Area Under Roof	20,559 ft ²
3.	Floor Area Ratio	9.33%
4.	Building Site Slope	9.70%
5.	Allowable Disturbed Area	132,154 ft ² (60.00%)
6.	Existing Gross Disturbed Area	104,389 ft ² (47.39%)
7.	Proposed Net Disturbed Area	86,717 ft ² (39.37%)
8.	Maximum Building Height	To Be Determined
9.	Overall Height	To Be Determined
10.	Volume of Cut/Fill	To Be Determined
11.	Hillside Assurance	To Be Determined

Background

The property contains an existing single family residence constructed in 1972.

Single Family Residence

The new project shall construct a new single family residence with an approximate total of 10,000 ft² of livable area.

Guesthouse

An attached guesthouse is proposed.

Driveway

No driveway details have been provided at this point.

Pool

File #: 21-010

No pool details have been provided at this proposed.

Materials

No proposed material details have been provided at this point.

Landscaping

No proposed landscaping details have been provided at this point.

Land Disturbance

A gross disturbed area of 47.39% (104,389 ft²) currently exists on the lot and the building pad slope of 9.70% allows a disturbance of 60.00% (132,154 ft²) the lot. The applicant has proposed a net disturbed area of approximately 39.37% (86,717 ft²), which is less than the allowable disturbance.

Grading and Drainage

A preliminary grading and drainage plan has been provided. The proposed construction of the property shall be required properly retain the "pre vs post" storm water volumes for the 100-year, 2-hour rainfall event. Basis are proposed for onsite storm water storage.

Sewer

Public sewer is available along N Mummy Mountain Road. The applicant shall be required to extend the sewer if costs to extend the sewer are within 10% of the total building permit valuations.

Hillside Safety Improvement Plan

The Applicant shall submit a Hillside Safety Improvement Plan in accordance with the Hillside Safety Improvement Measures and Process Manual per Section 5-10-9 of the Town Code.

The Hillside Building Committee Formal Review Meeting shall not be scheduled until the Town Engineer and/or Technical Advisory Board are satisfied with the Applicant's Registered Professional Engineer sealed reports comprising the Safety Improvement Plan and the Formal Hillside Plans. The Safety Improvement Plan shall remain the responsibility of the Applicant and have the seal of the Applicant's Engineer who shall be liable for any failures.

Conceptual Plan Review

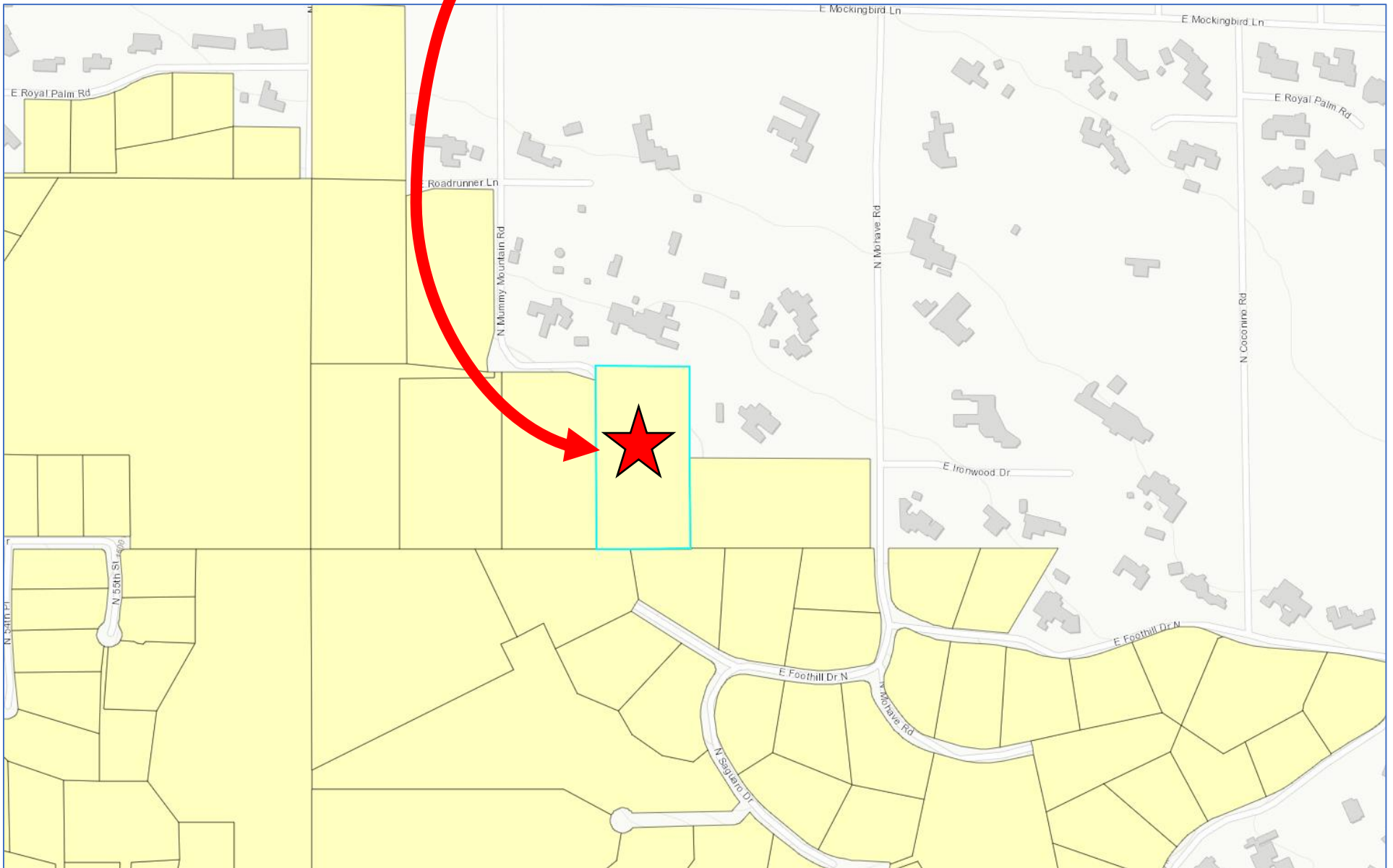
The purpose of the Conceptual Plan Review Meeting is to discuss, review, and give suggestions and guidance to the applicant. A detailed set of plans will be submitted for formal review in accordance with Section 2206.I. The following criteria are sections of the Hillside Building Code that govern the conceptual review:

- **Section 2205.III - Concept Plan Review Meeting:**
The Applicant, along with their architect and engineer shall submit a completed application and the required fees, to the Town Engineer, at the time they request a concept plan review meeting (pre-hillside meeting) with the Hillside Building Committee. The purpose of this meeting is to discuss, review, and give suggestions and guidance to the Applicant regarding the proposed development including: the location of the building pad and accessory uses; how these relate to Significant Natural Features; the preservation of existing vegetation; grading concepts and their adaptation to the natural hillside topography; and how the requirements pursuant to these hillside regulations and purpose statement will guide the proposed Development.
- **Section 2206.II - Concept Plan Review Meeting.**
The applicant shall submit the following:
 - A. Seven (7) copies of a preliminary site plan that includes, but is not limited to, the building footprint, driveway, swimming pool, and accessory use locations along with topographic information for the lot.
 - B. A 3-dimensional representation of the general massing of all proposed structures (e.g. a mass model, a 3-D rendering or a computer-generated model in relation to topography - not a detail model).

- C. A recent aerial photo of the site (less than 1 year old), with topography, lot lines, and the building footprint superimposed on it, and identification of significant natural features as well as adjacent lots and structures within 100 feet of the perimeter of the subject property (min. 24"X 36"), and the location of the driveway access in relation to the nearest roadway.

- D. Preliminary calculations on land disturbance and cut and fill methods.

8020 N Mummy Mountain Road





8020 N Mummy Mountain Road





TOWN OF PARADISE VALLEY HILLSIDE DEVELOPMENT

DATE: _____

SUBDIVISION NAME: _____

ADDRESS OF PROPERTY _____

ASSESSOR'S PARCEL NUMBER: _____

LEGAL DESCRIPTION: _____

ARCHITECT: _____

NAME

PHONE NUMBER

ADDRESS

E-MAIL ADDRESS

ENGINEER/OTHER: _____

NAME

PHONE NUMBER

ADDRESS

E-MAIL ADDRESS

OWNER: _____

PRINT NAME

PHONE NUMBER

ADDRESS

E-MAIL ADDRESS

SIGNATURE OF OWNER OR REPRESENTATIVE

DATE

SCOPE OF WORK: _____

STAFF/ARCHITECT HILLSIDE PLAN REVIEW**HILLSIDE PLANS SHALL BE ORGANIZED IN THE FOLLOWING ORDER:****CONCEPT REVIEW:**

1. COVER SHEET WITH VICINITY MAP
2. SITE PLAN
3. ARCHITECTURAL RENDERINGS
4. AERIAL PHOTO WITH IMPROVEMENTS AND TOPO

FORMAL/COMBINED REVIEW:

1. COVER SHEET WITH VICINITY MAP
2. PHOTOGRAPHS OF PROPERTY
3. ARCHITECTURAL RENDERINGS
4. AERIAL PHOTO WITH IMPROVEMENTS AND TOPO
5. LEGAL SURVEY
6. GRADING & DRAINAGE PLAN
7. SITE PLAN
8. CROSS SECTIONS
9. BUILDING LIGHTING PLAN
10. LANDSCAPE AND LANDSCAPE LIGHTING PLAN(S)
11. MATERIAL SAMPLE BOARD

SOLAR COMBINED REVIEW:

1. COVER SHEET
2. SITE PLAN
3. CROSS SECTIONS
4. AERIAL PHOTO WITH IMPROVEMENTS
5. SITE PHOTOS
6. DETAILS

SAFETY IMPROVEMENT PLAN:

1. SEE HILLSIDE "SAFETY IMPROVEMENT MEASURES AND PROCESS MANUAL" (MUST BE REVIEWD AND APPROVED PRIOR TO FORMAL OR COMBINED HILLSIDE BUILDING COMMITTEE REVIEW)

SUBMITTALS NEEDED FOR CONCEPT REVIEW MEETING

- _____ TITLE REPORT (IF ROADWAY DEDICATION IS REQUIRED)
- _____ PROVIDE A WRITTEN PROJECT NARRATIVE DESCRIBING SCOPE OF WORK.
- _____ VICINITY MAP SHOWING LOCATION AND ADDRESS OF THE PROPERTY
- _____ SITE PLAN WITH TOPOGRAPHY (MAXIMUM 1-FOOT INTERVALS), BUILDING FOOTPRINT, TOTAL FLOOR AREA, DRIVEWAY, POOL AND WATER FEATURES, ACCESSORY BUILDING LOCATIONS, PROPOSED DISTURBED AREA CALCULATIONS, AND PROPOSED DRAINAGE. (Section 2206-II-B)
- _____ MASS MODEL OR A 3-DIMENSIONAL RENDERING OR COMPUTER-GENERATED MODEL. IF A MASS MODEL IS USED THE APPLICANT MUST FURNISH PICTURES OF THE MODEL AND INCLUDE THEM IN THE SUBMITTAL WITH THE SEVEN SETS. (A STUDY MODEL WILL BE REQUIRED AT THE FORMAL HILLSIDE COMMITTEE). (Section 2206-II-C)
- _____ AERIAL PHOTO-LESS THAN 1-YEAR OLD WITH TOPOGRAPHY, LOT LINES, BUILDING FOOTPRINT, DRIVEWAY, ANY NATURAL FEATURES, AS WELL AS ADJACENT LOTS AND STRUCTURES WITHIN 100 FEET OF PERIMETER OF SUBJECT PROPERTY ON 24"X 36" SHEET. (Section 2206-II-D)
- _____ FIRE MARSHAL SITE PLAN REVIEW
- _____ NOTIFICATION LETTERS MAILED 3 WEEKS PRIOR TO HILLSIDE MEETING. (APPLICATION AND NOTICE MUST BE REVIEWED AND DEEMED COMPLETE BY TOWN STAFF PRIOR TO MAILING). SEE SAMPLE NOTIFICATION BELOW. (Section 2206-II-A)

NOTE

The purpose of the Concept Review Meeting is to discuss, review and give suggestions and guidance to the applicant regarding the proposed development, location of the building pad, accessory structures and any other items of discussion. The owner or his representative should be prepared to demonstrate how this application relates to site conditions, significant natural features, preservation of existing vegetation, grading concepts and their adaptation to the natural hillside topography.

DISTURBED AREA CALCULATIONS (INCLUDE ON SITE PLAN).

_____ AREA OF LOT _____ ACRES _____ SQUARE
FEET

_____ AREA UNDER ROOF _____ SQUARE FEET

_____ FLOOR AREA RATIO _____ % (AREA UNDER ROOF/AREA
OF LOT)

_____ BUILDING PAD SLOPE _____ %
VERTICAL _____ FEET
HORIZONTAL _____ FEET

Building Pad Slope - The percent of slope measured at right angles to the natural contours along a line passing through the center of the proposed building and terminating at the ends of the disturbed area limits of the building site.

_____ ALLOWABLE DISTURBED AREA _____ % (PER TABLE 1,
SECTION 2207-III-J)

_____ ALLOWABLE DISTURBED AREA _____ SQUARE FEET

_____ EXISTING DISTURBED AREA _____ % (IF ANY)

_____ EXISTING DISTURBED AREA _____ SQUARE FEET (IF
ANY)

INCLUDE THE FOLLOWING CALCULATION:

GROSS DISTURBED AREA _____ SQUARE FEET
SUBTRACT (-) TOTAL LIVABLE FOOTPRINT _____ SQUARE FEET
SUBTRACT (-) ATTACHED GARAGE FOOTPRINT _____ SQUARE FEET
SUBTRACT (-) DRIEVDWAY CREDIT _____ SQUARE FEET
SUBTRACT (-) RETENTION BASIN CREDIT _____ SQUARE FEET
SUBTRACT (-) RESTORED AREAS _____ SQUARE FEET
EQUALS (=) NET PROPOSED DISTURBED AREA _____ SQUARE FEET

_____ NET PROPOSED DISTURBED AREA _____ %

_____ LIMITS OF DISTURBED AREA CLEARLY SHOWN ON PLANS

_____ PERCENT OF LOT STEEPER THAN NATURAL GRADE (5% MAX.) _____
_____ %

_____ VOLUME OF CUT _____ C.Y. VOLUME OF FILL _____ CY

_____ HILLSIDE ASSURANCE IS EQUAL TO 35 TIMES THE GRADING
PERMIT FEE (2205.VI.B) – PROVIDE CALCULATION ON CIVIL PLAN
AND SITE PLAN



Hillside Conceptual Plan Review Notification

12-22-2020

Subject: Conceptual Plan Review for a single detached custom home design

Dear Property Owner,

An application has been submitted to the Town of Paradise Valley for a new home at 8020 N. Mummy Mountain Rd. Paradise Valley, AZ 85253. In compliance with Town requirements, this letter is being sent to you as a courtesy to inform you of the pending application. The Hillside Building Committee will be reviewing this application on January 13th at 8:00am. The meeting may take place remotely.

The purpose of the Conceptual Plan Review meeting is to discuss, review, and provide suggestions and guidance to the Applicant regarding the proposed development including:

- Location of the building pad, driveway, and accessory uses
- Significant natural features
- Preservation of existing vegetation
- Grading concepts and their adaptation to the natural hillside topography

The Conceptual meeting provides suggestions and guidance for the Applicant. Prior to final approval of this application, there will be a Formal Hillside Committee Review Meeting. Notification will be sent to you for this meeting. Both meetings are open to the public and you may feel free to attend.

If you have any questions please call me at 855-373-9388

Sincerely,

A handwritten signature in black ink, appearing to be 'CP Drewett', with a stylized, looped design.

CP Drewett



THIS MEETING MAY BE HELD BY REMOTE PARTICIPATION

Please check the meeting agenda at <https://paradisevalleyaz.legistar.com/Calendar.aspx> to determine if the Hillside Building Committee meeting will be held by remote participation. If held by remote participation, members of the public are encouraged to participate in the meeting via the following options:

1. View the live stream at <https://paradisevalleyaz.legistar.com/Calendar.aspx> (a) Click on Calendar Tab (b) Look for Hillside Building Committee meeting (you may have to select it from the dropdown list) and find the meeting date (c) Click the "In Progress" link in the column titled Video
2. Zoom Conference: Meeting information to be provided on final meeting agenda
3. Submitting questions and comments:
(a) Visit <https://paradisevalleyaz.legistar.com/Calendar.aspx>, search for the meeting date, and click "eComment". Locate the agenda item you are interested in and click "Comment" (Please submit comments at least 1 hr prior to meeting)
4. Speaking during Call to the Public / Public Hearings:
(a) Visit <https://paradisevalleyaz.legistar.com/Calendar.aspx>, search for the meeting date, and click "eComment". Locate the agenda item and click "Register to Speak". Join the meeting by dialing the Zoom Video Conference number provided on the final meeting agenda.
(b) If attending by Zoom Video Conference, click the chat button and enter your name and the agenda item you would like to address (These meeting participation guidelines are pursuant to Town Council Resolution 2020-08 adopted March 17, 2020.)

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For further information about any of these matters, please contact the Community Development Department, 6401 E. Lincoln Drive, Paradise Valley, Arizona, 480-348-3692.

All agendas are subject to change. You can view the agenda, find application material, and provide your input via eComment approximately 4-6 days prior to the meeting date at <https://paradisevalleyaz.legistar.com/Calendar.aspx>. You may also contact the staff liaison, Hugo Vasquez on this application at hvasquez@paradisevalleyaz.gov or 480-348-3525 at any time before the scheduled meeting date.

Parcel Number	Owner	Property Address	Mailing Address	MAIL_ADDR1	MAIL_CITY	MAIL_STATE	MAIL_ZIP	PHYSICAL_STREET_NUM	PHYSICAL_STREET_DIR	PHYSICAL_STREET_NAME
168-62-037	OUTRIO PV LLC	5977 E ROYAL PALM RD PARADISE VALLEY 85253	5977 E ROYAL PALM RD PARADISE VALLEY AZ 85253	5977 E ROYAL PALM RD	PARADISE VALLEY	AZ	85253	5977	E	ROYAL PALM
168-63-001	WOODS DAVID L/TWILA R TR	5919 E MOCKINGBIRD LN PARADISE VALLEY 85253	5919 E MOCKINGBIRD LN PARADISE VALLEY AZ 85253	5919 E MOCKINGBIRD LN	PARADISE VALLEY	AZ	85253	5919	E	MOCKINGBIRD
168-63-003	SHAMSA MIR M TR	8215 N MOHAVE RD PARADISE VALLEY 85253	8215 N MOHAVE RD PARADISE VALLEY AZ 85253	8215 N MOHAVE RD	PARADISE VALLEY	AZ	85253	8215	N	MOHAVE
168-63-004	MACARCO IX LLC	5855 E MOCKINGBIRD LN PARADISE VALLEY 85253	2899 N GARRETT LN FLAGSTAFF AZ 86001	2899 N GARRETT LN	FLAGSTAFF	AZ	86001	5855	E	MOCKINGBIRD
168-63-012	KAHN LAWRENCE S/ADOLYN M TR	5881 E SAPPHIRE LN PARADISE VALLEY 85253	5881 E SAPPHIRE LN PARADISE VALLEY AZ 85253	5881 E SAPPHIRE LN	PARADISE VALLEY	AZ	85253	5881	E	SAPPHIRE
168-63-013	CHENG KEVIN/MAUREN TR	5842 E MOCKINGBIRD LN PARADISE VALLEY 85253	5842 E MOCKINGBIRD LN PARADISE VALLEY AZ 85253	5842 E MOCKINGBIRD LN	PARADISE VALLEY	AZ	85253	5842	E	MOCKINGBIRD
168-63-014	LEWIS PETRINA/MARK	5911 E SAPPHIRE LN PARADISE VALLEY 85253	5911 E SAPPHIRE LN PARADISE VALLEY AZ 85253	5911 E SAPPHIRE LN	PARADISE VALLEY	AZ	85253	5911	E	SAPPHIRE
168-63-021	THOMAS R DEMARK IRREV RESIDENCE TRUST/ETAL	8301 N 58TH PL PARADISE VALLEY 85253	8301 N 58TH PL PARADISE VALLEY AZ 85253	8301 N 58TH PL	PARADISE VALLEY	AZ	85253	8301	N	58TH
168-64-004	NORTON ROBERT E/AMY ELIZABETH	5724 E MOCKINGBIRD LN PARADISE VALLEY 85253	5724 E MOCKINGBIRD LN PARADISE VALLEY AZ 85253	5724 E MOCKINGBIRD LN	PARADISE VALLEY	AZ	85253	5724	E	MOCKINGBIRD
168-64-005	M56 PLACE LLC	5636 E MOCKINGBIRD LN PARADISE VALLEY 85253	3101 N CENTRAL AVE NO 1600 PHOENIX AZ 85012	3101 N CENTRAL AVE NO 1600	PHOENIX	AZ	85012	5636	E	MOCKINGBIRD
168-64-007	TSE CHIDA/RENEE C	5611 E MOCKINGBIRD LN PARADISE VALLEY 85253	5611 E MOCKINGBIRD LN PARADISE VALLEY AZ 85253	5611 E MOCKINGBIRD LN	PARADISE VALLEY	AZ	85253	5611	E	MOCKINGBIRD
168-64-008	ZHENG FAMILY LLC	5665 E MOCKINGBIRD LN PARADISE VALLEY 85253	5665 E MOCKINGBIRD LAND PARADISE VALLEY AZ 85253	5665 E MOCKINGBIRD LAND	PARADISE VALLEY	AZ	85253	5665	E	MOCKINGBIRD
168-64-009	L G HOME LLC	5701 E MOCKINGBIRD LN PARADISE VALLEY 85253	5040 E SHEA BLVD SUITE 254 SCOTTSDALE AZ 85254	5040 E SHEA BLVD SUITE 254	SCOTTSDALE	AZ	85254	5701	E	MOCKINGBIRD
168-64-010	SANTINA PV LLC	5747 E MOCKINGBIRD LN PARADISE VALLEY 85253	5747 E MOCKINGBIRD LN PARADISE VALLEY AZ 85253	5747 E MOCKINGBIRD LN	PARADISE VALLEY	AZ	85253	5747	E	MOCKINGBIRD
168-64-932	GERDTS MARY LYNN/MCKINNEY DOUGLAS RANDOLPH	5748 E MOCKINGBIRD LN PARADISE VALLEY 85253	8353 N 58TH PL PARADISE VALLEY AZ 85253	8353 N 58TH PL	PARADISE VALLEY	AZ	85253	5748	E	MOCKINGBIRD
168-65-001A	CHARLES J SLACK JR & ELIZABETH JOINT REV		2710 S RURAL RD TEMPE AZ 85282	2710 S RURAL RD	TEMPE	AZ	85282			
168-65-025	VOSS EDWARD C/GABRIELLE	5529 E ROYAL PALM RD PARADISE VALLEY 85253	5529 E ROYAL PALM RD PARADISE VALLEY AZ 85253	5529 E ROYAL PALM RD	PARADISE VALLEY	AZ	85253	5529	E	ROYAL PALM
168-77-001D	MUMMY MOUNTAIN 19 LLC	8055 N MUMMY MOUNTAIN RD PARADISE VALLEY 85253	2525 E CAMELBACK RD STE 700 PHOENIX AZ 85016	2525 E CAMELBACK RD STE 700	PHOENIX	AZ	85016	8055	N	MUMMY MOUNTAIN
168-77-002	HANLON CECILIA M	8101 N MUMMY MOUNTAIN RD PARADISE VALLEY 85253	8101 N MUMMY MTN RD PARADISE VALLEY AZ 85253	8101 N MUMMY MTN RD	PARADISE VALLEY	AZ	85253	8101	N	MUMMY MOUNTAIN
168-77-003A	MIDDLETON JAMIE	8102 N MUMMY MOUNTAIN RD PARADISE VALLEY 85253	8102 MUMMY MOUNTAIN RD PARADISE VALLEY AZ 85253-2242	8102 MUMMY MOUNTAIN RD	PARADISE VALLEY	AZ	85253-2242	8102	N	MUMMY MOUNTAIN
168-77-004	DESERTVIEW HAVEN LLC	5611 E ROAD RUNNER LN PARADISE VALLEY 85253	7320 E BUTHERUS DR SCOTTSDALE AZ 85260	7320 E BUTHERUS DR	SCOTTSDALE	AZ	85260	5611	E	ROAD RUNNER
168-77-007	HILLSDALE COLLEGE		33 E COLLEGE ST HILLSDALE MI 49242	33 E COLLEGE ST	HILLSDALE	MI	49242			
168-77-008	BLUE 888 LLC	8020 N MUMMY MOUNTAIN RD PARADISE VALLEY 85253	6037 E DONNA CIR PARADISE VALLEY AZ 85253	6037 E DONNA CIR	PARADISE VALLEY	AZ	85253	8020	N	MUMMY MOUNTAIN
168-77-009	ATLEE PATRICIA K TR	8060 N MUMMY MOUNTAIN RD PARADISE VALLEY 85253	8060 N MUMMY MOUNTAIN RD PARADISE VALLEY AZ 85253	8060 N MUMMY MOUNTAIN RD	PARADISE VALLEY	AZ	85253	8060	N	MUMMY MOUNTAIN
168-77-010	JAMIE L MIDDLETON 2002 TRUST	8098 N MUMMY MOUNTAIN RD PARADISE VALLEY 85253	8102 N MUMMY MOUNTAIN ROAD PARADISE VALLEY AZ 85253	8102 N MUMMY MOUNTAIN ROAD	PARADISE VALLEY	AZ	85253	8098	N	MUMMY MOUNTAIN
168-78-001C	MALCOLM INVESTMENTS LLC	8115 N MOHAVE RD PARADISE VALLEY 85253	201 N CENTRAL AVE 22ND FL PHOENIX AZ 85004-0608	201 N CENTRAL AVE 22ND FL	PHOENIX	AZ	85004-0608	8115	N	MOHAVE
168-78-001D	SAMUEL ROBERT C	8107 N MOHAVE RD PARADISE VALLEY 85253	5141 N 40TH ST NO 500 PHOENIX AZ 85018	5141 N 40TH ST NO 500	PHOENIX	AZ	85018	8107	N	MOHAVE
168-78-002	THURSTON RAY R & AMY L	8000 N MOHAVE RD PARADISE VALLEY 85253	8000 N MOHAVE PARADISE VALLEY AZ 85253	8000 N MOHAVE	PARADISE VALLEY	AZ	85253	8000	N	MOHAVE
168-78-003	MOHAVE ROAD TRUST	8040 N MOHAVE RD PARADISE VALLEY 85253	2600 AIRPORT RD UNIT 101 WINDSOR ON CANADA N8N 1A1	2600 AIRPORT RD UNIT 101	WINDSOR	ON	N8N 1A1	8040	N	MOHAVE
168-78-004B	PARVEEN KAUR/HANJUA QUAL PERSONAL RESD TRUST	8110 N MOHAVE RD PARADISE VALLEY 85253	8110 N MOHAVE RD PARADISE VALLEY 85253	8110 N MOHAVE RD	PARADISE VALLEY	AZ	85253	8110	N	MOHAVE
168-78-004E	LYNNE MORRISON PROPERTIES LLC		PO BOX 911 STERLING CO 80751	PO BOX 911	STERLING	CO	80751	8112	N	MOHAVE
168-78-006	GSD ARIZONA QUALIFIED PERSONAL RESIDENCE TR	8131 N MOHAVE RD PARADISE VALLEY 85253	8131 N MOHAVE RD PARADISE VALLEY AZ 85253	8131 N MOHAVE RD	PARADISE VALLEY	AZ	85253	8131	N	MOHAVE
168-78-008	CYRELL ALEXANDER/MICHELSON SUSAN TR	5917 E IRONWOOD DR PARADISE VALLEY 85253	5917 E IRONWOOD DR PARADISE VALLEY AZ 85253	5917 E IRONWOOD DR	PARADISE VALLEY	AZ	85253	5917	E	IRONWOOD
168-78-009	WALKER CHARLES F/PROSCH CYNTHIA SEGINSKI	5933 E IRONWOOD DR PARADISE VALLEY 85253	3404 MARQUETTE ST DALLAS TX 75225	3404 MARQUETTE ST	DALLAS	TX	75225	5933	E	IRONWOOD
168-78-010	ROSALEDA TRUST	8001 N MOHAVE RD PARADISE VALLEY 85253	8001 N MOHAVE RD PARADISE VALLEY AZ 85253	8001 N MOHAVE RD	PARADISE VALLEY	AZ	85253	8001	N	MOHAVE
168-79-003A	ANDERSON ROBERT/SYDNEY M TR	8070 N COCONINO RD PARADISE VALLEY 85253	7262 OLD POST RD BOULDER CO 80301	7262 OLD POST RD	BOULDER	CO	80301	8070	N	COCONINO
168-79-004C	MATLOFF FAMILY TRUST	8000 N COCONINO RD PARADISE VALLEY 85253	8000 N COCONINO PARADISE VALLEY AZ 85253	8000 N COCONINO	PARADISE VALLEY	AZ	85253	8000	N	COCONINO
168-03-056	ANDALKAR NITEEN/BERNADETTE	6019 E FOOTHILL DR N PARADISE VALLEY 85253	10187 E PEAK CIR SCOTTSDALE AZ 85262	10187 E PEAK CIR	SCOTTSDALE	AZ	85262	6019	E	FOOTHILL
168-03-057	HOECHNER BRUCE D/JUDITH L	6001 E FOOTHILL DR N PARADISE VALLEY 85253	1406 SILO RD YARDLEY PA 19067	1406 SILO RD	YARDLEY	PA	19067	6001	E	FOOTHILL
168-03-058	BRYAN AND ELIZABETH SABA FAMILY TRUST	7819 N MOHAVE RD PARADISE VALLEY 85253	7819 N MOHAVE RD PARADISE VALLEY AZ 85253	7819 N MOHAVE RD	PARADISE VALLEY	AZ	85253	7819	N	MOHAVE
168-03-059	MARTIN D WOLF SEPARATE PROPERTY TRUST	5925 E FOOTHILL DR N PARADISE VALLEY 85253	5925 E FOOTHILL DR N PARADISE VALLEY AZ 85253	5925 E FOOTHILL DR N	PARADISE VALLEY	AZ	85253	5925	E	FOOTHILL
168-04-010	FOOTHILL ARIZONA LLC	5920 E FOOTHILL DR N PARADISE VALLEY 85253	PO BOX 11086 JACKSON WY 83002-1086	PO BOX 11086	JACKSON	WY	83002-1086	5920	E	FOOTHILL
168-04-011	WILSON DINESH/BROOKE	5900 E FOOTHILL DR N PARADISE VALLEY 85253	5900 E FOOTHILL DR NORTH PARADISE VALLEY AZ 85253	5900 E FOOTHILL DR NORTH	PARADISE VALLEY	AZ	85253	5900	E	FOOTHILL
168-04-013	CBM REVOCABLE TRUST	5912 E FOOTHILL DR N PARADISE VALLEY 85253	5912 E FOOTHILL DR N PARADISE VALLEY AZ 85253-3033	5912 E FOOTHILL DR N	PARADISE VALLEY	AZ	85253-3033	5912	E	FOOTHILL
168-04-014	RMB PROPERTIES LLC-SERIES NO ONE	5902 E FOOTHILL DR N PARADISE VALLEY 85253	27 N WACKER DR UNIT 518 CHICAGO IL 60606	27 N WACKER DR	CHICAGO	IL	60606	5902	E	FOOTHILL
168-04-015A	HILLSDALE COLLEGE	5880 E FOOTHILL DR PARADISE VALLEY 85253	33 E COLLEGE ST HILLSDALE MI 49242	33 E COLLEGE ST	HILLSDALE	MI	49242	5880	E	FOOTHILL
168-04-015B	WEAR REED BARTLETT TR/LINDA ANN TR	5880 E FOOTHILL DR N PARADISE VALLEY 85253	5880 E FOOTHILL DR NORTH PARADISE VALLEY AZ 85253	5880 E FOOTHILL DR NORTH	PARADISE VALLEY	AZ	85253	5880	E	FOOTHILL
168-04-023	ALLEN JEFFREY WALTER TR	7818 N MOHAVE RD PARADISE VALLEY 85253	7818 N MOHAVE RD PARADISE VALLEY AZ 85253	7818 N MOHAVE RD	PARADISE VALLEY	AZ	85253	7818	N	MOHAVE
168-04-024	JET LINC LLC	5833 E FOOTHILL DR N PARADISE VALLEY 85253	7377 E DOUBLETREE RANCH RD STE 190 SCOTTSDALE AZ 85258	7377 E DOUBLETREE RANCH RD STE 190	SCOTTSDALE	AZ	85258	5833	E	FOOTHILL
168-04-025	ROSENTHAL KENNETH J/LINDA S	7801 N SAGUARO DR PARADISE VALLEY 85253	7801 N SAGUARO DR PARADISE VALLEY AZ 85253	7801 N SAGUARO DR	PARADISE VALLEY	AZ	85253	7801	N	SAGUARO
168-04-027	MOOSBRUGGER ERIN S TR/FINLEY MARY W TR	7737 N SAGUARO DR PARADISE VALLEY 85253	7737 N SAGUARO DR PARADISE VALLEY AZ 85253	7737 N SAGUARO DR	PARADISE VALLEY	AZ	85253	7737	N	SAGUARO
168-04-029A	KRAEMER RICHARD C/CAROLE A TR	5843 E FOOTHILLS DR N PARADISE VALLEY 85253	5843 E FOOTHILLS DR N PARADISE VALLEY AZ 85253	5843 E FOOTHILLS DR N	PARADISE VALLEY	AZ	85253	5843	E	FOOTHILLS
168-04-031	FRANKE W A	7785 N SAGUARO DR PARADISE VALLEY 85253	7701 N SAGUARO DR PARADISE VALLEY AZ 85253	7701 N SAGUARO DR	PARADISE VALLEY	AZ	85253	7785	N	SAGUARO
168-04-036	DANIEL E HARKINS TRUST	7800 N SAGUARO DR PARADISE VALLEY 85253	7511 E MCDONALD DR SCOTTSDALE AZ 85250	7511 E MCDONALD DR	SCOTTSDALE	AZ	85250	7800	N	SAGUARO
168-04-037	MUMMY ESTATES LLC		2001 E CAMPBELL AVE STE 103 PHOENIX AZ 85016	2001 E CAMPBELL AVE STE 103	PHOENIX	AZ	85016			
168-06-076B	BROSEMANN PROPERTIES INC	7941 N 55TH ST PARADISE VALLEY 85253	6001 N DYSART RD LITCHFIELD PARK AZ 85340	6001 N DYSART RD	LITCHFIELD PARK	AZ	85340	7941	N	55TH
168-06-101	PHOENIX ASSETS LLC	7929 N 55TH ST PARADISE VALLEY 85253	1450 WYNKOOP ST APT 1F DENVER CO 80202	1450 WYNKOOP ST APT 1F	DENVER	CO	80202	7929	N	55TH
168-06-102	MUMMY MOUNTAIN PRESERVE TRUST	7919 N 55TH ST PARADISE VALLEY 85253	6401 E LINCOLN DR PARADISE VALLEY AZ 85253	6401 E LINCOLN DR	PARADISE VALLEY	AZ	85253	7919	N	55TH

PHYSICAL_STREET_TYPE	PHYSICAL_CITY	PHYSICAL_ZIP	Latitude	Longitude	DEED_NUMBER	DEED_CENT	DEED_DATE	SALE_DATE	SALE_PRICE	MCRNUM	Book	Page	SUBNAME	LAND_SIZE	LOT_NUM	STR	CONST_YEAR	LIVING_SPACE	INCAREOF
RD	PARADISE VALLEY	85253	33.55747666371770	-111.9511175872440	120225168	20	03/18/2012			882-47	882	47	COCONINO ESTATES		0	2	33 3N 4E	2016	0
LN	PARADISE VALLEY	85253	33.55833733205400	-111.95277790799400	980710997	19	08/12/1998								0		33 3N 4E	1991	0
RD	PARADISE VALLEY	85253	33.55751172233610	-111.95276835500500	80132333	20	02/13/2008		2,000,000						0		33 3N 4E	1993	0
LN	PARADISE VALLEY	85253	33.557933303218800	-111.9550966911490	110229998	20	03/15/2011								0		33 3N 4E	2011	0
LN	PARADISE VALLEY	85253	33.559390407865500	-111.95479428533400	90604776	20	06/30/2009			266-34	266	34	CHENEY RANCH ESTATES UNIT 2		0	9	33 3N 4E	1988	0
LN	PARADISE VALLEY	85253	33.55935143035590	-111.95421724110200	60678261	20	05/17/2006			266-34	266	34	CHENEY RANCH ESTATES UNIT 2		0	10	33 3N 4E	1977	0
LN	PARADISE VALLEY	85253	33.559317517900700	-111.95345292359000	200963041	20	10/07/2020	09/1/2020	2,075,000	266-34	266	34	CHENEY RANCH ESTATES UNIT 2		0	11	33 3N 4E	1988	0
PL	PARADISE VALLEY	85253	33.55939132597290	-111.9555277245900	111066289	20	12/27/2011			473-04	473	4	MOCKINGBIRD WEST LOT 1,2 & 3 REPLAT		0	1	33 3N 4E	2000	0
LN	PARADISE VALLEY	85253	33.55987006184590	-111.95781011802800	201050668	20	10/29/2020	10/1/2020	3,600,000	49-40	49	40	MUMMY MOUNTAIN ESTATES 9-16		0	2	33 3N 4E	1996	0
LN	PARADISE VALLEY	85253	33.55989741392780	-111.95890437453300	120239120	20	03/22/2012	03/1/2012	10,500,000	49-40	49	40	MUMMY MOUNTAIN ESTATES 9-16		0	3	33 3N 4E	2009	0
LN	PARADISE VALLEY	85253	33.55802818331360	-111.95999935120600	920307494	19	06/04/1992			49-40	49	40	MUMMY MOUNTAIN ESTATES 9-16		0	5	33 3N 4E	1982	0
LN	PARADISE VALLEY	85253	33.55804533052770	-111.95893473448300	200330912	20	04/16/2020	04/1/2020	4,988,000	49-40	49	40	MUMMY MOUNTAIN ESTATES 9-16		0	6	33 3N 4E	1971	0
LN	PARADISE VALLEY	85253	33.558021983161100	-111.95775124093000	150350875	20	05/18/2015			49-40	49	40	MUMMY MOUNTAIN ESTATES 9-16		0	7	33 3N 4E	1976	0
LN	PARADISE VALLEY	85253	33.55796596132120	-111.95668976966100	140229141	20	04/08/2014	04/1/2014	5,500,000	49-40	49	40	MUMMY MOUNTAIN ESTATES 9-16		0	8	33 3N 4E	1997	0
LN	PARADISE VALLEY	85253	33.559841375934000	-111.95771440069400	140795906	20	12/02/2014			1209-14	1209	14	MUMMY MOUNTAIN ESTATES 2		0	1	33 3N 4E		
			33.5573661789562	-111.96229070692900	50857366	20	06/22/2005								0		32 3N 4E		
RD	PARADISE VALLEY	85253	33.55794898472940	-111.96107495996600	20751021	20	07/23/2002			75-27	75	27	TURQUOISE HILLS		0	32	32 3N 4E	1971	0
RD	PARADISE VALLEY	85253	33.556227897754900	-111.95666752596800	190151803	20	03/04/2019	01/1/2019	7,300,000	49-40	49	40	MUMMY MOUNTAIN ESTATES 9-16		0	9	33 3N 4E	2006	0
RD	PARADISE VALLEY	85253	33.55624806619240	-111.95773241770800	100410654	20	05/13/2010	05/1/2010	4,050,000	49-40	49	40	MUMMY MOUNTAIN ESTATES 9-16		0	10	33 3N 4E	1962	0
RD	PARADISE VALLEY	85253	33.55620535939970	-111.95892204149400	120282066	20	04/03/2012			49-40	49	40	MUMMY MOUNTAIN ESTATES 9-16		0	11	33 3N 4E	1996	0
LN	PARADISE VALLEY	85253	33.55626876559000	-111.95999353068700	20439225	20	04/28/2002	04/1/2002		49-40	49	40	MUMMY MOUNTAIN ESTATES 9-16		0	12	33 3N 4E		AIS
			33.554415462028500	-111.95776093665700	170325246	20	05/03/2017			49-40	49	40	MUMMY MOUNTAIN ESTATES 9-16		0	15	33 3N 4E		
RD	PARADISE VALLEY	85253	33.55445042217820	-111.95665162334600	200608075	20	07/07/2020	07/1/2020	3,400,000	49-40	49	40	MUMMY MOUNTAIN ESTATES 9-16		0	16	33 3N 4E	1972	0
RD	PARADISE VALLEY	85253	33.55439446206880	-111.95891368929400	121161043	20	12/19/2012		2,800,000	396-25	396	25	VAN ARSDALE ESTATES		0	1	33 3N 4E	1998	0
RD	PARADISE VALLEY	85253	33.554503056111900	-111.95988227406300	120332683	20	04/19/2012			396-25	396	25	VAN ARSDALE ESTATES		0	2	33 3N 4E		JAMIE L MIDDLETON
RD	PARADISE VALLEY	85253	33.55575606934660	-111.95273384167400	121191404	20	12/30/2012								0		33 3N 4E	1991	0
RD	PARADISE VALLEY	85253	33.554862780373	-111.95268958911500	15425-1251	19	08/03/1981								0		33 3N 4E	2002	0
RD	PARADISE VALLEY	85253	33.55400213898740	-111.95504060397300	880331522	19	07/06/1988								0		33 3N 4E	1971	0
RD	PARADISE VALLEY	85253	33.55488636124400	-111.9550473798190	200742288	20	08/12/2020								0		33 3N 4E	1999	0
RD	PARADISE VALLEY	85253	33.555775897363200	-111.9549283886600	51396336	20	09/20/2005								0		33 3N 4E	2004	0
RD	PARADISE VALLEY	85253	33.55661673011280	-111.95518884742900	130334604	20	04/11/2013	02/1/2013	5,950,000						0		33 3N 4E	1971	0
RD	PARADISE VALLEY	85253	33.5566344360876	-111.95275511436400	130991751	20	11/17/2013		2,625,000						0		33 3N 4E	1992	0
DR	PARADISE VALLEY	85253	33.55393203870840	-111.952596557009	40841559	20	07/21/2004			194-15	194	15	MORTON MESA		0	2	33 3N 4E	1979	0
DR	PARADISE VALLEY	85253	33.553935910168200	-111.95195552744300	200099954	20	02/04/2020			194-15	194	15	MORTON MESA		0	3	33 3N 4E	1979	0
RD	PARADISE VALLEY	85253	33.55442313901850	-111.95304436667400	170505381	20	07/10/2017			194-15	194	15	MORTON MESA		0		33 3N 4E		RODRIGUEZ FRANCISCO N S/DAWN TR
RD	PARADISE VALLEY	85253	33.55575087831180	-111.95070507199000	11040267	20	11/06/2001								0		33 3N 4E	1990	0
RD	PARADISE VALLEY	85253	33.55399571310720	-111.9506406000880	180420748	20	05/31/2018								0		33 3N 4E	1974	0
DR	PARADISE VALLEY	85253	33.55219408841170	-111.9511372912090	160828024	20	11/08/2016			57-01	57	1	MUMJY MT PARK LOTS 1-13, 41-73 & TR B		0	65	4 2N 4E		
DR	PARADISE VALLEY	85253	33.552096927381300	-111.95202228406100	170480158	20	06/29/2017	05/1/2017	1,694,620	57-01	57	1	MUMJY MT PARK LOTS 1-13, 41-73 & TR B		0	66	4 2N 4E	1978	0
RD	PARADISE VALLEY	85253	33.55211081949440	-111.95277872920900	200060082	20	01/22/2020	01/1/2020	3,380,000	57-01	57	1	MUMJY MT PARK LOTS 1-13, 41-73 & TR B		0	67	4 2N 4E	1990	0
DR	PARADISE VALLEY	85253	33.55228513578540	-111.95342714964500	180479397	20	06/21/2018	05/1/2018	4,740,000	57-01	57	1	MUMJY MT PARK LOTS 1-13, 41-73 & TR B		0	68	4 2N 4E	2005	0
DR	PARADISE VALLEY	85253	33.553176743540300	-111.9524419263290	180097118	20	02/07/2018	01/1/2018		57-01	57	1	MUMJY MT PARK LOTS 1-13, 41-73 & TR B		0	74	4 2N 4E		
DR	PARADISE VALLEY	85253	33.553232371727260	-111.95326690357100	170159092	20	03/05/2017	03/1/2017	1,164,000	57-01	57	1	MUMJY MT PARK LOTS 1-13, 41-73 & TR B		0	75	4 2N 4E	1964	0
DR	PARADISE VALLEY	85253	33.55266672088340	-111.95411993986000	180306882	20	04/23/2018	02/1/2018	2,300,000	57-01	57	1	MUMJY MT PARK LOTS 1-13, 41-73 & TR B		0	77	4 2N 4E	2000	0
DR	PARADISE VALLEY	85253	33.553026552370200	-111.9552925214750	61368200	20	10/16/2006	10/1/2006	5,000,000	57-01	57	1	MUMJY MT PARK LOTS 1-13, 41-73 & TR B		0	78	4 2N 4E	2000	0
DR	PARADISE VALLEY	85253	33.55355409110710	-111.95644968952100	170325244	20	05/03/2017			57-01	57	1	MUMJY MT PARK LOTS 1-13, 41-73 & TR B	550	0	79	4 2N 4E		
DR	PARADISE VALLEY	85253	33.55318101233470	-111.95617654218700	160781723	20	10/24/2016			57-01	57	1	MUMJY MT PARK LOTS 1-13, 41-73 & TR B		0	79	4 2N 4E	2001	0
RD	PARADISE VALLEY	85253	33.551607255097000	-111.95385065583400	51793757	20	11/27/2005			57-01	57	1	MUMJY MT PARK LOTS 1-13, 41-73 & TR B		0	87	4 2N 4E	1977	0
DR	PARADISE VALLEY	85253	33.55179404272780	-111.95463971539900	180457306	20	06/14/2018			57-01	57	1	MUMJY MT PARK LOTS 1-13, 41-73 & TR B		0	88	4 2N 4E		
DR	PARADISE VALLEY	85253	33.551894651256200	-111.95541574703500	110617102	20	07/25/2011	06/1/2010	3,000,000	57-01	57	1	MUMJY MT PARK LOTS 1-13, 41-73 & TR B		0	89	4 2N 4E	2007	0
DR	PARADISE VALLEY	85253	33.55093451848880	-111.95393374731500	140266537	20	04/23/2014			57-01	57	1	MUMJY MT PARK LOTS 1-13, 41-73 & TR B		0	91	4 2N 4E	2009	0
DR	PARADISE VALLEY	85253	33.55317079090910	-111.9570068222780	970251956	19	04/16/1997			430-38	430	38	RUSKIN ESTATES 2		0	80	4 2N 4E	1999	0
DR	PARADISE VALLEY	85253	33.549489776956000	-111.95495811286400	31418423	20	10/08/2003			655-36	655	36	MUMMY MOUNTAIN PARK LOT LINE ADJUSTMENT		0	84	4 2N 4E		
DR	PARADISE VALLEY	85253	33.551623158886100	-111.95796923319900	170294730	20	04/24/2017	02/1/2017	5,850,000	886-47	886	47	MUMMY MOUNTAIN NORTE		0	3	4 2N 4E	1997	0
			33.55067247231140	-111.95885420666400	200364141	20	04/27/2020			886-47	886	47	MUMMY MOUNTAIN NORTE		0	4	4 2N 4E		
ST	PARADISE VALLEY	85253	33.55332077729020	-111.96234976760800	60526505	20	04/19/2006			174-26	174	26	EL DORADO ESTATES		0	25	5 2N 4E		
ST	PARADISE VALLEY	85253	33.55286403222320	-111.96235348657100	190434295	20	06/10/2019	06/1/2019	2,525,000	660-06	660	6	EL DORADO ESTATES 1		0	1	5 2N 4E	2000	0
ST	PARADISE VALLEY	85253	33.552335910376900	-111.9625382174460	31683138	20	12/11/2003			660-06	660	6	EL DORADO ESTATES 1		0	2	5 2N 4E		PURDOM C THOMAS JR TRUSTEE

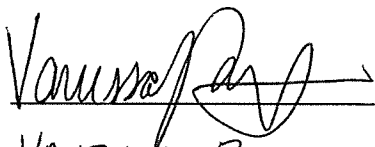
TAX_YR_CUR	FCV_CUR	LPV_CUR	TAX_YR_PREV	FCV_PREV	LPV_PREV	LC_CUR	LC_PREV	PUC	JURISDICTION	CITY_ZONING	FLOOR	APN
2021	4,110,200	3,272,599	2020	4,211,000	3,116,761	4.1	4.1	161	PARADISE VALLEY	R-43		1
2021	2,046,300	1,952,431	2020	2,235,000	1,859,458	3.1	3.1	171	PARADISE VALLEY	R-43		1
2021	2,535,600	2,535,600	2020	2,688,300	2,688,300	3.1	3.1	171	PARADISE VALLEY	R-43		1
2021	4,540,000	4,472,265	2020	4,259,300	4,259,300	4.1	4.1	8721	PARADISE VALLEY	R-175		1
2021	1,670,800	1,398,602	2020	1,517,600	1,332,002	3.1	3.1	161	PARADISE VALLEY	R-43		1
2021	1,384,100	1,189,844	2020	1,296,500	1,133,185	3.1	3.1	161	PARADISE VALLEY	R-43		1
2021	1,701,800	1,365,478	2020	1,546,200	1,300,455	4.1	3.1	161	PARADISE VALLEY	R-43		1
2021	5,166,300	3,191,560	2020	4,281,100	3,039,581	3.1	3.1	171	PARADISE VALLEY	R-43		1
2021	2,037,800	2,037,800	2020	1,990,600	1,990,600	3.1	3.1	151	PARADISE VALLEY	R-43		1
2021	7,922,800	7,911,015	2020	7,534,300	7,534,300	4.1	4.1	171	PARADISE VALLEY	R-43		1
2021	4,402,600	4,402,600	2020	4,531,800	4,531,800	3.1	3.1	161	PARADISE VALLEY	R-43		1
2021	2,231,300	2,231,300	2020	2,271,500	2,271,500	3.1	3.1	171	PARADISE VALLEY	R-43		1
2021	1,628,800	1,628,800	2020	1,706,100	1,706,100	3.1	3.1	161	PARADISE VALLEY	R-43		1
2021	4,097,400	4,097,400	2020	4,241,600	4,241,600	4.1	4.1	171	PARADISE VALLEY	R-43		1
2021	3,018,400	1,799,320	2020	3,018,400	1,713,638	2.R	2.R	11	PARADISE VALLEY	R-43		1
2021	1,024,000	382,885	2020	1,181,000	364,652	2.R	2.R	11	PARADISE VALLEY	R-43		1
2021	1,071,200	812,183	2020	1,029,000	773,508	3.1	3.1	141	PARADISE VALLEY	R-43		1
2021	8,802,200	8,802,200	2020	9,582,100	8,890,229	3.2	3.2	171	PARADISE VALLEY	R-43		1
2021	2,276,200	2,276,200	2020	2,337,100	2,337,100	3.1	3.1	171	PARADISE VALLEY	R-175		1
2021	2,468,600	2,339,576	2020	2,446,100	2,228,168	3.1	3.1	161	PARADISE VALLEY	R-175		1
2021	2,625,000	1,780,082	2020	2,853,800	1,695,316	2.R	2.R	11	PARADISE VALLEY	R-43		1
2021	2,766,400	1,971,912	2020	2,909,400	1,878,011	2.R	2.R	11	PARADISE VALLEY	R-175		1
2021	1,740,500	1,740,500	2020	1,775,600	1,775,600	4.1	4.1	161	PARADISE VALLEY	R-175		1
2021	3,170,000	2,894,168	2020	3,085,100	2,756,350	3.1	3.1	8710	PARADISE VALLEY	R-43		1
2021	1,459,200	1,307,901	2020	1,962,400	1,245,620	2.R	2.R	11	PARADISE VALLEY	R-43		1
2021	2,715,800	2,715,800	2020	2,777,500	2,777,500	4.1	4.1	171	PARADISE VALLEY	R-43		1
2021	2,796,300	2,796,300	2020	2,857,600	2,857,600	4.1	4.1	161	PARADISE VALLEY	R-43		1
2021	3,136,500	3,136,500	2020	3,144,000	3,144,000	3.1	3.1	161	PARADISE VALLEY	R-175		1
2021	3,105,100	3,105,100	2020	3,166,800	3,166,800	4.1	4.1	171	PARADISE VALLEY	R-175		1
2021	4,780,800	4,045,495	2020	4,546,000	3,852,852	3.1	3.1	171	PARADISE VALLEY	R-175		1
2021	842,100	842,100	2020	881,100	881,100	4.2	4.2	142	PARADISE VALLEY	R-43		1
2021	3,720,700	3,720,700	2020	3,996,100	3,996,100	3.1	3.1	171	PARADISE VALLEY	R-43		1
2021	845,800	845,800	2020	938,500	938,500	3.1	3.1	151	PARADISE VALLEY	R-43		1
2021	1,449,600	1,449,600	2020	1,529,800	1,529,800	4.1	4.1	161	PARADISE VALLEY	R-43		1
2021	500	500	2020	500	500	4.8	4.8	282	PARADISE VALLEY	R-43		1
2021	4,892,300	4,292,714	2020	4,597,200	4,088,299	M	M	8772	PARADISE VALLEY	R-43		1
2021	2,257,600	2,257,600	2020	2,392,600	2,392,600	3.1	3.1	171	PARADISE VALLEY	R-43		1
2021	1,267,300	1,033,938	2020	1,184,400	984,703	2.R	2.R	12	PARADISE VALLEY	R-43		1
2021	1,628,800	1,624,779	2020	1,740,800	1,547,409	4.1	4.1	151	PARADISE VALLEY	R-43		1
2021	2,886,500	2,510,549	2020	2,890,800	2,390,999	3.1	3.1	151	PARADISE VALLEY	R-43		1
2021	3,615,300	3,450,274	2020	3,808,300	3,285,975	3.1	3.1	171	PARADISE VALLEY	R-43		1
2021	1,135,300	645,624	2020	1,051,900	614,880	2.R	2.R	11	PARADISE VALLEY	R-43		1
2021	1,384,000	1,384,000	2020	1,546,600	1,533,840	3.1	3.1	141	PARADISE VALLEY	R-43		1
2021	2,549,700	2,167,515	2020	2,436,200	2,064,300	3.1	3.1	151	PARADISE VALLEY	R-43		1
2021	3,927,200	3,223,008	2020	3,971,200	3,069,531	4.1	4.1	161	PARADISE VALLEY	R-43		1
2021	800	800	2020	800	800	3.1	3.1	197	PARADISE VALLEY	R-43		1
2021	3,524,300	3,375,083	2020	3,565,700	3,214,365	3.1	3.1	161	PARADISE VALLEY	R-43		1
2021	1,679,800	1,527,478	2020	1,719,300	1,454,741	3.1	3.1	151	PARADISE VALLEY	R-43		1
2021	1,271,700	1,037,034	2020	1,188,700	987,651	2.R	2.R	12	PARADISE VALLEY	R-43		1
2021	3,246,300	3,031,655	2020	3,225,100	2,887,290	3.1	3.1	161	PARADISE VALLEY	R-43		1
2021	3,000,000	3,000,000	2020	3,454,700	3,017,052	3.1	3.1	161	PARADISE VALLEY	R-43		1
2021	3,919,000	3,846,309	2020	3,866,600	3,663,151	3.1	3.1	161	PARADISE VALLEY	R-43		1
2021	1,303,600	1,080,655	2020	1,737,700	1,029,195	2.R	2.R	11	PARADISE VALLEY	R-43		1
2021	5,940,000	5,228,963	2020	5,776,600	4,979,965	M	M	8710	PARADISE VALLEY	R-43		1
2021	3,073,900	3,073,900	2020	3,418,300	3,086,041	2.R	2.R	11	PARADISE VALLEY	R-43		1
2021	713,600	656,272	2020	756,900	625,021	2.R	2.R	11	PARADISE VALLEY	R-43		1
2021	1,985,500	1,985,500	2020	2,020,800	2,020,800	4.1	4.1	161	PARADISE VALLEY	R-43		1
2021	862,300	833,495	2020	981,300	793,805	2.R	2.R	9100	PARADISE VALLEY	R-43		1

AFFIDAVIT

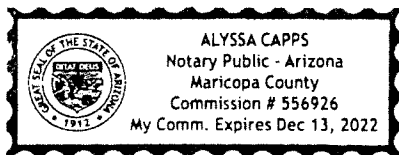
STATE OF ARIZONA)
) ss:
County of Maricopa)

In accordance with the requirements of the Town of Paradise Valley, the undersigned hereby certifies that all the property owners within 1500 feet of the property, as obtained from the Maricopa County Assessor's Office on Dec. 21st, for the proposed rezoning, subdivision, lot split, lot line adjustment, or other permit approval has been mailed on Dec. 23rd 2020

(This property list shall not be older than thirty (30) days at the time of filing of the application).


VANESSA RIEF

The foregoing instrument was acknowledged by me this 23rd day of December, 2020, by Alyssa Capps.



PC


NOTARY PUBLIC

My commission expires:

Dec. 13, 2020



October 15, 2020

Attn: Hugo Vasquez
Town of Paradise Valley
Hillside Development Administrator
6401 E Lincoln Drive
Paradise Valley, AZ 85253

Subject: 8020 N Mummy Mountain Rd Conceptual Hillside Review written project narrative.

Dear Hugo

This letter serves as the written project narrative describing the scope of work for the address above. There is an existing residence and guesthouse that will be demolished and, in its place, will be built a 2-story single family residence with a negative edge pool and spa. This residence will be contemporary in style and the material pallet will consist of flat roofs, large expanses of glass with wood and tile veneer massing.

If you have any questions, please call me at 480-329-7504 or email me at rob@drewettworks.com

Sincerely,
Rob Banach



Action Report

File #: 21-010

To: Hillside Building Committee

From: Hugo Vasquez; Hillside Development Administrator

Date: January 13th, 2021

Subject: Concept Review for a new single family residence at 8020 N Mummy Mountain Road (APN 168-77-008).

Narrative: The proposed project shall demolish the existing residence and construct a new single family residence. The new project has an application date of October 15th, 2020 and will be reviewed under the 2018 Hillside Development Regulations.

Lot Data		
1.	Area of Lot	5.056 ac or 220,257 ft ²
2.	Area Under Roof	20,559 ft ²
3.	Floor Area Ratio	9.33%
4.	Building Site Slope	9.70%
5.	Allowable Disturbed Area	132,154 ft ² (60.00%)
6.	Existing Gross Disturbed Area	104,389 ft ² (47.39%)
7.	Proposed Net Disturbed Area	86,717 ft ² (39.37%)
8.	Maximum Building Height	To Be Determined
9.	Overall Height	To Be Determined
10.	Volume of Cut/Fill	To Be Determined
11.	Hillside Assurance	To Be Determined

Background

The property contains an existing single family residence constructed in 1972.

Single Family Residence

The new project shall construct a new single family residence with an approximate total of 10,000 ft² of livable area.

Guesthouse

An attached guesthouse is proposed.

Driveway

No driveway details have been provided at this point.

Pool

No pool details have been provided at this proposed.

Materials

No proposed material details have been provided at this point.

Landscaping

No proposed landscaping details have been provided at this point.

Land Disturbance

A gross disturbed area of 47.39% (104,389 ft²) currently exists on the lot and the building pad slope of 9.70% allows a disturbance of 60.00% (132,154 ft²) the lot. The applicant has proposed a net disturbed area of approximately 39.37% (86,717 ft²), which is less than the allowable disturbance.

Grading and Drainage

A preliminary grading and drainage plan has been provided. The proposed construction of the property shall be required properly retain the "pre vs post" storm water volumes for the 100-year, 2-hour rainfall event. Basis are proposed for onsite storm water storage.

Sewer

Public sewer is available along N Mummy Mountain Road. The applicant shall be required to extend the sewer if costs to extend the sewer are within 10% of the total building permit valuations.

Hillside Safety Improvement Plan

The Applicant shall submit a Hillside Safety Improvement Plan in accordance with the Hillside Safety Improvement Measures and Process Manual per Section 5-10-9 of the Town Code.

The Hillside Building Committee Formal Review Meeting shall not be scheduled until the Town Engineer and/or Technical Advisory Board are satisfied with the Applicant's Registered Professional Engineer sealed reports comprising the Safety Improvement Plan and the Formal Hillside Plans. The Safety Improvement Plan shall remain the responsibility of the Applicant and have the seal of the Applicant's Engineer who shall be liable for any failures.

Conceptual Plan Review

The purpose of the Conceptual Plan Review Meeting is to discuss, review, and give suggestions and guidance to the applicant. A detailed set of plans will be submitted for formal review in accordance with Section 2206.I. The following criteria are sections of the Hillside Building Code that govern the conceptual review:

- **Section 2205.III - Concept Plan Review Meeting:**
The Applicant, along with their architect and engineer shall submit a completed application and the required fees, to the Town Engineer, at the time they request a concept plan review meeting (pre-hillside meeting) with the Hillside Building Committee. The purpose of this meeting is to discuss, review, and give suggestions and guidance to the Applicant regarding the proposed development including: the location of the building pad and accessory uses; how these relate to Significant Natural Features; the preservation of existing vegetation; grading concepts and their adaptation to the natural hillside topography; and how the requirements pursuant to these hillside regulations and purpose statement will guide the proposed Development.
- **Section 2206.II - Concept Plan Review Meeting.**
The applicant shall submit the following:
 - A. Seven (7) copies of a preliminary site plan that includes, but is not limited to, the building footprint, driveway, swimming pool, and accessory use locations along with topographic information for the lot.
 - B. A 3-dimensional representation of the general massing of all proposed structures (e.g. a mass model, a 3-D rendering or a computer-generated model in relation to topography - not a detail model).

- C. A recent aerial photo of the site (less than 1 year old), with topography, lot lines, and the building footprint superimposed on it, and identification of significant natural features as well as adjacent lots and structures within 100 feet of the perimeter of the subject property (min. 24"X 36"), and the location of the driveway access in relation to the nearest roadway.

- D. Preliminary calculations on land disturbance and cut and fill methods.

ABBREVIATIONS

ABC	AGGREGATE BASE COURSE
A.F.F.	ABOVE FINISHED FLOOR
C.I.	CAST IRON
C.M.U.	CONCRETE MASONRY UNIT
DW	DISHWASHER
F.O.P.	FACE OF POST
F.O.S.	FACE OF STUD
F.F.	FINISHED FLOOR
FG	FIBER GLASS
FLUOR.	FLUORESCENT (LIGHT FIXTURE)
F.V.	FIELD VERIFY
GSM	GALVANIZED SHEET METAL
GFI	GROUND FAULT CIRCUIT
GYP. BRD.	GYPSUM BOARD
I.B.C.	INTERNATIONAL BUILDING CODE
I.C.C.	INTERNATIONAL CODE COUNCIL
I.F.C.	INTERNATIONAL FIRE CODE
I.M.C.	INTERNATIONAL MECHANICAL CODE
I.P.C.	INTERNATIONAL PLUMBING CODE
I.R.C.	INTERNATIONAL RESIDENTIAL CODE
MFR.	MANUFACTURER
MICRO	MICROWAVE OVEN
N.E.C.	NATIONAL ELECTRIC CODE
N.T.S.	NOT TO SCALE
O.A.	OVER ALL
O.C.	ON CENTER
P.E.N.	PERIMETER EDGE NAILING
PTDF	PRESSURE TREATED DOUGLAS FIR
P.L.F.	PER LINEAR FOOT
REF	REFRIGERATOR
R	RISER (6 16R-16 RISERS)
SPECS.	SPECIFICATIONS
SS	STAINLESS STEEL
TEMP.	TEMPERED GLASS
TC	TRASH COMPACTOR
TYP.	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
WC	WATER CLOSET
WP	WATER PROOF
WI	WROUGHT IRON
WWF	WELDED WIRE FABRIC

GENERAL NOTES

01. BUILDING CODE DESIGN DATA - ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING CODES AND AMMENDMENTS PER THEIR ADOPTING ORDINANCES.
- 2015 INTERNATIONAL BUILDING CODE (ORD. #4059)
2015 INTERNATIONAL RESIDENTIAL CODE (ORD. #4060)
2015 INTERNATIONAL FIRE CODE (ORD. #4045)
2015 INTERNATIONAL PLUMBING CODE (ORD. #4061)
2015 INTERNATIONAL MECHANICAL CODE (ORD. #4062)
2014 NATIONAL ELECTRICAL CODE (ORD. #4064)
2015 INTERNATIONAL ENERGY CONSERVATION CODE
2015 INTERNATIONAL FUEL GAS CODE
02. CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA - TABLE R301.2 (1) AMENDED

ROOF SNOW LOAD	WIND CATEGORY 1 ⁹	SEISMIC DESIGN CATEGORY 1 ⁹	SUBJECT TO DAMAGE FROM WEATHERING	FROST LINE	TERMINATE	DECAY	FLOOD HAZARDS
0	WIND (MPH)	WEATHERING	FROST LINE	TERMINATE	DECAY		
0	115 EXPOSURE B C	NEGIGABLE	FINAL GRADE	MODERATE	NONE TO SLIGHT	34 DEGREES	

03. DRAWINGS MAY NOT BE SCALED. ALL DIMENSIONS RELATED TO DETAILS NOT SPECIFICALLY SHOWN, SHALL BE OF THE SAME MATERIAL AS OTHER SIMILAR CONDITIONS. VERIFY ALL DIMENSIONS PRIOR TO STARTING WORK.
04. THE CONTRACTOR SHALL NOTIFY DREWETT WORKS OF ANY DISCREPANCIES ON DRAWINGS. REQUIRING CLARIFICATION OR REVISIONS PRIOR TO COMMENCING WITH WORK.
05. ALL CHIMNEYS SHALL HAVE APPROVED SPARK ARRESTORS.
06. ANY ENGINEERING DESIGN PROVIDED BY OTHERS AND SUBMITTED FOR REVIEW, SHALL BEAR THE SEAL AND SIGNATURE OF AN ENGINEER REGISTERED IN ARIZONA.
07. FINISH FLOOR ELEVATION (AS BUILT) SHALL BE CERTIFIED BY THE CITY FOR THE FEDERAL EMERGENCY MANAGEMENT ASSOCIATION WHERE REQUIRED.
08. OPTIONS ARE FOR THE CONTRACTORS CONVENIENCE. HE SHALL BE RESPONSIBLE FOR ALL CHANGES NECESSARY IF HE CHOOSES AN OPTION AND SHALL COORDINATE ALL DETAILS. THE COST OF ADDITIONAL DESIGN WORK NECESSITATED BY SELECTION OF AN OPTION SHALL BE BORNE BY THE CONTRACTOR.
09. THE COST OF ADDITIONAL DESIGN WORK DUE TO ERRORS OR OMISSIONS IN CONSTRUCTION SHALL BE INCURRED BY THE CONTRACTOR.
10. DETAILS ON THE STRUCTURAL DRAWINGS ARE TYPICAL. VERIFY ALL DIMENSIONS WITH THE DESIGNER'S DRAWINGS. NO STRUCTURAL CHANGES FROM THE APPROVED PLANS SHALL BE MADE IN THE FIELD, UNLESS PRIOR TO MAKING CHANGES. WRITTEN APPROVAL IS OBTAINED FROM THE ENGINEER. IF CHANGES ARE MADE WITHOUT APPROVAL, SUCH CHANGES SHALL BE THE LEGAL AND FINANCIAL RESPONSIBILITY OF THE CONTRACTOR OR SUBCONTRACTOR INVOLVED AND IT SHALL BE THEIR RESPONSIBILITY TO RE-MAKE OR REPAIR PER ENGINEER.

FIRE SPRINKLERS

01. PROVIDE AUTOMATIC FIRE SPRINKLER SYSTEM PER 2015 IFC SEC. 903.
02. A 1" WATER METER IS ADEQUATE FOR THE RESIDENTIAL FIRE SPRINKLER SYSTEM.
03. A "CONCEALED" FIRE SPRINKLER TO BE SPECIFIED, VERIFY WITH OWNER.
04. DEFERRED SUBMITTAL.

PERSPECTIVE VIEW



*RENDERING REPRESENTS AN ARCHITECTURAL CONCEPT AND IS INTENDED AS AN ILLUSTRATIVE EXAMPLE ONLY. FINAL DESIGN, CONSTRUCTION AND MATERIALS, INCLUDING LANDSCAPE, MAY VARY.

SHEET INDEX

Sheet Number	Sheet Name
DR200	COVER SHEET
DR201	SITE PLAN OVERALL
DR202	ENLARGED SITE PLAN
DR203	CANTILEVER EXHIBIT
DR204	SITE CONTEXT
DR205	FLOOR PLAN - MAIN
DR206	FLOOR PLAN - LOWER
DR208	CONCEPTUAL MASSING

SQUARE FOOTAGES

MAIN LEVEL LIVABLE	797 SF
LOWER LEVEL LIVABLE	82 SF
LOWER LEVEL LIVABLE	439 SF
LOWER LEVEL LIVABLE	3331 SF
MAIN LEVEL LIVABLE	5424 SF
MAIN LEVEL COVERED	1107 SF
MAIN LEVEL COVERED	3507 SF
MAIN LEVEL COVERED	11300 SF
MAIN LEVEL NONLIVABLE	1385 SF
LOWER LEVEL NONLIVABLE	95 SF
LOWER LEVEL NONLIVABLE	2246 SF
LOWER LEVEL NONLIVABLE	74 SF
LOWER LEVEL NONLIVABLE	3800 SF
TOTAL SF	25173 SF

LOWER LEVEL LIVABLE	F.A.R. SQUARE FOOTAGES	3851 SF
LOWER LEVEL COVERED		6686 SF
LOWER LEVEL NONLIVABLE		2415 SF
MAIN LEVEL LIVABLE		6222 SF
MAIN LEVEL NONLIVABLE		1385 SF
TOTAL SF		20559 SF

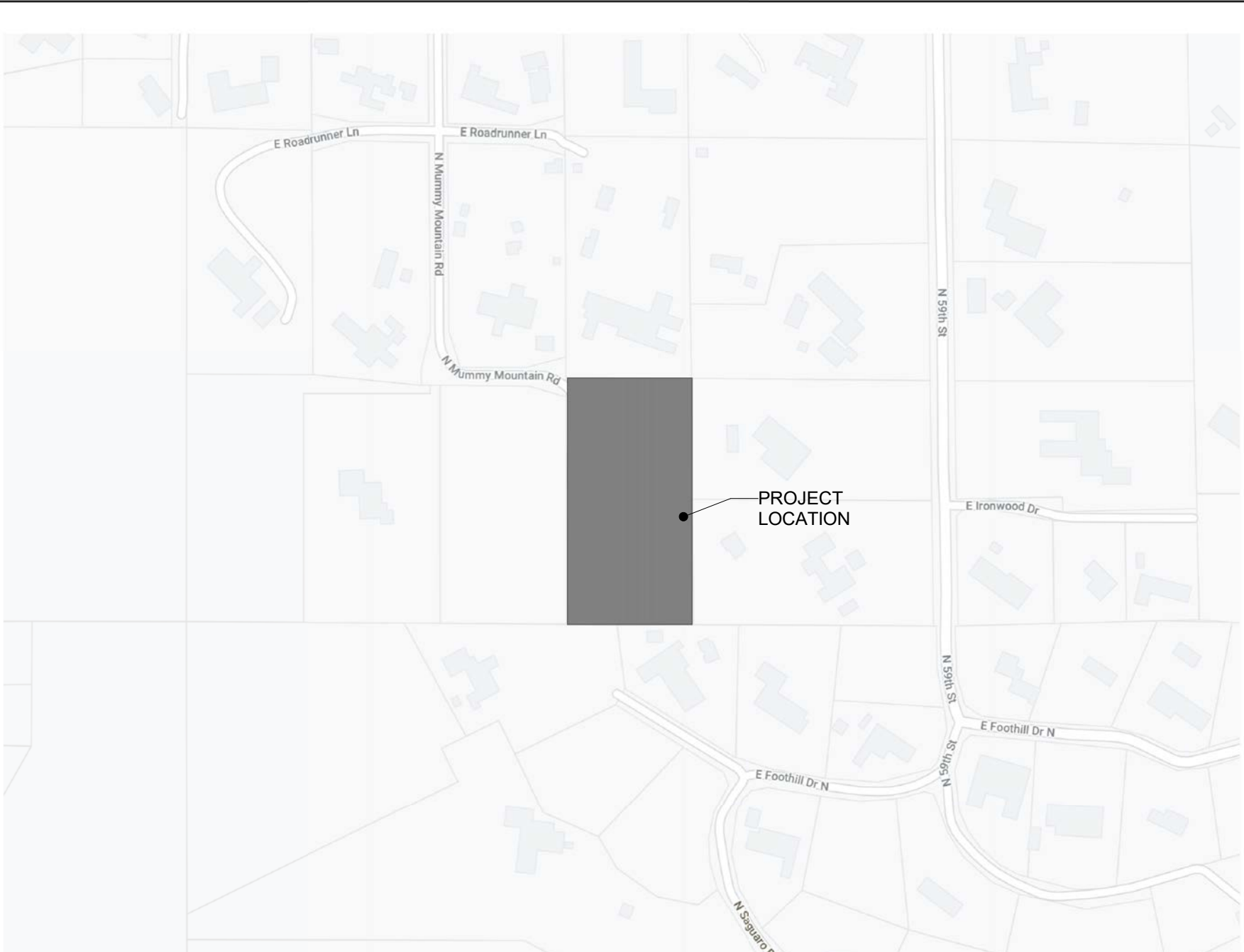
F.A.R. CALCULATIONS

NET LOT AREA	220,257 SF
PROPOSED LOT COVERAGE	20,559 SF
ALLOWABLE FAR	25%
PROPOSED FAR	9.33%

DISTURBED AREA CALCULATIONS

AREA OF LOT:	220,257 SF (5.056 AC.)
AREA COUNTING TOWARDS F.A.R.	20,559 SF
FLOOR AREA RATIO:	9.33% < 25%
BUILDING PAD SLOPE:	35 FT VERTICAL, 360.3 FT HORIZONTAL
ALLOWABLE DISTURBED AREA:	132,154 SF (60%)
EXISTING DISTURBED AREA:	104,369 SF
GROSS PROPOSED DISTURBED AREA	22,733 SF
LESS TEMP. AREAS OF DISTURBANCE TO BE RESTORED AND REVEGETATED	25,687 SF
LESS 50% OF NEW DRIVEWAY	7,903 SF
LESS BUILDING FOOTPRINT AREA	7,455 SF
NET PROPOSED DISTURBED AREA	86,717 SF
VOLUME OF CUT:	9,796 CY
VOLUME OF FILL:	1,159 CY

VICINITY MAP



POOLS, SPA'S & HOT TUBS

SWIMMING POOL IS DEFINED AS ANY CONTAINED BODY OF WATER 18 INCHES (457 MM) AT ANY POINT. THIS INCLUDES IN-GROUND, ABOVE GROUND AND ON-GROUND SWIMMING POOLS AND HOT TUBS AND SPAS.

BARRIER REQUIREMENTS

THE PROVISIONS OF THIS CHAPTER SHALL CONTROL THE DESIGN OF BARRIERS FOR RESIDENTIAL SWIMMING POOLS, SPAS AND HOT TUBS. THESE DESIGN CONTROLS ARE INTENDED TO PROVIDE PROTECTION AGAINST POTENTIAL DROWNINGS AND NEAR DROWNINGS BY RESTRICTING ACCESS TO SWIMMING POOLS, SPAS AND HOT TUBS.

AN OUTDOOR SWIMMING POOL, INCLUDING AN IN-GROUND, ABOVE-GROUND OR ON-GROUND POOL, HOT TUB OR SPA SHALL BE SURROUNDED BY A BARRIER WHICH SHALL COMPLY WITH THE FOLLOWING:

- THE TOP OF THE BARRIER SHALL BE AT LEAST 60 INCHES (1524 MM) ABOVE GRADE MEASURED ON THE SIDE OF THE BARRIER WHICH FACES AWAY FROM THE SWIMMING POOL. THE TOP OF THE BARRIER THAT SEPARATES THE SWIMMING POOL ONLY FROM HABITABLE SPACES ON THE SAME PROPERTY SHALL BE AT LEAST 48 INCHES (1219 MM) ABOVE GRADE MEASURED ON THE SIDE OF THE BARRIER WHICH FACES AWAY FROM THE SWIMMING POOL. THE MAXIMUM VERTICAL CLEARANCE BETWEEN GRADE AND THE BOTTOM OF THE BARRIER SHALL BE 2 INCHES (51 MM). THE MAXIMUM VERTICAL CLEARANCE AT THE BOTTOM OF THE BARRIER MAY BE INCREASED TO 4 INCHES (102 MM) WHEN GRADE IS A SOLID SURFACE SUCH AS CONCRETE. THE BARRIER SHALL BE AT LEAST 20 INCHES FROM THE WATER'S EDGE.
- OPENINGS IN THE BARRIER SHALL NOT ALLOW PASSAGE OF A 4 INCH DIAMETER (102 MM) SPHERE. ANY DECORATIVE DESIGN WORK SUCH AS PROTRUSIONS, INDENTATIONS OR CUTOUTS WHICH MAKE THE BARRIER EASILY CLIMBABLE IS PROHIBITED.
- SOLID BARRIERS WHICH DO NOT HAVE OPENINGS, SUCH AS MASONRY OR STONE WALL, SHALL NOT CONTAIN INDENTATIONS OR PROTRUSIONS EXCEPT FOR NORMAL CONSTRUCTION TOLERANCES AND TOOLED MASONRY JOINTS.
- THERE SHALL BE AT LEAST 45" INCHES BETWEEN HORIZONTAL ELEMENTS.
- MAXIMUM MESH SIZE FOR CHAIN LINK FENCES SHALL BE A 2 1/4 INCH (57 MM) SQUARE UNLESS THE FENCE HAS SLATS FASTENED AT THE TOP OR THE BOTTOM WHICH REDUCE THE OPENINGS TO NOT MORE THAN 1 3/4 INCHES (44 MM). CHAIN LINK FENCING SHALL NOT BE LESS THAN 11 GAUGE.
- WHERE THE BARRIER IS COMPOSED OF DIAGONAL MEMBERS, SUCH AS A LATTICE FENCE, THE MAXIMUM OPENING FORMED BY THE DIAGONAL MEMBERS SHALL NOT BE MORE THAN 1 3/4 INCHES (44MM).
- ACCESS GATES SHALL COMPLY WITH THE REQUIREMENTS OF THIS SECTION. ITEMS 1 THROUGH 6, AND SHALL BE EQUIPPED TO ACCOMMODATE A LOCKING DEVICE. PEDESTRIAN ACCESS GATES SHALL OPEN OUTWARD AWAY FROM THE POOL AND SHALL BE SELF-CLOSING AND HAVE A SELF-LATCHING DEVICE. GATES OTHER THAN PEDESTRIAN ACCESS GATES SHALL BE LOCKABLE. WHERE THE RELEASE MECHANISM OF THE SELF-LATCHING DEVICE IS LOCATED LESS THAN 54 INCHES (1372 MM) FROM THE BOTTOM OF THE GATE, THE RELEASE MECHANISM AND OPENINGS SHALL COMPLY WITH THE FOLLOWING:
7.1. THE RELEASE MECHANISM SHALL BE LOCATED ON THE POOL SIDE OF THE GATE AT LEAST 3 INCHES (76 MM) BELOW THE TOP OF THE GATE. AND
7.2. THE GATE AND BARRIER SHALL HAVE NO OPENING LARGER THAN 1/2 INCH (13 MM) WITHIN 18 INCHES (457 MM) OF THE RELEASE MECHANISM.
- WHERE A WALL OF A DWELLING SERVES AS PART OF THE BARRIER, ONE OF THE FOLLOWING CONDITIONS SHALL BE MET:
8.1. IN LIEU OF THE BARRIER BETWEEN THE DWELLING AND THE SWIMMING POOL, THE SWIMMING POOL SHALL BE EQUIPPED WITH A POWERED SAFETY COVER IN COMPLIANCE WITH ASTM F1346; OR
8.2. DOORS WITH DIRECT ACCESS TO THE POOL THROUGH THAT WALL SHALL BE EQUIPPED WITH AN ALARM WHICH PRODUCES AN AUDIBLE WARNING WHEN THE DOOR AND/OR ITS SCREEN, IF PRESENT, ARE OPENED. THE ALARM SHALL BE LISTED IN ACCORDANCE WITH UL 2017. THE AUDIBLE ALARM SHALL ACTIVATE WITHIN 7 SECONDS AND SOUND CONTINUOUSLY FOR A MINIMUM OF 30 SECONDS AFTER THE DOOR, AND/OR ITS SCREEN, IF PRESENT, ARE OPENED AND BE CAPABLE OF BEING HEARD THROUGHOUT THE HOUSE. DURING NORMAL HOUSEHOLD ACTIVITIES, THE ALARM SHALL AUTOMATICALLY RESET UNDER ALL CONDITIONS. THE ALARM SYSTEM SHALL BE EQUIPPED WITH A MANUAL MEANS, SUCH AS TOUCH PAD OR SWITCH, TO TEMPORARILY DEACTIVATE THE ALARM FOR A SINGLE OPENING. DEACTIVATION SHALL LAST FOR NOT MORE THAN 15 SECONDS. THE DEACTIVATION SWITCH(ES) SHALL BE LOCATED AT LEAST 54 INCHES (1372 MM) ABOVE THE THRESHOLD OF THE DOOR; OR
8.3. OTHER MEANS OF PROTECTION, SUCH AS SELF-CLOSING DOORS WITH SELF-LATCHING DEVICES, WHICH ARE APPROVED BY THE GOVERNING BODY, SHALL BE ACCEPTABLE SO LONG AS THE DEGREE OF PROTECTION AFFORDED IS NOT LESS THAN THE PROTECTION AFFORDED BY ITEM 8.1 OR 8.2 DESCRIBED ABOVE. SELF-CLOSING AND SELF-LATCHING DEVICES SHALL BE INSTALLED ON ALL DOORS WITH DIRECT ACCESS TO THE POOL AREA, WITH THE RELEASE MECHANISM LOCATED A MINIMUM OF FIFTY-FOUR INCHES ABOVE THE FLOOR.
- WHERE AN ABOVE-GROUND POOL STRUCTURE IS USED AS A BARRIER OR WHERE THE BARRIER IS MOUNTED ON TOP OF THE POOL STRUCTURE, THE MEANS OF ACCESS IS A LADDER OR STEPS:
9.1. THE LADDER OR STEPS SHALL BE CAPABLE OF BEING SECURED, LOCKED OR REMOVED TO PREVENT ACCESS; OR
9.2. THE LADDER OR STEPS SHALL BE SURROUNDED BY A BARRIER WHICH MEETS THE REQUIREMENTS OF THIS SECTION, ITEMS 1 THROUGH 9, WHEN THE LADDER OR STEPS ARE SECURED, LOCKED OR REMOVED, ANY OPENING CREATED SHALL NOT ALLOW THE PASSAGE OF A 4 INCH DIAMETER (102 MM) SPHERE.
- PET DOORS WHICH PROVIDE DIRECT ACCESS TO THE POOL AREA ARE PROHIBITED UNLESS THEY MEET THE REQUIREMENTS OF ITEM 2 OR ARE EQUIPPED WITH AN ALARM THAT MEETS ITEM 8.2.
- WINDOWS WITH ACCESS TO THE POOL AREAS WILL BE PROTECTED IN THE FOLLOWING WAYS:
11.1 EMERGENCY ESCAPE OR RESCUE WINDOWS FROM SLEEPING AREAS WITH ACCESS TO THE SWIMMING POOL WILL BE EQUIPPED WITH A LATCHING DEVICE NOT LESS THAN 54 INCHES (1372 MM) ABOVE THE FLOOR.
11.2 ALL OTHER OPENABLE WINDOWS WITH SIMILAR ACCESS WILL ALSO BE EQUIPPED WITH A LATCHING DEVICE NOT LESS THAN 54 INCHES (1372 MM) ABOVE THE FLOOR OR SHALL BE EQUIPPED WITH KEY LOCK DEVICE THAT PREVENTS OPENING THE WINDOW MORE THAN 4 INCHES (102 MM). WALLS SURROUNDING AN INDOOR SWIMMING POOL SHALL COMPLY WITH ITEM 8.
BARRIERS SHALL BE LOCATED TO PROHIBIT PERMANENT STRUCTURES, EQUIPMENT OR SIMILAR OBJECTS FROM BEING USED TO CLIMB THEM.
SPAS OR HOT TUBS WITH A SAFETY COVER WHICH COMPLIES WITH ASTM F 1346 SHALL BE EXEMPT FROM THE PROVISIONS OF THIS SECTION.

