



Town of Paradise Valley

6401 E Lincoln Dr
Paradise Valley, AZ 85253

Meeting Notice and Agenda

Hillside Building Committee

Wednesday, September 9, 2020

8:00 AM

Town Hall Boardroom

**IN-PERSON ATTENDANCE AT PUBLIC MEETINGS HAS BEEN SUSPENDED UNTIL
FURTHER NOTICE. WATCH LIVE STREAMED MEETINGS AT:**

<https://paradisevalleyaz.legistar.com/Calendar.aspx>

THIS MEETING WILL BE HELD BY REMOTE PARTICIPATION ONLY

PUBLIC PARTICIPATION IN THE MEETING

Members of the public are encouraged to participate in the meeting via the following options:

1. View the live stream at <https://paradisevalleyaz.legistar.com/Calendar.aspx>
 - (a) Click on Calendar Tab
 - (b) Look for Town Council meeting (you may have to select it from the dropdown list) and find the meeting date

- (c) Click the "In Progress" link in the column titled Video

2. Zoom Conference

- (a) Computer: <https://zoom.us/j/6678902153>

- (b) Telephone: 1 669 900 6833 Meeting ID 667 890 2153

3. Submitting questions and comments:

- (a) Visit <https://paradisevalleyaz.legistar.com/Calendar.aspx>, search for the meeting date, and click "eComment". Locate the agenda item you are interested in and click "Comment" (Please submit comments at least 1 hr prior to meeting)

- (b) Email hillsidecommittee@paradisevalleyaz.gov (Please submit comments at least 1 hr prior to meeting)

4. Speaking during the meeting

- (a) Visit <https://paradisevalleyaz.legistar.com/Calendar.aspx>, search for the meeting date, and click "eComment". Locate the agenda item and click "Register to Speak".

Join the meeting by dialing 1 669 900 6833 Meeting ID 667 890 2153

- (b) If attending by Zoom Video Conference, click the chat button and enter your name and the agenda item you would like to address

(These meeting participation guidelines are pursuant to Town Council Resolution 2020-08 adopted March 17, 2020.)

Notice is hereby given pursuant to A.R.S. §38-431.02. that members of the Hillside Building Committee will attend by audio/video conference call.

Committee Members

Chair Scott Jarson, Scott Tonn, Jonathan Wainwright, Daran Wastchak, Pamela Georgelos

1. Call to Order

Notice is hereby given that members of the Committee will attend either in person or by telephone conference call, pursuant to A.R.S. §38-431(4).

2. Executive Session

The Committee may convene into an executive session at one or more times during the meeting as needed to confer with the Town Attorney for legal advice regarding any of the items listed on the agenda as authorized by A.R.S. §38-431.03.A.3.

3. Application Review

The Committee may take action on these items.

[20-352](#)

Re-approval review for a new single family residence at 4606 E Charles Drive (APN 168-69-022).

[20-353](#)

Combined Review for a remodel, deck and patio expansion, and landscape improvements at 7819 N Mohave Road (APN 169-03-058).

[20-354](#)

Formal Review for a new single family residence at 6019 E Foothill Drive North (APN 169-03-056).

[20-355](#)

Formal Review for a new single family residence at 5405 E San Miguel Avenue (APN 172-47-041).

[20-356](#)

Formal Review for a new single family residence at 7070 N 59th Place (APN 169-55-017).

4. Staff Reports

5. Committee Reports

6. Next Meeting Date

The next Hillside Building Committee meeting dates are tentatively scheduled for Wednesday, October 14, 2020 at 8:00 a.m. and Wednesday, November 11, 2020 at 8:00 a.m.

7. Adjournment

AGENDA IS SUBJECT TO CHANGE

**Notice is hereby given that pursuant to A.R.S. §1-602.A.9, subject to certain specified statutory exceptions, parents have a right to consent before the State or any of its political subdivisions make a video or audio recording of a minor child. Meetings of the Planning Commission are audio and/or video recorded, and, as a result, proceedings in which children are present may be subject to such recording. Parents in order to exercise their rights may either file written consent with the Town Clerk to such recording, or take personal action to ensure that their child or children are not present when a recording may be made. If a child is present at the time a recording is made, the Town will assume that the rights afforded parents pursuant to A.R.S. §1-602.A.9 have been waived.*

The Town of Paradise Valley endeavors to make all public meetings accessible to persons with disabilities. With 72 hours advance notice, special assistance can also be provided for disabled persons at public meetings. Please call 480-948-7411 (voice) or 480-483-1811 (TDD) to request accommodation to participate in the meeting.



Action Report

File #: 20-352

To: Hillside Building Committee

From: Hugo Vasquez; Hillside Development Administrator

Date: September 9th, 2019

Subject: Re-approval review for a new single family residence at 4606 E Charles Drive (APN 168-69-022).

Narrative: The proposed project shall construct a new single family residence, pool, and retaining walls. The project has an application date of August 17th, 2020 and will be reviewed under the 2018 Hillside Development Regulations. The project was previous approved on February 15th, 2019 but the application recently expired.

Lot Data		
1.	Area of Lot	0.952 ac or 41,453 ft ²
2.	Area Under Roof	8,586 ft ²
3.	Floor Area Ratio	20.71%
4.	Building Site Slope	6.00%
5.	Allowable Disturbed Area	24,872 ft ² (60.00%)
6.	Existing Disturbed Area	39,100 ft ² (94.32%)
7.	Proposed Disturbed Area	33,724 ft ² (81.35%)
8.	Maximum Building Height	19 ft - 0 in
9.	Overall Height	28 ft - 6 in
10.	Volume of Cut/Fill	2,000 yd ³
11.	Hillside Assurance	\$68,145

Background

The property previously contained a 2,600 ft² residential property with an attached carport constructed in 1960. The structure was demolished in 2019.

New Single Family Residence

The proposed project shall construct a new single-story residence with approximately 5,000 ft² of livable area. Existing disturbed areas are also proposed to be revegetated to blend in with the natural desert.

Pool

A pool and water feature are proposed in the north side of the property. A tall water feature (accessory structure) is proposed at the end of the pool.

Materials

Proposed exterior finishes are stucco and block with natural earth tones. Pavers and tiles are proposed for the hardscape surfaces (driveway, walkways) and the water feature. The provided dark gray paver (LRV 12), light gray paver (LRV 25), and “silver” tile (LRV 35) samples meet Hillside requirements. Stucco walls shall be painted tan (Dunn-Edwards, Ash Gray, DEC 751, LRV 35). CMU walls, veneers, and a water feature shall consist of gray blocks (integral color, LRV <38). The standing seam roof, metal fascia, trellis structures, metal garage doors, guardrails, and gates shall be painted black (Dunn-Edwards, “Custom” Black, LRV 10). All material shall have an LRV of 38 or less.

Building Lighting

The building light includes five (5) proposed wall sconces with a maximum output of 1000 lumens (750 lumens allowable) and 16 recessed can lights with a maximum output of 630 lumens (150 lumens allowable). All light sources shall have a maximum color temperature of 3000K.

Landscape Lighting

Landscape lighting will include five (5) up lights with a maximum output of 135 lumens (150 lumens allowable) and six (6) step lights with a maximum output of 240 lumens (250 lumens allowable). All light sources shall have a maximum color temperature of 3000K.

Landscaping

Areas west of the residence shall be revegetated with native desert plants. An existing palm tree shall be removed, and an existing Saguaro shall be relocated to south of the residence. The site will include new plants including Silver Torch Cacti, Golden Barrel Cacti, Firestick Cacti, Deegrass, and Ocotopus Agave. All lawn areas shall use artificial material.

Land Disturbance

The building pad slope of 6.00% allows a disturbance of 60.00% of the lot. The applicant has proposed a disturbance of approximately 81.35% (33,724 ft²), which is less than the existing 94.32% (39,100 ft²). The original driveway off of N Lauretta Lane will be removed and the area will be restored back to natural grades.

Grading and Drainage

There will be grading associated with the construction of the property in order to properly retain the “pre vs post” storm water volumes for the 100-year, 2-hour rainfall event. The property will be graded in a fashion that all onsite stormwater will ultimately flow towards a retention area on the northeast corner of the lot. Offsite flows will be routed to Lauretta Lane and the natural wash located on the northeast corner of the property.

Sewer

A new septic system is proposed for the property. No sanitary sewer exists in the near vicinity of the property.

Hillside Safety Improvement Plan

The Applicant submitted a Hillside Safety Improvement Plan in accordance with the Hillside Safety Improvement Measures and Process Manual per Section 5-10-9 of the Town Code. The plan completed 45 days without any public comment. Staff commented on the placement of the retention basin and routing of offsite drainage.

Formal Plan Review

Should the Hillside Committee wish to approve this application, staff suggests the following stipulations:

1. Any changes to the Hillside-approved plans may result in delays in permit plan review and inspection processes. Any proposed changes should be reported to the Staff to determine compliance with Hillside Development Regulations. Changes may be subject to a Staff, Chair, or Committee review.
2. The Applicant shall submit a Construction Staging Plan to the Town per the Hillside Safety Improvement Measures and Process Manual for review and approval prior to being issued a building permit.
3. The Applicant shall submit a liability insurance policy for the proposed project in the amount of \$2 million per

occurrence and \$5 million aggregate naming the Town of Paradise Valley as an additional insured prior to being issued a building permit.

4. Prior to issuance of a permit, the Applicant shall submit a Hillside Assurance in the amount of \$68,145.

5. All construction parking shall be located on the property as much as possible. Any offsite parking shall be confined to the adjacent streets along the immediate property frontage. All offsite parking shall be located on the same side of the street. No construction materials will be allowed to be stored on the Town's right-of-way.

6. All recommendations provided in the Safety Improvement Plan shall be followed by the applicant. Any field work related to the Safety Improvement Plan, including but not limited to rock bolting, rock cuts, mesh placement, and boulder stabilization methods, shall be inspected by a qualified Special Inspector contracted by the applicant. An Arizona Registered Engineer contracted by the applicant shall review, for compliance with the recommendations provided in the Safety Improvement Plan, the proposed plans prior to submitting for a permit. The contracted Arizona Registered Engineer shall provide a sealed letter stating that the plans submitted are in accordance with the Safety Improvement Plan.

7. No final approval or certificate of occupancy shall be issued until all Hillside stipulations and all Town Code requirements are complied with, including, but not limited to, landscaping, fire flow, fire safety and all onsite and offsite improvements.

8. The limits of construction and proposed disturbed areas shall be clearly staked in the field, with visible roping, prior to demolition and during construction and shall conform to the approved individual site analysis plan. Photos of the staking shall be provided prior to issuance of a demolition and/or building permit.

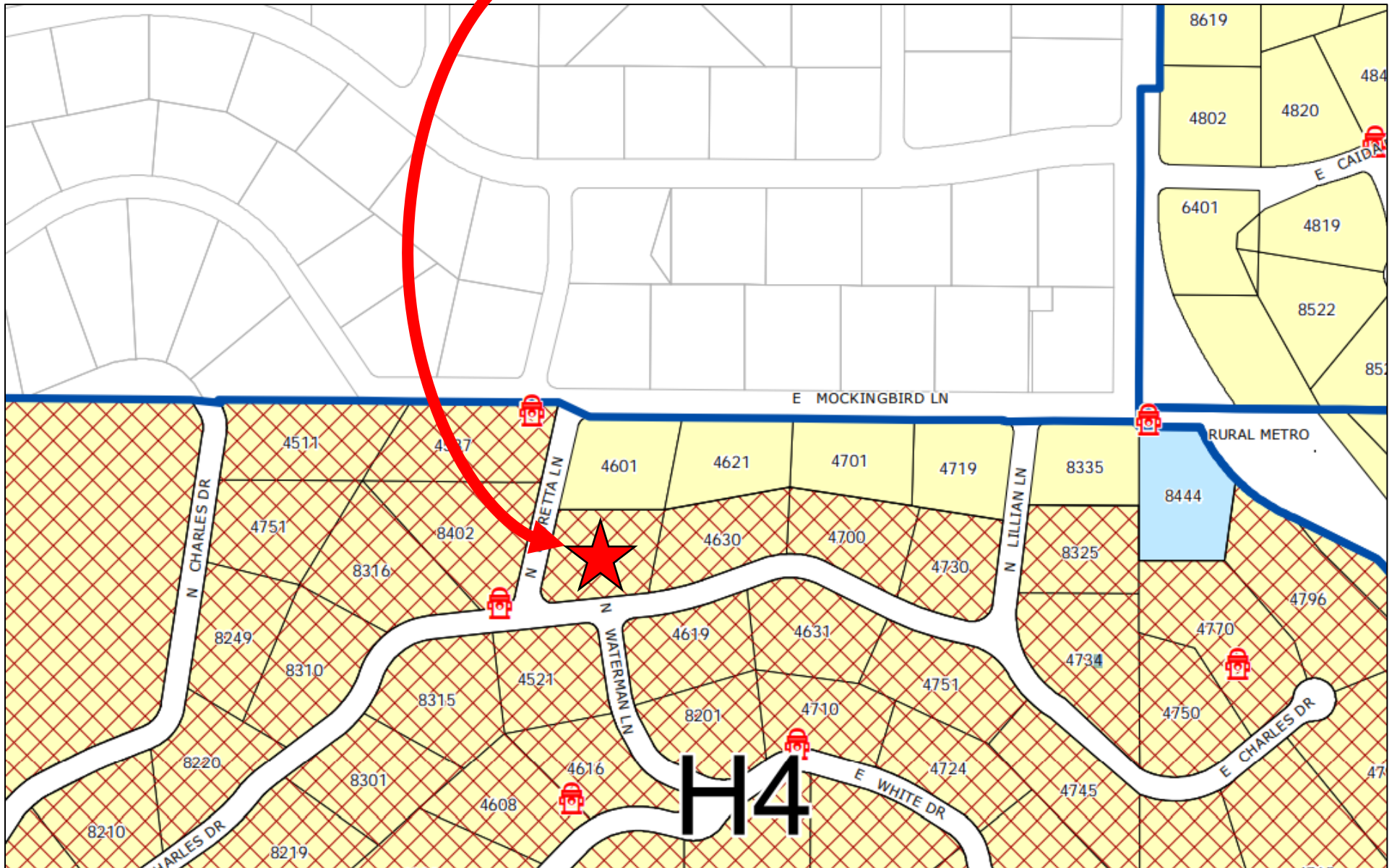
9. Noise from construction that can be heard off-site, including, but not limited to, hydraulic ram hammers, equipment used to cut through rock, machinery with audible back-up warning devices, powered machinery, truck delivery and idling, constant and persistent hammering, shall comply with Article 8-10, Nuisance Noise, as set forth in the Town Code. Heavy Equipment and construction-related deliveries are generally limited between the hours of 7:00 a.m. and 5:00 p.m. Monday through Friday; no work on Saturday, Sunday or legal holidays. Exceptions include a one hour early start time in summer, time exceptions granted by the Town Manager, and construction not defined as Heavy Equipment or deliveries that can occur outside the 7:00 a.m. to 5:00 p.m., Monday through Friday, time frame.

10. Natural stone selections shall not exceed the maximum allowable LRV of 38. Care should be taken when selecting to ensure that the maximum LRV is not exceeded. Failure to comply with may result in delays obtaining a Certificate of Occupancy.

11. The civil engineer of record shall inspect the final grading and drainage improvements and shall provide a report or memo confirming that the improvements are constructed per plan. Any deviations from the approved plan shall be noted and addressed in the report or memo.

12. A landscape as-built plan shall be provided by the landscape designer at the time of the Final Hillside inspection and prior to the issuance of a Certificate of Occupancy. See Stipulation #1 for more information.

4606 E Charles Drive





4606 E Charles Drive



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TOWN OF PARADISE VALLEY HILLSIDE DEVELOPMENT

DATE: October 31, 2018

SUBDIVISION NAME: Sunset Hills

ADDRESS OF PROPERTY 4606 E Charles Drive, Paradise Valley, AZ 85253

ASSESSOR'S PARCEL NUMBER: 168-69-022

LEGAL DESCRIPTION: LOT 20 SUNSET HILLS LOT 21-37 & TR A, B MCR 006802

ARCHITECT: Fit Designs, PLLC / Jen Lamoreaux 480-205-4515

<small>NAME</small>	<small>PHONE NUMBER</small>
<u>15459 S 44th Way, Phoenix, AZ 85044</u>	<u>fitdesigns@live.com</u>
<small>ADDRESS</small>	<small>E-MAIL ADDRESS</small>

ENGINEER/OTHER: G-Mar, LLC / Geoff Markowski, P.E. 602-524-7877

<small>NAME</small>	<small>PHONE NUMBER</small>
<u>18223 W Orchid Ln, Waddell, AZ 85355</u>	<u>geoff@g-mareng.com</u>
<small>ADDRESS</small>	<small>E-MAIL ADDRESS</small>

OWNER: ABF Investments, LLC / Bernard Fritz 602-430-6930

<small>PRINT NAME</small>	<small>PHONE NUMBER</small>
<u>16202 S 31st Way, Phoenix, AZ 85048</u>	<u>berniefritz@q.com</u>
<small>ADDRESS</small>	<small>E-MAIL ADDRESS</small>

<u><i>Bernard Fritz</i></u>	<u>10-31-18</u>
<small>SIGNATURE OF OWNER OR REPRESENTATIVE</small>	<small>DATE</small>

SCOPE OF WORK: Demolition of existing home and driveway, construct
all new single family home, pool, and driveway.



Combined Plan Review Notification

July 7, 2020

[neighbor name]
[neighbor address]
[neighbor address]

Subject: Combined Plan Review for Proposed Exterior Improvements to the Home Situate at:
7819 N Mohave Road
Paradise Valley, AZ 85253

Dear Property Owner,

An application has been submitted to the Town of Paradise Valley for an exterior remodel at 7819 N Mohave Road, Paradise Valley, AZ 85253. In compliance with Town requirements, this letter is being sent to you as a courtesy to inform you of the pending application. The Hillside Building Committee will be reviewing this application on September 9, 2020 at 8:00 AM at the Paradise Valley Town Hall located at 6401 East Lincoln Drive.

The purpose of a **Combined Plan Review** meeting is for the Hillside Building Committee to review the submittal for compliance with the goals, purposes, and specific criteria of the Town of Paradise Valley Hillside Development Regulations.

The Hillside Building Committee will approve, approve with stipulations, continue, or deny the submittal. This meeting is open to the public and you may feel free to attend. If you have any questions, please feel free to call me at 602-758-0808 or email at braden@abl.designstudio.com.

Best Regards-

Braden Santarcangelo
Owner ~ ABL Design Studio, LLC

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2. Zoom Conference: Meeting information to be provided on final meeting agenda
3. Submitting questions and comments: (a) Visit <https://paradisevalleyaz.legistar.com/Calendar.aspx>, search for the meeting date, and click “eComment”. Locate the agenda item you are interested in and click “Comment” (Please submit comments at least 1 hr prior to meeting)
4. Speaking during Call to the Public / Public Hearings:
(a) Visit <https://paradisevalleyaz.legistar.com/Calendar.aspx>, search for the meeting date, and click “eComment”. Locate the agenda item and click “Register to Speak”. Join the meeting by dialing the Zoom Video Conference number provided on the final meeting agenda.
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For further information about any of these matters, please contact the Community Development Department, 6401 E. Lincoln Drive, Paradise Valley, Arizona, 480-348-3692.

All agendas are subject to change. You can view the agenda, find application material, and provide your input via eComment approximately 4-6 days prior to the meeting date at <https://paradisevalleyaz.legistar.com/Calendar.aspx>. You may also contact the staff liaison, Hugo Vasquez on this application at hvasquez@paradisevalleyaz.gov or 480-348-3525 at any time before the scheduled meeting date.

Parcel Number	Owner	Property Address	Mailing Address
168-77-001D	MUMMY MOUNTAIN 19 LLC	8055 N MUMMY MOUNTAIN RD PARADISE VALLEY 85253	2525 E CAMELBACK RD STE 700 PHOENIX AZ 85016
168-77-007	HILLSDALE COLLEGE		33 E COLLEGE ST HILLSDALE MI 49242
168-77-008	M & E LIVING TRUST	8020 N MUMMY MOUNTAIN RD PARADISE VALLEY 85253	497 SKYLAKE CT INCLINE VILLAGE NV 89451
168-78-001C	MALCOLM INVESTMENTS LLC	8115 N MOHAVE RD PARADISE VALLEY 85253	201 N CENTRAL AVE 22ND FL PHOENIX AZ 85004-0608
168-78-001D	SAMUEL ROBERT C	8107 N MOHAVE RD PARADISE VALLEY 85253	5141 N 40TH ST NO 500 PHOENIX AZ 85018
168-78-002	THURSTON RAY R & AMY L	8000 N MOHAVE RD PARADISE VALLEY 85253	8000 N MOHAVE PARADISE VALLEY AZ 85253
168-78-003	MOHAVE ROAD TRUST	8040 N MOHAVE RD PARADISE VALLEY 85253	234 ELMGROVE DR TECUMSEH ON CANADA N8N 3S3
168-78-004B	PARVEEN KAURKHANUJA QUAL PERSONAL RESD TRUST	8110 N MOHAVE RD PARADISE VALLEY 85253	8110 N MOHAVE RD PARADISE VALLEY AZ 85253
168-78-004E	LYNNE MORRISON PROPERTIES LLC	8112 N MOHAVE RD PARADISE VALLEY 85253	PO BOX 911 STERLING CO 80751
168-78-006	GSD ARIZONA QUALIFIED PERSONAL RESIDENCE TR	8131 N MOHAVE RD PARADISE VALLEY 85253	8131 N MOHAVE RD PARADISE VALLEY AZ 85253
168-78-007	ROSALEDA TRUST	8001 N MOHAVE RD PARADISE VALLEY 85253	8001 N MOHAVE RD PARADISE VALLEY AZ 85253
168-78-008	CYRELL ALEXANDER/MICHELSON SUSAN TR	5917 E IRONWOOD DR PARADISE VALLEY 85253	5917 E IRONWOOD DR PARADISE VALLEY AZ 85253
168-78-009	WALKER CHARLES F/PROSCH CYNTHIA SEGINSKI	5933 E IRONWOOD DR PARADISE VALLEY 85253	3404 MARQUETTE ST DALLAS TX 75225
168-78-010	ROSALEDA TRUST	8001 N MOHAVE RD PARADISE VALLEY 85253	8001 N MOHAVE RD PARADISE VALLEY AZ 85253
168-79-001B	PV 20 LLC	8103 N COCONINO RD PARADISE VALLEY 85253	6437 E JACKRABBIT RD PARADISE VALLEY AZ 85253
168-79-003A	ANDERSON ROBERT/SYDNEY M TR	8070 N COCONINO RD PARADISE VALLEY 85253	7262 OLD POST RD BOULDER CO 80301
168-79-004A	PV 20 LLC	8097 N COCONINO RD PARADISE VALLEY 85253	6437 E JACKRABBIT RD PARADISE VALLEY AZ 85253
168-79-004B	PV 20 LLC	8005 N COCONINO RD PARADISE VALLEY 85253	6437 E JACKRABBIT RD PARADISE VALLEY AZ 85253
168-79-004C	MATLOFF FAMILY TRUST	8000 N COCONINO RD PARADISE VALLEY 85253	8000 N COCONINO PARADISE VALLEY AZ 85253
169-02-022A	GREAT MOUNTAIN VIEW LLC		23005 N 74TH ST UNIT 3059 SCOTTSDALE AZ 85255-7518
169-02-022B	PLENGE ROBERT W/DORRANCE BENNETT ETAL TR		6401 E LINCOLN DR PARADISE VALLEY AZ 85253
169-03-032	DAVID AND MARY JO CHRISTENSEN LIVING TRUST	7590 N HUMMINGBIRD LN PARADISE VALLEY 85253	7590 N HUMMINGBIRD LN PARADISE VALLEY AZ 85253
169-03-033	BENSON GEORGE/JOHNNIE L	7616 N FOOTHILL DR S PARADISE VALLEY 85253	360 HAMILTON AVE 100 WHITE PLAINS NY 10601
169-03-037	7734 INVESTMENT LLC	7734 N HUMMINGBIRD LN PARADISE VALLEY 85253	7702 E DOUBLETREE RANCH RD SUITE 300 SCOTTSDALE AZ 85258
169-03-040	GUY THOMAS AND NANCY LEE EGGBRECHT FAM TRUST	7839 N FOOTHILL DR S PARADISE VALLEY 85253	7839 N FOOTHILL DRIVE S PARADISE VALLEY AZ 85253
169-03-041	WILLIAM S CULLEN DECEDENTS TRUST ETAL	7815 N FOOTHILL DR S PARADISE VALLEY 85253	7815 E FOOTHILL DR SOUTH PARADISE VALLEY AZ 85253
169-03-043	X ZIP TRUST	7755 N FOOTHILL DR S PARADISE VALLEY 85253	209 TENTH AVE SOUTH STE 405 NASHVILLE TN 37203
169-03-044	KLC-018 TRUST/SUZANNE M COOK TRUST	7725 N FOOTHILL DR S PARADISE VALLEY 85253	7725 N FOOTHILL DR S PARADISE VALLEY AZ 85253-3067
169-03-045	BEVERLY J BECKER REVOCABLE TRUST	7629 N FOOTHILL DR S PARADISE VALLEY 85253	42338 RUSSIA RD ELYRIA OH 44035
169-03-046	TEMPLETON KATHRYN A TR	7632 N FOOTHILL DR S PARADISE VALLEY 85253	7632 S FOOTHILL DR PARADISE VALLEY AZ 85253
169-03-047	SIMONE FOOTHILL DRIVE LLC	7720 N FOOTHILL DR S PARADISE VALLEY 85253	8800 N GAINIEY CENTER DR STE 160 SCOTTSDALE AZ 85258-2122
169-03-048	DLHBA 2015 DE	7726 N FOOTHILL DR S PARADISE VALLEY 85253	7726 N FOOTHILL DR SOUTH PARADISE VALLEY AZ 85253
169-03-049	ICONIC VIEWS LLC	7805 N MOHAVE RD PARADISE VALLEY 85253	7377 E DOUBLETREE RANCH RD UNIT 190 SCOTTSDALE AZ 85258
169-03-050	PERKO DARREN ANDREW FRANK/LORIE ANNE	7738 N FOOTHILL DR S PARADISE VALLEY 85253	70 STANDISH AVE TORONTO ON CANADA M4W3B1
169-03-055A	SILVERBERG ROBERT I/ROBYN H TR	6041 E FOOTHILL DR PARADISE VALLEY 85253	6041 E FOOTHILLS DRIVE NORTH PARADISE VALLEY AZ 85253
169-03-056	ANDALKAR NITEEN/BERNADETTE	6019 E FOOTHILL DR N PARADISE VALLEY 85253	10187 E PEAK CIR SCOTTSDALE AZ 85262
169-03-057	HOECHNER BRUCE D/JUDITH L	6001 E FOOTHILL DR N PARADISE VALLEY 85253	1406 SILO RD YARDLEY PA 19067
169-03-058	BRYAN AND ELIZABETH SABA FAMILY TRUST	7819 N MOHAVE RD PARADISE VALLEY 85253	7819 N MOHAVE RD PARADISE VALLEY AZ 85253
169-03-059	MARTIN D WOLF SEPARATE PROPERTY TRUST	5925 E FOOTHILL DR N PARADISE VALLEY 85253	5925 E FOOTHILL DR N PARADISE VALLEY AZ 85253
169-03-060	MOONLIGHT ESTATE LLC	6132 E FOOTHILL DR N PARADISE VALLEY 85253	4511 N HICKORY LN KANSAS CITY MO 64116
169-03-061	VILLA RUSTICA FIDUCIA LLC	6044 E FOOTHILL DR N PARADISE VALLEY 85253	10645 N TATUM BLVD STE 200 PMB 194 PHOENIX AZ 85028
169-03-062	PHELPS KENNETH A/ DEBRA S	6030 E FOOTHILL DR N PARADISE VALLEY 85253	8215 N 62ND PL PARADISE VALLEY AZ 85253
169-03-063A	JD ARIZONA LLC		PO BOX 11086 JACKSON WY 83002
169-03-064A	JD ARIZONA LLC		PO BOX 11086 JACKSON WY 83002
169-03-083	MEYER ERIC D/SNELL SARAH	7765 N FOOTHILL DR S PARADISE VALLEY 85253	765 FOOTHILL DR SOUTH PARADISE VALLEY AZ 85259
169-03-084	ZENA TRUST	7777 N FOOTHILL DR S PARADISE VALLEY 85253	7777 N FOOTHILL DRIVE S PARADISE VALLEY AZ 85253
169-03-091	ROHR DANIEL C TR	7760 N FOOTHILL DR S PARADISE VALLEY 85253	7760 N FOOTHILLS S PARADISE VALLEY AZ 85253
169-03-092	BUCON KIRK A/MELANIE A	7746 N FOOTHILL DR S PARADISE VALLEY 85253	7746 N FOOTHILLS DRIVE SOUTH PARADISE VALLEY AZ 85253
169-03-093A	WDW ROYAL PALM INVESTMENTS LLC	6045 E FOOTHILL DR N PARADISE VALLEY 85253	6045 E FOOTHILL DR N PARADISE VALLEY AZ 85253
169-03-094	D L L R PROPERTIES LLC	7798 N FOOTHILL DR S PARADISE VALLEY 85253	7015 N 53RD AVE GLENDALE AZ 85301
169-03-106	FAULK ROBERT M/AMY D	7720 N HUMMINGBIRD LN PARADISE VALLEY 85253	9925 DEVONSHIRE DR OMAHA NE 68114-3851
169-03-107	WEDER FAMILY REVOCABLE LIVING TRUST	7728 N HUMMINGBIRD RD PARADISE VALLEY 85253	200 SCENIC DR SEDONA AZ 86336
169-03-114	LEM INVESTMENTS LLC		5011 E FANFOL DR PARADISE VALLEY AZ 85253
169-03-115	E LOUIS WERNER III LIVING TRUST		5011 E FANFOL DR PARADISE VALLEY AZ 85253
169-04-005	AEA LIVING TRUST	7530 N HUMMINGBIRD LN PARADISE VALLEY 85253	7530 N HUMMINGBIRD LN PARADISE VALLEY AZ 85253
169-04-006	ROMERO FAMILY TRUST	7540 N HUMMINGBIRD LN PARADISE VALLEY 85253	7625 E VIA DEL REPOSO SCOTTSDALE AZ 85258
169-04-007	LDL FAMILY TRUST	7550 N HUMMINGBIRD LN PARADISE VALLEY 85253	8502 N 59TH PL PARADISE VALLEY AZ 85253
169-04-008A	MUMMY MOUNTAIN PRESERVE TRUST	6401 E LINCOLN DR PARADISE VALLEY 85253	6401 E LINCOLN DR PARADISE VALLEY AZ 85253
169-04-008B	BUONA CASA LLC	7560 N HUMMINGBIRD LN PARADISE VALLEY 85253	9303 N IRONWOOD PARADISE VALLEY AZ 85253
169-04-009A	MUMMY MOUNTAIN PRESERVE TRUST	6401 E LINCOLN DR PARADISE VALLEY 85253	6401 E LINCOLN DR PARADISE VALLEY AZ 85253-4399
169-04-009B	7620 N FOOTHILL LLC	7620 N FOOTHILL DR S PARADISE VALLEY 85253	519 S MAIN ST ORRVILLE OH 44667-2201
169-04-010	FOOTHILL ARIZONA LLC	5920 E FOOTHILL DR N PARADISE VALLEY 85253	PO BOX 11086 JACKSON WY 83002-1086
169-04-011	WILSON DINESH/BROOKE	5900 E FOOTHILL DR N PARADISE VALLEY 85253	5900 E FOOTHILL DR NORTH PARADISE VALLEY AZ 85253
169-04-012	PARADISE VALLEY MOUNTAIN PRESERVE TRUST	5912 E FOOTHILL DR PARADISE VALLEY 85253	6401 E LINCOLN DR PARADISE VALLEY AZ 85253
169-04-013	CBM REVOCABLE TRUST	5912 E FOOTHILL DR N PARADISE VALLEY 85253	5912 E FOOTHILL DR N PARADISE VALLEY AZ 85253-3033
169-04-014	RMB PROPERTIES LLC-SERIES NO ONE	5902 E FOOTHILL DR N PARADISE VALLEY 85253	27 N WACKER DR UNIT 518 CHICAGO IL 60606
169-04-015A	HILLSDALE COLLEGE	5880 E FOOTHILL DR PARADISE VALLEY 85253	33 E COLLEGE ST HILLSDALE MI 49242
169-04-015B	WEAR REED BARTLETT TR/LINDA ANN TR	5880 E FOOTHILL DR N PARADISE VALLEY 85253	5880 E FOOTHILL DR NORTH PARADISE VALLEY AZ 85253
169-04-023	ALLEN JEFFREY WALTER TR	7818 N MOHAVE RD PARADISE VALLEY 85253	7818 N MOHAVE RD PARADISE VALLEY AZ 85253
169-04-024	JET LINC LLC	5833 E FOOTHILL DR N PARADISE VALLEY 85253	7377 E DOUBLETREE RANCH RD STE 190 SCOTTSDALE AZ 85258
169-04-025	ROSENTHAL KENNETH J/LINDA S	7801 N SAGUARO DR PARADISE VALLEY 85253	7801 N SAGUARO DR PARADISE VALLEY AZ 85253
169-04-026	4 SEVENS LLC	7777 N SAGUARO DR PARADISE VALLEY 85253	7377 E DOUBLETREE RANCH RD SUITE 190 SCOTTSDALE AZ 85258
169-04-027	MOOSBRUGGER ERIN S TR/FINLEY MARY W TR	7737 N SAGUARO DR PARADISE VALLEY 85253	7737 N SAGUARO DR PARADISE VALLEY AZ 85253
169-04-029A	KRAEMER RICHARD C/CAROLE A TR	5843 E FOOTHILLS DR N PARADISE VALLEY 85253	5843 E FOOTHILLS DR N PARADISE VALLEY AZ 85253
169-04-031	FRANKE W A	7785 N SAGUARO DR PARADISE VALLEY 85253	7701 N SAGUARO DR PARADISE VALLEY AZ 85253
169-04-032	FRANKE W A	7700 N SAGUARO DR PARADISE VALLEY 85253	7701 N SAGUARO DR PARADISE VALLEY AZ 85253
169-04-033	FRANKE W A	7701 N SAGUARO DR PARADISE VALLEY 85253	7701 N SAGUARO DR PARADISE VALLEY AZ 85253
169-04-034	MUMMY ESTATES LLC		2001 E CAMPBELL AVE STE 103 PHOENIX AZ 85016
169-04-035	MUMMY ESTATES LLC		2001 E CAMPBELL AVE STE 103 PHOENIX AZ 85016
169-04-036	DANIEL E HARKINS TRUST	7800 N SAGUARO DR PARADISE VALLEY 85253	7511 E MCDONALD DR SCOTTSDALE AZ 85250

169-04-037 MUMMY ESTATES LLC
169-04-038 MUMMY ESTATES LLC
169-04-039 MUMMY ESTATES LLC

2001 E CAMPBELL AVE STE 103 PHOENIX AZ 85016
2001 E CAMPBELL AVE STE 103 PHOENIX AZ 85016
2001 E CAMPBELL AVE STE 103 PHOENIX AZ 85016

Charles Drive Residence

4606 E. Charles Dr., Paradise Valley, AZ 85253



Fit Designs, PLLC
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4606 E. Charles Dr.
Paradise Valley, AZ 85253

DATE: 1/28/19

SCALE: As Noted

DRAWN: JPL

JOB: 18-99

SHEET:

A0

Project Info

General Construction Notes

1. All work shall comply with all applicable codes and ordinances.
2. The Contractor shall verify all dimensions and conditions in the field. If a dimensional error occurs or a condition not covered in the drawings is encountered, the Contractor shall notify Designer before commencing that portion of the work.
3. The Contractor shall notify Designer if discrepancies are noted in these Contract Documents, in sufficient time as to not cause delay.
4. Dimensions take precedence over scale on the Construction Documents.
5. Details, notes, and finishes shall be applicable to all typical conditions whether or not referenced at all places on these plans. The Contractor is responsible for any standard or special detailing not specified herein.
6. The Contractor shall verify all existing grades and shall review all grading conditions prior to commencement of work.
7. The Contractor shall take all necessary precautionary measures to protect the public and adjacent properties from damage during construction.
8. The Contractor shall verify all equipment loads and notify Designer of any changes in size, weight, and location, or additional load to those indicated on the drawings.
9. The Contractor shall supervise and direct the work, using the best skill and attention. He shall be solely responsible for all methods, techniques, sequences, and procedures, and for coordinating all portions of the work under the contract.
10. All manufactured articles, material, and equipment shall be applied, installed, connected, erected, used, cleaned, and conditioned in accordance with the manufacturer's written specifications or instructions unless hereinafter specified to the contrary.
11. The Contractor shall verify and protect the location of existing utilities.
12. The starting of work by any Contractor or Subcontractor shall be considered prima facie evidence that he has inspected and accepted all conditions involved in his work and finds them satisfactory.
13. The Contractor shall be responsible for safety in the area of work in accordance with all applicable safety codes.
14. Each Contractor is responsible for any damage to adjacent work and is responsible for the repair and said damage at his own expense.
15. Finish grade shall slope 5% for a distance of 10'-0" to an approved water disposal area or to the drainage requirements per the governing body.
16. Flat-roofed areas shall have a minimum slope of 1/4" per liner foot. Slope shall be integral to truss design when truss framing is used or slope with rippers at conventional framing.
17. Slope and waterproof all sills and parapets. At C.M.U. use waterproof coating prior to installing flange. Do not penetrate top surface; attach at side.

18. Minimum 22" x 30" attic access is required to all attic areas with 30 sq ft in area and 30" or more vertical clear height. See plan for location. Provide 30" clear headroom above the attic access.
19. Gypsum board used on exterior soffits must be approved exterior type.
20. Every sleeping room and basements with habitable space shall have at least one window with min. 5.7 sq. ft. net clear opening [5.0 sq. ft. at grade floor], minimum opening width of 20" minimum opening height of 24" and a sill height not more than 44"; or provide exterior door for emergency egress. Provide continuous egress from bedroom window to public way.
21. All exterior windows in habitable spaces to be double-paneled.
22. All glass (with least dimension greater than 3" and bottom edge less than 60" above floor) in door and adjoining window less than 24" from locking device to be tempered.
23. All glass in hazardous locations and all glass within 18" of floor (except single panes with 9 sq ft or less area) shall be safety glass (R308.4).
24. Glazing located in railings regardless of area or height, adjacent to stairways, landings, or ramps within 36" of walking surface or less than 60" in height, and glazing adjacent to stairways within 60" of the bottom tread and less than 60" above nose of tread to be tempered.
25. All glass in French or sliding doors shall be tempered.
26. Shower enclosure shall be tempered glass. Glazing in any part of wall enclosing tub/shower/sauna where bottom edge is less than 60" above floor to be tempered.
27. Shower walls shall be finished with moisture-resistant sheetrock and ceramic tile to a minimum height of 70" above drain.
28. Water closets shall be a minimum of 15" from any vertical side surface to centerline of water closet and a minimum of 21" clear in front of water closet. Space other fixtures in accordance with Figure R307.2.
29. General Contractor shall coordinate backing for all accessories (towel bar, toilet paper holders, clothes pegs, etc.) in bathrooms, kitchen and other areas as required.
30. Furnish all finish hardware necessary for smooth operation of doors. Include all: flush required doorstops, thresholds, and weather-stripping bolts. In order to determine appropriate hardware function for each door consult a hardware consultant.
31. Joints, penetrations, and all other such openings in the building envelope that are sources of air leakage shall be sealed. Seal all voids around penetrations through floor slabs. Assembled lights are to be Type IC, or if non-IC, installed inside an air-tight assembly.
32. No gas piping shall be installed in or on the ground under any building or structure. Provide combustion air for gas appliances.
33. Hose bibs are to be equipped with integral backflow preventers.

Abbreviations

ADD.	ADDENDUM	M.O.	MASONRY OPENING
ABC.	AGGREGATE BASE COURSE	MAT'L	MATERIAL
A/C	AIR CONDITIONING	MAX.	MAXIMUM
A.F.F.	ABOVE FINISHED FLOOR	M.C.J.	MASONRY CONTROL JOINT
A.B.	ANCHOR BOLT	MECH.	MECHANICAL
AL.	ALUMINUM	MTL.	METAL
		MIN.	MINIMUM
BSMT.	BASEMENT		
BLKG.	BLOCKING	N.I.C.	NOT IN CONTRACT
BD.	BOARD	N.T.S.	NOT TO SCALE
B.O.	BOTTOM OF		
BLDG.	BUILDING	O.C.	ON CENTER
CAB.	CABINET	PTD.	PAINTED
CL.P.	CAST IN PLACE	PR.	PAIR
C.H.	CEILING HEIGHT	PL.	PLATE
CL	CENTERLINE	PL.BG.	PLUMBING
CLR.	CLEAR		
CLO.	CLOSET	R.	RADIUS
COL.	COLUMN	REQ'D	REQUIRED
CONC.	CONCRETE	REV.	REVISION
C.J.	CONTROL JOINT	RD.	ROUND
CONT.	CONTINUOUS		
C.M.U.	CONCRETE MASONRY UNIT	SEC.	SECTION
		SIM.	SIMILAR
DIA./Ø	DIAMETER		
DIM.	DIMENSION	T.O.C.	TOP OF CHIMNEY
DISP.	DISPENSER	T.O.S.	TOP OF SLAB
DN	DOWN	T.O.S.F.	TOP OF SUBFLOOR
D.F.	DRINKING FOUNTAIN	T.O.P.	TOP OF PARAPET
		TYP.	TYPICAL
EA.	EACH	T.O.W.P.	TOP OF WALL PLATE
E.D.F.	ELECTRIC DRINKING FOUNTAIN		
ELEV.	ELEVATION	U.N.O.	UNLESS NOTED OTHERWISE
EXP.	EXPANSION	UR.	URINAL
E.J.	EXPANSION JOINT		
EXST.	EXISTING	V.C.T.	VINYL COMPOSITION TILE
EXT.	EXTERIOR		
		W.C.	WATER CLOSET
		W/	WITH
INSUL.	INSULATION / INSULATED	W/O	WITHOUT
		WD.	WOOD
LAM.	LAMINATE		
LAV.	LAVATORY		

Project Directory

OWNER: Bernie Fritz / ABF Investments, LLC
16202 S. 31st Way, Phoenix, AZ 85048
berniefritz@q.com
602-430-6930

CONTRACTOR: TBD

ARCHITECT: Jennifer Lamoreaux / Fit Designs, PLLC
15459 S. 44th Way, Phoenix, AZ 85044
fitdesigns@live.com
480-205-4515

CIVIL: Geoff Markowski / G-Mar, LLC
18223 W. Orchid Ln., Waddell, AZ 85355
geoff@g-mareng.com
602-524-7877

STRUCTURAL: Daryl Young / Ambassador Engineering, LLC
619 E. Orchid Lane, Gilbert, AZ 85296
dyoung@ambassadorsengineering.com
602-690-3994

ELECTRICAL: William Bethurum / VoltaUS
3666 N. Miller Rd., Suite 100, Scottsdale, AZ 85251
wb@voltaus.com
480-695-0511

Project Data

PROPERTY ADDRESS: 4606 E. Charles Dr., Paradise Valley, AZ 85253

PARCEL NUMBER: 168-69-022

ZONING: R-43

CONSTRUCTION TYPE: V-B

BUILDING SIZE:

Living -	5054 sf	(2000 sf min.)
Garage / Mech -	2111 sf	
Covered Patios / Overhangs -	1285 sf	
Trellis Patio -	174 sf	(521 sf X 1/3 for lumber)
Total Footprint -	8624 sf	

LOT SIZE: 41,453 sf

FLOOR AREA RATIO: $8,586/41,453 = 20.7\%$ (25% max.)

BUILDING SETBACKS:

Front - 4'-0"-0"

Side - 2'-0"-0" / 4'-0"-0" (with Frontage)

Rear - 4'-0"-0"

Project Narrative

The existing home, built in 1960, is to be demolished. A new 5000 SF +/- home will be constructed within the existing disturbed area, preserving the existing vegetation on the east side of the property. The new residence will have a contemporary style, with patios on front and rear to take advantage of the views. The garage portion of the house will be several steps lower than the main livable area to respond to the site slope of the site. Colors are to be subtle desert tones, with LRV < 38%.

Governing Building Codes

All work shall comply with the following codes & Town amendments:


2015 International Building Code
2015 International Residential Code
2015 National Electrical Code
2015 International Mechanical Code
2015 International Plumbing Code
2015 International Fuel Gas Code

Special Notes


1. Contractor to stake footprint of entire new construction or addition and verify layout relating to setbacks, location, etc. w/ Owner, Architect, and local authority prior to commencing work.
2. Setback certification is required at footing inspection when proposed wall is within 3'-0" of building setback.

Project Symbols


Keynote Symbol




Section Marker



Detail Marker



Room Tag





.9



.5



.1



.10



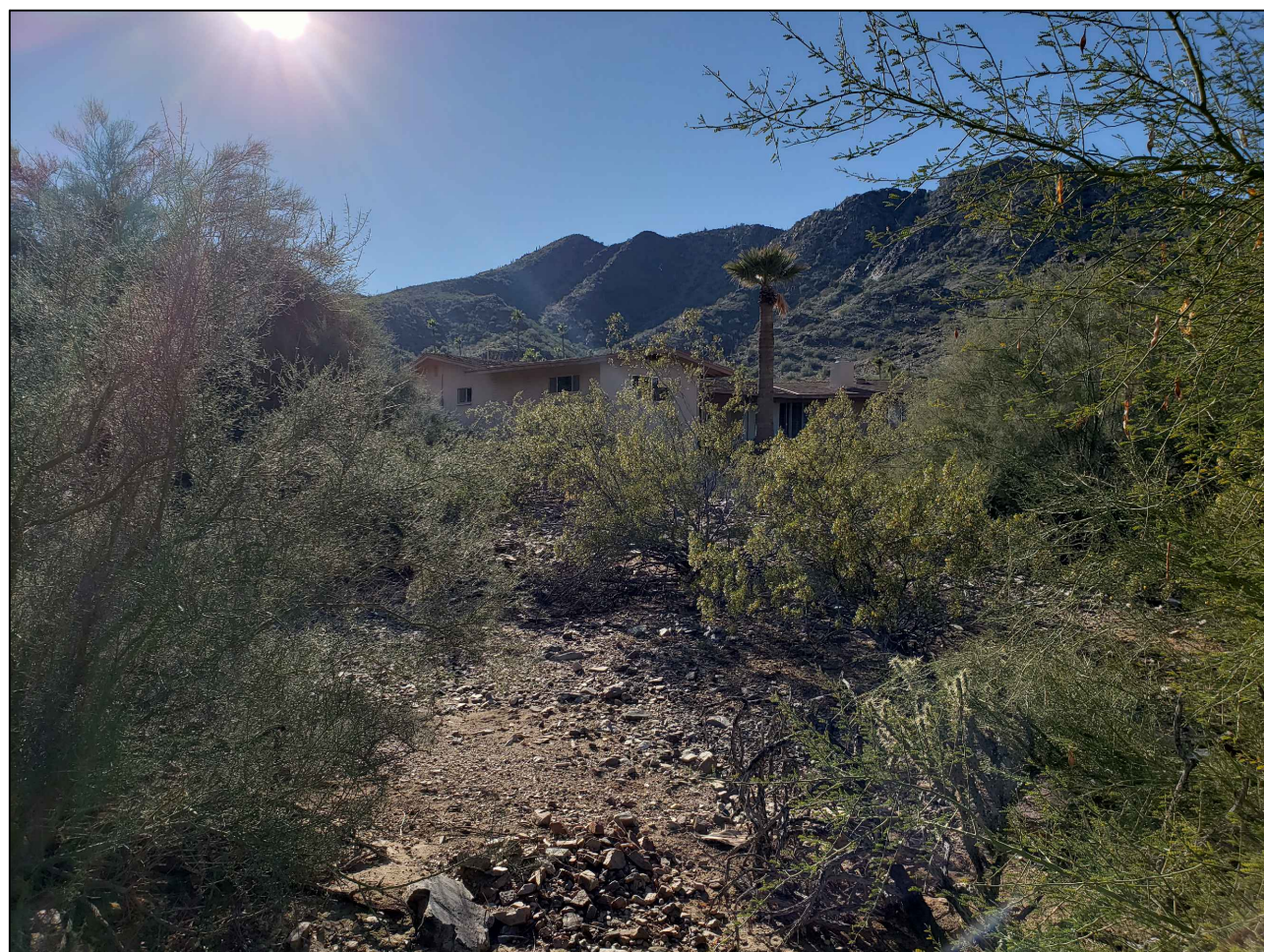
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.2



.11



.7



.3



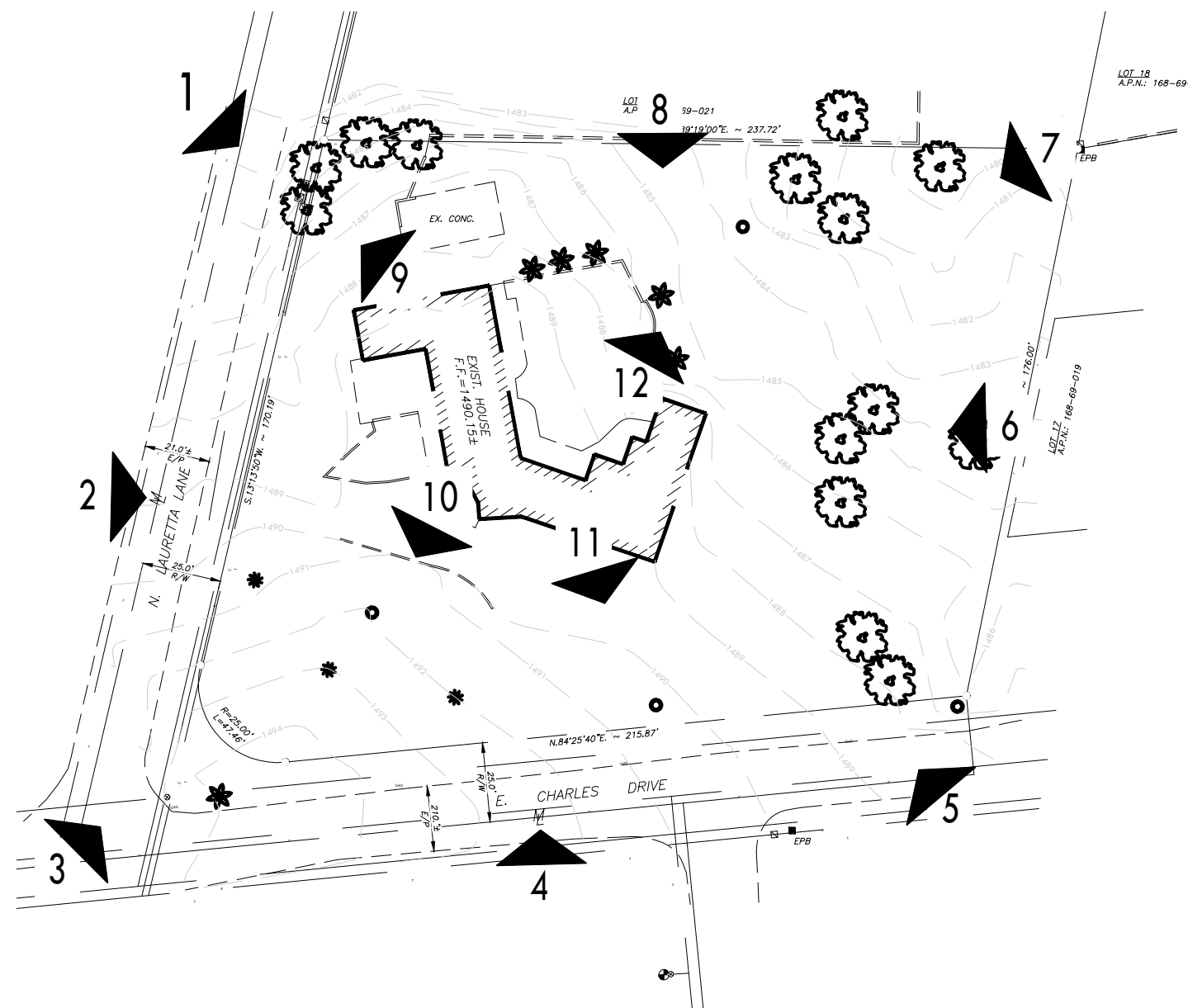
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.4



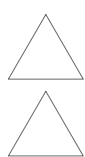
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Charles Drive Residence

4606 E. Charles Dr.
Paradise Valley, AZ 85253



DATE: 1/7/19
SCALE: As Noted
DRAWN: JPL
JOB: 18-99
SHEET:

A1

Site Photos



Rear Yard / Pool Area - Facing Northwest .4
N.T.S.



Front View - Facing North .1
N.T.S.



Side View - Facing Southeast .5
N.T.S.



Front Yard From Above - Facing Northeast .2
N.T.S.



Side View - Facing West .6
N.T.S.



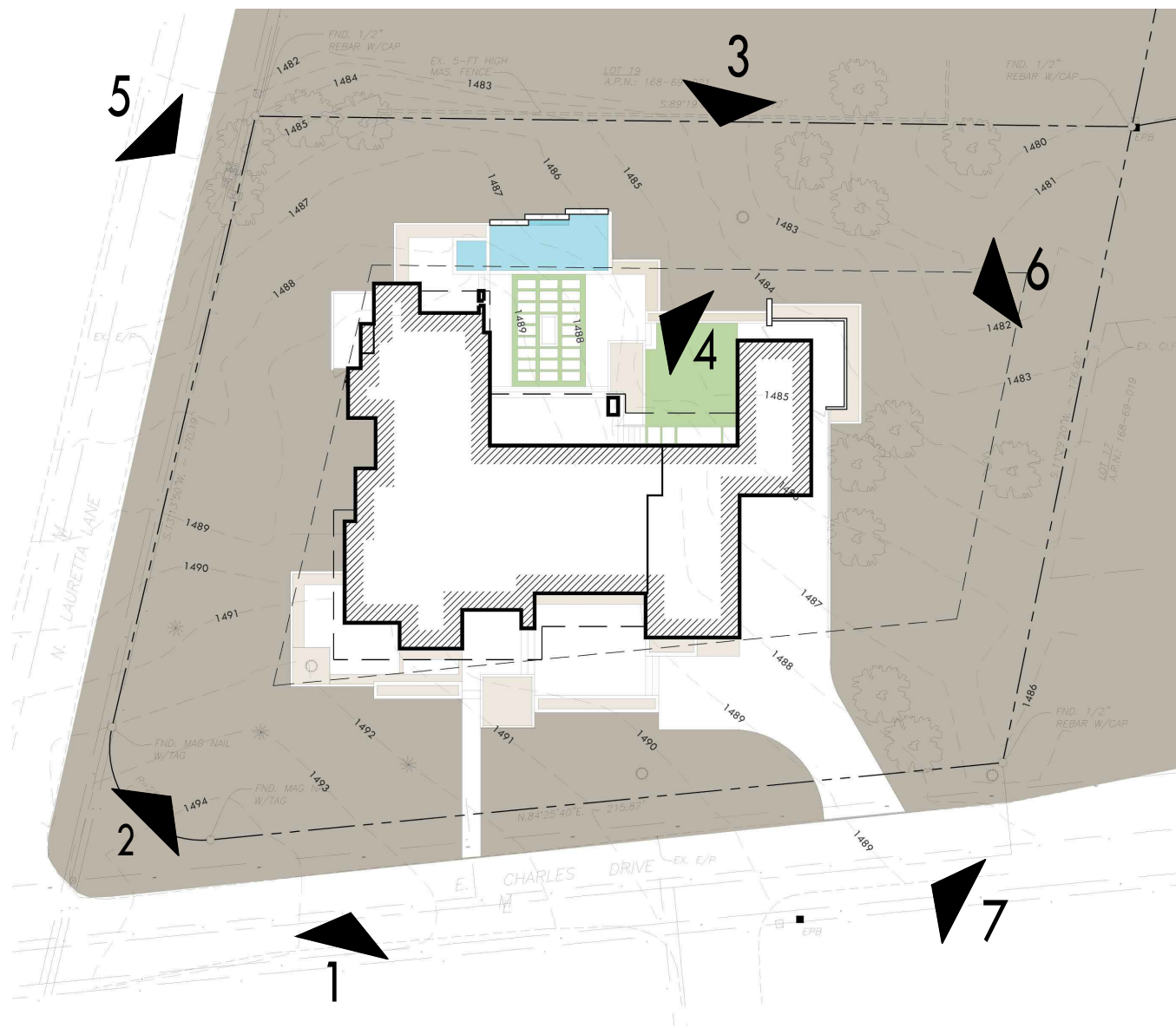
Driveway - Facing Northwest .7
N.T.S.



Rear Yard From Above - Facing Southwest .3
N.T.S.

Exterior Notes

- A. Structure will not exceed 24'-0" max height above natural grade.
- B. Exterior finishes are stucco and block, with an LRV of <38%.
- C. Pool barrier is achieved with retaining walls and a gate at the mechanical screen wall.
- D. Existing vegetation will remain wherever possible. New plants are to be desert type with low water consumption. Lawn areas shown are artificial.



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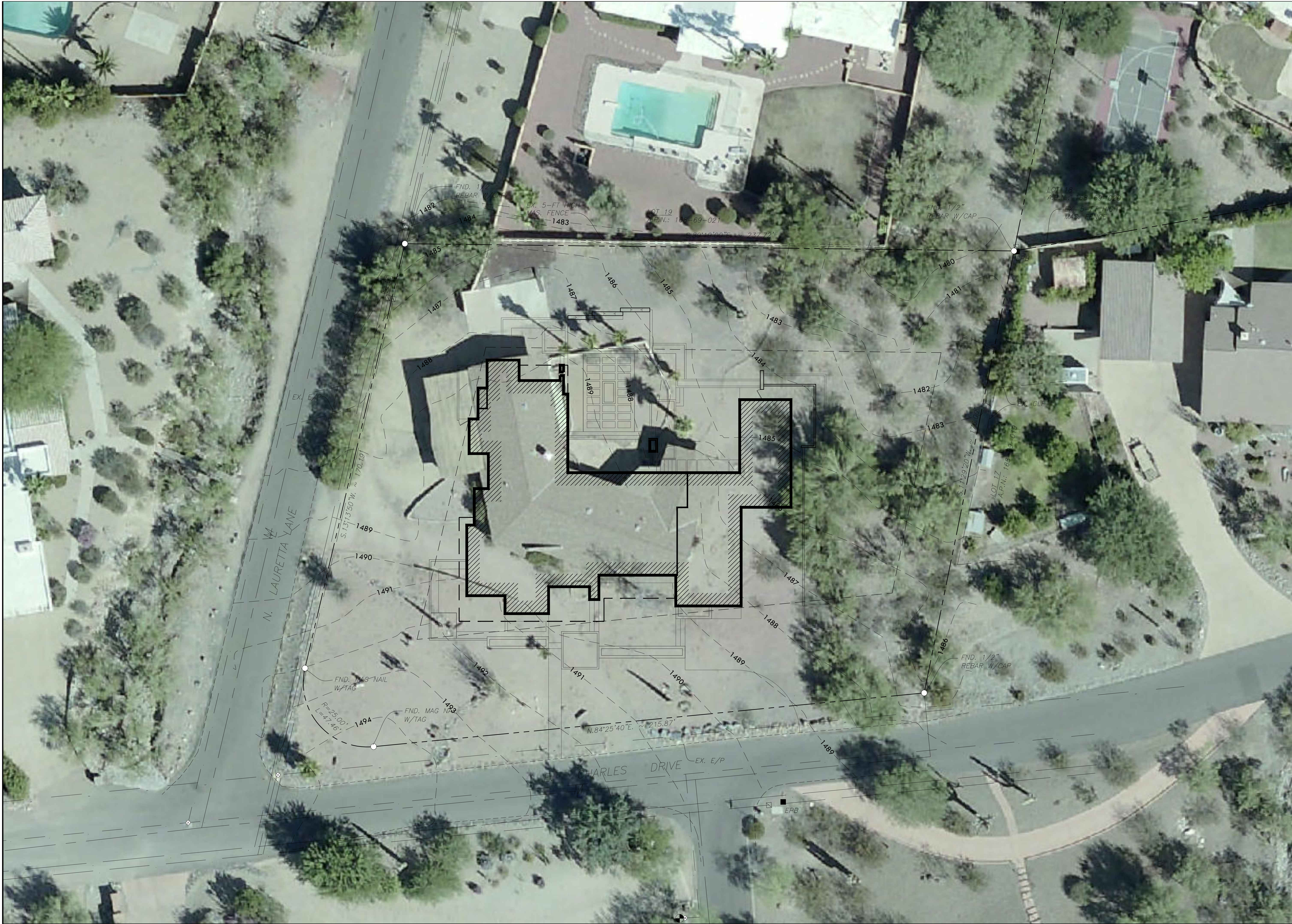
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A2
3D Renderings



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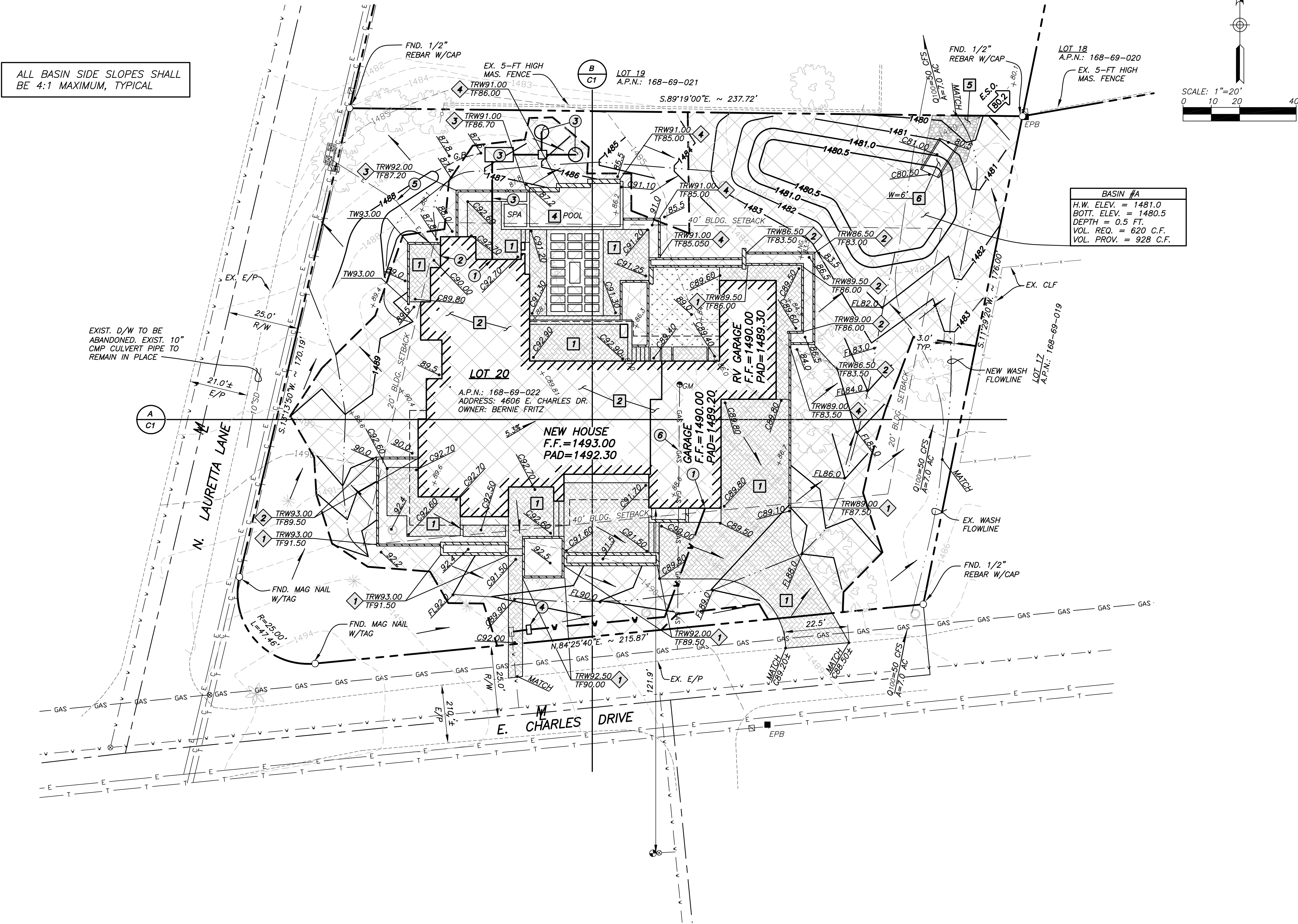
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SCALE:	1/16" = 1'-0"
DRAWN:	JPL
JOB:	18-99
SHEET:	

A3

Aerial Photo

GRADING & DRAINAGE PLAN
FOR
"4606 E. CHARLES DRIVE"

A PORTION OF THE SOUTHWEST QUARTER OF SECTION 31,
TOWNSHIP 3 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER
BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA



ON-SITE GRADING & DRAINAGE NOTES

- 4" THICK CONCRETE DRIVEWAY AND WALKWAY PER ARCHITECTURAL DRAWINGS AND SPECS.
- CONSTRUCT BUILDING ON EXISTING CONCRETE SLAB PER ARCH'L AND STRUCTURAL DRAWINGS.
- NOT USED.
- POOL AND SPA PER SEPARATE PERMIT.
- INSTALL D₅₀ RIP-RAP: 3" TO 6" DIAMETER, ANGULAR GRANITE, HAND PLACED AND INTERLOCKING, OVER NON-WOVEN FILTER FABRIC. RIP-RAP SHALL BE PLACED AT MIN. 8-INCHES BELOW FINISHED GRADE.
- CONSTRUCT CONCRETE SPILLWAY PER DET. 1/C3.

ON-SITE UTILITY CONSTRUCTION NOTES

- SEE PLUMBING PLANS FOR WATER AND SEWER CONNECTION TO NEW INTERIOR/EXTERIOR PLUMBING FIXTURES.
- PROVIDE NEW 400 AMP ELECTRICAL SERVICE. COORDINATE LOCATION AND UNDERGROUND SERVICES WITH UTILITY CO.
- NEW 4" PVC SANITARY SEWER LINE AND SEPTIC SYSTEM PER SEPARATE PERMIT.
- NEW 3/4" WATER METER AND 1-1/4" DOMESTIC WATER SERVICE LINE. REFER TO PLUMBING PLANS FOR APPROVED AND TIE-IN LOCATION AT HOUSE.
- APPROXIMATE LOCATION OF NEW UNDERGROUND ELECTRIC SERVICE TO PANEL. SEE ELECTRICAL PLANS FOR CONTINUATION IN HOUSE.
- APPROXIMATE LOCATION OF EXISTING GAS LINE, NEW SERVICE AND LOCATION PROVIDED BY UTILITY COMPANY. REFER TO UTILITY COMPANY PLANS FOR APPROVED LOCATION.

AREA OF NEW LIMITS OF DISTURBANCE

LIMITS OF DISTURBANCE - 32,617 S.F.

SITE RETAINING WALL SCHEDULE

SITE RETAINING WALL PER ARCH'L DRAWINGS. SEE PLAN FOR TOP OF RETAINING WALL, TOP OF FOOTING ELEVATIONS.

WALL TYPE	RET. WALL HEIGHT (FT.)	SCREEN FENCE	LENGTH (L.F.)
1	1'-0" TO 2'-6"	PER ARCH'L	240
2	2'-7" TO 3'-6"	PER ARCH'L	135
3	3'-7" TO 4'-11"	PER ARCH'L	66
4	5'-0" TO 6'-0"	PER ARCH'L	111

TOTAL = 552 L.F.

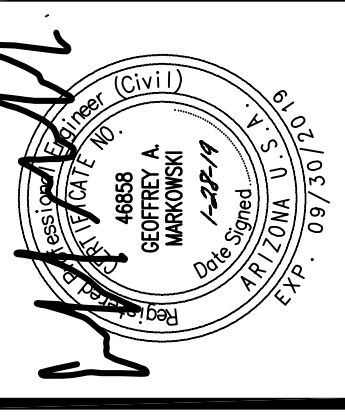
NOTES:

- REFER TO ARCHITECTURAL PLANS FOR SPECIFICATIONS FOR POOL BARRIER FENCING AROUND THE POOL AREA AND FOR CONNECTION TO TOP OF RETAINING WALLS.
- TOP OF RETAINING WALL HEIGHTS SHALL NOT EXCEED 6-INCHES ABOVE FINISHED GRADE OF RETAINED SOIL, TYPICAL.

ALL NATIVE PLANTS IMPACTED BY CONSTRUCTION SHALL BE RELOCATED ON-SITE. SEE LANDSCAPE PLANS AND NATIVE INVENTORY & SALVAGE PLAN.

CALL TWO WORKING DAYS
BEFORE YOU DIG
602-263-1100
(INSIDE MARICOPA COUNTY)
1-800-STAKE-IT
(OUTSIDE MARICOPA COUNTY)

g-m a r
consulting engineers, llc
18223 west orchid lane
waddell, arizona 85355
e: geol@gmaring.com ph: 602.524.7877



CHARLES DRIVE RESIDENCE
4606 E. CHARLES DRIVE, PARADISE VALLEY, ARIZONA
ABF INVESTMENTS, LLC
16202 S. 31ST WAY, PHOENIX, ARIZONA 85048

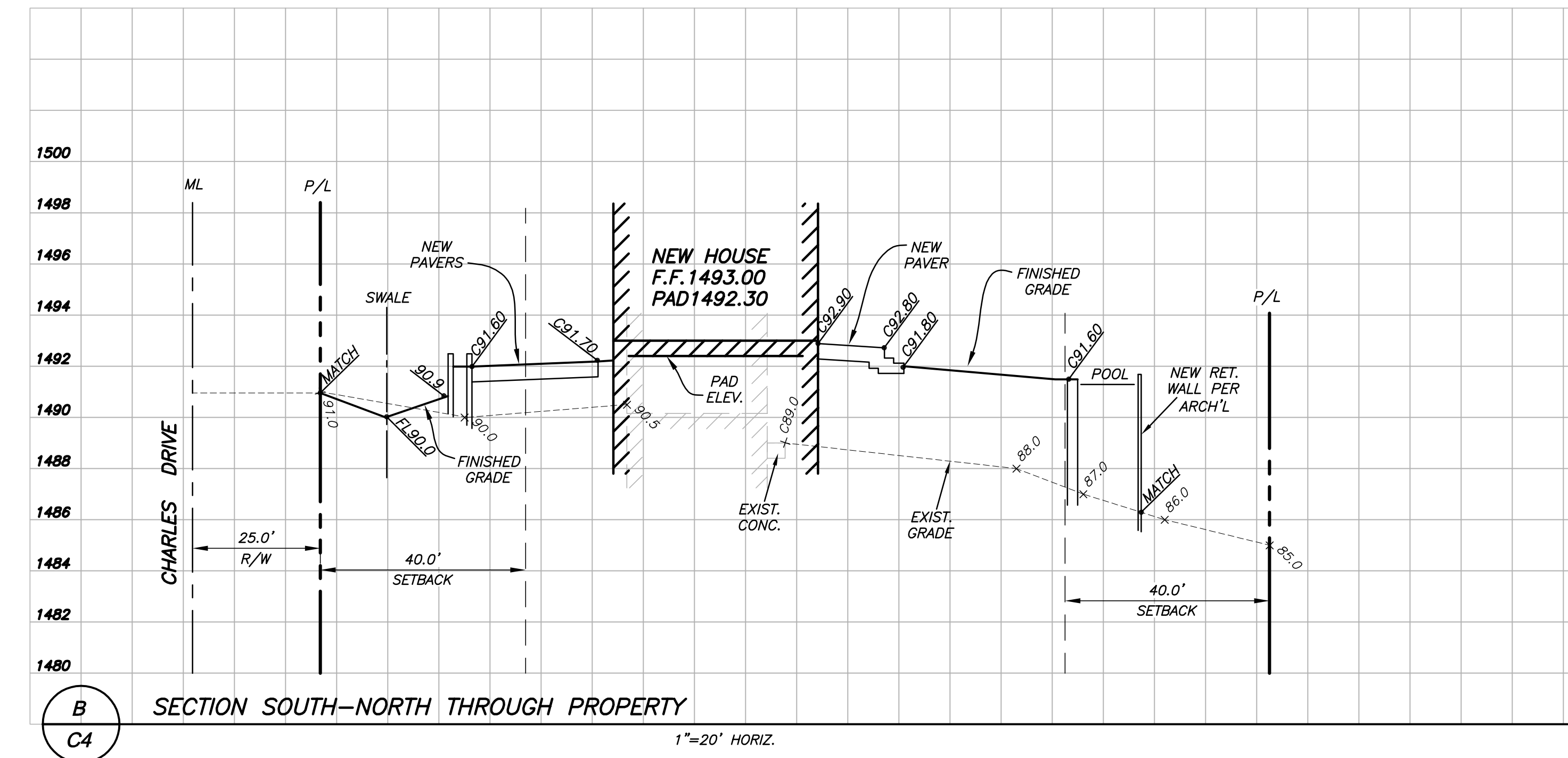
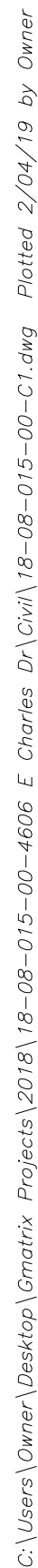
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DATE ISSUED: 22 AUG 18
DRAWN BY: GM/AD
CHECKED BY: GM

SHEET DESCRIPTION:
GRADING
&
DRAINAGE PLAN

SHEET
C2
OF
2 OF 3

PERMIT #



g-m-a-r
consulting engineers, llc
18223 west orchid lane
waddell, arizona 85355
e: gmarc@nareng.com ph: 602.524.7677



PROJECT:	CHARLES DRIVE RESIDENCE
OWNER:	4608 E. CHARLES DRIVE, PARADISE VALLEY, ARIZONA ABF INVESTMENTS, LLC 16202 S. 31ST WMT, PHOENIX, ARIZONA 85048

CD	11-21-18	1ST CITY SUBMITTAL
CD	01-08-19	2ND CITY SUBMITTAL
CD	01-28-19	3RD CITY SUBMITTAL

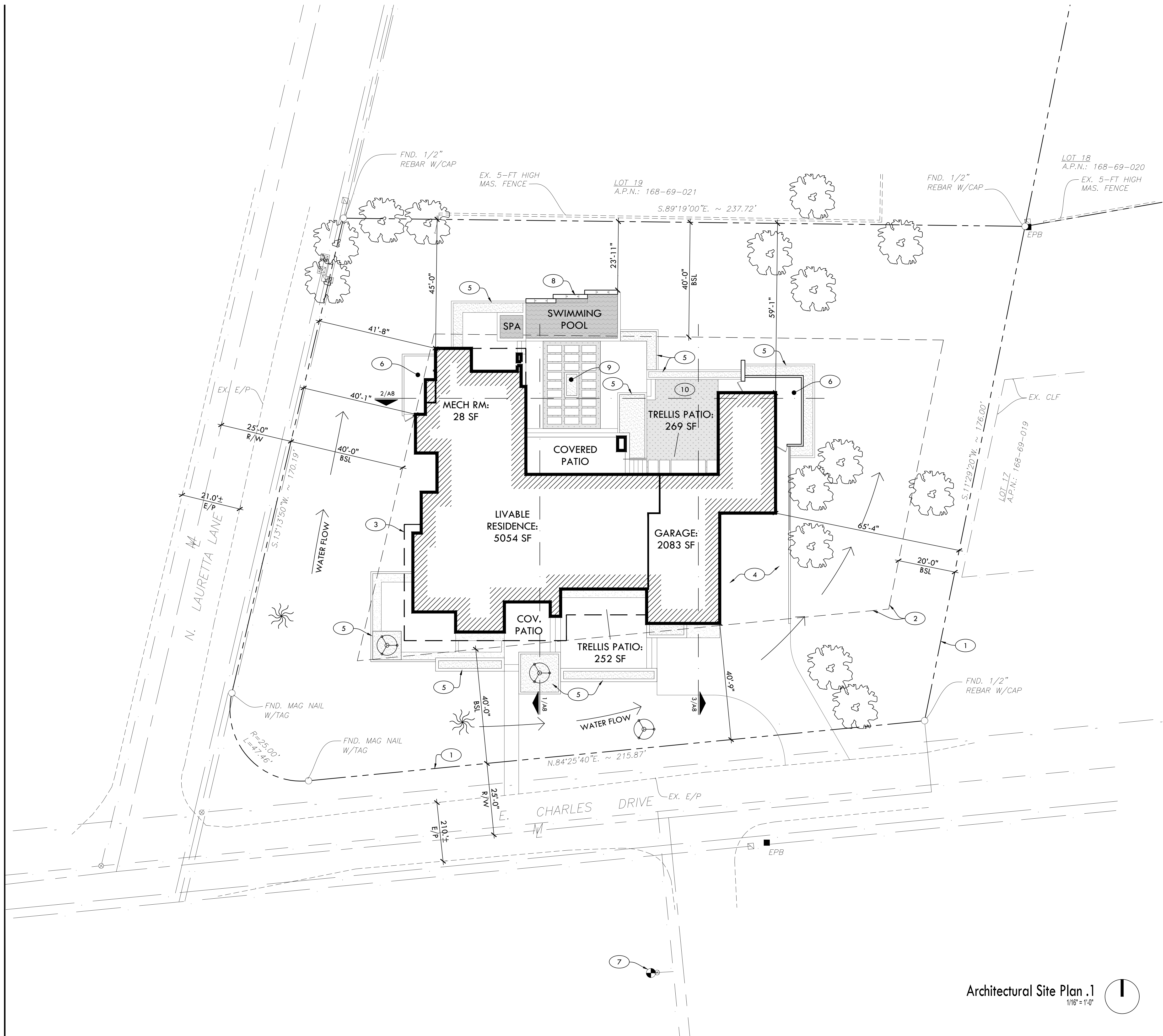
DATE ISSUED: 22 AUG 18
DRAWN BY: GM/AD
CHECKED BY: GM

SHEET DESCRIPTION:

SECTIONS
AND
DETAILS

A circular white label with black text. The text reads "SHEET" at the top, "C3" in the middle, "OF" below "C3", and "3 OF 3" at the bottom.

JOB NO. 18-08-015-00



Keynotes

1. Property line.
2. Building setback.
3. Roof overhang above.
4. New paver driveway.
5. Raised planter retaining wall, typ.
6. Screened mechanical / equipment area.
7. Existing fire hydrant.
8. Water feature accessory structure for swimming pool.
9. Gas fire pit.
10. Artificial grass lawn.



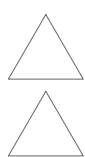
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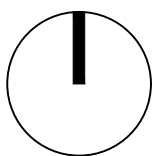


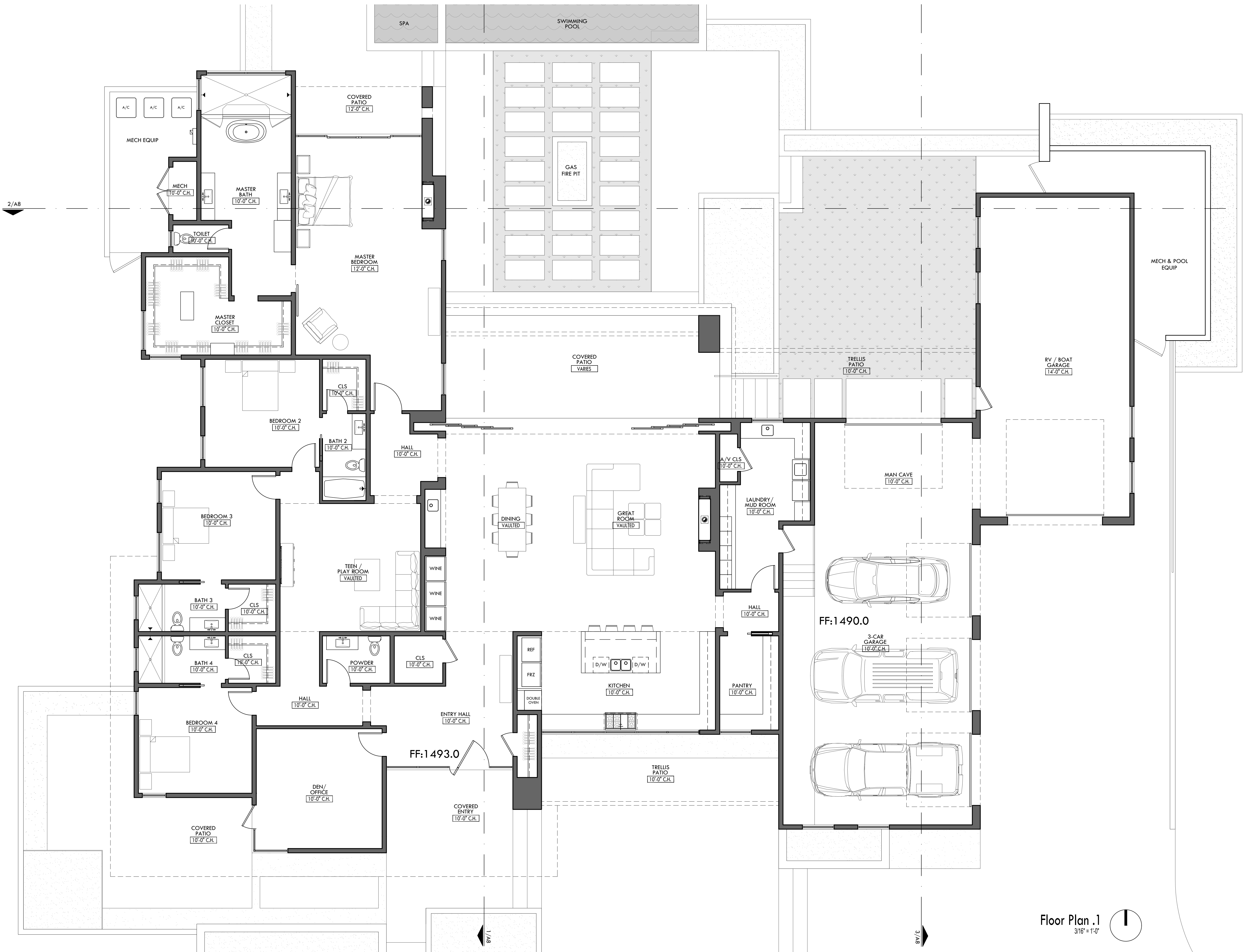
DATE: 1/28/19
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A4

Site Plan

Architectural Site Plan .1
1/16" = 1'-0"





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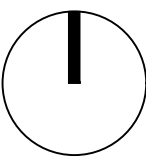
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DATE: 1/7/19
SCALE: As Noted
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JOB: 18-99
SHEET:

A5

Floor Plan

Floor Plan .1
3/16" = 1'-0"



Keynotes

1.

Finished floor beyond.
2.

Stucco system (ESR-2729), sand finish. Color: Dunn Edwards Ash Gray with 75% colorant added, LRV 35.
3.

Superlite CMU veneer, 1X8X16 (ESR-1215). Color: Gray block, integral color, LRV <38.
4.

CMU wall / planter. Color: Gray block , integral color, LRV <38.
5.

Standing seam metal roof. Color: Dunn Edwards Custom Black, LRV 10.
6.

Metal fascia. Color: Dunn Edwards Custom Black, LRV 10.
7.

Trellis structure. Color: Dunn Edwards Custom Black, LRV 10.
8.

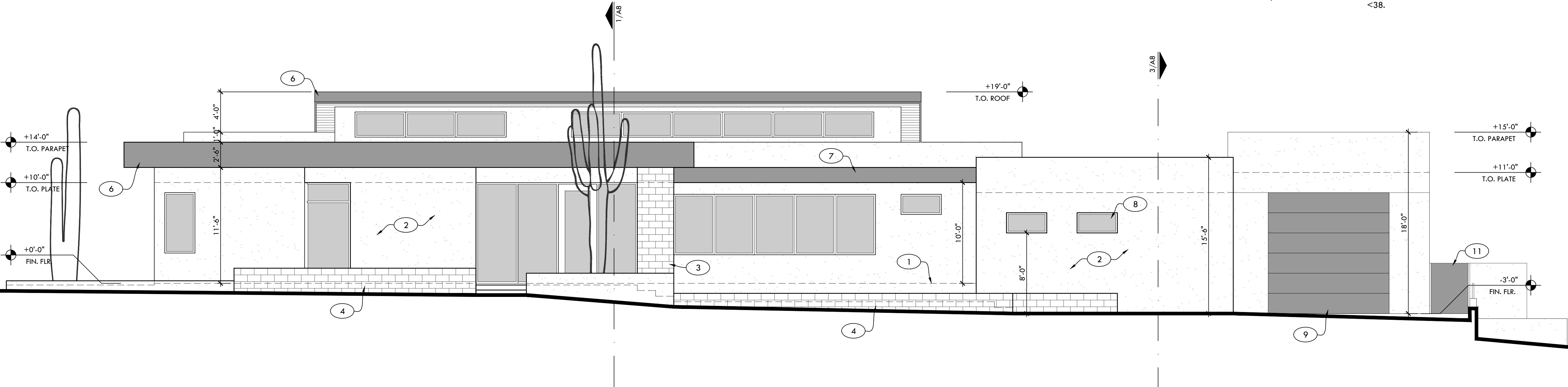
Dual-pane windows, typical. 44" max. sill height when window is used for bedroom egress.
9.

Insulated metal garage door. Color: Dunn Edwards Custom Black, LRV 10.
10.

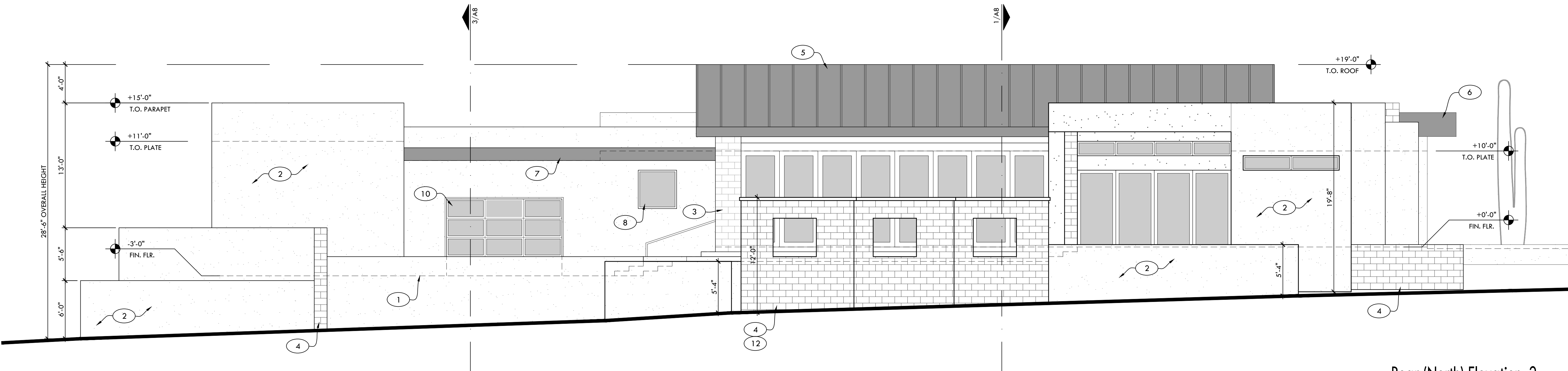
Amarr Vista contemporary aluminum garage door. Color: Dunn Edwards Custom Black, LRV 10.
11.

Custom gate (solid, to screen equipment).. Color: Dunn Edwards Custom Black, LRV 10.
12.

Water feature. Color: Gray block , integral color, LRV <38.



Front (South) Elevation .1
3/16" = 1'-0"



Rear (North) Elevation .2
3/16" = 1'-0"



Fit Designs, PLLC
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Charles Drive Residence
4606 E. Charles Dr.
Paradise Valley, AZ 85253

DATE: 1/28/19
SCALE: As Noted
DRAWN: JPL
JOB: 18-99
SHEET:

A6

Elevations

Keynotes

1.

Finished floor beyond.
2.

Stucco system (ESR-2729), sand finish. Color: Dunn Edwards Custom Ash Gray with 75% colorant added, LRV 35.
3.

Superlite CMU veneer, 1X8X16 (ESR-1215). Color: Gray block, integral color, LRV <38.
4.

CMU wall / planter. Color: Gray block , integral color, LRV <38.
5.

Standing seem metal roof. Color: Dunn Edwards Custom Black, LRV 10.
6.

Metal fascia. Color: Dunn Edwards Custom Black, LRV 10.
7.

Trellis structure. Color: Dunn Edwards Custom Black, LRV 10.
8.

Dual-pane windows, typical. 44" max. sill height when window is used for bedroom egress.
9.

Insulated metal garage door. Color: Dunn Edwards Custom Black, LRV 10.
10.

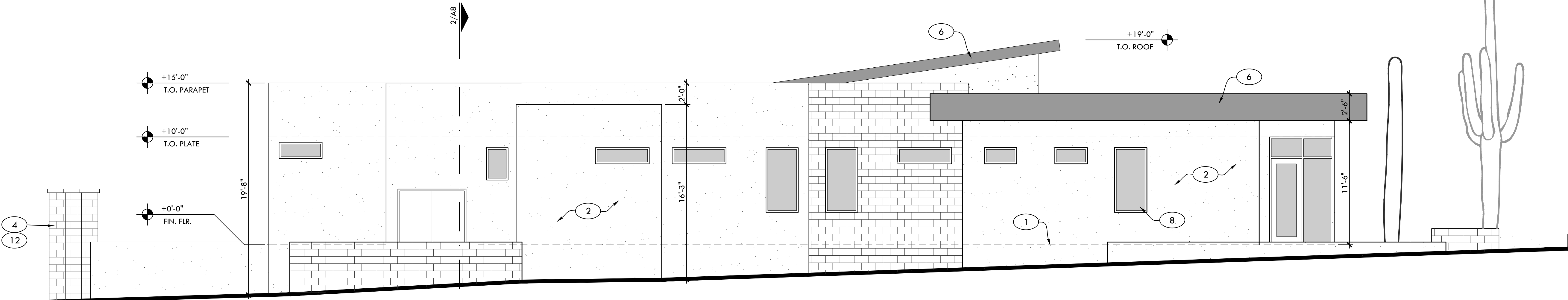
Amarr Vista contemporary aluminum garage door. Color: Dunn Edwards Custom Black, LRV 10.
11.

Custom gate (solid, to screen equipment). Color: Dunn Edwards Custom Black, LRV 10.
12.

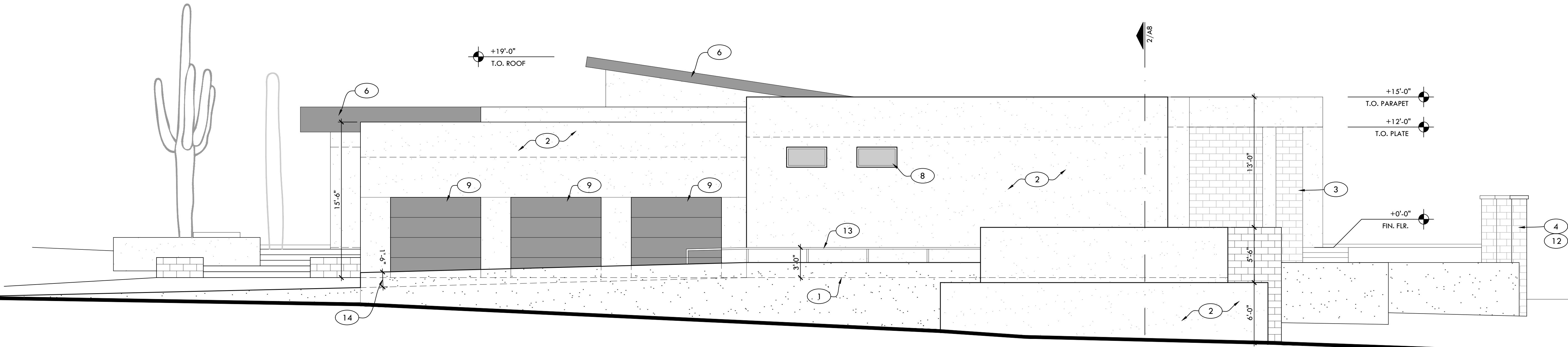
Water feature. Color: Gray block , integral color, LRV <38.
13.

Metal guardrail (open/view) adjacent to walkway with fall hazard. 42" max height. Color: Dunn Edwards Custom Black, LRV 10.
14.

18" max height driveway retaining wall.



Side (West) Elevation .3
3/16" = 1'-0"



Side (East) Elevation .4
3/16" = 1'-0"

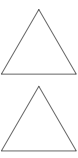


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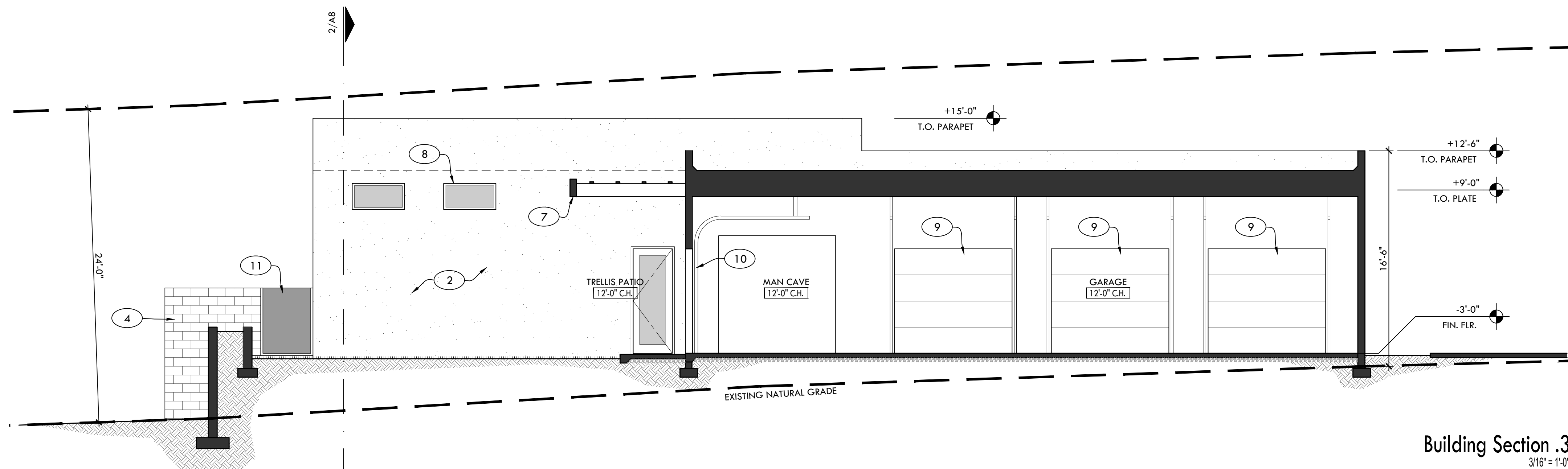
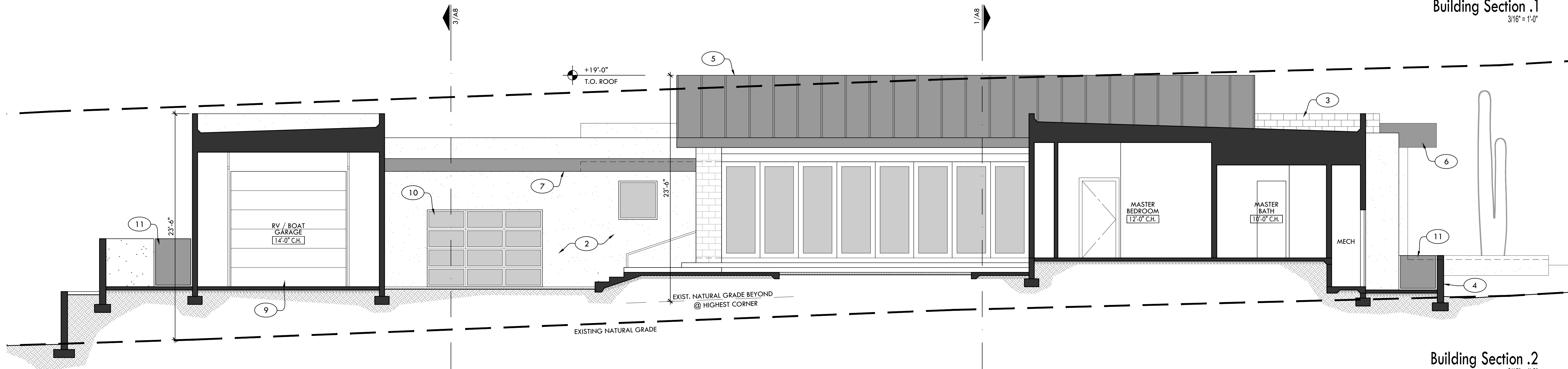
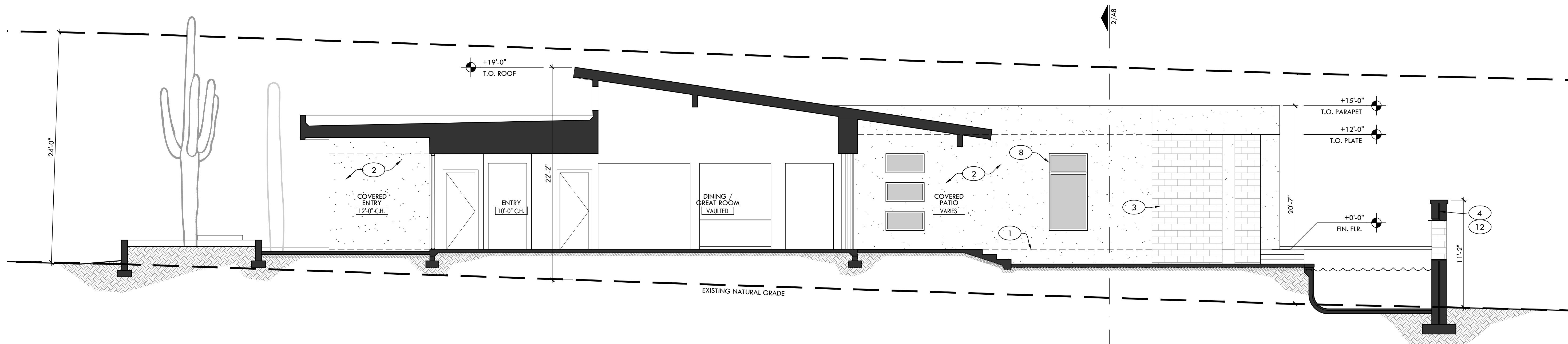
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JOB: 18-99
SHEET:

A7

Elevations



Keynotes

1. Finished floor beyond.
2. Stucco system (ESR-2729), sand finish. Color: Dunn Edwards Ash Gray with 75% colorant added, LRV 35.
3. Superlite CMU veneer, 1X8X16 (ESR-1215). Color: Gray block, integral color, LRV <38.
4. CMU wall / planter. Color: Gray black, integral color, LRV <38.
5. Standing seam metal roof. Color: Dunn Edwards Custom Black, LRV 10.
6. Metal fascia. Color: Dunn Edwards Custom Black, LRV 10.
7. Trellis structure. Color: Dunn Edwards Custom Black, LRV 10.
8. Dual-pane windows, typical. 44" max. sill height when window is used for bedroom egress.
9. Insulated metal garage door. Color: Dunn Edwards Custom Black, LRV 10.
10. Amarr Vista contemporary aluminum garage door. Color: Dunn Edwards Custom Black, LRV 10.
11. Custom gate (solid, to screen equipment). Color: Dunn Edwards Custom Black, LRV 10.
12. Water feature. Color: Gray black, integral color, LRV <38.



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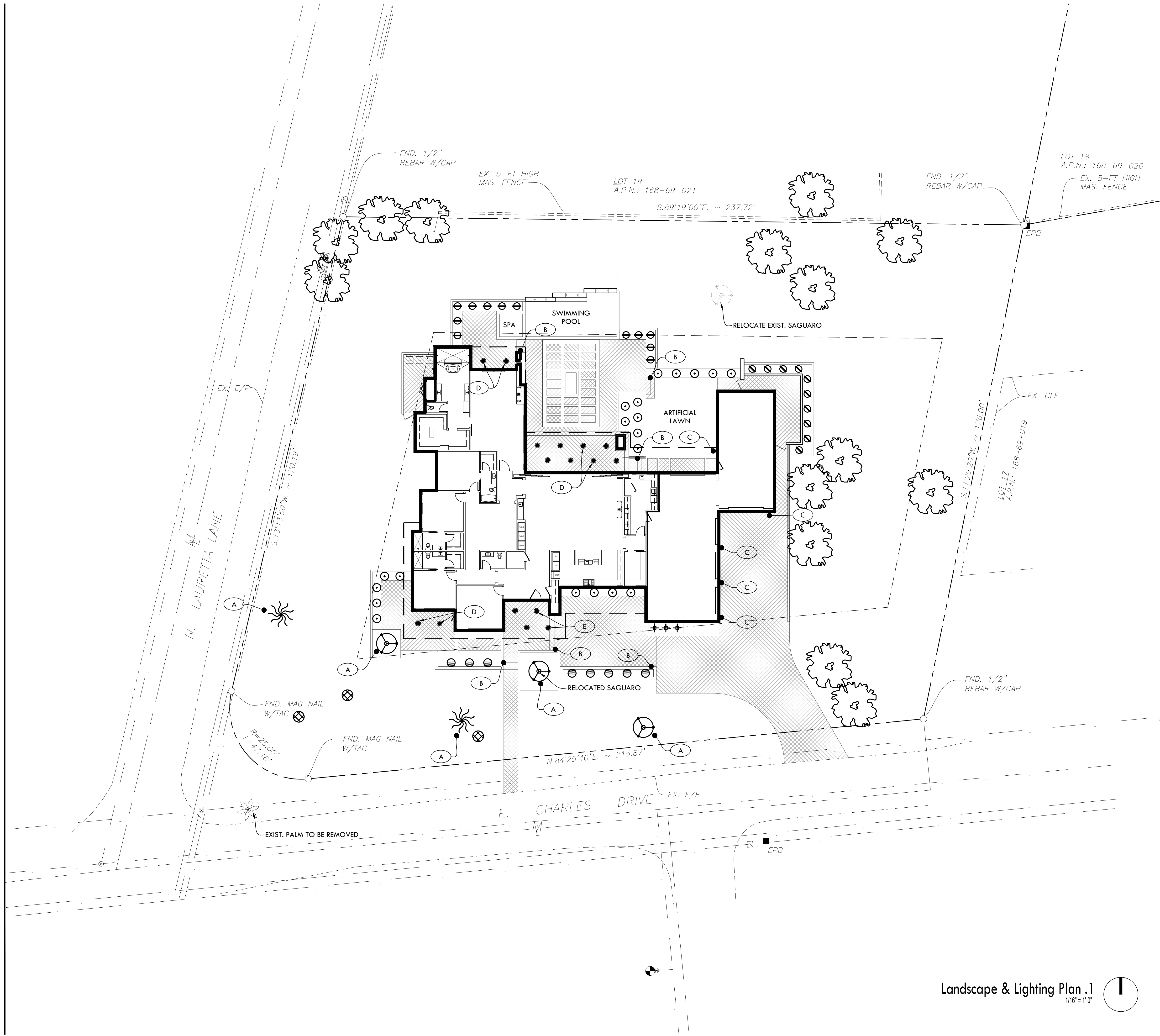
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DATE: 1/28/19
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SHEET:

A8
Cross Sections



Plant Legend

TYPE	QTY	SIZE
Existing Tree (Various)	-	-
Existing Saguaro	3	-
Existing Ocotillo	2	-
Existing Cactus (Various)	-	-
Silver Torch Cactus <i>Cleistocactus strausii</i>	3	3 gal
Golden Barrel <i>Echinocactus grusonii</i>	8	3 gal
Deergrass <i>Muhlenbergia rigens</i>	20	3 gal
Firestick Cactus <i>Euphorbia tirucalli 'Rosea'</i>	10	3 gal
Octopus Agave <i>Agave vilmoriniana</i>	12	3 gal

Legend

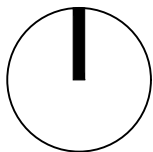
Hardscape - Patios, Walkways, Driveway

Lighting Legend

Refer to cut sheets on A10 for more info.

TYPE	QTY	LUMENS (EA.)	COLOR TEMP
A. Landscape Uplight	5	135	2700k
B. Step Light	6	240	2700k
C. Wall Sconce	5	500	2700k
D. Recessed Can Light (w/ 45 degree cutoff)	16	630	2700k

Landscape & Lighting Plan .1
1/16" = 1'-0"



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SHEET:	

A9
Landscape / Lights

H4 LED Downlight Series 2nd Generation – LED Light Engines
The Halo H4 LED is a family of 4" aperture recessed downlights with H457 series housings designed for use with Halo EL406 Series LED Light Engines and compatible TL4 and TLS4 Series LED trims. Halo H4 LED housings have integral LED drivers that offer dimming as a standard feature.

Halo H4 LED is a three part system: EL406 Light Engines, with TL4/ TLS4 trims and H457 housings. H4 LED 2nd Generation features 90 CRI color rendering index and offers a superior optical design that yields productive beam lumens, good cutoff and low glare.

DESIGN FEATURES

MECHANICAL

(A) Upper Heat Sink

- Durable extruded aluminum construction.
- Conducts heat away from the LED keeping the junction temperatures below specified maximums, even when installed in insulated ceiling environments.
- (B) Lower Heat Sink
- Durable die-cast aluminum construction.
- Precision keyed flange designed to lock with matching keyed slots in H4 trim rings.
- Works in conjunction with the upper heat sink for heat conduction away from the LED

MOUNTING

(C) Friction Blades

- Precision formed stainless steel spring blades provide retention of the EL406 series of light engines in the H457 series housings.
- Friction blade design allows the light engine to be installed in any position within the housing aperture (360 degrees).

ELECTRICAL

(D) LED Connection

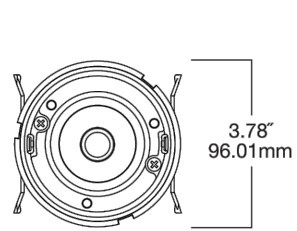
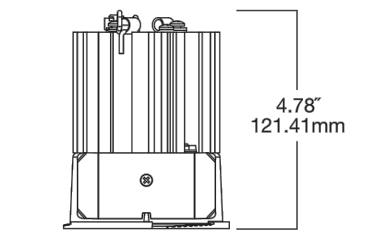
- LED connector is non-screw base offering easy installation with the H457 Series housings.
- LED connector is compliant with high-efficacy luminaire code requirements as a non-screw base socket.
- Separate grounding cable included on the module for attachment to the housing during installation.

COLOR SPECIFICATION & QUALITY STANDARDS

- Halo employs a tight chromaticity specification and LED color binning process to ensure LED color uniformity, sustainable Color Rendering Index (CRI) and Correlated Color Temperature (CCT) consistency over the useful life of the LED
- Halo H4 LED chromaticity specification is 3SDCM initial and 5SDCM at rated life, which exceeds ENERGY STAR® SSL color standards (as per ANSI 78.377-2008).
- Every Halo LED Module is quality tested and performance measured on the production line, and serialized to register lumens, wattage, CRI and CCT.
- Halo LED's serialized testing and measurement process further ensures color and lumen consistency to meet stringent Cooper Lighting specifications and exceed ENERGY STAR® SSL standards.
- Halo LED Modules and light engines include color designation in the model number.
- Example: EL406927

- Halo LED offers the choice of four correlated color temperatures: 2700°K, 3000°K, 3500°K, 4000°K
- 90 CRI
- LED package consisting of an engineered array of multiple LEDs to create one virtual source, for a productive "cone of light"
- Designed for interchangeable trim choices, with selection from multiple reflector, baffle, and lens trim options
- H4 LED Light Engines are ENERGY STAR® Qualified as used with designated LED trims*
- Can be used to meet State of California Title 24, and International Energy Conservation Code – IECC, High Efficacy requirements when used with designated LED trims*
- LED emits no ultraviolet and only minimal infrared wavelengths
- ROHS compliant

9.27" 2700°K nominal CCT > 90 CRI



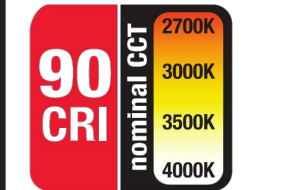
HALO®

Catalog #	Type
Project	
Comments	Date
Prepared by	



H4 LED Downlight 2nd Generation 2700K, 3000K, 3500K, 4000K

4-Inch LED Light Engine FOR USE WITH H457 Series 4" LED Housings 90 CRI High Efficacy LED



90 CRI 2700K 3000K 3500K 4000K

TD518269EN July 27, 2017 2:50 PM

Energy Data / Non-IC Housings

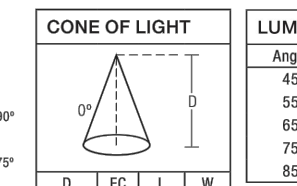
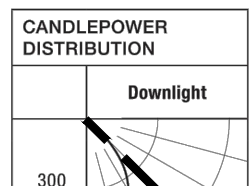
- Minimum operating temperature: -30°C / -22°F
- EMI/RFI Emissions FCC/CFR Part 18, Consumer Limits
- Sound rating: Class A standards
- Input voltage: universal 120V - 277V
- Power factor: >0.90
- Input frequency: 50/60Hz
- THD: <20%
- Input power: 13.0 W
- Input current: 121mA
- Dimmable:
 - 120V leading edge (LE) and trailing edge (TE) dimmers
 - 0-10V controls



H457TATE010 Non-IC Rated / New Construction

- For non-insulated ceilings
- Insulation must be kept 3" from all sides and top of housing
- AIR-TITE™ meets restricted airflow requirements per ASTM E-283
- Driver: 13W, 120V-277V, 50/60Hz commercial / residential
- EMI/RFI: Rated for the more stringent FCC Consumer Limits
- Dimmable with most 120V leading edge (LE) and trailing edge (TE) dimmers to 10% (5% on dimmers with low-end trim adjustment)
- Dimmable to 10% with 0-10V DC dimming controls (two low voltage control wires required)
- Dimensions: 5-1/2"L x 8"W x 5-1/2"H (with 1/2" plaster lip) - Ceiling cutoff: 4-1/2"

Test Number	Test Model
EL406930-TL402-TBZS (BRONZE)	P123702
LED Module	EL406930
Trim	4" Specular Clear Reflector w/ Satin®
Lumens	59.2 lumens
SC	0.75 / 0.75 / 0.84



FINANCE DATA		ZONAL LUMEN SUMMARY		
	0°	Zone	Lumens	%Fixture
	25781	0-30	472	61.3
	4747	0-40	652	84.7
	3240	0-60	760	98.7
	0	0-90	770	100.0
	0			

HINKLEY & R.

HINKLEY LIGHTING, INC.
33000 PIN OAK PARKWAY | AVON LAKE, OHIO 44012
(PH) 440.653.5500 | (F) 440.653.5555
HINKLEYLIGHTING.COM | FREDRICKRAMOND.COM

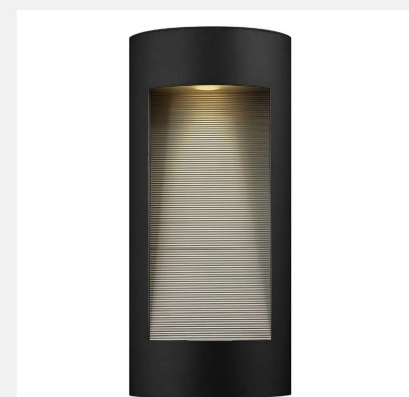


LUNA LED STEP 120V 58504BZ	
BRONZE	
WIDTH:	3.0"
HEIGHT:	4.5"
WEIGHT:	0.7 LBS
MATERIAL:	ZINC-ALUMINUM ALLOY
SOCKET:	4W LED *INCLUDED
LED INFO:	
LUMENS:	240
COLOR TEMP:	2700K
CRI:	90
INCANDESCENT EQUIVALENCY:	1 x 20W
DIMMABLE:	Yes, on any Incandescent, MLV, ELV, or CL dimmer.
NOTES:	
EXTENSION:	0.5"
CERTIFICATION:	C-US WET RATED
VOLTAGE:	120V
UPC:	640665585032

B. Step Light

HINKLEY & R.

HINKLEY LIGHTING, INC.
33000 PIN OAK PARKWAY | AVON LAKE, OHIO 44012
(PH) 330.653.5500 | (F) 440.653.5555
HINKLEYLIGHTING.COM | FREDRICKRAMOND.COM



Large Wall Mount Lantern 1664SK BZ (BRONZE)

ITEM NUMBER	1664SK
BRAND	Hinkley Lighting
MATERIAL	Extruded Aluminum
GLASS	Etched Glass Lens
HEIGHT	24.0"
WIDTH	9.0"
VOLTAGE	120V
WATTAGE	2-20W GU10 *Included
CERTIFICATION	C-US Wet Rated

FEATURES AND BENEFITS

- Suitable for use in wet (interior direct splash and outdoor direct rain or sprinkler) locations as defined by NEC and CEC. Meets United States UL Underwriters Laboratories & CSA Canadian Standards Association Product Safety Standards
- Fixture is Dark Sky compliant and engineered to minimize light glare upward into the night sky.
- Fixture is ADA compliant and adheres to the standards and guidelines listed by the Americans with Disabilities Act.
- For complete warranty information visit (hyperlink)
- 2 year finish warranty
- 12 year warranty on electrical wiring and components
- Bold lines and a clean, minimalist style complement contemporary architecture
- Striking black finish enhances design

FINISH BRONZE

AT HINKLEY, WE EMBRACE THE DESIGN PHILOSOPHY THAT YOU CAN MERGE TOGETHER THE LIGHTING, FURNITURE, ART, COLORS AND ACCESSORIES YOU LOVE INTO A BEAUTIFUL ENVIRONMENT THAT DEFINES YOUR OWN PERSONAL STYLE. WE HOPE YOU WILL BE INSPIRED BY OUR COMMITMENT TO KEEP YOUR 'LIFE AGLOW'.

S9382

6.5MR16/LED/40°/27K/120V/GU10
6.5 watt; LED MR16 LED; 2700K; 40° beam spread; GU10 base; 120 volts

- Features
 - Solid State LED lighting
 - High Efficacy
 - Long life
 - Dimmable
- UL approved for totally enclosed fixtures



S9382

Item Number	UPC	Voltage	Watts	Incandescent Equivalent	Power Factor	Lamp Shape	Base
S9382	045923093821	120	6.5	50W	0.92	MR16	GU10
Lamp Code	Dimmable/Non-Dimmable	Suggested Dimmers	MOL In Inches	MOD In Inches	Initial Lumens	Average Rated Hours	Kelvin Temp
6.5MR16/LED/40°/27K/120V/GU10	Dimmable	Compatible dimmers for S9382	2-3/16"	2.00"	500	25000	2700
Color	CRI	Beam Spread Deg	Operating Temperature	Pack	Package Type	RoHS Compliant	UL or ETL Listed
Warm White	80	40	-25C (-13F) to a maximum of +45C (+113F)	48/12	Box	Yes	Yes
Warranty 5 Year Limited - 10 hour use per day							

C. Sconce

NP Up Light SPECIFICATIONS

NP-BL (BRONZE METALLIC), >150 LUMENS, 2700K

Output	1LED	3LED	6LED	9LED	ZDC
Total Lumens †	50	135	280	360	110
Input Voltage	10 to 15V	10 to 15V	10 to 15V	10 to 15V	11 to 15V
Input Power (W):	2.0	4.2	10.1	11.2	9.1
VA	2.4	4.5	13.5	13.5	11.0
Efficacy (Lumens/Watt)	25	32	27	32	21
Color Rendering Index (CRI)	67	68	80	68	82
Center Beam Candlepower*					
Spot (17-20")	232	464	1069	897	172
Dimming	PWM, Phase**	PWM, Phase**	PWM, Phase**	PWM, Phase**	--
RGBW Available	No	No	No	No	Yes
Luxor Compatibility					
Default	Zoning	Zoning	Zoning	Zoning	--
ZD Option	Zoning/Dimming	Zoning/Dimming	Zoning/Dimming	Zoning/Dimming	--
ZDC Option	--	--	--	--	Zoning/Dimming/Color
Minimum Rated Life (L70)	50,000 Hrs	50,000 Hrs	50,000 Hrs	50,000 Hrs	50,000 Hrs

* Information not available for Flood or Wide Flood ** For optimal performance, use a trailing-edge, phase-cut dimmer. † Measured using the 3,500K CCT lens. Multiples for other CCTs include 0.80 (2,700K), 0.65 (4,500K), and 0.65 (5,000K).