JACUZZI TYPE TUB

- PROVIDE REMOVABLE PANEL OF SUFFICIENT SIZE TO ACCESS PUMP.
- CIRCULATION PUMP SHALL BE LOCATED ABOVE THE CROWN WEIR OF THE TRAP.
- PUMP AND CIRCULATION PIPING SHALL BE SELF-DRAINING.
- SUCTION FITTINGS SHALL COMPLY WITH THE LISTED STANDARDS.
- PROVIDE G.F.I. CIRCUIT (N.E.C. ARTICLE 680.70).



DREWETT WORKS // ARCHITECTURE

7144 E. STETSON DR., SUITE 204
SCOTTSDALE, AZ 85251
P 855-373-9388 // F 855-373-9388
PLANS @ DREWETTWORKS.COM

OWNER

SHAN AND DOOT
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PARADISE VALLEY, AZ
85253

DESIGN

DREWETT WORKS
C.P. DREWETT
7144 E STETSON DR, SUITE 204
SCOTTSDALE, AZ 85251
PHONE: (855) 373-9388

CONSULTANTS

STRUCTURAL ENGINEER

CIVIL ENGINEER

MPE ENGINEER

LANDSCAPE ARCHITECT

INTERIOR DESIGNER

LIGHTING DESIGNER

GENERAL CONTRACTOR

ZONING

R - 175

APN

168-77-008

LEGAL ADDRESS

8020 N MUMMY MOUNTAIN RD
PARADISE VALLEY, AZ
85253

NET SITE AREA

220,257 SF

FOR DEMOLITION PERMIT

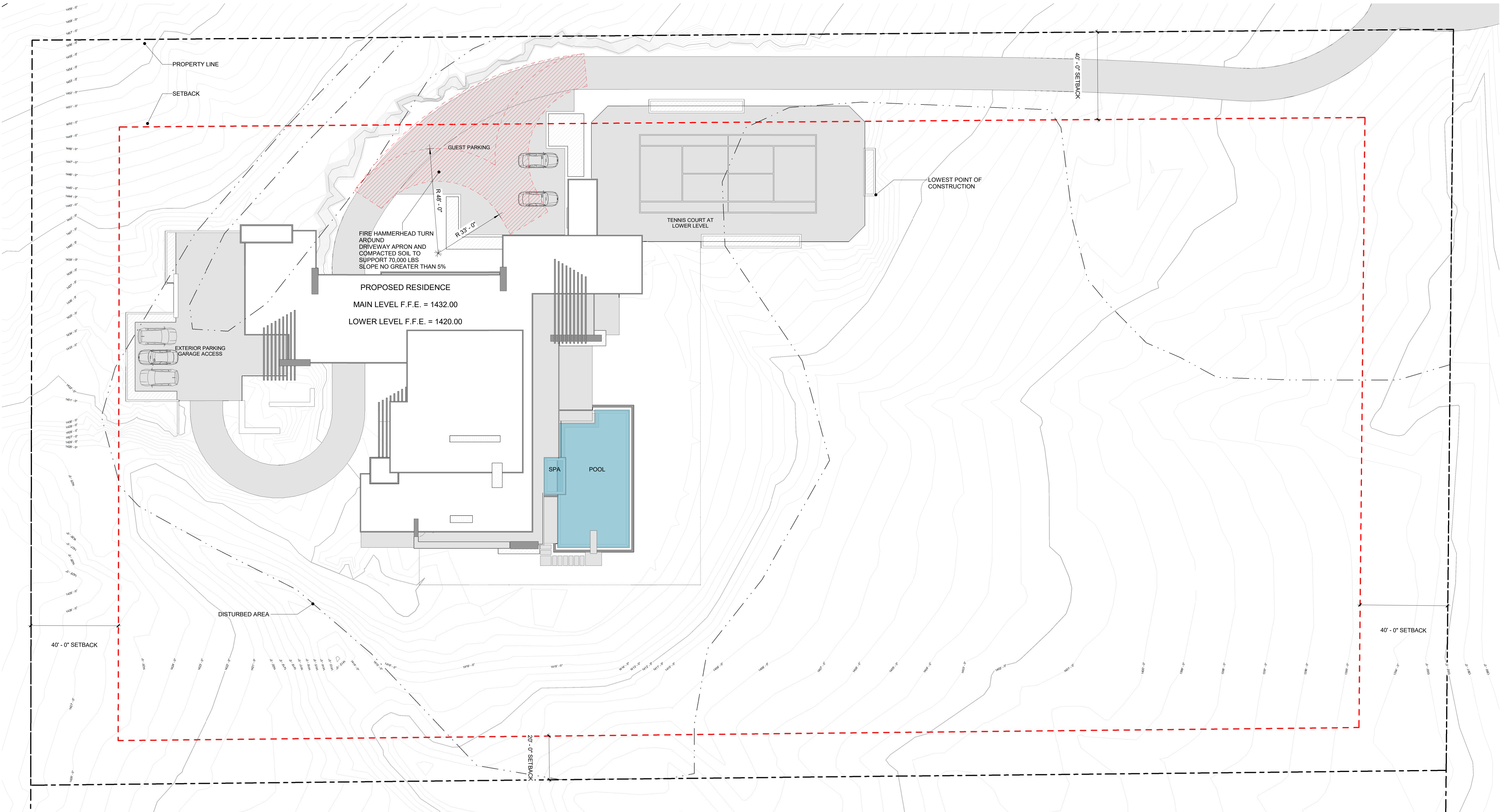
DATE	11/11/2020
REV	

COVER SHEET

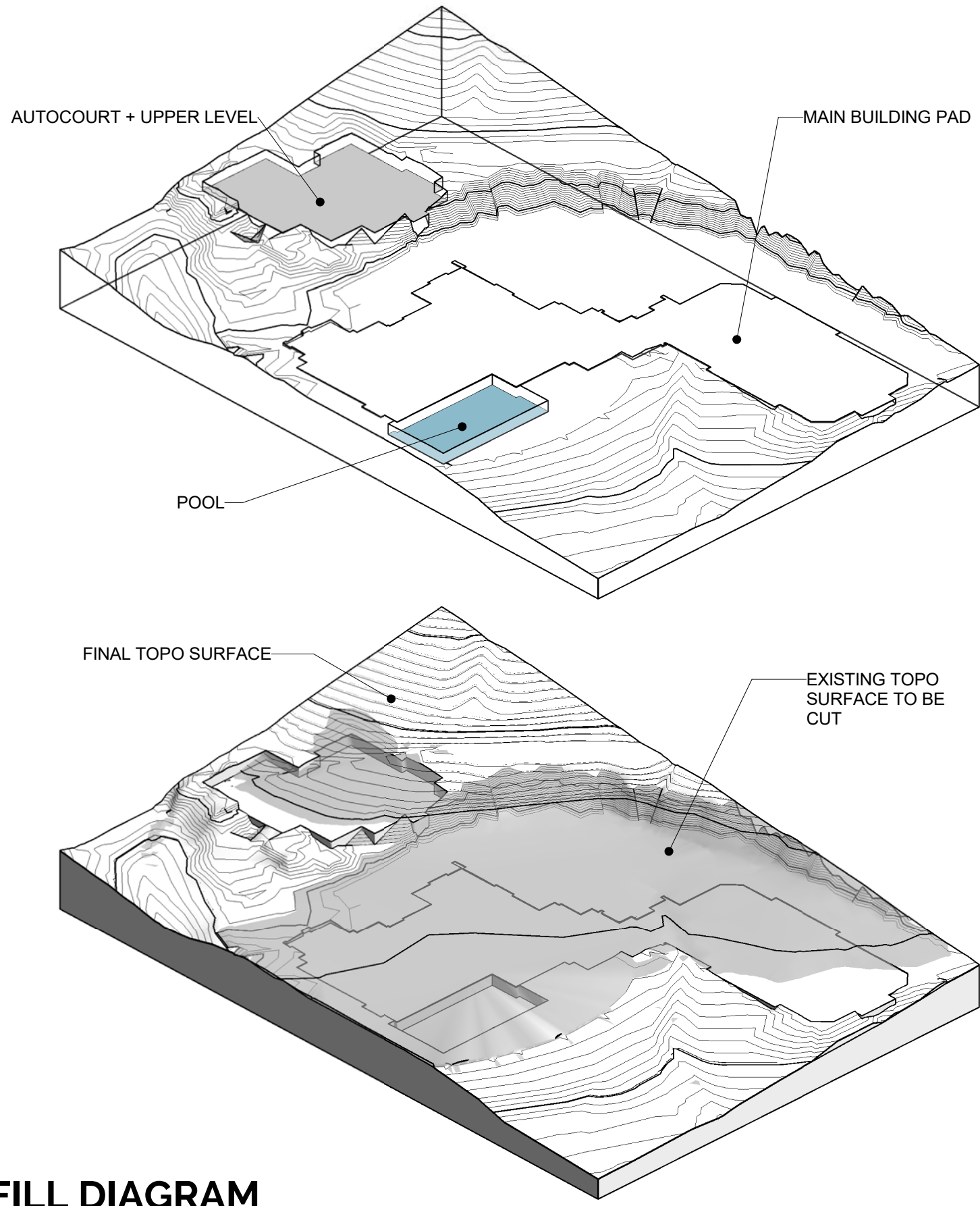
DR200



AHDOOT RESIDENCE



DISTURBED AREA CALCULATIONS	
AREA OF LOT:	220,257 SF (5.056 AC.)
AREA COUNTING TOWARDS F.A.R.	20,559 SF
FLOOR AREA RATIO:	9.33% < 25%
BUILDING PAD SLOPE:	35 FT VERTICAL, 360.3 FT HORIZONTAL
ALLOWABLE DISTURBED AREA:	132,154 SF (60%)
EXISTING DISTURBED AREA:	104,389 SF
GROSS PROPOSED DISTURBED AREA	22,723 SF
LESS TEMP. AREAS OF DISTURBANCE TO BE RESTORED AND REVEGETATED	25,687 SF
LESS 50% OF NEW DRIVEWAY	7,283 SF
LESS BUILDING FOOTPRINT AREA	7,455 SF
NET PROPOSED DISTURBED AREA	86,717 SF
VOLUME OF CUT:	9,796 CY
VOLUME OF FILL:	1,159 CY



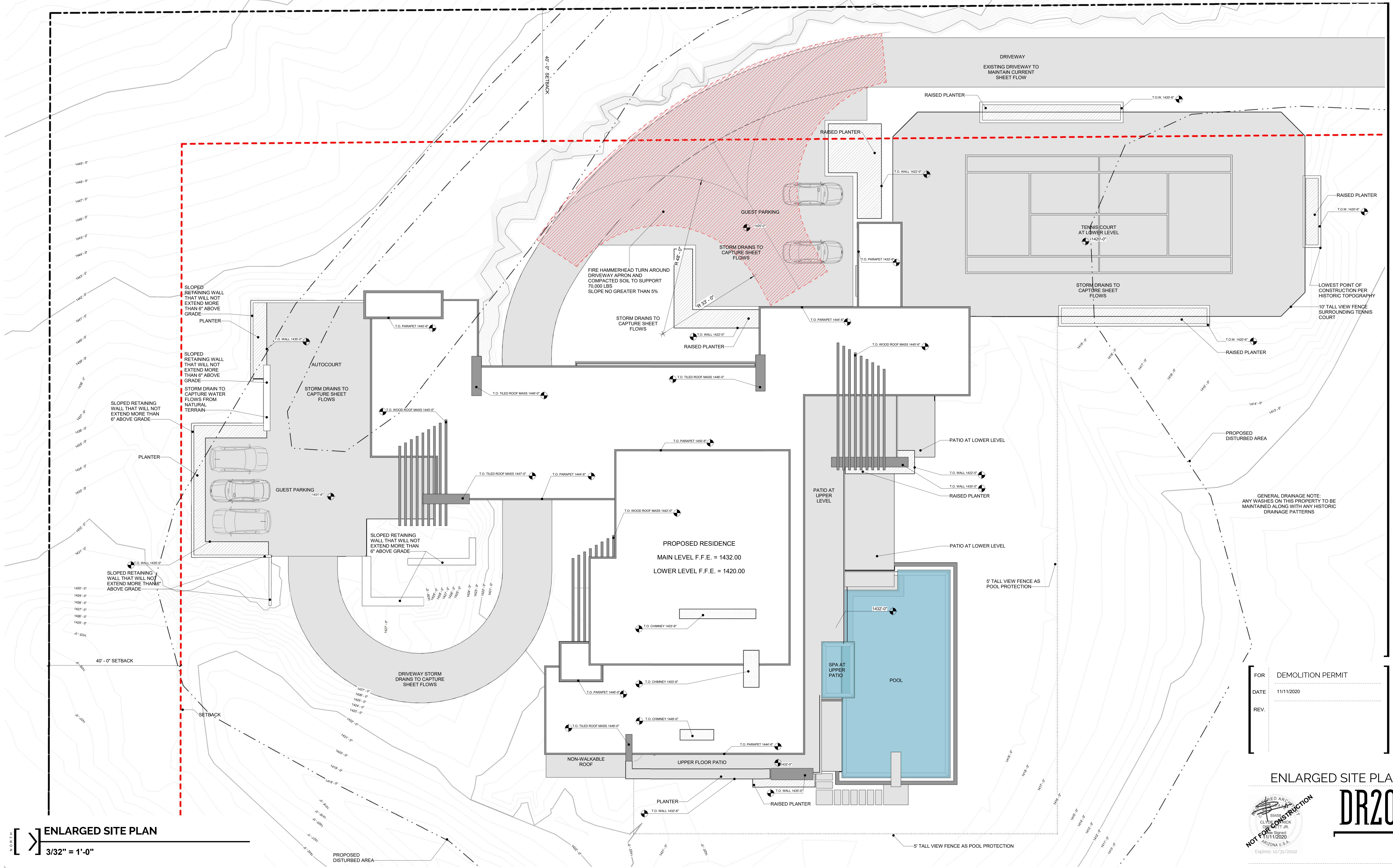
OVERALL SITE PLAN
1" = 20'-0"

KEYNOTES

FOR DEMOLITION PERMIT
DATE 11/11/2020
REV.

SITE PLAN OVERALL
DR201

NOT FOR CONSTRUCTION
Expire: 12/31/2022



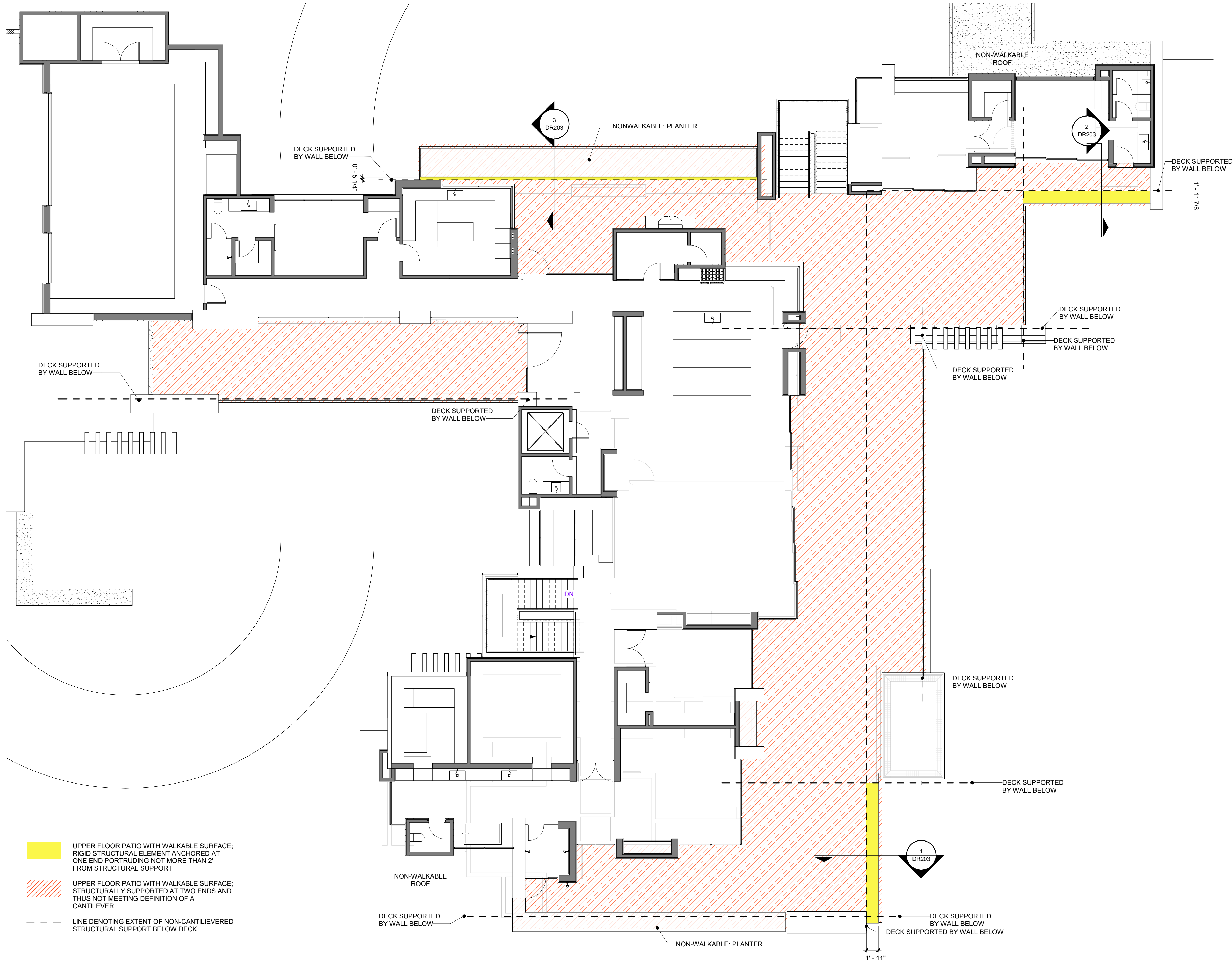
AHDOOT RESIDENCE

FOR	DEMOLITION PERMIT
DATE	11/11/2020
REV.	

ENLARGED SITE PLAN

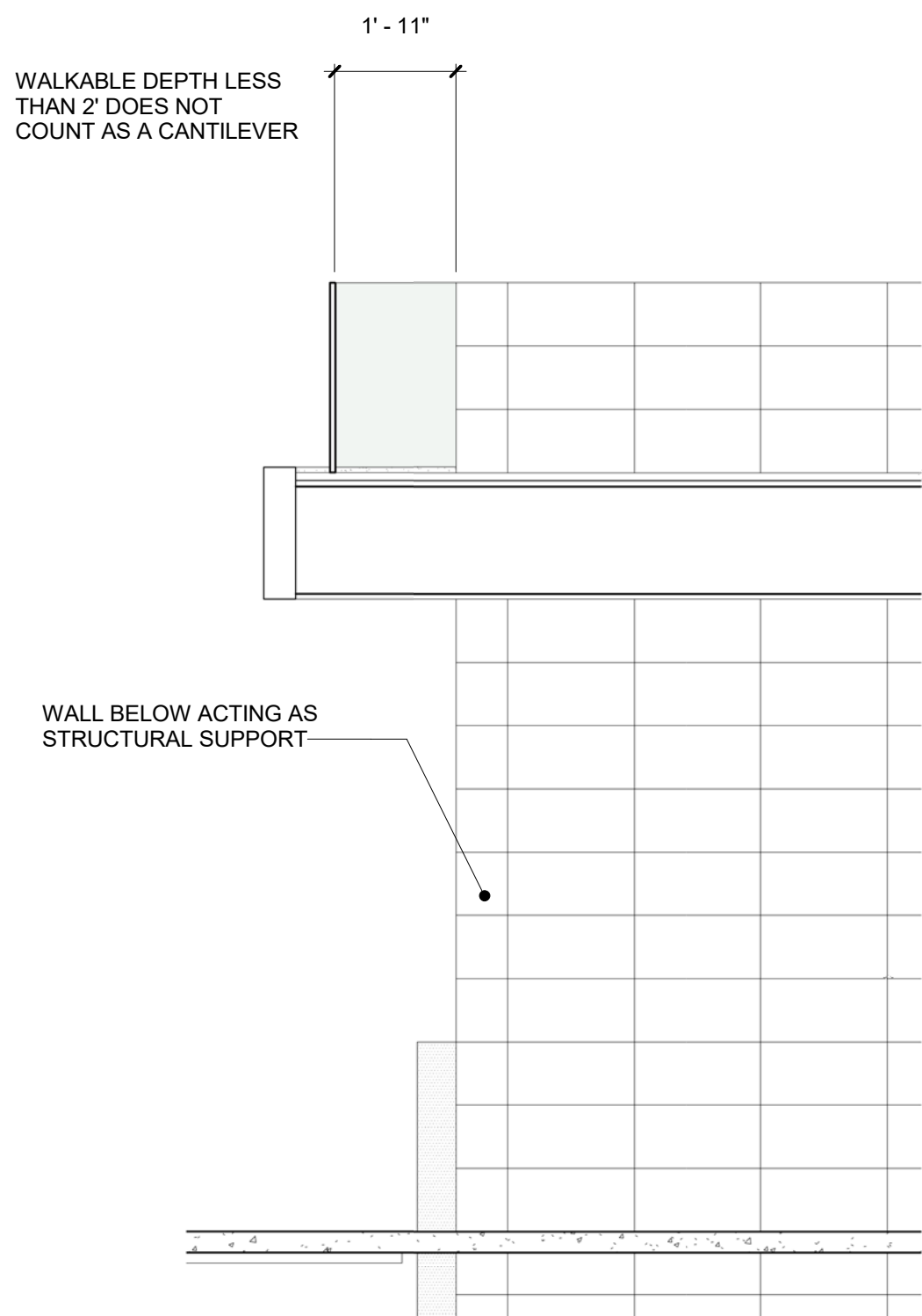


DR202

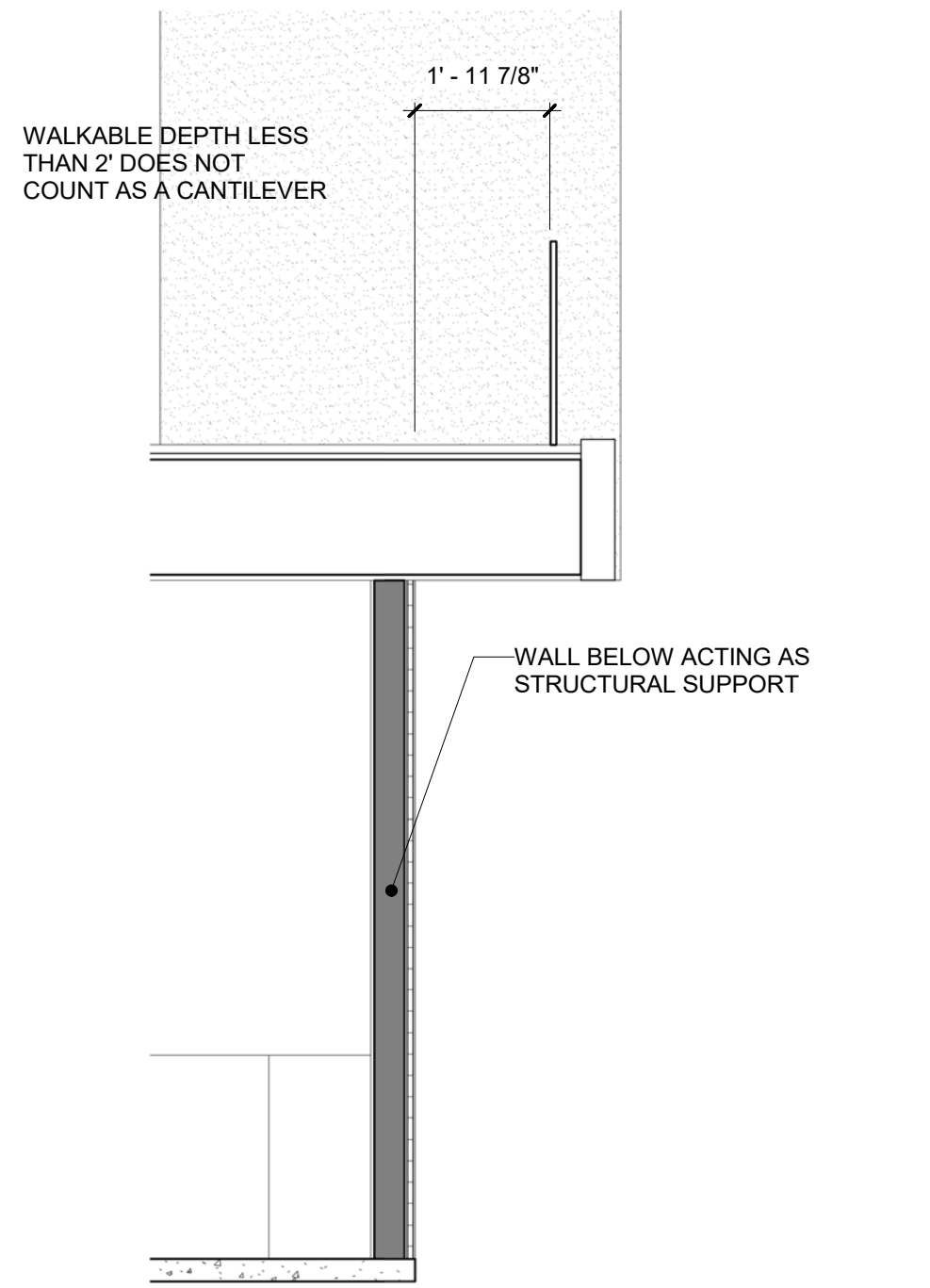


- UPPER FLOOR PATIO WITH WALKABLE SURFACE: RIGID STRUCTURAL ELEMENT ANCHORED AT ONE END PORTULUDING NOT MORE THAN 2' FROM STRUCTURAL SUPPORT
- UPPER FLOOR PATIO WITH WALKABLE SURFACE: STRUCTURALLY SUPPORTED AT TWO ENDS AND THUS NOT MEETING DEFINITION OF A CANTILEVER
- LINE DENOTING EXTENT OF NON-CANTILEVERED STRUCTURAL SUPPORT BELOW DECK

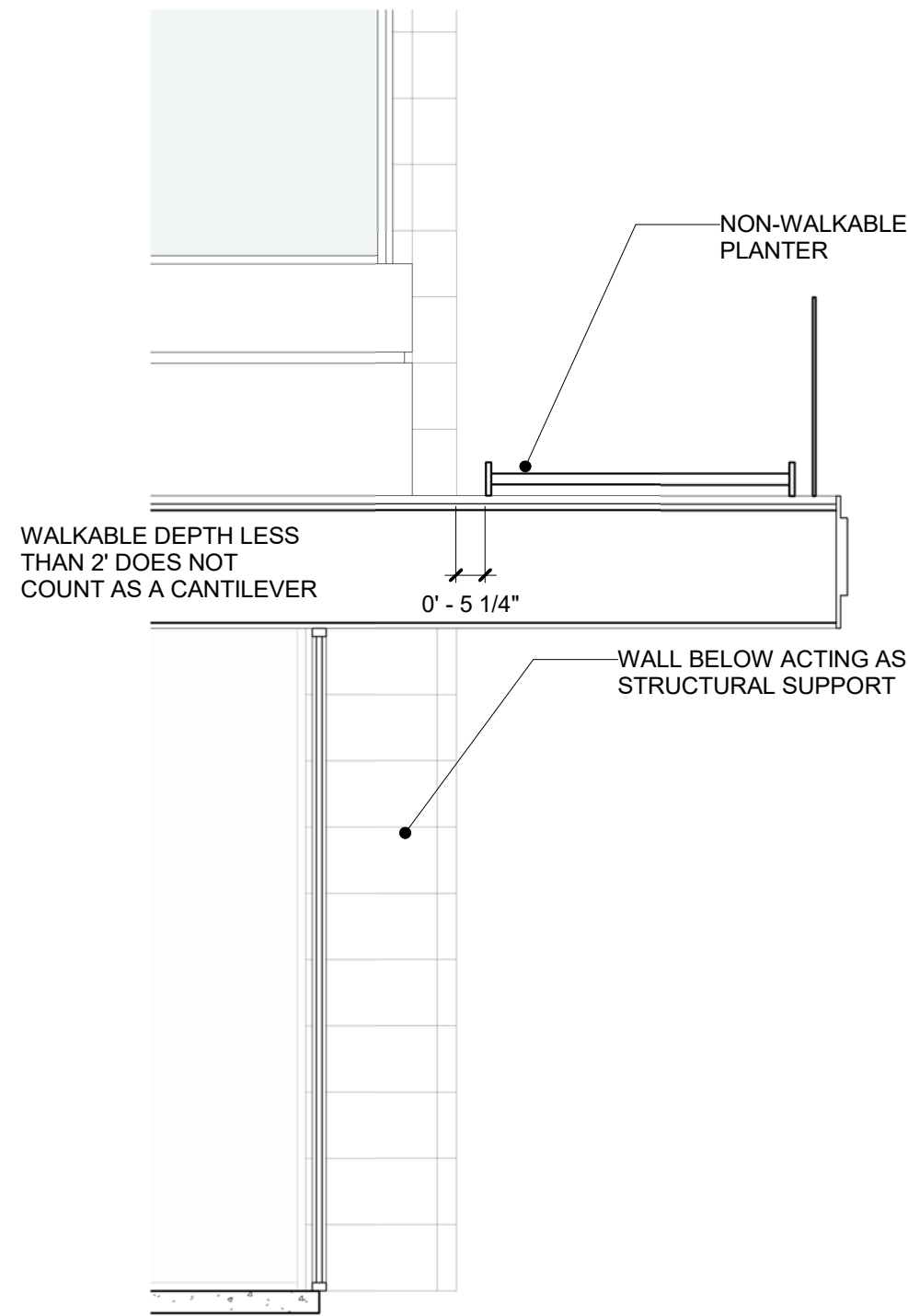
[KEY] CANTILEVER KEY
1/8" = 1'-0"



[1] CANTILEVER SECTION 1
3/8" = 1'-0"



[2] CANTILEVER SECTION 2
3/8" = 1'-0"



[3] CANTILEVER SECTION 3
3/8" = 1'-0"

DW

DREWETT WORKS // ARCHITECTURE

7144 E. STETSON DR., SUITE 204
SCOTTSDALE, AZ 85251
P 855-373-9388 // F 855-373-9388
PLANS @ DREWETTWORKS.COM



KEYNOTES

AHDOOT RESIDENCE

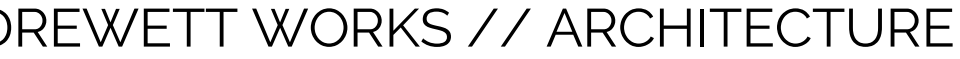
FOR	CONCEPTUAL HILLSIDE
DATE	10.14.20
REV.	

CANTILEVER EXHIBIT

DR203

NOT FOR CONSTRUCTION

6545 TRICK
CLYDE TRICK
10.14.20
ARIZONA U.S.A.
Expires: 12/31/2022



KEYNOTES

FOR	CONCEPTUAL HILLSIDE
DATE	10.14.20
REV.	

AHDOOT RESIDENCE

SITE CONTEXT

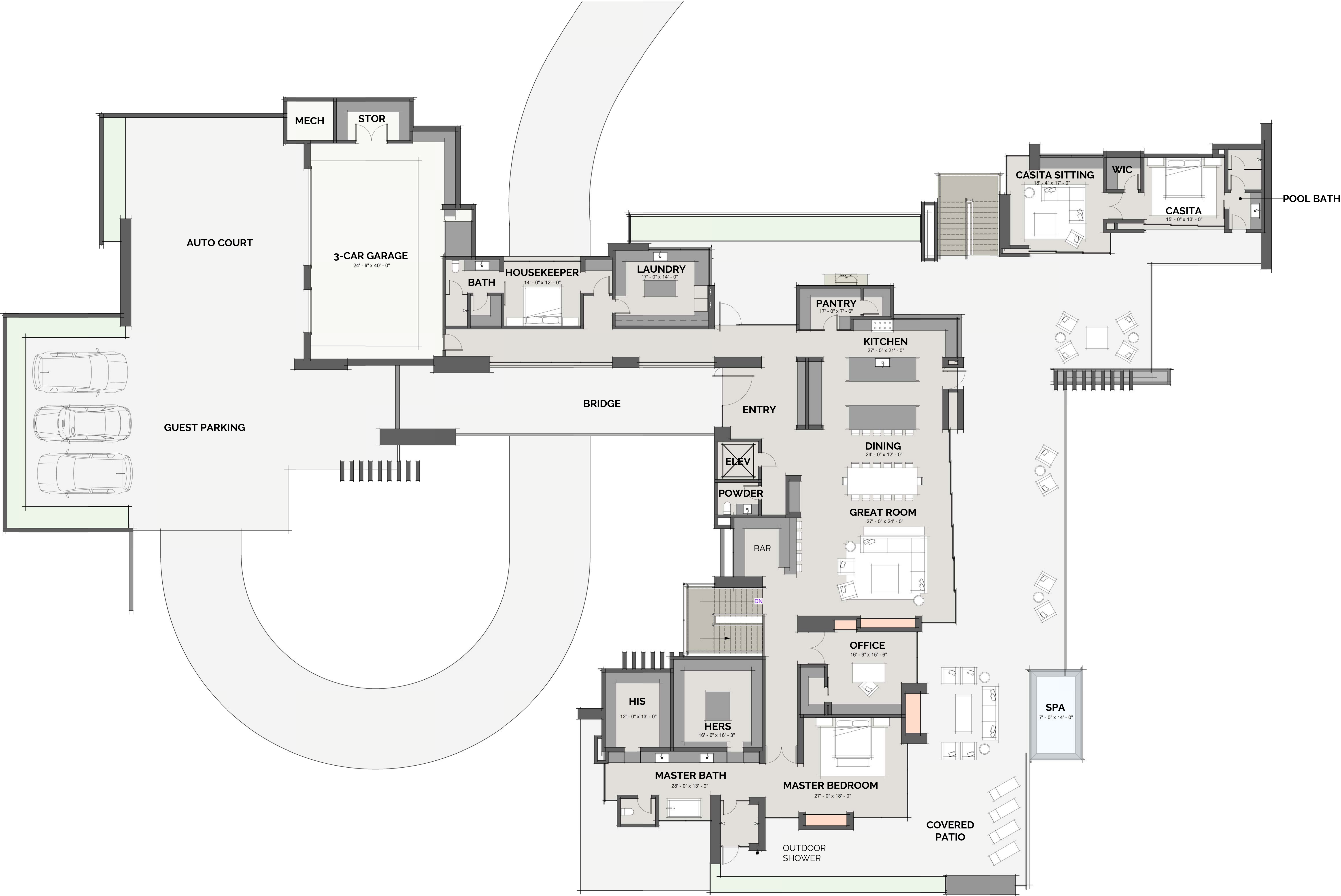


DR204

SITE CONTEXT

1" = 30'-0"





MAIN LEVEL F.F. 1432' 0"
1/8" = 1'-0"

FOR: CONCEPTUAL HILLSIDE
DATE: 10.14.20
REV:

FLOOR PLAN - MAIN
DR205

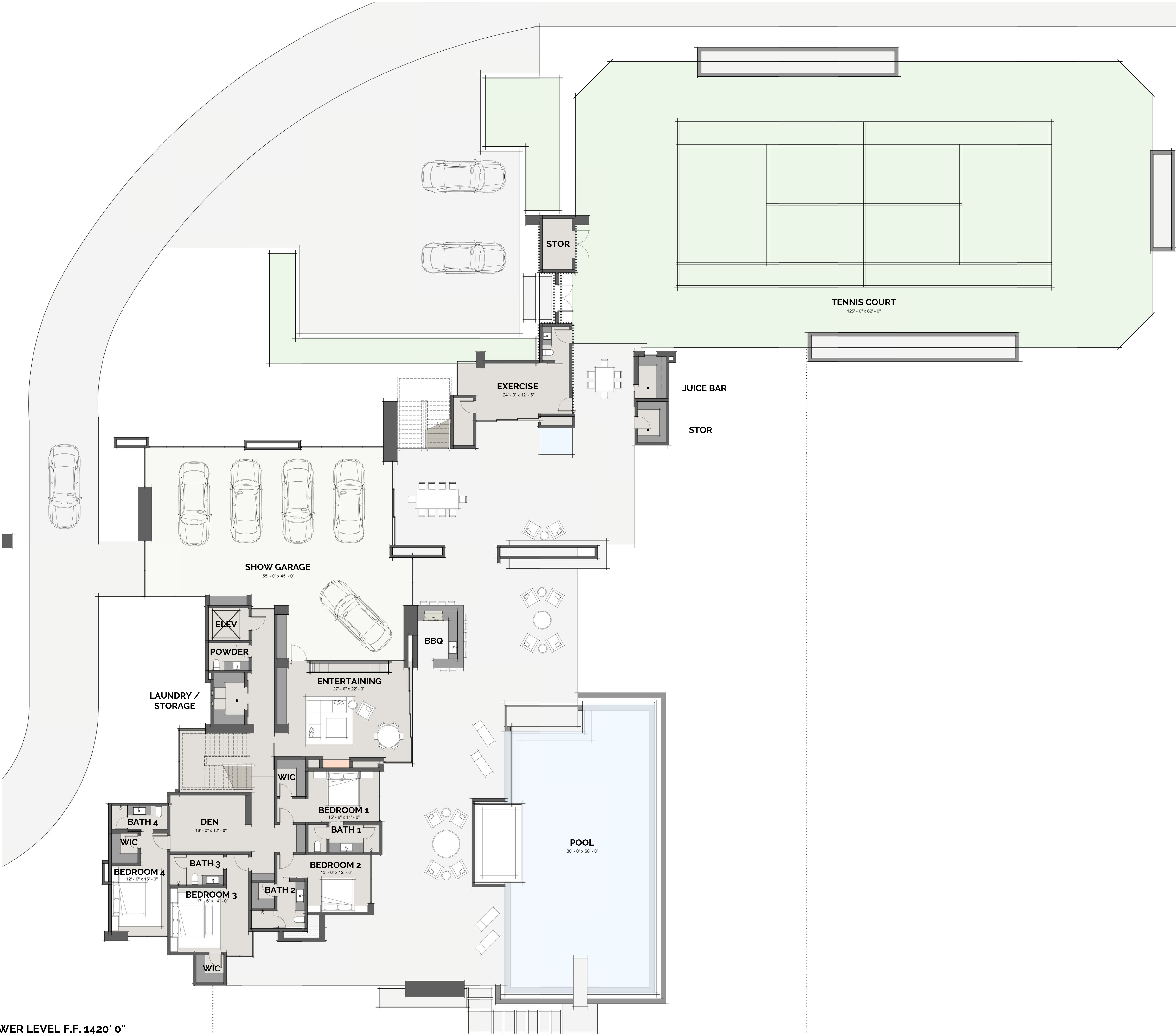


AHDOOT RESIDENCE



DREWETT WORKS // ARCHITECTURE

7144 E. STETSON DR., SUITE 204
SCOTTSDALE, AZ 85251
P 855-373-9388 // F 855-373-9388
PLANS @ DREWETTWORKS.COM



NORTH
LOWER LEVEL F.F. 1420' 0"
1/8" = 1'-0"

AHDOOT RESIDENCE

FOR	CONCEPTUAL HILLSIDE
DATE	10.14.20
REV.	

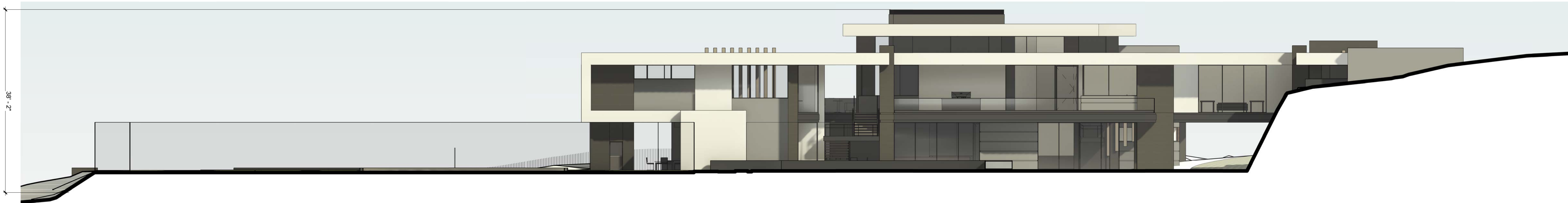
FLOOR PLAN - LOWER



DR206



[1] EAST
1" = 10'-0"



[2] NORTH
1" = 10'-0"



[3] SOUTH
1" = 10'-0"



[4] WEST
1" = 10'-0"

DW

DREWETT WORKS // ARCHITECTURE

7144 E. STETSON DR., SUITE 204
SCOTTSDALE, AZ 85251
P 855-373-9388 // F 855-373-9388
PLANS @ DREWETTWORKS.COM



AHDOOT RESIDENCE

FOR	CONCEPTUAL HILLSIDE
DATE	10.14.20
REV.	



ELEVATIONS

DR207



KEYNOTES

HILLSIDE CONCEPTUAL
AXONOMETRIC 1



AHDOOT RESIDENCE

FOR CONCEPTUAL HILLSIDE
DATE 10.14.20
REV.

CONCEPTUAL MASSING



DR208

TOWN OF PARADISE VALLEY NOTES

1. GRADING SHALL BE IN CONFORMANCE WITH 2018 IBC.
2. PRIOR TO FIRST FOOTING INSPECTION OF ANY TYPE, ALL PROPERTY PINS SHALL BE PLACED BY A REGISTERED LAND SURVEYOR OF THE STATE OF ARIZONA, AND PROPERTY LINES MUST BE PHYSICALLY IDENTIFIED PRIOR TO INSPECTION.
3. WHERE EXCAVATION IS TO OCCUR THE TOP 4" OF EXCAVATED NATIVE SOIL SHALL REMAIN ON THE SITE AND SHALL BE REUSED IN A MANNER THAT TAKES ADVANTAGE OF THE NATURAL SOIL SEED BANK IT CONTAINS.
4. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) SPECIFICATIONS AND STANDARD DETAILS.
5. ALL EXTERIOR SITE LIGHTING SHALL COMPLY WITH REQUIREMENTS OF SECTION 2208 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES FOR FUTURE TYPE, LOCATION, HEIGHT, WATTAGE BASED UPON FIXTURES INSTALLED.
6. A DUST CONTROL PLAN MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
7. A SEPARATE PERMIT IS NECESSARY FOR ANY OFFSITE CONSTRUCTION.
8. AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
9. EAVE PROJECTIONS INTO REQUIRED SETBACKS ARE LIMITED TO A MAXIMUM OF 24" PURSUANT TO SECTION 1008 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES.
10. ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
11. ALL NEW AND EXISTING ELECTRICAL SERVICE TO BE BURIED UNDERGROUND PER THE TOWN OF PARADISE VALLEY STANDARDS.
12. POOL, SPA, BARBECUE AND ANY PROPOSED STRUCTURES OVER 8 INCHES ABOVE GRADE REQUIRE SEPARATE PERMIT APPLICATIONS.
13. POOLS SHALL BE CONSTRUCTED BY SEPARATE PERMIT AND SECURED FROM UNWANTED ACCESS PER SECTION 5-2-2 OF THE TOWN OF PARADISE VALLEY ORDINANCES.
14. A SETBACK CERTIFICATION IS REQUIRED AND MUST BE GIVEN TO TOWN INSPECTOR AT STEM WALL INSPECTION.
15. MAIL BOX TO COMPLY WITH THE TOWN OF PARADISE VALLEY STANDARDS FOR MAIL BOXES IN THE R.O.W. FOR HEIGHT, WIDTH AND BREAK AWAY FEATURES.
16. ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE. ALL LAWN AREAS ADJOINING WALKS OR SLABS WILL BE GRADED TO 2" BELOW THE TOP OF SLAB. TYPICAL FINISHED GRADE AROUND PERIMETER OF BUILDING IS MINUS 6" BELOW FINISHED FLOOR UNLESS SPECIFIED OTHERWISE.
17. ALL MATERIAL TO BE UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95% PER ASTM D698.
18. SOILS COMPACTION TEST RESULTS MUST BE SUBMITTED TO THE TOWN ENGINEER'S OFFICE FOR BUILDING PADS THAT HAVE ONE (1) FOOT OR MORE OF FILL MATERIAL INDICATED. THIS INFORMATION MUST BE SUPPLIED PRIOR TO REQUEST FOR FINAL INSPECTION.
19. TRENCH BED SHALL BE FREE OF ROCKS AND DEBRIS.
20. REGULATION II RULE 20-3 OF THE MARICOPA COUNTY HEALTH DEPARTMENT, BUREAU OF AIR POLLUTION CONTROL SHALL BE OBSERVED AND ENFORCED.
21. ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL CITY OR TOWN UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
22. THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL STATE, AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO THE CONSTRUCTION COVERED BY THIS PLAN.
23. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
24. ALL CONSTRUCTION IN THE PUBLIC RIGHTS-OF-WAY OR IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) UNIFORM STANDARD SPECIFICATIONS AND UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION.
25. THE TOWN ONLY APPROVES THE SCOPE, NOT THE DETAIL, OF ENGINEERING DESIGNS; THEREFORE, IF CONSTRUCTION QUANTITIES ARE SHOWN ON THESE PLANS, THEY ARE NOT VERIFIED BY THE TOWN.
26. THE APPROVAL OF PLANS IS VALID FOR SIX (6) MONTHS. IF AN ENCROACHMENT PERMIT FOR THE CONSTRUCTION HAS NOT BEEN ISSUED WITHIN SIX MONTHS, THE PLANS MUST BE RESUBMITTED TO THE TOWN FOR RE-APPROVAL.
27. A PUBLIC WORKS INSPECTOR WILL INSPECT ALL WORKS WITHIN THE TOWN OF PARADISE VALLEY RIGHTS-OF-WAY AND IN EASEMENTS. NOTICE INSPECTION SERVICES 24 HOURS PRIOR TO BEGINNING CONSTRUCTION BY CALLING 480- 312-5750.
28. WHENEVER EXCAVATION IS NECESSARY, CALL THE BLUE STAKE CENTER, 602-263-1100, TWO WORKING DAYS BEFORE EXCAVATION BEGINS. THE CENTER WILL SEE THAT THE LOCATION OF THE UNDERGROUND UTILITY LINES IS IDENTIFIED FOR THE PROJECT. CALL "COLLECT" IF NECESSARY.
29. ENCROACHMENT PERMITS ARE REQUIRED FOR ALL WORK IN PUBLIC RIGHTS-OF-WAY AND EASEMENTS GRANTED FOR PUBLIC PURPOSES. AN ENCROACHMENT PERMIT WILL BE ISSUED BY THE TOWN ONLY AFTER THE REGISTRANT HAS PAID A BASE FEE PLUS A FEE FOR INSPECTION SERVICES. COPIES OF ALL PERMITS MUST BE RETAINED ON-SITE AND BE AVAILABLE FOR INSPECTION AT ALL TIMES. FAILURE TO PRODUCE THE REQUIRED PERMITS WILL RESULT IN IMMEDIATE SUSPENSION OF ALL WORK UNTIL THE PROPER PERMIT DOCUMENTATION IS OBTAINED.
30. ALL EXCAVATION AND GRADING THAT IS NOT IN THE PUBLIC RIGHTS-OF-WAY OR NOT IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO CHAPTER 70, EXCAVATION AND GRADING, OF THE LATEST EDITION OF THE IBC BY THE ICC. A PERMIT FOR THIS GRADING MUST BE SECURED FROM THE TOWN FOR A FEE ESTABLISHED BY THE UNIFORM BUILDING CODE.
31. EXCAVATIONS SHALL COMPLY WITH REQUIREMENTS OF OSHA EXCAVATION STANDARDS (29 CFR, PART 1926, SUBPART P). UNDER NO CIRCUMSTANCES WILL THE CONSTRUCTION BE ALLOWED TO WORK IN A TRENCH LOCATED WITHIN THE TOWN'S RIGHT-OF-WAY WITHOUT PROPER SHORING OR EXCAVATION METHODS.
32. ON DEMOLITION, GRADING, REMODELING AND NEW CONSTRUCTION PROJECTS, PERMITTEE MUST NOTIFY ADJACENT PROPERTY OWNERS REGARDING THE NATURE OF THE PROJECT, THE TIME PERIOD FOR CONSTRUCTION, AND ANY UNUSUAL ACTIVITIES THAT MAY CAUSE DISRUPTION OF THE NORMAL COURSE OF TRAFFIC DURING CONSTRUCTION.
33. ALL PERMITTEES MUST POST A 6 SQUARE FOOT (2'X3') IDENTIFICATION SIGN, MADE OF DURABLE MATERIAL, IN THE FRONT YARD OF SUBJECT PROPERTY AND NOT IN THE TOWN RIGHT-OF-WAY. THE SIGN MAY NOT EXCEED A MAXIMUM OF 6 FEET IN HEIGHT FROM GRADE TO TOP OF THE SIGN. THE SIGN MUST INCLUDE THE PERMITTEE OR COMPANY NAME, PHONE NUMBER, TYPE OF WORK, AND ADDRESS OF PROJECT.
34. WHEN DEEMED NECESSARY, A 6-FOOT HIGH CHAIN LINK FENCE MUST BE INSTALLED AROUND THE CONSTRUCTION TO PREVENT ANY POTENTIAL SAFETY HAZARD FOR THE PUBLIC. THE FENCE SHALL BE SETBACK AT LEAST TO FEET FROM ALL RIGHTS-OF-WAY AND HAVE A 50-FOOT STREET CORNER SITE TRIANGLE WHERE APPLICABLE.
35. CLEAR ACCESS FOR NEIGHBORING PROPERTIES AND EMERGENCY VEHICLES MUST BE MAINTAINED AT ALL TIMES. CONSTRUCTION RELATED VEHICLES MUST BE LEGALLY PARKED ONLY ON ONE SIDE OF THE STREET OR JOB SITE PROPERTY. IF A STAGING AREA IS NEEDED ON A PROPERTY OTHER THAN THE CONSTRUCTION SITE FOR CONSTRUCTION SUPPLIES AND EQUIPMENT, THE PERMITTEE MUST OBTAIN PROPERTY OWNER AND TOWN APPROVAL FIRST AND MUST INFORM THE ADJACENT PROPERTY OWNERS OF THE LOCATION OF STAGING AREA, AND TIME AND HOURS DURING THE DAY THE AREA WILL BE USED.
36. EXCEPT AS OUTLINED IN ITEM 4, ALL CONSTRUCTION DEBRIS AND EQUIPMENT MUST BE CONTAINED ON SITE AT ALL TIMES. CONTRACTOR AND PROPERTY OWNER MUST MAINTAIN THE JOB SITE FREE OF LITTER AND UNSIGHTLY MATERIALS AT ALL TIMES. CONSTRUCTION MATERIALS ARE PROHIBITED IN THE TOWN RIGHT-OF-WAY OR NEAR ADJACENT PROPERTIES.
37. BUILDING CONSTRUCTION MUST NOT START SOONER THAN SUNRISE AND MUST STOP NO LATER THAN SUNSET. ALSO, ORDINANCE #561 IMPOSES RESTRICTIONS ON CONSTRUCTION WORK ON SATURDAYS, SUNDAYS AND MAJOR BUSINESS HOLIDAYS. HILLSIDE PROJECTS MAY HAVE ADDITIONAL RESTRICTIONS. EQUIPMENT WITH AUDIBLE REVERSE DIRECTION WARNINGS MUST NOT BE OPERATED PRIOR TO 7:00 A.M. THE USE AND OPERATION OF FUEL-FIRED GENERATORS ON ANY CONSTRUCTION SITE, NEW, EXISTING OR REMODELING, IS PROHIBITED UNLESS DUE TO A HARDSHIP TOWN APPROVAL IS OBTAINED.
38. THE CONTRACTOR AND PROPERTY OWNER WILL BE LIABLE FOR ANY DAMAGE DONE TO ANY PUBLIC PROPERTY AS A RESULT OF ANY CONSTRUCTION OR CONSTRUCTION RELATED ACTIVITIES. NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL AFFECTED RIGHTS-OF-WAY ARE CLEANED AND/OR REPAIRED TO THEIR ORIGINAL CONDITION AND UNTIL ANY AND ALL DAMAGES TO AFFECTED PROPERTIES ARE RESTORED TO ORIGINAL CONDITION, OR UNTIL SUCH TIME THAT A WRITTEN, SIGNED AND LEGALLY BINDING AGREEMENT HAS BEEN REACHED BY THE PARTIES INVOLVED TO REMEDY ANY VIOLATION WITHIN A REASONABLE TIME PERIOD, AND UNTIL ALL REQUIRED FEES ARE PAID IN FULL.
40. THE NATURAL FLOW OF RAINWATER AND OTHER SURFACE DRAINAGE FROM THE PROPERTY MAY NOT BE ALTERED IN ANY WAY.
41. A KEY SWITCH SHALL BE REQUIRED ON ALL NEW AND EXISTING ELECTRIC ENTRY CONTROL GATES. THE KEY SWITCH SHALL BE INSTALLED IN A LOCATION ON THE GATE CONTROL PANEL THAT IS READILY VISIBLE AND ACCESSIBLE. KNOX BOX ORDER FORMS ARE AVAILABLE AT THE PARADISE VALLEY BUILDING DEPARTMENT.
42. ALL EQUIPMENT OF ALL TRADES ON OR AFFECTING THE JOB MUST BE CLEANED ONLY IN A PRE-DETERMINED AND DESIGNATED AREA. DEBRIS AND RUNOFF FROM SAID AREA MAY NOT EXTEND BEYOND THE BUILDING AREA.
43. PROPERTY OWNER, BUILDER, OR GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR CONTROLLING DUST FROM THE SITE AT ALL TIMES. ALL MEANS NECESSARY SHALL BE USED BY THE BUILDER OR GENERAL CONTRACTOR TO CONTROL THE EXISTENCE OF DUST CAUSED BY ANY EARTHWORK, SPRAY APPLICATION OF MATERIALS, OR OTHER DUST-Causing PRACTICES REQUIRED BY THE CONSTRUCTION PROCESS.
44. AN INSPECTION FEE WILL BE CHARGED IF THE INSPECTION IS REQUIRED AS A RESULT OF A CODE VIOLATION.
45. FOR DEMOLITION INSPECTION OWNER OR PERMITTEE SHALL NOTIFY OSHA FOR ASBESTOS INSPECTION. ALL DEMOLITIONS AND ALL RENOVATION ACTIVITIES THAT WILL DISTURB FRIABLE ASBESTOS CONTAINING MATERIALS MUST BE REPORTED TO THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT.

PRELIMINARY GRADING & DRAINAGE PLAN

AHDOOT RESIDENCE

8020 N MUMMY MOUNTAIN RD., PARADISE VALLEY, AZ 85253

LOT 16 - MUMMY MOUNTAIN ESTATES

A SUBDIVISION PLAT RECORDED IN BOOK 49 OF MAPS, PAGE 40, MCR.,
LOCATED IN A PORTION OF THE S 1/2 OF THE SW 1/4 OF SECTION 33, T.3N, R.4E
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

ENGINEERS NOTES

1. MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION INCLUDING LATEST REVISION AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL TOWN OR CITY) ARE INCORPORATED INTO THIS PLAN IN THEIR ENTIRETY.
2. ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL CITY OR TOWN UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
3. GRADING SHALL BE IN CONFORMANCE WITH 2018 IBC SEC. 1803 AND APPENDIX J.
4. 5X MINIMUM SLOPE AWAY FROM BUILDING FOR A MINIMUM 10', U.N.O.
5. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) SPECIFICATIONS AND STANDARD DETAILS.
6. A DUST CONTROL PLAN MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
7. A SEPARATE PERMIT IS NECESSARY FOR ANY OFFSITE CONSTRUCTION.
8. AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
9. ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTOR DITCHES, PIPES, PROTECTIVE BERMS, BARRIER WALLS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT ADJACENT BUILDINGS OR PROPERTY FROM STORM RUNOFF MUST BE COMPLETED PRIOR TO BUILDING CONSTRUCTION.
10. ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
11. ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE. ALL LAWN AREAS ADJOINING WALKS OR SLABS WILL BE GRADED TO 2" BELOW THE TOP OF SLAB. TYPICAL FINISHED GRADE AROUND PERIMETER OF BUILDING IS MINUS 6" BELOW FINISHED FLOOR UNLESS SPECIFIED OTHERWISE.
12. ALL MATERIAL TO BE UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95% PER ASTM D698.
13. THE QUANTITIES AND SITE CONDITIONS DEPICTED IN THESE PLANS ARE FOR INFORMATIONAL PURPOSES ONLY AND ARE SUBJECT TO ERROR AND OMISSION. CONTRACTORS SHALL SATISFY THEMSELVES AS TO ACTUAL QUANTITIES AND SITE CONDITIONS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
14. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
15. THE CONTRACTOR IS RESPONSIBLE FOR ALL METHODS, SEQUENCING, AND SAFETY CONCERNS ASSOCIATED WITH THIS PROJECT DURING CONSTRUCTION, UNLESS SPECIFICALLY ADDRESSED OTHERWISE IN THIS PLAN OR ELSEWHERE.
16. A REASONABLE EFFORT HAS BEEN MADE TO SHOW THE LOCATIONS OF EXISTING UNDERGROUND FACILITIES AND UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND/OR FACILITIES CAUSED DURING THEIR CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL CALL 48 HOURS IN ADVANCE FOR BLUE STAKE (1-800-STAKE-IT) PRIOR TO ANY EXCAVATION.
17. THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION OF CONSTRUCTION AFFECTING UTILITIES AND THE COORDINATION OF ANY NECESSARY UTILITY RELOCATION WORK.
18. ALL PAVING, GRADING, EXCAVATION, TRENCHING, PIPE BEDDING, CUT, FILL AND BACKFILL SHALL COMPLY WITH THE RECOMMENDATIONS SET FORTH IN THE SOILS (GEOTECHNICAL) REPORT FOR THIS PROJECT IN ADDITION TO THE REFERENCED REQUIRED SPECIFICATIONS AND DETAILS.
19. THE CONTRACTOR IS TO VERIFY THE LOCATION AND THE ELEVATIONS OF ALL EXISTING UTILITIES AT POINTS OF TIE-IN PRIOR TO COMMENCING ANY NEW CONSTRUCTION. SHOULD ANY LOCATION OR ELEVATION DIFFER FROM THAT SHOWN ON THESE PLANS, THE CONTRACTOR SHALL CONTACT THE OWNER'S AGENT.
20. THE CONTRACTOR TO VERIFY AND COORDINATE ALL DIMENSIONS AND SITE LAYOUT WITH ARCHITECTURE'S FINAL SITE PLAN AND FINAL BUILDING DIMENSIONS BEFORE STARTING WORK. REPORT DISCREPANCIES TO OWNER'S AGENT.
21. COORDINATION BETWEEN ALL PARTIES IS ESSENTIAL PART OF CONTRACT.
22. CONTRACTOR IS RESPONSIBLE FOR PROJECT AND SITE CONDITIONS, AND TO WORK WITH WEATHER CONDITIONS AS THE PROJECT SITE MAY BE LOCATED IN A FLOOD PRONE AREA AND SUBJECT TO FLOODING AND ITS HAZARDS.
23. THE CONTRACTOR IS TO VERIFY THE LOCATION, ELEVATION, CONDITION, AND PAVEMENT CROSS-SLOPE OF ALL EXISTING SURFACES AT POINTS OF TIE-IN AND MATCHING, PRIOR TO COMMENCEMENT OF GRADING, PAVING, CURB AND GUTTER, OR OTHER SURFACE CONSTRUCTION. SHOULD EXISTING LOCATIONS, ELEVATIONS, CONDITION, OR PAVEMENT CROSS-SLOPE DIFFER FROM THAT SHOWN ON THESE PLANS, RESULTING IN THE DESIGN INTENT REFLECTED ON THESE PLANS NOT ABLE TO BE CONSTRUCTED, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AGENT IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ALL COSTS ASSOCIATED WITH CORRECTIVE ACTION IF THESE PROCEDURES ARE NOT FOLLOWED.
24. CONTRACTOR IS RESPONSIBLE TO COORDINATE UTILITY CROSSINGS AT CULVERT CROSSINGS BEFORE STARTING WORK ON CULVERT. COORDINATE WITH OWNER REPRESENTATIVE. VERIFY UTILITY LINES AND/OR CONDUITS ARE IN PLACE BEFORE STARTING CULVERT WORK.
25. ALL ON-SITE UTILITIES PER OTHERS.
26. THIS PROJECT REQUIRES A REGULAR ONGOING MAINTENANCE PROGRAM FOR THE DESIGNED DRAINAGE SYSTEM(S) TO PRESERVE THE DESIGN INTEGRITY AND THE ABILITY TO PERFORM ITS OPERATIONAL INTENT. FAILURE TO PROVIDE MAINTENANCE WILL JEOPARDIZE THE DRAINAGE SYSTEM(S) PERFORMANCE AND MAY LEAD TO ITS INABILITY TO PERFORM PROPERLY AND/OR CAUSE DAMAGE ELSEWHERE IN THE PROJECT.
27. IF A DISCREPANCY IS FOUND BETWEEN ENGINEER'S PLAN OR SURVEYOR'S STAKING AND THE ARCHITECTURAL PLAN, ENGINEER SHALL BE NOTIFIED IMMEDIATELY. FAILURE TO NOTIFY ENGINEER SHALL NEGATE ENGINEER'S LIABILITY.
28. ALL DISTURBED AREAS ARE TO BE ROPED AND ROPING MUST MATCH PLAN.
29. VEGETATION OUTSIDE OF CONSTRUCTION AREA TO REMAIN.
30. AREAS OUTSIDE THE WALL AND CUT AND FILL SLOPES SHALL BE REVEGETATED WITH SIMILAR PLANT TYPES AND DENSITIES FOUND ON THE SITE. REVEGETATION SHALL BE COMPLETED PRIOR TO OCCUPANCY AND THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
31. MECHANICAL EQUIPMENT SHALL BE SCREENED TO A MINIMUM OF ONE FOOT ABOVE TOP OF EQUIPMENT.
32. ANY FUTURE IMPROVEMENTS SHOWN HEREON SHALL REQUIRE A SEPARATE PERMIT.
33. ANY POINTS OF DRAINAGE CONCENTRATION SHOULD BE PROTECTED AGAINST EROSION WITH NATIVE STONE.
34. THIS PLAN IS DESIGNED TO SHOW SITE GRADING AND DRAINAGE CONTRACTOR SHALL USE THE ARCHITECTURAL SITE PLAN TO DETERMINE FINAL HOUSE, WALL, STEP, ETC., LOCATIONS AND ELEVATIONS.
35. ALL DRAINAGE FACILITIES TO BE MAINTAINED BY HOMEOWNER.
36. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR SITE AND RETAINING WALLS LAYOUT, DIMENSIONS, AND DETAILS. TOP OF FOOTING ELEVATIONS SHOWN IN PLAN ARE APPROXIMATE ONLY. ACTUAL TOP OF FOOTINGS TO BE DETERMINED AT TIME OF CONSTRUCTION AND TO BE A MINIMUM OF SIX INCHES BELOW EXISTING NATURAL GRADE OR FINISHED GRADE WHICHEVER IS LOWER (TYPICAL).
37. REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT, DIMENSIONS AND ELEVATIONS.
38. REFER TO STRUCTURAL DRAWINGS, DETAILS AND CALCULATIONS FOR ALL PROPOSED RETAINING WALLS.
39. FOR CHANGE IN ELEVATION THAT ARE GREATER THAN 30", PROVIDE 36" HIGH GUARDRAILS FOR TOTAL OF 42" FALL PROTECTION BARRIER U.N.O.
40. CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE - 5% MIN SLOPE FOR FIRST 10 FEET, U.N.O.
41. ALL WATER AND SEWER LINES AND CONNECTIONS MUST BE INSTALLED PER IPC 2018, MAG AND TOWN OF PARADISE VALLEY SUPPLEMENT TO MAG.
42. WATERPROOF ALL EXTERIOR WALLS 18" ABOVE FINISH GRADE-(BITUTHENE® 3000 HC MEMBRANE W/ GRACE PROTECTION 03 OR APPROVED EQUAL).
43. ALL PIPES AND FITTINGS SHALL BE INSTALLED PER MANUFACTURE'S SPECIFICATIONS AND DETAILS.
44. ABANDONMENT OF EXISTING AND INSTALLATION OF NEW SEPTIC SYSTEMS SHALL BE PERFORMED IN ACCORDANCE WITH THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT RULES AND STANDARDS, AND WILL REQUIRE SEPARATE PERMIT.
45. COORDINATE RIPRAP COLOR WITH LANDSCAPE PLANS AND DETAILS.
46. VERIFY AND COORDINATE WITH LANDSCAPE PLANS FINAL LOCATION AND GRATE TYPE OF SPECIFIED AREA DRAINS AND TRENCH DRAINS.
47. VERIFY AND COORDINATE WITH ARCHITECTURAL AND LANDSCAPE PLANS LOCATION AND HEIGHT OF ALL SITE WALLS.
48. DISTURBED AREA: TOTAL ACRES = 2.77 ACRES > 1 ACRE; NPDES PERMIT IS REQUIRED.
49. REFER TO ARCHITECTURAL PLANS AND DETAILS FOR DEMOLITION AND REMOVAL OF ANY EXISTING BUILDING STRUCTURES, SITE WALLS, POOL AND PAVEMENT ETC.
50. REFER TO GEOTECHNICAL REPORT FOR SPECIFIC RECOMMENDATIONS AND MAXIMUM ALLOWED FILL AND CUT SLOPES.
51. STABILITY OF EXISTING ROCK PINNING AND NET SHALL BE INSPECTED AND APPROVED BY GEOTECHNICAL ENGINEER.
52. RIPRAP AREAS SHALL BE OVER-EXCAVATED SUCH THAT TOP OF RIPRAP WILL MEET ADJACENT GRADE.

LEGEND

- BRASS CAP FLUSH
- FOUND REBAR OR AS NOTED
- SET 1/2" REBAR & TAG OR AS NOTED
- CALCULATED POINT
- PROPERTY LINE
- EASEMENT LINE
- MONUMENT LINE
- FIRE HYDRANT
- WATER METER
- CABLE TV RISER
- ELECTRIC METER
- GAS METER
- SEWER CLEANOUT
- KEYPAD
- A/C UNIT
- MAILBOX
- COMMUNICATIONS LINE
- CATV, PHONE
- SEWER LINE
- GAS LINE
- WATER LINE
- ELECTRIC LINE
- EXISTING CONTOUR
- EXIST. DRAINAGE FLOW
- PALM TREE
- TREE
- FLUTED CACTUS
- PALO VERDE
- SAQUARO
- BARREL CACTUS
- OLEANDERS
- EXISTING DISTURBED AREA
- PROPOSED DISTURBED AREA
- DRAINAGE FLOW ARROW
- PROPOSED SPOT ELEVATION
- PROPOSED CONTOUR
- TOP OF PARAPET
- TOP OF NON-RET. WALL
- TOP OF RETAINING WALL
- FINISH GRADE
- BOTTOM OF WALL
- TOP OF FOOTING
- STORM DRAIN PIPE
- RETAINING WALL/ AGAINST BUILDING
- EXTENDED BUILDING STEM WALL

ABBREVIATIONS

- BC BACK OF CURB
- BSL BUILDING SETBACK LINE
- EG EXISTING GRADE
- EL ELEV ELEVATION
- EP EDGE OF PAVEMENT
- ESMT EASEMENT
- EX EXIST. EXISTING
- FG FINISH GRADE
- FND FOUND
- G GUTTER, GAS
- INV INVERT
- (M) MEASURED
- MCR MARICOPA COUNTY RECORDER
- MANHOLE MANHOLE
- P PAVEMENT
- P, PWMT PUBLIC UTILITY EASEMENT
- R RECORDED
- (R), REC. RECORDED
- R RADIUS
- R/W RIGHT OF WAY
- T TANGENT, TELEPHONE
- TO TOP OF GRATE
- TPV TOWN OF PARADISE VALLEY
- W WEST, WATERLINE

EARTHWORK QUANTITIES

OUT: 9,745 C.Y.
CUT FROM PIPES: 51 C.Y.
FILL: 1,159 C.Y.
NET CUT: 8,637 C.Y.

ALL QUANTITIES LISTED ON THESE PLANS ARE ESTIMATES ONLY. NO SHRINK OR SWELL IS ASSUMED. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF THE QUANTITIES AND BASE THEIR BIDS ON THEIR ESTIMATES.

DISTURBED AREA CALCULATIONS

AREA OF LOT: 220,257 S.F. (5.056 AC.)
TOTAL UNDER ROOF AREA: 20,559 S.F.
FLOOR AREA RATIO: 9.33% < 25%
(TOTAL UNDER ROOF AREA/AREA OF LOT)
BUILDING PAD SLOPE: 9.70%
VERTICAL: 35
HORIZONTAL: 360.30
ALLOWABLE NET DISTURBED AREA: 132,154 S.F. (60.00%)
GROSS EXISTING DISTURBED AREA: 104,389 S.F.
GROSS PROPOSED DISTURBED AREA: 22,753 S.F.
LESS TEMPORARY AREAS OF DISTURBANCE:
TO BE RESTORED AND REVEGETATED: 25,687 S.F.
LESS 50% OF NEW DRIVEWAY: 0.5*14,565=7,283 S.F.
LESS BUILDING FOOTPRINT AREA: 7,455 S.F.
PROPOSED NET DISTURBED AREA: 86,717 S.F.
ALLOWED SLOPES STEEPER THAN NATURAL GRADE (5% MAX.): 10,013 S.F. (5%)
PROPOSED SLOPES STEEPER THAN NATURAL GRADE: 6,828 S.F. (3.1%)
VOLUME OF CUT: 9,796 C.Y.
VOLUME OF FILL: 1,159 C.Y.
TOTAL CUT & FILL: 10,955 C.Y.
HILLSIDE ASSURANCE = 35 TIMES THE GRADING PERMIT FEE. = \$367,395
GRADING PERMIT FEE: \$10,497 (\$142 FIRST 100 CY / \$95 EA. ADDITIONAL 100 CY).
ALL QUANTITIES LISTED ON THESE PLANS ARE ESTIMATES ONLY. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF THE QUANTITIES AND BASE THEIR BIDS ON THEIR ESTIMATES.

UTILITIES

WATER: CITY OF PHOENIX
SANITARY SEWER: SEPTIC (TPV PUBLIC SEWER EXTENSION IS PLANNED)
ELECTRIC: ARIZONA PUBLIC SERVICE
TELEPHONE: CENTURY LINK, COX COMM.
NATURAL GAS: SOUTHWEST GAS
CABLE TV: CENTURY LINK, COX COMM.

UTILITIES NOTES

HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THE PLAN ARE APPROXIMATE ONLY AND WILL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO START OF CONSTRUCTION WORK. CALL BLUE STAKE @ (602) 263-1100.

SHEET INDEX

SHEET C-1 - COVER SHEET
SHEET C-2 - PRELIMINARY OVERALL PLAN
SHEET C-3 - ENLARGED LOWER LEVEL VIEW
SHEET C-4 - ENLARGED MAIN LEVEL VIEW

NATIVE PLANTS

ALL NATIVE PLANTS IMPACTED BY CONSTRUCTION SHALL BE RELOCATED ON SITE. SEE LANDSCAPE PLAN AND NATIVE PLANT INVENTORY AND SALVAGE PLAN.

DRAINAGE STATEMENT

1. ULTIMATE STORM OUTFALL IS LOCATED NEAR THE MIDDLE OF NORTHEASTERLY PROPERTY LINE AT ELEVATION OF 1390.07.
2. PROPOSED DEVELOPMENT DOES NOT IMPACT DRAINAGE CONDITIONS OF ADJOINING LOTS.
3. EXISTING DRAINAGE PATTERNS ARE PRESERVED.
4. THE MINIMUM FINISH FLOOR ELEVATIONS SHOWN ARE SAFE FROM INUNDATION DURING A 100-YEAR PEAK RUN-OFF EVENT IF CONSTRUCTED PER THE APPROVED CIVIL PLANS.
5. PROPOSED STORM DRAIN SYSTEM SHALL BE INSPECTED AND CLEANED FROM DEBRIS AND SILT AFTER EVERY MAJOR STORM EVENT.
6. RIPRAP AND BOULDERS ARE SPECIFIED AT ALL POINTS OF DISCHARGE TO MITIGATE EROSION AND TO CONVERT CONCENTRATED FLOWS BACK TO SHEET FLOWS.
7. ON-SITE RETENTION IS PROPOSED FOR THE 100-YEAR STORM EVENT FOR PRE VS POST DEVELOPMENT CONDITIONS. THE RUNOFF GENERATED IS BY THE ROOF, HARDSCAPE AND AUTO-COURT AREA.

TOWN OF PARADISE VALLEY HILLSIDE NOTES

- A. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL ALL HILLSIDE STIPULATIONS AND ALL TOWN CODE REQUIREMENTS ARE COMPLIED INCLUDING, BUT NOT LIMITED TO LANDSCAPING, GROUND RESTORATION, FIRE FLOW, FIRE SAFETY, AND ALL ONSITE AND OFFSITE IMPROVEMENTS.
- B. THIS PROJECT LIGHTING SHALL BE IN CONFORMANCE WITH ARTICLE XXII OF THE TOWN ZONING ORDINANCE.
- C. ALL EXCESS FILL MATERIAL SHALL BE REMOVED FROM THE SITE WITH NO NEW SPILL SLOPES.
- D. THE USE OF HYDROLOGIC RAM HAMMERS, OR OTHER HEAVY EQUIPMENT USED TO CUT THROUGH ROCK, INCLUDING MACHINERY WITH AUDIBLE BACK UP WARNING DEVICES SHALL BE LIMITED TO USE BETWEEN THE HOURS OF 7:00AM OR SUNRISE, WHICHEVER IS LATER, AND 6:00PM OR SUNSET, WHICHEVER IS EARLIER, MONDAY THROUGH FRIDAY, WITH LIMITED WORK ON SATURDAY AND NO WORK ON SUNDAY OR LEGAL HOLIDAYS. RAM HAMMERS AND OTHER HEAVY EQUIPMENT CANNOT BE USED ON SATURDAYS WITHOUT A WAIVER FROM THE TOWN MANAGER.
- E. CONSTRUCTION STAKING AND/OR FENCING SHALL BE PLACES AROUND THE CONSTRUCTION SITE SO AS TO PROTECT THE UNDISTURBED NATURAL AREA.
- F. ALL RETAINING WALLS SHALL NOT EXTEND MORE THAN 6 INCHES ABOVE THE MATERIAL THEY RETAIN (WITH EXCEPTION OF DRIVEWAY RETAINING WALLS IN ACCORDANCE WITH 2207.V.6).

GRADING SPECIFICATIONS

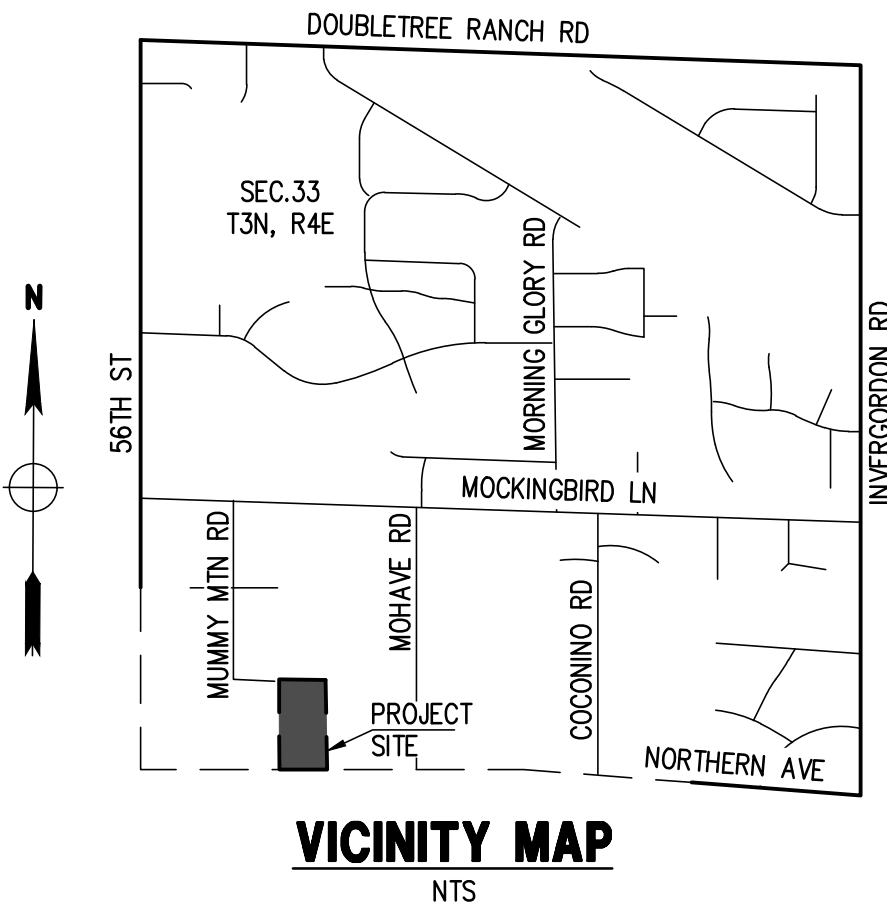
1. EXCAVATION AND GRADING OF THIS SITE IS CLASSIFIED AS "ENGINEERED GRADING" PER 2018 I.B.C. AND WILL BE PERFORMED ACCORDINGLY.
2. THE CONTRACTOR WILL RETAIN A SOILS ENGINEER DURING CONSTRUCTION TO INSPECT PROGRESS OF CONSTRUCTION, CONCERNING PREPARATION OF GROUND TO RECEIVE FILLS, TESTING AND REQUIRED COMPACTION STABILITY OF ALL FINISH SLOPES INCLUDING CUT SLOPES.
3. COMPACTION SHALL COMPLY WITH M.A.G. SECTION 601 AND PROVISIONS AS SET FORTH IN THE SOILS REPORT.
4. BEARING MATERIALS FOR FILL UNDER RESIDENCE PAD IF NATIVE MATERIAL IS USED. LARGE ROCK FRAGMENTS MUST BE REMOVED THAT ARE IN EXCESS OF SIX INCHES. REMAINING MATERIAL MUST BE SMALLER PARTICLES OF SAND AND ROCK THAT CAN BE COMPACTED INTO A DENSE CONDITION.
5. MAXIMUM PARTICLE SIZE: 8 INCHES
PERCENT PASSING NO. 4 SIEVE: 35% TO 70%
PERCENT PASSING NO. 200 SIEVE: 25% MAX.
PLASTICITY INDEX: 10% MAX.
6. CUT-SLOPES: MAXIMUM ROCK CUT SLOPE TO BE 1.0 FEET HORIZONTAL TO 3.0 FEET VERTICAL PER GEOTECHNICAL STUDY.
7. FILL SLOPES: MAXIMUM FILL SLOPE TO BE 2.0 FEET HORIZONTAL TO 1.0 FEET VERTICAL.
8. COMPACTION FILL MATERIAL MUST BE PLACED ON LEVELED BENCHES CUT INTO UNDISTURBED EXISTING HILLSIDE. PLACE FILL IN HORIZONTAL LISTS OF THICKNESS COMPATIBLE WITH THE COMPACTION EQUIPMENT USED. COMPACT TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM A.S.T.M. DENSITY AT THE OPTIMUM MOISTURE CONTENT OF ± TWO PERCENT. THIS PERTAINS TO ALL ENGINEERED STRUCTURAL FILL SUPPORTING STRUCTURES AND INCLUDING FILL UNDER ANY OF THE RETAINING WALLS. COMPACTION TEST RESULTS SHALL BE SUBMITTED TO THE SOILS ENGINEER AND TOWN OF PARADISE VALLEY BUILDING AND SAFETY DEPARTMENT.
9. ANY RETAINING WALLS ADJACENT TO THE PROPERTY LINES WILL BE UNDER THE SCOPE OF SPECIAL INSPECTION BY THE SOILS ENGINEER. THE DEVELOPER SHALL NOTIFY THE ADJOINING PROPERTY OWNERS IN WRITING, TEN DAYS PRIOR TO START OF CONSTRUCTION ON THESE WALLS PER SECTION 2903-B OF IBC. THE DEVELOPER WILL HAVE TO PROVIDE MEANS OF PROTECTION OF ADJACENT PROPERTY WHILE THIS WORK IS UNDER CONSTRUCTION.
10. ALL EXPOSED CUT AND FILL SHALL BE TREATED WITH AN APPROVED AGING AGENT TO MINIMIZE TO VISUAL CONTINUITY.

PROJECT DESCRIPTION

NEW SINGLE FAMILY RESIDENCE, POOL, TENNIS COURT, RETAINING WALLS AND NEW SITE.

FIRE SPRINKLER SYSTEM

FIRE SPRINKLER SYSTEM TO BE INSTALLED PER THE REQUIREMENTS OF THE TOWN OF PARADISE VALLEY AND IN ACCORDANCE WITH I.B.C. SECT. 904.2.2 AMD. AND I.F.C. SECT. 1003.2.1 AMD.



VICINITY MAP
NTS

OWNER

BLUE 888, LLC
6037 E DONNA CIR.,
PARADISE VALLEY, AZ 85253

ARCHITECT

DREWETWORKS ARCHITECTURE
7144 E STETSON DR, SUITE 204,
SCOTTSDALE, AZ 85251
P: 855-373-9388

SITE DATA

APN: 168-77-008
ADDRESS: 8020 N MUMMY MOUNTAIN RD.,
PARADISE VALLEY, AZ 85253
ZONING: R-175
LOT AREA: 220,257 S.F. (5.056 AC.)
TOPV OS#: 25-41
TOTAL UNDER ROOF AREA: 20,559 S.F.
LOT COVERAGE: 9.33%

LEGAL DESCRIPTION

LOT 16, MUMMY MOUNTAIN ESTATES, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 49 OF MAPS, PAGE 40, OF OFFICIAL RECORDS.

BASIS OF BEARINGS

THE MONUMENT LINE OF MUMMY MOUNTAIN ROAD, THE BEARING OF WHICH IS N0018°00'W.

BENCHMARK

BRASS CAP FLUSH AT THE INTERSECTION OF 56TH STREET AND MOCKINGBIRD LANE, HAVING AN ELEVATION OF 1349.97' (NAVD 88) DATUM, GDACS# 26101-1.

FLOOD INSURANCE RATE MAP (FIRM) DATA

COMMUNITY #	PANEL #	SUFFIX	BASE FLOOD ELEVATION
040049	1765 OF 4425	L	N/A
MAP #	PANEL DATE	FIRM INDEX DATE	ZONE
04013C	10/16/2013	11/04/2015	X*

*AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

AS-BUILT CERTIFICATION

I HEREBY CERTIFY THAT THE "RECORD DRAWING" MEASUREMENTS AS SHOWN HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

REGISTERED ENGINEER/ LAND SURVEYOR DATE
REGISTRATION NUMBER

FINISH FLOOR CERTIFICATION

I HEREBY CERTIFY THAT THE FINISHED FLOOR ELEVATIONS SHOWN ON THE PLAN OF 1420.00 AND 1432.00 ARE MINIMUM OF 12" ABOVE THE 100-YEAR STORM ELEVATION OF 1410.00 ACCORDING TO THE TOWN OF PARADISE VALLEY CODE OF ORDINANCE.

Nick Prodanov 11/05/20
REGISTERED CIVIL ENGINEER DATE:

APPROVAL

THIS SET OF PLANS HAS BEEN REVIEWED FOR COMPLIANCE WITH TOWN OF PARADISE VALLEY REQUIREMENTS PRIOR TO ISSUANCE OF PERMIT. THE TOWN NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. THIS COMPLIANCE APPROVAL SHALL NOT PREVENT THE TOWN ENGINEER FROM REQUIRING CORRECTIONS OF ERRORS OR OMISSIONS IN THE PLANS TO BE FOUND IN VIOLATION OF LAWS OR ORDINANCES.

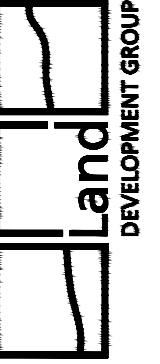
TOWN ENGINEER DATE
TOWN OF PARADISE VALLEY

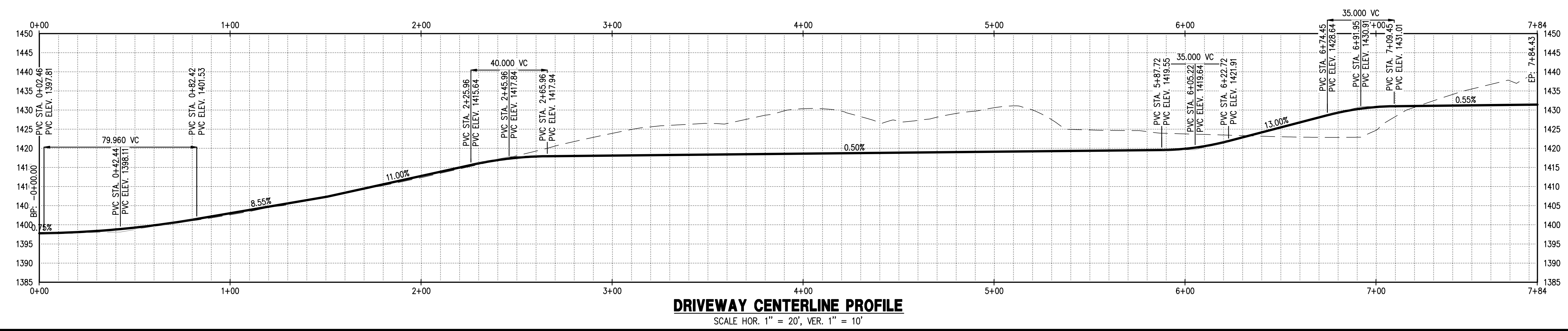
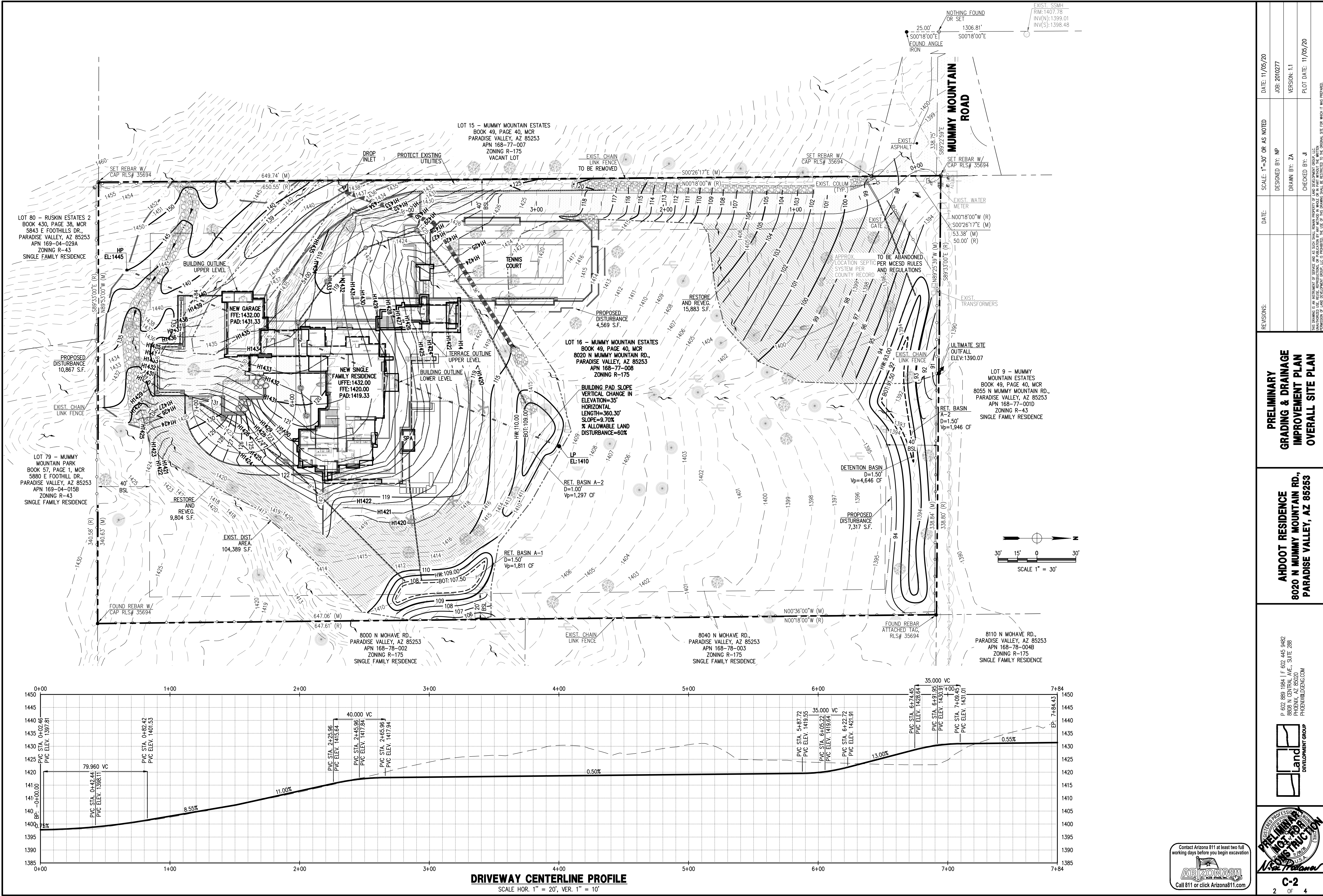


PRELIMINARY
GRADING & DRAINAGE
COVER SHEET

AHDOOT RESIDENCE
8020 N MUMMY MOUNTAIN RD.,
PARADISE VALLEY, AZ 85253

P. 602 889 1984 | F. 602 445 9482
8808 N CENTRAL AVE, SUITE 208
PHOENIX, AZ 85020
PHOENIXVALLEY.COM





DATE:	DATE: 11/05/20
REVISIONS:	SCALE: 1"=30' OR AS NOTED
	DESIGNED BY: NP
	DRAWN BY: ZA
	CHECKED BY: JJ
	VERSION: 1.1
	PLOT DATE: 11/05/20

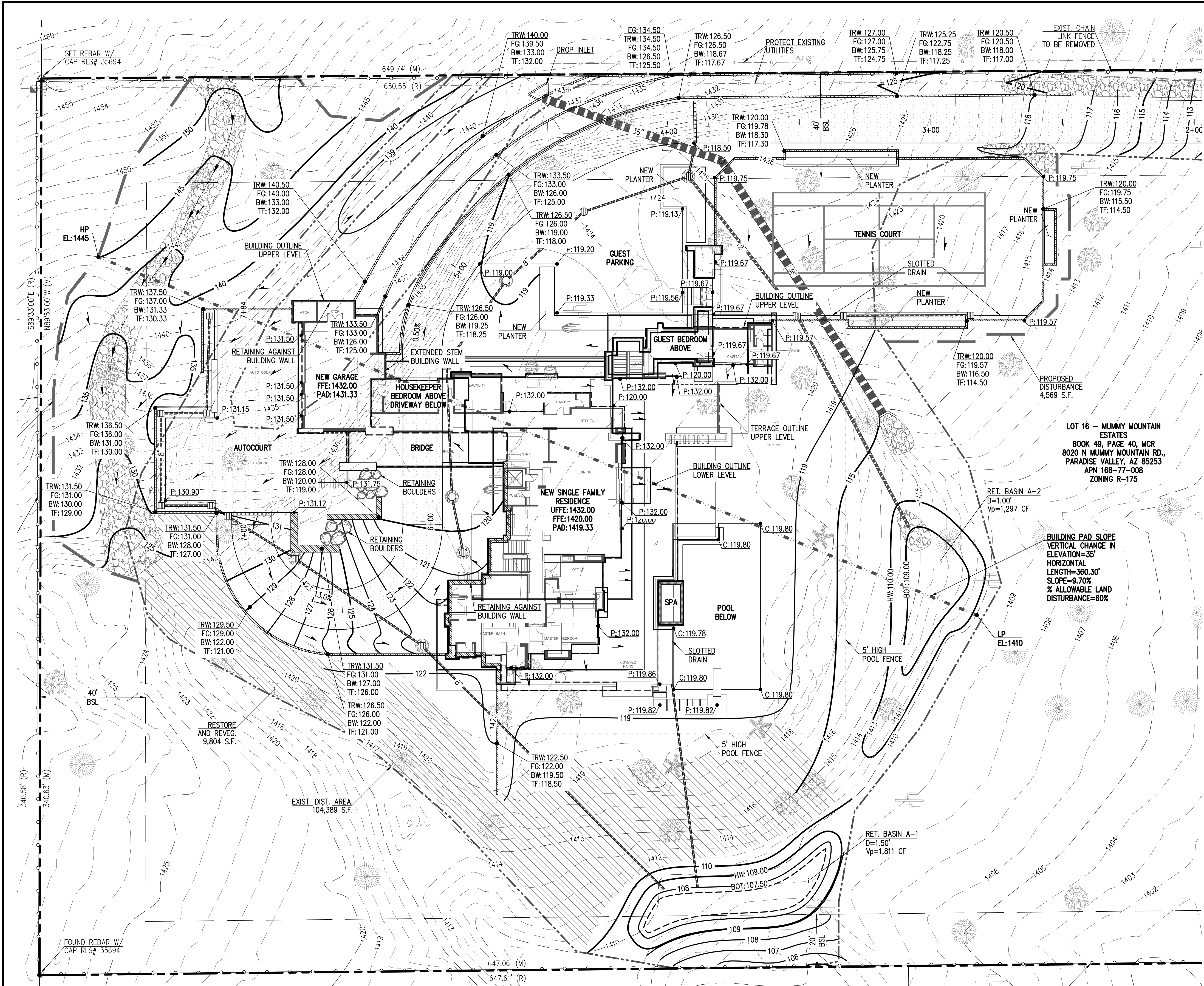
PRELIMINARY GRADING & DRAINAGE IMPROVEMENT PLAN OVERALL SITE PLAN

**AHDOOT RESIDENCE
8020 N MUMMY MOUNTAIN RD.,
PARADISE VALLEY, AZ 85253**

P. 602.889.1984 | F. 602.445.9482
8808 N CENTRAL AVE., SUITE 288
PHOENIX, AZ 85020
PHOENIXVALDESIGN.COM

Arizona
REGISTERED PROFESSIONAL ENGINEER
No. 11000
Exp. 12/31/2024
J. J. J. J.

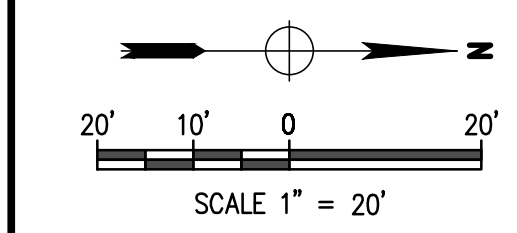
C-2
2 OF 4



ON-SITE RETENTION FOR THE PRE VS. POST DEVELOPMENT RUNOFF FROM 100-YEAR, 2-HOUR STORM EVENT										
V=DxAX(Cw.post-Cw.pre)/12 | D - RAINFALL DEPTH = 2.22" | A - TRIBUTARY AREA, SF | Cw - WEIGHTED RUNOFF COEFFICIENT										
VF=(DfxAXCw.post)/12 | Df - RAINFALL DEPTH = 0.5" FIRST FLUSH | A - TRIBUTARY AREA, SF | Cw - WEIGHTED RUNOFF COEFFICIENT										
DRAINAGE AREA	AREA	RUNOFF COEFFICIENT	VOLUME REQUIRED PRE VS POST	VOLUME REQUIRED FIRST FLUSH	RETENTION BASIN ID	CONTOUR ELEVATION		CONTOUR AREA	DEPTH	VOLUME PROVIDED
								FT	FT	C.F.
A	86,717*	0.07	1,123	3,288	A1	HW	1,409.00	1,763	1.50	1,811
						BOTTOM	1,407.50	651		
					A2	HW	1,393.00	2,087	1.50	1,946
						BOTTOM	1,391.50	508		
TOTAL AREA										3,756

WEIGHTED RUNOFF COEFFICIENT, C_w					WEIGHTED RUNOFF COEFFICIENT, C_w				
PRE- DEVELOPMENT					POST- DEVELOPMENT				
SURFACE TYPE	RUNOFF COEFFICIENT C	AREA SF	C*AREA		SURFACE TYPE	RUNOFF COEFFICIENT C	AREA SF	C*AREA	
PAVEMENT & ROOF	0.95	29,986	28,487		PAVEMENT & ROOF	0.95	45,692	43,408	
NATIVE HILLSIDE	0.70	23,939	16,758		NATIVE HILLSIDE	0.70	8,233	5,763	
		TOTAL	53,926	45,245			TOTAL	53,926	49,171
$C_w = C * \text{AREA} / \text{TOTAL AREA}$				0.84	$C_w = C * \text{AREA} / \text{TOTAL AREA}$				0.91

*EXCLUDES AREAS TO BE REVEGETATED AND DEDICATED AS DRAINAGE EASEMENTS.

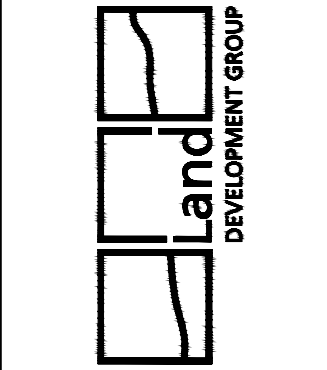


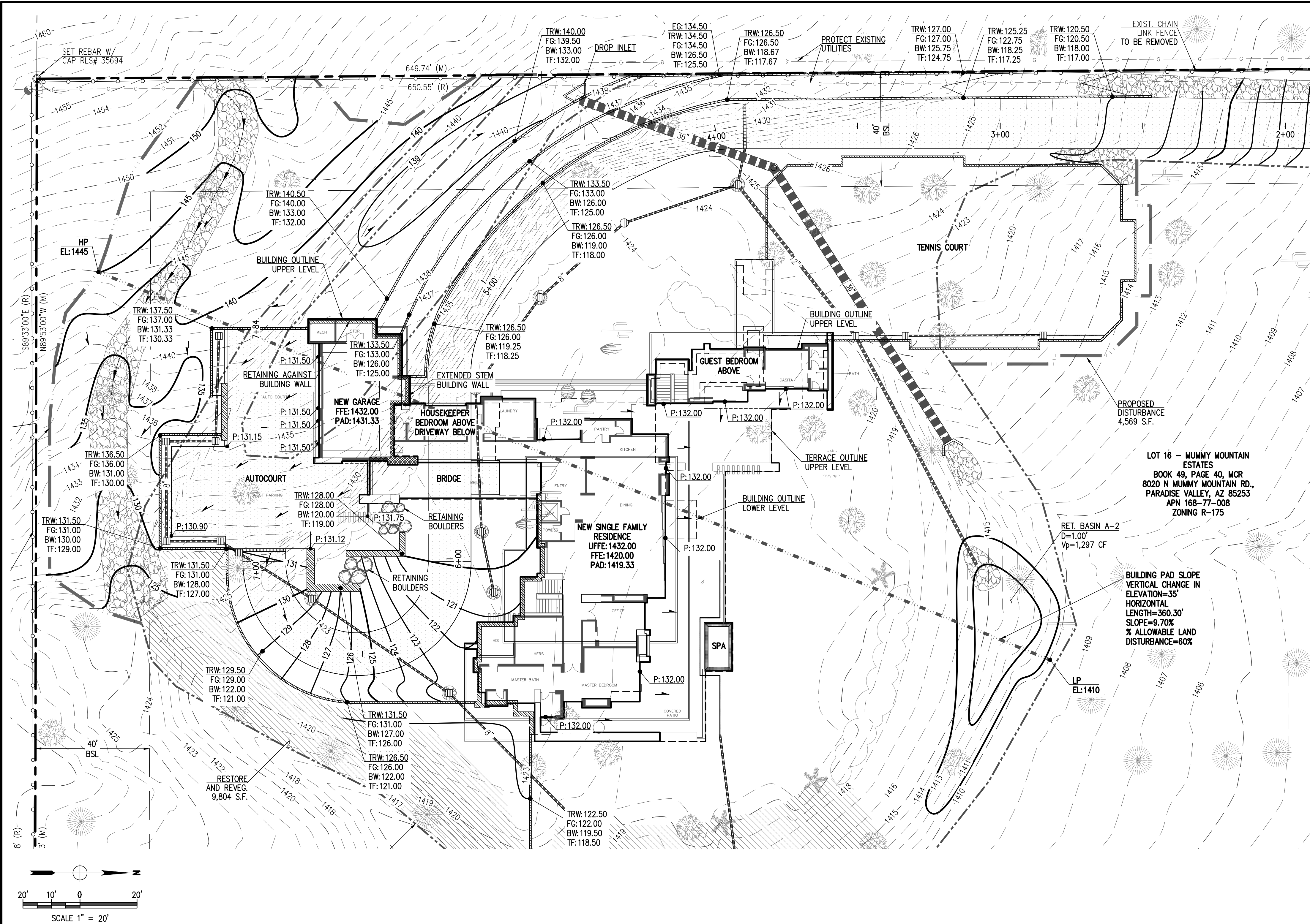
DATE: 11/05/20	JOB: 2010277	DESIGNED BY: NP	DRAWN BY: ZA	CHECKED BY: JJ	PLOT DATE: 11/05/20
REVISIONS:	SCALE: 1"=20'	DATE:			

PRELIMINARY
GRADING & DRAINAGE
IMPROVEMENT PLAN
ENLARGED VIEW
LOWER LEVEL

AHDOOT RESIDENCE
8020 N MUMMY MOUNTAIN RD.,
PARADISE VALLEY, AZ 85253

P: 602 889 1984 | F: 602 445 9482
8808 N CENTRAL AVE., SUITE 288
PHOENIX, AZ 85020
PHOENIX@DGV.COM





**PRELIMINARY
GRADING & DRAINAGE
IMPROVEMENT PLAN
ENLARGED VIEW
MAIN LEVEL**

**AHDOOT RESIDENCE
8020 N MUMMY MOUNTAIN RD.,
PARADISE VALLEY, AZ 85253**

P. 602.889.1984 | F. 602.445.9482
8808 N CENTRAL AVE., SUITE 288
PHOENIX, AZ 85020
PHOENIXVALDEVELOPMENT.COM



C-4

4 OF 4

Contact Arizona 811 at least two full
working days before you begin excavation
ARIZONA811
Call 811 or click Arizona811.com

DATE: 11/05/20
JOB: 2010277
VERSION: 1.1
PLOT DATE: 11/05/20

SCALE: 1"=20'
DESIGNED BY: NP
DRAWN BY: ZA
CHECKED BY: JJ

REVISIONS:
DATE:
DATE: 11/05/20
JOB: 2010277
VERSION: 1.1
PLOT DATE: 11/05/20

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Action Report

File #: 21-011

To: Hillside Building Committee

From: Hugo Vasquez; Hillside Development Administrator

Date: January 13th, 2021

Subject: Concept Review for a major remodel and addition at 7404 N Las Brisas Lane (APN 169-06-090).

Narrative: The proposed project shall remodel and add to the existing single family residence. The new project has an application date of November 10th, 2020 and will be reviewed under the 2018 Hillside Development Regulations.

Lot Data		
1.	Area of Lot	1.276 ac or 55,568 ft ²
2.	Area Under Roof	13,469 ft ²
3.	Floor Area Ratio	24.24%
4.	Building Site Slope	16.96%
5.	Allowable Disturbed Area	15,225 ft ² (27.40%)
6.	Existing Net Disturbed Area	19,579 ft ² (35.23%)
7.	Proposed Net Disturbed Area	18,263 ft ² (32.87%)
8.	Maximum Building Height	To Be Determined
9.	Overall Height	To Be Determined
10.	Volume of Cut/Fill	To Be Determined
11.	Hillside Assurance	To Be Determined

Background

The property contains an existing single family residence constructed in 1988.

Single Family Residence

The new project shall remodel and add to the existing single family residence with an approximate total of 9,500 ft² of livable area.

Guesthouse

No guesthouse is proposed.

Driveway

The existing driveway shall remain in place.

Pool

No changes to the existing pool are proposed.

Materials

No proposed material details have been provided at this point.

Landscaping

No proposed landscaping details have been provided at this point.

Land Disturbance

A net disturbed area of 35.23% (19,579 ft²) currently exists on the lot and the building pad slope of 16.96% allows a disturbance of 27.40% (15,225 ft²) the lot. The applicant has proposed a net disturbed area of approximately 32.87% (18,263 ft²), which is less than the existing net disturbance.

Grading and Drainage

The grading and drainage plan from the original construction has been provided. The proposed construction of the property shall be required properly retain the “pre vs post” storm water volumes for the 100-year, 2-hour rainfall event. The applicant will need to verify that the existing drainage design meets current regulations.

Sewer

A public sewer connection appears to be in place.

Hillside Safety Improvement Plan

The Applicant shall submit a Hillside Safety Improvement Plan in accordance with the Hillside Safety Improvement Measures and Process Manual per Section 5-10-9 of the Town Code.

The Hillside Building Committee Formal Review Meeting shall not be scheduled until the Town Engineer and/or Technical Advisory Board are satisfied with the Applicant's Registered Professional Engineer sealed reports comprising the Safety Improvement Plan and the Formal Hillside Plans. The Safety Improvement Plan shall remain the responsibility of the Applicant and have the seal of the Applicant's Engineer who shall be liable for any failures.

Conceptual Plan Review

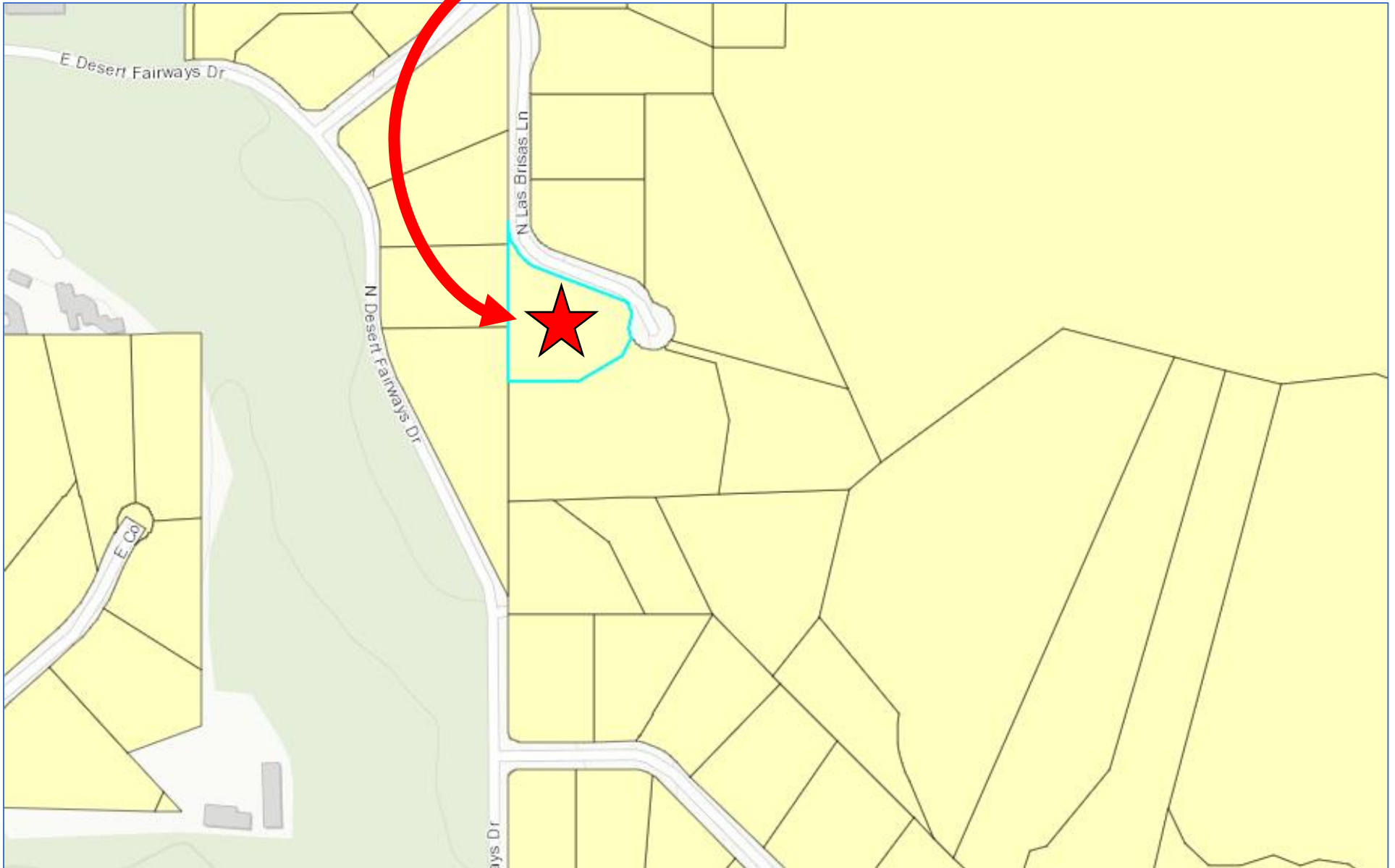
The purpose of the Conceptual Plan Review Meeting is to discuss, review, and give suggestions and guidance to the applicant. A detailed set of plans will be submitted for formal review in accordance with Section 2206.I. The following criteria are sections of the Hillside Building Code that govern the conceptual review:

- **Section 2205.III - Concept Plan Review Meeting:**
The Applicant, along with their architect and engineer shall submit a completed application and the required fees, to the Town Engineer, at the time they request a concept plan review meeting (pre-hillside meeting) with the Hillside Building Committee. The purpose of this meeting is to discuss, review, and give suggestions and guidance to the Applicant regarding the proposed development including: the location of the building pad and accessory uses; how these relate to Significant Natural Features; the preservation of existing vegetation; grading concepts and their adaptation to the natural hillside topography; and how the requirements pursuant to these hillside regulations and purpose statement will guide the proposed Development.
- **Section 2206.II - Concept Plan Review Meeting.**
The applicant shall submit the following:
 - A. Seven (7) copies of a preliminary site plan that includes, but is not limited to, the building footprint, driveway, swimming pool, and accessory use locations along with topographic information for the lot.
 - B. A 3-dimensional representation of the general massing of all proposed structures (e.g. a mass model, a 3-D rendering or a computer-generated model in relation to topography - not a detail model).

- C. A recent aerial photo of the site (less than 1 year old), with topography, lot lines, and the building footprint superimposed on it, and identification of significant natural features as well as adjacent lots and structures within 100 feet of the perimeter of the subject property (min. 24"X 36"), and the location of the driveway access in relation to the nearest roadway.

- D. Preliminary calculations on land disturbance and cut and fill methods.

7404 N Las Brisas Lane



An aerial photograph of a residential neighborhood. A red star is placed on a property, with a red arrow pointing to it from the right. The property is outlined in red. The surrounding area includes several other houses, a golf course on the left, and a road labeled 'N Desert Fairways Dr'. The map also shows various lot numbers and street names like 'E Sunset Fairways Dr' and 'N Los Bicos Ln'.

7404 N Las Brisas Lane



11/17/2015



TOWN OF PARADISE VALLEY HILLSIDE DEVELOPMENT

DATE: _____

SUBDIVISION NAME: _____

ADDRESS OF PROPERTY _____

ASSESSOR'S PARCEL NUMBER: _____

LEGAL DESCRIPTION: _____

ARCHITECT: _____

NAME

PHONE NUMBER

ADDRESS _____

E-MAIL ADDRESS

ENGINEER/OTHER: _____

NAME

PHONE NUMBER

ADDRESS _____

E-MAIL ADDRESS

OWNER: _____

PRINT NAME

PHONE NUMBER

ADDRESS _____

E-MAIL ADDRESS

Chad Horstman _____

SIGNATURE OF OWNER OR REPRESENTATIVE

DATE

SCOPE OF WORK: _____

STAFF/ARCHITECT HILLSIDE PLAN REVIEW**HILLSIDE PLANS SHALL BE ORGANIZED IN THE FOLLOWING ORDER:****CONCEPT REVIEW:**

1. COVER SHEET WITH VICINITY MAP
2. SITE PLAN
3. ARCHITECTURAL RENDERINGS
4. AERIAL PHOTO WITH IMPROVEMENTS AND TOPO

FORMAL/COMBINED REVIEW:

1. COVER SHEET WITH VICINITY MAP
2. PHOTOGRAPHS OF PROPERTY
3. ARCHITECTURAL RENDERINGS
4. AERIAL PHOTO WITH IMPROVEMENTS AND TOPO
5. LEGAL SURVEY
6. GRADING & DRAINAGE PLAN
7. SITE PLAN
8. CROSS SECTIONS
9. BUILDING LIGHTING PLAN
10. LANDSCAPE AND LANDSCAPE LIGHTING PLAN(S)
11. MATERIAL SAMPLE BOARD

SOLAR COMBINED REVIEW:

1. COVER SHEET
2. SITE PLAN
3. CROSS SECTIONS
4. AERIAL PHOTO WITH IMPROVEMENTS
5. SITE PHOTOS
6. DETAILS

SAFETY IMPROVEMENT PLAN:

1. SEE HILLSIDE "SAFETY IMPROVEMENT MEASURES AND PROCESS MANUAL" (MUST BE REVIEWD AND APPROVED PRIOR TO FORMAL OR COMBINED HILLSIDE BUILDING COMMITTEE REVIEW)

SUBMITTALS NEEDED FOR CONCEPT REVIEW MEETING

- _____ TITLE REPORT (IF ROADWAY DEDICATION IS REQUIRED)
- _____ PROVIDE A WRITTEN PROJECT NARRATIVE DESCRIBING SCOPE OF WORK.
- _____ VICINITY MAP SHOWING LOCATION AND ADDRESS OF THE PROPERTY
- _____ SITE PLAN WITH TOPOGRAPHY (MAXIMUM 1-FOOT INTERVALS), BUILDING FOOTPRINT, TOTAL FLOOR AREA, DRIVEWAY, POOL AND WATER FEATURES, ACCESSORY BUILDING LOCATIONS, PROPOSED DISTURBED AREA CALCULATIONS, AND PROPOSED DRAINAGE. (Section 2206-II-B)
- _____ MASS MODEL OR A 3-DIMENSIONAL RENDERING OR COMPUTER-GENERATED MODEL. IF A MASS MODEL IS USED THE APPLICANT MUST FURNISH PICTURES OF THE MODEL AND INCLUDE THEM IN THE SUBMITTAL WITH THE SEVEN SETS. (A STUDY MODEL WILL BE REQUIRED AT THE FORMAL HILLSIDE COMMITTEE). (Section 2206-II-C)
- _____ AERIAL PHOTO-LESS THAN 1-YEAR OLD WITH TOPOGRAPHY, LOT LINES, BUILDING FOOTPRINT, DRIVEWAY, ANY NATURAL FEATURES, AS WELL AS ADJACENT LOTS AND STRUCTURES WITHIN 100 FEET OF PERIMETER OF SUBJECT PROPERTY ON 24"X 36" SHEET. (Section 2206-II-D)
- _____ FIRE MARSHAL SITE PLAN REVIEW
- _____ NOTIFICATION LETTERS MAILED 3 WEEKS PRIOR TO HILLSIDE MEETING. (APPLICATION AND NOTICE MUST BE REVIEWED AND DEEMED COMPLETE BY TOWN STAFF PRIOR TO MAILING). SEE SAMPLE NOTIFICATION BELOW. (Section 2206-II-A)

NOTE

The purpose of the Concept Review Meeting is to discuss, review and give suggestions and guidance to the applicant regarding the proposed development, location of the building pad, accessory structures and any other items of discussion. The owner or his representative should be prepared to demonstrate how this application relates to site conditions, significant natural features, preservation of existing vegetation, grading concepts and their adaptation to the natural hillside topography.

Hillside Conceptual Plan Review Notification

12/21/2020

[Insert Address of Recipient]

Subject: Conceptual Plan Review for a home renovation and addition

Dear Property Owner,

An application has been submitted to the Town of Paradise Valley for a whole home renovation and addition located at 7404 N Las Brisas Ln Paradise Valley, AZ 85253. In compliance with Town requirements, this letter is being sent to you as a courtesy to inform you of the pending application. The Hillside Building Committee will be reviewing this application on 1/13/2020 at 8:00 AM at the Paradise Valley Town Hall located at 6401 East Lincoln Drive.

The purpose of Conceptual Plan Review meeting is to discuss, review, and provide suggestions and guidance to the Applicant regarding the proposed development including:

- Location of the building pad, driveway, and accessory uses
- Significant natural features
- Preservation of existing vegetation
- Grading concepts and their adaptation to the natural hillside topography

The Conceptual meeting provides suggestions and guidance for the Applicant. Prior to final approval of this application, there will be a Formal Hillside Building Committee Review Meeting. Notification will be sent to you for this meeting. Both meetings are open to the public and you may feel free to attend.

If you have any questions please email me at tyler@designtankphx.com or call me at 503.580.5626

Sincerely,

Tyler Kuenzi
Architect | DesignTANK

Parcel Number	Owner	Property Address	Mailing Address
169-06-003H	MUMMY MOUNTAIN PRESERVE TRUST	6401 E LINCOLN DR PARADISE VALLEY 85253	6401 E LINCOLN DR PARADISE VALLEY AZ 85253
169-06-007F	MUMMY MOUNTAIN PRESERVE TRUST	6401 E LINCOLN DR PARADISE VALLEY 85253	6401 E LINCOLN DR PARADISE VALLEY AZ 85253
169-06-008F	STEVEN G LISA PARADISE VALLEY RES TRUST/ETAL	7113 N DESERT FAIRWAYS DR PARADISE VALLEY 85253	7113 N DESERT FAIRWAY DR PARADISE VALLEY AZ 85253
169-06-008G	STEVEN G LISA ALASKA TRUST	7117 N DESERT FAIRWAYS DR PARADISE VALLEY 85253	7113 N DESERT FAIRWAYS DR PARADISE VALLEY AZ 85233
169-06-008H	RADOW ARTHUR B/BONNIE L TR	7111 N DESERT FAIRWAYS DR PARADISE VALLEY 85253	7111 N DESERT FAIRWAYS LN SCOTTSDALE AZ 85253
169-06-008J	LD 6635 LLC	6936 N MUMMY MOUNTAIN RD PARADISE VALLEY 85253	6635 N LOST DUTCHMAN PARADISE VALLEY AZ 85253
169-06-008K	LD 6635 LLC	6936 N MUMMY MOUNTAIN RD PARADISE VALLEY 85253	6635 N LOST DUTCHMAN PARADISE VALLEY AZ 85253
169-06-008L	PARADISE VALLEY ARIZONA HOLDINGS LLC	7100 N MUMMY MOUNTAIN RD PARADISE VALLEY 85253	7100 N MUMMY MOUNTAIN RD PARADISE VALLEY AZ 85253
169-06-008M	JON M MALINSKI QUALIFIED PERS RES TR II/ETAL	7120 N MUMMY MOUNTAIN RD PARADISE VALLEY 85253	1150 HIGHWAY 7 EXCELSIOR MN 55331
169-06-012	DONAHOE DANIEL J III TR/ANNE B TR	7618 N LAS BRISAS LN PARADISE VALLEY 85253	7618 LAS BRISAS LN SCOTTSDALE AZ 85253
169-06-013	PILCHER WILLIAM W II/JILL K TR	7602 N LAS BRISAS LN PARADISE VALLEY 85253	7602 N LOS BRISAS LN PARADISE VALLEY AZ 85253
169-06-014	COOPER RICHARD MARK TR	7518 N LAS BRISAS LN PARADISE VALLEY 85253	7518 N LAS BRISAS LN PARADISE VALLEY AZ 85253
169-06-015	AUSTIN FRANCES J TR	7502 N LAS BRISAS LN PARADISE VALLEY 85253	7502 N LAS BRISAS LN SCOTTSDALE AZ 85353
169-06-016	CUSANO ALESSANDRO G	5225 E PARADISE CANYON RD PARADISE VALLEY 85253	5225 E PARADISE CANYON RD PARADISE VALLEY AZ 85253
169-06-017	HOCHSCHULER LIVING TRUST	5239 E PARADISE CANYON RD PARADISE VALLEY 85253	5239 E PARADISE CANYON RD PARADISE VALLEY AZ 85253
169-06-018	THOMAS TOBY/JENNIFER	5301 E PARADISE CANYON RD PARADISE VALLEY 85253	5301 E PARADISE CANYON RD PARADISE VALLEY AZ 85253
169-06-020A	HARTMAN SCOTT F/CATHLEEN A TR	5315 E PARADISE CANYON RD PARADISE VALLEY 85253	5315 E PARADISE CANYON RD PARADISE VALLEY AZ 85253
169-06-021	WEIL GERALYN M	5334 E PARADISE CANYON RD PARADISE VALLEY 85253	2963 S ARIZONA AVE YUMA AZ 85364
169-06-022	LENSTROHM PETER A TR	5318 E PARADISE CANYON RD PARADISE VALLEY 85253	5318 E PARADISE CANYON RD PARADISE VALLEY AZ 85253
169-06-023	YARISH ROBERT SCOTT	5302 E PARADISE CANYON RD PARADISE VALLEY 85253	10565 KATY FWY 100 HOUSTON TX 77024
169-06-024	POWERS RAYMOND T/WDITH ANN	5240 E PARADISE CANYON RD PARADISE VALLEY 85253	5240 E PARADISE CANYON RD PARADISE VALLEY AZ 85253
169-06-025	PAPPOE TUTANKHAMEN A/ORTIZ YARA Y VARGAS	5226 E PARADISE CANYON RD PARADISE VALLEY 85253	5226 E PARADISE CANYON RD PARADISE VALLEY AZ 85253
169-06-026	TRUST A	5225 E DESERT VISTA RD PARADISE VALLEY 85253	5225 E DESERT VISTA RD PARADISE VALLEY AZ 85253
169-06-027	LUMSDEN GARY/NANCY	5239 E DESERT VISTA RD PARADISE VALLEY 85253	5239 E DESERT VISTA RD PARADISE VALLEY AZ 85253
169-06-028	GARCIA4ALOHAE TRUST	5301 E DESERT VISTA RD PARADISE VALLEY 85253	5301 E DESERT VISTA RD PARADISE VALLEY AZ 85253
169-06-090	CMH TRUST	7404 N LAS BRISAS LN PARADISE VALLEY 85253	11042 N 84TH PL SCOTTSDALE AZ 85260
169-06-093	WILLIAM EARLY TAIT TRUST	7403 N LAS BRISAS LN PARADISE VALLEY 85253	3131 E CAMELBACK RD PHOENIX AZ 85016
169-06-094	WEST SUNLAKE LTD	7405 N LAS BRISAS LN PARADISE VALLEY 85253	7405 N LAS BRISAS LN PARADISE VALLEY AZ 85253
169-06-095	ROSE KERRY W	7421 N LAS BRISAS LN PARADISE VALLEY 85253	PO BOX 45000 PHOENIX AZ 85064
169-06-096	DRAGOVICH TOMISLAV/CONI M	7431 N LAS BRISAS LN PARADISE VALLEY 85253	7431 N LAS BASAS LN PARADISE VALLEY AZ 85253
169-06-097	EL CAMINO LAS BRISAS LLC	7441 N LAS BRISAS LN PARADISE VALLEY 85253	5090 N 40TH ST STE 450 PHOENIX AZ 85018
169-06-098	BIDWILL MICHAEL	7451 N LAS BRISAS LN PARADISE VALLEY 85253	7451 N LAS BRIAS LN PARADISE VALLEY AZ 85253
169-06-099	MOAK STEVEN C/DEBORAH A TR	5211 E CHENEY DR PARADISE VALLEY 85253	6501 E EL MARO CIR PARADISE VALLEY AZ 85253
169-06-100	MOAK STEVEN C/DEBORAH A TR	5221 E CHENEY DR PARADISE VALLEY 85253	6501 E EL MARO CIR PARADISE VALLEY AZ 85253
169-06-112	LEIGH R LARSON QUAL PER RES TRUST 5/ETAL	7401 N LAS BRISAS LN PARADISE VALLEY 85253	40803 N BRANGUS RD SCOTTSDALE AZ 85262
169-07-008	ANDERSON TABER L/KIMBERLY A TR	7525 N SHADOW MOUNTAIN RD PARADISE VALLEY 85253	7525 N SHADOW MOUNTAIN RD PARADISE VALLEY AZ 85253
169-07-009	KROOT REVOCABLE TRUST	7541 N SHADOW MOUNTAIN RD PARADISE VALLEY 85253	7541 N SHADOW MOUNTAIN RD PARADISE VALLEY AZ 85253
169-07-010	ROLAND BRENT/LEIGH TR	7605 N SHADOW MOUNTAIN RD PARADISE VALLEY 85253	7605 N SHADOW MOUNTAIN RD PARADISE VALLEY AZ 85253
169-07-015	MASSROUR KAMIAH	7310 N SHADOW MOUNTAIN RD PARADISE VALLEY 85253	7310 N SHADOW MOUNTAIN RD PARADISE VALLEY AZ 85253-3302
169-07-016	GOLDSTEIN ANDREW H/COLOMBO MARIA	5108 E DESERT FAIRWAYS DR PARADISE VALLEY 85253	5108 E DESERT FAIRWAYS DR PARADISE VALLEY AZ 85253
169-07-017A	MINOR THOMAS/GUENTHER CHRISTINE	5100 E DESERT FAIRWAYS DR PARADISE VALLEY 85253	5100 E DESERT FAIRWAYS DR PARADISE VALLEY AZ 85253
169-07-019	DRIGGS GARY H/KAY T	7510 N SHADOW MOUNTAIN RD PARADISE VALLEY 85253	7510 SHADOW MOUNTAIN RD PARADISE VALLEY AZ 85253
169-07-020	PIERCE MITCHELL D/JULIE TR	7530 N SHADOW MOUNTAIN RD PARADISE VALLEY 85253	7530 N SHADOW MOUNTAIN RD PARADISE VALLEY AZ 85253
169-07-021	JOHN A PROPSTRA FAMILY TRUST	7606 N SHADOW MOUNTAIN RD PARADISE VALLEY 85253	5108 N 40TH ST STE 5 PHOENIX AZ 85018
169-07-022	HIGHLAND HOME LLC	7608 N SHADOW MOUNTAIN RD PARADISE VALLEY 85253	4725 N SCOTTSDALE RD SCOTTSDALE AZ 85251
169-07-118	BUTTERFIELD SHELBY J	7400 N SHADOW MOUNTAIN RD PARADISE VALLEY 85253	5901 E CALLE DEL NORTE PHOENIX AZ 85018
169-08-001	CHELSEA HOLDINGS LLC	6855 N PEPPER TREE LN PARADISE VALLEY 85253	9250 CUNNINGHAM RD CINCINNATI OH 45243
169-08-002	LAURA H THILMAN REVOCABLE TRUST	6854 N PEPPER TREE LN PARADISE VALLEY 85253	6854 N PEPPER TREE LN PARADISE VALLEY AZ 85253
169-08-004	PNMG LLC	7008 N DESERT FAIRWAYS DR PARADISE VALLEY 85253	PO BOX 1097 SOUTHAMPTON NY 11969
169-08-005	THOMAS E PARDUN IRREVOCABLE TRUST/SANDRA L PARDUN IRREVOCABLE TRUST	7020 N DESERT FAIRWAYS DR PARADISE VALLEY 85253	5099 NESTLE CT RENO NV 89511
169-08-006	BALLARD EXPLORATION COMPANY INC	7221 N DESERT FAIRWAYS DR PARADISE VALLEY 85253	1021 MAIN STREET STE 2310 HOUSTON TX 77002-6606
169-08-007	LES AND CAROL BALLARD FAMILY TRUST	7231 N DESERT FAIRWAYS DR PARADISE VALLEY 85253	1021 MAIN ST SUITE 2310 HOUSTON TX 77002
169-08-008	JAMES NORLING SEP PROP TR/I&D NORLING FAM TR	7239 N DESERT FAIRWAYS DR PARADISE VALLEY 85253	7239 N DESERT FAIRWAYS DR PARADISE VALLEY AZ 85253
169-08-009	TRUST D	7245 N DESERT FAIRWAYS DR PARADISE VALLEY 85253	2643 BREEZEWOOD DR LANCASTER PA 17601
169-08-012	CHAPMAN NICHOLAS J	4929 E PRICKLY PEAR LN PARADISE VALLEY 85253	508 E MANDALAY DR SAN ANTONIO TX 78212-1746
169-08-013	HORTON STACEY	4921 E PRICKLY PEAR LN PARADISE VALLEY 85253	4921 E PRICKLY PEAR CT PARADISE VALLEY AZ 85253
169-08-014	DANIEL J ZEUSKO FAMILY TRUST	4907 E PRICKLY PEAR LN PARADISE VALLEY 85253	4907 E PRICKLY PEAR LANE PARADISE VALLEY AZ 85253
169-08-015	RISING MARTIN LEE/KANDACE J	4837 E PRICKLY PEAR LN PARADISE VALLEY 85253	4837 E PRICKLY PEAR LN PARADISE VALLEY AZ 85253
169-08-035	JGM GROUP LLC	5035 E COTTONTAIL RUN RD PARADISE VALLEY 85253	5035 COTTONTAIL RUN EAST PARADISE VALLEY AZ 85253
169-08-036	KELLY JEROME/CAROL	5055 E COTTONTAIL RUN RD PARADISE VALLEY 85253	5055 E COTTONTAIL RUN RD PARADISE VALLEY AZ 85253
169-08-037C	PARADISE VALLEY COUNTRY CLUB	7101 N TATUM BLVD PARADISE VALLEY 85253	7101 N TATUM BLVD SCOTTSDALE AZ 85253
169-08-038	AMERCO REAL ESTATE COMPANY		2727 N CENTRAL AVE STE 500 PHOENIX AZ 85004
169-08-039	BERGERON FAMILY REVOCABLE TRUST	5045 E COTTONTAIL RUN RD PARADISE VALLEY 85253	7527 E WHISPER ROCK TR SCOTTSDALE AZ 85266
169-08-041	KENNEY EMMET/DIANE	5044 E COTTONTAIL RUN RD PARADISE VALLEY 85253	2115 ROSE CREEK BLVD S FARGO ND 58104
169-08-044B	CASEBOLT VICTOR A TR/JO B TR	7201 N COTTONTAIL RUN RD PARADISE VALLEY 85253	7201 COTTONTAIL RUN NORTH PARADISE VALLEY AZ 85253
169-08-044F	CASEBOLT VICTOR A TR/JO B TR	7201 N COTTONTAIL PARADISE VALLEY 85253	7201 COTTONTAIL RUN NORTH PARADISE VALLEY AZ 85253
169-08-044G	FIELER DAVID JR	5022 E COTTONTAIL RUN RD PARADISE VALLEY 85253	5022 E COTTONTAIL RUN RD PARADISE VALLEY AZ 85253
169-08-044H	COTTON TRAIL RUN 4928 LLC	4928 E COTTONTAIL RUN RD PARADISE VALLEY 85253	2400 E ARIZONA BILTMORE CIRCLE DR 2200 PHOENIX AZ 85016
169-08-044J	COTTONTAIL RUN ROAD HOA LLC	4928 E COTTONTAIL RUN RD PARADISE VALLEY 85253	645 E MISSOURI AVE STE 250 PHOENIX AZ 85012
169-08-044K	KELLY JEROME/CAROL	5055 E COTTONTAIL RUN RD PARADISE VALLEY 85253	5055 E COTTONTAIL RUN RD PARADISE VALLEY AZ 85253
169-08-053	COTTONTAIL INVESTMENTS LLC	5001 E COTTONTAIL RUN RD PARADISE VALLEY 85253	7332 E BUTHERUS DR SCOTTSDALE AZ 85260
169-09-053A	PARADISE VALLEY COUNTRY CLUB INC	7101 N TATUM BLVD PARADISE VALLEY 85253	7101 N TATUM BLVD PARADISE VALLEY AZ 85253
169-29-017A	NORTON JOHN R III & DORIS	5212 E PALO VERDE PL PARADISE VALLEY 85253	PO BOX 44015 PHOENIX AZ 85064-4015
169-29-017B	LARRY AND PAULA KORNEGAY REVOCABLE TRUST	5224 E PALO VERDE PL PARADISE VALLEY 85253	5224 E PALO VERDE PL PARADISE VALLEY AZ 85253-3345
169-29-018	NORTON JOHN R III & DORIS S	5212 E PALO VERDE PL PARADISE VALLEY 85253	PO BOX 44015 PHOENIX AZ 85064-4015
169-29-019	JKS REVOCABLE TRUST	7017 N DESERT FAIRWAYS DR PARADISE VALLEY 85253	8620 N AVENIDA DEL SOL PARADISE VALLEY AZ 85253
169-29-020	CARRITT PAMELA J/JAN B TR	5201 E ARROYO RD PARADISE VALLEY 85253	5201 E ARROYO RD PARADISE VALLEY AZ 85253
169-29-021	FOLZ ROLAND/MELANIE A	5211 E ARROYO RD PARADISE VALLEY 85253	5211 E ARROYO RD PARADISE VALLEY AZ 85253-3321
169-29-022	KINGFISHER HOLDINGS I LLC	5221 E ARROYO RD PARADISE VALLEY 85253	PO BOX 1410 VASHON WA 98070
169-29-023	CARON JEFFERY/STACEY L	5227 E ARROYO RD PARADISE VALLEY 85253	5227 E ARROYO RD PARADISE VALLEY AZ 85253
169-29-024	FRIEDLAND JACK A/HARRIET S TR	5233 E ARROYO RD PARADISE VALLEY 85253	5233 E ARROYO RD PARADISE VALLEY AZ 85253
169-29-025	BEN ZVI FAMILY TRUST	5239 E ARROYO RD PARADISE VALLEY 85253	5239 E ARROYO RD PARADISE VALLEY AZ 85253
169-29-032	GROSS GARY F/BONITA B TR	5242 E ARROYO RD PARADISE VALLEY 85253	5242 E ARROYO RD PARADISE VALLEY AZ 85253
169-29-033	TUFANO-NORTH 69TH LLC	5236 E ARROYO RD PARADISE VALLEY 85253	6051 E CACTUS WREN RD PARADISE VALLEY AZ 85253
169-29-034	MUMMYS RETREAT LLC	5230 E ARROYO RD PARADISE VALLEY 85253	4235 BEACH CLUB RD PORT CLINTON OH 43452
169-29-035	ARKULES BARBARA	5224 E ARROYO RD PARADISE VALLEY 85253	5224 E ARROYO RD PARADISE VALLEY AZ 85253
169-29-036A	SUSAN L DRESCHER MULZET REVOCABLE TRUST	5218 E ARROYO RD PARADISE VALLEY 85253	5218 E ARROYO RD PARADISE VALLEY AZ 85253
169-29-037A	CHRISTOPHER A LINES REVOCABLE TRUST	5212 E ARROYO RD PARADISE VALLEY 85253	5212 E ARROYO RD PARADISE VALLEY AZ 85253
169-29-038	DEBORADO LLC	7101 N DESERT FAIRWAYS DR PARADISE VALLEY 85253	10645 N TATUM BLVD STE 200 BOX 474 PHOENIX AZ 85028
169-47-001	BIDSTRUP G PETER TR	7511 N EUCALYPTUS DR PARADISE VALLEY 85253	7511 EUCALYPTUS DR PARADISE VALLEY AZ 85253
169-47-002	MEYER JAMES E/KAREN G TR	7527 N EUCALYPTUS DR PARADISE VALLEY 85253	7527 N EUCALYPTUS DR PARADISE VALLEY AZ 85253
169-47-007	7510 N EUCALYPTUS DRIVE LLC	7510 N EUCALYPTUS DR PARADISE VALLEY 85253	451 JACKSON ST SAN FRANCISCO CA 94111
169-47-008	ARKULES STACEY	7502 N EUCALYPTUS DR PARADISE VALLEY 85253	7502 N EUCALYPTUS DR PARADISE VALLEY AZ 85253

169-47-009	CLARKE WILLIAM A/MARGARET O	7310 N EUCALYPTUS DR PARADISE VALLEY 85253	7310 N EUCLAYPTUS DR PARADISE VALLEY AZ 85253
169-47-010	DE BELL MICHAEL A/ROBYN J TR	7311 N EUCALYPTUS DR PARADISE VALLEY 85253	7311 N EUCALYPTUS DR PARADISE VALLEY AZ 85253
169-47-011	ROBERTSHAW JOHN C/ELIZABETH	7501 N EUCALYPTUS DR PARADISE VALLEY 85253	166 E 81ST ST NEW YORK NY 10028
169-47-012A	PARADISE VALLEY COUNTRY CLUB INC	7101 N TATUM BLVD PARADISE VALLEY 85253	7101 N TATUM BLVD PARADISE VALLEY AZ 85253
169-54-042A	GMAZE LLC	5550 E ROAD RUNNER RD PARADISE VALLEY 85253	301 CARLSON PKWY STE 275 MINNETONKA MN 55305
169-54-043A	BLUECHIP INVESTMENT COMPANY LP	5562 E ROAD RUNNER RD PARADISE VALLEY 85253	38355 CHIMNEY RIDGE TRL WILLOUGHBY HILLS OH 44094

AFFIDAVIT OF MAILING NOTIFICATION

20

STATE OF ARIZONA)

) ss:

County of Maricopa)

In accordance with the requirements of the Town of Paradise Valley, the undersigned hereby certifies that the mailing list for the proposed project is a complete list of property owners within 1500 feet of the subject property, as obtained from the Maricopa County Assessor's Office on the following date DEC 10TH, 2020 and such notification has been mailed on the following date DEC 23RD, 2020.

Signature

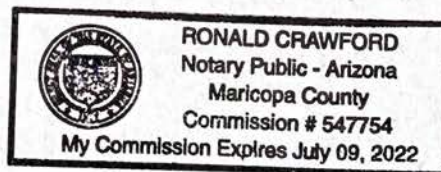
The foregoing instrument was acknowledged by me this 29th day of Dec, 2020, by _____.

Name

NOTARY PUBLIC

My commission expires:

07-09-22





Action Report

File #: 21-011

To: Hillside Building Committee

From: Hugo Vasquez; Hillside Development Administrator

Date: January 13th, 2021

Subject: Concept Review for a major remodel and addition at 7404 N Las Brisas Lane (APN 169-06-090).

Narrative: The proposed project shall remodel and add to the existing single family residence. The new project has an application date of November 10th, 2020 and will be reviewed under the 2018 Hillside Development Regulations.

Lot Data		
1.	Area of Lot	1.276 ac or 55,568 ft ²
2.	Area Under Roof	13,469 ft ²
3.	Floor Area Ratio	24.24%
4.	Building Site Slope	16.96%
5.	Allowable Disturbed Area	15,225 ft ² (27.40%)
6.	Existing Net Disturbed Area	19,579 ft ² (35.23%)
7.	Proposed Net Disturbed Area	18,263 ft ² (32.87%)
8.	Maximum Building Height	To Be Determined
9.	Overall Height	To Be Determined
10.	Volume of Cut/Fill	To Be Determined
11.	Hillside Assurance	To Be Determined

Background

The property contains an existing single family residence constructed in 1988.

Single Family Residence

The new project shall remodel and add to the existing single family residence with an approximate total of 9,500 ft² of livable area.

Guesthouse

No guesthouse is proposed.

Driveway

The existing driveway shall remain in place.

Pool

No changes to the existing pool are proposed.

Materials

No proposed material details have been provided at this point.

Landscaping

No proposed landscaping details have been provided at this point.

Land Disturbance

A net disturbed area of 35.23% (19,579 ft²) currently exists on the lot and the building pad slope of 16.96% allows a disturbance of 27.40% (15,225 ft²) the lot. The applicant has proposed a net disturbed area of approximately 32.87% (18,263 ft²), which is less than the existing net disturbance.

Grading and Drainage

The grading and drainage plan from the original construction has been provided. The proposed construction of the property shall be required properly retain the “pre vs post” storm water volumes for the 100-year, 2-hour rainfall event. The applicant will need to verify that the existing drainage design meets current regulations.

Sewer

A public sewer connection appears to be in place.

Hillside Safety Improvement Plan

The Applicant shall submit a Hillside Safety Improvement Plan in accordance with the Hillside Safety Improvement Measures and Process Manual per Section 5-10-9 of the Town Code.

The Hillside Building Committee Formal Review Meeting shall not be scheduled until the Town Engineer and/or Technical Advisory Board are satisfied with the Applicant's Registered Professional Engineer sealed reports comprising the Safety Improvement Plan and the Formal Hillside Plans. The Safety Improvement Plan shall remain the responsibility of the Applicant and have the seal of the Applicant's Engineer who shall be liable for any failures.

Conceptual Plan Review

The purpose of the Conceptual Plan Review Meeting is to discuss, review, and give suggestions and guidance to the applicant. A detailed set of plans will be submitted for formal review in accordance with Section 2206.I. The following criteria are sections of the Hillside Building Code that govern the conceptual review:

- **Section 2205.III - Concept Plan Review Meeting:**
The Applicant, along with their architect and engineer shall submit a completed application and the required fees, to the Town Engineer, at the time they request a concept plan review meeting (pre-hillside meeting) with the Hillside Building Committee. The purpose of this meeting is to discuss, review, and give suggestions and guidance to the Applicant regarding the proposed development including: the location of the building pad and accessory uses; how these relate to Significant Natural Features; the preservation of existing vegetation; grading concepts and their adaptation to the natural hillside topography; and how the requirements pursuant to these hillside regulations and purpose statement will guide the proposed Development.
- **Section 2206.II - Concept Plan Review Meeting.**
The applicant shall submit the following:
 - A. Seven (7) copies of a preliminary site plan that includes, but is not limited to, the building footprint, driveway, swimming pool, and accessory use locations along with topographic information for the lot.
 - B. A 3-dimensional representation of the general massing of all proposed structures (e.g. a mass model, a 3-D rendering or a computer-generated model in relation to topography - not a detail model).

- C. A recent aerial photo of the site (less than 1 year old), with topography, lot lines, and the building footprint superimposed on it, and identification of significant natural features as well as adjacent lots and structures within 100 feet of the perimeter of the subject property (min. 24"X 36"), and the location of the driveway access in relation to the nearest roadway.

- D. Preliminary calculations on land disturbance and cut and fill methods.

ABBREVIATIONS LIST

AB	Anchor Bolt
ABC	Aggregate Base Course
A/C	Air Conditioning/Conditioner
ACT	Acoustical Ceiling Tile
ADJ.	Adjustable
AFF	Above Finish Floor
ALT.	Alternate
ALUM	Aluminum
BLDG.	Building
BRG.	Bearing
BUR	Built-Up Roof
BM.	Beam
CI	Cast Iron
CJ	Control Joint
CL	Center Line
CLG	Ceiling
CMU	Concrete Masonry Unit
CO	Clean Out
COL.	Column
CONC.	Concrete
CONT.	Continuous
OPT.	Carpet
CT	Ceramic Tile
DET.	Detail
DF	Drinking Fountain
DIA	Diameter
DIM.	Dimension
DN.	Down
DWGS.	Drawings
DS	Down Spout
EA.	Each
EDF	Electric Drinking Fountain
EJ	Expansion Joint
ELEV.	Elevation
ELEC.	Electrical
EQ.	Equal
EQUIP.	Equipment
EXIST.	Existing
EXT.	Exterior
FBO	Furnished By Owner
FD	Floor Drain
FDC	Fire Dept. Connection
FEC	Fire Extinguisher & Cabinet
FF	Finish Floor
FG	Finish Grade
FIN	Finish
FLR.	Floor
FO	Face Of
FOS	Face of Stud
FT.	Feet/Foot
FTG.	Footing
GA.	Gauge
GAL.	Galvanized
GI	Galvanized Iron
GLB	Glued Laminated Beam
GR.	Grade
GWB	Gypsum Wall Board
HB	Hollow Metal
HORIZ.	Horizontal
ID	Inside Diameter
INCL.	Including
INSUL.	Insulation
INT.	Interior
LAV.	Lavatory
LGMF	Light Gauge Metal Framing
MAS.	Masonry
MB	Marker Board
MECH.	Mechanical
MFR.	Manufacturer
MO	Masonry Opening
MTL.	Metal
NTS	Not to Scale
OC	On Center
OD	Outside Diameter
OPP.	Opposite
ORD	Overflow Roof Drain
PL	Property Line
PLAST. LAM	Plastic Laminate
PLYWDB	Plywood
PREFABD	Prefabricated
RD	Roof Drain
REINF.	Reinforced
REQ.	Required
RO	Rough Opening
SHT.	Sheet
SIM	Similar
SPEC.	Specification
SQ	Square
STD.	Standard
S/S	Stainless Steel
SS	Sanitary Sewer
SUSP.	Suspended
T & G	Tongue and Groove
TB	Tack Board
TEMP.	Tempered
THK.	Thick/Thickness
TOJ	Top of Joist
TOB	Top of Beam
TOC	Top of Conc.
TOM	Top of Masonry
TOP	Top of Plate
TOS	Top of Steel
TOW	Top of Wall
TYP.	Typical
UG	Underground
UNO	Unless Noted Otherwise
VCT	Vinyl Composition Tile
VERT.	Vertical
W/	With
WC	Water Closet
WD	Wood
WH	Water Heater
W/O	Without
WT	Weight
WWF	Welded Wire Fabric

CITY OF PARADISE VALLEY NOTES:

- Governing Building Codes All construction shall comply with the following codes and amendments per their adopting ordinances:
2015 International Building Code (ord. # 4284, resolution #10597)
2015 International Residential Code (ord. # 4284, resolution #10599)
2015 International Fire Code (ord. # 4283, resolution #10598)
- All products listed by an Evaluation Service Report (ESR) shall be installed per the report and the manufactures written instructions. Product substitutions shall also be listed by an ESR.
 - Provide Fire Sprinkler System per Scottsdale Fire Code (IRC R313 amended)
 - Separate permits required: pools, spas, fences, site walls, retaining walls, and gas storage tanks.
 - Foundation & Footing depth shall be a minimum of 18 inches below grade (or per property soil report), provide a minimum of 3-inch clearance between Rebar and soil. (R403.1 amended)
 - Doors between the garage and residence shall be self-closing minimum 1 3/8" thick solid core or 20-minute fire rated. (R302.5.1)
 - Exterior wall penetrations by pipes, ducts or conduits shall be sealed. (R703.1)
 - Wood sill plates shall be pressure treated or decay resistant. Exterior sill plates shall bear a minimum of 6 inches above finish grade. (R317.1)
 - Showers and tub-shower combinations shall be provided with individual control valves of the pressure balance or thermostatic mixing valve type. (P2708.4)
 - Gypsum board applied to a ceiling shall be 1/2" when framing members are 16" o.c. or 5/8" when framing members are 24" o.c. or use labeled 1/2" sag-resistant gypsum ceiling board. (Table R702.3.5 (d))
 - Showers and tub-shower combinations shall be provided with individual control valves of the pressure balance or thermostatic mixing valve type. (P2708.4)
 - Shower area walls shall be finished with a smooth, hard non-absorbent surface, such as ceramic tile, to a height of not less than 72 inches above the drain inlet. Cement, fiber-cement or glass mat gypsum backers installed in accordance with manufacturer's recommendations shall be used as backers for wall tile in tub and shower areas and wall panels in shower areas. (R702.4.2)
 - Plumbing fixtures shall comply with the following conservation requirements: Water closets-Tank type 1.28 gal./flush. Shower heads-2.0 gpm. Sinks-2.2 gpm. Lavatory-1.5 gpm (Table P2903.2 amended)
 - Storage-tank type water heaters shall be installed with a drain pan and drain line. (P2801.6)
 - A demand-controlled hot water circulation system shall be provided in accordance with amended Sections N1103.5.1.1 and N1103.5.1.2
 - Provide roof/ceiling ventilation unless insulation is applied directly to underside of roof sheathing or the dimension is 24 inches or less between the ceiling and bottom of roof sheathing. (R806.1 Amended)
 - The building thermal envelope shall comply with climate zone 2. Energy compliance shall be demonstrated by UA tradeoff (REScheck) OR performance (REM/Rate) compliance path OR by the following prescriptive values (Table N1102.1.2):
A. 1. Prescriptive minimum R-values: <Ceiling=R-38> / <Wall=R-13>
B. 1. Prescriptive maximum Window Fenestration values:
Provide Minimum R-3 insulation on hot water pipes. (N1103.5.3)
 - Supply and return ducts in attics shall be insulated to a minimum R-8. Ducts in other portions of the building shall be insulated to minimum R-6. Ducts and air handlers located completely inside the building thermal envelope are exempt. (N1103.1.1)
 - Registers, diffusers and grilles shall be mechanically fastened to rigid supports or structural members on at least two opposite sides.
 - Exhaust air from bathrooms, kitchens and toilet rooms shall be exhausted directly to the outdoors, not recirculated or discharged indoors. (M1507.2 amended)
 - Exhaust fans in bathrooms with a shower or tub shall be provided with a delay timer or humidity/condensation control sensor. Exhaust fans shall be switched separately from lighting systems. (R303.3)
 - Provide a wall mounted GFCI protected receptacle outlet within 36" of a bathroom or powder room lavatory. (E3901.6)
 - Receptacles serving kitchen countertops installed in bathrooms, garages, unfinished accessory buildings, outdoors and located within 6 feet of sinks shall have GFCI protection for personnel. (E3902)
 - All branch circuits that supply 15- and 20-ampere outlets installed in kitchens, family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, laundry areas and similar rooms or areas shall be protected by a combination type arc-fault circuit interrupter (AFCI) installed to provide protection of the branch circuit. (E3902.12)
 - General purpose 15- and 20-ampere receptacles shall be listed tamper-resistant. (E4002.14)
 - Provide Smoke Alarms in new and existing areas of home. (R314)
 - Approved Carbon Monoxide Alarms shall be installed outside of each separate sleeping area in the immediate vicinity of the bedrooms in dwelling units within which fuel-fired appliances are installed and in dwelling units that have attached garages. (R315)
 - A minimum of 90 percent of the permanently installed lighting fixtures shall contain only high-efficiency lamps. (N1104.1 amended)
 - Recessed luminaires installed in the building thermal envelope shall be IC-rated and labeled as having an air leakage rate not more than 2.0 cfm. All recessed luminaires shall be sealed with a gasket or caulk between the housing and the interior wall or ceiling covering. (N1102.4.5)
 - Provide illumination with wall switches for stairways when there are 6 or more risers. (R303.7)
 - Receptacle outlets shall be installed so that no point along the floor line in any wall space is more than 6 feet, measured horizontally, from an outlet in that space, including any wall space 2 feet or more in width. (E3901.2)
 - Provide a minimum of two 20-amp small appliance branch circuits for the kitchen/dining/breakfast. (E3703.2)
 - Both metal piping systems and grounded metal parts in contact with the circulating water associated with a hydro massage tub shall be bonded together using an insulated, covered, or bare solid copper bonding jumper not smaller than 8 AWG. (E4209)
 - Provide outside combustion air to all indoor fireplaces with air intake located not higher than the firebox. (R1006.1)
 - At least one thermostat shall be provided for each separate heating and cooling system. (N1103.1)
- The following three notes are applicable to New Construction only
(BPI) certified professionals are approved for testing air leakage in existing buildings, otherwise RESNET professionals are approved for new and existing:
35. The building shall be provided with a whole-house mechanical ventilation system that meets the requirements of Section M1507. Outdoor air intakes and exhausts shall have automatic or gravity dampers that close when the ventilation system is not operating. (N1103.6)
36. The building or dwelling unit shall be tested and verified as having an air leakage rate not exceeding five air changes per hour for detached dwelling units and seven air changes per hour for attached dwelling units. Testing shall be conducted in accordance with ASTM E 779 or ASTM E 1827 and reported at a pressure of 0.2 inch w.g. (50 Pascals). Testing shall be conducted by an approved third party (RESNET certified). A written report of the results of the test shall be signed by the party conducting the test and provided to the code official. Testing shall be performed at any time after creation of all penetrations of the building thermal envelope. (N1102.4.1.2 amended)
37. Ducts, air handlers, and filter boxes shall be sealed in accordance with N1103.3.2. Joints and seams shall comply with Section M1601.4.1. Ducts shall be pressure tested to determine leakage by one of the following methods (N1103.3.3):
A. 1. Rough-in test: Total leakage shall be measured with a pressure differential of 0.1 inches w.g. (25 Pa) across the system, including the manufacturer's air handler enclosure if installed at the time of the test. All registers shall be taped or otherwise sealed during the test.
B. 2. Post-construction test: Total leakage shall be measured with a pressure differential of 0.1 inches w.g. (25 Pa) across the system, including the manufacturer's air handler enclosure. Registers shall be taped or otherwise sealed during the test.
- Exception: A duct leakage test shall not be required where the ducts and air handlers are located entirely within the building thermal envelope. A written report of the results shall be signed by the party conducting the test and provided to the code official prior to the Building Final

PROJECT GENERAL NOTES:

- A. DO NOT SCALE DRAWINGS.
- B. TYPICAL DETAILS MAY NOT NECESSARILY BE CUT ON PLANS, BUT APPLY UNLESS NOTED OTHERWISE.
- C. ALL WORK AND MATERIAL SHALL BE REGARDED AS NEW UNLESS SPECIFICALLY INDICATED AS "EXISTING" OR "E" ON THE DRAWINGS AND/OR WITHIN THE SPECIFICATIONS.
- D. CONTRACTOR SHALL COORDINATE ALL TRADES AND METHODS OF CONSTRUCTION AS REQUIRED FOR COMPLETION OF THE PROJECT WITH THE INTENT OF THESE DOCUMENTS.
- E. ALL MATERIALS AND UNFINISHED SURFACES EXPOSED TO VIEW SHALL BE PAINTED UNLESS FACTORY PRE FINISHED, NOTED OTHERWISE OR DIRECTED BY THE ARCHITECT.
- F. NO UTILITIES, PLUMBING, PIPING, CONDUIT, ETC. SHALL BE EXPOSED WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT.
- G. SHOULD DIMENSIONS BE MISSING OR CONFLICTING, NOTIFY ARCHITECT PRIOR TO PROCEEDING WITH RELATED WORK.
- H. CONTRACTOR SHALL VERIFY LOCATIONS OF UTILITIES PRIOR TO EXCAVATING, TRENCHING, ETC. AND SHALL REPAIR OR REPLACE UTILITIES DAMAGED AS A RESULT OF CONSTRUCTION.
- I. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY SHORING AND BRACING REQUIRED DURING CONSTRUCTION.
- J. SECURITY AND SAFETY ARE THE CONTRACTOR'S RESPONSIBILITY. SITE SHALL BE COMPLETELY FENCED AND SECURED DURING CONSTRUCTION.
- K. NO ASBESTOS SHALL BE USED OR INCORPORATED INTO THE PROJECT IN ANY FORM.
- L. SEPARATE DISSIMILAR METALS AS THEY OCCUR AND/OR PER MANUFACTURER'S RECOMMENDATIONS.
- M. APPLY SEALANT AT INTERSECTIONS OF ALL DISSIMILAR MATERIALS.