*135 X 0.8 = 108 ACTUAL LUMENS

FX Luminaire

FX Luminaire is an industry-leading manufacturer of landscape and architectural lighting products with a focus on the advancement of LED technology and digital lighting control with zoning, dimming, and color adjustment capabilities. We offer a full spectrum of highly efficient lighting fixtures that can be utilized to create elegant, cutting-edge landscape lighting systems for commercial or residential applications. Our products are available exclusively via our extensive professional distributor network.

Materials

Die-cast aluminum A380 housing and shroud with stainless steel hardware. Die-cast zinc/aluminum alloy knuckle.

Lamp

Integrated module with Cree LEDs. Gold-plated connectors and conformational coated for maximum reliability and corrosion resistance. Proprietary on-board intelligent driver uses firmware-controlled temperature regulation, maximizing LED life. Field upgradeable and replaceable, the LEDs are rated to 50,000 hrs. Maximum drive current: 1A.

Optics

Polycarbonate color temperature adjustment lenses included with fixture: 2,700K (preinstalled), 3,500K (no lens), 4,500K, and 5,200K. Interchangeable optics for 10°, 20°, 30°, 32°, or 55-58° distributions ordered pre-assembled to fixture. Color temperature and beam angle lenses field serviceable. For additional color filters, spread lenses, heat baffles, etc., use MR-16 sized accessories (MR-16: 1.95/49.5mm dia. x 1.1 mm thickness). Beam angle is calculated using LM-79 method for SSL luminaires.

Socket

Socket contains MoistureBlock™ technology, preventing moisture from wicking up into sealed areas of the fixture.

Wiring

18 AWG SPT-1W 105°C 300V 1.5 meter length, pre-stripped

Power

Input 10-15VAC/VDC 50/60Hz. Remote transformer required (specify separately).

Housing

Die-cast aluminum housing with capacity for 1LED, 3LED, 6LED, 9LED, or ZDC integrated LEDs.

Shroud

Die-cast aluminum shroud with 45° cutoff (standard) or 60° long shroud option.

Knuckle

Die-cast zinc/aluminum alloy knuckle with 1/4-14 NPSM threads. Compress and lock features prevent slip after installation. 3° increments adjustability over 220° of vertical adjustment.

Lens

Tempered glass lens with shock resistance and high tolerance for thermal expansion and stress.

Finish

Two-layer protection of sulfuric acid anodization and polyester TOIC powder coat, providing superior outdoor weathering in all conditions. Tested to ASTM standards.

Weight

1.9 lbs. 1/4-20 x 1/4" stainless steel angle lock screw. Includes Super Slot spike.

Installation Requirements

Designed for installation in the upward direction only.

Warranty

10-year limited warranty

Listings

UL LISTED ENEC CE IP65

Learn more Visit: fxl.com | 760.744.5240

FX Luminaire.

LED Accent Lights



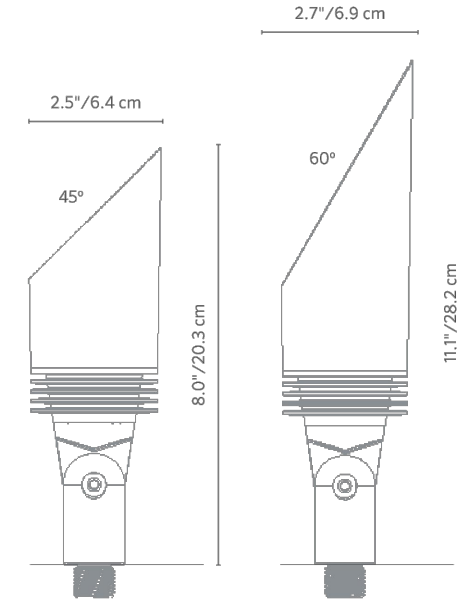
Optional Long Shroud

NP Up Light DESIGNER PLUS

Expertly engineered with 45° or 60° shroud options to illuminate a variety of spaces in 1, 3, 6, or 9 LED. An RGBW version is also available for use with Luxor ZDC systems.

Quick Facts

- Die-cast aluminum
- Two-layer marine-grade anodization and powder coat finish
- Cree® integrated LEDs
- ProAim™ adjustability
- Tamper-resistant features
- Color temperature filters
- Compatible with Luxor® technology
- Phase and PWM dimmable
- Input voltage: 10-15V



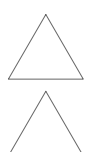
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Lighting Cut Sheets

4606 E Charles Dr – Bernard Fritz



Accent walls – exposed CMU block
with black mortar

Brown Owl – LRV 33

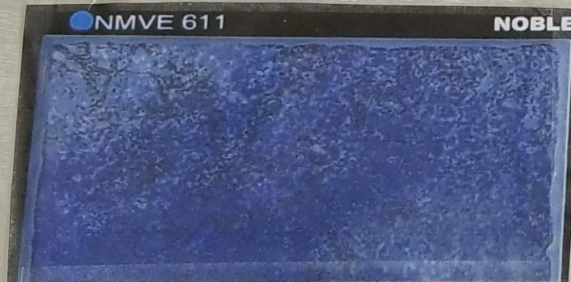


Foam roof – Brown Owl

Metal roof, fascia, pergolas, window frames,
and garage doors – Dunn Edwards custom black



Synthetic grass – Desert Breeze Pro



Pool tile – Noble Tile Supply



Pavers for driveway and walkways –
Antique Pewter



Pool hardscape – Silver Travertine



Action Report

File #: 20-353

To: Hillside Building Committee

From: Hugo Vasquez; Hillside Development Administrator

Date: September 9th, 2020

Subject: Combined Review for a remodel, deck and patio expansion, and landscape improvements at 7819 N Mohave Road (APN 169-03-058).

Narrative: The proposed project shall remodel, add to the existing structure, and infilling the rear deck. The new project has an application date of July 1st, 2020 and will be reviewed under the 2018 Hillside Development Regulations.

Lot Data		
1.	Area of Lot	1.848 ac or 80,491 ft ²
2.	Area Under Roof	10,438 ft ²
3.	Floor Area Ratio	12.97%
4.	Building Site Slope	15.79%
5.	Allowable Disturbed Area	25,147 ft ² (31.24%)
6.	Existing Net Disturbed Area	24,128 ft ² (29.98%)
7.	Proposed Net Disturbed Area	24,372 ft ² (30.28%)
8.	Maximum Building Height	20 ft - 6 in
9.	Overall Height	39 ft - 10.75 in
10.	Volume of Cut/Fill	0 yd ³
11.	Hillside Assurance	\$0

Background

The property contains an existing 8,200 ft² residence constructed in 1990.

Remodel

The proposed project shall include an interior remodel, infilling the rear deck, and an updated entryway. A non-conforming structure located east of the residence shall be demolished.

Pool

No changes to the pool are proposed.

Building Materials

The proposed building materials shall include tan stucco finishes (SW7639, Ethereal Mood, LRV 38) and a natural stone veneer (LRV 44) at the front entry. Metal railings, fences, and fascia shall be dark gray (Benjamin Moore #1631, Midnight

Oil, LRV 6). Aluminum window and door frames shall be black ((LRV 23). Window sill accents shall be tan concrete (LRV 42). Eaves and patios shall be white oak (LRV 32). All extensively used materials shall have an LRV of 38 or less.

Hardscape

The driveway and modified auto court shall use existing pavers (LRV 22). Natural stone tile with varying LRVs (28-45) are proposed for the entry walkway, read deck and, patio.

Building Lighting

Newly proposed building lighting shall be provided eight (8) customized wall sconces (600 lumens actual / 750 lumens allowable). The applicant has noted that wall sconces shall receive an LED retrofit through a custom order. Existing recessed can lights shall remain in place. All light sources shall have a maximum color temperature of 3000K.

Landscape Lighting

Landscape lighting is specified as thirty-four (34) path lights (90 lumens actual / 250 lumens allowable), twenty (20) step lights (78 lumens actual / 250 lumens allowable), and eight (8) up lights (90 lumens actual / 150 lumens allowable). All light sources shall have a maximum color temperature of 2700K.

Landscaping

Artificial turf is proposed in the driveway are between the main entry and the guesthouse. Proposed site vegetation is provided on the table below:

Trees	Shrubs	Accents/Cactus
Guava	Red Fairy Duster (D)	Whale's Tongue Agave
Nagami	Black Dalea (D)	Blue Agave
Pink Oleander	Turpentine Bush (D)	Candelilla
Desert Museum Palo Verde	Chuparosa (D)	Gopher Plant
Shrubs	Mexican Honeysuckle (D)	White Iceberg Rose
Blue hibiscus	Cape Plumbago (D)	Cape Aloe (D)
Powis Castle Artemisia	Upright Rosemary (D)	Blue Elf Aloe (D)
Cast Iron Plan	Chaparral Sage (D)	Churee (D)
Natal Plum Boxwood Beauty	Autumn Sage (D)	Fire Barrel Cactus (D)
Natal Plum Green Carpet	Mount Lemmon Marigold (D)	Giant Hesperaloe (D)
Sour Orange Hedge	Groundcovers	Beavertail Prickly Pear (D)
Hop Bush	Angelita Daisy	Blue Glow Agave (D)
Green Spire Euonymus	Germander	Vines
Euryops Daisy	Desert Marigold (D)	Bougainvillea
Dwarf Yaupon Holly	Damianita (D)	Guava
Arabian Jasmine	Sandpaper Verbena (D)	Pink Trumpet Vine
Little Ollie Dwarf Ollie	White Lantana (D)	Tombstone Rose
Russian Sage	Blackfoot Daisy (D)	Star Jasmin Vine
Indian Hawthorne	Pestemon Species (D)	
Upright Rosemary	Accents/Cactus	
Coral Fountain	Century Plant	

Yellow Bells	Twin Flower Agave	
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*Plants marked with (D) are locate the driveway area only.

Land Disturbance

A net disturbed area of 29.98% (24,128 ft²) currently exists on the lot and the building pad slope of 15.79% allows a disturbance of 31.24% (25,147 ft²) the lot. The applicant has proposed a net disturbed area of approximately 30.28% (24,372 ft²), which is less than the allowable disturbance.

Grading and Drainage

No grading and drainage improvements are proposed.

Sewer

The property has an existing connection to the Paradise Valley sewer system.

Hillside Safety Improvement Plan

The applicant is not required to submit a Hillside Safety Improvement Plan based on the scope of work.

Combined Plan Review

Should the Hillside Committee wish to approve this application, staff suggests the following stipulations:

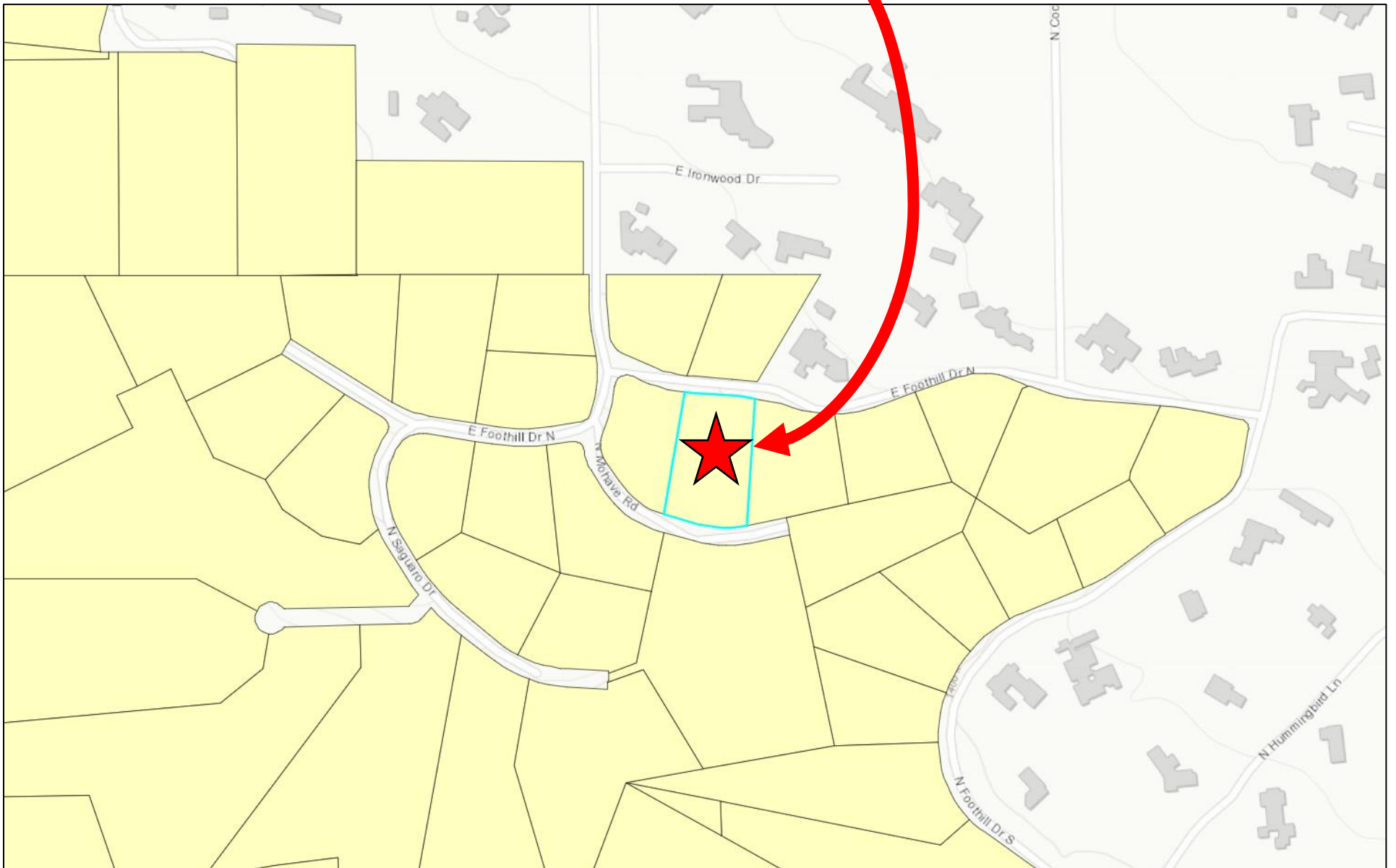
1. Any changes to the Hillside-approved plans may result in delays in permit plan review and inspection processes. Any proposed changes should be reported to the Staff to determine compliance with Hillside Development Regulations. Changes may be subject to a Staff, Chair, or Committee review.
2. The Applicant shall submit a Construction Staging Plan to the Town per the Hillside Safety Improvement Measures and Process Manual for review and approval prior to being issued a building permit.
3. The Applicant shall submit a liability insurance policy for the proposed project in the amount of \$2 million per occurrence and \$5 million aggregate naming the Town of Paradise Valley as an additional insured prior to being issued a building permit.
4. All construction parking shall be located on the property as much as possible. Any offsite parking shall be confined to the adjacent streets along the immediate property frontage. All offsite parking shall be located on the same side of the street. No construction materials will be allowed to be stored on the Town's right-of-way.
5. No final approval or certificate of occupancy shall be issued until all Hillside stipulations and all Town Code requirements are complied with, including, but not limited to, landscaping, fire flow, fire safety and all onsite and offsite improvements.
6. The limits of construction and proposed disturbed areas shall be clearly staked in the field, with visible roping, prior to demolition and during construction and shall conform to the approved individual site analysis plan. Photos of the staking shall be provided prior to issuance of a demolition and/or building permit.
7. Noise from construction that can be heard off-site, including, but not limited to, hydraulic ram hammers, equipment used to cut through rock, machinery with audible back-up warning devices, powered machinery, truck delivery and idling, constant and persistent hammering, shall comply with Article 8-10, Nuisance Noise, as set forth in the Town Code. Heavy Equipment and construction-related deliveries are generally limited between the hours of 7:00 a.m. and 5:00 p.m. Monday through Friday; no work on Saturday, Sunday or legal holidays. Exceptions include a one hour early start time in summer, time exceptions granted by the Town Manager, and construction not defined as Heavy Equipment or deliveries that can occur outside the 7:00 a.m. to 5:00 p.m., Monday through Friday, time frame.

8. Natural stone selections shall not exceed the maximum allowable LRV of 38. Care should be taken when selecting to ensure that the maximum LRV is not exceeded. Failure to comply with may result in delays obtaining a Certificate of Occupancy.

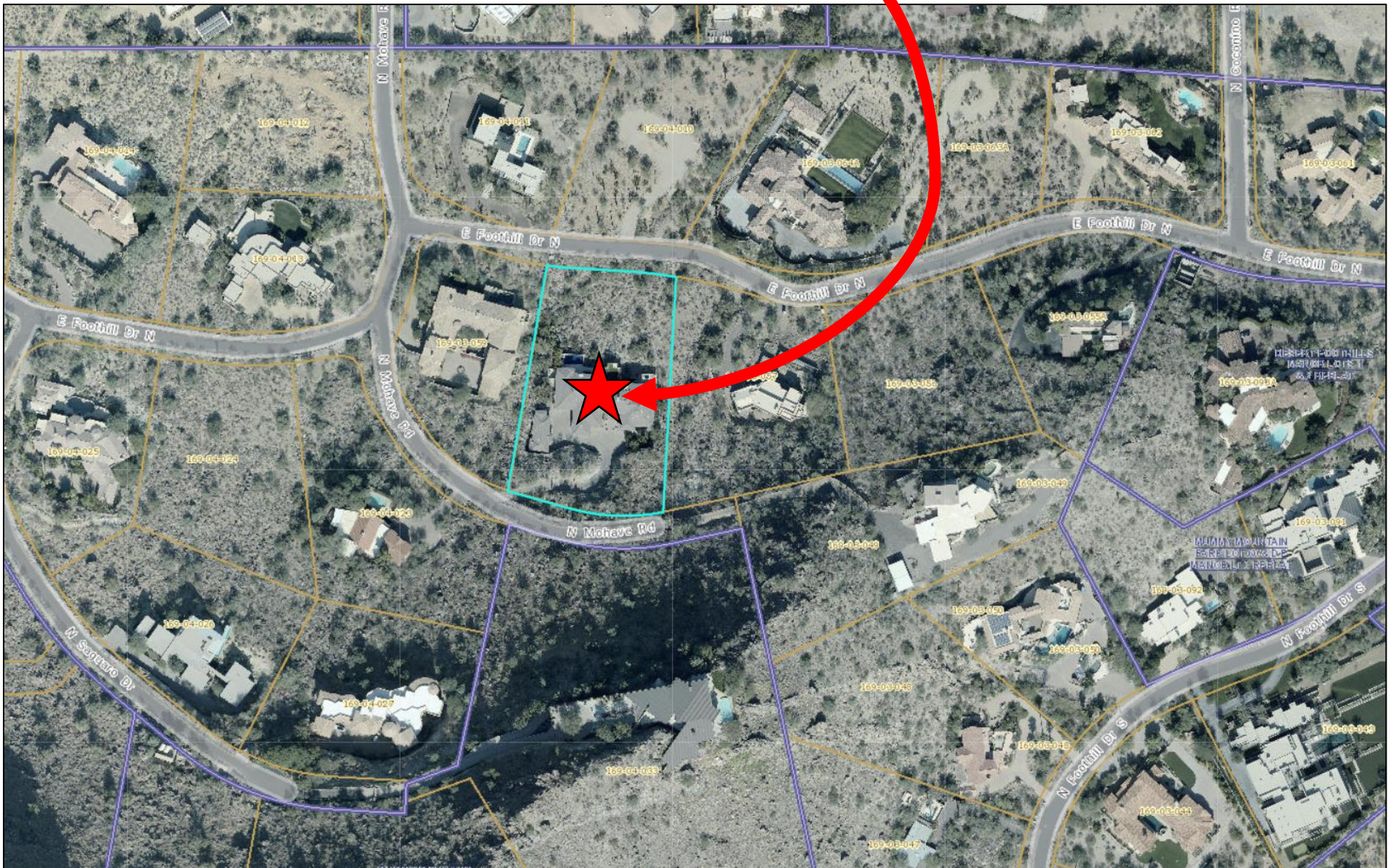
9. A landscape as-built plan shall be provided by the landscape designer at the time of the Final Hillside inspection and prior to the issuance of a Certificate of Occupancy. See Stipulation #1 for more information.

10. Applicant shall provide formal documentation from wall sconce manufacturer or supplier validating the custom LED retrofit order. Documentation shall be provided to Staff prior to the issuance of a building permit.

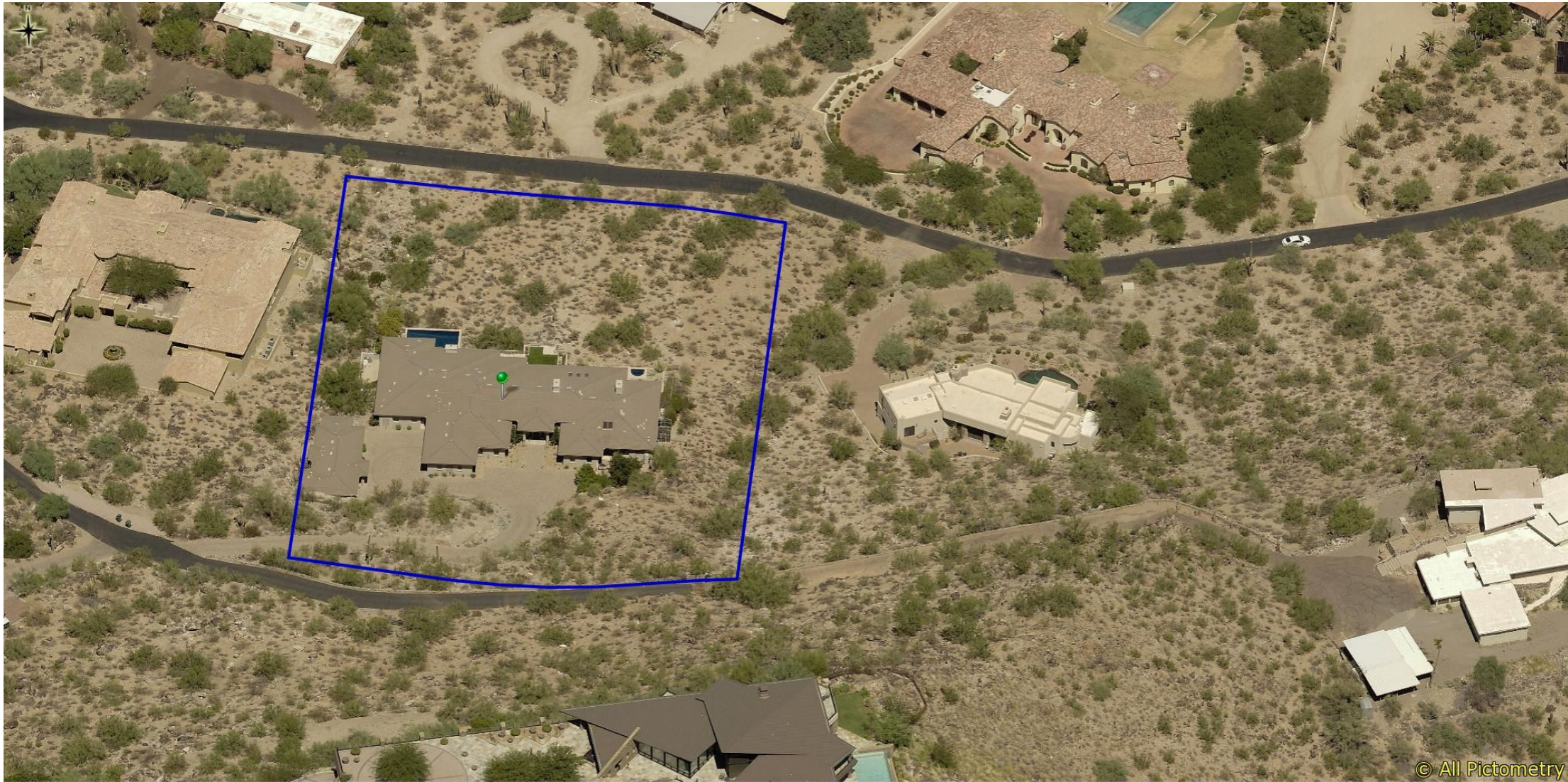
7819 N Mohave Road



7819 N Mohave Road



7819 N Mohave Road



09/06/2016



TOWN OF PARADISE VALLEY HILLSIDE DEVELOPMENT

DATE: 7/1/2020

SUBDIVISION NAME: Mummy Mountain Park

ADDRESS OF PROPERTY 7819 N Mohave Road

Paradise Valley, AZ 85253

ASSESSOR'S PARCEL NUMBER: 169-03-058

LEGAL DESCRIPTION: Lot 67 of Mummy Mountain Park

ARCHITECT: ABL Design Studio

NAME	PHONE NUMBER
<u>4817 E Kathleen Road, Scottsdale 85254</u>	<u>6027580808</u>
ADDRESS	E-MAIL ADDRESS

ENGINEER/OTHER: PHS Structural

NAME	PHONE NUMBER
<u>2812 N. Norwalk, Suite 114, Mesa AZ 85215</u>	<u>480-854-3343</u>
ADDRESS	E-MAIL ADDRESS

OWNER: Bryan & Elizabeth Saba

PRINT NAME	PHONE NUMBER
<u>7819 N Mohave Road, Paradise Valley 85254</u>	<u>6025249191</u>
ADDRESS	E-MAIL ADDRESS

SIGNATURE OF OWNER OR REPRESENTATIVE	DATE
	<u>7/17/2020</u>

SCOPE OF WORK: Remodel of existing home inclusive of new windows, doors, stucco paint color stone cladding on front entry tower (facing south), new extension of rear upper balcony within open space at bridge, new firepit area within existing opening in bridge, new auto gate and piers at top of driveway, new exterior patio flooring change, new railings at existing rear patio and new widened staircase leading down to bridge from existing Living Room.



Combined Plan Review Notification

July 7, 2020

[neighbor name]
[neighbor address]
[neighbor address]

Subject: Combined Plan Review for Proposed Exterior Improvements to the Home Situate at:
7819 N Mohave Road
Paradise Valley, AZ 85253

Dear Property Owner,

An application has been submitted to the Town of Paradise Valley for an exterior remodel at 7819 N Mohave Road, Paradise Valley, AZ 85253. In compliance with Town requirements, this letter is being sent to you as a courtesy to inform you of the pending application. The Hillside Building Committee will be reviewing this application on September 9, 2020 at 8:00 AM at the Paradise Valley Town Hall located at 6401 East Lincoln Drive.

The purpose of a **Combined Plan Review** meeting is for the Hillside Building Committee to review the submittal for compliance with the goals, purposes, and specific criteria of the Town of Paradise Valley Hillside Development Regulations.

The Hillside Building Committee will approve, approve with stipulations, continue, or deny the submittal. This meeting is open to the public and you may feel free to attend. If you have any questions, please feel free to call me at 602-758-0808 or email at braden@abl.designstudio.com.

Best Regards-

Braden Santarcangelo
Owner ~ ABL Design Studio, LLC

THIS MEETING MAY BE HELD BY REMOTE PARTICIPATION

Please check the meeting agenda at <https://paradisevalleyaz.legistar.com/Calendar.aspx> to determine if the Hillside Building Committee meeting will be held by remote participation. If held by remote participation, members of the public are encouraged to participate in the meeting via the following options:

1. View the live stream at <https://paradisevalleyaz.legistar.com/Calendar.aspx> (a) Click on Calendar Tab (b) Look for Hillside Building Committee meeting (you may have to select it from the dropdown list) and find the meeting date (c) Click the “In Progress” link in the column titled Video
2. Zoom Conference: Meeting information to be provided on final meeting agenda
3. Submitting questions and comments: (a) Visit <https://paradisevalleyaz.legistar.com/Calendar.aspx>, search for the meeting date, and click “eComment”. Locate the agenda item you are interested in and click “Comment” (Please submit comments at least 1 hr prior to meeting)
4. Speaking during Call to the Public / Public Hearings:
(a) Visit <https://paradisevalleyaz.legistar.com/Calendar.aspx>, search for the meeting date, and click “eComment”. Locate the agenda item and click “Register to Speak”. Join the meeting by dialing the Zoom Video Conference number provided on the final meeting agenda.
(b) If attending by Zoom Video Conference, click the chat button and enter your name and the agenda item you would like to address (These meeting participation guidelines are pursuant to Town Council Resolution 2020-08 adopted March 17, 2020.)

Notice is hereby given pursuant to A.R.S. §38-431.02 that members of the Hillside Building Committee may attend by audio/video conference call.

The Town of Paradise Valley endeavors to make all public meetings accessible to persons with disabilities. With 72 hours advance notice, special assistance can be provided for disabled persons at public meetings. Please call 480-948-7411 (voice) or 483-1811 (TDD) to request accommodation.

For further information about any of these matters, please contact the Community Development Department, 6401 E. Lincoln Drive, Paradise Valley, Arizona, 480-348-3692.

All agendas are subject to change. You can view the agenda, find application material, and provide your input via eComment approximately 4-6 days prior to the meeting date at <https://paradisevalleyaz.legistar.com/Calendar.aspx>. You may also contact the staff liaison, Hugo Vasquez on this application at hvasquez@paradisevalleyaz.gov or 480-348-3525 at any time before the scheduled meeting date.

Parcel Number	Owner	Property Address	Mailing Address
168-77-001D	MUMMY MOUNTAIN 19 LLC	8055 N MUMMY MOUNTAIN RD PARADISE VALLEY 85253	2525 E CAMELBACK RD STE 700 PHOENIX AZ 85016
168-77-007	HILLSDALE COLLEGE		33 E COLLEGE ST HILLSDALE MI 49242
168-77-008	M & E LIVING TRUST	8020 N MUMMY MOUNTAIN RD PARADISE VALLEY 85253	497 SKYLAKE CT INCLINE VILLAGE NV 89451
168-78-001C	MALCOLM INVESTMENTS LLC	8115 N MOHAVE RD PARADISE VALLEY 85253	201 N CENTRAL AVE 22ND FL PHOENIX AZ 85004-0608
168-78-001D	SAMUEL ROBERT C	8107 N MOHAVE RD PARADISE VALLEY 85253	5141 N 40TH ST NO 500 PHOENIX AZ 85018
168-78-002	THURSTON RAY R & AMY L	8000 N MOHAVE RD PARADISE VALLEY 85253	8000 N MOHAVE PARADISE VALLEY AZ 85253
168-78-003	MOHAVE ROAD TRUST	8040 N MOHAVE RD PARADISE VALLEY 85253	234 ELMGROVE DR TECUMSEH ON CANADA N8N 3S3
168-78-004B	PARVEEN KAURKHANUJA QUAL PERSONAL RESD TRUST	8110 N MOHAVE RD PARADISE VALLEY 85253	8110 N MOHAVE RD PARADISE VALLEY AZ 85253
168-78-004E	LYNNE MORRISON PROPERTIES LLC	8112 N MOHAVE RD PARADISE VALLEY 85253	PO BOX 911 STERLING CO 80751
168-78-006	GSD ARIZONA QUALIFIED PERSONAL RESIDENCE TR	8131 N MOHAVE RD PARADISE VALLEY 85253	8131 N MOHAVE RD PARADISE VALLEY AZ 85253
168-78-007	ROSALEDA TRUST	8001 N MOHAVE RD PARADISE VALLEY 85253	8001 N MOHAVE RD PARADISE VALLEY AZ 85253
168-78-008	CYRELL ALEXANDER/MICHELSON SUSAN TR	5917 E IRONWOOD DR PARADISE VALLEY 85253	5917 E IRONWOOD DR PARADISE VALLEY AZ 85253
168-78-009	WALKER CHARLES F/PROSCH CYNTHIA SEGINSKI	5933 E IRONWOOD DR PARADISE VALLEY 85253	3404 MARQUETTE ST DALLAS TX 75225
168-78-010	ROSALEDA TRUST	8001 N MOHAVE RD PARADISE VALLEY 85253	8001 N MOHAVE RD PARADISE VALLEY AZ 85253
168-79-001B	PV 20 LLC	8103 N COCONINO RD PARADISE VALLEY 85253	6437 E JACKRABBIT RD PARADISE VALLEY AZ 85253
168-79-003A	ANDERSON ROBERT/SYDNEY M TR	8070 N COCONINO RD PARADISE VALLEY 85253	7262 OLD POST RD BOULDER CO 80301
168-79-004A	PV 20 LLC	8097 N COCONINO RD PARADISE VALLEY 85253	6437 E JACKRABBIT RD PARADISE VALLEY AZ 85253
168-79-004B	PV 20 LLC	8005 N COCONINO RD PARADISE VALLEY 85253	6437 E JACKRABBIT RD PARADISE VALLEY AZ 85253
168-79-004C	MATLOFF FAMILY TRUST	8000 N COCONINO RD PARADISE VALLEY 85253	8000 N COCONINO PARADISE VALLEY AZ 85253
169-02-022A	GREAT MOUNTAIN VIEW LLC		23005 N 74TH ST UNIT 3059 SCOTTSDALE AZ 85255-7518
169-02-022B	PLENGE ROBERT W/DORRANCE BENNETT ETAL TR		6401 E LINCOLN DR PARADISE VALLEY AZ 85253
169-03-032	DAVID AND MARY JO CHRISTENSEN LIVING TRUST	7590 N HUMMINGBIRD LN PARADISE VALLEY 85253	7590 N HUMMINGBIRD LN PARADISE VALLEY AZ 85253
169-03-033	BENSON GEORGE/JOHNNIE L	7616 N FOOTHILL DR S PARADISE VALLEY 85253	360 HAMILTON AVE 100 WHITE PLAINS NY 10601
169-03-037	7734 INVESTMENT LLC	7734 N HUMMINGBIRD LN PARADISE VALLEY 85253	7702 E DOUBLETREE RANCH RD SUITE 300 SCOTTSDALE AZ 85258
169-03-040	GUY THOMAS AND NANCY LEE EGGBRECHT FAM TRUST	7839 N FOOTHILL DR S PARADISE VALLEY 85253	7839 N FOOTHILL DRIVE S PARADISE VALLEY AZ 85253
169-03-041	WILLIAM S CULLEN DECEDENTS TRUST ETAL	7815 N FOOTHILL DR S PARADISE VALLEY 85253	7815 E FOOTHILL DR SOUTH PARADISE VALLEY AZ 85253
169-03-043	X ZIP TRUST	7755 N FOOTHILL DR S PARADISE VALLEY 85253	209 TENTH AVE SOUTH STE 405 NASHVILLE TN 37203
169-03-044	KLC-018 TRUST/SUZANNE M COOK TRUST	7725 N FOOTHILL DR S PARADISE VALLEY 85253	7725 N FOOTHILL DR S PARADISE VALLEY AZ 85253-3067
169-03-045	BEVERLY J BECKER REVOCABLE TRUST	7629 N FOOTHILL DR S PARADISE VALLEY 85253	42338 RUSSIA RD ELYRIA OH 44035
169-03-046	TEMPLETON KATHRYN A TR	7632 N FOOTHILL DR S PARADISE VALLEY 85253	7632 S FOOTHILL DR PARADISE VALLEY AZ 85253
169-03-047	SIMONE FOOTHILL DRIVE LLC	7720 N FOOTHILL DR S PARADISE VALLEY 85253	8800 N GAINIEY CENTER DR STE 160 SCOTTSDALE AZ 85258-2122
169-03-048	DLHBA 2015 DE	7726 N FOOTHILL DR S PARADISE VALLEY 85253	7726 N FOOTHILL DR SOUTH PARADISE VALLEY AZ 85253
169-03-049	ICONIC VIEWS LLC	7805 N MOHAVE RD PARADISE VALLEY 85253	7377 E DOUBLETREE RANCH RD UNIT 190 SCOTTSDALE AZ 85258
169-03-050	PERKO DARREN ANDREW FRANK/LORIE ANNE	7738 N FOOTHILL DR S PARADISE VALLEY 85253	70 STANDISH AVE TORONTO ON CANADA M4W3B1
169-03-055A	SILVERBERG ROBERT I/ROBYN H TR	6041 E FOOTHILL DR PARADISE VALLEY 85253	6041 E FOOTHILLS DRIVE NORTH PARADISE VALLEY AZ 85253
169-03-056	ANDALKAR NITEEN/BERNADETTE	6019 E FOOTHILL DR N PARADISE VALLEY 85253	10187 E PEAK CIR SCOTTSDALE AZ 85262
169-03-057	HOECHNER BRUCE D/JUDITH L	6001 E FOOTHILL DR N PARADISE VALLEY 85253	1406 SILO RD YARDLEY PA 19067
169-03-058	BRYAN AND ELIZABETH SABA FAMILY TRUST	7819 N MOHAVE RD PARADISE VALLEY 85253	7819 N MOHAVE RD PARADISE VALLEY AZ 85253
169-03-059	MARTIN D WOLF SEPARATE PROPERTY TRUST	5925 E FOOTHILL DR N PARADISE VALLEY 85253	5925 E FOOTHILL DR N PARADISE VALLEY AZ 85253
169-03-060	MOONLIGHT ESTATE LLC	6132 E FOOTHILL DR N PARADISE VALLEY 85253	4511 N HICKORY LN KANSAS CITY MO 64116
169-03-061	VILLA RUSTICA FIDUCIA LLC	6044 E FOOTHILL DR N PARADISE VALLEY 85253	10645 N TATUM BLVD STE 200 PMB 194 PHOENIX AZ 85028
169-03-062	PHELPS KENNETH A/ DEBRA S	6030 E FOOTHILL DR N PARADISE VALLEY 85253	8215 N 62ND PL PARADISE VALLEY AZ 85253
169-03-063A	JD ARIZONA LLC		PO BOX 11086 JACKSON WY 83002
169-03-064A	JD ARIZONA LLC		PO BOX 11086 JACKSON WY 83002
169-03-083	MEYER ERIC D/SNELL SARAH	7765 N FOOTHILL DR S PARADISE VALLEY 85253	765 FOOTHILL DR SOUTH PARADISE VALLEY AZ 85259
169-03-084	ZENA TRUST	7777 N FOOTHILL DR S PARADISE VALLEY 85253	7777 N FOOTHILL DRIVE S PARADISE VALLEY AZ 85253
169-03-091	ROHR DANIEL C TR	7760 N FOOTHILL DR S PARADISE VALLEY 85253	7760 N FOOTHILLS S PARADISE VALLEY AZ 85253
169-03-092	BUCON KIRK A/MELANIE A	7746 N FOOTHILL DR S PARADISE VALLEY 85253	7746 N FOOTHILLS DRIVE SOUTH PARADISE VALLEY AZ 85253
169-03-093A	WDW ROYAL PALM INVESTMENTS LLC	6045 E FOOTHILL DR N PARADISE VALLEY 85253	6045 E FOOTHILL DR N PARADISE VALLEY AZ 85253
169-03-094	D L L R PROPERTIES LLC	7798 N FOOTHILL DR S PARADISE VALLEY 85253	7015 N 53RD AVE GLENDALE AZ 85301
169-03-106	FAULK ROBERT M/AMY D	7720 N HUMMINGBIRD LN PARADISE VALLEY 85253	9925 DEVONSHIRE DR OMAHA NE 68114-3851
169-03-107	WEDER FAMILY REVOCABLE LIVING TRUST	7728 N HUMMINGBIRD RD PARADISE VALLEY 85253	200 SCENIC DR SEDONA AZ 86336
169-03-114	LEM INVESTMENTS LLC		5011 E FANFOL DR PARADISE VALLEY AZ 85253
169-03-115	E LOUIS WERNER III LIVING TRUST		5011 E FANFOL DR PARADISE VALLEY AZ 85253
169-04-005	AEA LIVING TRUST	7530 N HUMMINGBIRD LN PARADISE VALLEY 85253	7530 N HUMMINGBIRD LN PARADISE VALLEY AZ 85253
169-04-006	ROMERO FAMILY TRUST	7540 N HUMMINGBIRD LN PARADISE VALLEY 85253	7625 E VIA DEL REPOSO SCOTTSDALE AZ 85258
169-04-007	LDL FAMILY TRUST	7550 N HUMMINGBIRD LN PARADISE VALLEY 85253	8502 N 59TH PL PARADISE VALLEY AZ 85253
169-04-008A	MUMMY MOUNTAIN PRESERVE TRUST	6401 E LINCOLN DR PARADISE VALLEY 85253	6401 E LINCOLN DR PARADISE VALLEY AZ 85253
169-04-008B	BUONA CASA LLC	7560 N HUMMINGBIRD LN PARADISE VALLEY 85253	9303 N IRONWOOD PARADISE VALLEY AZ 85253
169-04-009A	MUMMY MOUNTAIN PRESERVE TRUST	6401 E LINCOLN DR PARADISE VALLEY 85253	6401 E LINCOLN DR PARADISE VALLEY AZ 85253-4399
169-04-009B	7620 N FOOTHILL LLC	7620 N FOOTHILL DR S PARADISE VALLEY 85253	519 S MAIN ST ORRVILLE OH 44667-2201
169-04-010	FOOTHILL ARIZONA LLC	5920 E FOOTHILL DR N PARADISE VALLEY 85253	PO BOX 11086 JACKSON WY 83002-1086
169-04-011	WILSON DINESH/BROOKE	5900 E FOOTHILL DR N PARADISE VALLEY 85253	5900 E FOOTHILL DR NORTH PARADISE VALLEY AZ 85253
169-04-012	PARADISE VALLEY MOUNTAIN PRESERVE TRUST	5912 E FOOTHILL DR PARADISE VALLEY 85253	6401 E LINCOLN DR PARADISE VALLEY AZ 85253
169-04-013	CBM REVOCABLE TRUST	5912 E FOOTHILL DR N PARADISE VALLEY 85253	5912 E FOOTHILL DR N PARADISE VALLEY AZ 85253-3033
169-04-014	RMB PROPERTIES LLC-SERIES NO ONE	5902 E FOOTHILL DR N PARADISE VALLEY 85253	27 N WACKER DR UNIT 518 CHICAGO IL 60606
169-04-015A	HILLSDALE COLLEGE	5880 E FOOTHILL DR PARADISE VALLEY 85253	33 E COLLEGE ST HILLSDALE MI 49242
169-04-015B	WEAR REED BARTLETT TR/LINDA ANN TR	5880 E FOOTHILL DR N PARADISE VALLEY 85253	5880 E FOOTHILL DR NORTH PARADISE VALLEY AZ 85253
169-04-023	ALLEN JEFFREY WALTER TR	7818 N MOHAVE RD PARADISE VALLEY 85253	7818 N MOHAVE RD PARADISE VALLEY AZ 85253
169-04-024	JET LINC LLC	5833 E FOOTHILL DR N PARADISE VALLEY 85253	7377 E DOUBLETREE RANCH RD STE 190 SCOTTSDALE AZ 85258
169-04-025	ROSENTHAL KENNETH J/LINDA S	7801 N SAGUARO DR PARADISE VALLEY 85253	7801 N SAGUARO DR PARADISE VALLEY AZ 85253
169-04-026	4 SEVENS LLC	7777 N SAGUARO DR PARADISE VALLEY 85253	7377 E DOUBLETREE RANCH RD SUITE 190 SCOTTSDALE AZ 85258
169-04-027	MOOSBRUGGER ERIN S TR/FINLEY MARY W TR	7737 N SAGUARO DR PARADISE VALLEY 85253	7737 N SAGUARO DR PARADISE VALLEY AZ 85253
169-04-029A	KRAEMER RICHARD C/CAROLE A TR	5843 E FOOTHILLS DR N PARADISE VALLEY 85253	5843 E FOOTHILLS DR N PARADISE VALLEY AZ 85253
169-04-031	FRANKE W A	7785 N SAGUARO DR PARADISE VALLEY 85253	7701 N SAGUARO DR PARADISE VALLEY AZ 85253
169-04-032	FRANKE W A	7700 N SAGUARO DR PARADISE VALLEY 85253	7701 N SAGUARO DR PARADISE VALLEY AZ 85253
169-04-033	FRANKE W A	7701 N SAGUARO DR PARADISE VALLEY 85253	7701 N SAGUARO DR PARADISE VALLEY AZ 85253
169-04-034	MUMMY ESTATES LLC		2001 E CAMPBELL AVE STE 103 PHOENIX AZ 85016
169-04-035	MUMMY ESTATES LLC		2001 E CAMPBELL AVE STE 103 PHOENIX AZ 85016
169-04-036	DANIEL E HARKINS TRUST	7800 N SAGUARO DR PARADISE VALLEY 85253	7511 E MCDONALD DR SCOTTSDALE AZ 85250

169-04-037 MUMMY ESTATES LLC
169-04-038 MUMMY ESTATES LLC
169-04-039 MUMMY ESTATES LLC

2001 E CAMPBELL AVE STE 103 PHOENIX AZ 85016
2001 E CAMPBELL AVE STE 103 PHOENIX AZ 85016
2001 E CAMPBELL AVE STE 103 PHOENIX AZ 85016



July 17, 2020

Town of Paradise Valley
6401 E Lincoln Drive
Paradise Valley, AZ 85253

RE: Hillside Narrative
7819 N Mohave Road

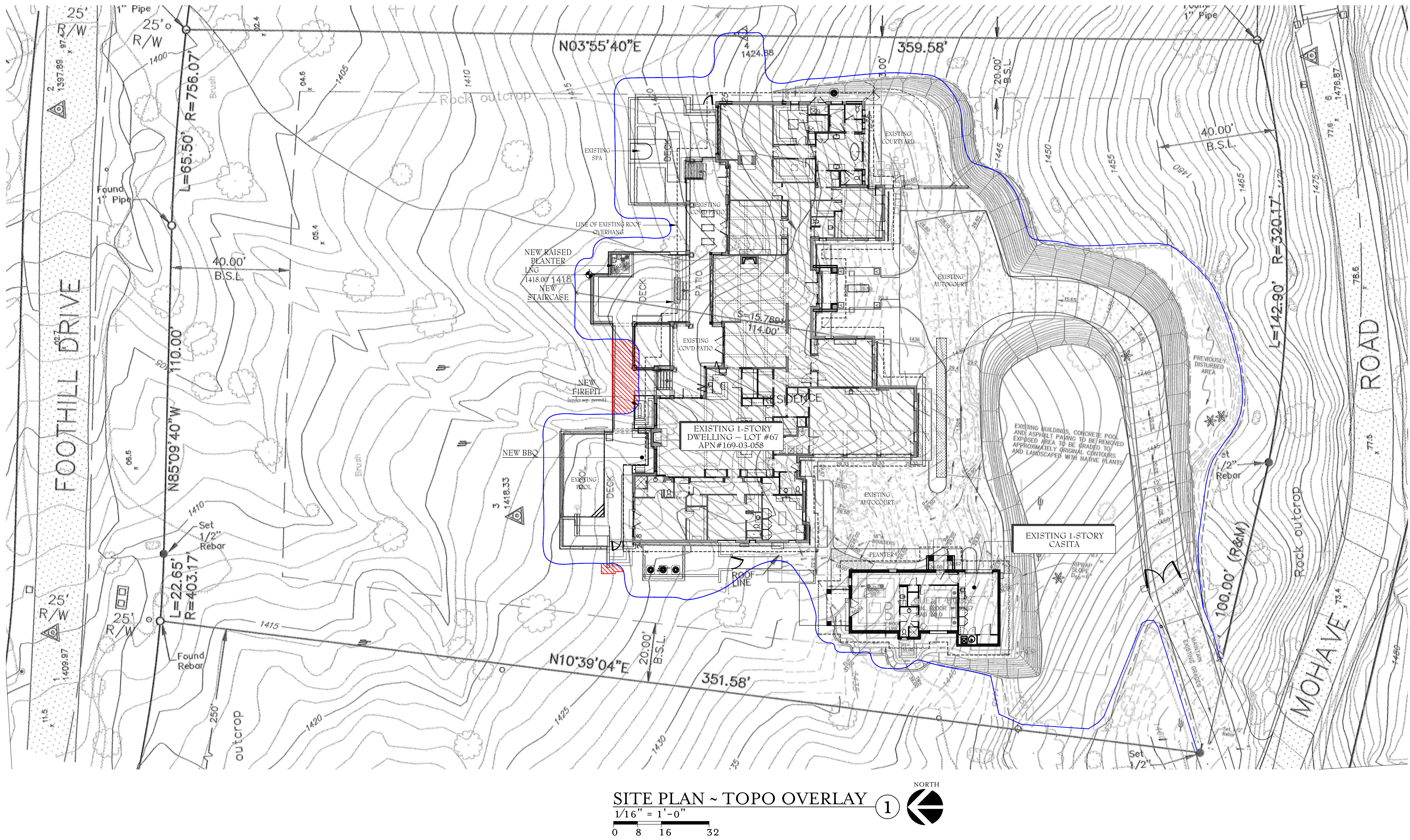
We wish to submit to you the materials for the Combined Hillside Review for the single-family residence situate at 7819 N Mohave Road. The exterior of the home, constructed in 2001, will be remodeled to include the following:

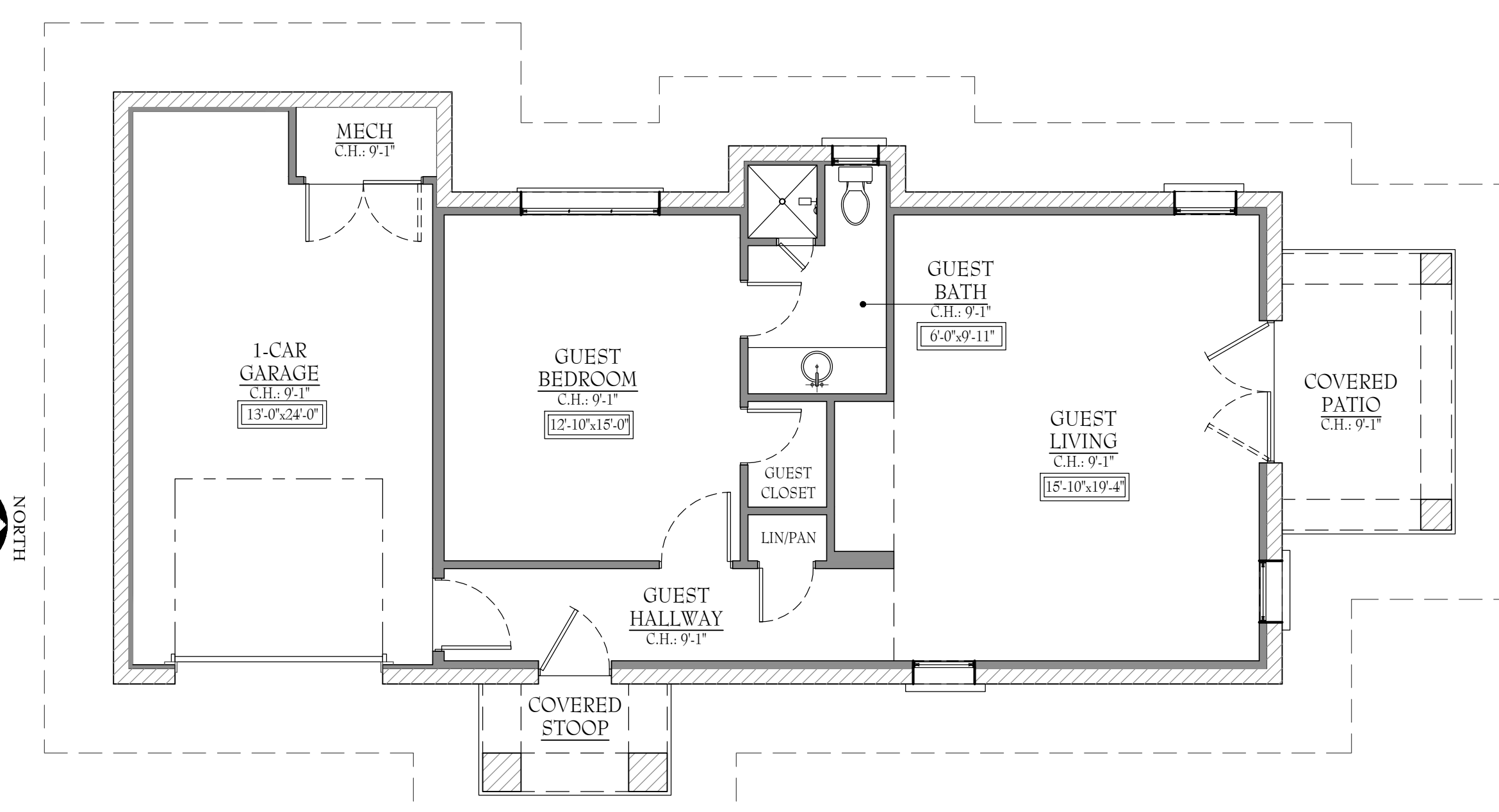
- 1) New aluminum clad and steel windows painted black. Note, per the attached elevations and floor plans, that a few window openings on the North side of the home will be increased in size.
- 2) New stucco paint color.
- 3) New stone cladding at the south-facing, main Entry Tower.
- 4) New main Entry Tower approach with water feature and softscape.
- 5) New rear patio extension, filling in a portion of the open bridge structure.
- 6) New BBQ and firepit area, filling in a portion of the open bridge structure.
- 7) New auto gate and piers at the top of the driveway (note that all existing paving materials will remain)
- 8) New covered patio and rear terrace flooring material.
- 9) Existing metal fascia will be painted a new color.
- 10) The existing eaves and ceilings at exterior patios and roof overhangs will be clad in new white oak plank and sealed with natural polyurethane.

We do not plan on modifying roof forms nor replacing the existing concrete roof tiles. All work performed will be under the existing roof. We hope that this proposal is well received. If you have any questions or comments pertinent to this explanation or materials contained herein, please feel free to call (602) 758-0808 or email braden@abl.designstudio.com. Thank you, in advance, for your time and consideration.

Best Regards-

Braden Santarcangelo
Owner ~ ABL Design Studio, LLC

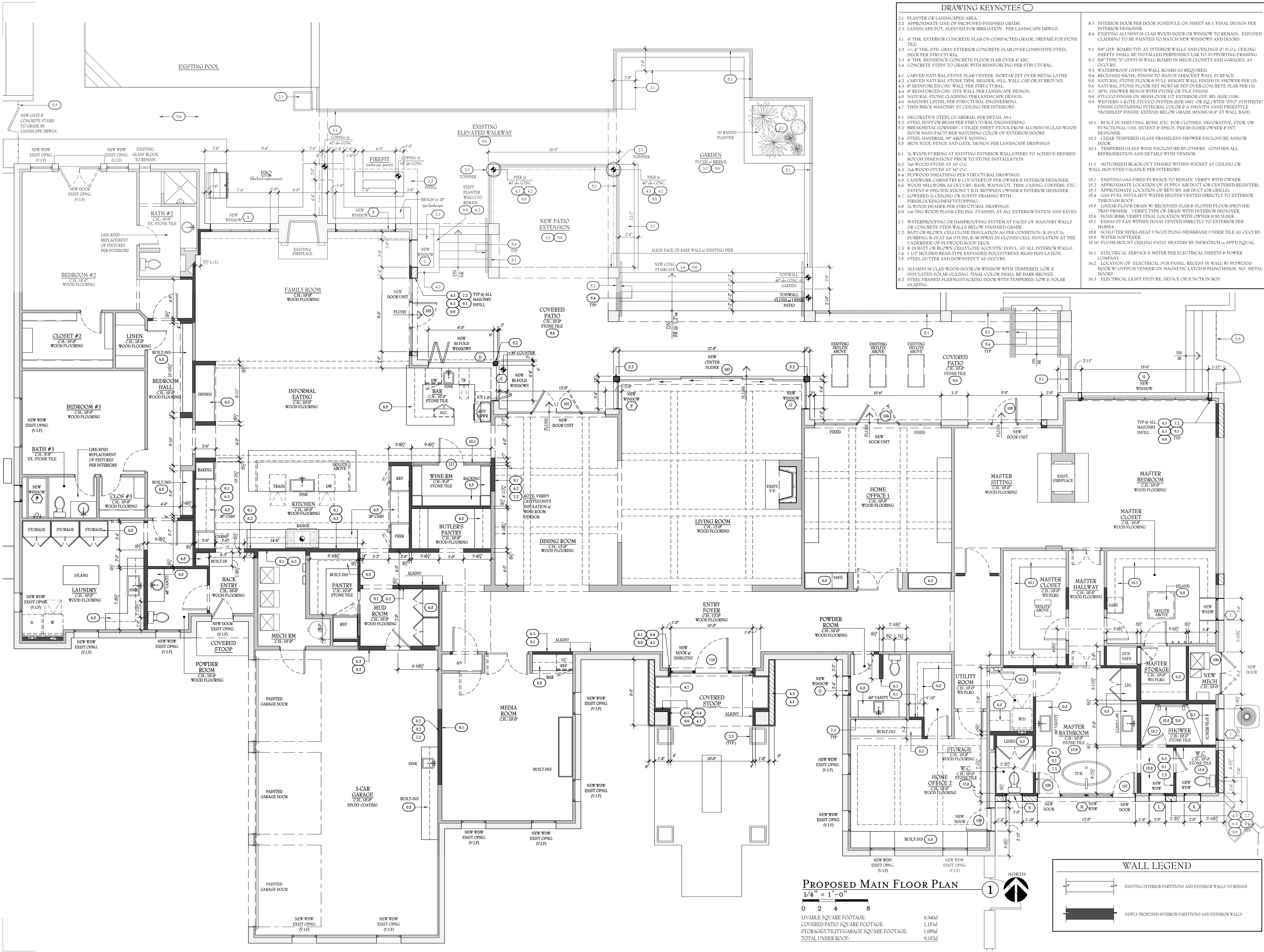






DEMOLITION GENERAL NOTES

A.	VERIFY EXISTING CONDITIONS AND NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH ANY WORK.
B.	ERECT AND MAINTAIN TEMPORARY PARTITIONS AS REQUIRED TO PREVENT SPREAD OF DUST, DEBRIS, CLOUD AND NOISE.
C.	REPAIR ALL DAMAGE TO ADJACENT BUILDING, PAVING AND LANDSCAPE FINISHES WHICH ARE TO REMAIN.
D.	CONDUCT DEMOLITION TO KEEP MINIMUM INTERFERENCE WITH ADJACENT BUILDING AREAS.
E.	PROTECT EXISTING MATERIALS WHICH ARE NOT TO BE DEMOLISHED.
F.	PREVENT MOVEMENT OF STRUCTURE, PROVIDE BRACING AND SHORING.
G.	MAINTAIN PROTECTED EGRESS AND ACCESS TO THE WORK.
H.	CEASE OPERATIONS IF STRUCTURE APPEARS TO BE IN DANGER, NOTIFY THE ARCHITECT. DO NOT RESUME OPERATIONS UNTIL DIRECTED.
I.	DISCONNECT, REMOVE, CAP, AND IDENTIFY DESIGNATED UTILITIES WITHIN WORKING AREA.
J.	EXCEPT WHERE NOTED OTHERWISE, REMOVE DEMOLISHED MATERIAL FROM THE SITE. DO NOT BURN OR BURY MATERIAL ON THE SITE.
K.	REMOVE DEMOLISHED MATERIAL FROM THE SITE AS THE WORK PROGRESSES. UPON COMPLETION OF WORK, LEAVE AREAS IN CLEAN CONDITION.



DRAWING KEYNOTES			
2.1	PLANTER OR LANDSCAPED AREA.	8.3	INTERIOR DOOR PER DOOR SCHEDULE ON SHEET A8.1. FINAL DESIGN PER INTERIOR DESIGNER.
2.2	APPROXIMATE LINE OF PROPOSED FINISHED GRADE.	8.4	EXISTING ALUMINUM CLAD WOOD DOOR OR WINDOW TO REMAIN. EXPOSED CLADDING TO BE PAINTED TO MATCH NEW WINDOWS AND DOORS.
2.3	LANDSCAPE POT, SLOVED FOR IRRIGATION - PER LANDSCAPE DRWG.		
3.1	4" THK. EXTERIOR CONCRETE SLAB ON COMPACTED GRADE. PREPARE FOR STONE TILE.	9.1	5/8" GYP. BOARD TYP. AT INTERIOR WALLS AND CEILINGS (U.N.O.). CEILING SHEETS SHALL BE INSTALLED PERPENDICULAR TO SUPPORTING FRAMING
3.2	+/- 4" THK. STD. GRAY EXTERIOR CONCRETE SLAB OVER COMPOSITE STEEL DECK PER STRUCTURAL	9.2	5/8" TYPE "X" GYPSUM WALL BOARD IN MECH CLOSETS AND GARAGES, AS OCCURS.
3.3	4" THK. RESIDENCE CONCRETE FLOOR SLAB OVER 4" ABC.	9.3	WATERPROOF GYPSUM WALL BOARD AS REQUIRED.
3.4	CONCRETE STEPS TO GRADE WITH REINFORCING PER STRUCTURAL.	9.4	RECESSED NICHE, FINISH TO MATCH ADJACENT WALL SURFACE.
4.1	CARVED NATURAL STONE SLAB VENEER, MORTAR SET OVER METAL LATHE	9.5	NATURAL STONE FLOOR & FULL HEIGHT WALL FINISH IN SHOWER PER I.D.
4.2	CARVED NATURAL STONE TRIM, HEADER, SILL, WALL CAP OR SURROUND.	9.6	NATURAL STONE FLOOR SET MORTAR SET OVER CONCRETE SLAB PER I.D.
4.3	8" REINFORCED CMU WALL PER STRUCTURAL.	9.7	30" SHOWER BENCH WITH STONE OR TILE FINISH.
4.4	8" REINFORCED CMU SILE WALL PER LANDSCAPE DESIGN.	9.8	STUCCO FINISH ON MESH OVER 1/2" EXTERIOR GYP. BD. (ESK 1338).
4.5	NATURAL STONE CLADDING PER LANDSCAPE DESIGN.	9.9	WESTERN 1-KOTE STUCCO SYSTEM (ESK 1607 OR EQ.) WITH "STO" SYNTHETIC FINISH CONTAINING INTEGRAL COLOR & A SMOOTH SAND FREESTYLE "MOTTLED" FINISH. EXTEND BELOW GRADE MINIMUM 8" AT WALL BASE.
4.6	MASONRY LINTEL PER STRUCTURAL ENGINEERING.	10.1	BUILT-IN SHELVING, RODS, ETC. FOR CLOTHES, DECORATIVE, STOR. OR FUNCTIONAL USE. EXTENT & SPECS. PER BUILDER OWNER & INT. DESIGNER.
4.7	THIN BRICK MASONRY AT CEILING PER INTERIORS.	10.2	CLEAR TEMPERED GLASS FRAMELESS SHOWER ENCLOSURE AND/OR DOOR.
5.1	DECORATIVE STEEL GUARDRAIL PER DETAIL A9.1.	10.3	TEMPERED GLASS WINE ENCLOSURE BY OTHERS. CONFIRM ALL REFRIGERATION AND DETAILS WITH VENDOR.
5.2	STEEL POST OR BEAM PER STRUCTURAL ENGINEERING.	11.1	MOTORIZED BLACK-OUT SHADES WITHIN POCKET AT CEILING OR WALL-MOUNTED VALANCE PER INTERIORS.
5.3	BREAKMETAL CORNERS - UTILIZE SHEET STOCK FROM ALUMINUM CLAD WOOD DOOR MANUFACTURER MATCHING COLOR OF EXTERIOR DOORS.	15.1	EXISTING GAS-FIRED FURNACE TO REMAIN. VERIFY WITH OWNER.
5.4	STEEL HANDRAIL 3" ABOVE NOSING.	15.2	APPROXIMATE LOCATION OF SUPPLY AIR DUCT (OR CENTERED REGISTER).
5.5	IRON POOL FENCE AND GATE, DESIGN PER LANDSCAPE DRAWINGS	15.3	APPROXIMATE LOCATION OF RETURN AIR DUCT (OR GRILLE).
6.1	2x WOOD FURRING AT EXISTING EXTERIOR WALLS/PIERS TO ACHIEVE DESIRED ROUGH DIMENSIONS PRIOR TO STONE INSTALLATION.	15.4	GAS-FUEL INSTA-HOT WATER HEATER VENTED DIRECTLY TO EXTERIOR THROUGH ROOF.
6.2	2x WOOD STUDS AT 16" O.C.	15.5	LINEAR FLOOR DRAIN W/ RECESSED SLAB & SLOPED FLOOR (PROVIDE TRAP PRIMER). VERIFY TYPE OF DRAIN WITH INTERIOR DESIGNER.
6.3	2x WOOD STUDS AT 16" O.C.	15.6	HOTSE BIBB. VERIFY FINAL LOCATION WITH OWNER & BUILDER.
6.4	PLYWOOD SHEATHING PER STRUCTURAL DRAWINGS.	15.7	EXHAUST FAN WITHIN HOO VENTED DIRECTLY TO EXTERIOR PER M1608.6
6.5	CASEWORK CABINETRY & COUNTERTOP PER OWNER & INTERIOR DESIGNER.	15.8	SCHLUTER DITRA-HEAT UNCOUPLING MEMBRANE UNDER TILE AS OCCURS
6.6	WOOD MILLWORK AS OCCURS: BASE, WAINSCOT, TRIM, CASING, COFFERS, ETC., EXTENT & SPECIFICATIONS T.B.D. BETWEEN OWNER & INTERIOR DESIGNER.	15.9	WATER STOPPER.
6.7	LOWEED 2x CEILING OR SOFFIT FRAMING WITH FIREBLOCKING/DRAFT STOPPING.	16.1	ELECTRICAL SERVICE & METER PER ELECTRICAL SHEETS & POWER COMPANY.
6.8	2x WOOD HEADER PER STRUCTURAL DRAWINGS.	16.2	LOCATION OF ELECTRICAL SUB PANEL RECESS IN WALL W/ PLYWOOD DOOR W/ GYPSUM VENEER ON MAGNETIC LATCH & PIANO HINGE. NO METAL DOORS.
6.9	1-6 TEG WOOD PLANK CEILING, STAINED, AT ALL EXTERIOR PATIOS AND EAVES	16.3	ELECTRICAL LIGHT FIXTURE, DEVICE OR JUNCTION BOX
7.1	WATERPROOFING OR DAMPROOFING SYSTEM AT FACES OF MASONRY WALLS OR CONCRETE STEM WALLS BELOW FINISHED GRADE.		
7.2	BATT OR BLOWN CELLULOSE INSULATION AS PER CONDITION: R-19 AT 2x FURRING, R-19 AT 2x FURTINGS, R-8 SPEAY- IN CLOSED CELL INSULATION AT THE UNDERSIDE OF PLYWOOD SHEATHING.		
7.3	R-19 BATT OR BLOWN CELLULOSE ACUSTIC INSUL. AT ALL INTERIOR WALLS.		
7.4	1-1/2" MOLDED BEAD-TYPE EXPANDED POLYSTYRENE RIGID INSULATION.		
7.5	STEEL GUTTER AND DOWNSPOUT AS OCCURS.		
8.1	ALUMINUM CLAD WOOD DOOR OR WINDOW WITH TEMPERED, LOW-E INSULATED SOLAR GLAZING. FINAL COLOR SHALL BE DARK BRONZE.		
8.2	STEEL FRAMED SLIDING/STACKING DOOR WITH TEMPERED, LOW-E SOLAR GLAZING.		

PROPOSED MAIN FLOOR PLAN

1/4" = 1'-0"

0 2 4 8

LIVABLE SQUARE FOOTAGE: 6,940sf
COVERED PATIO SQUARE FOOTAGE: 1,153sf
STORAGE/UTILITY/GARAGE SQUARE FOOTAGE: 1,059sf
TOTAL UNDER ROOF: 9,152sf

WALL LEGEND	
	EXISTING INTERIOR PARTITIONS AND EXTERIOR WALLS TO REMAIN
	NEWLY PROPOSED INTERIOR PARTITIONS AND EXTERIOR WALLS

ABL Design Studio, LLC

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Town of PV
HILLSIDE
REVIEW

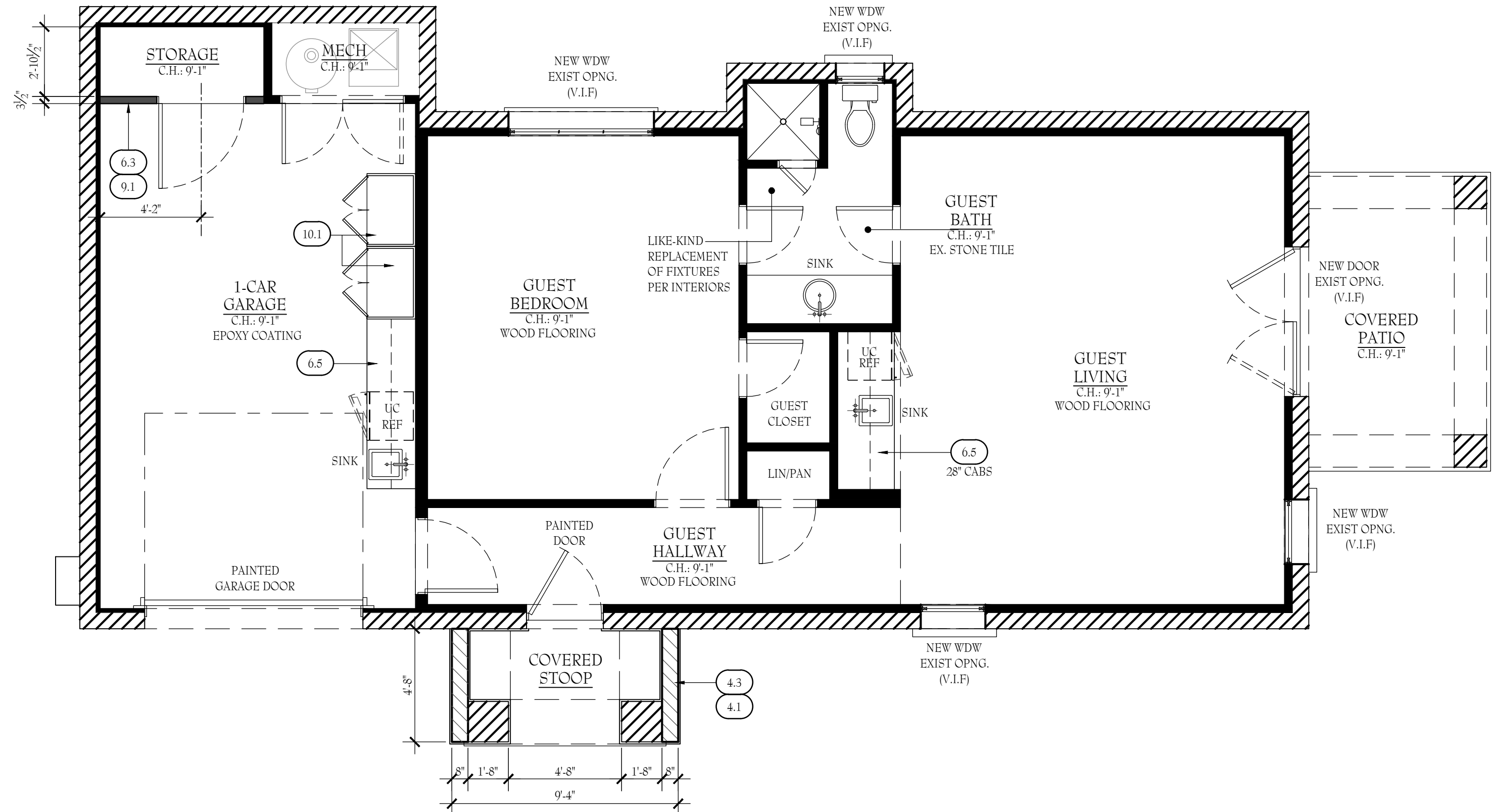
Drawn By: B.M.S.

Scale: 3/16" = 1'-0"

Drawn: Dimensioned Floor Plan

Sheet: A2.2

2 OF 3



PROPOSED CASITA FLOOR PLAN
1/4" = 1'-0"
0 2 4 8 12
1

NOTE: IMPROVEMENTS TO EXISTING CASITA SHALL FALL UNDER THE AUSPICES OF A SEPARATE PERMIT.

LIVABLE SQUARE FOOTAGE:	791sf
COVERED PATIO SQUARE FOOTAGE:	125sf
STORAGE/UTILITY/GARAGE SQUARE FOOTAGE:	370sf
TOTAL UNDER ROOF:	1,286sf

- DRAWING KEYNOTES
- PLANTER OR LANDSCAPED AREA.
 - APPROXIMATE LINE OF PROPOSED FINISHED GRADE.
 - LANDSCAPE POT, SLEEVED FOR IRRIGATION - PER LANDSCAPE DRWG'S.
 - 4" DIA. EXTERIOR CONCRETE SLAB ON COMPACTED GRADE. PREPARE FOR STONE TILE.
 - +/- 4" DIA. STD. GRAY EXTERIOR CONC SLAB OVER COMPOSITE STEEL DECK PER STRL.
 - 4" DIA. RESIDENTIAL CONCRETE FLOOR SLAB OVER 4" ABC.
 - CARVED NATURAL STONE SLAB VENEER, MORTAR SET OVER METAL LATHE.
 - CARVED NATURAL STONE TRIM, HEADER, SILL, WALL CAP or SURROUND.
 - 8" REINFORCED CMU WALL PER STRUCTURAL.
 - 8" REINFORCED CMU SITE WALL PER LANDSCAPE DESIGN.
 - NATURAL STONE CLADDING PER LANDSCAPE DESIGN.
 - MASONRY LINTEL PER STRUCTURAL ENGINEERING.
 - THIN BRICK MASONRY AT CEILING PER INTERIORS.
 - DECORATIVE STEEL GUARDRAIL PER DETAIL A9.1.
 - STEEL POST & BEAM PER STRUCTURAL ENGINEERING.
 - BREAKMETAL CORNERS - UTILIZE SHEET STOCK FROM ALUMINUM CLAD WOOD DOOR MANUFACTURER MATCHING COLOR OF EXTERIOR DOORS.
 - STEEL HANDRAIL 3" ABOVE FINISHING.
 - IRON FENCE AND GATE. DESIGN PER LANDSCAPE DRAWINGS.
 - 2X WOOD FLOORING AT EXISTING EXTERIOR WALLS/PIERS TO ACHIEVE DESIRED ROUGH DIMENSIONS PRIOR TO STONE INSTALLATION.
 - 2X WOOD STUDS AT 16" O.C.
 - 2X WOOD STUDS AT 16" O.C.
 - PLYWOOD SHEATHING PER STRUCTURAL DRAWINGS.
 - CASEWORK CABINETS & COUNTERTOP PER OWNER & INTERIOR DESIGNER.
 - WOOD MILLWORK AS OCCURS: BASE, WAINSCOT, TRIM, CASING, COFFERS, ETC. - EXTENT & SPECIFICATIONS T.B.D. BETWEEN OWNER & INTERIOR DESIGNER.
 - LOWEDED 2x CEILING OR 2x FRT FRAMING WITH FIREBLACKING/DRAFT STOPPING.
 - 2x WOOD HEADER PER STRUCTURAL DRAWINGS.
 - 1 x 6 T&G WOOD PLANK CEILING, STAINED, AT ALL EXTERIOR PATIOS AND LEAVES.
 - WATERPROOFING OR DAMPROOFING SYSTEM AT FACIS OF MASONRY WALLS OR CONCRETE STEM WALLS BELOW FINISHED GRADE.
 - BATT OR BLOWN CELLULOSE INSULATION AS PER CONDITION, R-19 AT 2x FLOORING; R-19 AT 2x STUDS; R-38 STRAIN CLOSED CELL INSULATION AT THE UNDERSIDE OF PLYWOOD ROOF DECK.
 - R-19 BATT OR BLOWN CELLULOSE ACOUSTIC INSUL. AT ALL INTERIOR WALLS.
 - 1 1/2" WOLDED BEAD TYPE EXPANDED POLYSTYRENE RIGID INSULATION.
 - STEEL GUTTER AND DOWNSPOUT AS OCCURS.
 - ALUMINUM CLAD WOOD DOOR OR WINDOW WITH TEMPERED, LOW-E INSULATED SOLAR GLAZING. FINAL COLOR SHALL BE DARK BRONZE.
 - STEEL FRAMED SLIDING STACKING DOOR WITH TEMPERED, LOW-E SOLAR GLAZING.
 - INTERIOR LOCK PER DOOR SCHEDULE ON SHEET A8.1. FINAL DESIGN PER INTERIOR DESIGNER.
 - EXISTING ALUMINUM CLAD WOOD DOOR OR WINDOW TO REMAIN. EXPOSED CLADDING TO BE PAINTED TO MATCH NEW WINDOWS AND DOORS.
 - 5/8" GYP. BOARD TYP. AT INTERIOR WALLS AND CEILINGS (I.N.C.). CEILING SHEETS SHALL BE INSTALLED PERPENDICULAR TO SUPPORTING FRAMING.
 - 5/8" TYPE "X" GYPSUM WALL BOARD IN MECH CLOSETS AND GARAGES, AS OCCURS.
 - WATERPROOF GYPSUM WALL BOARD AS REQUIRED IN ALL AREAS OF MOISTURE.
 - RECESSED NICHE, FINISH TO MATCH ADJACENT WALL SURFACE.
 - NATURAL STONE OR TILE FLOOR & FULL HEIGHT WALL FINISH IN SHOWER.
 - NATURAL STONE FLOOR SET MORTAR SET OVER CONCRETE SLAB PER INTERIORS.
 - 20" SHOWER BENCH WITH STONE OR TILE FINISH.
 - STUCCO FINISH ON MESH OVER 1/2" EXTERIOR GYP. BD. (ESR 1338).
 - WESTERN 1-KOTE STUCCO SYSTEM (ESR 1607 OR EQ.) WITH "STC" SYNTHETIC FINISH CONTAINING INTEGRAL COLOR & A SMOOTH SAND FREESTYLE "MIDDLE" FINISH. EXTEND BELOW GRADE MINIMUM 8" AT WALL BASE.
 - BUILT-IN SHELVING, RODS, ETC. FOR CLOTHES. DECORATIVE, STOR. OR FUNCTIONAL. USE EXTENT & SPECS. PER BUILDER OWNER & INT. DESIGNER.
 - CLEAR TEMPERED GLASS FRAMELESS SHOWER ENCLOSURE AND/OR DOOR.
 - STEEL & TEMPERED GLASS WINE ENCLOSURE BY OTHERS. CONFIRM ALL REFRIGERATION AND DETAILS WITH VENDOR.
 - MOTORIZED BLACK-OUT SHADES WITHIN POCKET AT CEILING OR WALL-MOUNTED VALANCE PER INTERIORS; PIGTAIL POWER TO LOCATIONS AS SHOWN ON ELECTRICAL DRAWINGS.
 - EXISTING GAS-FIRED FURNACE TO REMAIN. VERIFY WITH OWNER.
 - APPROXIMATE LOCATION OF SUPPLY AIR DUCT (OR CENTERED REGISTER).
 - APPROXIMATE LOCATION OF RETURN AIR DUCT (OR GRILLE).
 - GAS-FUEL INSTA-HOT WATER HEATER VENTED DIRECTLY TO EXTERIOR THROUGH ROOF.
 - FLOOR DRAIN W/ RECESSED SLAB & SLOPED FLOOR (PROVIDE TRAP PRIMER). VERIFY TYPE OF DRAIN WITH INTERIOR DESIGNER.
 - HOSE BIBB, VERIFY FINAL LOCATION WITH OWNER & BUILDER.
 - EXHAUST FAN WITHIN HOOD VENTED DIRECTLY TO EXTERIOR PER M1805.6.
 - SCHLUTER DITRA-HEAT UNCOUPLING MEMBRANE UNDER TILE AS OCCURS.
 - WATER SOFTENER.
 - FLUSH-MOUNT CEILING PATIO HEATERS BY INFRATECH OR APPD EQUAL.
 - ELECTRICAL SERVICE & METER PER ELECTRICAL SHEETS & POWER COMPANY.
 - LOCATION OF ELECTRICAL SUB PANEL, RECESS IN WALL W/ PLYWOOD DOOR W/ GYPSUM VENEER ON MAGNETIC LATCH & PIANO HINGE, NO METAL DOORS.
 - ELECTRICAL LIGHT FIXTURE, DEVICE OR JUNCTION BOX.

ABL Design Studio, LLC

602.758.0808

4817 E KATHLEEN ROAD
SCOTTSDALE, AZ 85254

ABL

A Remodel and Addition to the

The Saba Residence

7819 N Mohave Road
Paradise Valley, AZ 85253

Project No.

SA-20

JUNE 29, 2020

Town of PV
HILLSIDE
REVIEW

All plans, drawings, specifications, contracts, permits, etc. shall be the property of the Designer. All Design Studio, LLC. The Designer shall retain the right to use any and all information, including but not limited to the design and construction documents, for any and all purposes without limitation.

Drawn By: B.M.S.

Scale: 1/4" = 1'-0"

Drawing:

Dimensioned
Floor Plan

Sheet:

A2.3

3 OF 3

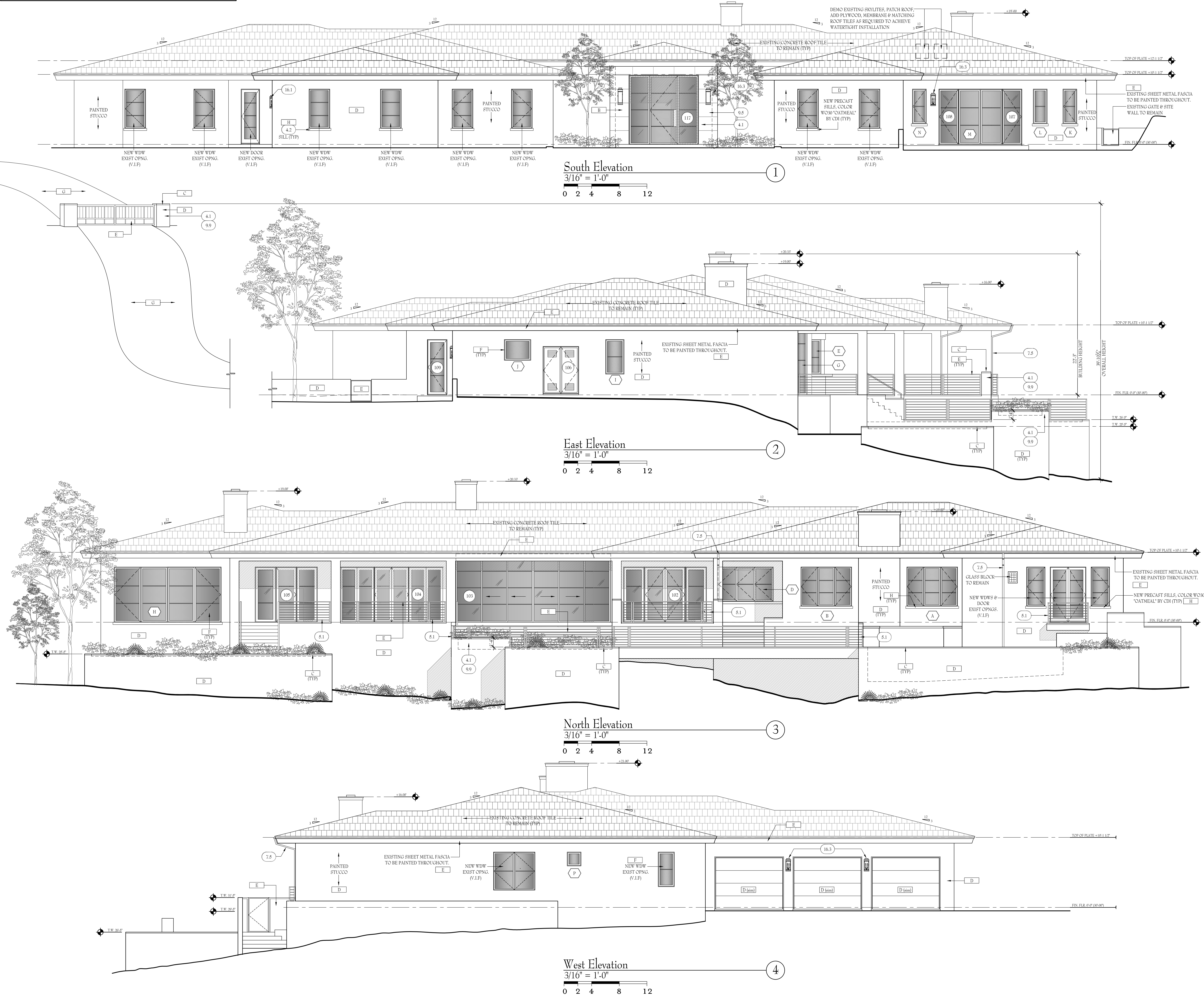
WALL LEGEND

- EXISTING INTERIOR PARTITIONS AND EXTERIOR WALLS TO REMAIN
- NEWLY PROPOSED INTERIOR PARTITIONS AND EXTERIOR WALLS

PARADISE VALLEY TYPICAL NOTES

ALL EXTERIOR MATERIAL PALATTE SHALL BE IN ACCORDANCE WITH SECTION 2207.II.D.

ALL EXTERIOR LIGHTING SHALL COMPLY WITH SECTION 2208.



DRAWING KEYNOTES

- 2.1 PLANTER OR LANDSCAPED AREA.
- 2.2 APPROXIMATE LINE OF PROPOSED FINISHED GRADE.
- 2.3 LANDSCAPE POST, SLEEVED FOR IRRIGATION - PER LANDSCAPE DRWG.
- 3.1 4" DIA. EXTERIOR CONCRETE SLAB ON COMPACTED GRADE. PREPARE FOR STONE TILE.
- 3.2 1/4" DIA. STD. GRAY EXTERIOR CONC. SLAB OVER COMPOSITE STEEL DECK PER STR.
- 3.3 4" DIA. RESIDENCE CONCRETE FLOOR SLAB OVER 4" ABC.
- 4.1 CARVED NATURAL STONE SLAB VENEER, MORTAR SET OVER METAL LATHE.
- 4.2 CARVED NATURAL STONE TRIM, HEADER, SILL, WALL CAP & SUTTER/END.
- 4.3 8" REINFORCED CMU WALL PER STRUCTURAL.
- 4.4 8" REINFORCED CMU STEEL WALL PER LANDSCAPE DESIGN.
- 4.5 NATURAL STONE CLADDING PER LANDSCAPE DESIGN.
- 4.6 MASONRY LINTEL PER STRUCTURAL ENGINEERING.
- 4.7 THIN BRICK MASONRY AT CEILING PER INTERIORS.
- 5.1 DECORATIVE STEEL GUARDRAIL PER DETAIL A9.1.
- 5.2 STEEL POST & BEAM PER STRUCTURAL ENGINEERING.
- 5.3 BREAKAWAY CONNECTOR - UTILITY SHEET STOCK FROM ALL MINIMUM CLAD WOOD DOOR.
- 5.4 MAINT. FATHER MATCHING CMU ON EXTERIOR JOCKS.
- 5.5 STEEL HANDRAIL 3" ABOVE NOSING.
- 5.6 IRON POOL FENCE AND GATE, DESIGN PER LANDSCAPE DRAWINGS.
- 6.1 2X WOOD FURRING AT EXISTING EXTERIOR WALLS/PIERS TO ACHIEVE DESIRED ROUGH DIMENSIONS PRIOR TO STONE INSTALLATION.
- 6.2 2x4 WOOD STUDS AT 16" O.C.
- 6.3 2x4 WOOD STUDS AT 16" O.C.
- 6.4 PLYWOOD SHEATHING PER STRUCTURAL DRAWINGS.
- 6.5 CASEWORK CABINETS & COUNTERTOP PER OWNER & INTERIOR DESIGNER.
- 6.6 WOOD MILL WORK AS ONLY TO BASE, WAINSCOT, TRIM, CASING, COFFERS, ETC. - EXTENT & SPECIFICATIONS T.B.D. BETWEEN OWNER & INTERIOR DESIGNER.
- 6.7 LOWEDED 2x2 CEILING OR SCOTT TRIMMING WITH FIRE RACKING GRAFIST COPPING.
- 6.8 2x WOOD HEADERS PER STRUCTURAL DRAWINGS.
- 6.9 1x6 TAG WOOD PLANK CEILING, STAINED, AT ALL EXTERIOR PATIOS AND EAVES.
- 7.1 WATERPROOFING OR DAMPROOFING SYSTEM AT FACIES OF MASONRY WALLS OR CONCRETE STEM WALLS BELOW FINISHED GRADE.
- 7.2 BATT OR BLOWN CELLULOSE INSULATION AS PER CONDITION: R-19 AT 2x; R-19 AT 2x STUDS, R-38 SPRAY-ON CLOSED CELL INSULATION AT THE UNDERSIDE OF PLYWOOD ROOF DECK.
- 7.3 R-19 BATT OR BLOWN CELLULOSE ACOUSTIC INSUL. AT ALL INTERIOR WALLS.
- 7.4 1 1/2" MOLDED BEAD-TYPE EXPANDED POLYSTYRENE RIGID INSULATION.
- 7.5 STEEL GUTTER AND DOWNSPOUT AS OCCURS.
- 8.1 ALUMINUM CLAD WOOD DOOR OR WINDOW WITH TEMPERED, LOW-E INSULATED SOLAR GLAZING. FINAL COLOR SHALL BE DARK BRONZE.
- 8.2 STEEL FRAMED SLIDING GLAZING DOOR WITH TEMPERED, LOW-E SOLAR GLAZING.
- 8.3 INTERIOR DOOR PER DOOR SCHEDULE ON SHEET A8.1. FINAL DESIGN PER INTERIOR DESIGNER.
- 8.4 EXISTING ALUMINUM CLAD WOOD DOOR OR WINDOW TO REMAIN. EXPOSED CLADDING TO BE PAINTED TO MATCH NEW WINDOWS AND DOORS.
- 9.1 5/8" GYP. BOARD TYP. AT INTERIOR WALLS AND CEILING (UNLESS), CEILING SHEETS SHALL BE INSTALLED PERPENDICULAR TO SUPPORTING FRAMING.
- 9.2 5/8" TYPE "X" GYPSUM WALL BOARD IN MECH CLOSETS AND GARAGES, AS OCCURS.
- 9.3 WATERPROOF GYPSUM WALL BOARD AS REQUIRED IN ALL AREAS OF MOISTURE.
- 9.4 RECESSED NICHE, FINISH TO MATCH ADJACENT WALL SURFACE.
- 9.5 NATURAL STONE OR TILE FLOOR & FULL HEIGHT WALL FINISH IN SHOWER.
- 9.6 NATURAL STONE FLOOR SET MORTAR SET OVER CONCRETE SLAB PER INTERIORS.
- 9.7 20" H. SHOWER BENCH WITH STONE OR TILE FINISH.
- 9.8 STUCCO FINISH ON MESH OVER 1/2" EXTERIOR GYP. BD. (ESR 1338).
- 9.9 WESTERN 1x6 STEEL SYSTEM (ESR 1407 OR EQ) WITH "ETC" SYNTHETIC FINISH CONTAINING INTEGRAL COLOR & A SNATCHY SAND FREE STYLE "MOTTLED" FINISH. EXTEND BELOW GRADE MINIMUM 8" AT WALL BASE.
- 10.1 BUILT-IN SHELVING, BOOKS, ETC. FOR CLOTHES, DECORATIVE, STOR. OR FUNCTIONAL. USE EXTENT & SPECS. PER BUILDER OWNER & INT. DESIGNER.
- 10.2 CLEAR TEMPERED GLASS FRAMELESS SHOWER ENCLOSURE AND/OR DOOR.
- 10.3 STEEL 6" TEMPERED GLASS WINDOW ENCLOSURE BY OTHERS. CONFIRM ALL REFRIGERATION AND DETAILS WITH VENDOR.
- 11.1 MOTORIZED BLACK-OUT SHADES WITHIN POCKET AT CEILING OR WALL-ACCOUNTED VALANCE PER INTERIORS; PRTIAL POWER TO LOCATIONS AS SHOWN ON ELECTRICAL DRAWINGS.
- 15.1 EXISTING GAS-FIRED FURNACE TO REMAIN. VERIFY WITH OWNER.
- 15.2 APPROXIMATE LOCATION OF SUPPLY AIR DUCT OR CENTERED REGISTER.
- 15.3 APPROXIMATE LOCATION OF RETURN AIR DUCT OR GRILLE.
- 15.4 GAS-FUEL INSTANT-HOT WATER HEATER VENTED DIRECTLY TO EXTERIOR THROUGH ROOF.
- 15.5 FLOOR DRAIN W/ RECESSED SLAB & SLOPED FLOOR (PROVIDE TRAP PRIMER). VERIFY TYPE OF DRAIN WITH INTERIOR DESIGNER.
- 15.6 INSTEAD, VERIFY FINAL LOCATION WITH OWNER & BUILDER.
- 15.7 EXHAUST FAN WITH FLEX VENTED DIRECTLY TO EXTERIOR PER M1506.
- 15.8 SCHLUTER DITRA-HEAT UNCOUPLING MEMBRANE UNDER TILE AS OCCURS.
- 15.9 WATER SENSITIZER.
- 15.10 FLUSH-MOUNT CEILING PATIO HEATERS BY INFRATECH OR APP'D EQUAL.
- 16.1 ELECTRICAL SERVICE & METER PER ELECTRICAL SHEETS & POWER COMPANY.
- 16.2 LOCATION OF ELECTRICAL SUB-PANEL, RECESSED IN WALL WITH WOOD DOOR W/ GYPSUM VENEER ON MAGNETIC LATCH & PIANO HINGE. NO METAL DOORS.
- 16.3 ELECTRICAL LIGHT FIXTURE, DEVICE OR JUNCTION BOX.

EXTERIOR MATERIAL SCHEDULE

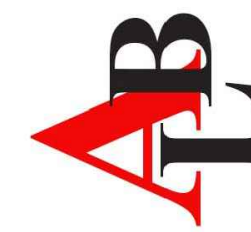
- A NATURAL WOOD PLANK AT PATIOS & EAVES
LVR 32 (APPROXIMATE)
- B NATURAL STONE VENEER (ACCENT)
LUEDERS "BUFF" HONED LIMESTONE
TEXTURED WARM GRAY MORTAR SET
SIZE 24" x 18", LVR 44
- C NATURAL STONE TILE & SLAB WALL COPING:
"SILVER VEINED TRAVERTINE"
TEXTURED WARM GRAY MORTAR SET
SIZE 18" x 32", LVR "MOTTLED" BETWEEN 28 & 44.
- D PAINTED STUCCO WALLS
SHERWIN WILLIAMS - SW 7639
"ETHEREAL MOOD", LVR 38%
STUCCO TEXTURE: LIGHT SAND
- E PAINTED CABLE RAILINGS, FENCE & FASCIA:
BENJAMIN MOORE - #1631
"MIDNIGHT OIL", LVR 5.65%
- F ALUMINUM WINDOW & DOOR FRAME CLADDING:
SIERRA PACIFIC DOORS & WINDOWS
CLADDING COLOR: "BLACK" - 23"
GLAZING: TINTED, LOW-E 366 BY CARDINAL
- G EXISTING MASONRY PAVERS @ DRIVEWAY
CAMBRIDGE COBBLE BY BELGARD
COLOR: "DESERT" LVR: 22%
- H CDI CONCRETE ACCENTS AT WINDOW
SILLS.
COLOR TO BE "OATMEAL", LVR 42.

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Project No.

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Town of PV
HILLSIDE
REVIEW

Drawn By: B.M.S.

Scale: as noted

Drawings:

Exterior
Elevations

Sheet:

A6.1

1 OF 2

EXTERIOR MATERIAL SCHEDULE	
<div><div></div><div>A</div></div>	NATURAL WOOD PLANK AT PATIOS & EAVES 1x6 WHITE OAK, NO STAIN LRV 32 (APPROXIMATE)
<div><div></div><div>B</div></div>	NATURAL STONE VENEER (ACCENT) LUDERS "BUFF" TONED LIMESTONE TEXTURED WARM GRAY MORTAR SET SIZE 24" x 18", LRV 44
<div><div></div><div>C</div></div>	NATURAL STONE TILE & SLAB WALL COPING: "SILVER VEINED TRAVERTINE" TEXTURED WARM GRAY MORTAR SET SIZE 18" x 32", LRV "MOTTLED" BETWEEN 28 & 45.
<div><div></div><div>D</div></div>	PAINTED STUCCO WALLS SHERWIN WILLIAMS ~ SW 7639 "ETHEREAL MOOD", LRV 38% STUCCO TEXTURE: LIGHT SAND
<div><div></div><div>E</div></div>	PAINTED CABLE RAILINGS, FENCE & FASCIA: BENJAMIN MOORE ~ #1631 "MIDNIGHT OIL", LRV 5.65%
<div><div></div><div>F</div></div>	ALUMINUM WINDOW & DOOR FRAME CLADDING: SIERRA PACIFIC DOORS & WINDOWS CLADDING COLOR: "BLACK" ~ 23" GLAZING: TINTED, LOW-E 366 BY CARDINAL
<div><div></div><div>G</div></div>	EXISTING MASONRY PAVERS @ DRIVEWAY CAMBRIDGE COBBLE BY BELGARD COLOR: "DESERT" LRV: 22%
<div><div></div><div>H</div></div>	CDI CONCRETE ACCENTS AT WINDOW SILLS: COLOR TO BE "OATMEAL", LRV 42.

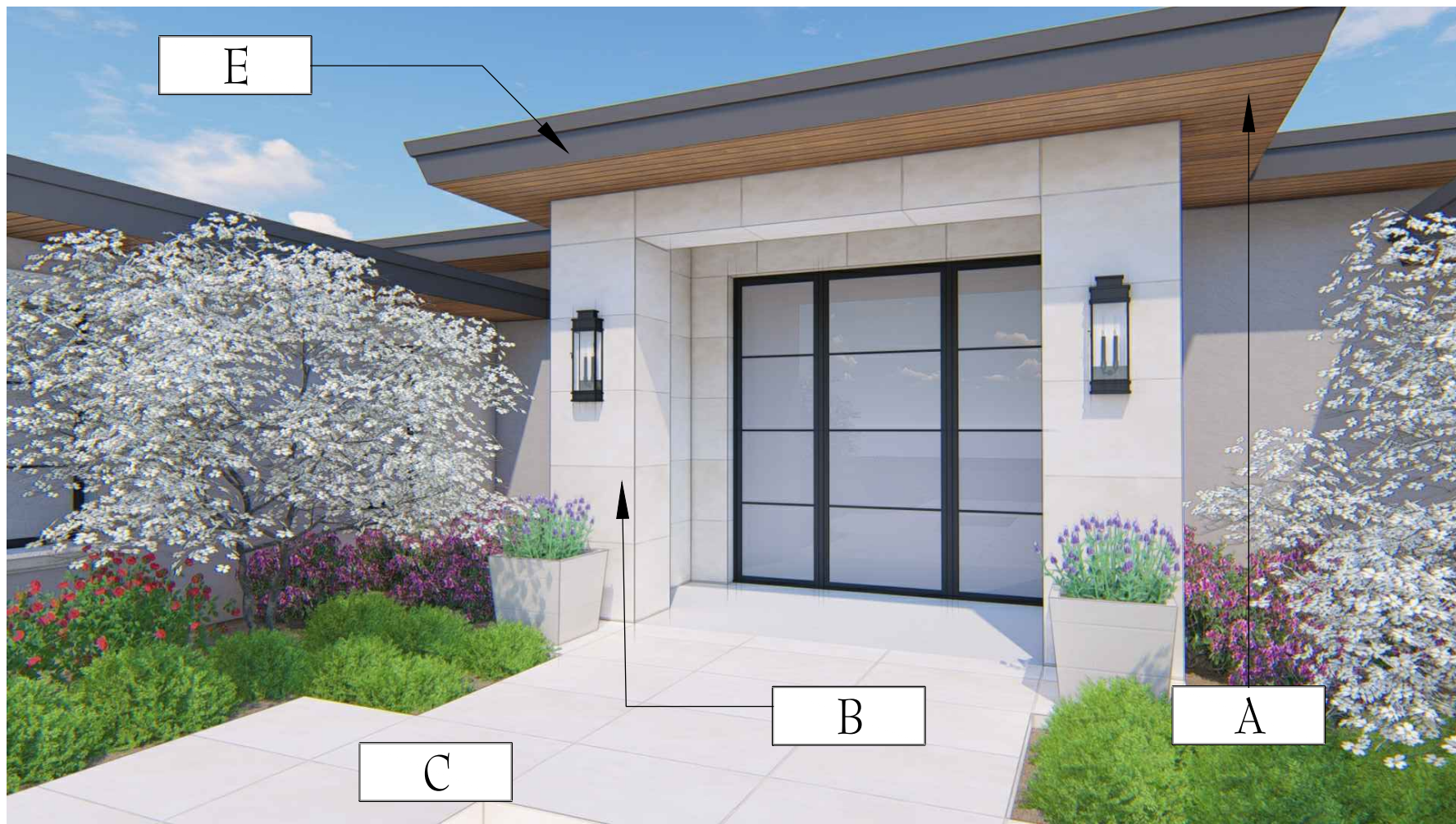
PLEASE NOTE THAT THESE PRECAST
HEADERS HAVE SINCE BEEN
REMOVED. NO HEADERS AT ANY
WINDOWS, ONLY SILLS. REFER TO A6.1



FRONT ENTRY ~ OPTION A



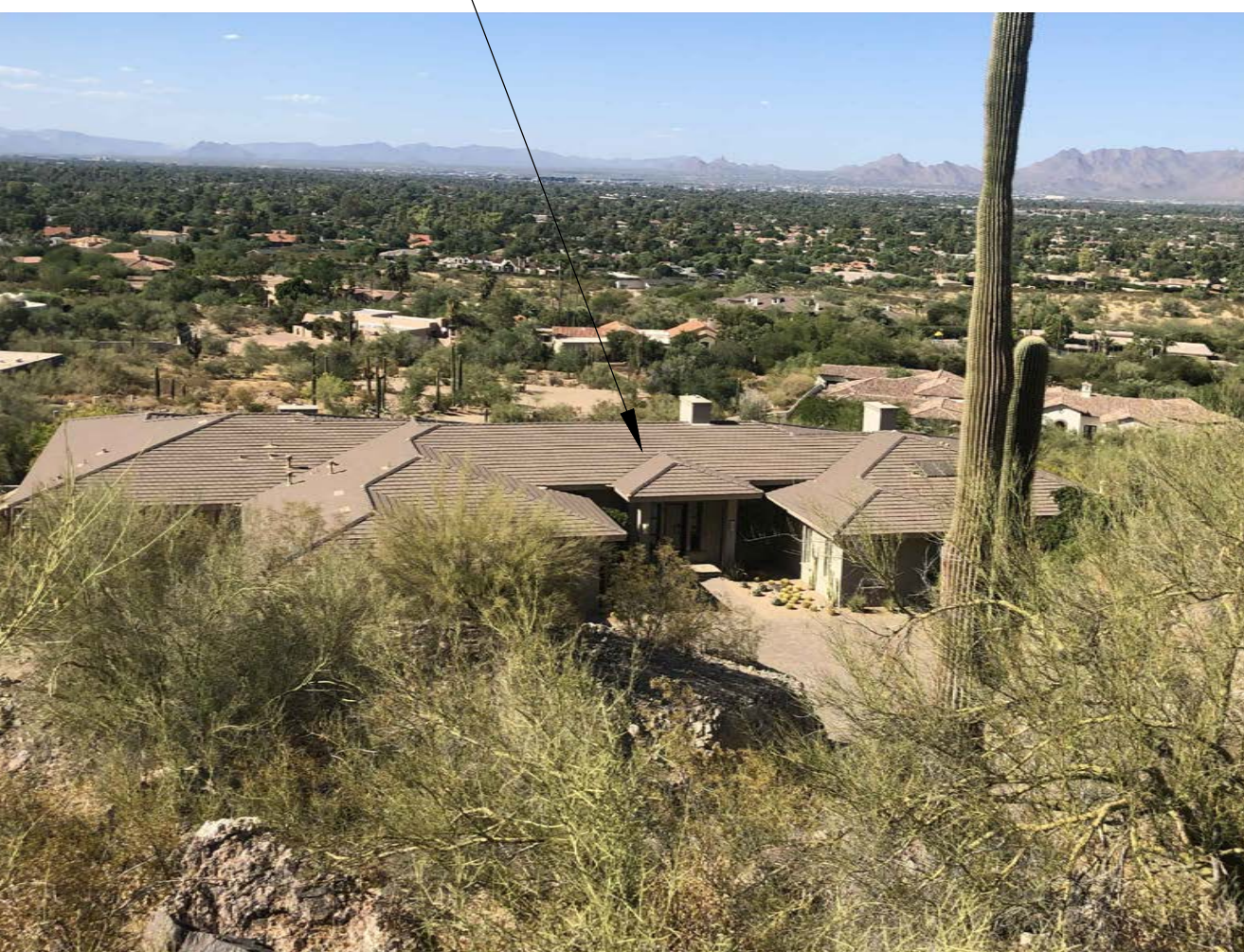
FRONT ENTRY ~ OPTION A



FRONT ENTRY ~ OPTION A



FRONT ENTRY BIRDSEYE ~ OPTION A



FRONT BIRDSEYE PHOTO OF EXISTING
CONCRETE ROOF TILE COLOR.



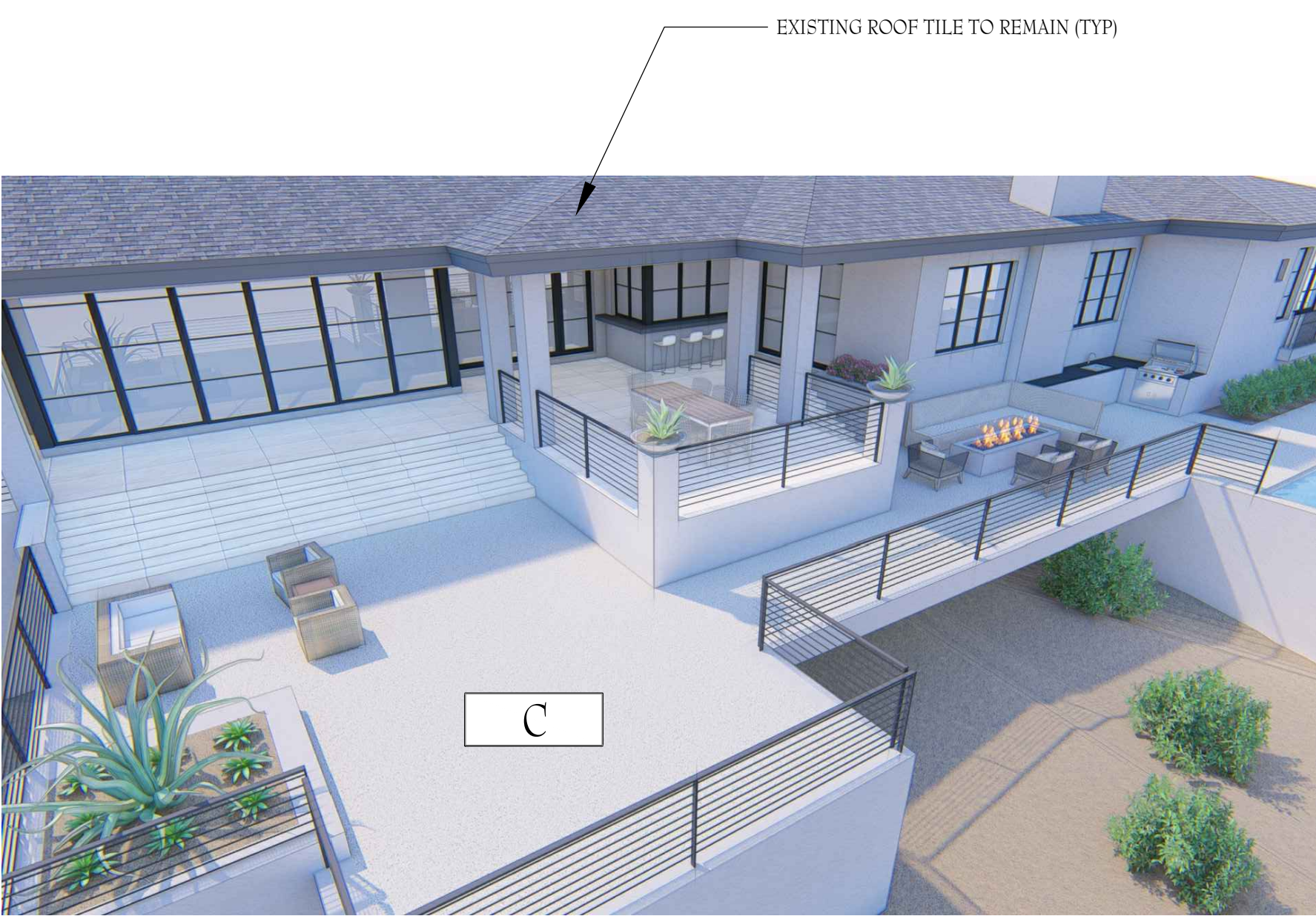
REAR ELEVATION



REAR ELEVATION



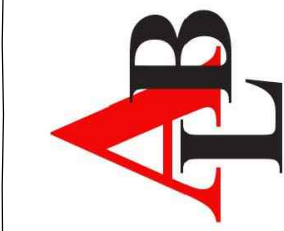
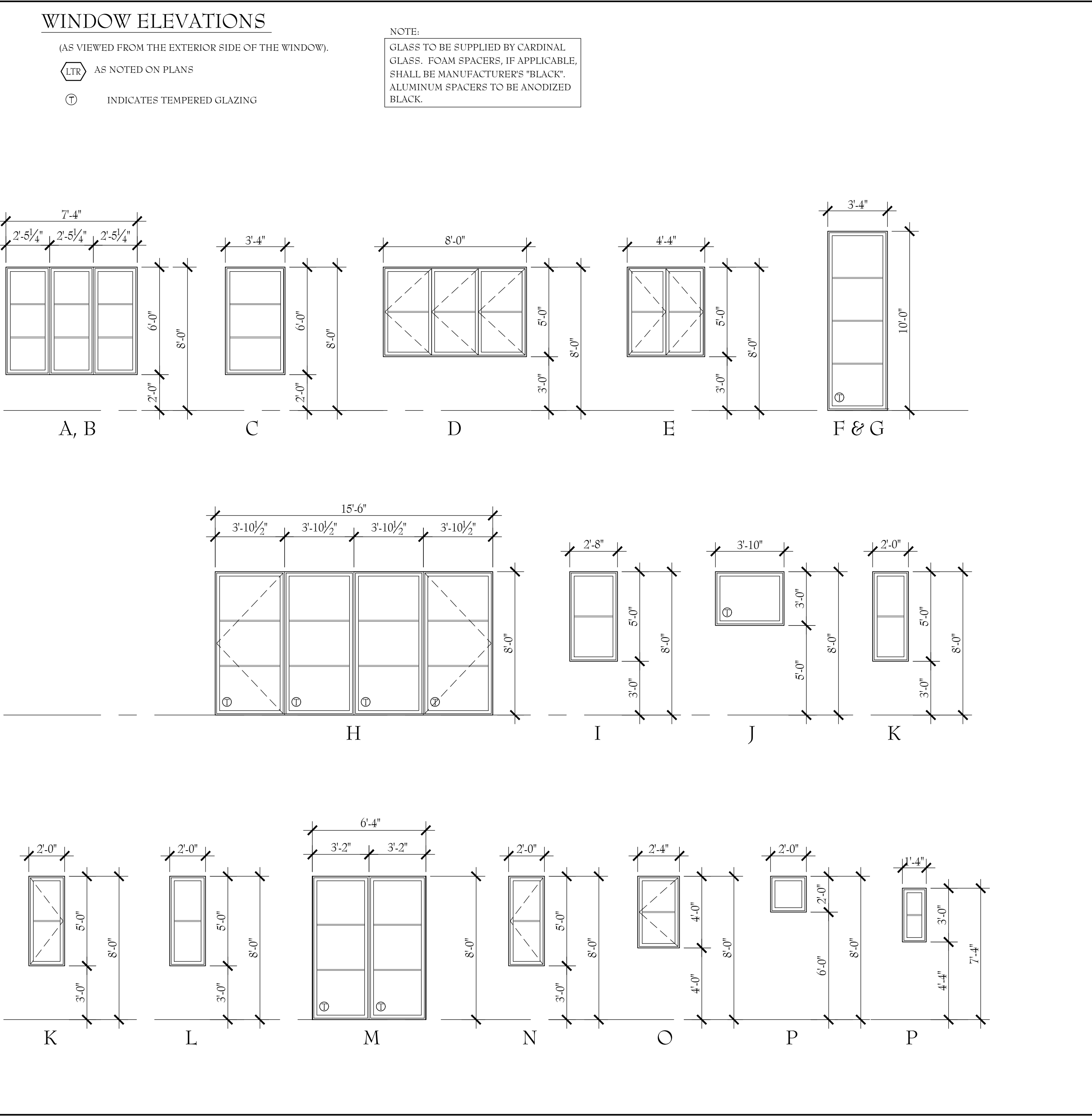
REAR BIRDSEYE



REAR BIRDSEYE 2

WINDOW SCHEDULE						
LETTER	ROOM	MAIN UNIT SIZE	OPERATION	M.O.	HEAD HEIGHT	REMARKS
FLOOR						
A	FAMILY ROOM	7'-4" x 6'-0"	C - CVO	V.L.F.	8'-0"	ALUMINUM CLAD WOOD WINDOW
B	FAMILY ROOM	7'-4" x 6'-0"	C - CVO	V.L.F.	8'-0"	ALUMINUM CLAD WOOD WINDOW
C	FAMILY ROOM	3'-4" x 6'-0"	P	PER MNFR	8'-0"	ALUMINUM CLAD WOOD WINDOW
D	BAR	8'-0" x 5'-0" (3-PANEL)	ACC	N/A	8'-0"	STEEL BIFOLD DOOR WITH RECESSED TRACK AT COUNTERTOP
E	BAR	4'-4" x 5'-0" (3-PANEL)	ACC	N/A	8'-0"	STEEL BIFOLD DOOR WITH RECESSED TRACK AT COUNTERTOP
F	LIVING ROOM	3'-4" x 10'-0"	P	PER MNFR	10'-0"	STEEL WINDOW
G	LIVING ROOM	3'-4" x 10'-0"	P	PER MNFR	10'-0"	STEEL WINDOW
H	MASTER BEDROOM	15'-6" x 8'-0"	C - CVO	PER MNFR	8'-0"	STEEL WINDOW
I	MASTER CLOSET	2'-8" x 5'-0"	P	PER MNFR	8'-0"	ALUMINUM CLAD WOOD WINDOW
J	MASTER SHOWER	3'-10" x 3'-0"	P	N/A	8'-0"	ALUMINUM WINDOW WITH OBSCURE FROSTED GLASS
K	MASTER WATER CLOSET	2'-0" x 5'-0"	C	PER MNFR	8'-0"	ALUMINUM CLAD WOOD WINDOW
L	MASTER SHOWER HALL	2'-0" x 5'-0"	C	PER MNFR	8'-0"	ALUMINUM CLAD WOOD WINDOW
M	MASTER TUB	pr 3'-2" x 8'-0"	P	PER MNFR	8'-0"	STEEL WINDOW
N	MASTER WATER CLOSET	2'-0" x 5'-0"	C	PER MNFR	8'-0"	ALUMINUM CLAD WOOD WINDOW
O	POWDER ROOM	2'-4" x 4'-0"	C	PER MNFR	8'-0"	ALUMINUM CLAD WOOD WINDOW
P	BATHROOM #3	2'-0" x 7'-0"	P	N/A	8'-0"	ALUMINUM WINDOW WITH OBSCURE FROSTED GLASS

GENERAL NOTES - WINDOWS	
⑦ INDICATES TEMPERED GLAZING	
WINDOW OPERATION KEY C - CASEMENT IC - INSWING CASEMENT	P - PICTURE UNIT (FIXED) ACC - ACCORDIAN S - SLIDER
1. ALL WINDOWS AND EXTERIOR DOORS SHALL BE BY SIERRA PACIFIC and JANUS STEEL, UNLESS NOTED OTHERWISE. EXTERIOR ALUMINUM & STEEL COLORS SHALL BE "PEPPERED STEEL", #110.	
2. PRIOR TO FABRICATION, CONTRACTOR AND WINDOW SUPPLIER SHALL FIELD VERIFY ALL WINDOW OPENING SIZES AND MAKE ANY NECESSARY ADJUSTMENTS. USE STANDARD SIZES TO THE GREATEST EXTENT POSSIBLE.	
3. PROVIDE SHOP DRAWINGS FOR THE DESIGNER'S REVIEW PRIOR TO PLACING FABRICATION ORDER.	
4. HEAD HEIGHTS SHOWN ON SCHEDULE ARE MEASURED FROM THE INTERIOR FINISHED CONCRETE FLOOR SLAB IN THE ROOM NOTED TO THE TOP OF WINDOW OR TRANSOM AS OCCURS. AT SPRINGLINE OR HALF CIRCLE UNITS, HEIGHT IS TO THE TOP CENTER QUADRANT OF THE CURVE.	
5. MUNTIN PATTERN FOR EACH WINDOW TO BE AS SHOWN ON WINDOW TYPE ELEVATIONS AND EXTERIOR ELEVATIONS.	
6. WHERE THERE ARE MULTIPLE QUANTITIES OF THE SAME OPERABLE WINDOW LETTER, CONFIRM DIRECTION OF SWING FOR EACH INDIVIDUAL WINDOW ON THE EXTERIOR ELEVATIONS.	
7. IN ALL SLEEPING AREAS NOT CONTAINING AN OPERABLE EXTERIOR DOOR, A WINDOW WITH A MIN. 5.7 SQ. FT. OPENING MUST BE PROVIDED WITH A MIN. NET CLEAR OPENING OF 20" WIDE AND 24" HIGH. MAXIMUM SILL HEIGHT IS 44" A.F.F.	
8. ALL GLAZING IN A WALL THAT ENCLOSES A TUB OR SHOWER, ALL GLAZING WITHIN 24" OF EITHER JAMB OF AN OPERABLE DOOR, AND ALL GLAZING WHOSE SILL IS LESS THAN 18" FROM THE FINISHED FLOOR SHALL BE SAFETY GLAZING PER IRC SECTION R308.4 AND SHALL BE LABELED PER IRC R308.1	
9. ALL GLAZING SHALL HAVE A U VALUE OF .60 OR BETTER & A SOLAR HEAT GAIN COEFFICIENT OF .40 OR BETTER	



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Town of PV
HILLSIDE
REVIEW

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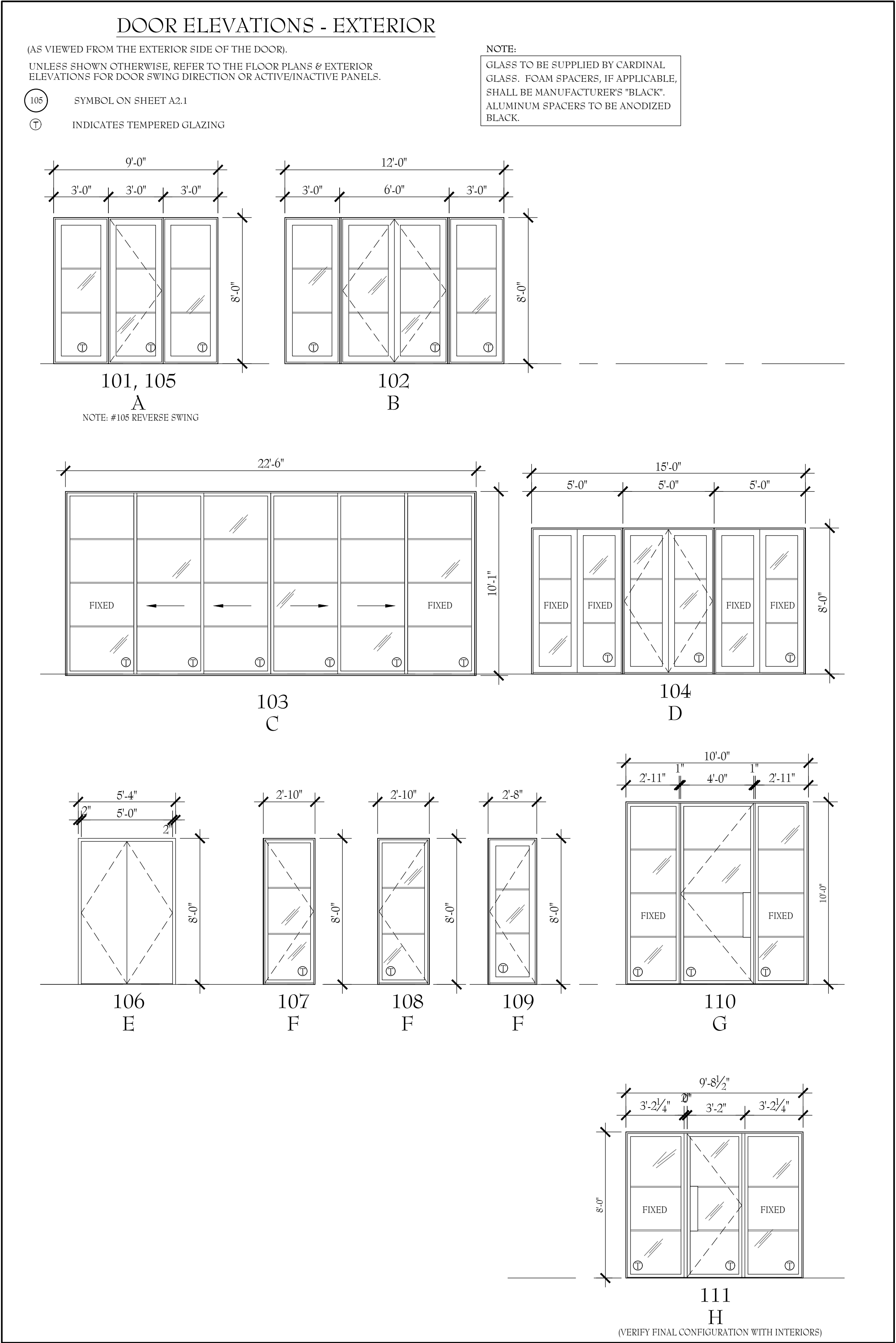
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Scale: as noted

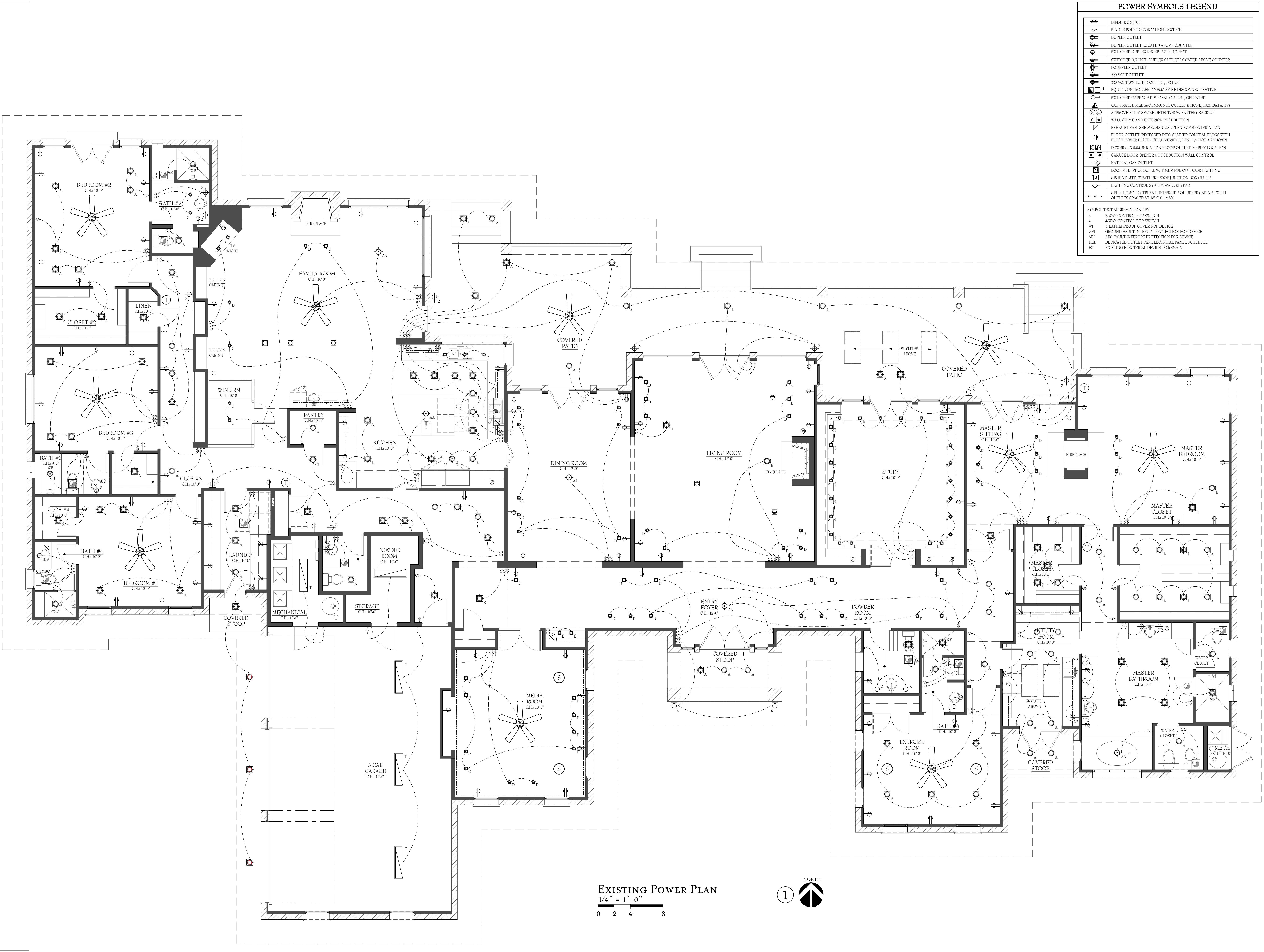
Drawing:
Window
Schedule
Sheet:

A8.1
1 OF 2

GENERAL NOTES	
1. SECURITY DOORS ARE ALL EXTERIOR DOORS LEADING INTO RESIDENCE INCLUDING SLIDING GLASS DOORS, GARAGE DOORS, DOORS FROM GARAGE TO RESIDENCE AND SWINGING DOORS.	
2. DEADBOLTS SHALL PROJECT ONE INCH WHEN EXTENDED IN THE LOCKED POSITION.	
3. DEADBOLTS SHALL BE MADE OF CASE HARDENED STEEL, POWDERED STAINLESS STEEL, BAR BRASS, BRONZE, OR ZINC ALLOY.	
4. NO DOUBLE KEYED LOCKS SHALL BE ALLOWED.	
5. CYLINDER GUARD SHALL BE CONSTRUCTED OF A SOLID METAL, NOT A HOLLOW SHELL.	
6. ALL DOORS LEADING FROM THE EXTERIOR OR FROM THE GARAGE AREAS INTO DWELLING UNITS SHALL CONFORM TO ONE OF THE FOLLOWING TYPES OF CONSTRUCTION: A. WOOD FLUSH-TYPE DOOR OR WOOD PANEL TYPE DOOR SHALL HAVE SOLID WOOD STILES 1 3/8" MINIMUM THICKNESS AND 4 5/8" MINIMUM WIDTH. B. FERROUS METAL DOORS WITH SURFACES NOT LESS THAN 24 GAUGE IN THICKNESS. C. ALUMINUM DOORS WITH SURFACES NOT LESS THAN 0.1" IN THICKNESS.	
7. THE INACTIVE LEAF OF A PAIR OF DOORS SHALL BE EQUIPPED WITH CANE BOLTS, EDGE OR SURFACE MOUNTED FLUSH BOLTS TOP & BOTTOM, WITH 1/2" (min) PROJECTION TO HOLD THIS PORTION OF THE DOOR.	
8. ALL EXITS TO BE OPENABLE FROM THE INSIDE WITHOUT USE OF A KEY OR SPECIAL KNOWLEDGE.	
9. ALL EXTERIOR DOOR HINGES SHALL BE MOUNTED WITH THE HINGE ON THE INTERIOR OF THE BUILDING OR HAVE NON-REMOVABLE HINGE PINS.	
10. THE STRIKE PLATE OR HOLDING DEVICE FOR PROJECTING DEADBOLTS IN WOOD CONSTRUCTION SHALL BE SECURED TO THE JAMB WITH A MINIMUM OF 2 SCREWS 1 1/2" MINIMUM IN LENGTH.	
11. GARAGE DOORS SHALL HAVE THROWBOLT, FLUSHBOLT, CYLINDER TYPE LOCK, OR ELECTRICAL OPERATOR WITH AUTOMATIC LOCKING DEVICE. ALL LOCATED ON THE INSIDE OF GARAGE, AND SHALL BE CAPABLE OF BEING OPENED AT ALL TIMES FROM INSIDE THE GARAGE WITHOUT THE USE OF A KEY OR ELECTRICAL POWER.	
12. ALL DOORS FROM GARAGE INTO THE DWELLING SHALL BE EQUIPPED WITH SELF-CLOSING HINGES.	
13. MANUALLY OPERATED EDGE OR SURFACE-MOUNTED FLUSH BOLTS ARE PROHIBITED.	
14. ADDRESS MARKING. A HOUSE NUMBER SHALL BE DISPLAYED IN IN A PROMINENT MANNER SO THAT IT IS REASONABLY VISIBLE TO ENABLE EMERGENCY VEHICLES TO LOCATE THE RESIDENCE.	

DOOR SCHEDULE							
NO.	ROOM	TYPE	DOOR OR UNIT SIZE	R.O.	THICK.	HARDWARE	REMARKS
EXTERIOR							
101	FAMILY ROOM	A	9'-0" x 8'-0"	V.L.F.	PER MFR	a, d, e, f	3-PANEL ALUM CLAD WOOD FRENCH DOOR [XON]
102	DINING ROOM	B	12'-0" x 8'-0"	V.L.F.	PER MFR	a, d, e, f	3-PANEL ALUM CLAD WOOD FRENCH DOOR [XON]
103	LIVING ROOM	C	22'-0" x 10'-0"	N/A	PER MFR	-	STEEL CENTER-SLIDE DOOR, STACKING w/ FIXED END PANELS
104	HOME OFFICE #1	D	(3) 5'-0" x 8'-0" FRENCH	V.L.F.	PER MFR	-	ALUMINUM CLAD WOOD FRENCH DOORS
105	MASTER SITTING ROOM	A	9'-0" x 8'-0"	V.L.F.	PER MFR	a, d, e, f	3-PANEL ALUM CLAD WOOD FRENCH DOOR [XON]
106	MECHANICAL CLOSET	E	5'-0" x 8'-0"	V.L.F.	PER MFR	a, d, e, f	FLUSH STEEL DOOR IN KNOCKDOWN FRAME
107	MASTER BATHROOM	H	2'-10" x 8'-0"	V.L.F.	PER MFR	a, d, e, f	STEEL FRENCH DOOR
108	MASTER BATHROOM	H	2'-10" x 8'-0"	V.L.F.	PER MFR	a, d, e, f	STEEL FRENCH DOOR
109	HOME OFFICE #2	F	2'-8" x 8'-0"	V.L.F.	PER MFR	a, d, e, f	ALUMINUM CLAD WOOD FRENCH DOOR
110	FRONT ENTRY	G	10'-0" x 10'-0"	N/A	PER MFR	a, d, e, f	STEEL ENTRY DOOR & SIDELITES
111	WINE ROOM	H	9'-8 1/2" x 8'-0"	N/A	PER MFR	per schedule	STEEL & TEMPERED GLASS WINE ROOM DOOR
DOOR TYPES				HARDWARE (PROVIDE APPROPRIATE HINGES ON ALL DOORS)			
A	ALUMINUM CLAD WOOD FRENCH DOOR UNIT			a	LOCKSET		
B	ALUMINUM CLAD WOOD FRENCH DOOR UNIT			d	DEAD BOLT		
C	STEEL & GLASS CENTER SLIDE STACKING DOOR			e	THRESHOLD		
D	ALUMINUM CLAD WOOD FRENCH DOOR UNIT			f	WEATHER-STRIPPING		
E	STEEL DOOR IN METAL FRAME						
F	ALUMINUM CLAD WOOD FRENCH DOOR						
G	STEEL & GLASS ENTRY DOOR WITH SIDELITES						
H	STEEL & GLASS DOOR						

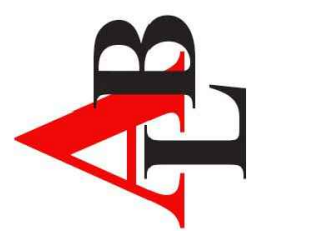




POWER SYMBOLS LEGEND	
	DIMMER SWITCH
	SINGLE POLE "DECORA" LIGHT SWITCH
	DUPLEX OUTLET
	DUPLEX OUTLET LOCATED ABOVE COUNTER
	SWITCHED DUPLEX RECEPTACLE, 1/2 HOT
	SWITCHED (1/2 HOT) DUPLEX OUTLET LOCATED ABOVE COUNTER
	FOURPLEX OUTLET
	220 VOLT OUTLET
	220 VOLT SWITCHED OUTLET, 1/2 HOT
	EQUIP. CONTROLLER & NEMA 3R/4F DISCONNECT SWITCH
	SWITCHED GARBAGE DISPOSAL, OUTLET, GFI RATED
	CAT 5 RATED MEDIA/COMMUNICATION OUTLET (PHONE, FAX, DATA, TV)
	APPROVED 100V SMOKE DETECTOR W/ BATTERY BACK-UP
	WALL CHIME AND EXTERIOR PUSHBUTTON
	EXHAUST FAN- SEE MECHANICAL PLAN FOR SPECIFICATION
	FLOOR OUTLET RECESSED INTO SLAB TO CONCEAL PLUGS WITH FLUSH COVER PLATE, FIELD VERIFY LOC'N., 1/2 HOT AS SHOWN
	POWER & COMMUNICATION FLOOR OUTLET, VERIFY LOCATION
	GARAGE DOOR OPENER & PUSHBUTTON WALL CONTROL
	NATURAL GAS OUTLET
	ROOF MTD. PHOTOCELL W/ TIMER FOR OUTDOOR LIGHTING
	GROUND MTD. WEATHERPROOF JUNCTION BOX OUTLET
	LIGHTING CONTROL SYSTEM WALL KEYPAD
	GFI PLUG/MOLD STRIP AT UNDERSIDE OF UPPER CABINET WITH OUTLETS SPACED AT 18" O.C. MAX.
SYMBOL TEXT ABBREVIATION KEY:	
3	3-WAY CONTROL FOR SWITCH
4	4-WAY CONTROL FOR SWITCH
WP	WEATHERPROOF COVER FOR DEVICE
GFI	GROUND FAULT INTERRUPT PROTECTION FOR DEVICE
AFI	ARC FAULT INTERRUPT PROTECTION FOR DEVICE
DED	DEDICATED OUTLET PER ELECTRICAL PANEL SCHEDULE
EX	EXISTING ELECTRICAL DEVICE TO REMAIN

EXISTING POWER PLAN
1/4" = 1'-0"
0 2 4 8
NORTH
1

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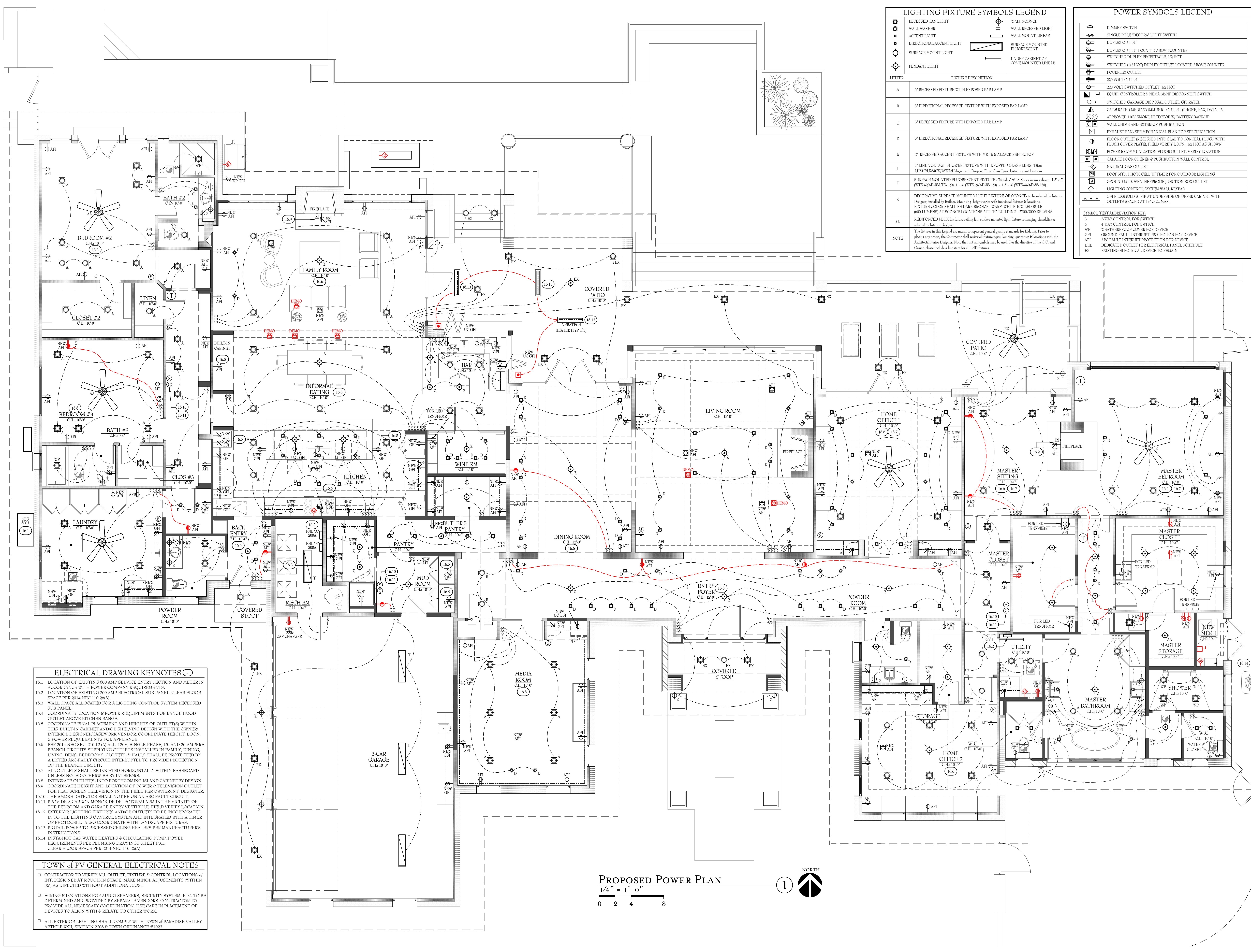
Town of PV
HILLSIDE
REVIEW

Drawn By: B.M.S.
Scale: 1/4" = 1'-0"

Drawing:
Power Plan
Existing

Sheet:

E2.1
1 OF 3



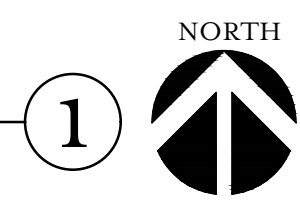
LIGHTING FIXTURE SYMBOLS LEGEND	
	RECESSED CAN LIGHT
	WALL WASHER
	ACCENT LIGHT
	DIRECTIONAL ACCENT LIGHT
	SURFACE MOUNT LIGHT
	PENDANT LIGHT
	WALL SCONCE
	WALL RECESSED LIGHT
	WALL MOUNT LINEAR
	SURFACE MOUNTED FLUORESCENT
	UNDER CABINET OR COVE MOUNTED LINEAR
LETTER	FIXTURE DESCRIPTION
A	6" RECESSED FIXTURE WITH EXPOSED PAR LAMP
B	6" DIRECTIONAL RECESSED FIXTURE WITH EXPOSED PAR LAMP
C	5" RECESSED FIXTURE WITH EXPOSED PAR LAMP
D	5" DIRECTIONAL RECESSED FIXTURE WITH EXPOSED PAR LAMP
E	2" RECESSED ACCENT FIXTURE WITH MR-16 @ ALZACK REFLECTOR
J	5" LINE VOLTAGE SHOWER FIXTURE WITH DROPPED GLASS LENS - "Lion" LHS/CLES40W/75W/Halogen with Droppd Frost Glass Lens. Listed for wet locations
T	SURFACE MOUNTED FLUORESCENT FIXTURE - "Metalux" WTS Series in sizes shown: 1.5 x 2 (WTS 430-D-W-LTS-120), 1 x 4 (WTS 240-D-W-LTS-0) or 1.5 x 4 (WTS-440-D-W-LTS-0)
Z	DECORATIVE SURFACE MOUNTED LIGHT FIXTURE OR SCONCE - to be selected by Interior Designer, installed by Builder. Mounting height varies with individual fixture & location. FIXTURE COLOR SHALL BE DARK BRONZE. WARM WHITE 10W LED BULB 600 LUMENS AT SCONCE LOCATIONS ATT. TO BUILDING. 2700-3000 KELVINS. REINFORCED BRONX for future ceiling fan, surface mounted light fixture or hanging chandelier as selected by Interior Designer.
AA	The fixtures in this legend are meant to represent general quality standards for Building. Prior to placing any orders, the Contractor shall review all fixture types, listing, quantities & locations with the Architect/Interior Designer. Note that not all symbols may be used. Per the direction of the G.C. and Owner, please include a line item for all LED fixtures.
NOTE	

POWER SYMBOLS LEGEND	
	DIMMER SWITCH
	SINGLE POLE "DECORA" LIGHT SWITCH
	DUPLEX OUTLET
	DUPLEX OUTLET LOCATED ABOVE COUNTER
	SWITCHED DUPLEX RECEPTACLE, 1/2 HOT
	SWITCHED 1/2 HOT DUPLEX OUTLET LOCATED ABOVE COUNTER
	FOURPLEX OUTLET
	220 VOLT OUTLET
	220 VOLT SWITCHED OUTLET, 1/2 HOT
	EQUIP. CONTROLLER & NEMA 3R/4F DISCONNECT SWITCH
	SWITCHED GARBAGE DISPOSAL OUTLET, GFI RATED
	CAT-5 RATED MEDIA/COMMUNICATION OUTLET (PHONE, FAX, DATA, TV)
	APPROVED 110V SMOKE DETECTOR W/ BATTERY BACK-UP
	WALL CHIME AND EXTERIOR PUSHBUTTON
	EXHAUST FAN - SEE MECHANICAL PLAN FOR SPECIFICATION
	FLOOR OUTLET (RECESSED INTO SLAB TO CONCEAL PIPING WITH FLUSH COVER PLATE, FIELD VERIFY LOCN., 1/2 HOT AS SHOWN)
	POWER & COMMUNICATION FLOOR OUTLET, VERIFY LOCATION
	GARAGE DOOR OPENER & PUSHBUTTON WALL CONTROL
	NATURAL GAS OUTLET
	RCOF MTD. PHOTOCELL W/ TIMER FOR OUTDOOR LIGHTING
	GROUND MTD. WEATHERPROOF JUNCTION BOX OUTLET
	LIGHTING CONTROL SYSTEM WALL KEYPAD
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DED	DEDICATED OUTLET PER ELECTRICAL PANEL SCHEDULE
EX	EXISTING ELECTRICAL DEVICE TO REMAIN

- ELECTRICAL DRAWING KEYNOTES**
- 16.1 LOCATION OF EXISTING 600 AMP SERVICE ENTRY SECTION AND METER IN ACCORDANCE WITH POWER COMPANY REQUIREMENTS.
 - 16.2 LOCATION OF EXISTING 200 AMP ELECTRICAL SUB PANEL. CLEAR FLOOR SPACE PER 2014 NEC 110.26(A).
 - 16.3 WALL SPACE ALLOCATED FOR A LIGHTING CONTROL SYSTEM RECESSED SUB PANEL.
 - 16.4 COORDINATE LOCATION & POWER REQUIREMENTS FOR RANGE HOOD OUTLET ABOVE KITCHEN RANGE.
 - 16.5 COORDINATE FINAL PLACEMENT AND HEIGHTS OF OUTLET(S) WITHIN THIS BUILT-IN CABINET AND/OR SHELVING DESIGN WITH THE OWNER/INTERIOR DESIGNER/CASEWORK VENDOR. COORDINATE HEIGHT, LOCN. & POWER REQUIREMENTS FOR APPLIANCE.
 - 16.6 PER 2014 NEC SEC. 210.12 (A) ALL 120V, SINGLE-PHASE, 15- AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN FAMILY, DINING, LIVING, DEN(S), BEDROOMS, CLOSET(S) & HALLS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.
 - 16.7 ALL OUTLETS SHALL BE LOCATED HORIZONTALLY WITHIN BASEBOARD UNLESS NOTED OTHERWISE BY INTERIORS.
 - 16.8 INTEGRATE OUTLET(S) INTO FORTHCOMING ISLAND CABINETRY DESIGN. COORDINATE HEIGHT AND LOCATION OF POWER & TELEVISION OUTLET FOR FLAT SCREEN TELEVISION IN THE FIELD PER OWNER/INTERIOR DESIGNER.
 - 16.9 THE SMOKE DETECTOR SHALL NOT BE ON AN ARC FAULT CIRCUIT.
 - 16.10 PROVIDE A CARBON MONOXIDE DETECTOR/ALARM IN THE VICINITY OF THE BEDROOM AND GARAGE ENTRY VESTIBULE. FIELD VERIFY LOCATION.
 - 16.12 EXTERIOR LIGHTING FIXTURES AND/OR OUTLETS TO BE INCORPORATED IN TO THE LIGHTING CONTROL SYSTEM AND INTEGRATED WITH A TIMER OR PHOTOCELL. ALSO COORDINATE WITH LANDSCAPE FIXTURES.
 - 16.13 PICTAIL POWER TO RECESSED CEILING HEATERS PER MANUFACTURER'S INSTRUCTIONS.
 - 16.14 INSTA-HOT GAS WATER HEATERS & CIRCULATING PUMP. POWER REQUIREMENTS PER PLUMBING DRAWINGS SHEET P3.1. CLEAR FLOOR SPACE PER 2014 NEC 110.26(A).

- TOWN of PV GENERAL ELECTRICAL NOTES**
- CONTRACTOR TO VERIFY ALL OUTLET, FIXTURE & CONTROL LOCATIONS w/ INT. DESIGNER AT RUGH-IN STAGE. MAKE MINOR ADJUSTMENTS (WITHIN 30") AS DIRECTED WITHOUT ADDITIONAL COST.
 - WIRING & LOCATIONS FOR AUDIO SPEAKERS, SECURITY SYSTEM, ETC. TO BE DETERMINED AND PROVIDED BY SEPARATE VENDORS. CONTRACTOR TO PROVIDE ALL NECESSARY COORDINATION. USE CARE IN PLACEMENT OF DEVICES TO ALIGN WITH & RELATE TO OTHER WORK.
 - ALL EXTERIOR LIGHTING SHALL COMPLY WITH TOWN of PARADISE VALLEY ARTICLE XXII, SECTION 2208 & TOWN ORDINANCE #1023

PROPOSED POWER PLAN
1/4" = 1'-0"



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Drawn By:

B.M.S.

Scale:

1/4" = 1'-0"

Drawn:

Power Plan
Proposed

Sheet:

E2.2

2 OF 3

SPEC SHEET



Irvine Grande Bracketed Wall Lantern

Item # CHO 2443BZ-CG

Designer: Chapman & Myers

Height: 35"

Width: 9.75"

Extension: 12.5"

Backplate: 7" x 30" Rectangle

Finishes: BZ

Glass Options: CG

Socket: Dedicated LED

Wattage: 10w (600lm), 2700-3000 Kelvins

Note: UL Only

Side View

Front View

120"

9"

35"

7'x30"

Mounting Plate Center 160"

circa

LIGHTING®



LIGHTING FIXTURE SYMBOLS LEGEND	
	RECESSED CAN LIGHT
	WALL WASHER
	ACCENT LIGHT
	DIRECTIONAL ACCENT LIGHT
	SURFACE MOUNT LIGHT
	PENDANT LIGHT
	WALL SCONCE
	WALL RECESSED LIGHT
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B	6" DIRECTIONAL RECESSED FIXTURE WITH EXPOSED PAR LAMP
C	3" RECESSED FIXTURE WITH EXPOSED PAR LAMP
D	3" DIRECTIONAL RECESSED FIXTURE WITH EXPOSED PAR LAMP
E	2" RECESSED ACCENT FIXTURE WITH MR-16 & ALZACK REFLECTOR
J	8" LINE VOLTAGE SHOWER FIXTURE WITH DROPPED GLASS LENS. 'Lino' LHS10/LHS40W/75W/Halogen with Dropped Front Glass Lens. Listed for wet locations
T	SURFACE MOUNTED FLUORESCENT FIXTURE - 'Metalux' WTS Series in sizes shown: 1.5' x 2' (WTS 430-D-W-17S-120), 1' x 4' (WTS 240-D-W-120) or 1.5' x 4' (WTS 440-D-W-120).
Z	DECORATIVE SURFACE MOUNTED LIGHT FIXTURE OR SCONCE, to be selected by Interior Designer, installed by Builder. Mounting height varies with individual fixture & locations. FIXTURE COLOR SHALL BE DARK BRONZE. WARM WHITE 10W LED BULB (600 LUMENS) AT SCONCE LOCATIONS ATT. TO BUILDING. 2700-3000 KELVINS.
AA	REINFORCED IRON for future ceiling fan, surface mounted light fixture or hanging chandelier as selected by Interior Designer.
NOTE	The fixtures in this Legend are meant to represent general quality standards for Building. Prior to placing any orders, the Contractor shall review all fixture types, lamping, quantities & locations with the Architect/Interior Designer. Note that not all symbols may be used. For the directive of the G.C. and Owner, please include a line item for all LED fixtures.

POWER SYMBOLS LEGEND	
	DIMMER SWITCH
	SINGLE POLE "DECORA" LIGHT SWITCH
	DUPLEX OUTLET
	DUPLEX OUTLET LOCATED ABOVE COUNTER
	SWITCHED DUPLEX RECEPTACLE, 1/2 HOT
	DUPLEX OUTLET LOCATED ABOVE COUNTER
	FOURPLEX OUTLET
	220 VOLT OUTLET
	220 VOLT SWITCHED OUTLET, 1/2 HOT
	EQUIP. CONTROLLER & NEMA 3E NF DISCONNECT SWITCH
	SWITCHED GARBAGE DISPOSAL OUTLET, GFI RATED
	CAT-5 RATED MEDIA/COMMUNICS. OUTLET (PHONE, FAX, DATA, TV)
	APPROVED 10W SMOKE DETECTOR W/ BATTERY BACK-UP
	WALL CHIME AND EXTERIOR PUSHBUTTON
	EXHAUST FAN- SEE MECHANICAL PLAN FOR SPECIFICATION
	FLOOR OUTLET (RECESSED INTO SLAB TO CONCEAL PLUGS WITH FLUSH COVER PLATE, FIELD VERIFY LOCN., 1/2 HOT AS SHOWN)
	POWER & COMMUNICATION FLOOR OUTLET, VERIFY LOCATION
	NATURAL GAS OUTLET
	ROOF MTD. PHOTOCELL W/ TIMER FOR OUTDOOR LIGHTING
	GROUND MTD. WEATHERPROOF JUNCTION BOX OUTLET
	LIGHTING CONTROL SYSTEM WALL KEYPAD
	GFI PLUG/MOLD STRIP AT UNDERSIDE OF UPPER CABINET WITH OUTLETS SPACED AT 18" O.C. MAX.
SYMBOL TEXT ABBREVIATION KEY: 3 3-WAY CONTROL FOR SWITCH 4 4-WAY CONTROL FOR SWITCH WP WEATHERPROOF COVER FOR DEVICE GFI GROUND FAULT INTERRUPT PROTECTION FOR DEVICE AFI ARC FAULT INTERRUPT PROTECTION FOR DEVICE DED DEDICATED OUTLET PER ELECTRICAL PANEL SCHEDULE EX EXISTING ELECTRICAL DEVICE TO REMAIN	

ELECTRICAL DRAWING KEYNOTES	
10.1	LOCATION OF EXISTING 600 AMP SERVICE ENTRY SECTION AND METER IN ACCORDANCE WITH POWER COMPANY REQUIREMENTS.
10.2	LOCATION OF EXISTING 200 AMP ELECTRICAL SUB PANEL, CLEAR FLOOR SPACE PER 2014 NEC 110.26(A).
10.3	WALL SPACE ALLOCATED FOR A LIGHTING CONTROL SYSTEM RECESSED SUB PANEL.
10.4	COORDINATE LOCATION & POWER REQUIREMENTS FOR RANGE HOOD OUTLET ABOVE KITCHEN RANGE.
10.5	COORDINATE FINAL PLACEMENT AND HEIGHTS OF OUTLET(S) WITHIN THIS BUILT-IN CABINET AND/OR SHELVING DESIGN WITH THE OWNER/ INTERIOR DESIGNER/CASEWORK VENDOR, COORDINATE HEIGHT, LOCN. & POWER REQUIREMENTS FOR APPLIANCE.
10.6	PER 2014 NEC SEC. 210.12 (A) ALL 120V, SINGLE-PHASE, 15- AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN FAMILY, DINING, LIVING, DENS, BEDROOMS, CLOSETS, & HALLS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.
10.7	ALL OUTLETS SHALL BE LOCATED HORIZONTALLY WITHIN BASEBOARD UNLESS NOTED OTHERWISE BY INTERIORS.
10.8	INTEGRATE OUTLET(S) INTO FORTHCOMING ISLAND CABINETS DESIGN.
10.9	COORDINATE HEIGHT AND LOCATION OF POWER & TELEVISION OUTLET FOR FLAT SCREEN TELEVISION IN THE FIELD PER OWNER/INT. DESIGNER.
10.10	THE SMOKE DETECTOR SHALL NOT BE ON AN ARC-FAULT CIRCUIT.
10.11	PROVIDE A CARBON MONOXIDE DETECTOR/ALARM IN THE VICINITY OF THE BEDROOM AND GARAGE ENTRY VESTIBULE, FIELD VERIFY LOCATION.
10.12	EXTERIOR LIGHTING FIXTURES AND/OR OUTLETS TO BE INCORPORATED IN TO THE LIGHTING CONTROL SYSTEM AND INTEGRATED WITH A TIMER OR PHOTOCELL. ALSO COORDINATE WITH LANDSCAPE FIXTURES.
10.13	PHANTAL POWER TO RECESSED CEILING HEATERS PER MANUFACTURERS' INSTRUCTIONS.
10.14	INSTA-HOT GAS WATER HEATERS & CIRCULATING PUMP, POWER REQUIREMENTS PER PLUMBING DRAWINGS SHEET P3.1. CLEAR FLOOR SPACE PER 2014 NEC 110.26(A).

GENERAL ELECTRICAL NOTES	
<input type="checkbox"/>	GENERAL CONTRACTOR SHALL VERIFY ALL OUTLET, FIXTURE & CONTROL LOCATIONS w/ DESIGN PROFESSIONALS AT ROUGH-IN STAGE. MAKE MINOR ADJUSTMENTS WITHIN 30" AS NECESSARY & DIRECTED WITH NO ADDITIONAL COST TO THE OWNERS.
<input type="checkbox"/>	ALL PLATES FOR WALL SWITCHES OR CONTROLS TO BE LOCATED AS CLOSE AS POSSIBLE TO THE JAMB OF THE WALL OPENING OR DOOR. RECEPTACLES OCCURRING ABOVE COUNTERS SHALL BE ROTATED TO HAVE A HORIZONTAL ORIENTATION AND BE ADJACENT TO THE COUNTER SURFACE.
<input type="checkbox"/>	WIRING & LOCATIONS FOR AUDIO SPEAKERS, SECURITY SYSTEM, ETC. (AS REQUIRED) TO BE DETERMINED AND PROVIDED BY SEPARATE VENDORS. GENERAL CONTRACTOR TO PROVIDE ALL NECESSARY COORDINATION. USE CARE IN PLACEMENT FO DEVICES TO ALIGN WITH & RELATE TO OTHER WORK.
<input type="checkbox"/>	IN AREAS SPECIFIED IN SECTION E3000.1, 125-VOLT, 15- & 20-AMPERE RECEPTACLES SHALL BE LISTED TAMPER RESISTANT RECEPTACLES. EXCEPTION: RECEPTACLES IN THE FOLLOWING LOCATIONS SHALL NOT BE REQUIRED TO BE TAMPER RESISTANT: 1) RECEPTACLES LOCATED MORE THAN 5.5 FEET ABOVE THE FLOOR. 2) RECEPTACLES THAT ARE A PART OF A LUMINAIRE OR APPLIANCE. 3) A SINGLE RECEPTACLE FOR A SINGLE APPLIANCE OR A DUPLEX RECEPTACLE FOR TWO APPLIANCES WHERE SUCH RECEPTACLES ARE LOCATED IN SPACES DEDICATED FOR THE APPLIANCES SERVED AND, UNDER CONDITIONS OF NORMAL USE, THE APPLIANCES ARE NOT EASILY MOVED FROM ONE PLACE TO ANOTHER. THE APPLIANCES SHALL BE CORD-AND-PLUG CONNECTED TO SUCH RECEPTACLES IN ACCORDANCE WITH SECTION E3000.4.
<input type="checkbox"/>	RECESSED LUMINAIRES INSTALLED WITHIN THE BUILDING'S THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. ALL RECESSED LUMINAIRES SHALL BE IDENTIFIED AND LABELED AS HAVING AN AIR LEAKAGE RATE NOT MORE THAN 2.0 CFM. ALL RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING. (N1102.4-4)
<input type="checkbox"/>	ALL 120-VOLT, SINGLE PHASE, 15- & 20- AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNITS(FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, DENS, PARLORS, LIBRARIES, BEDROOMS, CLOSETS, SUNROOMS, RECREATION ROOMS, AND HALLS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION-TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT PER 2014 NEC SECTION 210.12(A).

TOWN of PV GENERAL ELECTRICAL NOTES	
<input type="checkbox"/>	CONTRACTOR TO VERIFY ALL OUTLET, FIXTURE & CONTROL LOCATIONS w/ INT. DESIGNER AT ROUGH-IN STAGE. MAKE MINOR ADJUSTMENTS (WITHIN 30") AS DIRECTED WITHOUT ADDITIONAL COST.
<input type="checkbox"/>	WIRING & LOCATIONS FOR AUDIO SPEAKERS, SECURITY SYSTEM, ETC. TO BE DETERMINED AND PROVIDED BY SEPARATE VENDORS. CONTRACTOR TO PROVIDE ALL NECESSARY COORDINATION. USE CARE IN PLACEMENT OF DEVICES TO ALIGN WITH & RELATE TO OTHER WORK.
<input type="checkbox"/>	ALL EXTERIOR LIGHTING SHALL COMPLY WITH TOWN of PARADISE VALLEY ARTICLE XXII, SECTION 2208 & TOWN ORDINANCE #1023

Power Plan ~ CASITA

1/4" = 1'-0"

0 2 4 8

NOTE: IMPROVEMENTS TO EXISTING CASITA SHALL FALL UNDER THE AUSPICES OF A SEPARATE PERMIT.

1



ABL Design Studio, LLC

602.758.0808

4817 E KATHLEEN ROAD
SCOTTSDALE, AZ 85254



A Remodel and Addition to the

The Saba Residence

7819 N Mohave Road
Paradise Valley, AZ 85253

Project No.

SA-20

JUNE 29, 2020

Town of PV
HILLSIDE
REVIEW

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Drawing By:

B.M.S.

Scale:

1/4" = 1'-0"

Drawing:

Casita
Power Plan

Sheet:

E2.3

3 OF 3

- S A B A R E S I D E N C E -

- 7819 N. Mohave Rd., Paradise Valley, AZ 85253 -
- Landscape Construction Documents -

GENERAL NOTES:

- THESE CONSTRUCTION DOCUMENTS, INCLUDING ALL PLANS, NOTES, DETAILS AND SPECIFICATIONS ARE INTENDED TO FACILITATE THE INSTALLATION BY THE CONTRACTOR BY PROVIDING GENERAL GUIDELINES FOR DESIGN INTENT. IT IS THE GOAL OF THE DOCUMENTS THAT THE WORK IS TO BE COMPLETED WITHOUT CHANGE ORDERS. ALL QUANTITIES SHOWN IN THE DOCUMENTS ARE ESTIMATES ONLY AND ARE NOT GUARANTEED. THE CONTRACTOR SHALL SUPPLY ALL MATERIALS, LABOR AND EQUIPMENT IN ORDER TO FULFILL THE INTENT OF THE DESIGN DRAWINGS.
- INTERPRETATION OF THE PLANS AND SPECIFICATIONS SHALL BE MADE BY THE "AUTHOR" OR "ARCHITECT ENGINEER-OF-RECORD" OF THE RESPECTIVE DOCUMENT AND SHALL BE CONSIDERED FINAL, ANY POSSIBLE AMBIGUITY SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR PRIOR TO SUBMITTING FORMAL BIDS. ALL CLARIFICATIONS SHALL BE PREPARED IN WRITING BY THE "ARCHITECT ENGINEER-OF-RECORD" PRIOR TO BIDDING. THE CONTRACTOR SHALL ACCEPT THE INTERPRETATION OF THE "ARCHITECT ENGINEER-OF-RECORD" AS THE CORRECT AND FINAL INTERPRETATION.
- ANY INCIDENTAL INSTALLATION PROCEDURE, MATERIAL OR EQUIPMENT, NOT MENTIONED IN THESE CONSTRUCTION DOCUMENTS, THE SPECIFICATIONS NOR SHOWN ON THE PLANS, WHICH MAY BE NECESSARY FOR COMPLETION AND SATISFACTORY OPERATION OF THE DESIGN SYSTEM SHALL BE FURNISHED AND INSTALLED (AS BASED ON INDUSTRY STANDARDS) AS THOUGH SHOWN OR PROVIDED FOR.
- EXISTING CONDITIONS AND BASE INFORMATION ARE BASED ON PLANS PREPARED BY THE ARCHITECT.
- THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE LOCATIONS OF EXISTING AND FUTURE UNDERGROUND SERVICES AND IMPROVEMENTS WHICH MAY CONFLICT WITH THE WORK TO BE DONE. NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY SHOULD A CONFLICT ARISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL NECESSARY PERMITS AND SHALL NOTIFY ALL UTILITY COMPANIES WITH UTILITIES ON-SITE PRIOR TO THE CONSTRUCTION OF THE PROJECT.
- FOR UNDERGROUND UTILITY COORDINATION AND 48 HOURS PRIOR TO START OF CONSTRUCTION (DEPENDING ON AREA OR JURISDICTION), THE CONTRACTOR SHALL CONTACT:
 - A) BLUE STAKE (ARIZONA) 1-800-930-5248
 - B) UNDERGROUND SERVICES ALERT (USA) 1-800-227-2600
- THESE NOTES ARE TO BE USED FOR GENERAL REFERENCE IN CONJUNCTION WITH AND AS A SUPPLEMENT TO THE WRITTEN SPECIFICATIONS, APPROVED ADDENDUMS, AND THE CHANGE ORDERS AS ASSOCIATED WITH THESE CONSTRUCTION DOCUMENTS.
- SHOULD THE CONTRACTOR HAVE ANY QUESTIONS REGARDING THESE CONSTRUCTION DOCUMENTS OR SHOULD THERE BE ANY DISCREPANCIES, HE SHALL CONTACT THE LANDSCAPE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING FURTHER.
- ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS AND PER GOVERNING CODES AND/OR ORDINANCES.
- THE CONTRACTOR SHALL PROVIDE BARRICADES AND TRAFFIC CONTROL ALONG PUBLIC STREETS, IF REQUIRED, DURING INSTALLATION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPORT TO THE LANDSCAPE ARCHITECT AND/OR THE OWNER'S AUTHORIZED REPRESENTATIVE ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND FIELD CONDITIONS PRIOR TO THE START OF WORK.
- BEFORE WORK BEGINS ON THE PROJECT, THE CONTRACTOR SHALL REVIEW THE PROJECT WITH THE LANDSCAPE ARCHITECT AND/OR THE OWNER'S AUTHORIZED REPRESENTATIVE.
- THE LANDSCAPE ARCHITECT AND/OR THE OWNER'S AUTHORIZED REPRESENTATIVE SHALL APPROVE ANY OR ALL CHANGES PRIOR TO THE START OF WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND COORDINATING EXISTING SITE CONDITIONS.
- THE CONTRACTOR SHALL ADHERE TO ALL APPLICABLE LOCAL, STATE, AND/OR FEDERAL LAWS AND/OR REGULATIONS PERTAINING TO THE PROJECT.
- THE CONTRACTOR SHALL PROPERLY COORDINATE HIS WORK WITH OTHER CONTRACTOR'S WORK PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT EXISTING IMPROVEMENTS AND THE PUBLIC FROM DAMAGE THROUGHOUT CONSTRUCTION.
- THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY DAMAGES IMPOSED, UNINTENTIONALLY OR ACCIDENTALLY TO EXISTING UTILITIES, STRUCTURES, WALLS, OR OTHER ADJACENTS, DUE TO THE ACTION OF THE CONTRACTOR, CONTRACTOR'S EMPLOYEES AND/OR THE CONTRACTOR'S SUBCONTRACTORS. DAMAGE OCCURRED DURING THE CONTRACTOR'S OPERATION SHALL BE REPAIRED, AT THE EXPENSE OF THE CONTRACTOR, TO THE SATISFACTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE.
- MATCH GRADES, LAYOUT AND ELEVATIONS OF ADJACINING LANDSCAPE WORK BY OTHERS. NOTIFY THE LANDSCAPE ARCHITECT OF CONFLICTS BEFORE PROCEEDING WITH CONSTRUCTION.

PLANTING GENERAL NOTES:

- THE CONTRACTOR SHALL REVIEW PLANTING PLAN WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- THE LANDSCAPE ARCHITECT OR HIS REPRESENTATIVE RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIALS HE DEEMS UNACCEPTABLE. SEE SPECIFICATIONS.
- THE CONTRACTOR SHALL SUPPLY AND INSTALL ALL PLANT MATERIAL AS SPECIFIED ON THE PLANTING PLANS, HOWEVER, SHOULD THE PLANT MATERIAL BE TEMPORARILY UNAVAILABLE, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND INSTALL 5 GALLON NURSERY BUCKETS WITH IRRIGATION EACH PLANT LOCATION, AS THE PLANT MATERIAL BECOMES AVAILABLE, THE 5 GALLON BUCKETS SHALL BE REMOVED AND PLANT MATERIAL INSTALLED.
- ANY AND ALL SUBSTITUTIONS TO BE APPROVED BY THE LANDSCAPE ARCHITECT.
- LOCATE PLANTS AWAY FROM SPRINKLER HEADS, LIGHT FIXTURES AND OTHER OBSTRUCTIONS.
- FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE.
- PLANTING AND IRRIGATION DESIGN MAY BE MODIFIED TO ADAPT TO WALK CONFIGURATIONS THAT DIFFER FROM THESE PLANS, OR BECAUSE OF GRADE LIMITATIONS ON SITE.
- WATER TEST ALL TREE PLANTING HOLES PRIOR TO PLANTING. IF TREE HOLE DOES NOT DRAIN, DO NOT PLANT, SEE HARDPAN DETAIL.
- REFER TO THE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS NOT SHOWN ON DRAWINGS.
- TREES SHALL BE PLANTED A MINIMUM OF 1'-0" FROM STREET LIGHTS, FIRE HYDRANTS, 6'-0" FROM EDGE OF UNDERGROUND PIPELINES AND A MINIMUM OF 4'-0" FROM WALKS, CURBS AND WALLS. SHRUBS SHALL BE PLANTED A MINIMUM OF 2'-0" FROM CURB AND WALKS.
- ALL SPECIMEN TREES, SHRUBS AND CACTI SHALL BE FIELD LOCATED BY LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE.
- THE CONTRACTOR SHALL INSTALL "SHAWTOWN ROOF BARRIER PANELS" (OR APPROVED EQUAL) AT ALL TREES WITHIN 7'-0" FEET OF HARDSCAPE ELEMENTS INCLUDING (BUT NOT LIMITED TO) SIDEWALKS, ASPHALT, CONCRETE SLABS, FOOTINGS AND STRUCTURES. CONTRACTOR SHALL SUBMIT SPECIFICATION SHEETS OF PROPOSED ROOF BARRIER PANELS TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL INSTALL ARBOR GUARDS AT ALL TREES LOCATED IN TURF AREAS.
- ON-SITE AND OFF-SITE TOPSOIL SHALL CONFORM TO CONTENT REQUIREMENTS AS SPECIFIED IN PART 2 OF THE PLANTING SPECIFICATIONS. AGROCHON TEST SUBMITTALS ARE REQUIRED FOR ALL MATERIAL USED FOR TOPSOIL AND BACKFILL. SUBMIT REPORT TO LANDSCAPE ARCHITECT FOR REVIEW.
- ALL PLANT MATERIAL SHALL BE IN COMPLIANCE WITH THE AMERICAN STANDARDS FOR NURSERY STOCK, LATEST EDITION.
- THE CONTRACTOR SHALL PROVIDE MAINTENANCE FOR ALL ALL PLANT MATERIAL FROM THE TIME OF INSTALLATION THROUGH SUBSTANTIAL COMPLETION.
- CACTI SHALL BE PLANTED A MINIMUM OF 5'-0" AWAY FROM ALL PEDESTRIAN ROUTES.
- CACTI SHALL BE WELL ROOTED AND NON-SCARRED.
- PLANT MATERIAL MARKED "SALVAGE" SHALL BE SELECTED FROM ON-SITE SALVAGE INVENTORY. ALL MATERIAL SELECTIONS SHALL BE APPROVED BY LANDSCAPE ARCHITECT AND/OR OWNER'S AUTHORIZED REPRESENTATIVE.
- IN DISTURBED AREAS INDICATED TO RECEIVE VEGETATION HYDROSEED AND/OR PLANTING, THE CONTRACTOR SHALL MATCH EXISTING NATURAL DESERT STONE GROUND COVER CONDITIONS ADJACENT TO THE PROJECT.
- NATIVE REVEGETATION AREAS AND PLANTER BEDS SHALL BE TREATED WITH PRE-EMERGENT AS PER MANUFACTURER'S INSTRUCTIONS. RE-APPLY AS NECESSARY TO ELIMINATE INVASIVE WEEDS. REMOVE ALL DEAD DEBRIS.
- THE CONTRACTOR SHALL PROVIDE A 50'-0" BY 50'-0" TYPICAL MOCK-UP OF NATIVE REVEGETATION AREAS FOR REVIEW BY THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE.
- ALL TREE STAKING SHALL CONFORM TO THE PLANTING DETAILS OR AS NOTED IN THE SPECIFICATIONS. THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE SHALL REVIEW TYPICAL TREE STAKING PRIOR TO FINAL ACCEPTANCE.

INSTALLATION GENERAL NOTES:

ANGULAR GRANITE RIP-RAP

- INSTALL GRANITE RIP-RAP IN ALL DRAINAGE SWALES, AND WHERE INDICATED ON PLANS (TYPICAL). REFER TO MATERIALS SCHEDULE - PLANTING LEGEND FOR COLOR AND SIZE OF GRANITE RIP-RAP.
- THE CONTRACTOR SHALL SUBMIT SAMPLES TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL REFER TO CIVIL PLANS FOR ADDITIONAL INFORMATION.

DECOMPOSED GRANITE

- DECOMPOSED GRANITE IS REQUIRED IN ALL PLANTING AREAS, EXCEPT AREAS OF TURF AND GRANITE RIP-RAP, AND SHALL EXTEND UNDER PLANT MATERIAL UNLESS NOTED OTHERWISE ON PLANS. REFER TO MATERIALS SCHEDULE - PLANTING LEGEND.
- ALL PLANTING AREAS SHALL RECEIVE A 2" MINIMUM LAYER OF DECOMPOSED GRANITE, THROUGHOUT (TYPICAL).
- CONTRACTOR SHALL SUBMIT SAMPLES TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

IRRIGATION GENERAL NOTES:

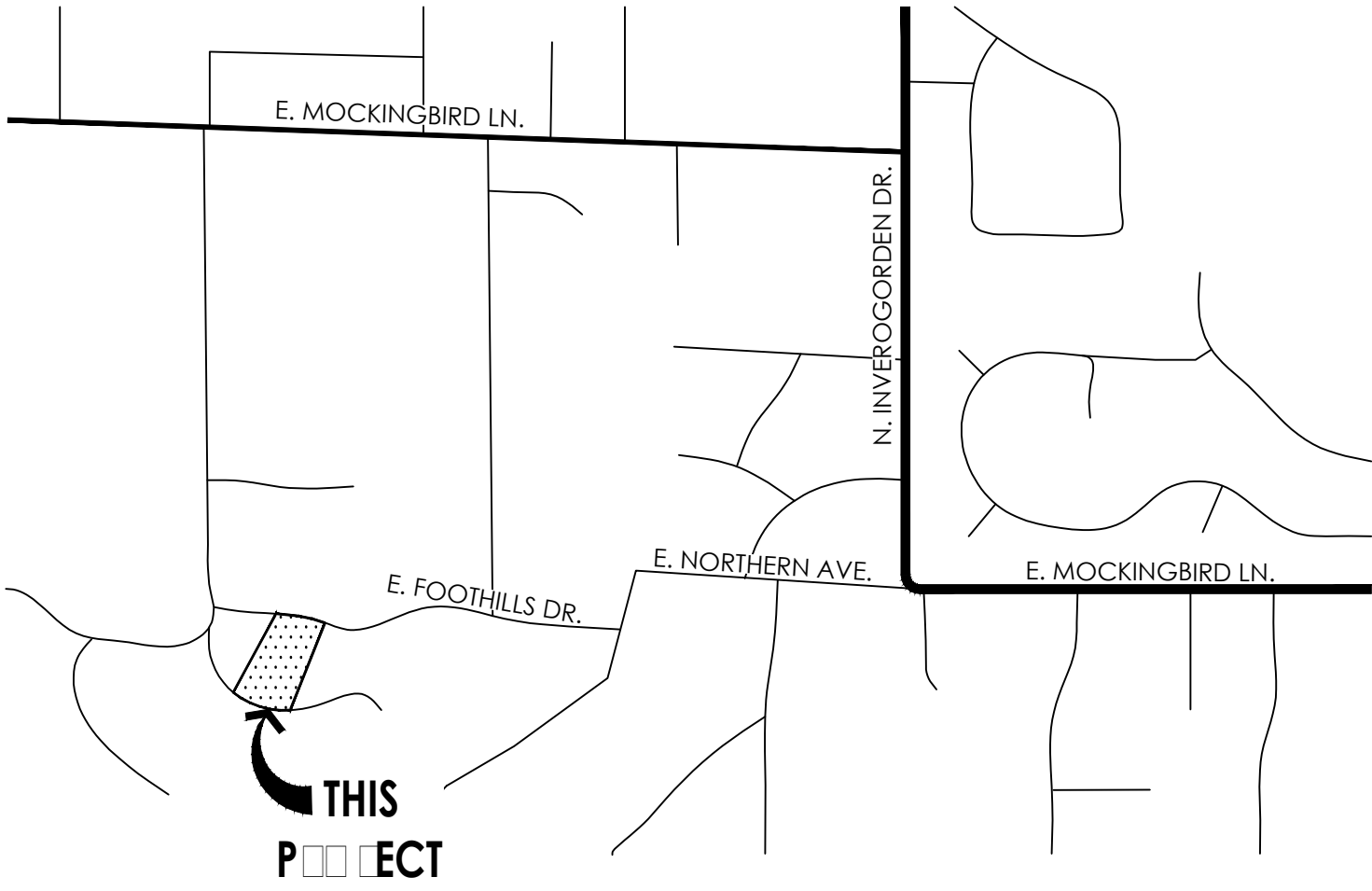
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FULL IRRIGATION COVERAGE OF ALL PLANT MATERIAL.
- THE LANDSCAPE CONTRACTOR SHALL SUBMIT FULL PIPING PLANS, AFTER FIELD VERIFICATION, DEPICTING POINT OF CONNECTION, METER LOCATION AND SIZE, BACKFLOW PREVENTER LOCATION AND SIZE, AND PIPE ROUTING AND SIZES.
- THE LANDSCAPE CONTRACTOR SHALL INSTALL THE SPECIFIED SYSTEM IN ACCORDANCE WITH THE ATTACHED SCHEDULES, NOTES, DETAILS, AND SPECIFICATIONS.
- THE LANDSCAPE CONTRACTOR TO SITE VERIFY PRESSURE AND NOTIFY LANDSCAPE ARCHITECT OF ANY DIFFERENCES PRIOR TO INSTALLATION OR ORDERING OF MATERIALS. IF CONTRACTOR FAILS TO NOTIFY LANDSCAPE ARCHITECT, HE IS FINANCIALLY RESPONSIBLE FOR ANY NECESSARY SYSTEM ALTERATIONS THAT RESULT.
- THE LANDSCAPE CONTRACTOR SHALL FIELD VERIFY EXISTING TAP LOCATIONS, INSTALL NEW METERS PER THE ATTACHED IRRIGATION SCHEDULE.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING AND PATCHING OF ASPHALT AND CONCRETE AS REQUIRED FOR SLEEVE INSTALLATION ACCORDING TO THE IRRIGATION SCHEDULE.
- CONTROLLER TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS, CONTROLLER SIZE AND QUANTITIES TO BE DETERMINED BY THE VALVE REQUIREMENTS AND POINTS OF CONNECTION. INSTALL ONE (1) CONTROLLER AT EACH POINT OF CONNECTION.
- INSTALL PVC MAINLINE AND LATERALS ACCORDING TO THE IRRIGATION AND PIPING SCHEDULES.
- ALL VALVE FLOWS SHALL NOT EXCEED MANUFACTURER'S SPECIFICATIONS.
- VALVE BOXES SHALL BE SQUARE TO ADJACENT WALKS OR CURBS AND FLUSH WITH THE FINAL GRADE.
- WORK SHALL CONFORM TO ALL CONSTRUCTION CODES AND REGULATIONS.
- THE LANDSCAPE CONTRACTOR SHALL INSTALL GREEN VALVE BOXES IN TURF AREAS AND TAN VALVE BOXES IN DECOMPOSED GRANITE AREAS (TYPICAL).
- REFER TO THE IRRIGATION NOTES FOR THE CALCULATED PRESSURE AT THE WATER METER. REFER TO NOTE #4 IF PRESSURE DIFFERS FROM THAT NOTED.
- THE LANDSCAPE CONTRACTOR SHALL VISIT SITE PRIOR TO BIDDING ON PROJECT TO VERIFY INSTALLATION CONDITIONS.
- PRIOR TO COMMENCEMENT OF ANY WORK, THE CONTRACTOR SHALL CONTACT BLUE STAKE TO VERIFY LOCATIONS AND DEPTHS OF UNDERGROUND UTILITIES THAT MAY BE EFFECTED BY HIS WORK, AND HE SHALL BE RESPONSIBLE FOR DAMAGES TO SUCH UTILITIES CAUSED AS A RESULT OF HIS IRRIGATION INSTALLATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPENSATING THE OWNER AND/OR THE OWNER'S REPRESENTATIVE FOR ANY DESIGN CHANGES MADE AS A RESULT OF DEVIATION BY THE CONTRACTOR FROM THE PLANS AND SPECIFICATIONS OR DUE TO ERRORS, FAULTY MATERIAL, OR FAULTY WORKMANSHIP.
- INSTALL ALL MAINLINES WITH A MINIMUM OF 20' OF COVER.
- INSTALL ALL LATERALS WITH A MINIMUM OF 12" OF COVER.
- ALL PIPE TO BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS AND ASTM STANDARD D 2774.
- ALL THREADED JOINTS TO BE COATED WITH TEFLON TAPE, UNLESS OTHERWISE SPECIFIED BY THE MANUFACTURER. USE LIQUID TEFLON ON METAL PIPE THREADS ONLY.
- FLUSHING OF ALL LINES PRIOR TO INSTALLATION OF SPRINKLERS AND EMITTERS IS REQUIRED.
- INSTALL ALL SPRINKLERS, EMITTERS, AND RELATED MATERIAL PER IRRIGATION SYSTEM SPECIFICATIONS AND DETAILS.
- INSTALL ALL ELECTRICAL JOINTS WITH 3-M WATERPROOF CONNECTIONS.
- ALL ELECTRICAL CONNECTIONS SHALL BE MADE AT THE REMOTE CONTROL VALVE BOXES. CONTROLLER ENCLOSURES AND VALVE BOXES SPECIFICALLY FOR ELECTRICAL CONNECTIONS.
- A CERTIFIED ELECTRICIAN SHALL BE RESPONSIBLE FOR INSTALLING ALL WIRING FROM THE CIRCUIT BREAKER AT THE 120 VOLT SOURCE LOCATION TO AUTOMATIC CONTROLLER.
- ALL 120 VOLT VOLT POWER WIRE TO BE INSTALLED PER LOCAL CODE AND THE N.E.C.
- INSTALL ALL VALVE WIRING IN MAINLINE TRENCH AS DETAILED.
- INSTALL ALL REMOTE CONTROL VALVES AT HEIGHT INDICATED ON DETAILS, AS HIGH AS POSSIBLE BUT ALLOWING CLEARANCE BETWEEN VALVE BOX LID AND FLOW CONTROL HANDLE OR REMOTE CONTROL VALVE.
- INSTALL ALL MAINLINE GATE VALVES IN A ROUND PLASTIC VALVE BOX PER DETAILS.
- ALL PVC SOLVENT WELD FITTINGS SHALL BE LASCO OR APPROVED EQUAL.
- THE MAINLINE, LATERAL PIPE, AND VALVES ARE SHOWN **SCHEMATICALLY** AND SHALL BE INSTALLED **1" THIN THE LANDSCAPE AREA OUTSIDE THE MAINLINE AND P.U.E.** ADJACENT TO SIDEWALK OR CURB AND OFFSET 18" WHEREVER POSSIBLE.
- SUPPLY THE FOLLOWING MATERIAL TO THE OWNER:
 - A) TWO WRENCHES FOR DISASSEMBLY AND ADJUSTING OF EACH TYPE OF SPRINKLER HEAD AND VALVE SUPPLIED.
 - B) TWO KEYS FOR EACH OF THE CONTROLLERS.
 - C) TWO COUPLERS WITH MATCHING HOSE BBS AND SHUT-OFF VALVE.
 - D) TWO VALVE BOX KEYS.
- ALL MAINLINE FITTINGS FOR PIPE 3" AND LARGER SHALL BE CAST OR DUCTILE IRON FOR PVC. SCHEDULE 80 PVC FOR 2 1/2" AND SMALLER.
- ALL MAINLINE PIPE SHALL BE A MINIMUM OF SCHEDULE 40.
- SLEEVES SHALL BE A MINIMUM OF TWO TIMES THE DIAMETER OF THE LINE SIZE.
- ALL MAINLINE AND IRRIGATION EQUIPMENT SHALL BE PLACED IN THE LANDSCAPED AREAS.
- CONTROLLER WIRES THAT ARE DIRECT BURIED SHALL BE #14 OR BETTER, BUNDLED OR WRAPPED A MINIMUM OF EVERY TWELVE (12) FEET. DURING INSTALLATION WIRES SHALL HAVE A 24" LOOP TIED IN, ALL DIRECTION CHANGES GREATER THAN 30 DEGREES AND BE UNITED PRIOR TO TRENCH FILL IN.
- DRIP SYSTEM FLUSH CAPS SHALL BE PLACED IN A VALVE BOX AT THE END OF ALL DRIP LATERAL RUNS, AS DESCRIBED ON THE DRAWINGS.
- ALL VALVES, PRESSURE REGULATORS AND OTHER DEVICES SHALL BE PLACED IN AN APPROPRIATELY SIZED VALVE BOX WITH A MINIMUM OF TWO (2) INCHES OF PEA GRAVEL.
- PRIOR TO PLACING ANY IRRIGATION SYSTEM IN SERVICE, AN ARIZONA CERTIFIED BACKFLOW DEVICE TESTER SHALL TEST THE BACKFLOW PREVENTION DEVICE AND GIVE A COPY OF THE PASSED TEST RESULTS TO THE MARICOPA COUNTY INSPECTOR OR MAIL IT TO THE MARICOPA COUNTY DEPARTMENT OF PUBLIC WORKS INSPECTION STATION.
- AFTER INITIAL TESTING, ALL BACKFLOW DEVICES SHALL BE TESTED ANNUALLY.
- BACKFLOW DEVICES SHALL BE A MINIMUM OF TWO (2) FEET FROM THE WATER METER AND BE THE SAME SIZE AS THE METER SERVICE LINE.
- ALL BACKFLOW PREVENTION DEVICES SHALL HAVE A MINIMUM 24"x36"x4" CLASS B CONCRETE SLAB WITH PIPE SLEEVES. IF A SECURITY CAGE IS INSTALLED, CONCRETE SHALL BE SIX (6) INCHES LARGER ON ALL SIDES THAN THE SECURITY CAGE.
- ALL PIPE CROSSINGS IN THE RIGHT-OF-WAY SHALL BE MARKED ON EACH SIDE OF THE CURB WITH A NON-DESTRUCTIBLE MARKING.

GRADING GENERAL NOTES:

- CONTRACTOR SHALL GRADE TO MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES. REVIEW ENGINEERS PLAN FOR DRAINAGE.
- FINISH GRADING SHALL BE BY THE DIRECTION OF THE LANDSCAPE ARCHITECT.
- LANDSCAPE ARCHITECT SHALL APPROVE GRADING PRIOR TO PLANTING.
- GRADING FOR THIS PROJECT INCLUDES THE FOLLOWING:
 - A) FINISH GRADING OF EXISTING ROUGH GRADES IS REQUIRED TO PROVIDE SMOOTH, EVEN GRADE TRANSITION IN LANDSCAPE AREA.
 - B) IMPORTING AND PLACING "OFF-SITE 3:1" MINUS TOPSOIL" IN THE FOLLOWING AREAS:
 - I) TURF, AND ANNUAL AREAS (6" DEPTH).
 - II) PLANT BACKFILL (CAN BE SCREENED ON-SITE SOIL).
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY CAULCHIE ENCOUNTERED ON SITE AT NO ADDITIONAL COST TO THE OWNER. THE OWNER AND CONTRACTOR SHALL COORDINATE A SUITABLE LOCATION ON SITE TO DISPOSE OF THE CAULCHIE MATERIAL. SHOULD A SUITABLE LOCATION ON SITE NOT EXIST, THE OWNER SHALL BE RESPONSIBLE FOR ALL FEES ASSOCIATED WITH REMOVAL AND DISPOSAL OF THE CAULCHIE.
- FINISH GRADE OF ALL PLANTING AREAS IS TO BE 1.5" BELOW ADJACENT PAVING UNLESS NOTED OTHERWISE.
- REFERENCE CIVIL ENGINEERING DRAWINGS FOR GRADING AND DRAINAGE FLOWS. THE CONTRACTOR SHALL BE RESPONSIBLE THAT THESE ARE PROVIDED FOR AND NOT IMPAIRED WITH OBSTRUCTIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR GRADING ALL AREAS AT THE DIRECTION OF THE LANDSCAPE ARCHITECT TO CREATE A NATURALLY UNDULATING GROUND PLANE.

INITIAL MAP:

SCALE: NTS



HARDSCAPE GENERAL NOTES:

- FOOTINGS, WALLS AND FENCES SHALL BE PLACED OUTSIDE OF THE PUBLIC RIGHT-OF-WAY.
- REFER TO CIVIL PLANS PREPARED BY CIVIL ENGINEERS FOR ALL INFORMATION REGARDING HORIZONTAL AND VERTICAL CONTROLS.
- ALL DETAILS SHALL BE REVIEWED BY A STRUCTURAL ENGINEER AND MODIFIED (IF NECESSARY) PRIOR TO CONSTRUCTION.
- ALL DIMENSIONS SHOWN ON THIS PLAN ARE BASED ON THE CIVIL PLAN SUBMITTED BY THE ARCHITECT. SHOULD DISCREPANCIES OCCUR, FIELD REVISIONS SHALL BE REQUIRED.
- THE CONTRACTOR SHALL HAVE SIDEWALK SURVEYED AND STAKED FOR REVIEW BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- IN ADDITION TO SUBMITTING MATERIAL SAMPLES OF ALL SITE RELATED MATERIALS, THE CONTRACTOR SHALL PREPARE A 4'X4' SAMPLE PANEL FOR EACH TYPE OF CONSTRUCTION, I.E., A) CONCRETE PAVERS, B) EXPOSED AGGREGATE PAVING, C) INTEGRAL COLORED CONCRETE, ETC., FOR APPROVAL BY THE LANDSCAPE ARCHITECT AND OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO FINAL CONSTRUCTION.
- UNLESS NOTED OTHERWISE ON CONSTRUCTION DOCUMENTS OR NOTED IN DETAILS, SIDEWALKS SHALL BE 5'-0" WIDE, 4" THICK, 3,000 PSI CONCRETE ON COMPACTED BASE WITH CONSTRUCTION JOINTS AT 5'-0" ON CENTER AND EXPANSION JOINTS AT 20'-0" ON CENTER. SIDEWALKS SHALL HAVE A MEDIUM BROWN, NON-SKID FINISH WITH 1/2" RADIUS TOOLED EDGES.
- RADIUS AT SIDEWALK INTERSECTIONS SHALL BE 5'-0" (TYPICAL), UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL LAYOUT AND VERIFY ALL HARDSCAPE ELEMENTS PRIOR TO CONSTRUCTION FOR REVIEW BY THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE. SHOULD DISCREPANCIES EXIST, CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE BEFORE PROCEEDING FURTHER.

SHEET INDEX:

COVER SHEET	1.0.0
DEMO PLAN	1.1.0
LAYOUT PLAN	1.2.1
PLANTING PLAN	1.3.1
IRRIGATION PLAN	1.4.1
LIGHTING PLAN	1.5.1
HARDSCAPE DETAILS	1.6.1-1.6.3
PLANTING DETAILS	1.7.1
PLANTING SPECIFICATIONS	1.8.1
IRRIGATION SPECIFICATIONS	1.8.2

CONSULTANT TEAM

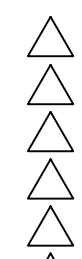
LANDSCAPE ARCHITECT/PLANNER:

GREEY | PICKETT
7144 E. STETSON DRIVE
SUITE 205
SCOTTSDALE, AZ 85251
PHONE: (480) 609-0009
FAX: (480) 609-0068
CONTACT: RUSS GREEY



SABA RESIDENCE

7819 N. Mohave Rd.
Paradise Valley, AZ 85253



project #:
SAB001

scale:
N/A

issued for:

drawn by:
TEAM

date:
08/18/20

drawing:
over

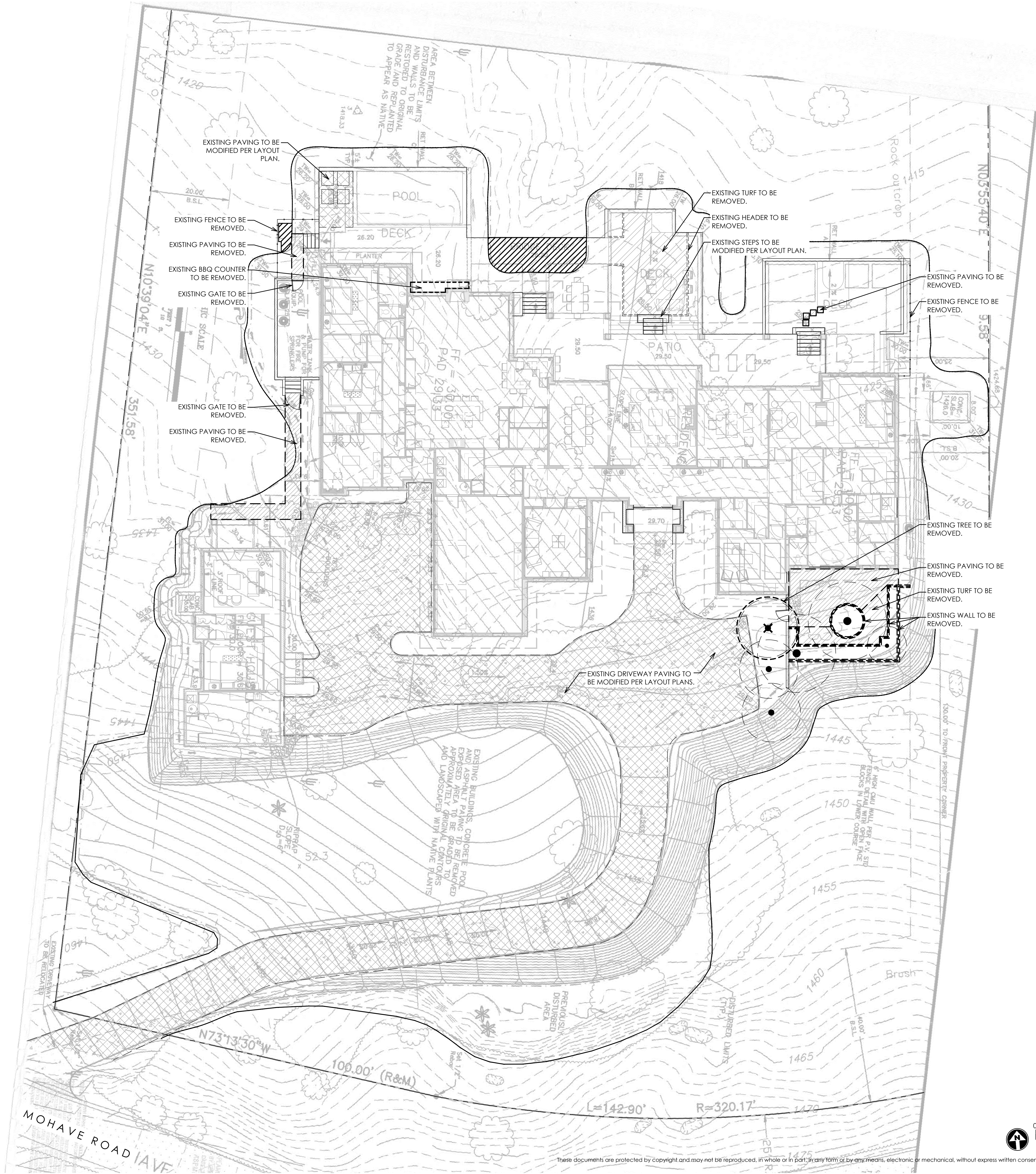
Avoid cutting underground utilities without utility.

Call before you dig.

1-800-227-2600

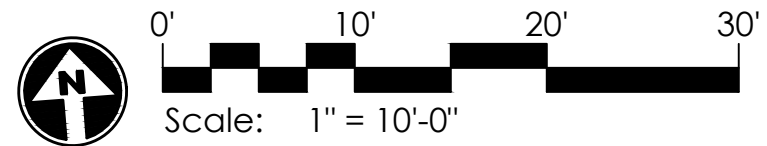
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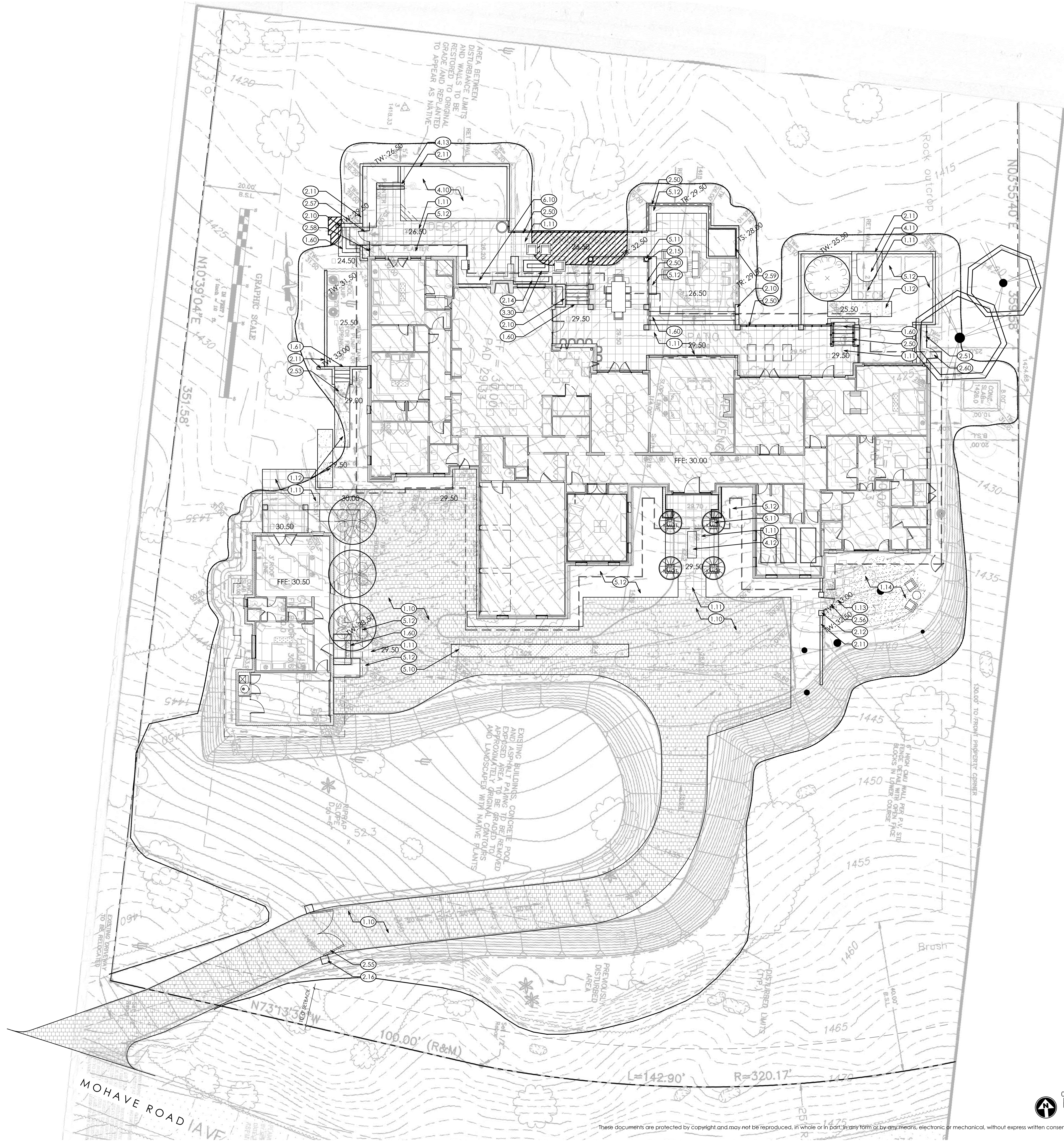
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of



- LEGEND
- EXISTING TREE TO REMAIN.
 - EXISTING TREE TO BE REMOVED.
 - EXISTING WALL TO BE REMOVED.
 - EXISTING PAVING TO BE REMOVED.
 - EXISTING DRIVEWAY: HARDSCAPE PAVING TO BE MODIFIED PER LAYOUT PLANS.
 - EXISTING TURF TO BE REMOVED.
 - EXISTING BBQ COUNTER TO BE REMOVED.
 - EXISTING HEADER TO BE REMOVED.
 - EXISTING FENCE: GATE TO BE REMOVED.

- DEMO NOTES:
- LANDSCAPE ARCHITECT WILL PLACE COLORED FLAGGING FOR PLANTS TO BE REMOVED AND REMAIN. LANDSCAPE CONTRACTOR MUST WALK SITE WITH LANDSCAPE ARCHITECT: OWNER PRIOR TO DEMO.
 - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL DAMAGE TO THE EXISTING WALKWAYS, CURBING, AND PAVEMENT DURING REMOVAL OF ALL EXISTING TREES AND PLANTING. IF DAMAGE OCCURS THE LANDSCAPE CONTRACTOR MUST REPLACE DAMAGED AREAS TO MATCH CONSTRUCTION TECHNIQUE, COLOR AND TEXTURE.
 - THE LANDSCAPE CONTRACTOR WILL REMOVE ALL STUMPS AND ROOTS IN THEIR ENTIRETY. TREES WITHIN CLOSE PROXIMITY OF EXISTING HARDSCAPE WILL BE DUG AND REMOVED BY HAND TO PROTECT SURROUNDING WALKWAYS, CURBING AND PAVEMENT.
 - THE LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE TO REMOVE ALL DEBRIS OFF SITE IN A TIMELY MANNER TO MAINTAIN A CLEAN AND ATTRACTIVE SITE DURING CONSTRUCTION.
 - ANY PLANT THAT CONTRACTOR REMOVES IN ERROR WILL BE REPLACED WITH LIKE SIZE AT THEIR COST.
 - CONTRACTOR TO PAINT AND REPAIR ALL MODIFICATIONS TO EXISTING WALLS.





- KEY NOTES**
- 10 EXISTING DRIVEWAY TO REMAIN. CONTRACTOR TO MODIFY PER LAYOUT PLAN.
 - 11 NEW PATIO PAVING: SILVER TRAVERTINE PAVING. RE-USE EXISTING CONCRETE SUB-BASE WHERE APPLICABLE. REPAIR/MODIFY EXISTING LAYOUT PER PLAN (LRV: 32%). SEE MATERIAL BOARD FOR FURTHER SPECIFICATIONS.
 - 12 COLORED CONCRETE. LIGHT ACID WASH FINISH. SAW CUT JOINTS. DAVIS COLOR; OUTBACK (LRV: 36%). SEE MATERIAL BOARD FOR FURTHER SPECIFICATIONS.
 - 13 SILVER TRAVERTINE STEPPING STONES TO MATCH KEYNOTE 1.11. PUDDLE SET. RANDOM LARGE SIZE SQUARES AND RECTANGLES. HOLD 6"-8" JOINTS. CONTRACTOR TO PROVIDE SAMPLE LAYOUT FOR APPROVAL PRIOR TO INSTALLATION (LRV: 32%). SEE MATERIAL BOARD FOR FURTHER SPECIFICATIONS.
 - 14 3/8" CRUSHED OZ PEA GRAVEL. CONTACT: MATT CROWLEY, OZ ARCHITECTS 480-443-4904 (LRV: 36%).
 - 15 STEPS, 6" RISERS, 14" TREAD. MATERIAL TO MATCH KEYNOTE 1.11.
 - 16 EXISTING STEPS TO REMAIN.
 - 17 12" WIDE MASONRY WALL. CLAD IN 'ACCENT' NATURAL STONE VENEER, LEUDERS 'BUFF' LIMESTONE (LRV: 34%). SEE MATERIAL BOARD FOR FURTHER SPECIFICATIONS.
 - 18 8" WIDE EXISTING WALL TO REMAIN.
 - 19 16" WIDE MASONRY WALL. CLAD IN 'ACCENT' NATURAL STONE VENEER, LEUDERS 'BUFF' LIMESTONE (LRV: 34%). SEE MATERIAL BOARD FOR FURTHER SPECIFICATIONS.
 - 20 24" WIDE MASONRY WALL. STUCCO AND PAINT TO MATCH HOUSE. NO CAP. STUCCO COLOR 'ETHEREAL MOOD', SW7639, (LRV: 38%). SEE MATERIAL BOARD FOR FURTHER SPECIFICATIONS.
 - 21 MASONRY BANCO, CLAD IN TILE TO MATCH ARCHITECTURE.
 - 22 20" SQ. COLUMN. STUCCO AND PAINT TO MATCH HOUSE. STONE CAP. STUCCO COLOR 'ETHEREAL MOOD', SW7639, (LRV: 38%). SEE MATERIAL BOARD FOR FURTHER SPECIFICATIONS.
 - 23 24" SQ. COLUMN. CLAD IN STONE TO MATCH ARCHITECTURE.
 - 24 RAILING PER ARCHITECT.
 - 25 3' TALL WROUGHT IRON FENCE.
 - 26 3' WIDE STEEL GATE TO MATCH KEYNOTE 2.51.
 - 27 EXISTING 4' WIDE UTILITY GATE.
 - 28 6' WIDE DECORATIVE DOUBLE STEEL GATES AT ENTRY.
 - 29 12' WIDE STEEL DOUBLE VEHICLE GATES.
 - 30 3'-6" WIDE GATE AT GARDEN PORTAL.
 - 31 3' WIDE GATE AT POOL PORTAL.
 - 32 6' TALL STEEL SCREEN FENCE TO MATCH KEYNOTE 2.57.
 - 33 1/4" THICK RAISED STEEL PLANTER.
 - 34 EXISTING GATE TO REMAIN.
 - 35 STEEL FIREPIT.
 - 36 EXISTING POOL TO REMAIN.
 - 37 EXISTING SPA TO REMAIN.
 - 38 NEW WATER FEATURE AT FRONT ENTRY.
 - 39 NEW MASONRY WATER WALL FEATURE WITH STEEL RUNNEL AT POOL. CLAD IN TILE VENEER TO MATCH ARCHITECTURE.
 - 40 SYNTHETIC TURF. SPEC: PARADISE GREENS 'XS' OR EQUIVALENT. CONTRACTOR TO PROVIDE SAMPLE ON SITE PRIOR TO PURCHASE OR INSTALL FOR OWNER APPROVAL.
 - 41 PLANTER POT. PROVIDE PLUMBING FOR IRRIGATION AND DRAINAGE. SEE DETAIL. SELECTION TBD.
 - 42 LANDSCAPE PLANTER.
 - 43 BBQ AND COUNTER, MASONRY STRUCTURE. STUCCO AND PAINT TO MATCH ARCHITECTURE. COUNTER PER INTERIOR DESIGNER.

- NOTES:**
- WALLS: IF RETAINING DAMP PROOF AND GROUT ALL CELLS BELOW GRADE. SEE PLAN FOR HEIGHT.
 - ALL GATES AND FENCING TO MEET POOL BARRIER STANDARDS.
 - POOL CONTRACTOR TO PROVIDE SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO CONSTRUCTION.
 - CONCRETE COLOR TO BE SELECTED BY OWNER. CONTRACTOR TO PROVIDE 2'X2' SAMPLE OF PROPOSED CONCRETE COLOR AND FINISH FOR APPROVAL BY OWNER PRIOR TO INSTALLATION.
 - ALL STEEL TO BE ELECTROSTATIC PAINTED TO MATCH ARCHITECTURAL STEEL. GRIND ALL WELDS SMOOTH.
 - ALL SPOT ELEVATIONS AND CALLOUTS ARE FOR DESIGN INTENT PURPOSES ONLY. REFER TO CIVIL PLAN FOR ALL GRADING AND DRAINAGE INFORMATION.
 - ALL MATERIALS TO MEET TOWN OF PARADISE VALLEY HILLSIDE LRV REQUIREMENTS, MAX 38%

GREY PICKETT
Landscape Architecture | Community Design
711 North 1st Street, Suite 100
Paradise Valley, Arizona 85251
480.509.0019p 480.509.0068f

08/18/20

CALL TWO WORKING DAYS BEFORE YOU LOG
(602) 362-1100
1-800-TAKE-IT
DO NOT TAKE IT TO THE NEXT LEVEL

SABA RESIDENCE

7819 N. Mohave Rd.
Paradise Valley, AZ 85253

project #: SAB001

scale: 1" = 10'-0"

issued for:

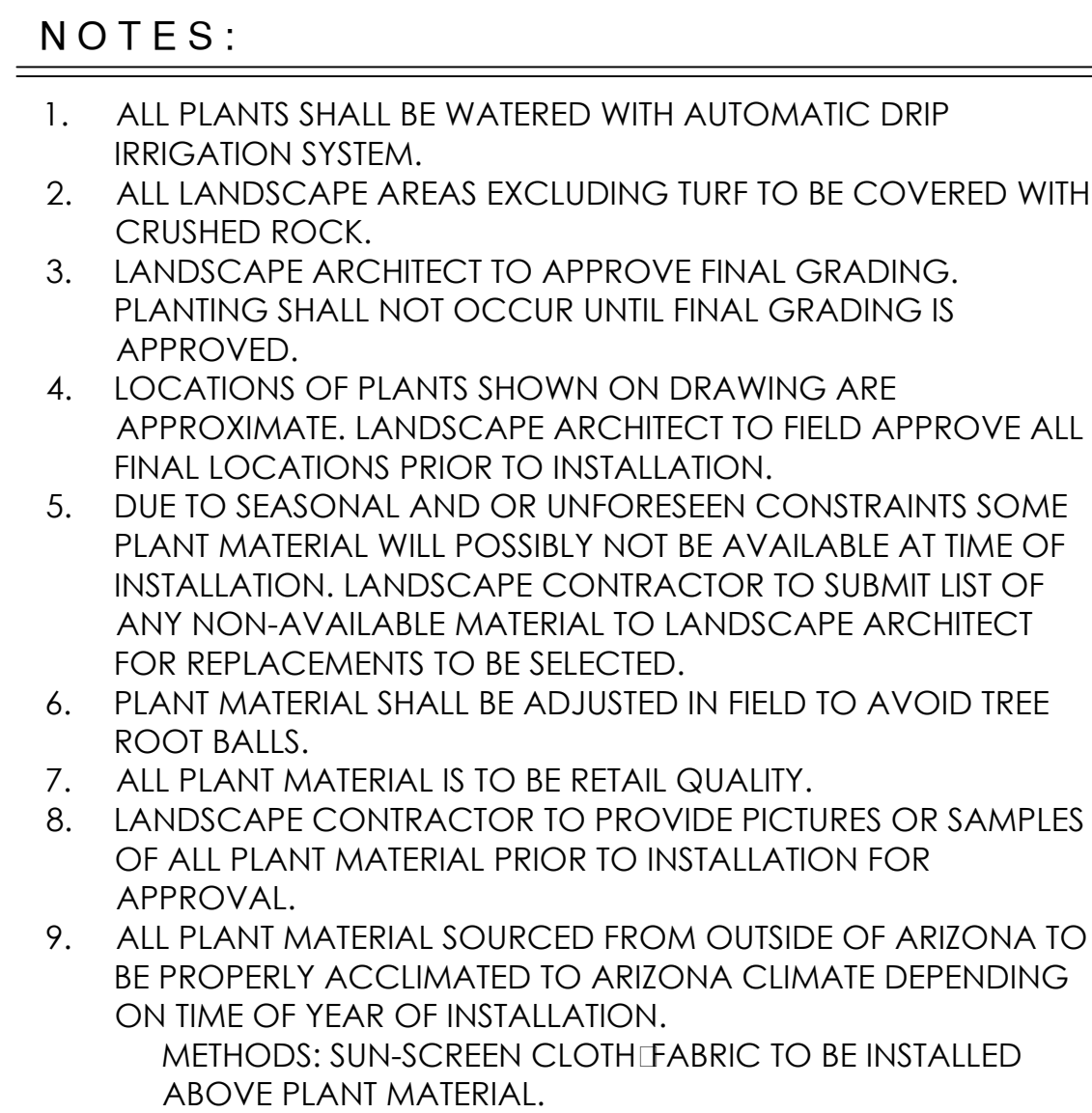
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


























date: 08/18/20

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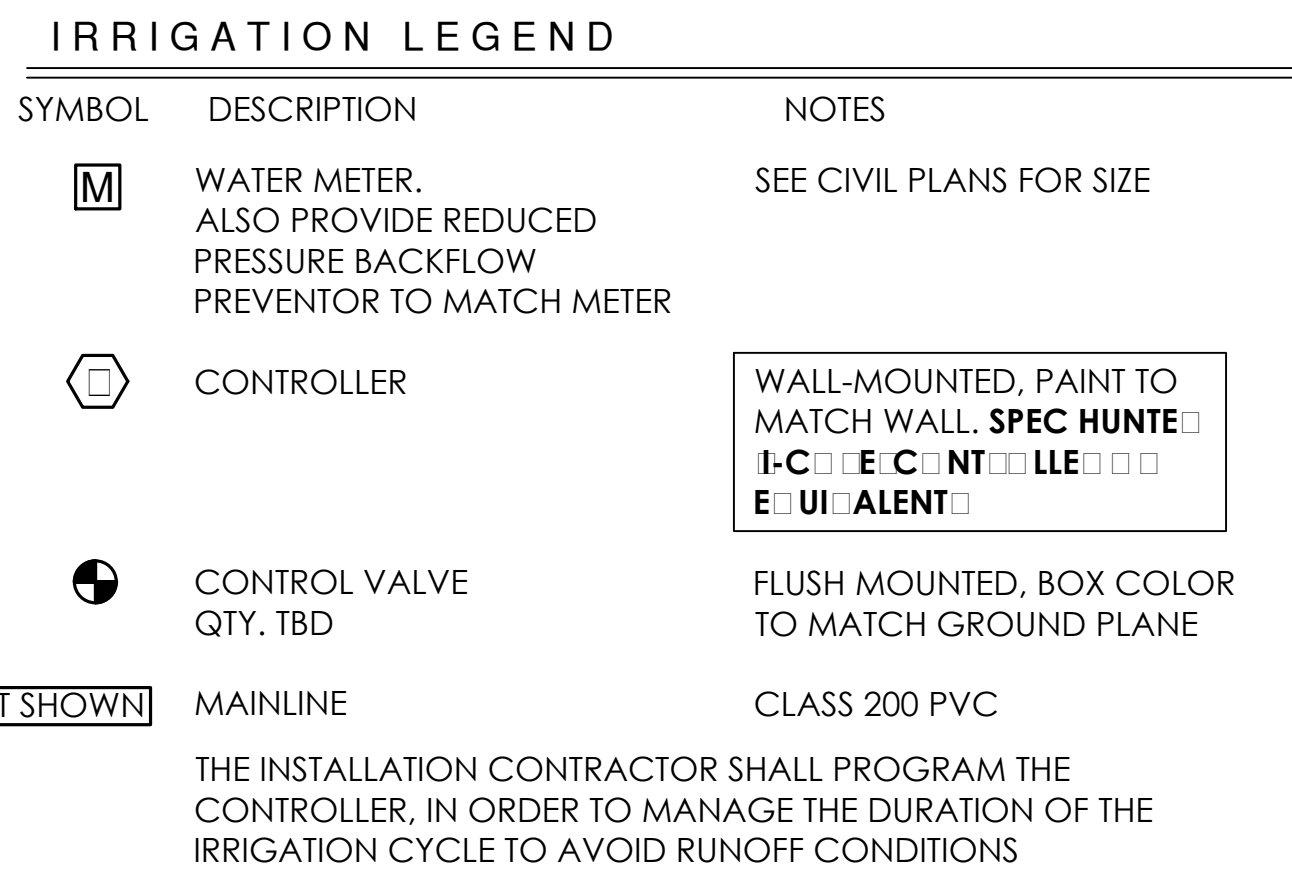


Accents Cactus				
	<i>A'ave</i>  <i>lo</i> 	5 gal.	9	-
	<i>A'ave</i>  <i>eri</i>	5 gal.	3	-
	<i>A. ave ovati oia</i>	5 gal.	1	-
	<i>Aloe</i> 	5 gal.	3	-
	<i>Aloe</i>  <i>ooi' appie</i>	5 gal.	12	-
	<i>Aloe</i>  <i>ue</i>  <i>El</i> 	5 gal.	6	-
	<i>Euphor</i>  <i>ia antis</i>  <i>philitica</i>	5 gal.	2	-
	<i>Euphor</i>  <i>ia</i>  <i>landulosa</i>	5 gal.	5	-
	<i>Euphor</i>  <i>ia ro' leana</i>	5 gal.	1	-
	 <i>erocactus</i>  <i>ractilis</i>	5 gal.	3	-
	 <i>esperaloe</i>  <i>uni ara</i>	5 gal.	1	-
	 <i>puntia</i>  <i>asilaris</i>	5 gal.	5	-

NOTES:

1. ALL PLANTS SHALL BE WATERED WITH AUTOMATIC DRIP IRRIGATION SYSTEM.
2. ALL LANDSCAPE AREAS EXCLUDING TURF TO BE COVERED WITH CRUSHED ROCK.
3. LANDSCAPE ARCHITECT TO APPROVE FINAL GRADING. PLANTING SHALL NOT OCCUR UNTIL FINAL GRADING IS APPROVED.
4. LOCATIONS OF PLANTS SHOWN ON DRAWING ARE APPROXIMATE. LANDSCAPE ARCHITECT TO FIELD APPROVE ALL FINAL LOCATIONS PRIOR TO INSTALLATION.
5. DUE TO SEASONAL AND/OR UNFORESEEN CONSTRAINTS SOME PLANT MATERIAL WILL POSSIBLY NOT BE AVAILABLE AT TIME OF INSTALLATION. LANDSCAPE CONTRACTOR TO SUBMIT LIST OF ANY NON-AVAILABLE MATERIAL TO LANDSCAPE ARCHITECT FOR REPLACEMENTS TO BE SELECTED.
6. PLANT MATERIAL SHALL BE ADJUSTED IN FIELD TO AVOID TREE ROOT BALLS.
7. ALL PLANT MATERIAL IS TO BE RETAIL QUALITY.
8. LANDSCAPE CONTRACTOR TO PROVIDE PICTURES OR SAMPLES OF ALL PLANT MATERIAL PRIOR TO INSTALLATION FOR APPROVAL.
9. ALL PLANT MATERIAL SOURCED FROM OUTSIDE OF ARIZONA TO BE PROPERLY ACCLIMATED TO ARIZONA CLIMATE DEPENDING ON TIME OF YEAR OF INSTALLATION.
METHODS: SUN-SCREEN CLOTH FABRIC TO BE INSTALLED ABOVE PLANT MATERIAL.

7819 N. Mohave Rd.
Paradise Valley, AZ 85253



SLEEVE SCHEDULE	
PIPE OR WIRE BUNDLE	REQUIRED SLEEVE
3-4", 1", 1-1/4" PIPE	1-2" PVC SLEEVE PER PIPE
1-1/2", 2" PIPE	1-4" PVC SLEEVE PER PIPE
1-25 CONTROL WIRES	1-2" PVC SLEEVE
26-55 CONTROL WIRES	2-3" PVC SLEEVE

EMITTER SCHEDULE					
INSTALL BOWSMITH "ML-220" SERIES PRESSURE COMPENSATING EMITTERS AS FOLLOWS:					
Plant type	Plant size	Emitters per Plant	GPH Outlet	# of Outlets	Total GPH/Plant
TREES	15 gal.	1 Multi-Outlet	2 GPH	3	6 GPH
	24" Box	1 Multi-Outlet	2 GPH	4	8 GPH
	36" Box	1 Multi-Outlet	2 GPH	5	10 GPH
	48" Box	1 Multi-Outlet	2 GPH	6	12 GPH
Palms	20'	2 Multi-Outlet	2 GPH	12	24 GPH
INSTALL BOWSMITH "S" SERIES PRESSURE COMPENSATING EMITTERS AS FOLLOWS:					
SHRUBS	1 gallon	2 Single per Plant	1:2 GPH	2	1 GPH
	5 gallon	2 Single per Plant	2 GPH	2	4 GPH
NOTES:					

NOTES:
ALL SHRUBS SPACED 18 INCHES OR CLOSER SHALL RECEIVE ONLY ONE DRIP
EMITTER. SHRUBS SPACED GREATER THAN 18 INCHES TO RECEIVE EMITTERS
PER THE ABOVE SCHEDULE.


ALL EMISSION POINTS TO BE LOCATED ON THE UPHILL SIDE OF PLANT MATERIAL. ONE EMISSION POINT TO BE LOCATED AT THE PLANT BALL, WITH THE ADDITIONAL POINTS WITHIN PLANT PIT PERIMETER.

ALL PIPING SHALL BE THOROUGHLY FLUSHED PRIOR TO EMITTER INSTALLATION. CONTRACTOR IS RESPONSIBLE FOR ANY NECESSARY FLUSHING OF EMITTERS DUE TO CLOGGING FOR THE DURATION OF THE MAINTENANCE PERIOD. ANY PLANT MATERIAL THAT DIES DUE TO EMITTER CLOGGING SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST.

NOTE:	<ul style="list-style-type: none"> • LANDSCAPE CONTRACTOR TO VERIFY THE FUNCTIONALITY OF EXISTING IRRIGATION SYSTEM AND DETERMINE IF AVAILABLE VALVES ARE SUFFICIENT PER THE PLAN. • CONTRACTOR TO TIE INTO EXISTING IRRIGATION AND REPAIR AS NECESSARY. • VALVE BOX LOCATION TO BE FIELD LOCATED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. <ol style="list-style-type: none"> 1. IRRIGATION SYSTEM TO BE ALL HARD PIPE PVC. 2. INSTALL MULTI-PORT EMITTERS. 3. USE INLINE EMITTERS, NO FLAG EMITTERS. 4. CONTRACTOR TO SUBMIT SHOP DRAWINGS OR CONTACT LANDSCAPE ARCHITECT FOR PROPOSED IRRIGATION SYSTEM FOR APPROVAL PRIOR TO CONSTRUCTION.
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LIGHTING CUT SHEETS

FX Luminaire




NP Up Light Specifications

Output	3-LED	6-LED	9-LED	20C
Total Lumens	1,100	2,200	3,300	1,100
Input Voltage	120V AC	120V AC	120V AC	120V AC
Max Power (W)	15	30	45	15
Life Span (hrs)	50,000	50,000	50,000	50,000
Beam Spread (deg)	120	120	120	120
Color Temperature (K)	2700	2700	2700	2700
Dimmable	Yes	Yes	Yes	Yes
Material	Aluminum	Aluminum	Aluminum	Aluminum
Finish	Brushed Aluminum	Brushed Aluminum	Brushed Aluminum	Brushed Aluminum
Weight (lbs)	0.5	1.0	1.5	0.5
Dimensions (in)	3.5 x 3.5 x 3.5	3.5 x 3.5 x 3.5	3.5 x 3.5 x 3.5	3.5 x 3.5 x 3.5
Notes	See Notes			

JS Path Light Specifications

Output	3-LED	6-LED	9-LED	20C
Total Lumens	1,100	2,200	3,300	1,100
Input Voltage	120V AC	120V AC	120V AC	120V AC
Max Power (W)	15	30	45	15
Life Span (hrs)	50,000	50,000	50,000	50,000
Beam Spread (deg)	120	120	120	120
Color Temperature (K)	2700	2700	2700	2700
Dimmable	Yes	Yes	Yes	Yes
Material	Aluminum	Aluminum	Aluminum	Aluminum
Finish	Brushed Aluminum	Brushed Aluminum	Brushed Aluminum	Brushed Aluminum
Weight (lbs)	0.5	1.0	1.5	0.5
Dimensions (in)	3.5 x 3.5 x 3.5	3.5 x 3.5 x 3.5	3.5 x 3.5 x 3.5	3.5 x 3.5 x 3.5
Notes	See Notes			


JS Path Light



LF Ledge Light Specifications

Output	3-LED	6-LED	9-LED	20C
Total Lumens	1,100	2,200	3,300	1,100
Input Voltage	120V AC	120V AC	120V AC	120V AC
Max Power (W)	15	30	45	15
Life Span (hrs)	50,000	50,000	50,000	50,000
Beam Spread (deg)	120	120	120	120
Color Temperature (K)	2700	2700	2700	2700
Dimmable	Yes	Yes	Yes	Yes
Material	Aluminum	Aluminum	Aluminum	Aluminum
Finish	Brushed Aluminum	Brushed Aluminum	Brushed Aluminum	Brushed Aluminum
Weight (lbs)	0.5	1.0	1.5	0.5
Dimensions (in)	3.5 x 3.5 x 3.5	3.5 x 3.5 x 3.5	3.5 x 3.5 x 3.5	3.5 x 3.5 x 3.5
Notes	See Notes			


LF Ledge Light



LF Ledge Light Specifications

Output	3-LED	6-LED	9-LED	20C
Total Lumens	1,100	2,200	3,300	1,100
Input Voltage	120V AC	120V AC	120V AC	120V AC
Max Power (W)	15	30	45	15
Life Span (hrs)	50,000	50,000	50,000	50,000
Beam Spread (deg)	120	120	120	120
Color Temperature (K)	2700	2700	2700	2700
Dimmable	Yes	Yes	Yes	Yes
Material	Aluminum	Aluminum	Aluminum	Aluminum
Finish	Brushed Aluminum	Brushed Aluminum	Brushed Aluminum	Brushed Aluminum
Weight (lbs)	0.5	1.0	1.5	0.5
Dimensions (in)	3.5 x 3.5 x 3.5	3.5 x 3.5 x 3.5	3.5 x 3.5 x 3.5	3.5 x 3.5 x 3.5
Notes	See Notes			

LF Ledge Light



LF Ledge Light Specifications

Output	3-LED	6-LED	9-LED	20C
Total Lumens	1,100	2,200	3,300	1,100
Input Voltage	120V AC	120V AC	120V AC	120V AC
Max Power (W)	15	30	45	15
Life Span (hrs)	50,000	50,000	50,000	50,000
Beam Spread (deg)	120	120	120	120
Color Temperature (K)	2700	2700	2700	2700
Dimmable	Yes	Yes	Yes	Yes
Material	Aluminum	Aluminum	Aluminum	Aluminum
Finish	Brushed Aluminum	Brushed Aluminum	Brushed Aluminum	Brushed Aluminum
Weight (lbs)	0.5	1.0	1.5	0.5
Dimensions (in)	3.5 x 3.5 x 3.5	3.5 x 3.5 x 3.5	3.5 x 3.5 x 3.5	3.5 x 3.5 x 3.5
Notes	See Notes			

NOTE: CONTRACTOR TO SALVAGE AND STOCKPILE ALL EXISTING LIGHTS FOR RE-USE. REPAIR AND REPLACE LED BULBS AS NECESSARY AND INSTALL PER PLAN. LANDSCAPE ARCHITECT TO FIELD LOCATE FINAL PLACEMENT OF ALL LIGHTING FIXTURES. ALL NEW LIGHTS TO MATCH SPECS OF EXISTING LIGHTS.

HILLSIDE OUTDOOR LIGHTING REQUIREMENTS:

25 LIGHTS

AREA OF LOT:

8 LIGHTS

ALLOWABLE DISTURBED AREA: (58.3%)

LANDSCAPE UP-LIGHTING:





LIMITED TO ONE (1) FIXTURE PER 1,000 S.F. OF ALLOWABLE DISTURBED AREA.

UP-LIGHTS PERMITTED:

UP-LIGHTS PROVIDED:

NOTE: ALL OTHER LIGHTING (LUMINAIRE) IS CONSIDERED 'SAFETY LIGHTING' USED TO ILLUMINATE VEHICULAR AND PEDESTRIAN CIRCULATION. AND DOES NOT EMIT LIGHT RAYS ABOVE A HORIZONTAL PLANE.

LIGHTING FIXTURE SCHEDULE

SYMBOL	QTY	MANUFACTURER	MODEL #	COLOR	DESCRIPTION	LED	WATAGE	LUMENS	COLOR TEMPERATURE
	8	FX LUMINAIRE	NP-3LED-BZ	BRONZE METALLIC	LOW VOLTAGE UPLIGHT	3 LED	4.2 W	90	2700K
	34	FX LUMINAIRE	JSLEDTA-BZ G-3LED-12RA-BZ	BRONZE METALLIC	LOW VOLTAGE PATHLIGHT	3 LED	4.2 W	90	2700K
	20	FX LUMINAIRE	LF-1LED-W-FB	FLAT BLACK	LOW VOLTAGE STEP LIGHT	1 LED	2.0 W	78	2700K
	-	FX LUMINAIRE	-	-	LOW VOLTAGE TRANSFORMER (CONTRACTOR TO SPECIFY QUANTITY NEEDED)				

LIGHTING NOTES

- CONTRACTOR SHALL VERIFY ALL SPECIFICATIONS, COLORS, AND FINISHES WITH OWNER PRIOR TO ORDERING OR INSTALLING.
- LANDSCAPE ARCHITECT TO FIELD APPROVE ALL LIGHTS.