PROJECT TEAM

OWNER
CHAD AND ERIN HORSTMAN
7404 N LAS BRISAS LN
PARADISE VALLEY, AZ 85253

PH:480.203.1515

ARCHITECTURAL
DESIGN/TANK LLC
1934 E CAMELBACK RD STE 120-411
PHOENIX, AZ 85016

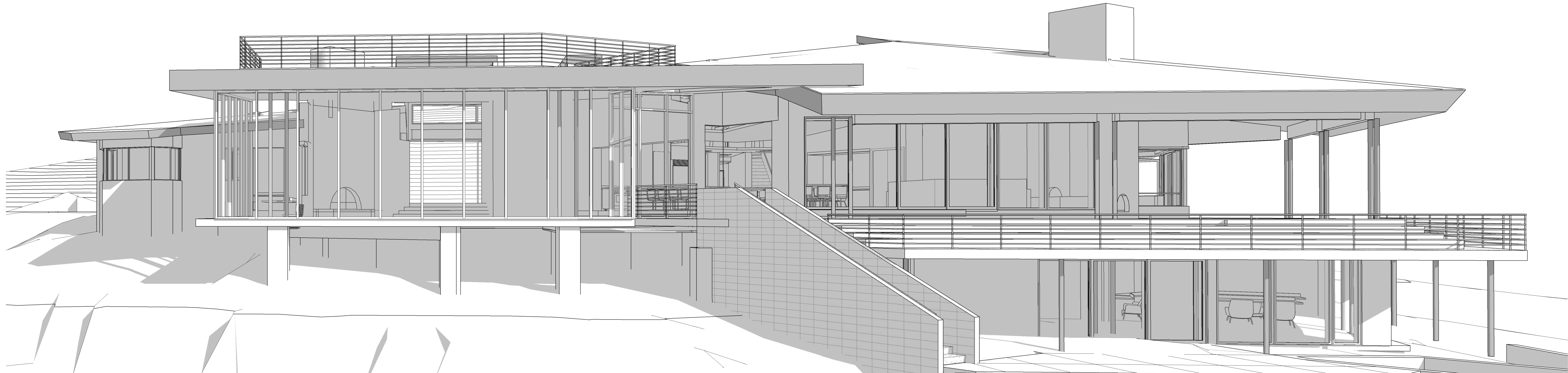
PROJECT ARCHITECT

www.designtankphx.com
TYLER KUENZLI
tyler@designtankphx.com
5035805626

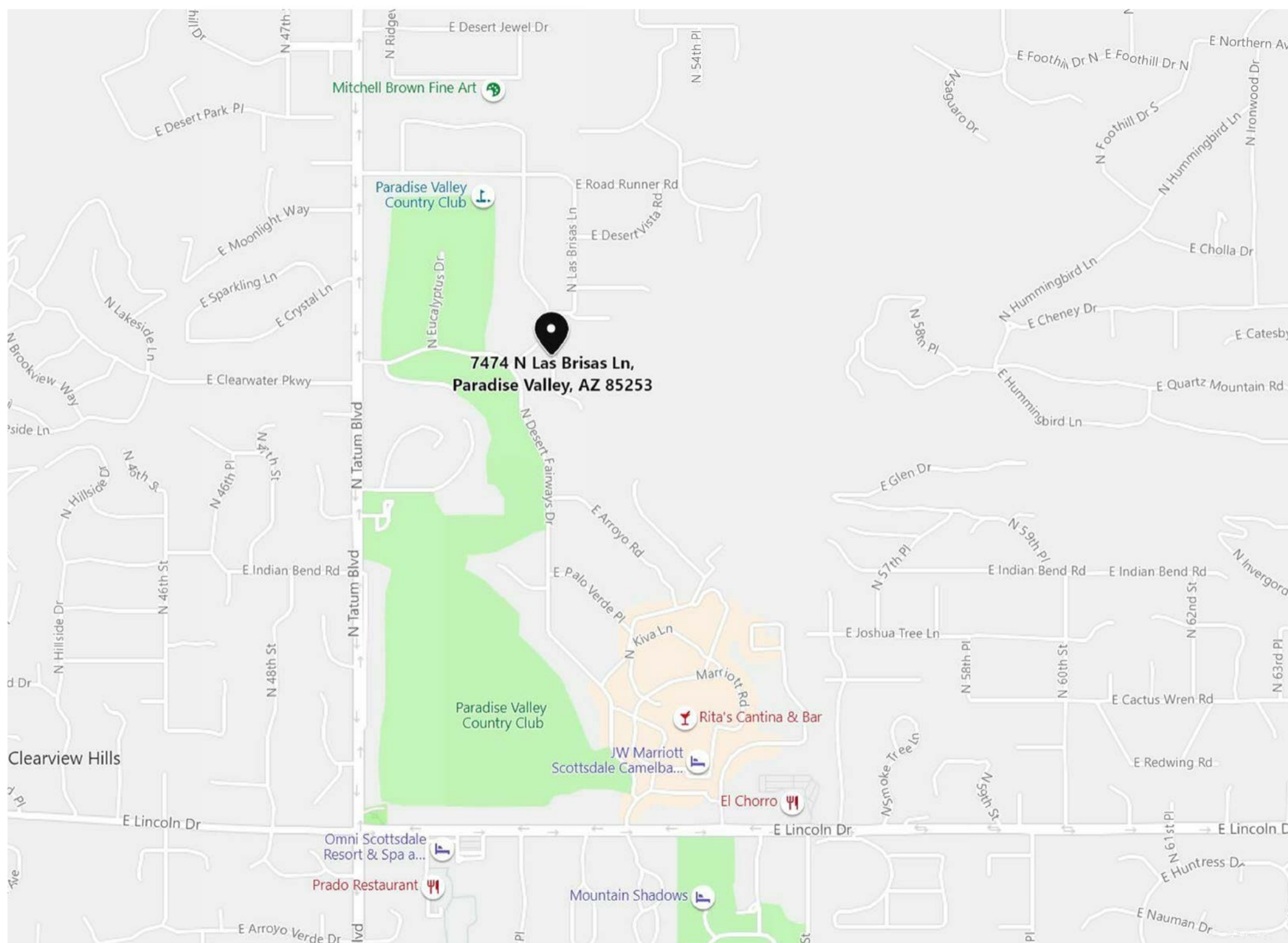
STRUCTURAL
UNITED STRUCTURAL DESIGN

2058 S Dobson Rd Ste 10
MESA, AZ 85020
(480) 454-6408

www.unitedstrd.com



VICINITY MAP:



PROJECT DESCRIPTION:

- PROJECT IS A REMODEL AND ADDITION OF AN EXISTING 8,128 S.F. (+/-) LIVEABLE SINGLE FAMILY RESIDENCE WITH ATTACHED 4-CAR GARAGE.
- IMPROVEMENTS INCLUDE
- REMODEL OF EXISTING 8,128 SF EXISTING HOME
 - 2,731 SF REPLACEMENT OF EXISTING ROOF THAT INCLUDES 314 SF LIVING ROOM ADDITION AND ROOF TERRACE
 - 675 SF CONVERSION OF COVERED PATIO SF TO LIVEABLE AT BASEMENT
 - EXPANDED TERRACE AT MAIN LEVEL
 - NEW SPA
 - NEW WATER FEATURE AT EXISTING RETAINING WALLS AT DRIVEWAY

SHEET INDEX

LABEL	SHEET NAME
A0	COVER SHEET
C100	SURVEY
C101	SITE DISTURBANCE
A101	SITE PLAN
A200	SLAB PLAN
A201	EXISTING PLAN
A202	EXISTING PLAN
A203	DEMOPLAN
A204	PROPOSED FLOOR PLAN
A205	PROPOSED FLOOR PLAN
A401	ROOF PLAN
A501	BUILDING SECTIONS
A502	BUILDING SECTIONS
A601	EXTERIOR ELEVATIONS EXTERIOR
A602	ELEVATIONS & DETAILS EXTERIOR
A603	IMAGES

NOT FOR
CONSTRUCTION

DESIGN
TANK

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PHOENIX, AZ 85016
503.580.5626

7404 N LAS BRISAS LN.

PARADISE VALLEY, AZ 85253

REVISION	DATE	REASON FOR ISSUE

ARCHITECTS STAMP



COVER SHEET

DATE
2020-1110

SHEET NUMBER
A0

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CONSTRUCTION

DESIGN
TANK

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PHOENIX, AZ 85016
503.580.5626

TOPOGRAPHIC SURVEY

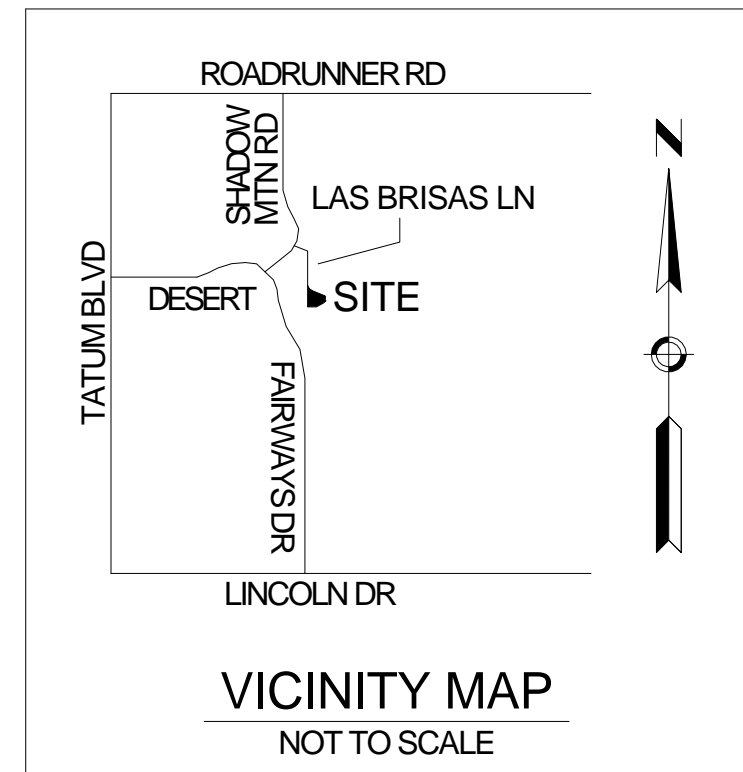
OF LOT 1, REPLAT OF MONTANA DE BONITAS CASAS, ACCORDING TO BOOK 266 OF MAPS, PAGE 25, M.C.R.
A PORTION OF THE SOUTHEAST QUARTER OF SECTION 5, TOWNSHIP 2 NORTH, RANGE 4 EAST
OF THE GILA AND SALT RIVER BASE & MERIDIAN, MARICOPA COUNTY, ARIZONA

OWNER INFORMATION

CMH TRUST
7404 N. LAS BRISAS LN.
PARADISE VALLEY, AZ 85253

PARCEL INFORMATION

APN: 169-06-090
ADDRESS:
7404 N. LAS BRISAS LN.
PARADISE VALLEY, AZ 85253
AREA:
±55,568 SQ. FT. / ±1.27567 ACRES



LEGEND

- FOUND 3" CITY OF PHOENIX BRASS CAP FLUSH
 - FOUND 1/2" IRON PIPE AS NOTED
 - × FOUND & ACCEPTED 1/2" REBAR AS NOTED
 - × CALCULATED POSITION - NOTHING FOUND OR SET
 - ▲ SET 1/2" REBAR & CAP "RLS 57279"
 - STREET CENTERLINE
 - SUBJECT PROPERTY LINE
 - TIES
 - EASEMENT LINE
 - UNDERGROUND ELECTRIC
 - WATER LINE
 - UNDERGROUND TELEPHONE LINE
 - SANITARY SEWER
 - EASEMENT LINE
 - CHAIN LINK FENCE
 - WALL
 - AIR CONDITIONING UNIT
 - ELECTRIC TRANSFORMER
 - ELECTRIC J-BOX
 - LIGHT STANDARD
 - TELEPHONE J-BOX
 - MAILBOX
 - CABLE TV J-BOX
 - SANITARY SEWER MANHOLE
 - FIRE HYDRANT
 - WATER VALVE
 - BACKFLOW PREVENTER
 - IRRIGATION CONTROL VALVE
 - MESQUITE TREE
 - PALO VERDE TREE
 - DECIDUOUS TREE
- M.C.R. MARICOPA COUNTY RECORDS
R/W RIGHT OF WAY
P.U.E. PUBLIC UTILITY EASEMENT
S.E. SEVERE EASEMENT
(M) MEASURED
(C) CALCULATED
(R1) RECORD (BOOK 266 OF MAPS, PAGE 25, M.C.R.)
(R2) RECORD (BOOK 1250 OF MAPS, PAGE 29, M.C.R.)

BASIS OF BEARINGS

THE WEST LINE OF MONTANA DE BONITAS CASAS SUBDIVISION BETWEEN TWO FOUND MONUMENTS AS SHOWN HEREON.
SAID BEARING BEING NORTH 00°13'50" WEST (PER BOOK 266 OF MAPS, PAGE 25, M.C.R.)

PROJECT BENCHMARK

3" TOWN OF PARADISE VALLEY BRASS CAP FLUSH NEAR INTERSECTION OF 48TH ST. & INDIAN BEND RD., BEING THE SOUTHWEST CORNER OF SECTION 5, TOWNSHIP 2 NORTH, RANGE 4 EAST. PUBLISHED ELEVATION = 1419.804 (NAVD 1988 DATUM).

LEGAL DESCRIPTION

(PER DEED AS RECORDED IN DOCUMENT No. 2019-0233967, M.C.R.)

LOT 1, OF REPLAT OF MONTANA DE BONITAS CASAS, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 221 OF MAPS, PAGE 11 AND THEREAFTER REPLATTED IN BOOK 266 OF MAPS, PAGE 25.

REFERENCE DOCUMENTS

- DEED AS RECORDED IN DOCUMENT No. 2019-0233967, M.C.R.
- REPLAT OF MONTANA DE BONITAS CASAS AS RECORDED IN BOOK 266 OF MAPS, PAGE 25, M.C.R.
- PLAT OF MONTANA DE BONITAS CASAS 3 AS RECORDED IN BOOK 1250 OF MAPS, PAGE 29, M.C.R.
- RESULTS OF SURVEY AS RECORDED IN BOOK 1488 OF MAPS, PAGE 16, M.C.R.

SURVEYOR'S NOTES

- ALL MEASUREMENTS ARE AS MEASURED ON THE GROUND UNLESS INDICATED OTHERWISE.
- THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT. THEREFORE, EASEMENTS, RIGHTS-OF-WAY OR OTHER ENCUMBRANCES MAY EXIST.
- EASEMENTS SHOWN HEREON ARE AS SHOWN ON PLATS REFERENCED HEREON.
- THIS MAP IS BASED ON RESULTS OF SURVEY AS RECORDED IN BOOK 1488 OF MAPS, PAGE 16, M.C.R., AND IS NOT INTENDED FOR RECORDING.

CURVE	RADIUS	Δ	LENGTH	TANGENT (M)/(C)/(R)
C1	89.95'	70°04'25"	110.01'	63.07' (C)
C2	89.85'	70°04'25"	109.89'	63.00' (R1)&(R2)
C3	114.95'	70°16'04"	140.98'	80.89' (C)
C4	25.00'	43°38'33"	19.04'	10.01' (R1)
C5	25.00'	43°38'26"	19.04'	10.01' (R1)
C6	25.00'	48°12'35"	21.04'	11.19' (C)
C7	25.00'	48°11'23"	21.03'	11.18' (R1)
C8	50.00'	51°30'18"	44.95'	24.12' (C)
C9	50.00'	-	44.95'	- (R1)

MILLER LAND SURVEYING
131 SOUTH 20TH
PHOENIX, AZ
85016-2512
602.712.1937
602.712.1969

DATE 10/21/2019
REVISION 0
DRAWN DKNS
CHECKED HC
PROJECT # 19218TOPO
SHEET NUMBER

1 OF 1

NOT FOR RECORDING

7404 N LAS BRISAS LN.

PARADISE VALLEY, AZ 85253

CHAD AND ERIN HORSTMAN

REVISION	DATE	REASON FOR ISSUE



SURVEY

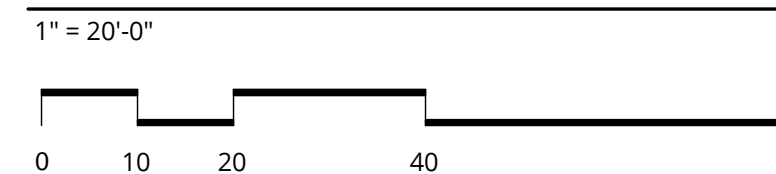
CONCEPT DESIGN
PACKAGE

DATE
2020-1110

SCALE
1" = 20'-0"

SHEET NUMBER
C100

1 SURVEY



TOPOGRAPHIC SURVEY

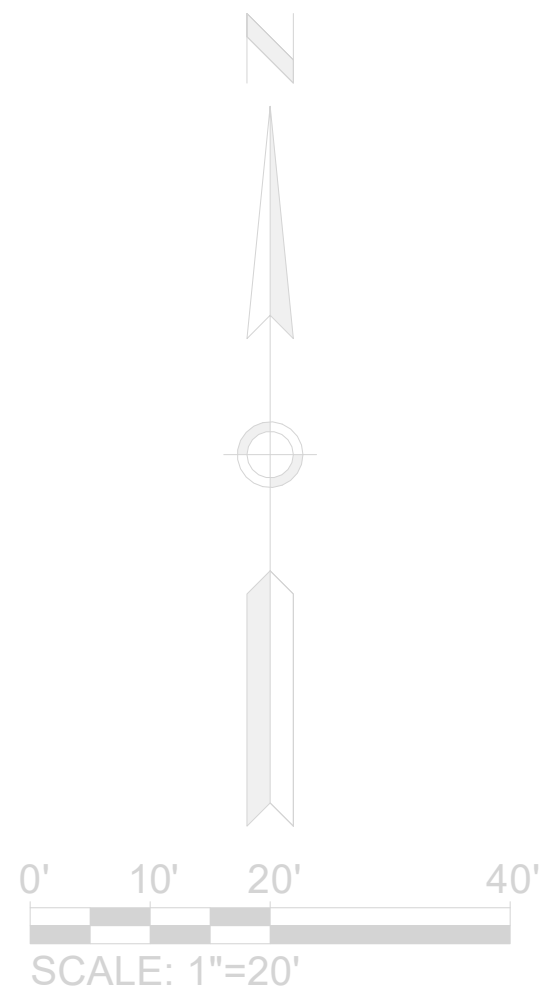
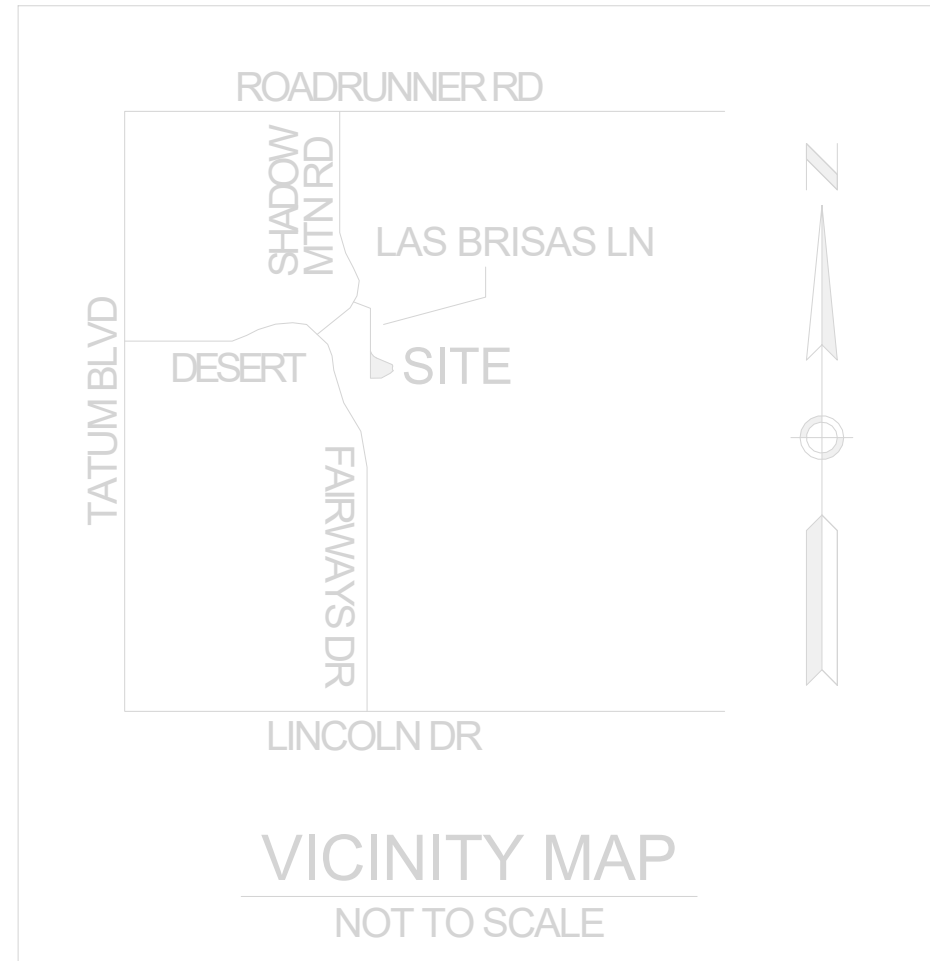
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OF THE GILA AND SALT RIVER BASE & MERIDIAN, MARICOPA COUNTY, ARIZONA

OWNER INFORMATION

CMH TRUST
7404 N. LAS BRISAS LN.
PARADISE VALLEY, AZ 85253

PARCEL INFORMATION

APN: 169-06-090
ADDRESS:
7404 N. LAS BRISAS LN.
PARADISE VALLEY, AZ 85253
AREA:
±55,568 SQ. FT. / ±1.27567 ACRES



DISTURBANCE LEGEND

- DISTURBED AREA
- DRIVEWAY
- RESIDENCE FOOTPRINT

SITE INFORMATION

AREA OF LOT	1.27 ACRES OR 55,568 SF
AREA UNDER ROOF	13,469 SF
FLOOR AREA RATIO	24.23%
BUILDING PAD SLOPE:	
VERTICAL	38 FEET
HORIZONTAL	224 FEET
ALLOWABLE DISTURBED AREA	27.27% OR 15,738 SF
EXISTING DISTURBED AREA	55.16% OR 30,653 SF

DISTURBANCE CALCULATIONS

GROSS DISTURBED AREA	30,653 SF
- SUBTRACT TOTAL LIVEABLE FOOTPRINT	7,926 SF
- SUBTRACT ATTACHED GARAGE FOOTPRINT	1,420 SF
- SUBTRACT DRIVEWAY CREDIT	3,044 SF
- SUBTRACT RETENTION BASIN CREDIT	0 SF
- SUBTRACT RESTORED AREAS	0 SF
NET PROPOSED DISTURBED AREA	18,263 SF
(EXISTING NET DISTURBED AREA)	19,579 SF

NET PROPOSED DISTURBED AREA	32.8%
PERCENT OF LOT STEEPER THAN NG	1,478 SF OR 2.56%

NOT FOR
CONSTRUCTION

DESIGN
TANK

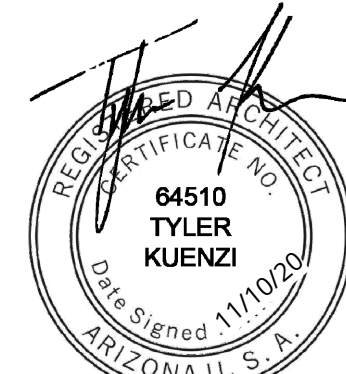
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PARADISE VALLEY, AZ 85253

CHAD AND ERIN HORSTMAN

REVISION	DATE	REASON FOR ISSUE



SITE DISTURBANCE

CONCEPT DESIGN PACKAGE

DATE
2020-1110

SCALE
As Indicated

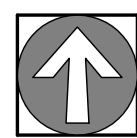
SHEET NUMBER
C101

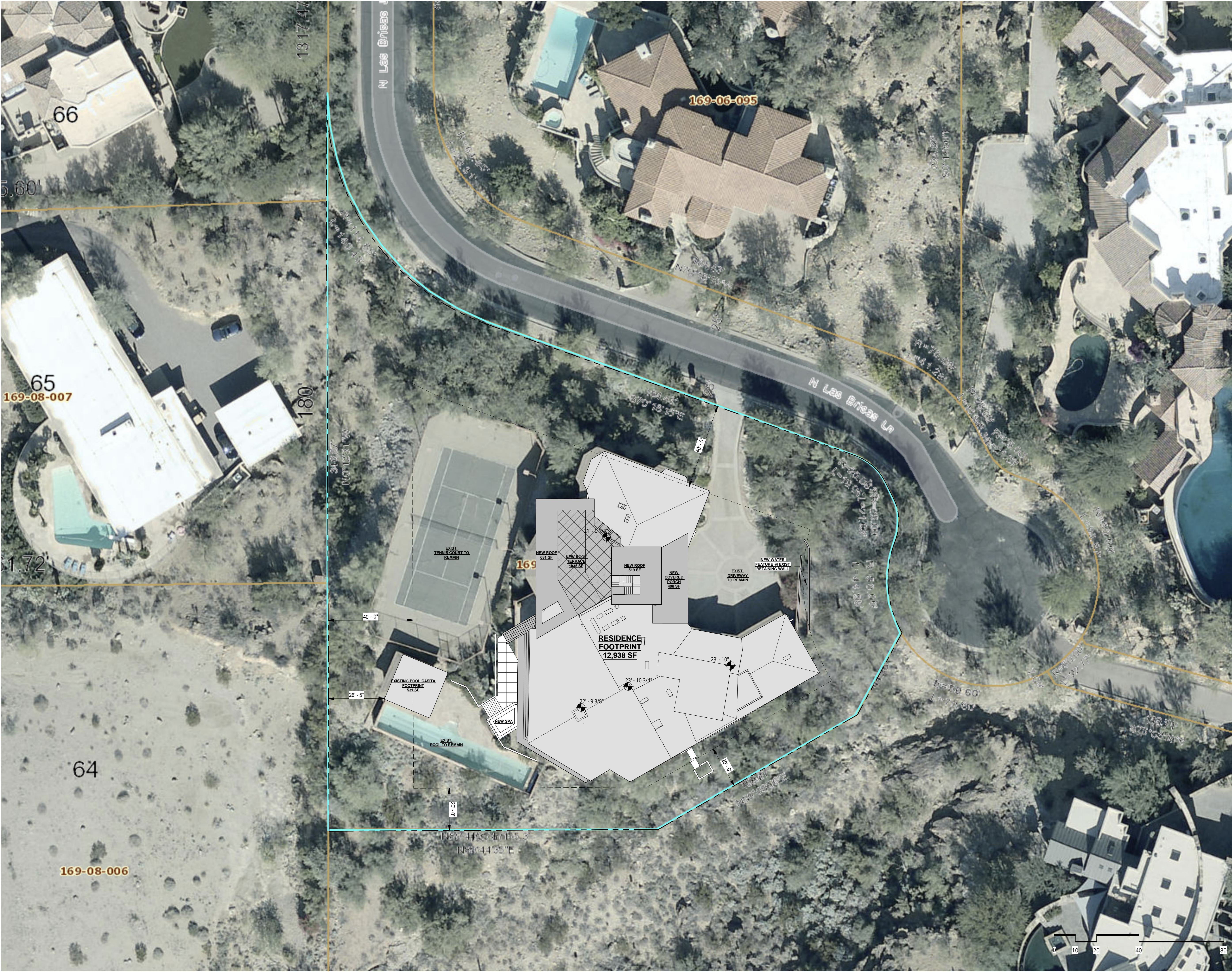
CURVE	RADIUS	Δ	LENGTH	TANGENT	(M)/(C)/(R)
C1	89.95'	70°04'25"	110.01'	63.07'	(C)
	89.85'	70°04'25"	109.89'	63.00'	(R1)&(R2)
C2	114.95'	70°16'04"	140.98'	80.89'	(C)
	114.85'	-	140.46'	-	(R1)
C3	25.00'	43°38'33"	19.04'	10.01'	(C)
	25.00'	43°38'26"	19.04'	10.01'	(R1)
C4	25.00'	48°12'35"	21.04'	11.19'	(C)
	25.00'	48°11'23"	21.03'	11.18'	(R1)
C5	50.00'	51°30'18"	44.95'	24.12'	(C)
	50.00'	-	44.95'	-	(R1)

1 SITE DISTURBANCE

1/16" = 1'-0"

0 8 16 32 64





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REVISION	DATE	REASON FOR ISSUE



AERIAL PHOTO

CONCEPT DESIGN
PACKAGE

DATE 2020-1110	REVISION
PROJECT NUMBER 000000	SHEET NUMBER
SCALE 1" = 20'-0"	C102

TOPOGRAPHIC SURVEY

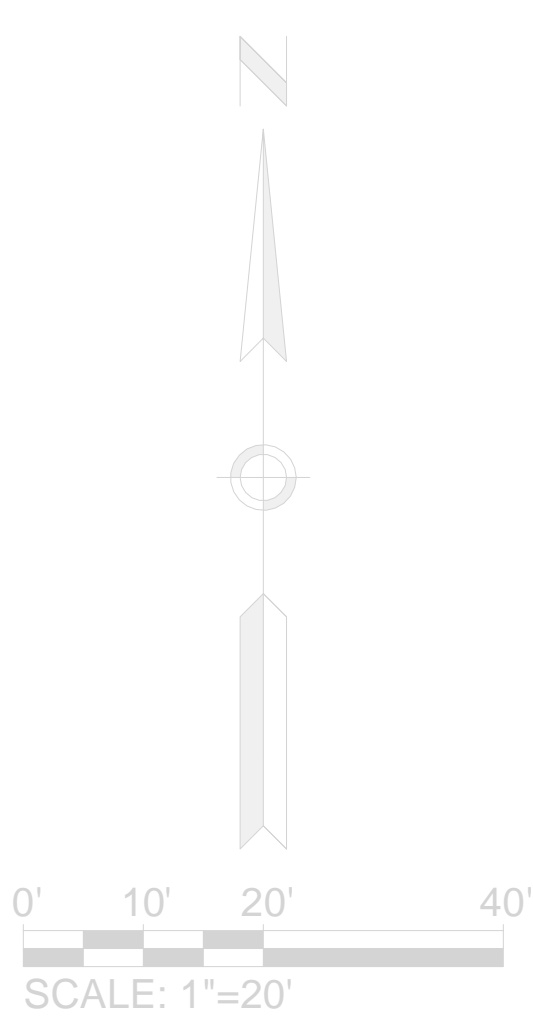
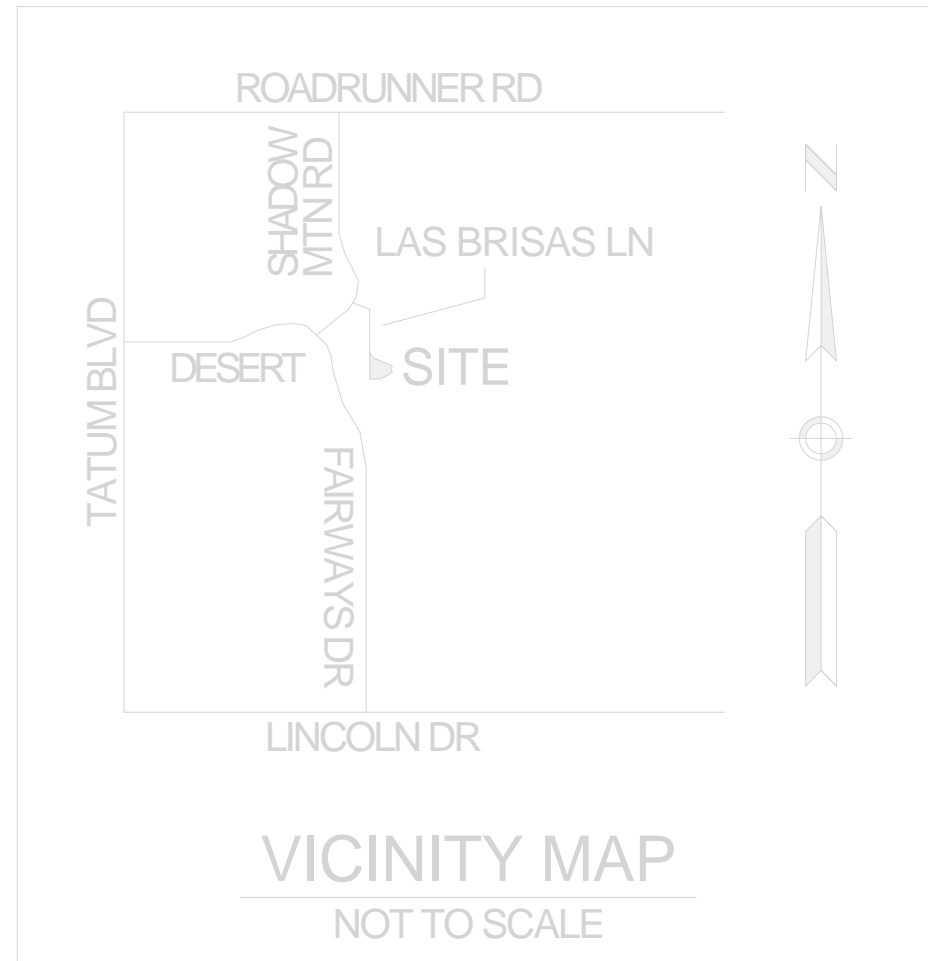
OF LOT 1, REPLAT OF MONTANA DE BONITAS CASAS, ACCORDING TO BOOK 266 OF MAPS, PAGE 25, M.C.R.
A PORTION OF THE SOUTHEAST QUARTER OF SECTION 5, TOWNSHIP 2 NORTH, RANGE 4 EAST
OF THE GILA AND SALT RIVER BASE & MERIDIAN, MARICOPA COUNTY, ARIZONA

OWNER INFORMATION

CMH TRUST
7404 N. LAS BRISAS LN.
PARADISE VALLEY, AZ 85253

PARCEL INFORMATION

APN: 169-06-090
ADDRESS:
7404 N. LAS BRISAS LN.
PARADISE VALLEY, AZ 85253
AREA:
±55,568 SQ. FT. / ±1.27567 ACRES



SITE PLAN GENERAL NOTES:

- A. CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL QUANTITIES AND ITEMS REQUIRED TO BE REMOVED PRIOR TO SUBMITTAL OF PROPOSAL.
- B. SLOPE ALL GRADES AND PAVEMENT AWAY FROM BUILDING (S) TO PROVIDE POSITIVE DRAINAGE, UNLESS NOTED OTHERWISE.
- C. FINISH GRADE AT WALKWAYS, BUILDINGS, ETC., AS REQUIRED TO PROVIDE SMOOTH TRANSITION TO GRADE. ADD TOPSOIL AS REQUIRED. RAKE LANDSCAPE AREAS TO PROVIDE POSITIVE DRAINAGE. RE-SEED OR RE-PLANT DISTURBED AREAS AS REQUIRED.
- D. ANGLES INDICATED ARE 45 DEGREES UNLESS NOTED OTHERWISE.
- E. CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE SITE ON A CONTINUING BASIS FOR THE DURATION OF CONSTRUCTION.
- F. TYPICALLY, ALL NEW CONCRETE WALKS SHALL HAVE EXPANSION JOINTS AT A MAXIMUM SPACING OF 20' 0" O.C. AND CONTROL JOINTS AT 5' 0" O.C., UNLESS OTHERWISE NOTED OR INDICATED.
- G. SHOULD SLOPES OF GREATER THAN 1:0" IN 20' 0" OCCUR AT PAVEMENT LOCATIONS, NOTIFY ARCHITECT IMMEDIATELY.
- H. DIMENSIONS ARE TO OUTSIDE FACE OF STEM WALLS/ FOUNDATIONS UNLESS NOTED OTHERWISE.
- I. ALL AREAS DISTURBED BY CONSTRUCTION, STAGING, ETC. SHALL BE RESTORED TO THEIR ORIGINAL CONDITION BY THE GENERAL CONTRACTOR. GENERAL CONTRACTOR IS RESPONSIBLE FOR DOCUMENTING ORIGINAL CONDITION.

SITE PLANNING GENERAL NOTES:

- A. ALL MECHANICAL EQUIPMENT (AIR CONDITIONERS, POOL EQUIPMENT, ETC.) SHALL BE SCREENED A MINIMUM OF 1' ABOVE THE HIGHEST PORTION OF THE EQUIPMENT FROM ALL SIDES AND SHALL BE COMPATIBLE WITH THE ADJACENT BUILDING.
- B. NO NATIVE PLANTS SHALL BE DISTURBED BY THE CONSTRUCTION OF THIS PROJECT.
- C. POOLS REQUIRE SEPARATE APPROVAL AND PERMIT.
- D. POOLS SHALL NOT BE EMPTIED OR BACKWASHED INTO WASHES, STREETS, ONTO ADJACENT LOTS OR TRACTS OF LAND.

PROJECT CODE INFORMATION:

ZONING DATA:	
MCR #:	169-06-090
BASE ZONE:	R-43
LOT AREA:	55,568 S.F.
SUBDIVISION:	MONTANA DE BONITAS CASAS REPLAT
LOT NUMBER:	1
OVERLAYS:	N/A
SETBACKS:	
FRONT:	40 FEET
REAR:	40 FEET
SIDE:	20 FEET
BUILDING/SITE DATA:	
OCCUPANCY:	SINGLE FAMILY RES.
TYPE OF CONSTRUCTION:	V-B
NUMBER OF STORIES:	ONE
BUILDING HEIGHT:	
STORIES PERMITTED:	2
MAXIMUM HEIGHT PERMITTED:	24' ABOVE NATURAL GRADE
PROVIDED:	23'-10"
ORIGINAL CONSTRUCTION YEAR:	1988
FLOODPLAIN (SFHA)	NO
AREA CALCULATIONS:	
SPRINKLER DATA:	
EXISTING RESIDENTIAL SPRINKLER SYSTEM:	NO
SPRINKLER SYSTEM REQUIRED PER IFC 903	
MINIMUM REQUIRED FIRE FLOW SHALL BE XXXX GPM FOR ONE HOURS PER I.F.C. TABLE B-105.1	

SITE PLAN LEGEND

- EXISTING RESIDENCE
- NEW ROOF
- ROOF TERRACE
- WATER FLOWS
- 6" PVC DRAINAGE PIPE
- RETENTION BASIN BELOW TENNIS COURT

PROPOSED PROJECT SF:

PROJECT SF	Existing SF	Proposed Additions	Total
Basement	840	675	1,515
Main Level	6,691	641	7,332
Level 2	597	-	597
Total Liveable	8,128	1,316	9,444
Garage SF	1,420	-	1,420
Covered Porch (Front)	366	91	457
Covered Patios (Rear)	1,900	102	2,002
Detached Casita	531	-	531
Total Non- Liveable	4,217	-	4,410
Total Project SF			13,854

LOT COVERAGE	
Proposed Residence Footprint	12,938
Existing Casita Footprint	531
Total Footprint	13,469
Lot SF	55,568
Proposed Lot Coverage	24.2%

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SITE PLAN

CONCEPT DESIGN PACKAGE

DATE
2020-1110

SCALE
As Indicated

SHEET NUMBER
A101

1 SITE PLAN

1/16" = 1'-0"
0 8 16 32 64



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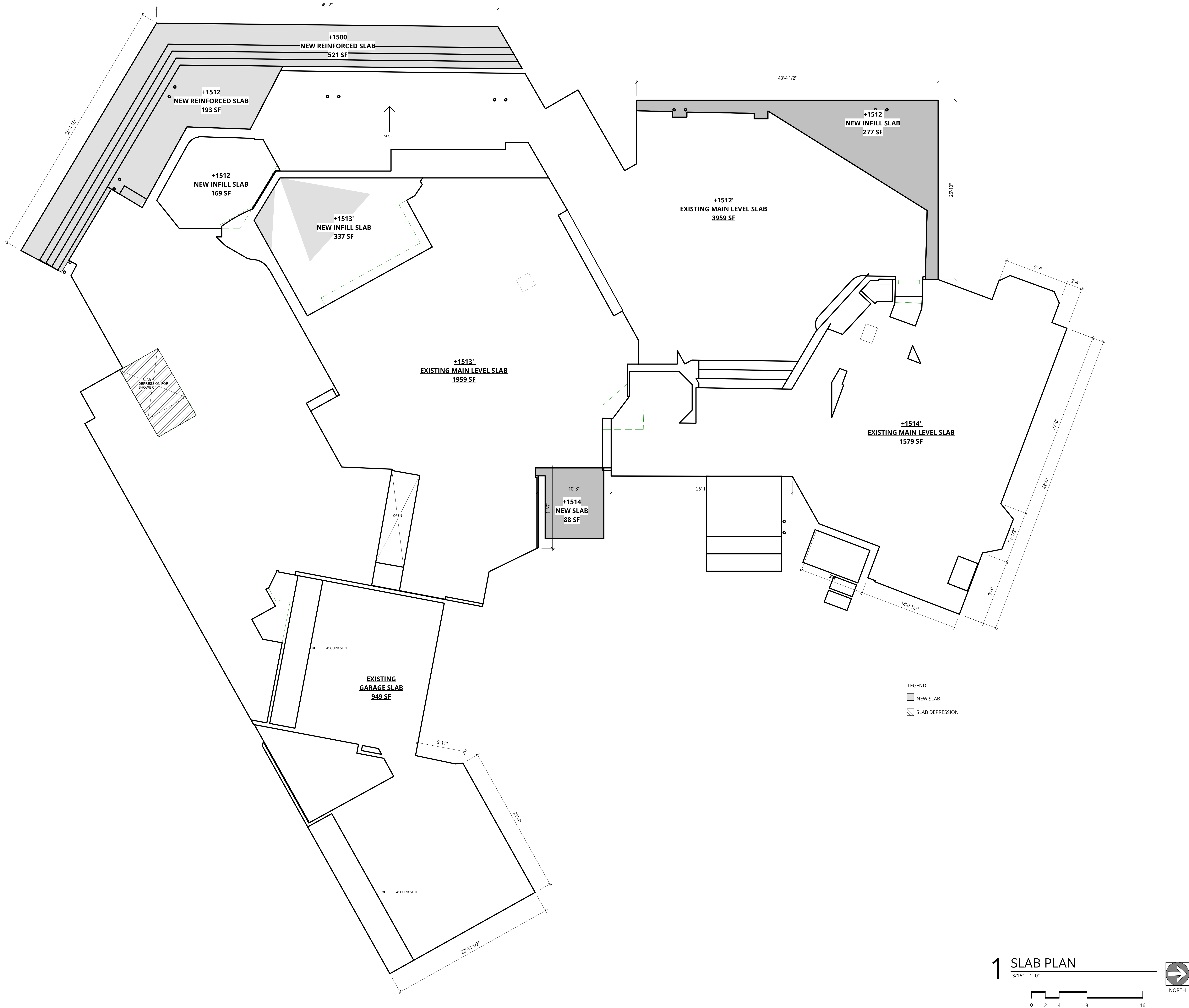
REVISION	DATE	REASON FOR ISSUE



SLAB PLAN

CONCEPT DESIGN
PACKAGE

DATE 2020-1110	SHEET NUMBER A200
SCALE 3/16" = 1'-0"	



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REVISION	DATE	REASON FOR ISSUE



EXISTING PLAN

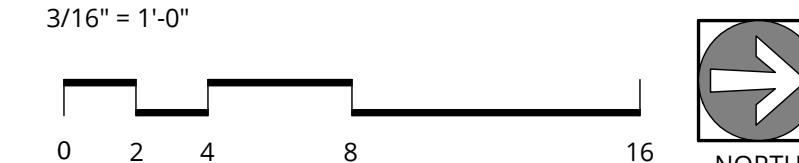
CONCEPT DESIGN
PACKAGE

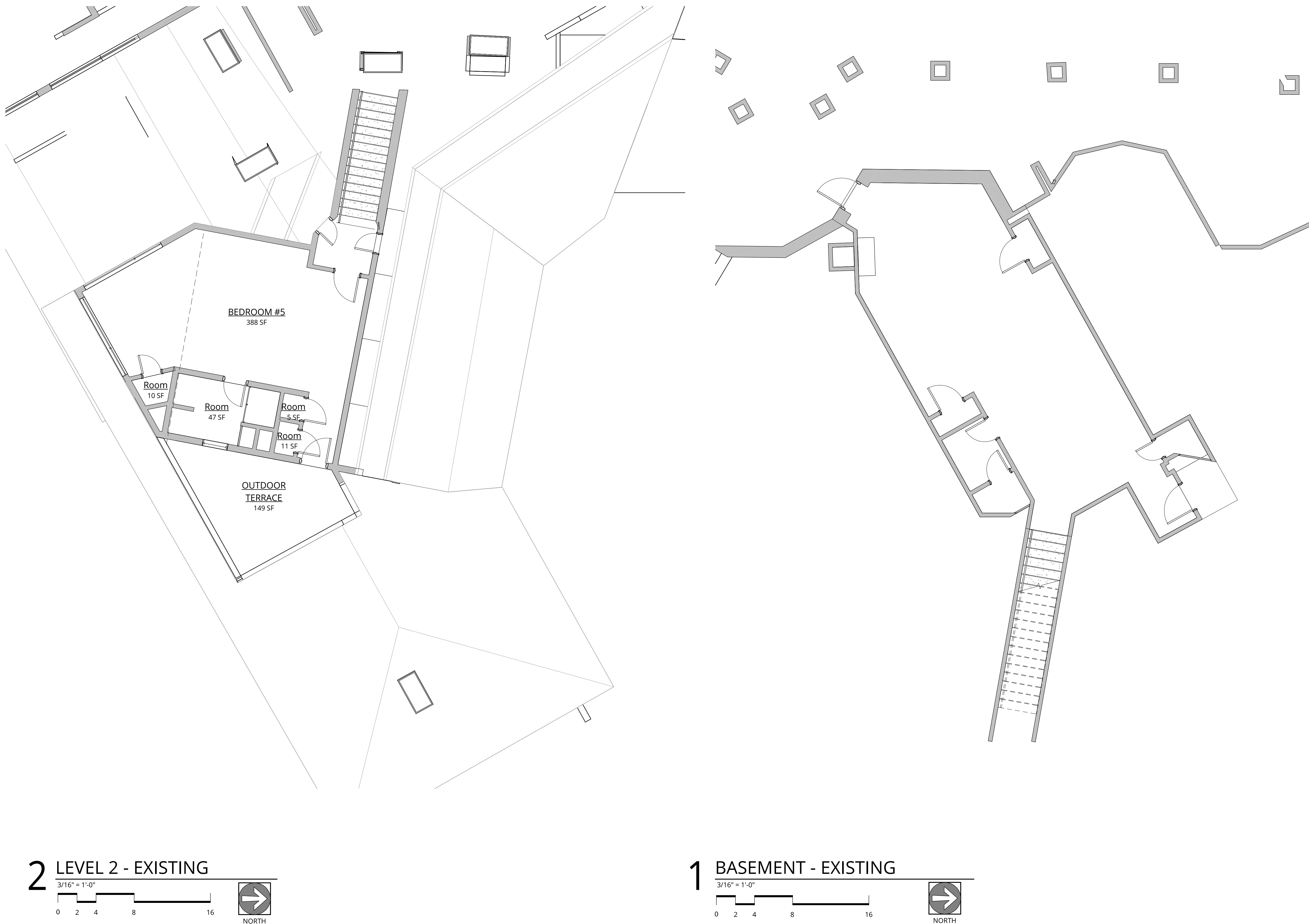
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A20



1 MAIN LEVEL - EXISTING





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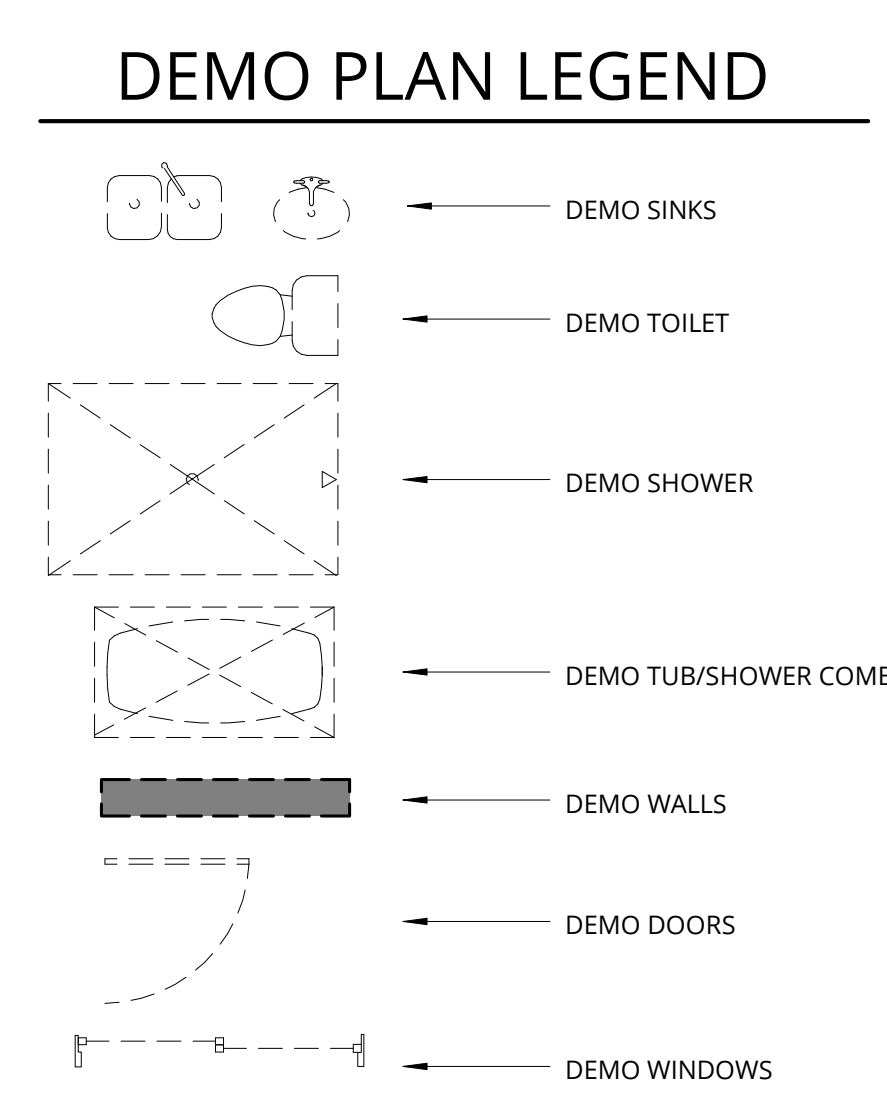


EXISTING PLAN

CONCEPT DESIGN
PACKAGE

DATE
2020-1110

SCALE	SHEET NUMBER
3/16" = 1'-0"	A202



**PLUMBING FIXTURES
LIGHTING FIXTURES
FLOORING
CABINETRY
COUNTEROPS
CASEWORK
MOLDING**

**MECHANICAL SYSTEMS
ELECTRICAL SYSTEMS
PLUMBING SYSTEMS
WINDOWS
ROOF EXCEPT WHERE NOTED**

1 DEMO PLAN - MAIN LEVEL

3/16" = 1'-0"

The main level site plan shows a building footprint with a central entrance and two side wings. The building is surrounded by a parking lot with 16 spaces. A north arrow is located in the bottom right corner, pointing towards the top right of the page.

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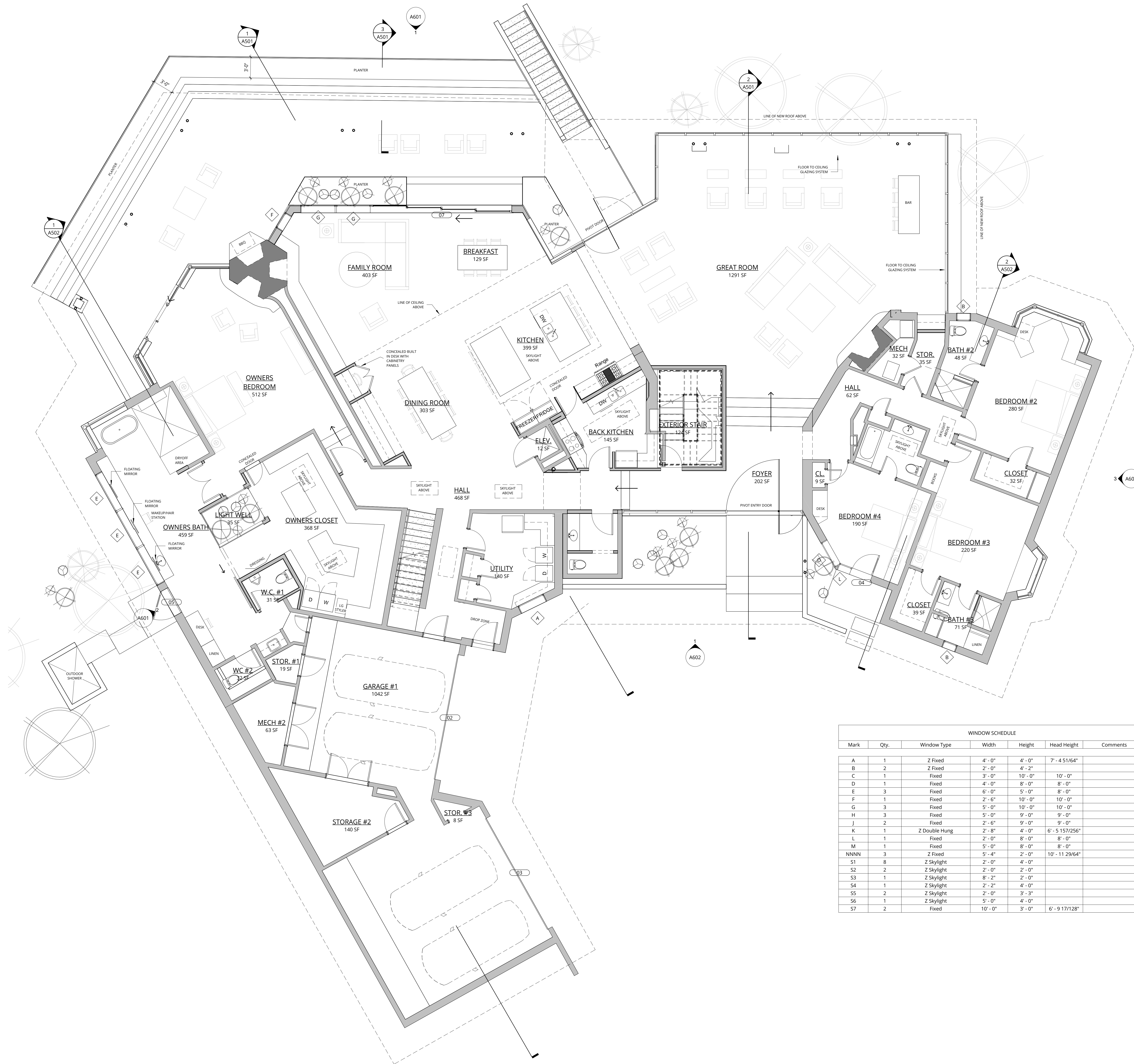


EXPIRES 09/30/2020

CONCEPT DESIGN
PACKAGE

DATE
2020-11-10

SCALE
As indicated

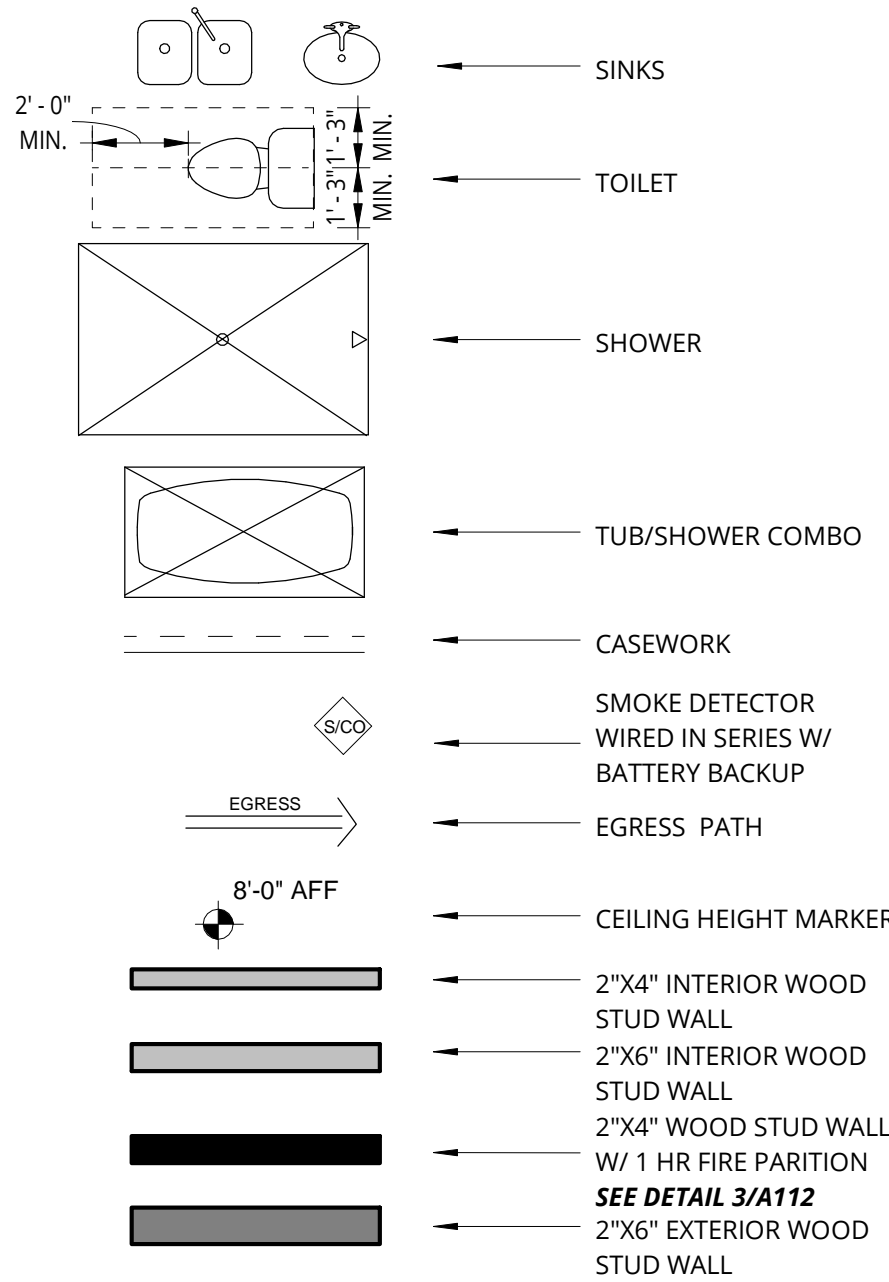


WINDOW SCHEDULE						
Mark	Qty.	Window Type	Width	Height	Head Height	Comments
A	1	Z Fixed	4' - 0"	4' - 0"	7' - 4 51/64"	
B	2	Z Fixed	2' - 0"	4' - 2"	4' - 2"	
C	1	Fixed	3' - 0"	10' - 0"	10' - 0"	
D	1	Fixed	4' - 0"	8' - 0"	8' - 0"	
E	3	Fixed	6' - 0"	5' - 0"	8' - 0"	
F	1	Fixed	2' - 6"	10' - 0"	10' - 0"	
G	3	Fixed	5' - 0"	10' - 0"	10' - 0"	
H	3	Fixed	5' - 0"	9' - 0"	9' - 0"	
J	2	Fixed	2' - 6"	9' - 0"	9' - 0"	
K	1	Z Double Hung	2' - 8"	4' - 0"	6' - 5 157/256"	
L	1	Fixed	2' - 0"	8' - 0"	8' - 0"	
M	1	Fixed	5' - 0"	8' - 0"	8' - 0"	
NNNN	3	Z Fixed	5' - 4"	2' - 0"	10' - 11 29/64"	
S1	8	Z Skylight	2' - 0"	4' - 0"		
S2	2	Z Skylight	2' - 0"	2' - 0"		
S3	1	Z Skylight	8' - 2"	2' - 0"		
S4	1	Z Skylight	2' - 2"	4' - 0"		
S5	2	Z Skylight	2' - 0"	3' - 3"		
S6	1	Z Skylight	5' - 0"	4' - 0"		
S7	2	Fixed	10' - 0"	3' - 0"	6' - 9 17/128"	

GENERAL NOTES:

1. GAS LINES:
 - GAS PIPING PLACED UNDER ANY CONCRETE SLAB SHALL COMPLY PER UPC 1210.1.6. REQUIREMENTS.
 - SHALL CONFORM TO U.P.C. CHAPTER 12 FOR MATERIALS, INSTALLATION, AND TESTING.
2. RANGES AND COOKTOPS:
Provide a listed and approved range and/or cooktop unit installed in accordance with the listing and with the manufacturer's installation instructions. VERIFY AND MAINTAIN REQUIRED HORIZONTAL AND VERTICAL CLEARANCES ABOVE THE FINISHED COUNTERTOP SURFACE BEFORE ORDERING OR INSTALLING CABINETS.
3. MAXIMUM STUD SPACING IS 16 INCHES ON CENTER UNLESS NOTED OTHERWISE
4. REFER TO STRUCTURAL DRAWINGS FOR LOCATIONS AND ADDITIONAL REQUIREMENTS FOR LOAD-BEARING AND SHEAR WALLS
5. TYPICAL GYPSUM SHEATHING THICKNESS IS 5/8 INCH UNLESS NOTED OTHERWISE
6. TYPICAL GYPSUM WALLBOARD THICKNESS IS 5/8 INCH UNLESS NOTED OTHERWISE
7. ALTERATIONS WHERE THE EXISTING ROOF, WALL, AND FLOOR CAVITY IS NOT EXPOSED IS EXEMPT FROM THE ENERGY REQUIREMENTS OF NEW CONSTRUCTION PER 2018 IECC C503.1 ALTERATIONS

FLOOR PLAN LEGEND



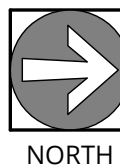
NOTE:
ALL WOOD FRAMED EXTERIOR WALLS TO HAVE BATT INSULATION R-21 MIN. TYP.
ALL CEILINGS (EXISTING AND NEW) TO HAVE BATT INSULATION R-38 MIN. TYP.

NOTE:
90% OF LAMPS IN PERMANENT FIXTURES OR 90% OF PERMANENT FIXTURES HAVE HIGH EFFICACY LAMPS. DOES NOT APPLY TO LOW VOLTAGE LIGHTING

1 MAIN LEVEL

3/16" = 1'-0"

0 2 4 8 16

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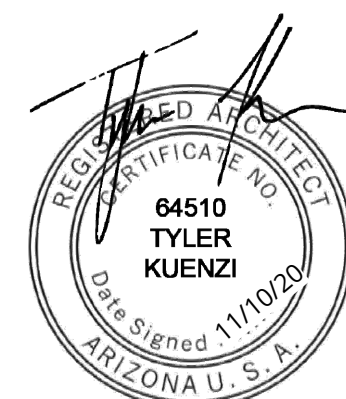
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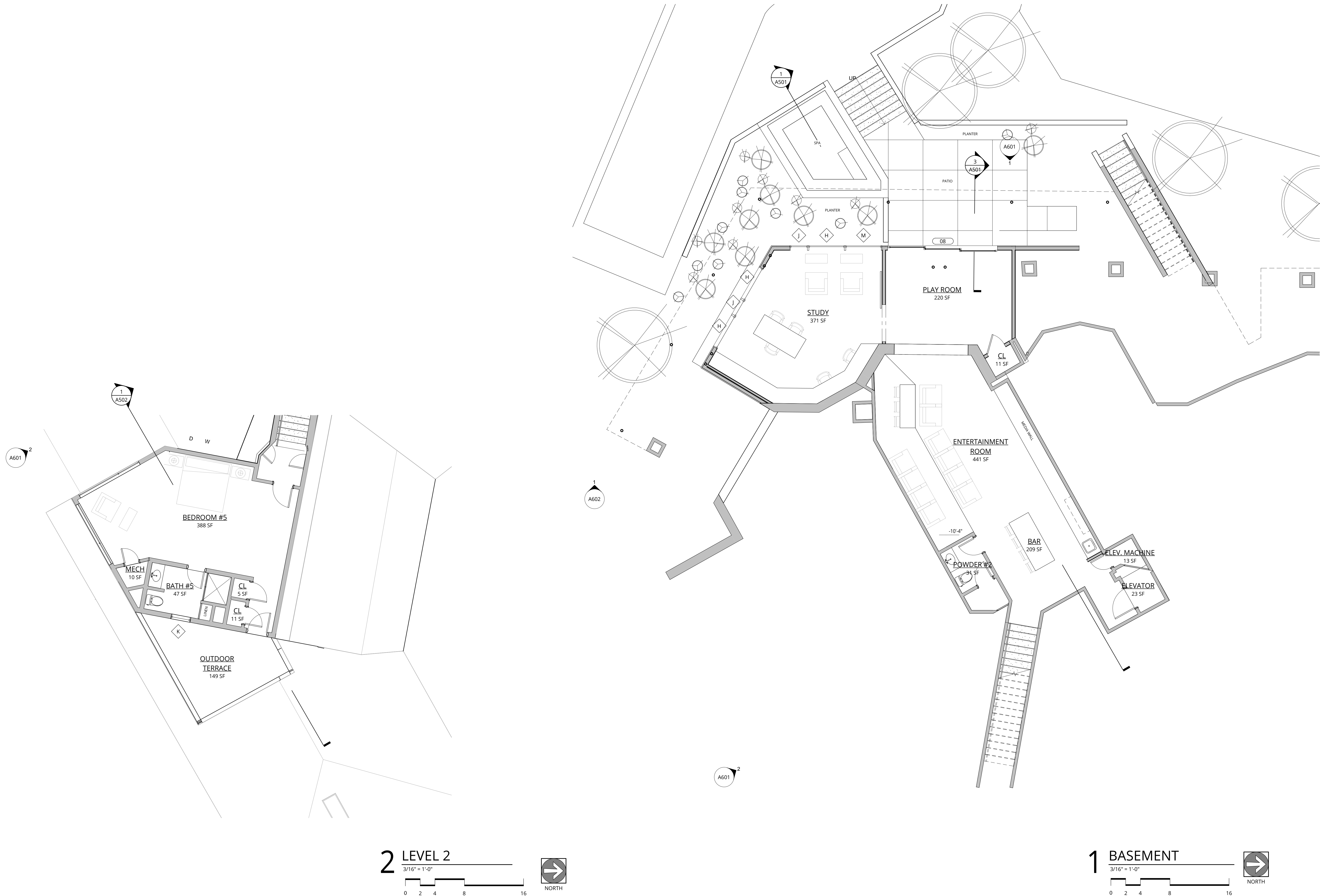
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PROPOSED FLOOR
PLANCONCEPT DESIGN
PACKAGEDATE
2020-1110SCALE
As IndicatedSHEET NUMBER
A204



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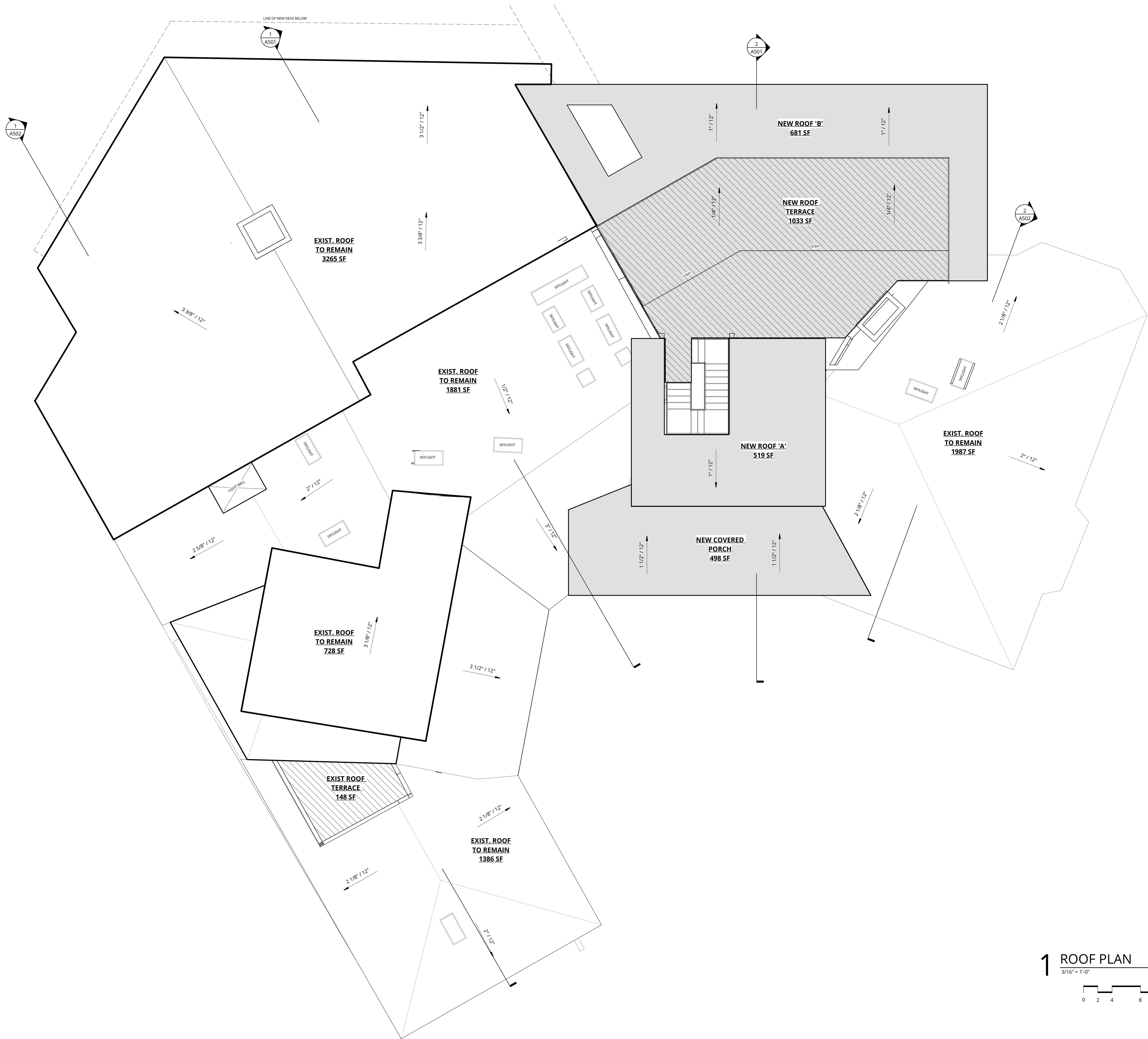
PROPOSED FLOOR
PLAN

CONCEPT DESIGN
PACKAGE

DATE
2020-1110

SCALE
3/16" = 1'-0"

SHEET NUMBER
A205



ROOF PLAN
GENERAL NOTES:

- A. NOTIFY ARCHITECT, ROOFING SUPPLIERS, MANUFACTURERS, INSTALLERS, SHEET METAL SUBCONTRACTOR AND OTHER RELATED SUBCONTRACTORS A MINIMUM OF 7 DAYS BEFORE COMMENCING ROOFING WORK.
- B. MINIMUM SLOPE AT ALL ROOFS SHALL BE 2" PER FOOT AND AT CRICKET VALLEYS SHALL BE A MINIMUM OF 1" PER FOOT. DO NOT SCALE PLAN FOR CRICKET DIMENSIONS.
- C. ALL CRICKET SLOPES SHALL BE ACHIEVED BY BUILDING UP TAPERED PLYWOOD FRAMING AND SHEATHING.
- D. ROOFING SUPPLIERS, MANUFACTURERS AND INSTALLERS SHALL REVIEW ALL ROOFING DETAILS AND ADVISE ARCHITECT ON ANY RECOMMENDED CHANGES, UNLESS NOTIFIED OTHERWISE. ROOFING SUPPLIERS, MANUFACTURERS AND INSTALLERS WILL BE ASSUMED TO HAVE REVIEWED AND APPROVED THE DETAILS SHOWN.
- E. GALVANIZED EDGE FLASHING FULLY OR PARTIALLY EXPOSED TO PUBLIC VIEW SHALL BE WASHED WITH "GALVA-CLEANER", PRIMED WITH "GALVA-PREP" AND METAL UNDERCOAT, AND FINISHED WITH PAINT PER THE SPECIFICATIONS.
- F. PRIME ALL METAL TO CONTACT ROOFING MATERIALS.
- G. SEPARATE DISSIMILAR METALS AS THEY OCCUR PER MANUFACTURER'S RECOMMENDATIONS. REVIEW METHODS AND MATERIALS WITH ARCHITECT.
- H. PROVIDE FLASHING AT ALL PLUMBING VENTS PENETRATING THE ROOF.
- I. CONTRACTOR AND ALL SUBTRADES SHALL BE AWARE AND EXERCISE THE NECESSARY CARE TO PREVENT DAMAGE TO OR PUNCTURE OF THE ROOF. THIS SHALL INCLUDE ALL SHARP MATERIALS, TOOLS, MATERIAL SCRAP'S OR MATERIALS HAVING A DELETERIOUS AFFECT ON THE ROOFING MATERIAL.
- J. ONCE THE ROOFING HAS BEEN COMPLETED, CONTRACTOR SHALL LIMIT TRAFFIC ON THE COMPLETED

ROOF PLAN LEGEND

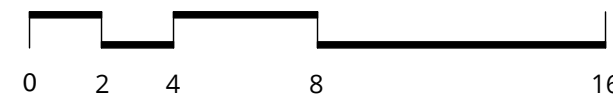
- EXISTING ROOF TO REMAIN
- NEW ROOF MANF. METAL SALES MANUFACTURING CORPORATION PER ICC REPORT ESR-2385
- ROOF DECK PER ICC REPORT XXXXXX
- ROOF SPOT ELEVATION
- SLOPE AND DIRECTION OF ROOF

PROPOSED ROOF SF

EXISTING ROOF TO REMAIN	9,631 SF
NEW ROOF AREAS	
NEW COVERED PORCH	498 SF
NEW ROOF 'A'	519 SF
NEW ROOF 'B'	681 SF
NEW ROOF TERRACE	1,033 SF
NEW ROOF TOTAL	2,731 SF
TOTAL ROOF	12,362 SF

1 ROOF PLAN

3/16" = 1'-0"



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ROOF PLAN

CONCEPT DESIGN
PACKAGE

DATE
2020-1110

SHEET NUMBER
A401

SCALE
As Indicated

SECTION KEYNOTES:

1. CONTINUOUS STEEL 1-1/2" DIA. HANDRAIL @ 36" A.F.F.
2. BEAM PER STRUCTURAL
3. CONCRETE DECKING PER STRUCTURAL
4. STEEL COLUMNS PER STRUCTURAL
5. EXISTING CMU COLUMNS
6. NEW ROOF STRUCTURE PER STRUCTURAL
7. EXISTING ROOF STRUCTURE TO REMAIN
8. CURTAIN WALL SYSTSEM
9. EXISTING SKYLIGHTS TO REMAIN

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2 SECTION @ LIVING ROOM

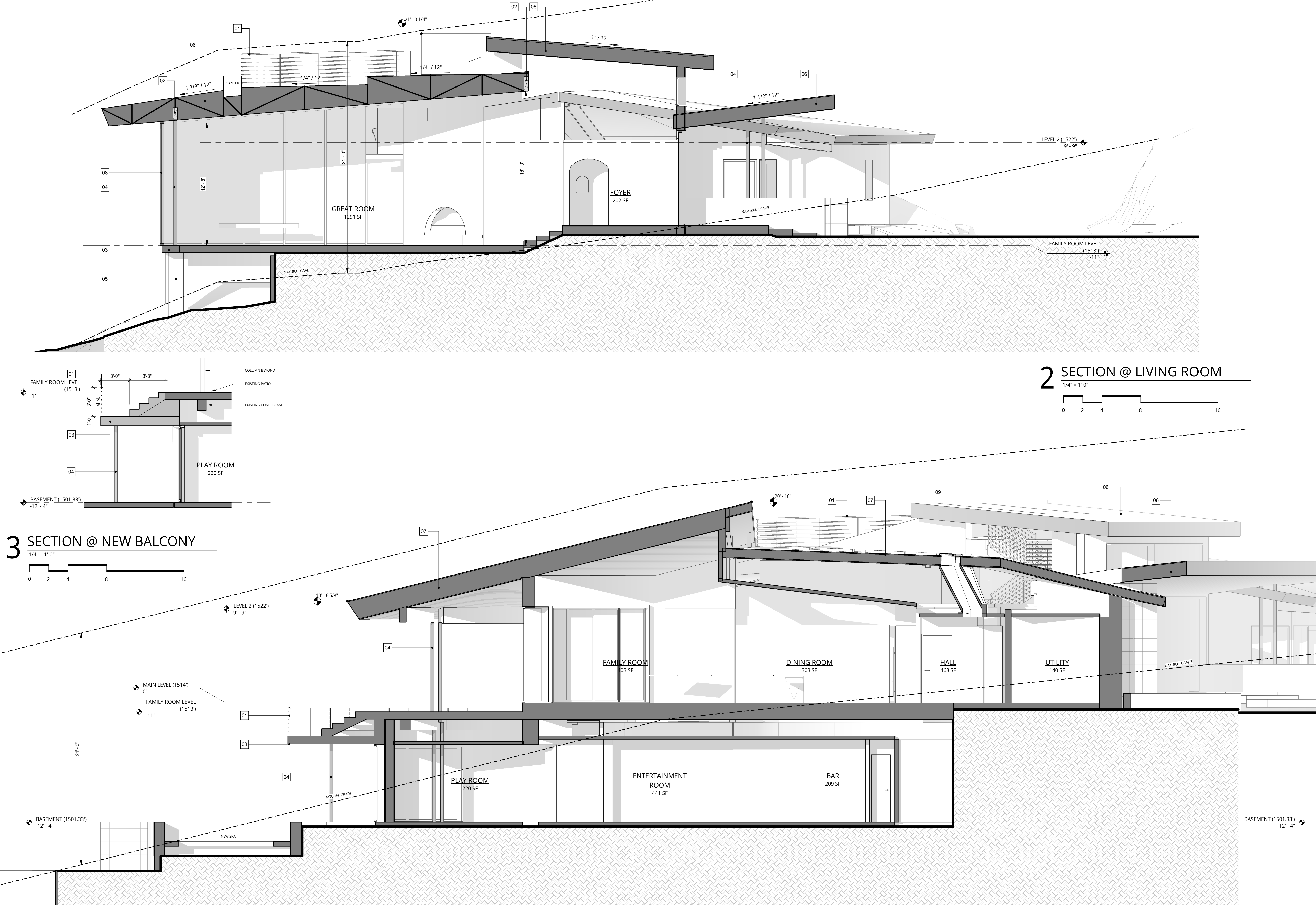
1/4" = 1'-0"

0 2 4 8 16

1 SECTION @ DINING ROOM

1/4" = 1'-0"

0 2 4 8 16



REVISION	DATE	REASON FOR ISSUE



BUILDING SECTIONS

CONCEPT DESIGN
PACKAGE

DATE
2020-1110

SCALE
As indicated

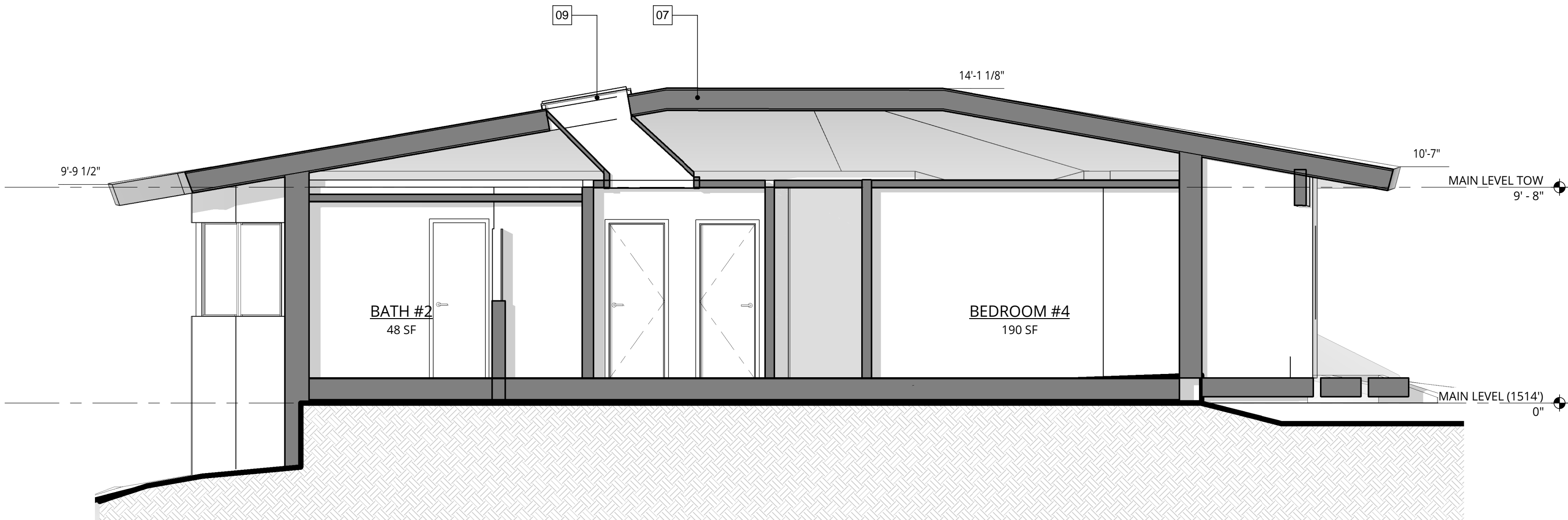
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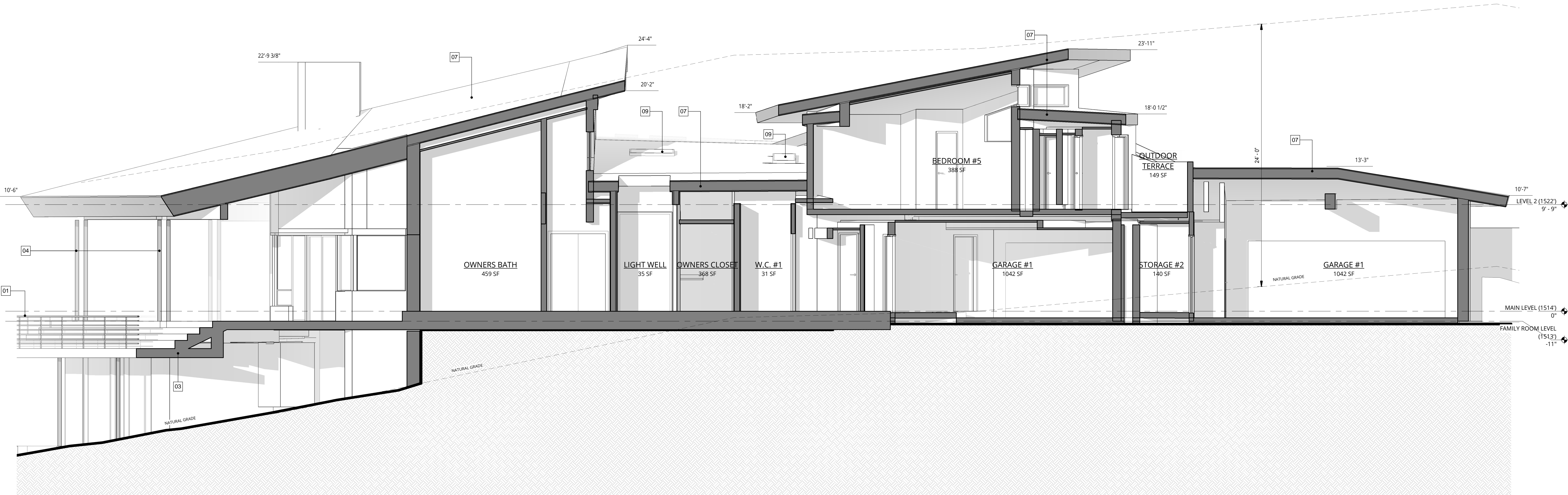
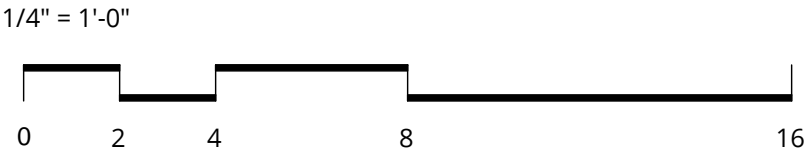
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SECTION KEYNOTES:

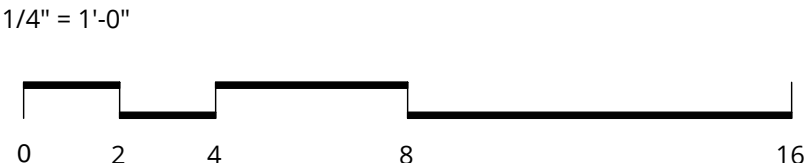
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2. BEAM PER STRUCTURAL
3. CONCRETE DECKING PER STRUCTURAL
4. STEEL COLUMNS PER STRUCTURAL
5. EXISTING CMU COLUMNS
6. NEW ROOF STRUCTURE PER STRUCTURAL
7. EXISTING ROOF STRUCTURE TO REMAIN
8. CURTAIN WALL SYSTSEM
9. EXISTING SKYLIGHTS TO REMAIN



2 SECTION @ BEDROOMS



1 SECTION @ OWNERS SUITE



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BUILDING SECTIONS

CONCEPT DESIGN
PACKAGE

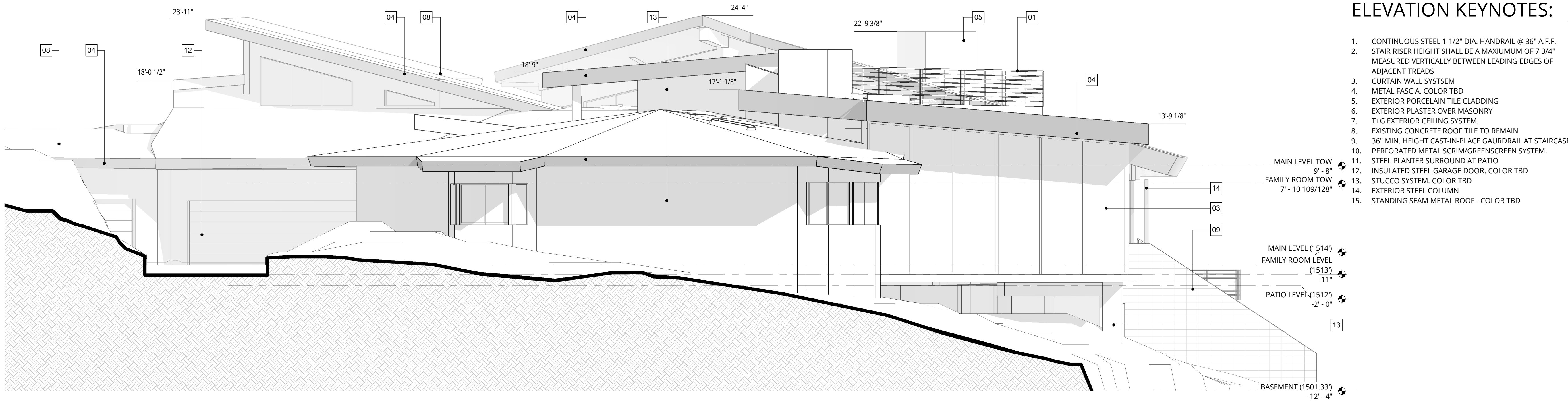
DATE
2020-1110

SCALE
As indicated

SHEET NUMBER
A502

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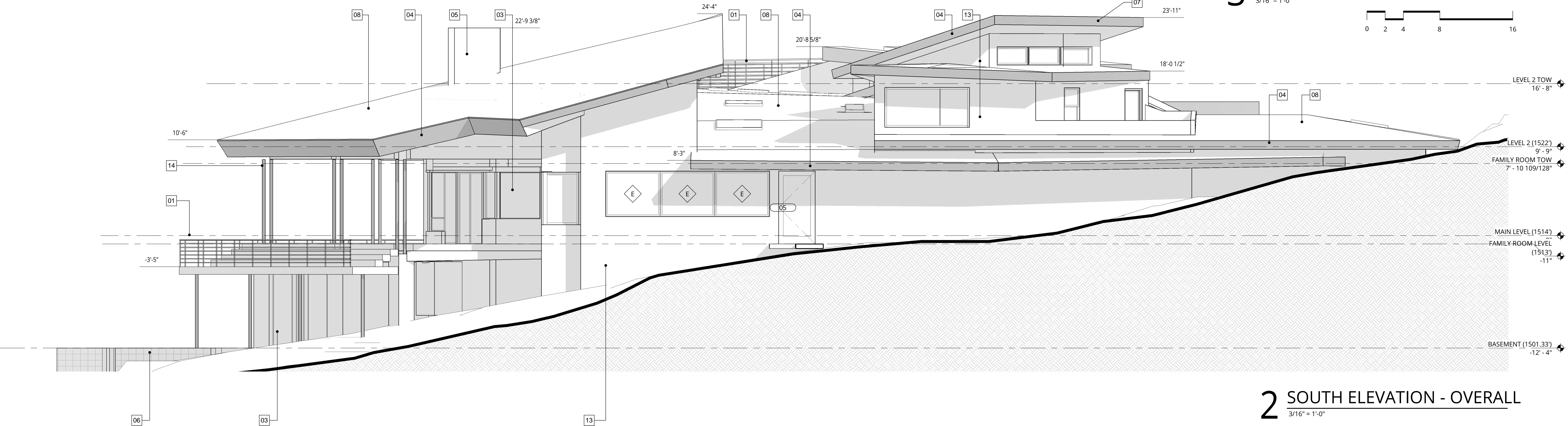
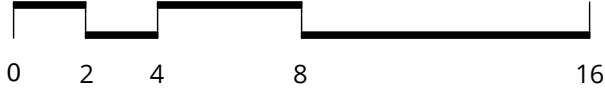


ELEVATION KEYNOTES:

1. CONTINUOUS STEEL 1-1/2" DIA. HANDRAIL @ 36" A.F.F.
2. STAIR RISER HEIGHT SHALL BE A MAXIMUM OF 7 3/4" MEASURED VERTICALLY BETWEEN LEADING EDGES OF ADJACENT TREADS
3. CURTAIN WALL SYSTEM
4. METAL FASCIA. COLOR TBD
5. EXTERIOR PORCELAIN TILE CLADDING
6. EXTERIOR PLASTER OVER MASONRY
7. T+G EXTERIOR CEILING SYSTEM.
8. EXISTING CONCRETE ROOF TILE TO REMAIN
9. 36" MIN. HEIGHT CAST-IN-PLACE GAUDDRAIL AT STAIRCASE
10. PERFORATED METAL SCRIM/GREENSCREEN SYSTEM.
11. STEEL PLANTER SURROUND AT PATIO
12. INSULATED STEEL GARAGE DOOR. COLOR TBD
13. STUCCO SYSTEM. COLOR TBD
14. EXTERIOR STEEL COLUMN
15. STANDING SEAM METAL ROOF - COLOR TBD

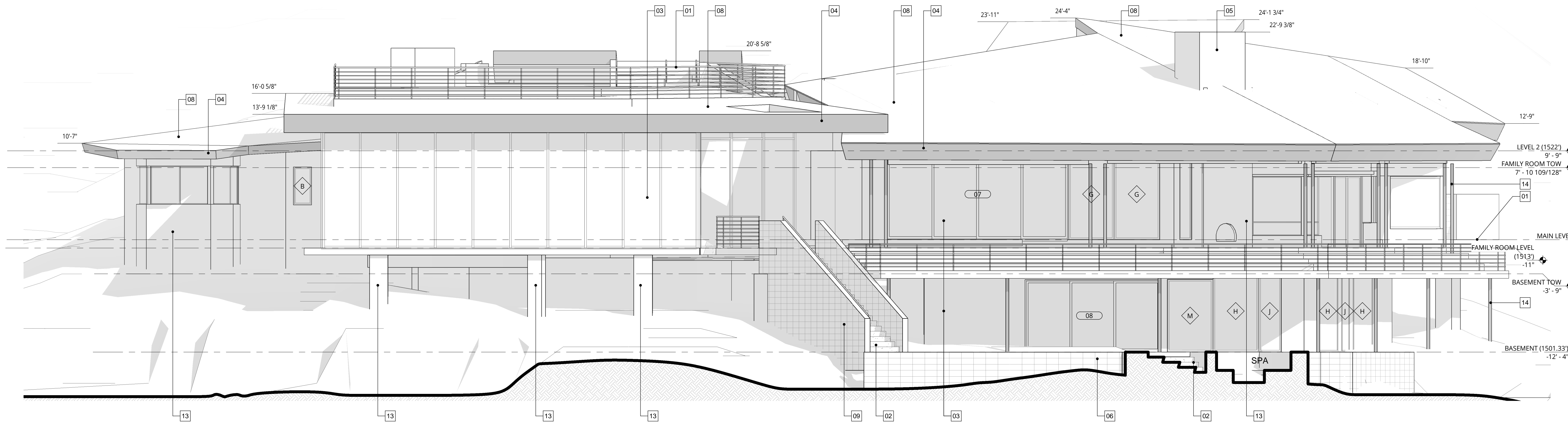
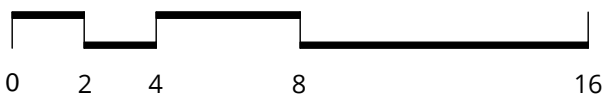
3 NORTH ELEVATION - OVERALL

3/16" = 1'-0"



2 SOUTH ELEVATION - OVERALL

3/16" = 1'-0"



1 WEST ELEVATION - OVERALL

3/16" = 1'-0"



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CHAD AND ERIN HORSTMAN

REVISION	DATE	REASON FOR ISSUE



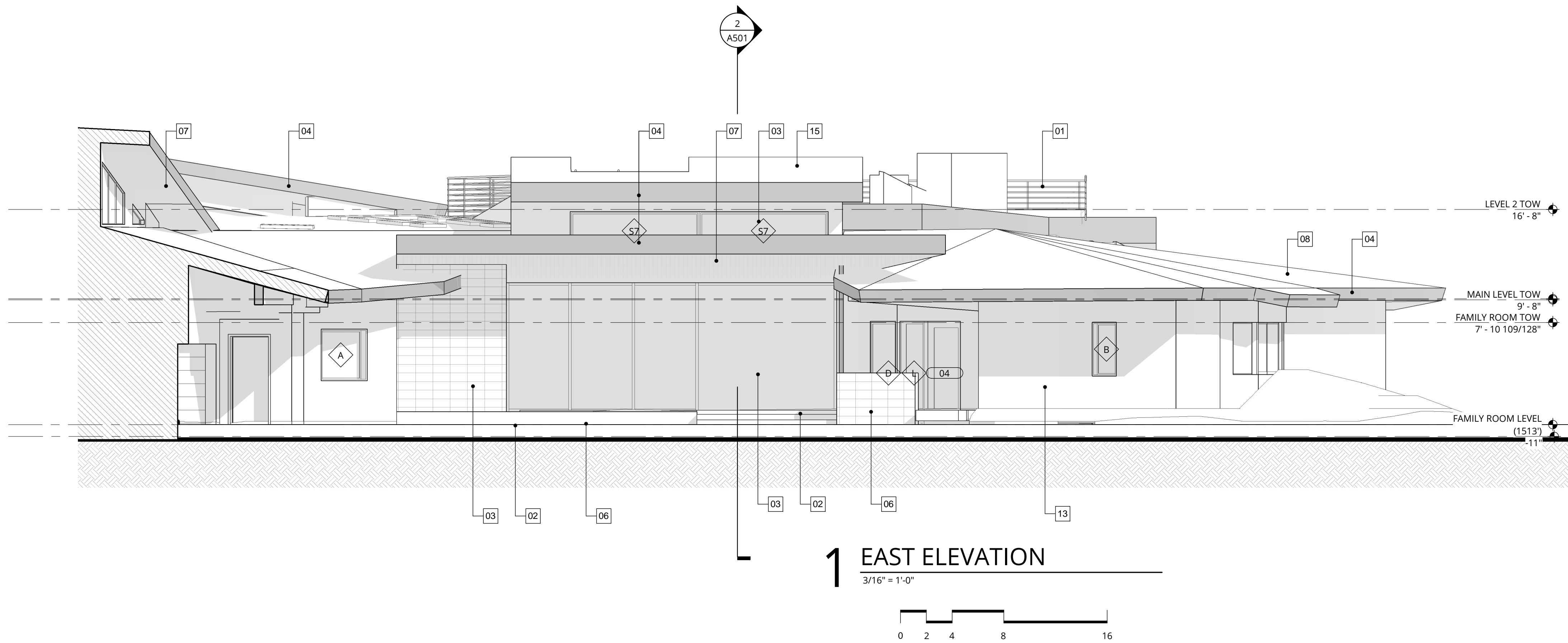
EXTERIOR
ELEVATIONS

CONCEPT DESIGN
PACKAGE

DATE
2020-1110

SCALE
As Indicated

SHEET NUMBER
A601



ELEVATION KEYNOTES:

- 1. CONTINUOUS STEEL 1-1/2" DIA. HANDRAIL @ 36" A.F.F.
- 2. STAIR RISER HEIGHT SHALL BE A MAXIMUM OF 7 3/4" MEASURED VERTICALLY BETWEEN LEADING EDGES OF ADJACENT TREADS
- 3. CURTAIN WALL SYSTEM
- 4. METAL FASCIA, COLOR TBD
- 5. EXTERIOR PORCELAIN TILE CLADDING
- 6. EXTERIOR PLASTER OVER MASONRY
- 7. T+G EXTERIOR CEILING SYSTEM.
- 8. EXISTING CONCRETE ROOF TILE TO REMAIN
- 9. 36" MIN. HEIGHT CAST-IN-PLACE GAUDDRAIL AT STAIRCASE
- 10. PERFORATED METAL SCRIMGREENSCREEN SYSTEM.
- 11. STEEL PLANTER SURROUND AT PATIO
- 12. INSULATED STEEL GARAGE DOOR, COLOR TBD
- 13. STUCCO SYSTEM, COLOR TBD
- 14. EXTERIOR STEEL COLUMN
- 15. STANDING SEAM METAL ROOF - COLOR TBD

NOT FOR
CONSTRUCTION



DESIGNTANK ©
4626 N. 16TH STREET, SUITE 1456
PHOENIX, AZ 85016
503.580.5626

7404 N LAS BRISAS LN.

PARADISE VALLEY, AZ 85253

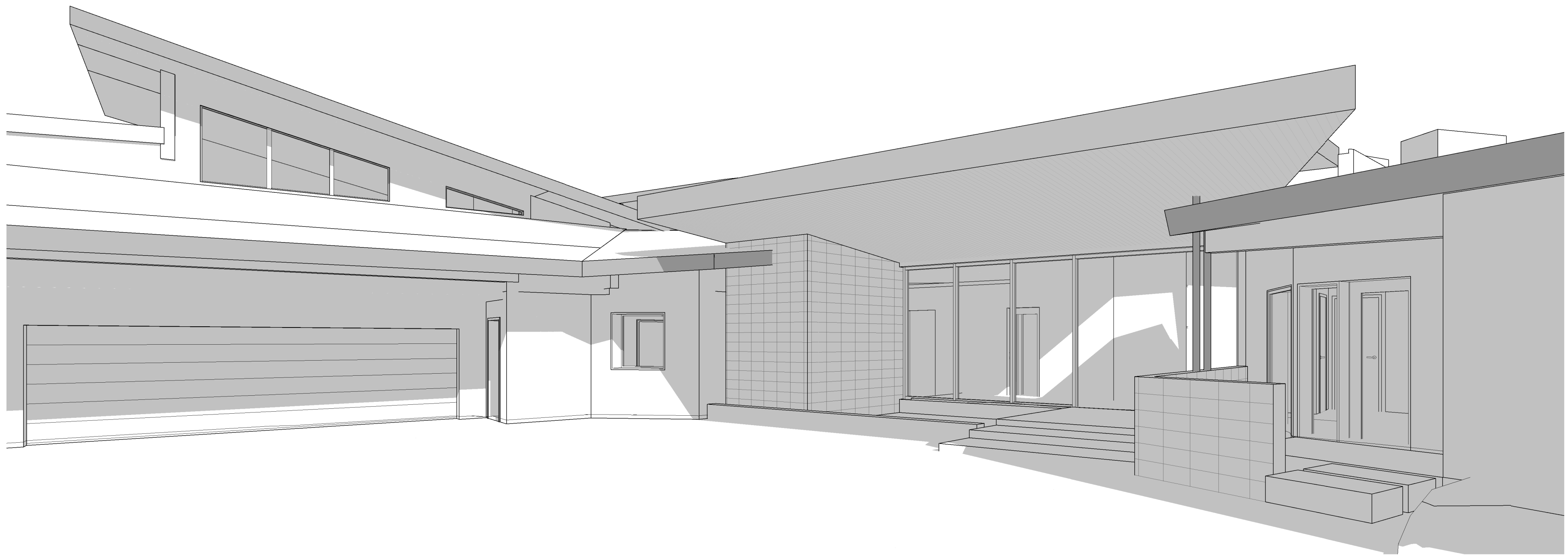
CHAD AND ERIN HORSTMAN

REVISION	DATE	REASON FOR ISSUE

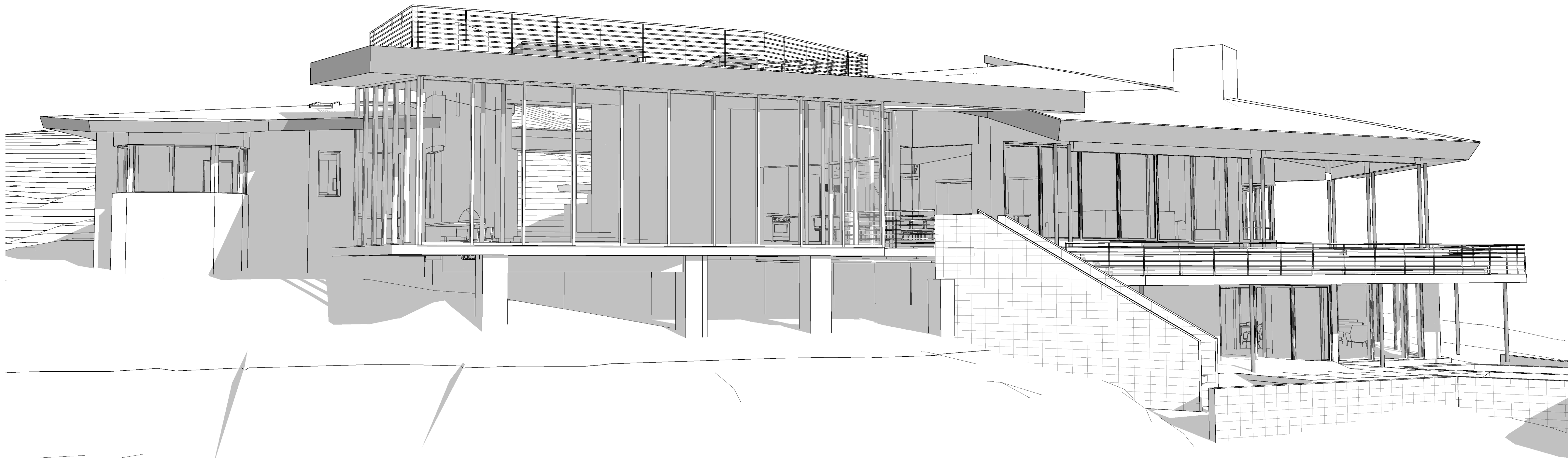


EXTERIOR
ELEVATIONS &
DETAILS
CONCEPT DESIGN
PACKAGE

DATE 2020-1110	SHEET NUMBER A602
SCALE As indicated	



3 ENTRY



2 WEST VIEW



1 SW VIEW

NOT FOR
CONSTRUCTION

DESIGN
TANK

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4626 N. 16TH STREET, SUITE 1456
PHOENIX, AZ 85016
503.580.5626

7404 N LAS BRISAS LN.

PARADISE VALLEY, AZ 85253

CHAD AND ERIN HORSTMAN

REVISION	DATE	REASON FOR ISSUE



EXPIRES 09/30/2020

EXTERIOR IMAGES

CONCEPT DESIGN
PACKAGE

DATE
2020-1110

SCALE

SHEET NUMBER
A603

HILLSIDE
GRADING & DRAINAGE PLAN
FOR

"THE JOYCE & EDWARD PERLSTEIN RESIDENCE"
LOT 1 OF MONTAÑA DE BONITAS CASAS, A SUBDIVISION,
AS RECORDED IN BOOK 266, PAGE 25, RECORDS OF
MARICOPA COUNTY, ARIZONA.

A SUBDIVISION OF A PORTION OF THE NORTH HALF OF THE SOUTHEAST QUARTER OF SECTION 5,
TOWNSHIP 2 NORTH, RANGE 4 EAST, OF THE GILA & SALT RIVER BASE & MERIDIAN, MARICOPA COUNTY, ARIZONA.

GENERAL NOTES :

1. A GRADING PERMIT IS REQUIRED UNDER CHAPTER 70 U.B.C.
2. ALL CONSTRUCTION TO CONFORM WITH TOWN OF PARADISE VALLEY MOUNTAIN BUILDING REGULATIONS.
3. HAUL/EXCAVATION PERMITS, WHEN REQUIRED, MUST BE OBTAINED PRIOR TO OR CONCURRENTLY WITH THE GRADING AND DRAINAGE PERMIT.
4. EXCAVATING CONTRACTOR MUST GIVE LOCATION FOR WASTING EXCESS EXCAVATION AND A LETTER FROM OWNER GIVING PERMISSION FOR DUMPING PRIOR TO STARTING ONSITE CONSTRUCTION. IF EXCESS EXCAVATION EXCEEDS 50 CUBIC YARDS THE DUMPING SITE WILL ALSO REQUIRE A GRADING AND DRAINAGE PERMIT.
5. ALL EXPOSED CUTS AND FILLS SHALL BE TREATED WITH AN AGING AGENT OR SOME OTHER APPROVED COVERING.
6. TOWN ENGINEER'S OFFICE SHALL BE NOTIFIED BEFORE ANY ONSITE CONSTRUCTION BEGINS, 948-7411.
7. CERTIFICATION OF FINISH FLOORS OR BUILDING PADS IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER AND SHALL BE SUBMITTED PRIOR TO A REQUEST FOR CERTIFICATE OF OCCUPANCY OR FINAL INSPECTION.
8. A SEPARATE PERMIT IS NECESSARY FOR ANY OFFSITE CONSTRUCTION.
9. AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
10. GRADING AND DRAINAGE PLAN APPROVAL INCLUDES THE CONSTRUCTION OF ALL SURFACE IMPROVEMENTS SHOWN ON THE APPROVED GRADING AND DRAINAGE PLAN, INCLUDING BUT NOT LIMITED TO, RETENTION AREAS AND/OR OTHER DRAINAGE FACILITIES, DRAINAGE PATTERNS, WALLS, CURBS, ASPHALT PAVEMENT, AND BUILDING FLOOR ELEVATIONS.
11. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND CONFIRMING DEPTHS OF ALL THE EXISTING UTILITY LINES WITHIN PROPOSED RETENTION BASIN AREAS. IF THE BASIN CANNOT BE CONSTRUCTED AS PER PLAN BECAUSE OF CONFLICT WITH UNDERGROUND UTILITIES THE CONTRACTOR SHOULD REQUEST MODIFICATION OF BASIN CONFIGURATION BY SUBMITTAL OF A PROPOSED PLAN REVISION.
12. ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTOR DITCHES, PIPES, PROTECTIVE BERMS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT BUILDINGS OR PROPERTY FROM STORM RUNOFF MUST BE COMPLETED PRIOR TO ANY STRUCTURE BEING BUILT.
13. SOILS COMPACTION TEST RESULTS MUST BE SUBMITTED TO THE TOWN ENGINEER'S OFFICE FOR BUILDING PADS THAT HAVE ONE (1) FOOT OR MORE OF FILL MATERIAL INDICATED. THIS INFORMATION MUST BE SUPPLIED PRIOR TO REQUEST FOR FINAL INSPECTION.
14. CLEARANCE FOR OCCUPATION OF ANY BUILDING IS DENIED UNTIL GRADING AND DRAINAGE IMPROVEMENTS ARE COMPLETED.

CUT & FILL REQUIREMENT:

PER THE JUNE 12, 1980, AGREEMENT BETWEEN GEOFFREY H. EDMUNDS & ASSOCIATES CORPORATION AND THE TOWN OF PARADISE VALLEY, THE ALLOWABLE CUT & FILL SHALL NOT EXCEED 11,660.29 SQUARE FEET OR (21% OF 55525.21 SQUARE FOOT LOT).

CUT & FILL PROVIDED:

- | | |
|------------------------------|-------------|
| 1. TURNAROUND AND DRIVEWAY | 5080 S.F. |
| 2. TENNIS COURT, POOL & DECK | 8592 S.F. |
| TOTAL | 13,672 S.F. |

PERCENT OF LOT STEEPER THAN NATURAL GRADE 4.59%

VOLUME OF CUT = 2657 YD³ FILL = 887 YD³

UTILITY COMPANIES:

SEWER - HOMEOWNER'S ASSOCIATION FOR MONTANA DE BONITAS CASAS
WATER - "
ELECTRIC - ARIZONA PUBLIC SERVICE
TELEPHONE - MOUNTAIN BELL
CABLE TV - ARIZONA CABLE, INC.
GAS - NONE

NOTES:

1. FOR SITE DIMENSIONS AND DETAILS SEE ARCHITECTURAL SITE PLAN.
2. SEE ARCHITECTURAL SITE PLAN AND/OR LANDSCAPING PLANS FOR ADDITIONAL BERMING, WHICH IS PART OF THE PROJECT GRADING.
3. ESTIMATED QUANTITIES SHOWN HEREIN ARE FOR INFORMATION PURPOSES ONLY. CONTRACTOR TO VERIFY QUANTITIES AND BASE HIS BID SOLELY ON HIS OWN ESTIMATE.
4. A THOROUGH ATTEMPT HAS BEEN MADE TO SHOW THE LOCATIONS OF ALL UTILITY LINES. HOWEVER, IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

SET P.K. NAIL
IN CONCRETE

SCALE: 1"=20'

Install 67 L.F. of 6" PVC.
Bleed off at S=3.73%

Install 18"x18" Grate
Opening into Pipe

BENCHMARK:

TOP OF IRON BAR AT THE CENTER OF SECTION 5
ELEVATION= 1454.56

Fill area to provide drainage
across driveway.

Install 117 L.F. of 48" C.P.M.
flat for Retention Basin.
Plug both ends with 6"
outflow at north end

Install 12"x12" Grate w/6" P.V.C.
Pipe into Retention Basin

Install 40 L.F.
Retaining Wall

Install 60 L.F.
Retaining Wall

Install 100 L.F.
Retaining Wall

Install 82 L.F.
Retaining Wall

Install 37 L.F.
Retaining Wall

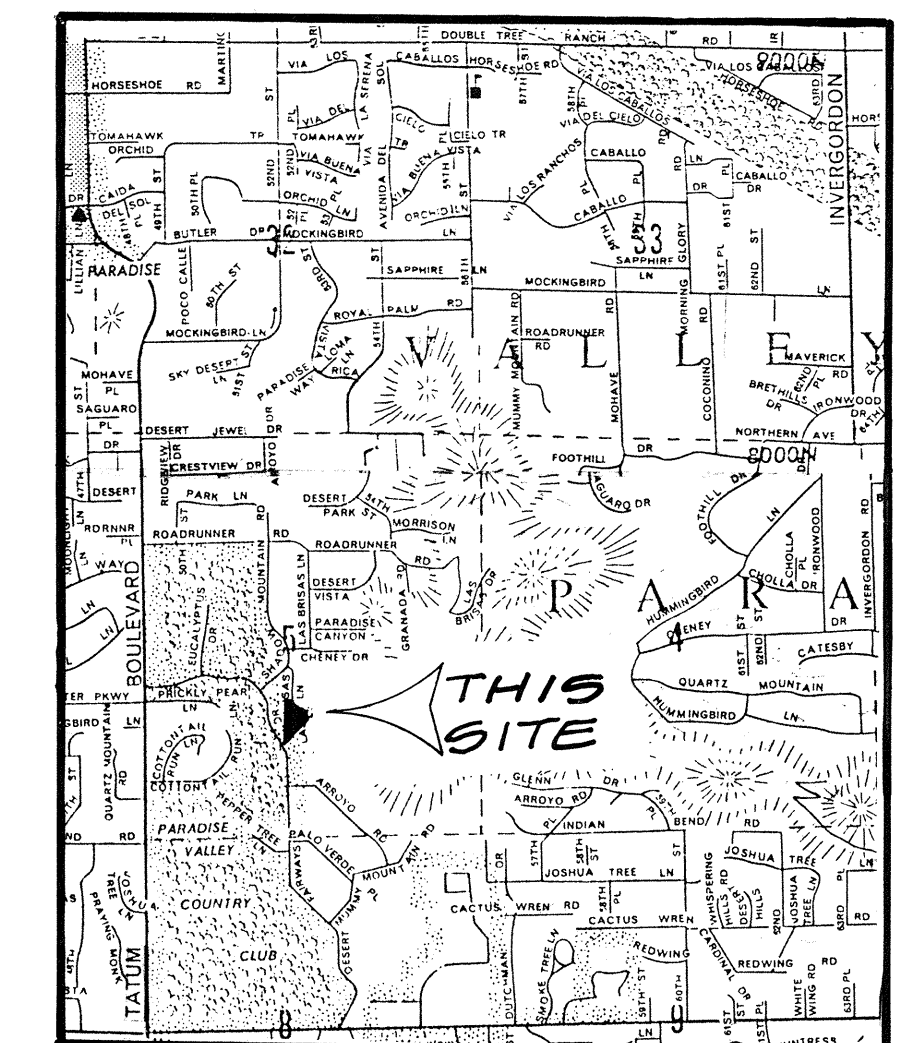
Install 47 L.F.
Retaining Wall

APPROVAL:

PARADISE VALLEY TOWN ENGINEER

DATE

NOTE: - UNLESS OTHERWISE
SPECIFIED ALL PROPERTY
CORNERS HAVE BEEN SET
WITH 1/2" REBAR WITH CAP,
R.L.D. #10490.



VICINITY MAP:

(NOT TO SCALE)

LEGEND:

- B.O.W.=1520 BOTTOM OF WALL ELEVATION
S.W.=1500 SIDEWALK GRADE
P.=1511.0 PROPOSED PAVEMENT
ELEVATION
T.O.W.=1512 TOP OF WALL ELEVATION
F.F.=1510 FINISHED FLOOR ELEVATION
DECK=1495 DECK ELEVATION
- CUT AREA
- FILL AREA
- SUSPENDED DECK
- RETAINING WALL (18" OR HIGHER)
- OUTCROP LINE PER
FORE & VANNI SOILS
REPORT # 2528

LINE CHART:

- | | | | |
|----|-----------|-------------|----------|
| C1 | R=25.00 | Δ=43°38'20" | L=19.04' |
| C2 | R=25.00 | Δ=48°11'23" | L=21.03' |
| C3 | R=50.00 | - | L=44.95' |
| C4 | R=112.23' | Δ=35°42'40" | L=69.95' |
| C5 | R=25.00 | Δ=15°04'49" | L=6.58' |
-
- | | | |
|----|--------------|----------|
| L1 | N.20°39'49"W | ~ 8.38' |
| L2 | S.28°30'00"W | ~ 44.00' |
| L3 | N.14°10'58"W | ~ 21.31' |
| L4 | N.21°31'48"E | ~ 27.91' |



Andrews Atherton Inc.

Surveying and Civil Engineering
Aerial & Terrestrial Photogrammetry

Jeffrey L. Andrews, R.L.S.
Robert B. Atherton, P.E., R.L.S.

6747 N. Black Canyon • Phoenix, AZ 85015-1029 • (602) 242-6229

PREPARED FOR:
JOYCE & EDWARD PERLSTEIN

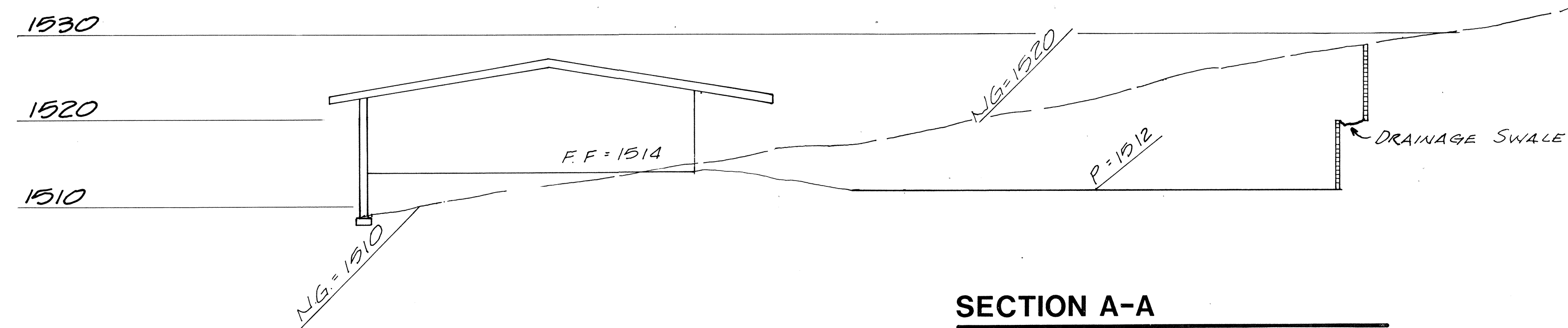
1500 SOUTH DOBSON ROAD
SUITE # 210
MESA, ARIZONA 85202
(602) 895-6100

DRAWN BY: TMR CHECKED BY: RBA

SCALE: 1"=20' JOB NO: 86-254

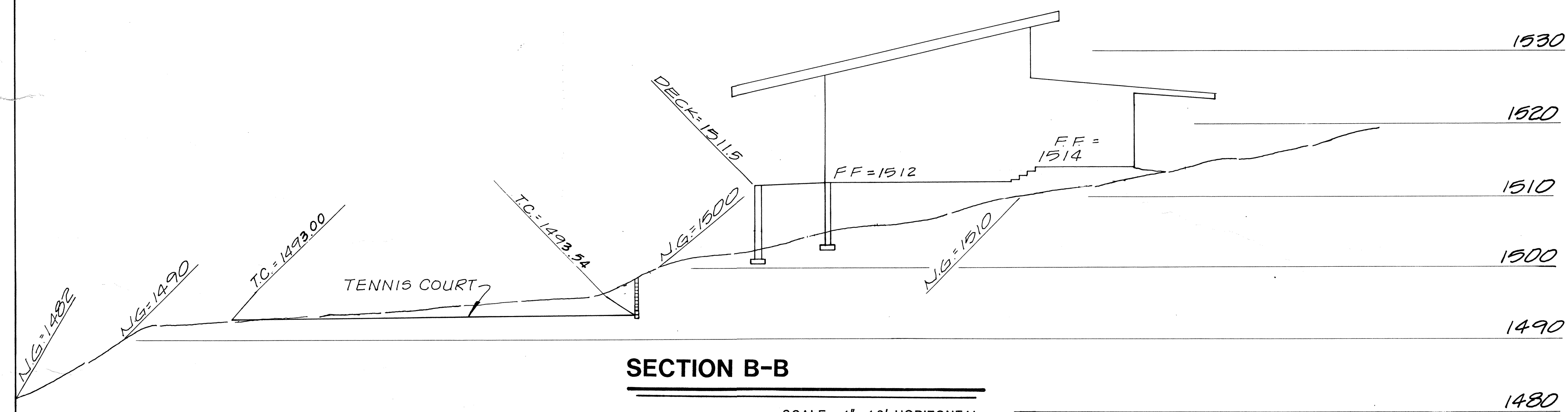
DATE: OCT., 1986 SHEET 1 OF 2

HILLSIDE GRADING & DRAINAGE PLAN



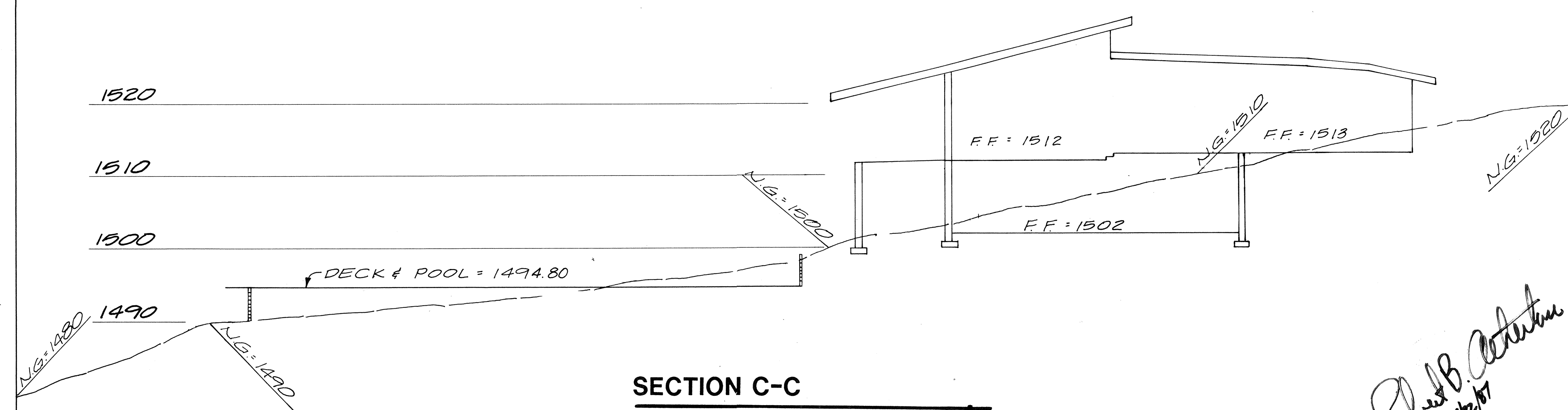
SECTION A-A

SCALE: 1" = 10' HORIZONTAL
1" = 10' VERTICAL



SECTION B-B

SCALE: 1" = 10' HORIZONTAL
1" = 10' VERTICAL



SECTION C-C

SCALE: 1" = 10' HORIZONTAL
1" = 10' VERTICAL

Robert B. Atherton
4/22/87



Andrews Atherton Inc.
Surveying and Civil Engineering
Aerial & Terrestrial Photogrammetry
Jeffrey L. Andrews, R.L.S.
Robert B. Atherton, P.E., R.L.S.

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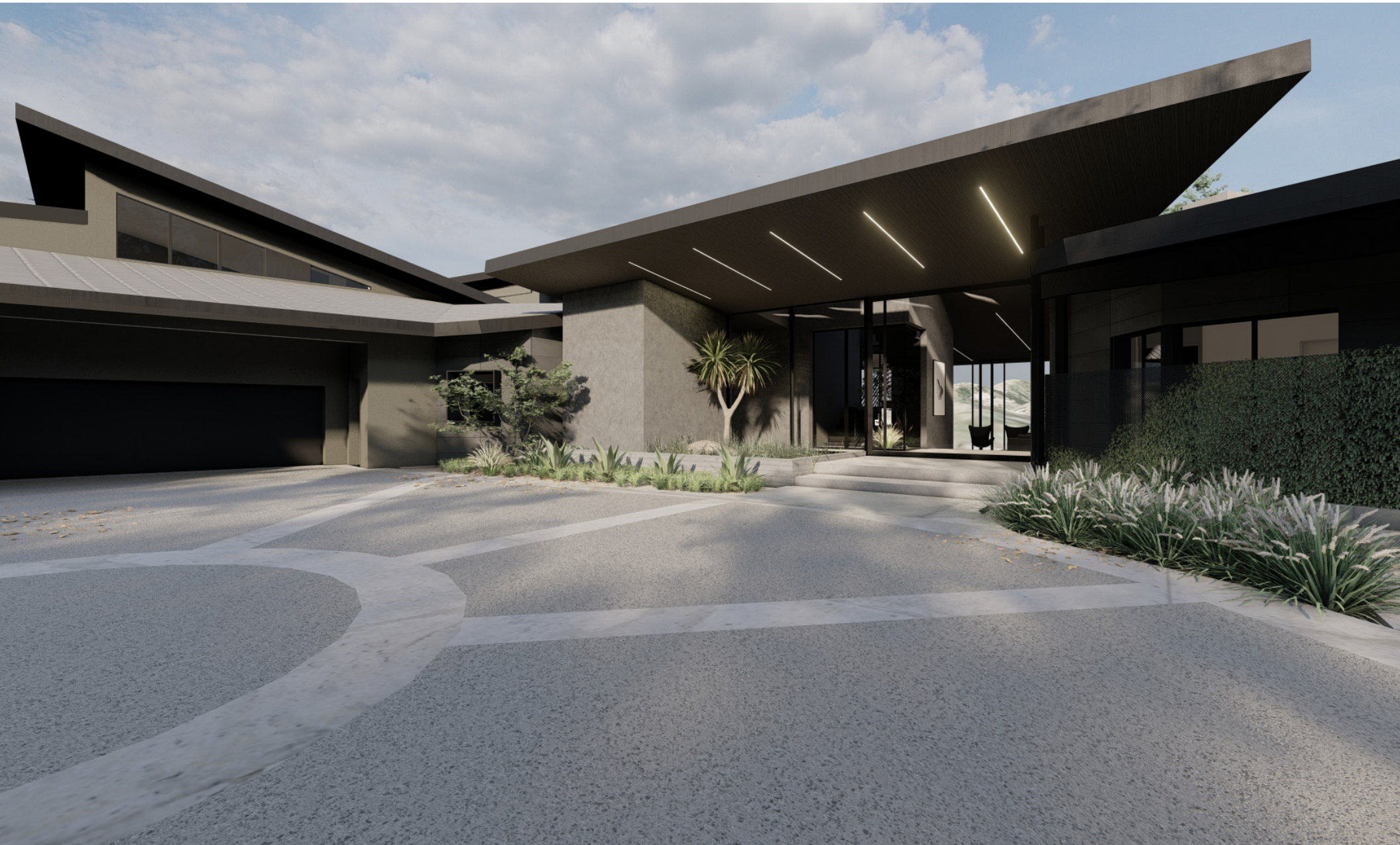
PREPARED FOR:
JOYCE & EDWARD PERLSTEIN
1500 SOUTH DOBSON ROAD
SUITE # 210
MESA, ARIZONA 85202
(602) 855-8100

DRAWN BY: TMR	CHECKED BY: RBA
SCALE: 1" = 20'	JOB NO: 86-254
DATE: OCT., 1986	SHEET 2 OF 2

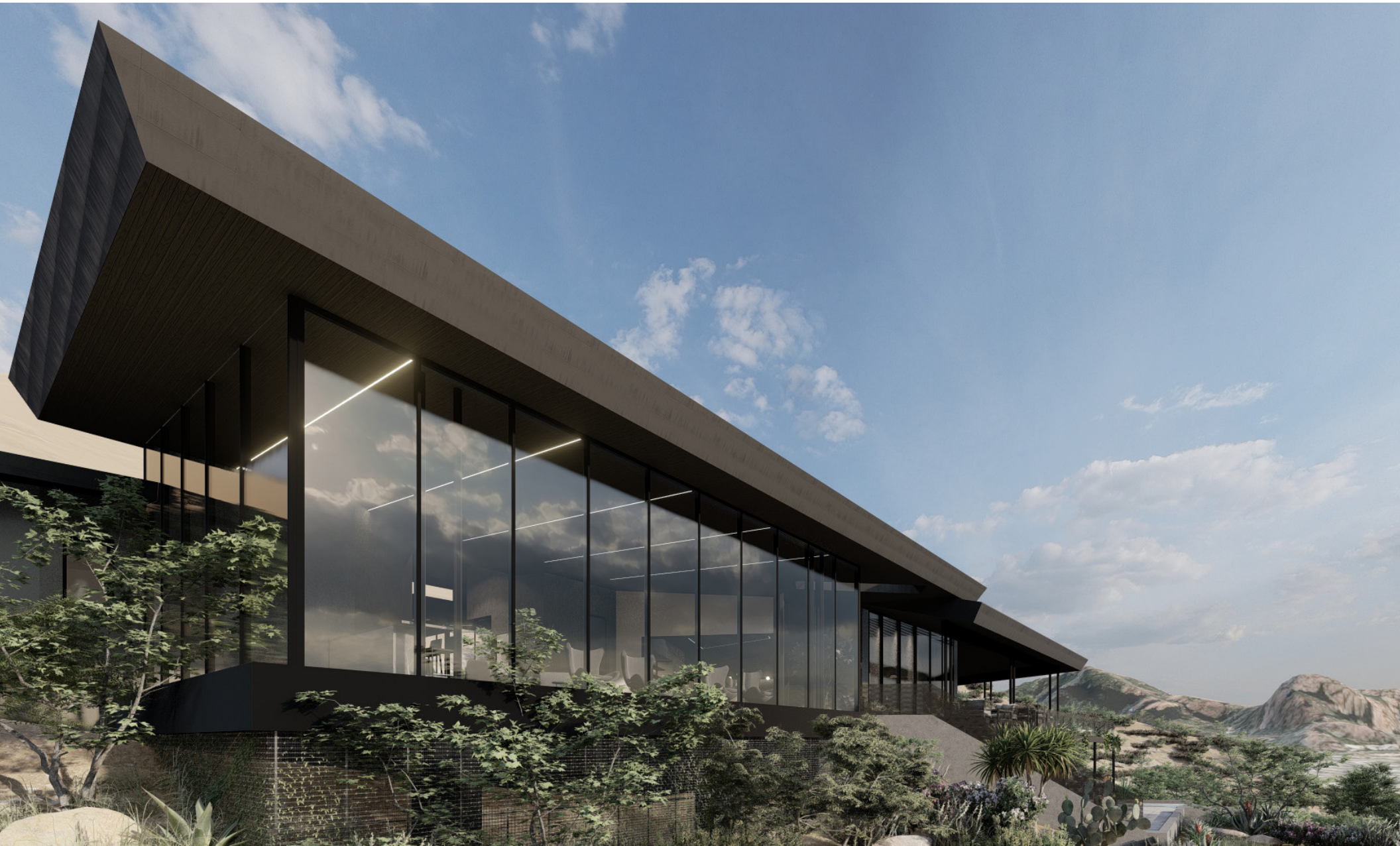
LAS BRISAS

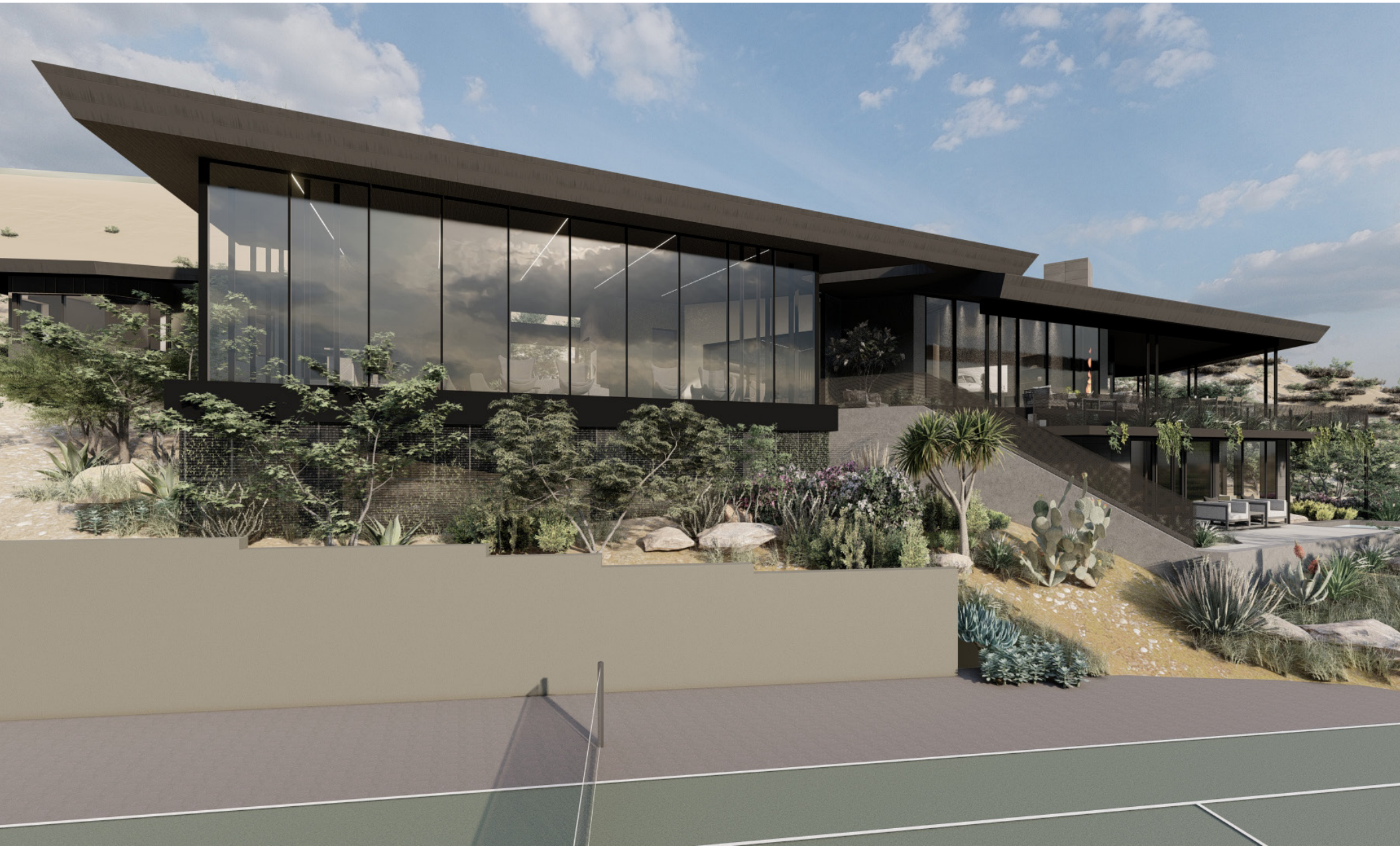
CONCEPT REVIEW RENDERINGS 2020-1110

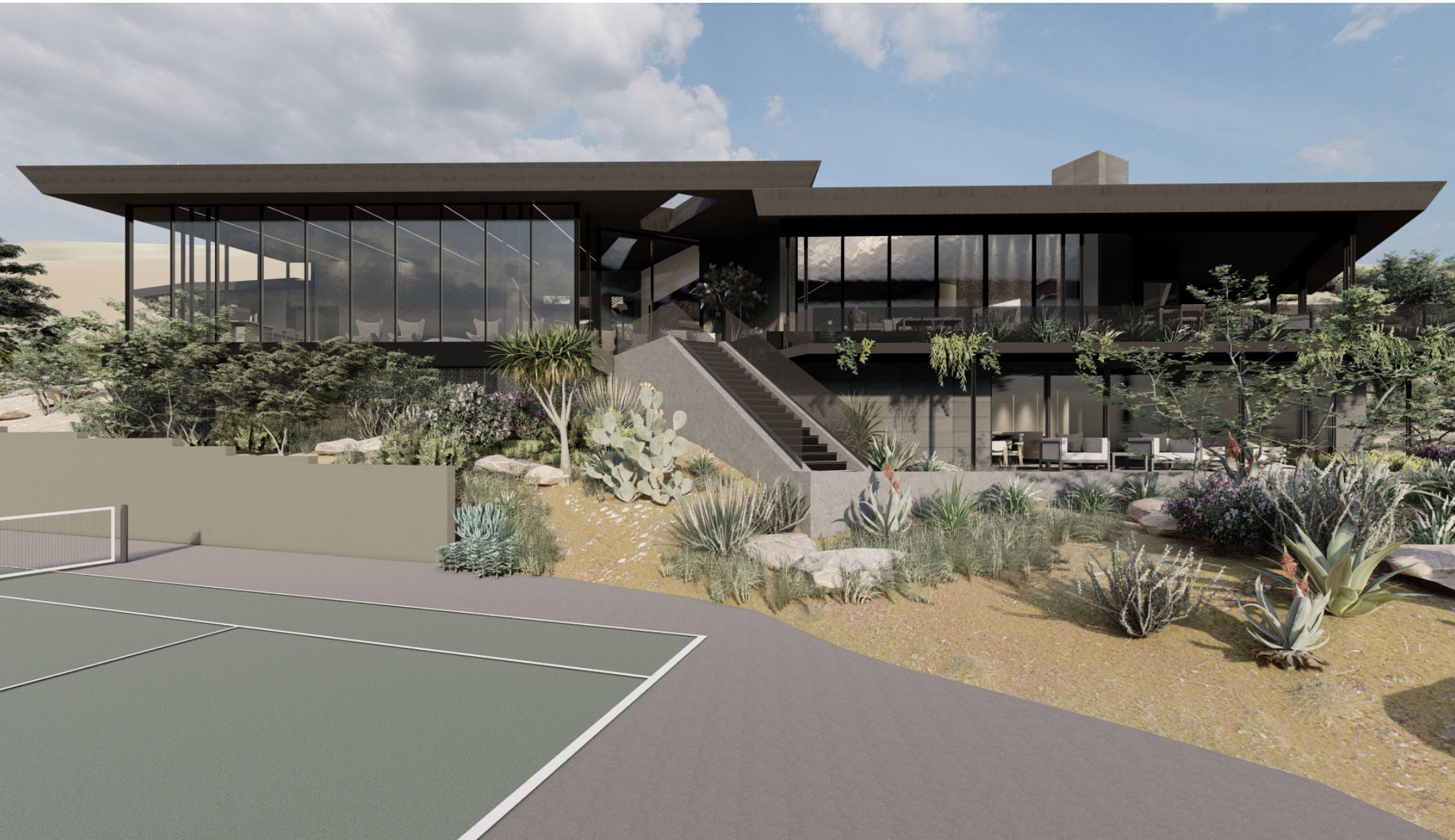












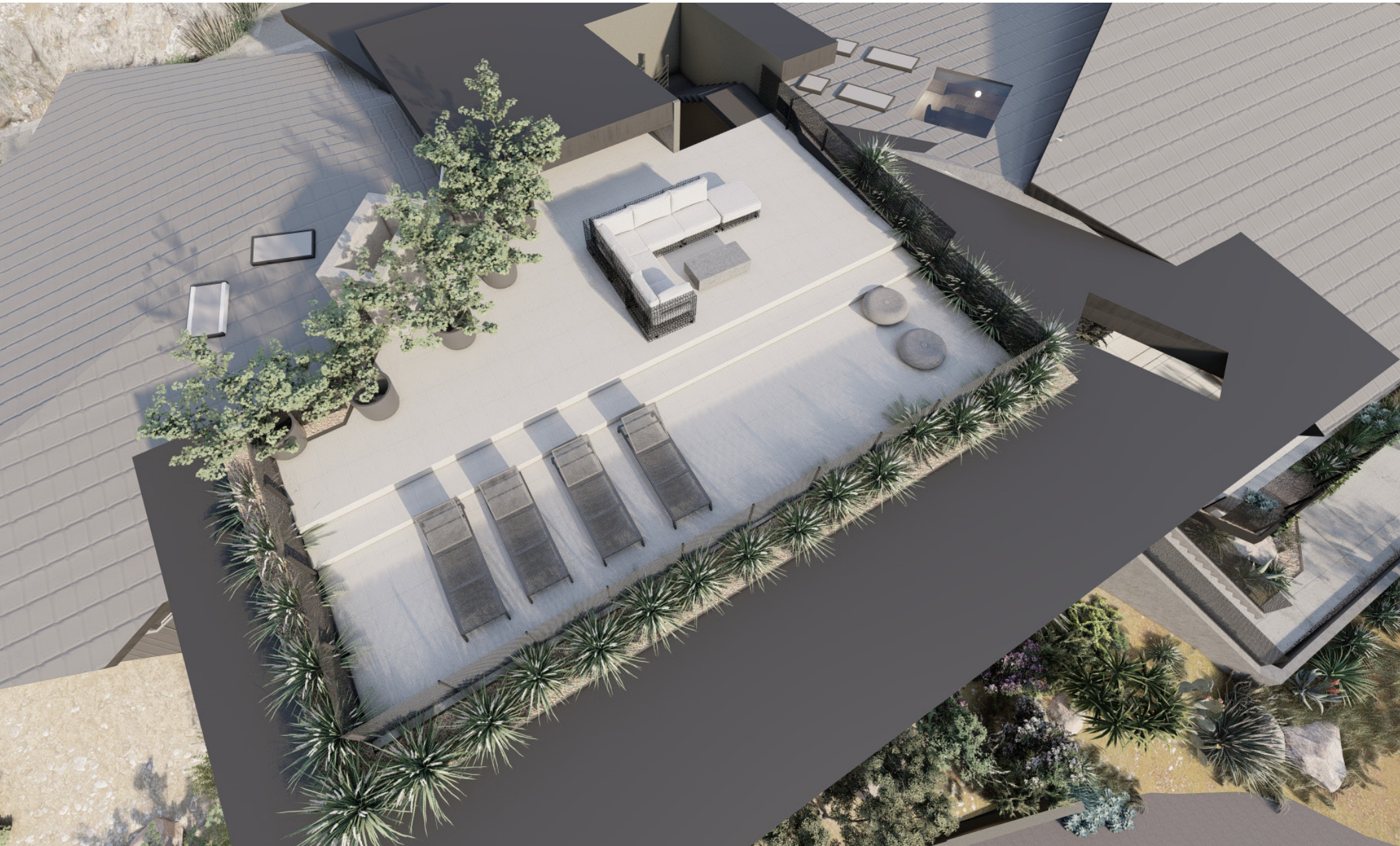


















Action Report

File #: 21-012

To: Hillside Building Committee

From: Hugo Vasquez; Hillside Development Administrator

Date: January 13th, 2021

Subject: Combined Review for an addition and guesthouse at 5001 E McDonald Drive (APN 172-04-009).

Narrative: The proposed project shall add to the previously approved remodel of the single family residence and shall construct a new guesthouse. The new project has an original application date of January 5th, 2021 and will be reviewed under the 2018 Hillside Development Regulations.

Lot Data		
1.	Area of Lot	1.01 ac or 43,573 ft ²
2.	Area Under Roof	8,488 ft ²
3.	Floor Area Ratio	19.48%
4.	Building Site Slope	13.74%
5.	Allowable Disturbed Area	16,649 ft ² (38.21%)
6.	Existing Gross Disturbed Area	37,596 ft ² (86.28%)
7.	Proposed Net Disturbed Area	23,441 ft ² (53.80%)
8.	Maximum Building Height	16 ft - 0 in
9.	Overall Height	34 ft - 0.5 in
10.	Volume of Cut/Fill	1726 yd ³
11.	Hillside Assurance	\$60,410

Background

The property currently has a 3,000 ft² residential structure constructed in 1963. An application for a major remodel was previously approved by the Hillside Building Committee on June 10th, 2020.

Remodel and Addition

The proposed amendment to the previously approved application includes an expansion of the master suite at the northeast end of the residence, and expanded dining area at the center of the residence, and a new bedroom/office at the southwest corner of the residence.

Guesthouse

A new guesthouse is proposed southwest of the residence within the existing disturbed area.

Pool

No changes to the pool are proposed.

Building Materials

Newly proposed gray (LRV 25) stack bond CMU wall materials have been proposed for the guesthouse and a gray ballasted roofing system (LRV 25) shall be used on both structures. The proposed building materials shall include taupe (Sherwin Williams, Nor'Eastern, LRV 32) colored stucco, soffits, and trim. Metal roof and fascia finishes in midnight bronze (LRV 7). Exterior tongue and groove wood soffits shall be dark brown (Sherwin Williams, Hawthorne, LRV 20). Window and door frames shall match existing dark bronze (LRV 7). View fences shall be rusted metal (LRV 12) and stone veneers shall be dark gray (Neptune, LRV 5). All materials shall have an LRV of 38 or less

Hardscape

There are no proposed changes to the previously approved materials. Belgard pavers (Lueders Gray, LRV 30) are proposed for the driveway. The patio and pool deck areas shall receive a silver travertine (LRV 30) finish. All materials shall have an LRV of 38 or less.

Building Lighting

Additional lighting has been provided for the proposed guesthouse. All proposed building lighting shall be provided through twelve (12) wall sconces (275 lumens actual / 750 allowable) and twenty (20) recessed can lights (725 lumens actual / 750 allowable). All light sources shall have a maximum color temperature of 3000K.

Landscape Lighting

No additional landscape lighting is proposed with this new application. Landscape lighting includes fourteen (14) wall lights (11 lumens actual / 250 lumens allowable) and thirteen (13) up lights (62 lumens actual / 250 allowable). All light sources shall have a maximum color temperature of 3000K.

Landscaping

No additional vegetation is proposed around the new guesthouse. Previously approved site vegetation is provided on the table below:

Trees	Shrubs/Accents	Groundcover
Honey Mesquite	Century Plant	Trailing Smoke Bush
	Saguaro	
	Beargrass	
	Mexican Fence Post	
	Soaptree Yucca	

Land Disturbance

A gross disturbed area of 86.28% (37,596 ft²) currently exists on the lot and the building pad slope of 13.74% allows a disturbance of 39.41% (17,170 ft²) the lot. The applicant has proposed a net disturbed area of approximately 54.80% (23,441 ft²).

Grading and Drainage

There will be grading associated with the construction of the property in order to properly retain the "pre vs post" storm water volumes for the 100-year, 2-hour rainfall event. Stormwater generated onsite will be retained in a located on the north side of the property.

Sewer

A new septic system is proposed.

Hillside Safety Improvement Plan

The Applicant submitted a Hillside Safety Improvement Plan in accordance with the Hillside Safety Improvement Measures and Process Manual per Section 5-10-9 of the Town Code. The plan completed 45 days without any public comment.

Combined Plan Review

Should the Hillside Committee wish to approve this application, staff suggests the following stipulations:

1. Any changes to the Hillside-approved plans may result in delays in permit plan review and inspection processes. Any proposed changes should be reported to the Staff to determine compliance with Hillside Development Regulations. Changes may be subject to a Staff, Chair, or Committee review.
2. The Applicant shall submit a Construction Staging Plan to the Town per the Hillside Safety Improvement Measures and Process Manual for review and approval prior to being issued a building permit.
3. The Applicant shall submit a liability insurance policy for the proposed project in the amount of \$2 million per occurrence and \$5 million aggregate naming the Town of Paradise Valley as an additional insured prior to being issued a building permit.
4. Prior to issuance of a permit, the Applicant shall submit a Hillside Assurance in the amount of \$26,051.
5. All construction parking shall be located on the property as much as possible. Any offsite parking shall be confined to the adjacent streets along the immediate property frontage. All offsite parking shall be located on the same side of the street. No construction materials will be allowed to be stored on the Town's right-of-way.
6. All recommendations provided in the Safety Improvement Plan shall be followed by the applicant. Any field work related to the Safety Improvement Plan, including but not limited to rock bolting, rock cuts, mesh placement, and boulder stabilization methods, shall be inspected by a qualified Special Inspector contracted by the applicant. An Arizona Registered Engineer contracted by the applicant shall review, for compliance with the recommendations provided in the Safety Improvement Plan, the proposed plans prior to submitting for a permit. The contracted Arizona Registered Engineer shall provide a sealed letter stating that the plans submitted are in accordance with the Safety Improvement Plan.
7. No final approval or certificate of occupancy shall be issued until all Hillside stipulations and all Town Code requirements are complied with, including, but not limited to, landscaping, fire flow, fire safety and all onsite and offsite improvements.
8. The limits of construction and proposed disturbed areas shall be clearly staked in the field, with visible roping, prior to demolition and during construction and shall conform to the approved individual site analysis plan. Photos of the staking shall be provided prior to issuance of a demolition and/or building permit.
9. Noise from construction that can be heard off-site, including, but not limited to, hydraulic ram hammers, equipment used to cut through rock, machinery with audible back-up warning devices, powered machinery, truck delivery and idling, constant and persistent hammering, shall comply with Article 8-10, Nuisance Noise, as set forth in the Town Code. Heavy Equipment and construction-related deliveries are generally limited between the hours of 7:00 a.m. and 5:00 p.m. Monday through Friday; no work on Saturday, Sunday or legal holidays. Exceptions include a one hour early start time in summer, time exceptions granted by the Town Manager, and construction not defined as Heavy Equipment or deliveries that can occur outside the 7:00 a.m. to 5:00 p.m., Monday through Friday, time frame.
10. Natural stone selections shall not exceed the maximum allowable LRV of 38. Care should be taken when selecting to ensure that the maximum LRV is not exceeded. Failure to comply with may result in delays obtaining a

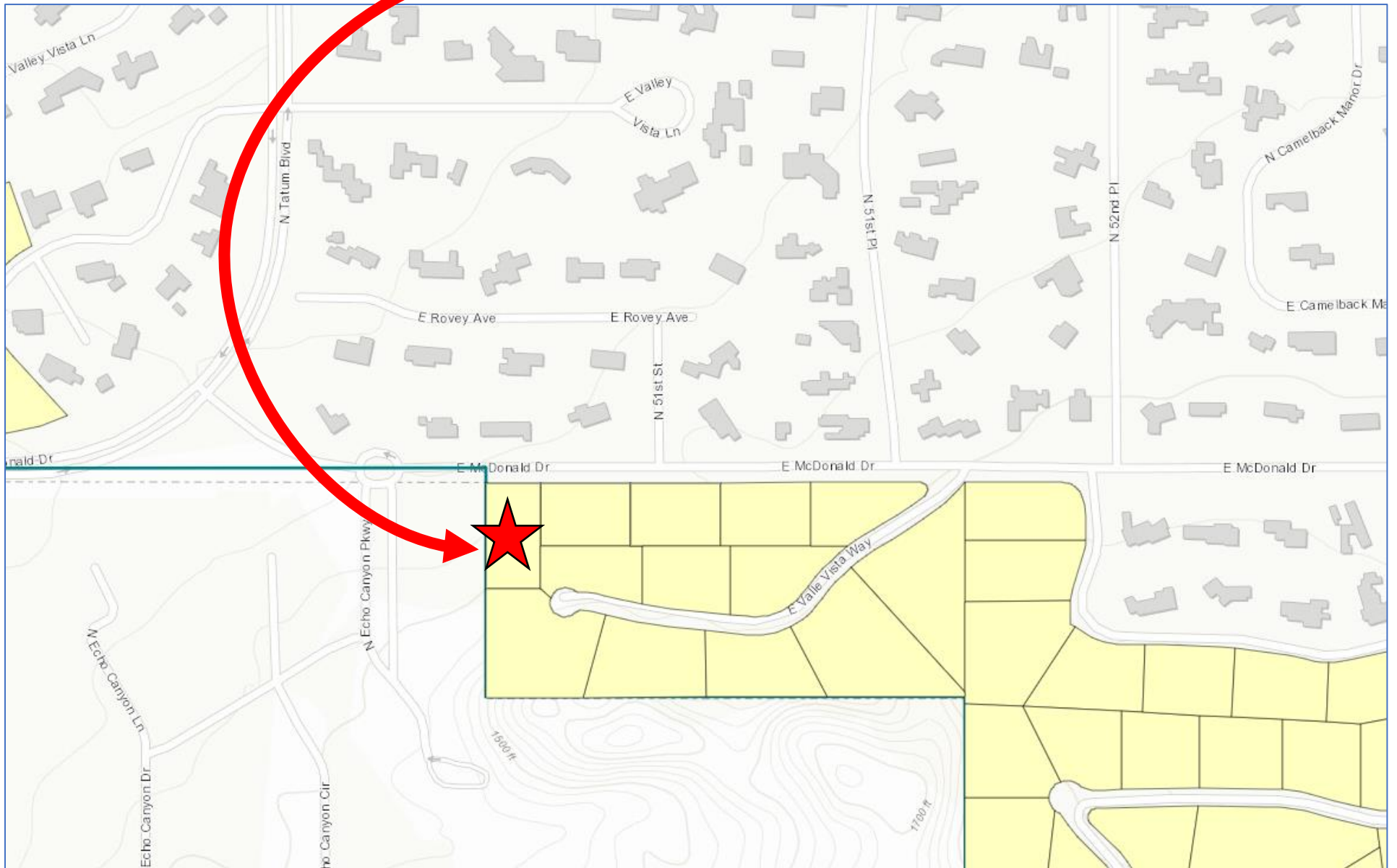
Certificate of Occupancy.

11. A landscape as-built plan shall be provided by the landscape designer at the time of the Final Hillside inspection and prior to the issuance of a Certificate of Occupancy. See Stipulation #1 for more information.

12. All undisturbed areas shall be revegetated with a native seed mix.

13. Applicant shall correct Sheet A1.1c to provide correct wall sconce counts.

5001 E McDonald Drive



5001 E McDonald Drive





TOWN OF PARADISE VALLEY HILLSIDE DEVELOPMENT

DATE: 1 / 5 / 21

SUBDIVISION NAME: Mirador

ADDRESS OF PROPERTY 5001 E. McDonald Dr

Paradise Valley, AZ 85253

ASSESSOR'S PARCEL NUMBER: 172-04-009


LEGAL DESCRIPTION: Lot G, of Mirador, according to the plat in the office of
the County Recorder of Maricopa County Arizona, Recorded in book 67 of maps,
page 15

ARCHITECT: Daniel Bowman (480) 702-3900
NAME PHONE NUMBER

ADDRESS E-MAIL ADDRESS
 ENGINEER/OTHER: Neil Hukla (480) 200-7187
NAME PHONE NUMBER

ADDRESS E-MAIL ADDRESS
 OWNER: John Mitchell (480) 760-5727
PRINT NAME PHONE NUMBER

5001 E. McDonald Dr. iumitchell02@yahoo.com
ADDRESS E-MAIL ADDRESS

 1/5/21
SIGNATURE OF OWNER OR REPRESENTATIVE DATE

SCOPE OF WORK: ~~These pages are for the~~

SFR - 4 bedroom / 3 1/2 bath w/ 4 car garage
plus guest house



December 23rd, 2020

Subject: Combined Plan Review for Remodel & Addition

Dear Property Owner,

An application has been submitted to the Town of Paradise Valley for a remodel and addition at 5001 E. McDonald Dr. In compliance with Town requirements, this letter is being sent to you as a courtesy to inform you of the pending application. The Hillside Building Committee will be reviewing this application on January 13th, 2021 at 8:00 AM. The meeting may take place remotely.

The purpose of Combined Plan Review meeting is for the Hillside Building Committee to review the submittal for compliance with the goals, purposes, and specific criteria of the Town of Paradise Valley Hillside Development Regulations.

The Hillside Building Committee will approve, approve with stipulations, continue, or deny the submittal. This meeting is open to the public and you may feel free to attend.

If you have any questions, please call me at (480) 702-3900.

Sincerely,

Dan Bowman

THIS MEETING MAY BE HELD BY REMOTE PARTICIPATION

Please check the meeting agenda at <https://paradisevalleyaz.legistar.com/Calendar.aspx> to determine if the Hillside Building Committee meeting will be held by remote participation. If held by remote participation, members of the public are encouraged to participate in the meeting via the following options:

1. View the live stream at <https://paradisevalleyaz.legistar.com/Calendar.aspx> (a) Click on Calendar Tab (b) Look for Hillside Building Committee meeting (you may have to select it from the dropdown list) and find the meeting date (c) Click the "In Progress" link in the column titled Video
2. Zoom Conference: [Meeting](#) information to be provided on final meeting agenda
3. Submitting questions and comments: (a) Visit <https://paradisevalleyaz.legistar.com/Calendar.aspx>, search for the meeting date, and click "eComment". Locate the agenda item you are interested in and click "Comment" (Please submit comments at least 1 hr prior to meeting)
4. Speaking during Call to the Public / Public Hearings:
(a) Visit <https://paradisevalleyaz.legistar.com/Calendar.aspx>, search for the meeting date, and click "eComment". Locate the agenda item and click "Register to Speak". Join the meeting by dialing the Zoom Video Conference number provided on the final meeting agenda.
(b) If attending by Zoom Video Conference, click the chat button and enter your name and the agenda item you would like to address (These meeting participation guidelines are pursuant to Town Council Resolution 2020-08 adopted March 17, 2020.)

Notice is hereby given pursuant to A.R.S. §38-431.02 that members of the Hillside Building Committee may attend by audio/video conference call.

The Town of Paradise Valley endeavors to make all public meetings accessible to persons with disabilities. With 72 hours advance notice, special assistance can be provided for disabled persons at public meetings. Please call 480-948-7411 (voice) or 483-1811 (TDD) to request accommodation.

For further information about any of these matters, please contact the Community Development Department, 6401 E. Lincoln Drive, Paradise Valley, Arizona, 480-348-3692.