GREY PICKETT

landscape architecture | community design

7140 North 15th Avenue, Suite 100

Phoenix, Arizona 85018

480.609.0099 | 480.609.0068

PROJECT #:

SAB001

SCALE:

1" = 10'-0"

ISSUED FOR:

DRAWN BY:

TEAM

DATE:

08/18/20

DRAWING:

Lighting Plan

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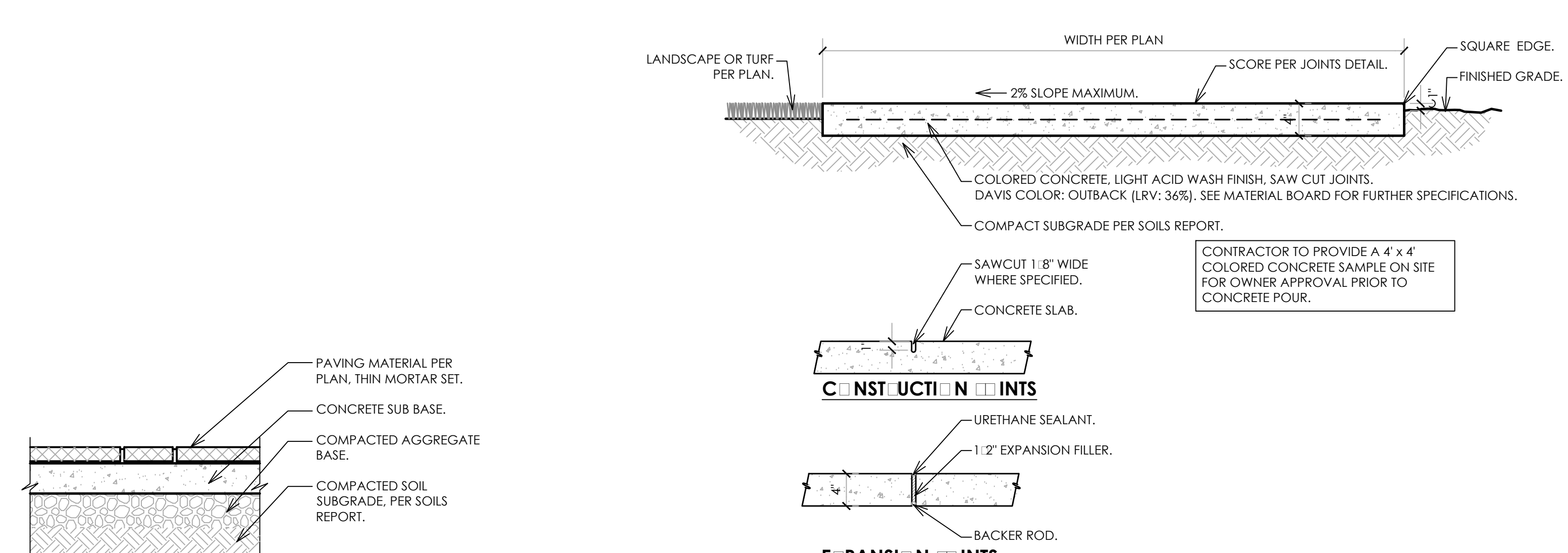
PROJECT #:

SAB001

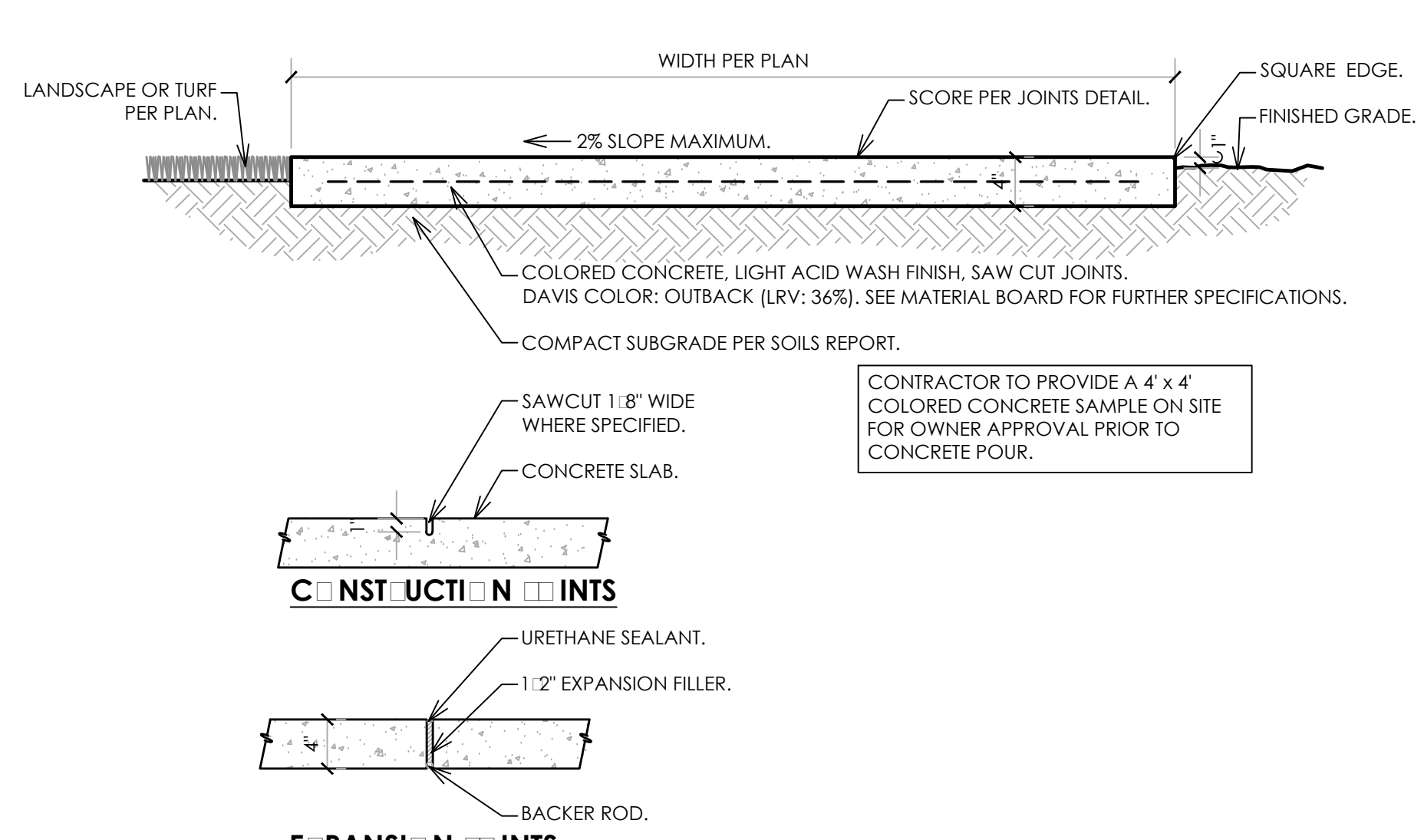
SCALE:

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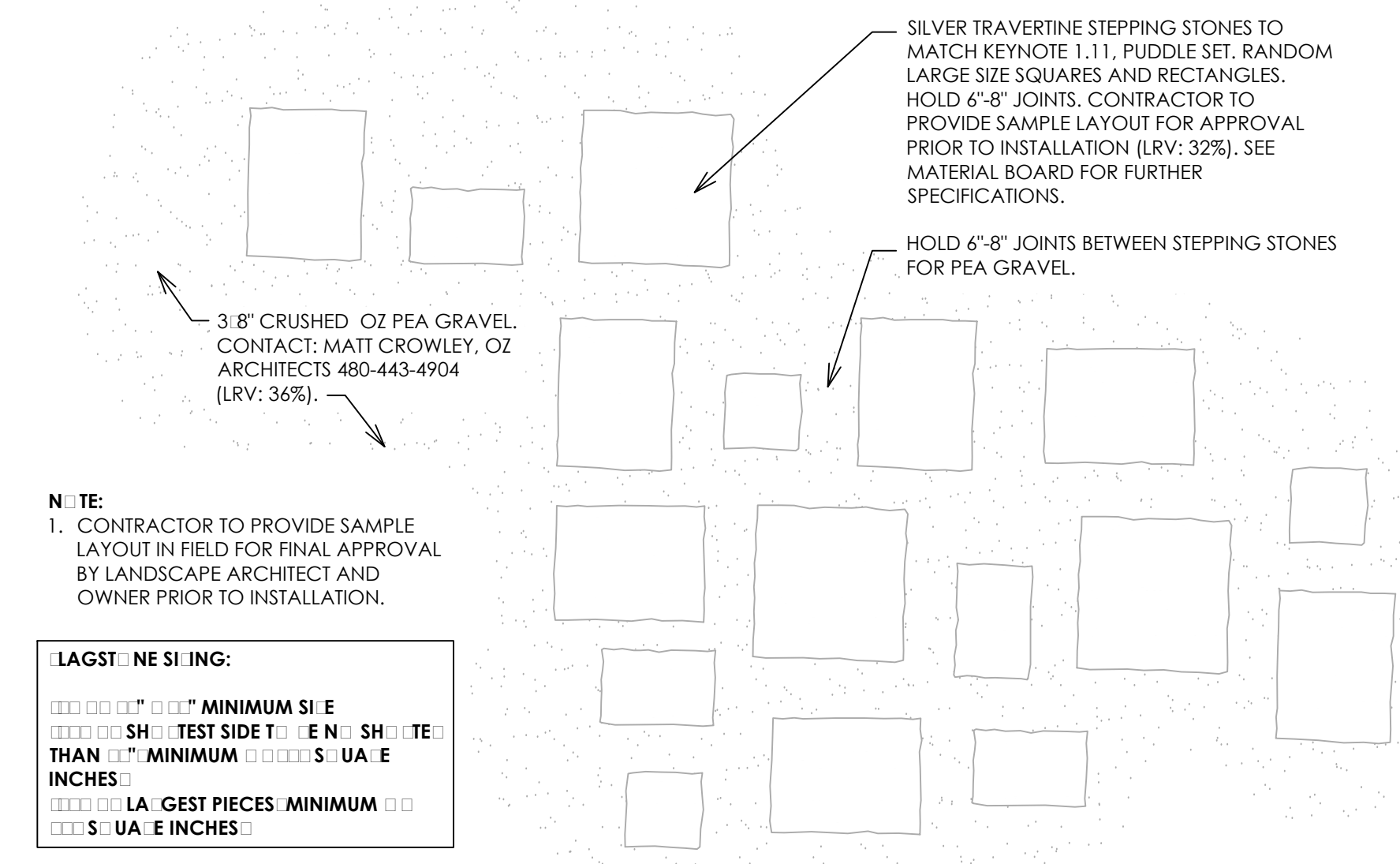
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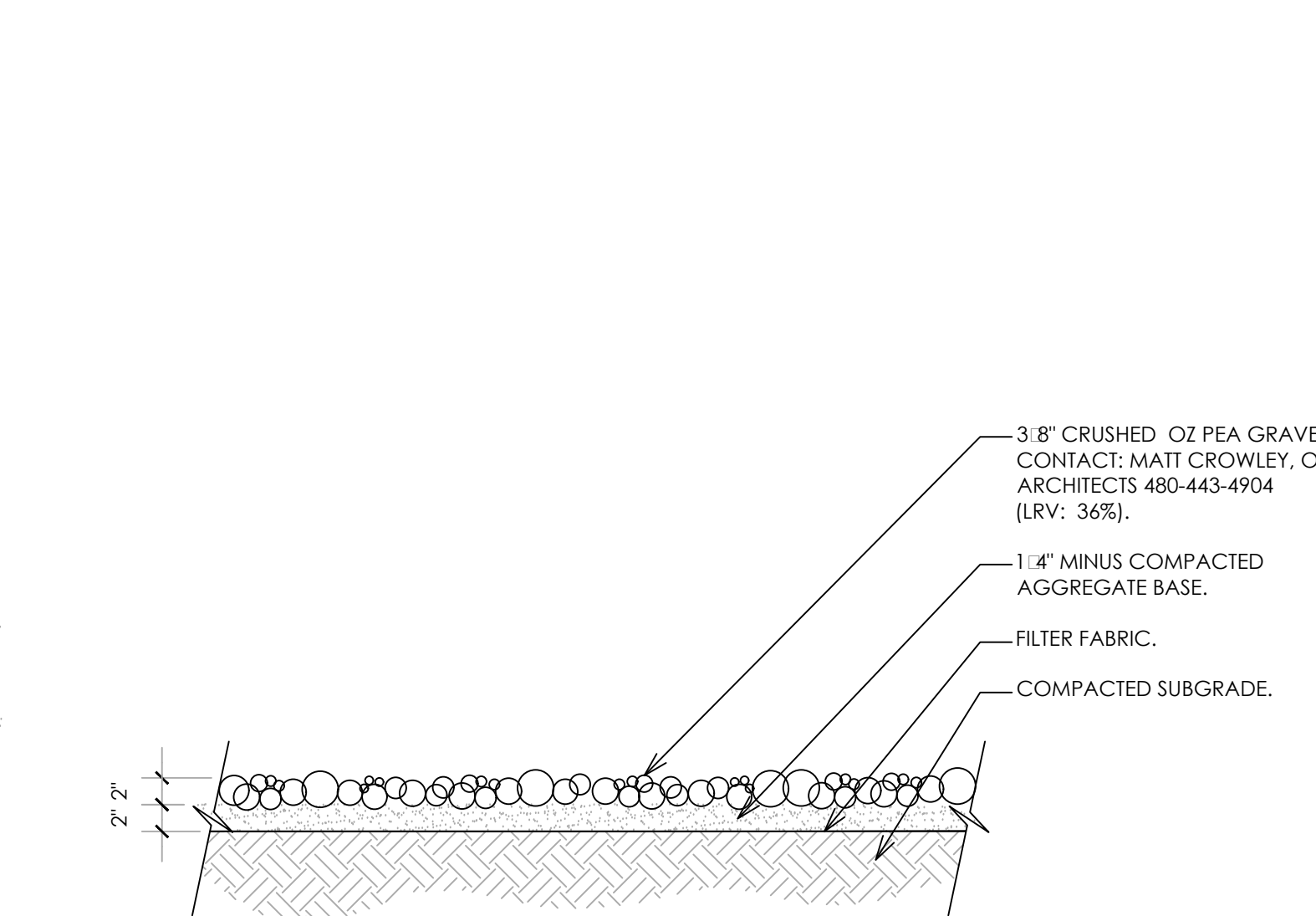
1.11 Ratio Paving on Concrete Sub-base
Scale: 1" = 1'-0"



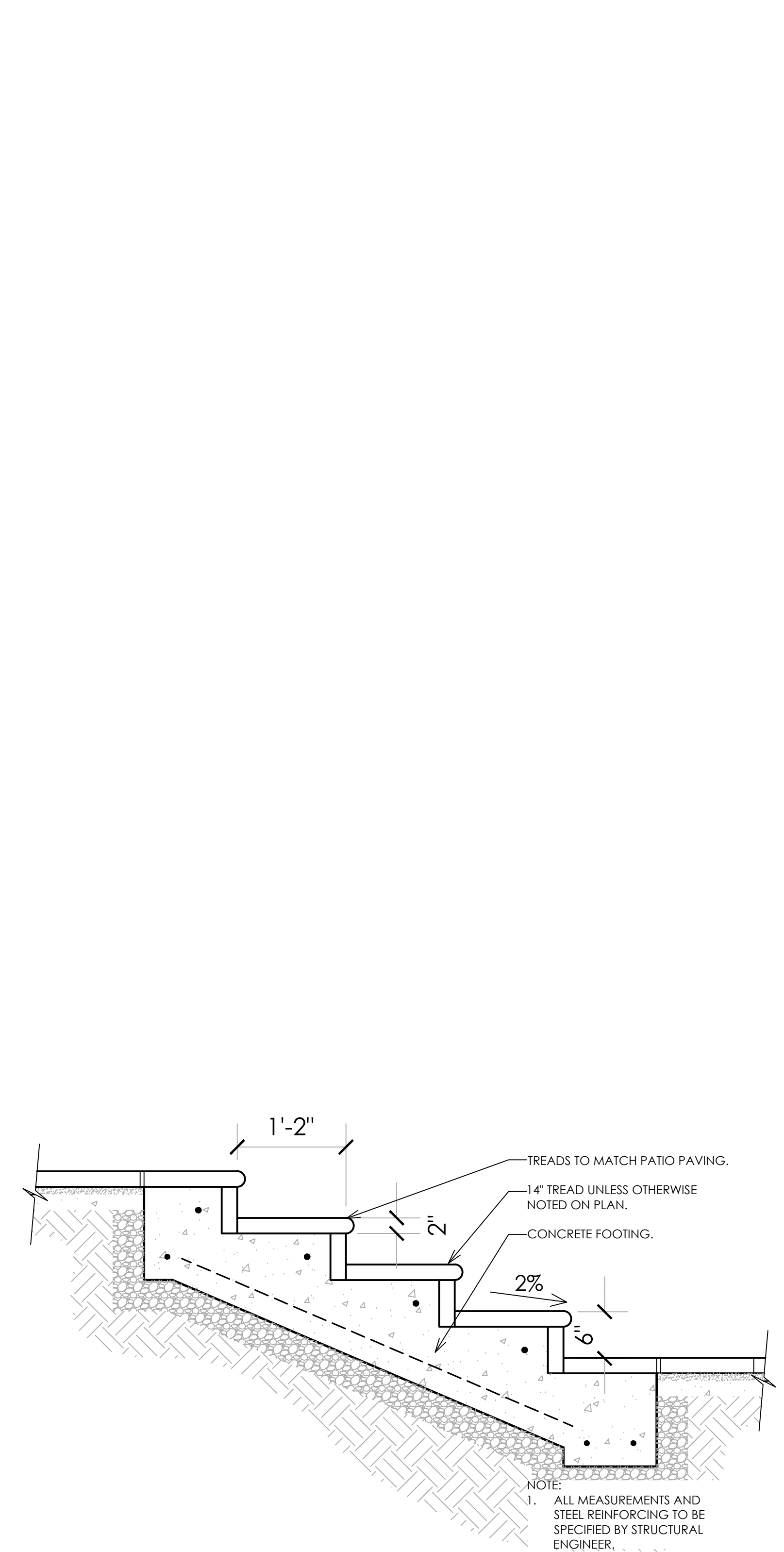
1.12 Colored Concrete
Scale: 1" = 1'-0"



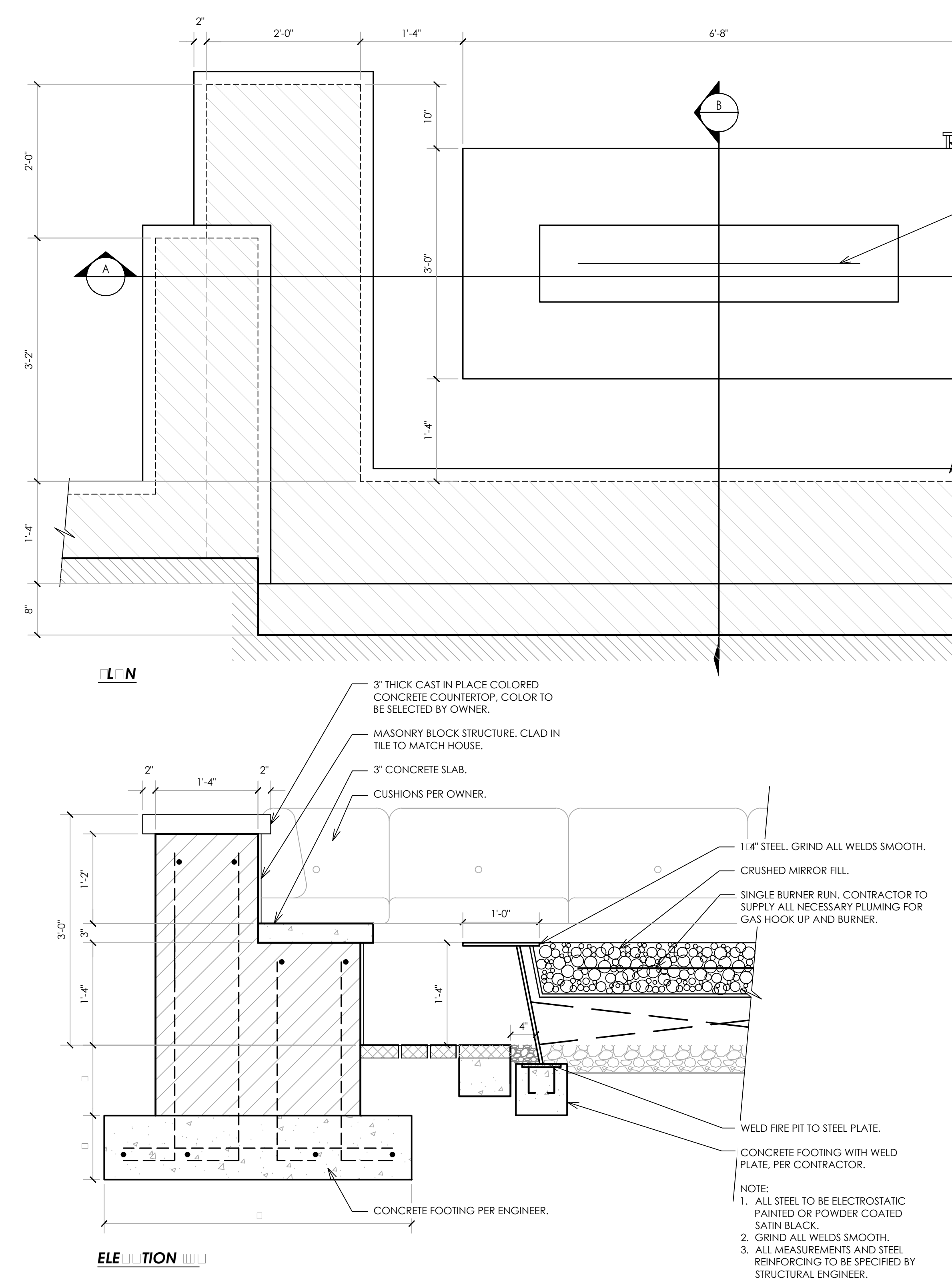
1.13 Stepping Stones
Scale: 3/8" = 1'-0"



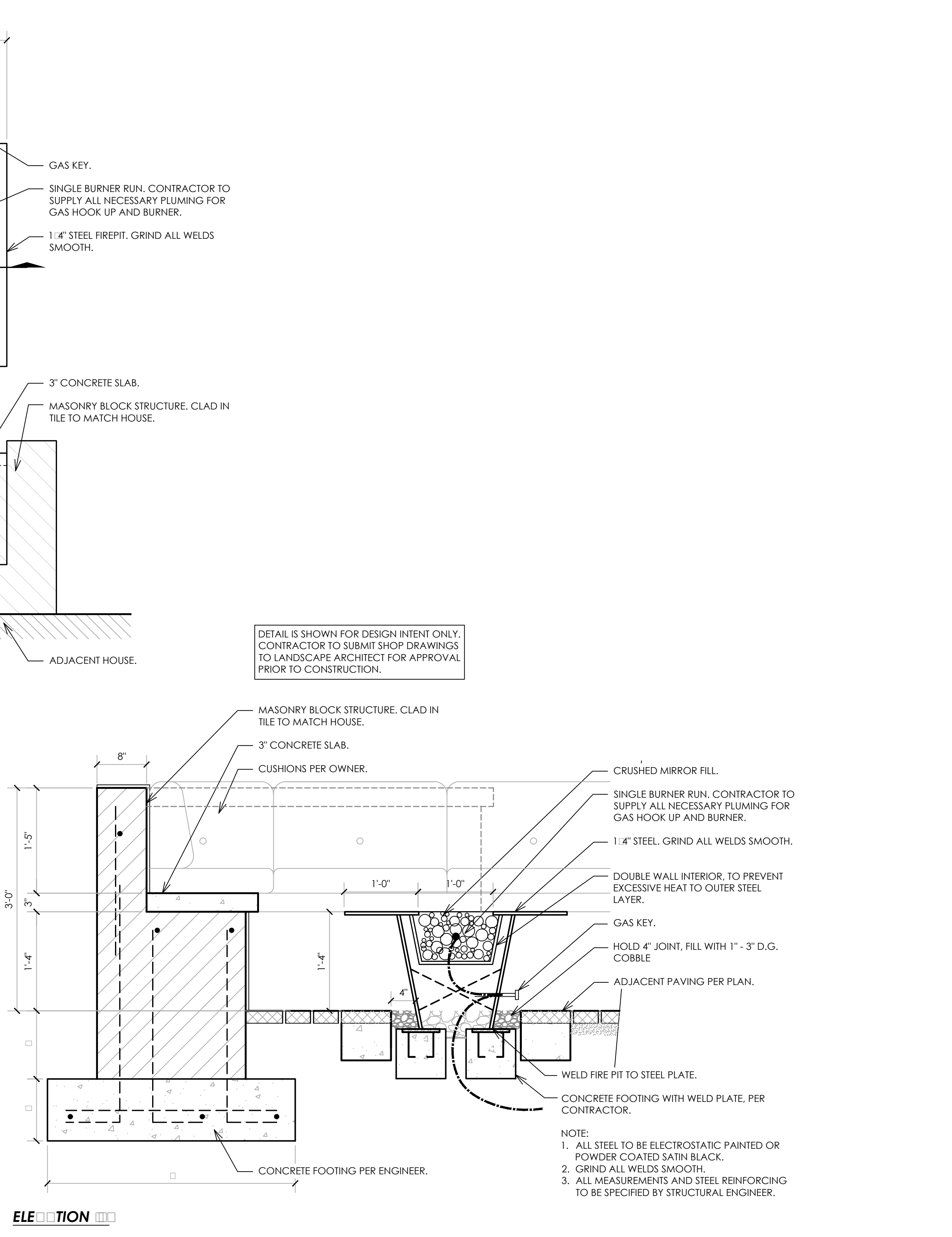
1.14 Pea Gravel
Scale: 1" = 1'-0"



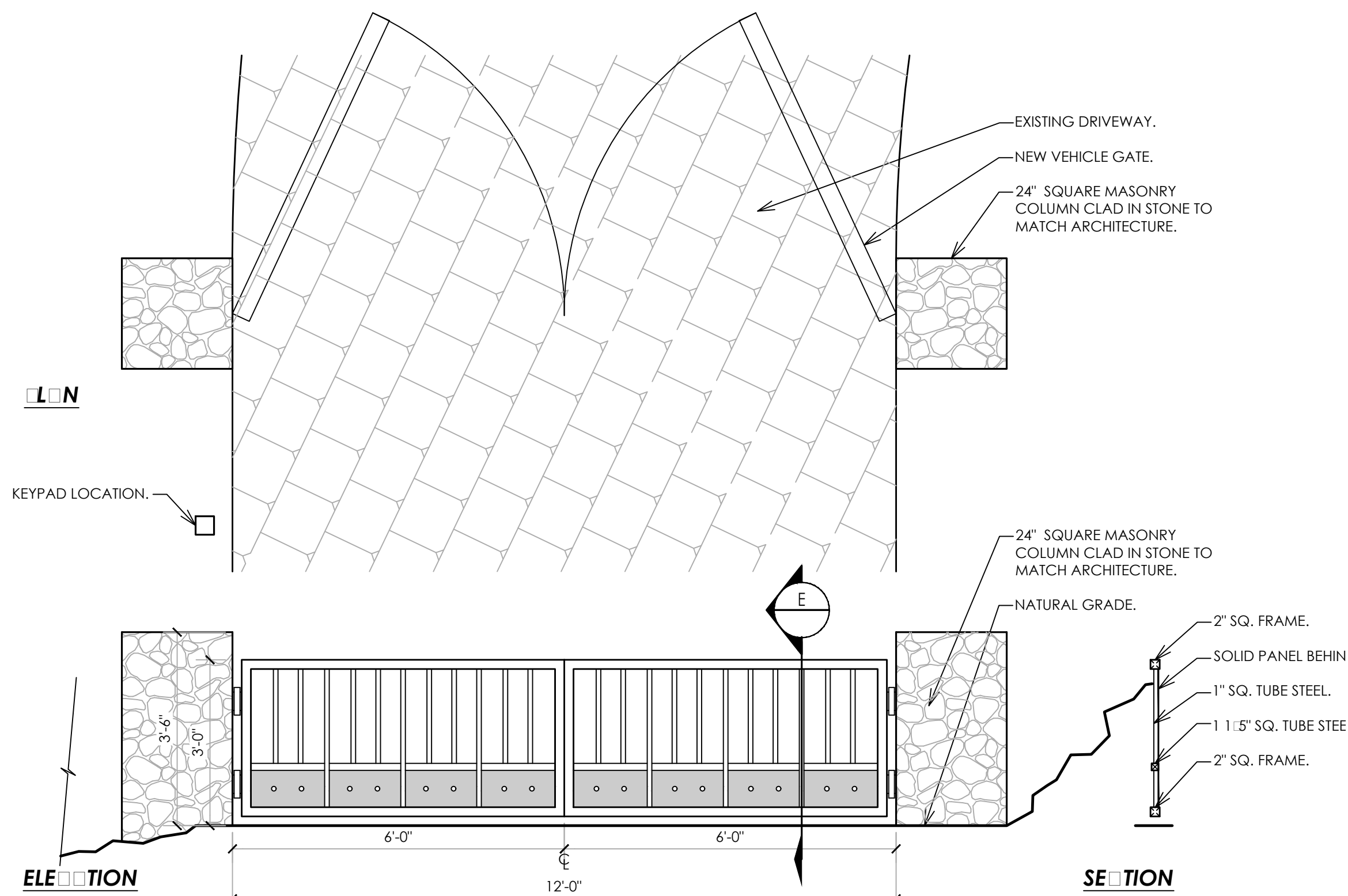
1.15 Steps 6" Risers, 14" Tread
Scale: 1/2" = 1'-0"



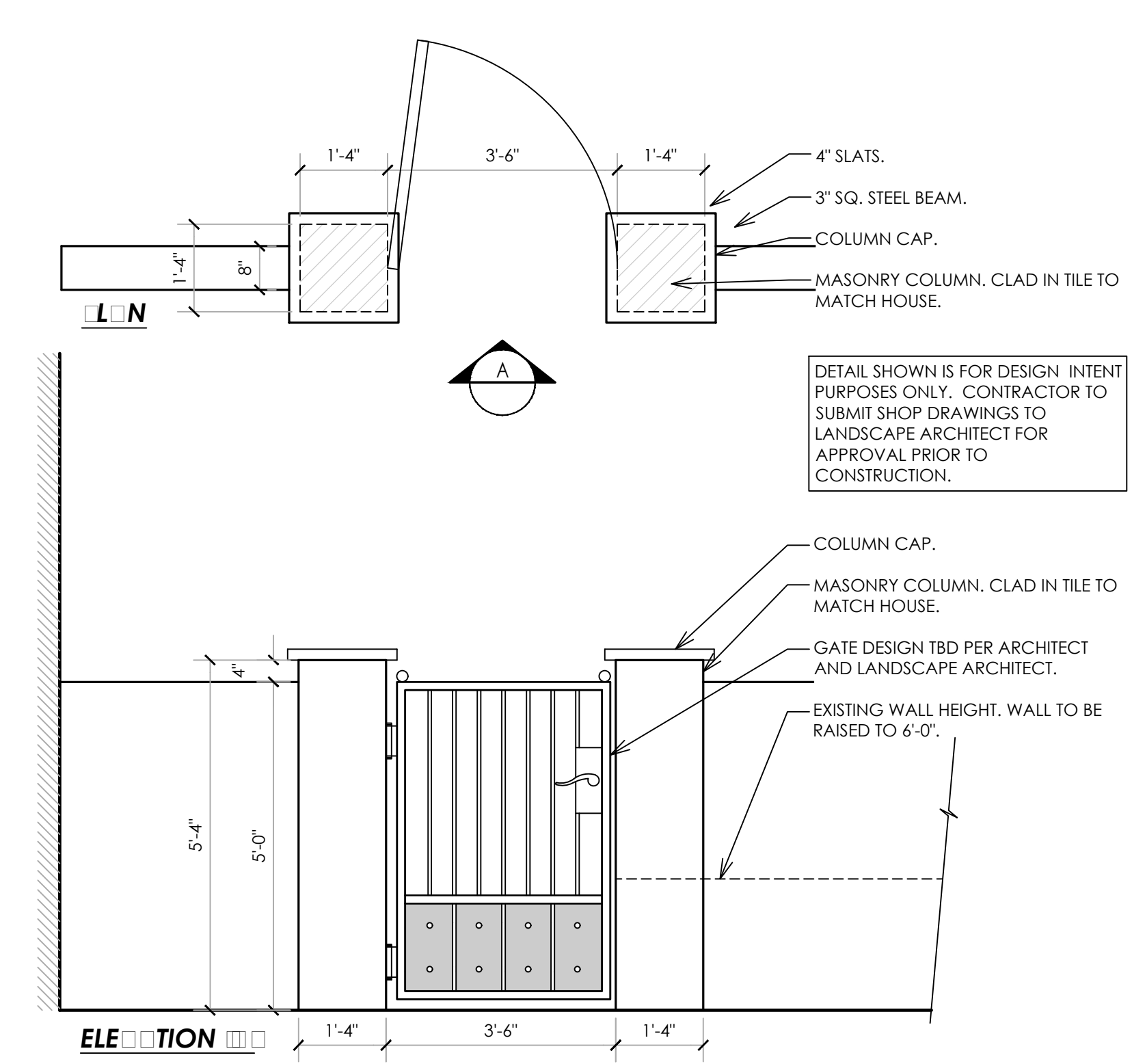
1.16 Masonry Planco
Scale: 1" = 1'-0"



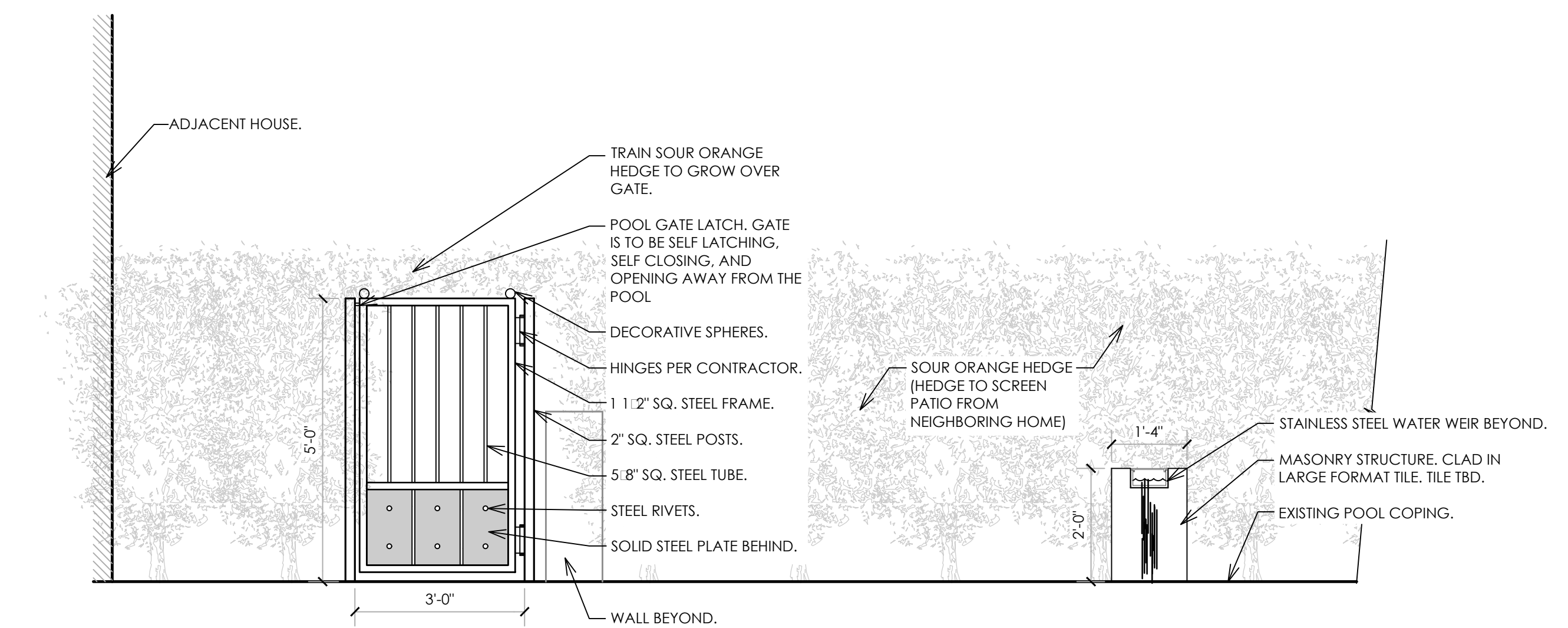
1.17 Masonry Section
Scale: 1" = 1'-0"



2.55 12 inch wide Steel Double Vehicle Gate
Scale: 1/2" = 1'-0"

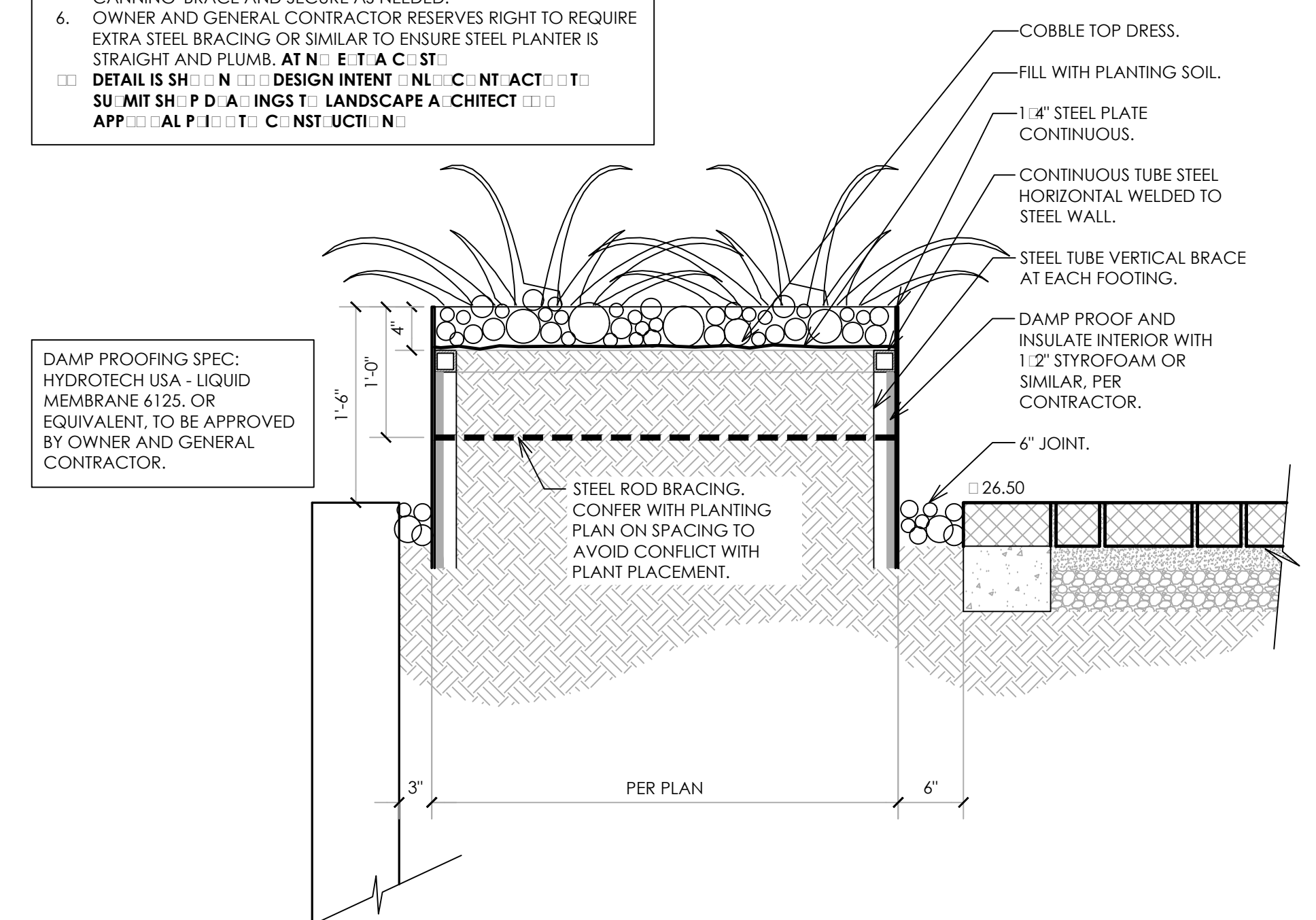


2.56 Garden Portal
Scale: 1/2" = 1'-0"

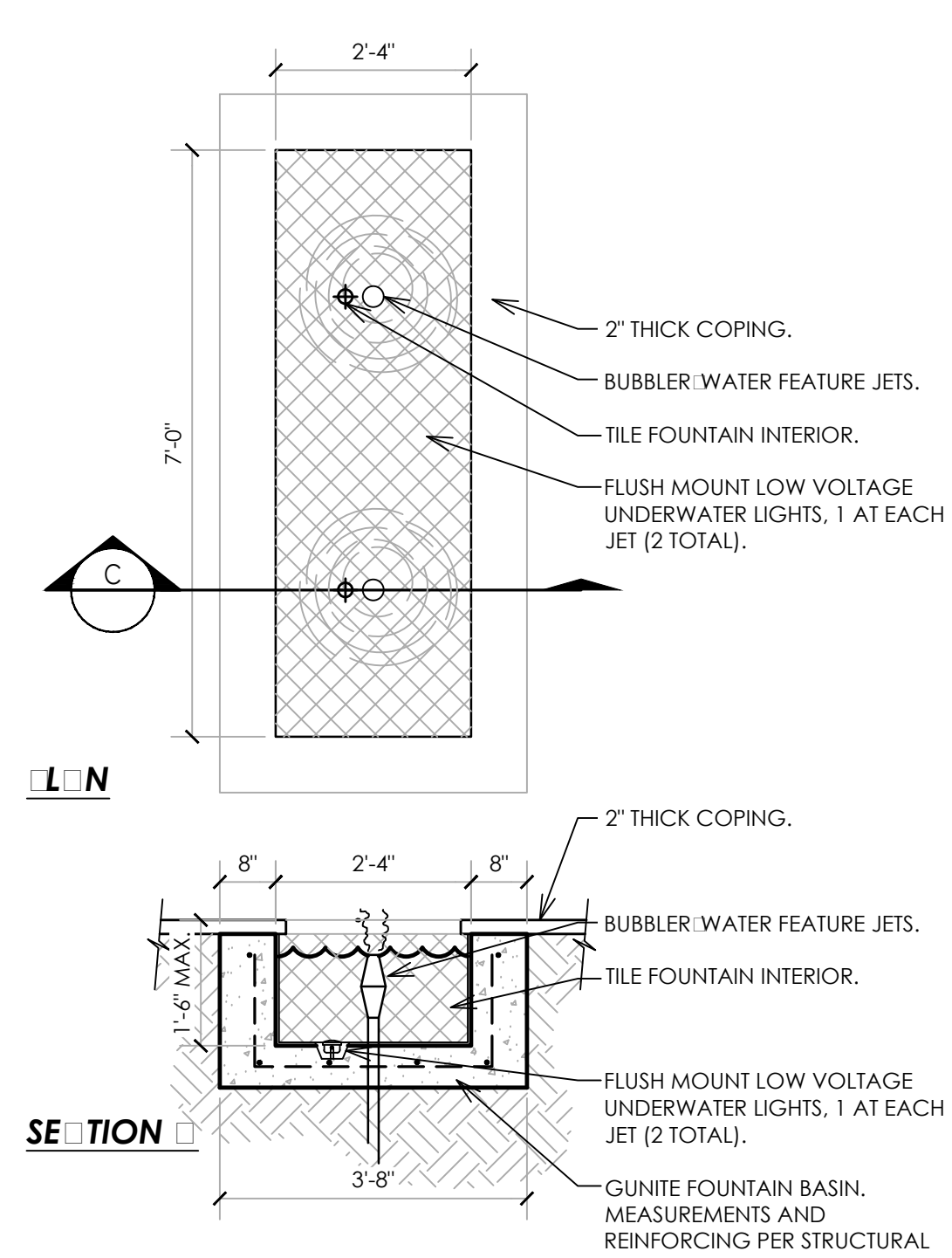


2.57 Gate at Pool Portal
Scale: 1/2" = 1'-0"

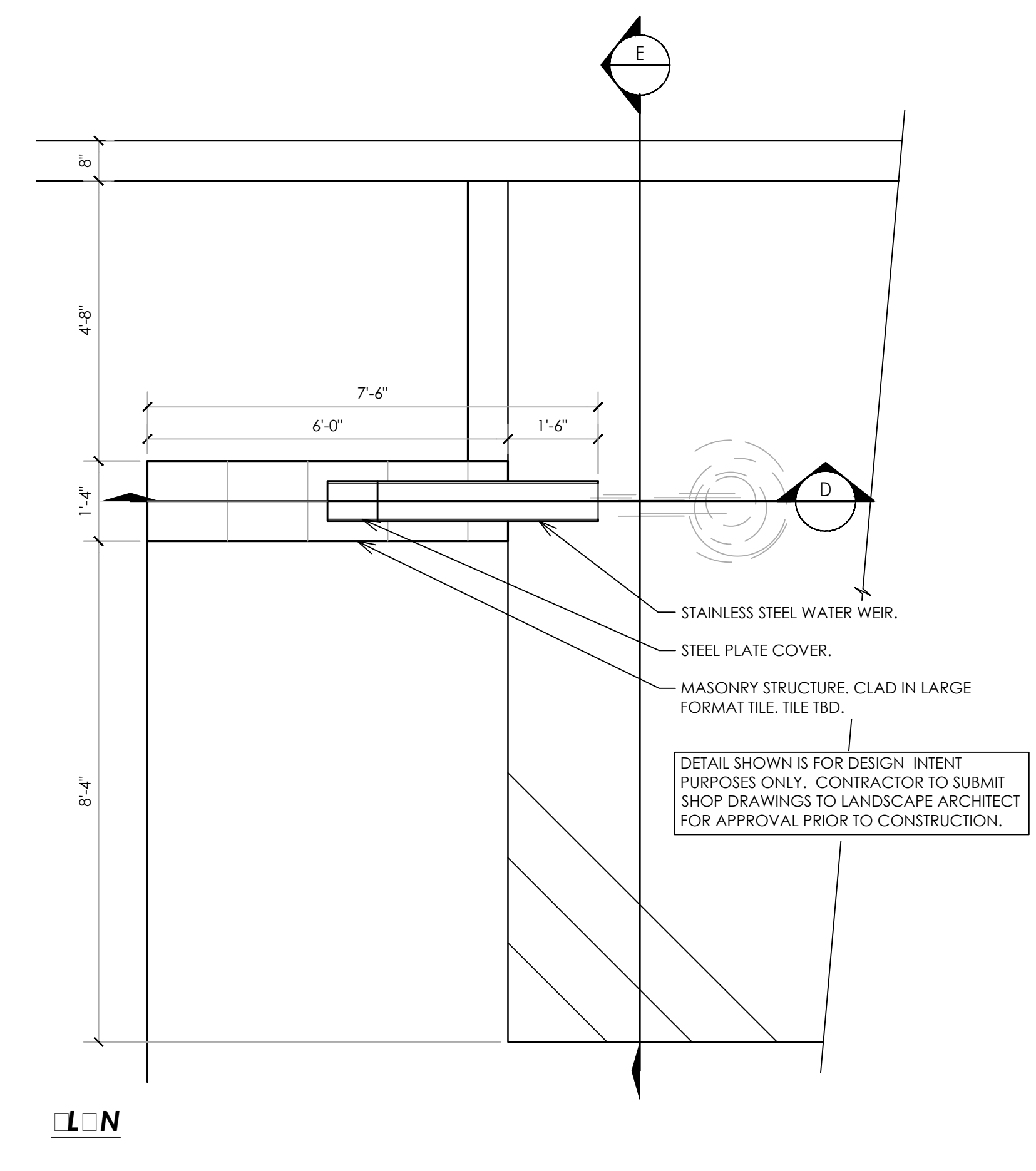
NOTE:
1. ALL STEEL TO BE PAINTED COLOR TO MATCH ARCHITECTURAL STEEL.
2. GRIND ALL WELDS SMOOTH, TYPICAL.
3. CONTRACTOR TO VERIFY ALL DIMENSIONS AND FABRICATE ON SITE.
4. ALL STEEL SIZES TO BE SPECIFIED BY STEEL FABRICATOR.
5. STEEL FABRICATOR TO ENSURE ALL STEEL IS STRAIGHT AND NO 'OIL CANNING' BRACE AND SECURE AS NEEDED.
6. OWNER AND GENERAL CONTRACTOR RESERVES RIGHT TO REQUIRE EXTRA STEEL BRACING OR SIMILAR TO ENSURE STEEL PLANTER IS STRAIGHT AND PLUMB. AT N.E.T.A.C.S.T.
DETAIL IS SHOWN FOR DESIGN INTENT ONLY. CONTRACTOR TO SUBMIT SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO CONSTRUCTION.



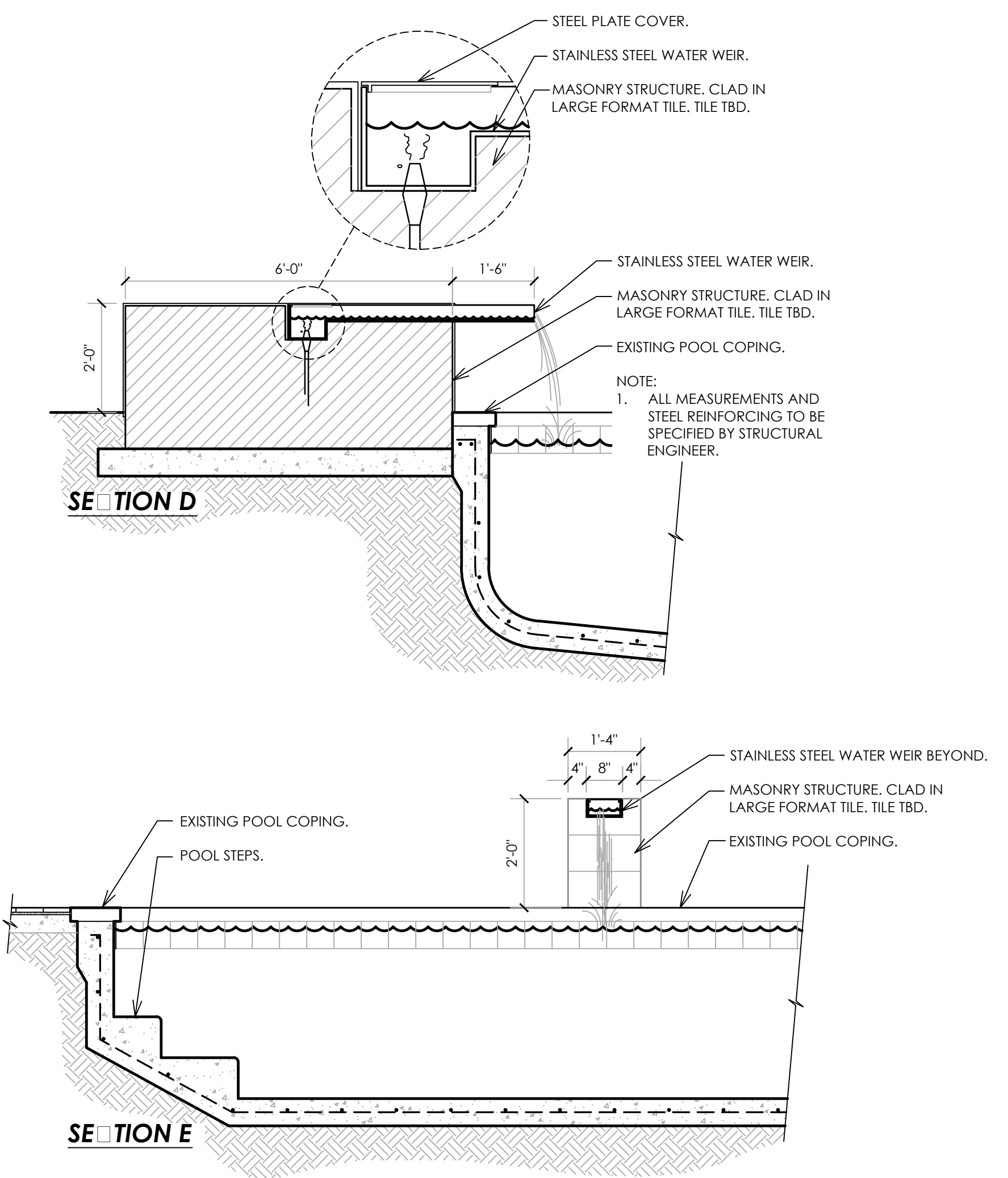
2.59 14 inch Thick Raised Steel Planter
Scale: 1" = 1'-0"

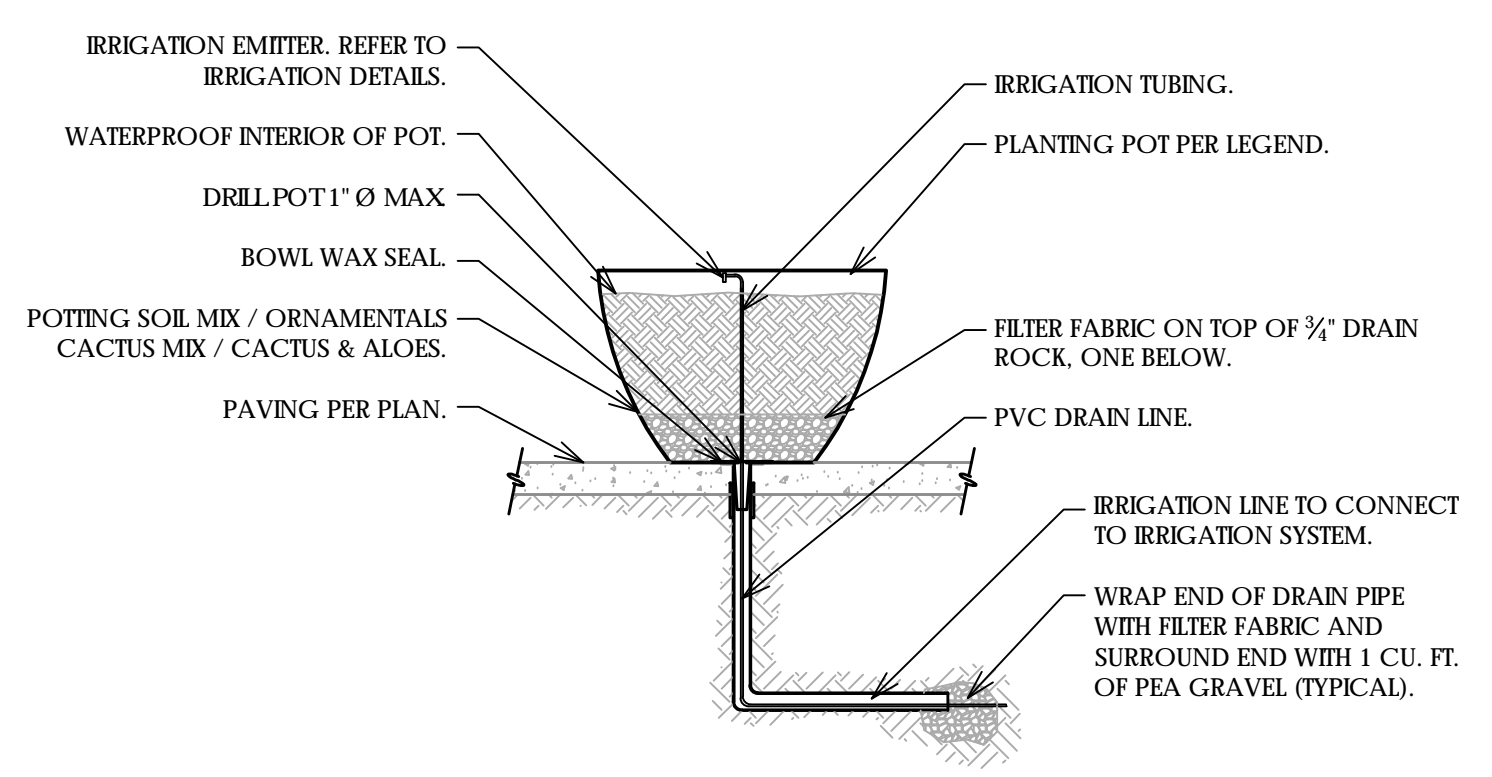


2.60 Water Feature at Front Entrance
Scale: 1/2" = 1'-0"

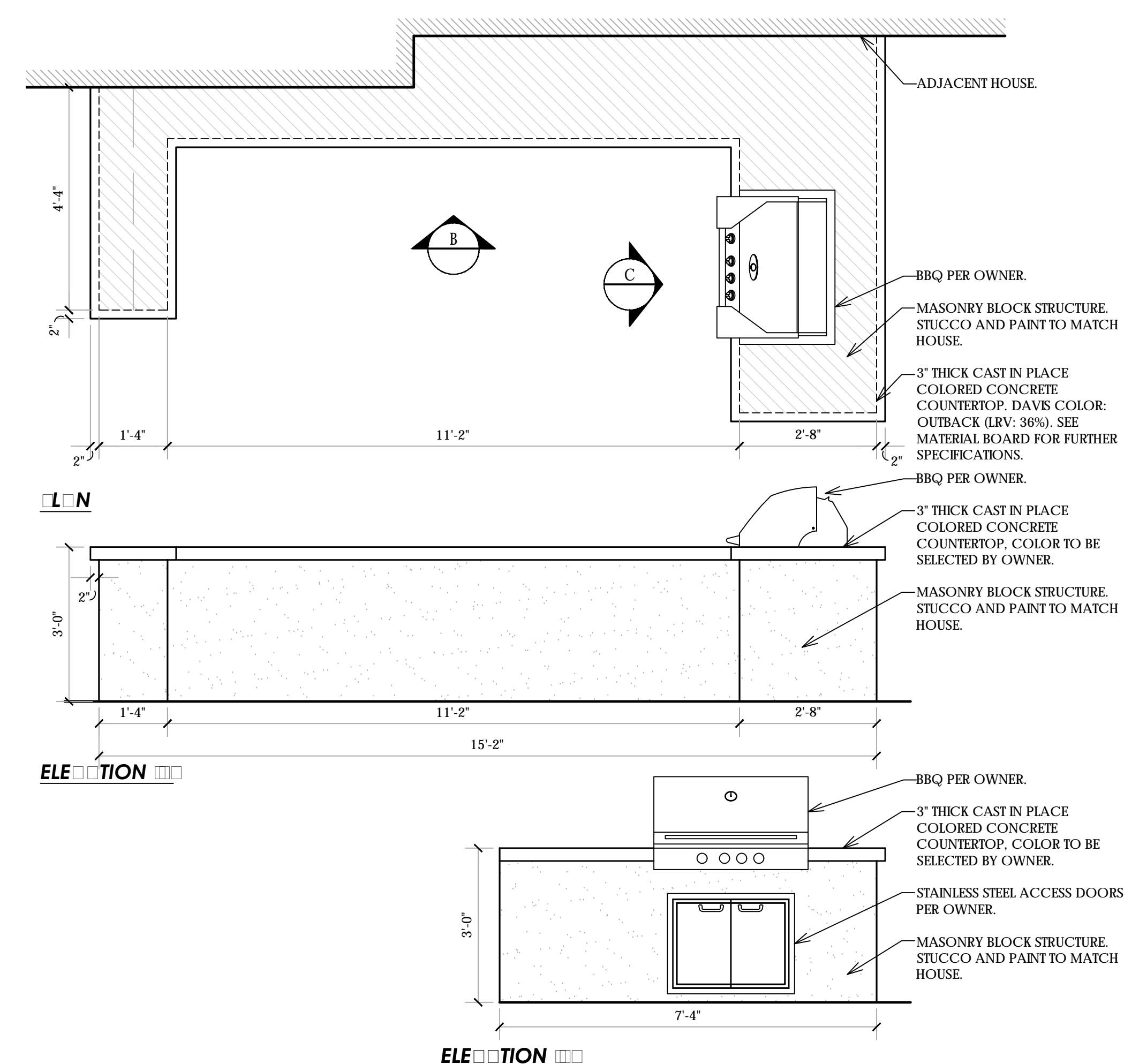


2.61 Masonry Water Feature with Steel Tunnel at Pool
Scale: 1/2" = 1'-0"

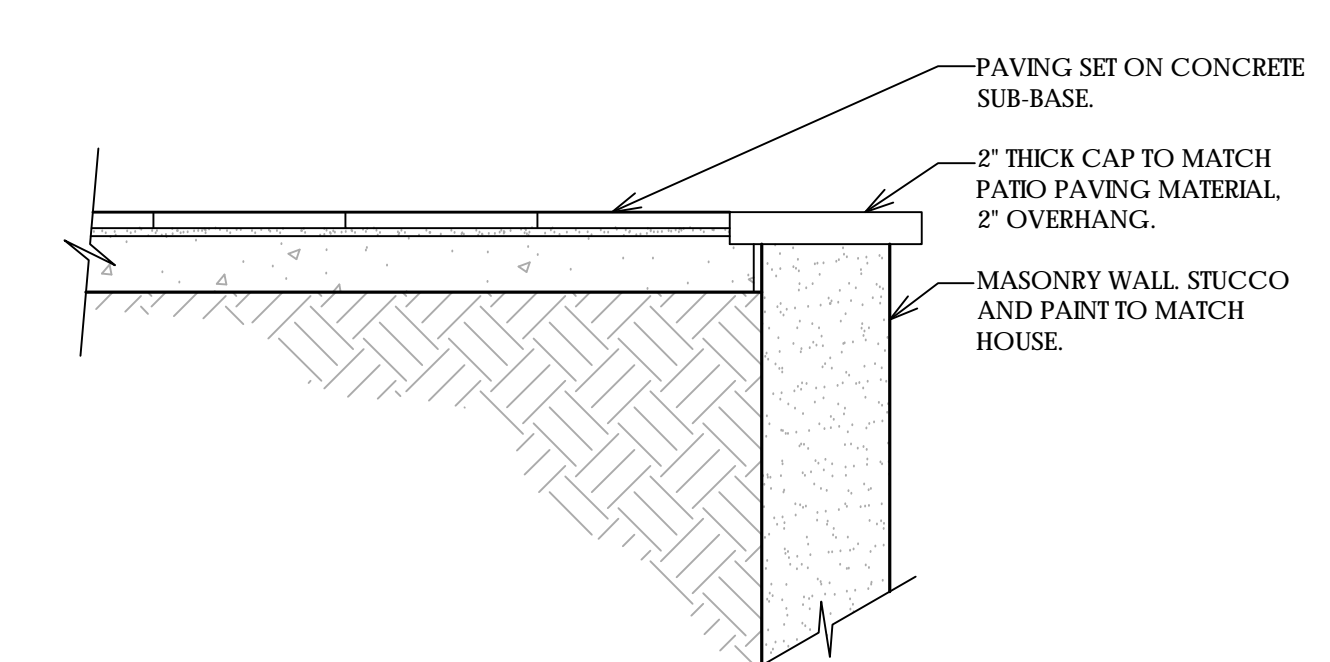




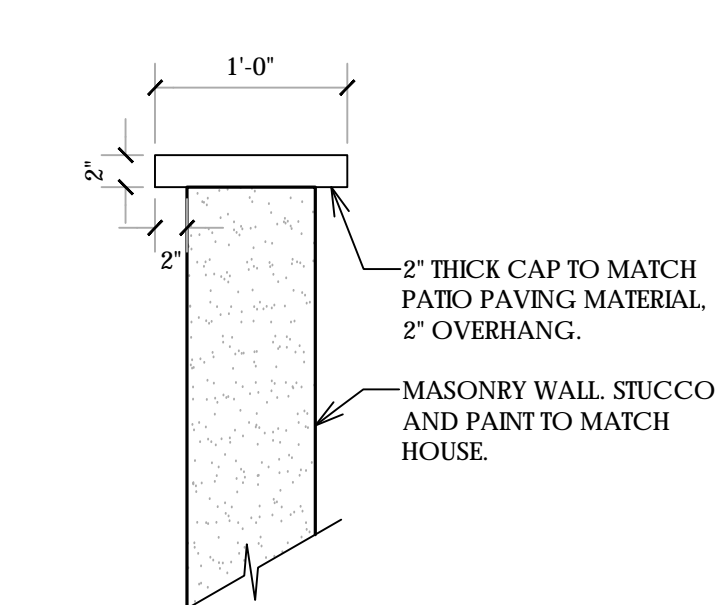
5.11 Planter Pot
Scale: NTS



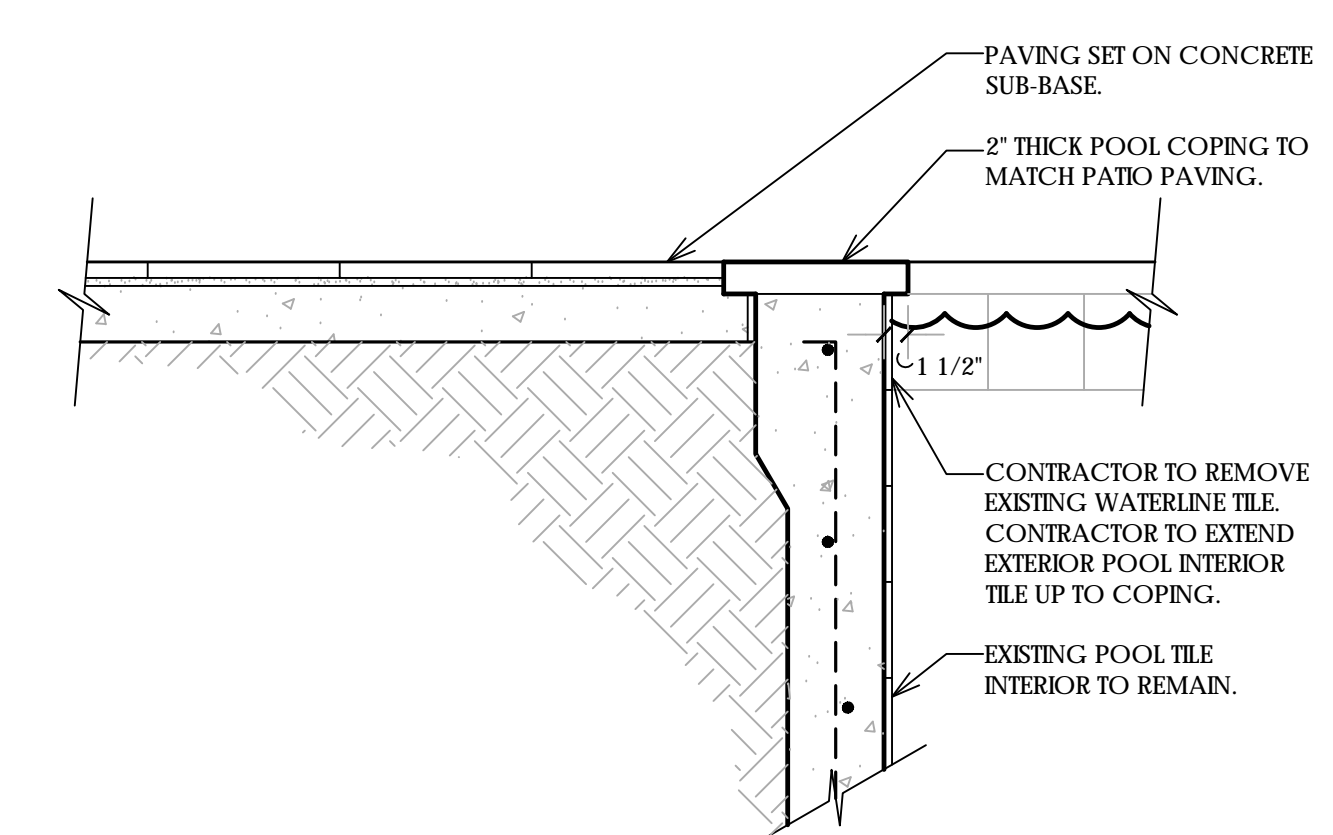
10 Counter and Counter
Scale: 1/2" = 1'-0"



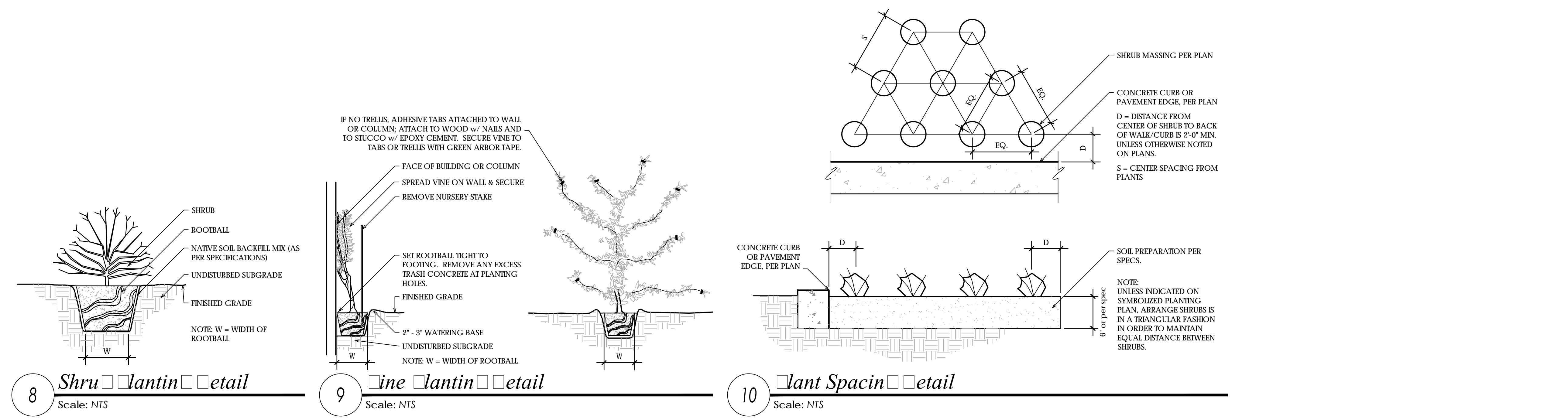
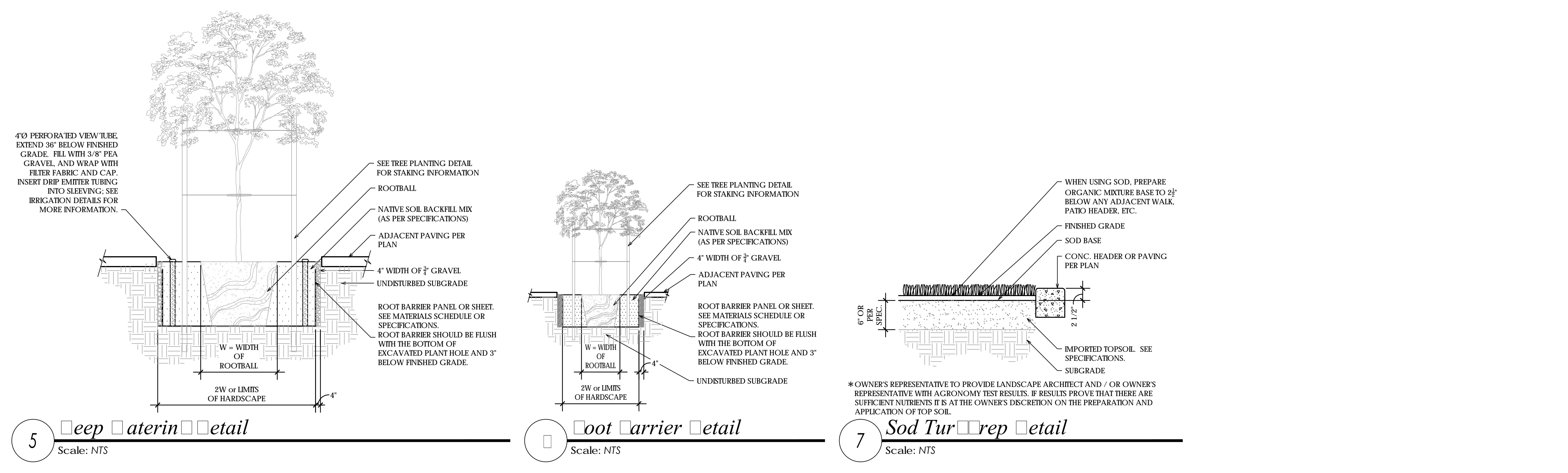
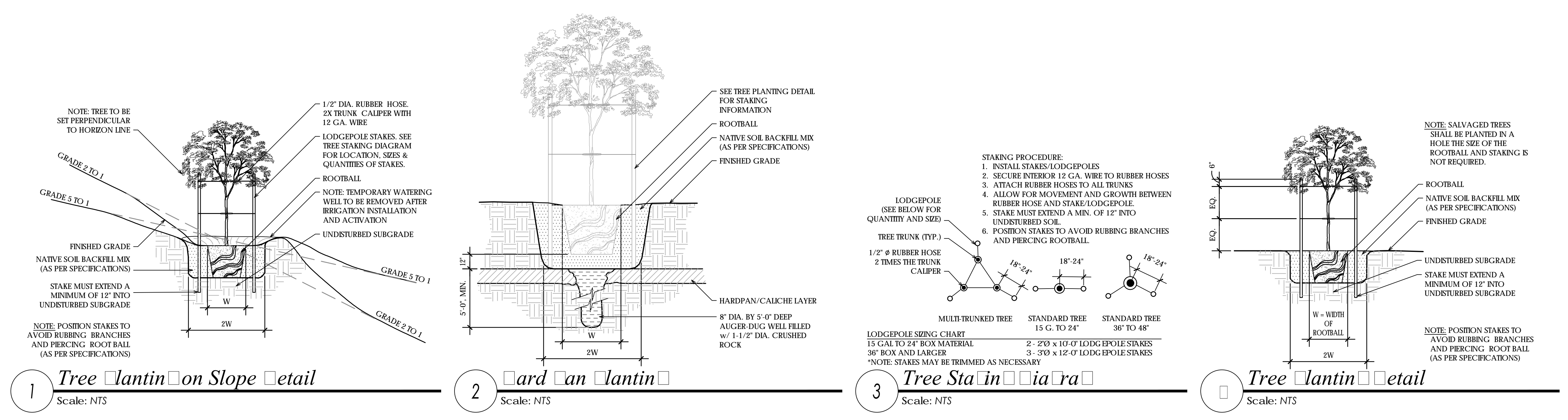
11 Patio Paving at Wall
Scale: 1" = 1'-0"



12 Typical Wall Cap
Scale: 1" = 1'-0"



13 Pool Coping
Scale: 1" = 1'-0"



Residence Materials & Colors

A.

Natural Wood Plank at Patio & Eaves
1x6 White Oak, No Stain
LRV 32 (Approximate)

B.

Natural Stone Veneer @ Entry Tower
As Supplied by Vision Makers - Phoenix
Lauders "Bull" Honed Limestone
Textured Warm Gray Mortar Set
Size 24" x 18", LRV 44

C.

Natural Stone Paving & Slab Wall Coping
As Supplied by Vision Makers - Phoenix
"Silver Veined Travertine"
Textured Warm Gray Mortar Set
Size 18" x 32", LRV 45

D.

Painted Stucco Walls
Sherwin Williams - SW 7639
"Ethereal Mood", LRV 38%
Stucco Texture: Light Sand

E.

Painted Cable Railings, Fence & Metal Fascia
Benjamin Moore - #1631
"Midnight Oil", LRV 5.65%

F.

Aluminum Window & Door Frame Cladding
Sierra Pacific Doors & Windows
Cladding Color: "Black - 23"
Glazing: Tinted, Insulated Low-E 366 by Cardinal

G.

Existing Masonry Pavers @ Driveway
Cambridge Cobble by Belgard
Color: "Desert" LRV: 22%



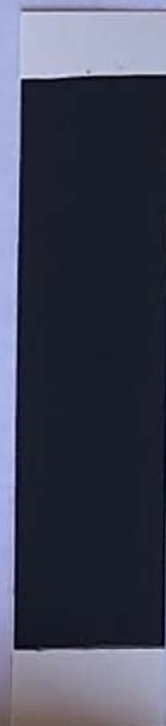
F



D



E



B.



G



C





Action Report

File #: 20-354

To: Hillside Building Committee

From: Hugo Vasquez; Hillside Development Administrator

Date: September 9th, 2020

Subject: Formal Review for a new single family residence at 6019 E Foothill Drive North (APN 169-03-056).

Narrative: The proposed project shall construct a new single family residence. The new project has an application date of December 22nd, 2017 and will be reviewed under the 2014 Hillside Development Regulations.

Lot Data		
1.	Area of Lot	1.589 ac or 69,227 ft ²
2.	Area Under Roof	15,440 ft ²
3.	Floor Area Ratio	22.30%
4.	Building Site Slope	24.00%
5.	Allowable Disturbed Area	9,726 ft ² (14.05%)
6.	Existing Net Disturbed Area	0 ft ² (0.00%)
7.	Proposed Net Disturbed Area	9,387 ft ² (13.56%)
8.	Maximum Building Height	30 ft - 4.25 in
9.	Overall Height	30 ft - 6 in
10.	Volume of Cut/Fill	2,622 yd ³
11.	Hillside Assurance	\$65,550

Background

The property is currently undeveloped and is approximately 1.57 acres in size.

New Single Family Residence

The new project shall construct a new single family residence with approximately 9,000 ft² of livable area.

Pool

A new pool is proposed south of the residence.

Building Materials

The proposed building materials shall include brown zinc panels (LRV 8), color integrated masonry (LRV 15), and stucco finishes in gray (SW6994, Green Black, LRV 4). Roof shall include brown zinc panels (LRV 8) and a dark ballast roof (LRV 14). A roof deck with tile surface shall utilize gray porcelain pavers (LRV 23). Window and door frames shall be

File #: 20-354

dark bronze aluminum (LRV 3). Soffits and garage doors shall be gray (SW7073, Network Gray, LRV 37). All materials shall have an LRV of 38 or less.

Hardscape

The driveway and auto court shall be dark gray porous paving (LRV 32). All materials shall have an LRV of 38 or less.

Building Lighting

All proposed building lighting shall be LED rope lights (322 lumens/ft) in recessed channels. 322 lumens/ft is equivalent to about one code-compliant (750 lumen max) light fixture every two feet but will provide a continuous light source. All light sources shall have a maximum color temperature of 2700K.

Landscape Lighting

Landscape lighting is specified as five (5) path lights (250 lumens actual / 250 lumens allowable) and two (2) up lights (150 lumens actual / 150 allowable). All light sources shall have a maximum color temperature of 3000K.

Landscaping

Artificial turf is proposed west of the pool. Proposed site vegetation is provided on the table below:

Trees	Shrubs	Accents/Cactus
Ironwood	Creosote	Beardtongue
	Brittlebush	Desert Marigold
	Chuparosa	Globe Mallow
		Parry's Agave
		Ocotillo

Land Disturbance

The building pad slope of 24.00% allows a disturbance of 14.05% (9,726 ft²) the lot. The applicant has proposed a net disturbed area of approximately 13.56% (9,387 ft²).

Grading and Drainage

There will be grading associated with the construction of the property in order to properly retain the "pre vs post" storm water volumes for the 100-year, 2-hour rainfall event. Stormwater generated onsite will be retained in a basin located west of the pool and rear patio. Water entering the property from the south will be redirected around the developed area. A storm drain pipe shall carry offsite stormwater under the driveway. A driveway trench drain with drywell has been provided near the end of the driveway.

Sewer

There is an existing sanitary sewer east of the property on N Coconino Road, however the cost to extend will be greater than 10% of the proposed building permit valuation. The applicant will not be required to extend and shall provide a septic system north of the residence.

Hillside Safety Improvement Plan

The Applicant submitted a Hillside Safety Improvement Plan in accordance with the Hillside Safety Improvement Measures and Process Manual per Section 5-10-9 of the Town Code. The plan completed 45 days without any public comment.

Formal Plan Review

Should the Hillside Committee wish to approve this application, staff suggests the following stipulations:

1. Any changes to the Hillside-approved plans may result in delays in permit plan review and inspection processes.

Any proposed changes should be reported to the Staff to determine compliance with Hillside Development Regulations. Changes may be subject to a Staff, Chair, or Committee review.

2. The Applicant shall submit a Construction Staging Plan to the Town per the Hillside Safety Improvement Measures and Process Manual for review and approval prior to being issued a building permit.

3. The Applicant shall submit a liability insurance policy for the proposed project in the amount of \$2 million per occurrence and \$5 million aggregate naming the Town of Paradise Valley as an additional insured prior to being issued a building permit.

4. Prior to issuance of a permit, the Applicant shall submit a Hillside Assurance in the amount of \$65,550.

5. All construction parking shall be located on the property as much as possible. Any offsite parking shall be confined to the adjacent streets along the immediate property frontage. All offsite parking shall be located on the same side of the street. No construction materials will be allowed to be stored on the Town's right-of-way.

6. All recommendations provided in the Safety Improvement Plan shall be followed by the applicant. Any field work related to the Safety Improvement Plan, including but not limited to rock bolting, rock cuts, mesh placement, and boulder stabilization methods, shall be inspected by a qualified Special Inspector contracted by the applicant. An Arizona Registered Engineer contracted by the applicant shall review, for compliance with the recommendations provided in the Safety Improvement Plan, the proposed plans prior to submitting for a permit. The contracted Arizona Registered Engineer shall provide a sealed letter stating that the plans submitted are in accordance with the Safety Improvement Plan.

7. No final approval or certificate of occupancy shall be issued until all Hillside stipulations and all Town Code requirements are complied with, including, but not limited to, landscaping, fire flow, fire safety and all onsite and offsite improvements.

8. The limits of construction and proposed disturbed areas shall be clearly staked in the field, with visible roping, prior to demolition and during construction and shall conform to the approved individual site analysis plan. Photos of the staking shall be provided prior to issuance of a demolition and/or building permit.

9. Noise from construction that can be heard off-site, including, but not limited to, hydraulic ram hammers, equipment used to cut through rock, machinery with audible back-up warning devices, powered machinery, truck delivery and idling, constant and persistent hammering, shall comply with Article 8-10, Nuisance Noise, as set forth in the Town Code. Heavy Equipment and construction-related deliveries are generally limited between the hours of 7:00 a.m. and 5:00 p.m. Monday through Friday; no work on Saturday, Sunday or legal holidays. Exceptions include a one hour early start time in summer, time exceptions granted by the Town Manager, and construction not defined as Heavy Equipment or deliveries that can occur outside the 7:00 a.m. to 5:00 p.m., Monday through Friday, time frame.

10. Natural stone selections shall not exceed the maximum allowable LRV of 38. Care should be taken when selecting to ensure that the maximum LRV is not exceeded. Failure to comply with may result in delays obtaining a Certificate of Occupancy.

11. The civil engineer of record shall inspect the final grading and drainage improvements and shall provide a report or memo confirming that the improvements are constructed per plan. Any deviations from the approved plan shall be noted and addressed in the report or memo.

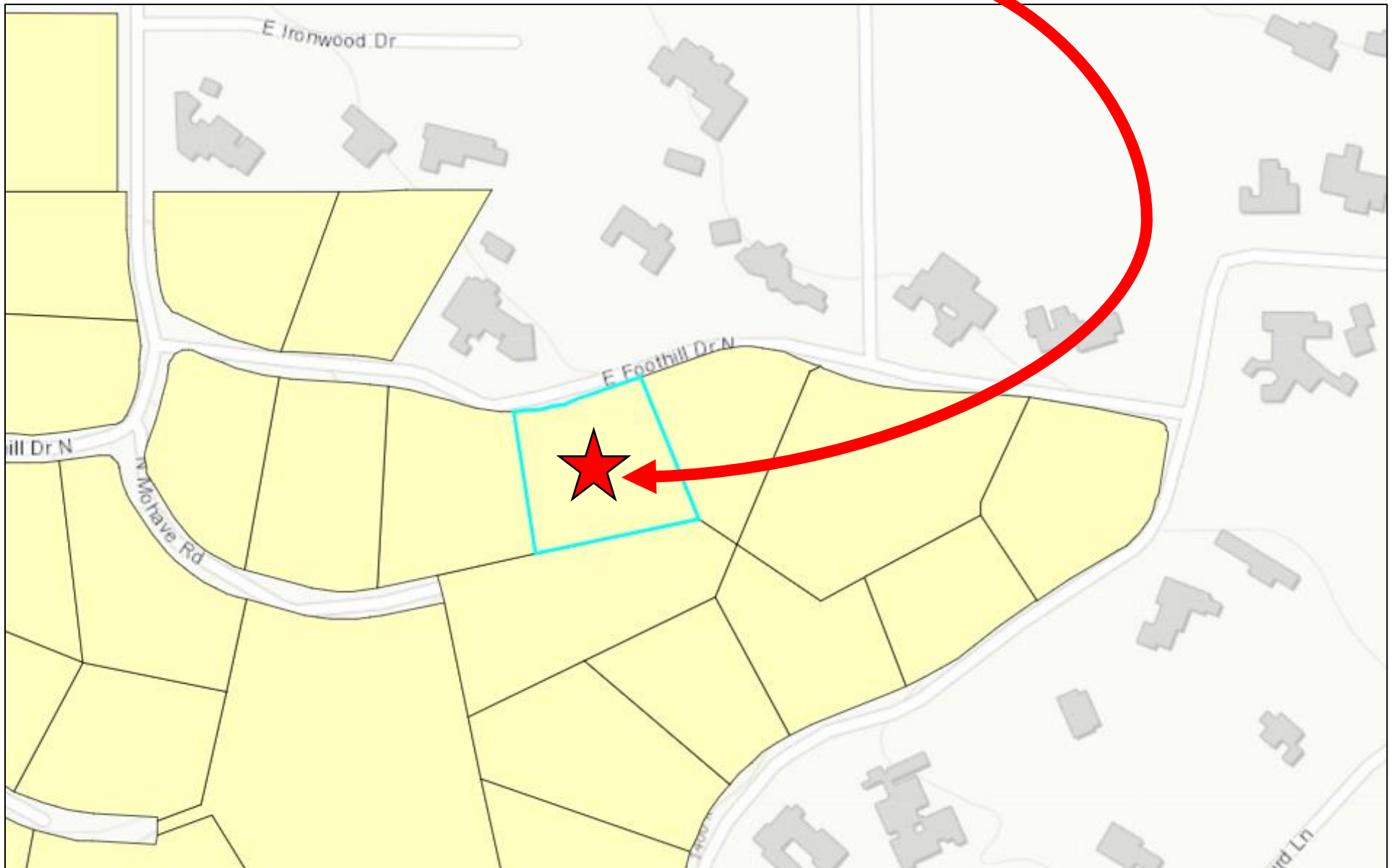
12. A landscape as-built plan shall be provided by the landscape designer at the time of the Final Hillside inspection

and prior to the issuance of a Certificate of Occupancy. See Stipulation #1 for more information.

13. Retaining wall #8 on sheet C-2 shall not exceed 100 ft in length. Revised plan shall be provided with building permit submittal for Staff review.

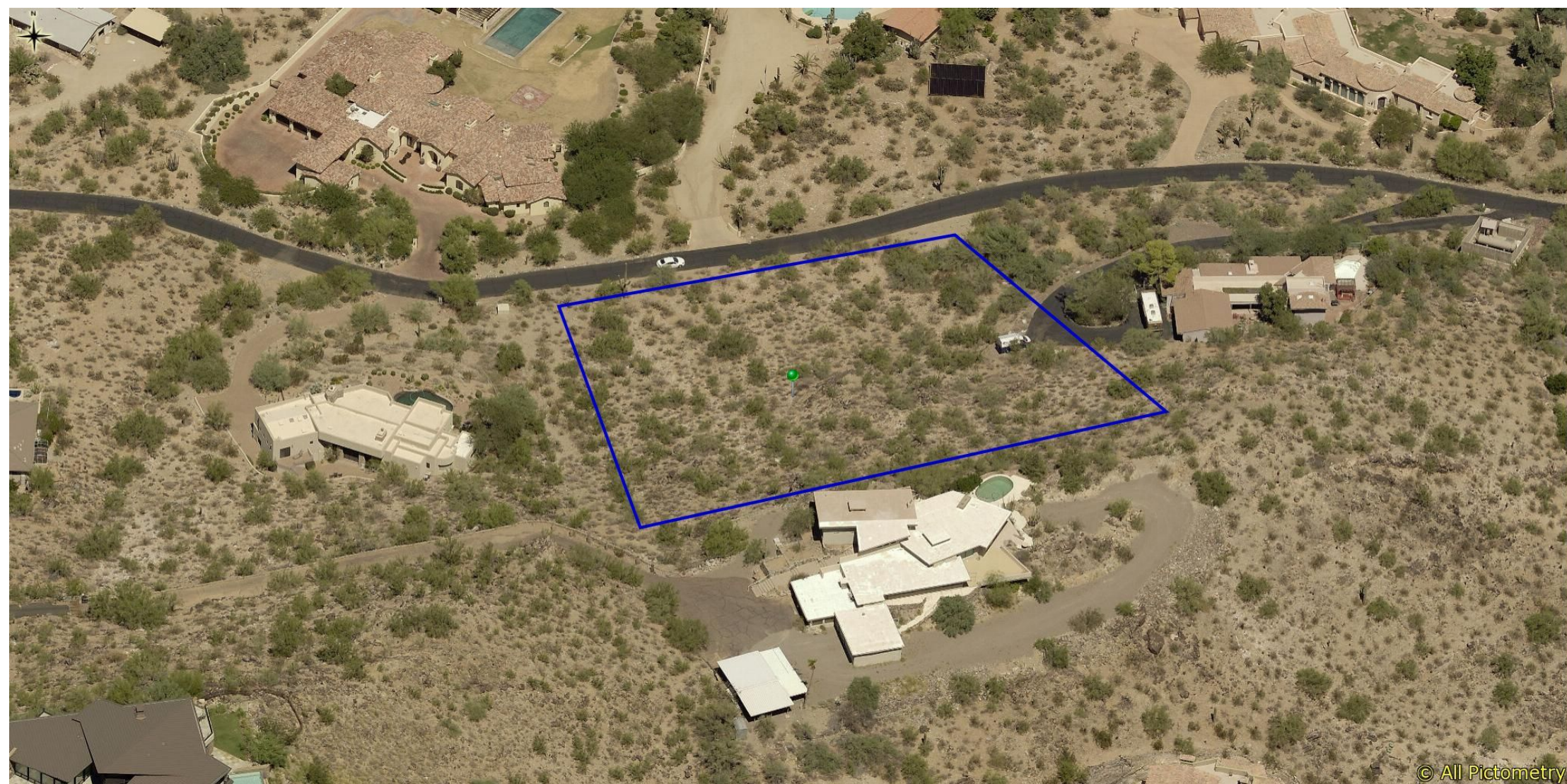
14. LED MR-16 bulb specified on sheet A-9 shall be replaced with a maximum 150 lumen equivalent. Updated bulb shall be provided with building permit submittal for Staff review.

6019 E Foothill Drive North





6019 E Foothill Drive North



© All Pictometry

RECEIVED
DEC 22 2017



TOWN OF PARADISE VALLEY HILLSIDE DEVELOPMENT

DATE: 12/22/2017

SUBDIVISION NAME: MUMMY MT PARK LOTS 32-40, 74-91 & TR A

ADDRESS OF PROPERTY 6019 E FOOTHILL DR

ASSESSOR'S PARCEL NUMBER: 169-03-056

LEGAL DESCRIPTION: LOT 65, OF MUMMY MOUNTAIN PARK, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OR MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 57 OF MAP, PAGE 1.

ARCHITECT: DARREN PETRUCCI

480 329 1888

NAME

PHONE NUMBER

8604 E VIA DE LOS LIBROS, SCOTTSDALE, AZ 85258

dpetrucci@a-i-irinc.com

ADDRESS

E-MAIL ADDRESS

ENGINEER/OTHER: NICK PRODANOV

602 390 7999

NAME

PHONE NUMBER

8808 N CENTRAL AVE, SUITE 288, PHOENIX, AZ 85020

nick@ldgeng.com

ADDRESS

E-MAIL ADDRESS

OWNER: DR. NITEEN & BERNADETTE ANDALKAR

216 280 5164

PRINT NAME

PHONE NUMBER

10187 E PEAK CIR, SCOTTSDALE, AZ 85262

nandalkar@gmail.com

ADDRESS

E-MAIL ADDRESS



12/22/17

SIGNATURE OF OWNER OR REPRESENTATIVE

DATE

SCOPE OF WORK: NEW CONSTRUCTION OF A 9,112 SQUARE FOOT RESIDENCE WITH A SIX

CAR GARAGE, POOL, ROOF GARDEN, AND ARTIFICIAL TURF AREA.

08-18-2020

6037 E DONNA CIR
PARADISE VALLEY, AZ 85253

Subject: Formal Plan Review for New Residence at 6019 E Foothill Dr



Dear BLUE 888 LLC,

An application has been submitted to the Town of Paradise Valley for the construction of a new home at 6019 E Foothill Dr. In compliance with Town requirements, this letter is being sent to you as a courtesy to inform you of the pending application. The Hillside Building Committee will be reviewing this application on Wednesday, September 9th, 2020 at 8:00. The meeting may take place remotely.

The purpose of Formal Plan Review meeting is for the Hillside Building Committee to review the submittal for compliance with the goals, purposes, and specific criteria of the Town of Paradise Valley Hillside Development Regulations.

The Hillside Building Committee will approve, approve with stipulations, continue, or deny the submittal. This meeting is open to the public and you feel free to attend.

If you have any questions please call me at (480) 329-1888

Sincerely,

A handwritten signature in black ink, appearing to read "Darren Petrucci". The signature is fluid and cursive, with a large initial "D" and a trailing flourish.

Darren Petrucci, AIA

8604 EAST VIA DE LOS LIBROS SCOTTSDALE, AZ 85258

THIS MEETING MAY BE HELD BY REMOTE PARTICIPATION

Please check the meeting agenda at <https://paradisevalleyaz.legistar.com/Calendar.aspx> to determine if the Hillside Building Committee meeting will be held by remote participation. If held by remote participation, members of the public are encouraged to participate in the meeting via the following options:

1. View the live stream at <https://paradisevalleyaz.legistar.com/Calendar.aspx> (a) Click on Calendar Tab (b) Look for Hillside Building Committee meeting (you may have to select it from the dropdown list) and find the meeting date (c) Click the “In Progress” link in the column titled Video
2. Zoom Conference: [Meeting information to be provided on final meeting agenda](#)
3. Submitting questions and comments: (a) Visit <https://paradisevalleyaz.legistar.com/Calendar.aspx>, search for the meeting date, and click “eComment”. Locate the agenda item you are interested in and click “Comment” (Please submit comments at least 1 hr prior to meeting)
4. Speaking during Call to the Public / Public Hearings:
(a) Visit <https://paradisevalleyaz.legistar.com/Calendar.aspx>, search for the meeting date, and click “eComment”. Locate the agenda item and click “Register to Speak”. Join the meeting by dialing the Zoom Video Conference number provided on the final meeting agenda.
(b) If attending by Zoom Video Conference, click the chat button and enter your name and the agenda item you would like to address (These meeting participation guidelines are pursuant to Town Council Resolution 2020-08 adopted March 17, 2020.)

Notice is hereby given pursuant to A.R.S. §38-431.02 that members of the Hillside Building Committee may attend by audio/video conference call.

The Town of Paradise Valley endeavors to make all public meetings accessible to persons with disabilities. With 72 hours advance notice, special assistance can be provided for disabled persons at public meetings. Please call 480-948-7411 (voice) or 483-1811 (TDD) to request accommodation.

For further information about any of these matters, please contact the Community Development Department, 6401E. Lincoln Drive, Paradise Valley, Arizona, 480-348-3692.

All agendas are subject to change. You can view the agenda, find application material, and provide your input via eComment approximately 4-6 days prior to the meeting date at <https://paradisevalleyaz.legistar.com/Calendar.aspx>. You may also contact the staff liaison, Hugo Vasquez on this application at hvasquez@paradisevalleyaz.gov or 480-348-3525 at any time before the scheduled meeting date.

Owner	MAIL_ADDR1	MAIL_CITY	MAIL_	MAIL_ZIP
BLUE 888 LLC	6037 E DONNA CIR	PARADISE VALLEY	AZ	85253
MALCOLM INVESTMENTS LLC	201 N CENTRAL AVE 22ND FL	PHOENIX	AZ	85004-0608
SAMUEL ROBERT C	5141 N 40TH ST NO 500	PHOENIX	AZ	85018
THURSTON RAY R & AMY L	8000 N MOHAVE	PARADISE VALLEY	AZ	85253
MOHAVE ROAD TRUST	234 ELMGROVE DR	TECUMSEH	ON	N8N 3S3
PARVEEN KAURKHANUJA QUAL PERSONAL RESD TRUST	8110 N MOHAVE RD	PARADISE VALLEY	AZ	85253
GSD ARIZONA QUALIFIED PERSONAL RESIDENCE TR	8131 N MOHAVE RD	PARADISE VALLEY	AZ	85253
ROSALEDA TRUST	8001 N MOHAVE RD	PARADISE VALLEY	AZ	85253
CYRELL ALEXANDER/MICHELSON SUSAN TR	5917 E IRONWOOD DR	PARADISE VALLEY	AZ	85253
WALKER CHARLES F/PROSCH CYNTHIA SEGINSKI	3404 MARQUETTE ST	DALLAS	TX	75225
ROSALEDA TRUST	8001 N MOHAVE RD	PARADISE VALLEY	AZ	85253
PV 20 LLC	6437 E JACKRABBIT RD	PARADISE VALLEY	AZ	85253
PV 20 LLC	6437 E JACKRABBIT RD	PARADISE VALLEY	AZ	85253
ANDERSON ROBERT/SYDNEY M TR	7262 OLD POST RD	BOULDER	CO	80301
PV 20 LLC	6437 E JACKRABBIT RD	PARADISE VALLEY	AZ	85253
PV 20 LLC	6437 E JACKRABBIT RD	PARADISE VALLEY	AZ	85253
MATLOFF FAMILY TRUST	8000 N COCONINO	PARADISE VALLEY	AZ	85253
COULTER ROBERT/DAPHNE J TR	6206 E NORTHERN AVE	SCOTTSDALE	AZ	85253
DUFFY JACOB A/LESLIE M	10501 N 51ST PL	PARADISE VALLEY	AZ	85253
LEVINE JEFFREY DAVID/ISALY ANILA	8002 N IRONWOOD DR	PARADISE VALLEY	AZ	85253-2626
RAGLAND COLLEEN M TR	8022 N IRONWOOD DR	PARADISE VALLEY	AZ	85253
NUTE CHRIS/CARLA	6227 E BRETT HILLS DR	PARADISE VALLEY	AZ	85253
EA REALTY GROUP LLC	6745 N 93RD AVE - 1104	GLENDALE	AZ	85305
S&N HOLDINGS LLC	6208 E BRET HILLS DR	PARADISE VALLEY	AZ	85253
LJG KIDS LLC	1402 E COLT RD	TEMPE	AZ	85284
STEVEN JOSEPH AND CYNTHIA LOUISE TODAR REV TR	6221 E MAVRICK RD	SCOTTSDALE	AZ	85253
NICKS CHRISTOPHER	6207 E MAVERICK RD	PARADISE VALLEY	AZ	85253
DEGISE BRIAN R/BARBARA V	4400 N WOODLAND RIDGE CT	DUNLAP	IL	61525
TARBY THEODORE J/ANDREE W TR	7710 N HUMMINGBIRD LN	PARADISE VALLEY	AZ	85253
INGRAM KEITH/SHEILA TR	6094 E CHOLLA DR	PARADISE VALLEY	AZ	85253
BUCHER RALPH/GRACE	7722 N IRONWOOD DR	PARADISE VALLEY	AZ	85253
WALTERS FRANK L TR	7632 N IRONWOOD DR	SCOTTSDALE	AZ	85253
MARWAH FAMILY TRUST	21 E OAKWOOD HILLS DR	CHANDLER	AZ	85248
DAVID AND MARY JO CHRISTENSEN LIVING TRUST	7590 N HUMMINGBIRD LN	PARADISE VALLEY	AZ	85253
BENSON GEORGE/JOHNNIE L	360 HAMILTON AVE 100	WHITE PLAINS	NY	10601
7734 INVESTMENT LLC	7702 E DOUBLETREE RANCH RD SUITE 300	SCOTTSDALE	AZ	85258
7804 INVESTMENT LLC	7702 E DOUBLETREE RANCH RD SUITE 300	SCOTTSDALE	AZ	85258
GUY THOMAS AND NANCY LEE EGGBRECHT FAM TRUST	7839 N FOOTHILL DRIVE S	PARADISE VALLEY	AZ	85253
WILLIAM S CULLEN DECEDENTS TRUST ETAL	7815 E FOOTHILL DR SOUTH	PARADISE VALLEY	AZ	85253
X ZIP TRUST	209 TENTH AVE SOUTH STE 405	NASHVILLE	TN	37203
KLC-018 TRUST/SUZANNE M COOK TRUST	7725 N FOOTHILL DR S	PARADISE VALLEY	AZ	85253-3067
BEVERLY J BECKER REVOCABLE TRUST	42338 RUSSIA RD	ELYRIA	OH	44035
TEMPLETON KATHRYN A TR	7632 S FOOTHILL DR	PARADISE VALLEY	AZ	85253
SIMONE FOOTHILL DRIVE LLC	8800 N GAINES CENTER DR STE 160	SCOTTSDALE	AZ	85258-2122

DLHBA 2015 DE	7726 N FOOTHILL DR SOUTH	PARADISE VALLEY	AZ	85253
ICONIC VIEWS LLC	7377 E DOUBLETREE RANCH RD UNIT 190	SCOTTSDALE	AZ	85258
PERKO DARREN ANDREW FRANK/LORIE ANNE	70 STANDISH AVE	TORONTO	ON	M4W3B1
SILVERBERG ROBERT I/ROBYN H TR	6041 E FOOTHILLS DRIVE NORTH	PARADISE VALLEY	AZ	85253
ANDALKAR NITEEN/BERNADETTE	10187 E PEAK CIR	SCOTTSDALE	AZ	85262
HOECHNER BRUCE D/JUDITH L	1406 SILO RD	YARDLEY	PA	19067
BRYAN AND ELIZABETH SABA FAMILY TRUST	7819 N MOHAVE RD	PARADISE VALLEY	AZ	85253
MARTIN D WOLF SEPARATE PROPERTY TRUST	5925 E FOOTHILL DR N	PARADISE VALLEY	AZ	85253
MOONLIGHT ESTATE LLC	4511 N HICKORY LN	KANSAS CITY	MO	64116
VILLA RUSTICA FIDUCIA LLC	10645 N TATUM BLVD STE 200 PMB 194	PHOENIX	AZ	85028
PHELPS KENNETH A/ DEBRA S	8215 N 62ND PL	PARADISE VALLEY	AZ	85253
JD ARIZONA LLC	PO BOX 11086	JACKSON	WY	83002
JD ARIZONA LLC	PO BOX 11086	JACKSON	WY	83002
MEYER ERIC D/SNELL SARAH	765 FOOTHILL DR SOUTH	PARADISE VALLEY	AZ	85259
ZENA TRUST	7777 N FOOTHILL DRIVE S	PARADISE VALLEY	AZ	85253
ROHR DANIEL C TR	7760 N FOOTHILLS S	PARADISE VALLEY	AZ	85253
BUCON KIRK A/MELANIE A	7746 N FOOTHILLS DRIVE SOUTH	PARADISE VALLEY	AZ	85253
WDW ROYAL PALM INVESTMENTS LLC	6045 E FOOTHILL DR N	PARADISE VALLEY	AZ	85253
D L L R PROPERTIES LLC	7015 N 53RD AVE	GLENDALE	AZ	85301
CEREGHINI PAUL G/ELISABETH A TR	7633 N HUMMINGBIRD LN	PARADISE VALLEY	AZ	85253
CEREGHINI PAUL G/ELISABETH A TR	7633 N HUMMINGBIRD LN	PARADISE VALLEY	AZ	85253
FAULK ROBERT M/AMY D	9925 DEVONSHIRE DR	OMAHA	NE	68114-3851
WEDER FAMILY REVOCABLE LIVING TRUST	200 SCENIC DR	SEDONA	AZ	86336
7880 INVESTMENT LLC	7154 E STETSON DR STE 300	SCOTTSDALE	AZ	85251
CAPONE MATHEW M/JENNIFER L	7970 N IRONWOOD DR	PARADISE VLY	AZ	85253
LEM INVESTMENTS LLC	5011 E FANFOL DR	PARADISE VALLEY	AZ	85253
E LOUIS WERNER III LIVING TRUST	5011 E FANFOL DR	PARADISE VALLEY	AZ	85253
ROMERO FAMILY TRUST	7625 E VIA DEL REPOSO	SCOTTSDALE	AZ	85258
LDL FAMILY TRUST	8502 N 59TH PL	PARADISE VALLEY	AZ	85253
MUMMY MOUNTAIN PRESERVE TRUST	6401 E LINCOLN DR	PARADISE VALLEY	AZ	85253
BUONA CASA LLC	9303 N IRONWOOD	PARADISE VALLEY	AZ	85253
MUMMY MOUNTAIN PRESERVE TRUST	6401 E LINCOLN DR	PARADISE VALLEY	AZ	85253-4399
7620 N FOOTHILL LLC	519 S MAIN ST	ORRVILLE	OH	44667-2201
FOOTHILL ARIZONA LLC	PO BOX 11086	JACKSON	WY	83002-1086
WILSON DINESH/BROOKE	5900 E FOOTHILL DR NORTH	PARADISE VALLEY	AZ	85253
PARADISE VALLEY MOUNTAIN PRESERVE TRUST	6401 E LINCOLN DR	PARADISE VALLEY	AZ	85253
CBM REVOCABLE TRUST	5912 E FOOTHILL DR N	PARADISE VALLEY	AZ	85253-3033
RMB PROPERTIES LLC-SERIES NO ONE	27 N WACKER DR	CHICAGO	IL	60606
HILLSDALE COLLEGE	33 E COLLEGE ST	HILLSDALE	MI	49242
WEAR REED BARTLETT TR/LINDA ANN TR	5880 E FOOTHILL DR NORTH	PARADISE VALLEY	AZ	85253
ALLEN JEFFREY WALTER TR	7818 N MOHAVE RD	PARADISE VALLEY	AZ	85253
JET LINC LLC	7377 E DOUBLETREE RANCH RD STE 190	SCOTTSDALE	AZ	85258
ROSENTHAL KENNETH J/LINDA S	7801 N SAGUARO DR	PARADISE VALLEY	AZ	85253
4 SEVENS LLC	7377 E DOUBLETREE RANCH RD SUITE 190	SCOTTSDALE	AZ	85258
MOOSBRUGGER ERIN S TR/FINLEY MARY W TR	7737 N SAGUARO DR	PARADISE VALLEY	AZ	85253

FRANKE W A	7701 N SAGUARO DR	PARADISE VALLEY	AZ	85253
FRANKE W A	7701 N SAGUARO DR	PARADISE VALLEY	AZ	85253
FRANKE W A	7701 N SAGUARO DR	PARADISE VALLEY	AZ	85253
MUMMY ESTATES LLC	2001 E CAMPBELL AVE STE 103	PHOENIX	AZ	85016
MUMMY ESTATES LLC	2001 E CAMPBELL AVE STE 103	PHOENIX	AZ	85016
DANIEL E HARKINS TRUST	7511 E MCDONALD DR	SCOTTSDALE	AZ	85250
MUMMY ESTATES LLC	2001 E CAMPBELL AVE STE 103	PHOENIX	AZ	85016
MUMMY ESTATES LLC	2001 E CAMPBELL AVE STE 103	PHOENIX	AZ	85016



SHEET INDEX	
ID	Name
A-1	COVER SHEET
A-2	SITE PHOTOS
A-3	3D MODEL VIEWS
A-4	AERIAL
C-1	SURVEY
C-1	G&D COVER SHEET
C-2	GRADING & DRAINAGE PLAN
C-3	GRADING & DRAINAGE PLAN CROSS SECTIONS & DETAILS
A-5	SITE PLAN
A-6	OVERHANGS & CANTILEVERS
A-7	SITE SECTIONS
A-8	ELEVATIONS
A-9	LANDSCAPE PLAN
A-10	LANDSCAPE & BUILDING LIGHTING PLAN

PROJECT ADDRESS

6019 E FOOTHILL DR
PARADISE VALLEY, AZ 85253

OWNER

NITEEN & BERNADETTE ANDALKAR

LEGAL DESCRIPTION

APN	169-03-056
ZONING	R-43

PROJECT DESCRIPTION

CONSTRUCTION OF A NEW TWO STORY, 8,950 SF RESIDENCE LOCATED ON THE NORTH SIDE OF MUMMY MOUNTAIN.

PROJECT INFORMATION

CONSTRUCTION TYPE	V-B
PROPOSED SQUARE FOOTAGE	
LIVABLE LEVEL ONE	3,423 SF
LIVABLE LEVEL TWO	5,527 SF
TOTAL LIVABLE	8,950 SF

GARAGE & STORAGE	2,864 SF
COVERED EXTERIOR LEVEL ONE	1,873 SF
COVERED EXTERIOR LEVEL TWO	1,753 SF
TOTAL	15,440 SF

LOT SIZE:	69,227 SF (1.589 AC)
-----------	-------------------------

FLOOR AREA RATIO:	22.30% < 25%
-------------------	--------------

ALLOWABLE NET DISTURBED AREA	14.05% (9,733 SF)
PROPOSED GROSS DISTURBED AREA	20,171 SF
LESS 25% CREDIT FOR PAVERS	4,081 SF x 0.25 = 1,020 SF
LESS BUILDING FOOTPRINT AREA	7,671 SF

PROPOSED NET DISTURBED AREA	9,387 SF < 9,733 SF
-----------------------------	---------------------

CODE STUDY

2015 INTERNATIONAL BUILDING CODE
2015 INTERNATIONAL RESIDENTIAL CODE
2015 INTERNATIONAL FIRE CODE
2014 NATIONAL ELECTRIC CODE
2015 INTERNATIONAL FUEL GAS CODE
2015 INTERNATIONAL MECHANICAL CODE
2015 INTERNATIONAL PLUMBING CODE
2015 INTERNATIONAL ENERGY CONSERVATION CODE
EXPOSURE C SEISMIC DESIGN CATEGORY B



ARCHITECTURE - INFRASTRUCTURE - RESEARCH INC.
airresearch@mac.com 480.325.1188
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FOOTHILL
RESIDENCE
6019 E FOOTHILL DR, PARADISE VALLEY, AZ 85253
COVER PHOTOGRAPH



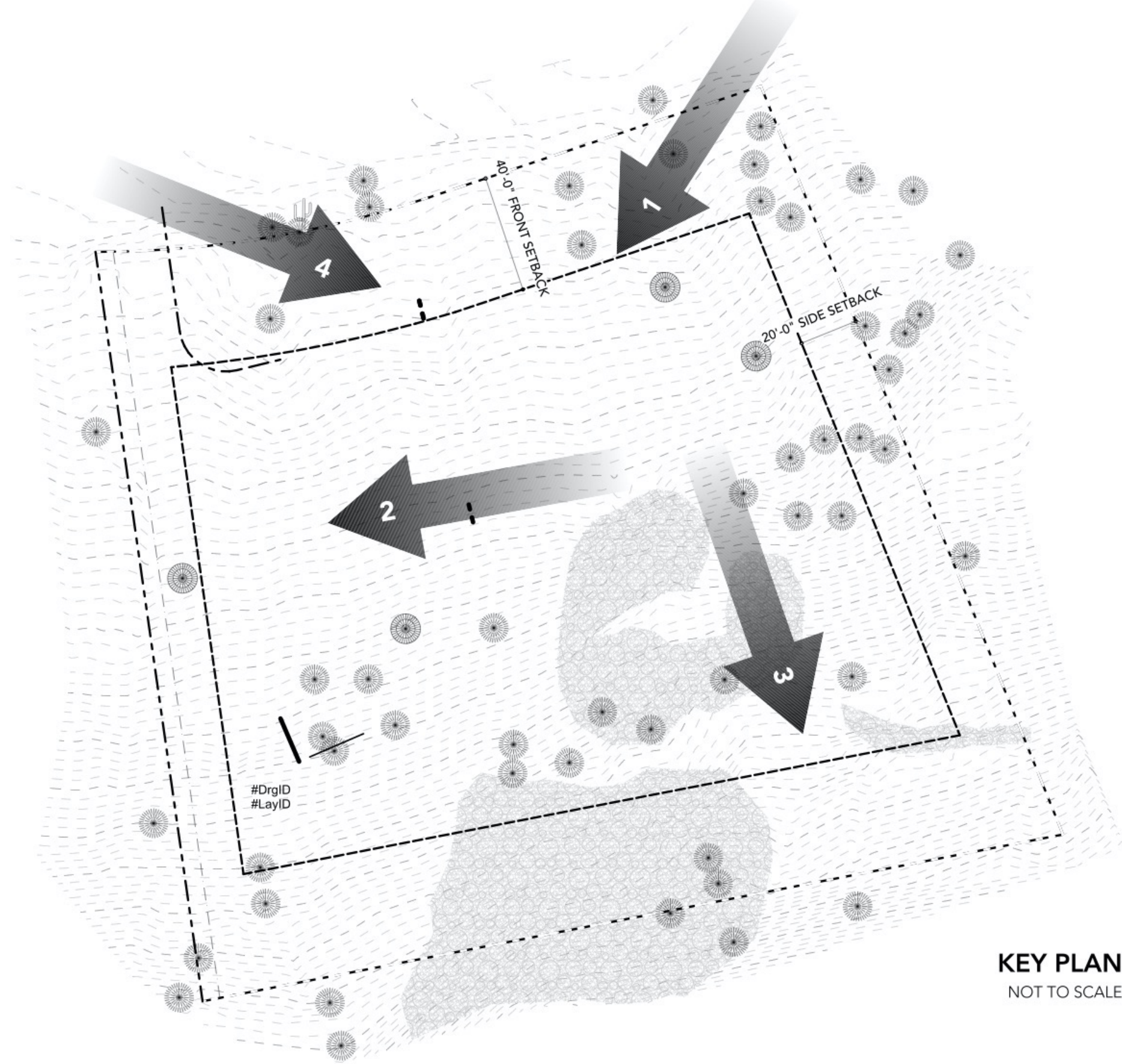
DATE: 08/27/20
SCALE: AS SHOWN
DRAWN: DP/JP
JOB: 17013

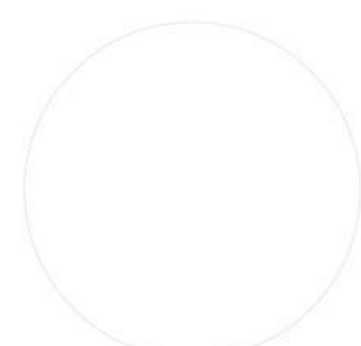
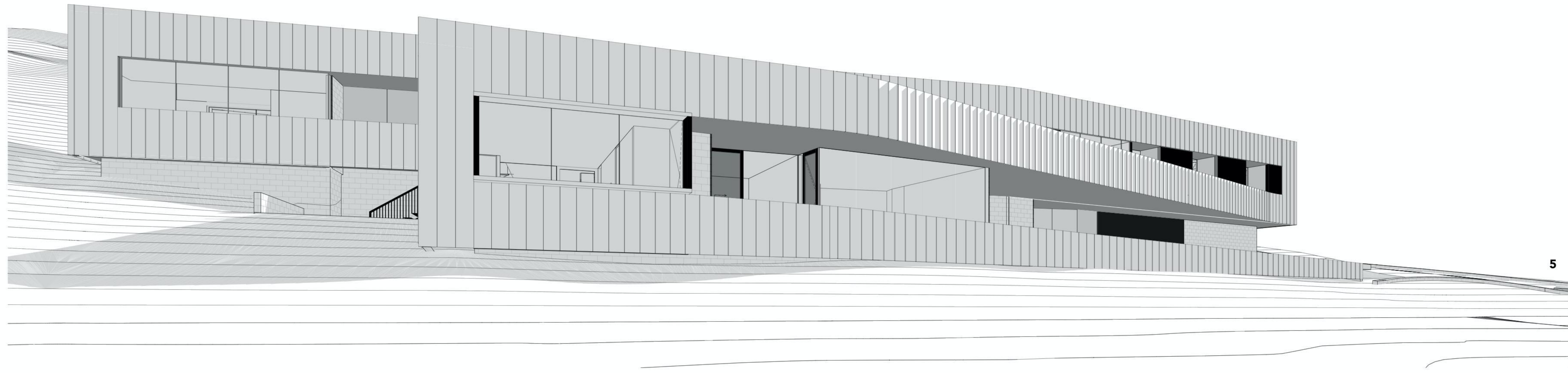
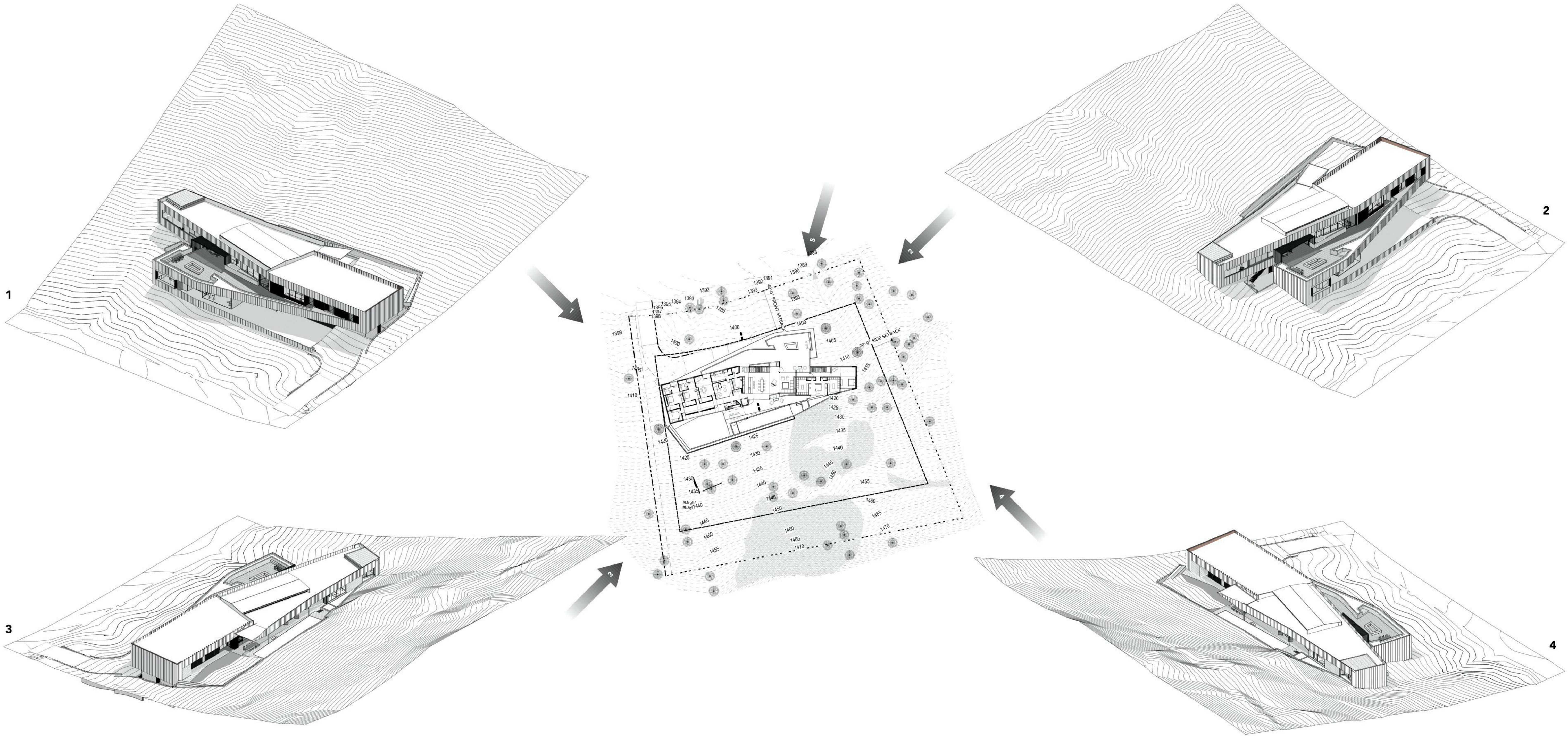
COVER SHEET

DRAWING TITLE:
50% BID SET
PROJECT PHASE

A-1

SHEET NO.