All agendas are subject to change. You can view the agenda, find application material, and provide your input via eComment approximately 4-6 days prior to the meeting date at <https://paradisevalleyaz.legistar.com/Calendar.aspx>. You may also contact the staff liaison, Hugo Vasquez on this application at hvasquez@paradisevalleyaz.gov or 480-348-3525 at any time

Owner	Mailing Address
ANGELA P MARTINO REVOCABLE TRUST	4757 E VALLEY VISTA LN PARADISE VALLEY AZ 85253
KALEC-KARBO LIVING TRUST	4751 E MARSTON DR PARADISE VALLEY AZ 85253
SIRAGUSA FAMILY REVOCABLE TRUST	4761 E MARSTON DR PARADISE VALLEY AZ 85253
BENAVIDEZ JOSEPH/ALISHA	4801 E MARSTON DR PARADISE VALLEY AZ 85253
LEWIS WESLEY ALFRED/LEIGH KOCHAN	4811 E MARSTON DR PARADISE VALLEY AZ 85253
MARY L OHANLON TRUST	4821 E MARSTON DR PARADISE VALLEY AZ 85253
JOSEPH AND SUSAN GRESSEL FAMILY TRUST	4831 E MARSTON DR PARADISE VALLEY AZ 85253
MORAN BRIAN/SERENA	4841 E MARSTON DR PARADISE VALLEY AZ 85253
FARRELL KATE STOCKWELL/CHRISTOPHER JOSEPH	4851 E MARSTON DR PARADISE VALLEY AZ 85253
KEY NORMAN/MARGARET TR	4861 E MARSTON DR PARADISE VALLEY AZ 85253
LACAL LIVING TRUST	4844 E MARSTON DR PARADISE VALLEY AZ 85253
MUKAVITZ-ONDRACEK FAMILY TRUST	4834 E MARSTON DR PARADISE VALLEY AZ 85253
ROBERT AND CAROL WARSTLER TRUST	4824 E MARSTON DR PARADISE VALLEY AZ 85253
KLOSS JAMES	4814 E MARSTON DR PARADISE VALLEY AZ 85253
SHAUFLER EDWIN H TR	4800 E MARSTON DR PARADISE VALLEY AZ 85253
TOWN OF PARADISE VALLEY	6401 E LINCOLN DR PARADISE VALLEY AZ 85253
CAMELHEAD ESTATES UNIT III OWNERS ASSN INC	PO BOX 15041 PHOENIX AZ 85060
STEVERLYNCK NICOLAS M/LEILA I	4901 E ARROYO VERDE DR PARADISE VALLEY AZ 85253
GAINES IRA	1819 E MORTEN AVE SUITE 180 PHOENIX AZ 85020
SUTTON FAMILY TRUST	14610 N 32ND PL PHOENIX AZ 85032
WILENCHIK DENNIS I	4769 E VALLEY VISTA LN PARADISE VALLEY AZ 85253
BADEER CAROLINE	4787 E VALLEY VISTA LN PARADISE VALLEY AZ 85253
CRYSTAL AND JAMES BLAIR II FAMILY TRUST	4795 E VALLEY VISTA LN PARADISE VALLEY AZ 85253
EGIZII DAVID M	4817 E ARROYO VERDE DR SCOTTSDALE AZ 85253
OMNI MONTELUCCIA LLC	4001 MAPLE AVE SUITE 600 DALLAS TX 75219
RECTOR FAMILY 1997 TRUST	7819 N MOHAVE RD PARADISE VALLEY AZ 85253
SETHI JESSE	4940 E VALLEY VISTA LN PARADISE VALLEY AZ 85253
KUHL QUALIFIED PERS RESID TR/KUHL FAM REV TR	4960 E VALLEY VISTA LN PARADISE VALLEY AZ 85253
CARTER MARCIA C TR	5020 E VALLEY VISTA LN PARADISE VALLEY AZ 85253
MEYER CHARLES ROBERT/PATTY RAE TR	5030 E VALLEY VISTA LN SCOTTSDALE AZ 85253
THOMPSON EUGENE E/JUDITH R	5040 E VALLEY VISTA LN PARADISE VALLEY AZ 85253
BUCKLEY AMY L	5930 W ORCHID LN CHANDLER AZ 85226
AKKAD MOHAMMED ZAHER/LAUGHLIN SUZANNE	1040 E MOUNTAIN VISTA DR PHOENIX AZ 85048
CURTIS TRUST	4929 E VALLEY VISTA LN PARADISE VALLEY AZ 85253
DOLASINSKI BRIAN/MICHELLE	4805 E VALLEY VISTA LN PARADISE VALLEY AZ 85253
AHIR RAKESH/AVANI	6001 N TATUM BLVD PARADISE VALLEY AZ 85253
CRIPPA KEVIN	4830 E MCDONALD DR SCOTTSDALE AZ 85253
WAMSLEY CHERYL L	5000 E MCDONALD DR SCOTTSDALE AZ 85253
CHAMONIX TRUST	5012 E MCDONALD DR PARADISE VALLEY AZ 85253
5019 E ROVEY LLC	1445 N STATE PKWY NO 307 CHICAGO IL 60610
CHAN FAMILY TRUST	5001 E ROVEY AVENUE PARADISE VALLEY AZ 85253
KUO JACKSON/JURGITA	4829 E ROVEY AVE PARADISE VALLEY AZ 85253
JOSEPH AZIN FAMILY TRUST	4801 E ROVEY AVE PARADISE VALLEY AZ 85253
HOLLIMAN JOHN M III TR	4301 E KEIM DR PARADISE VALLEY AZ 85253
DK TRUST I	4830 E ROVEY AVE PARADISE VALLEY AZ 85253
LOMAX JOHN F JR/COLLEEN A TR	4850 E ROVEY AVE PARADISE VALLEY AZ 85253
GREGORY S CHURCHILL TR/TERRY A CHURCHILL TR	1700 COTTAGE GROVE PKWY MARION IA 52302
ROSS BYRAN/LISA	1509 W MESA DR PAYSON AZ 85541
MITCHEM STEVEN C/CHASE BRIDGETTE D	5110 E ROVEY AVE PARADISE VALLEY AZ 85253
SCOTT AND JULIE ALLEN FAMILY TRUST	5109 E ROVEY AVE PARADISE VALLEY AZ 85253
DAVID R AND RHONDA VROMAN ALEXANDER TRUST	6003 N 51ST ST PARADISE VALLEY AZ 85253
JABLIN CURT M/MARCIE	4800 E VALLEY VISTA LN PARADISE VALLEY AZ 85253
GOLDENBERG DAVID T	4830 E VALLEY VISTA LN PARADISE VALLEY AZ 85253
DEATON ROBERT O/KATHI LEE	6202 N 51 PL SCOTTSDALE AZ 85253
BRIAN S PAGE TRUST	6140 N 51ST PL PARADISE VALLEY AZ 85253
STREAM JAMES BENNETT ESTATE OF/CAROL J	6132 N 51ST PL PARADISE VALLEY AZ 85253
COHN LEE M/LINDA S TR	4340 E INDIAN SCHOOL RD STE 463 PHOENIX AZ 85018
CONN PAUL A/KATHRYN V	11 COWLES AVE RYE NY 10580
CONN PAUL A/KATHRYN V	6030 N 51ST PL PARADISE VALLEY AZ 85253-5144
SIMPSON SCOTT H/VIRGINIA A TR	6022 N 51ST PLACE SCOTTSDALE AZ 85253
CHRISTOPER WESLEY & HOLLY ANN SHILL FAM TRUST	6010 N 51ST PL PARADISE VALLEY AZ 85253
BALDWIN WILLIAM DAN/REFELITA R TR	14422 N 17TH PL PHOENIX AZ 85022
GRAY BRUCE W/BARBARA	6001 N 51ST PL PARADISE VALLEY AZ 85253
TAMM FAMILY TRUST	6011 N 51ST PL PARADISE VALLEY AZ 85253
JAN M CROATT TRUST	6021 N 51ST PL PARADISE VALLEY AZ 85253
LINCOLN FAMILY TRUST	6031 N 51ST PLACE PARADISE VALLEY AZ 85253
POOLE LAURENT/CHASE JENNIFER L	6101 N 51ST PL PARADISE VALLEY AZ 85253
RACHEL F HEROLD PV QUALIFIED PERSONAL RESIDENCE TRUST/RICHARD H HEROLD JR PV QUALIFIED PER RES TRUST	6111 N 51ST PL PARADISE VALLEY AZ 85253
ELLISON A LEROY TR	6121 N 51ST PL PARADISE VALLEY AZ 85253
CHANT H MANOUKIAN TRUST	6131 N 51ST PL PARADISE VALLEY AZ 85253
AJ 51ST PLACE PARTNERS L L C	2 MILL GATE LN OAK BROOK IL 60523
JAMILYN AND ROGER E FOURNIER FAMILY TRUST	6110 N 52ND PL PARADISE VALLEY AZ 85253
ROSS THOMAS H/JANIS M TR	6050 N 52ND PL PARADISE VALLEY AZ 85253

MARTINSON JOHN S/SUZANNE P
ESKILDSON LOYD E & DENISE I
HILLMAN-KEIM 2002 REVOCABLE TRUST
KRAKOW FAMILY TRUST
STEVEN A HUISH TRUST/ELIZABETH M HUISH TRUST
SEXTON KIRK THOMAS/MICHELLE L
RYAN MARK H/JULIA B
SELLING THOMAS I/JANE HAGEN TR
SCHWAN STEPHEN A/RACHEL G TR
MAIN JOHN W JR & OFELIA R
MADGE A KUNKEL REVOCABLE TRUST
WHITNEY BRENDA P TR
HERITAGE HILLS HOMEOWNERS ASSOC
PHOENIX CITY OF
ITULE FAMILY TRUST
STOUTE MIESHA T
ANNNN TRUST
BRANDT SUSAN J
CHURGIN DANIEL
FEINSTEIN FAMILY REVOCABLE TRUST
HULTSCH ROLF KNIGHTS
C H BOWLING FAMILY TRUST
SHALACO LLC
ROLLER CHARLES E
BRADLEY N GROSSMAN REVOCABLE TRUST
KUJANSON JASON A
BISETTI ROBERT S/HEATHER P
SCHNEIDER DANIEL J/NANCY J
SCHNELLER EUGENE S/ELLEN A
CROCKETT JENNIFER L TR
MITSCHRICH JOHN W
CHABLER LARRY D/RITA F
MICHAEL CHILDERS SOLE AND SEPARATE PROPERTY TRUST
JOHN P KOSTUIK SURVIVORS TRUST
SCHWERDTFEGER BILL & BARBARA TR
DEMSKI LYDIA
WEISS JON D/A R TR/WEISS B M TR/WEISS J L TR
EARLL DRIVE HOLDINGS LLC
SUZANNE ROSS FAMILY TRUST/DODENHOFF THEODORE G
WEBER ROBERT/TURK MARGARET A
HORN JON S
VOLTAIRE PROPERTIES GROUP LLC
GLEN R BAIR AND LINDA F BAIR FAMILY TRUST
WELLS JACK E/PHYLLIS W TR
CATHERINE B MCKEE REVOCABLE TRUST
DUPUY MICHAEL J/SHELLEY A TR
KESTEN MAXINE S TR
ROSENTHAL JEFFREY ROBERT
WINGATE GREGORY B TR
DALE L TERBUSH TRUST
JANE B MARTIN REVOCABLE LIVING TRUST
GEE GEE ENTZ TRUST
PRESTON V MCMURRY JR REVOCABLE TRUST
BURKHOLDER PETER M/BARBARA D TR
SANGER JASPER/CAROL L TR
WILLIAM AND PHYLLIS HOLMES TRUST
BENNET J SERKIN AND KATHE L REITMAN REV TRUST
JOHNSON WILLIAM G/SAUNDRA E
BLANK RACHEL TRUST
GLEN R AND LINDA F BAIR FAMILY TRUST
HANSON SUZANNE TR
BOOKSPAN RICHARD A/SUSAN H TR
REDDY FAMILY TRUST
AKA FAMILY TRUST
KIMBERLY LEIGHT TRUST
NEWSTEAD MARY E TR
EDWARD A WHITE FAMILY TRUST
STERNBERG MELVIN
WSPADT FAMILY TRUST
ALAN DALE EADS AND LUCILLE JUNE EADS LIV TR
ABRAMS LIVING TRUST
SHELDON H AND SYLVIA STERNBERG FAMILY TRUST
WECKSTEIN LOUIS/LYNDA
MOSHIER JENNIFER

6038 N 52ND PL PARADISE VALLEY AZ 85253
6026 N 52ND PL PARADISE VALLEY AZ 85253
6002 N 52ND PL PARADISE VALLEY AZ 85253
5202 E MCDONALD DR SCOTTSDALE AZ 85253
333 WALL ST PO BOX 3057 KETCHUM ID 83340
4730 E RANCHO DR PHOENIX AZ 85018
4724 E RANCHO DR PHOENIX AZ 85018
4718 E RANCHO DR PHOENIX AZ 85018
4727 E PALO VERDE DR PHOENIX AZ 85018
4735 E PALO VERDE DR PHOENIX AZ 85018
4736 E PALO VERDE DR PHOENIX AZ 85018
4728 E PALO VERDE DR PHOENIX AZ 85018
3003 N CENTRAL AVE STE 1200 PHOENIX AZ 85012
251 W WASHINGTON ST 8TH FL PHOENIX AZ 85003
5135 E VALLE VISTA WY PARADISE VALLEY AZ 85253
5115 E VALLE VISTA WY PARADISE VALLEY AZ 85233
5105 E VALLE VISTA WY PARADISE VALLEY AZ 85253
1101 WALNUT ST UNIT 2001 KANSAS CITY MO 64106-4213
5001 E VALLE VISTA WAY PARADISE VALLEY AZ 85253
5033 E MCDONALD DR PARADISE VALLEY AZ 85253
5043 E MCDONALD DR PARADISE VALLEY AZ 85253
5123 E MCDONALD DR PARADISE VALLEY AZ 85253
953 E LIBRA DR TEMPE AZ 85283
4400 N SCOTTSDALE RD NO 349 SCOTTSDALE AZ 85251
5060 E VALLE VISTA WY PARADISE VALLEY AZ 85253
3434 E SAN CARLOS PL CHANDLER AZ 85249
5950 E ECHO CANYON DR PHOENIX AZ 85018
5954 N ECHO CANYON DR PHOENIX AZ 85018
5960 N ECHO CANYON DR PHOENIX AZ 85018
2415 E CAMELBACK RD STE 700 PHOENIX AZ 85016
5970 N ECHO CANYON DR PHOENIX AZ 85018
5974 ECHO CANYON DR PHOENIX AZ 85018
5980 N ECHO CANYON DR PHOENIX AZ 85018
5984 E ECHO CANYON LN PHOENIX AZ 85018
5988 N ECHO CANYON DR PHOENIX AZ 85018
P O BOX 470 ST JOSEPH MI 49085
5905 E ECHO CANYON LN PHOENIX AZ 85018
4711 E QUARTZ MOUNTAIN RD PARADISE VALLEY AZ 85253
9764 E BAJADA RD SCOTTSDALE AZ 85262
5925 N ECHO CANYON LN PHOENIX AZ 85018
PO BOX 32373 PHOENIX AZ 85064
3103 E GEORGIA AVE PHOENIX AZ 85016
5941 N ECHO CANYON LN PHOENIX AZ 85018
5890 N ECHO CANYON LN PHOENIX AZ 85018
5850 N ECHO CANYON LN PHOENIX AZ 85018
5856 N ECHO CANYON LN PHOENIX AZ 85018
5860 E ECHO CANYON LN PHOENIX AZ 85018
2 GREENBRIER RD WESTPORT CT 06880
5870 N ECHO CANYON LN PHOENIX AZ 85018
5876 N ECHO CANYON LN PHOENIX AZ 85018
5880 N ECHO CANYON LN PHOENIX AZ 85018
5886 N ECHO CANYON LN PHOENIX AZ 85018
5800 N ECHO CANNYON LN PHOENIX AZ 85018
5804 N ECHO CANYON LN PHOENIX AZ 85018
5810 N ECHO CANYON LN PHOENIX AZ 85018
5814 N ECHO CANYON LN PHOENIX AZ 85018
5820 ECHO CANYON LN PHOENIX AZ 85018
5824 N ECHO CANYON LN PHOENIX AZ 85018
5830 N ECHO CANYON LN PHOENIX AZ 85018
5750 E ECHO CANYON CIR PHOENIX AZ 85018
5756 N ECHO CANYON CIR PHOENIX AZ 85018
5760 N ECHO CANYON CIR PHOENIX AZ 85018
5766 N ECHO CANYON CIR PHOENIX AZ 85018
5770 N ECHO CANYON CIR PHOENIX AZ 85018
5776 N ECHO CANYON CIR PHOENIX AZ 85018
5780 N ECHO CANYON CIR PHOENIX AZ 85018
5786 ECHO CANYON CIR PHOENIX AZ 85018
80 E COLUMBUS AVE PHOENIX AZ 85012
5710 N ECHO CANYON PHOENIX AZ 85018
5714 N ECHO CANYON DRIVE PHOENIX AZ 85018
5724 N ECHO CANYON DR PHOENIX AZ 85018
5730 N ECHO CANYON DR PHOENIX AZ 85018
5734 N ECHO CANYON DR PHOENIX AZ 85018
5740 N ECHO CANYON DR PHOENIX AZ 85018

REISS MARTIN B/ROCHELLE S TR
BAHDE HILLDING JEAN TR
MURPHY EDWARD H/BARBARA A
LAVIDGE WILLIAM R/JULIE B TR
JB 2013 REVOCABLE TRUST
LAWRENCE DOLINS TRUST
FREM ROBERT/ELIZABETH O
KARP ANGELA D/MARK B
KNOWLTON FAMILY LIVING TRUST
DAHL RANDOLF L
HANSEN OLIVIA
GERALD BISGROVE REVOCABLE TRUST
GOLDSTEIN THOMAS H
GARTH W BRANDAW LIVING TRUST/JOAN M BRANDAW LIVING TRUST
TURNER SCOTT C/LESLIE F
HARRELL THOMAS REEVES
WOLF EDWIN H/JUDITH G TR
HAIR AMY ALLEGRA
POLLY J SAVAGE LIVING TRUST
JACOBSON DAMON/TAISIYA
AKE FAMILY TRUST
JACOBS JENNIFER L TR
MELIS TRUST
PURKEY FAMILY TRUST
RON FLORANCE TRUST
RODIE DON T/LONDON SUSAN E
JUNEAU TRUST
REAL SIMPLE CASH OFFER LLC
ECHO CANYON PROPERTY OWNERS ASSOC
AVADHESH K AGARWAL AND UMA AGARWAL LIV TRUST
AHIR FAMILY TRUST
CATALO FAMILY REVOCABLE TRUST
PATEL MAITRAY/GUPTA INDU
PERL CRAIG B/LINDA S
JOZOFF MALCOLM TR/JOZOFF ELLEN JANE TR
SELBY JACK R TR
PHOENIX CITY OF

5690 N ECHO CANYON DR PHOENIX AZ 85018
5603 N ECHO CANYON DR PHOENIX AZ 85018
5605 N ECHO CANYON DR PHOENIX AZ 85018
5607 N ECHO CANYON DR PHOENIX AZ 85018
5615 N ECHO CANYON CIR PHOENIX AZ 85018
5625 N ECHO CANYON CIR PHOENIX AZ 85018
3 ROLLINGWOOD DR WORCESTER MA 01609
5631 N ECHO CANYON CIR PHOENIX AZ 85018
5641 N ECHO CANYON CIR PHOENIX AZ 85018
5651 N ECHO CANYON DR PHOENIX AZ 85018
8181 EAST TUFTS AVENUE SUITE 600 DENVER CO 80237
4400 N SCOTTSDALE RD STE 9 SCOTTSDALE AZ 85251
5691 N ECHO CANYON CIR PHOENIX AZ 85018
1930 SW RIVER DR UNIT 1001 PORTLAND OR 97201-8056
5711 N ECHO CANYON CIR PHOENIX AZ 85018
6 ORD CT SAN FRANCISCO CA 94114
5741 ECHO CANYON CIRCLE PHOENIX AZ 85018
5751 E ECHO CANYON CIR PHOENIX AZ 85018
5761 N ECHO CANYON CIR PHOENIX AZ 85018
5771 N ECHO CANYON DR PHOENIX AZ 85018
5781 N ECHO CANYON CIR PHOENIX AZ 85018
5791 N ECHO CANYON CIR PHOENIX AZ 85018
5805 NORTH ECHO CANYON CIRCLE PHOENIX AZ 85018
5811 N ECHO CANYON CIR PHOENIX AZ 85018
5825 N ECHO CANYON CIR PHOENIX AZ 85018
5831 E ECHO CANYON CIR PHOENIX AZ 85018
2234 HARVARD AVENUE E SEATTLE WA 98102
1733 N GREENFIELD RD STE 103 MESA AZ 85205-3116
7255 E HAMPTON AVE SUITE 101 MESA AZ 85209
15 CREST RD WEST ROLLING HILLS CA 90274
5251 E MCDONALD DR PARADISE VALLEY AZ 85253
5920 N 52ND PL PARADISE VALLEY AZ 85253
5241 E PALO VERDE DR PARADISE VALLEY AZ 85253
5910 N 52ND PL PARADISE VALLEY AZ 85253
5200 E SOLANO DR PARADISE VALLEY AZ 85253
5226 E SOLANO DR PARADISE VALLEY AZ 85253
251 W WASHINGTON ST 8TH FL PHOENIX AZ 85003

AFFIDAVIT OF MAILING NOTIFICATION


20

STATE OF ARIZONA)

) ss:

County of Maricopa)

In accordance with the requirements of the Town of Paradise Valley, the undersigned hereby certifies that the mailing list for the proposed project is a complete list of property owners within 1500 feet of the subject property, as obtained from the Maricopa County Assessor's Office on the following date December 22, 2020, and such notification has been mailed on the following date December 22, 2020.


Signature

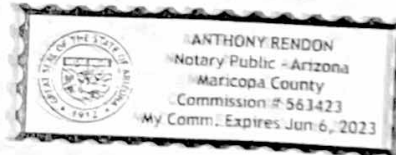
The foregoing instrument was acknowledged by me this 22ND day of DECEMBER, 2020, by ANTHONY RENDON.

Name


NOTARY PUBLIC

My commission expires:

June 6, 2023





Action Report

File #: 21-012

To: Hillside Building Committee

From: Hugo Vasquez; Hillside Development Administrator

Date: January 13th, 2021

Subject: Combined Review for an addition and guesthouse at 5001 E McDonald Drive (APN 172-04-009).

Narrative: The proposed project shall add to the previously approved remodel of the single family residence and shall construct a new guesthouse. The new project has an original application date of January 5th, 2021 and will be reviewed under the 2018 Hillside Development Regulations.

Lot Data		
1.	Area of Lot	1.01 ac or 43,573 ft ²
2.	Area Under Roof	8,488 ft ²
3.	Floor Area Ratio	19.48%
4.	Building Site Slope	13.74%
5.	Allowable Disturbed Area	16,649 ft ² (38.21%)
6.	Existing Gross Disturbed Area	37,596 ft ² (86.28%)
7.	Proposed Net Disturbed Area	23,441 ft ² (53.80%)
8.	Maximum Building Height	16 ft - 0 in
9.	Overall Height	34 ft - 0.5 in
10.	Volume of Cut/Fill	1726 yd ³
11.	Hillside Assurance	\$60,410

Background

The property currently has a 3,000 ft² residential structure constructed in 1963. An application for a major remodel was previously approved by the Hillside Building Committee on June 10th, 2020.

Remodel and Addition

The proposed amendment to the previously approved application includes an expansion of the master suite at the northeast end of the residence, and expanded dining area at the center of the residence, and a new bedroom/office at the southwest corner of the residence.

Guesthouse

A new guesthouse is proposed southwest of the residence within the existing disturbed area.

Pool

No changes to the pool are proposed.

Building Materials

Newly proposed gray (LRV 25) stack bond CMU wall materials have been proposed for the guesthouse and a gray ballasted roofing system (LRV 25) shall be used on both structures. The proposed building materials shall include taupe (Sherwin Williams, Nor'Eastern, LRV 32) colored stucco, soffits, and trim. Metal roof and fascia finishes in midnight bronze (LRV 7). Exterior tongue and groove wood soffits shall be dark brown (Sherwin Williams, Hawthorne, LRV 20). Window and door frames shall match existing dark bronze (LRV 7). View fences shall be rusted metal (LRV 12) and stone veneers shall be dark gray (Neptune, LRV 5). All materials shall have an LRV of 38 or less

Hardscape

There are no proposed changes to the previously approved materials. Belgard pavers (Lueders Gray, LRV 30) are proposed for the driveway. The patio and pool deck areas shall receive a silver travertine (LRV 30) finish. All materials shall have an LRV of 38 or less.

Building Lighting

Additional lighting has been provided for the proposed guesthouse. All proposed building lighting shall be provided through twelve (12) wall sconces (275 lumens actual / 750 allowable) and twenty (20) recessed can lights (725 lumens actual / 750 allowable). All light sources shall have a maximum color temperature of 3000K.

Landscape Lighting

No additional landscape lighting is proposed with this new application. Landscape lighting includes fourteen (14) wall lights (11 lumens actual / 250 lumens allowable) and thirteen (13) up lights (62 lumens actual / 250 allowable). All light sources shall have a maximum color temperature of 3000K.

Landscaping

No additional vegetation is proposed around the new guesthouse. Previously approved site vegetation is provided on the table below:

Trees	Shrubs/Accents	Groundcover
Honey Mesquite	Century Plant	Trailing Smoke Bush
	Saguaro	
	Beargrass	
	Mexican Fence Post	
	Soaptree Yucca	

Land Disturbance

A gross disturbed area of 86.28% (37,596 ft²) currently exists on the lot and the building pad slope of 13.74% allows a disturbance of 39.41% (17,170 ft²) the lot. The applicant has proposed a net disturbed area of approximately 54.80% (23,441 ft²).

Grading and Drainage

There will be grading associated with the construction of the property in order to properly retain the "pre vs post" storm water volumes for the 100-year, 2-hour rainfall event. Stormwater generated onsite will be retained in a located on the north side of the property.

Sewer

A new septic system is proposed.

Hillside Safety Improvement Plan

The Applicant submitted a Hillside Safety Improvement Plan in accordance with the Hillside Safety Improvement Measures and Process Manual per Section 5-10-9 of the Town Code. The plan completed 45 days without any public comment.

Combined Plan Review

Should the Hillside Committee wish to approve this application, staff suggests the following stipulations:

1. Any changes to the Hillside-approved plans may result in delays in permit plan review and inspection processes. Any proposed changes should be reported to the Staff to determine compliance with Hillside Development Regulations. Changes may be subject to a Staff, Chair, or Committee review.
2. The Applicant shall submit a Construction Staging Plan to the Town per the Hillside Safety Improvement Measures and Process Manual for review and approval prior to being issued a building permit.
3. The Applicant shall submit a liability insurance policy for the proposed project in the amount of \$2 million per occurrence and \$5 million aggregate naming the Town of Paradise Valley as an additional insured prior to being issued a building permit.
4. Prior to issuance of a permit, the Applicant shall submit a Hillside Assurance in the amount of \$26,051.
5. All construction parking shall be located on the property as much as possible. Any offsite parking shall be confined to the adjacent streets along the immediate property frontage. All offsite parking shall be located on the same side of the street. No construction materials will be allowed to be stored on the Town's right-of-way.
6. All recommendations provided in the Safety Improvement Plan shall be followed by the applicant. Any field work related to the Safety Improvement Plan, including but not limited to rock bolting, rock cuts, mesh placement, and boulder stabilization methods, shall be inspected by a qualified Special Inspector contracted by the applicant. An Arizona Registered Engineer contracted by the applicant shall review, for compliance with the recommendations provided in the Safety Improvement Plan, the proposed plans prior to submitting for a permit. The contracted Arizona Registered Engineer shall provide a sealed letter stating that the plans submitted are in accordance with the Safety Improvement Plan.
7. No final approval or certificate of occupancy shall be issued until all Hillside stipulations and all Town Code requirements are complied with, including, but not limited to, landscaping, fire flow, fire safety and all onsite and offsite improvements.
8. The limits of construction and proposed disturbed areas shall be clearly staked in the field, with visible roping, prior to demolition and during construction and shall conform to the approved individual site analysis plan. Photos of the staking shall be provided prior to issuance of a demolition and/or building permit.
9. Noise from construction that can be heard off-site, including, but not limited to, hydraulic ram hammers, equipment used to cut through rock, machinery with audible back-up warning devices, powered machinery, truck delivery and idling, constant and persistent hammering, shall comply with Article 8-10, Nuisance Noise, as set forth in the Town Code. Heavy Equipment and construction-related deliveries are generally limited between the hours of 7:00 a.m. and 5:00 p.m. Monday through Friday; no work on Saturday, Sunday or legal holidays. Exceptions include a one hour early start time in summer, time exceptions granted by the Town Manager, and construction not defined as Heavy Equipment or deliveries that can occur outside the 7:00 a.m. to 5:00 p.m., Monday through Friday, time frame.
10. Natural stone selections shall not exceed the maximum allowable LRV of 38. Care should be taken when selecting to ensure that the maximum LRV is not exceeded. Failure to comply with may result in delays obtaining a

Certificate of Occupancy.

11. A landscape as-built plan shall be provided by the landscape designer at the time of the Final Hillside inspection and prior to the issuance of a Certificate of Occupancy. See Stipulation #1 for more information.

12. All undisturbed areas shall be revegetated with a native seed mix.

13. Applicant shall correct Sheet A1.1c to provide correct wall sconce counts.

ABBREVIATIONS

ABC	.....	AGGREGATE BASE COURSE
A.F.F.	.....	ABOVE FINISHED FLOOR
C.I.	.....	CAST IRON
C.M.U.	.....	CONCRETE MASONRY UNIT
DW	.....	DISHWASHER
F.O.P.	.....	FACE OF POST
F.O.S.	.....	FACE OF STUD
F.F.	.....	FINISHED FLOOR
FG	.....	FIBER GLASS
FLUOR.	.....	FLUORESCENT (LIGHT FIXTURE)
F.V.	.....	FIELD VERIFY
GSM	.....	GALVANIZED SHEET METAL
GFI	.....	GROUND FAULT CIRCUIT
GYP. BRD.	.....	GYPSUM BOARD
I.B.C.	.....	INTERNATIONAL BUILDING CODE
I.C.C.	.....	INTERNATIONAL CODE COUNCIL
I.F.C.	.....	INTERNATIONAL FIRE CODE
I.M.C.	.....	INTERNATIONAL MECHANICAL CODE
I.P.C.	.....	INTERNATIONAL PLUMBING CODE
I.R.C.	.....	INTERNATIONAL RESIDENTIAL CODE
MFR.	.....	MANUFACTURER
MICRO	.....	MICROWAVE OVEN
N.E.C.	.....	NATIONAL ELECTRIC CODE
N.T.S.	.....	NOT TO SCALE
O.A.	.....	OVER ALL
O.C.	.....	ON CENTER
P.E.N.	.....	PERIMETER EDGE NAILING
PTDF	.....	PRESSURE TREATED DOUGLAS FIR
P.L.F.	.....	PER LINEAR FOOT
REF	.....	REFRIGERATOR
R	.....	RISER (® 16R=16 RISERS)
SPECS.	.....	SPECIFICATIONS
SS	.....	STAINLESS STEEL
TEMP.	.....	TEMPERED GLASS
TC	.....	TRASH COMPACTOR
TYP.	.....	TYPICAL
U.O.N.	.....	UNLESS OTHERWISE NOTED
WC	.....	WATER CLOSET
WP	.....	WATER PROOF
WI	.....	WROUGHT IRON
WWF	.....	WELDED WIRE FABRIC

POOLS, SPA'S & HOT TUBS

SWIMMING POOL IS DEFINED AS ANY CONTAINED BODY OF WATER 18 INCHES (457 MM) AT ANY POINT. THIS INCLUDES IN-GROUND, ABOVE GROUND AND ON-GROUND SWIMMING POOLS AND HOT TUBS AND SPAS.

BARRIER REQUIREMENTS

THE PROVISIONS OF THIS CHAPTER SHALL CONTROL THE DESIGN OF BARRIERS FOR RESIDENTIAL SWIMMING POOLS, SPAS AND HOT TUBS. THESE DESIGN CONTROLS ARE INTENDED TO PROVIDE PROTECTION AGAINST POTENTIAL DROWNINGS AND NEAR DROWNINGS BY RESTRICTING ACCESS TO SWIMMING POOLS, SPAS AND HOT TUBS.

AN OUTDOOR SWIMMING POOL, INCLUDING AN IN-GROUND, ABOVE-GROUND OR ON-GROUND POOL, HOT TUB OR SPA SHALL BE SURROUNDED BY A BARRIER WHICH SHALL COMPLY WITH THE FOLLOWING:

- THE TOP OF THE BARRIER SHALL BE AT LEAST 60 INCHES (1524 MM) ABOVE GRADE MEASURED ON THE SIDE OF THE BARRIER WHICH FACES AWAY FROM THE SWIMMING POOL. THE TOP OF THE BARRIER THAT SEPARATES THE SWIMMING POOL ONLY FROM HABITABLE SPACES ON THE SAME PROPERTY SHALL BE AT LEAST 48 INCHES (1219 MM) ABOVE GRADE MEASURED ON THE SIDE OF THE BARRIER WHICH FACES AWAY FROM THE SWIMMING POOL. THE MAXIMUM VERTICAL CLEARANCE BETWEEN GRADE AND THE BOTTOM OF THE BARRIER SHALL BE 2 INCHES (51 MM). THE MAXIMUM VERTICAL CLEARANCE AT THE BOTTOM OF THE BARRIER MAY BE INCREASED TO 4 INCHES (102 MM) WHEN GRADE IS A SOLID SURFACE SUCH AS CONCRETE. THE BARRIER SHALL BE AT LEAST 20 INCHES FROM THE WATER'S EDGE.
- OPENINGS IN THE BARRIER SHALL NOT ALLOW PASSAGE OF A 4 INCH DIAMETER (102 MM) SPHERE. ANY DECORATIVE DESIGN WORK SUCH AS PROTRUSIONS, INDENTATIONS OR CUTOUTS WHICH MAKE THE BARRIER EASILY CLIMBABLE IS PROHIBITED.
- SOLID BARRIERS WHICH DO NOT HAVE OPENINGS, SUCH AS MASONRY OR STONE WALL, SHALL NOT CONTAIN INDENTATIONS OR PROTRUSIONS EXCEPT FOR NORMAL CONSTRUCTION TOLERANCES AND TOOLED MASONRY JOINTS.
- THERE SHALL BE AT LEAST 45" INCHES BETWEEN HORIZONTAL ELEMENTS
- MAXIMUM MESH SIZE FOR CHAIN LINK FENCES SHALL BE A 2 1/4 INCH (57 MM) SQUARE UNLESS THE FENCE HAS SLATS FASTENED AT THE TOP OR THE BOTTOM WHICH REDUCE THE OPENINGS TO NOT MORE THAN 1 3/4 INCHES (44 MM). CHAIN LINK FENCING SHALL NOT BE LESS THAN 11 GAUGE.
- WHERE THE BARRIER IS COMPOSED OF DIAGONAL MEMBERS, SUCH AS A LATTICE FENCE, THE MAXIMUM OPENING FORMED BY THE DIAGONAL MEMBERS SHALL NOT BE MORE THAN 1 3/4 INCHES (44MM).
- ACCESS GATES SHALL COMPLY WITH THE REQUIREMENTS OF THIS SECTION, ITEMS 1 THROUGH 6, AND SHALL BE EQUIPPED TO ACCOMMODATE A LOOKING DEVICE. PEDESTRIAN ACCESS GATES SHALL OPEN OUTWARD AWAY FROM THE POOL AND SHALL BE SELF-CLOSING AND HAVE A SELF-LATCHING DEVICE. GATES OTHER THAN PEDESTRIAN ACCESS GATES SHALL BE LOCKABLE. WHERE THE RELEASE MECHANISM OF THE SELF-LATCHING DEVICE IS LOCATED LESS THAN 54 INCHES (1372 MM) FROM THE BOTTOM OF THE GATE, THE RELEASE MECHANISM AND OPENINGS SHALL COMPLY WITH THE FOLLOWING:
 - THE RELEASE MECHANISM SHALL BE LOCATED ON THE POOL SIDE OF THE GATE AT LEAST 3 INCHES (76 MM) BELOW THE TOP OF THE GATE; AND
 - THE GATE AND BARRIER SHALL HAVE NO OPENING LARGER THAN 1/2 INCH (13 MM) WITHIN 18 INCHES (457 MM) OF THE RELEASE MECHANISM.
- WHERE A WALL OF A DWELLING SERVES AS PART OF THE BARRIER, ONE OF THE FOLLOWING CONDITIONS SHALL BE MET:
 - IN LIEU OF THE BARRIER BETWEEN THE DWELLING AND THE SWIMMING POOL, THE SWIMMING POOL SHALL BE EQUIPPED WITH A POWERED SAFETY COVER IN COMPLIANCE WITH ASTM F1346; OR
 - DOORS WITH DIRECT ACCESS TO THE POOL THROUGH THAT WALL SHALL BE EQUIPPED WITH AN ALARM WHICH PRODUCES AN AUDIBLE WARNING WHEN THE DOOR AND/OR ITS SCREEN, IF PRESENT, ARE OPENED. THE ALARM SHALL BE LISTED IN ACCORDANCE WITH UL 2017. THE AUDIBLE ALARM SHALL ACTIVATE WITHIN 7 SECONDS AND SOUND CONTINUOUSLY FOR A MINIMUM OF 30 SECONDS AFTER THE DOOR AND/OR ITS SCREEN, IF PRESENT, ARE OPENED AND BE HEARD THROUGHOUT THE HOUSE DURING NORMAL HOUSEHOLD ACTIVITIES. THE ALARM SHALL AUTOMATICALLY RESET UNDER ALL CONDITIONS. THE ALARM SYSTEM SHALL BE EQUIPPED WITH A MANUAL MEANS, SUCH AS TOUCH PAD OR SWITCH, TO TEMPORARILY DEACTIVATE THE ALARM FOR A SINGLE OPENING. DEACTIVATION SHALL LAST FOR NOT MORE THAN 15 SECONDS. THE DEACTIVATION SWITCHES SHALL BE LOCATED AT LEAST 54 INCHES (1372 MM) ABOVE THE THRESHOLD OF THE DOOR; OR
 - OTHER MEANS OF PROTECTION, SUCH AS SELF-CLOSING DOORS WITH SELF-LATCHING DEVICES, WHICH ARE APPROVED BY THE GOVERNING BODY, SHALL BE ACCEPTABLE SO LONG AS THE DEGREE OF PROTECTION AFFORDED IS NOT LESS THAN THE PROTECTION AFFORDED BY ITEM 8.1 OR 8.2 DESCRIBED ABOVE. SELF-CLOSING AND SELF LATCHING DEVICES SHALL BE INSTALLED ON ALL DOORS WITH DIRECT ACCESS TO THE POOL AREA, WITH THE RELEASE MECHANISM LOCATED A MINIMUM OF FIFTY-FOUR INCHES ABOVE THE FLOOR.
- WHERE AN ABOVE-GROUND POOL STRUCTURE IS USED AS A BARRIER OR WHERE THE BARRIER IS MOUNTED ON TOP OF THE POOL STRUCTURE, AND THE MEANS OF ACCESS IS A LADDER OR STEPS:
 - THE LADDER OR STEPS SHALL BE CAPABLE OF BEING SECURED, LOCKED OR REMOVED TO PREVENT ACCESS; OR
 - THE LADDER OR STEPS SHALL BE SURROUNDED BY A BARRIER WHICH MEETS THE REQUIREMENTS OF THIS SECTION, ITEMS 1 THROUGH 9, WHEN THE LADDER OR STEPS ARE SECURED, LOCKED OR REMOVED, ANY OPENING CREATED SHALL NOT ALLOW THE PASSAGE OF A 4 INCH DIAMETER (102 MM) SPHERE.
- PET DOORS WHICH PROVIDE DIRECT ACCESS TO THE POOL AREA ARE PROHIBITED UNLESS THEY MEET THE REQUIREMENTS OF ITEM 2 OR ARE EQUIPPED WITH AN ALARM THAT MEETS ITEM 8.2.
- WINDOWS WITH ACCESS TO THE POOL AREAS WILL BE PROTECTED IN THE FOLLOWING WAYS:
 - EMERGENCY ESCAPE OR RESCUE WINDOWS FROM SLEEPING AREAS WITH ACCESS TO THE SWIMMING POOL WILL BE EQUIPPED WITH A LATCHING DEVICE NOT LESS THAN 54 INCHES (1372 MM) ABOVE THE FLOOR.
 - ALL OTHER OPENABLE WINDOWS WITH SIMILAR ACCESS WILL ALSO BE EQUIPPED WITH A LATCHING DEVICE NOT LESS THAN 54 INCHES (1372 MM) ABOVE THE FLOOR OR SHALL BE EQUIPPED WITH KEY LOCK DEVICE THAT PREVENTS OPENING THE WINDOW MORE THAN 4 INCHES (102 MM).

WALLS SURROUNDING AN INDOOR SWIMMING POOL SHALL COMPLY WITH ITEM 8.

BARRIERS SHALL BE LOCATED TO PROHIBIT PERMANENT STRUCTURES, EQUIPMENT OR SIMILAR OBJECTS FROM BEING USED TO CLIMB THEM.

SPAS OR HOT TUBS WITH A SAFETY COVER WHICH COMPLIES WITH ASTM F 1346 SHALL BE EXEMPT FROM THE PROVISIONS OF THIS SECTION.

FIRE SPRINKLERS

- PROVIDE AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM PER NFPA 13D. (UNDER SEPERATE PERMIT)
- A WATER METER W/ DOMESTIC LINE AS REQUIRED FOR C.O.S. 'S & A'S, SECT 8.1.1.3 - RESIDENTIAL FIRE SPRINKLER SYSTEM.
- A SEPARATE PERMIT IS REQUIRED FROM THE FIRE DEPT. FOR FIRE SPRINKLER SYSTEM.
- MEET PROVISIONS OF 2015 IFC AMMENDMENTS - ORD. 4045 AND SRC 36-18 AUTOMATIC FIRE SPRINKLER SYSTEM-SEC. 903.

JACUZZI TYPE TUB

- PROVIDE REMOVABLE PANEL OF SUFFICIENT SIZE TO ACCESS PUMP.
- CIRCULATION PUMP SHALL BE LOCATED ABOVE THE CROWN WEIR OF THE TRAP.
- PUMP AND CIRCULATION PIPING SHALL BE SELF-DRAINING.
- SUCTION FITTINGS SHALL COMPLY WITH THE LISTED STANDARDS.
- PROVIDE G.F.I. CIRCUIT (N.E.C. ARTICLE 680.70).

AG104 SPAS AND HOT TUBS.

FOR A NONSELF-CONTAINED AND SELF-CONTAINED SPA OR HOT TUB, PROTECTION SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 103.1.

EXCEPTION: A SELF-CONTAINED SPA OR HOT TUB EQUIPPED WITH A LISTED SAFETY COVER SHALL BE EXEMPT FROM THE REQUIREMENTS OF SECTION 103.1.

REQUIRED RESIDENTIAL NOTES

- ALL PRODUCTS LISTED BY I.C.C./N.E.R. NUMBER(S) SHALL BE INSTALLED PER THE REPORT AND MANUFACTURER'S WRITTEN INSTRUCTIONS. PRODUCTS SUBSTITUTIONS FOR PRODUCT(S) LISTED SHALL ALSO HAVE AN ICC APPROVED EVALUATION REPORT(S) OR BE APPROVED.
- EXTERIOR WALL, BOTTOM SILL PLATES, SHALL BE PRESSURE TREATED OR EQUAL, AND SHALL BEAR/EXTEND MINIMUM 6" ABOVE FINISH GRADE. (2015 IRC SEC. R317.1)
- MISCELLANEOUS SITE STRUCTURES, POOLS, SPAS, FENCES, SITE WALLS, RETAINING WALLS, AND GAS STORAGE TANKS REQUIRE SEPARATE PERMITS.
- ALL EXITS TO BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE.
- DOORS LEADING INTO HOUSE FROM GARAGE SHALL BE SELF-CLOSING, SELF-LATCHING. (2015 IRC R302.5.1)
- EXTERIOR WALL PENETRATIONS BY PIPES, DUCTS OR CONDUITS SHALL BE CAULKED. (2015 IRC R302.4.1)
- PROVIDE ROOF ATTIC VENTILATION UNLESS INSULATION IS APPLIED DIRECTLY TO UNDERSIDE OF ROOF SHEATHING.
- ENERGY CONSERVATION REQUIREMENTS: CEILING/ATTIC R-VALUE = R-38 (MIN.), FRAME WALL R-VALUE =R-19 (MIN.), MASONRY WALL R-VALUE = R-4 (MIN.), WINDOW U-VALUE = 0.40 (MAX.), SOLAR HEAT GAIN COEFFICIENT = 0.25 (MAX.), SUPPLY AND RETURN AIR DUCT INSULATION VALUE OF R-8(MIN.)
- LUMBER SHALL BEAR AN APPROVED GRADING STAMP. (R502.1)
- PROVIDE ENGINEERED TRUSS DESIGNS FOR ALL PREFABRICATED TRUSSES FOR REVIEW AND APPROVAL BY THE TOWN OF PARADISE VALLEY
- FIRE BLOCKING SHALL COMPLY WITH (2015 IRC R302.11)
- WINDOWS LOCATED MORE THAN 72" ABOVE FINISHED GRADE SHALL HAVE THE LOWEST PART OF CLEAR OPENING OF THE WINDOW TO BE MINIMUM 24 INCHES ABOVE THE FLOOR IN WHICH IT SERVES (R613.2)
- GYPSUM BOARD APPLIED TO A CEILING SHALL BE 1/2" WHEN FRAMING MEMBERS ARE 16" O.C. OR 5/8" WHEN FRAMING MEMBERS 24" O.C. OR USE LABELED 1/2" SAG-RESISTANT GYPSUM CEILING BOARD. TABLE R702.3.5 (d)
- SHOWERS AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE (P2708.3)
- SHOWER AREA WALLS SHALL BE FINISHED WITH A SMOOTH, HARD NON-ABSORBENT SURFACE, SUCH AS CERAMIC TILE, TO A HEIGHT OF NOT LESS THAN 72 INCHES ABOVE THE DRAIN INLET. WATER-RESISTANT GYPSUM BOARD SHALL NOT BE INSTALLED OVER A VAPOR RETARDER IN A SHOWER OR TUB COMPARTMENT. CEMENT, FIBER-CEMENT OR GLASS MAT GYPSUM BACKERS INSTALLED WITH MANUFACTURER'S RECOMMENDATIONS SHALL BE USED AS BACKERS FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL PANELS IN SHOWER AREAS (R702.3.4)
- PLUMBING FIXTURES SHALL COMPLY WITH THE FOLLOWING CONSERVATION REQUIREMENTS: TABLE P2903.2 WATER CLOSETS- TANK TYPE 1.6 GAL/FLUSH. SHOWER HEAD - 2.5 GAL/MINUTE. FAUCETS - 2.2 GAL/MINUTE PROVIDE AERATOR.
- WATER TREATMENT SYSTEMS - SHALL BE EQUIPPED WITH AND AUTOMATIC SHUTOFF TO PREVENT CONTINUOUS FLOW WHEN NOT IN USE.
- DOMESTIC DISH WASHING MACHINES CONNECTED TO A DISPOSER SHALL HAVE THE DISCHARGE INSTALLED AS HIGH AS POSSIBLE (P2711.3)
- HOT WATER RECIRCULATION PUMPS, PROVIDE A HOT WATER DEMAND CONTROLLED RECIRCULATION PUMP FOR WATER HEATERS LOCATED MORE THAN 20 FEET FROM FURTHEST FIXTURE SERVED. A MANUAL CONTROL OR OCCUPANT SENSOR SWITCH SHALL OPERATE THE PUMP WITH AN AUTOMATIC TEMPERATURE SENSOR SHUT-OFF (M2005.5 AMENDED)
- SUPPLY AND RETURN DUCTS SHALL BE INSULATED TO A MINIMUM R-8. DUCTS IN FLOOR TRUSSES SHALL BE INSULATED TO A MINIMUM R-6 (N1103.2.1)
- REGISTERS, DIFFUSERS AND GRILLES SHALL BE MECHANICALLY FASTENED TO RIGID SUPPORTS OR STRUCTURAL MEMBERS ON AT LEAST TWO OPPOSITE SIDES IN ADDITION TO BEING CONNECTED TO THE DUCTWORK THEY SERVE.
- THE CLOTHES DRYER SHALL BE PROVIDED WITH A 4-INCH DIAMETER EXHAUST DUCT TO THE EXTERIOR AND SHALL NOT EXCEED A TOTAL LENGTH OF 35 FEET, UNLESS AN ENGINEERED DUCT SYSTEM IS PROVIDED (M1501.3)
- EXHAUST AIR FROM KITCHENS, BATHROOMS AND TOILET ROOMS SHALL NOT BE RE-CIRCULATED WITHIN A RESIDENCE OR TO ANOTHER DWELLING UNIT AND SHALL BE EXHAUSTED DIRECTLY TO THE OUTDOORS. EXHAUST AIR FROM KITCHENS, BATHROOMS AND TOILET ROOMS SHALL NOT DISCHARGE INTO AN ATTIC, CRAWL SPACE OR OTHER AREAS INSIDE THE BUILDING. M1506.2
- PROVIDE IC-RATED RECESSED LIGHT FIXTURES INSTALLED IN INSULATED CEILINGS (N1102.4.3)
- FIXTURES LOCATED IN DAMP OR WET LOCATIONS SHALL BE "LISTED" TO BE SUITABLE FOR SUCH LOCATION. (E3903.8)
- PROVIDE GFCI PROTECTION FOR RECEPTACLES WITHIN 6' OF ALL LAVATORIES, SINKS AND BASINS. (E3802.7)
- PROVIDE GFCI PROTECTED RECEPTACLES AT AL EXTERIOR, BATHROOM AND GARAGE LOCATIONS. (E3802.1, 2)
- PROVIDE A WALL MOUNTED GFCI PROTECTED RECEPTACLE OUTLET WITHIN 36" OF A BATHROOM OR POWDER ROOM LAVATORY (E3801.6)
- ALL 120-VOLT BRANCH CIRCUITS IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUN ROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS AND SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A COMBINATION TYPE AFCI (E3802.11)
- RECEPTACLE OUTLETS SHALL BE INSTALLED SO THAT NO POINT ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6 FEET MEASURED OVER FOUNDATIONS SHALL NOT BE LESS THAN 1/4" INCH AND NOT MORE THAN 3/4 INCH. SUPPLY TO BE HORIZONTALY, FROM AN OUTLET IN THAT SPACE, INCLUDING ANY WALL SPACE 2 FEET OR MORE IN WIDTH (E3502.2)
- PROVIDE A MINIMUM OF TWO 20-AMP SMALL APPLIANCE BRANCH CIRCUITS FOR THE KITCHEN/DINING/BREAKFAST. (E3603.3)
- THE TWO OR MORE 20-AMPERE SMALL APPLIANCE BRANCH CIRCUITS SHALL HAVE NO OTHER OUTLETS, EXCEPT THE COUNTER PLACED OVER FOUNDATIONS SHALL NOT BE LESS THAN 1/4" INCH AND NOT MORE THAN 3/4 INCH. SUPPLY TO BE HORIZONTALY, FROM AN OUTLET IN THAT SPACE, INCLUDING ANY WALL SPACE 2 FEET OR MORE IN WIDTH (E3502.2)
- RECEPTACLE OUTLETS FOR RANGES AND CLOTHES DRYERS SHALL BE 3-POLE WITH GROUND TYPE. FOUR-WIRE, GROUNDING -TYPE FLEXIBLE CORDS WILL BE REQUIRED FOR CONNECTION OF RANGES AND CLOTHES DRYERS. THE BONDING JUMPER SHALL NOT BE CONNECTED BETWEEN THE NEUTRAL TERMINAL AND THE FRAME OF THE APPLIANCE. FLEXIBLE CORDS SHALL BE USED ONLY WHERE THE FLEXIBLE CORD SUPPLYING AN APPLIANCE SHALL TERMINATE IN A GROUNDING-TYPE ATTACHMENT PLUG. (E401.3)
- PROVIDE A CONCRETE ENCASED GROUNDING ELECTRODE OF NOT LESS THAN 20 FEET OF #4 BARE COPPER (200 AMPERE SERVICE) (E3508.1, 2)
- PROVIDE BONDING TO THE WATER PIPING, GAS AND METAL BUILDING SYSTEMS. (MINIMUM #4 FOR 200-AMP SERVICE (E3503.1)
- ALL METAL PIPING SYSTEMS, METAL PARTS OF ELECTRICAL EQUIPMENT, AND PUMP MOTORS ASSOCIATED WITH THE HYDRO MASSAGE TUB SHALL BE BONDED TOGETHER USING A COPPER BONDING JUMPER, INSULATED, COVERED, OR BARE, NOT SMALLER THAN NO. 8 SOLID. METAL PARTS OF LISTED EQUIPMENT INCORPORATING AN APPROVED SYSTEM OF DOUBLE INSULATION AND PROVIDING A MEANS FOR GROUNDING INTERNAL NON-ACCESSIBLE, NON-CURRENT-CARRYING METAL PARTS SHALL NOT BE BONDED (E4104.2, 4)
- R607.2.1 MASONRY BED AND HEAD JOINTS, SHALL BE 3/8" THICK. THE THICKNESS OF THE BED JOINT OF THE STARTING COURSE PLACED OVER FOUNDATIONS SHALL NOT BE LESS THAN 1/4" INCH AND NOT MORE THAN 3/4 INCH. MORTAR JOINT THICKNESS SHALL BE WITHIN THE FOLLOWING TOLERANCES FROM THE SPECIFIED DIMENSIONS:
 - BED JOINT + 1/8 INCH
 - HEAD JOINT: 1/4 INCH + 3/8 INCH
 - COLLAR JOINTS: 1/4 INCH +3/8 INCH
- PROVIDE COMBUSTION AIR TO ALL FIREPLACES IN ALL LOCATIONS WITH AIR INTAKE LOCATED AT AN ELEVATION NO HIGHER THAN THE FIREBOX. (R1006.1)

PERSPECTIVE VIEW



GENERAL NOTES

- BUILDING CODE DESIGN DATA - ALL CONSTRUCTION WITHIN PARADISE VALLEY SHALL COMPLY WITH THE FOLLOWING CODES AND AMMENDMENTS PER THEIR ADOPTING ORDINANCES:

2015 INTERNATIONAL BUILDING CODE	2015 INTERNATIONAL RESIDENTIAL CODE	2015 INTERNATIONAL FIRE CODE	2015 INTERNATIONAL PLUMBING CODE	2015 INTERNATIONAL MECHANICAL CODE	2014 NATIONAL ELECTRICAL CODE	2015 INTERNATIONAL PROPERTY MAINTENANCE CODE	2015 INTERNATIONAL ENERGY CONSERVATION CODE	2015 INTERNATIONAL FUEL GAS CODE
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- CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA - TABLE R301.2 (1) AMENDED

ROOF SNOW LOAD	WIND	SEISMIC DESIGN CATEGORY ^{1,4}	SUBJECT TO DAMAGE FROM WEATHERING ⁵	PROT LINE DEPTH ⁶	TERMITE ⁷	DECAY ⁸	WINTER DESIGN TEMP. ¹	FLOOD HAZARDS ³
	SPEED ² (MPH)			12" BELOW FINAL GRADE	TO HEAVY	NONE TO SLIGHT		
0	115 EXPOSURE B	B	NEGIGLABLE				34 DEGREES	NFIP 040049

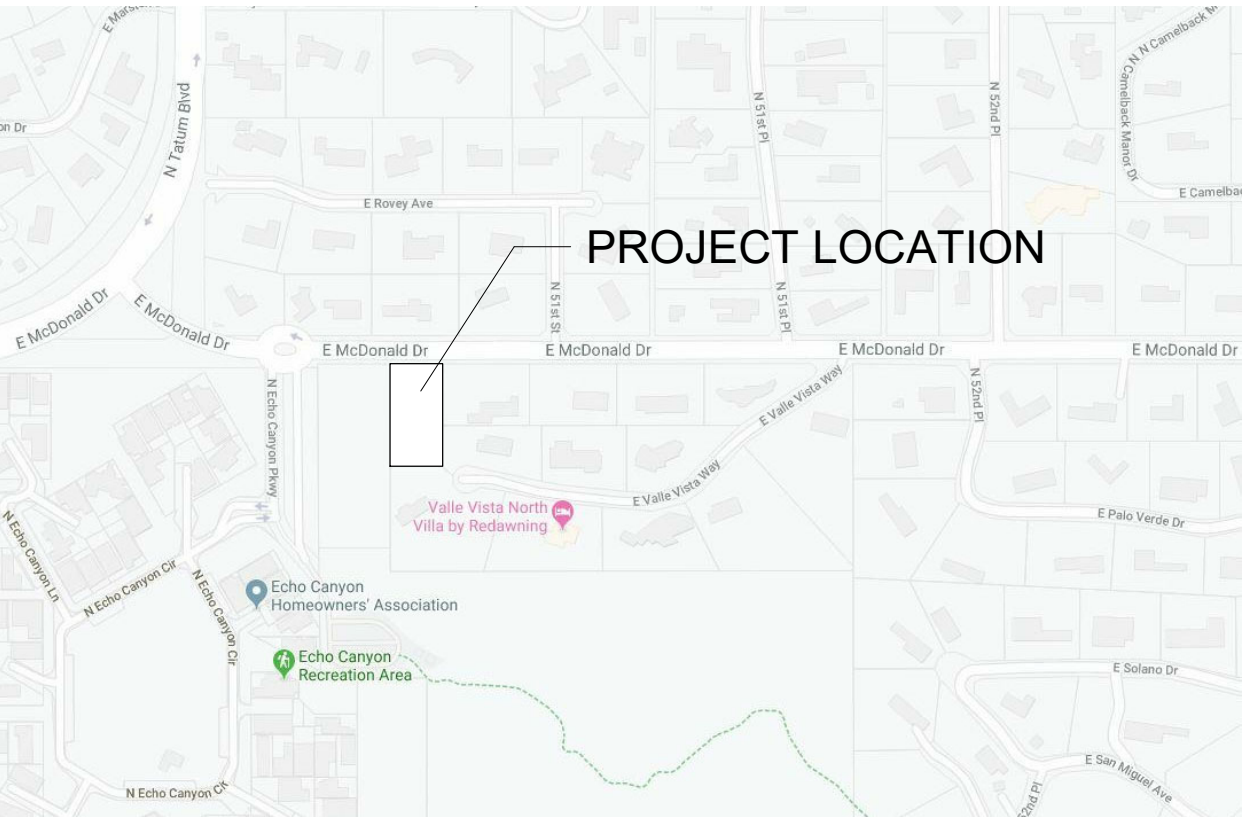
- DRAWINGS MAY NOT BE SCALED. ALL DIMENSIONS RELATED TO DETAILS NOT SPECIFICALLY SHOWN, SHALL BE OF THE SAME NATURE AS OTHER SIMILAR CONDITIONS. VERIFY ALL DIMENSIONS PRIOR TO STARTING WORK.
- THE CONTRACTOR SHALL NOTIFY BOWMAN DESIGN GROUP OF ANY DISCREPANCIES ON DRAWINGS. REQUIRING CLARIFICATION OR REVISIONS PRIOR TO COMMENCING WITH WORK.
- ALL CHIMNEYS SHALL HAVE APPROVED SPARK ARRESTORS.
- ANY ENGINEERING DESIGN PROVIDED BY OTHERS AND SUBMITTED FOR REVIEW, SHALL BEAR THE SEAL AND SIGNATURE OF AN ENGINEER REGISTERED IN ARIZONA.
- FINISH FLOOR ELEVATION (AS BUILT) SHALL BE CERTIFIED BY THE CITY FOR THE FEDERAL EMERGENCY MANAGEMENT ASSOCIATION WHERE REQUIRED.
- OPTIONS ARE FOR THE CONTRACTORS CONVENIENCE. THEY SHALL BE RESPONSIBLE FOR ALL CHANGES NECESSARY IF THEY CHOOSE AN OPTION AND SHALL COORDINATE ALL DETAILS. THE COST OF ADDITIONAL DESIGN WORK NECESSITATED BY SELECTION OF AN OPTION SHALL BE BORNE BY THE CONTRACTOR.
- THE COST OF ADDITIONAL DESIGN WORK DUE TO ERRORS OR OMISSIONS IN CONSTRUCTION SHALL BE INCURRED BY THE CONTRACTOR.
- DETAILS ON THE STRUCTURAL DRAWINGS ARE TYPICAL. VERIFY ALL DIMENSIONS WITH THE DESIGNER'S DRAWINGS. NO STRUCTURAL CHANGES FROM THE APPROVED PLANS SHALL BE MADE IN THE FIELD, UNLESS PRIOR TO MAKING CHANGES, WRITTEN APPROVAL IS OBTAINED FROM THE ENGINEER. IF CHANGES ARE MADE WITHOUT APPROVAL, SUCH CHANGES SHALL BE THE LEGAL AND FINANCIAL RESPONSIBILITY OF THE CONTRACTOR OR SUBCONTRACTOR INVOLVED AND IT SHALL BE THEIR RESPONSIBILITY TO REPLACE OR REPAIR PER ENGINEER.

SCOPE OF WORK

SCOPE OF WORK

THIS PROJECT IS AN EXISTING SINGLE STORY 4 BEDROOM PLUS STUDY, 2 AND A HALF BATHROOM, 2 CAR GARAGE RESIDENTIAL BUILDING THAT IS TO BE REMODELED WITH AN ADDITION TO BE A 3 BEDROOM PLUS STUDY, 3 BATHROOM, 4 CAR GARAGE RESIDENTIAL BUILDING.

VICINITY MAP



BOWMAN DESIGN GROUP

ARCHITECTURE | PLANNING | DESIGN

OWNER

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NET LOT AREA: 1.01 ACRES = 43,573 SF
ALLOWABLE F.A.R. (25%) 10,893 SF
PROPOSED LOT COVERAGE: 8,488 SF
TOTAL FLOOR AREA RATIO: 19.4%

SHEET INDEX

A0.1 COVER SHEET
GD100 GRADING AND DRAINAGE PLAN
L1 LANDSCAPE PLAN
L2 LANDSCAPE PLAN

A0.2 LAND SURVEY
A0.3 PROPERTY PHOTOS
A0.4 PROPERTY RENDERINGS
A0.5 SITE CROSS SECTIONS
A0.6 MATERIAL BOARD
A1.1 ARCH. SITE PLAN
A1.1a ARCH. SITE PLAN
A1.1b ARCH. SITE PLAN
A1.1c LIGHTING PLAN

A1.1d HILLSIDE APPROVAL - EXHIBIT
A1.2 OPEN SPACE DIAGRAM
A1.3 OPEN SPACE SECTIONS
A2.1 FLOOR PLAN
A2.2 GUEST HOUSE
A3.1 REFLECTED CEILING PLAN
A4.1 ROOF PLAN
A5.1 BUILDING SECTIONS
A6.1 EXTERIOR ELEVATIONS
A8.1 DOOR & WINDOW SCHEDULE
A9.1 DOOR & WINDOW DETAILS
E2.1 ELECTRIC PLAN

CAMELBACK ESTATE

COVER SHEET

Project number	19-12
Date	11/12/2020
Drawn by	DJB
Checked by	DJB

A0.1

Scale	12" = 1'-0"
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TOWN OF PARADISE VALLEY GENERAL NOTES:

- 1.PRIOR TO THE FIRST INSPECTION OF STRUCTURES WITHIN 3 FEET OF A SETBACK LINE, THE PROPERTY PINS SHALL BE PLACED BY A REGISTERED CIVIL ENGINEER OR LAND SURVEYOR OF THE STATE OF ARIZONA, AND THE PROPERTY LINE(S) IDENTIFIED.
- 2.WHERE EXCAVATION IS TO OCCUR THE TOP 4" OF EXCAVATED NATIVE SOIL SHALL REMAIN ON THE SITE AND SHALL BE REUSED IN A MANNER THAT TAKES ADVANTAGE OF THE NATURAL SOIL SEED BANK IT CONTAINS.
- 3.ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL MUNICIPALITY UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS.
- 4.THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL STATE, AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO THE CONSTRUCTION COVERED BY THIS PLAN.
- 5.THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
- 6.ALL EXTERIOR SITE LIGHTING SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS FOR TYPE, LOCATION, HEIGHT, WATTAGE, AND LUMEN BASED UPON THE FIXTURES INSTALLED PURSUANT TO SECTION 1023 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCE FOR NON-HILLSIDE PROPERTIES, SECTION 2208 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCE FOR HILLSIDE PROPERTIES, OR AS SPECIFIED IN THE SPECIAL USE PERMIT FOR SPECIAL USE PERMIT PROPERTIES.
- 7.A DUST CONTROL PLAN AND PERMIT MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
- 8.A SEPARATE RIGHT-OF-WAY PERMIT IS NECESSARY FOR ANY OFF-SITE CONSTRUCTION.
- 9.AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
- 10.EAVE PROJECTIONS INTO REQUIRED SETBACKS ARE LIMITED TO A MAXIMUM OF 24" PURSUANT TO SECTION 1008 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES.
- 11.ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
- 12.ALL NEW AND EXISTING ELECTRICAL SERVICE LINES SHALL BE BURIED PER THE TOWN OF PARADISE VALLEY REQUIREMENTS.
- 13.IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE TO ARRANGE FOR THE RELOCATION AND RELOCATION COSTS OF ALL UTILITIES, AND TO SUBMIT A UTILITY RELOCATION SCHEDULE PRIOR TO THE ISSUANCE OF AN ENGINEERING CONSTRUCTION PERMIT.
- 14.EXISTING AND/OR NEW UTILITY CABINETS AND PEDESTALS SHALL BE LOCATED A MINIMUM OF 4' BEHIND ULTIMATE BACK OF CURB LOCATION.
- 15.POOL, SPA, BARBECUE AND ANY PROPOSED STRUCTURES OVER 8" ABOVE GRADE REQUIRE SEPARATE PERMIT APPLICATIONS.
- 16.POOLS SHALL BE CONSTRUCTED BY SEPARATE PERMIT AND SECURED FROM UNWANTED ACCESS PER TOWN CODE, ARTICLE 5-2.
- 17.ALL FILL MATERIAL UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95%.
- 18.SETBACK CERTIFICATION IS REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO STEM WALL INSPECTION.
- 19.FOR BUILDING PADS THAT HAVE 1' OR MORE OF FILL MATERIAL, SOILS COMPACTION TEST RESULTS ARE REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO PRE-SLAB INSPECTION.
- 20.FINISHED FLOOR ELEVATION CERTIFICATION IS REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO FRAMING INSPECTION.
- 21.MAIL BOXES SHALL COMPLY WITH THE TOWN OF PARADISE VALLEY STANDARDS FOR MAIL BOXES IN THE RIGHT-OF-WAY FOR HEIGHT, WIDTH AND BREAK AWAY FEATURES.
- 22.ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE.
- 23.TRENCH BEDDING AND SHADING SHALL BE FREE OF ROCKS AND DEBRIS.
- 24.THE TOWN ONLY APPROVES THE SCOPE OF WORK AND NOT THE ENGINEERING DESIGN. ANY CONSTRUCTION QUANTITIES SHOWN ARE NOT VERIFIED BY THE TOWN.
- 25.THE APPROVAL OF THE PLANS IS VALID FOR 180 DAYS. IF A PERMIT FOR CONSTRUCTION HAS NOT BEEN ISSUED WITHIN 180 DAYS, THE PERMIT MUST BE RENEWED.
- 26.A TOWN INSPECTOR WILL INSPECT ALL WORK WITHIN THE TOWN'S RIGHTS-OF-WAY. NOTIFY TOWN INSPECTION SERVICES TO SCHEDULE A PRECONSTRUCTION MEETING PRIOR TO STARTING CONSTRUCTION.
- 27.WHENEVER EXCAVATION IS NECESSARY, CALL ARIZONA811 BY DIALING 811 OR 602-263-1100, TWO (2) WORKING DAYS BEFORE EXCAVATION BEGINS.
- 28.EXCAVATIONS SHALL COMPLY WITH REQUIREMENTS OF OSHA EXCAVATION STANDARDS (29 CFR, PART 1926, SUBPART P). UNDER NO CIRCUMSTANCES WILL THE CONTRACTORS BE ALLOWED TO WORK IN A TRENCH LOCATED WITHIN THE TOWN'S RIGHT-OF-WAY WITHOUT PROPER SHORING OR EXCAVATION METHODS.
- 29.PERMIT HOLDER SHALL POST A 6 SQUARE FOOT (2'X3') IDENTIFICATION SIGN, MADE OF DURABLE MATERIAL, IN THE FRONT YARD OF SUBJECT PROPERTY AND NOT IN THE TOWN'S RIGHT-OF-WAY. THE SIGN MAY NOT EXCEED A MAXIMUM OF 6 FEET IN HEIGHT FROM GRADE TO TOP OF THE SIGN. THE SIGN MUST INCLUDE THE PERMITTEE OR COMPANY NAME, PHONE NUMBER, TYPE OF WORK, ADDRESS OF PROJECT AND TOWN CONTACT NUMBER, 480-348-3556.
- 30.WHEN DEEMED NECESSARY, A 6-FOOT HIGH CHAIN LINK FENCE MUST BE INSTALLED AROUND THE CONSTRUCTION AREA TO PREVENT ANY POTENTIAL SAFETY HAZARD FOR THE PUBLIC. THE FENCE SHALL BE SETBACK AT LEAST 10 FEET FROM ALL RIGHTS-OF-WAY AND HAVE A 50-FOOT STREET CORNER SITE TRIANGLE WHERE APPLICABLE.
- 31.CLEAR ACCESS FOR NEIGHBORING PROPERTIES AND EMERGENCY VEHICLES MUST BE MAINTAINED AT ALL TIMES. CONSTRUCTION RELATED VEHICLES MUST BE LEGALLY PARKED ONLY ON ONE SIDE OF THE STREET OR JOB SITE PROPERTY.
- 32.ALL CONSTRUCTION DEBRIS AND EQUIPMENT MUST BE CONTAINED ON SITE AT ALL TIMES. CONTRACTOR AND PROPERTY OWNER MUST MAINTAIN THE JOB SITE FREE OF LITTER AND UNSIGHTLY MATERIALS AT ALL TIMES. CONSTRUCTION MATERIALS ARE PROHIBITED IN THE TOWN'S RIGHT-OF-WAY.
- 33.CONSTRUCTION ACTIVITIES ARE PERMITTED BETWEEN THE HOURS OF 7 AM AND 5 PM MONDAY THROUGH CONSTRUCTION ACTIVITIES MAY START ONE (1) HOUR EARLIER DURING THE SUMMER (MAY 1ST THROUGH SEPTEMBER 30TH).
- 34.THE USE AND OPERATION OF FUEL-FIRED GENERATORS IS PROHIBITED UNLESS DUE TO A HARDSHIP. TOWN APPROVAL SHALL BE REQUIRED.
- 35.THE CONTRACTOR AND PROPERTY OWNER SHALL BE LIABLE FOR ANY DAMAGE DONE TO ANY PUBLIC PROPERTY AS A RESULT OF ANY CONSTRUCTION OR CONSTRUCTION RELATED ACTIVITIES. NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL AFFECTED RIGHTS-OF-WAY ARE CLEANED AND/OR REPAIRED TO THEIR ORIGINAL CONDITION AND UNTIL ANY AND ALL DAMAGES TO AFFECTED PROPERTIES ARE RESTORED TO ORIGINAL CONDITION.
- 36.A KEYED SWITCH SHALL BE REQUIRED ON ALL NEW AND EXISTING ELECTRIC ENTRY GATES. THE KEYED SWITCH SHALL BE INSTALLED IN A LOCATION THAT IS READILY VISIBLE AND ACCESSIBLE. KNOX BOX ORDER FORMS ARE AVAILABLE AT THE TOWN'S BUILDING SAFETY DEPARTMENT.
- 37.PROPERTY OWNER, BUILDER, OR GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR CONTROLLING DUST FROM THE SITE AT ALL TIMES. ALL MEANS NECESSARY SHALL BE USED BY THE BUILDER OR GENERAL CONTRACTOR TO CONTROL THE EXISTENCE OF DUST CAUSED BY ANY EARTHWORK, SPRAY APPLICATION OF MATERIALS, OR OTHER.
- 38.DUST-CAUSING PRACTICES REQUIRED BY THE CONSTRUCTION PROCESS.
- 39.APPROVAL OF THESE PLANS ARE FOR PERMIT PURPOSES ONLY AND SHALL NOT PREVENT THE TOWN FROM REQUIRING CORRECTION OF ERRORS IN THE PLANS WHERE SUCH ERRORS ARE SUBSEQUENTLY FOUND TO BE IN VIOLATION OF ANY LAW, ORDINANCE, HEALTH, SAFETY, OR OTHER DESIGN ISSUES.
- 40.ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTION DITCHES, PIPES PROTECTIVE BERMS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT PROPOSED AND EXISTING IMPROVEMENTS FROM RUNOFF OR DAMAGE FROM STORM WATER, MUST BE CONSTRUCTED PRIOR TO THE CONSTRUCTION OF ANY IMPROVEMENTS.

SITE PLAN INFORMATION - PROPOSED BUILDING:

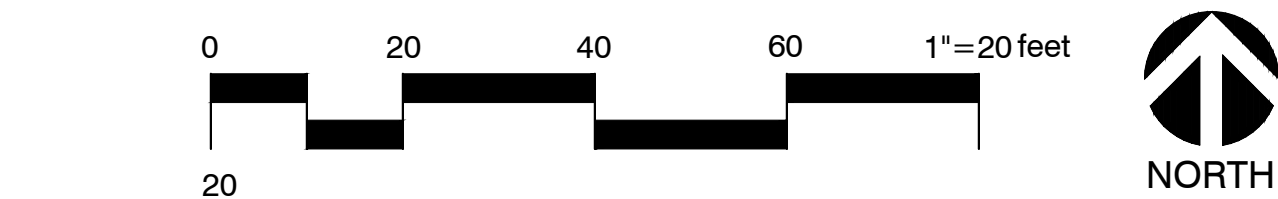
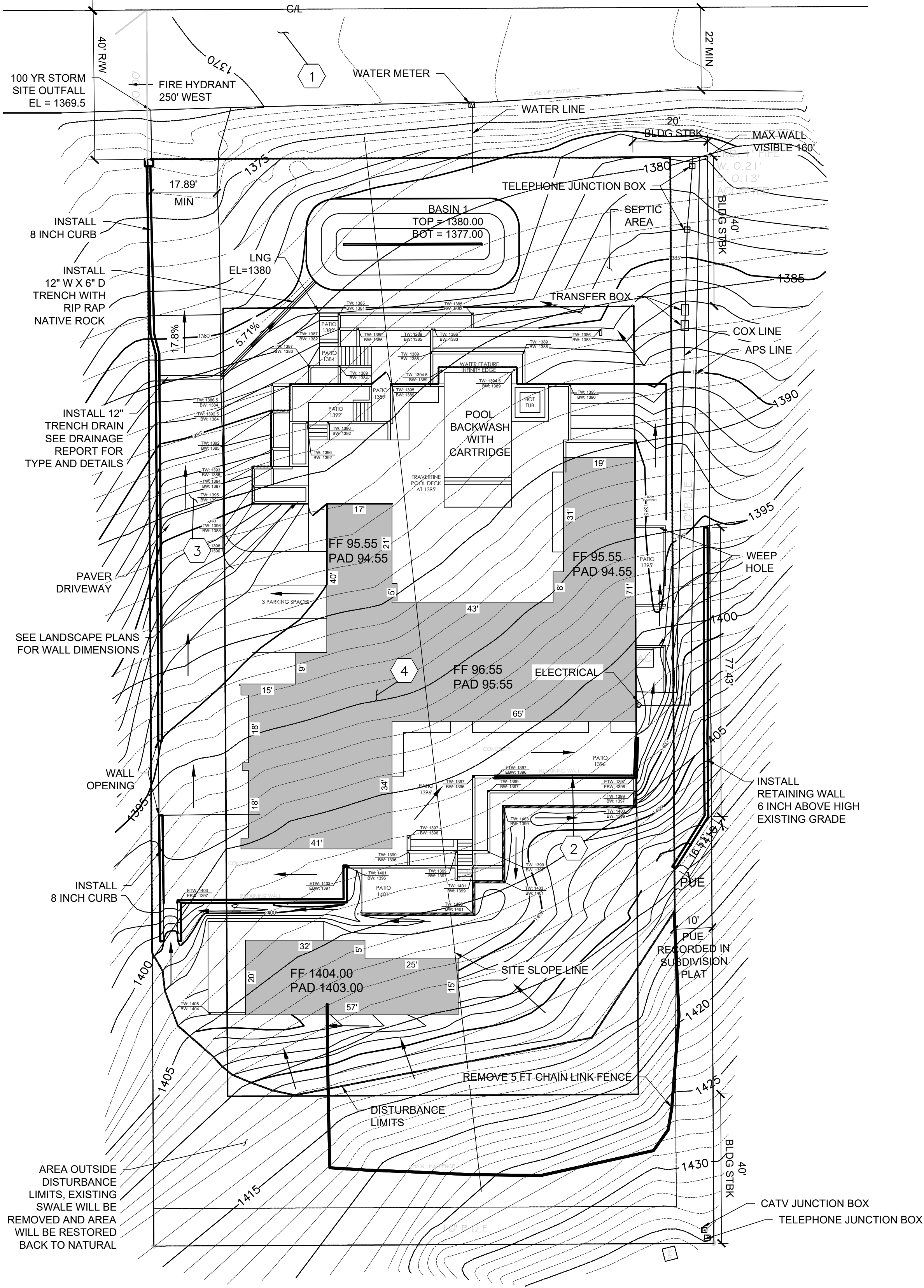
NET AREA OF LOT: 43,573 SQ. FT. 1.01 AC TOTAL UNDER ROOF: 8,488 SF
FLOOR AREA RATIO: 19.4% (TOTAL FLOOR AREA/NET AREA OF LOT)
BUILDING SITE SLOPE: 13.74%
A. VERTICAL: 40 FT
B. HORIZONTAL: 291 FT
ALLOWABLE DISTURBED PERCENTAGE: 38.21%
ALLOWABLE DISTURBED AREA: 16,649 SF
GROSS DISTURBED AREA: 37,596 SF
TOTAL LIVABLE FOOTPRINT MAIN HOUSE: 5,485 SF - CREDIT AREA: 3,669 SF
TOTAL LIVABLE FOOTPRINT GUEST HOUSE: 1,015 SF
ATTACHED GARAGE FOOTPRINT: 1,062 SF - CREDIT AREA: 1,062 SF
RETENTION BASIN CREDIT @ 50%: 1,336 SF - CREDIT AREA: 668 SF
RESTORED AREAS: 8,756 SF - CREDIT AREA: 8,756 SF
NET PROPOSED DISTURBED AREA: 23,441 SF (53.8%)

PERCENT OF LOT STEEPER THAN NATURAL GRADE (5% MAX): 3%
VOLUME OF CUT: 863 C.Y. VOLUME OF FILL: 863 C.Y.
HILLSIDE ASSURANCE @ \$35/CUBIC YARD OF CUT + FILL: \$60,410

DRIVEWAY:
AREA: 4,258 SF
MATERIAL: PAVERS

HILLSIDE GRADING AND DRAINAGE PLAN

5001 E MCDONALD DRIVE
PARADISE VALLEY, ARIZONA, 85253



AS BUILT CERTIFICATION

REVISED:
REVISED:
REVISED:

BY MY DATED SIGNATURE BELOW, I REAFFIRM MY DECLARATION ON THE FIRST SHEET (COVER SHEET) OF THESE AS BUILT DRAWINGS, AS RELATES SPECIFICALLY TO THE CONTENTS OF THIS SHEET. MY RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION HEREON IS LIMITED AS SET FORTH IN THOSE DECLARATIONS.

SIGNATURE AND DATE:

OWNER:

JOHN MITCHELL
5001 E MCDONALD DRIVE
PARADISE VALLEY, AZ 85253
480.760.5727
JUMITCHELL02@YAHOO.COM
CONTACT: JOHN MITCHELL

CIVIL ENGINEER:

WERK URBAN DESIGN
51 W 3RD ST, SUITE 450
TEMPE, AZ 85281
480.200.7187
NEIL@WERKURBANDESIGN.COM
CONTACT: NEIL HUCKLA

PARCEL DATA:

ADDRESS: 5001 E MCDONALD DR
APN: 172-04-009
ZONING: R-43
AREA: 43,573 SF (1.00 ACRES)
CONSTRUCTION YEAR: 1963

CUT/FILL QUANTITIES:

NOTE: FOR ESTIMATING PURPOSES ONLY; ENGINEER MAKES NO WARRANTY OF ACCURACY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE EXACT QUANTITIES BASED ON THE PLANS. QUANTITIES DO NOT INCLUDE ANY TOPSOIL REMOVAL; ANY SHRINKAGE OR EXPANSION/SWELLING OF THE SOIL; OR WETHER SOIL CAN BE REUSED ON-SITE. ASSUMED 4" CONCRETE SLAB AND 4" ABC ARE NOT INCLUDED IN VOLUME QUANTITIES.

CUT: 713 CY
FILL: 713 CY
NET: 0 CY FILL

LEGAL DESCRIPTION:

LOT 6, OF MIRADOR, ACCORDING TO THE PLAT RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 67 OF MAPS, PAGE 15.

BUILDING SETBACKS:

FRONT: 40 FT
REAR: 40 FT
SIDE: 20 FT

BASIS OF BEARING:

THE MONUMENT LINE OF MCDONALD DRIVE, USING A BEARING OF SOUTH 89 DEGREES 43 MINUTES 30 SECONDS WEST, PER THE PLAT OF MIRADOR, RECORDED IN BOOK 67, PAGE 15, M.C.R.

BENCHMARK:

BRASS CAP IN HANDHOLE FOUND AT THE NORTHWEST CORNER OF SECTION 17, TOWNSHIP 2N, RANGE 4E.
ELEVATION = 1337.90 (NAV 88 DATUM)

SURVEY:

FIELD SURVEY CONDUCTED BY KDM SURVEYING, LLC ON 07-18-19

DRAINAGE CALCULATIONS:

PRE V POST
 $V = C \cdot (P/12)^A$
 $V_{pre} = 0.85 \cdot (2.21/12)^{43.573} = 6.821$ CUBIC FT
 $V_{post} = 0.95 \cdot (2.21/12)^{17.435+0.85 \cdot (2.21/12)^{26.138}} = 7.142$ CUBIC FT

FIRST FLUSH
 $V_f = (P/12)^A$
 $V_f = (0.5/12)^{43.573} = 1.816$ CUBIC FT

RETENTION PROVIDED:
 $V_p = (1.336+15)^{2/3} = 2.026$ CUBIC FT

ENGINEER'S CERTIFICATION:

THE FINISHED FLOOR ELEVATIONS OF 1395.55 AND 1396.55 ON THIS PLAN ARE CERTIFIED TO BE 12" ABOVE THE 100-YEAR STORM OUTFALL ELEVATION OF 1369.50, ACCORDING TO SECTION 1024, PARAGRAPH V OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCE.

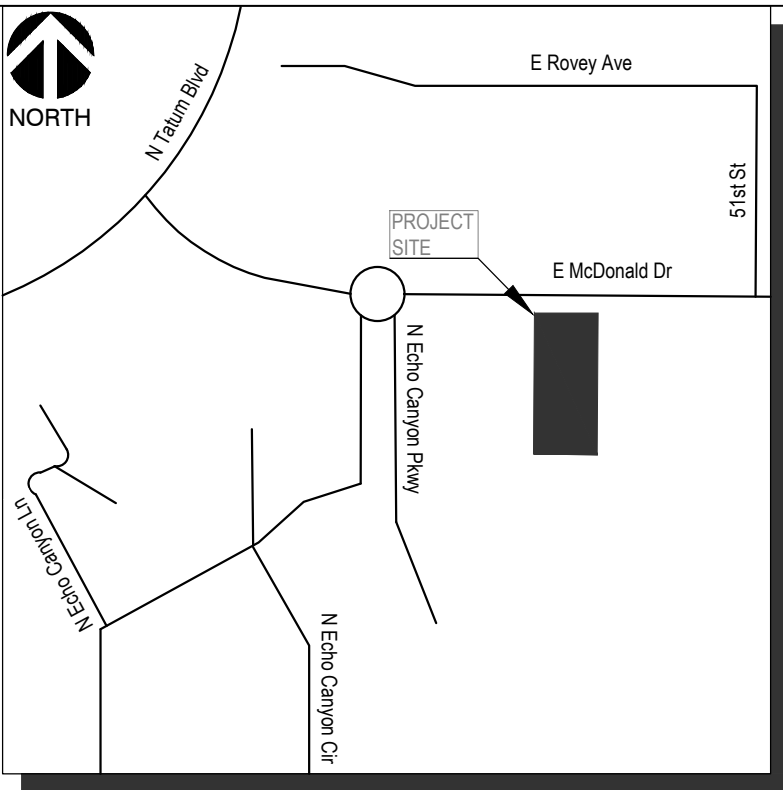
REGISTERED ENGINEER

1-5-2021
DATE

57431
REGISTRATION NUMBER

FLOOD INSURANCE RATE MAP (FIRM) INFORMATION				
COMMUNITY NUMBER	PANEL NUMBER	DATED	ZONE	
040049	1765L	10-16-13	X	

THIS SET OF PLANS HAS BEEN REVIEWED FOR COMPLIANCE WITH TOWN OF PARADISE VALLEY REQUIREMENTS PRIOR TO ISSUANCE OF PERMIT. THE TOWN NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. THIS COMPLIANCE APPROVAL SHALL NOT PREVENT THE TOWN ENGINEER FROM REQUIRING CORRECTIONS OF ERRORS OR OMISSIONS IN THE PLANS TO BE FOUND IN VIOLATION OF LAWS AND ORDINANCES.



VICINITY MAP

CITY OF PARADISE VALLEY
N.T.S.

SITE KEY NOTES:

- EXISTING PAVED ROAD
- EXISTING RETAINING WALL
- EXISTING ASPHALT PAVEMENT TO BE REMOVED
- NEW RESIDENCE

LEGEND:

ETW - EXISTING TOP OF WALL
EBW - EXISTING BOTTOM OF WALL
TW - TOP OF WALL
BW - BOTTOM OF WALL

UTILITY PROVIDERS:

- WATER - EPCOR
- SANITARY SEWER - SEPTIC
- ELECTRIC - APS
- TELEPHONE - COX COMMUNICATIONS
- NATURAL GAS - SOUTHWEST GAS
- CABLE TV - COX COMMUNICATIONS

DRAINAGE STATEMENT:

- ULTIMATE STORM WATER OUTFALL LOCATIONS AND ELEVATIONS SHOWN ON DRAWING
- PROPOSED DEVELOPMENT DOES NOT IMPACT DRAINAGE CONDITIONS OF ADJOINING LOTS
- RETENTION IS PROVIDED FOR THE 100-YEAR, 2-HOUR STORM EVENT PER THE STORM WATER DRAINAGE DESIGN MANUAL
- THE LOWEST FINISH FLOOR ELEVATION OF 1395.55 IS SAFE FROM INUNDATION DURING A 100-YEAR PEAK RUN-OFF EVENT IF CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS.

HILLSIDE NOTES:

- NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL ALL HILLSIDE STIPULATIONS AND ALL TOWN CODE REQUIREMENTS ARE COMPLIED INCLUDING, BUT NOT LIMITED TO LANDSCAPING, GROUND RESTORATION, FIRE FLOW, FIRE SAFETY AND ALL ONSITE AND OFFSITE IMPROVEMENTS.
- ALL OUTDOOR LIGHTING SHALL BE IN CONFORMANCE WITH ARTICLE XXII OF THE TOWN ZONING ORDINANCE.
- ALL EXCESS FILL MATERIAL SHALL BE REMOVED FROM THE SITE WITH NO NEW SPILL SLOPES.
- THE USE OF HYDRAULIC RAM HAMMERS AND HEAVY EQUIPMENT USED TO CUT THROUGH ROCK, INCLUDING MACHINERY WITH AUDIBLE BACK UP WARNING DEVICES SHALL BE LIMITED TO USE BETWEEN THE HOURS OF 7:00 AM OR SUNRISE, WHICHEVER IS LATER, AND 6:00 PM OR SUNSET, WHICHEVER IS EARLIER, MONDAY THROUGH FRIDAY, WITH LIMITED WORK ON SATURDAY AND NO WORK ON SUNDAY OR LEGAL HOLIDAYS.
- CONSTRUCTIONS STAKING AND/OR FENCING SHALL BE PLACED AROUND THE CONSTRUCTION SITE SO AS TO PROTECT THE UNDISTURBED NATURAL AREAS.
- REQUIRE LIMITED AND EFFICIENT USE OF EXTERIOR LIGHTING TO MAINTAIN MINIMAL NIGHT-TIME LIGHTING LEVELS AND PRESERVATION OF THE DARK SKY.

NATIVE PLANTS STATEMENT:

ALL NATIVE PLANTS IMPACTED BY CONSTRUCTION SHALL BE RELOCATED ON SITE.