DATE: 08/28/20
 SCALE: AS SHOWN
 DRAWN: DP/JP
 JOB: 17013

3D MODEL VIEWS

DRAWING TITLE:
 PRE-APP
 PROJECT PHASE



**FOOTHILL
RESIDENCE**

6019 E FOOTHILL DR, PARADISE VALLEY, AZ 85262



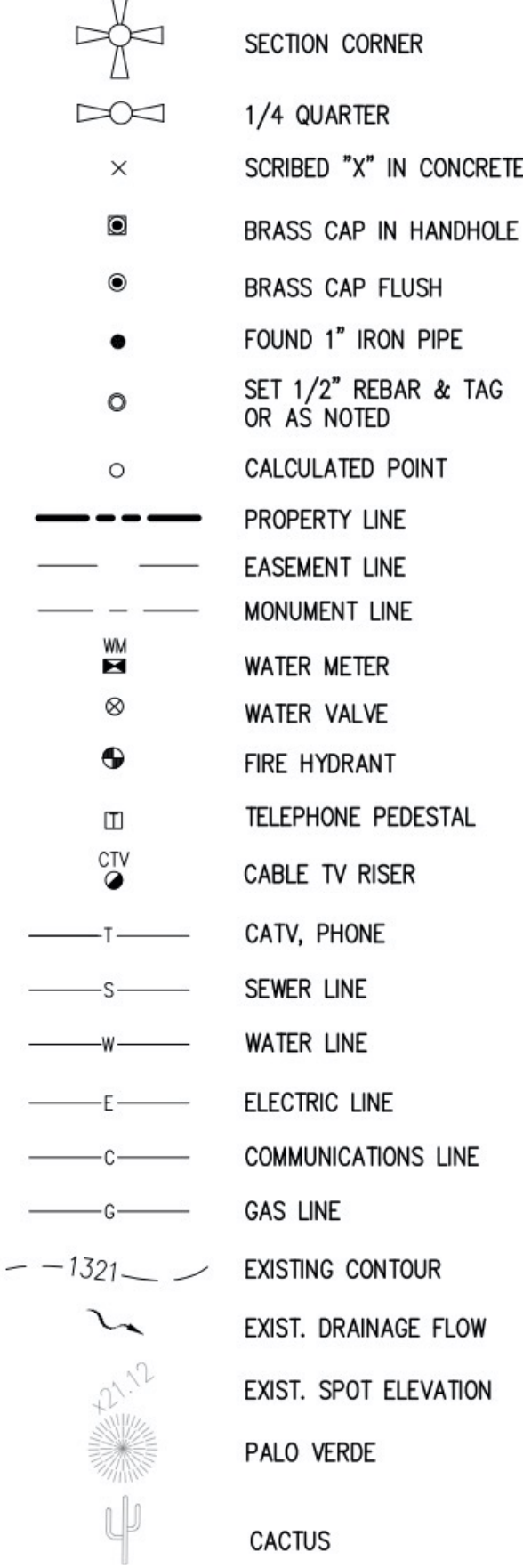
DATE: 08/27/20
SCALE: AS SHOWN
DRAWN: DP/JP
JOB: 17013

AERIAL

DRAWING TITLE:
PRE-APP
PROJECT PHASE:

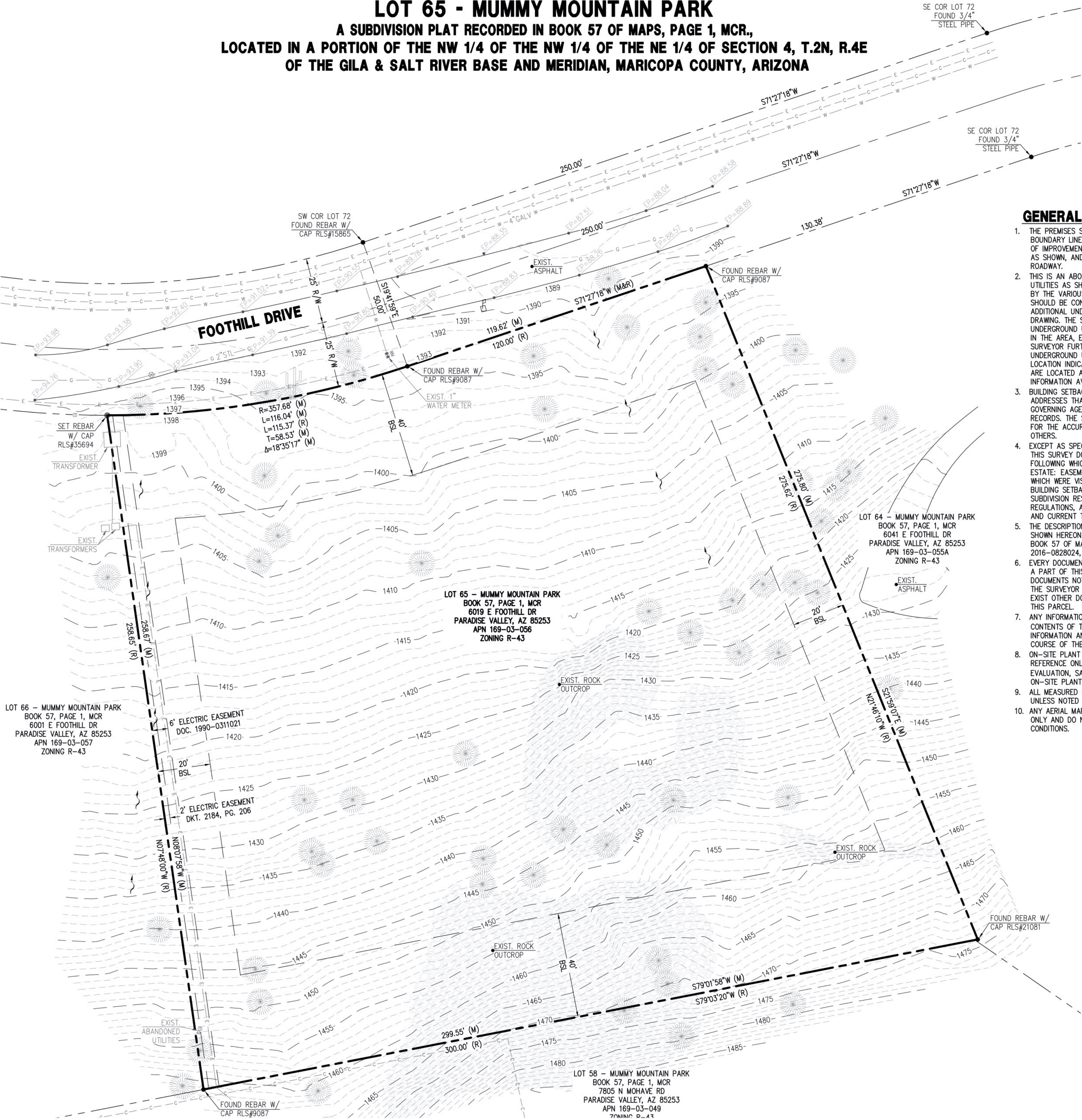
BOUNDARY & TOPOGRAPHIC SURVEY
6019 E FOOTHILL DR., PARADISE VALLEY, AZ 85253
LOT 65 - MUMMY MOUNTAIN PARK
A SUBDIVISION PLAT RECORDED IN BOOK 57 OF MAPS, PAGE 1, MCR.,
LOCATED IN A PORTION OF THE NW 1/4 OF THE NW 1/4 OF THE NE 1/4 OF SECTION 4, T.2N, R.4E
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

LEGEND



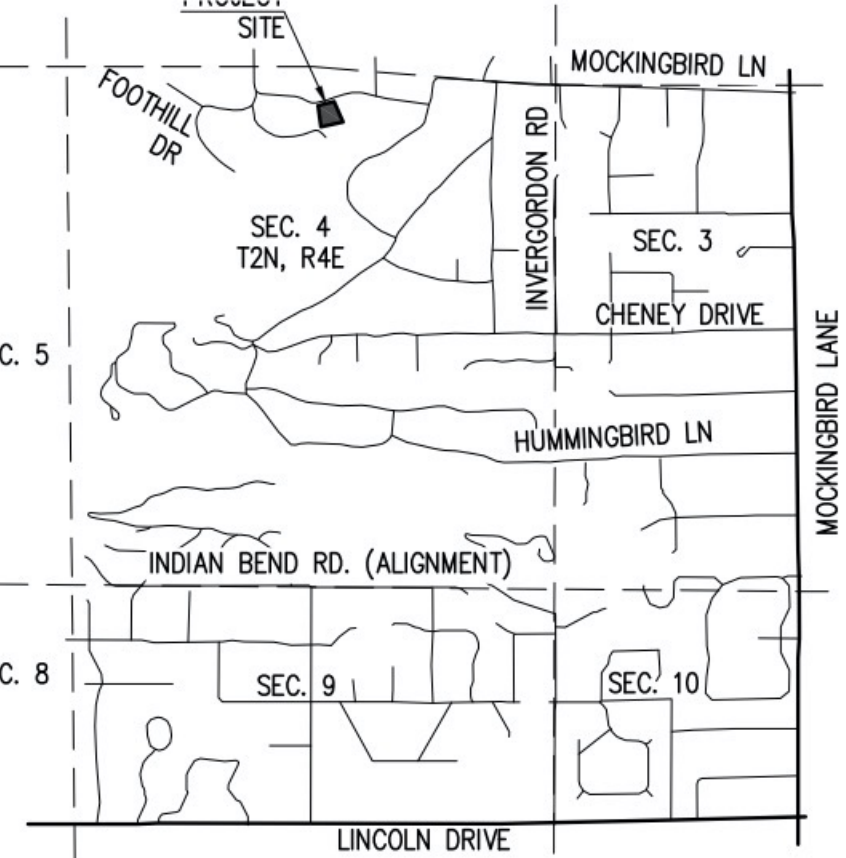
ABBREVIATIONS

BC	BACK OF CURB
BSL	BUILDING SETBACK LINE
C11	CURVE LABEL
CL	CENTERLINE
DE	DRAINAGE EASEMENT
EG	EXISTING GRADE
EL	ELEVATION
EP	EDGE OF PAVEMENT
ESMT	EASEMENT
EX, EXIST.	EXISTING
FG	FINISH GRADE
FL	FLOW LINE
FND	FOUND
G	GUTTER, GAS
INV	INVERT
JBE	JOINT USE & BENEFIT EASEMENT
L11	LINE LABEL
M	MEASURED
MCR	MARICOPA COUNTY RECORDER
MH	MANHOLE
P, PVMT	PAVEMENT
PUE	PUBLIC UTILITY EASEMENT
(R), REC.	RECORDED
R	RADIUS
R/W	RIGHT OF WAY
T	TANGENT, TELEPHONE
TC	TOP OF CURB
TG	TOP OF GRATE
TPV	TOWN OF PARADISE VALLEY
TRW	TOP OF RETAINING WALL
W	WEST, WATERLINE
WDO	WALL DRAINAGE OPENING
WM	WATER METER



GENERAL NOTES

- THE PREMISES SURVEYED HAVE NO KNOWN DISCREPANCIES. BOUNDARY LINE CONFLICTS, ENCROACHMENTS, OVERLAPPING OF IMPROVEMENTS, EASEMENTS OR RIGHT-OF-WAYS EXCEPT AS SHOWN, AND HAS ACCESS TO OR FROM A DEDICATED ROADWAY.
- THIS IS AN ABOVE GROUND SURVEY. THE UNDERGROUND UTILITIES AS SHOWN ARE BASED ON INFORMATION PROVIDED BY THE VARIOUS UTILITY COMPANIES AND THESE LOCATIONS SHOULD BE CONSIDERED APPROXIMATE. THERE MAY BE ADDITIONAL UNDERGROUND UTILITIES, NOT SHOWN ON THIS DRAWING. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN HEREON ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE AT THE TIME OF THE SURVEY.
- BUILDING SETBACK LINES, ZONING, FLOOD AREA ZONES, AND ADDRESSES THAT MAY BE SHOWN ARE SUPPLIED BY THE GOVERNING AGENCY OR TAKEN FROM THE BEST AVAILABLE RECORDS. THE SURVEYOR WILL NOT ACCEPT RESPONSIBILITY FOR THE ACCURACY OF ANY INFORMATION SUPPLIED BY OTHERS.
- EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS MAP, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: EASEMENTS, OTHER THAN POSSIBLE EASEMENTS, WHICH WERE VISIBLE AT THE TIME OF MAKING THIS SURVEY; BUILDING SETBACK LINES; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS; ZONING OR OTHER LAND USE REGULATIONS, AND ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- THE DESCRIPTION OF PROPERTY BOUNDARIES AND EASEMENTS SHOWN HEREON, REPRESENT THAT INFORMATION PROVIDED IN BOOK 57 OF MAPS, PAGE 01, AND DEED REC. DOC. 2016-0828024, RECORDS OF MARICOPA COUNTY, ARIZONA.
- EVERY DOCUMENT OF RECORD REVIEWED AND CONSIDERED AS A PART OF THIS SURVEY IS NOTED HEREON. ONLY THE DOCUMENTS NOTED HEREON WERE SUPPLIED OR AVAILABLE TO THE SURVEYOR AT THE TIME OF THE SURVEY. THERE MAY EXIST OTHER DOCUMENTS OF RECORD, WHICH WOULD AFFECT THIS PARCEL.
- ANY INFORMATION SHOWN WHICH MAY VARY FROM THE CONTENTS OF THE REPORT(S) NOTED ABOVE, REPRESENTS INFORMATION AND MEASUREMENTS FOUND DURING THE COURSE OF THE SURVEY.
- ON-SITE PLANT INFORMATION SHOWN HEREON IS FOR REFERENCE ONLY. SURVEYOR ASSUMES NO LIABILITY FOR THE EVALUATION, SALVAGEABILITY, REMOVAL AND/RELOCATION OF ON-SITE PLANT MATERIALS.
- ALL MEASURED BEARINGS AND DISTANCES EQUAL RECORD UNLESS NOTED OTHERWISE.
- ANY AERIAL MAPS SHOWN ON THIS PLAN ARE FOR REFERENCE ONLY AND DO NOT NECESSARILY DEPICT THE EXACT CURRENT CONDITIONS.



VICINITY MAP
NTS

OWNER

NITEEN AND BERNADETTE ANDALKAR
10187 E PEAK CIR
SCOTTSDALE, AZ 85262

SITE DATA

APN: 169-03-056
ADDRESS: 6019 E FOOTHILL DR
PARADISE VALLEY, AZ 85253
ZONING: R-43
LOT AREA: 69,227 S.F. (1.589 AC.)

LEGAL DESCRIPTION

LOT 65, OF MUMMY MOUNTAIN PARK, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 57 OF MAPS, PAGE 1.

CONTAINING 69,227 S.F. (1.589 AC.); MORE OR LESS.

BASIS OF BEARINGS

THE MONUMENT LINE OF FOOTHILL DR., THE BEARING OF WHICH IS S71°27'18"W.

BENCHMARK

BRASS CAP IN HAND HOLE AT THE INTERSECTION OF MOCKINGBIRD LANE AND NORTHERN AVE. HAVING AN ELEVATION OF 1311.035 NAVD 88 DATUM, GDACS# 24506-1

SURVEY REFERENCES

- EASEMENTS, RESTRICTIONS, RESERVATIONS, CONDITIONS AND SETBACK LINES AS SET FORTH ON THE PLAT RECORDED IN BOOK 57 OF MAPS, PAGE 01, MCR.
- WARRANTY DEED RECORDED IN DOC. NO. 2016-0828024, M.C.R.

UTILITIES

WATER: CITY OF PHOENIX
SANITARY SEWER: SEPTIC
ELECTRIC: ARIZONA PUBLIC SERVICE
TELEPHONE: CENTURY LINK, COX COMMUNICATIONS
NATURAL GAS: SOUTHWEST GAS
CABLE TV: CENTURY LINK, COX COMMUNICATIONS

FLOOD INSURANCE RATE MAP (FIRM) DATA

COMMUNITY #	PANEL #	SUFFIX	BASED FLOOD ELEVATION
040049	1765 OF 4425	L	N/A
MAP #	PANEL DATE	ZONE	
04013C	10/16/2013	X*	

*AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN

CERTIFICATE OF SURVEY

THIS IS TO CERTIFY THAT THIS MAP AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE CURRENT "MINIMUM STANDARDS FOR ARIZONA BOUNDARY AND TOPOGRAPHIC SURVEYS", AND THAT THE SURVEY SHOWN HEREON IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND WAS SURVEYED AND DRAWN UNDER MY DIRECTION IN THE MONTH OF MARCH, 2017.

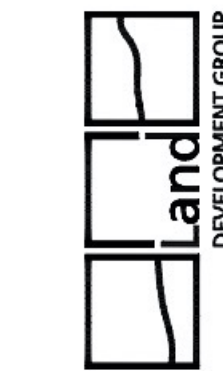


Expires 12/31/2018
JAMES FLACK, RLS

03/20/17
DATE

BOUNDARY & TOPOGRAPHIC
SURVEY MAP
LOT 65 - MUMMY
MOUNTAIN PARK
6019 E FOOTHILL DR
PARADISE VALLEY, AZ 85253

P. 602 889 1984 | F. 602 445 9482
8808 N CENTRAL AVE., SUITE 288
PHOENIX, AZ 85020
PHOENIX @ LDENG.COM



TOWN OF PARADISE VALLEY NOTES

1. GRADING SHALL BE IN CONFORMANCE WITH 2018 IBC.
2. PRIOR TO FIRST FOOTING INSPECTION OF ANY TYPE, ALL PROPERTY PINS SHALL BE PLACED BY A REGISTERED LAND SURVEYOR OF THE STATE OF ARIZONA, AND PROPERTY LINES MUST BE PHYSICALLY IDENTIFIED PRIOR TO INSPECTION.
3. WHERE EXCAVATION IS TO OCCUR THE TOP 4" OF EXCAVATED NATIVE SOIL SHALL REMAIN ON THE SITE AND SHALL BE REUSED IN A MANNER THAT TAKES ADVANTAGE OF THE NATURAL SOIL SEED BANK IT CONTAINS.
4. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) SPECIFICATIONS AND STANDARD DETAILS.
5. ALL EXTERIOR SITE LIGHTING SHALL COMPLY WITH REQUIREMENTS OF SECTION 2208 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES FOR FUTURE TYPE, LOCATION, HEIGHT, WATTAGE BASED UPON FIXTURES INSTALLED.
6. A DUST CONTROL PLAN MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
7. A SEPARATE PERMIT IS NECESSARY FOR ANY OFFSITE CONSTRUCTION.
8. AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
9. EAVE PROJECTIONS INTO REQUIRED SETBACKS ARE LIMITED TO A MAXIMUM OF 24" PURSUANT TO SECTION 100B OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES.
10. ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
11. ALL NEW AND EXISTING ELECTRICAL SERVICE TO BE BURIED UNDERGROUND PER THE TOWN OF PARADISE VALLEY STANDARDS.
12. POOL, SPA, BARBECUE AND ANY PROPOSED STRUCTURES OVER 8 INCHES ABOVE GRADE REQUIRE SEPARATE PERMIT APPLICATIONS.
13. POOLS SHALL BE CONSTRUCTED BY SEPARATE PERMIT AND SECURED FROM UNWANTED ACCESS PER SECTION 5-2-2 OF THE TOWN OF PARADISE VALLEY ORDINANCES.
14. A SETBACK CERTIFICATION IS REQUIRED AND MUST BE GIVEN TO TOWN INSPECTOR AT STEM WALL INSPECTION.
15. MAIL BOX TO COMPLY WITH THE TOWN OF PARADISE VALLEY STANDARDS FOR MAIL BOXES IN THE R.O.W. FOR HEIGHT, WIDTH AND BREAK AWAY FEATURES.
16. ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE. ALL LAWN AREAS ADJOINING WALKS OR SLABS WILL BE GRADED TO 2" BELOW THE TOP OF SLAB. TYPICAL FINISHED GRADE AROUND PERIMETER OF BUILDING IS MINUS 6" BELOW FINISHED FLOOR UNLESS SPECIFIED OTHERWISE.
17. ALL MATERIAL TO BE UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95% PER ASTM D698.
18. SOILS COMPACTION TEST RESULTS MUST BE SUBMITTED TO THE TOWN ENGINEER'S OFFICE FOR BUILDING PADs THAT HAVE ONE (1) FOOT OR MORE OF FILL MATERIAL INDICATED. THIS INFORMATION MUST BE SUPPLIED PRIOR TO REQUEST FOR FINAL INSPECTION.
19. TRENCH BED SHALL BE FREE OF ROCKS AND DEBRIS.
20. REGULATION II RULE 20-3 OF THE MARICOPA COUNTY HEALTH DEPARTMENT, BUREAU OF AIR POLLUTION CONTROL SHALL BE OBSERVED AND ENFORCED.
21. ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL CITY OR TOWN UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
22. THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL STATE, AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO THE CONSTRUCTION COVERED BY THIS PLAN.
23. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
24. ALL CONSTRUCTION IN THE PUBLIC RIGHTS-OF-WAY OR IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) UNIFORM STANDARD SPECIFICATIONS AND UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION.
25. IF THE TOWN ONLY APPROVES THE SCOPE, NOT THE DETAIL, OF ENGINEERING DESIGNS; THEREFORE, IF CONSTRUCTION QUANTITIES ARE SHOWN ON THESE PLANS, THEY ARE NOT VERIFIED BY THE TOWN.
26. THE APPROVAL OF PLANS IS VALID FOR SIX (6) MONTHS. IF AN ENCROACHMENT PERMIT FOR THE CONSTRUCTION HAS NOT BEEN ISSUED WITHIN SIX MONTHS, THE PLANS MUST BE RESUBMITTED TO THE TOWN FOR RE-APPROVAL.
27. A PUBLIC WORKS INSPECTOR WILL INSPECT ALL WORKS WITHIN THE TOWN OF PARADISE VALLEY RIGHTS-OF-WAY AND IN EASEMENTS. NOTIFY INSPECTION SERVICES 24 HOURS PRIOR TO BEGINNING CONSTRUCTION BY CALLING 480- 312-5750.
28. WHENEVER EXCAVATION IS NECESSARY, CALL THE BLUE STAKE CENTER, 602-263-1100, TWO WORKING DAYS BEFORE EXCAVATION BEGINS. THE CENTER WILL SEE THAT THE LOCATION OF THE UNDERGROUND UTILITY LINES IS IDENTIFIED FOR THE PROJECT. CALL "COLLECT" IF NECESSARY.
29. ENCROACHMENT PERMITS ARE REQUIRED FOR ALL WORK IN PUBLIC RIGHTS-OF-WAY AND EASEMENTS GRANTED FOR PUBLIC PURPOSES. AN ENCROACHMENT PERMIT WILL BE ISSUED BY THE TOWN ONLY AFTER THE REGISTRANT HAS PAID A BASE FEE PLUS A FEE FOR INSPECTION SERVICES. COPIES OF ALL PERMITS MUST BE RETAINED ON-SITE AND BE AVAILABLE FOR INSPECTION AT ALL TIMES. FAILURE TO PRODUCE THE REQUIRED PERMITS WILL RESULT IN IMMEDIATE SUSPENSION OF ALL WORK UNTIL THE PROPER PERMIT DOCUMENTATION IS OBTAINED.
30. ALL EXCAVATION AND GRADING THAT IS NOT IN THE PUBLIC RIGHTS-OF-WAY OR NOT IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO CHAPTER 70, EXCAVATION AND GRADING, OF THE LATEST EDITION OF THE IBC BY THE ICC. A PERMIT FOR THIS GRADING MUST BE SECURED FROM THE TOWN FOR A FEE ESTABLISHED BY THE UNIFORM BUILDING CODE.
31. EXCAVATIONS SHALL COMPLY WITH REQUIREMENTS OF OSHA EXCAVATION STANDARDS (29 CFR, PART 1926, SUBPART P). UNDER NO CIRCUMSTANCES WILL THE CONTRACTORS BE ALLOWED TO WORK IN A TRENCH LOCATED WITHIN THE TOWN'S RIGHT-OF-WAY WITHOUT PROPER SHORING OR EXCAVATION METHODS.
32. ON DEMOLITION, GRADING, REMODELING AND NEW CONSTRUCTION PROJECTS, PERMITTEE MUST NOTIFY ADJACENT PROPERTY OWNERS REGARDING THE NATURE OF THE PROJECT, THE TIME PERIOD FOR CONSTRUCTION, AND ANY UNUSUAL ACTIVITIES THAT MAY CAUSE DISRUPTION OF THE NORMAL COURSE OF TRAFFIC DURING CONSTRUCTION.
33. ALL PERMITTEES MUST POST A 6 SQUARE FOOT (2'x3') IDENTIFICATION SIGN, MADE OF DURABLE MATERIAL, IN THE FRONT YARD OF SUBJECT PROPERTY AND NOT IN THE TOWN RIGHT-OF-WAY. THE SIGN MAY NOT EXCEED A MAXIMUM OF 6 FEET IN HEIGHT FROM GRADE TO TOP OF THE SIGN. THE SIGN MUST INCLUDE THE PERMITTEE OR COMPANY NAME, PHONE NUMBER, TYPE OF WORK, AND ADDRESS OF PROJECT.
34. WHEN DEEMED NECESSARY, A 6-FOOT HIGH CHAIN LINK FENCE MUST BE INSTALLED AROUND THE CONSTRUCTION AREA TO PREVENT ANY POTENTIAL SAFETY HAZARD FOR THE PUBLIC. THE FENCE SHALL BE SETBACK AT LEAST 10 FEET FROM ALL RIGHTS-OF-WAY AND HAVE A 50-FOOT STREET CORNER SITE TRIANGLE WHERE APPLICABLE.
35. CLEAR ACCESS FOR NEIGHBORING PROPERTIES AND EMERGENCY VEHICLES MUST BE MAINTAINED AT ALL TIMES. CONSTRUCTION RELATED VEHICLES MUST BE LEGALLY PARKED ONLY ON ONE SIDE OF THE STREET OR JOB SITE PROPERTY. IF A STAGING AREA IS NEEDED ON A PROPERTY OTHER THAN THE CONSTRUCTION SITE FOR CONSTRUCTION SUPPLIES AND EQUIPMENT, THE PERMITTEE MUST OBTAIN PROPERTY OWNER AND TOWN APPROVAL FIRST AND MUST INFORM THE ADJACENT PROPERTY OWNERS OF THE LOCATION OF STAGING AREA, AND TIME AND HOURS DURING THE DAY THE AREA WILL BE USED.
36. EXCEPT AS OUTLINED IN ITEM 4, ALL CONSTRUCTION DEBRIS AND EQUIPMENT MUST BE CONTAINED ON SITE AT ALL TIMES. CONTRACTOR AND PROPERTY OWNER MUST MAINTAIN THE JOB SITE FREE OF LITTER AND UNSIGHTLY MATERIALS AT ALL TIMES. CONSTRUCTION MATERIALS ARC PROHIBITED IN THE TOWN RIGHT-OF-WAY OR NEAR ADJACENT PROPERTIES.
37. BUILDING CONSTRUCTION MUST NOT START SOONER THAN SUNRISE AND MUST STOP NO LATER THAN SUNSET. ALSO, ORDINANCE #661 IMPOSES RESTRICTIONS ON CONSTRUCTION WORK ON SATURDAYS, SUNDAYS AND MAJOR BUSINESS HOLIDAYS. HILLSIDE PROJECTS MAY HAVE ADDITIONAL RESTRICTIONS. EQUIPMENT WITH AUDIBLE REVERSE DIRECTION WARNINGS MUST NOT BE OPERATED PRIOR TO 7:00 A.M.
38. THE USE AND OPERATION OF FUEL-FIRED GENERATORS ON ANY CONSTRUCTION SITE, NEW, EXISTING OR REMODELING, IS PROHIBITED UNLESS DUE TO A HARSHSHIP TOWN APPROVAL IS OBTAINED.
39. THE CONTRACTOR AND PROPERTY OWNER WILL BE LIABLE FOR A DAMAGE DONE TO ANY PUBLIC PROPERTY AS A RESULT OF ANY CONSTRUCTION OR CONSTRUCTION RELATED ACTIVITIES. NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL AFFECTED RIGHTS-OF-WAY ARE CLEANED AND/OR REPAIRED TO THEIR ORIGINAL CONDITION AND UNTIL ANY AND ALL DAMAGES TO AFFECTED PROPERTIES ARE RESTORED TO ORIGINAL CONDITION, OR UNTIL SUCH TIME THAT A WRITTEN, SIGNED AND LEGALLY BINDING AGREEMENT HAS BEEN REACHED BY THE PARTIES INVOLVED TO REMEDY ANY VIOLATION WITHIN A REASONABLE TIME PERIOD, AND UNTIL ALL REQUIRED FEES ARE PAID IN FULL.
40. THE NATURAL FLOW OF RAINWATER AND OTHER SURFACE DRAINAGE FROM THE PROPERTY MAY NOT BE ALTERED IN ANY WAY.
41. A KEY SWITCH SHALL BE REQUIRED ON ALL NEW AND EXISTING ELECTRIC ENTRY CONTROL GATES. THE KEY SWITCH SHALL BE INSTALLED IN A LOCATION ON THE GATE CONTROL PANEL THAT IS READILY VISIBLE AND ACCESSIBLE. KNOX BOX ORDER FORMS ARE AVAILABLE AT THE PARADISE VALLEY BUILDING DEPARTMENT.
42. ALL EQUIPMENT OF ALL TRADES ON OR AFFECTING THE JOB MUST BE CLEANED ONLY IN A PRE-DETERMINED AND DESIGNATED AREA. DEBRIS AND RUNOFF FROM SAID AREA MAY NOT EXTEND BEYOND THE BUILDING AREA.
43. PROPERTY OWNER, BUILDER, OR GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR CONTROLLING DUST FROM THE SITE AT ALL TIMES. ALL MEANS NECESSARY SHALL BE USED BY THE BUILDER OR GENERAL CONTRACTOR TO CONTROL THE EXISTENCE OF DUST CAUSED BY ANY EARTHWORK, SPRAY APPLICATION OF MATERIALS, OR OTHER DUST-CAUSING PRACTICES REQUIRED BY THE CONSTRUCTION PROCESS.
44. AN INSPECTION FEE WILL BE CHARGED IF THE INSPECTION IS REQUIRED AS A RESULT OF A CODE VIOLATION.
45. FOR DEMOLITION INSPECTION OWNER OR PERMITTEE SHALL NOTIFY OSHA FOR ASBESTOS INSPECTION. ALL DEMOLITIONS AND ALL RENOVATION ACTIVITIES THAT WILL DISTURB FRABLE ASBESTOS CONTAINING MATERIALS MUST BE REPORTED TO THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT.

PRELIMINARY GRADING & DRAINAGE PLAN
6019 E FOOTHILL DR., PARADISE VALLEY, AZ 85253

LOT 65 - MUMMY MOUNTAIN PARK
A SUBDIVISION PLAT RECORDED IN BOOK 57 OF MAPS, PAGE 1, MCR.,
LOCATED IN A PORTION OF THE NW 1/4 OF THE NW 1/4 OF THE NE 1/4 OF SECTION 4, T.2N, R.4E
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

ENGINEERS NOTES

1. MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION INCLUDING LATEST REVISION AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL TOWN OR CITY) ARE INCORPORATED INTO THIS PLAN IN THEIR ENTIRETY.
2. ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL CITY OR TOWN UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
3. GRADING SHALL BE IN CONFORMANCE WITH 2018 IBC SEC. 1803 AND APPENDIX J.
4. 5% MINIMUM SLOPE AWAY FROM BUILDING FOR A MINIMUM 10', U.N.O.
5. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) SPECIFICATIONS AND STANDARD DETAILS.
6. A DUST CONTROL PLAN MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
7. A SEPARATE PERMIT IS NECESSARY FOR ANY OFFSITE CONSTRUCTION.
8. AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
9. ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTOR DITCHES, PIPES, PROTECTIVE BERMS, BARRIER WALLS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT ADJACENT BUILDINGS OR PROPERTY FROM STORM RUNOFF MUST BE COMPLETED PRIOR TO BUILDING CONSTRUCTION.
10. ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
11. ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE. ALL LAWN AREAS ADJOINING WALKS OR SLABS WILL BE GRADED TO 2" BELOW THE TOP OF SLAB. TYPICAL FINISHED GRADE AROUND PERIMETER OF BUILDING IS MINUS 6" BELOW FINISHED FLOOR UNLESS SPECIFIED OTHERWISE.
12. ALL MATERIAL TO BE UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95% PER ASTM D698.
13. THE QUANTITIES AND SITE CONDITIONS DEPICTED IN THESE PLANS ARE FOR INFORMATIONAL PURPOSES ONLY AND ARE SUBJECT TO ERROR AND OMISSION. CONTRACTORS SHALL SATISFY THEMSELVES AS TO ACTUAL QUANTITIES AND SITE CONDITIONS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
14. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
15. THE CONTRACTOR IS RESPONSIBLE FOR ALL METHODS, SEQUENCING, AND SAFETY CONCERNS ASSOCIATED WITH THIS PROJECT DURING CONSTRUCTION, UNLESS SPECIFICALLY ADDRESSED OTHERWISE IN THIS PLAN OR ELSEWHERE.
16. A REASONABLE EFFORT HAS BEEN MADE TO SHOW THE LOCATIONS OF EXISTING UNDERGROUND FACILITIES AND UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND/OR FACILITIES CAUSED DURING THEIR CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL CALL 48 HOURS IN ADVANCE FOR BLUE STAKE (1-800-STAKE-11) PRIOR TO ANY EXCAVATION.
17. THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF CONSTRUCTION AFFECTING UTILITIES AND THE COORDINATION OF ANY NECESSARY UTILITY RELOCATION WORK.
18. ALL PAVING, GRADING, EXCAVATION, TRENCHING, PIPE BEDDING, CUT, FILL AND BACKFILL SHALL COMPLY WITH THE RECOMMENDATIONS SET FORTH IN THE SOILS (GEOTECHNICAL) REPORT FOR THIS PROJECT IN ADDITION TO THE REFERENCED REQUIRED SPECIFICATIONS AND DETAILS.
19. THE CONTRACTOR IS TO VERIFY THE LOCATION AND THE ELEVATIONS OF ALL EXISTING UTILITIES AT POINTS OF TIE-IN PRIOR TO COMMENCING ANY NEW CONSTRUCTION. SHOULD ANY LOCATION OR ELEVATION DIFFER FROM THAT SHOWN ON THESE PLANS, THE CONTRACTOR SHALL CONTACT THE OWNER'S AGENT.
20. CONTRACTOR TO VERIFY AND COORDINATE ALL DIMENSIONS AND SITE LAYOUT WITH ARCHITECTURE'S FINAL SITE PLAN AND FINAL BUILDING DIMENSIONS BEFORE STARTING WORK. REPORT DISCREPANCIES TO OWNER'S AGENT.
21. COORDINATION BETWEEN ALL PARTIES IS ESSENTIAL PART OF CONTRACT.
22. CONTRACTOR IS RESPONSIBLE FOR PROJECT AND SITE CONDITIONS, AND TO WORK WITH WEATHER CONDITIONS AS THE PROJECT SITE MAY BE LOCATED IN A FLOOD PRONE AREA AND SUBJECT TO SOILING AND ITS HAZARDS.
23. THE CONTRACTOR IS TO VERIFY THE LOCATION, ELEVATION, CONDITION, AND PAVEMENT CROSS-SLOPE OF ALL EXISTING SURFACES AT POINTS OF TIE-IN AND MATCHING, PRIOR TO COMMENCEMENT OF GRADING, PAVING, CURB AND GUTTER, OR OTHER SURFACE CONSTRUCTION. SHOULD EXISTING LOCATIONS, ELEVATIONS, CONDITION, OR PAVEMENT CROSS-SLOPE DIFFER FROM THAT SHOWN ON THESE PLANS, RESULTING IN THE DESIGN INTENT REFLECTED ON THESE PLANS NOT ABLE TO BE CONSTRUCTED, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AGENT IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ALL COSTS ASSOCIATED WITH CORRECTIVE ACTION IF THESE PROCEDURES ARE NOT FOLLOWED.
24. CONTRACTOR IS RESPONSIBLE TO COORDINATE UTILITY CROSSINGS AT CULVERT CROSSINGS BEFORE STARTING WORK ON CULVERT. COORDINATE WITH OWNER REPRESENTATIVE. VERIFY UTILITY LINES AND/OR CONDUITS ARE IN PLACE BEFORE STARTING CULVERT WORK.
25. ALL ON-SITE UTILITIES PER OTHERS.
26. THIS PROJECT REQUIRES A REGULAR ONGOING MAINTENANCE PROGRAM FOR THE DESIGNED DRAINAGE SYSTEM(S) TO PRESERVE THE DESIGN INTEGRITY AND THE ABILITY TO PERFORM ITS OPERATIONAL INTENT. FAILURE TO PROVIDE MAINTENANCE WILL JEOPARDIZE THE DRAINAGE SYSTEM(S) PERFORMANCE AND MAY LEAD TO IT'S INABILITY TO PERFORM PROPERLY AND/OR CAUSE DAMAGE ELSEWHERE IN THE PROJECT.
27. IF A DISCREPANCY IS FOUND BETWEEN ENGINEER'S PLAN OR SURVEYOR'S STAKING AND THE ARCHITECTURAL PLAN, ENGINEER SHALL BE NOTIFIED IMMEDIATELY. FAILURE TO NOTIFY ENGINEER SHALL NEGATE ENGINEER'S LIABILITY.
28. ALL DISTURBED AREAS ARE TO BE ROPED AND ROPING MUST MATCH PLAN.
29. VEGETATION OUTSIDE OF CONSTRUCTION AREA TO REMAIN.
30. AREAS OUTSIDE THE WALL AND CUT AND FILL SLOPES SHALL BE REVEGETATED WITH SIMILAR PLANT TYPES AND DENSITIES FOUND ON THE SITE. REVEGETATION SHALL BE COMPLETED PRIOR TO OCCUPANCY AND THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
31. MECHANICAL EQUIPMENT SHALL BE SCREENED TO A MINIMUM OF ONE FOOT ABOVE TOP OF EQUIPMENT.
32. ANY FUTURE IMPROVEMENTS SHOWN HEREON SHALL REQUIRE A SEPARATE PERMIT.
33. ANY POINTS OF DRAINAGE CONCENTRATION SHOULD BE PROTECTED AGAINST EROSION WITH NATIVE STONE.
34. THIS PLAN IS DESIGNED TO SHOW SITE GRADING AND DRAINAGE CONTRACTOR SHALL USE THE ARCHITECTURAL SITE PLAN TO DETERMINE FINAL HOUSE, WALL, STEP, ETC., LOCATIONS AND ELEVATIONS.
35. ALL DRAINAGE FACILITIES TO BE MAINTAINED BY HOMEOWNER.
36. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR SITE AND RETAINING WALLS LAYOUT, DIMENSIONS, AND DETAILS. TOP OF FOOTING ELEVATIONS SHOWN IN PLAN ARE APPROXIMATE ONLY. ACTUAL TOP OF FOOTINGS TO BE DETERMINED AT TIME OF CONSTRUCTION AND TO BE A MINIMUM OF SIX INCHES BELOW EXISTING NATURAL GRADE OR FINISHED GRADE WHICHEVER IS LOWER (TYPICAL).
37. REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT, DIMENSIONS AND ELEVATIONS.
38. REFER TO STRUCTURAL DRAWINGS, DETAILS AND CALCULATIONS FOR ALL PROPOSED RETAINING WALLS.
39. FOR CHANGE IN ELEVATION THAT ARE GREATER THAN 30", PROVIDE 36" HIGH GUARDRAILS FOR TOTAL OF 42" FALL PROTECTION BARRIER U.N.O.
40. CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE - 5% MIN SLOPE FOR FIRST 10 FEET, U.N.O.
41. ALL WATER AND SEWER LINES AND CONNECTIONS MUST BE INSTALLED PER IPC 2012, MAG AND TOWN OF PARADISE VALLEY SUPPLEMENT TO MAG.
42. WATERPROOF ALL EXTERIOR WALLS 18" ABOVE FINISH GRADE-(BITUTHENE@ 3000 HC MEMBRANE W/ GRACE PROTECTION 30" OR APPROVED EQUAL).
43. ALL PIPES AND FITTINGS SHALL BE INSTALLED PER MANUFACTURE'S SPECIFICATIONS AND DETAILS.
44. ABANDONMENT OF EXISTING AND INSTALLATION OF NEW SEPTIC SYSTEMS SHALL BE PERFORMED IN ACCORDANCE WITH THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT RULES AND STANDARDS, AND WILL REQUIRE SEPARATE PERMIT.
45. COORDINATE RIPRAP COLOR WITH LANDSCAPE PLANS AND DETAILS.
46. VERIFY AND COORDINATE WITH LANDSCAPE PLANS FINAL LOCATION AND GRATE TYPE OF SPECIFIED AREA DRAINS AND TRENCH DRAINS.
47. VERIFY AND COORDINATE WITH ARCHITECTURAL AND LANDSCAPE PLANS LOCATION AND HEIGHT OF ALL SITE WALLS.
48. REFER TO ARCHITECTURAL PLANS AND DETAILS FOR DEMOLITION AND REMOVAL OF ANY EXISTING BUILDING STRUCTURES, SITE WALLS, POOL AND PAVEMENT ETC.
49. REFER TO GEOTECHNICAL REPORT FOR SPECIFIC RECOMMENDATIONS AND MAXIMUM ALLOWED FILL AND CUT SLOPES.
51. THE PROPOSED POOL EQUIPMENT FOR THIS PROJECT SHALL BE EQUIPPED WITH CARTRIDGE FILTER IN ORDER TO AVOID THE BACKWASH.

LEGEND

- FOUND REBAR OR AS NOTED
- SET 1/2" REBAR & TAG OR AS NOTED
- CALCULATED POINT
- PROPERTY LINE
- EASEMENT LINE
- MONUMENT LINE
- Ⓢ SEWER MANHOLE
- Ⓜ WATER METER
- Ⓢ WATER VALVE
- Ⓢ FIRE HYDRANT
- TELEPHONE PEDESTAL
- CTV CABLE TV RISER
- T CATV, PHONE
- S SEWER LINE
- W WATER LINE
- E ELECTRIC LINE
- C COMMUNICATIONS LINE
- G GAS LINE
- FENCE
- 1321--- EXISTING CONTOUR
- 2212--- EXIST. DRAINAGE FLOW
- EXIST. SPOT ELEVATION
- Ⓢ CACTUS
- Ⓢ PALO VERDE TREE
- PROPOSED DISTURBED AREA
- FLOW LINE
- DRAINAGE FLOW ARROW
- PROPOSED SPOT ELEVATION
- PROPOSED CONTOUR
- TR/TW:28.33
TRW:25.33
FG:24.83
TF:21.00
(BW:22.00) TOP OF RAILING/NON-RET. WALL
- TOP OF RETAINING WALL
- FINISH GRADE
- TOP OF FOOTING
- FINISH GRADE AT BOTTOM OF WALL
- Ⓢ CATCH BASIN
- STORM DRAIN PIPE
- RETAINING WALL/AGAINST BUILDING
- EXTENDED BUILDING STEM WALL
- REVEGETATED AREA

ABBREVIATIONS

- BC BACK OF CURB
- BSL BUILDING SETBACK LINE
- C CONCRETE, CALCULATED
- TPV TOWN OF PARADISE VALLEY
- DE DRAINAGE EASEMENT
- ESMT EASEMENT
- EXIST. EXISTING
- EG EXISTING GRADE
- FG FINISH GRADE
- FFE FINISH FLOOR ELEVATION
- FND FOUND
- G GUTTER, GAS
- INV INVERT
- MAG MARICOPA ASSOCIATION OF GOVERNMENTS
- (M) MEASURED
- MCR MARICOPA COUNTY RECORDER
- P PAVEMENT
- PUE PUBLIC UTILITY EASEMENT
- (R) RECORDED
- R RADIUS
- R/W RIGHT OF WAY
- T TANGENT, TELEPHONE
- W WEST, WATERLINE
- TG TOP OF GRATE

PROJECT DESCRIPTION

NEW SINGLE FAMILY RESIDENCE, NEW DRIVEWAY,
NEW POOL, NEW SITE IMPROVEMENTS WITH
ON-SITE RETENTION.

NATIVE PLANTS

ALL NATIVE PLANTS IMPACTED BY CONSTRUCTION
SHALL BE RELOCATED ON SITE. SEE LANDSCAPE PLAN
AND NATIVE PLANT INVENTORY AND SALVAGE PLAN.

DISTURBED AREA CALCULATIONS

AREA OF LOT: 69,227 S.F. (1.589 AC.)
TOTAL UNDER ROOF AREA: 15,440 S.F.
FLOOR AREA RATIO: 23.30% < 25%
(TOTAL FLOOR AREA/AREA OF LOT)
BUILDING PAD SLOPE: 24%
VERTICAL: 24'
HORIZONTAL: 100'
ALLOWABLE NET DISTURBED AREA: 9,733 S.F. (14.05%)
GROSS EXISTING DISTURBED AREA: 0 S.F.
GROSS PROPOSED DISTURBED AREA: 20,171 S.F.
LESS TEMPORARY AREAS OF DISTURBANCE TO BE RESTORED AND REVEGETATED: 2,093 S.F.
LESS 25% OF PROP. PAVERS D/W(4,081x.25 S.F.) 1,020 S.F.
LESS BUILDING FOOTPRINT AREA: 7,671 S.F.
PROPOSED NET DISTURBED AREA: 9,387 S.F. < 9,733 S.F.

UTILITIES NOTES

ALLOWED SLOPES STEEPER THAN NATURAL GRADE (5% MAX.): 3,461 S.F. (5%)
PROPOSED SLOPES STEEPER THAN NATURAL GRADE (AREA): 1,380 S.F. (5%)
VOLUME OF CUT: 2,403 C.Y.
VOLUME OF FILL: 219 C.Y.
TOTAL CUT&FILL: 2,622 C.Y.
HILLSIDE ASSURANCE @ \$25/CUBIC

SHEET INDEX

YARD OF CUT+FILL: \$63,550
ALL QUANTITIES LISTED ON THESE PLANS ARE ESTIMATES ONLY. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF THE QUANTITIES AND BASE THEIR BIDS ON THEIR ESTIMATES.

GRADING SPECIFICATIONS

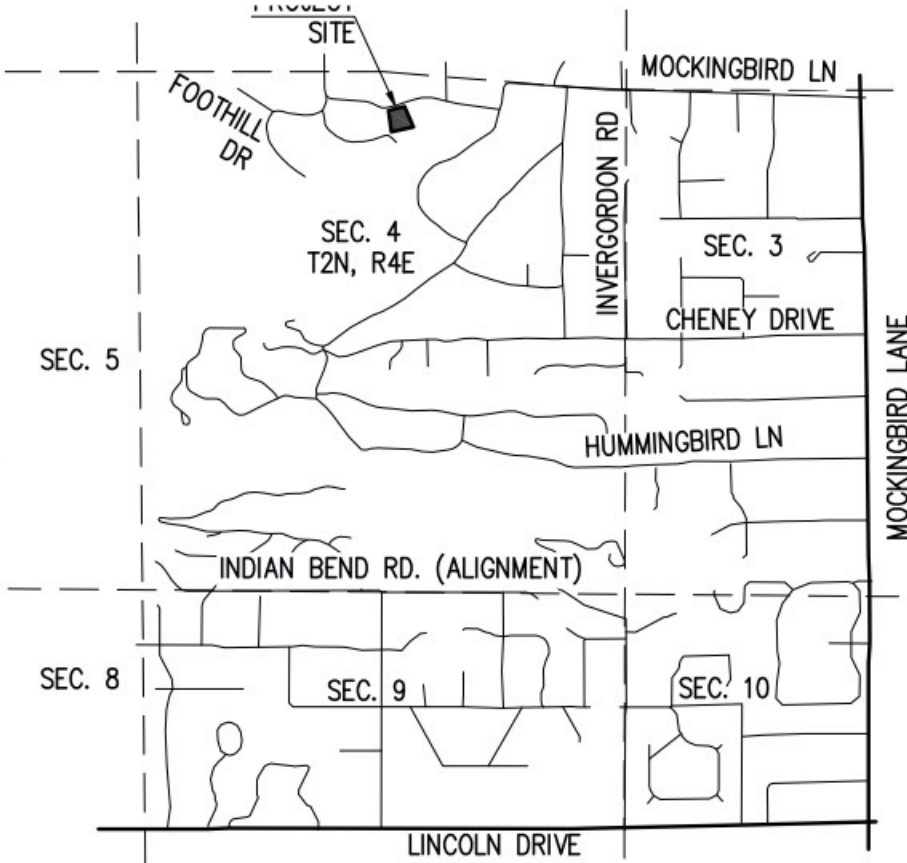
1. EXCAVATION AND GRADING OF THIS SITE IS CLASSIFIED AS "ENGINEERED GRADING" PER 2018 I.B.C. AND WILL BE PERFORMED ACCORDINGLY.
2. THE CONTRACTOR WILL RETAIN A SOILS ENGINEER DURING CONSTRUCTION TO INSPECT PROGRESS OF CONSTRUCTION, CONCERNING PREPARATION OF GROUND TO RECEIVE FILLS, TESTING AND REQUIRED COMPACTION STABILITY OF ALL FINISH SLOPES INCLUDING CUT SLOPES.
3. COMPACTION SHALL COMPLY WITH M.A.G. SECTION 601 AND PROVISIONS AS SET FORTH IN THE SOILS REPORT.
4. BEARING MATERIALS FOR FILL UNDER RESIDENCE PAD IF NATIVE MATERIAL IS USED. LARGE ROCK FRAGMENTS MUST BE REMOVED THAT ARE IN EXCESS OF SIX INCHES. REMAINING MATERIAL MUST BE SMALLER PARTICLES OF SAND AND ROCK THAT CAN BE COMPACTED INTO A DENSE CONDITION.
MAXIMUM PARTICLE SIZE 6 INCHES
PERCENT PASSING NO. 4 SIEVE 35% TO 70%
PERCENT PASSING NO. 200 SIEVE 25% MAX.
PLASTICITY INDEX 10% MAX.
5. CUT-SLOPES: MAXIMUM ROCK CUT SLOPE TO BE 1.0 FEET HORIZONTAL TO 3.0 FEET VERTICAL PER GEOTECHNICAL STUDY.
6. FILL SLOPES: MAXIMUM FILL SLOPE TO BE 2.0 FEET HORIZONTAL TO 1.0 FEET VERTICAL.
7. COMPACTION FILL MATERIAL MUST BE PLACED ON LEVELED BENCHES CUT INTO UNDISTURBED EXISTING HILLSIDE. PLACE FILL IN HORIZONTAL LIFTS OF THICKNESS COMPATIBLE WITH THE COMPACTION EQUIPMENT USED. COMPACT TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM A.S.T.M. DENSITY AT THE OPTIMUM MOISTURE CONTENT OF ± TWO PERCENT. THIS PERTAINS TO ALL ENGINEERED STRUCTURAL FILL SUPPORTING STRUCTURES AND INCLUDING FILL UNDER ANY OF THE RETAINING WALLS. COMPACTION TEST RESULTS SHALL BE SUBMITTED TO THE SOILS ENGINEER AND TOWN OF PARADISE VALLEY BUILDING AND SAFETY DEPARTMENT.
8. ANY RETAINING WALLS ADJACENT TO THE PROPERTY LINES WILL BE UNDER THE SCOPE OF SPECIAL INSPECTION BY THE SOILS ENGINEER. THE DEVELOPER SHALL NOTIFY THE ADJOINING PROPERTY OWNERS IN WRITING, TEN DAYS PRIOR TO START OF CONSTRUCTION ON THESE WALLS PER SECTION 2903-B OF IBC. THE DEVELOPER WILL HAVE TO PROVIDE MEANS OF PROTECTION OF ADJACENT PROPERTY WHILE THIS WORK IS UNDER CONSTRUCTION.
9. ALL EXPOSED CUT AND FILL SHALL BE TREATED WITH AN APPROVED AGING AGENT TO MINIMIZE TO VISUAL CONTINUITY.
10. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL ALL HILLSIDE STIPULATIONS AND ALL TOWN CODE REQUIREMENTS ARE COMPLIED INCLUDING, BUT NOT LIMITED TO LANDSCAPING, GROUND RESTORATION, FIRE FLOW, FIRE SAFETY AND ALL ONSITE AND OFFSITE IMPROVEMENTS.
11. ALL OUTDOOR LIGHTING SHALL BE IN CONFORMANCE WITH ARTICLE XXII OF THE TOWN ZONING ORDINANCE.
12. ALL EXCESS FILL MATERIAL SHALL BE REMOVED FROM THE SITE WITH NO NEW SLP SLOPES.
13. THE USE OF HYDRAULIC RAM HAMMERS, OR OTHER HEAVY EQUIPMENT USED TO CUT THROUGH ROCK, INCLUDING MACHINERY WITH AUDIBLE BACK UP WARNING DEVICES SHALL BE LIMITED TO USE BETWEEN THE HOURS OF 7:00AM OR SUNRISE, WHICHEVER IS LATER, AND 6:00PM OR SUNSET, WHICHEVER IS EARLIER, MONDAY THROUGH FRIDAY, WITH LIMITED WORK ON SATURDAY AND NO WORK ON SUNDAY OR LEGAL HOLIDAYS.
14. CONSTRUCTION STAKING AND/OF FENCING SHALL BE PLACED AROUND THE CONSTRUCTION SITE SO AS TO PROTECT THE UNDISTURBED NATURAL AREAS.

DRAINAGE STATEMENT

1. ULTIMATE STORM OUTFALL IS LOCATED AT THE NORTH PROP. CORNER LINE AT ELEVATION OF 1389.63.
2. NEW SINGLE FAMILY RESIDENCE, GARAGE, POOL AND SITE IMPROVEMENTS ARE PROPOSED WITH THIS PROJECT.
3. PROPOSED DEVELOPMENT DOES NOT IMPACT DRAINAGE CONDITIONS OF ADJOINING LOTS.
4. HISTORIC DRAINAGE PATTERNS ARE PRESERVED.
5. THE MINIMUM FINISH FLOOR ELEVATIONS SHOWN ARE SAFE FROM INUNDATION DURING A 100-YEAR PEAK RUN-OFF EVENT IF CONSTRUCTED PER THE APPROVED FINAL PLANS.
6. PROPOSED STORM DRAIN SYSTEM SHALL BE INSPECTED AND CLEANED FROM DEBRIS AND SILT AFTER EVERY MAJOR STORM EVENT.
7. CHECK DAMS, RIPRAP AND BouldERS ARE SPECIFIED AT ALL POINTS OF DISCHARGE TO MITIGATE EROSION AND TO CONVERT CONCENTRATED FLOWS BACK TO SHEET FLOWS.
8. ON-SITE RETENTION IS PROVIDED FOR THE PRE VS. POST DEVELOPMENT RUNOFF FROM 100-YEAR, 2-HOUR STORM EVENT.

TOWN OF PARADISE VALLEY HILLSIDE NOTES

- A. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL ALL HILLSIDE STIPULATIONS AND ALL TOWN CODE REQUIREMENTS ARE COMPLIED INCLUDING, BUT NOT LIMITED TO LANDSCAPING, GROUND RESTORATION, FIRE FLOW, FIRE SAFETY, AND ALL ONSITE AND OFFSITE IMPROVEMENTS.
- B. ALL OUTDOOR LIGHTING SHALL BE IN CONFORMANCE WITH ARTICLE XXII OF THE TOWN ZONING ORDINANCE.
- C. ALL EXCESS FILL MATERIAL SHALL BE REMOVED FROM THE SITE WITH NO NEW SLP SLOPES.
- D. THE USE OF HYDROLOGIC RAM HAMMERS, OR OTHER HEAVY EQUIPMENT USED TO CUT THROUGH ROCK, INCLUDING MACHINERY WITH AUDIBLE BACK UP WARNING DEVICES SHALL BE LIMITED TO USE BETWEEN THE HOURS OF 7:00AM OR SUNRISE, WHICHEVER IS LATER, AND 6:00PM OR SUNSET, WHICHEVER IS EARLIER, MONDAY THROUGH FRIDAY, WITH LIMITED WORK ON SATURDAY AND NO WORK ON SUNDAY OR LEGAL HOLIDAYS. RAM HAMMERS AND OTHER HEAVY EQUIPMENT CANNOT BE USED ON SATURDAYS WITHOUT A WAIVER FROM THE TOWN MANAGER.
- E. CONSTRUCTION STAKING AND/OR FENCING SHALL BE PLACES AROUND THE CONSTRUCTION SITE SO AS TO PROTECT THE UNDISTURBED NATURAL AREA.
- F. ALL RETAINING WALLS SHALL NOT EXTEND MORE THAN 6 INCHES ABOVE THE MATERIAL THEY RETAIN (WITH EXCEPTION OF DRIVEWAY RETAINING WALLS IN ACCORDANCE WITH 2207.V.6).



VICINITY MAP

OWNER

NITEEN AND BERNADETTE ANDALKAR
10187 E PEAK CIR
SCOTTSDALE, AZ 85262

ARCHITECT

A-I-R, INC
SCOTTSDALE, AZ 85262
CONTACT: DARREN PETRUCCI
P:480 329 1888

SITE DATA

APN: 169-03-056
ADDRESS: 6019 E FOOTHILL DR
PARADISE VALLEY, AZ 85253
ZONING: R-43
LOT AREA: 69,227 S.F. (1.589 AC.)
TOTAL LIVABLE AREA: 8,950 S.F.
GARAGE AREA: 2,864 S.F.
COVERED NON LIVABLE AREA: 3,626 S.F.
TOTAL UNDER ROOF AREA: 15,440 S.F.
LOT AREA RATIO: 22.30%

LEGAL DESCRIPTION

LOT 65, OF MUMMY MOUNTAIN PARK, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 57 OF MAPS, PAGE 1.

BASIS OF BEARINGS

THE MONUMENT LINE OF FOOTHILL DR., THE BEARING OF WHICH IS S71°27'18"W.

UTILITIES

WATER: CITY OF PHOENIX
SANITARY SEWER: SEPTIC
ELECTRIC: ARIZONA PUBLIC SERVICE
TELEPHONE: CENTURY LINK, COX COMMUNICATIONS
NATURAL GAS: SOUTHWEST GAS
CABLE TV: CENTURY LINK, COX COMMUNICATIONS

FLOOD INSURANCE RATE MAP (FIRM) DATA

COMMUNITY #	PANEL #	SUFFIX	BASE FLOOD ELEVATION
040049	1765 OF 4425	L	N/A
MAP #	PANEL DATE	ZONE	
04013C	10/16/2013	X*	N/A

*AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN

FIRE SPRINKLER SYSTEM

FIRE SPRINKLER SYSTEM TO BE INSTALLED PER THE REQUIREMENTS OF THE TOWN OF PARADISE VALLEY AND IN ACCORDANCE WITH I.B.C. SECT. 904.2.2 AMD. AND I.F.C. SECT. 1003.2.1 AMD.

FINISH FLOOR CERTIFICATION

I HEREBY CERTIFY THAT THE FINISHED FLOOR ELEVATION OF THE PROPOSED NEW OFFICE SHOWN ON THE PLAN OF 1404.00 IS MINIMUM OF 12" ABOVE THE 100-YEAR STORM ELEVATION OF 1403.00 ACCORDING TO THE TOWN OF PARADISE VALLEY CODE OF ORDINANCE.

Nite Andalkar

REGISTERED CIVIL ENGINEER

08/24/20

DATE:

AS-BUILT CERTIFICATION

I HEREBY CERTIFY THAT THE "RECORD DRAWING" MEASUREMENTS AS SHOWN HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

REGISTERED ENGINEER / LAND SURVEYOR

DATE

REGISTRATION NUMBER

APPROVAL

THIS SET OF PLANS HAS BEEN REVIEWED FOR COMPLIANCE WITH TOWN OF PARADISE VALLEY REQUIREMENTS PRIOR TO ISSUANCE OF PERMIT. THE TOWN NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. THIS COMPLIANCE APPROVAL SHALL NOT PREVENT THE TOWN ENGINEER FROM REQUIRING CORRECTIONS OF ERRORS OR OMISSIONS IN THE PLANS TO BE FOUND IN VIOLATION OF LAWS OR ORDINANCES.

TOWN ENGINEER

DATE

TOWN OF PARADISE VALLEY

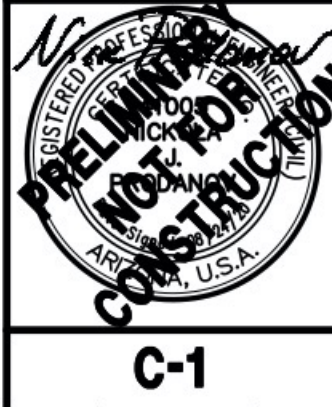
CALL TWO WORKING DAYS
BEFORE YOU DO
(602) 263 1100
BLUE STAKE CENTER

PRELIMINARY
GRADING & DRAINAGE PLAN
COVER SHEET

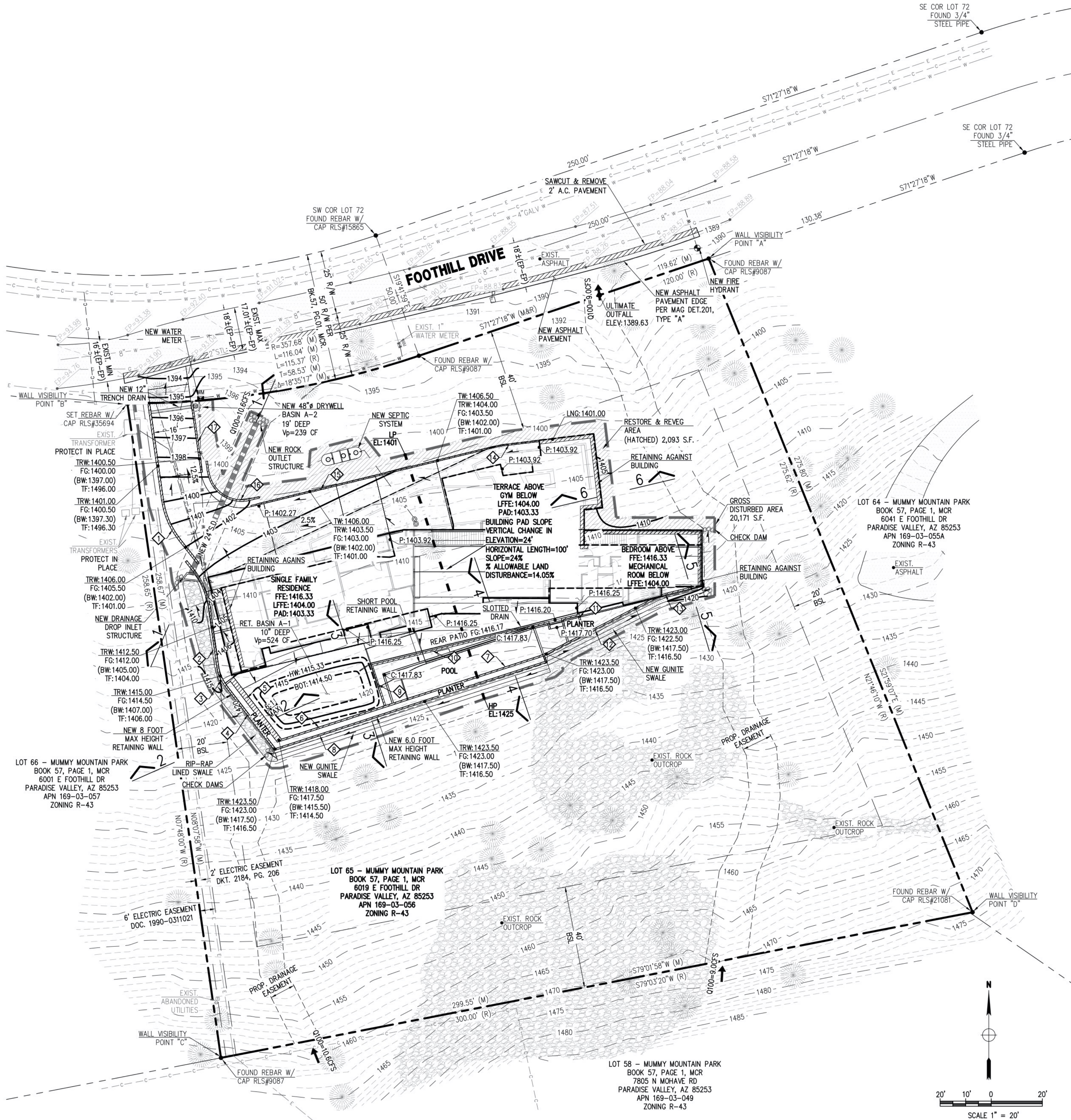
ANDALKAR RESIDENCE
6019 E FOOTHILL DR
PARADISE VALLEY, AZ 85253

P 602 889 084 | F 602 445 9482
8801 N 28TH AVE., SUITE 285
PHOENIX, AZ 85028
PHOENIX @ LOGGING.COM

DEVELOPMENT GROUP
Land



C-1



ON-SITE RETENTION FOR THE PRE VS. POST DEVELOPMENT RUNOFF FROM 100-YEAR, 2-HOUR STORM EVENT										
V=DxAx(Cw-0.75)/12=2.82x20,081x(0.91-0.75)/12=755 C.F.										
D - RAINFALL DEPTH=2.82"		A - TRIBUTARY AREA, SF		Cw - WEIGHTED RUNOFF COEFFICIENT						
DRAINAGE AREA	AREA	RUNOFF COEFFICIENT	VOLUME REQUIRED	RETENTION BASIN ID	CONTOUR ELEVATION		CONTOUR AREA	DEPTH	VOLUME PROVIDED	
	S.F.				C	C.F.				HW
A	20,171	0.16	758	A1	HW	15.33	901	0.83	524	
					BOTTOM	14.50	362			
TOTAL			758	A2	19' DEEP (48" DIA) DRYWELL			239		
								763		

* C_{w,post}=0.91 IS USED IN CALCULATIONS FOR GROSS DISTURBANCE AS 0.91 > 0.88

WEIGHTED RUNOFF COEFFICIENT, C _w AREA A			
SURFACE TYPE	RUNOFF COEFFICIENT C	AREA SF	C*AREA
ROOF	0.95	9,622	9,141
HARDSCAPE	0.95	3,484	3,310
LANDSCAPE	0.75	7,065	5,298
TOTAL		20,171	17,750
$C_w = C * \text{AREA} / \text{TOTAL AREA} = 0.88$			

RETAINING WALL TABLE

ID NUMBER	MAX. HEIGHT	LENGTH	VISIBLE WALL LENGTH			
			A	B	C	D
1	4	67.17		67.17		
2	8	44.00		44.00		
3	8	8.00			8.00	
4	6	33.25			32.25	
5	2.5	33.33				
6	2.5	42.67				
7	2.5	65.00				
8	6	111.00			111.00	
9	2	16.50				
10	2	73.50				
11	2	16.33				
12	6	67.67			67.67	67.67
13	5	11.75			11.75	11.75
14	4.5	17.25	17.25			
15	4.5	98	98.00	98.00		
16	2	30.17	30.17	30.17		
17	2	28	28.00	28.00		
TOTAL		763.59	173.42	267.34	274.67	190.42

FOR LOCATIONS IDENTIFIED WITH KEYNOTE
MAXIMUM LENGTH OF RETAINING WALLS VISIBLE FROM ANY POINT ON THE PROPERTY LINE = 275' < 300'. ALL WALL LENGTHS LISTED ABOVE ARE FOR PERMITTING PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ACCURACY OF WALL QUANTITIES AS SHOWN. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS AND DETAILS FOR WALL CONSTRUCTION, HEIGHT AND FINISH.

DATE: 08/24/20
JOB: 1703020
VERSION: 1.1
PLOT DATE: 08/24/20

DATE: 08/24/20
DESIGNED BY: NP
DRAWN BY: DW
CHECKED BY: J

REVISIONS:

PRELIMINARY
GRADING & DRAINAGE
IMPROVEMENT PLAN

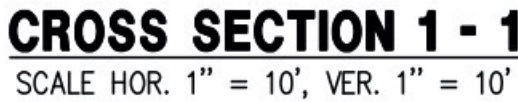
ANDALKAR RESIDENCE
6019 E FOOTHILL DR
PARADISE VALLEY, AZ 85253

CALL TWO WORKING DAYS
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Land
DEVELOPMENT GROUP

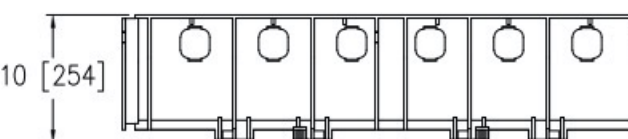
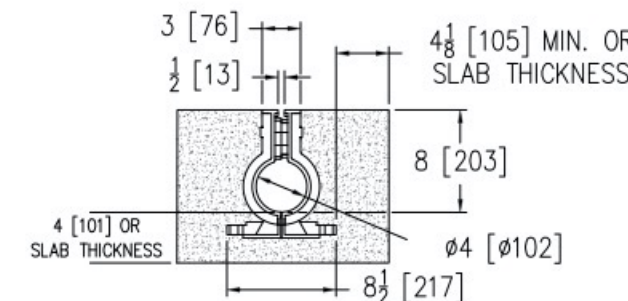
PRELIMINARY
NOT FOR CONSTRUCTION

C-2

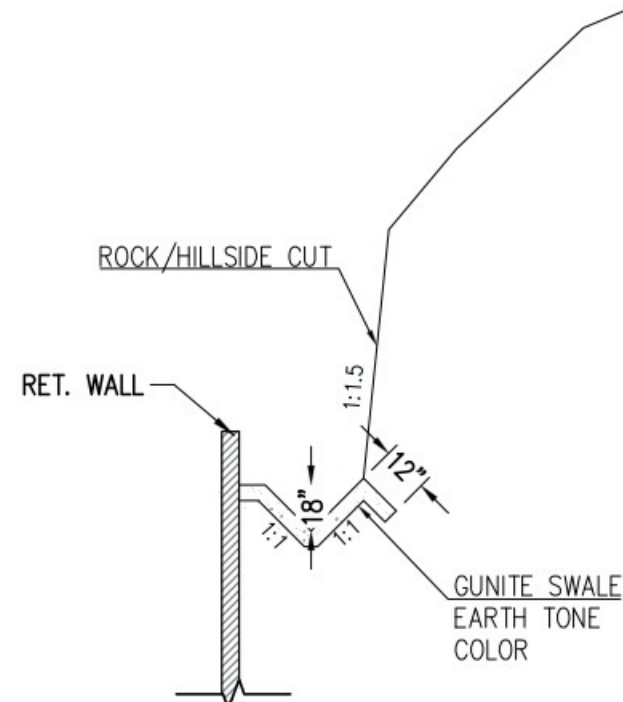
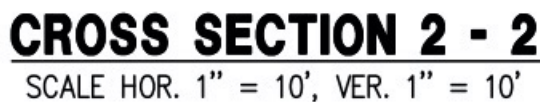


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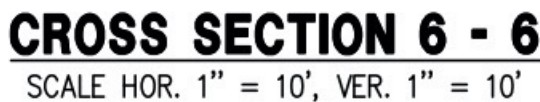
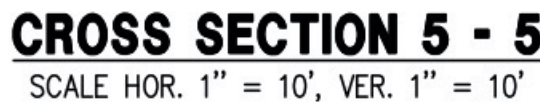
DRYWELL DETAIL
N.T.S.



POOL DECK SLOTTED DRAIN DETAIL
N.T.S.



CONCRETE LINED SWALE DETAIL



PERCENT PASSING	SIZE	D ₅₀ CLASS, INCHES			
		4	6	8	12
100 TO 90	2.0 D ₅₀	8	12	16	24
85 TO 70	1.5 D ₅₀	6	8	12	18
50 TO 30	1.0 D ₅₀	4	6	8	12
15 TO 5	0.67 D ₅₀	3	4	5	8
5 TO 0	0.33 D ₅₀	1	2	3	4

RIP-RAP GRADATION TABLE

PROJECT ADDRESS
6019 E FOOTHILL DR
PARADISE VALLEY, AZ 85253

LEGAL DESCRIPTION

APN 169-03-056
ZONING R-43

PROJECT INFORMATION

CONSTRUCTION TYPE V-B

PROPOSED SQUARE FOOTAGE	
LIVABLE LEVEL ONE	3,423 SF
LIVABLE LEVEL TWO	5,527 SF
TOTAL LIVABLE	8,950 SF

GARAGE & STORAGE	2,864 SF
COVERED EXTERIOR LEVEL ONE	1,873 SF
COVERED EXTERIOR LEVEL TWO	1,753 SF
TOTAL	15,440 SF

LOT SIZE: 69,227 SF
(1.589 AC)

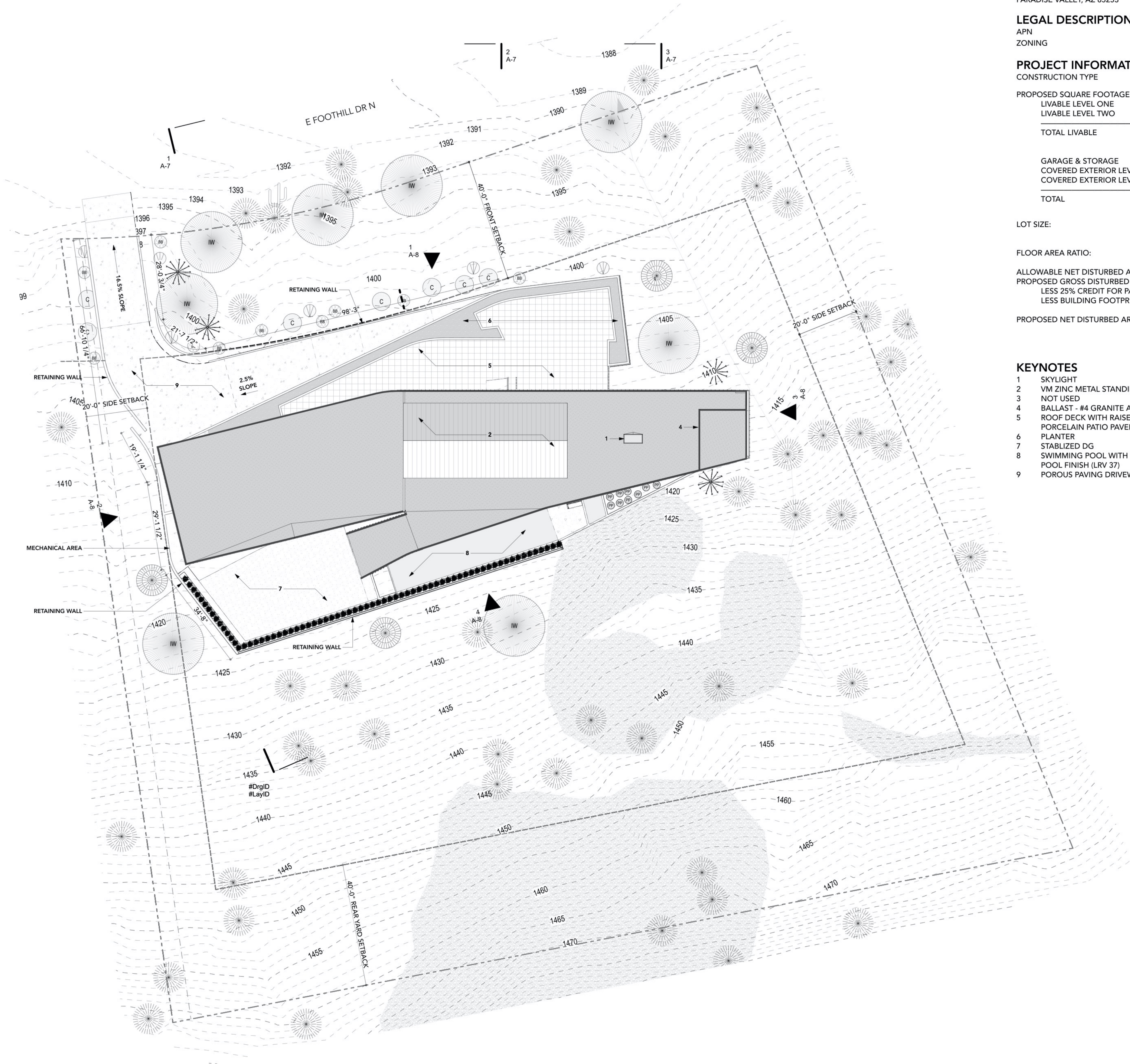
FLOOR AREA RATIO: 22.30% < 25%

ALLOWABLE NET DISTURBED AREA 14.05% (9,733 SF)
PROPOSED GROSS DISTURBED AREA 20,171 SF
LESS 25% CREDIT FOR PAVERS 4,081 SF x 0.25 = 1,020 SF
LESS BUILDING FOOTPRINT AREA 7,671 SF

PROPOSED NET DISTURBED AREA 9,387 SF < 9,733 SF

KEYNOTES

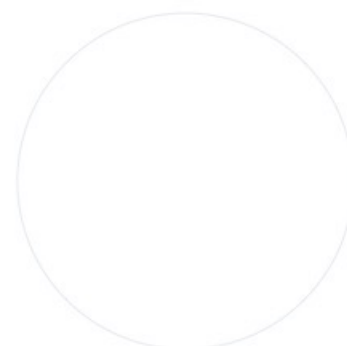
- 1 SKYLIGHT
- 2 VM ZINC METAL STANDING SEAM ROOF - BRUN/BROWN (LRV 8)
- 3 NOT USED
- 4 BALLAST - #4 GRANITE AGGREGATE (LRV 14)
- 5 ROOF DECK WITH RAISED TILE SURFACE - MUTUAL MATERIALS
- 6 PORCELAIN PATIO PAVER - SEASTONE GREY (LRV 23)
- 7 PLANTER
- 8 STABILIZED DG
- 9 SWIMMING POOL WITH SW7073 NETWORK GRAY ULTRA-POZ PLASTER
POOL FINISH (LRV 37)
- 9 POROUS PAVING DRIVEWAY - DAVIS COLOR SILVERSMOKE 8084 (LRV 32)



ARCHITECTURE - INFRASTRUCTURE - RESEARCH INC.
air@airri.com 480.507.1188
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FOOTHILL
RESIDENCE

6019 E FOOTHILL DR, PARADISE VALLEY, AZ 85253
COURT NO. 17013

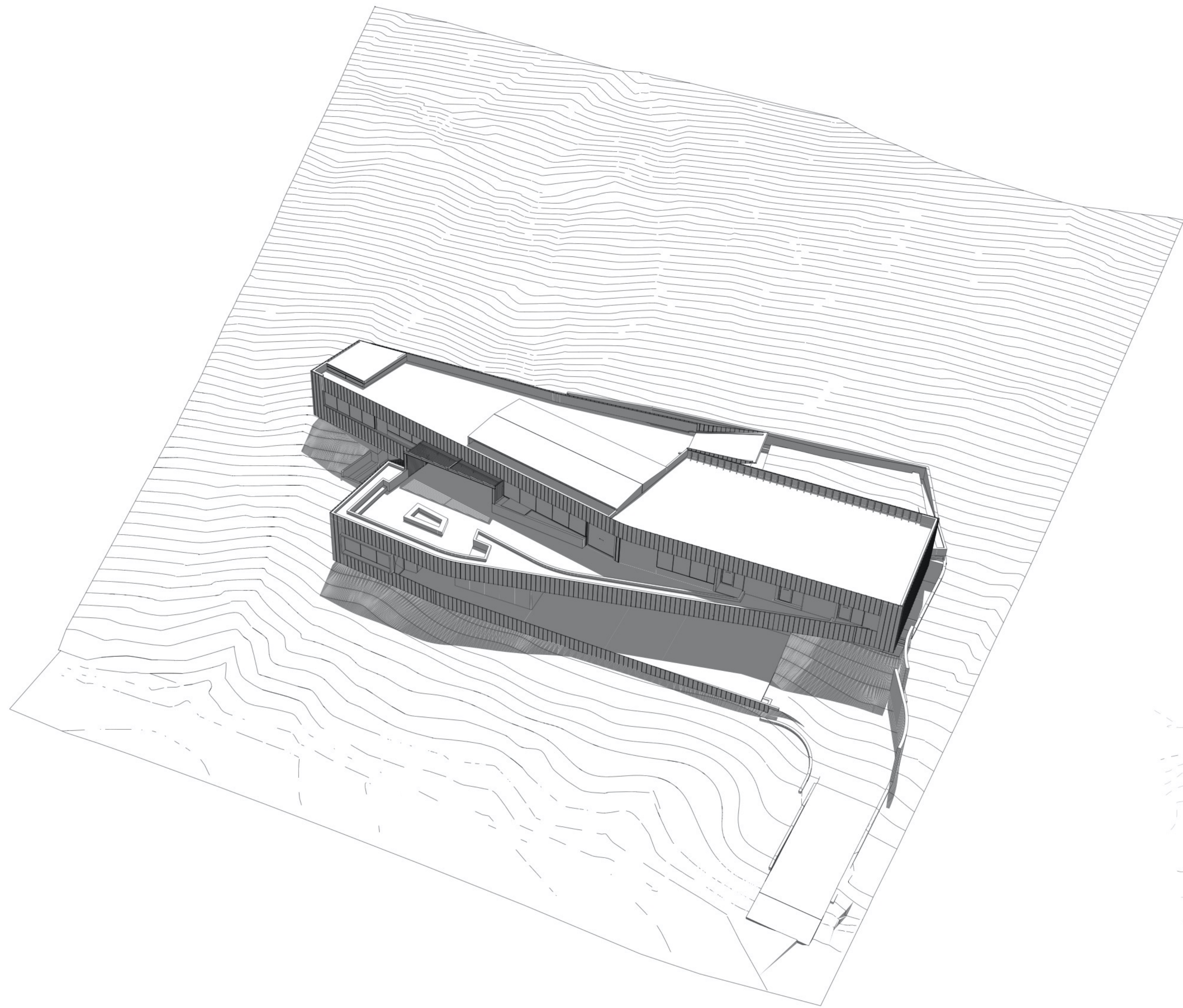


DATE: 08/27/20
SCALE: AS SHOWN
DRAWN: DP/JP
JOB: 17013

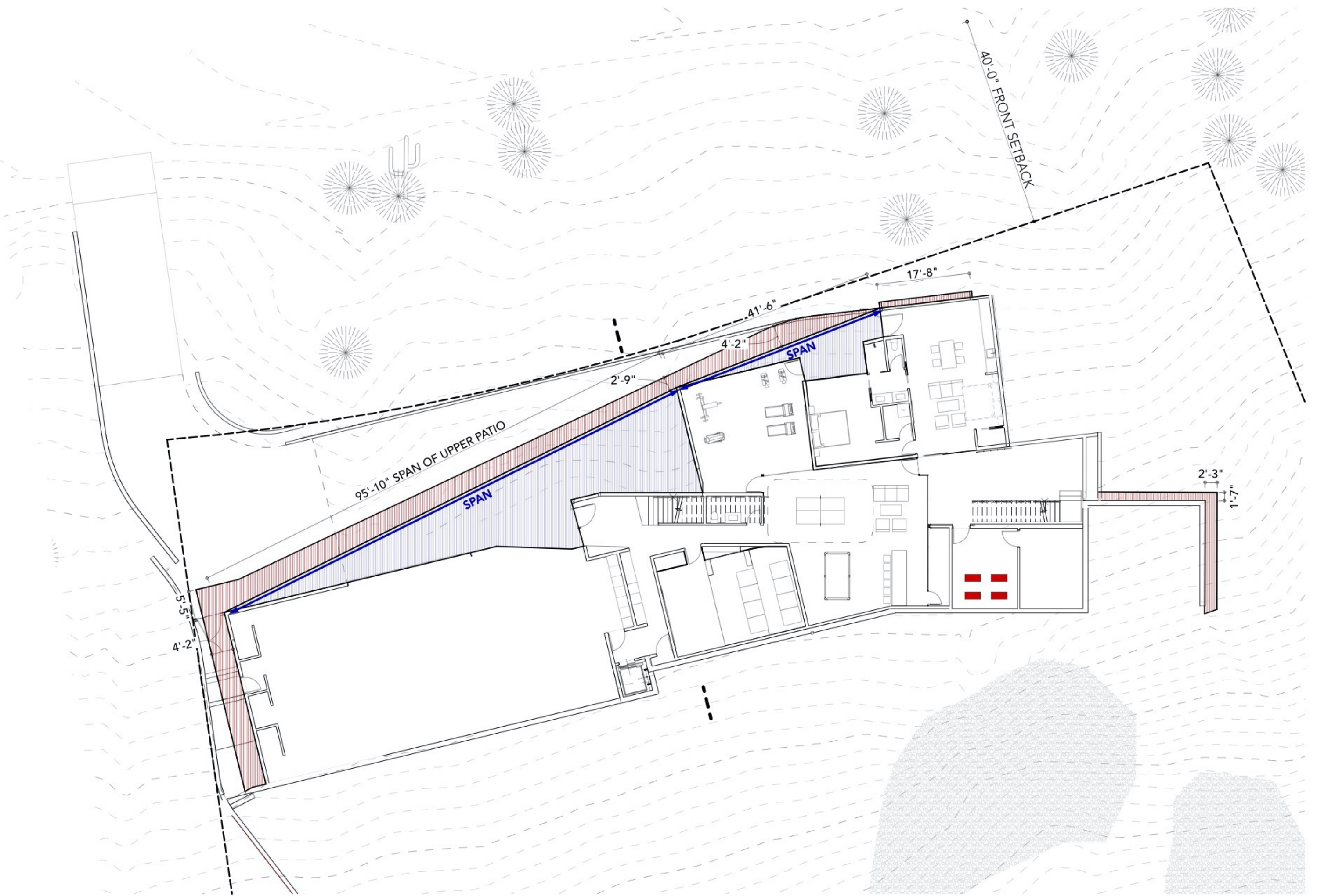
SITE PLAN

DRAWING TITLE:

50% BID SET
PROJECT PHASE



UPPER LEVEL FLOOR PLAN
SCALE: 1/16" = 1'-0"



LOWER LEVEL FLOOR PLAN
SCALE: 1/16" = 1'-0"

CANTILEVER
OVERHAND SPANNING BETWEEN STRUCTURE

DATE: 08/27/20
SCALE: AS SHOWN
DRAWN: DP/JP
JOB: 17013

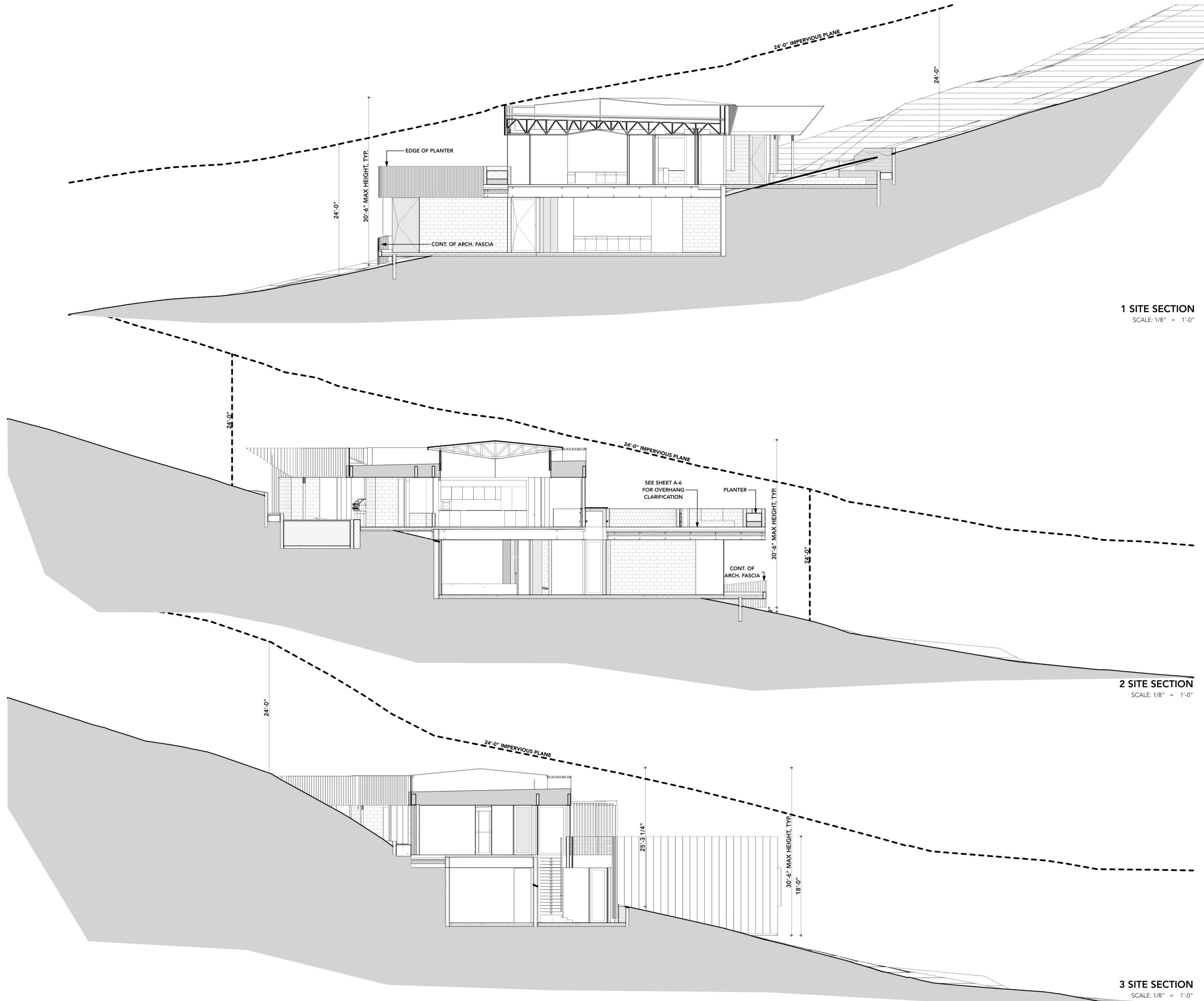
**OVERHANGS &
CANTILEVERS**

DRAWING TITLE:
50% BID SET
PROJECT PHASE

**FOOTHILL
RESIDENCE**

6019 E FOOTHILL DR, PARADISE VALLEY, AZ 85253

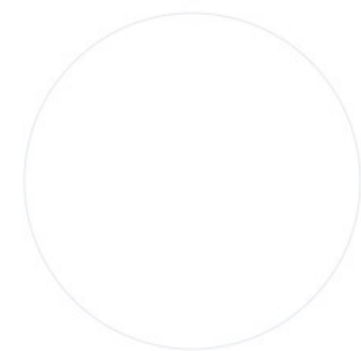
COURT INFORMATION



1 SITE SECTION
SCALE: 1/8" = 1'-0"

2 SITE SECTION
SCALE: 1/8" = 1'-0"

3 SITE SECTION
SCALE: 1/8" = 1'-0"



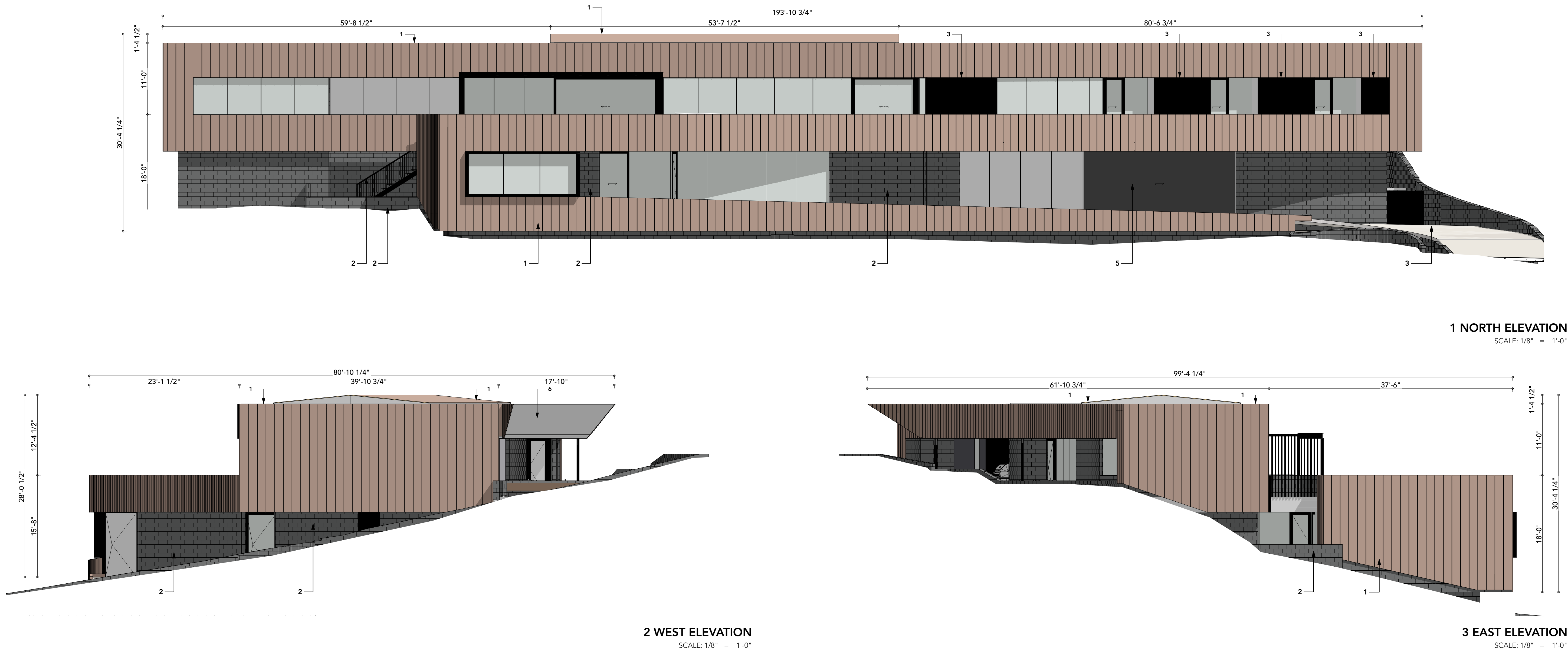
DATE: 08/27/20
SCALE: AS SHOWN
DRAWN: DP/JP
JOB: 17013

SITE SECTIONS













DRAWING TITLE:

50% BID SET

PROJECT PHASE



PLANT LEGEND

CACTI	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
	FOUQUIERIA SPLENDENS	OCOTILLO	8 CANE MIN.	4
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
	LARREA TRIDENTATA	CREOSOTE	15 GAL	7
	ENCELIA FARINOSA	BRITTLEBUSH	5 GAL	10
	JUSTICIA CALIFORNICA	CHUPAROSA	5 GAL	6
	AGAVE PARRYI	PARRY'S AGAVE	3 GAL	71
ANNUALS	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
	PENSTEMON PARRYI	BEARDTONGUE	1 GAL	28
	BAILEYA MULTIRADIATA	DESERT MARIGOLD	1 GAL	12
	SPHAERALCEA AMBIGUA	GLOBE MALLOW	1 GAL	17
	PENSTEMON EATONII	BEARDTONGUE	1 GAL	23
TREES	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
	OLNEYA TESOTA	IRONWOOD	36" BOX	8
	EXISTING PALO VERDE TO REMAIN (37)			
	EXISTING PALO VERDE TO BE SALVAGED (4)			

PHILIPS
Lighting



LED MR16

7.8MR16/PER/927/S10/Dim/EC/12V 10/1FB

Philips LED MR-16 lamps with single optic technology provide the look and color quality of traditional halogens while using a fraction of the energy. A perfect fit for spot lighting, they are compatible with most existing fixtures with MR16 GU5.3 holders and are designed as a retrofit replacement for halogen or incandescent spots.

Product data

General Information		Lamp Current (Nom)	
Base	GU5.3 GU5.3	880 mA	
EU RoHS compliant	Yes	Wattage Equivalent	35 W
Nominal Lifetime (Nom)	25000 h	Starting Time (Nom)	0.5 s
Switching Cycle	50000x	Warm Up Time to 60% Light (Nom)	0.5 s
Technical Type	7.8-30W	Power Factor (Nom)	0.7
		Voltage (Nom)	ac electronic 12 V
Light Technical		Temperature	
Color Code	927	T-Case Maximum (Nom)	105 °C
Beam Angle (Nom)	10 °	Controls and Dimming	
Initial lumen (Nom)	480 lm	Dimmable	Yes
Luminous Intensity (Nom)	5300 cd	Approval and Application	
Color Designation	Warm White (WW)	Energy Efficiency Label (EEL)	Not applicable
Correlated Color Temperature (Nom)	2700 K	Suitable For Accent Lighting	Yes
Luminous Efficacy (rated) (Nom)	81 LM lm/W	Energy Consumption kWh/1000 h	~ kWh
Color Consistency	±3	Product Data	
Color Rendering Index (Nom)	95	Order product name	7.8MR16/PER/927/S10/Dim/EC/12V 10/1FB
LLMF At End Of Nominal Lifetime (Nom)	70 %	EAN/UPC - Product	046677470135
Operating and Electrical		Order code	470138
Input Frequency	~ Hz		
Power (Rated) (Nom)	7.8 W		

Datasheet: 2020, June 18

data subject to change



MR

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arresearch@mr-inc.com 480.501.1188

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FOOTHILL
RESIDENCE

6019 E FOOTHILL DR, PARADISE VALLEY, AZ 85253
CLAY PERKINS

DATE: 08/27/20
SCALE: AS SHOWN
DRAWN: DP/JP
JOB: 17013

LANDSCAPE PLAN

DRAWING TITLE:

50% BID SET
PROJECT PHASE

LANDSCAPE PLAN
SCALE: 1/16" = 1'-0"

A-9
SHEET TWO

LANDSCAPE LIGHTING LAMP: SEE SHEET A-10

PATH LIGHT:

OIWL

SERIES

OIWL-103

IN-GROUND DRIVE-OVER WELL LIGHT

NEW



SUGGESTED USE
For areas where smooth and wide light distribution is needed. Ideal for building facades, security, recreation facilities, parking lots, signs, and displays.

CONSTRUCTION
Stainless steel corrosion-proof housing with PVC sleeve. The one-piece silicone gasket effectively limits outside contaminants by sealing off the optical chamber.

LENS - Clear, heat- and impact-resistant tempered glass lens.

LAMP/WATTAGE - 50W incandescent or 10W LED.

LISTINGS - ETL/C-ETL for wet location.

All specifications are subject to change without notice

Dimensions:



Ordering Guide > Example: OIWL-103-MR16-10W-LED-12-CL

OIWL-103		12V	
SERIES OIWL-103 - Oracle In-Ground Well Light	LAMP TYPE/WATTAGE MR16 (50W Incandescent) (10W LED)	VOLTAGE 12V	COLOR SS - Stainless Steel

***MUST BE USED WITH REMOTE TRANSFORMER**

418

ORACLE > WWW.ORACLELIGHTING.COM > TEL: (323) 888-1973 > FAX: (323) 888-1977

ACCENT LIGHT:


OLD

SERIES

OLD2

BRASS DIRECTIONAL SPOT LIGHT WITH HOOD

NEW



SUGGESTED USE
For areas where smooth and wide light distribution is needed. Ideal for building facades, security, recreation facilities, parking lots, signs, and displays.

CONSTRUCTION
Made of brass corrosion-proof housing. The one-piece silicone gasket effectively limits outside contaminants by sealing off the optical chamber.

FINISH - Brass corrosion-resistant polyester powder finish is standard.

LENS - Clear convex, heat- and impact-resistant tempered glass lens.

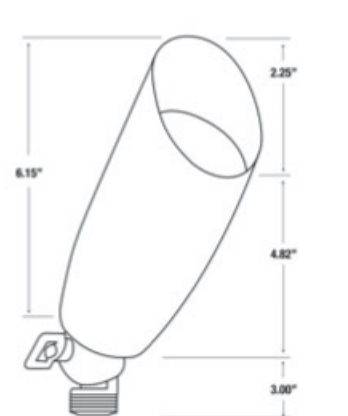
LAMP/WATTAGE - 50W incandescent or 10W LED.

INSTALLATION - Fixtures offer an adjustable knuckle with 1/2" NPT threads for easy mounting to boxes or adapters. Bottom feed wiring.

LISTINGS - ETL/C-ETL for wet location.

All specifications are subject to change without notice

Dimensions:



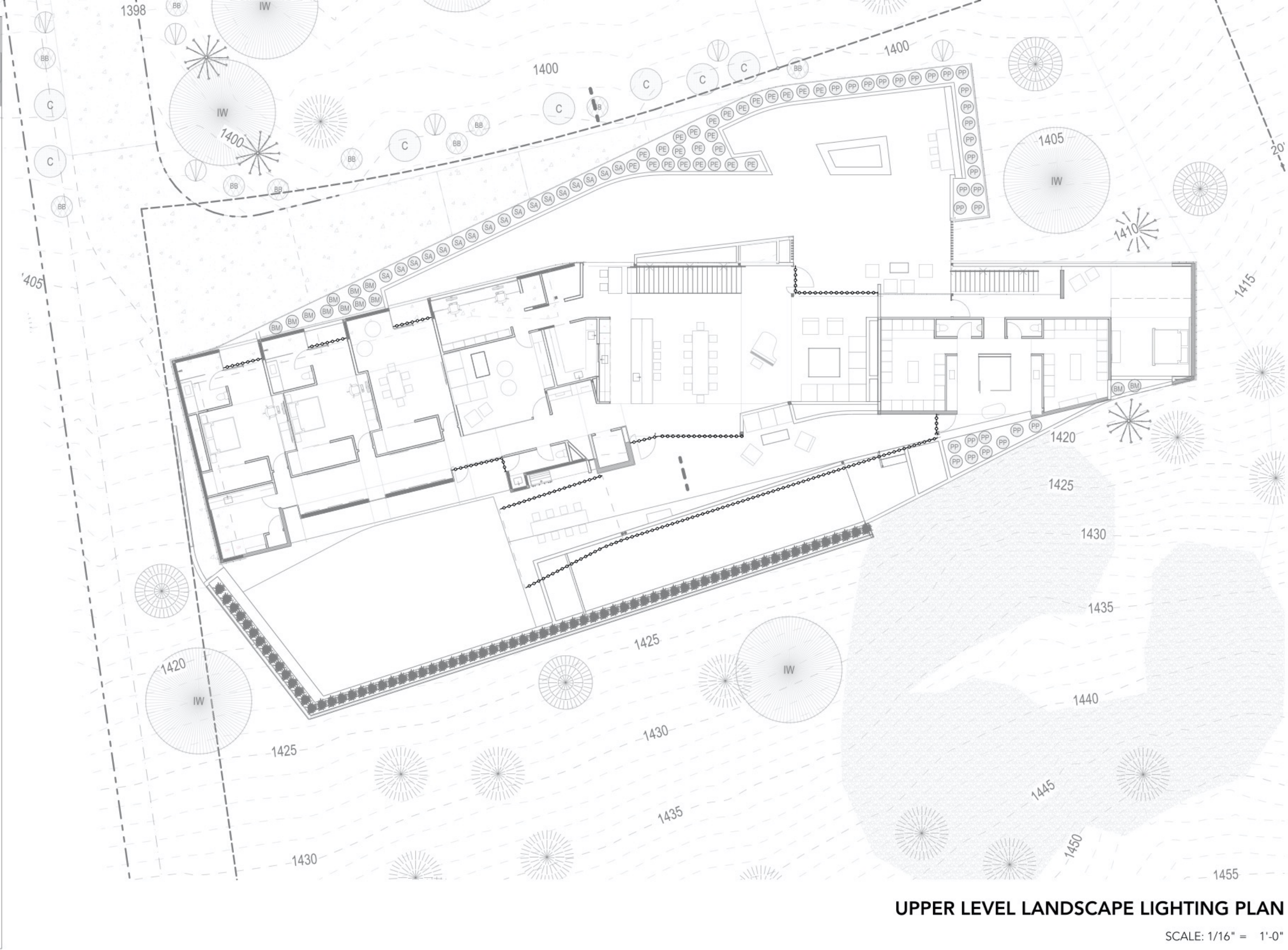
Ordering Guide > Example: Ordering Guide Example: OLD2-MR16-10W-LED-12-BZ

OLD2	MR16	12V	WB
SERIES OLD2-Directional Spot Light	LAMP TYPE/WATTAGE MR16 (50W Incandescent) (10W LED)	VOLTAGE 12V	COLOR PB - Polished Brass WB - Weathered Brass

***MUST BE USED WITH REMOTE TRANSFORMER**

412

ORACLE > WWW.ORACLELIGHTING.COM > TEL: (323) 888-1973 > FAX: (323) 888-1977



KELVIX

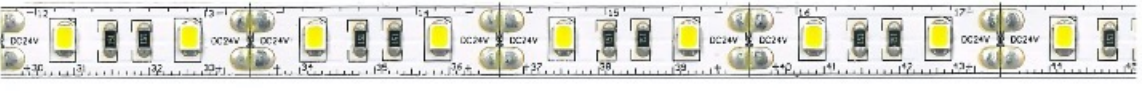
PERFORMANCE 300 (OUTDOOR)

PH SERIES | RUBBER COATED | LINEAR LED LIGHTING

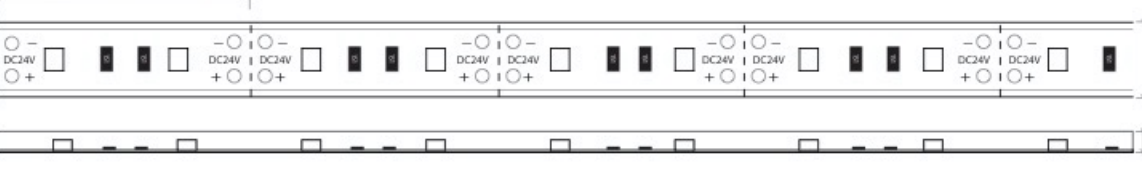
Fixture Type: _____

Project: _____

Location: _____



Cut Interval: 33.3mm (1-5/16")



Width: 11.2mm (3/8")

Depth: 6mm (9/16")

MODEL:	PH27K-WR-24V	PH30K-WR-24V	PH35K-WR-24V	PH40K-WR-24V	PH50K-WR-24V
Kelvin	2700K	3000K	3500K	4000K	5000K
Lumens	322 lm/ft	330 lm/ft	340 lm/ft	347 lm/ft	356 lm/ft
Rating	IP67	IP67	IP67	IP67	IP67

PRODUCT FEATURES

- 90+ CRI
- Dimmable
- 50,000 hour life
- 5-year warranty
- UL-listed for indoor and outdoor use
- 3M™ Industrial adhesive backing
- For use with 24V power supplies

SPECIFICATIONS

Series PH - Performance 300 (Outdoor)

Input Voltage 24V DC / Constant Voltage

Watts per Foot 3.2W/ft @ Maximum Run Length

Beam Spread 120°

Max Run Length Unlimited, power every 30ft

Production Intervals 1-5/16" (33.3mm)

End Cap Dimensions 1/2" (12.2mm) x 3/8" (9mm)

Tape Dimensions 7/16" (11.2mm) x 1/4" (6mm)

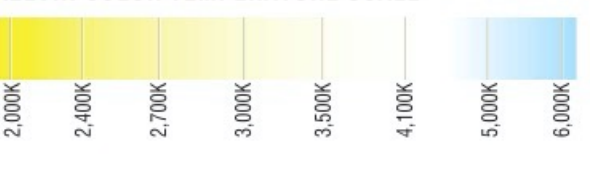
CRI 90+

Diode 2835

Dimming Options PWM, Triac, 0-10V, DMX, Hi-lume

Temp Range -40°F (-40°C) to 149°F (65°C)

KELVIN COLOR TEMPERATURE SCALE



TOTAL WATTAGE USED AT EACH LENGTH

1ft	2ft	3ft	4ft	5ft	6ft	7ft	8ft	9ft	10ft	11ft	12ft	13ft	14ft	15ft
4.2	8.5	12.7	16.8	21	25.4	29.2	32.9	36.9	40.5	44.2	48	51.4	54.6	57.7
16ft	17ft	18ft	19ft	20ft	21ft	22ft	23ft	24ft	25ft	26ft	27ft	28ft	29ft	30ft
60.7	64.3	67	70.4	71.8	75.2	77.7	80	83	85.1	86.6	88.7	91.2	93.7	94.6

Conforms to ANSI/UL Standard 2108

Certified to CAN/CSA Standard C22.2 No. 250.0

RoHS COMPLIANT

UL LISTED

24V DC

Outdoor Lighting

Indoor Lighting

Questions/Support | 800-789-3810 | quotes@kelvix.com

042219DM

LOW VOLTAGE LANDSCAPE LIGHTING

TYPE	QTY.	MNFCTR	DESCRIPTION	FINISH	WATTAGE	LUMENS	TEMP
Path	5	Oracle	In-Ground Drive-Over Well Light	Stainless Steel	10W LED	<250	3000K
Accent	2	Oracle	'Old2' Series Spot with Hood	Weathered Brass	10W LED	<150	2800K

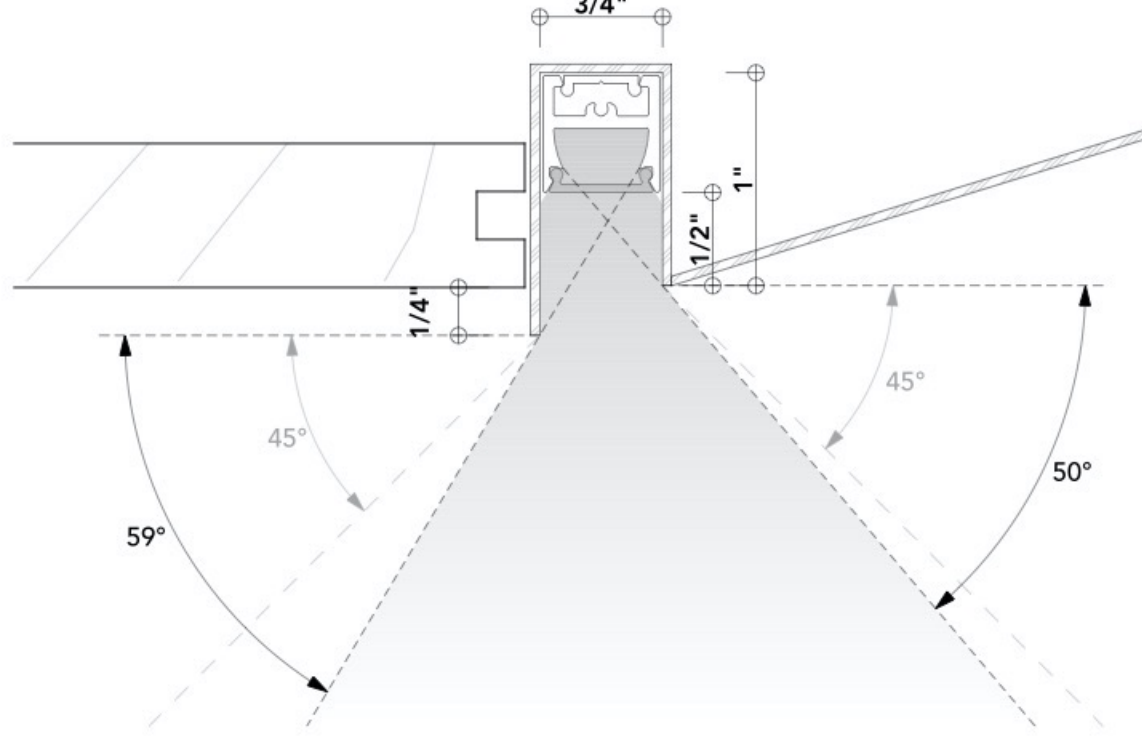
LOW VOLTAGE EXTERIOR BUILDING LIGHTING

TYPE	QTY.	MNFCTR	DESCRIPTION	FINISH	WATTAGE	LUMENS	TEMP
Tape	494 LF	Kelvix	Performance 300 (Outdoor)	N/A	3.2W LED	322	2700K

ALLOWABLE NUMBER OF UPLIGHTS = 9 MAX. (ONE LIGHT PER 1,000 ALLOWABLE DISTURBED AREA AT 9,237 SF/1000 = 9 UPLIGHTS)


ALL LIGHTING SHALL HAVE A MAXIMUM COLOR TEMPERATURE OF 3000K

TAPE LED RECESSED IN BUILDING SOFFIT PER DETAIL BELOW. TOWN DOES NOT HAVE EXPLICIT LANGUAGE ABOUT LED TAPE LIGHT; THIS SPECIFICATION & DETAIL ARE PER PREVIOUSLY APPROVED HILLSIDE DETAIL.



LED RECESS DETAIL, TYP.

SCALE: 1" = 1'-0"



LOWER LEVEL LANDSCAPE LIGHTING PLAN

SCALE: 1/16" = 1'-0"

AIR

ARCHITECTURE - INFRASTRUCTURE - RESEARCH INC.

airresearchinc.com 482.507.1188

FOOTHILL

RESIDENCE

6019 E FOOTHILL DR, PARADISE VALLEY, AZ 85253

COURT APPOINTMENT

DATE: 08/27/20

SCALE: AS SHOWN

DRAWN: DP/JP

JOB: 17013

LANDSCAPE & BUILDING LIGHTING PLAN

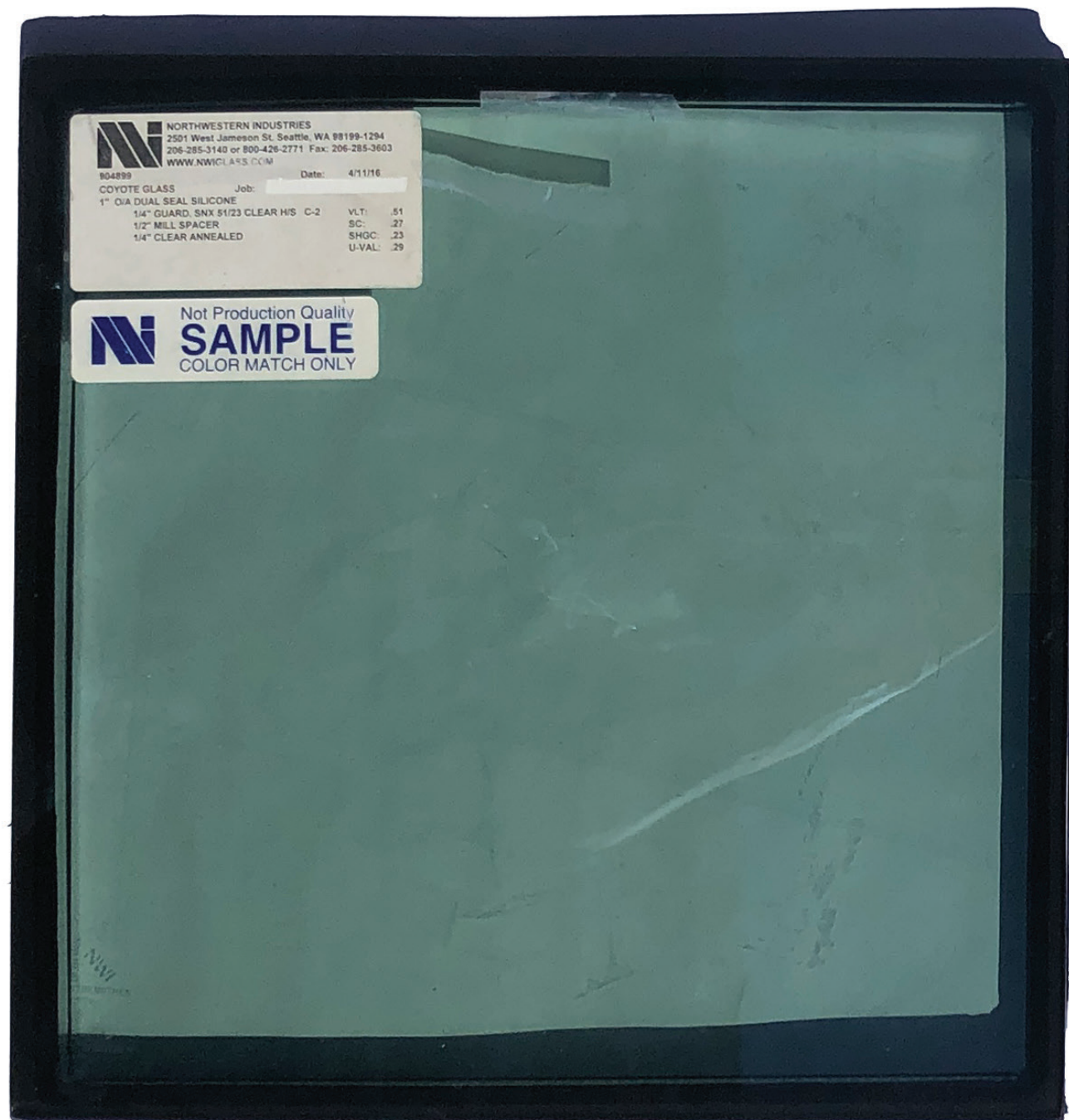
DRAWING TITLE:

50% BID SET

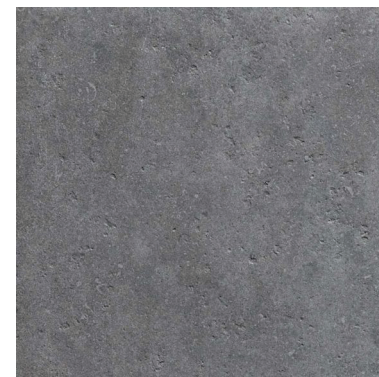
PROJECT PHASE:

A-10

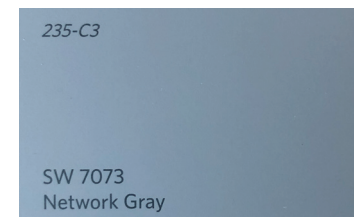
SHEET NO.