HILLSIDE GRADING AND DRAINAGE PLAN

5001 E MCDONALD DR
PARADISE VALLEY, AZ 85253
PREPARED FOR
BOWMAN DESIGN
PARADISE VALLEY
ARIZONA

PROJECT No:
19020

SCALE (H): 1" = 20'
SCALE (V): NONE
DRAWN BY: HS
DESIGN BY: NH
CHECK BY: NH
DATE: 10/22/2020



1902000 SPR (SH) GND
GD100
1 OF 1 SHEETS

- 1 PAVERS - TRAVERTINE - MSI SURFACES - SILVER TRAVERTINE
SEE DETAIL 1 & MATERIALS BOARD FOR ADDITIONAL INFO
- 2 STEEL 'FIN' POOL FENCE - RAW STEEL - NATURAL RUST PATINA FINISH
SEE DETAIL 2 & MATERIALS BOARD FOR ADDITIONAL INFO
- 3 RETAINING WALL - 8" X 8" X 16" CMU BLOCK - SW NORTHEAST HGSW1444
SEE DETAIL 3 & MATERIALS BOARD FOR ADDITIONAL INFO
- 4 SEAT BENCH - FINE SAND STUCCO FINISH - SW NORTHEAST HGSW1444
SEE DETAIL 4 & MATERIALS BOARD FOR ADDITIONAL INFO
- 5 CONCRETE STAIRS
SEE DETAIL 5 & MATERIALS BOARD FOR ADDITIONAL INFO

— TW: TOP OF RETAINING WALL ELEVATION

Diagram illustrating the cross-section of a concrete curb and paver assembly. The assembly consists of the following layers (from top to bottom):

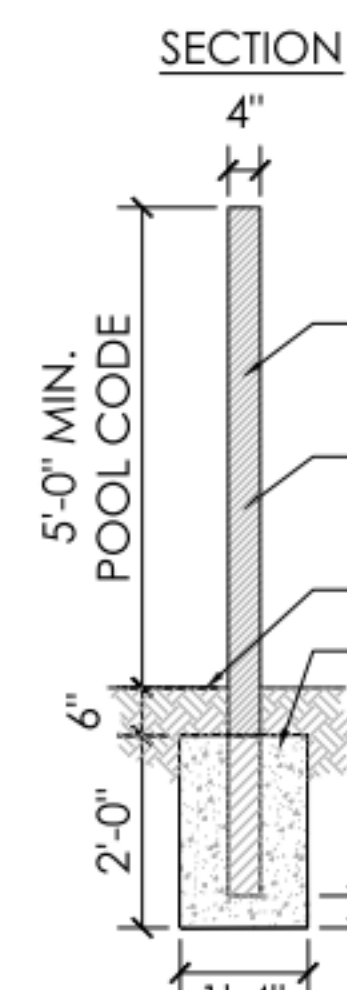
- ADJACENT LANDSCAPE AREA
- CAST IN PLACE CONCRETE CURB WITH POLYMER OR MORTAR ADHERED PAVER ON TOP (PROVIDE MIN 1" OVERHANG ON EACH SIDE)
- GEOTEXTILE, TURN UP AT EDGES
- TRAVERTINE PAVERS 2 3/8" (60MM)
- JOINTING SAND, CONFORMS TO ASTM C144
- 1" THICK BEDDING LAYER, CONFORMS TO ASTM C33 WITH <1% PASSING 0.080 MM
- COMPACTED 4" MINIMUM THICK AGGREGATE BASE. ASPHALT OR CEMENT TREATMENT CAN BE USED OVER WEAK OR SATURATED SUBGRADE SOILS
- COMPACTED SUBGRADE ACCORDING TO RECOMMENDATIONS IN GEOTECHNICAL REPORT

Dimensions shown: 4" MIN. (height of curb), 4" MIN. (width of curb base).

- 1 PAVERS - TRAVERTINE - 3 PIECE BLEND - MSI SURFACES - SILVER TRAVERTINE
SCALE: 1" = 1' - 0"

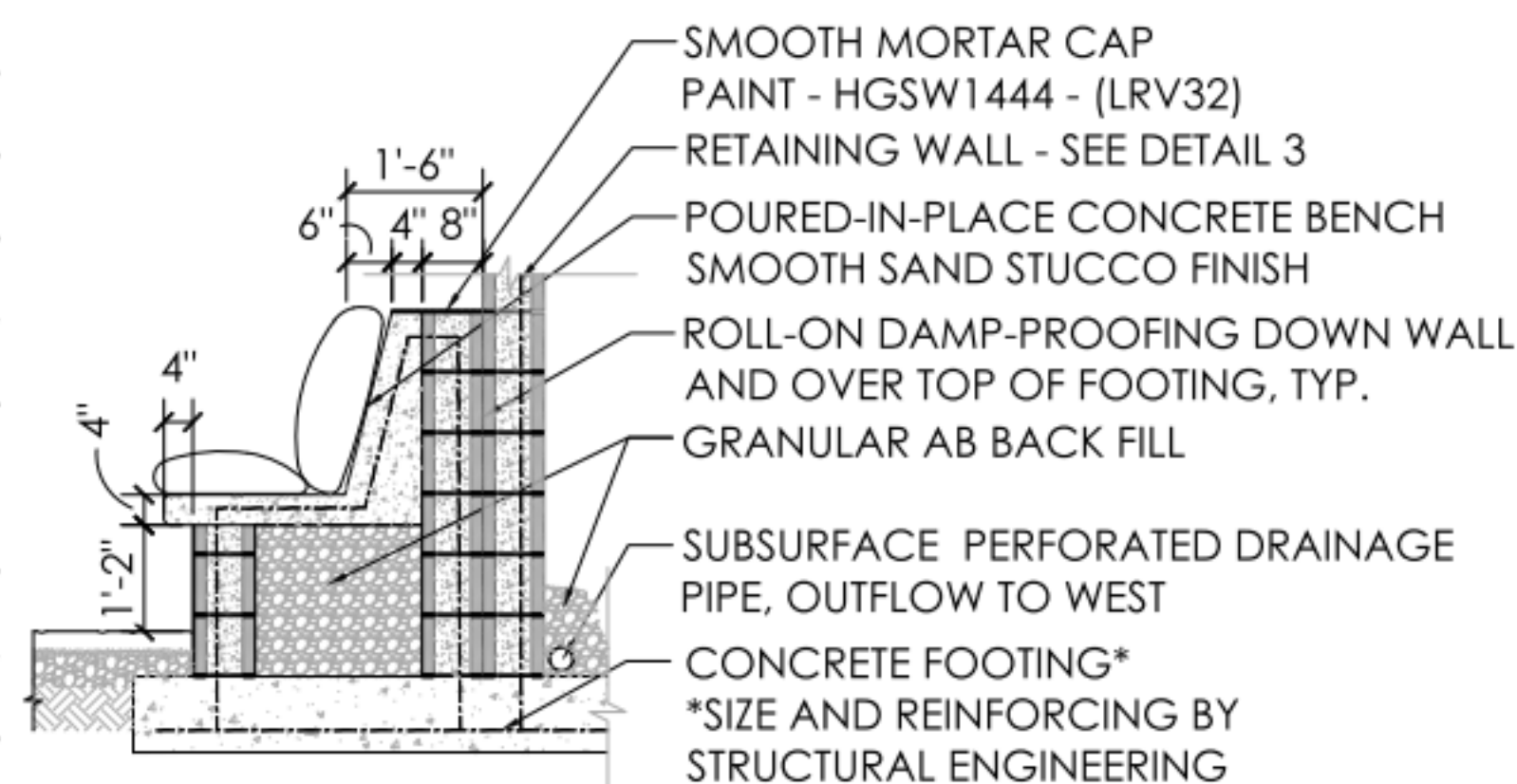


- 2 STEEL 'FIN' POOL FENCE - RAW STEEL
SCALE: $\frac{1}{2}" = 1' - 0"$

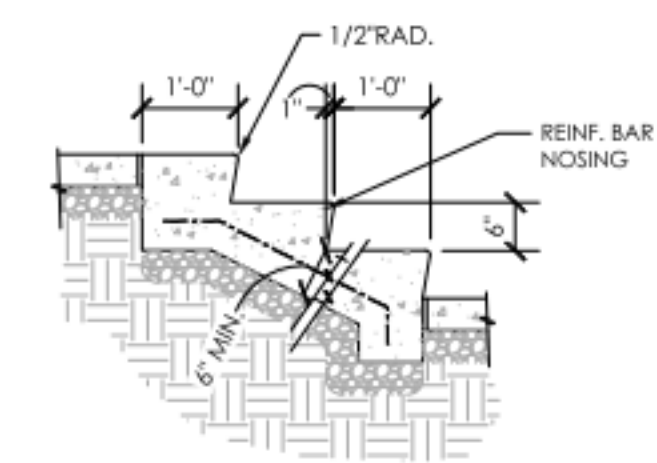


-
- Diagram illustrating the cross-section of a wall assembly, showing the following components from top to bottom:
- SMOOTH MORTAR CAP
 - 8" x 8" x 16" CMU
 - SAND STUCCO FINISH
 - PAINT - HGSW1444 - (LRV32)
 - STEEL REINFORCING PER STRUCTURAL ENGINEERING
 - ROLL-ON DAMP-PROOFING DOWN WALL AND OVER TOP OF FOOTING, TYP.
 - GRANULAR BACK FILL WRAPPED IN DRAINAGE FABRIC
 - OPEN HEAD JOINT AT 32" O.C. OR 2" DIAMETER DRAIN AT 48" O.C.
 - CONCRETE FOOTING*
- *SIZE AND REINFORCING BY STRUCTURAL ENGINEERING
- VARIES SEE PLAN FOR WALL HEIGHTS
- 8"

- 3 RETAINING WALL - 8" X 8" X 16" CMU BLOCK
SCALE: $\frac{1}{2}" = 1' - 0"$



- 4 SEAT BENCH
SCALE: $\frac{1}{2}$ " = 1' - 0"



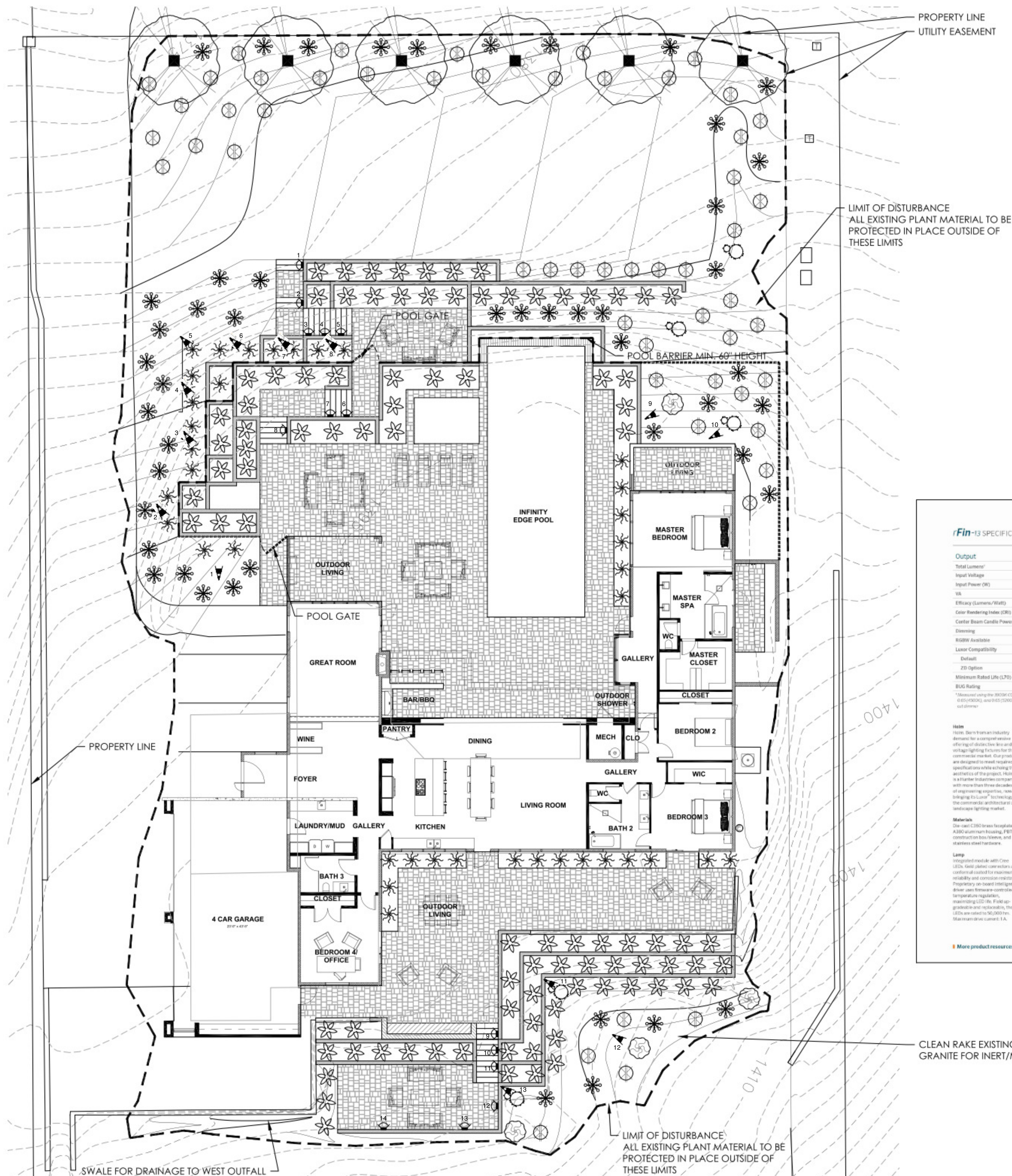
- 5 CONCRETE STAIRS
SCALE: $\frac{1}{2}$ " = 1' - 0"

CAMELBACK
ESTATE
LANDSCAPE PLAN

Project number 19-12
Date 4/08/2020
Drawn by JM
Checked by JM

L2

Scale 1" = 10' - 0"



PLANT LEGEND

TREES	BOTANICAL / COMMON NAME	SIZE / CALIPER	QTY
	PROSOPIS GLANDULOSA HONEY MESQUITE	48" BOX/3" CAL	6
SHRUBS & ACCENTS			
	AGAVE AMERICANA CENTURY PLANT	15 GAL.	92
	CARNEGIEA GIGANTEA SAGUARO	SMALL TRANSPLANT	5
	NOLINA MICROCARPA BEARGRASS	5 GAL.	54
	STENOCHLOA MARGINATUS MEXICAN FENCE POST	15 GAL.	38
	YUCCA ELATA SOAPTREE YUCCA	15 GAL.	4
GROUND COVER			
	DALEA GREGGII TRAILING SMOKE BUSH	5 GAL.	48

LIGHTING LEGEND

		QTY
WALL DOWN-LIGHT - 11 LUMENS - 3000K HOLM - RFIN-13 - FLAT WHITE FINISH		14
TREE & WALL UP-LIGHT - 62 LUMENS - 3000K HOLM - DAXIS-4 - BRONZE METALLIC FINISH ALL TREE UP-LIGHTS TO POINT AT PLANTINGS, NOT WALLS, PER HILLSIDE BUILDING COMMITTEE APPROVAL		13

rFin-13 SPECIFICATIONS

Output	1LED
Total Lumens*	11
Input Voltage	10 to 15V
Input Power (W)	2.0
VA	2.4
Efficiency (Lumens/Watt)	5
Color Rendering Index (CRI)	80
Center Beam Candle Power*	20
Dimming	PWM, Phase**
RGBW Available	No
Laser Compatibility	No
Default	Zooming
ZD Option	Zooming/Dimming
Minimum Rated Life (L70)	50,000 hrs
BUG Rating	B0 - 0.1 G0

*Measured using the 9000K CCT lens. Multipliers for other CCT's include 0.80 (2700K), 0.85 (3000K), and 0.85 (3500K). **For optimal performance, use trailing edge phase dimmer.

Helm

Helm, from an industry demand for a comprehensive offering of distinctive low and low voltage lighting fixtures for the commercial market. Our products are designed to meet required specifications while achieving the aesthetics of the project. Helm is a fixture that combines the best of engineering expertise, new technology, and a commitment to the commercial architectural and landscape lighting market.

Optics

Polycarbonate color temperature adjustable lenses included with feature 2700K (green/white), 3000K (blue/white), 4000K (blue/white), and 5000K (blue/white) options. Color temperature is adjustable via the lens.

Socket

Socket contains Monoblock™ technology, preventing moisture from entering up into sealed area of the fixture.

Wiring

10 AWG SPT-1W 102° C 3.0 meter length.

Power

Input 10-15VDC/VDC 50/60Hz. Remote transformer required (specify separately).

Housing

Die-cast aluminum housing with respect for the LED integrated LEDs.

Faceplate

Die-cast brass faceplate with textured glass lens.

Weight

2.0 lbs.

IES Classification

Type IV

More product resources available at holmlighting.com

dAxis-4 SPECIFICATIONS

Output	1LED
Total Lumens*	62
Input Voltage	10 to 15V
Input Power (W)	2.0
VA	2.4
Efficiency (Lumens/Watt)	35
Color Rendering Index (CRI)	80
Center Beam Candle Power*	20
Dimming	PWM, Phase**
RGBW Available	No
Laser Compatibility	No
Default	Zooming
ZD Option	Zooming/Dimming
ZD Option	Zooming/Dimming
Minimum Rated Life (L70)	50,000

*Measured using the 3000K CCT lens. Multipliers for other CCT's include 0.80 (2700K), 0.85 (3000K), and 0.85 (3500K). **For optimal performance, use trailing edge phase dimmer.

Helm

Helm, from an industry demand for a comprehensive offering of distinctive low and low voltage lighting fixtures for the commercial market. Our products are designed to meet required specifications while achieving the aesthetics of the project. Helm is a fixture that combines the best of engineering expertise, new technology, and a commitment to the commercial architectural and landscape lighting market.

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Power

Input 10-15VDC/VDC 50/60Hz. Remote transformer required (specify separately).

Housing

Die-cast aluminum housing with respect for the LED integrated LEDs.

Faceplate

Die-cast brass faceplate with textured glass lens.

Weight

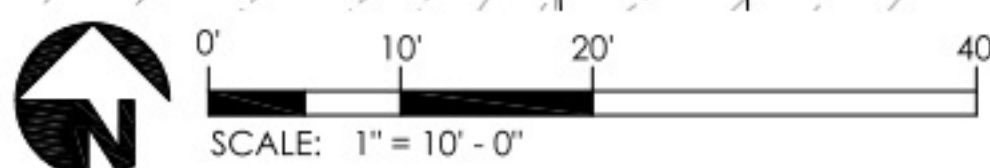
1.2 lbs.

IES Classification

Type IV

More product resources available at holmlighting.com

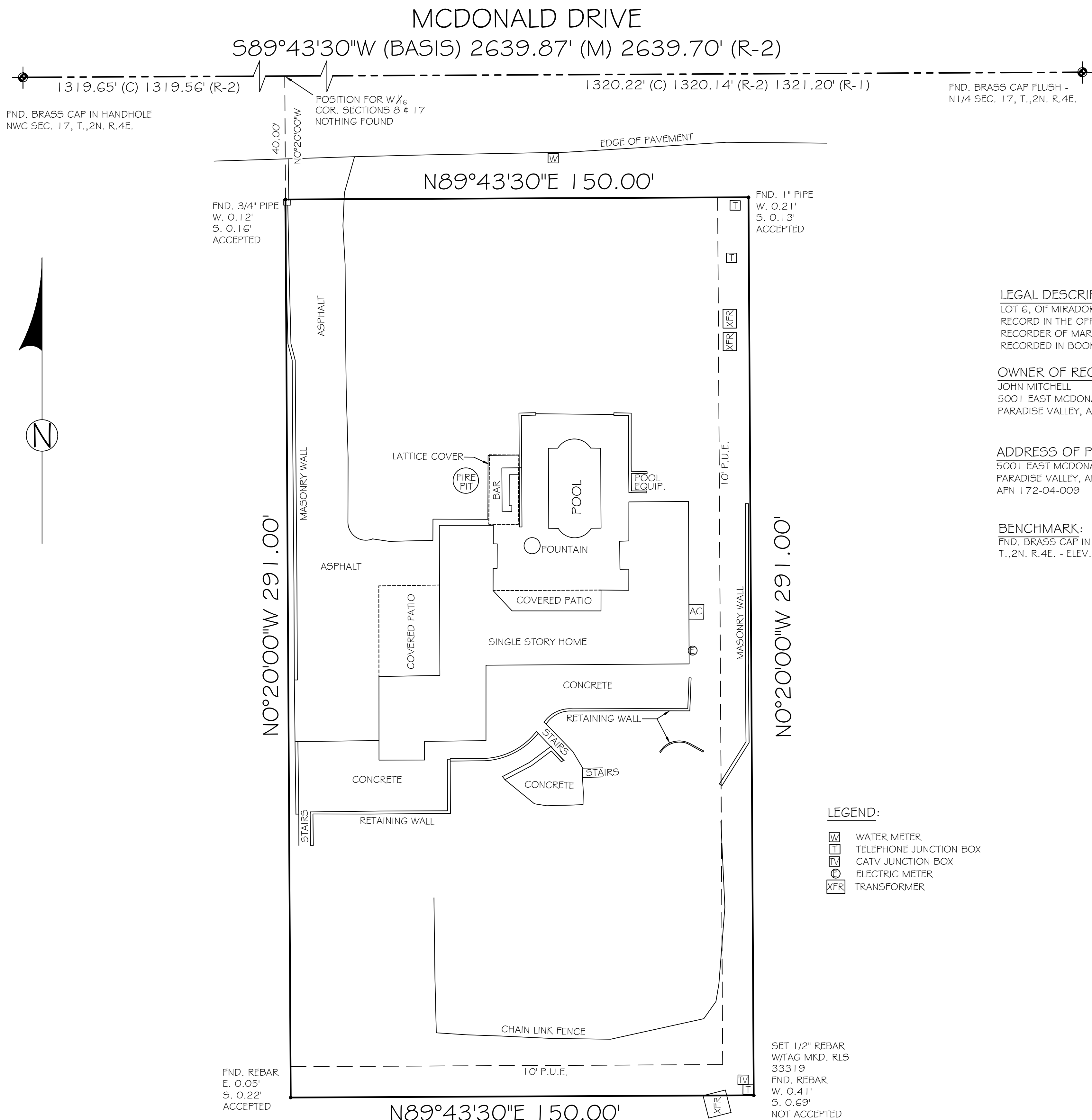
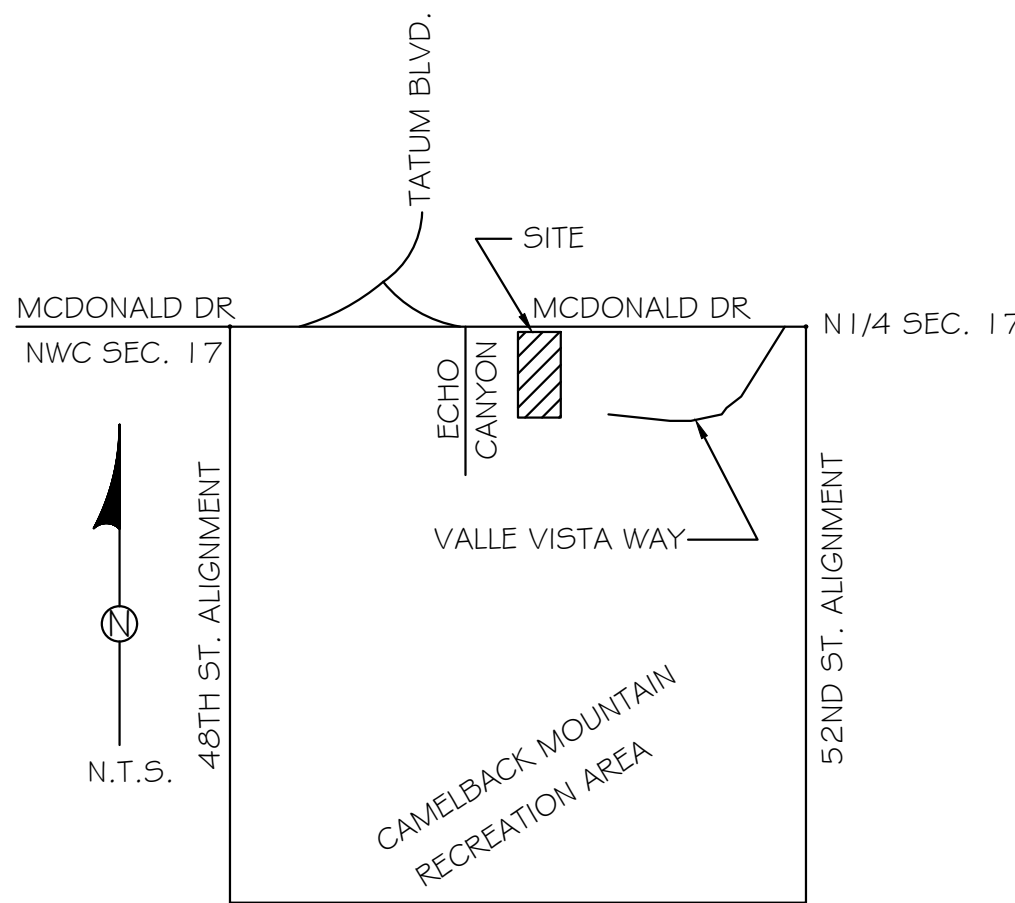
CLEAN RAKE EXISTING DECOMPOSED
GRANITE FOR INERT/MULCH ON SITE



L2 - LANDSCAPE PLAN - PLANTING & LIGHTING

SCALE: 1" = 10' - 0"

RESULTS OF SURVEY
OF
A PORTION OF THE NW¼ OF SECTION 17, T.2N., R.4E., G. & S. R. M.,
MARICOPA COUNTY, ARIZONA



LEGAL DESCRIPTION:
LOT 6, OF MIRADOR, ACCORDING TO THE PLAT OF
RECORD IN THE OFFICE OF THE COUNTY
RECORDER OF MARICOPA COUNTY, ARIZONA,
RECORDED IN BOOK 67 OF MAPS, PAGE 15.

OWNER OF RECORD:
JOHN MITCHELL
5001 EAST McDONALD DR.
PARADISE VALLEY, ARIZONA 85253

ADDRESS OF PROPERTY:
5001 EAST McDONALD DR.
PARADISE VALLEY, ARIZONA 85253
APN 172-04-009

BENCHMARK:
FND. BRASS CAP IN HANDHOLD NWC SEC. 17,
T.,2N. R.4E. - ELEV. 1337.901' NAVD 88

LEGEND:
W WATER METER
T TELEPHONE JUNCTION BOX
TV CATV JUNCTION BOX
E ELECTRIC METER
XFR TRANSFORMER

SET 1/2" REBAR
W/TAG MKD. RL5
33319
FND. REBAR
W. 0.41'
S. 0.69'
NOT ACCEPTED

NOTES

1. THIS SURVEY WAS PERFORMED IN THE FIELD DURING THE MONTH OF JULY, 2019.
3. ALL VISIBLE SURFACE UTILITIES WERE LOCATED, NO UNDERGROUND UTILITIES ARE SHOWN.
4. SURVEY PLATTED HEREON DOES NOT PURPORT TO VERIFY OWNERSHIP.
5. EXCEPT AS NOTED, SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE REPORT MAY DISCLOSE.
6. DECLARATION IS MADE TO ORIGINAL PURCHASER ONLY. SURVEY IS NOT TRANSFERABLE TO SUBSEQUENT OWNERS OR ADDITIONAL INSTITUTIONS WITHOUT WRITTEN PERMISSION OF THE SURVEYOR.
7. SURVEY IS VALID ONLY IF PRINT BEARS ORIGINAL SEAL AND SIGNATURE OF SURVEYOR.
8. CONDITIONS SHOWN ARE THOSE THAT EXISTED AT THE TIME OF SURVEY.
9. RECORD BOUNDARY AND EASEMENT INFORMATION TAKEN FROM THE FOLLOWING:
R-1 "MIRADOR", BOOK 67 OF MAPS, PAGE 11.
R-2 "FINAL PLAT FOR HF SURPRISE ESTATES", BOOK 1251 OF MAPS, PAGE 48.

SURVEYORS STATEMENT

I, KENT DAVID MILLER, A PROFESSIONAL LAND SURVEYOR, REGISTERED IN THE STATE OF ARIZONA, STATE THAT THIS PLAT AND THE SURVEY UPON WHICH IT IS BASED, WAS COMPLETED UNDER MY DIRECT SUPERVISION DURING THE MONTH OF JULY, 2019, AND THAT ALL MONUMENTS FOUND OR SET ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND ARE SUFFICIENT TO ALLOW THE SURVEY TO BE RETRACED.

	KENT D. MILLER, R.L.S.	file no.
	12431 NORTH 65TH STREET	echocanyon_ros_01
	SCOTTSDALE, ARIZONA 85254	
	(480) 231-4492 FAX (480) 998-0138	drawn by
	kdm	KDM
	checked by	KDM
		APRIL 17, 2020

SCALE 1" = 20'
0 10' 20' 30' 40'



(1) EXISTING NORTHEAST CORNER OF HOUSE



(2) EXISTING NORTH SIDE OF HOUSE WITH POOL



(3) EXISTING NORTHWEST CORNER OF HOUSE



(4) EXISTING WEST SIDE OF THE HOUSE GARAGE AND COVERED ENTRY



(5) EXISTING SOUTH SIDE OF THE HOUSE GARAGE AND OFFICE



(6) EXISTING SOUTHEAST CORNER THE HOUSE UP THE HILL ON CORNER LOT



(7) EXISTING BACK SIDE OF THE HOUSE SHOWING 2" RETAINING SITE WALLS

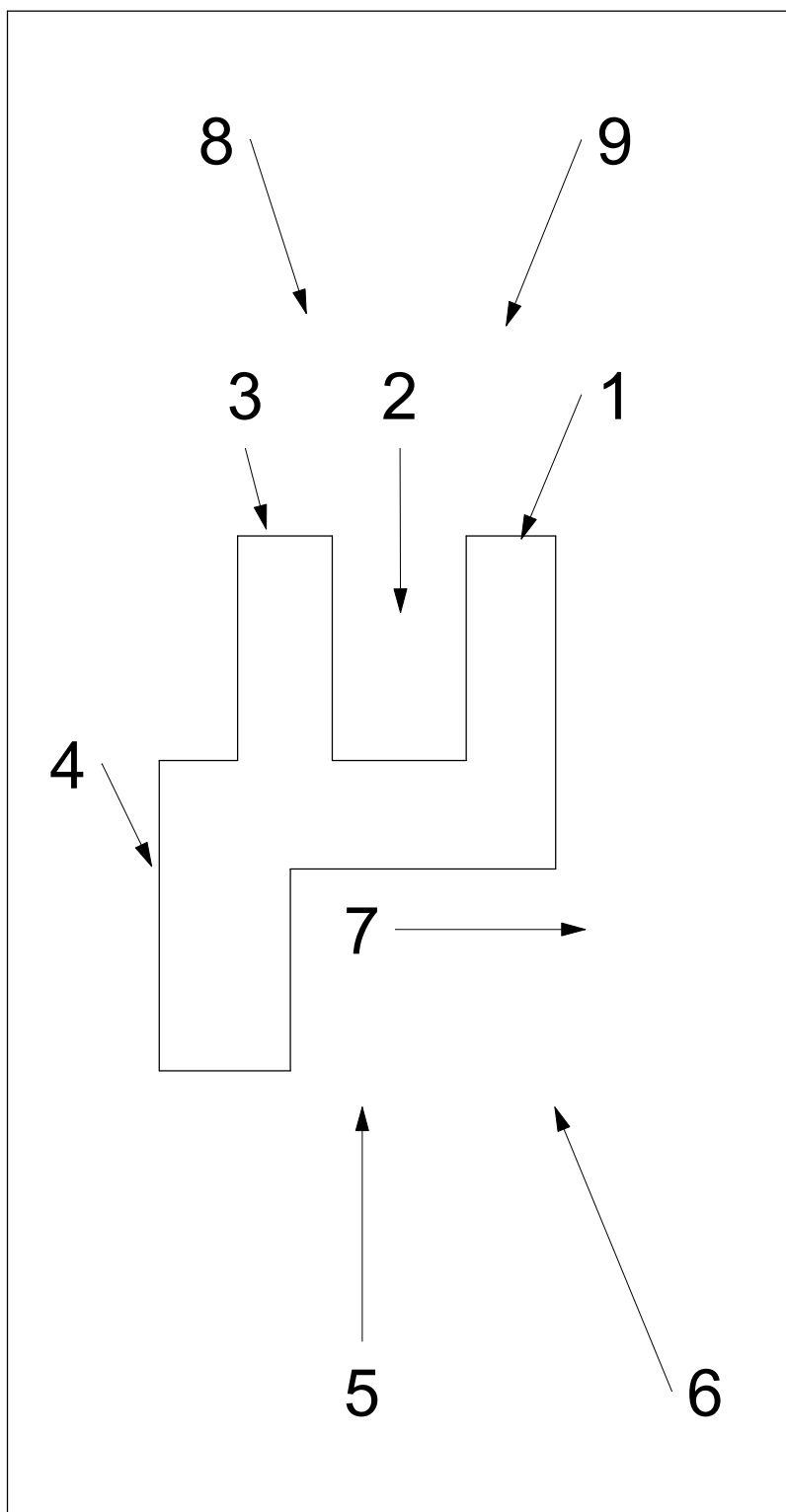


(8) EXISTING NORTHWEST CORNER OF THE LOT SHOWING LANDSCAPE



(9) EXISTING NORTHEAST CORNER OF THE LOT SHOWING LANDSCAPE

MCDONALD DRIVE



NORTH [↑] KEY PLAN

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FOR: HILLSIDE REVIEW

REV # DATE

CAMELBACK
ESTATE

PROPERTY PHOTOS

Project number 19-12
Date 11/12/2020
Drawn by Author
Checked by Checker

A0.3

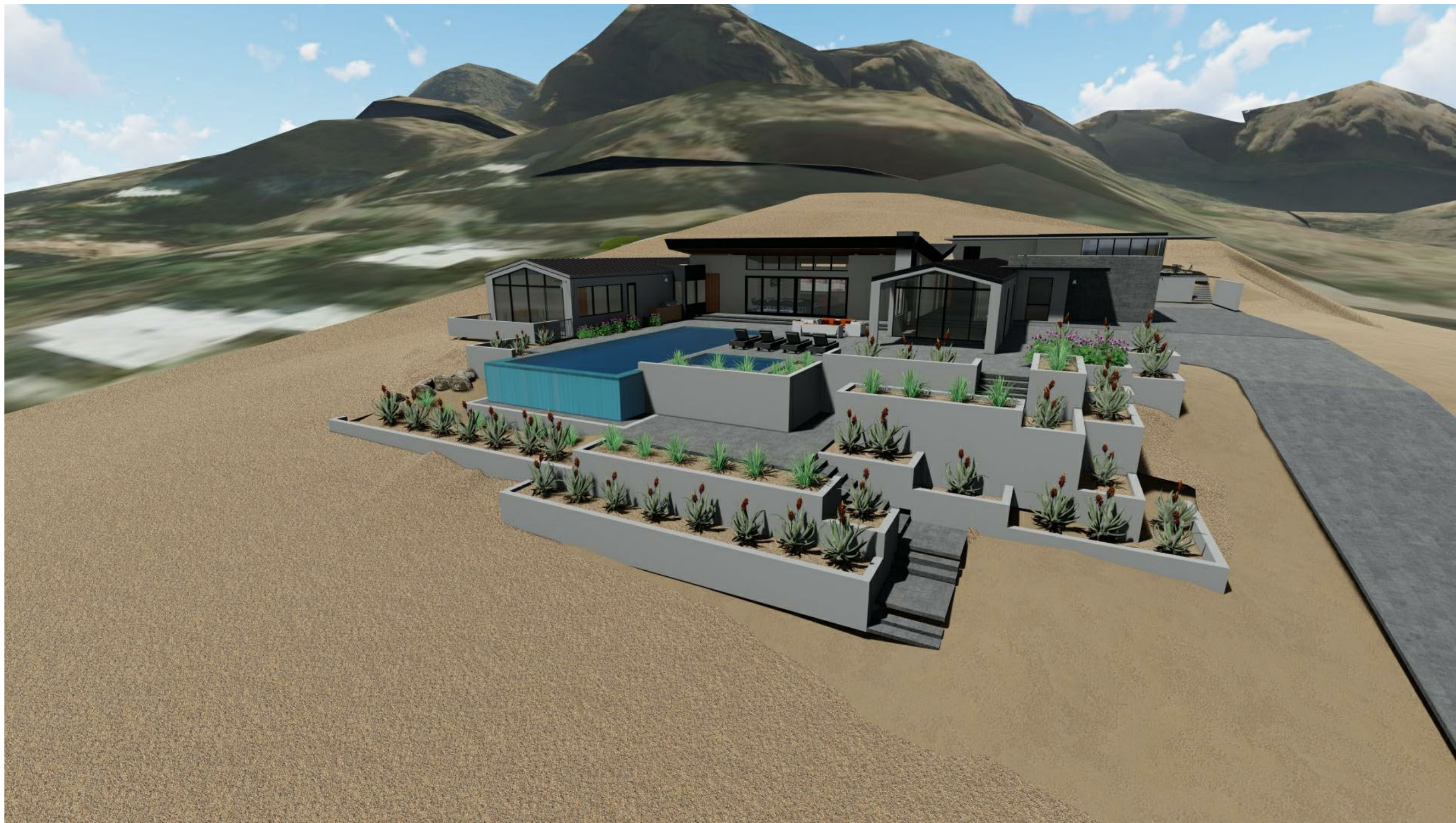
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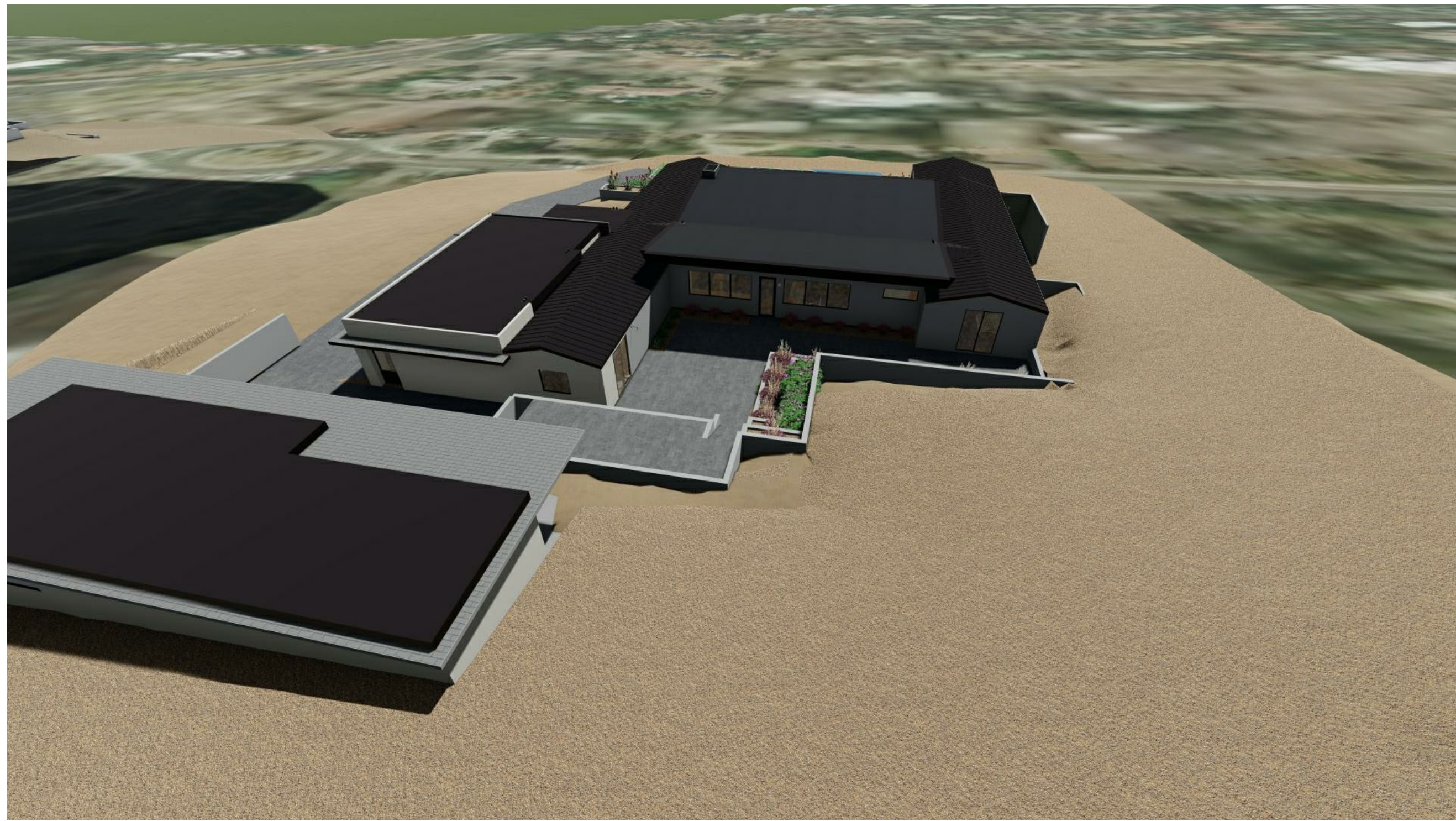
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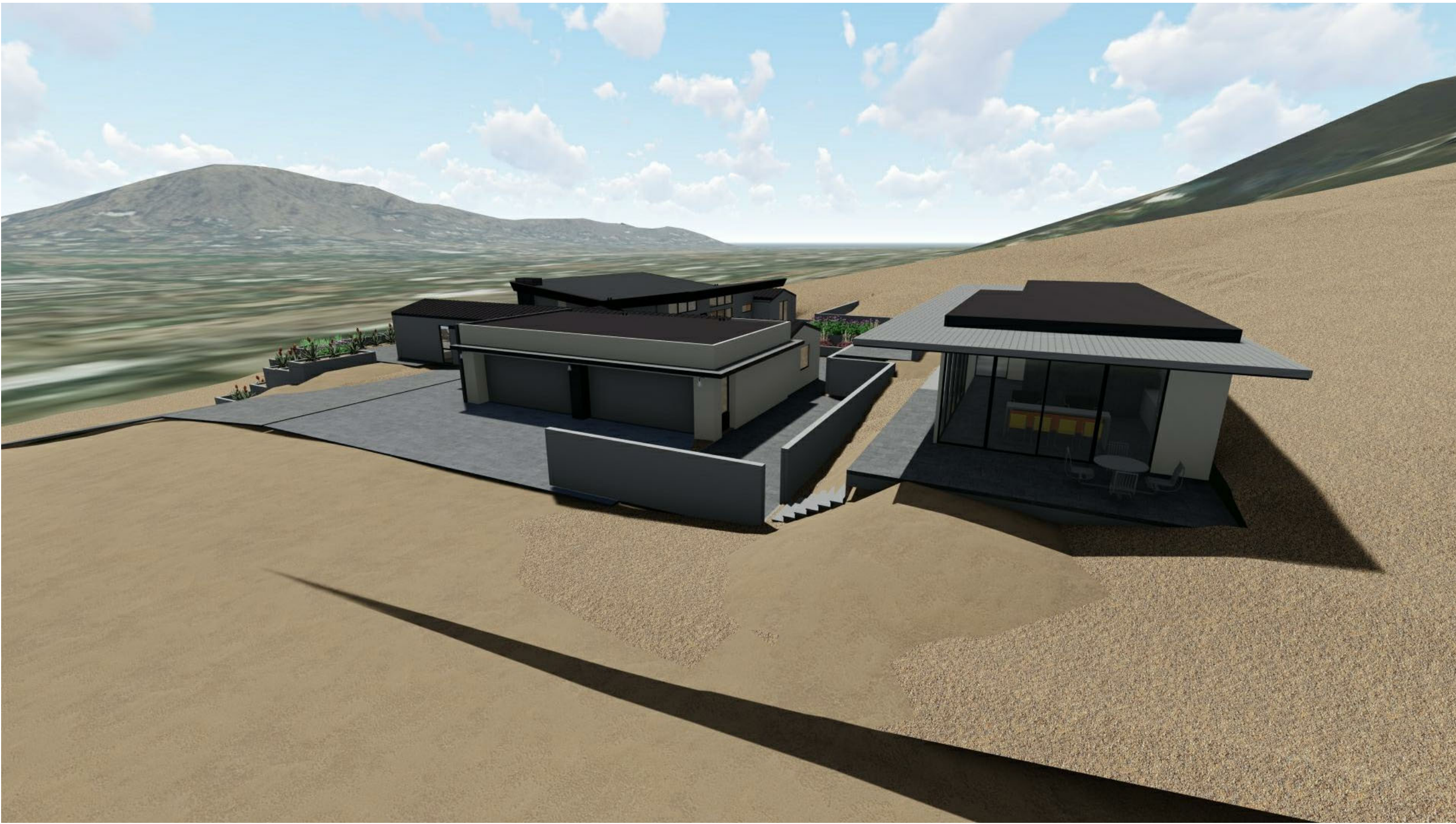
NORTHEAST CORNER OF HOUSE



NORTHWEST CORNER OF HOUSE



SOUTHEAST CORNER OF HOUSE



SOUTHWEST CORNER OF HOUSE

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FOR: HILLSIDE REVIEW

REV # DATE

CAMELBACK
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PROPERTY
RENDERINGS

Project number19-12

Date11/12/2020

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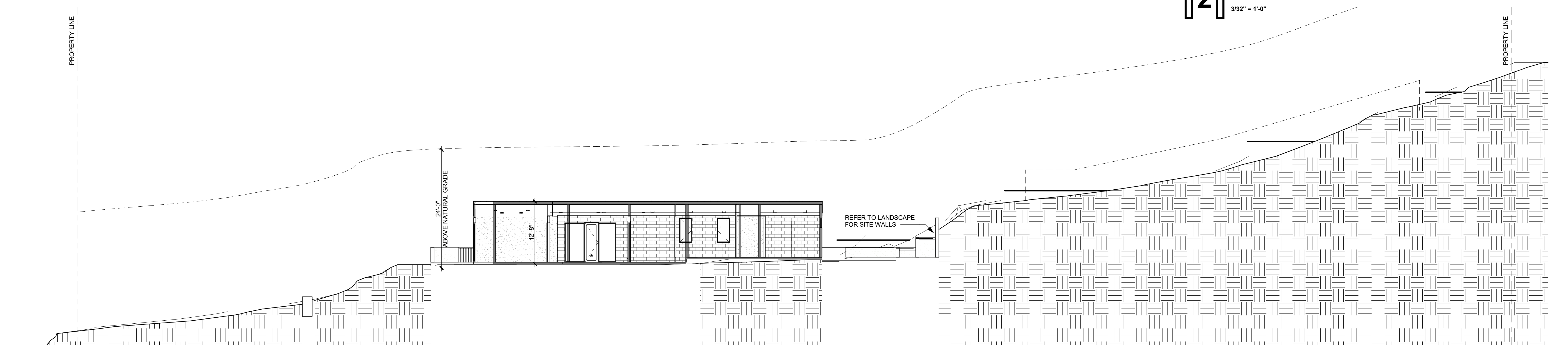
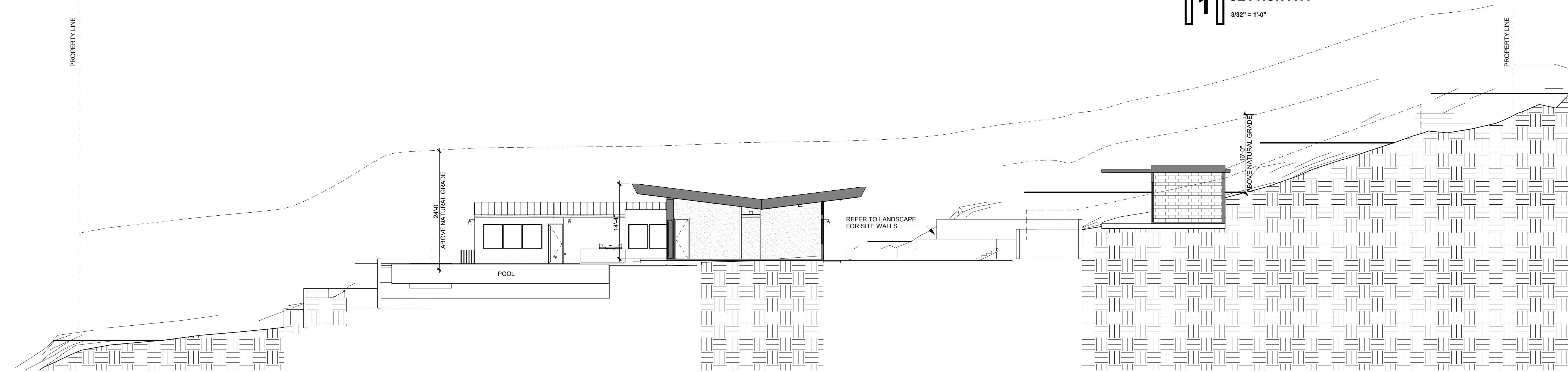
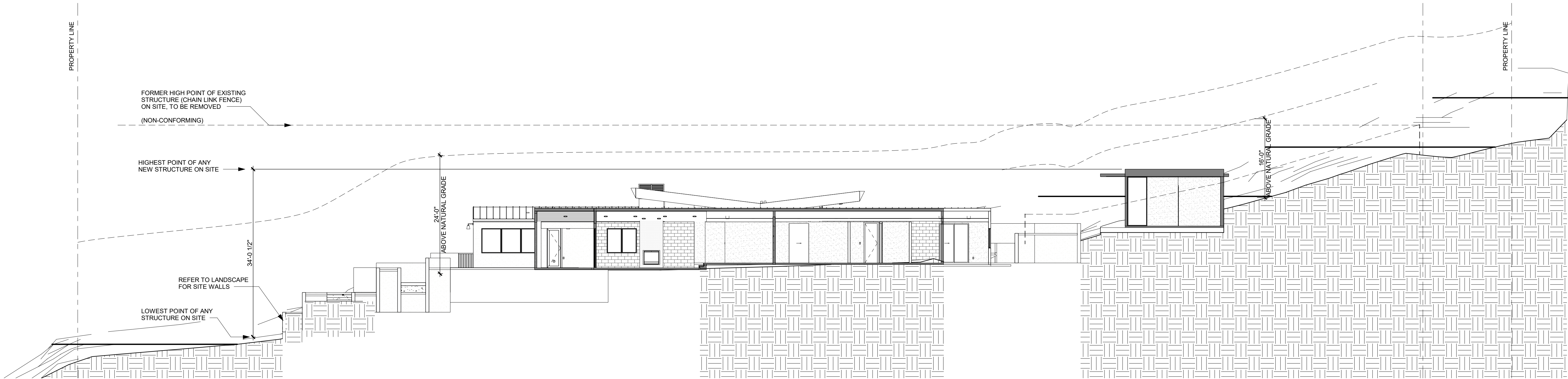
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A0.4

Scale

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FOR: HILLSIDE REVIEW

REV # DATE

CAMELBACK
ESTATE

SITE CROSS
SECTIONS

Project number 19-12
Date 11/12/2020
Drawn by DJB
Checked by DJB

A0.5

Scale 3/32" = 1'-0"

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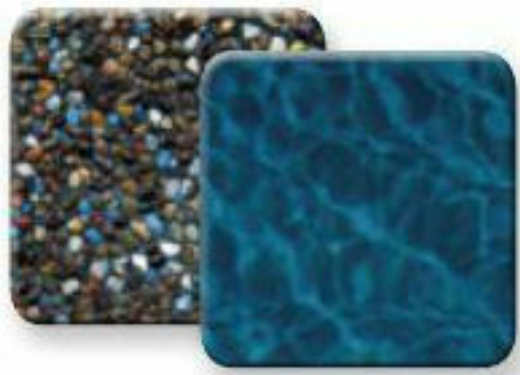
STACK BOND CMU WALL - GUEST HOUSE EXTERIOR WALLS
-STANDARD EXPOSED GRAY BLOCK - LRV = 25
(OR EQUIVALENT)



STUCCO PAINT, STUCCO SOFFITS, GYP BOARD SOFFITS, AND TRIM
-SHERWIN WILLIAMS
-NOR'EASTER - HGSW1444 - LRV = 32
(OR EQUIVALENT)

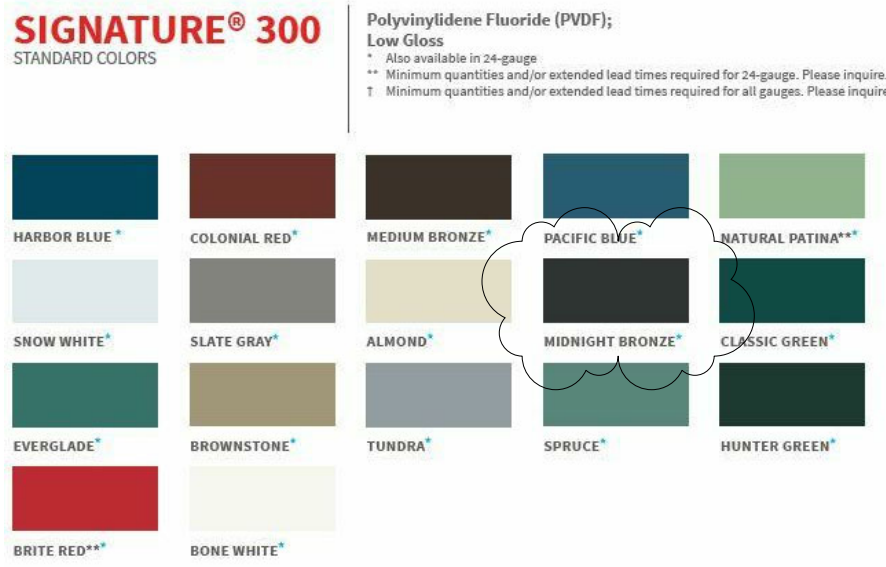


POOL DECK PAVERS
-MSI SURFACES
-SILVER TRAVERTINE
APPROX. LRV = 30
(OR EQUIVALENT)



Midnight Blue

POOL FINISH
-PEBBLETEC
MIDNIGHT BLUE - APPROX LRV = 15
(OR EQUIVALENT)



STANDING SEAM METAL ROOF AND METAL FASCIA
-MBCI METAL ROOFING
-MIDNIGHT BRONZE - LRV = 7
(OR EQUIVALENT)



SITE VIEW FENCE
-RUSTED METAL REBAR OR FLAT BAR
APPROX. LRV = 12
(OR EQUIVALENT)



EXTERIOR TONGUE & GROOVE WOOD SOFFIT
-SHERWIN WILLIAMS
HAWTHORNE - SW3518 - APPROX LRV = 20
(OR EQUIVALENT)



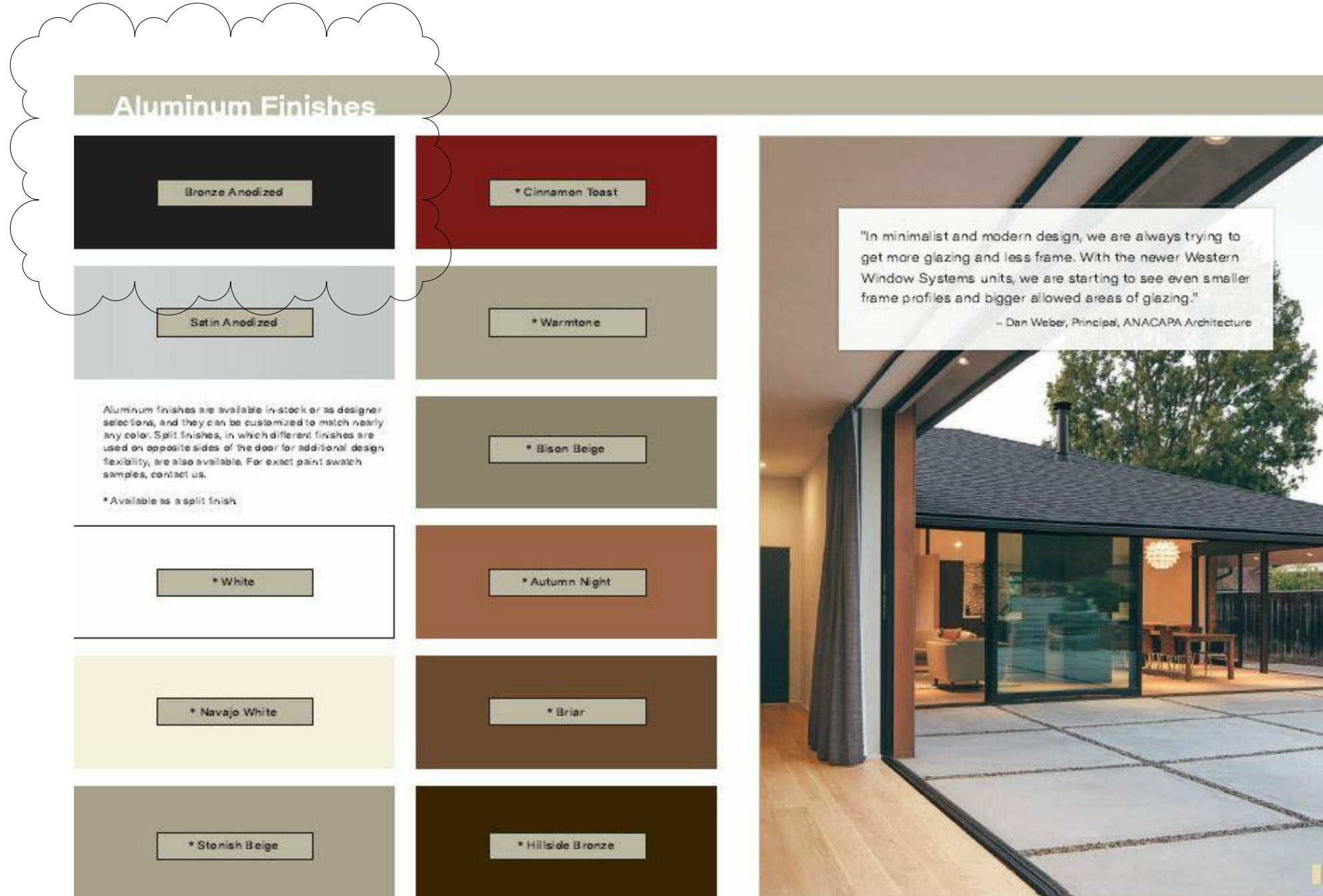
BALLASTED ROOFING SYSTEM
-STANDARD GRAY GRAVEL/ROCK - LRV = 25
(OR EQUIVALENT)
*IF REQUIRED BY HILLSIDE COMMITTEE,
CLIENT PREFERS TO PAINT TPO ROOFING
THE SAME COLOR AS THE HOUSE



DRIVEWAY/PARKING PAVERS
-BELGARD
-LUEDERS GRAY
APPROX. LRV = 30
(OR EQUIVALENT)



EXTERIOR SOFFIT CAN LIGHT
-PROGRESS LIGHTING
-BLACK FINISH - 3000 KELVIN - 725 LUMENS
LRV = 5 (OR EQUIVALENT)



DOOR AND WINDOW FRAMES
-WESTERN WINDOWS
-DARK BRONZE ANODIZED - LRV = 7
(OR EQUIVALENT)



STONE VENEER
-MS INTERNATIONAL
-NEPTUNE - LRV = 5
(OR EQUIVALENT)



EXTERIOR WALL SCONCE
-ZUR 24 OUTDOOR WALL " DARK SKY OPTION"
-BLACK FINISH - 3000 KELVIN - 750 LUMENS MAX.
LRV = 5

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GENERAL MATERIAL NOTES

1. ALL EXTERIOR MATERIAL PALETTE SHALL BE IN ACCORDANCE WITH SECTION 2207.II.D.
2. ALL EXTERIOR LIGHTING SHALL COMPLY WITH SECTION 2208.

FOR: HILLSIDE REVIEW

REV # DATE

CAMELBACK ESTATE MATERIAL BOARD

Project number 19-12
Date 11/12/2020
Drawn by DJB
Checked by DJB

A0.6

Scale 3/16" = 1'-0"

MATERIAL NOTES

NOTE:
SEE MATERIAL BOARD A0.6 FOR EXTERIOR SITE
MATERIALS, COLOR, FINISH, AND LIGHT REFLECTIVE
VALUE.

FOR: HILLSIDE REVIEW

REV # DATE

CAMELBACK
ESTATE

ARCH. SITE PLAN

Project number 19-12

Date 11/12/2020

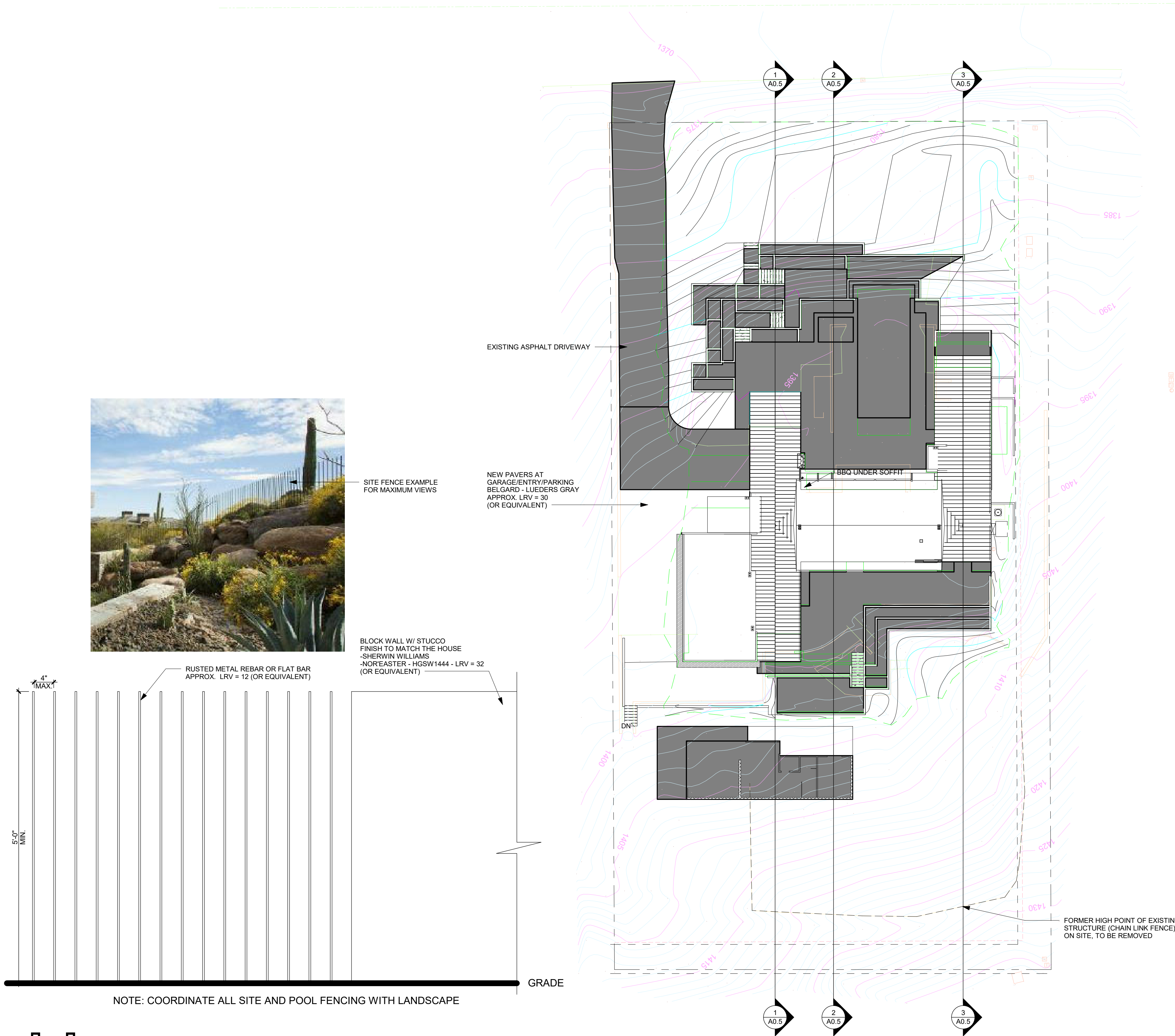
Drawn by DJB

Checked by DJB

A1.1

Scale As indicated

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ARCHITECTURAL SITE PLAN - AERIAL
1" = 20'-0"

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FOR: HILLSIDE REVIEW

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ARCH. SITE PLAN

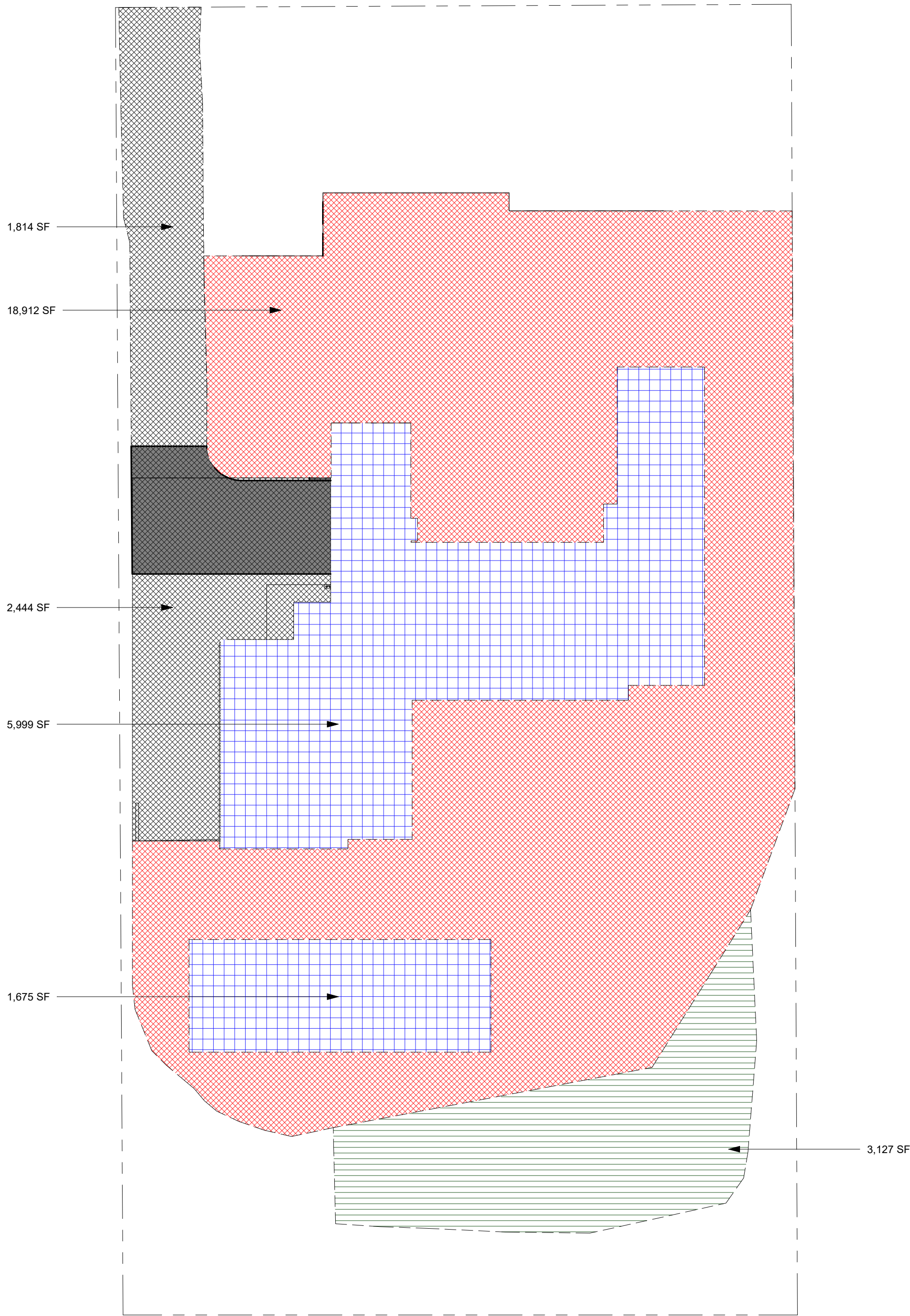
Project number 19-12
Date 11/12/2020
Drawn by DJB
Checked by DJB

A1.1a

Scale 1" = 20'-0"

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DISTURBED AREA CALCULATIONS:	
AREA OF LOT:	1.01 ACRES / 43,573 SF
AREA UNDER ROOF:	8,488 SF
FLOOR AREA RATIO:	8,488 / 43,573 = 19.4%
BUILDING PAD SLOPE:	VERTICAL: 40' HORIZONTAL: 291'
ALLOWABLE DISTURBED AREA:	38.21% (MAX.)
ALLOWABLE DISTURBED AREA:	16,649 SF (MAX.)
EXISTING DISTURBED AREA:	37,596 SF (TO BACK FENCE ON LOT - 86.3%)
(EXISTING DISTURBED AREA TO BE RE-VEGITATED):	(8,756 SF)
PROPOSED DISTURBED AREA:	14,262 SF
PERCENT OF LOT STEEPER THAN NATURAL GRADE (5% MAX.)	0%
VOLUME OF CUT: 0 CY	VOLUME OF FILL: 0 CY
HILLSIDE ASSURANCE = 35x/CUBIC YARD OF CUT + FILL:	\$0

DRIVEWAY:	
AREA	4,258 SF (EXISTING ASPHALT - TOTAL)
	4,258 SF NEW DRIVEWAY AND GUEST PARKING PAVERS
MATERIAL	NEW BELGARD PAVERS
COLOR & LRV	PAVERS = LUEDERS GRAY - APPROX. LRV = 30
MAX. DISTANCE FROM NATURAL GRADE	4 INCHES
(DRIVEWAY FOLLOWS SLOPE OF NATURAL GRADE)	
NO ASPHALT TO PAVERS CREDIT	

ARCHITECTURAL SITE PLAN - DISTURBANCE

1" = 20'-0"

FOR: HILLSIDE REVIEW

REV # DATE

CAMELBACK
ESTATE

ARCH. SITE PLAN

Project number	19-12
Date	11/12/2020
Drawn by	DJB
Checked by	DJB

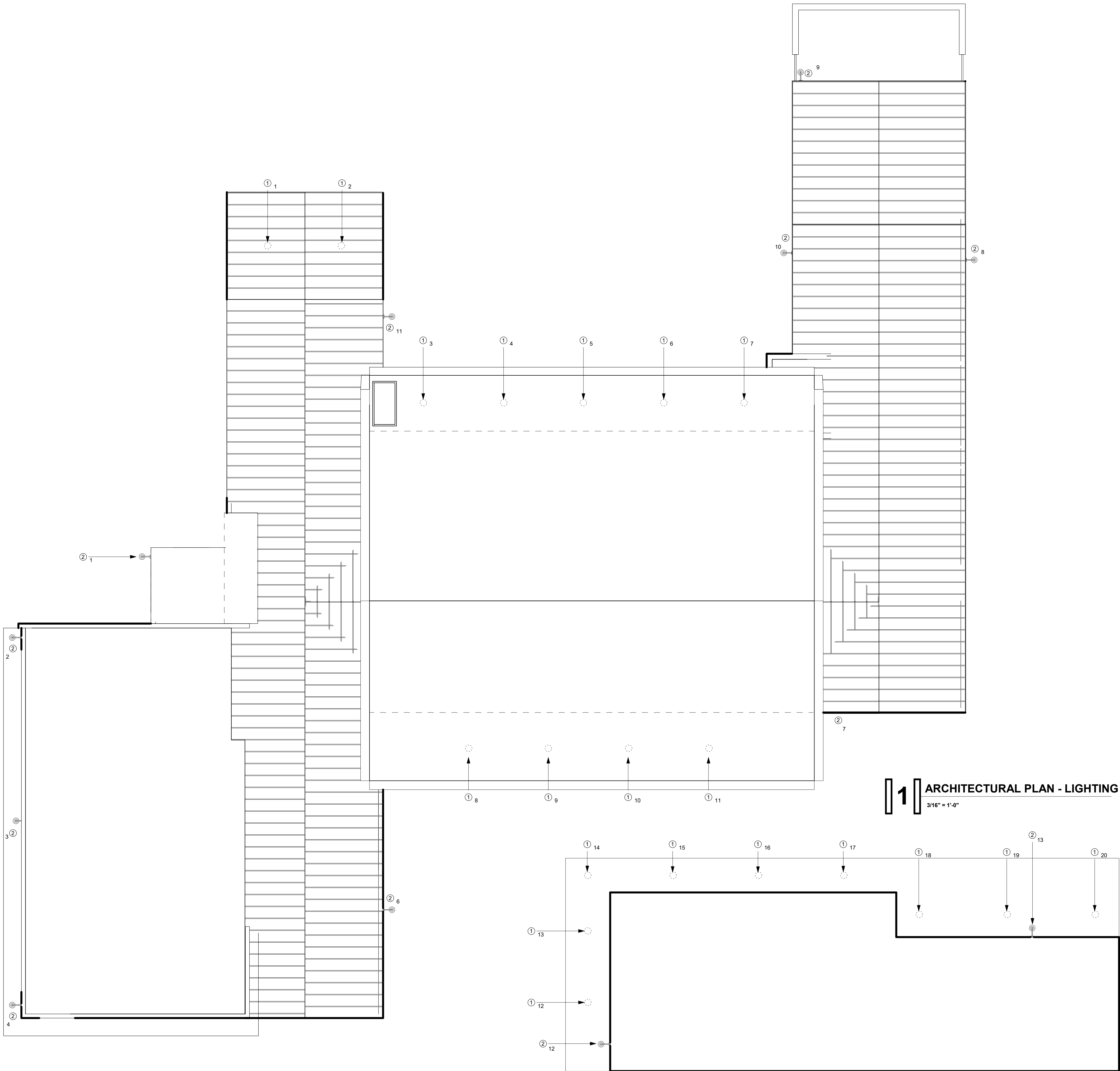
A1.1b

Scale As indicated

SYMBOL LEGEND

- ① - (20) CAN LIGHT (TYP)
- (SYMBOL)
- EXTERIOR UNDERMOUNT CAN LIGHT AT EXTERIOR COVERED PATIO LOCATIONS
- PROGRESS LIGHTING - BLACK FINISH - LRV = 5 (OR EQUIVALENT)
- 725 LUMENS
- 3000 KELVIN
- ② - (13) SCONCE LIGHT
- (SYMBOL)
- EXTERIOR WALL MOUNTED SCONCE LIGHT AT DOOR LOCATIONS
- ZUR 24 OUTDOOR WALL " DARK SKY OPTION", BLACK FINISH - LRV = 5 (OR EQUIVALENT)
- 750 LUMENS MAX.
- 3000 KELVIN

NOTE:
SEE MATERIAL BOARD SHEET A0.6 FOR EXTERIOR WALL LIGHT BRAND, COLOR, AND FINISH. LRV = 5.



1 ARCHITECTURAL PLAN - LIGHTING
3/16" = 1'-0"

2 ARCHITECTURAL PLAN - LIGHTING GUEST HOUSE
3/16" = 1'-0"

FOR: HILLSIDE REVIEW

REV # DATE

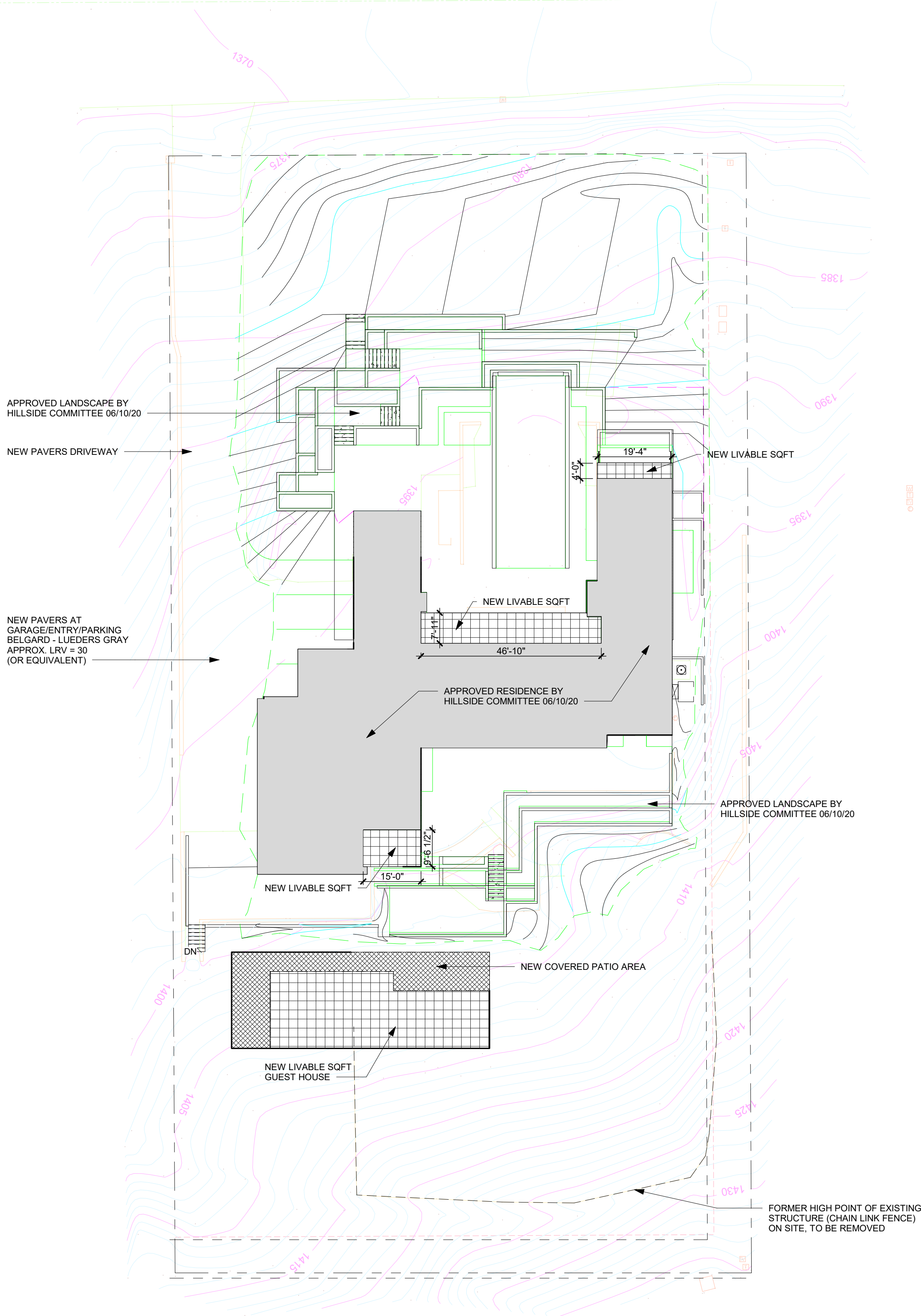
CAMELBACK
ESTATE

LIGHTING PLAN

Project number 19-12
Date 11/12/2020
Drawn by DJB
Checked by DJB

A1.1c

Scale 3/16" = 1'-0"



ARCHITECTURAL SITE PLAN - EXHIBIT
1" = 20'-0"

FOR: HILLSIDE REVIEW

REV # DATE

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HILLSIDE APPROVAL
- EXHIBIT

Project number 19-12

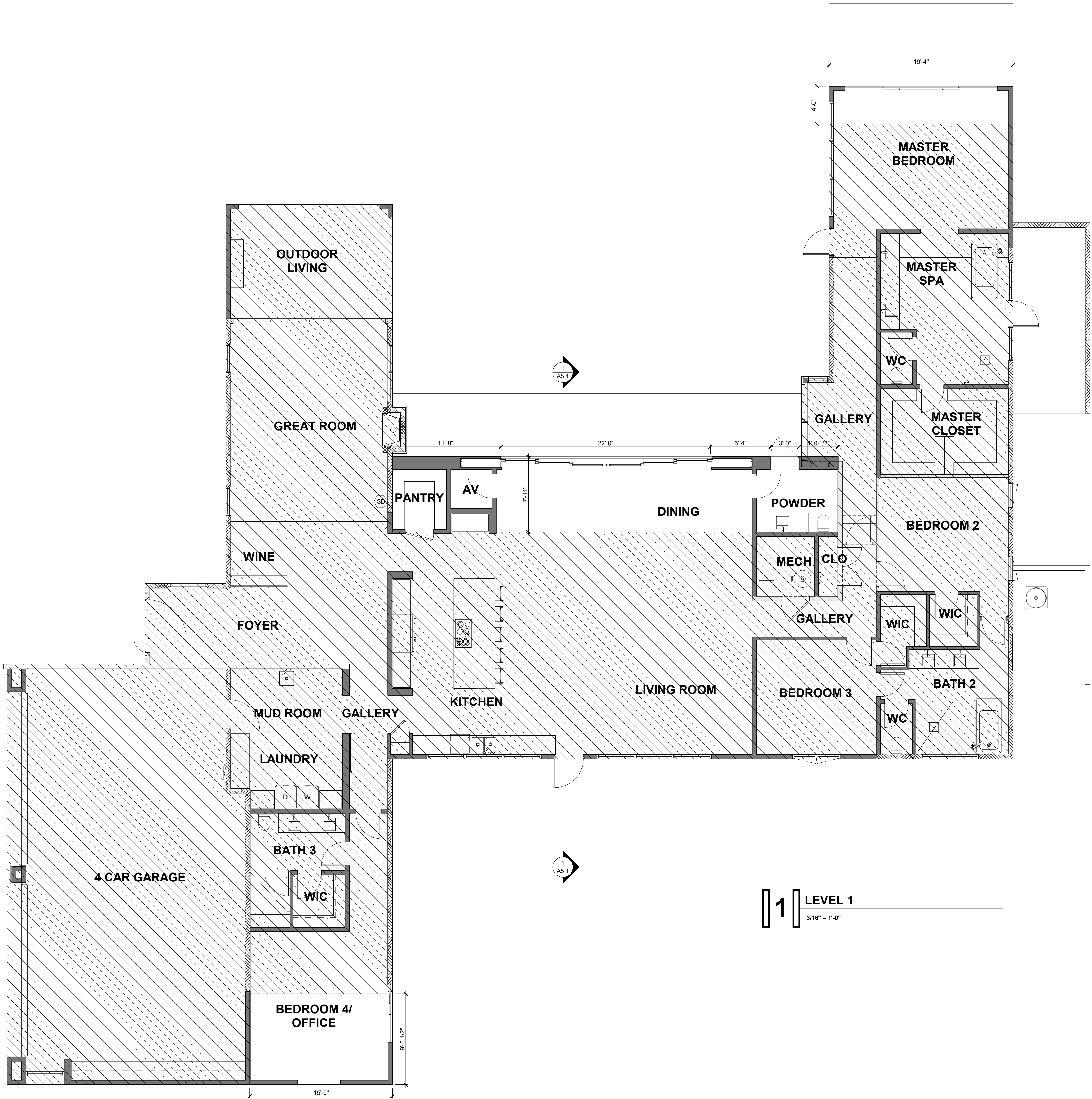
Date 11/12/2020

Drawn by DJB

Checked by DJB

A1.1d

Scale 1" = 20'-0"



WALL LEGEND

FRAME CONSTRUCTION

CMU CONSTRUCTION

STONE OR TILE VENEER

EXISTING WALL TO REMAIN

SYMBOL LEGEND

WATER CLOSET. 1.5 GALLONS PER FLUSH MAXIMUM

LAVATORY, LOW FLOW

WINDOW NOTES

W-1 EACH SLEEPING ROOM SHALL HAVE AT LEAST ONE OPENABLE OR EXTERIOR WINDOW OR DOOR FOR EMERGENCY ESCAPE OR RESCUE. THE OPENING SHALL PROVIDE A MIN. OF 5.7 S.F. OF NET CLEAR OPENING. THE OPENING SHALL PROVIDE A MIN. OF 24" CLEAR OPENING HEIGHT AND 20" CLEAR OPENING WIDTH. WHERE WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THE FINISH SILL HEIGHT SHALL NOT EXCEED 44" ABOVE FINISH FLOOR.

W-2 PRIMARY WINDOWS (BEDROOMS, LIVING, ETC.) SHALL BE RECESSED MIN 6" TO FACE OF GLASS.

W-3 SECONDARY WINDOWS (BATHROOMS, CLOSETS, ETC.) SHALL BE RECESSED MIN. 4".

W-4 DIVIDED LIGHTS SHALL BE TRUE DIVIDED OR SIMULATED LIGHT W/ EXTERNAL MUNTINS ON EACH SIDE OF GLASS WITH SHADOW BAR BETWEEN PANES. GLAZING SHALL BE LOW-E COATED CLEAR GLASS.

DIAGONAL HATCHED AREA APPROVED BY HILLSIDE COMMITTEE 06/10/2020

ADDITIONAL SQUARE FOOTAGE SHOWN WITH DIMENSIONS



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GENERAL NOTES

G-1 WHERE THE HIGHEST POINT OF A CEILING IN A ROOM THAT OPENS TO THE HALLWAY SERVING THE BEDROOMS EXCEEDS THAT OF THE OPENING INTO THE HALLWAY BY 24" OR MORE, SMOKE DETECTORS SHALL BE INSTALLED IN THE HALLWAY AND IN THE ADJACENT ROOM. PROVIDE ADDL. S.D.'S AS APPLICABLE.

G-2 ALL EXITS SHALL BE OPENABLE FROM THE INSIDE WITHOUT A KEY OR SPECIAL KNOWLEDGE.

G-3 MANUALLY OPERATED EDGE OR SURFACE MOUNTED FLUSH BOLTS AND SURFACE BOLTS ARE PROHIBITED.

G-4 PERP. DISTANCE FROM THE FIREPLACE OPENING TO COMBUSTIBLE WALLS SHALL CONFORM TO THE I.C.C./N.E.R. REPORT.

G-5 HEARTH EXTENSIONS: DECORATIVE NONCOMBUSTIBLE COMBUSTIBLE MATERIAL SHALL BE INSTALLED OVER A THERMAL RESISTIVE BARRIER WHICH COMPLIES WITH THE EVALUATION REPORT AND MFR'S WRITTEN INSTALLATION MANUAL.

G-6 ALL PRODUCTS LISTED BY I.C.C. NUMBERS SHALL BE INSTALLED PER THE REPORT AND MFR'S WRITTEN WRITTEN INSTRUCTIONS. PRODUCT SUBSTITUTION(S) FOR ITEM(S) LISTED SHALL ALSO HAVE I.C.C. APPROVED EVALUATION REPORT(S) OR BE APPROVED AND LISTED BY OTHER NAT. TESTED AGENCIES.

G-7 ALL GLASS IN HAZARDOUS LOCATIONS AND ALL GLASS WITHIN 18" OF FLOOR (EXCEPT SINGLE PANES WITH 9 S.F. OR LESS AREA SHALL BE SAFETY GLASS (SECT. 5406).

G-8 GAS LINES:
A. NOT ALLOWED UNDER STRUCT(S).
B. NOT ALLOWED UNDER SLAB(S).
C. SHALL CONFORM TO ALL CURRENT CODES.

G-9 PROVIDE 5/8" TYPE "X" GYPSUM BOARD AT ALL WALLS AND CEILING OF GARAGE UNLESS SPECIFICALLY OTHERWISE PERMITTED BY LOCAL BUILDING OFFICIAL.

G-10 PROVIDE WATERPROOF COUNTERTOPS AT KITCHEN, LAUNDRY, AND ALL BATHROOMS.

G-11 AT OUT-SWINGING DOORS, PROVIDE LANDING NOT LOWER THAN - 4 INCHES BELOW TOP OF DOOR THRESHOLD. PER R311.4.3 MEASURED THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A MIN. DIMENSION OF 36" MEASURED IN THE DIRECTION OF TRAVEL.

G-12 ATTIC ACCESS OPENINGS SHALL NOT BE LESS THAN 22"x30" AND SHALL PROVIDE A MIN. OF 30" HEADROOM AND SHALL BE LOCATED IN A HALLWAY OR READILY ACCESSIBLE SPACE PER IRC R807.

G-13 ALL MECH. EQUIPMENT (AIR COND., POOL EQUIP., ETC.) SHALL BE SCREENED A MIN. OF 1'-0" ABOVE THE HIGHEST PORTION OF THE EQUIP. FROM ALL SIDES AND SHALL BE COMPATIBLE WITH THE ADJACENT BUILDING. SEE FLOOR PLAN AND SITE PLAN FOR LOCATION OF EQUIP.

G-14 UNLESS SHOWN OTHERWISE, POSITION DOOR JAMBS 6" OFF THE WALL CONSTRUCTION AND/OR DESIGNATED DETAIL.

G-15 WATER RESISTANT GYPSUM BOARD SHALL NOT BE INSTALLED OVER A VAPOR RETARDER IN A SHOWER OR TUB COMPARTMENT. ALSO INCLUDES AREA SUBJECT TO CONT. HIGH HUMIDITY. CEMENT, FIBER-CEMENT OR GLASS MAT GYPSUM BACKERS INSTALLED IN ACCORDANCE WITH MFR'S RECOMMENDATIONS SHALL BE USED AS BACKERS FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL PANELS IN SHOWER AREAS. (R702.4.2)

FOR:	HILLSIDE REVIEW
REV #	DATE

CAMELBACK ESTATE

FLOOR PLAN

Project number

19-12

Date

11/12/2020

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DJB

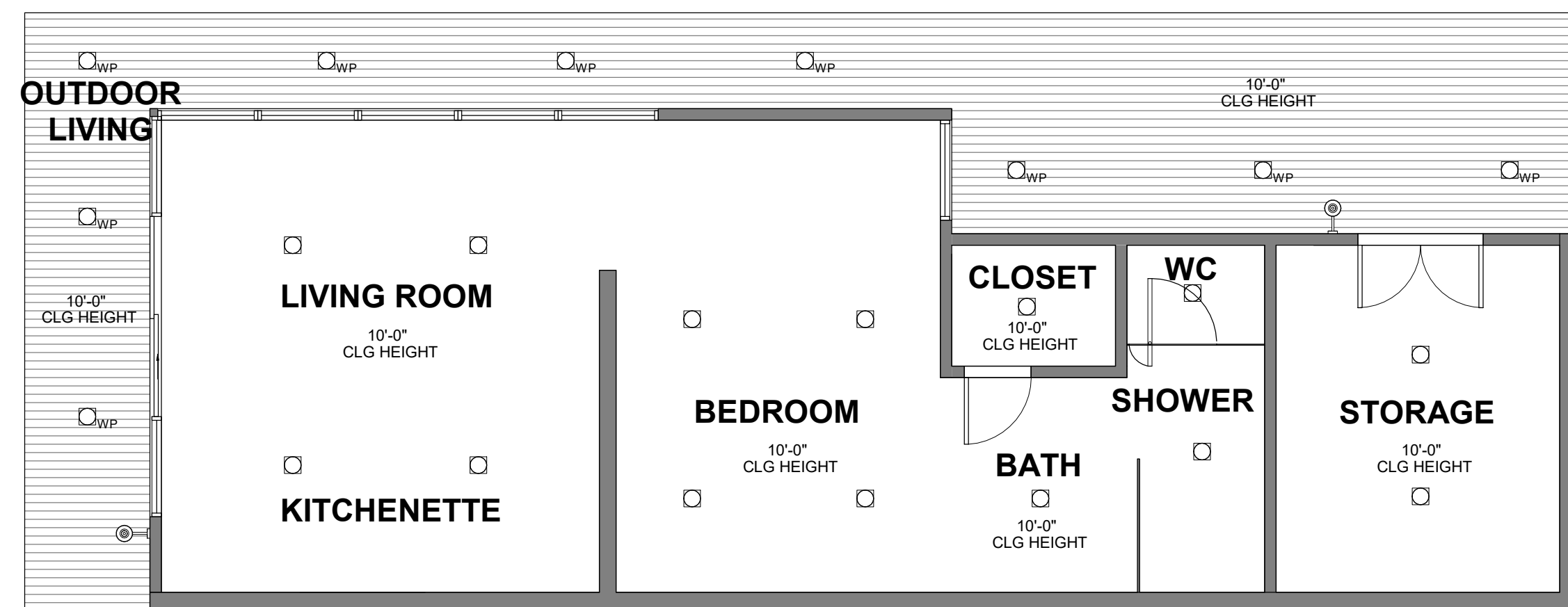
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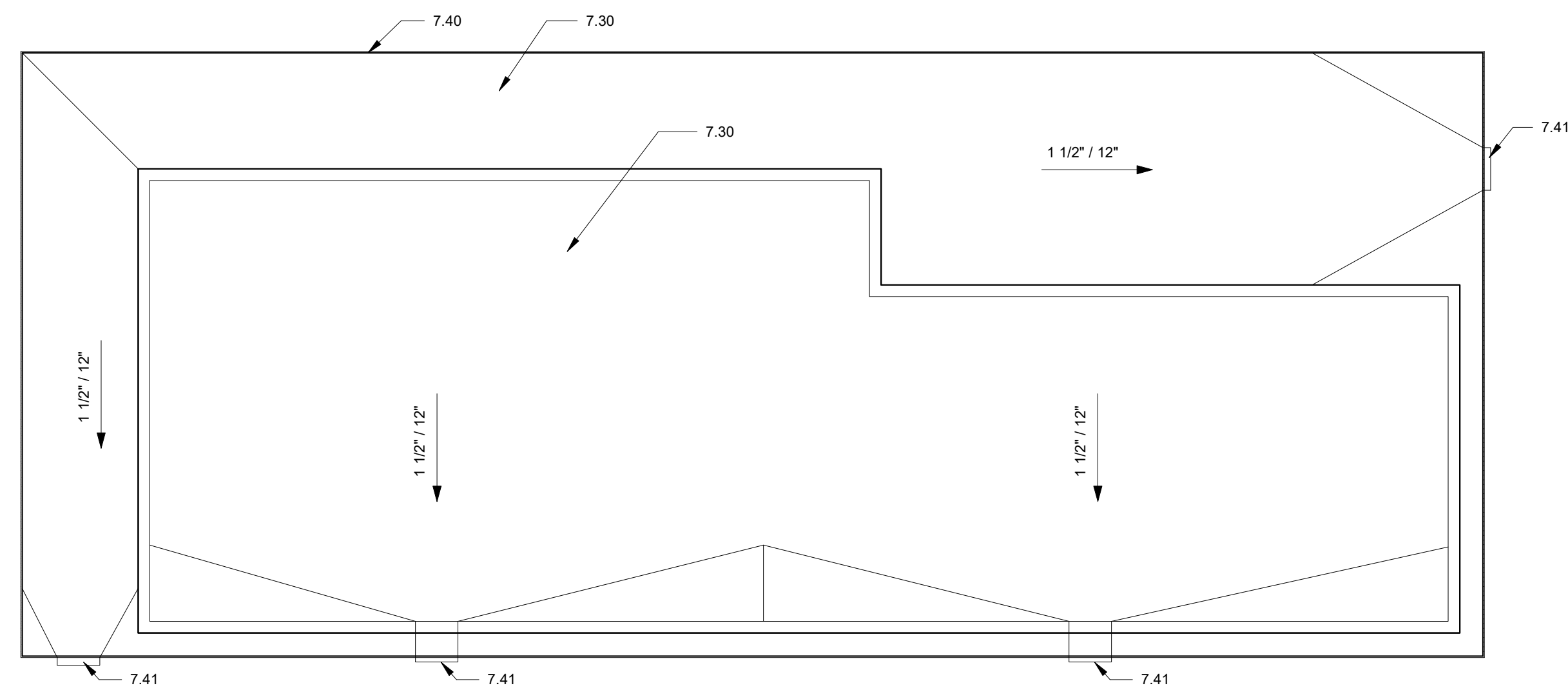
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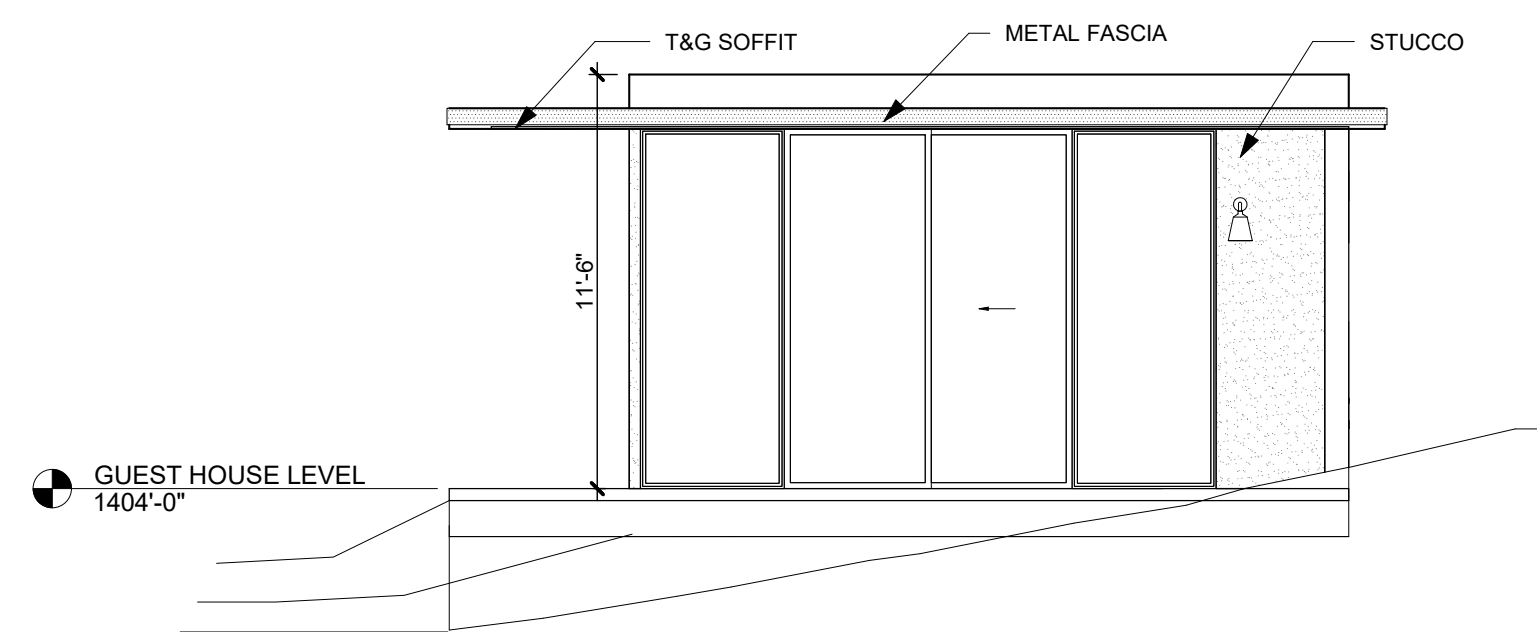
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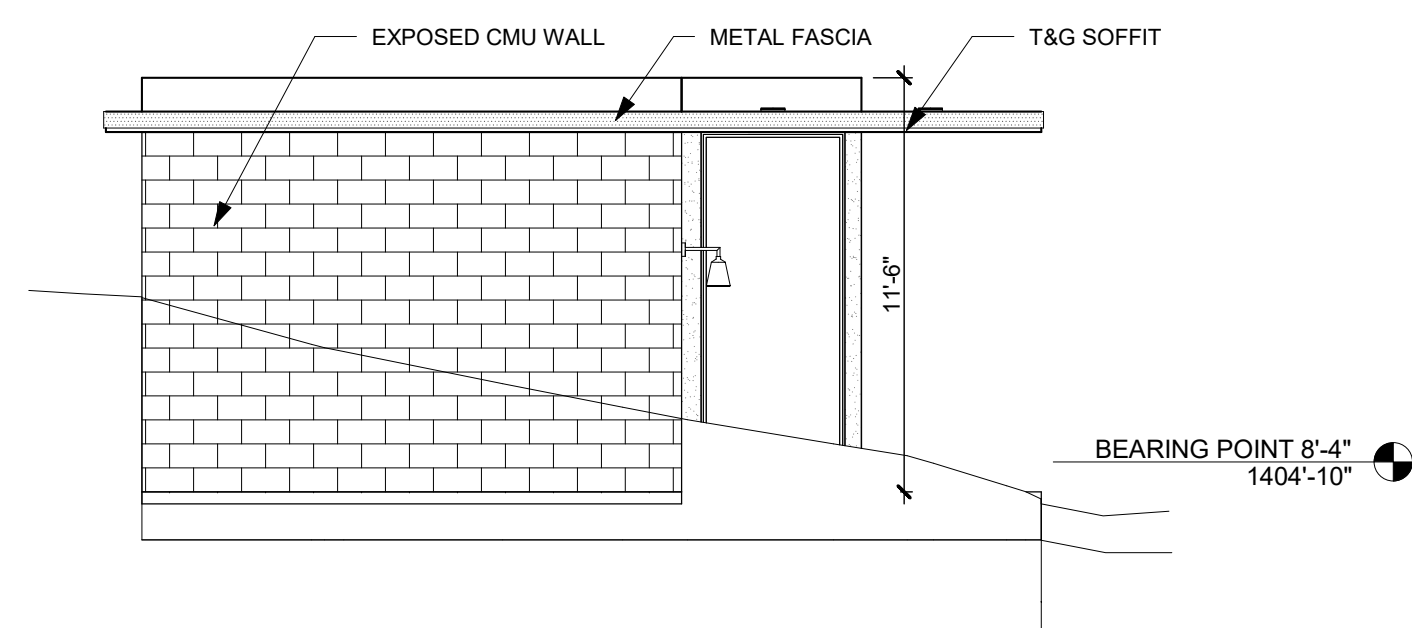
2 REFLECTED CEILING PLAN GUEST HOUSE



3 ROOF PLAN GUEST HOUSE



4 GUEST HOUSE WEST ELEVATION







5 GUEST HOUSE EAST ELEVATION

KEYNOTES

2.12 HARDSCAPE
7.30 CARLISLE TPO ROOFING AND EPS TAPERED
INSULATION
7.40 METAL FASCIA
7.41 METAL SCUPPER

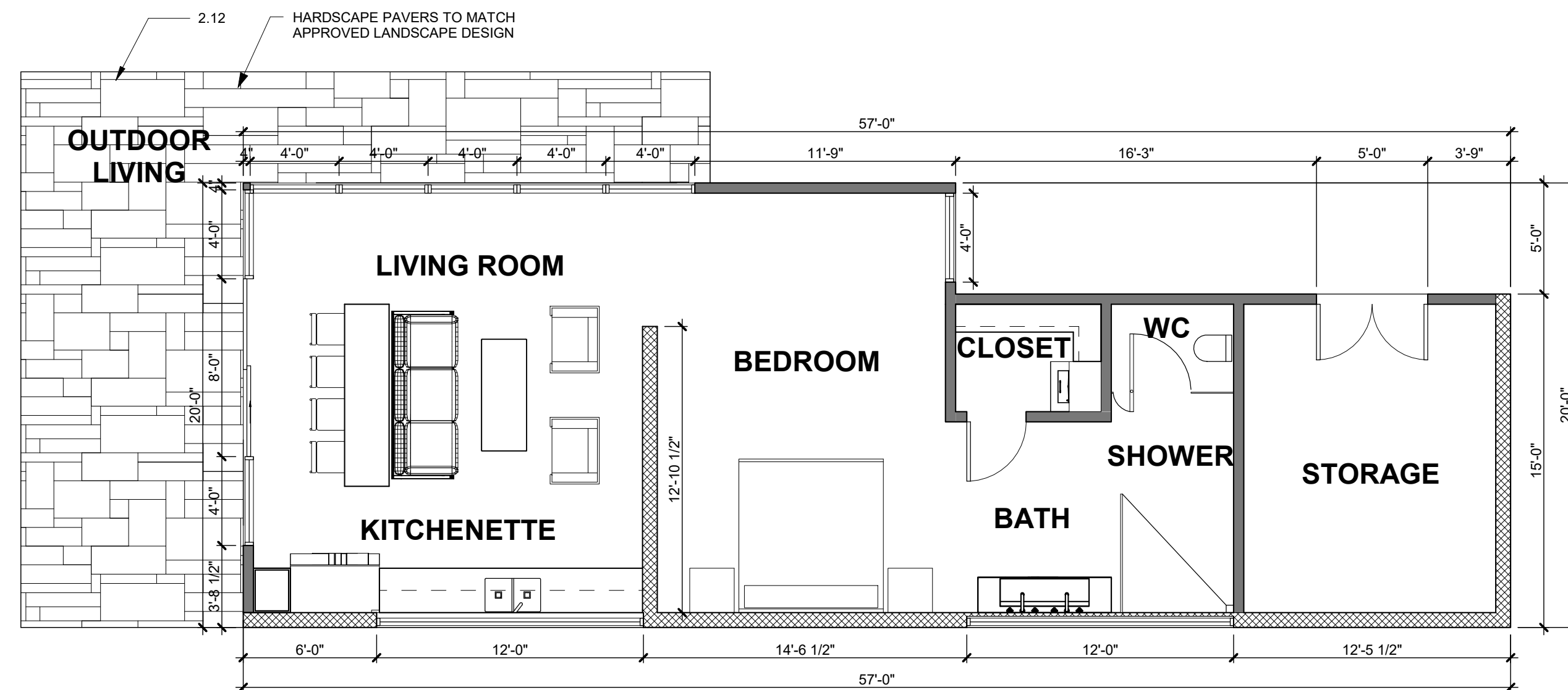
WALL LEGEND

 FRAME CONSTRUCTION
 CMU CONSTRUCTION
 STONE OR TILE VENEER
 EXISTING WALL TO REMAIN

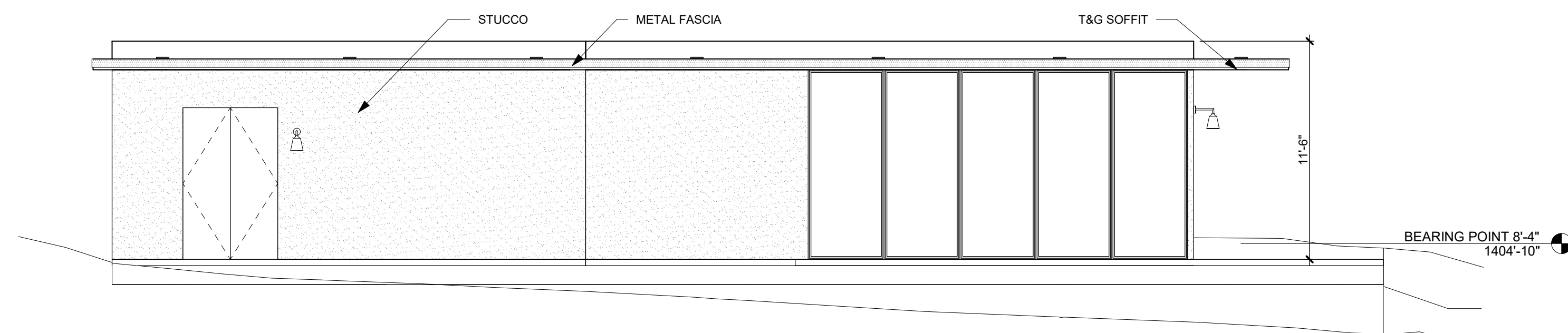
SYMBOL LEGEND

WATER CLOSET. 1.5 GALLONS PER FLUSH MAXIMUM

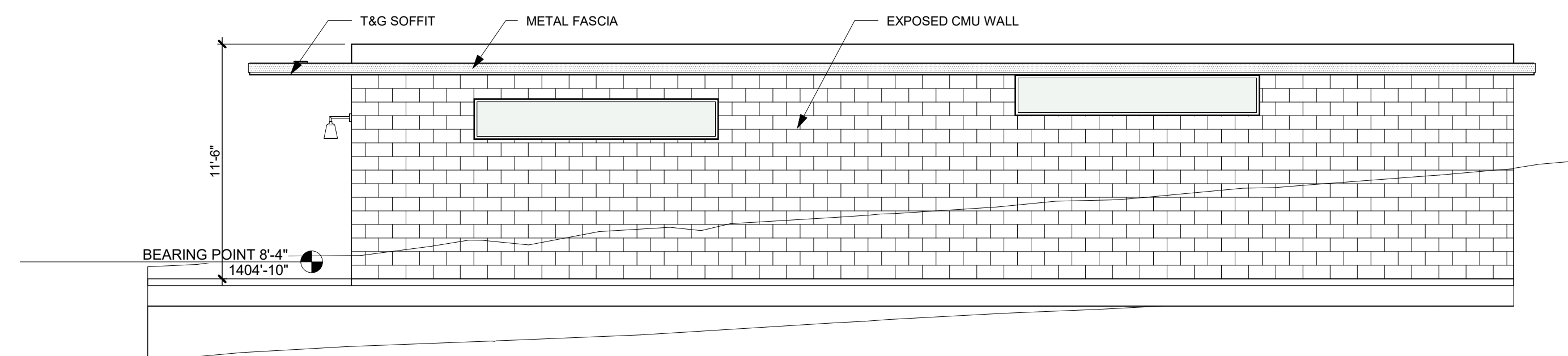
LAVATORY, LOW FLOW



1 **GUEST HOUSE LEVEL**
3/16" = 1'-0"



6 GUEST HOUSE NORTH ELEVATION



7 GUEST HOUSE SOUTH ELEVATION

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GENERAL NOTES

- G-1 MAG ONE-COAT STUCCO COMPLIANCE PROGRAM. ALL ONE-COAT STUCCO SYSTEMS SHALL BE APPLIED BY MFR. APPROVED INSTALLERS. AN APPROVED WEATHER RESISTIVE BARRIER SHALL BE APPLIED OVER ALL FRAMING AND WOOD BASED SHEATHING. ONE-COAT STUCCO SYSTEM SHALL BE "WESTERN ONE-COAT STUCCO SYSTEM (ICC ESR #1697)". THIS ONE-COAT STUCCO SYSTEM SHALL BE APPLIED OVER A WEATHER RESISTIVE BARRIER CONFORMING TO IRC R 703.9.
- G-2 PROVIDE WEATHER FLASHING/PROOFING AT EXTERIOR WALL PENETRATIONS, INCLUDING WINDOWS, DOORS AND ANTS PER R703.6.
- G-3 PAINT ALL UTILITIES IN METAL TO MATCH STUCCO U.O.N.
- G-4 WEED SCREEN TO BE INSTALLED PER IRC703.6.2.1
- G-5 STUCCO/PLASTER FINISH MATERIAL TO BE INSTALLED PER IRC703.6.2.

WINDOW NOTES

W-1 EACH SLEEPING ROOM SHALL HAVE AT LEAST ONE OPENABLE OR EXTERIOR WINDOW OR DOOR FOR EMERGENCY ESCAPE OR RESCUE. THE OPENING SHALL PROVIDE A MIN. OF 5.7 S.F. OF NET CLEAR OPENING. THE WINDOW SHALL BE PROVIDED WITH A MINIMUM CLEAR OPENING HEIGHT AND 20" CLEAR OPENING WIDTH WHERE WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE. THE FINISH SILL HEIGHT SHALL NOT EXCEED 44" ABOVE FINISH FLOOR.





W-2 PRIMARY WINDOWS (BED ROOMS, LIVING, ETC.) SHALL BE RECESSED MIN 6" TO FACE OF GLASS.

W-3 SECONDARY WINDOWS (BATHROOMS, CLOSETS, ETC.) SHALL BE RECESSED MIN 4".

W-4 DAYLIGHT SHALL BE TRUE DIVIDED OR SIMULATED LIGHT WITH WATERMARK LOGO ON EACH SIDE OF GLASS WITH SHADOW BAR BETWEEN PANE. GLAZING SHALL BE LOW-E COATED CLEAR GLASS.

NOTE: ALL DOOR FRAMES AND WINDOW FRAMES TO BE WESTERN WINDOWS AND DOORS, DARK BRONZE ANODIZED COLOR WITH AN LRV NOTO TO EXCEED 38%, OR EQUIVALENT.

MATERIAL LEGEND

	STUCCO TO COMPLY WITH G1 COLOR : SHERWIN WILLIAMS - NORTEASTER LRV = 32 ESR #1607
	STANDING SEAM METAL ROOFING COLOR = DARK BRONZE ANODIZED LRV = 7
	METAL FASCIA COLOR = DARK BRONZE ANODIZED LRV = 7
	TONGUE & GROOVE - SIZE: T.B.D. SHERWIN WILLIAMS - HAWTHORNE - SW3518 APPROX LRV = 20 (OR EQUIVALENT)

MATERIAL NOTES

NOTE:
SEE MATERIAL BOARD A0.6 FOR EXTERIOR SITE MATERIAL, COLOR, FINISH, AND LIGHT REFLECTIVE VALUE.

FOR: HILLSIDE REVIEW

REV #	DATE
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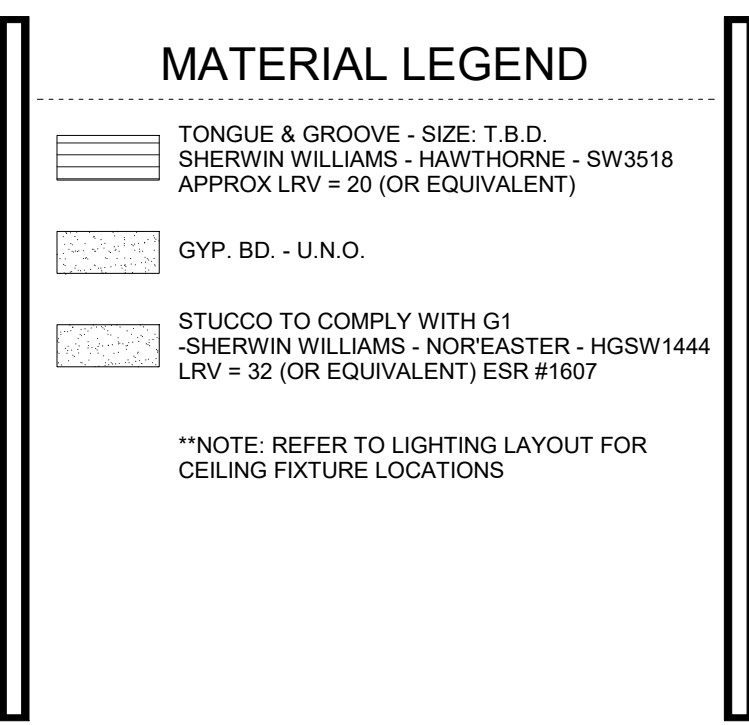
CAMELBACK
ESTATE

GUEST HOUSE

Project number	19-12
Date	11/12/2020
Drawn by	DJB
Checked by	DJB

A2.2

Scale	As indicated
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FOR: HILLSIDE REVIEW

REV #	DATE
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CAMELBACK
ESTATE

REFLECTED CEILING
PLAN

Project number	19-12
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Date	11/12/2020
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Drawn by	DJB
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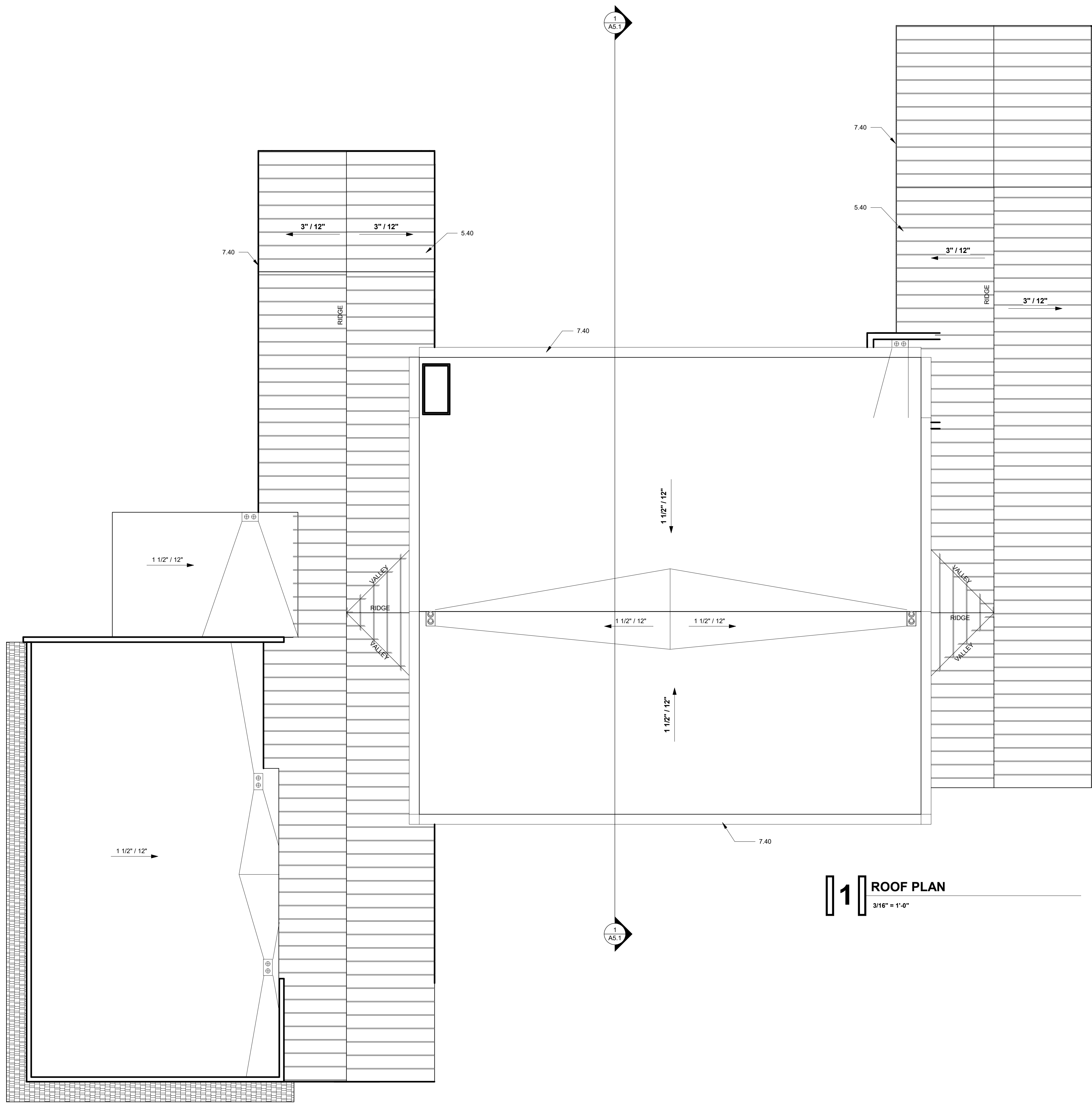
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A3.1

Scale	As indicated
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- KEYNOTES**
- 5.40 STEEL ROOFING
7.40 METAL FASCIA
-MBCI METAL ROOFING AND METAL FASCIA
-MIDNIGHT BRONZE - LRV = 7 (OR EQUIVALENT)
- NOTE:**
PAINT ALL FLAT AREAS OF ROOF
SHERWIN WILLIAMS - NOREASTER
LRV = 32 (OR EQUIVALENT)

ARCHITECTURE | PLANNING | DESIGN

GENERAL NOTES

- G-1 SEE ROOF FRAMING PLAN FOR SHEATHING REQUIREMENTS.
- G-2 EXTEND FOAM UP VERTICAL WALL SURFACES AS REQUIRED BY MFR.
- G-3 PROVIDE FLASHING AND COUNTER-FLASHING AT ALL EDGES OF EXTERIOR WALL FINISH SYSTEM ADJACENT TO ROOF MATERIAL.
- G-4 PROVIDE A 6" OVERFLOW DRAIN (2'-0" MEASURED HORIZONTALLY) AND SHALL DISCHARGE TO AN APPROVED LOCATION AND SHALL NOT BE CONNECTED TO ROOF DRAIN LINES. OVERFLOW DRAIN TO BE 2" ABOVE THE LOWEST ADJACENT ROOF HEIGHT. PROVIDE STRAINERS AT INLETS AS REQUIRED. STRAINERS SHALL EXTEND NOT LESS THAN 4" ABOVE SURFACE OF ROOF AND SHALL HAVE A MINIMUM INLET AREA 1 1/2 TIMES THE PIPE TO WHICH IT IS CONNECTED.
- G-5 GALV. FLASHING IN ALL VALLEYS, 8" EACH WAY AND AT ALL PARAPETS.
- G-6 GALV. FLASH AT WALLS ABOVE ROOF.
- G-7 SINGLE PLY ROOF FINISH COAT SHALL BE COLORED TO MATCH BODY OF HOUSE.
- G-8 ALL ROOF VENTS AND EQUIPMENT MUST BE PAINTED TO MATCH BODY OF HOUSE.
- G-9 BITUTHANE AT TOPS OF ALL PARAPETS & ALL HORIZ. STUCCO SURFACES.

ATTIC VENTILATION

NOT REQUIRED PER I.R.C. 806.4: CONDITIONED ATTIC REQUIRES NO VENTILATION- FASTEN INSULATION TO INSIDE FACE OF EXTERIOR SHEATHING AT TRUSS & TRUSS FRAMING MEMBERS

SYMBOL LEGEND

6" OVERFLOW DRAIN (2'-0" MEASURED HORIZONTALLY) AND SHALL DISCHARGE TO AN APPROVED LOCATION AND SHALL NOT BE CONNECTED TO ROOF DRAIN LINES. OVERFLOW DRAIN TO BE 2" ABOVE THE LOWEST ADJACENT ROOF HEIGHT. PROVIDE STRAINERS AT INLETS AS REQUIRED. STRAINERS SHALL EXTEND NOT LESS THAN 4" ABOVE SURFACE OF ROOF AND SHALL HAVE A MINIMUM INLET AREA 1 1/2 TIMES THE PIPE TO WHICH IT IS CONNECTED.

MATERIAL LEGEND

- STUCCO TO COMPLY WITH G1
COLOR : SHERWIN WILLIAMS - NOREASTER
LRV = 32
ESR #1607
- STANDING SEAM METAL ROOFING
COLOR = DARK BRONZE ANODIZED
LRV = 7
- METAL FASCIA
COLOR = DARK BRONZE ANODIZED
LRV = 7
- TONGUE & GROOVE - SIZE: T.B.D.
SHERWIN WILLIAMS - HAWTHORNE - SW3518
APPROX LRV = 20 (OR EQUIVALENT)

FOR: HILLSIDE REVIEW

REV # DATE

CAMELBACK ESTATE

ROOF PLAN

Project number 19-12
Date 11/12/2020
Drawn by Author
Checked by Checker

A4.1
Scale As indicated

GENERAL NOTES

- G-1 MAG ONE-COAT STUCCO COMPLIANCE PROGRAM: ALL ONE-COAT STUCCO SYSTEMS SHALL BE APPLIED BY MFR. APPROVED INSTALLERS. AN APPROVED WEATHER RESISTIVE BARRIER SHALL BE APPLIED OVER ALL FRAMING AND WOOD BASED SHEATHING. ONE-COAT STUCCO SYSTEM SHALL BE "WESTERN ONE KOTE" STUCCO SYSTEM (ICC ESR #1607). THIS ONE-COAT STUCCO SYSTEM SHALL BE APPLIED OVER A WEATHER RESISTIVE BARRIER CONFORMING TO IRC R 703.9.
- G-2 PROVIDE WEATHER FLASHING/PROOFING AT EXTERIOR WALL PENETRATIONS, INCLUDING WINDOWS, DOORS AND VENTS PER R703.8
- G-3 PAINT ALL UTILITARIAN METAL TO MATCH STUCCO U.N.O.
- G-4 WEEP SCREED TO BE INSTALLED PER IRC R703.6.2.1
- G-5 STUCCO/PLASTER FINISH MATERIAL TO BE INSTALLED PER IRC R703.6.2.

WINDOW NOTES

- W-1 EACH SLEEPING ROOM SHALL HAVE AT LEAST ONE OPENABLE OR EXTERIOR WINDOW OR DOOR FOR EMERGENCY ESCAPE OR RESCUE. THE OPENING SHALL PROVIDE A MIN. OF 5.7 S.F. OF NET CLEAR OPENING. THE OPENING SHALL PROVIDE A MIN. OF 24" CLEAR OPENING HEIGHT AND 20" CLEAR OPENING WIDTH. WHERE WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THE FINISH SILL HEIGHT SHALL NOT EXCEED 44" ABOVE FINISH FLOOR.
- W-2 PRIMARY WINDOWS (BEDROOMS, LIVING, ETC.) SHALL BE RECESSED MIN 1" TO FACE OF GLASS
- W-3 SECONDARY WINDOWS (BATHROOMS, CLOSETS, ETC.) SHALL BE RECESSED MIN. 4"
- W-4 DIVIDED LIGHTS SHALL BE TRUE DIVIDED OR SIMULATED LIGHT W/ EXTERNAL MUNTINS ON EACH SIDE OF GLASS WITH SHADOW BAR BETWEEN PANE'S. GLAZING SHALL BE LOW-E COATED CLEAR GLASS.

NOTE: ALL DOOR FRAMES AND WINDOW FRAMES TO BE WESTERN WINDOWS AND DOORS. DARK BRONZE ANODIZED COLOR WITH AN LRV NOT TO EXCEED 38%, OR EQUIVALENT.

MATERIAL LEGEND

- STUCCO TO COMPLY WITH G1
COLOR: SHERWIN WILLIAMS - NOR'EASTER
LRV = 32
ESR #1607
- STANDING SEAM METAL ROOFING
COLOR = DARK BRONZE ANODIZED
LRV = 7
- METAL FASCIA
COLOR = DARK BRONZE ANODIZED
LRV = 7
- TONGUE & GROOVE - SIZE: T.B.D.
SHERWIN WILLIAMS - HAWTHORNE - SW3518
APPROX LRV = 20 (OR EQUIVALENT)

FOR: HILLSIDE REVIEW

REV # DATE

CAMELBACK
ESTATE

EXTERIOR
ELEVATIONS

Project number 19-12

Date 11/12/2020

Drawn by DJB

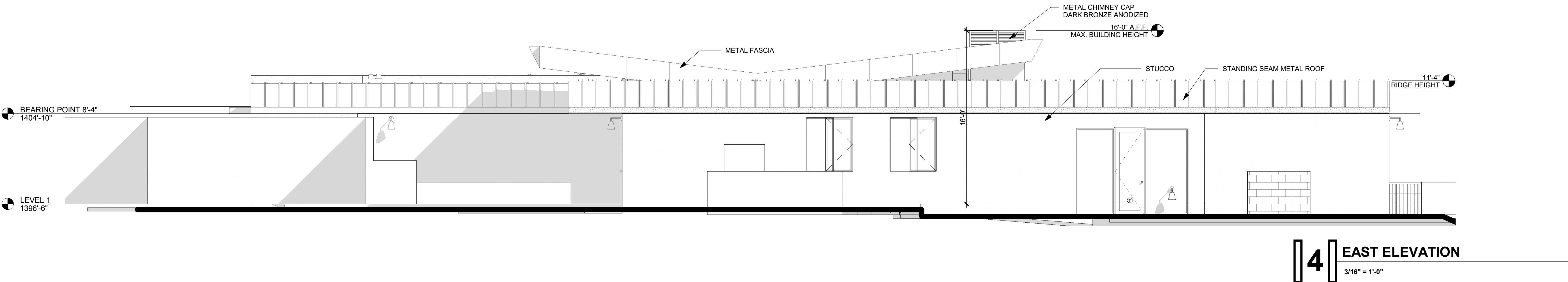
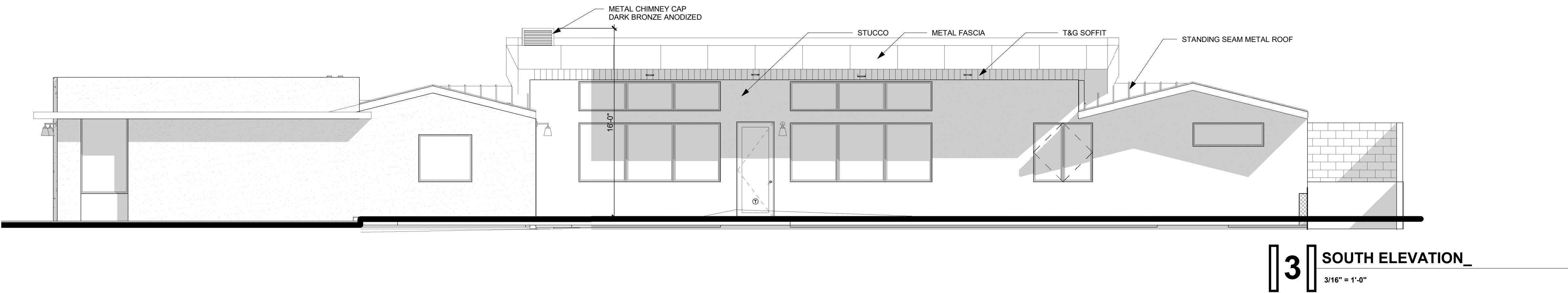
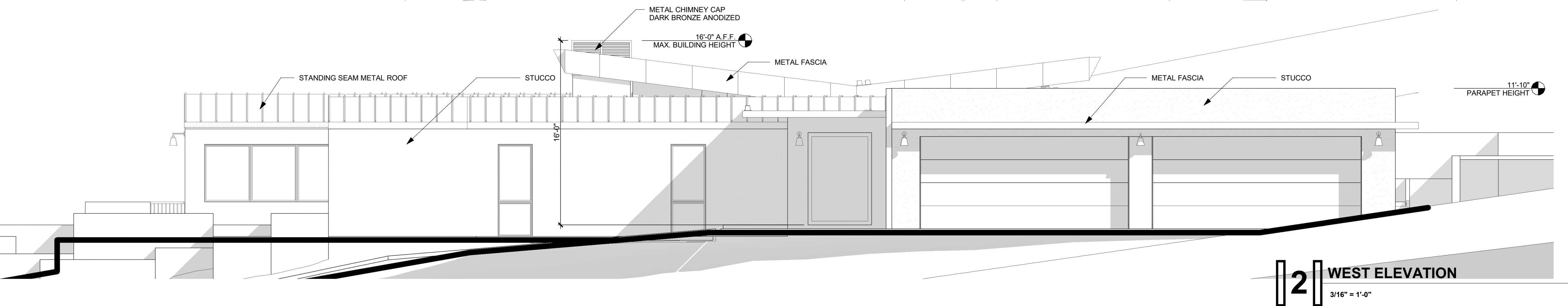
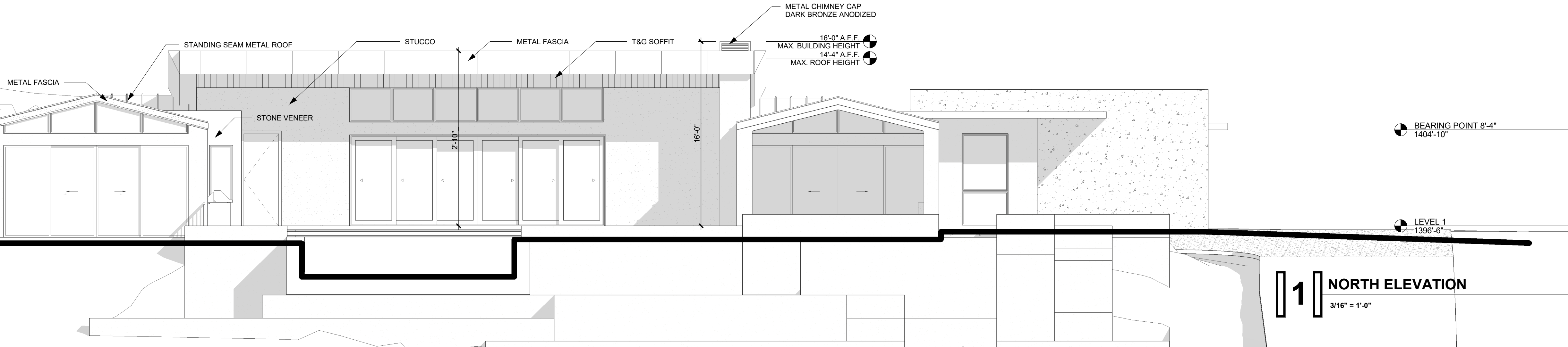
Checked by DJB

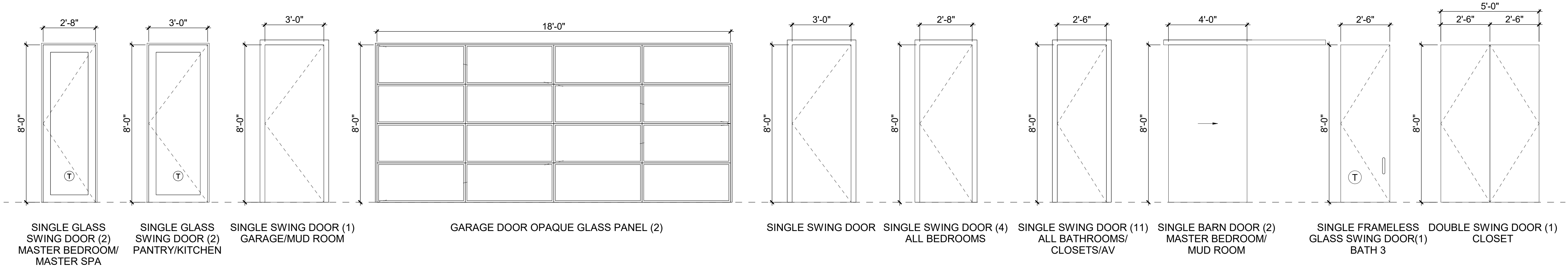
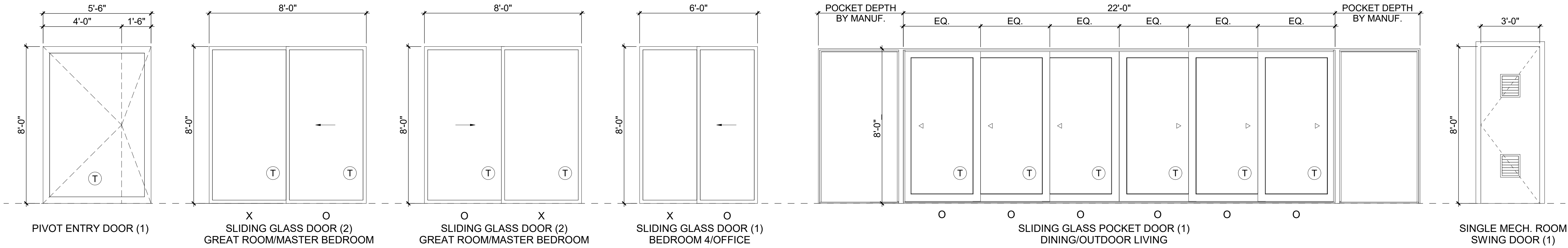
A6.1

Scale As indicated

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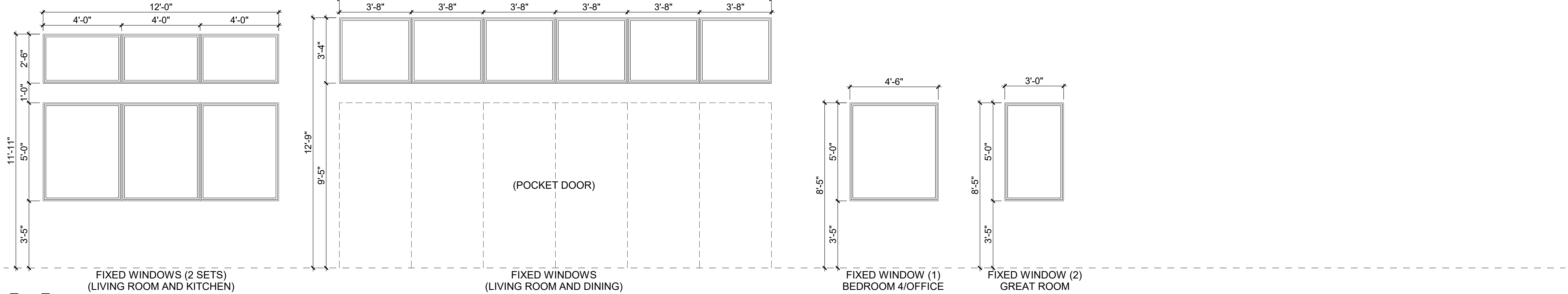
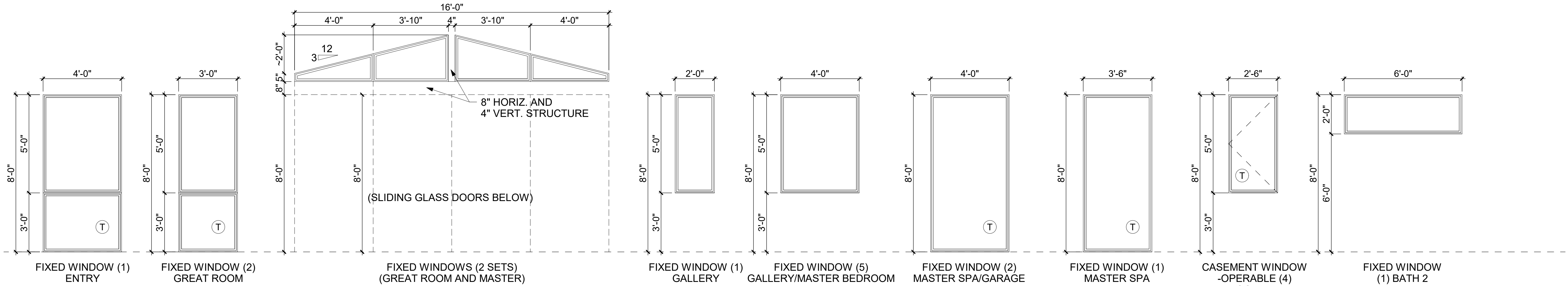
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DOOR ELEVATIONS

3/8" = 1'-0"



WINDOW ELEVATIONS

3/8" = 1'-0"



ARCHITECTURE | PLANNING | DESIGN

GENERAL NOTES

G-1 COORDINATE ALL INTERIOR DOOR STYLES/PANELS AND FINISHES WITH INTERIORS BEFORE COMMENCING WITH WORK.
G-2 ALL EXTERIOR DOORS TO BE COORDINATED WITH ARCHITECT AND INTERIORS.

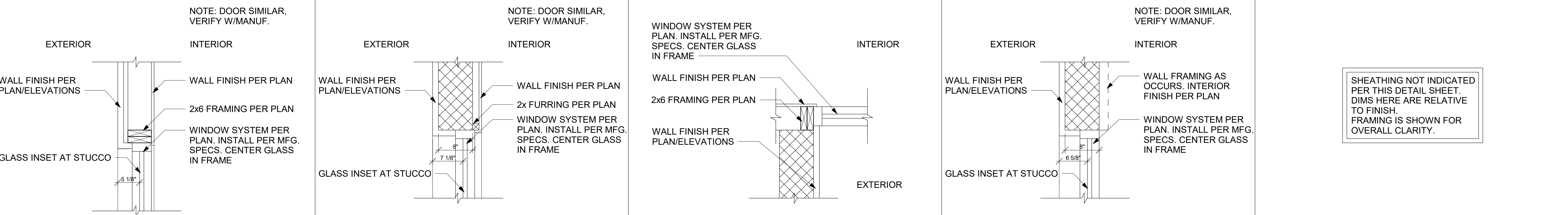
WINDOW NOTES

W-1 EACH SLEEPING ROOM SHALL HAVE AT LEAST ONE OPENABLE OR EXTERIOR WINDOW OR DOOR FOR EMERGENCY ESCAPE OR RESCUE. THE OPENING SHALL PROVIDE A MIN. OF 5.7 S.F. OF NET CLEAR OPENING. THE OPENING SHALL PROVIDE A MIN. OF 24" CLEAR OPENING HEIGHT AND 20" CLEAR OPENING WIDTH. WHERE WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THE FINISH SILL HEIGHT SHALL NOT EXCEED 44" ABOVE FINISH FLOOR.
W-2 PRIMARY WINDOWS (BEDROOMS, LIVING, ETC.) SHALL BE RECESSED MIN 6" TO FACE OF GLASS.
W-3 SECONDARY WINDOWS (BATHROOMS, CLOSETS, ETC.) SHALL BE RECESSED MIN. 4".
W-4 DIVIDED LIGHTS SHALL BE TRUE DIVIDED OR SIMULATED LIGHT W/ EXTERNAL MUNTINS ON EACH SIDE OF GLASS WITH SHADOW BAR BETWEEN PANES. GLAZING SHALL BE LOW-E COATED CLEAR GLASS.

NOTE: ALL DOOR FRAMES AND WINDOW FRAMES TO BE WESTERN WINDOWS AND DOORS, DARK BRONZE ANODIZED COLOR WITH AN LRV OF 7%, OR EQUIVALENT.

FOR:	HILLSIDE REVIEW
REV #	DATE

CAMELBACK ESTATE	
DOOR & WINDOW SCHEDULE	
Project number	19-12
Date	11/12/2020
Drawn by	DJB
Checked by	DJB
A8.1	
Scale	As indicated



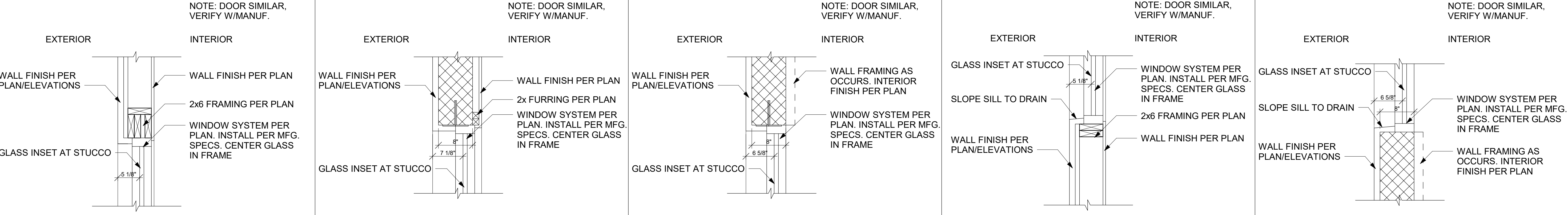
1 WINDOW JAMB DETAIL

2 WINDOW JAMB DETAIL

3 WINDOW JAMB DETAIL

4 WINDOW JAMB DETAIL

5



6 WINDOW HEAD DETAIL

7 WINDOW HEAD DETAIL

8 WINDOW HEAD DETAIL

9 WINDOW SILL DETAIL

10 WINDOW SILL DETAIL



11 WINDOW SILL DETAIL

12 WINDOW SILL DETAIL

13

14

15



16

17

18

19

20 WALL PARAPET DETAIL

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FOR: HILLSIDE REVIEW

REV # DATE

CAMELBACK
ESTATE

DOOR & WINDOW
DETAILS

Project number 19-12

Date 11/12/2020

Drawn by DJB

Checked by DJB

A9.1

Scale 1" = 1'-0"

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11/13/2020 3:15:08 PM

KEYNOTES

16.10 ELECTRICAL SERVICE ENTRANCE
16.11 ELECTRICAL SUB-PANEL (FLUSH MOUNT)

GENERAL NOTES

G-1 GARAGE TO BE WIRED AND STUB OUT FOR FUTURE ELECTRIC CAR OUTLET. PANEL WILL NEED A DEDICATED CIRCUIT BREAKER WITH A 240V LINE.
G-2 ALL 125 V RECEPTACLES TO BE LISTED TAMPER RESISTANT.
G-3 75% OF ALL LIGHTING TO HAVE HIGH EFFECIENCY LAMPS & ALL RECESSED LIGHTS IN BUILDING ENVELOPE TO BE SEALED.

SYMBOL LEGEND

	STANDARD WALL SWITCH
	3-WAY WALL SWITCH
	STANDARD DUPLEX OUTLET (SEE GEN. NOTE E)
	1/2" SWITCHED OUTLET (SEE GEN. NOTE E)
	FLOOR OUTLET - VERIFY LOCATION WITH OWNER (SEE GEN. NOTE E)
	220 V. OUTLET (SEE GEN. NOTE E)
	110 V. SMOKE DETECTOR WITH BATTERY BACKUP
	APPROVED CARBON MONOXIDE ALARM
	EXHAUST FAN (V.T.O)
	CAN LIGHT
	CANNED DIRECTIONAL LIGHT
	WALL MOUNTED LIGHT
	PENDENT CEILING LIGHT
	SURFACE MOUNTED LIGHT
	PUCK ACCENT LIGHT
	COMBINATION PHONE / TV
	GAS VALVE
	GARAGE DOOR OPENER
	WEATHER PROOF BOX
	VAPOR PROOF FIXTURE
	GROUND FAULT CIRCUIT INTERRUPT
	3-WAY CONTROL FOR SWITCH
	4-WAY CONTROL FOR SWITCH

FOR: HILLSIDE REVIEW

REV # DATE

CAMELBACK
ESTATE

ELECTRIC PLAN

Project number 19-12

Date 11/12/2020

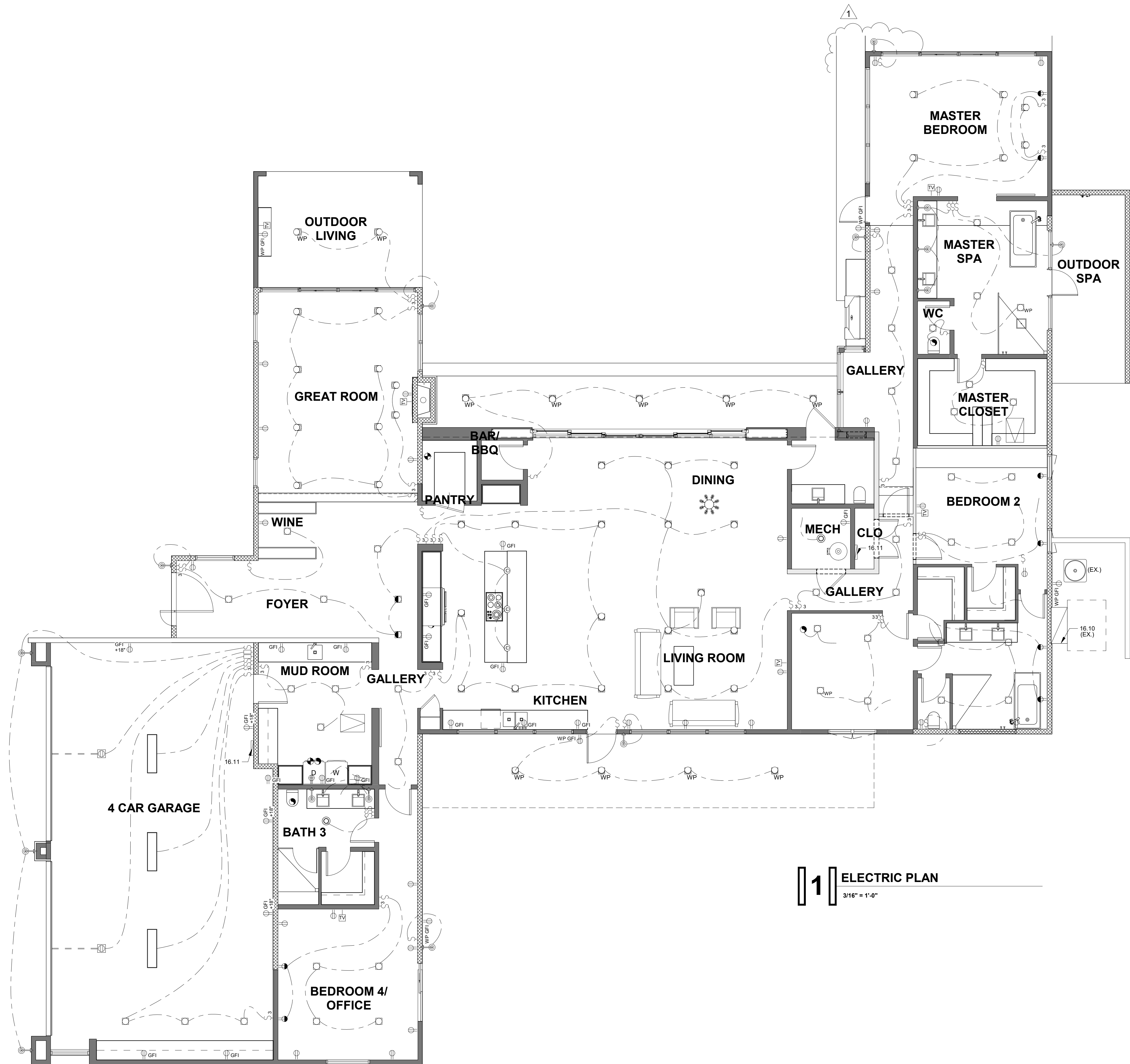
Drawn by DJB

Checked by DJB

E2.1

Scale As indicated

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1 ELECTRIC PLAN
3/16" = 1'-0"



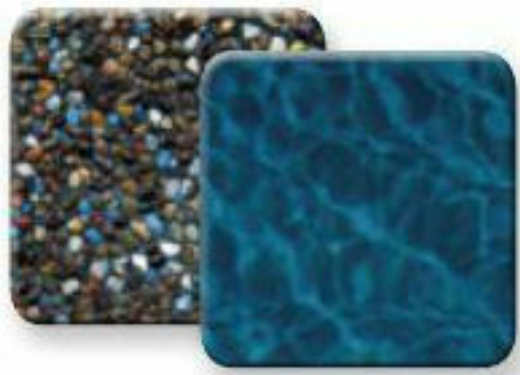
STACK BOND CMU WALL - GUEST HOUSE EXTERIOR WALLS
-STANDARD EXPOSED GRAY BLOCK - LRV = 25
(OR EQUIVALENT)



STUCCO PAINT, STUCCO SOFFITS, GYP BOARD SOFFITS, AND TRIM
-SHERWIN WILLIAMS
-NOR'EASTER - HGSW1444 - LRV = 32
(OR EQUIVALENT)

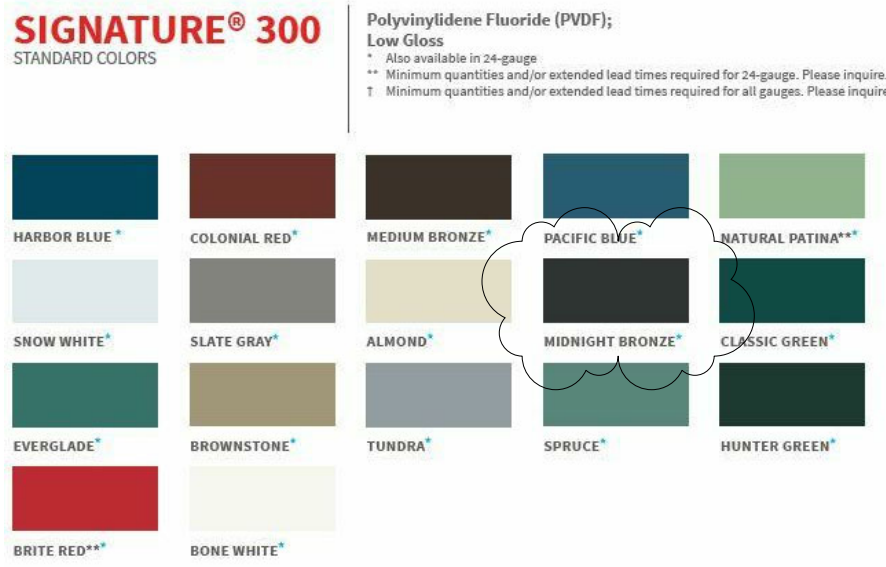


POOL DECK PAVERS
-MSI SURFACES
-SILVER TRAVERTINE
APPROX. LRV = 30
(OR EQUIVALENT)



Midnight Blue

POOL FINISH
-PEBBLETEC
MIDNIGHT BLUE - APPROX LRV = 15
(OR EQUIVALENT)



STANDING SEAM METAL ROOF AND METAL FASCIA
-MBCI METAL ROOFING
-MIDNIGHT BRONZE - LRV = 7
(OR EQUIVALENT)



SITE VIEW FENCE
-RUSTED METAL REBAR OR FLAT BAR
APPROX. LRV = 12
(OR EQUIVALENT)



EXTERIOR TONGUE & GROOVE WOOD SOFFIT
-SHERWIN WILLIAMS
HAWTHORNE - SW3518 - APPROX LRV = 20
(OR EQUIVALENT)



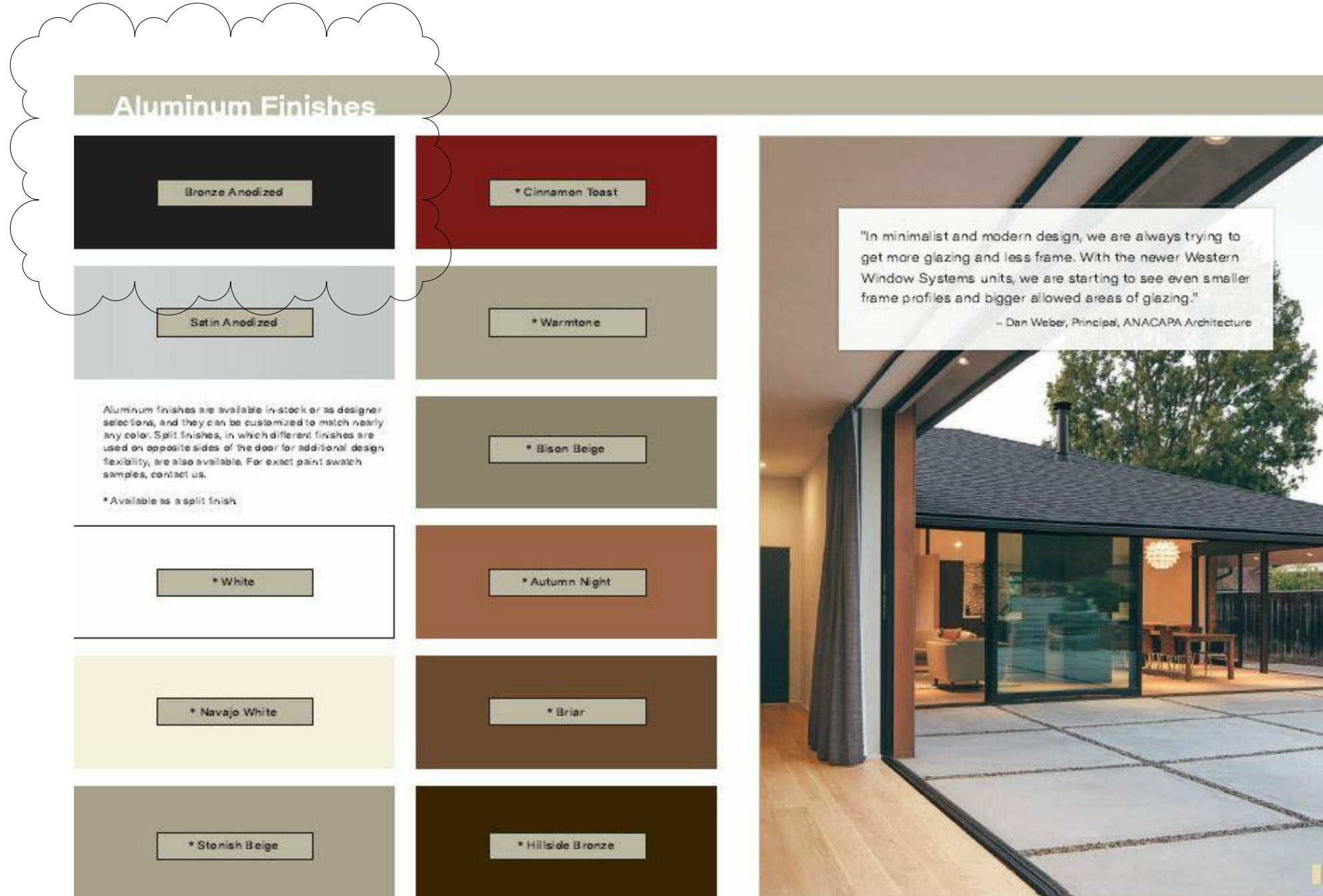
BALLASTED ROOFING SYSTEM
-STANDARD GRAY GRAVEL/ROCK - LRV = 25
(OR EQUIVALENT)
*IF REQUIRED BY HILLSIDE COMMITTEE,
CLIENT PREFERS TO PAINT TPO ROOFING
THE SAME COLOR AS THE HOUSE



DRIVEWAY/PARKING PAVERS
-BELGARD
-LUEDERS GRAY
APPROX. LRV = 30
(OR EQUIVALENT)



EXTERIOR SOFFIT CAN LIGHT
-PROGRESS LIGHTING
-BLACK FINISH - 3000 KELVIN - 725 LUMENS
LRV = 5 (OR EQUIVALENT)



DOOR AND WINDOW FRAMES
-WESTERN WINDOWS
-DARK BRONZE ANODIZED - LRV = 7
(OR EQUIVALENT)



STONE VENEER
-MS INTERNATIONAL
-NEPTUNE - LRV = 5
(OR EQUIVALENT)



EXTERIOR WALL SCONCE
-ZUR 24 OUTDOOR WALL " DARK SKY OPTION"
-BLACK FINISH - 3000 KELVIN - 750 LUMENS MAX.
LRV = 5

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GENERAL MATERIAL NOTES

1. ALL EXTERIOR MATERIAL PALETTE SHALL BE IN ACCORDANCE WITH SECTION 2207.II.D.
2. ALL EXTERIOR LIGHTING SHALL COMPLY WITH SECTION 2208.

FOR: HILLSIDE REVIEW

REV # DATE

CAMELBACK ESTATE MATERIAL BOARD

Project number 19-12
Date 11/12/2020
Drawn by DJB
Checked by DJB

A0.6

Scale 3/16" = 1'-0"

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12/24/2020 3:10:21 PM

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Generate PDF Spec Sheet to save, print and share.

Double Down Outdoor Wall Sconce

By Modern Forms

LUMENS
LIGHT AND LIVING
Call Us 877.445.4486

Product Options

Finish: Black, Graphite

Details

- Upper downlight washes fixture; lower downlight washes wall
- Dimmable with an ELV dimmer (not included)
- Rectangular backplate
- May be mounted in an up or down position
- Universal Driver (120-220-277)
- Designed in 2017
- Material: Aluminum
- Dimmable When Used With a Electronic low voltage (ELV) Dimmer (Not Included)
- ADA compliant, Dark Sky compliant
- ETL Listed Wet
- Warranty: Limited 5 Year (functional); Limited 2 Year (finish)
- Made in China

Dimensions

Fixture: Width 5", Height 18", Depth 4"

Lighting

- 11 Watt (275 Lumens) 120 Volt/277 Volt Integrated LED: CRI: 90 Color Temp: 3000K Lifespan: 50000 hours

Additional Details

Product URL: <https://www.lumens.com/double-down-outdoor-wall-sconce-by-modern-forms-MFMP154224.html>**Rating:** ETL Listed Wet**Product ID:** MFMP154224**Prepared by:****Prepared for:****Project:****Room:****Placement:****Approval:****Notes:**

Shipping to: **Phoenix, AZ** ▼

(800) 375-3403

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Item # bci3177642

**Progress Lighting**

6" LED Recessed Trim - 3000K - 700 Lumens - Triac Dimming

Model: **P8071-31-30K**

[Write a Review](#)



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\$29.89

Finish: Black



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\$32.03
745 In Stock

Select



Black
\$29.89
534 In Stock

Select



Brushed Nickel
\$32.24
3785 In Stock

Select



Satin White
\$39.24
5378 In Stock

Select

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534 In Stock

-

1

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\$28.41



Progress Lighting P8061-LED-ELV

\$16.99



Progress Lighting P8071-LED

\$40.69


Overview

Reviews

Product Q&A 1

Product Overview

This product has additional required/recommended options. To configure, add to your cart.

Housing Required

Manufacturer Resources

[Specification Sheet](#)



The P8071 is ideal for use in both new construction as well as remodel/retrofit. Light output is comparable to that of a typical 65W incandescent downlight, providing up to 75% energy savings. The P8071 is equipped with both Edison base adapter and quick link connector allowing easy installation in many standard incandescent recessed housings.

Features:

- Diffused polycarbonate lens controls direct glare from the LEDs
- Easy “Push and Twist” installation with (3) friction spring clips
- Can be installed in most competitors 6” recessed housings
- Dimmable to 10% with many Triac/Forward Phase dimmers
- Suitable for use in IC or NON-IC Applications
- Provided with quick link for use with E26 Edison Base adapter for retrofit applications
- Meets California Title 24
- Covered under 5 year warranty
- Wet location listed

Dimensions:

- Trim Size: 6"
- Width / Diameter: 7.75"
- Height: 4"

Electrical Specifications:

- Lamping Type: Integrated LED
- Lumens: 725
- Color Temperature: 3000K
- Color Rendering Index: 90 CRI
- Watts: 10.5
- Voltage: 120

Additional Progress Lighting Links

- [View the Manufacturer Warranty](#)
- [Browse All Progress Lighting Products](#)

This product is listed under the following manufacturer number(s):

Progress Lighting P8071-20-30K	Progress Lighting P8071-31-30K
Antique Bronze	Black
Progress Lighting P8071-09-30K	Progress Lighting P8071-28-30K
Brushed Nickel	Satin White

Dimensions and Measurements

Diameter	<input type="text"/>	7.75 in.
Height	<input type="text"/>	4 in.
Product Weight	<input type="text"/>	1 lbs.
Trim Size	<input type="text"/>	6 in.
Width	<input type="text"/>	7.75 in.

Included Components

Bulb Included	<input type="text"/>	Yes
Shower Lighting	<input type="text"/>	Yes

Characteristics and Features

Bulb Base	<input type="text"/>	Integrated LED
Bulb Type	<input type="text"/>	LED
Color Temperature	<input type="text"/>	3000K
Dimmable	<input type="text"/>	Yes
Energy Efficient	<input type="text"/>	Yes
Light Direction	<input type="text"/>	Down Lighting
Number of Bulbs	<input type="text"/>	1
Retrofit	<input type="text"/>	Yes
Trim Style	<input type="text"/>	Open Trims, Shower Trims

Electrical and Operational Information

Average Hours	<input type="text"/>	50000 Hours
Color	View More	

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Action Report

File #: 21-016

TO: Hillside Building Committee

FROM: Hugo Vasquez, Hillside Development Administrator

DATE: January 13, 2021

DEPARTMENT: Engineering

AGENDA TITLE:
Election of Hillside Building Committee Chair

SUMMARY STATEMENT:
Election of Hillside Building Committee Chair

ATTACHMENT(S):
N/A



Action Report

File #: 21-016

TO: Hillside Building Committee

FROM: Hugo Vasquez, Hillside Development Administrator

DATE: January 13, 2021

DEPARTMENT: Engineering

AGENDA TITLE:
Election of Hillside Building Committee Chair

SUMMARY STATEMENT:
Election of Hillside Building Committee Chair

ATTACHMENT(S):
N/A