1" CLEAR IGU WINDOWS



MUTUAL MATERIALS
PORCELAIN PATIO PAVER
SEASTONE GREY
LRV 23



SW7073 NETWORK GRAY
PAINT/PLASTER
LRV 37



SUPERLITE COLOR
INTEGRATED BLOCK
OPAL
LRV 15



VM ZINC - PIGMENTO
BRUN/BROWN
LRV 8



POROUS CONCRETE PAVER
SILVERSMOKE 8084
LRV 30



MAXIM GT14 GRANDHALL
GRILL (OR EQUIVALENT)
LRV 3



COLOR INTEGRATED STUCCO
SW 6994 GREEN BLACK
LRV 4



Action Report

File #: 20-355

To: Hillside Building Committee

From: Hugo Vasquez; Hillside Development Administrator

Date: September 9th, 2020

Subject: Formal Review for a new single family residence at 5405 E San Miguel Avenue (APN 172-47-041).

Narrative: The proposed project shall construct a new single family residence. The new project has an application date of May 25th, 2020 and will be reviewed under the 2018 Hillside Development Regulations.

Lot Data		
1.	Area of Lot	1.317 ac or 57,377 ft ²
2.	Area Under Roof	13,349 ft ²
3.	Floor Area Ratio	23.27%
4.	Building Site Slope	26.53%
5.	Allowable Disturbed Area	6,912 ft ² (12.05%)
6.	Existing Gross Disturbed Area	22,003 ft ² (38.35%)
7.	Proposed Net Disturbed Area	12,583 ft ² (21.93%)
8.	Maximum Building Height	27 ft - 10.25 in
9.	Overall Height	28 ft - 10.25 in
10.	Volume of Cut/Fill	3,605 yd ³
11.	Hillside Assurance	\$121,511

Background

The property contains an empty lot, as the previously existing residence was demolished in 2015.

New Single Family Residence

The new project shall construct a new single family residence with approximately 10,000 ft² of livable area.

Pool

A new pool is proposed north of the residence.

Building Materials

The proposed building materials shall include stucco finishes in gray (DEC751, [darkened] Ash Gray, LRV 38), cast in place concrete (LRV <38), and exposed ground face masonry (LRV <38). Roof shall be dark gray metal (LRV <38) and foam with grey granules (LRV <38). Metal fascia, soffits, and overhangs shall match the gray metal roof. Window and

File #: 20-355

door frames shall be anodized black aluminum (LRV <38). Metal guardrails, fencing, and chimney cap shall be painted dark gray (DEC6370, Charcoal Smudge, LRV 11). All materials shall have an LRV of 38 or less.

Hardscape

The driveway and auto court shall utilize pavers (Graphite Blend, LRV <38). Patios and walkways shall be artistic pavers (Silver Sam, LRV <38). All materials shall have an LRV of 38 or less.

Building Lighting

All proposed building lighting shall be provided through thirty-five (35) recessed can lights (670 lumens actual / 750 lumens allowable), three (3) wall sconces (500 lumens actual / 750 lumens allowable), and eighteen (18) lower output wall sconces (275 lumens actual / 750 lumens allowable). All light sources shall have a maximum color temperature of 3000K.

Landscape Lighting

Landscape lighting includes sixteen (16) path lights (74 lumens actual / 250 lumens allowable), twelve (12) wall lights (10 lumens actual / 250 lumens allowable), and twelve (12) ledge lights (5 lumens actual / 250 lumens allowable). All light sources shall have a maximum color temperature of 2700K.

Landscaping

Artificial turf is proposed at the northwest corner of the residence. Proposed site vegetation is provided on the table below:

Trees	Accents/Cactus	Accents/Cactus
Ironwood	Cow's Horn Agave	Golden Barrel
Shrubs	Aloe Vera	Regal Mist
Jojoba	Hercules Aloe	Deer Grass
Accents/Cactus	Saguaro	Mexican Fence Post
Blue Elf Aloe	Sticks of Fire	
Candelilla	Slipper Plant	

Land Disturbance

A gross disturbed area of 38.35% (22,003 ft²) currently exists on the lot and the building pad slope of 26.53% allows a disturbance of 12.05% (6,912 ft²) the lot. The applicant has proposed a net disturbed area of approximately 21.93% (12,583 ft²), which is less than the existing disturbance.

Grading and Drainage

There will be grading associated with the construction of the property in order to properly retain the "pre vs post" storm water volumes for the 100-year, 2-hour rainfall event. Stormwater generated onsite will be retained with underground storage tanks located in the driveway and in the north patio. Water entering the property from the south will be redirected around the developed area.

Sewer

Public sewer is located near the property on N 54th Street. The applicant has proposed a connection to the existing sewer line.

Hillside Safety Improvement Plan

The Applicant submitted a Hillside Safety Improvement Plan in accordance with the Hillside Safety Improvement Measures and Process Manual per Section 5-10-9 of the Town Code. The plan completed 45 days without any public comment.

Formal Plan Review

Should the Hillside Committee wish to approve this application, staff suggests the following stipulations:

1. Any changes to the Hillside-approved plans may result in delays in permit plan review and inspection processes. Any proposed changes should be reported to the Staff to determine compliance with Hillside Development Regulations. Changes may be subject to a Staff, Chair, or Committee review.
2. The Applicant shall submit a Construction Staging Plan to the Town per the Hillside Safety Improvement Measures and Process Manual for review and approval prior to being issued a building permit.
3. The Applicant shall submit a liability insurance policy for the proposed project in the amount of \$2 million per occurrence and \$5 million aggregate naming the Town of Paradise Valley as an additional insured prior to being issued a building permit.
4. Prior to issuance of a permit, the Applicant shall submit a Hillside Assurance in the amount of \$121,511.
5. All construction parking shall be located on the property as much as possible. Any offsite parking shall be confined to the adjacent streets along the immediate property frontage. All offsite parking shall be located on the same side of the street. No construction materials will be allowed to be stored on the Town's right-of-way.
6. All recommendations provided in the Safety Improvement Plan shall be followed by the applicant. Any field work related to the Safety Improvement Plan, including but not limited to rock bolting, rock cuts, mesh placement, and boulder stabilization methods, shall be inspected by a qualified Special Inspector contracted by the applicant. An Arizona Registered Engineer contracted by the applicant shall review, for compliance with the recommendations provided in the Safety Improvement Plan, the proposed plans prior to submitting for a permit. The contracted Arizona Registered Engineer shall provide a sealed letter stating that the plans submitted are in accordance with the Safety Improvement Plan.
7. No final approval or certificate of occupancy shall be issued until all Hillside stipulations and all Town Code requirements are complied with, including, but not limited to, landscaping, fire flow, fire safety and all onsite and offsite improvements.
8. The limits of construction and proposed disturbed areas shall be clearly staked in the field, with visible roping, prior to demolition and during construction and shall conform to the approved individual site analysis plan. Photos of the staking shall be provided prior to issuance of a demolition and/or building permit.
9. Noise from construction that can be heard off-site, including, but not limited to, hydraulic ram hammers, equipment used to cut through rock, machinery with audible back-up warning devices, powered machinery, truck delivery and idling, constant and persistent hammering, shall comply with Article 8-10, Nuisance Noise, as set forth in the Town Code. Heavy Equipment and construction-related deliveries are generally limited between the hours of 7:00 a.m. and 5:00 p.m. Monday through Friday; no work on Saturday, Sunday or legal holidays. Exceptions include a one hour early start time in summer, time exceptions granted by the Town Manager, and construction not defined as Heavy Equipment or deliveries that can occur outside the 7:00 a.m. to 5:00 p.m., Monday through Friday, time frame.
10. Natural stone selections shall not exceed the maximum allowable LRV of 38. Care should be taken when selecting to ensure that the maximum LRV is not exceeded. Failure to comply with may result in delays obtaining a Certificate of Occupancy.
11. The civil engineer of record shall inspect the final grading and drainage improvements and shall provide a report or memo confirming that the improvements are constructed per plan. Any deviations from the approved plan shall be

noted and addressed in the report or memo.

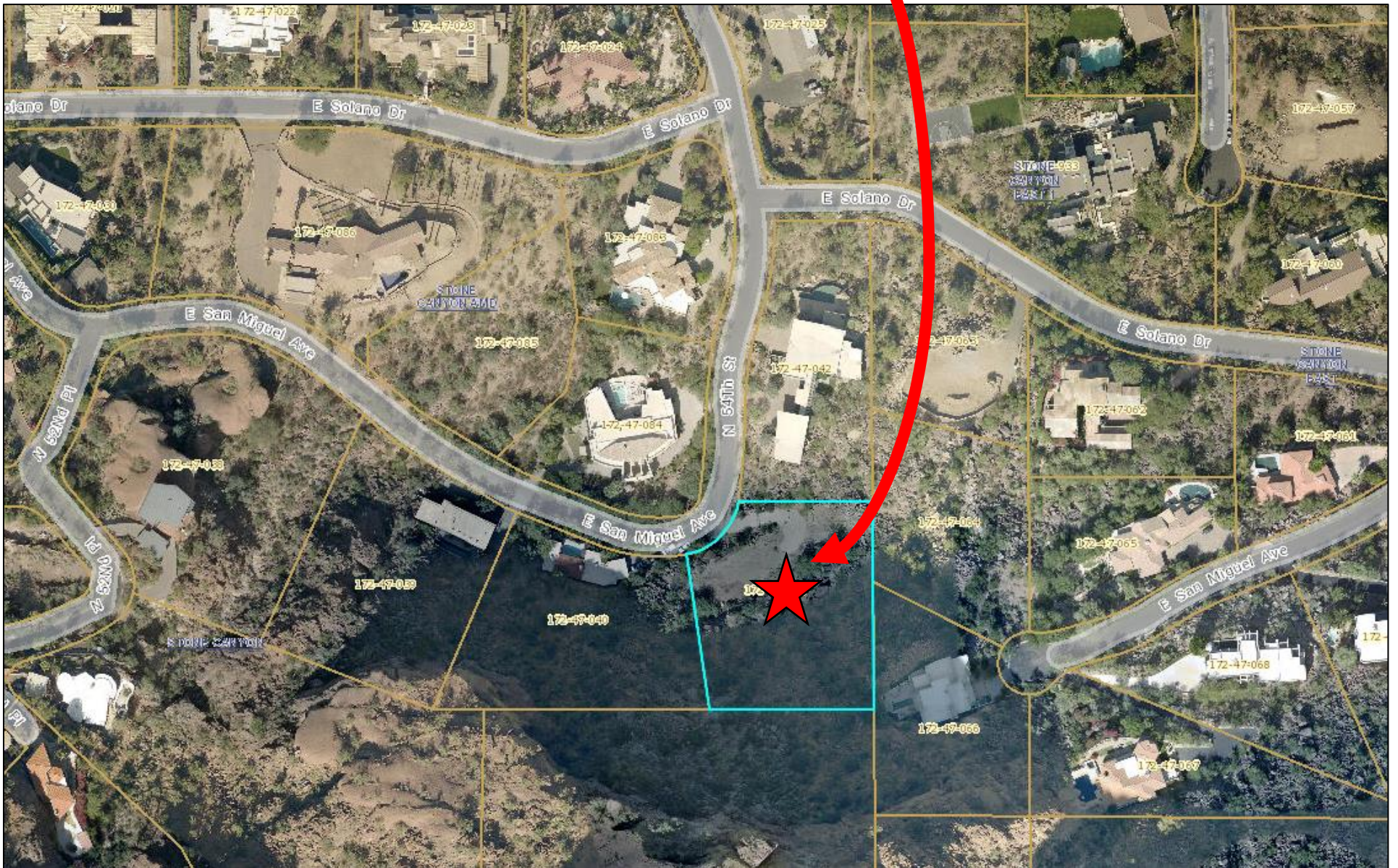
12. The previously submitted Hillside Safety Improvement Plan shall be revised prior to submitting for a building permit. The land boulder survey and fill slopes shall be further defined on the map. A boulder stabilization and fill slope stabilization plan will be required with the building permit submittal.

13. A landscape as-built plan shall be provided by the landscape designer at the time of the Final Hillside inspection and prior to the issuance of a Certificate of Occupancy. See Stipulation #1 for more information.

5405 E San Miguel Avenue



5405 E San Miguel Avenue



5405 E San Miguel Avenue



© All Pictometry

10/18/2019



TOWN OF PARADISE VALLEY HILLSIDE DEVELOPMENT

DATE: 05.25.2020

SUBDIVISION NAME: Stone Canyon

ADDRESS OF PROPERTY 5405 E San Miguel Ave, Paradise Valley, AZ 85253

ASSESSOR'S PARCEL NUMBER: 172-47-041

LEGAL DESCRIPTION: Lot 41, Stone Canyon

ARCHITECT: AJ Design Studio, Agnieszka Jastrzebska, 602 881 2508


NAME	PHONE NUMBER
4428 East Turney Ave, Phoenix, AZ 85018	aj@ajdesignstudio.com
ADDRESS	E-MAIL ADDRESS

ENGINEER/OTHER: Nick Prodanov, 602 889 1984

NAME	PHONE NUMBER
8808 n Central Ave, S. 288, Phoenix, AZ 85020	nick@ldgeng.com
ADDRESS	E-MAIL ADDRESS

OWNER: JRM 5405 LLC (602) 955-9400

PRINT NAME	PHONE NUMBER
P.O. BOX 2656, SCOTTSDALE, AZ 85252	jrm.2@icloud.com
ADDRESS	E-MAIL ADDRESS

SIGNATURE OF OWNER OR REPRESENTATIVE	DATE
	5-26-2020

SCOPE OF WORK: Single Family Residence



Hillside Formal Plan Review Notification

July 27, 2020

[Insert Address of Recipient]

Subject: Formal Plan Review for Single Family Residence

Dear Property Owner,

An application has been submitted to the Town of Paradise Valley for a Single-Family Residence at 5405 East San Miguel Ave. In compliance with Town requirements, this letter is being sent to you as a courtesy to inform you of the pending application. The Hillside Building Committee will be reviewing this application on September 9, 2020 at 8:00 AM. The meeting may take place remotely.

The purpose of the Formal Plan Review meeting is for the Hillside Building Committee to review the submittal for compliance with the goals, purposes, and specific criteria of the Town of Paradise Valley Hillside Development Regulations.

The Hillside Building Committee will approve, approve with stipulations, continue, or deny the submittal. This meeting is open to the public and you may feel free to attend.

If you have any questions please call me at 602 881 2508

Sincerely,

Agnieszka Jastrzebska

AJ Design Studio

THIS MEETING MAY BE HELD BY REMOTE PARTICIPATION

Please check the meeting agenda at <https://paradisevalleyaz.legistar.com/Calendar.aspx> to determine if the Hillside Building Committee meeting will be held by remote participation. If held by remote participation, members of the public are encouraged to participate in the meeting via the following options:

1. View the live stream at <https://paradisevalleyaz.legistar.com/Calendar.aspx> (a) Click on Calendar Tab (b) Look for Hillside Building Committee meeting (you may have to select it from the dropdown list) and find the meeting date (c) Click the “In Progress” link in the column titled Video
2. Zoom Conference: [Meeting information to be provided on final meeting agenda](#)
3. Submitting questions and comments: (a) Visit <https://paradisevalleyaz.legistar.com/Calendar.aspx>, search for the meeting date, and click “eComment”. Locate the agenda item you are interested in and click “Comment” (Please submit comments at least 1 hr prior to meeting)
4. Speaking during Call to the Public / Public Hearings:
(a) Visit <https://paradisevalleyaz.legistar.com/Calendar.aspx>, search for the meeting date, and click “eComment”. Locate the agenda item and click “Register to Speak”. Join the meeting by dialing the Zoom Video Conference number provided on the final meeting agenda.
(b) If attending by Zoom Video Conference, click the chat button and enter your name and the agenda item you would like to address (These meeting participation guidelines are pursuant to Town Council Resolution 2020-08 adopted March 17, 2020.)

Notice is hereby given pursuant to A.R.S. §38-431.02 that members of the Hillside Building Committee may attend by audio/video conference call.

The Town of Paradise Valley endeavors to make all public meetings accessible to persons with disabilities. With 72 hours advance notice, special assistance can be provided for disabled persons at public meetings. Please call 480-948-7411 (voice) or 483-1811 (TDD) to request accommodation.

For further information about any of these matters, please contact the Community Development Department, 6401E. Lincoln Drive, Paradise Valley, Arizona, 480-348-3692.

All agendas are subject to change. You can view the agenda, find application material, and provide your input via eComment approximately 4-6 days prior to the meeting date at <https://paradisevalleyaz.legistar.com/Calendar.aspx>. You may also contact the staff liaison, Hugo Vasquez on this application at hvasquez@paradisevalleyaz.gov or 480-348-3525 at any time before the scheduled meeting date.

Parcel Number	Owner	Property Address	Mailing Address
172-02-024J	PHOENIX CITY OF		251 W WASHINGTON ST 8TH FL PHOENIX AZ 85003
172-02-028A	CASTELLINI MANAGEMENT COMPANY LIMITED PA	5615 N SUPERSTITION LN 14 PARADISE VALLEY 85253	5615 N SUPERSTITION LN 14 PARADISE VALLEY AZ 85253-5212
172-02-047	CASTELLINI ROBERT H LEASE	5700 E MCDONALD DR PARADISE VALLEY 85253	5700 E MCDONALD DR PARADISE VALLEY AZ 85253
172-02-049	FRYE DAVID S TR (LEASE)	5700 E MCDONALD DR PARADISE VALLEY 85253	871 WOODSTREAM CT LAKE FOREST IL 60045
172-02-050	CASTELLINI ROBERT H (LEASE)	5700 E MCDONALD DR PARADISE VALLEY 85253	5700 E MCDONALD DR PARADISE VALLEY AZ 85253
172-02-052	CASTELLINI ROBERT H LEASE	5700 E MCDONALD DR PARADISE VALLEY 85253	5700 E MCDONALD DR PARADISE VALLEY AZ 85253
172-02-053	CASTELLINI MANAGEMENT CO LTD (LEASE)	5700 E MCDONALD DR PARADISE VALLEY 85253	5700 E MCDONALD DR PARADISE VALLEY AZ 85253
172-02-056	CASTENLLINI ROBERT H	5700 E MCDONALD DR PARADISE VALLEY 85253	312 ELM ST STE 2600 CINCINNATI OH 45202
172-02-057	SANCTUARY ON CAMELBACK INC	5700 E MCDONALD DR PARADISE VALLEY 85253	5700 E MCDONALD SCOTTSDALE AZ 85253
172-02-060	CASTELLINI ROBERT H LEASE (IMPS)	5700 E MCDONALD DR PARADISE VALLEY 85253	312 ELM ST STE 2600 CINCINNATI OH 46202
172-02-061	CASTELLINI ROBERT H LEASE	5700 E MCDONALD DR PARADISE VALLEY 85253	5700 E MCDONALD DR PARADISE VALLEY AZ 85253
172-02-064	CARL G BEHNKE REVOCABLE TRUST	5700 E MCDONALD DR PARADISE VALLEY 85253	5700 E MCDONALD DR NO 20 SCOTTSDALE AZ 85253
172-02-065	CASTELLINI ROBERT H	5700 E MCDONALD DR PARADISE VALLEY 85253	312 ELM ST STE 2600 CINCINNATI OH 45202
172-02-068	CASTELLINI ROBERT H LEASE (IMPS)	5700 E MCDONALD DR PARADISE VALLEY 85253	5700 E MCDONALD DR PARADISE VALLEY AZ 85253
172-02-077	GOLDBERG KENNETH TODD/VICKI ROBIN LEASE	5700 E MCDONALD DR PARADISE VALLEY 85253	31 BRIDLE PATH ROSLYN NY 11576
172-02-078	CASTELLINI ROBERT H LEASE (IMPS)	5700 E MCDONALD DR PARADISE VALLEY 85253	5700 E MCDONALD DR PARADISE VALLEY AZ 85253
172-02-079	ROBERT H CASTELLINI TRUST/ETAL	5700 E MCDONALD DR PARADISE VALLEY 85253	312 ELM ST NO 2600 CINCINNATI OH 45202
172-02-080	CASTELLINI ROBERT H LEASE (IMPS)	5700 E MCDONALD DR PARADISE VALLEY 85253	5700 E MCDONALD DR PARADISE VALLEY AZ 85253
172-02-081	CASTELLINI ROBERT H (LEASE)	5700 E MCDONALD DR PARADISE VALLEY 85253	312 ELM ST STE 2600 CINCINNATI OH 45202
172-02-082	CASTELLINI MANAGEMENT CO	5700 E MCDONALD DR PARADISE VALLEY 85253	5700 E MCDONALD DR PARADISE VALLEY AZ 85253-5218
172-02-083	SANCTUARY ON CAMELBACK INC	5700 E MCDONALD DR PARADISE VALLEY 85253	5700 E MCDONALD SCOTTSDALE AZ 85253
172-02-084	CASTELLINI MANAGEMENT CO LTD(LEASE)	5700 E MCDONALD DR PARADISE VALLEY 85253	312 ELM STREET STE 2600 CINCINNATI OH 45202
172-02-085	CASTELLINI ROBERT H LEASE	5700 E MCDONALD DR PARADISE VALLEY 85253	5700 E MCDONALD DR PARADISE VALLEY AZ 85253
172-02-086	CASA ONE PARTNERSHIP LEASE	5700 E MCDONALD DR PARADISE VALLEY 85253	52 DELLWOOD AVE WHITE BEAR LAKE MN 55110
172-02-087	ROBERT H CASTELLINI TRUST	5700 E MCDONALD DR PARADISE VALLEY 85253	5700 E MCDONALD DR PARADISE VALLEY AZ 85253
172-02-088	CASTELLINI MANAGEMENT CO LTD (LEASE)	5700 E MCDONALD DR PARADISE VALLEY 85253	5700 E MCDONALD DR PARADISE VALLEY AZ 85253
172-02-089	GAY F WRAY REVOCABLE TRUST	5656 N SUPERSTITION LN 4 PARADISE VALLEY 85253	5656 N SUPERSTITION LN 4 PARADISE VALLEY AZ 85253
172-02-090	ROTH BYRON C	5648 N SUPERSTITION LN 5 PARADISE VALLEY 85253	888 SAN CLEMENTE DR PH NEWPORT BEACH CA 92660
172-02-092	TINCATH LLC	5643 N SUPERSTITION LN 7 PARADISE VALLEY 85253	MARTIUSSR 3 MUNCHEN GERMANY D-808
172-02-093	HANIOTIS DIMITRI/DIAMOND SUZANNE	5637 N SUPERSTITION LN 8 PARADISE VALLEY 85253	7373 E DOUBLETREE RANCH RD STE 200 SCOTTSDALE AZ 85258
172-02-094	QUEENS HOLDING LLC (LEASE)	5642 N SUPERSTITION LN 9 PARADISE VALLEY 85253	401 MILFORD PKWY SUITE A MILFORD OH 45150
172-02-095	NRMT3 ARIZONA PROPERTY MANAGEMENT LLC	5638 N SUPERSTITION LN 10 PARADISE VALLEY 85253	9064 FOREST HILL IRENE COVE GERMANTOWN TN 38139
172-02-096	CIPRIANO FERNANDO	5624 N SUPERSTITION LN 11 PARADISE VALLEY 85253	26 TRAFALGAR RD OAKVILLE ON CANADA L6J3E7
172-02-097	WOLF BARRY/RENARDA	5616 N SUPERSTITION LN 12 PARADISE VALLEY 85253	506 W ROSCOE STE 401 CHICAGO IL 60657
172-04-003A	PHOENIX CITY OF	4925 E MCDONALD DR PHOENIX 85018	251 W WASHINGTON ST 8TH FL PHOENIX AZ 85003
172-47-001	ROSETTE ROBERT A/SHARON	5405 E MCDONALD DR PARADISE VALLEY 85253	5405 E MCDONALD DR PARADISE VALLEY AZ 85253
172-47-002	DHDL HOLDINGS LLC	5331 E MCDONALD DR PARADISE VALLEY 85253	6133 N 61ST PL PARADISE VALLEY AZ 85253
172-47-003	RIGBY JOHN DANIEL JR/ANN MCCOOLE	5313 E MCDONALD DR PARADISE VALLEY 85253	5313 E MCDONALD DR PARADISE VALLEY AZ 85253-5118
172-47-004	HUGHES GREGORY J	5301 E MCDONALD DR PARADISE VALLEY 85253	5301 E MCDONALD DR PARADISE VALLEY AZ 85253
172-47-008	PALOMBI FRANCO TR	5238 E PALO VERDE DR PARADISE VALLEY 85253	PO BOX 7761 ARLINGTON VA 22207
172-47-009	5302 PALO VERDE LLC	5302 E PALO VERDE DR PARADISE VALLEY 85253	6611 N HILLSIDE DR PARADISE VALLEY AZ 85253
172-47-010	DAVID AND DAWN LENHARDT FAMILY TRUST	5320 E PALO VERDE DR PARADISE VALLEY 85253	5320 E PALO VERDE DR PARADISE VALLEY AZ 85253
172-47-011	CHERYL A LONDEN SURVIVORS TRUST	5334 E PALO VERDE DR PARADISE VALLEY 85253	5434 E LINCOLN DR UNIT 67 PARADISE VALLEY AZ 85253
172-47-012	HARRY C SLEIGHEL LIVING TRUST	5404 E PALO VERDE DR PARADISE VALLEY 85253	5404 E PALO VERDE DR PARADISE VALLEY AZ 85253
172-47-013	STEPHENS KEITH O/ELIZABETH TR	5401 E PALO VERDE DR PARADISE VALLEY 85253	5401 E PALO VERDE SCOTTSDALE AZ 85253
172-47-014	BURY RANDALL	5333 E PALO VERDE DR PARADISE VALLEY 85253	5333 E PALO VERDE DR PARADISE VALLEY AZ 85253
172-47-015	IRVIN AND SYLVIA COHEN TRUST	5317 E PALO VERDE DR PARADISE VALLEY 85253	5317 E PALO VERDE DR PARADISE VALLEY AZ 85253
172-47-016	PETER R PHILLIPS FAMILY TRUST	5301 E PALO VERDE DR PARADISE VALLEY 85253	5301 E PALO VERDE DR PARADISE VALLEY AZ 85253
172-47-017	PADEL MAITRAY/GUPTA INDU	5241 E PALO VERDE DR PARADISE VALLEY 85253	5241 E PALO VERDE DR PARADISE VALLEY AZ 85253
172-47-019A	JOZOFF MALCOLM TR/JOZOFF ELLEN JANE TR	5200 E SOLANO DR PARADISE VALLEY 85253	5200 E SOLANO DR PARADISE VALLEY AZ 85253
172-47-020A	SELBY JACK R TR	5226 E SOLANO DR PARADISE VALLEY 85253	5226 E SOLANO DR PARADISE VALLEY AZ 85253
172-47-021	TAKHAR RAJINDER K	5228 E SOLANO DR PARADISE VALLEY 85253	5228 E SOLANO DR PARADISE VALLEY AZ 85253
172-47-022	GOUND STEPHEN E/PATRICIA J	5330 E SOLANO DR PARADISE VALLEY 85253	2909 W 113TH ST LEAWOOD KS 66211
172-47-023	SOUTHERN STAR HOLDINGS LLC	5332 E SOLANO DR PARADISE VALLEY 85253	16001 N SUNRIDGE DR FOUNTAIN HILLS AZ 85268
172-47-024	CLANCY CHARLES GEORGE/JOAN KANE TR	5336 E SOLANO DR PARADISE VALLEY 85253	3507 N CENTRAL AVE #500 PHOENIX AZ 85012
172-47-025	M-G TRUST	5735 N 54TH ST PARADISE VALLEY 85253	5735 N 54TH ST SCOTTSDALE AZ 85253
172-47-030	CONNORS CRAIG RAYMOND	5237 E SOLANO DR PARADISE VALLEY 85253	5237 E SOLANO DR PARADISE VALLEY AZ 85253
172-47-031	BOHNETT MARSHA ANN	5200 E SAN JUAN AVE PARADISE VALLEY 85253	5200 E SAN JUAN AVE PARADISE VALLEY AZ 85253
172-47-032	CUCULIC LAWRENCE M/MARY JO	5204 E SAN JUAN AVE PARADISE VALLEY 85253	5204 E SAN JUAN AVE PARADISE VALLEY AZ 85253
172-47-033	PHOENIX CITY OF	5215 E SAN JUAN AVE PARADISE VALLEY 85253	251 W WASHINGTON ST 8TH FL PHOENIX AZ 85003
172-47-034	PHOENIX CITY OF	5225 E SAN JUAN AVE PARADISE VALLEY 85253	251 W WASHINGTON ST 8TH FL PHOENIX AZ 85003
172-47-035	KELLEY BRUCE D/MARY ANN M	5235 E SAN JUAN AVE PARADISE VALLEY 85253	4659 E Foothill DR PARADISE VALLEY AZ 85253
172-47-036	PHOENIX CITY OF		251 W WASHINGTON ST 8TH FL PHOENIX AZ 85003
172-47-037A	PHOENIX CITY OF		251 W WASHINGTON ST 8TH FL PHOENIX AZ 85003
172-47-037B	CURTIS CRAIG L	5631 N 52ND PL PARADISE VALLEY 85253	PO BOX 1288 SEDONA AZ 86339
172-47-038	NICHOLS ROSCOE DWAYNE	5303 E SAN MIGUEL AVE PARADISE VALLEY 85253	5303 E SAN MIGUEL PARADISE VALLEY AZ 85253
172-47-039	BYRNES ANDREW R/SHAWNA GLAZIER	5339 E SAN MIGUEL AVE PARADISE VALLEY 85253	5339 E SAN MIGUEL AVE PARADISE VALLEY AZ 85253
172-47-040	GOODPASTURE ROBERT E	5345 E SAN MIGUEL AVE PARADISE VALLEY 85253	5345 E SAN MIGUEL AVE SCOTTSDALE AZ 85253
172-47-041	JRM 5405 LLC	5405 E SAN MIGUEL AVE PARADISE VALLEY 85253	PO BOX 2656 SCOTTSDALE AZ 85252
172-47-042	SCOON JEFF E G/SUSAN A TR	5701 N 54TH ST PARADISE VALLEY 85253	5701 N 54TH ST PARADISE VALLEY AZ 85253
172-47-043A	WHITTAKER ERIC L	5623 N 52ND PL PARADISE VALLEY 85253	4400 N SCOTTSDALE ED UNIT 287 SCOTTSDALE AZ 85251
172-47-043B	PHOENIX CITY OF		251 W WASHINGTON ST 8TH FL PHOENIX AZ 85003
172-47-046	FULLER KISTI/MIKE	5409 E MCDONALD DR PARADISE VALLEY 85253	5409 E MCDONALD DR PARADISE VALLEY AZ 85253
172-47-047	M & M FAMILY TRUST	5416 E PALO VERDE DR PARADISE VALLEY 85253	5416 E PALO VERDE DR PARADISE VALLEY AZ 85253

172-47-048	GENINATTI MARILYN	5502 E PALO VERDE DR PARADISE VALLEY 85253	5502 E PALO VERDE DR PARADISE VALLEY AZ 85253-5160
172-47-049	PRAYING MONK LLC	5520 E PALO VERDE DR PARADISE VALLEY 85253	5520 E PALO VERDE DR PARADISE VALLEY AZ 85253
172-47-050	GINSBURG HOWARD H	5532 E PALO VERDE DR PARADISE VALLEY 85253	5542 E PALO VERDE DR SCOTTSDALE AZ 85253
172-47-051	GINSBURG HOWARD H	5542 E PALO VERDE DR PARADISE VALLEY 85253	5542 E PALO VERDE DR PARADISE VALLEY AZ 85253
172-47-052	ABRUZZO FAMILY TRUST/ABRUZZO TODD A	5555 E PALO VERDE DR PARADISE VALLEY 85253	5555 E PALO VERDO DR PARADISE VALLEY AZ 85253
172-47-053	CROW WILLIAM MATTHEW/VALERIE ASHER	5421 E PALO VERDE DR PARADISE VALLEY 85253	5421 E PALO VERDE SCOTTSDALE AZ 85251
172-47-054	WILSON SCOTT E/JANE E	5417 E PALO VERDE DR PARADISE VALLEY 85253	5417 E PALO VERDE DR PARADISE VALLEY AZ 85253
172-47-057	SHOUMAKER CHARLES R	5715 N 55TH PL PARADISE VALLEY 85253	7848 E VIA SONRISA SCOTTSDALE AZ 85255
172-47-058C	MCLINDEN BARBARA S	5564 E PALO VERDE DR PARADISE VALLEY 85253	30 W OAK ST NO 7B CHICAGO IL 60610
172-47-059	THERESA S Y MAO FAMILY TRUST THE	5536 E SOLANO DR PARADISE VALLEY 85253	5570 NW 38TH TER COCONUT CREEK FL 33073
172-47-060	GEBERT STEPHEN /URSULA TR	5707 N 55TH PL PARADISE VALLEY 85253	5707 N 55TH PL PARADISE VALLEY AZ 85253
172-47-061	DOUGLAS R HANSEN TRUST	5520 E SAN MIGUEL AVE PARADISE VALLEY 85253	3707 N MARSHALL WAY UNIT 1 SCOTTSDALE AZ 85251
172-47-062	PACE SELDEN REVOCABLE TRUST	5501 E SOLANO DR PARADISE VALLEY 85253	5501 E SOLANO DR PARADISE VALLEY AZ 85253
172-47-063	TONN SCOTT/TRACY	5429 E SOLANO DR PARADISE VALLEY 85253	5635 N SCOTTSDALE RD STE 170 SCOTTSDALE AZ 85250
172-47-064	RKB-NFT HOLDING LLC	5500 E SAN MIGUEL AVE PARADISE VALLEY 85253	2398 E CAMELBACK RD SUITE 1000 PHOENIX AZ 85016
172-47-065	MOORE SCOTT HOWARD	5506 E SAN MIGUEL AVE PARADISE VALLEY 85253	5506 E SAN MIGUEL AVE PARADISE VALLEY AZ 85253
172-47-066	RKDM REVOCABLE TRUST	5501 E SAN MIGUEL AVE PARADISE VALLEY 85253	5501 E SAN MIGUEL AVE PARADISE VALLEY AZ 85253
172-47-067	ZACHARIAH TERESA C/JOE	5505 E SAN MIGUEL AVE PARADISE VALLEY 85253	5505 E SAN MIGUEL AVE PARADISE VALLEY AZ 85253
172-47-068	APPEL ROSANNE T	5511 E SAN MIGUEL AVE PARADISE VALLEY 85253	5 LYNN RD CHERRY HILLS VILLAGE CO 80113
172-47-069	INGRID LENZ HARRISON REVOCABLE TRUST	5519 E SAN MIGUEL AVE PARADISE VALLEY 85253	1410 SHORELINE DR WAYZATA MN 55391
172-47-070	SMITH JERRY D TR	5525 E SAN MIGUEL AVE PARADISE VALLEY 85253	5525 E SAN MIGUEL AVE PARADISE VALLEY AZ 85253
172-47-071	VITA ROWE LIVING TRUST	5555 E MCDONALD DR PARADISE VALLEY 85253	5555 E MCDONALD DR PARADISE VALLEY AZ 85253
172-47-073F	PHOENIX CITY OF		251 W WASHINGTON ST 8TH FL PHOENIX AZ 85003
172-47-077	PHOENIX CITY OF		251 W WASHINGTON ST 8TH FL PHOENIX AZ 85003
172-47-078B	PHOENIX CITY OF		251 W WASHINGTON ST 8TH FL PHOENIX AZ 85003
172-47-078C	PHOENIX CITY OF		251 W WASHINGTON ST 8TH FL PHOENIX AZ 85003
172-47-078D	TMS VENTURES LLC	5507 E SAN MIGUEL LN PARADISE VALLEY 85253	8201 N HAYDEN RD SCOTTSDALE AZ 85258
172-47-081A	DEPECHE MODE LLC	5437 E MCDONALD DR PARADISE VALLEY 85253	15215 S 48TH ST STE 113 PHOENIX AZ 85044
172-47-082	HAINES STEVEN K	5501 E MCDONALD DR PARADISE VALLEY 85253	71108 KARLSON LN NILES MI 49120
172-47-083	GOLDMAN YARON PINHAS	5718 N 54TH ST PARADISE VALLEY 85253	131 E LINCOLN AVE FORT COLLINS CO 80524
172-47-084	GATESTONE & CO INTERNATIONAL INC	5390 E SAN MIGUEL AVE PARADISE VALLEY 85253	415 YONGE ST - 2000 TORONTO ON CANADA M5B2E7
172-47-085	GRAY BRUCE	5340 E SAN MIGUEL AVE PARADISE VALLEY 85253	4040 E CAMELBACK RD STE 275 PHOENIX AZ 85018
172-47-086	JOHNSTAN VENTURES LLC	5338 E SAN MIGUEL AVE PARADISE VALLEY 85253	6120 N 31ST CT PHOENIX AZ 85016
172-47-930	PARADISE VALLEY WATER CO		19820 N 7TH ST STE 201 PHOENIX AZ 85024-1694
172-47-931	PARADISE VALLEY WATER CO		19820 N 7TH ST STE 201 PHOENIX AZ 85024-1694
172-47-932	PARADISE VALLEY WATER CO		19820 N 7TH ST STE 201 PHOENIX AZ 85024-1694
172-47-933	SYDDAN LLC	5702 N 55TH PL PARADISE VALLEY 85253	4044 N 55TH PL PARADISE VALLEY AZ 85253
172-48-026B	PHOENIX CITY OF		251 W WASHINGTON ST 8TH FL PHOENIX AZ 85003
172-48-026H	PHOENIX CITY OF		251 W WASHINGTON ST 8TH FL PHOENIX AZ 85003
172-50-027M	PHOENIX CITY OF		251 W WASHINGTON ST 8TH FL PHOENIX AZ 85003



May 26th, 2020

PROJECT NARRATIVE

The intent of the proposed project at 5405 E. San Miguel is to build “the forever home” for the family of four while contributing to the current revitalization process taking place in Town of Paradise Valley. The original house – demolished in 2016 – was perched over the edge of the current building pad with large portion of the footprint constructed over the front setbacks and in close proximity to the street creating an unfortunate disturbance.

The new Owners are very excited to enjoy the gorgeous views of Mummy Mountain range and the famous Monk, while protecting the unparalleled, natural privacy of the property.

The designed improvements will include the new single-family residence with the Guest Suite under one roof. The new 9,899 square feet home (13,000 under roof total) and the yard improvements with a small pool - are to be set back to create quaint front yard and complement the home. There will be a small BBQ area in the back of the home.

The Owners enjoy the understated esthetics of the latest trends in the contemporary design for their new home exterior. They will also strive to achieve the highest home sustainability by using appropriate recyclable materials and addressing low LRV values as required. We are specifying the major feature walls to be the exposed concrete with the accents of the dark basalt stone veneer as base of the house. The expansive glazing will be set back from the street view to make the minimal visual impact of the home on neighboring properties and the Camelback Mountain as a backdrop for the home.

We hope that the Hillside Building Committee will find our Conceptual Package plans in compliance with regulations of the Hillside Development Area. We are excited to move forward with the design process and complete the project soon.

Agnieszka Jastrzebska,
AJ Design Studio



P.O.Box 80311
Phoenix, AZ 85060

ph: 602 881 2508
fax: 602 954 6328
www.ajdesignstudio.com

THE NEW RESIDENCE ON
East San Miguel Avenue

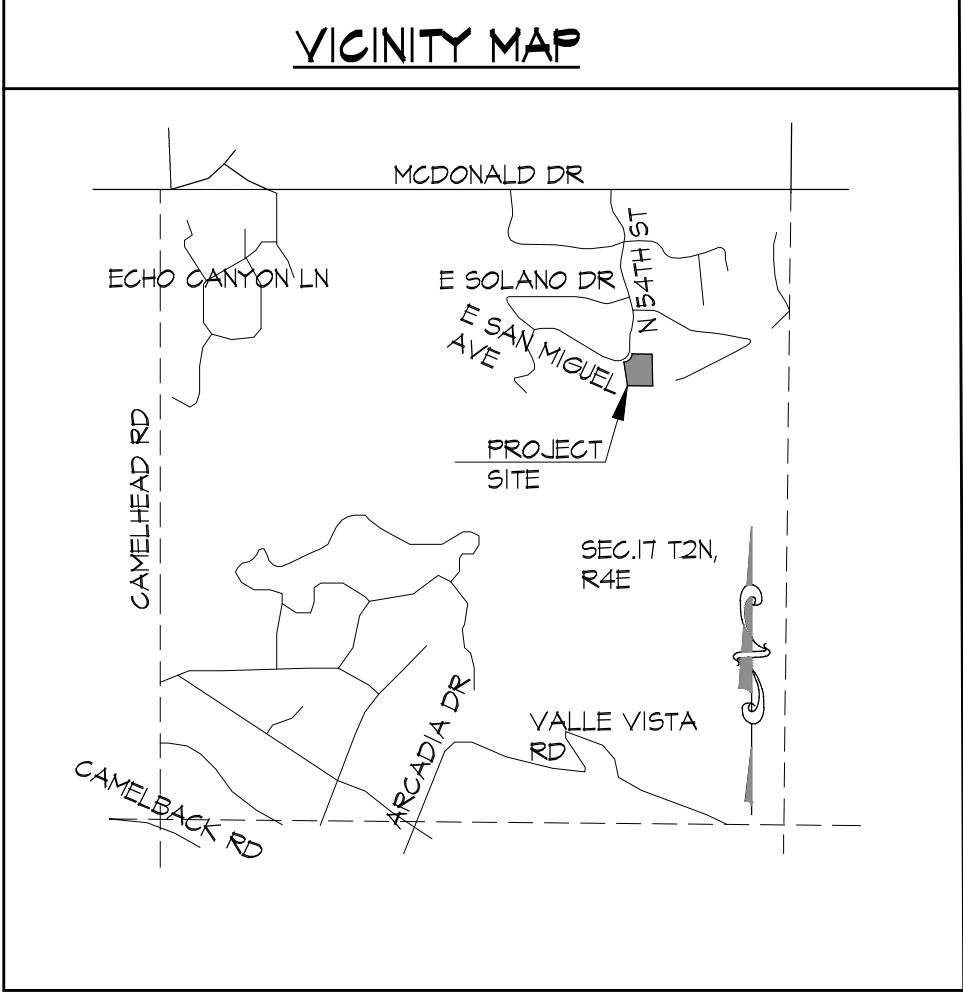
5405 E San Miguel Ave.
Paradise Valley, AZ 85253

SET ISSUED:
07.24.2020

THE NEW RESIDENCE ON EAST SAN MIGUEL AVE.

SHEET INDEX	
A0.1	COVER SHEET, VICINITY MAP & PROJECT RENDERING
AE1.1	PHOTOGRAPHS OF PROPERTY OVER AERIAL SITE PLAN
AE1.2	PHOTOGRAPHS OF PROPERTY (DRONE)
AE1.3	RENDERINGS
AE1.4	3D MODEL VIEWS
AE	AERIAL TOPOGRAPHIC EXHIBIT
[OF]	BOUNDARY AND TOPOGRAPHIC SURVEY
C1	GRADING AND DRAINAGE COVER PAGE
C2	64D IMPROVEMENT PLAN, CROSS SECTIONS, DETAILS
A1.1	ARCHITECTURAL SITE PLAN
A5.1	BUILDING SECTIONS
A5.2	BUILDING SECTIONS
A6.1	ELEVATIONS
A6.2	ELEVATIONS
A6.3	MATERIAL BOARD
E1.1	1ST FLOOR LIGHTING PLAN
E1.2	2ND FLOOR LIGHTING PLAN
L0.1	COVER SHEET & NOTES
L0.2	LANDSCAPE PLAN
L0.3	HARDSCAPE DETAILS
L0.4	LIGHTING PLAN & DETAILS
L0.5	LIGHT FIXTURE CUT SHEETS
L0.6	LANDSCAPE AND IRRIGATION DETAILS
L0.7	LANDSCAPE AND IRRIGATION DETAILS
IS.01	NATIVE PLANT INVENTORY

PROJECT TEAM	
OWNER:	JRM 5405 LLC PO BOX 2656 SCOTTSDALE, AZ 85252
DESIGNER:	AJ DESIGN STUDIO PO BOX 80311 PHOENIX, AZ 85060 CONTACT : AGNIESZKA JASTRZEBSKA (AJ)
CIVIL ENGINEER:	LAND DEVELOPMENT GROUP 8808 N CENTRAL AVE, S 288 PHOENIX, AZ 85020 CONTACT: NICK PROGANOV
LANDSCAPE ARCHITECT:	DESIGN ETHICS, LLC 7525 EAST 6TH AVENUE SCOTTSDALE, AZ 85251 CONTACT: BRANDON FAUL



COVER PAGE RENDERING

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Checked by: AJ
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A0.1

Sheet of



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1 STREET VIEW TOWARDS: NORTH & EAST



SOUTH



WEST



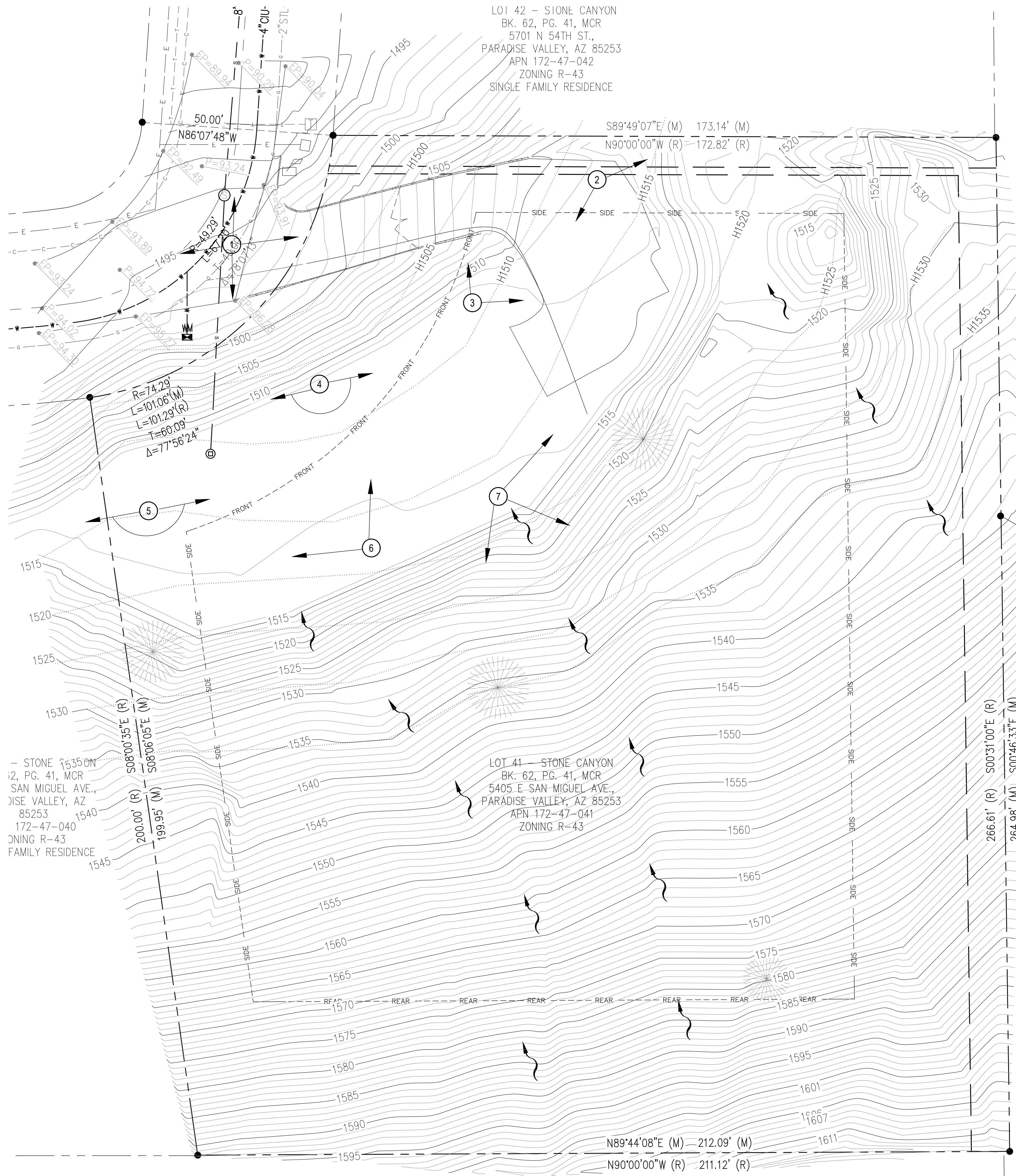
2 PANORAMA VIEW TOWARDS: SOUTH & WEST



3 NORTH



EAST



AERIAL PHOT SITE PLAN

1/16"=1'-0"

1



4 PANORAMA VIEW EAST / SOUTH / WEST



5 PANORAMA VIEW EAST / SOUTH / WEST



6 WEST



NORTH



7 EAST



SOUTH



SOUTH

THE NEW RESIDENCE ON
East San Miguel Avenue

5405 E San Miguel Ave.
Paradise Valley, AZ 85253

SET ISSUED:
07.24.2020

AERIAL SITE PLAN
W/ SITE PHOTOS

Scale: 1"=10'-0"
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Checked by: AJ
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AE1.1

Sheet of



LOOKING NORTH



LOOKING WEST



LOOKING NORTH WEST



LOOKING SOUTH EAST



LOOKING EAST



LOOKING WEST



LOOKING SOUTH



LOOKING SOUTH



LOOKING WEST



LOOKING SOUTH



LOOKING SOUTH



LOOKING EAST



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THE NEW RESIDENCE ON
East San Miguel Avenue

5405 E San Miguel Ave.
Paradise Valley, AZ 85253

SET ISSUED:
07.24.2020

SITE PHOTOS

Scale: 1"=10'-0"
Drawn by: AJ
Checked by: AJ
Sheet No:

AE1.2

Sheet of



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Phoenix, AZ 85060

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THE NEW RESIDENCE ON
East San Miguel Avenue

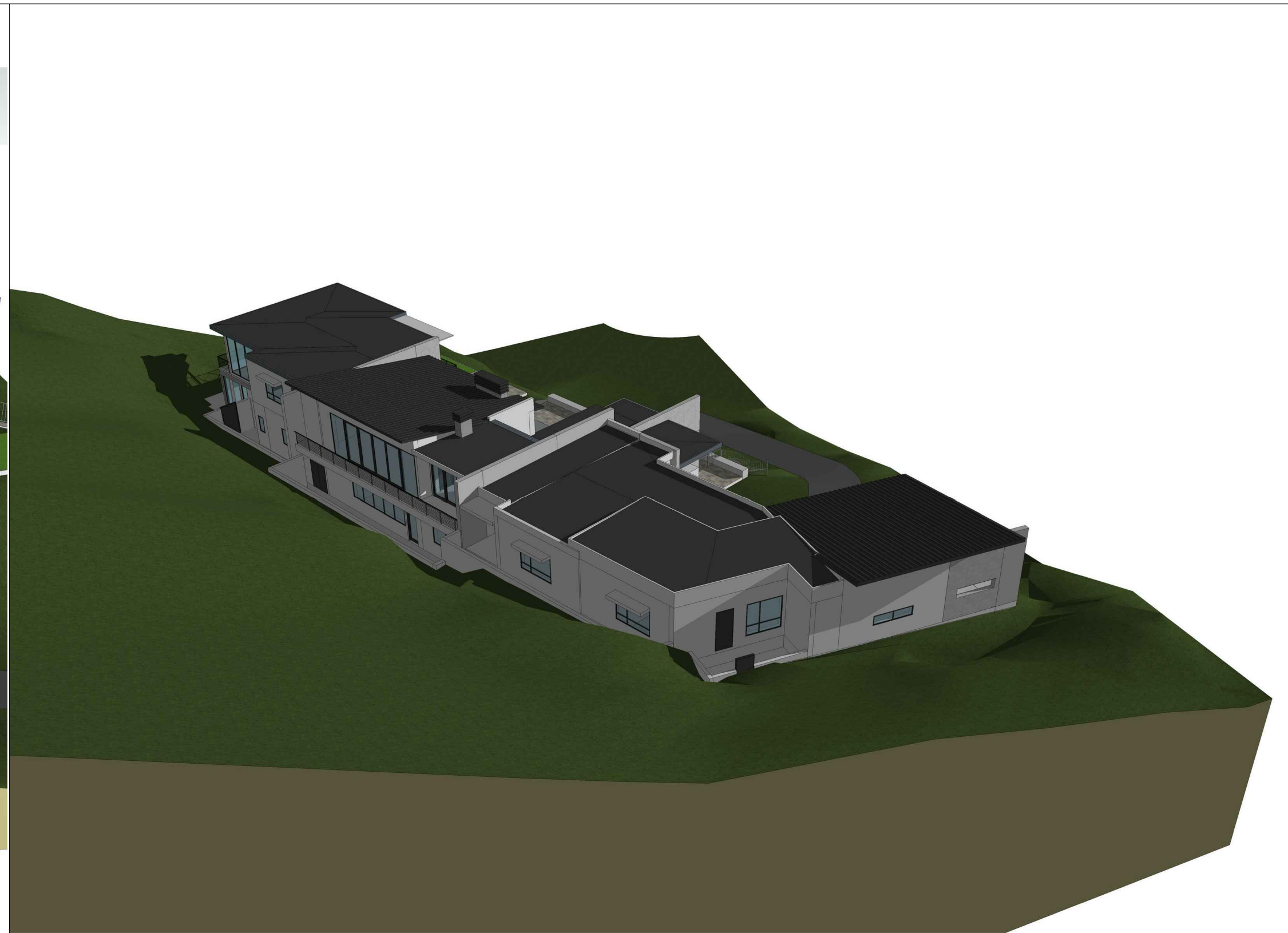
5405 E San Miguel Ave.
Paradise Valley, AZ 85253

SET ISSUED:
07.24.2020

RENDERINGS

Scale: _____
Drawn by: _____ AJ
Checked by: _____ AJ
Sheet No: _____

AE 1.3



P.O.Box 80311
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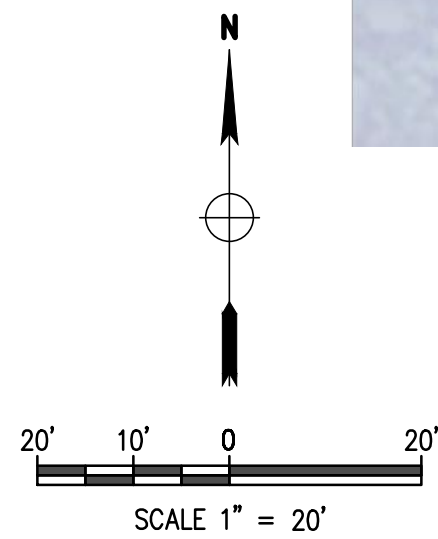
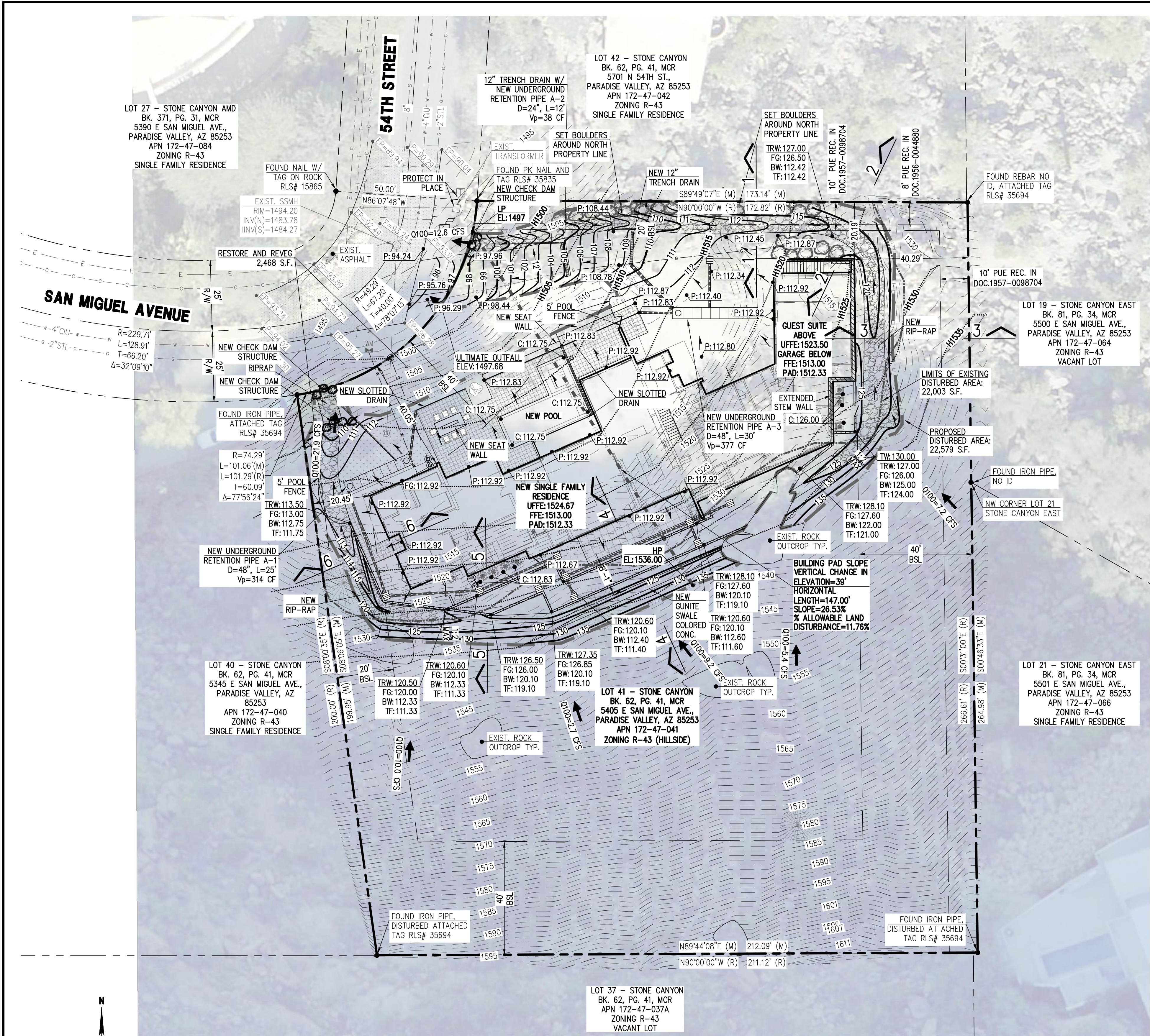
THE NEW RESIDENCE ON
East San Miguel Avenue
5405 E San Miguel Ave.
Paradise Valley, AZ 85253

SET ISSUED:
07.24.2020

3D MODEL
VIEWS

Scale:
Drawn by: JS
Checked by: AJ
Sheet No:

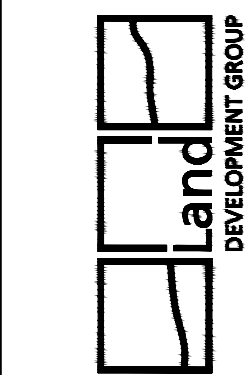
AE 1.4



**AERIAL TOPOGRAPHIC
EXHIBIT**

**MCDRAE RESIDENCE
LOT 41 - STONE CANTON
5405 E SAN MIGUEL AVE.,
PARADISE VALLEY, AZ 85253**

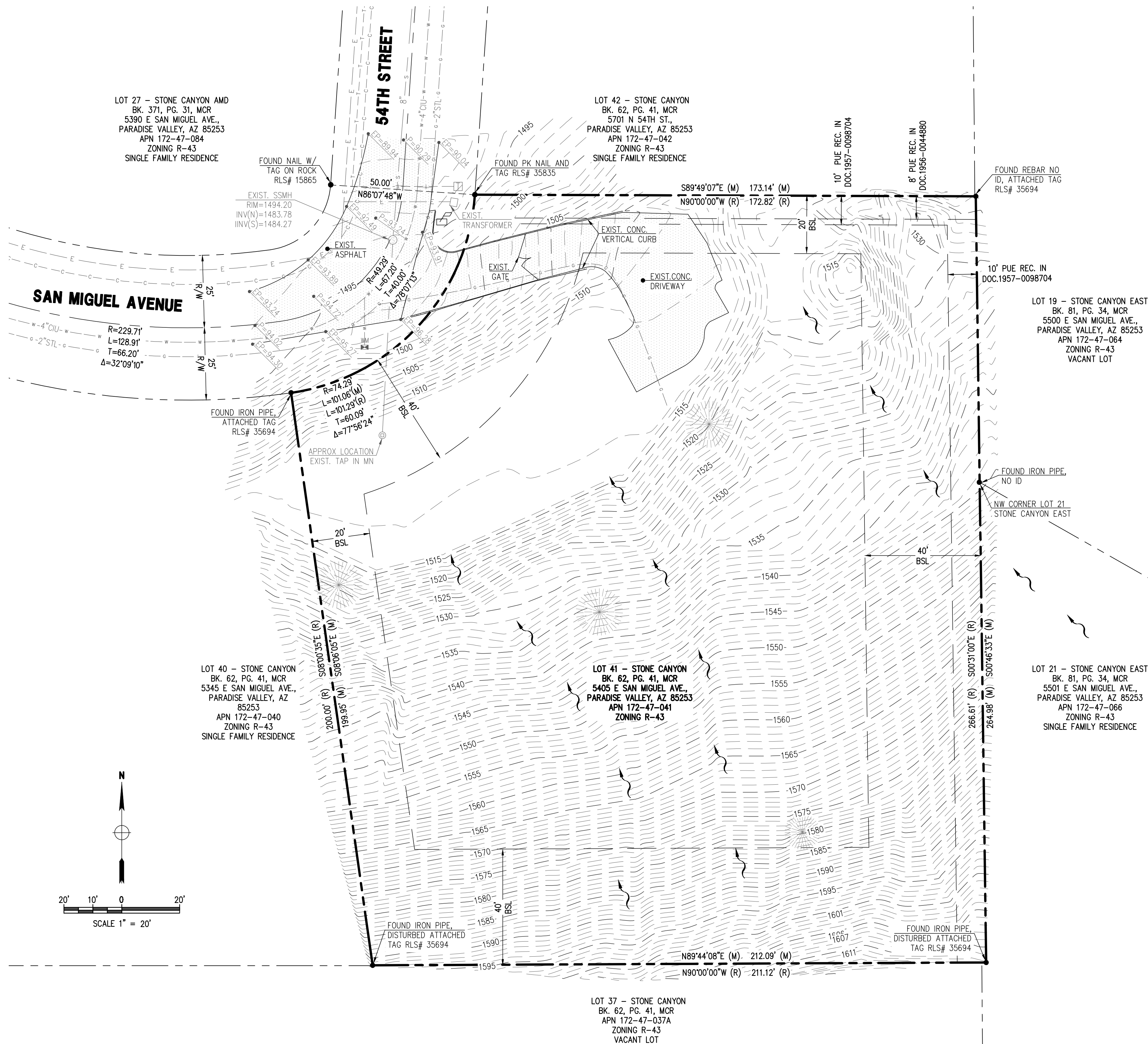
P. 602.889.1984 | F. 602.445.9482
8808 N CENTRAL AVE., SUITE 288
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Contact Arizona 811 at least two full
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ARIZONA
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BOUNDARY & TOPOGRAPHIC SURVEY
5405 E SAN MIGUEL AVE, PARADISE VALLEY, AZ 85253
LOT 41 - STONE CANYON

A SUBDIVISION PLAT RECORDED IN BOOK 62 OF MAPS, PAGE 41, MCR.,
LOCATED IN A PORTION OF THE N 1/2 OF THE S 1/2 OF THE NE 1/4 OF SECTION 17, T.2N, R.4E
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA



GENERAL NOTES

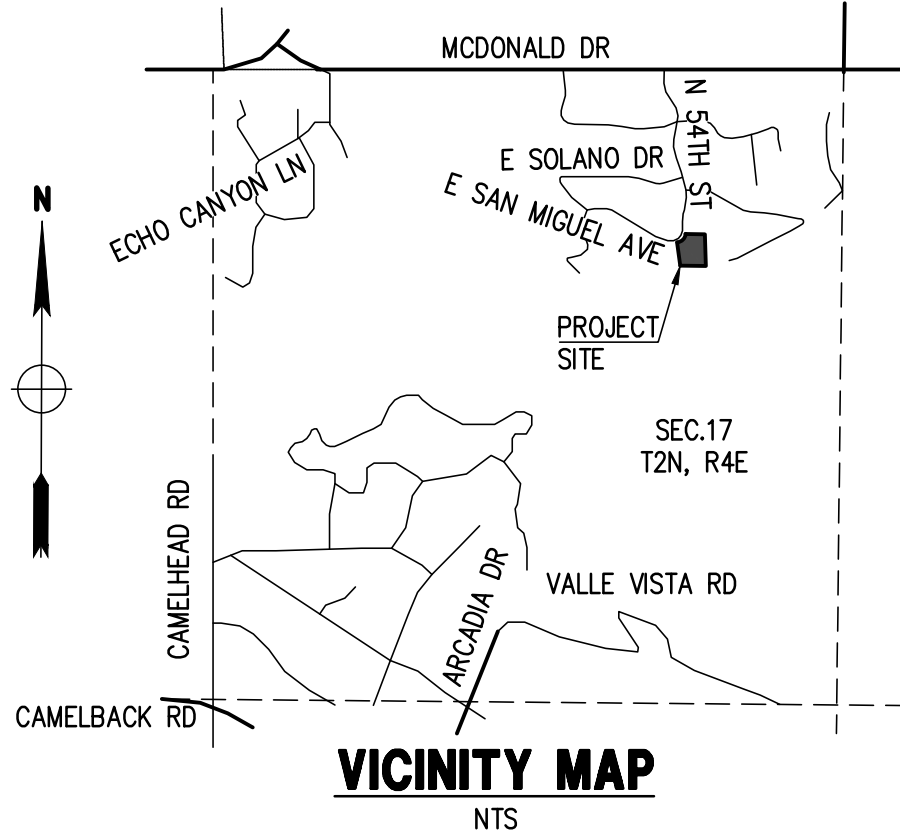
- THE PREMISES SURVEYED HAVE NO KNOWN DISCREPANCIES, BOUNDARY LINE CONFLICTS, ENCROACHMENTS, OVERLAPPING OF IMPROVEMENTS, EASEMENTS OR RIGHT-OF-WAYS EXCEPT AS SHOWN, AND HAS ACCESS TO OR FROM A DEDICATED ROADWAY.
- THIS IS AN ABOVE GROUND SURVEY. THE UNDERGROUND UTILITIES AS SHOWN ARE BASED ON INFORMATION PROVIDED BY THE VARIOUS UTILITY COMPANIES AND THESE LOCATIONS SHOULD BE CONSIDERED APPROXIMATE. THERE MAY BE ADDITIONAL UNDERGROUND UTILITIES, NOT SHOWN ON THIS DRAWING. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN HEREON ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE AT THE TIME OF THE SURVEY.
- BUILDING SETBACK LINES, ZONING, FLOOD AREA ZONES, AND ADDRESSES THAT MAY BE SHOWN ARE SUPPLIED BY THE GOVERNING AGENCY OR TAKEN FROM THE BEST AVAILABLE RECORDS. THE SURVEYOR WILL NOT ACCEPT RESPONSIBILITY FOR THE ACCURACY OF ANY INFORMATION SUPPLIED BY OTHERS.
- EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS MAP, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: EASEMENTS, OTHER THAT POSSIBLE EASEMENTS, WHICH WERE VISIBLE AT THE TIME OF MAKING THIS SURVEY; BUILDING SETBACK LINES; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS; ZONING OR OTHER LAND USE REGULATIONS, AND ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- THE DESCRIPTION OF PROPERTY BOUNDARIES AND EASEMENTS SHOWN HEREON, REPRESENT THAT INFORMATION PROVIDED ON BOOK 62 OF MAPS, PAGE 41, QUITCLAIM DEED REC. DOC. 2009-1199361 RECORDS OF MARICOPA COUNTY, ARIZONA.
- EVERY DOCUMENT OF RECORD REVIEWED AND CONSIDERED AS A PART OF THIS SURVEY IS NOTED HEREON. ONLY THE DOCUMENTS NOTED HEREON WERE SUPPLIED OR AVAILABLE TO THE SURVEYOR AT THE TIME OF THE SURVEY. THERE MAY EXIST OTHER DOCUMENTS OF RECORD, WHICH WOULD AFFECT THIS PARCEL.
- ANY INFORMATION SHOWN WHICH MAY VARY FROM THE CONTENTS OF THE REPORT(S) NOTED ABOVE, REPRESENTS INFORMATION AND MEASUREMENTS FOUND DURING THE COURSE OF THE SURVEY.
- ON-SITE PLANT INFORMATION SHOWN HEREON IS FOR REFERENCE ONLY. SURVEYOR ASSUMES NO LIABILITY FOR THE EVALUATION, SALVAGEABILITY, REMOVAL AND/RELOCATION OF ON-SITE PLANT MATERIALS.
- ALL MEASURED BEARINGS AND DISTANCES EQUAL RECORD UNLESS NOTED OTHERWISE.
- THE SURVEY MAP WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
- ANY AERIAL MAPS SHOWN ON THIS PLAN ARE FOR REFERENCE ONLY AND DO NOT NECESSARILY DEPICT THE EXACT CURRENT CONDITIONS.
- BUILDING SETBACKS FOR THIS PROPERTY ARE PER TOWN OF PARADISE VALLEY ZONING DISTRICT. OWNER OR OWNERS ARCHITECT TO VERIFY SETBACKS WITH CITY OR ANY HOA JURISDICTION.

LEGEND

- FOUND REBAR OR AS NOTED
- PROPERTY LINE
- EASEMENT LINE
- MONUMENT LINE
- ⊕ SEWER CLEANOUT
- ⊙ SEWER MANHOLE
- ✉ MAILBOX
- ⌚ TELECOMMUNICATIONS PEDISTAL
- S — SEWER LINE
- C — COMMUNICATIONS LINE
- T — CATV, PHONE
- G — GAS LINE
- W — WATER LINE
- E — ELECTRIC LINE
- - - - - EXISTING CONTOUR
- ~ ~ ~ EXIST. DRAINAGE FLOW
- EXIST. SPOT ELEVATION
- ☼ PALO VERDE

ABBREVIATIONS

- BSL BUILDING SETBACK LINE
- EG EXISTING GRADE
- EL ELEV
- EP ELEVATION
- EP EDGE OF PAVEMENT
- ESMT EASEMENT
- EX, EXIST. EXISTING
- G GUTTER, GAS
- INV INVERT
- (M) MEASURED
- MCR MARICOPA COUNTY RECORDER
- MH MANHOLE
- P, P/MT PAVEMENT
- PUE PUBLIC UTILITY EASEMENT
- (R), REC. RECORDED
- R RADIUS
- R/W RIGHT OF WAY
- T TANGENT, TELEPHONE
- TPV TOWN OF PARADISE VALLEY
- W WEST, WATERLINE
- WM WATER METER



OWNER

CLINTON MCCALLUM
PO BOX 6167,
SCOTTSDALE, AZ 85261

SITE DATA

APN: 172-47-041
ADDRESS: 5405 E SAN MIGUEL AVE.,
PARADISE VALLEY, AZ 85253
ZONING: R-43
LOT AREA: 57,377 S.F. (1.317 AC.)
QS #: 20-40

BENCHMARK

BRASS CAP FLUSH AT THE INTERSECTION OF 56TH STREET AND
MCDONALD LANE HAVING AN ELEVATION OF 1417.53, TOWN OF
PARADISE VALLEY (NAVD 88) DATUM, GDACS# 24544-1.

BASIS OF BEARINGS

THE FOUND NORTH LINE OF LOT 41, STONE CANYON, BOOK 62 OF
MAPS, PAGE 41, THE BEARING OF WHICH IS S89°49'07"E, ASSUMED.

LEGAL DESCRIPTION

LOT 41, STONE CANYON, A SUBDIVISION RECORDED IN BOOK 62
OF MAPS, PAGE 41, RECORDS OF MARICOPA COUNTY, ARIZONA.

SURVEY REFERENCES

- MARICOPA COUNTY PARCEL 825-17-01-01.
- MARICOPA COUNTY PARCEL 825-17-01-02.
- MARICOPA COUNTY PARCEL 825-17-01-03.
- MARICOPA COUNTY PARCEL 825-17-01-04.
- QUITCLAIM DEED RECORDED IN DOC. NO. 2009-1199361.
- RECORDED PLAT PER BOOK 62 OF MAPS, PAGE 41, M.C.R.
- SPECIAL WARRANTY DEED RECORDED IN DOC. NO. 1957-0098704.
- GRANT OF EASEMENT RECORDED IN DOCKET 1877, PAGE 49.
- DECLARATION OF RESTRICTION RECORDED IN DOCKET 1531, PAGE 207.

UTILITIES

WATER: EPCOR
SANITARY SEWER: CITY OF PHOENIX
ELECTRIC: APS
TELEPHONE: CENTURY LINK, COX COMMUNICATIONS
NATURAL GAS: SOUTHWEST GAS
CABLE TV: CENTURY LINK, COX COMMUNICATIONS

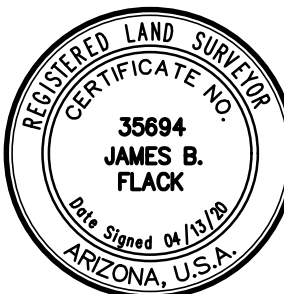
FLOOD INSURANCE RATE MAP (FIRM) DATA

COMMUNITY #	PANEL #	SUFFIX	BASE FLOOD ELEVATION
040049	1765 OF 4425	L	N/A
MAP #	PANEL DATE	FIRM INDEX DATE	ZONE
04013C	10/16/2013	11/04/2015	X*

*AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

CERTIFICATE OF SURVEY

THIS IS TO CERTIFY THAT THIS MAP AND THE SURVEY ON WHICH IT IS
BASED WERE MADE IN ACCORDANCE WITH THE CURRENT "MINIMUM
STANDARDS FOR ARIZONA BOUNDARY AND TOPOGRAPHIC SURVEYS",
AND THAT THE SURVEY SHOWN HEREON IS TRUE AND CORRECT TO
THE BEST OF MY KNOWLEDGE AND BELIEF AND WAS SURVEYED AND
DRAWN UNDER MY DIRECTION IN THE MONTH OF APRIL, 2020.



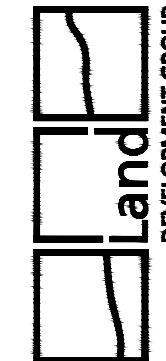
JAMES FLACK, RLS

04/13/20
DATE

BOUNDARY & TOPOGRAPHIC
SURVEY MAP

LOT 41 - STONE CANTON
5405 E SAN MIGUEL AVE.,
PARADISE VALLEY, AZ 85253

P. 602 889 1984 | F. 602 445 9482
8808 N CENTRAL AVE., SUITE 208
PHOENIX, AZ 85020
PHOENIXLANDING.COM



TOWN OF PARADISE VALLEY NOTES

1. GRADING SHALL BE IN CONFORMANCE WITH 2018 IBC.
2. PRIOR TO FIRST FOOTING INSPECTION OF ANY TYPE, ALL PROPERTY PINS SHALL BE PLACED BY A REGISTERED LAND SURVEYOR OF THE STATE OF ARIZONA, AND PROPERTY LINES MUST BE PHYSICALLY IDENTIFIED PRIOR TO INSPECTION.
3. WHERE EXCAVATION IS TO OCCUR THE TOP 4" OF EXCAVATED NATIVE SOIL SHALL REMAIN ON THE SITE AND SHALL BE REUSED IN A MANNER THAT TAKES ADVANTAGE OF THE NATURAL SOIL SEED BANK IT CONTAINS.
4. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) SPECIFICATIONS AND STANDARD DETAILS.
5. ALL EXTERIOR SITE LIGHTING SHALL COMPLY WITH REQUIREMENTS OF SECTION 2208 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES FOR FUTURE TYPE, LOCATION, HEIGHT, WATTAGE BASED UPON FIXTURES INSTALLED.
6. A DUST CONTROL PLAN MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
7. A SEPARATE PERMIT IS NECESSARY FOR ANY OFFSITE CONSTRUCTION.
8. AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
9. EAVE PROJECTIONS INTO REQUIRED SETBACKS ARE LIMITED TO A MAXIMUM OF 24" PURSUANT TO SECTION 1008 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES.
10. ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
11. ALL NEW AND EXISTING ELECTRICAL SERVICE TO BE BURIED UNDERGROUND PER THE TOWN OF PARADISE VALLEY STANDARDS.
12. POOL, SPA, BARBECUE AND ANY PROPOSED STRUCTURES OVER 8 INCHES ABOVE GRADE REQUIRE SEPARATE PERMIT APPLICATIONS.
13. POOLS SHALL BE CONSTRUCTED BY SEPARATE PERMIT AND SECURED FROM UNWANTED ACCESS PER SECTION 5-2-2 OF THE TOWN OF PARADISE VALLEY ORDINANCES.
14. A SETBACK CERTIFICATION IS REQUIRED AND MUST BE GIVEN TO TOWN INSPECTOR AT STEM WALL INSPECTION.
15. MAIL BOX TO COMPLY WITH THE TOWN OF PARADISE VALLEY STANDARDS FOR MAIL BOXES IN THE R.O.W. FOR HEIGHT, WIDTH AND BREAK AWAY FEATURES.
16. ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE. ALL LAWN AREAS ADJOINING WALKS OR SLABS WILL BE GRADED TO 2" BELOW THE TOP OF SLAB. TYPICAL FINISHED GRADE AROUND PERIMETER OF BUILDING IS MINUS 6" BELOW FINISHED FLOOR UNLESS SPECIFIED OTHERWISE.
17. ALL MATERIAL TO BE UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95% PER ASTM D698.
18. SOILS COMPACTION TEST RESULTS MUST BE SUBMITTED TO THE TOWN ENGINEER'S OFFICE FOR BUILDING PADS THAT HAVE ONE (1) FOOT OR MORE OF FILL MATERIAL INDICATED. THIS INFORMATION MUST BE SUPPLIED PRIOR TO REQUEST FOR FINAL INSPECTION.
19. TRENCH BED SHALL BE FREE OF ROCKS AND DEBRIS.
20. REGULATION II RULE 20-3 OF THE MARICOPA COUNTY HEALTH DEPARTMENT, BUREAU OF AIR POLLUTION CONTROL SHALL BE OBSERVED AND ENFORCED.
21. ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL CITY OR TOWN UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
22. THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL STATE, AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO THE CONSTRUCTION COVERED BY THIS PLAN.
23. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
24. ALL CONSTRUCTION IN THE PUBLIC RIGHTS-OF-WAY OR IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) UNIFORM STANDARD SPECIFICATIONS AND UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION.
25. THE TOWN ONLY APPROVES THE SCOPE, NOT THE DETAIL, OF ENGINEERING DESIGNS; THEREFORE, IF CONSTRUCTION QUANTITIES ARE SHOWN ON THESE PLANS, THEY ARE NOT VERIFIED BY THE TOWN.
26. THE APPROVAL OF PLANS IS VALID FOR SIX (6) MONTHS; IF AN ENCROACHMENT PERMIT FOR THE CONSTRUCTION HAS NOT BEEN ISSUED WITHIN SIX MONTHS, THE PLANS MUST BE RESUBMITTED TO THE TOWN FOR RE-APPROVAL.
27. A PUBLIC WORKS INSPECTOR WILL INSPECT ALL WORKS WITHIN THE TOWN OF PARADISE VALLEY RIGHTS-OF-WAY AND IN EASEMENTS. NOTICE INSPECTION SERVICES 24 HOURS PRIOR TO BEGINNING CONSTRUCTION BY CALLING 480- 312-5750.
28. WHENEVER EXCAVATION IS NECESSARY, CALL THE BLUE STAKE CENTER, 602-263-1100, TWO WORKING DAYS BEFORE EXCAVATION BEGINS. THE CENTER WILL SEE THAT THE LOCATION OF THE UNDERGROUND UTILITY LINES IS IDENTIFIED FOR THE PROJECT. CALL "COLLECT" IF NECESSARY.
29. ENCROACHMENT PERMITS ARE REQUIRED FOR ALL WORK IN PUBLIC RIGHTS-OF-WAY AND EASEMENTS GRANTED FOR PUBLIC PURPOSES. AN ENCROACHMENT PERMIT WILL BE ISSUED BY THE TOWN ONLY AFTER THE REGISTRANT HAS PAID A BASE FEE PLUS A FEE FOR INSPECTION SERVICES. COPIES OF ALL PERMITS MUST BE RETAINED ON-SITE AND BE AVAILABLE FOR INSPECTION AT ALL TIMES. FAILURE TO PRODUCE THE REQUIRED PERMITS WILL RESULT IN IMMEDIATE SUSPENSION OF ALL WORK UNTIL THE PROPER PERMIT DOCUMENTATION IS OBTAINED.
30. ALL EXCAVATION AND GRADING THAT IS NOT IN THE PUBLIC RIGHTS-OF-WAY OR NOT IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO CHAPTER 70, EXCAVATION AND GRADING, OF THE LATEST EDITION OF THE IBC BY THE ICC. A PERMIT FOR THIS GRADING MUST BE SECURED FROM THE TOWN FOR A FEE ESTABLISHED BY THE UNIFORM BUILDING CODE.
31. EXCAVATIONS SHALL COMPLY WITH REQUIREMENTS OF OSHA EXCAVATION STANDARDS (29 CFR, PART 1926, SUBPART P). UNDER NO CIRCUMSTANCES WILL THE CONTRACTOR BE ALLOWED TO WORK IN A TRENCH LOCATED WITHIN THE TOWN'S RIGHT-OF-WAY WITHOUT PROPER SHORING OR EXCAVATION METHODS.
32. ON DEMOLITION, GRADING, REMODELING AND NEW CONSTRUCTION PROJECTS, PERMITTEE MUST NOTIFY ADJACENT PROPERTY OWNERS REGARDING THE NATURE OF THE PROJECT, THE TIME PERIOD FOR CONSTRUCTION, AND ANY UNUSUAL ACTIVITIES THAT MAY CAUSE DISRUPTION OF THE NORMAL COURSE OF TRAFFIC DURING CONSTRUCTION.
33. ALL PERMITTEES MUST POST A 6 SQUARE FOOT (2'X3') IDENTIFICATION SIGN, MADE OF DURABLE MATERIAL, IN THE FRONT YARD OF SUBJECT PROPERTY AND NOT IN THE TOWN RIGHT-OF-WAY. THE SIGN MAY NOT EXCEED A MAXIMUM OF 6 FEET IN HEIGHT FROM GRADE TO TOP OF THE SIGN. THE SIGN MUST INCLUDE THE PERMITTEE OR COMPANY NAME, PHONE NUMBER, TYPE OF WORK, AND ADDRESS OF PROJECT.
34. WHEN DEEMED NECESSARY, A 6-FOOT HIGH CHAIN LINK FENCE MUST BE INSTALLED AROUND THE CONSTRUCTION AREA TO PREVENT ANY POTENTIAL SAFETY HAZARD FOR THE PUBLIC. THE FENCE SHALL BE SETBACK AT LEAST 10 FEET FROM ALL RIGHTS-OF-WAY AND HAVE A 50-FOOT STREET CORNER SITE TRIANGLE WHERE APPLICABLE.
35. CLEAR ACCESS FOR NEIGHBORING PROPERTIES AND EMERGENCY VEHICLES MUST BE MAINTAINED AT ALL TIMES. CONSTRUCTION RELATED VEHICLES MUST BE LEGALLY PARKED ONLY ON ONE SIDE OF THE STREET OR JOB SITE PROPERTY. IF A STAGING AREA IS NEEDED ON A PROPERTY OTHER THAN THE CONSTRUCTION SITE FOR CONSTRUCTION SUPPLIES AND EQUIPMENT, THE PERMITTEE MUST OBTAIN PROPERTY OWNER AND TOWN APPROVAL FIRST AND MUST INFORM THE ADJACENT PROPERTY OWNERS OF THE LOCATION OF STAGING AREA, AND TIME AND HOURS DURING THE DAY THE AREA WILL BE USED.
36. EXCEPT AS OUTLINED IN ITEM 4, ALL CONSTRUCTION DEBRIS AND EQUIPMENT MUST BE CONTAINED ON SITE AT ALL TIMES. CONTRACTOR AND PROPERTY OWNER MUST MAINTAIN THE JOB SITE FREE OF LITTER AND UNSIGHTLY MATERIALS AT ALL TIMES. CONSTRUCTION MATERIALS ARE PROHIBITED IN THE TOWN RIGHT-OF-WAY OR NEAR ADJACENT PROPERTIES.
37. BUILDING CONSTRUCTION MUST NOT START SOONER THAN SUNRISE AND MUST STOP NO LATER THAN SUNSET. ALSO, ORDINANCE #561 IMPOSES RESTRICTIONS ON CONSTRUCTION WORK ON SATURDAYS, SUNDAYS AND MAJOR BUSINESS HOLIDAYS. HILLSIDE PROJECTS MAY HAVE ADDITIONAL RESTRICTIONS. EQUIPMENT WITH AUDIBLE REVERSE DIRECTION WARNINGS MUST NOT BE OPERATED PRIOR TO 7:00 A.M. THE USE AND OPERATION OF FUEL-FIRED GENERATORS ON ANY CONSTRUCTION SITE, NEW, EXISTING OR REMODELING, IS PROHIBITED UNLESS DUE TO A HARDSHIP TOWN APPROVAL IS OBTAINED.
38. THE CONTRACTOR AND PROPERTY OWNER WILL BE LIABLE FOR ANY DAMAGE DONE TO ANY PUBLIC PROPERTY AS A RESULT OF ANY CONSTRUCTION OR CONSTRUCTION RELATED ACTIVITIES. NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL AFFECTED RIGHTS-OF-WAY ARE CLEANED AND/OR REPAIRED TO THEIR ORIGINAL CONDITION AND UNTIL ANY AND ALL DAMAGES TO AFFECTED PROPERTIES ARE RESTORED TO ORIGINAL CONDITION, OR UNTIL SUCH TIME THAT A WRITTEN, SIGNED AND LEGALLY BINDING AGREEMENT HAS BEEN REACHED BY THE PARTIES INVOLVED TO REMEDY ANY VIOLATION WITHIN A REASONABLE TIME PERIOD, AND UNTIL ALL REQUIRED FEES ARE PAID IN FULL.
40. THE NATURAL FLOW OF RAINWATER AND OTHER SURFACE DRAINAGE FROM THE PROPERTY MAY NOT BE ALTERED IN ANY WAY.
41. A KEY SWITCH SHALL BE REQUIRED ON ALL NEW AND EXISTING ELECTRIC ENTRY CONTROL GATES. THE KEY SWITCH SHALL BE INSTALLED IN A LOCATION ON THE GATE CONTROL PANEL THAT IS READILY VISIBLE AND ACCESSIBLE. KNOX BOX ORDER FORMS ARE AVAILABLE AT THE PARADISE VALLEY BUILDING DEPARTMENT.
42. ALL EQUIPMENT OF ALL TRADES ON OR AFFECTING THE JOB MUST BE CLEANED ONLY IN A PRE-DETERMINED AND DESIGNATED AREA. DEBRIS AND RUNOFF FROM SAID AREA MAY NOT EXTEND BEYOND THE BUILDING AREA.
43. PROPERTY OWNER, BUILDER, OR GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR CONTROLLING DUST FROM THE SITE AT ALL TIMES. ALL MEANS NECESSARY SHALL BE USED BY THE BUILDER OR GENERAL CONTRACTOR TO CONTROL THE EXISTENCE OF DUST CAUSED BY ANY EARTHWORK, SPRAY APPLICATION OF MATERIALS, OR OTHER DUST-CAUSING PRACTICES REQUIRED BY THE CONSTRUCTION PROCESS.
44. AN INSPECTION FEE WILL BE CHARGED IF THE INSPECTION IS REQUIRED AS A RESULT OF A CODE VIOLATION.
45. FOR DEMOLITION INSPECTION OWNER OR PERMITTEE SHALL NOTIFY OSHA FOR ASBESTOS INSPECTION. ALL DEMOLITIONS AND ALL RENOVATION ACTIVITIES THAT WILL DISTURB FRIABLE ASBESTOS CONTAINING MATERIALS MUST BE REPORTED TO THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT.

NATIVE PLANTS

ALL NATIVE PLANTS IMPACTED BY CONSTRUCTION SHALL BE RELOCATED ON SITE. SEE LANDSCAPE PLAN AND NATIVE PLANT INVENTORY AND SALVAGE PLAN.

UTILITIES

WATER: EPCOR
SANITARY SEWER: CITY OF PHOENIX
ELECTRIC: APS
TELEPHONE: CENTURY LINK, COX COMM.
NATURAL GAS: SOUTHWEST GAS
CABLE TV: CENTURY LINK, COX COMM.

ENGINEERS NOTES

1. MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION INCLUDING LATEST REVISION AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL TOWN OR CITY) ARE INCORPORATED INTO THIS PLAN IN THEIR ENTIRETY.
2. ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL CITY OR TOWN UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
3. GRADING SHALL BE IN CONFORMANCE WITH 2018 IBC SEC. 1803 AND APPENDIX J.
4. 5% MINIMUM SLOPE AWAY FROM BUILDING FOR A MINIMUM 10', U.N.O.
5. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) SPECIFICATIONS AND STANDARD DETAILS.
6. A DUST CONTROL PLAN MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
7. A SEPARATE PERMIT IS NECESSARY FOR ANY OFFSITE CONSTRUCTION.
8. AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
9. ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTOR DITCHES, PIPES, PROTECTIVE BERMS, BARRIER WALLS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT ADJACENT BUILDINGS OR PROPERTY FROM STORM RUNOFF MUST BE COMPLETED PRIOR TO BUILDING CONSTRUCTION.
10. ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
11. ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE. ALL LAWN AREAS ADJOINING WALKS OR SLABS WILL BE GRADED TO 2" BELOW THE TOP OF SLAB. TYPICAL FINISHED GRADE AROUND PERIMETER OF BUILDING IS MINUS 6" BELOW FINISHED FLOOR UNLESS SPECIFIED OTHERWISE.
12. ALL MATERIAL TO BE UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95% PER ASTM D698.
13. THE QUANTITIES AND SITE CONDITIONS DEPICTED IN THESE PLANS ARE FOR INFORMATIONAL PURPOSES ONLY AND ARE SUBJECT TO ERROR AND OMISSION. CONTRACTORS SHALL SATISFY THEMSELVES AS TO ACTUAL QUANTITIES AND SITE CONDITIONS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
14. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
15. THE CONTRACTOR IS RESPONSIBLE FOR ALL METHODS, SEQUENCING, AND SAFETY CONCERNS ASSOCIATED WITH THIS PROJECT DURING CONSTRUCTION, UNLESS SPECIFICALLY ADDRESSED OTHERWISE IN THIS PLAN OR ELSEWHERE.
16. A REASONABLE EFFORT HAS BEEN MADE TO SHOW THE LOCATIONS OF EXISTING UNDERGROUND FACILITIES AND UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND/OR FACILITIES CAUSED DURING THEIR CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL CALL 48 HOURS IN ADVANCE FOR BLUE STAKE (1-800-STAKE-IT) PRIOR TO ANY EXCAVATION.
17. THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION OF CONSTRUCTION AFFECTING UTILITIES AND THE COORDINATION OF ANY NECESSARY UTILITY RELOCATION WORK.
18. ALL PAVING, GRADING, EXCAVATION, TRENCHING, PIPE BEDDING, CUT, FILL AND BACKFILL SHALL COMPLY WITH THE RECOMMENDATIONS SET FORTH IN THE SOILS (GEOTECHNICAL) REPORT FOR THIS PROJECT IN ADDITION TO THE REFERENCED REQUIRED SPECIFICATIONS AND DETAILS.
19. THE CONTRACTOR IS TO VERIFY THE LOCATION AND THE ELEVATIONS OF ALL EXISTING UTILITIES AT POINTS OF TIE-IN PRIOR TO COMMENCING ANY NEW CONSTRUCTION. SHOULD ANY LOCATION OR ELEVATION DIFFER FROM THAT SHOWN ON THESE PLANS, THE CONTRACTOR SHALL CONTACT THE OWNER'S AGENT.
20. CONTRACTOR TO VERIFY AND COORDINATE ALL DIMENSIONS AND SITE LAYOUT WITH ARCHITECTURE'S FINAL SITE PLAN AND FINAL BUILDING DIMENSIONS BEFORE STARTING WORK. REPORT DISCREPANCIES TO OWNER'S AGENT.
21. COORDINATION BETWEEN ALL PARTIES IS ESSENTIAL PART OF CONTRACT.
22. CONTRACTOR IS RESPONSIBLE FOR PROJECT AND SITE CONDITIONS, AND TO WORK WITH WEATHER CONDITIONS AS THE PROJECT SITE MAY BE LOCATED IN A FLOOD PRONE AREA AND SUBJECT TO FLOODING AND ITS HAZARDS.
23. THE CONTRACTOR IS TO VERIFY THE LOCATION, ELEVATION, CONDITION, AND PAVEMENT CROSS-SLOPE OF ALL EXISTING SURFACES AT POINTS OF TIE-IN AND MATCHING, PRIOR TO COMMENCEMENT OF GRADING, PAVING, CURB AND GUTTER, OR OTHER SURFACE CONSTRUCTION. SHOULD EXISTING LOCATIONS, ELEVATIONS, CONDITION, OR PAVEMENT CROSS-SLOPE DIFFER FROM THAT SHOWN ON THESE PLANS, RESULTING IN THE DESIGN INTENT REFLECTED ON THESE PLANS NOT ABLE TO BE CONSTRUCTED, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AGENT IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ALL COSTS ASSOCIATED WITH CORRECTIVE ACTION IF THESE PROCEDURES ARE NOT FOLLOWED.
24. CONTRACTOR IS RESPONSIBLE TO COORDINATE UTILITY CROSSINGS AT CULVERT CROSSINGS BEFORE STARTING WORK ON CULVERT. COORDINATE WITH OWNER REPRESENTATIVE. VERIFY UTILITY LINES AND/OR CONDUITS ARE IN PLACE BEFORE STARTING CULVERT WORK.
25. ALL ON-SITE UTILITIES PER OTHERS.
26. THIS PROJECT REQUIRES A REGULAR ONGOING MAINTENANCE PROGRAM FOR THE DESIGNED DRAINAGE SYSTEM(S) TO PRESERVE THE DESIGN INTEGRITY AND THE ABILITY TO PERFORM ITS OPERATIONAL INTENT. FAILURE TO PROVIDE MAINTENANCE WILL JEOPARDIZE THE DRAINAGE SYSTEM(S) PERFORMANCE AND MAY LEAD TO ITS INABILITY TO PERFORM PROPERLY AND/OR CAUSE DAMAGE ELSEWHERE IN THE PROJECT.
27. IF A DISCREPANCY IS FOUND BETWEEN ENGINEER'S PLAN OR SURVEYOR'S STAKING AND THE ARCHITECTURAL PLAN, ENGINEER SHALL BE NOTIFIED IMMEDIATELY. FAILURE TO NOTIFY ENGINEER SHALL NEGATE ENGINEER'S LIABILITY.
28. ALL DISTURBED AREAS ARE TO BE ROPED AND ROPING MUST MATCH PLAN.
29. VEGETATION OUTSIDE OF CONSTRUCTION AREA TO REMAIN.
30. AREAS OUTSIDE THE WALL AND CUT AND FILL SLOPES SHALL BE REVEGETATED WITH SIMILAR PLANT TYPES AND DENSITIES FOUND ON THE SITE. REVEGETATION SHALL BE COMPLETED PRIOR TO OCCUPANCY AND THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
31. MECHANICAL EQUIPMENT SHALL BE SCREENED TO A MINIMUM OF ONE FOOT ABOVE TOP OF EQUIPMENT.
32. ANY FUTURE IMPROVEMENTS SHOWN HEREON SHALL REQUIRE A SEPARATE PERMIT.
33. ANY POINTS OF DRAINAGE CONSTRUCTION SHOULD BE PROTECTED AGAINST EROSION WITH NATIVE STONE.
34. THIS PLAN IS DESIGNED TO SHOW SITE GRADING AND DRAINAGE CONTRACTOR SHALL USE THE ARCHITECTURAL SITE PLAN TO DETERMINE FINAL HOUSE, WALL, STEP, ETC., LOCATIONS AND ELEVATIONS.
35. ALL DRAINAGE FACILITIES TO BE MAINTAINED BY HOMEOWNER.
36. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR SITE AND RETAINING WALLS LAYOUT, DIMENSIONS, AND DETAILS. TOP OF FOOTING ELEVATIONS SHOWN IN PLAN ARE APPROXIMATE ONLY. ACTUAL TOP OF FOOTINGS TO BE DETERMINED AT TIME OF CONSTRUCTION AND TO BE A MINIMUM OF SIX INCHES BELOW EXISTING NATURAL GRADE OR FINISHED GRADE WHICHEVER IS LOWER (TYPICAL).
37. REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT, DIMENSIONS AND ELEVATIONS.
38. REFER TO STRUCTURAL DRAWINGS, DETAILS AND CALCULATIONS FOR ALL PROPOSED RETAINING WALLS.
39. FOR CHANGE IN ELEVATION THAT ARE GREATER THAN 30", PROVIDE 36" HIGH GUARDRAILS FOR TOTAL OF 42' FALL PROTECTION BARRIER U.N.O.
40. CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE - 5% MIN SLOPE FOR TOTAL 10 FEET, U.N.O.
41. ALL WATER AND SEWER LINES AND CONNECTIONS MUST BE INSTALLED PER IPC 2018, MAG AND TOWN OF PARADISE VALLEY SUPPLEMENT TO MAG.
42. WATERPROOF ALL EXTERIOR WALLS 18" ABOVE FINISH GRADE-(BITUTHENE® 3000 HC MEMBRANE W/ GRACE PROTECTION 03 OR APPROVED EQUAL).
43. ALL PIPES AND FITTINGS SHALL BE INSTALLED PER MANUFACTURE'S SPECIFICATIONS AND DETAILS.
44. ABANDONMENT OF EXISTING AND INSTALLATION OF NEW SEPTIC SYSTEMS SHALL BE PERFORMED IN ACCORDANCE WITH THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT RULES AND STANDARDS, AND WILL REQUIRE SEPARATE PERMIT.
45. COORDINATE RIPRAP COLOR WITH LANDSCAPE PLANS AND DETAILS.
46. VERIFY AND COORDINATE WITH LANDSCAPE PLANS FINAL LOCATION AND GRATE TYPE OF SPECIFIED AREA DRAINS AND TRENCH DRAINS.
47. VERIFY AND COORDINATE WITH ARCHITECTURAL AND LANDSCAPE PLANS LOCATION AND HEIGHT OF ALL SITE WALLS.
48. DISTURBED AREA: TOTAL ACRES = 0.52 ACRES < 1 ACRE; NPDES PERMIT IS NOT REQUIRED.
49. REFER TO ARCHITECTURAL PLANS AND DETAILS FOR DEMOLITION AND REMOVAL OF ANY EXISTING BUILDING STRUCTURES, SITE WALLS, POOL AND PAVEMENT ETC.
50. REFER TO GEOTECHNICAL REPORT FOR SPECIFIC RECOMMENDATIONS AND MAXIMUM ALLOWED FILL AND CUT SLOPES. STABILITY OF EXISTING ROCK PINNING AND NET SHALL BE INSPECTED AND APPROVED BY GEOTECHNICAL ENGINEER.

UTILITIES NOTES

HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THE PLAN ARE APPROXIMATE ONLY AND WILL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO START OF CONSTRUCTION WORK. CALL BLUE STAKE ® (602) 263-1100.

FIRE SPRINKLER SYSTEM

FIRE SPRINKLER SYSTEM TO BE INSTALLED PER THE REQUIREMENTS OF THE TOWN OF PARADISE VALLEY AND IN ACCORDANCE WITH I.B.C. SECT. 904.2.2 AMD. AND I.F.C. SECT. 1003.2.1 AMD.

PRELIMINARY GRADING & DRAINAGE PLAN
MCDADE RESIDENCE
5405 E SAN MIGUEL AVE, PARADISE VALLEY, AZ 85253
LOT 41 - STONE CANYON

A SUBDIVISION PLAT RECORDED IN BOOK 62 OF MAPS, PAGE 41, MCR.,
LOCATED IN A PORTION OF THE N 1/2 OF THE S 1/2 OF THE NE 1/4 OF SECTION 17, T.2N, R.4E
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

LEGEND

- FOUND REBAR OR AS NOTED
- — — — — PROPERTY LINE
- — — — — EASEMENT LINE
- — — — — MONUMENT LINE
- ⊙ SEWER CLEANOUT
- ⊙ SEWER MANHOLE
- ✉ MAILBOX
- TELECOMMUNICATIONS PEDISTAL
- SEWER LINE
- COMMUNICATIONS LINE
- CATV, PHONE
- GAS LINE
- WATER LINE
- ELECTRIC LINE
- EXISTING CONTOUR
- EXIST. DRAINAGE FLOW
- EXIST. SPOT ELEVATION
- PALO VERDE
- EXISTING DISTURBED AREA
- PROPOSED DISTURBED AREA
- DRAINAGE FLOW ARROW
- PROPOSED SPOT ELEVATION
- PROPOSED CONTOUR
- TP: XX.XX
TW:XX.XX
TRW:XX.XX
FG:XX.XX
(BW:XX.XX)
TF:XX.XX
- STORM DRAIN PIPE
- RETAINING WALL/AGAINST BUILDING
- EXTENDED BUILDING STEM WALL

ABBREVIATIONS

- BSL BUILDING SETBACK LINE
- EG EXISTING GRADE
- EL, ELEV ELEVATION
- EP EDGE OF PAVEMENT
- ESMT EASEMENT
- EX, EXIST. EXISTING
- G GUTTER, GAS
- INV INVERT
- (M) MEASURED
- MCR MARICOPA COUNTY RECORDER
- MH MANHOLE
- P, PWT PAVEMENT
- PUE PUBLIC UTILITY EASEMENT
- (R), REC. RECORDED
- R RADIUS
- R/W RIGHT OF WAY
- TPV TANGENT, TELEPHONE
- T TOWN OF PARADISE VALLEY
- W WEST, WATERLINE
- WM WATER METER

DRAINAGE STATEMENT

1. ULTIMATE STORM OUTFALL IS LOCATED NEAR THE MIDDLE OF NORTHWESTERLY PROPERTY CURVE AT ELEVATION OF 1497.68.
2. PROPOSED DEVELOPMENT DOES NOT IMPACT DRAINAGE CONDITIONS OF ADJOINING LOTS.
3. EXISTING DRAINAGE PATTERNS ARE PRESERVED.
4. THE MINIMUM FINISH FLOOR ELEVATIONS SHOWN ARE SAFE FROM INUNDATION DURING A 100-YEAR PEAK RUN-OFF EVENT IF CONSTRUCTED PER THE APPROVED CIVIL PLANS.
5. PROPOSED STORM DRAIN SYSTEM SHALL BE INSPECTED AND CLEANED FROM DEBRIS AND SILT AFTER EVERY MAJOR STORM EVENT.
6. RIPRAP AND BOULDERS ARE SPECIFIED AT ALL POINTS OF DISCHARGE TO MITIGATE EROSION AND TO CONVERT CONCENTRATED FLOWS BACK TO SHEET FLOWS.
7. ON-SITE RETENTION IS PROPOSED FOR THE 100-YEAR STORM EVENT FOR PRE VS POST DEVELOPMENT CONDITIONS. THE RUNOFF GENERATED IS BY THE ROOF, HARDCAPE AND AUTO-COURT AREA.

PROJECT DESCRIPTION

NEW SINGLE FAMILY RESIDENCE, POOL, RETAINING WALLS AND NEW SITE IMPROVEMENTS WITH ON-SITE RETENTION.

DISTURBED AREA CALCULATIONS

AREA OF LOT:	57,377 S.F. (1.317 AC.)
TOTAL FLOOR AREA:	13,349 S.F.
FLOOR AREA RATIO:	23.27% < 25%
(TOTAL FLOOR AREA/AREA OF LOT)	
BUILDING PAD SLOPE:	26.53%
VERTICAL:	39'
HORIZONTAL:	147'
ALLOWABLE NET DISTURBED AREA:	6,748 S.F. (11.76%)
GROSS EXISTING DISTURBED AREA:	22,003 S.F.
GROSS PROPOSED DISTURBED AREA:	22,579 S.F.
LESS TEMPORARY AREAS OF DISTURBANCE	
TO BE RESTORED AND REVEGETATED:	2,468 S.F.
LESS 50% OF NEW DRIVEWAY:	0.5*1,183=592 S.F.
LESS BUILDING FOOTPRINT AREA:	6,936 S.F.
PROPOSED NET DISTURBED AREA:	12,583 S.F.
ALLOWED SLOPES STEEPER	
THAN NATURAL GRADE (5% MAX.):	2,869 S.F. (5%)
PROPOSED SLOPES STEEPER	
THAN NATURAL GRADE:	1,812 S.F. (3.2%)
VOLUME OF CUT:	3,555 C.Y.
VOLUME OF FILL:	50 C.Y.
TOTAL CUT & FILL:	3,605 C.Y.
HILLSIDE ASSURANCE =	35 TIMES THE GRADING PERMIT FEE. = \$121,345
GRADING PERMIT FEE:	\$3,467 (\$142 FIRST 100 CY / \$95 EA. ADDITIONAL 100 CY).
ALL QUANTITIES LISTED ON THESE PLANS ARE ESTIMATES ONLY. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF THE QUANTITIES AND BASE THEIR BIDS ON THEIR ESTIMATES.	

BENCHMARK

BRASS CAP FLUSH AT THE INTERSECTION OF 56TH STREET AND MCDONALD LANE HAVING AN ELEVATION OF 1417.53, TOWN OF PARADISE VALLEY (NAVD 88) DATUM, GDACS# 24544-1.

BASIS OF BEARINGS

THE FOUND NORTH LINE OF LOT 41, STONE CANYON, BOOK 62 OF MAPS, PAGE 41, THE BEARING OF WHICH IS S89°49'07"E, ASSUMED.

FLOOD INSURANCE RATE MAP (FIRM) DATA

COMMUNITY #	PANEL #	SUFFIX	BASE FLOOD ELEVATION
040049	1765 OF 4425	L	
MAP #	PANEL DATE	FIRM INDEX DATE	ZONE
04013C	10/16/2013	11/04/2015	X*

*AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

AS-BUILT CERTIFICATION

I HEREBY CERTIFY THAT THE "RECORD DRAWING" MEASUREMENTS AS SHOWN HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

REGISTERED ENGINEER/ LAND SURVEYOR DATE

REGISTRATION NUMBER

GEOTECHNICAL ENGINEER

VANN ENGINEERING, INC
9013 N 24TH AVE., SUITE 7
PHOENIX, AZ 85021
P: 302-943-6997

EARTHWORK QUANTITIES

CUT: 3,522 C.Y.
POUT FROM PIPES: 33 C.Y.
FILL: 50 C.Y.
NET CUT: 3,505 C.Y.

ALL QUANTITIES LISTED ON THESE PLANS ARE ESTIMATES ONLY. NO SHRINK OR SWELL IS ASSUMED. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF THE QUANTITIES AND BASE THEIR BIDS ON THEIR ESTIMATES.

LEGAL DESCRIPTION

LOT 41, STONE CANYON, A SUBDIVISION RECORDED IN BOOK 62 OF MAPS, PAGE 41, RECORDS OF MARICOPA COUNTY, ARIZONA.

GRADING SPECIFICATIONS

1. EXCAVATION AND GRADING OF THIS SITE IS CLASSIFIED AS "ENGINEERED GRADING" PER 2018 I.B.C. AND WILL BE PERFORMED ACCORDINGLY.
2. THE CONTRACTOR WILL RETAIN A SOILS ENGINEER DURING CONSTRUCTION TO INSPECT PROGRESS OF CONSTRUCTION, CONCERNING PREPARATION OF GROUND TO RECEIVE FILLS, TESTING AND REQUIRED COMPACTION STABILITY OF ALL FINISH SLOPES INCLUDING CUT SLOPES.
3. COMPACTION SHALL COMPLY WITH M.A.G. SECTION 601 AND PROVISIONS AS SET FORTH IN THE SOILS REPORT.
4. BEARING MATERIALS FOR FILL UNDER RESIDENCE PAD IF NATIVE MATERIAL IS USED. LARGE ROCK FRAGMENTS MUST BE REMOVED THAT ARE IN EXCESS OF SIX INCHES. REMAINING MATERIAL MUST BE SMALLER PARTICLES OF SAND AND ROCK THAT CAN BE COMPACTED INTO A DENSE CONDITION.
- MAXIMUM PARTICLE SIZE 6 INCHES
- PERCENT PASSING NO. 4 SIEVE 35% TO 70%
- PERCENT PASSING NO. 200 SIEVE 25% MAX.
- PLASTICITY INDEX 10% MAX.
5. CUT-SLOPES: MAXIMUM ROCK CUT SLOPE TO BE 1.0 FEET HORIZONTAL TO 3.0 FEET VERTICAL PER GEOTECHNICAL STUDY.
6. FILL SLOPES: MAXIMUM FILL SLOPE TO BE 2.0 FEET HORIZONTAL TO 1.0 FEET VERTICAL.
7. COMPACTION FILL MATERIAL MUST BE PLACED ON LEVELED BENCHES CUT INTO UNDISTURBED EXISTING HILLSIDE. PLACE FILL IN HORIZONTAL LIFTS OF THICKNESS COMPATIBLE WITH THE COMPACTION EQUIPMENT USED. COMPACT TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM A.S.T.M. DENSITY AT THE OPTIMUM MOISTURE CONTENT OF ± TWO PERCENT. THIS PERTAINS TO ALL ENGINEERED STRUCTURAL FILL SUPPORTING STRUCTURES AND INCLUDING FILL UNDER ANY OF THE RETAINING WALLS. COMPACTION TEST RESULTS SHALL BE SUBMITTED TO THE SOILS ENGINEER AND TOWN OF PARADISE VALLEY BUILDING AND SAFETY DEPARTMENT.
8. ANY RETAINING WALLS ADJACENT TO THE PROPERTY LINES WILL BE UNDER THE SCOPE OF SPECIAL INSPECTION BY THE SOILS ENGINEER. THE DEVELOPER SHALL NOTIFY THE ADJOINING PROPERTY OWNERS IN WRITING, TEN DAYS PRIOR TO START OF CONSTRUCTION ON THESE WALLS PER SECTION 2903-B OF IBC. THE DEVELOPER WILL HAVE TO PROVIDE MEANS OF PROTECTION OF ADJACENT PROPERTY WHILE THIS WORK IS UNDER CONSTRUCTION.
9. ALL EXPOSED CUT AND FILL SHALL BE TREATED WITH AN APPROVED AGING AGENT TO MINIMIZE TO VISUAL CONTINUITY.

TOWN OF PARADISE VALLEY HILLSIDE NOTES

- A. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL ALL HILLSIDE STIPULATIONS AND ALL TOWN CODE REQUIREMENTS ARE COMPLIED INCLUDING, BUT NOT LIMITED TO LANDSCAPING, GROUND RESTORATION, FIRE FLOW, FIRE SAFETY, AND ALL ONSITE AND OFFSITE IMPROVEMENTS.
- B. ALL OUTDOOR LIGHTING SHALL BE IN CONFORMANCE WITH ARTICLE XXII OF THE TOWN ZONING ORDINANCE.
- C. ALL EXCESS FILL MATERIAL SHALL BE REMOVED FROM THE SITE WITH NO NEW SPILL SLOPES.
- D. THE USE OF HYDROLOGIC RAM HAMMERS, OR OTHER HEAVY EQUIPMENT USED TO CUT THROUGH ROCK, INCLUDING MACHINERY WITH AUDIBLE BACK UP WARNING DEVICES SHALL BE LIMITED TO USE BETWEEN THE HOURS OF 7:00AM OR SUNRISE, WHICHEVER IS LATER, AND 6:00PM OR SUNSET, WHICHEVER IS EARLIER, MONDAY THROUGH FRIDAY, WITH LIMITED WORK ON SATURDAY AND NO WORK ON SUNDAY OR LEGAL HOLIDAYS. RAM HAMMERS AND OTHER HEAVY EQUIPMENT CANNOT BE USED ON SATURDAYS WITHOUT A WAIVER FROM THE TOWN MANAGER.
- E. CONSTRUCTION STAKING AND/OR FENCING SHALL BE PLACES AROUND THE CONSTRUCTION SITE SO AS TO PROTECT THE UNDISTURBED NATURAL AREA.
- F. ALL RETAINING WALLS SHALL NOT EXTEND MORE THAN 6 INCHES ABOVE THE MATERIAL THEY RETAIN (WITH EXCEPTION OF DRIVEWAY RETAINING WALLS IN ACCORDANCE WITH 2207.VI.6).

FINISH FLOOR CERTIFICATION

I HEREBY CERTIFY THAT THE FINISHED FLOOR ELEVATION OF THE PROPOSED NEW OFFICE SHOWN ON THE PLAN OF 1513.00 IS MINIMUM OF 12" ABOVE THE 100-YEAR STORM ELEVATION OF 1512.00 ACCORDING TO THE TOWN OF PARADISE VALLEY CODE OF ORDINANCE.

Nick Padanar

REGISTERED CIVIL ENGINEER

08/21/20

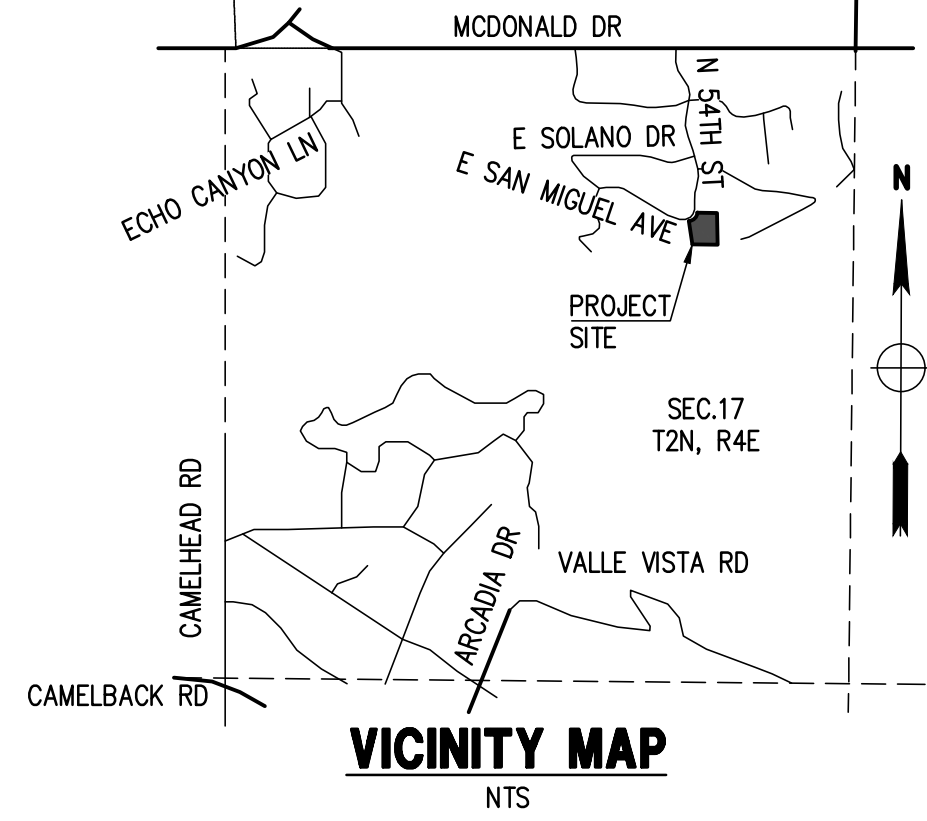
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APPROVAL

THIS SET OF PLANS HAS BEEN REVIEWED FOR COMPLIANCE WITH TOWN OF PARADISE VALLEY REQUIREMENTS PRIOR TO ISSUANCE OF PERMIT. THE TOWN NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. THIS COMPLIANCE APPROVAL SHALL NOT PREVENT THE TOWN ENGINEER FROM REQUIRING CORRECTIONS OF ERRORS OR OMISSIONS IN THE PLANS TO BE FOUND IN VIOLATION OF LAWS OR ORDINANCES.

TOWN ENGINEER
TOWN OF PARADISE VALLEY

DATE



OWNER

JRM 5405 LLC
P.O. BOX 26566
SCOTTSDALE, AZ 85252

SITE DATA

APN: 172-47-041
ADDRESS: 5405 E SAN MIGUEL AVE., PARADISE VALLEY, AZ 85253
R-43
ZONING: LOT AREA: 57,377 S.F. (1.317 AC.)
QS #: 20-40
TOTAL AREA UNDER ROOF: 13,349 S.F.
FLOOR AREA RATIO: 23.27% < 25%

ARCHITECT

AJ DESIGN STUDIO
P.O. BOX 80311
PHOENIX, AZ 85060
P: 480-990-0303
F: 602-954-6328

CIVIL ENGINEER

LAND DEVELOPMENT GROUP
8808 N CENTRAL AVE, SUITE 288
PHOENIX, AZ 85020
P: 602-889-1984
CONTACT: NICK PRODANOV, PE

DATE: 08/21/20
JOB: 2004080
VERSION: 2.3
PLOT DATE: 08/21/20

SCALE: N.T.S.
DESIGNED BY: NP
DRAWN BY: ZA
CHECKED BY: JJ

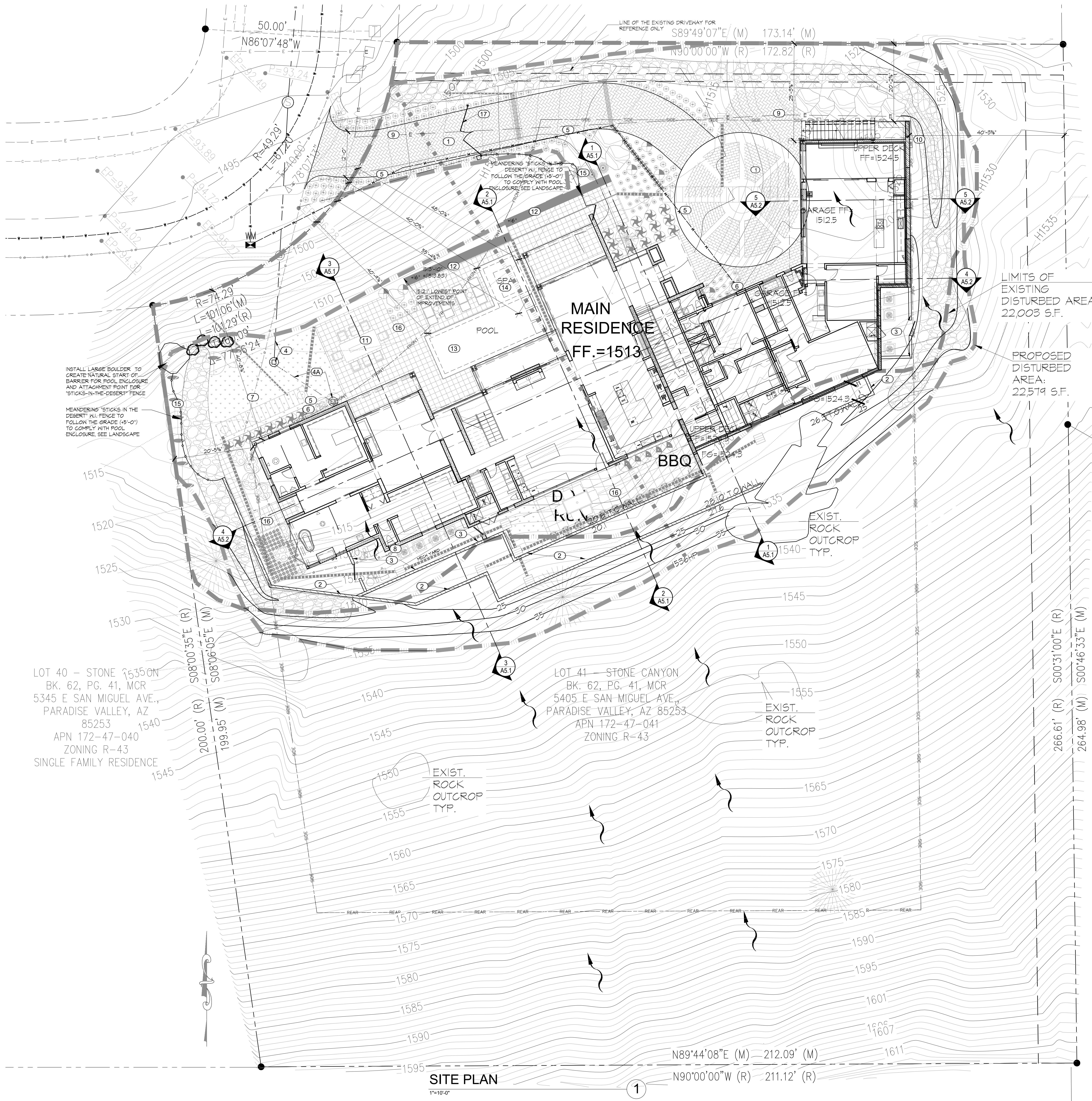
REVISIONS:

PRELIMINARY
GRADING & DRAINAGE PLAN
COVER SHEET

MCDADE RESIDENCE
LOT 41 - STONE CANTON
5405 E SAN MIGUEL AVE.,
PARADISE VALLEY, AZ 85253

P 602 889 1984 | F 602 445 9482
8808





PROJECT DATA

TAX ASSESSOR'S NUMBER 172-47-041
LEGAL DESCRIPTION STONE CANYON, LOT 41
MCR 62-41
ZONING R-43
OWNER JRM 5405 LLC
POBOX 2656
SCOTTSDALE, AZ 85252
SITE ADDRESS 5405 E SAN MIGUEL AVE
PARADISE VALLEY, AZ 85252
LOT AREA 56586 SQ FT

LIVABLE/AIR CONDITIONED AREAS:

1ST FLOOR 5,094 SQ FT
2ND FLOOR 5,136 SQ FT
GUEST HOUSE 1,175 SQ FT
TOTAL 11,405 SQ FT

NON-LIVABLE AREAS:

4 CAR GARAGES 1,591 SQ FT
MECHANICAL AND STORAGE ROOMS 594 SQ FT
GARAGES & MECH ROOMS total 2,185 SQ FT

COVD. PATIOS AND PORCHES

1ST FLOOR 426 SQ FT
2ND FLOOR 658 SQ FT
ROOF OVERHANGS 341 SQ FT
TOTAL 1,425 SQ FT

TOTAL AREA UNDER ROOF 13,549 SQ FT

FOOTPRINT FOR DISTURBED AREA CALCS 6,956 SQ FT

LOT COVERAGE 13,349 SQ FT / 51,311 SQ FT=26.21%

BUILDING HEIGHT @ HIGHEST PT. - 24'-0" ABOVE ADJ. GRADE

DISTURBED AREA CALCULATIONS

VERTICAL 3/4" / HORIZONTAL 1/4" BUILDING PAD SLOPE 26.55%

ALLOWABLE NET DISTURBED 11.76% = 6,148 SQ FT
GROSS EXISTING DISTURBED AREA 22,003 SQ FT
GROSS PROPOSED DISTURBED AREA 22,579 SQ FT
LESS CREDITS FOR:
TO BE RESTORED & REVEGETATED 2,468 SQ FT
50% OF NEW DRIVEWAY 1,183 / 2 = 592 SQ FT
BUILDING FOOTPRINT 6,956 SQ FT
PROPOSED NET DISTURBED AREA 12,588 SQ FT

SITE PLAN KEY NOTES

1. NEW DRIVEWAY AT EXISTING LOCATION
2. RETAINING WALL, SLOTTED TO MATCH THE HOUSE. SEE G4D FOR TOP OF WALL INFO.
3. MECHANICAL AND POOL EQUIPMENT YARDS SITE WALLS - ACQUITA-WALL - SOUND WAVE ABSORPTION MASONRY 1'-0" ABOVE HIGHEST POINT OF EQUIPMENT
4. EXISTING ON SITE SEWER TAP AND EXISTING SEWER LINE.
- 4A. NEW SEWER LINE TO HOUSE.
5. WATER LINE
6. WATER SHUT OFF VALVE, WATER PRESSURE TO MEET FIRE SAFETY STANDARDS
7. GAS LINE
8. GAS METER
9. ELECTRICAL LINE
10. SEE
11. FIRE PIT - SEE LANDSCAPE DRAWINGS
12. SEAT BENCH 16" ABOVE ADJ. FG - SEE LANDSCAPE FOR DETAILS
13. POOL
14. SPA
15. POOL ENCLOSURE FENCE, SEE DETAIL 2
16. SEE LANDSCAPE FOR FINISHES
17. NEW AUTOMATED GATE (12) 6'-0"x5'-0" AT EXISTING GATE LOCATION, DESIGN TBD



P.O.Box 80311
Phoenix, AZ 85060

ph: 602 881 2508
fax: 602 954 6328
www.ai设计studio.com

THE NEW RESIDENCE ON
East San Miguel Avenue

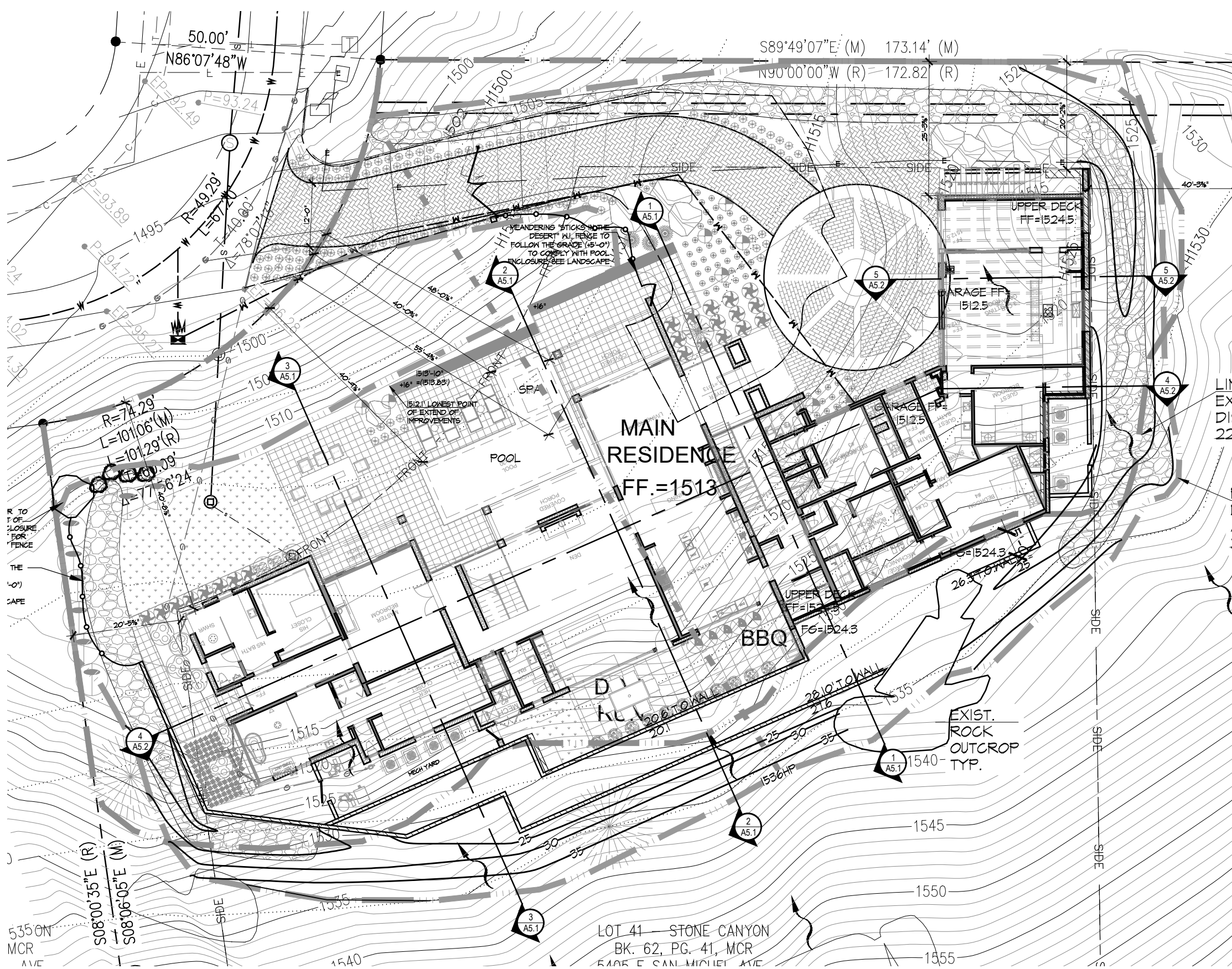
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07.24.2020

SITE PLAN

Scale: 1"=10'-0"
Drawn by: AJ
Checked by: AJ
Sheet No:

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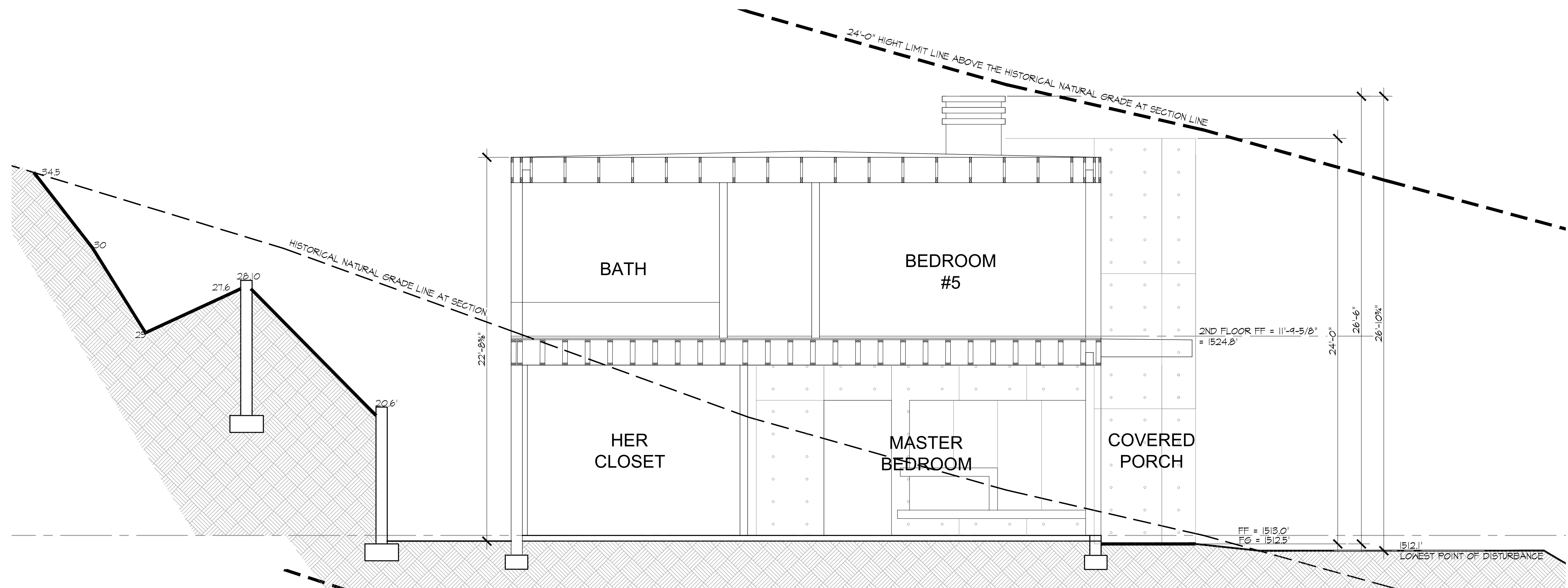
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SECTION CUTS KEY

1"=20'-0"

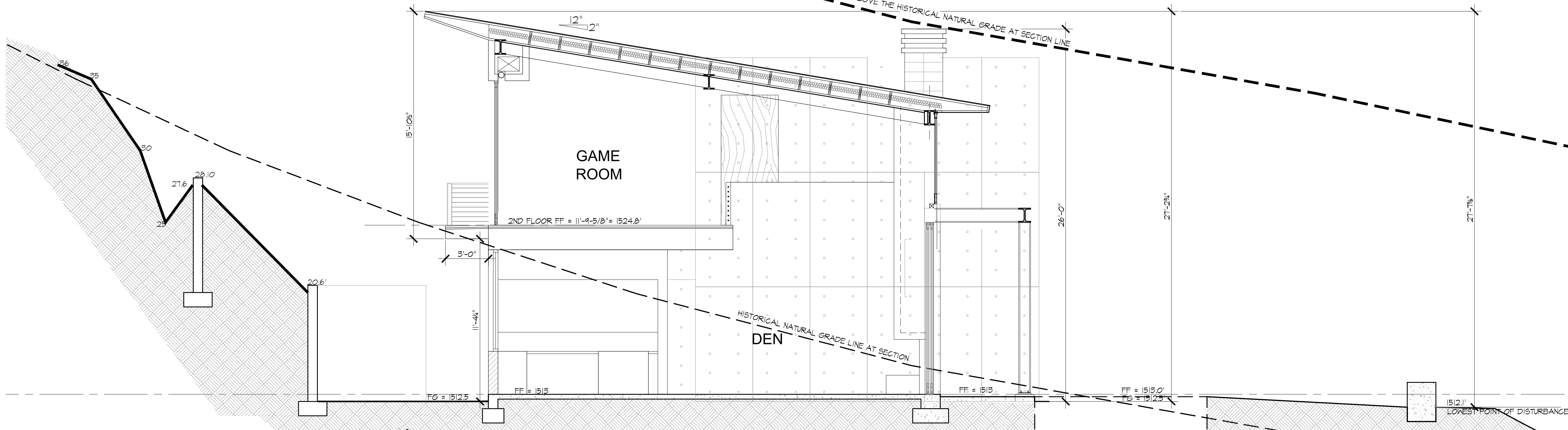
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BUILDING SECTION

1/4"=1'-0"

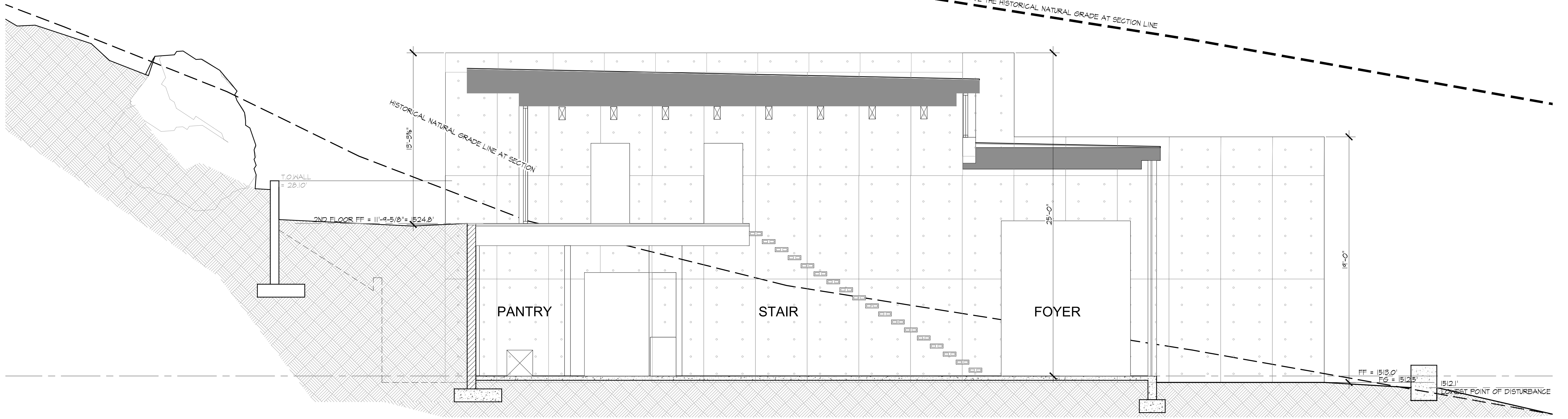
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BUILDING SECTION

1/4"=1'-0"

2



BUILDING SECTION

1/4"=1'-0"

1



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THE NEW RESIDENCE ON
East San Miguel Avenue

5405 E San Miguel Ave.
Paradise Valley, AZ 85253

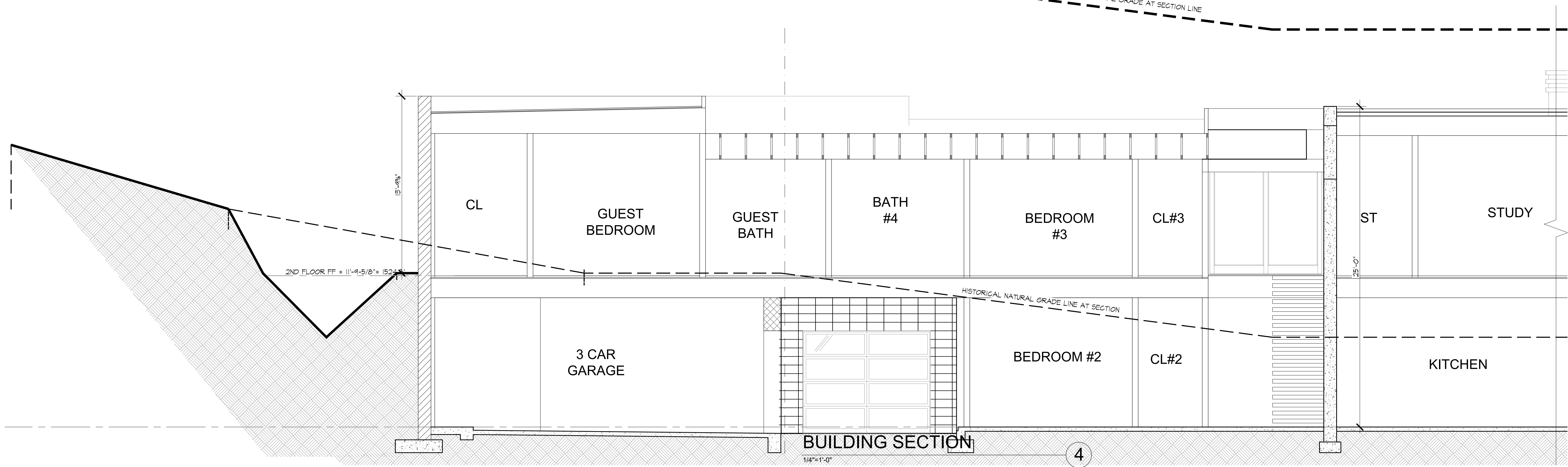
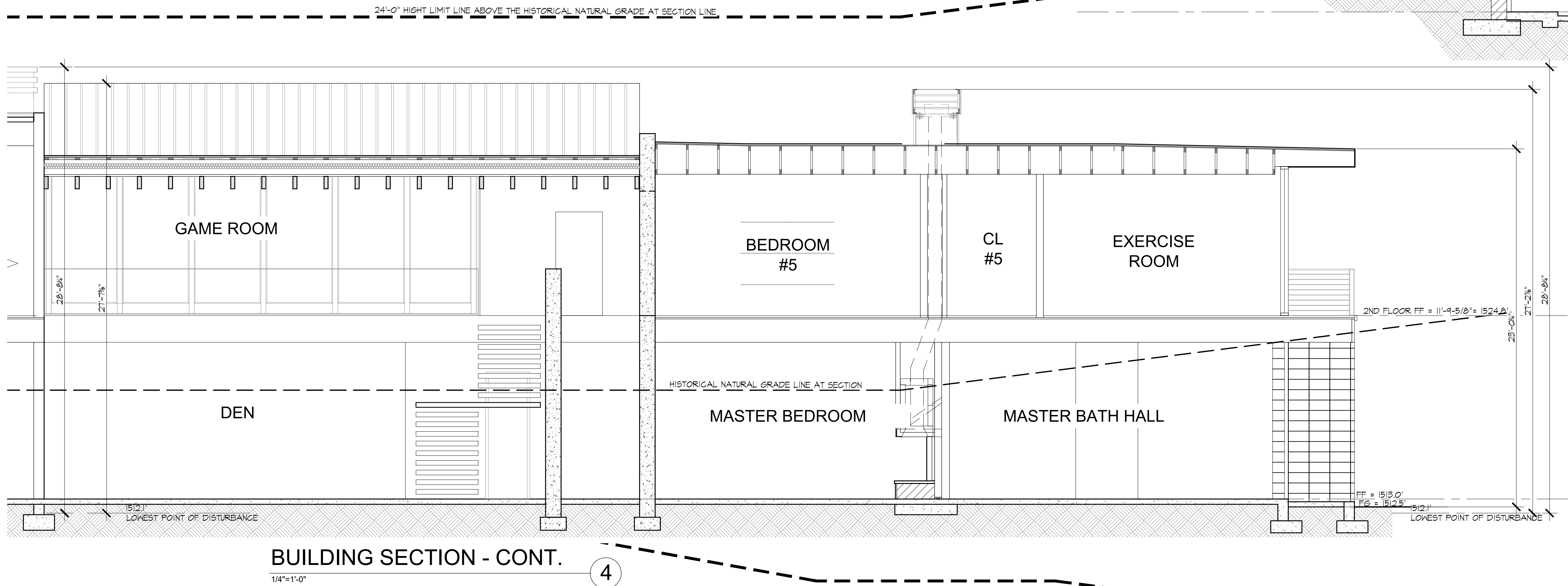
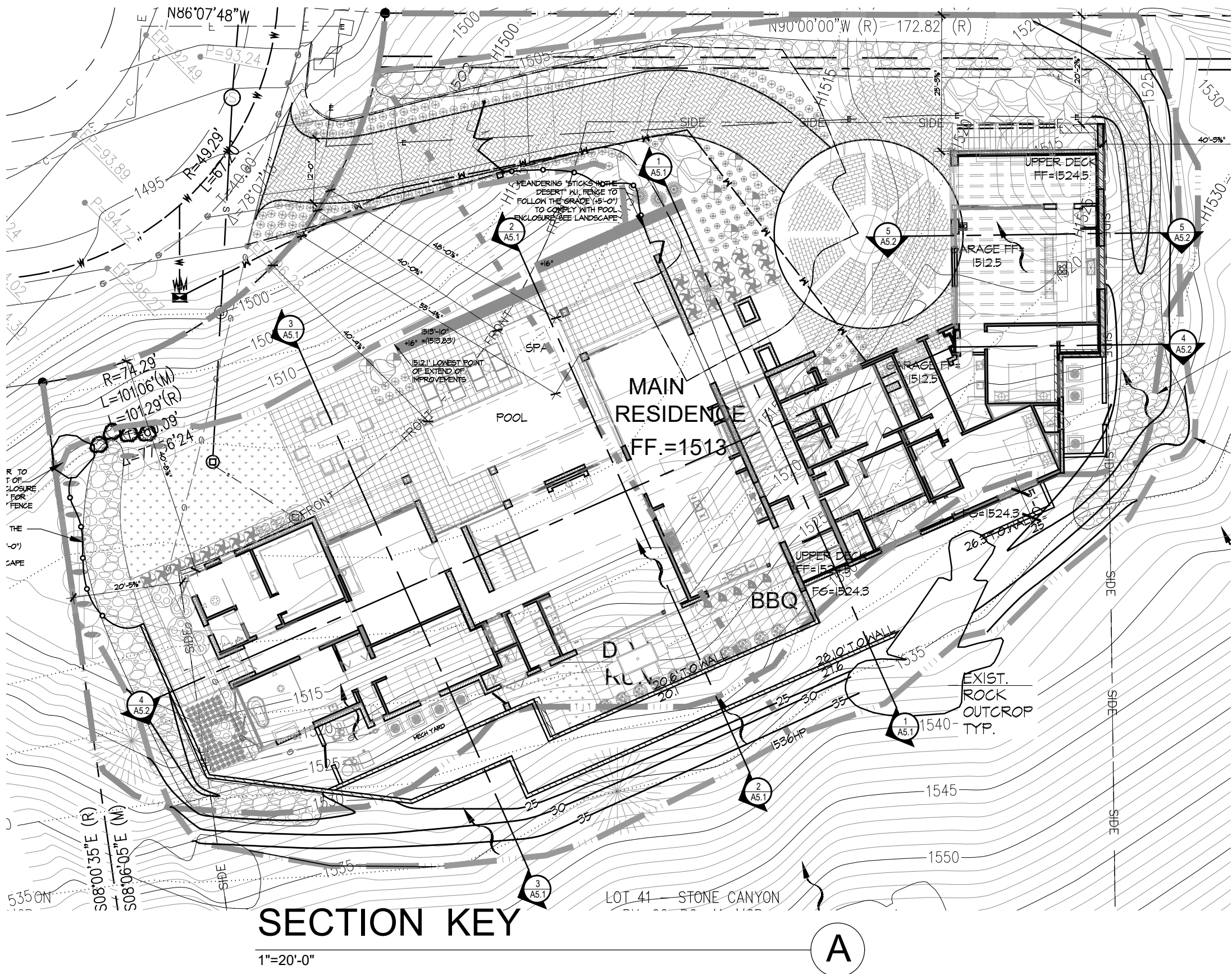
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07.24.2020

BUILDING SECTIONS

Scale: 1/4"=1'-0"
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Checked by: AJ
Sheet No:

A5.1

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Phoenix, AZ 85060
ph: 602 881 2508
fax: 602 954 6328
www.ajdesignstudio.com

THE NEW RESIDENCE ON
East San Miguel Avenue
5405 E San Miguel Ave.
Paradise Valley, AZ 85253

SET ISSUED:
07.24.2020

BUILDING
SECTIONS

Scale: 1/4"=1'-0"
Drawn by: AJ
Checked by: AJ
Sheet No:

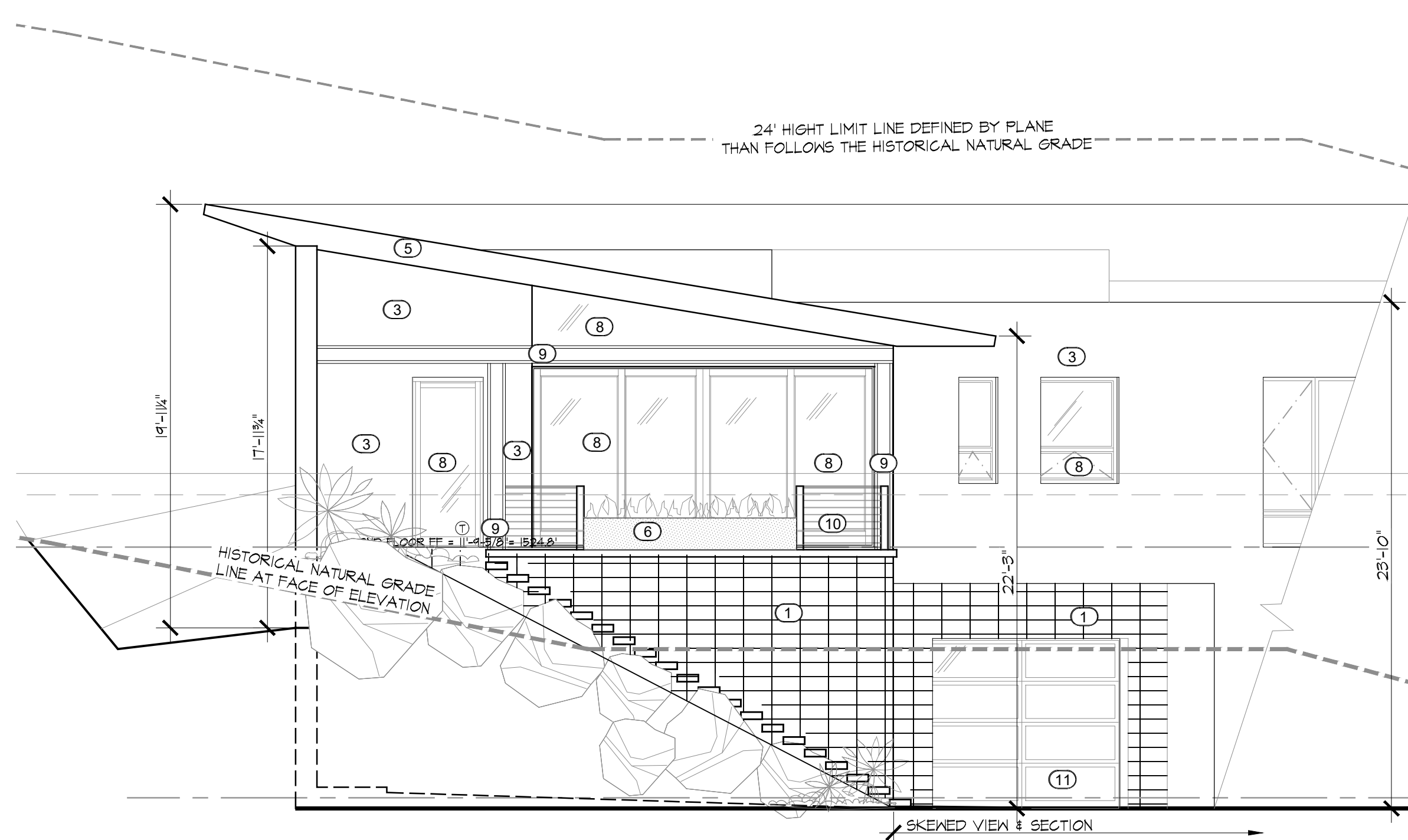
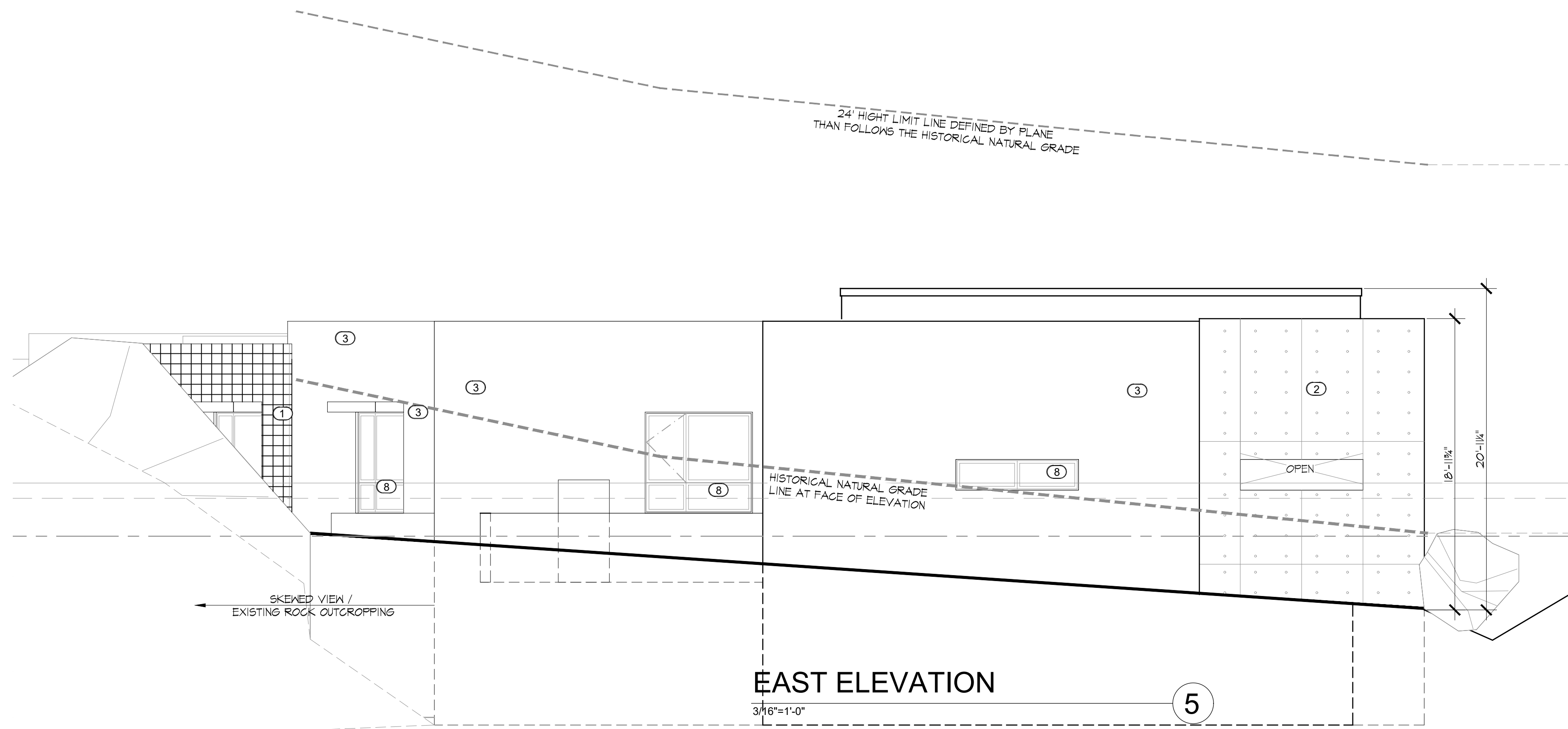


P.O.Box 80311
Phoenix, AZ 85060

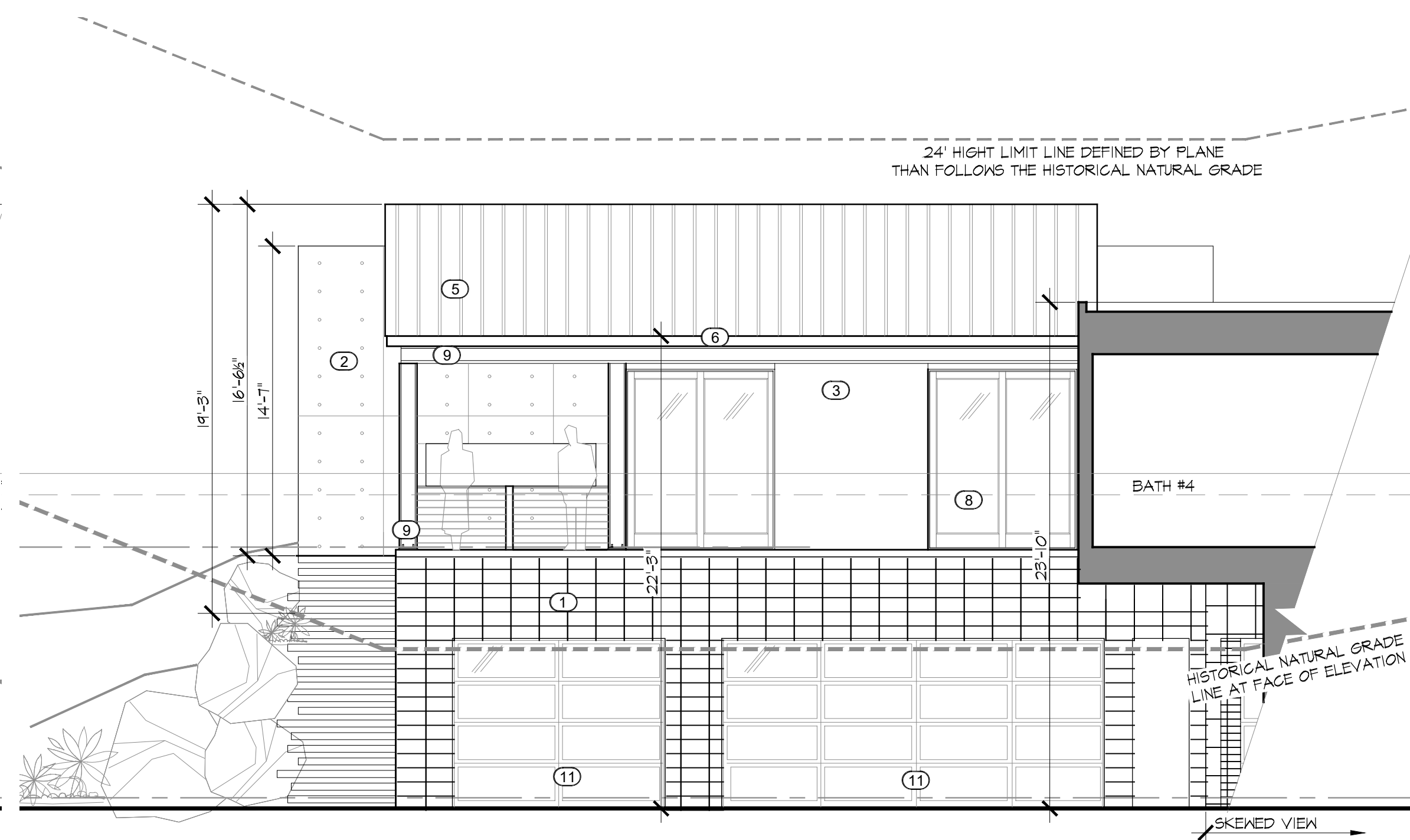
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EXTERIOR FINISHES LEGEND	
EXPOSED CMU: (1)	TRENDSTONE GROUND FACE MASONRY UNITS, COLOR OPAL BY OLDCASTLE SUPERLIGHT - ECHELON - TRENNYTH, STACK BOND, LRV/38
CAST IN PLACE CONCRETE: (2)	4X8 FORM WORK PANELS WITH SNAP OFF TIES COLOR: GREY LRV/38
STUCCO: (3)	DUNN EDWARDS DEC751 ASH GREY 150% DARKER, SAND TEXTURE, LRV 38
FOAM ROOF: (4)	FOAM ROOFING WITH BLENDED GRANULES: R675 ESTATE GREY GRANULES BY LUCAS ROOFING LRV/38
METAL ROOF: (5)	STANDING SEAM ROOFING, SITE PULLED SHEET METAL COIL BY OCM (OLD COUNTRY MILLWORK INC) MIDNIGHT COAL, LRV/38
METAL FACIA: (6)	SHEET METAL WITH PVDF FINISH BY OCM, COLOR: MIDNIGHT COAL, LRV/38
SOFFITS & OVERHANGS: (7)	SAME SHEET METAL AS FACIA SEE ABOVE
DOOR / WINDOW COLOR: (8)	FLEETWOOD 3070 SERIES DOOR AND WINDOW, SLIM LINE ANODIZED FINISH, BLACK ANODIZED, LRV/38
EXPOSED K-SHAPED BEAMS AND COLUMNS: (9)	CLEAR COATED RAK STEEL, LRV/38
EXTERIOR GUARDRAIL: (10)	4"x36" BEND STEEL PLATE POSTS W/STEEL CABLES, PAINTED DE6310 CHARCOAL SMUDGE, LRV II 80% CLR. OPEN MIN.
GARAGE DOORS: (11)	AVANTE COLLECTION BY CLOPAY OVERHEAD DOOR, ALUMINUM FRAME, BLACK ANODIZED LRV.38, GLASS: GRAY TINTED FINISH, INSULATED TEMPERED GLASS.
CUSTOM METAL CHIMNEY CAP: (12)	CUSTOM METAL PAINTED DE6310 CHARCOAL SMUDGE, LRV II
AUTOCOURT & DRIVEWAY: (13)	BELGARD PAVER "GRAPHITE BLEND" LRV/38
PATIOES & WALKWAYS: (14)	ARTISTIC PAVER "SILVER SAND" LRV < 38
ACQUASTA-WALL - SYSTEM - ALL MECHANICAL YARDS WALL: (15)	SOUND WAVE ABSORPTION MASONRY UNIT BY OLD CASTLE ARCHITECTURAL / SUPERLITE BLOCK, STACK BOND, IN TRENDSTONE FINISH, COLOR OPAL
STICKS-IN-DESERT FENCING: (16)	PAINTED DE6310 CHARCOAL SMUDGE, LRV II

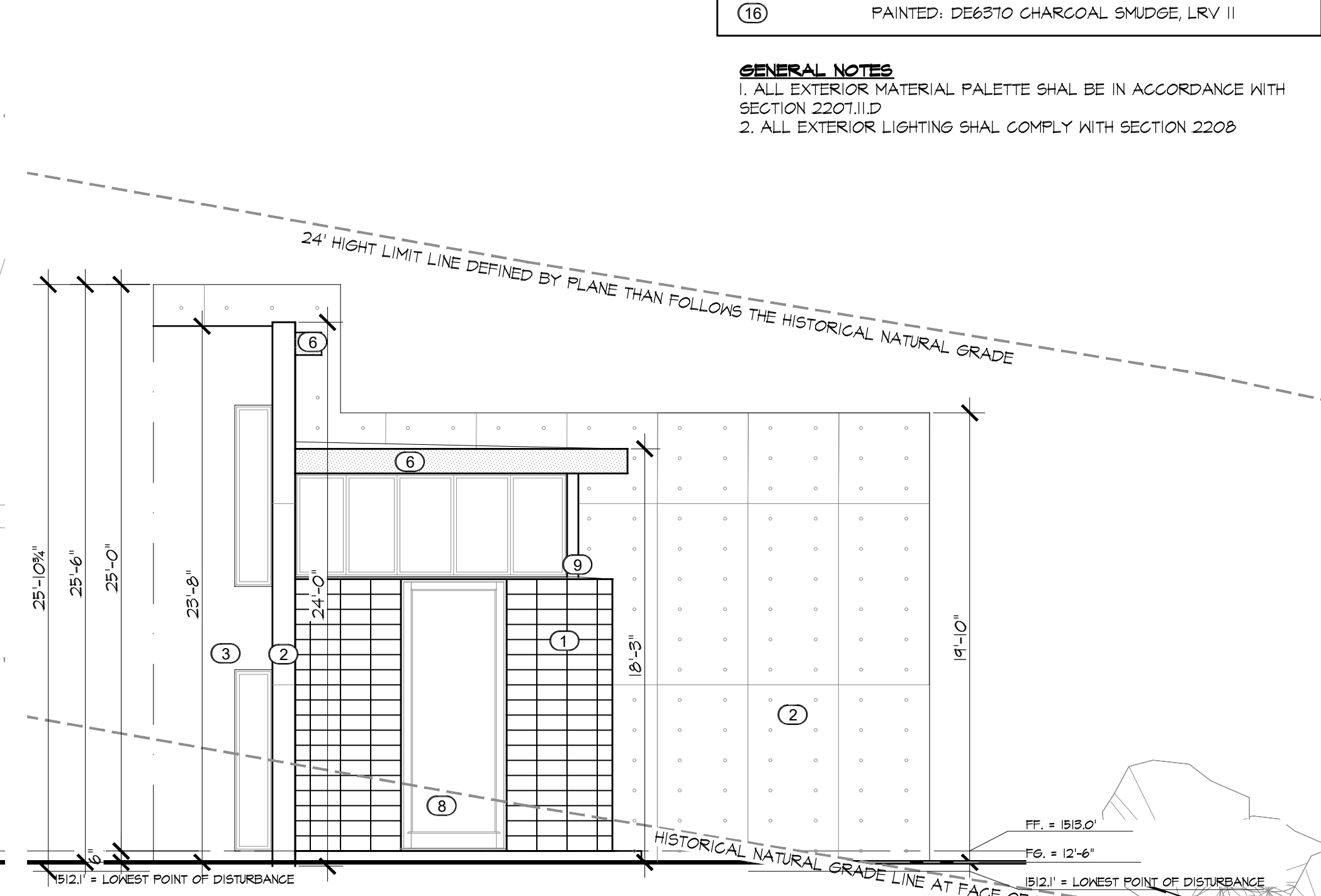
GENERAL NOTES
1. ALL EXTERIOR MATERIAL PALETTE SHALL BE IN ACCORDANCE WITH SECTION 220711.D
2. ALL EXTERIOR LIGHTING SHALL COMPLY WITH SECTION 2208



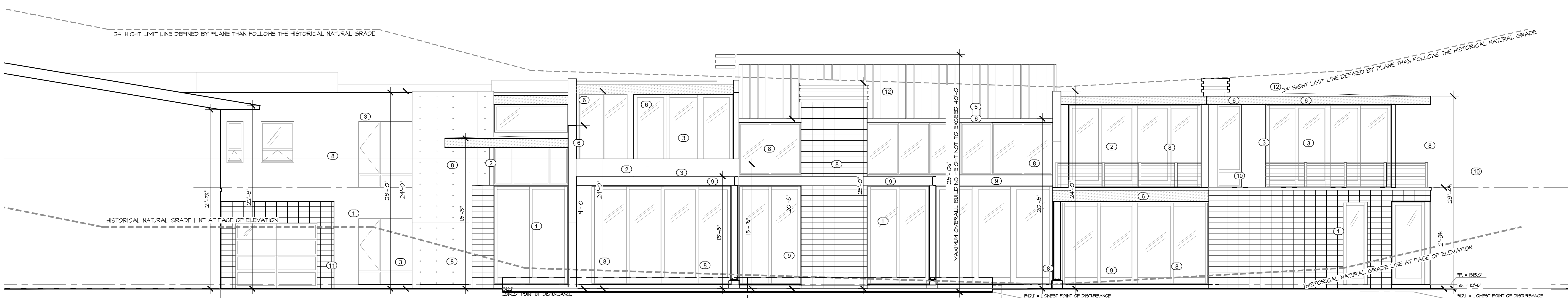
AUTOCOURT - NORTH ELEVATION



AUTOCOURT - WEST ELEVATION



FRONT ENTRY - EAST ELEVATION



FRONT VIEW - NORTH ELEVATION

THE NEW RESIDENCE ON
East San Miguel Avenue

SET ISSUED:
07.24.2020

EXTERIOR ELEVATIONS

Scale: 1/4"=1'-0"
Drawn by: AJ
Checked by: AJ
Sheet No:

A6.1

Sheet of

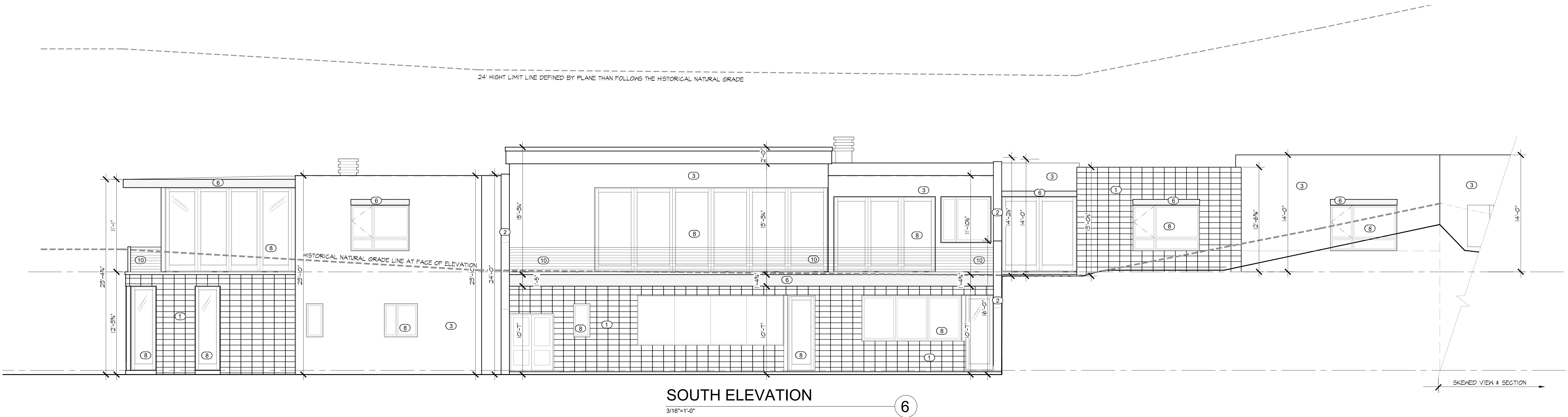
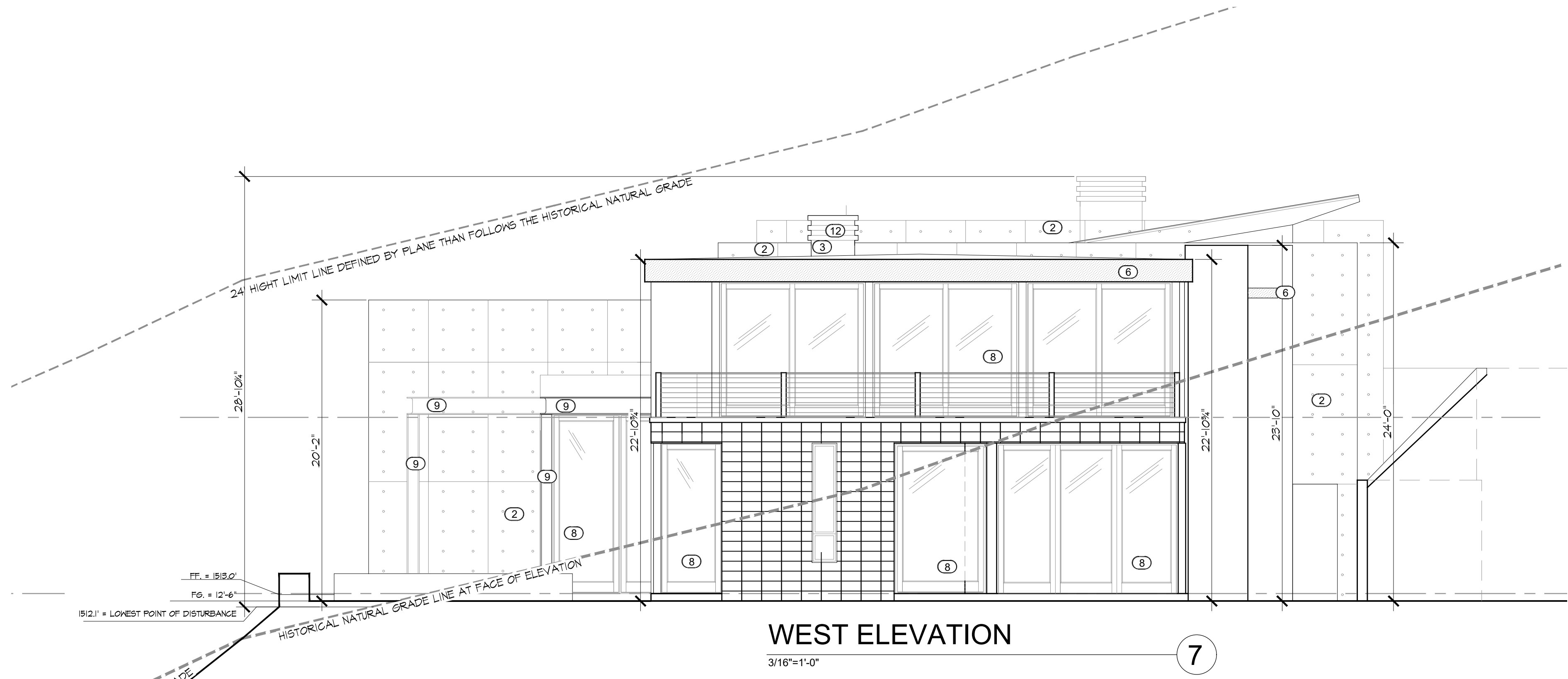


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fax: 602 954 6328
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EXTERIOR FINISHES LEGEND	
EXPOSED CMU: (1)	TRENDSTONE GROUND FACE MASONRY UNITS, COLOR OPAL, BY OLDCASTLE SUPERLIGHT - ECHELON - TRENYTH, STACK BOND, LRV/38
CAST IN PLACE CONCRETE: (2)	4X8 FORM WORK PANELS WITH SNAP OFF TIES, COLOR: GREY LRV/38
STUCCO: (3)	DUNN EDWARDS DEC751 ASH GREY 150% DARKER, SAND TEXTURE, LRV 38
FOAM ROOF: (4)	FOAM ROOFING WITH BLENDED GRANULES, R675 ESTATE GREY GRANULES BY LUCAS ROOFING LRV/38
METAL ROOF: (5)	STANDING SEAM ROOFING, SITE PULLED SHEET METAL COIL BY OCM (OLD COUNTRY MILLWORK INC) MIDNIGHT COAL, LRV/38
METAL FACIA: (6)	SHEET METAL WITH PVDF FINISH BY OCM, COLOR: MIDNIGHT COAL, LRV/38
SCOFFITS & OVERHANGS: (7)	SAME SHEET METAL AS FACIA SEE ABOVE
DOOR / WINDOW COLOR: (8)	FLEETWOOD 3070 SERIES DOOR AND WINDOW, SLIM LINE ANODIZED FINISH, BLACK ANODIZED, LRV/38
EXPOSED W-SHAPE I BEAMS AND COLUMNS: (9)	CLEAR COATED RAW STEEL, LRV/38
EXTERIOR GUARDRAIL: (10)	4"x36" BEND STEEL PLATE POSTS W/STEEL CABLES, PAINTED DE6870 CHARCOAL SMUDGE, LRV II 80% GLR, OPEN MIN.
GARAGE DOORS: (11)	AVANTE COLLECTION BY CLOPAY OVERHEAD DOOR, ALUMINUM FRAME, BLACK ANODIZED LRV 38, GLASS: GRAY TINTED FINISH, INSULATED TEMPERED GLASS,
CUSTOM METAL CHIMNEY CAP: (12)	CUSTOM METAL, PAINTED DE6870 CHARCOAL SMUDGE, LRV II
AUTOCOURT & DRIVEWAY: (13)	BELGARD PAVER 'GRAPHITE BLEND' LRV/38
PATIOS & WALKWAYS: (14)	ARTISTIC PAVER 'SILVER SAM' LRV 38
ACQUA-MAL - SYSTEM - ALL MECHANICAL YARDS WALL: (15)	SOUND WAVE ABSORPTION MASONRY UNIT BY OLD CASTLE ARCHITECTURAL / SUPERLITE BLOCK, STACK BOND, IN TRENDSTONE FINISH, COLOR OPAL
STICKS-IN-DESERT FENCING: (16)	PAINTED: DE6870 CHARCOAL SMUDGE, LRV II

GENERAL NOTES:
1. ALL EXTERIOR MATERIAL PALETTE SHALL BE IN ACCORDANCE WITH SECTION 2207.II.D
2. ALL EXTERIOR LIGHTING SHALL COMPLY WITH SECTION 2208



THE NEW RESIDENCE ON
East San Miguel Avenue

5405 E San Miguel Ave.
Paradise Valley, AZ 85253

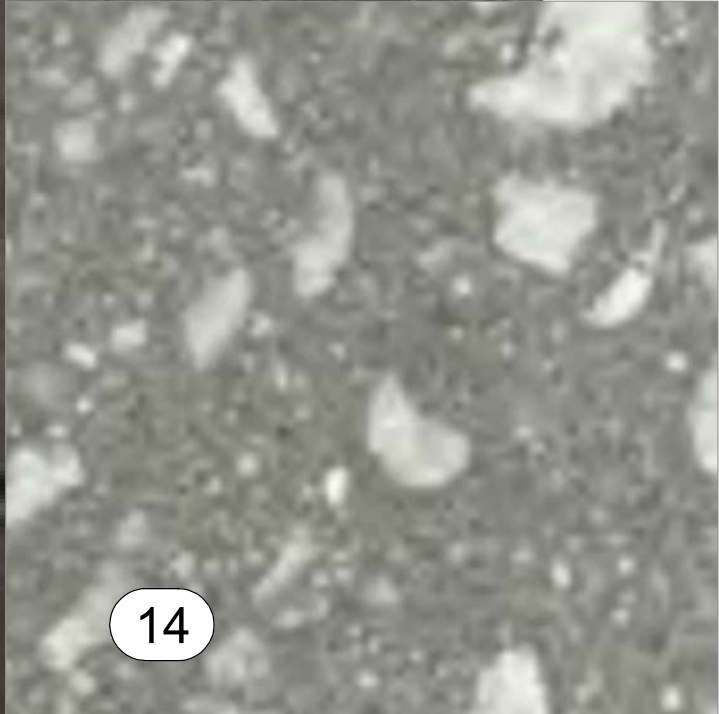
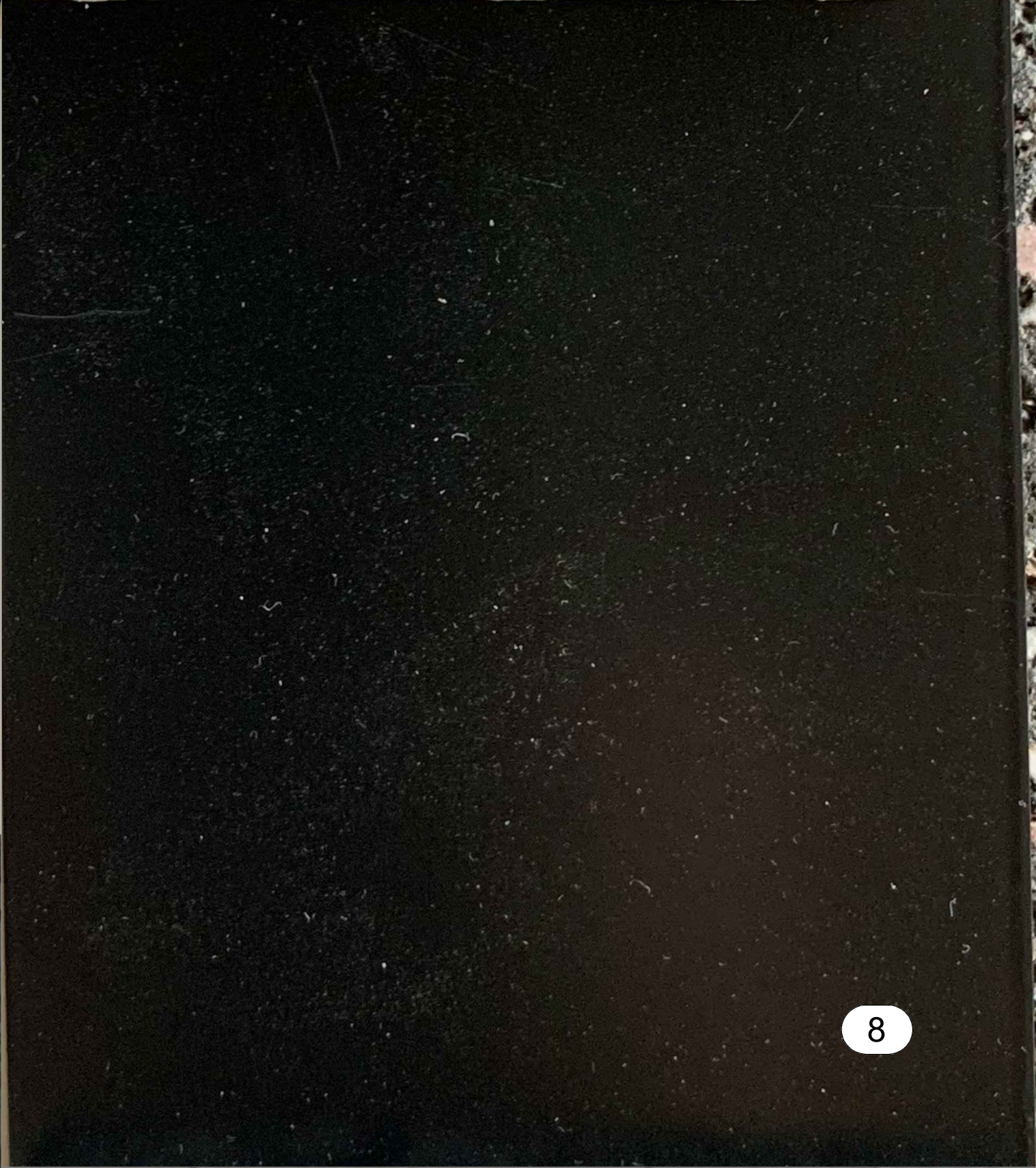
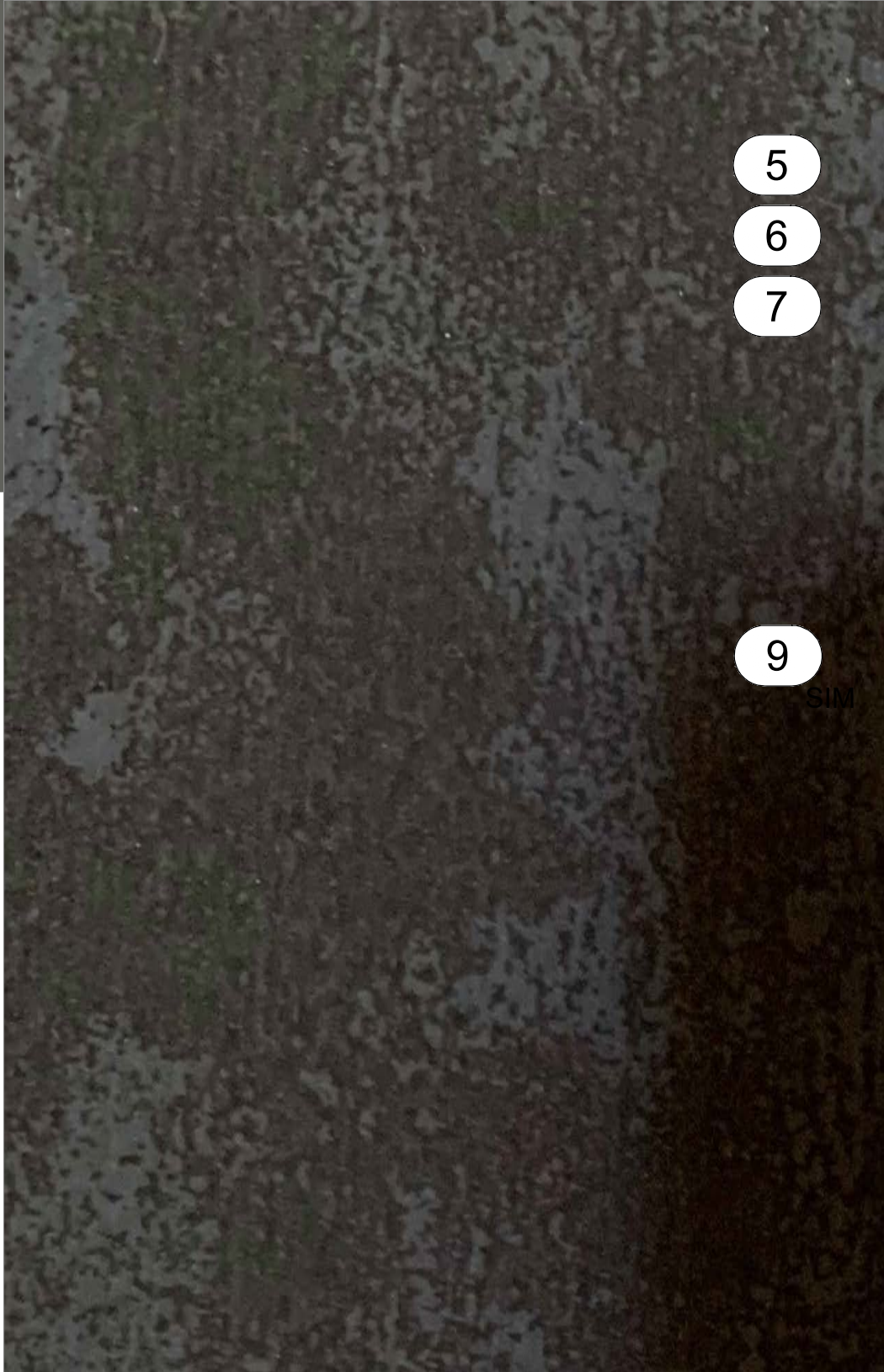
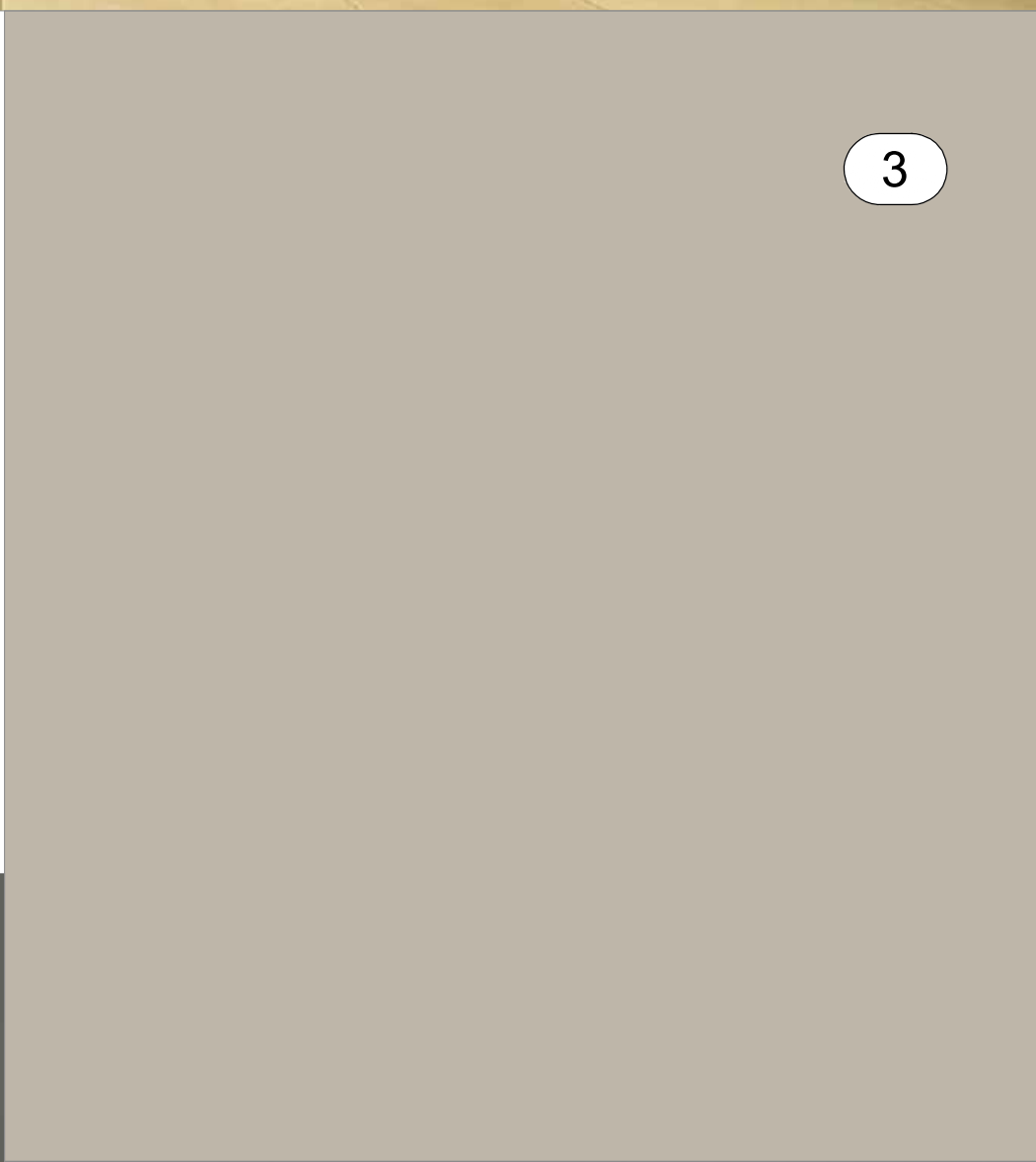
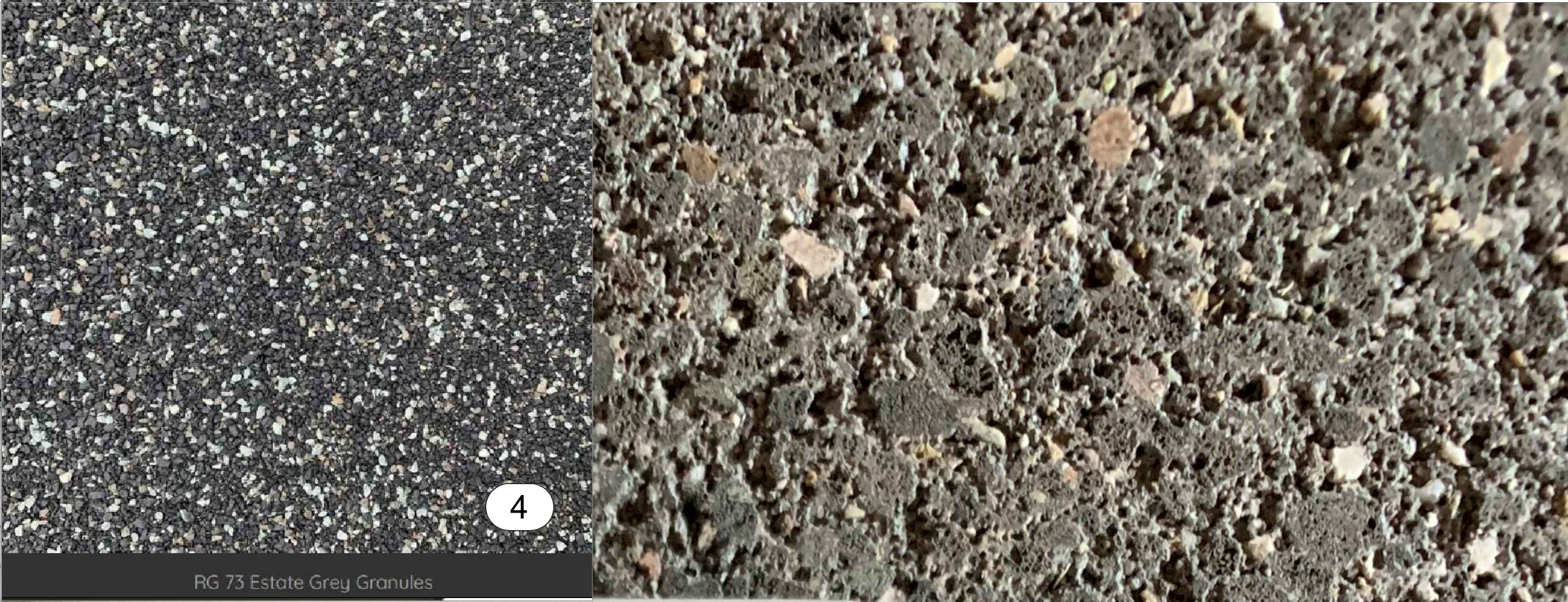
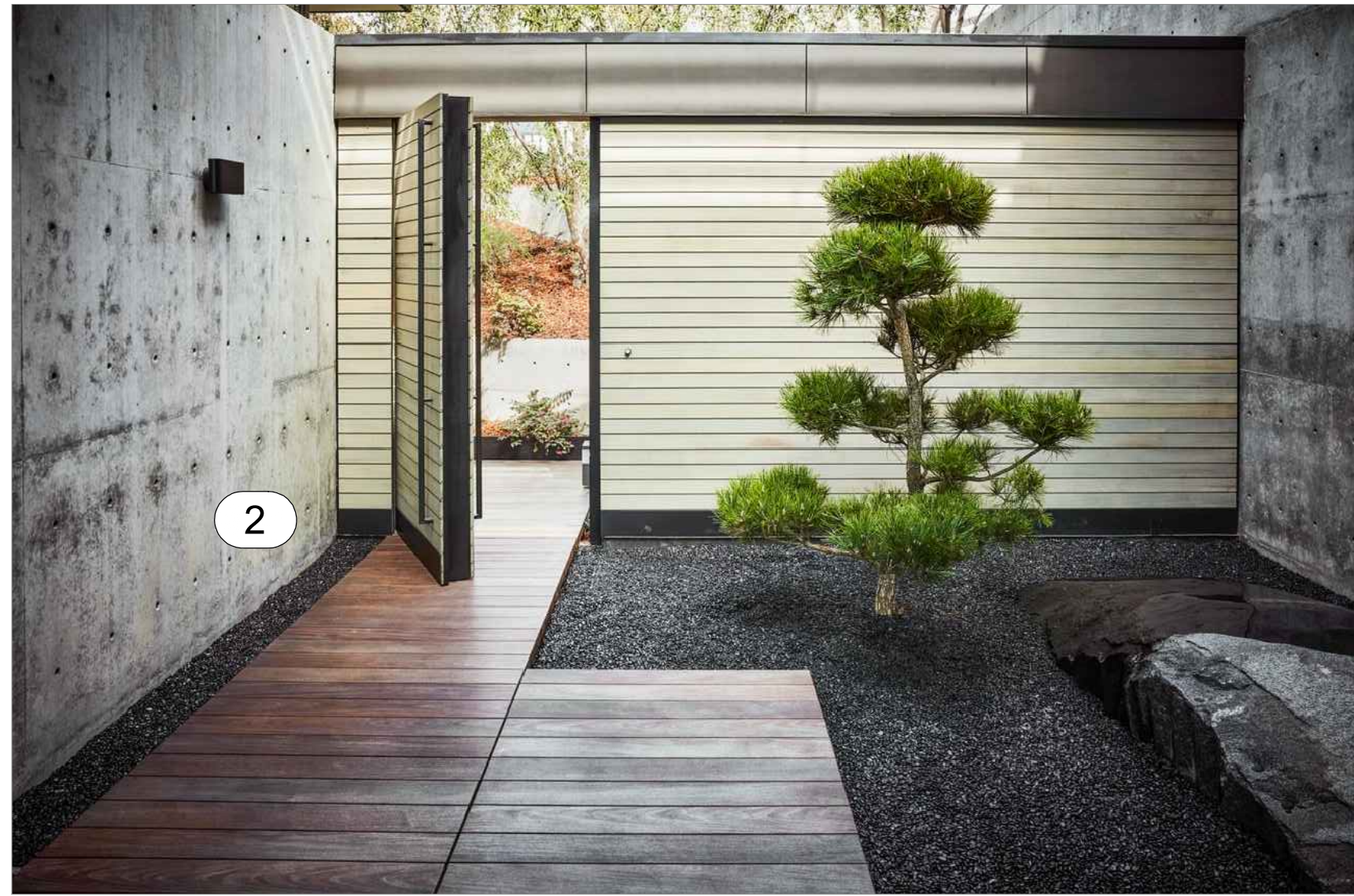
SET ISSUED:
07.24.2020

EXTERIOR ELEVATIONS

Scale: 1/4"=1'-0"
Drawn by: AJ
Checked by: AJ
Sheet No:

A6.2

Sheet of



EXTERIOR FINISHES LEGEND

- EXPOSED CMU:** TRENDSTONE GROUND FACE MASONRY UNITS, COLOR OPAL, BY OLDCASTLE SUPERLIGHT - ECHELON - TRENDWTH, STACK BOND, LRV/38
- GAST IN PLACE CONCRETE:** 4XB FORM WORK PANELS WITH SNAP OFF TIES, COLOR: GREY LRV/38
- STUCCO:** DUNN EDWARDS DECTE/ ASH GREY 150% DARKER, SAND TEXTURE, LRV 38
- FOAM ROOF:** FOAM ROOFING WITH BLENDED GRANULES: R675 ESTATE GREY GRANULES BY LUCAS ROOFING LRV/38
- METAL ROOF:** STANDING SEAM ROOFING, SITE PULLED SHEET METAL COIL BY OCM (OLD COUNTRY MILLWORK, INC.) MIDNIGHT COAL, LRV/38
- METAL FACIA:** SHEET METAL WITH PVDF FINISH BY OCM, COLOR: MIDNIGHT COAL, LRV/38
- SOFFITS & OVERHANGS:** SAME SHEET METAL AS FACIA SEE ABOVE
- DOOR / WINDOW COLOR:** FLEETWOOD 3070 SERIES DOOR AND WINDOW, SLIM LINE ANODIZED FINISH, BLACK ANODIZED, LRV/38
- EXPOSED IN-SHAPE L BEAMS AND COLUMNS:** CLEAR COATED RAW STEEL, LRV/38
- EXTERIOR GUARDRAIL:** 4"X36" BEND STEEL PLATE POSTS W/STEEL CABLES, PAINTED DE6870 CHARCOAL SMUDGE, LRV II 80% CLR, OPEN MIN.
- GARAGE DOORS:** AVANTE COLLECTION BY GLOPAY OVERHEAD DOOR, ALUMINUM FRAME, BLACK ANODIZED, LRV 38, GLASS: GRAY TINTED FINISH INSULATED TEMPERED GLASS.
- CUSTOM METAL CHIMNEY CAP:** CUSTOM METAL PAINTED, DE6870 CHARCOAL SMUDGE, LRV II
- AUTOCOURT & DRIVEWAY:** BELGARD PAVER "GRAPHITE BLEND" LRV/38
- PATIOES & WALKWAYS:** ARTISTIC PAVER "SILVER SAM" LRV < 38
- ACQUSTA-WAL - SYSTEM - ALL MECHANICAL YARDS WALL:** SOUND WAIVE ABSORPTION MASONRY UNIT BY OLD CASTLE ARCHITECTURAL / SUPERLITE BLOCK, STACK BOND, IN TRENDSTONE FINISH, COLOR OPAL
- STOCKS-IN-DESERT FENCING:** PAINTED: DE6870 CHARCOAL SMUDGE, LRV II



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THE NEW RESIDENCE FOR
TOM & NANCY TURELLI

SET ISSUED:
08.01.2020

MATERIAL BOARD

Scale:
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Sheet No:

A6.3

Sheet of



Hinkley Vapor 28" Outdoor Wall Light

PRODUCT DETAILS

Brighten the exterior of your home with the attractive style of this Vapor large outdoor wall light.

Additional Info:

Designed with aluminum, this Vapor large outdoor wall light by Hinkley exudes a sleek and industrial personality. The bronze finish is rich and attractive, and sure to complement surrounding details. The crackle glass completes the design with exceptional detail and character.

- 28" high x 4 3/4" wide. Extends 3 3/4" from the wall. Backplate is 4 3/4" square.
- Includes one 35 watt GU-10 base bulb. Maximum 35 watt bulb. 500 LUMENS
- Vapor contemporary large outdoor wall light by Hinkley.

HINKLEY

Shop all Hinkley.

- Bronze finish. Aluminum construction. Crackle glass.
- Wet location rated for outdoor use. Can also be used indoors. ADA compliant



Modern Forms Double Down 18" H Black LED Outdoor Wall Light



PRODUCT DETAILS

Back in the radiant bliss of minimalist-inspired modern charm with this black LED wall light, full of sleek lines and cascading glow.

Additional Info:

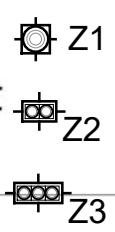
Sleek metallic shine marries modern simplicity in the clean lines of this two-light outdoor wall light by Modern Forms. Constructed of solid aluminum, install with the lights pointing up or down for a stunning, cascading glow. Brighten up the side of any house with the dimmable energy-efficient LED

- 18" high x 5" wide. Extends 4" from the wall.
- Backplate is 16 1/4" high x 4" wide x 3/4" deep.
- Includes two dimmable 5.5 watt high-powered replaceable LED modules; 275 lumen light output, comparable to a 25 watt incandescent. 3000K color temperature. 90 CRI.
- Two-light energy-efficient LED outdoor wall light from the Double Down collection by Modern Forms.
- Black finish over solid aluminum construction.
- Can be installed with lights pointing up or down.
- ADA compliant design.
- Smooth and continuous dimming with an electronic low voltage (ELV) dimmer.
- LEDs average 50,000 hours at 3 hours per day.
- CEC Title 24 compliant. Dark sky friendly.
- Universal input voltage driver (120V-240V-277V) located in 4" junction box.
- Custom CCT options available by special order.



Shop all Modern Forms

MT-3LD111 - 1 Light Mini LED Multiple Spots



PRODUCT DESCRIPTION

Integral housing adjustable recessed spot light.

FEATURES

- Energy Star® rated
- Title 24 California Energy Commission Compliant (90 CRI versions)
- Individually adjustable luminaires
- Complete unit includes housing & trim
- All housings are Non-IC rated
- 30° visual cutoff for glare control
- 25° vertical tilt, 350° horizontal rotation.

PHOTOMETRY



Beam Angle: 25°

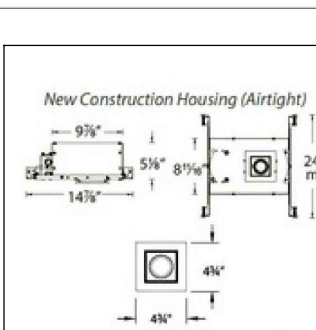
FIXTURE PERFORMANCE

Model	Type	Color Temp	Watts	Lumens	Efficacy	CRI
MT-3LD111NA-F30	New Construction	3000K	11W	755	69 Ln/W	85
MT-3LD111R-F30	Remodel	3000K	11W	755	69 Ln/W	85
MT-3LD111NA-F30	New Construction	3000K	11W	670	59 Ln/W	90
MT-3LD111R-F30	Remodel	3000K	11W	670	59 Ln/W	90

Body Finish: White / Black Reflector
Lamp: 1 x LED/11W/120V LED
Wattage: 11W
Dimmer: Low Voltage Electronic
Dimensions: 6"W x 4.6"H x 4.1"D

Technical Information

Luminous Flux: 670 lumens
Lumens/Watt: 60.91
Lamp Color: 3000 K
Color Rendering: 90 CRI
Beam Angle: 25°
Lamp Life: 60,000 hours
Function: Adjustable Accent
Ceiling Type: Drywall with Trim
Housing Type: New Construction NON IC
Housing Height: 5"
Aperture Shape: Rectangular
Aperture Size: 0.000"



Address: 1718 W. Fullerton Ave.

WAC LIGHTING Responsible Lighting®

Fixture Type: Z1
Catalog Number:
Project: SAN MIGUEL
Location:

SPECIFICATIONS

Construction: Die-cast aluminum heat sink painted black. Trim, housing and junction box are 20 gauge steel. Frame and hanger bars are heavy gauge galvanized steel.

J-Box (New Construction): Seven knockouts and four Romex® style wiring connectors provided for ease of installation. Rated for branch wiring.

Driver: 120V Input

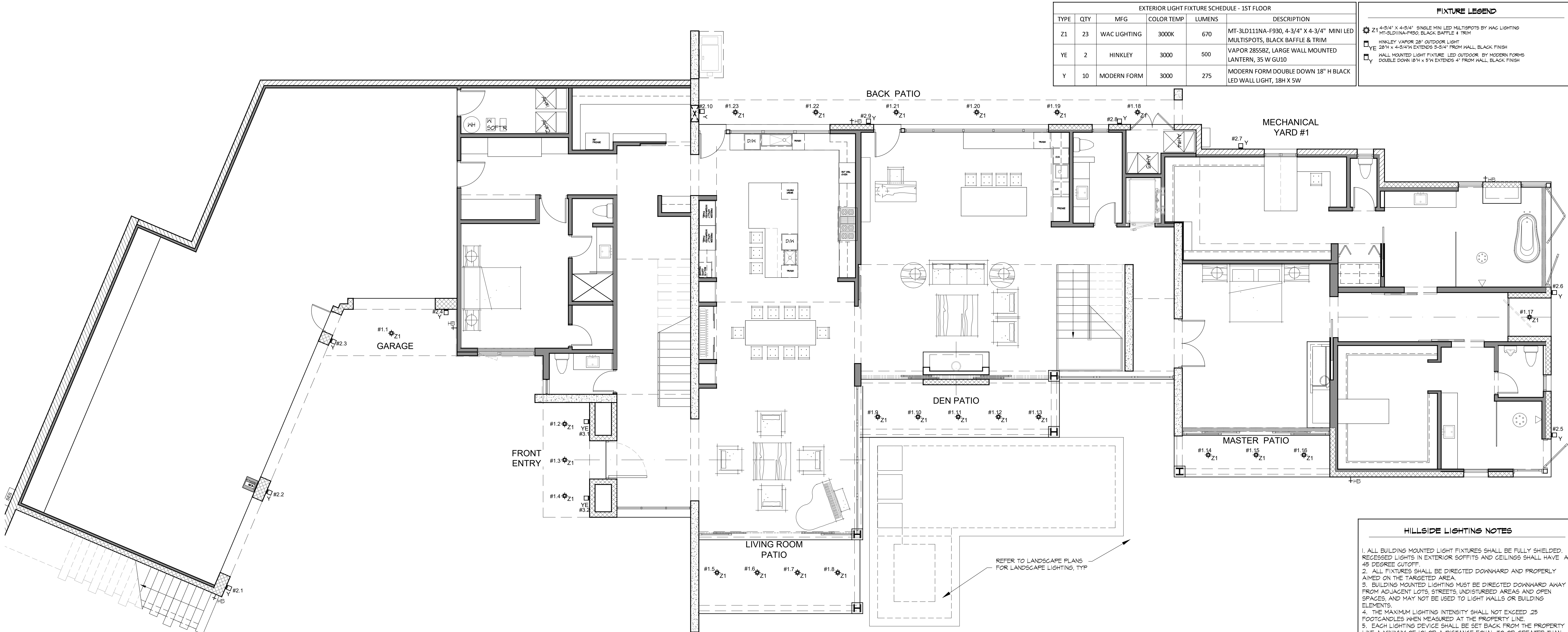
Light Source: High output LED (included with housing)

Dimming: Dim to 10% with electronic low voltage (ELV) dimmer.

Mounting: Supplied with hanger bars, adjustable from 14 1/2" - 25" to accommodate various joist construction and grid sizes. Hanger bars include a captive mounting "screw-nail" for ease of installation. Accommodates surface up to 1" thick. 4 1/2" x 4 1/2" cutout. See instruction sheet for details on installation using spackle ring.

Finish: Abrasion resistant powder coat paint in Black (BK).

Standards: ETL & CETL listed.



EXTERIOR LIGHT FIXTURE SCHEDULE - 1ST FLOOR					
TYPE	QTY	MFG	COLOR TEMP	LUMENS	DESCRIPTION
Z1	23	WAC LIGHTING	3000K	670	MT-3LD111NA-F30, 4-3/4" X 4-3/4" X 4-3/4" MINI LED MULTISPOTS, BLACK BAFFLE & TRIM
YE	2	HINKLEY	3000	500	VAPOR 2855BZ, LARGE WALL MOUNTED LANTERN, 35 W GU10
Y	10	MODERN FORM	3000	275	MODERN FORM DOUBLE DOWN 18" H BLACK LED WALL LIGHT, 18H X 5W

FIXTURE LEGEND

- Z1 4-3/4" X 4-3/4" X 4-3/4" SINGLE MINI LED MULTISPOTS BY WAC LIGHTING
- YE HINKLEY VAPOR 28" OUTDOOR LIGHT
- Y 28" H X 4-3/4" W EXTENDS 3-5/4" FROM WALL, BLACK FINISH
- WALL MOUNTED LIGHT FIXTURE LED OUTDOOR BY MODERN FORMS
- DOUBLE DOWN 18" X 5" W EXTENDS 4" FROM WALL, BLACK FINISH

HILLSIDE LIGHTING NOTES

1. ALL BUILDING MOUNTED LIGHT FIXTURES SHALL BE FULLY SHIELDED. RECESSED LIGHTS IN EXTERIOR SOFFITS AND CEILINGS SHALL HAVE A 45 DEGREE CUTOFF.
2. ALL FIXTURES SHALL BE DIRECTED DOWNWARD AND PROPERLY AIMED ON THE TARGETED AREA.
3. BUILDING MOUNTED LIGHTING MUST BE DIRECTED DOWNWARD AWAY FROM ADJACENT LOTS, STREETS, UNDISTURBED AREAS AND OPEN SPACES, AND MAY NOT BE USED TO LIGHT WALLS OR BUILDING ELEMENTS.
4. THE MAXIMUM LIGHTING INTENSITY SHALL NOT EXCEED 25 FOOT-CANDLES WHEN MEASURED AT THE PROPERTY LINE.
5. EACH LIGHTING DEVICE SHALL BE SET BACK FROM THE PROPERTY LINE A MINIMUM OF 10' OR A DISTANCE EQUAL TO OR GREATER THAN THE HEIGHT OF THE DEVICE ABOVE NATURAL OR EXCAVATED GRADE, WHICHEVER IS GREATER. AS AN EXCEPTION, ENTRY MONUMENTS MAY BE LIGHTED PROVIDED THE LIGHTING SOURCE DOES NOT EXCEED THE EQUIVALENT PROJECTED BRIGHTNESS OF 250 LUMENS.
6. ALL LUMINAIRES SHALL BE SUBJECT TO THE FOLLOWING LIMITATIONS:
 - A. LUMINAIRES SHALL NOT EXCEED 750 LUMENS WHEN ATTACHED TO A STRUCTURE AND CONFINED TO THE IMMEDIATE VICINITY OF A BUILDING ENTRANCE OR OUTDOOR LIVING AREA.
 - B. LUMINAIRES SHALL NOT EXCEED 250 LUMENS FOR ALL OTHER USES.
 - C. LUMINAIRES SHALL NOT EXCEED 150 LUMENS FOR LANDSCAPE UP-LIGHTING.
 - D. MOTION SENSOR/ DETECTOR LIGHT FIXTURES ARE PERMITTED FOR SECURITY LIGHTING. SECURITY LIGHTING MUST BE CONTROLLED SEPARATELY FROM ALL OTHER LIGHTING.
 - E. SECURITY LIGHTS MUST BE ON TIMERS THAT REGULATE THEIR OPERATION TIME TO A MAXIMUM OF 10 MINUTES AND LIMITED TO LAMPS WITH A MAXIMUM OF 750 LUMENS.
 - F. ROPE LIGHT SHALL NOT EXCEED 3.6 WATTS PER INCANDESCENT ROPE LIGHT

1ST FLOOR LIGHTING PLAN

3/16"=1'-0"

1



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THE NEW RESIDENCE ON
East San Miguel Avenue

5405 E San Miguel Ave.
Paradise Valley, AZ 85253

SET ISSUED:
07.24.2020

LIGHTING PLAN

Scale: 3/16"=1'-0"

Drawn by: AJ

Checked by: AJ

Sheet No:

E1.1

Sheet of



Hinkley Vapor 28" Outdoor Wall Light

PRODUCT DETAILS

Brighten the exterior of your home with the attractive style of this Vapor large outdoor wall light.

Additional Info:

Designed with aluminum, this Vapor large outdoor wall light by Hinkley exudes a sleek and industrial personality. The bronze finish is rich and attractive, and sure to complement surrounding details. The crackle glass completes the design with exceptional detail and character.

- 28" high x 4 3/4" wide. Extends 3 3/4" from the wall. Backplate is 4 3/4" square.
- Includes one 35 watt GU-10 base bulb. Maximum 35 watt bulb.
- Vapor contemporary large outdoor wall light by Hinkley.

HINKLEY

Shop all Hinkley.

- Bronze finish. Aluminum construction. Crackle glass.
- Wet location rated for outdoor use. Can also be used indoors. ADA compliant



Modern Forms Double Down 18"H Black LED Outdoor Wall Light



PRODUCT DETAILS

Back in the radiant bliss of minimalist-inspired modern charm with this black LED wall light, full of sleek lines and cascading glow.

Additional Info:

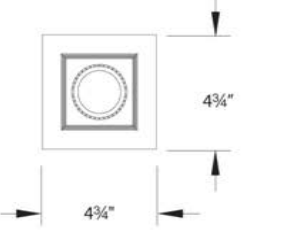
Sleek metallic shine marries modern simplicity in the clean lines of this two-light outdoor wall light by Modern Forms. Constructed of solid aluminum, install with the lights pointing up or down for a stunning, cascading glow. Brighten up the side of any house with the dimmable energy-efficient LED

- 18" high x 5" wide. Extends 4" from the wall.
- Backplate is 16 1/4" high x 4" wide x 3/4" deep.
- Includes two dimmable 5.5 watt high-powered replaceable LED modules; 275 lumen light output, comparable to a 25 watt incandescent. 3000K color temperature. 90 CRI.
- Two-light energy-efficient LED outdoor wall light from the Double Down collection by Modern Forms.
- Black finish over solid aluminum construction.
- Can be installed with lights pointing up or down.
- ADA compliant design.
- Smooth and continuous dimming with an electronic low voltage (ELV) dimmer.
- LEDs average 50,000 hours at 3 hours per day.
- CEC Title 24 compliant. Dark sky friendly.
- Universal input voltage driver (120V-240V-277V) located in 4" junction box.
- Custom CCT options available by special order.



Shop all Modern Forms

MT-3LD111 - 1 Light
Mini LED Multiple Spots



WAC LIGHTING
Responsible Lighting®

Fixture Type: Z1
Catalog Number:
Project: SAN MIGUEL
Location:

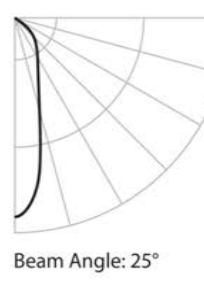
PRODUCT DESCRIPTION

Integral housing adjustable recessed spot light.

FEATURES

- Energy Star® rated
- Title 24 California Energy Commission Compliant (90 CRI versions)
- Individually adjustable luminaires
- Complete unit includes housing & trim
- All housings are Non-IC rated
- 30° visual cutoff for glare control
- 25° vertical tilt, 350° horizontal rotation.

PHOTOMETRY



SPECIFICATIONS

Construction: Die-cast aluminum heat sink painted black. Trim, housing and junction box are 20 gauge steel. Frame and hanger bars are heavy gauge galvanized steel.

J-Box (New Construction): Seven knockouts and four Romex® style wiring connectors provided for ease of installation. Rated for branch wiring.

Driver: 120V input

Light Source: High output LED (included with housing)

Dimming: Dim to 10% with electronic low voltage (ELV) dimmer.

Mounting: Supplied with hanger bars, adjustable from 14 1/2" - 25" to accommodate various joist construction and grid sizes. Hanger bars include a captive mounting "screw-nail" for ease of installation. Accommodates surface up to 1" thick. 4 1/2" x 4 1/2" cutoff. See instruction sheet for details on installation using spackle ring.

Finish: Abrasion resistant powder coat paint in Black (BK).

Standards: ETL & CETL listed.

FIXTURE PERFORMANCE

Model	Type	Color Temp	Watts	Lumens	Efficacy	CRI
MT-3LD111NA-F30	New Construction	3000K	11W	755	69 Ln/W	85
MT-3LD111R-F30	Remodel	3000K	11W	755	69 Ln/W	85
MT-3LD111NA-F930	New Construction	3000K	11W	670	59 Ln/W	90
MT-3LD111R-F930	Remodel	3000K	11W	670	59 Ln/W	90

Body Finish: White / Black Reflector

Lamp: 1 x LED/11W/120V LED

Voltage: 11W

Dimmer: Low Voltage Electronic

Dimensions: 6"W x 4.6"H x 4.1"D

Technical Information

Luminous Flux: 670 lumens

Lumens/Watt: 60.91

Lamp Color: 3000 K

Color Rendering: 90 CRI

Beam Angle: 25°

Lamp Life: 60,000 hours

Function: Adjustable Accent

Ceiling Type: Drywall with Trim

Housing Type: New Construction NON IC

Housing Height: 5"

Aperture Shape: Rectangular

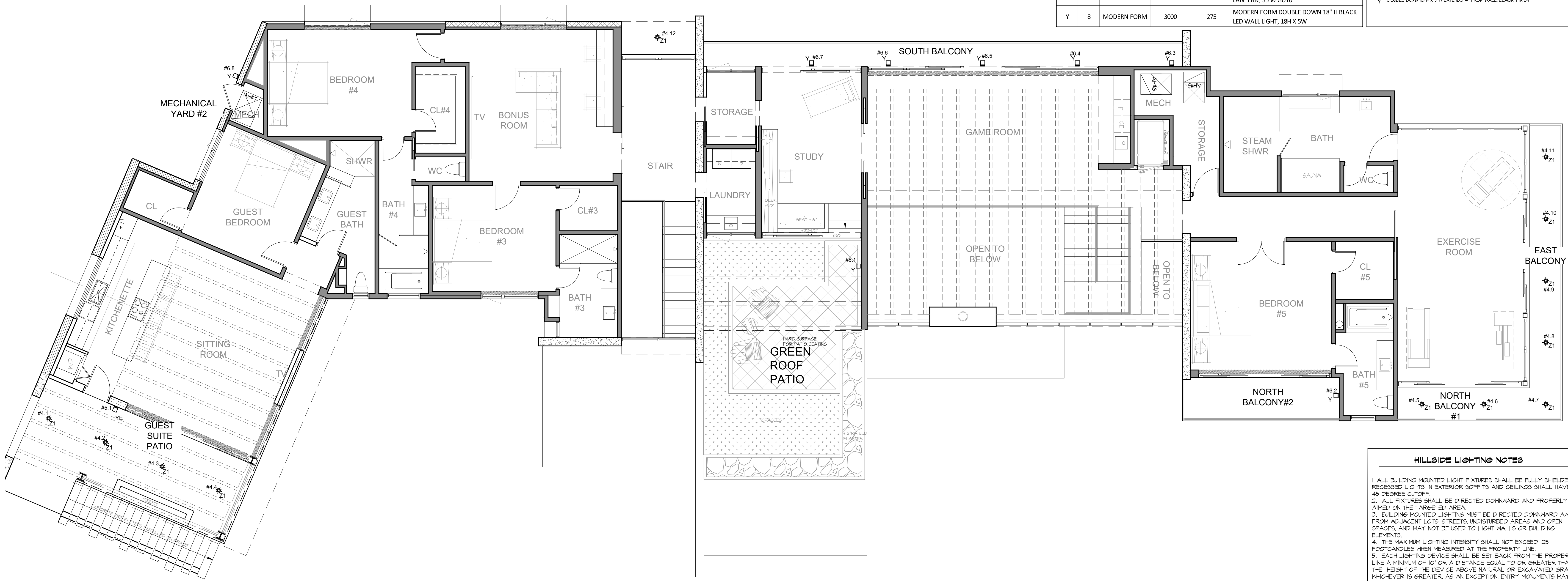
Aperture Size: 0.000"



Address: 1718 W. Fullerton Ave.

EXTERIOR LIGHT FIXTURE SCHEDULE - 2ND FLOOR				
TYPE	QTY	MFG	COLOR TEMP	DESCRIPTION
Z1	12	WAC LIGHTING	3000K	MT-3LD111NA-F30, 4-3/4" X 4-3/4" MINI LED MULTISPOTS, BLACK BAFFLE & TRIM
YE	1	HINKLEY	3000	VAPOR 28558Z, LARGE WALL MOUNTED LANTERN, 35 W GU10
Y	8	MODERN FORM	3000	MODERN FORM DOUBLE DOWN 18" H BLACK LED WALL LIGHT, 18H X 5W

FIXTURE LEGEND	
⚙️ Z1	4-3/4" X 4-3/4" SINGLE MINI LED MULTISPOTS BY WAC LIGHTING
⚙️ YE	MT-3LD111NA-F30, BLACK BAFFLE & TRIM
⚙️ Y	HINKLEY VAPOR 28" OUTDOOR LIGHT
⚙️ Y	WALL MOUNTED LIGHT FIXTURE LED OUTDOOR BY MODERN FORMS
⚙️ Y	DOUBLE DOWN 18" X 5" EXTENDS 4" FROM WALL, BLACK FINISH



2ND FLOOR LIGHTING PLAN

3/16"=1'-0"

2

HILLSIDE LIGHTING NOTES

1. ALL BUILDING MOUNTED LIGHT FIXTURES SHALL BE FULLY SHIELDED. RECESSED LIGHTS IN EXTERIOR SOFFITS AND CEILINGS SHALL HAVE A 45 DEGREE CUTOFF.
2. ALL FIXTURES SHALL BE DIRECTED DOWNWARD AND PROPERLY AIMED ON THE TARGETED AREA.
3. BUILDING MOUNTED LIGHTING MUST BE DIRECTED DOWNWARD AWAY FROM ADJACENT LOTS, STREETS, UNDISTURBED AREAS AND OPEN SPACES, AND MAY NOT BE USED TO LIGHT WALLS OR BUILDING ELEMENTS.
4. THE MAXIMUM LIGHTING INTENSITY SHALL NOT EXCEED 25 FOOT-CANDLES WHEN MEASURED AT THE PROPERTY LINE.
5. EACH LIGHTING DEVICE SHALL BE SET BACK FROM THE PROPERTY LINE A MINIMUM OF 10' OR A DISTANCE EQUAL TO OR GREATER THAN THE HEIGHT OF THE DEVICE ABOVE NATURAL OR EXCAVATED GRADE, WHICHEVER IS GREATER. AS AN EXCEPTION, ENTRY MONUMENTS MAY BE LIGHTED PROVIDED THE LIGHTING SOURCE DOES NOT EXCEED THE EQUIVALENT PROJECTED BRIGHTNESS OF 250 LUMENS.
6. ALL LUMINAIRES SHALL BE SUBJECT TO THE FOLLOWING LIMITATIONS:
 - A. LUMINAIRES SHALL NOT EXCEED 750 LUMENS WHEN ATTACHED TO A STRUCTURE AND CONFINED TO THE IMMEDIATE VICINITY OF A BUILDING ENTRANCE OR OUTDOOR LIVING AREA.
 - B. LUMINAIRES SHALL NOT EXCEED 250 LUMENS FOR ALL OTHER USES.
 - C. LUMINAIRES SHALL NOT EXCEED 150 LUMENS FOR LANDSCAPE UP-LIGHTING.
 - D. MOTION SENSOR/ DETECTOR LIGHT FIXTURES ARE PERMITTED FOR SECURITY LIGHTING. SECURITY LIGHTING MUST BE CONTROLLED SEPARATELY FROM ALL OTHER LIGHTING.
 - E. SECURITY LIGHTS MUST BE ON TIMERS THAT REGULATE THEIR OPERATION TIME TO A MAXIMUM OF 10 MINUTES AND LIMITED TO LAMPS WITH A MAXIMUM OF 750 LUMENS.
 - F. ROPE LIGHT SHALL NOT EXCEED 3.6 WATTS PER INCANDESCENT ROPE LIGHT



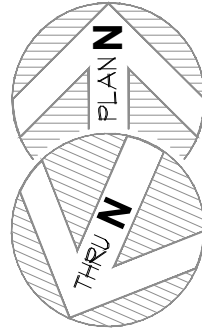
P.O.Box 80311
Phoenix, AZ 85060

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THE NEW RESIDENCE ON
East San Miguel Avenue

5405 E San Miguel Ave.
Paradise Valley, AZ 85253

SET ISSUED:
07.24.2020



LIGHTING PLAN

Scale: 3/16"=1'-0"

Drawn by: AJ

Checked by: AJ

Sheet No:

E1.2

Sheet of

5405 EAST SAN MIGUEL

project consultants

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sheet index

SHEET	TITLE
L.01	COVER SHEET & NOTES
L.02	LANDSCAPE PLAN
L.03	HARDSCAPE DETAILS
L.04	LIGHTING PLAN
L.05	LIGHTING CUTSHEETS & DETAILS
L.06 - L.07	LANDSCAPE & IRRIGATION DETAILS
IS.01	NATIVE PLANT INVENTORY

planting notes

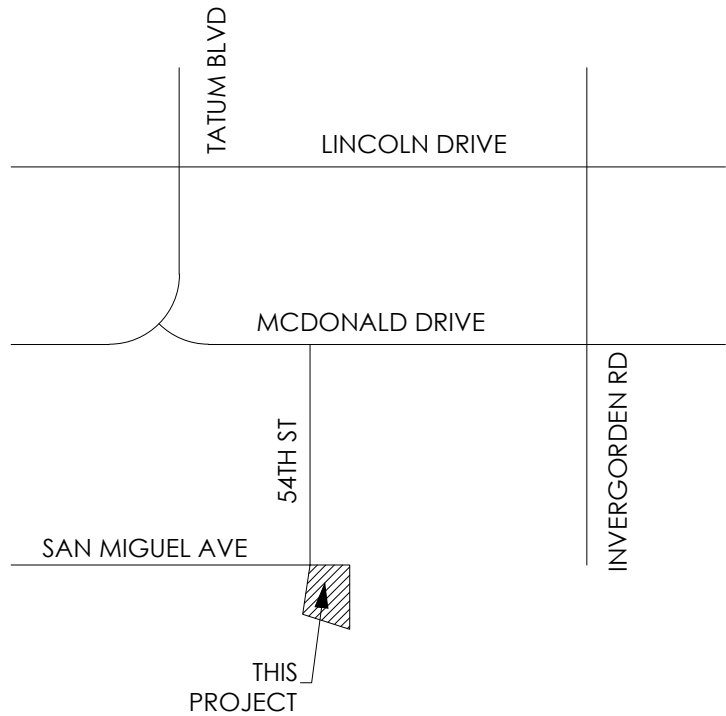
(not approved by city)

1. THE SUB-CONTRACTOR SHALL MARK AND CONFIRM LOCATIONS OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION. CONFLICTS SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT FOR RESOLUTION.
2. PLANT MATERIALS SPECIFIED SHALL BE SUBJECT TO HAND SELECTION BY THE LANDSCAPE ARCHITECT AT THE NURSERY.
3. FINISH GRADE OR TOP OF D.G. (WHICHEVER IS HIGHER) SHALL BE 1-1/2" BELOW ADJACENT CONCRETE OR OTHER PAVED SURFACES.
4. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON PLANTING PLAN. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ACCURATE PLANT COUNTS. IF ANY DISCREPANCIES SHOULD ARISE WITH REGARDS TO PLANT QUANTITIES THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT WITHIN A PERIOD OF 48 HOUR FOR DISCUSSION.
5. CONTRACTOR TO STAKE ALL TREE, PALM, AND SHRUB LOCATIONS FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO PLANTING.
6. LANDSCAPE ARCHITECT WILL NOT BE RESPONSIBLE FOR LOCATION AND PLACEMENT OF TREES AND PALMS UNLESS THE LOCATION WAS APPROVED BY LANDSCAPE ARCHITECT.
7. ALL TREE AND PALM CANOPIES MUST BE A MINIMUM OF 3'-5' FROM ANY BUILDING WALLS OR BUILDING WINDOWS WHEN THE PLANT REACHES ITS MATURE SIZE.
8. ALL PLANT MATERIALS SHALL BE SIZED ACCORDING TO THE ARIZONA NURSERY ASSOCIATION STANDARDS. PLANT MATERIAL SIZES NOT ESTABLISHED PER A.N.A. STANDARDS SHALL BE SIZED ACCORDING TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
9. ALL NEWLY INSTALLED TREES ARE TO BE STAKED IN PLACE PER THE LANDSCAPE ARCHITECT'S DETAILS FOUND WITHIN THE PLAN SET OR WITHIN THE LANDSCAPE ARCHITECT'S DETAIL AND SPECIFICATION BOOKLET DEVELOPED FOR THE PROJECT.
10. ACID ETCH IMPERVIOUS SOILS AS REQUIRED AT PROPOSED TREE LOCATIONS TO ENSURE PLANT HEALTH AND VITALITY.
11. SUB-CONTRACTOR TO TREAT ALL D.G. AREAS WITHIN THE LIMITS OF CONSTRUCTION WITHONE FINAL APPLICATION OF AN APPROVED PRE-EMERGENT HERBICIDE AT THE TIME OF ACCEPTANCE BY THE OWNER.
12. CACTI SHALL RECEIVE NO SUPPLEMENTAL IRRIGATION UNLESS OTHERWISE NOTED OR IDENTIFIED WITHIN THE LANDSCAPE ARCHITECTS IRRIGATION DRAWINGS.
13. NO PLANT SUBSTITUTIONS, TYPE, OR QUANTITY DEVIATIONS FROM THE APPROVED LANDSCAPE OR IRRIGATION PLANS WITHOUT PERMISSION FROM THE LANDSCAPE ARCHITECT.
14. EXISTING TREES AND SHRUBS IN R.O.W. TO REMAIN OR BE RELOCATED BY CONTRACTOR. ANY PLANT MATERIAL DAMAGED OR DESTROYED WILL BE REPLACED IN KIND BY THE CONTRACTOR.
15. ALL LANDSCAPE AREAS SHALL RECEIVE 2" DESERT PAVEMENT UNLESS NOTED. COLOR TO BE SELECTED BY OWNER UNLESS NOTED. ALL D.G. SAMPLES SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR APPROVAL.
16. ROUGH GRADING TO WITHIN +0.10 FOOT, INCLUDING ALL BERMS AND/OR SWALES AND RETENTION AREAS WILL BE PROVIDED BY BUILDER / DEVELOPER OR THE OWNER'S AGENT PRIOR TO PLANT INSTALLATION.
17. ANY DISCREPANCIES FOUND BETWEEN PLANS, SPECIFICATIONS, AND SITE SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR RESOLUTION.
18. THE LANDSCAPE ARCHITECT HAS THE OPTION TO REJECT ANY PLANT MATERIALS DEEMED UNACCEPTABLE UPON DELIVERY TO SITE.
19. ACKNOWLEDGE REQUIREMENT OF COUNTY DUST CONTROL PERMIT AND LANDSCAPE PERMIT FOR ALL LANDSCAPE WORK WITHIN THE PROJECT ON RESIDENTIAL, COMMERCIAL, AND INDUSTRIAL SUBDIVISIONS.
20. TREES, SHRUBS, VINES, GROUNDCOVER, AND TURF WHICH HAVE TO BE REPLACED UNDER TERMS OF THE GUARANTEE, SHALL BE GUARANTEED FOR AN ADDITIONAL SIXTY (90) DAYS FROM THE DATE OF REPLACEMENT.
21. ALL POOLS, SIGNS AND MONUMENT WALLS REQUIRE A SEPARATE BUILDING APPROVAL AND PERMITS.
22. THE CONTRACTOR SHALL PROVIDE ALL REQUIRED SHOP DRAWINGS TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO THE BEGINNING OF CONSTRUCTION. REQUIRED SHOP DRAWINGS MAY INCLUDE BUT ARE NOT LIMITED TO WALLS, COLUMNS, ENTRY GATES, POOL FENCE AND/OR WATER FEATURES. SHOULD A DISPUTE ARISE WITH ANY DESIGN ELEMENT REQUIRING SHOP DRAWINGS, THE LANDSCAPE ARCHITECT SHALL ONLY ASSUME RESPONSIBILITY IF THE SHOP DRAWINGS IN QUESTION HAVE BEEN REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT.
23. ALL TREES WITHIN THE SIGHT TRIANGLE AND DISTANCE AREAS SHALL BE MAINTAINED TO A MINIMUM CANOPY CLEARANCE OF 7'-0'.
24. TREES ADJACENT TO PEDESTRIAN WALKWAYS ARE TO HAVE A MINIMUM CLEARANCE OF 6'-8
25. THERE ARE EXISTING TREES ON SITE.

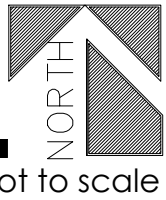
irrigation notes

(not approved by city)

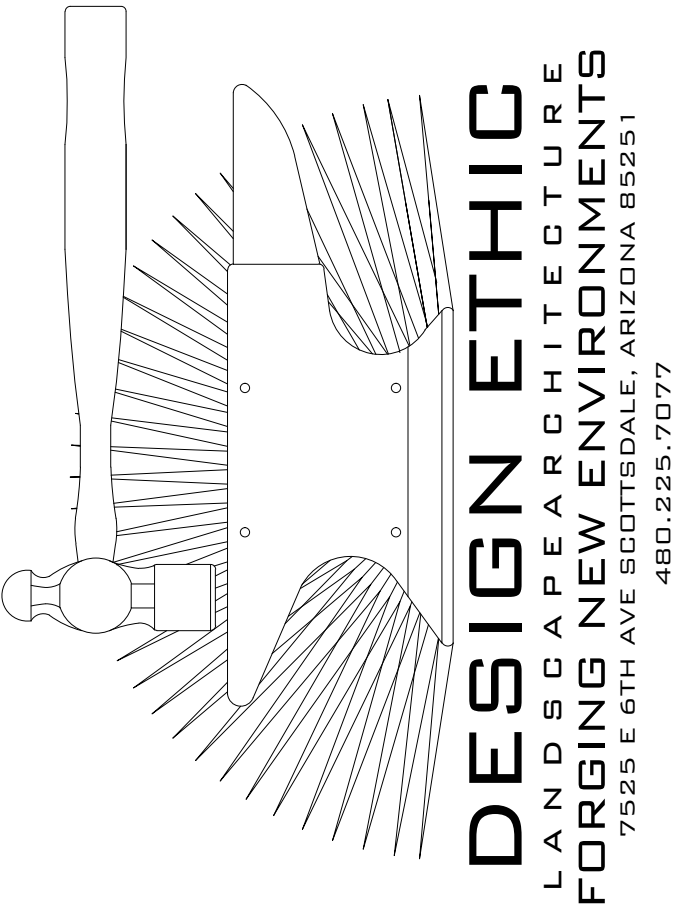
1. IRRIGATION DESIGN SHALL COMPLY WITH THE INTENT OF THE CITY/TOWN OF PHOENIX WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE.
2. CONTRACTOR TO CONTACT THE LOCAL UNDERGROUND UTILITY SERVICES FOR UTILITY LOCATION AND IDENTIFICATION.
3. STAKE ALL UTILITIES, INCLUDING SEWER AND DRAINAGE PRIOR TO ANY EXCAVATION. CONFLICTS SHALL BE REPORTED TO THE ARCHITECT/LANDSCAPE ARCHITECT FOR RESOLUTION.
4. PERFORM EXCAVATION IN THE VICINITY OF UNDERGROUND UTILITIES WITH CARE AND IF NECESSARY, BY HAND. THE CONTRACTOR BEARS FULL RESPONSIBILITY FOR THIS WORK AND DISRUPTION OR DAMAGE TO UTILITIES SHALL BE REPAIRED IMMEDIATELY AT NO EXPENSE TO THE OWNER.
5. REFER TO CIVIL ENGINEER'S UTILITY AND PRECISE GRADING PLANS FOR UTILITY LOCATION AND FINAL GRADING. IF ACTUAL SITE CONDITIONS VARY FROM WHAT IS SHOWN ON THE PLANS, CONTACT THE ARCHITECT FOR DIRECTION AS TO HOW TO PROCEED. VERIFY LOCATIONS OF PERTINENT SITE IMPROVEMENTS INSTALLED UNDER OTHER SECTIONS. IF ANY PART OF THIS PLAN CANNOT BE FOLLOWED DUE TO SITE CONDITIONS, CONTACT ARCHITECT FOR INSTRUCTIONS PRIOR TO COMMENCING WORK.
6. THE DESIGN OF THE IRRIGATION SYSTEM SHALL BE THE RESPONSIBILITY OF OF THE CONTRACTOR PER THE PROJECT SPECIFICATIONS. THE CONTRACTOR SHALL SUBMIT IRRIGATION AS-BUILT DESIGN DRAWINGS AND ASSOCIATED DOCUMENTATION TO THE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. THE IRRIGATION SYSTEM SHALL BE RUN WITH A FULLY AUTOMATED IRRIGATION CONTROLLER. RUN TIME SHALL BE ADJUSTED ACCORDING TO SEASON, LOCATION AND PLANT PERFORMANCE. DRIP EMITTERS SHALL BE USED FOR ALL PLANT MATERIAL EXCEPT SOD AND POSSIBLY PERENNIAL GROUNDCOVERS. THESE AREAS SHALL BE IRRIGATED WITH SPRAY EMITTERS APPROPRIATELY DESIGNED TO AVOID OVERSPRAY ONTO IMPERMEABLE SURFACES AND ADJACENT PAVING.
7. IRRIGATION EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
8. IF THERE ARE ANY DISCREPANCIES WITH VALVE SIZES, METER SIZES, MAINLINE SIZES, WATER PRESSURE, COVERAGE, CONTROLLER SIZES, OBSTRUCTIONS, GRADE DIFFERENCES OR LAYOUT - THE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT WITHIN ONE BUSINESS DAY TO DISCUSS AND ADDRESS THE ISSUE(S).
9. DEPTH OF BURY OF THE MAINLINE SHALL BE A MINIMUM OF 18". DEPTH OF BURY ON LATERAL PIPING SHALL BE A MINIMUM OF 12". THE MAIN LINE AND LATERAL LINES SHALL BE SCHEDULE 40 PVC SOLVENT WELD PIPE WITH INTEGRAL SOLVENT WELD BELLS. CURVED TRENCHES AND BENDING OF PIPE TO AVOID FITTINGS WILL NOT BE ACCEPTED.
10. FOR METERS THAT OPERATE MORE GALLONS PER MINUTE (G.P.M.) THAN THE METER'S CAPACITY, CONTRACTOR SHALL PROGRAM THE CONTROLLER TO OPERATE VALVES TO THE MAXIMUM METER CAPACITY. A METER MAY NEED TO HAVE SEVERAL RUN TIMES TO OPERATE ALL VALVES ASSOCIATED WITH THE METER.
11. POINT OF CONNECTION: A CONNECTION TO POTABLE WATER FOR IRRIGATION PURPOSES WILL BE MADE ON THE PROPERTY, SEE UTILITY PLANS FOR EXAC'T LOCATION OF METER. VALVE BOXES AND EQUIPMENT SHALL BE SHIELDED FROM VIEW, CONTRACTOR TO VERIFY WATER PRESSURE AT WATER METER PRIOR TO START OF WORK. A BOOSTER PUMP MAY BE REQUIRED IF THE PRESSURE IS TOO LOW.
12. BACKFLOW PREVENTOR TO BE VERIFIED IN FIELD BY LANDSCAPE ARCHITECT OR OWNER PRIOR TO INSTALLATION.
13. ELECTRICAL POWER/PEDESTAL(S) LOCATIONS TO BE PROVIDED BY OTHERS. FINAL LOCATION OF CONTROLLER TO BE STAKED AND APPROVED BY LANDSCAPE ARCHITECT OR OWNER PRIOR TO INSTALLATION.
14. ALL 24 VOLT WIRING FROM CONTROLLER TO ELECTRIC VALVES SHALL BE MINIMUM 14 GAUGE SOLID COPPER DIRECT BURIAL WIRE.
15. PER ARIZONA HOUSE BILL 2256, A BLUE 18 GAUGE TRACER WIRE SHALL BE INSTALLED WITH 2" AND LARGER MAINLINES. 6" INCHES OF WHICH SHALL BE COILED INSIDE THE CONTROLLER.
16. MAINLINE AND LATERAL PIPING IS SCHEMATIC. LOCATE ALL MAINLINES AND EQUIPMENT OUTSIDE OF THE PUBLIC R.O.W. AND P.U.E. BUT WITHIN THE LANDSCAPE AREAS. CONTRACTOR TO ADJUST AS NECESSARY IN FIELD.
17. ALL MAINLINES, LATERAL LINES AND WIRING UNDER PAVEMENT TO BE IN SEPARATE SCHEDULE 80 PVC SLEEVES. PVC SCHEDULE SLEEVES SHALL BE A MINIMUM INSIDE DIAMETER OF 2 TIMES THE IRRIGATION LINE DIAMETER. VALVE WIRING SHALL BE WITHIN SEPARATE ADJACENT SLEEVE.
18. THE CONTRACTOR SHALL PROVIDE IN-LINE AND/OR SPRINKLER CHECK VALVES AS REQUIRED THROUGHOUT THE IRRIGATION SYSTEM LOCATED WITHIN A SLOPED AREAS TO PREVENT LOW IRRIGATION HEAD DRAINAGE.
19. PROVIDE SEPARATE VALVES FOR TREES AND SHRUBS. ALL DRIP ZONE PVC SHALL BE A MINIMUM 3/4" CLASS 200.
20. ALL PIPING IS TO BE FLUSHED FOR A PERIOD OF 10 MINUTES PRIOR TO THE INSTALLATION OF EMITTERS. CONTRACTOR SHALL BE RESPONSIBLE FOR NECESSARY FLUSHING OF SYSTEM DUE TO CLOGGING FOR THE DURATION OF THE LANDSCAPE MAINTENANCE PER SPECIFICATIONS.
21. MAXIMUM LENGTH OF MICROTUBING ON DRIP ZONE TO BE 5'. WITH 6" MIN. EXPOSED AT THE EMITTER END.
22. CONTRACTOR TO GUARANTEE 100% IRRIGATION COVERAGE FOR ALL LAWN AREAS. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT OF ANY LAWN AREAS WITHOUT FULL COVERAGE.
23. IRRIGATION HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE UNLESS OTHERWISE SPECIFIED.



vicinity map



not to scale



5405 EAST SAN MIGUEL
PARADISE VALLEY, AZ 85253

COVER SHEET & NOTES

PROJECT:

JOB NO: 20-010

DATE:

DRAWN BY: B. PAUL

SUBMITTED: 08.31.2020

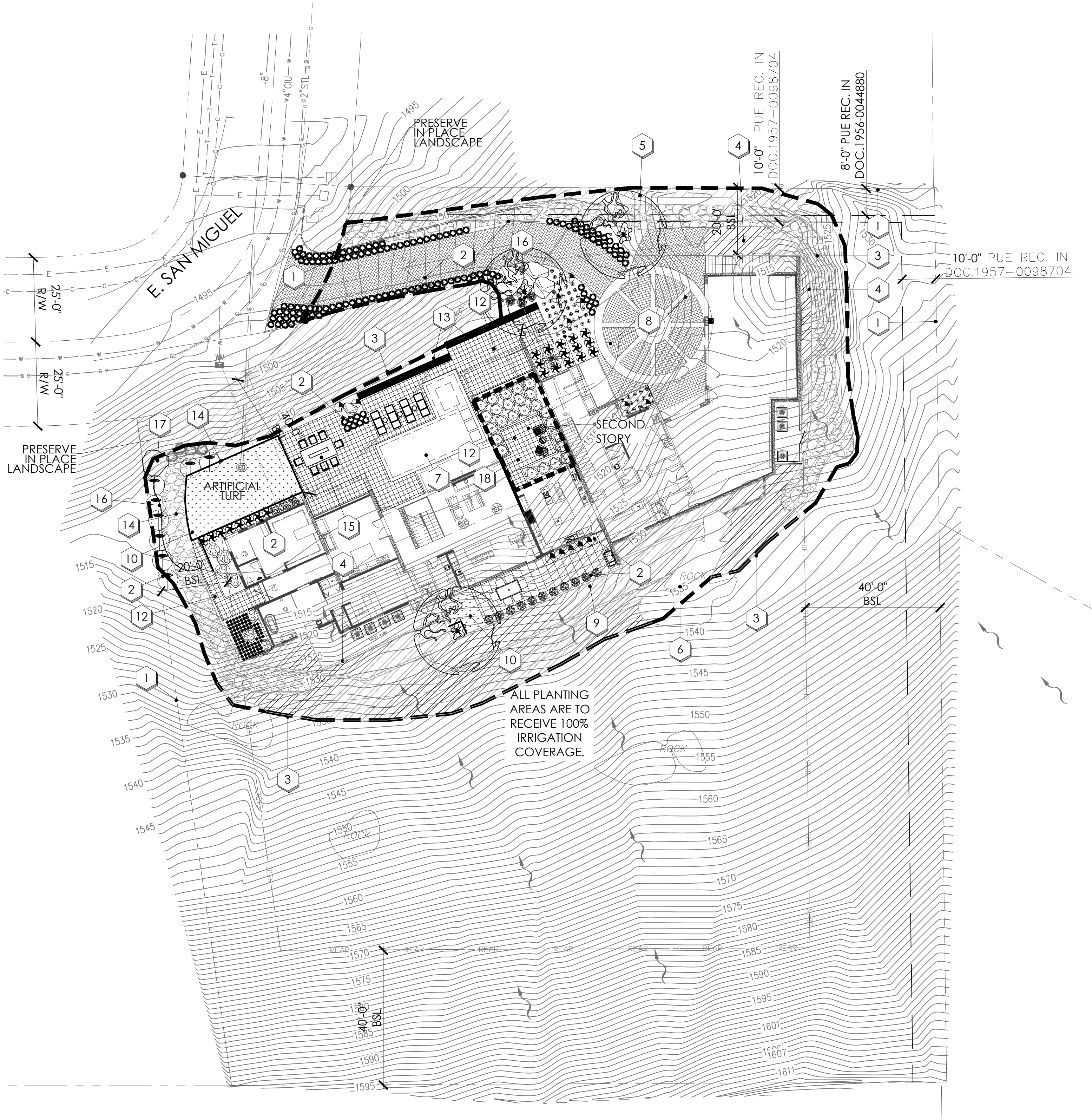
REVISED:

SHEET

L.01

of

L.07



planting key notes

- 1

PROPERTY LINE / RIGHT OF WAY LINE
- 2

DECOMPOSED GRANITE IN ALL PLANTING AREAS
- 3

LIMITS OF DISTURBANCE.
- 4

WILD SEED; SEE LEGEND FOR DETAILS
- 5

EXISTING TRANSFORMER LOCATION. MAINTAIN 3' ACCESS & CLEARANCE AROUND ALL EDGES. ALLOW FOR 12' CLEAR OPERATIONAL AREA IMMEDIATELY IN FRONT OF TRANSFORMER.
- 6

SOLID ROCK OUTCROPPING
- 7

SWIMMING POOL BY OTHERS. SEE SECTION CONCEPT DETAIL "D" ON SHEET L.03
- 8

BELGARD PAVER DRIVE COURT "GRAPHITE BLEND" LIGHT REFLECTIVE VALUE LESS THAN 36%
- 9

WILD SEED LIMITS; SEE LEGEND FOR DETAILS
- 10

EASYTURF ARTIFICIAL TURF NUTMEG LUSH (GF-LIT-R-ON)
- 11

802 S.F. OF EXPOSED AGGREGATE ON NORTH PATIO
- 12

ARTISTIC PAVER PATIO "SILVER SAM" LIGHT REFLECTIVE VALUE LESS THAN 36%
- 13

146 S.F. POURED IN PLACE CONCRETE SEATWALL SEE DETAIL 'A' SHEET L.03
- 14

STEEL HEADER SEE DETAIL "E", SHEET L.03
- 15

POURED IN PACE CONCRETE FIRE CHANNEL SEE DETAIL 'B' SHEET L.03
- 16

5'-0" HEIGHT MEANDERING "STICKS IN THE DESERT" WROUGHT IRON FENCE. SEE ARCH. PLANS. SEE DETAIL 'F' SHEET L.03
- 17

INSTALL NEW LARGE BOULDER FOR POOL FENCE.
- 18

2ND STORY GREEN ROOF. SEE ARCHITECT'S PLAN.

wild seed - sonoran desert upland reveg. mix 1lbs. /2000 s.f.

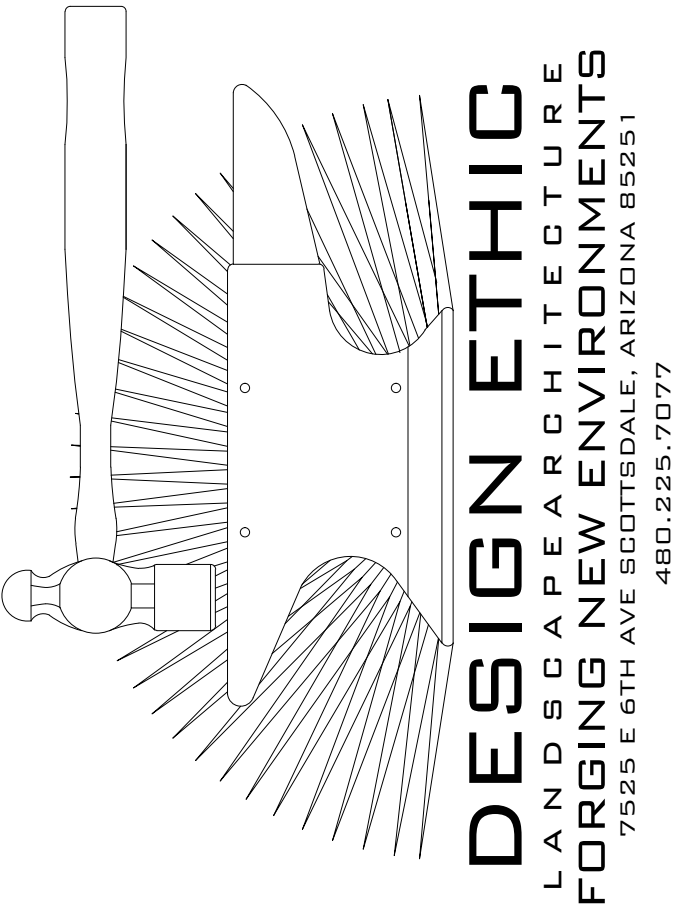
SYMBOL	BOTANICAL NAME	COMMON NAME
	ENCELIA FARINOSA AMBROSIA DELTOIDES ARTIPLEX POLYCARPA ARTIPLEX LENTIFORMIS SENNA COVESII LARREA TRIDENTATA SIMMONDSIA CHINENSIS ARISTIDA PURPUREA PLANTAGO PURSHII SPOROBOLUS DRYPTANDRUS	BRITTLEBUSH TRIANGLE LEAF BURSAGE SALT BUSH QUAIL BRUSH DESERT SENNA CREOSOTE BUSH JO JOBA PURPLE THREEAWN INDIAN WHEAT SAND DROPSEED

wild seed - sonoran desert grass mix 1lbs. /2000 s.f.

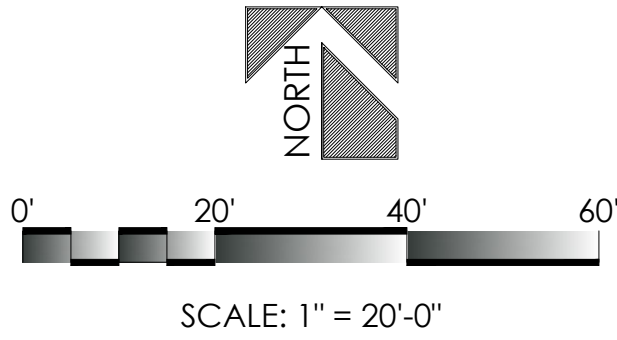
SYMBOL	BOTANICAL NAME	COMMON NAME
	ARISTIDA PURPUREA BOUTELOUA ARISTOIDES BOUTELOUA CURTIPENDULA SPOROBOLUS DRYPTANDRUS ERIONEURON PULCHELLUM	PURPLE THREEAWN NEEDLE GRAMA SIDEOTS GRAMA SAND DROPSEED FLUFF GRASS
REFERENCED MIXES INCLUDES: CONWED FIBER 1200-188 LBS/ACRE SLOW RELEASE FERTILIZER (23-13-0) 300 LBS/ACRE BEST GRADE TACKIFIER 60 LBS./ACRE AREA TO BE SEEDED THOROUGHLY TILLED PRIOR TO APPLICATION OF SLURRY MIX. THIS SEED MIX WILL NOT BE IRRIGATED. APPLICATION OF SEED MIX SHALL NOT COINCIDE WITH PERIODS OF SEASONAL RAIN (JULY-AUGUST OR NOVEMBER - DECEMBER) IN ORDER TO ENCOURAGE GERMINATION.		

plant legend

	botanical name common name	emitters	size	qty	comments
salvaged tree					
trees	PRESERVE IN PLACE TREE SEE INVENTORY SALVAGE PLAN			3	
shrubs	OLNEYA TESOTA DESERT IRONWOOD	(5 @ 1.0 GPH)	48" BOX	3	8.0 H., 6.0 W., 2.0 CAL. STAKE IN PLACE
accents	SIMMONDSIA CHINENSIS JOJOBA	(1 @ 1.0 GPH)	5 GAL.	7	
	AGAVE BOVICORNUTA COW'S HORN AGAVE	(1 @ 1.0 GPH)	15 GAL.	3	
	ALOE BARBADENSIS ALOE VERA	(1 @ 0.5 GPH)	5 GAL.	22	
	ALOE X, BLUE ELF BLUE ELF ALOE	(1 @ 1.0 GPH)	5 GAL.	88	
	ALOE BARBERAE HERCULES ALOE	(1 @ 0.5 GPH)	9-0" TALL 48" BOX	1	
	CARNEGIEA GIGANTEA SAGUARO		4' - 6' TALL SEE PLAN	8	5'-0" MINIMUM HEIGHT
	EUPHORBIA ANTISYPHILITICA CANDELILLA	(1 @ 0.5 GPH)	15 GAL.	137	
	EUPHORBIA TRICUCALLI STICKS OF FIRE	(1 @ 0.5 GPH)	15 GAL.	7	PLANT AT 4' O.C.
	ECHINOCACTUS GRUSONII GOLDEN BARREL	(1 @ 0.5 GPH)	5 GAL.	58	
	MUHLENBERGIA CAPILLARIS REGAL MIST	(1 @ 0.5 GPH)	5 GAL.	5	
	MUHLENBERGIA RIGENS DEER GRASS	(1 @ 0.5 GPH)	5 GAL.	25	
	PACHCREUS MARGINATUS MEXICAN FENCE POST	(1 @ 0.5 GPH)	5'-0" TALL 24" BOX	3	
	PEDILANTHUS MACROCARPUS SLIPPER PLANT	(1 @ 0.5 GPH)	15 GAL.	11	PLANT AT 4' O.C.
inerts					
	WILD SEED - SONORAN DESERT UPLAND REVEG. MIX			3,389 SF	1lbs. / 2000 sf
	TOPDRESSING EXPRESS BROWN			1,875 S.F.	2" MINIMUM IN ALL PLANTERS
	EASYTURF ARTIFICIAL TURF NUTMEG LUSH (GF-LIT-R-ON)			954 SF	
hardscape					
	POURED IN CONCRETE SEATWALL			60 L.F.	LRV LESS THAN 36%
	BELGARD DRIVEWAY PAVER HOLLAND STONE - "GRAPHITE BLEND"		4" X 8" 80 MM	2,667 SF	LRV LESS THAN 36%
	ARTISTIC PAVER PATIO DESERTLOCK COLLECTION - "SILVER SAM"		16" X 16"	2,167 SF	LRV LESS THAN 36%
	SELECT GRANITE BOULDERS PIT RUN ROCK			+/-20	SALVAGED FROM SITE



CALL TWO WORKING DAYS
BEFORE YOU DIG
602-263-1100
1-800-STAKE-IT
(OUTSIDE MARICOPA COUNTY)

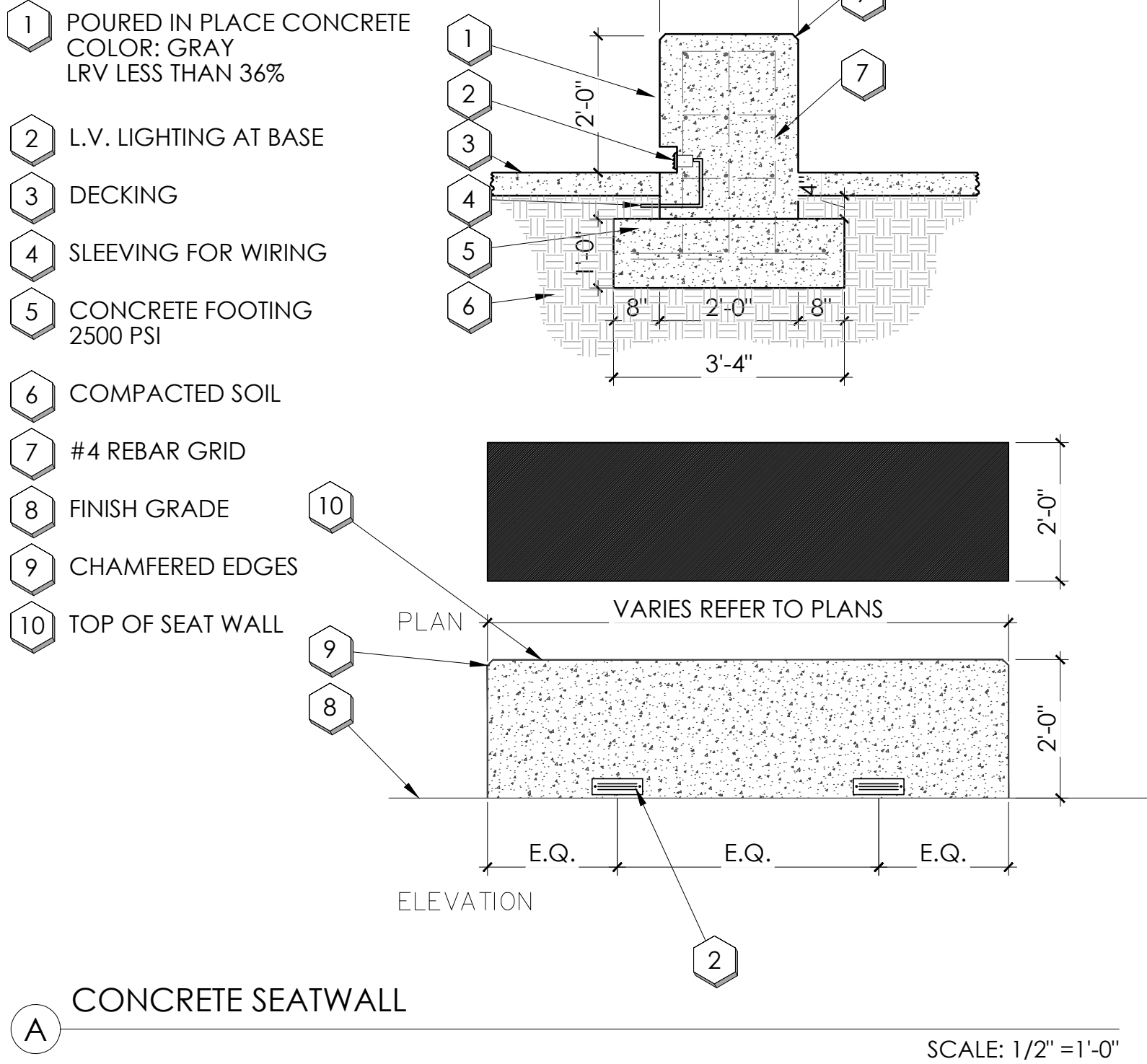


5405 EAST SAN MIGUEL
PARADISE VALLEY, AZ 85253
LANDSCAPE PLAN

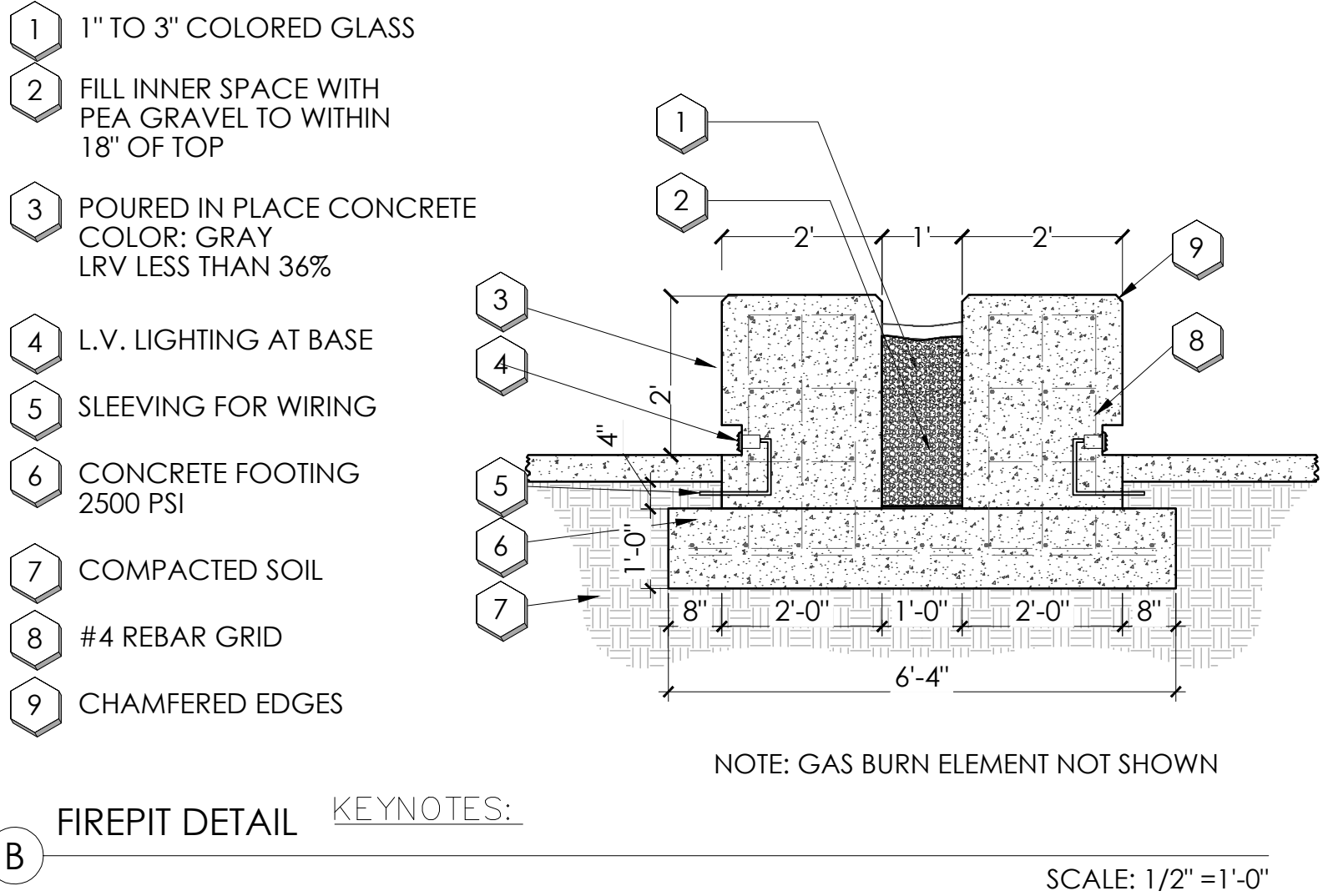
PROJECT:
JOB NO: 20-010
DATE:
DRAWN BY: B. PAUL
SUBMITTED: 08.31.2020
REVISED:

SHEET
L.02 of L.07

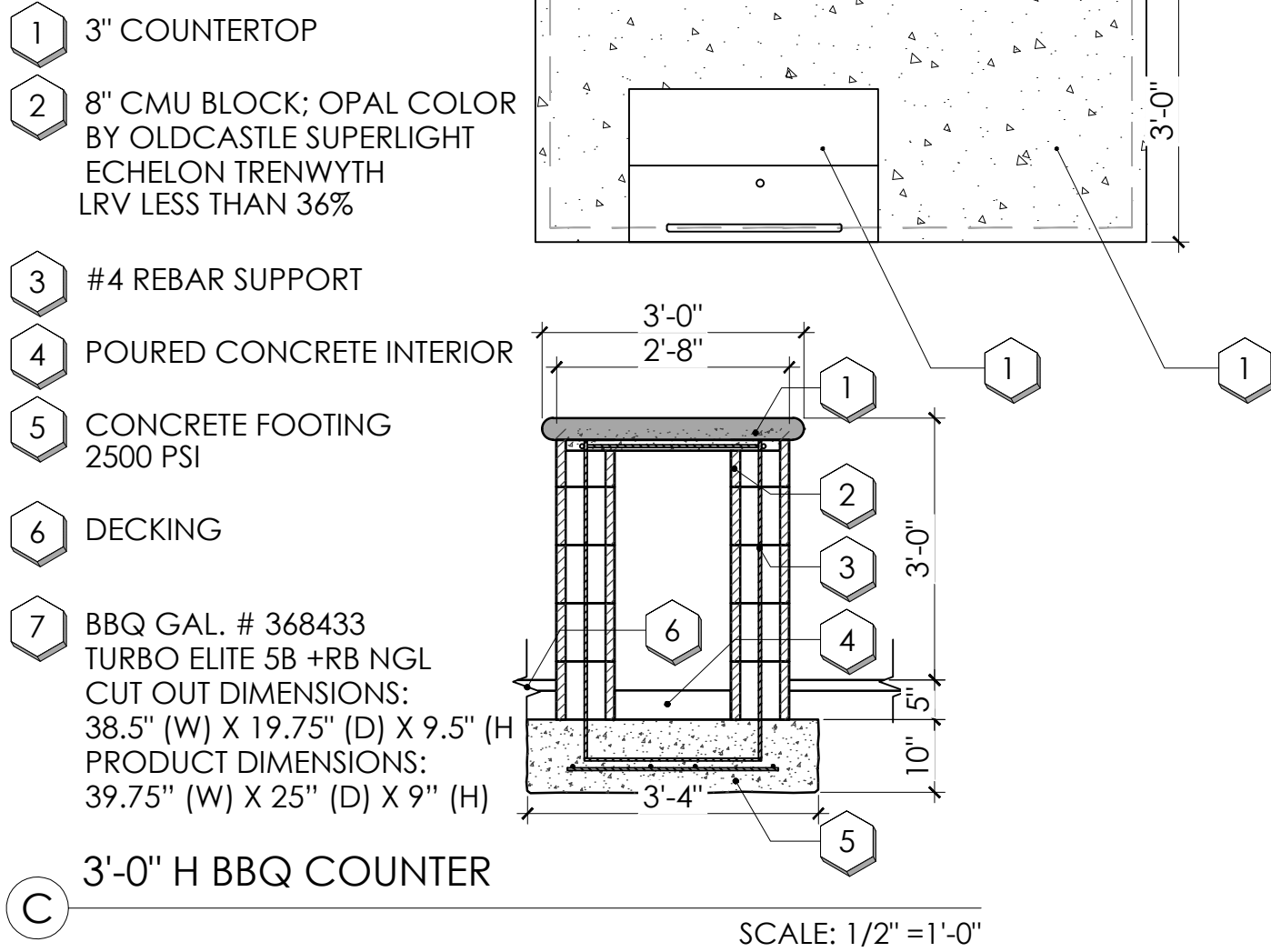
key notes



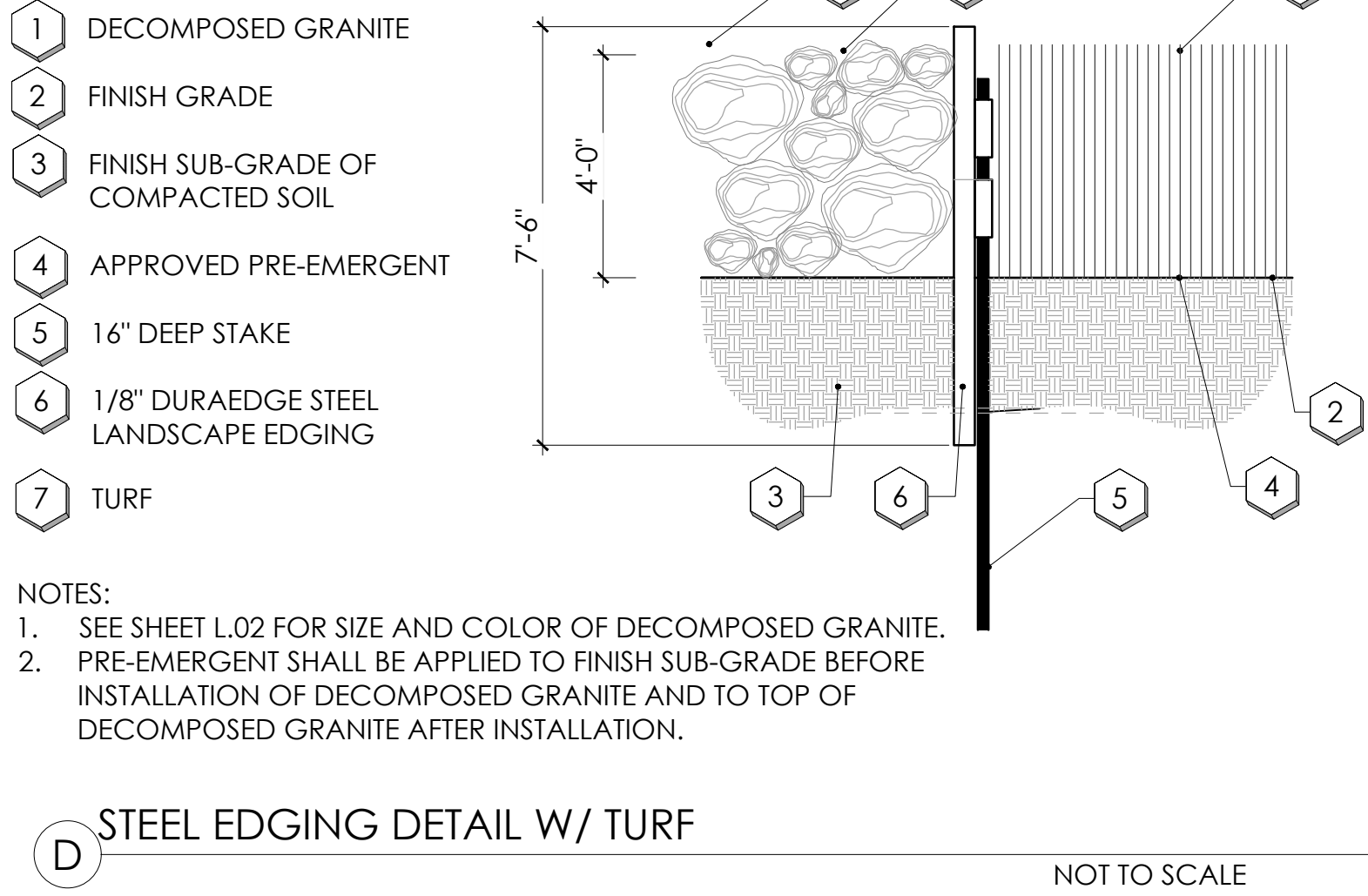
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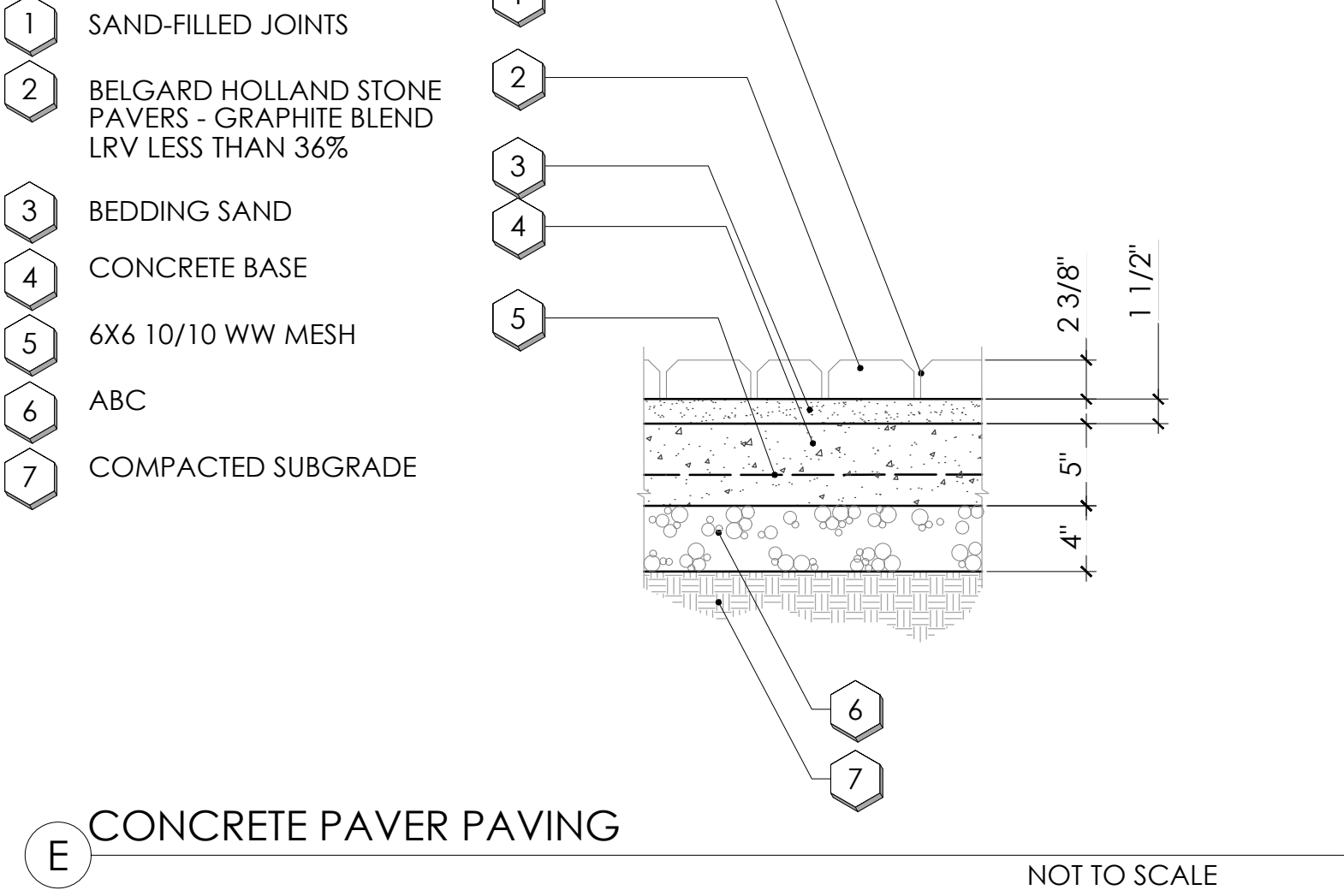
key notes



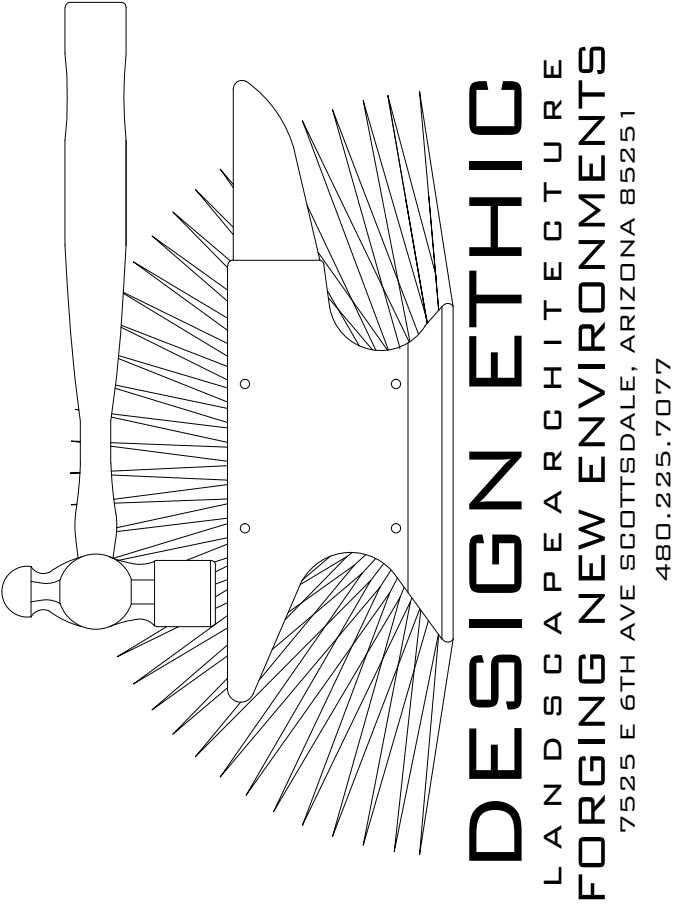
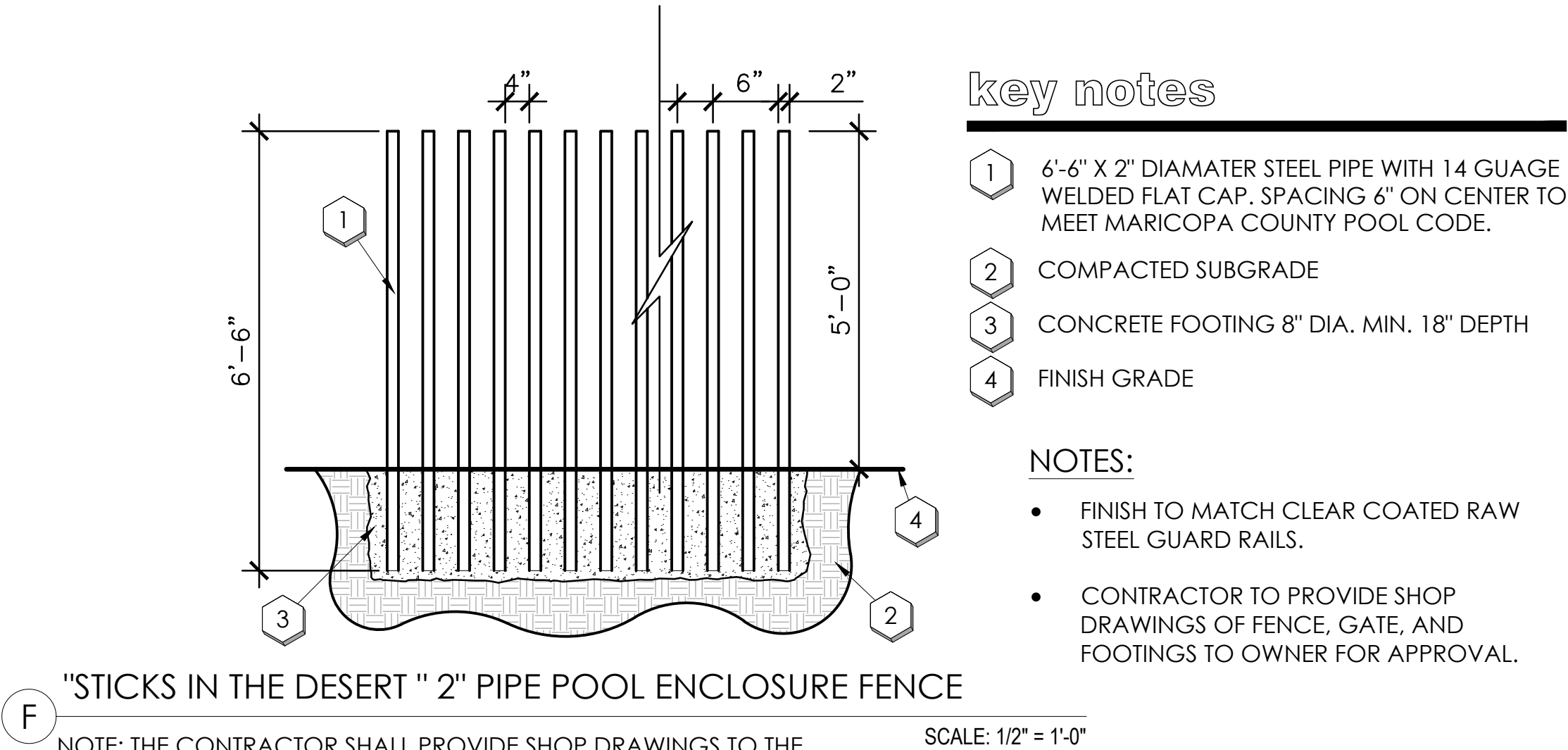
KEYNOTES:



KEYNOTES:



key notes



CALL TWO WORKING DAYS
BEFORE YOU DIG
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1-800-STAKE-IT
(OUTSIDE MARICOPA COUNTY)

5405 EAST SAN MIGUEL
PARADISE VALLEY, AZ 85253
HARDSCAPE DETAILS

PROJECT:
JOB NO: 20-010
DATE:
DRAWN BY: B. PAUL
SUBMITTED: 08.31.2020
REVISED:

SHEET
L.03 of L.07

FXLuminaire.

LED Wall Lights



PROJECT _____

CATALOG# _____

TYPE _____

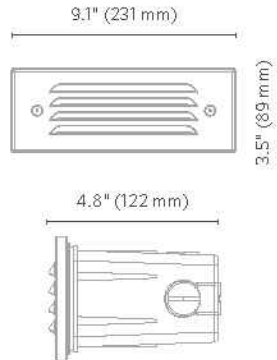
NOTES _____

LM Wall Light DESIGNER PREMIUM

Utilitarian recessed wall light in 2 LED. Available in copper.

Quick Facts

- Stamped copper construction
- Natural, powder coated, or antiqued copper finish
- Cree® integrated LEDs
- Tamper-resistant features
- Color temperature filters
- Compatible with Luxor® technology
- Phase and PWM dimmable
- Input voltage: 10-15V



LANDSCAPE LIGHTING

LM Wall Light SPECIFICATIONS

Output	2LED
Total Lumens*	14
Input Voltage	10 to 15V
Input Power (W)	4.2
VA	4.5
Efficacy (Lumens/Watt)	4
Color Rendering Index (CRI)	80+
Center Beam Candpower	9
Dimming	PWM, Phase**
RGBW Available	No
Luxor Compatibility	
Default	Zoning
ZD Option	Zoning/Dimming
Minimum Rated Life (L70)	50,000 Hrs
BUG Rating	B0-UH-G0

* Measured using the 3,900K CCT lens. Multipliers for other CCTs include 0.80 (2,700K), 0.65 (4,500K), and 0.65 (5,200K).
** For optimal performance, use a trailing-edge, phase-cut dimmer.

FX Luminaire
FX Luminaire is an industry-leading manufacturer of landscape and architectural lighting products with a focus on the advancement of LED technology and digital lighting control with zoning, dimming, and color adjustment capabilities. We offer a full spectrum of specification-driven lighting fixtures that can be utilized to create elegant, cutting-edge landscape lighting systems for commercial or residential applications. Our products are available exclusively via our extensive professional distributor network.

Materials
Stamped C110 copper faceplate, A380 aluminum housing, FBT construction box/sleeve, and stainless steel hardware.

Socket
Socket contains MoistureBlock™ technology, preventing moisture from wicking up into sealed areas of the fixture.

Lamp
Integrated module with Cree LEDs. Gold-plated connectors and conformal coated for maximum reliability and corrosion resistance. Proprietary on-board intelligent driver uses firmware-controlled temperature regulation, maximizing LED life. Field upgradeable and replaceable, the LEDs are rated to 50,000 hrs. Maximum drive current: 1 A.

Wiring
18 AWG (1 mm); SPT-1W; 220°F (105°C); 300V; 10' (3 m) length.

Power
Input 10-15 VAC/VDC, 50/60 Hz. Remote transformer required (specify separately).

Housing
Die-cast aluminum housing with capacity for two 1LED integrated LEDs.

Faceplate
Stamped C110 copper with frosted polycarbonate lens.

Optics
Polycarbonate color temperature adjustment lenses included with fixture: 2,700K (pre-installed), 3,900K (no lens), 4,500K and 5,200K options specified separately. Color temperature lenses are field serviceable.

Construction Sleeve
Vertical and horizontal 1/2" (13 mm) NPT knockouts. Sleeve protector included, preventing caving during wall fabrication.

Lens
Polycarbonate lens with shock resistance and high tolerance for thermal expansion and stress.

Finish
Options of natural copper finish, antiqued finish with brushed (Antique Bronze) or tumbled (Antique Tumbled) effect, or TGIC powder coat finish. Antique finishes sealed with a clear TGIC powder coat layer.

Hardware
Tamper-resistant stainless steel fasteners included.

Ambient Operating Temperature
0°F to 140°F (-18°C to 60°C)

Weight
3.6 lbs. (1.6 kg)

IES Classification
Type IV

International Compliance
Compliant per IEC 60598-1 and IEC 60598-2-7 when used with International Wall Kit ("EKIT WALL").

Control
ZD option utilizes Luxor technology to zone light fixtures in up to 250 groups, dim each group in 1% increments between 0 and 100%.

Sustainability
Innovation meets conservation in the design and manufacturing of our products. Where we can, we use recycled materials while maintaining superior functionality. Our LED products provide high-quality light at optimal energy efficiency, lifespan, and durability.

Installation Requirements
Designed for recessed installation in a vertical wall in the down lighting position only.

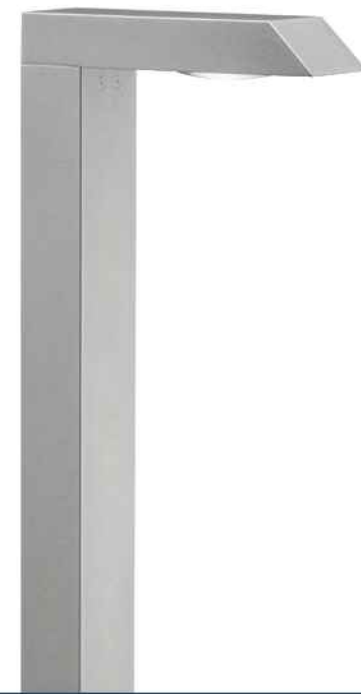
Manufacturing
900F/201S ISO certified facility

Warranty
10-year limited warranty



FXLuminaire.

LED Path Lights



PROJECT _____

CATALOG# _____

TYPE _____

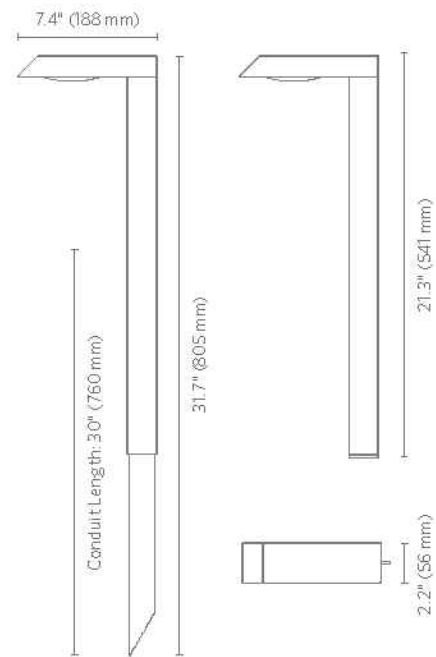
NOTES _____

M-PL Path Light DESIGNER PLUS

The ultra-modern M-PL path light combines the versatility of die-cast aluminum with minimalist aesthetics to complement a range of contemporary installations.

Quick Facts

- Die-cast aluminum
- Two-layer marine-grade anodization and powder coat finish
- Cree® integrated LEDs
- Color temperature filters
- Compatible with Luxor® technology
- Phase and PWM dimmable
- Input voltage: 10-15V



LANDSCAPE LIGHTING

M-PL Path Light SPECIFICATIONS

Lamp	1LED
Halogen Lumen Output Equivalent	20W
Minimum Rated Life (L70)	50,000 hrs avg
Input Voltage	10 to 15V
VA Total (Use this number to size the transformer)	2.4
Watts Used	2.0
Lumens per Watt (Efficacy)	36
Max Lumens	73
CRI (Ra)	80+
Center Beam Candpower (CBCP)	85
Dimming	PWM, Phase**
RGBW Available	No
Luxor Compatibility	
Default	Zoning
ZD Option	Zoning/Dimming
ZDC Option	N/A
Minimum Rated Life (L70)	50,000 Hrs
CCT	
Amber Filter	2,700K
Frosted Filter	3,900K

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Materials
Die-cast aluminum A380 housing and extruded inner with stainless steel hardware.

Power
Input 10-15 VAC/VDC, 50/60 Hz. Remote transformer required (specify separately).

Lamp
Integrated module with Cree LEDs. Gold-plated connectors and conformal coated for maximum reliability and corrosion resistance. Proprietary on-board intelligent driver uses firmware-controlled temperature regulation, maximizing LED life. Field upgradeable and replaceable, the LEDs are rated to 50,000 hrs. Maximum drive current: 1 A.

Wiring
18 AWG (1 mm); SPT-1W; 220°F (105°C); 300V; 10' (3 m) length.

Housing
Die-cast aluminum housing with capacity for rectangular 1LED integrated LED.

Lens
Frosted polycarbonate lens with high tolerance for thermal expansion, stress, and abuse.

Finish
Two-layer protection of sulfuric acid anodization and polyester TGIC powder coat, providing superior outdoor weathering in all conditions. Tested to ASTM standards.

Weight
3.2 lbs. (1.45 kg)

Manufacturing
ISO 9001:2015 certified facility

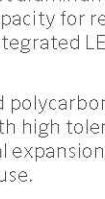
Hardware
Tamper-resistant stainless steel hardware. Ships with 30" (762 mm) length of 1/4" (32 mm) conduit.

Ambient Operating Temperature
0°F to 140°F (-18°C to 60°C)

Installation Requirements
Designed for installation in the downward lighting direction only.

International Compliance
Compliant per IEC 60598-1 and IEC 60598-2-7 by selecting "s" option in parts builder.

Warranty
10-year limited warranty.



FX Luminaire
FX Luminaire is an industry-leading manufacturer of landscape and architectural lighting products with a focus on the advancement of LED technology and digital lighting control with zoning, dimming, and color adjustment capabilities. We offer a full spectrum of specification-driven lighting fixtures that can be utilized to create elegant, cutting-edge landscape lighting systems for commercial or residential applications. Our products are available exclusively via our extensive professional distributor network.

Materials
Die-cast C360 brass or A380 aluminum housing with stainless steel, brass, or copper faceplate (when applicable) and hardware.

Socket
Socket contains MoistureBlock™ technology, preventing moisture from wicking up into sealed areas of the fixture.

Lamp
Integrated module with Cree LEDs. Gold-plated connectors and conformal coated for maximum reliability and corrosion resistance. Proprietary on-board intelligent driver uses firmware-controlled temperature regulation, maximizing LED life. Field upgradeable and replaceable, the LEDs are rated to 50,000 hrs. Maximum drive current: 1 A.

Wiring
18 AWG (1 mm); SPT-1W; 220°F (105°C); 300V; 10' (3 m) length.

Power
Input 10-15 VAC/VDC, 50/60 Hz. Remote transformer required (specify separately).

Housing
Die-cast brass or aluminum housing with capacity for rectangular 1LED integrated LED.

Faceplate
Stamped stainless steel, brass, or copper faceplate.

Lens
Frosted polycarbonate lens with high tolerance for thermal expansion, stress, and abuse.

Finish
Options of natural copper/brass, stainless steel finish, powder coated, or antiqued finish with brushed (Antique Bronze) or tumbled (Antique Tumbled) effect. Antique finishes sealed with a clear TGIC powder coat layer.

Hardware
Stainless steel acorn nuts for tamper-resistance and proper adjustment.

Ambient Operating Temperature
0°F to 140°F (-18°C to 60°C)

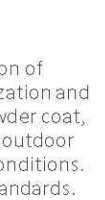
Weight
1.0 lb. (0.5 kg)

Sustainability
Innovation meets conservation in the design and manufacturing of our products. Where we can, we use recycled materials while maintaining superior functionality. Our LED products provide high-quality light at optimal energy efficiency, lifespan, and durability.

Installation Requirements
Designed for installation in the downward lighting direction only.

International Compliance
Compliant per IEC 60598-1 and IEC 60598-2-7 by selecting "s" option in parts builder.

Warranty
10-year limited warranty.



FXLuminaire.

LED Wall Lights



PROJECT _____

CATALOG# _____

TYPE _____

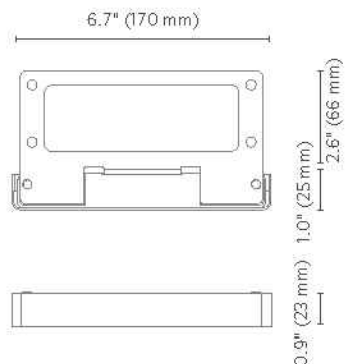
NOTES _____

LF DESIGNER PREMIUM

Under-the-cap hardscape wall light with modular bracket design for easy installation. 1LED. Available in brass, copper, stainless steel, and aluminum.

Quick Facts

- Die-cast brass or aluminum construction
- Stainless steel, brass, or copper faceplate as natural metal, powder coated, or antiqued
- Cree® integrated LEDs
- Tamper-resistant features
- Color temperature filters
- Compatible with Luxor® technology
- Phase and PWM dimmable
- Input voltage: 10-15V



LANDSCAPE LIGHTING

LF Ledge Light SPECIFICATIONS

Output	1LED
Total Lumens*	78
Input Voltage	10 to 15V
Input Power (W)	2.0
VA	2.4
Efficacy (Lumens/Watt)	37
Color Rendering Index (CRI)	80+
Max Candela	51
Dimming	PWM, Phase**
Luxor Compatibility	
Default	Zoning
ZD Option	Zoning/Dimming
ZDC Options	--
Minimum Rated Life (L90 B50)	55,000 Hrs
BUG Rating	B0-UO-G0

* Measured using the 3,900K CCT lens. Multipliers for other CCTs include 0.80 (2,700K), 0.65 (4,500K), and 0.65 (5,200K).
** For optimal performance, use a trailing-edge, phase-cut dimmer.

FX Luminaire
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Materials
Die-cast C360 brass or A380 aluminum housing with stainless steel, brass, or copper faceplate (when applicable) and hardware.

Socket
Socket contains MoistureBlock™ technology, preventing moisture from wicking up into sealed areas of the fixture.

Lamp
Integrated module with Cree LEDs. Gold-plated connectors and conformal coated for maximum reliability and corrosion resistance. Proprietary on-board intelligent driver uses firmware-controlled temperature regulation, maximizing LED life. Field upgradeable and replaceable, the LEDs are rated to 50,000 hrs. Maximum drive current: 1 A.

Wiring
18 AWG (1 mm); SPT-1W; 220°F (105°C); 300V; 10' (3 m) length.

Power
Input 10-15 VAC/VDC, 50/60 Hz. Remote transformer required (specify separately).

Housing
Die-cast brass or aluminum housing with capacity for rectangular 1LED integrated LED.

Faceplate
Stamped stainless steel, brass, or copper faceplate.

Lens
Frosted polycarbonate lens with high tolerance for thermal expansion, stress, and abuse.

Finish
Options of natural copper/brass, stainless steel finish, powder coated, or antiqued finish with brushed (Antique Bronze) or tumbled (Antique Tumbled) effect. Antique finishes sealed with a clear TGIC powder coat layer.

Hardware
Stainless steel acorn nuts for tamper-resistance and proper adjustment.

Ambient Operating Temperature
0°F to 140°F (-18°C to 60°C)

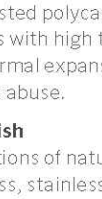
Weight
1.0 lb. (0.5 kg)

Sustainability
Innovation meets conservation in the design and manufacturing of our products. Where we can, we use recycled materials while maintaining superior functionality. Our LED products provide high-quality light at optimal energy efficiency, lifespan, and durability.

Installation Requirements
Designed for installation in the downward lighting direction only.

International Compliance
Compliant per IEC 60598-1 and IEC 60598-2-7 by selecting "s" option in parts builder.

Warranty
10-year limited warranty.



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Materials
Die-cast C360 brass or A380 aluminum housing with stainless steel, brass, or copper faceplate (when applicable) and hardware.

Socket
Socket contains MoistureBlock™ technology, preventing moisture from wicking up into sealed areas of the fixture.

Lamp
Integrated module with Cree LEDs. Gold-plated connectors and conformal coated for maximum reliability and corrosion resistance. Proprietary on-board intelligent driver uses firmware-controlled temperature regulation, maximizing LED life. Field upgradeable and replaceable, the LEDs are rated to 50,000 hrs. Maximum drive current: 1 A.

Wiring
18 AWG (1 mm); SPT-1W; 220°F (105°C); 300V; 10' (3 m) length.

Power
Input 10-15 VAC/VDC, 50/60 Hz. Remote transformer required (specify separately).

Housing
Die-cast brass or aluminum housing with capacity for rectangular 1LED integrated LED.

Faceplate
Stamped stainless steel, brass, or copper faceplate.

Lens
Frosted polycarbonate lens with high tolerance for thermal expansion, stress, and abuse.

Finish
Options of natural copper/brass, stainless steel finish, powder coated, or antiqued finish with brushed (Antique Bronze) or tumbled (Antique Tumbled) effect. Antique finishes sealed with a clear TGIC powder coat layer.

Hardware
Stainless steel acorn nuts for tamper-resistance and proper adjustment.

Ambient Operating Temperature
0°F to 140°F (-18°C to 60°C)

Weight
1.0 lb. (0.5 kg)

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Materials
Die-cast C360 brass or A380 aluminum housing with stainless steel, brass, or copper faceplate (when applicable) and hardware.

Socket
Socket contains MoistureBlock™ technology, preventing moisture from wicking up into sealed areas of the fixture.

Lamp
Integrated module with Cree LEDs. Gold-plated connectors and conformal coated for maximum reliability and corrosion resistance. Proprietary on-board intelligent driver uses firmware-controlled temperature regulation, maximizing LED life. Field upgradeable and replaceable, the LEDs are rated to 50,000 hrs. Maximum drive current: 1 A.

Wiring
18 AWG (1 mm); SPT-1W; 220°F (105°C); 300V; 10' (3 m) length.

Power
Input 10-15 VAC/VDC, 50/60 Hz. Remote transformer required (specify separately).

Housing
Die-cast brass or aluminum housing with capacity for rectangular 1LED integrated LED.

Faceplate
Stamped stainless steel, brass, or copper faceplate.

Lens
Frosted polycarbonate lens with high tolerance for thermal expansion, stress, and abuse.

Finish
Options of natural copper/brass, stainless steel finish, powder coated, or antiqued finish with brushed (Antique Bronze) or tumbled (Antique Tumbled) effect. Antique finishes sealed with a clear TGIC powder coat layer.

Hardware
Stainless steel acorn nuts for tamper-resistance and proper adjustment.

Ambient Operating Temperature
0°F to 140°F (-18°C to 60°C)

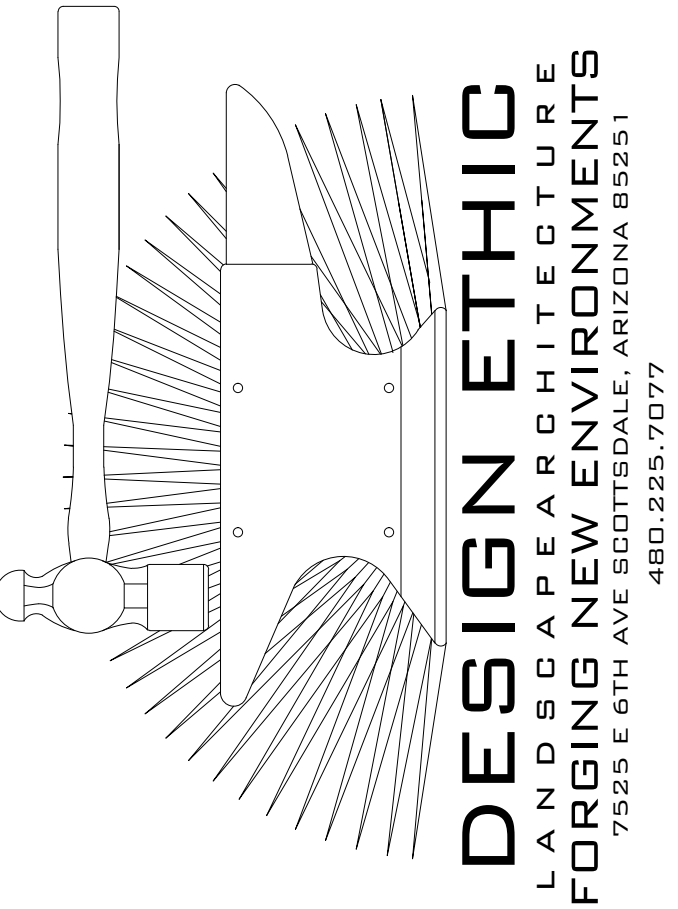
Weight
1.0 lb. (0.5 kg)

Sustainability
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Installation Requirements
Designed for installation in the downward lighting direction only.

International Compliance
Compliant per IEC 60598-1 and IEC 60598-2-7 by selecting "s" option in parts builder.

Warranty
10-year limited warranty.



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LIGHT FIXTURE CUTSHEETS

PROJECT:

JOB NO: 20-010

DATE:

DRAWN BY: B. PAUL

SUBMITTED: 08.31.2020

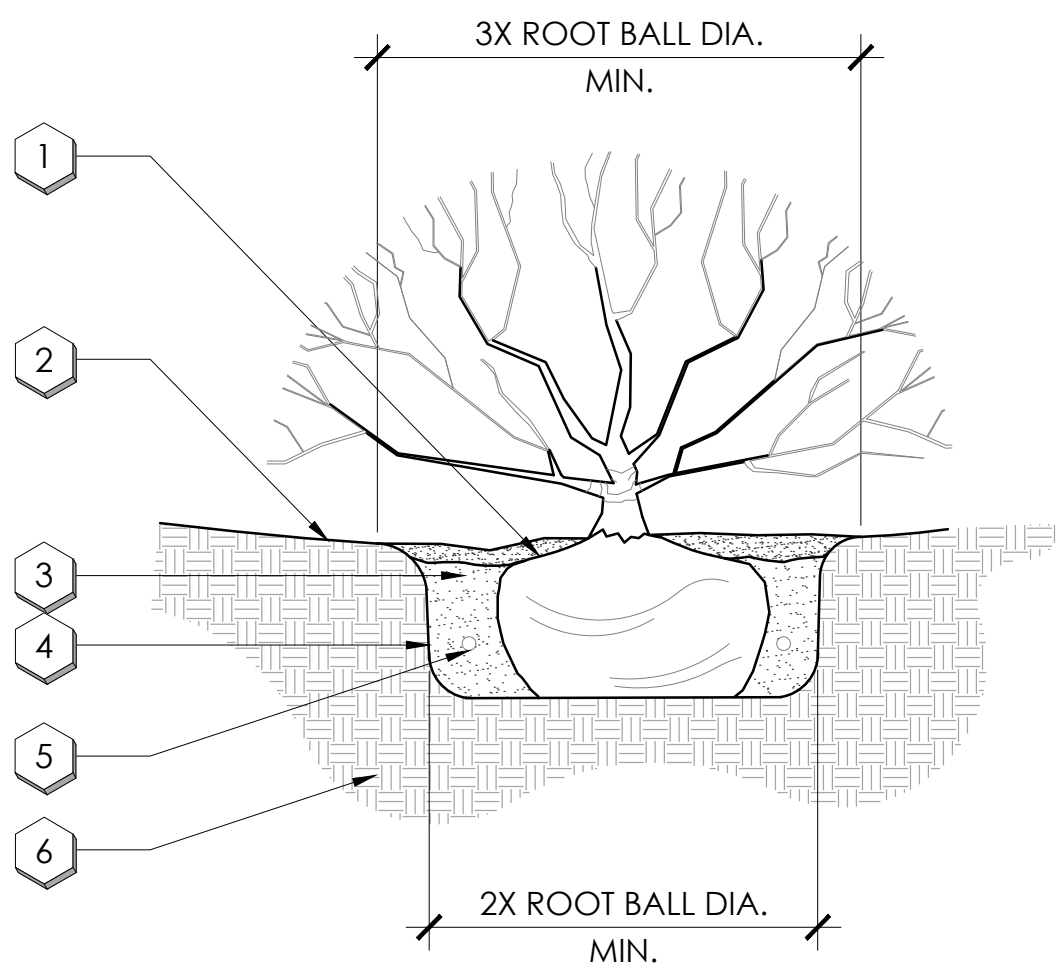
REVISED:

SHEET

L.05 of L.07

KEYNOTES:

- 1 TOP OF ROOT BALL AND WELL TO BE 2" BELOW SAUCER
- 2 FINISH GRADE MULCH PER SPECS.
- 3 BACKFILL W/ SPECIFIED SOIL MIX. WATER & TAMP TO REMOVE AIR POCKETS REFER TO SPECS.
- 4 SCARIFY SIDES OF PLANTING HOLE TO PREVENT GLAZING
- 5 FERTILIZER TABS PER SPECS. PLACE 6" BELOW FINISH GRADE.
- 6 SUBSOIL



A SHRUB PLANTING

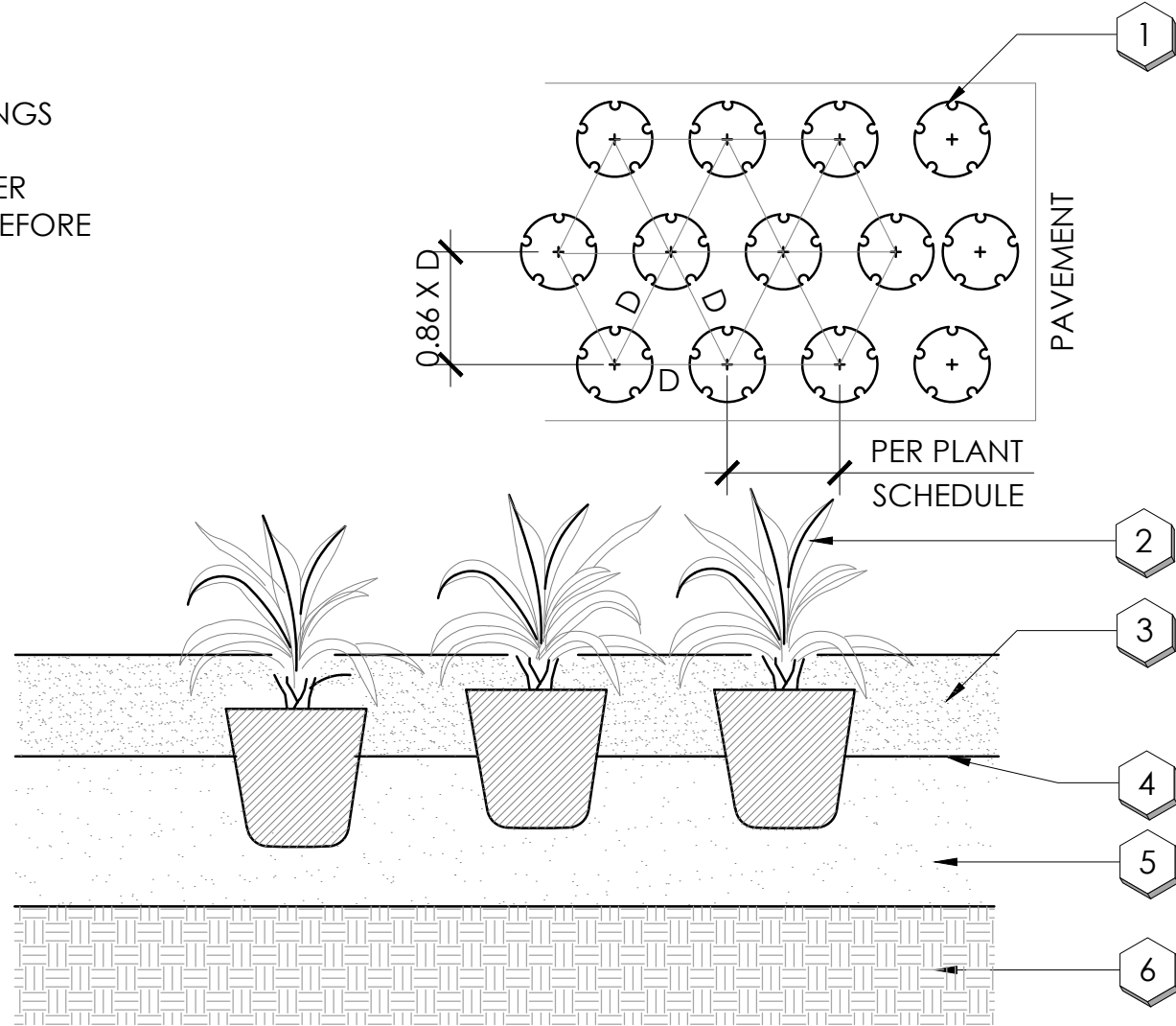
NOT TO SCALE

KEYNOTES:

- 1 ATYPICAL SPACING AT END ROW
- 2 PLANTS / SPACING AS PER DRAWINGS
- 3 MULCH LAYER, DEPTH & TYPE AS PER DRAWINGS AND SPECS; INSTALL BEFORE PLANTING
- 4 FINISH GRADE
- 5 PREPARE BED AS PER DRAWINGS OR SPECS
- 6 UNDISTURBED SUBGRADE

NOTES:

- 1. TILL 2" OF POTTING OR PLANTING SOIL OR APPROVED EQUAL TO A DEPTH OF 6"
- 2. D = ON CENTER DIMENSION

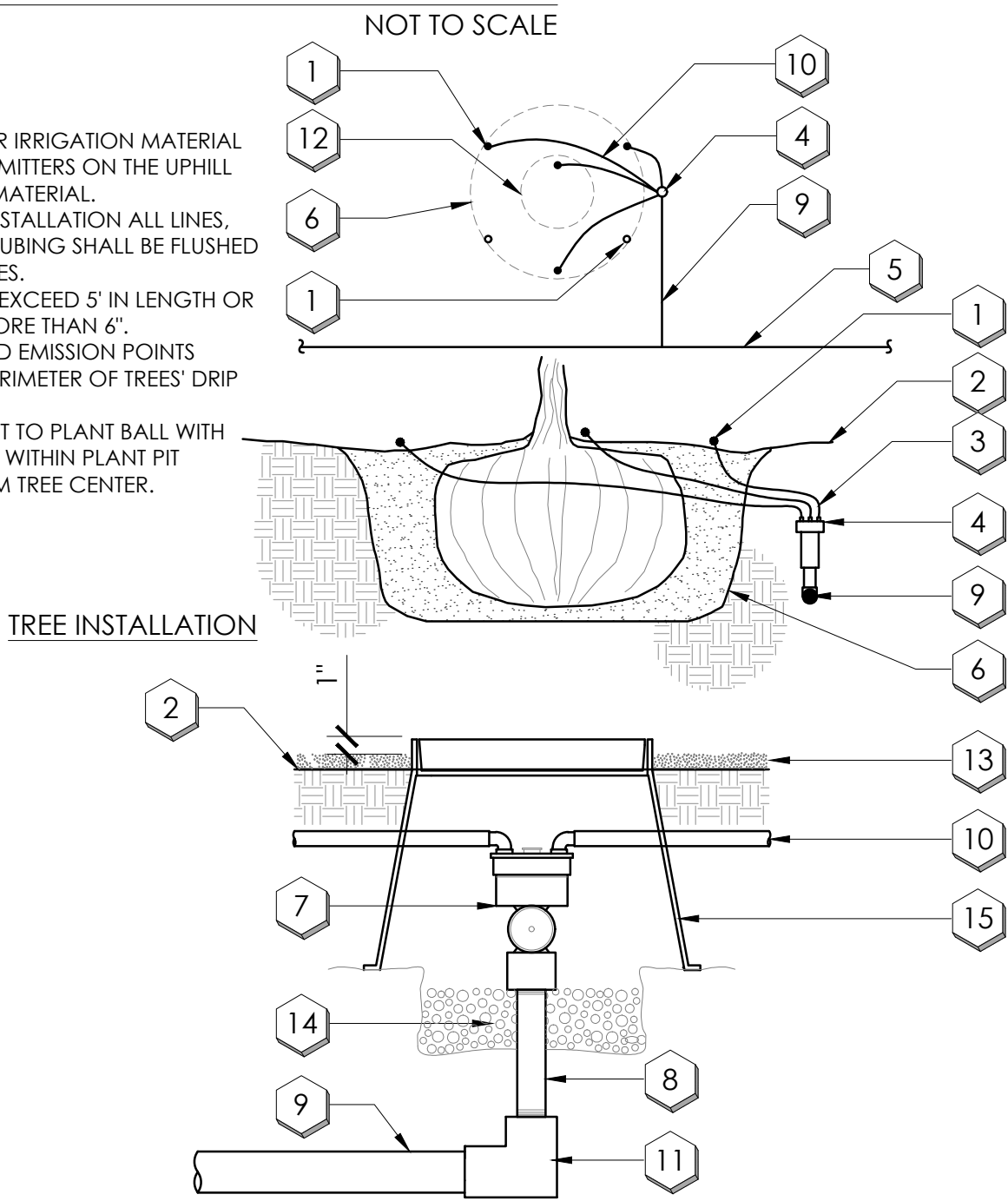


D GROUNDCOVER PLANTING

KEYNOTES:

- 1 EMISSION POINT WITH BUG PLUG
- 2 FINISH GRADE
- 3 MICROTUBING
- 4 DRIP EMITTER
- 5 PVC LATERAL
- 6 PLANT PIT
- 7 MULTI-PORT DRIP EMITTER
- 8 1/2" SCH. 80 PVC NIPPLE
- 9 DISTRIBUTION LATERAL LINE (NOT SHOWN ON PLANS)
- 10 0.160x0.220 MICROTUBING
- 11 5x1 PVC FITTING
- 12 PLANT BALL
- 13 2" DECOMPOSED GRANITE TOP DRESSING
- 14 6" LAYER OF PEA GRAVEL
- 15 EMITTER ACCESS BOX (TAN COLOR)
- 16 FUTURE EMISSION POINT

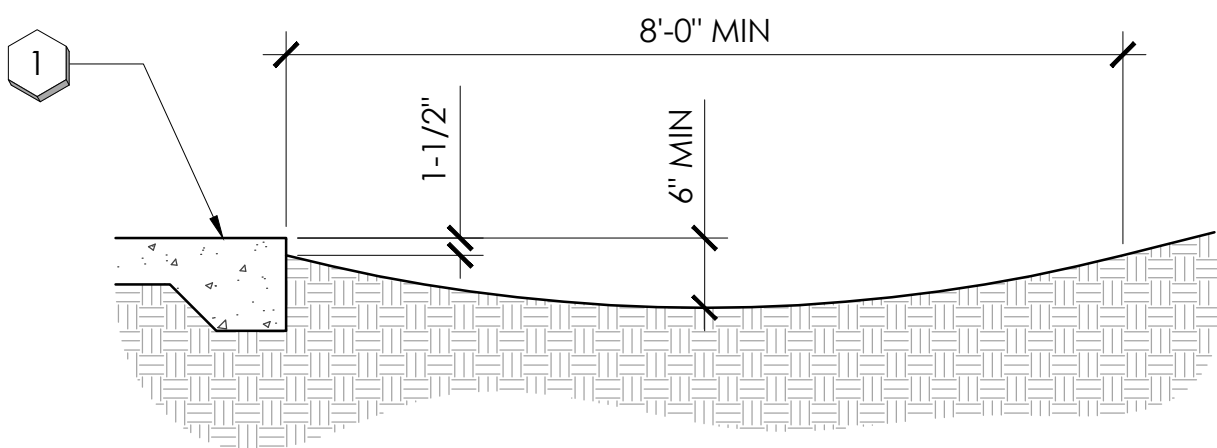
- NOTES:
- 1. INSTALL EMITTERS PER IRRIGATION MATERIAL SCHEDULE. PLACE EMITTERS ON THE UPHILL SIDE OF THE PLANT MATERIAL.
- 2. PRIOR TO EMITTER INSTALLATION ALL LINES, INCLUDING MICROTUBING SHALL BE FLUSHED A MIN. OF 10 MINUTES.
- 3. MICROTUBING NOT EXCEED 5' IN LENGTH OR BE EXPOSED NOT MORE THAN 6".
- 4. SPACE EMITTERS AND EMISSION POINTS EVENLY AROUND PERIMETER OF TREES' DRIP ZONE.
- 5. ONE EMISSION POINT TO PLANT BALL WITH ADDITIONAL POINTS WITHIN PLANT PIT PERIMETER- 12" FROM TREE CENTER.



NOT TO SCALE

KEYNOTES:

- 1 EDGE OF CONCRETE



NOTES:

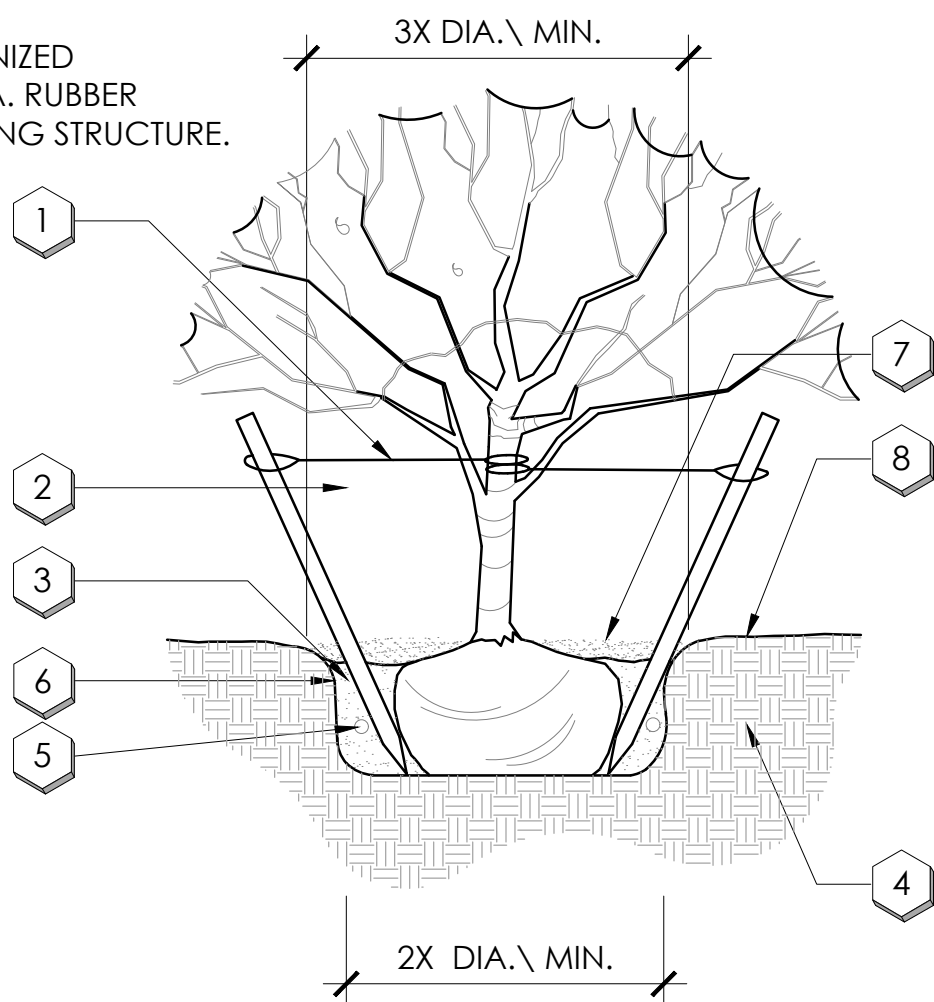
- 1. SWALE ADJACENT TO CONCRETE CURB OR SIDEWALK FOR LANDSCAPE IRRIGATION WATER CONTROL.

B SWALE

NOT TO SCALE

KEYNOTES:

- 1 TREE TIES SHALL BE 12 GAUGE GALVANIZED ZINC COATED WIRE ENCASED N 1" DIA. RUBBER HOSE. INSTALL ABOVE MAIN BRANCHING STRUCTURE.
- 2 (2) LODPOLE (LENGTH AS REQ'D) STAKES AT ANGLE INTO SUBGRADE (18" MIN.) PRIOR TO BACKFILLING TIE TO PRIMARY BRANCHES & AS NECESSARY FOR FIRM SUPPORT.
- 3 BACKFILL W/ SPECIFIED SOIL MIX. WATER & TAMP TO REMOVE AIR POCKETS REFER TO SPECS.
- 4 BREAKUP & LOOSEN SOIL HALF THE DEPTH OF THE ROOTBALL & 5 TIMES THE WIDTH OF THE ROOTBALL
- 5 FERTILIZER TABS PER SPECS. PLACE 6" BELOW FINISH GRADE.
- 6 SCARIFY SIDES OF PLANTING HOLE TO PREVENT GLAZING
- 7 SOIL GRADE
- 8 FINISH GRADE. MULCH PER SPECS.



NOTES:

- 1. 8" HIGH ARBOR GUARD TO BE PLACED AROUND TRUNK OF TREES LOCATED IN TURF AREAS.
- 2. TOP OF ROOT BALL AND WELL TO BE 4" BELOW FINISH GRADE.
- 3. SCORE ROOTBALL. MAKE VERTICAL CUT .25-.5 INCHES DEEP FOUR TIMES AROUND SIDES AND TWICE AROUND BOTTOM
- 4. WIRE SHALL NOT TOUCH OR RUB ADJACENT TRUNKS OR BRANCHES.
- 5. TREE TRUNK GUARDS REQUIRED FOR TREES WITHIN TURF.

E TREE PLANTING

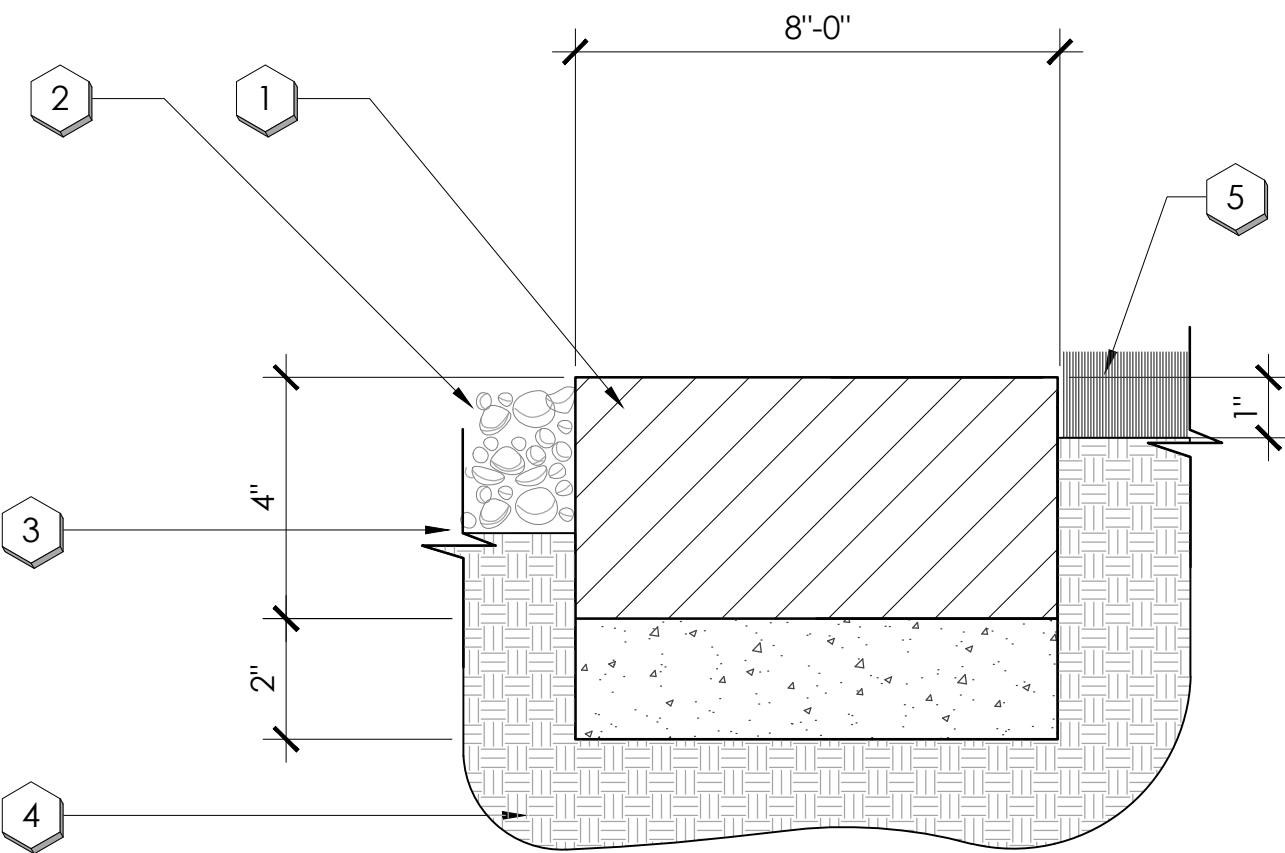
NOT TO SCALE

KEYNOTES:

- 1 8" X 4" PAVER HEADER ON 2" CONCRETE. SLURRY. EDGES TO BE CLEAN AND FLUSH WITH BRICK EDGE FACING.
- 2 FINISH GRADE OF DECOMPOSED GRANITE - DEPTH PER PLANS
- 3 FINISH SUB-GRADE
- 4 COMPACTED SUBGRADE
- 5 TURF

NOTES:

- 1. COMPACT GRADE TO 90% OF MAXIMUM ADJACENT TO EDGING TO AVOID SETTLING.

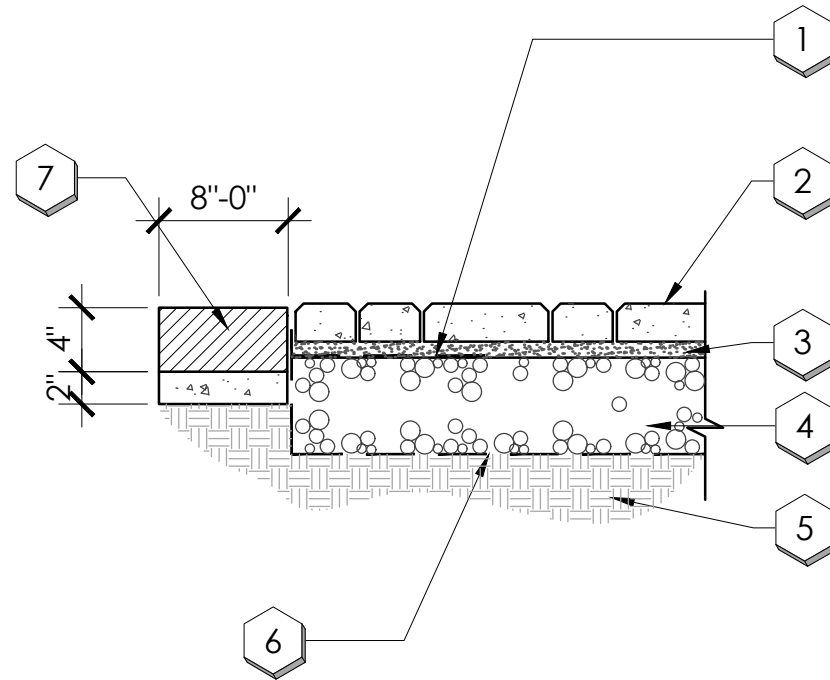


NOT TO SCALE

H 4" X 8" PAVER HEADER ON 2" CONCRETE SLURRY

KEYNOTES:

- 1 12" WIDE GEOTEXTILE ALONG PERIMETER TURN UP AT CURB (DO NOT COVER TOP OF BASE)
- 2 2-3/8" MIN. THICKNESS CONCRETE PAVER MATCH EXISTING STYLE & TYPE ALREADY INSTALLED ON PROPERTY.
- 3 1" TO 1-1/2" BEDDING SAND
- 4 6" MIN. DEPTH COMPACTED AGGREGATE BASE
- 5 COMPACTED SOIL SUBGRADE
- 6 GEOTEXTILE AS REQUIRED TURN UP AT SIDES TO COVER BASE
- 7 8" X 4" PAVER HEADER ON 2" CONCRETE. SLURRY. EDGES TO BE CLEAN AND FLUSH WITH BRICK EDGE FACING.



C BRICK PAVERS W/ PAVER HEADER

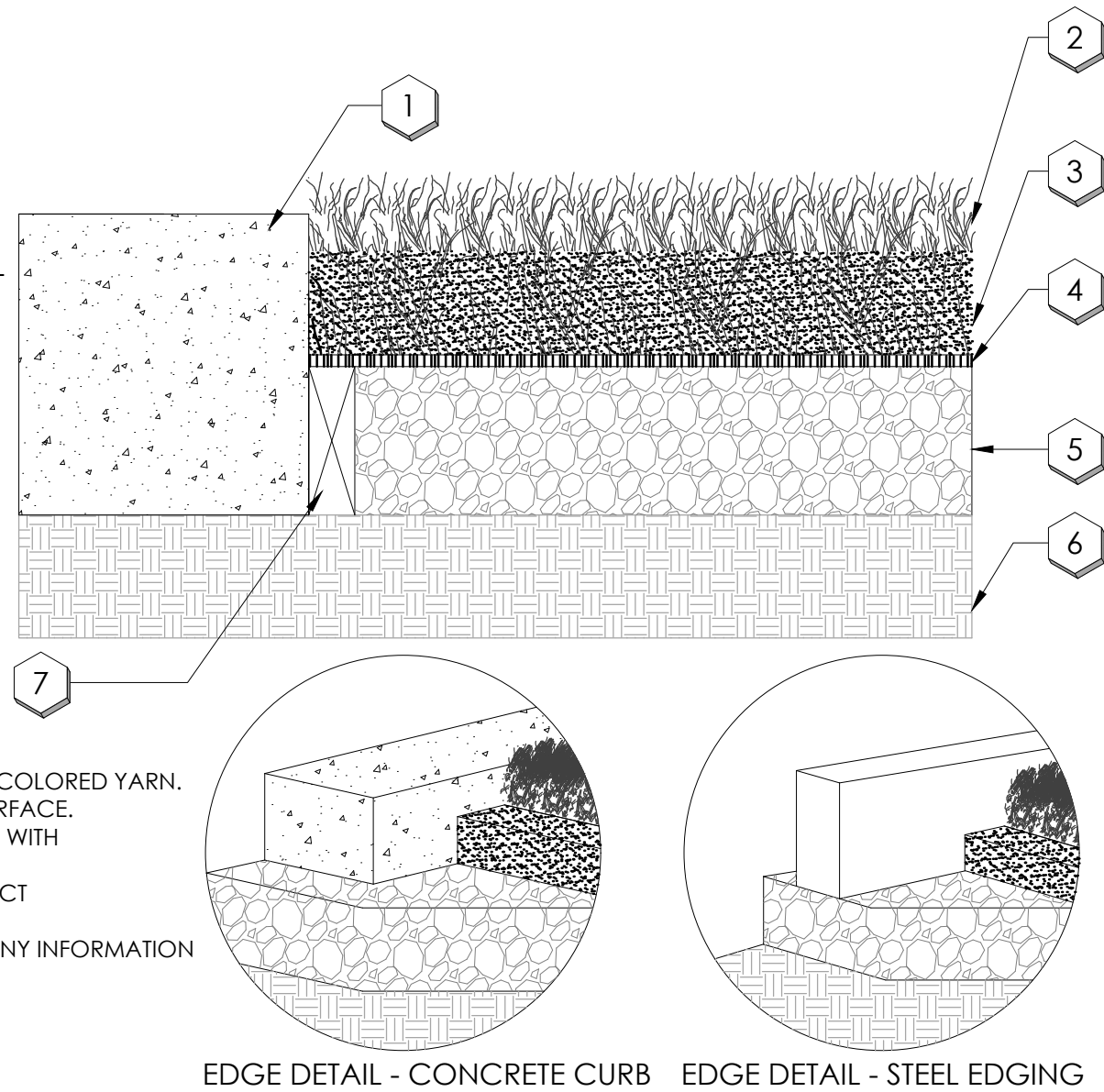
NOT TO SCALE

KEYNOTES:

- 1 4" - 6" CONCRETE CURBING
- 2 1 5/8" FIELDTURF ARTIFICIAL GRASS FIBER (5/8" EXPOSED FIBER)
- 3 WASHED SILICA SAND AND RECYCLED CRYOGENIC RUBBER INFILL
- 4 UltraDRAIN DRAINAGE SYSTEM (WEED BARRIER INTEGRATED INTO SYSTEM)
- 5 2"-4" CRUSHED STONE BASE AT 90% COMPACTION RATE
- 6 NATURAL SOIL SUB-GRADE
- 7 SYNTHETIC NAILER BOARD

NOTES:

- 1. DRAINAGE RATE > 250 INCHES PER HOUR.
- 2. ARTIFICIAL GRASS FIBER AVAILABLE IN FIELD GREEN COLORED YARN.
- 3. ADA COMPLIANT SYNTHETIC GRASS ACCESSIBLE SURFACE.
- 4. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- 5. ALL DIMENSIONS ARE CONSIDERED TRUE AND REFLECT MANUFACTURER'S SPECIFICATIONS.
- 6. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info REFERENCE NUMBER 4124-002.



EDGE DETAIL - CONCRETE CURB EDGE DETAIL - STEEL EDGING

F NUTMEG LUSH (GF-LIT-R-ON)- ARTIFICIAL TURF

NOT TO SCALE

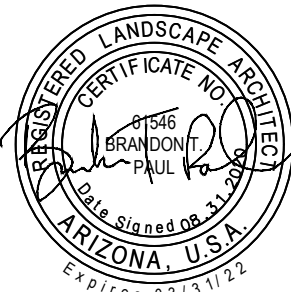
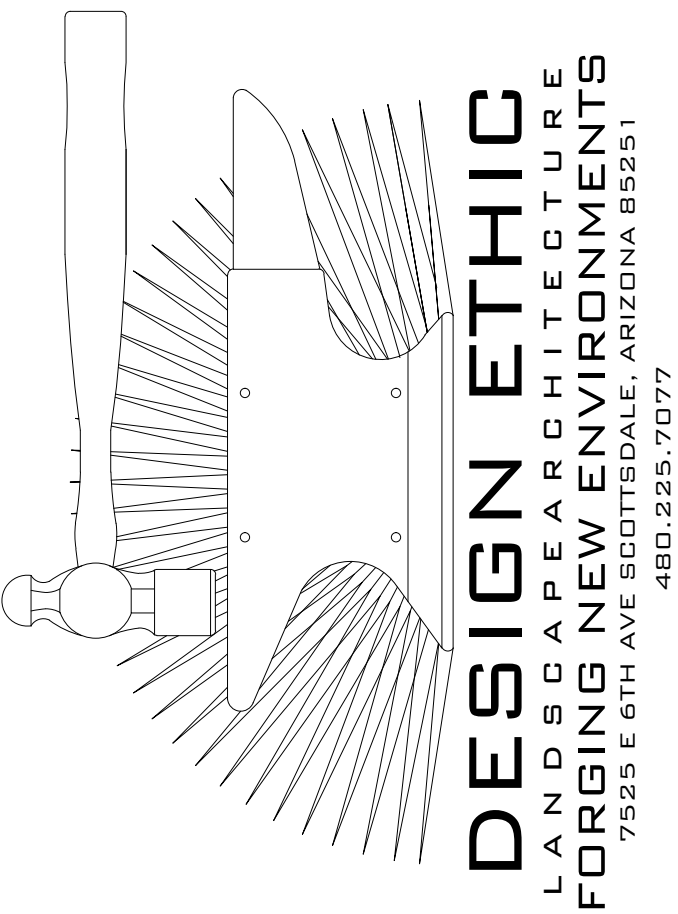
PROPERTY	VALUE	UNITS	DESCRIPTION	ASTM
PILE YARN TYPE	FIELD GREEN / OLIVE GREEN		UV-RESISTANT POLYETHYLENE	N/A
YARN STRUCTURE	10800		RIDGED MONOFILAMENT	N/A
YARN DENIER	NUTMEG / OLIVE GREEN	DENIER		D1577
YARN STRUCTURE	5000		TEXTURED MONOFILAMENT	N/A
YARN DENIER	1,625	DENIER		D1577
PILE HEIGHT	65	INCHES		D5823
PILE WEIGHT	>7	OZ/SQUARE YARD		D5848
PRIMARY BACKING WEIGHT	22	OZ/SQUARE YARD		D5848
SECONDARY BACKING WEIGHT	94	OZ/SQUARE YARD		D5848
TOTAL WEIGHT	3/8 INCH CENTERS	OZ/SQUARE YARD		D5848
STITCH GAUGE	>9	LBS/FORCE		D5793
TUFF BIND	2 TO 3 PER SQUARE FOOT	LBS		D1335
TOTAL INFILL			DUAL LAYER WOVEN POLYPROPYLENE DUAL SYSTEM PERMEABLE POLYURETHANE	N/A

NOTES:

- 1. N.B. VARIATION OF +/- .5% ON PILE HEIGHT IS WITHIN NORMAL MANUFACTURING TOLERANCES
- 2. EASYTURF RESERVES THE RIGHT TO MODIFY TECHNICAL SPECIFICATIONS ON THE ABOVE-MENTIONED PRODUCT.
- 3. DELIVERED PRODUCTS TOLERANCES CAN SLIGHTLY DIFFER FROM THE TECHNICAL DATA.
- 4. EASYTURF GUARANTEES THE TECHNICAL QUALITY OF THE PROPOSED ARTICLE.

I NUTMEG LUSH (GF-LIT-R-ON)- PRODUCT DATA

NOT TO SCALE



CALL TWO WORKING DAYS BEFORE YOU DIG
602-263-1100
1-800-STAKE-IT
(OUTSIDE MARICOPA COUNTY)

5405 EAST SAN MIGUEL
PARADISE VALLEY, AZ 85253
LANDSCAPE & IRRIGATION DETAILS

PROJECT:

JOB NO: 20-010

DATE:

DRAWN BY: B. PAUL
SUBMITTED: 08.31.2020

REVISED:

SHEET

L.06 of L.07

KEYNOTES:

- 1
- TWO CARSON INDUSTRIES # 1324-15 RECTANGULAR VALVE BOXES WITH A 1324 T-COVER. SUPPLY WITH STAINLESS STEEL LOCKING BOLTS
- 2
- "SURESPLICE" WIRE CONNECTOR (1 OF 2)
- 3
- DEDICATED MV WIRE: 1 - 12 AWG COMMON (WHITE) 1 - 14 AWG CONTROL (BLUE) 2 - 12 AWG SPARE (GREEN)
- 4
- NORMALLY CLOSED INTERNALLY PORTED CONTROL VALVE WITH 24 VOLT SOLENOID
- 5
- CLASS 150 - SCH. 80 PVC VAN STONE FLANGED FITTING (TYP.)
- 6
- PVC IRRIGATION MAINLINE PIPE - REFERENCE THE RESTRAINED JOINT REQUIREMENT DETAIL FOR RESTRAINED PVC IRRIGATION MAIPIPE LENGTHS ON UPSTREAM SIDE OF THE MASTER VALVE
- 7
- 3/4" CRUSHED GRAVEL SUMP 2 CU. FT.
- 8
- 4-INCH THICK CONCRETE SUPPORT BLOCK
- 9
- UNDISTURBED SOIL
- 10
- BRICK (1 OF 4)
- 11
- PVC IRRIGATION MAINLINE TO FLOW SENSOR
- 12
- FINISHED GRADE

MASTER VALVE

KEYNOTES:

- 1
- BOLT DOWN LOCKING VALVE BOX
- 2
- FINISH GRADE
- 3
- BALL VALVE WITH FEMALE HOSE THREADS, LINE SIZE
- 4
- 6" LAYER OF PEA GRAVEL
- 5
- LATERAL LINE

LATERAL LINE FLUSH VALVE

KEYNOTES:

- 1
- FINISH GRADE
- 2
- PREFABRICATED SWING JOINT
- 3
- TEE OR ELL AS REQUIRED
- 4
- LATERAL LINE
- 5
- SPRINKLER HEAD PER IRRIGATION MATERIAL SCHEDULE

POP-UP SPRAY HEAD



NOT TO SCALE

KEYNOTES:

- 1
- FINISH GRADE BEYOND PAVEMENT EDGE
- 2
- CURB & GUTTER
- 3
- SLEEVE PIPE- DWV SCH 40 PVC SIZED PER PLANS
- 4
- BEDDING SAND
- 5
- EXTEND SLEEVE ENDS 12" MINIMUM BEYOND ALL HARDSCAPE EDGES
- 6
- SEAL SLEEVE ENDS WITH TAPE AND STAKE END LOCATIONS
- 7
- 2' x 4" x 48" STAKE W/ ORANGE RIBBON (TYP.)

TYPICAL SLEEVING

KEYNOTES:

- 1
- WYE STRAINER AND PRESSURE REGULATOR, PER IRRIGATION MATERIAL SCHEDULE
- 2
- ELECTRIC REMOTE CONTROL VALVE, MODEL AND SIZE PER PLANS.
- 3
- FINISH GRADE
- 4
- PLASTIC VALVE BOX, WITH W/ LOCKING BOLT COVER SIZE AS REQUIRED TO ACCESS ALL EQUIPMENT. SET TOP OF VALVE BOX ABOVE FINISH GRADE 1/2" IN TURF AND 1" DECOMPOSED GRANITE.
- 5
- ISOLATION VALVE, PER IRRIGATION MATERIAL SCHEDULE. INSTALL ONE VALVE PER TAP (TWO REMOTE CONTROL VALVES MAX. PER TAP).
- 6
- SCH. 80 FITTING AS REQUIRED
- 7
- 6" LAYER OF PEA GRAVEL

- NOTES:
1.
- USE DRY-TYPE WATERPROOF CONNECTORS.
2.
- PROVIDE EXPANSION COILS AT EACH WIRE CONNECTION IN VALVE BOX. WRAP WIRE AROUND 1/2" PIPE 15 TIMES.
3.
- MAINTAIN 6" BETWEEN VALVE AND TOP OF BOX.
4.
- EMBOSS COVER WITH 1/2" NUMBERS WHICH CORRESPOND TO VALVE NUMBERS AT IRRIGATION CONTROLLER.

DRIP REMOTE CONTROL VALVE

KEYNOTES:

- 1
- FINISH GRADE
- 2
- BOLT DOWN LOCKING VALVE BOX
- 3
- QUICK-COUPLING VALVE, PER IRRIGATION MATERIAL SCHEDULE
- 4
- 6" LAYER OF PEA GRAVEL
- 5
- LASCO SWING JOINT
- 6
- TEE OR ELL AS REQUIRED
- 7
- 1" X 30" GALVANIZED ANGLE IRON WITH STAINLESS STEEL GEAR CLAMPS OR EQUIVALENT SUPPORT SYSTEM
- 8
- INSTALL VALVE BOX 1" ABOVE FINISHED GRADE
- 9
- 10" x 10 1/4" x 13" VALVE BOX WITH LOCKING T-COVER

- NOTES:
1.
- FURNISH FITTINGS AND PIPING NOMINALLY SIZED IDENTICAL TO NOMINAL QUICK COUPLING VALVE INLET SIZE.

QUICK COUPLING VALVE



NOT TO SCALE

KEYNOTES:

- 1
- 10" x 10 1/4" x 13" VALVE BOX WITH LOCKING T-COVER
- 2
- FINISH GRADE
- 3
- SUBGRADE
- 4
- SCH 40 PVC MAINLINE
- 5
- GEOTEXTILE FABRIC
- 6
- 8" LAYER OF 3/4" CRUSHED AGGREGATE WITH 1" MIN. CLEARANCE TO BOTTOM OF VALVE
- 7
- 2' x 4" x 48" STAKE W/ ORANGE RIBBON (TYP.)
- 8
- SCH 80 PVC 45° ELL (TYPICAL {1 OF 4})
- 9
- BRICK PAVER (TYPICAL {1 OF 4})
- 10
- 10" SCH 80 PVC TOE NIPPLE (TYPICAL {1 OF 2})
- 11
- BRONZE FULL PORT BALL VALVE WITH STAINLESS STEEL HANDLE
- 12
- 2' DECOMPOSED GRANITE TOP DRESSING

- NOTES:
1.
- NOMINAL SIZE OF BALL VALVE TO MATCH NOMINAL MAINLINE SIZE.
2.
- VALVE BOX TO INCLUDE STAINLESS STEEL BOLT AND WASHER.
3.
- EMBOSS COVER WITH "B.V." IN 1-INCH HIGH STENCIL LETTERS USING STYLUS TIP TORCH.
4.
- VALVE BOX SHALL BE PURPLE FOR USE WITH RECLAIMED WATER.

BALL VALVE ASSEMBLY

KEYNOTES:

- 1
- FINISH GRADE
- 2
- BACKFILL, CLEAN AND ROCK FREE
- 3
- DRIP TUBING
- 4
- LATERAL LINE
- 5
- NATIVE SOIL
- 6
- BEDDING PER SPECS
- 7
- MAINLINE PIPE
- 8
- CONTROL VALVE WIRING, TAPED AT 10'-0" INTERVALS
- 9
- TIE A LOOSE 24" LOOP IN ALL WIRING AT CHANGES OF DIRECTION GREATER THAN 30° UNTIE ALL LOOPS AFTER ALL CONNECTIONS HAVE BEEN MADE
- 10
- TRENCH

- NOTES:
1.
- PLACE POTABLE AND RECLAIMED IRRIGATION LINES IN SEPARATE TRENCHES. PLACE ALL PIPE IN LANDSCAPE AREAS WITHIN SPECIFIED CONSTRUCTION LIMITS.
2.
- ALL WIRING TO BE INSTALLED PER LOCAL CODE.
3.
- ALL PLASTIC PIPING TO BE SNAKED IN TRENCHES.
4.
- ALL TRENCHES TO BE THOROUGHLY COMPACTED TO MATCH ADJACENT DENSITIES.
5.
- MAINTAIN 4" MIN. HORIZONTAL CLEARANCE BETWEEN PIPES AND/OR WIRING.

TRENCHING



NOT TO SCALE

TREES			
TEMPERATURE	1ST YEAR	2-5 YEARS	AFTER 5 YEARS
OVER 108 DEGREES	EVERY 2 DAYS	EVERY 10 DAYS	EVERY 3 WEEKS
OVER 100 DEGREES	ONCE A WEEK	EVERY 10 DAYS	GRADUALLY EXTEND INTERVALS TO EVERY 4 WEEKS
90-100 DEGREES	EVERY 10 DAYS	EVERY 2 WEEKS	GRADUALLY EXTEND INTERVALS TO EVERY 6 WEEKS
75-90 DEGREES	EVERY 2 WEEKS	EVERY 3 WEEKS	WATER IF NO RAINFALL FOR 60 DAYS
BELOW 75 DEGREES	EVERY 30 DAYS	EVERY 30 DAYS	WATER IF NO RAINFALL FOR 60 DAYS
SHRUBS			
TEMPERATURE	1ST YEAR	2-5 YEARS	AFTER 5 YEARS
OVER 108 DEGREES	EVERY DAY	EVERY 3 DAYS	EVERY WEEK
OVER 100 DEGREES	ONCE A WEEK	EVERY 10 DAYS	EVERY 2 WEEKS
90-100 DEGREES	EVERY 10 DAYS	EVERY 2 WEEKS	EVERY 3 WEEKS
75-90 DEGREES	EVERY 2 WEEKS	EVERY 3 WEEKS	EVERY 4 - 5 WEEKS
BELOW 75 DEGREES	EVERY 30 DAYS	EVERY 30 DAYS	EVERY 4 - 5 WEEKS

- NOTES:
1.
- SMALL PLANTS IN 1 GALLON CONTAINERS NEED TO BE WATERED TWICE A WEEK
2.
- THE WATERING CHART IS PROVIDED AS A GUIDE ONLY AND MUST BE ADJUSTED FOR SPECIFIC TEMPERATURE AND ENVIRONMENTAL CONDITIONS. IT IS THE OWNER'S RESPONSIBILITY TO MAINTAIN ALL PLANT MATERIALS IN A THRIVING, HEALTHY CONDITIONS.

WATERING SCHEDULE



NOT TO SCALE

PROJECT:

JOB NO: 20-010

DATE:

DRAWN BY: B. PAUL

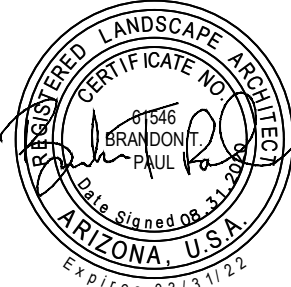
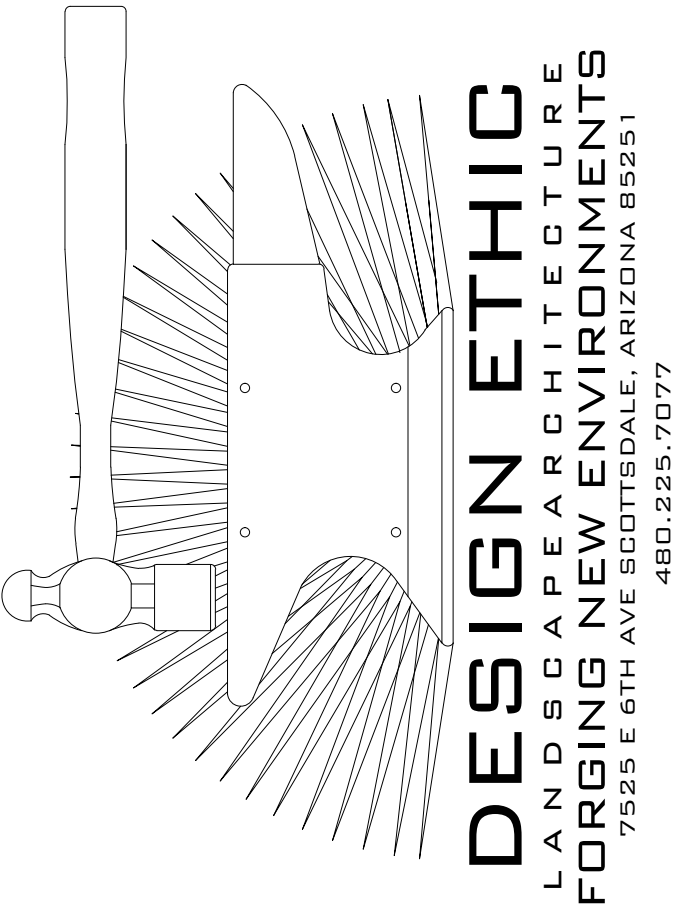
SUBMITTED: 08.31.2020

REVISED:

5405 EAST SAN MIGUEL
PARADISE VALLEY, AZ 85253

SHEET TITLE:

LANDSCAPE & IRRIGATION DETAILS



CALL TWO WORKING DAYS
BEFORE YOU DIG
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1-800-STAKE-IT
(OUTSIDE MARICOPA COUNTY)

SHEET

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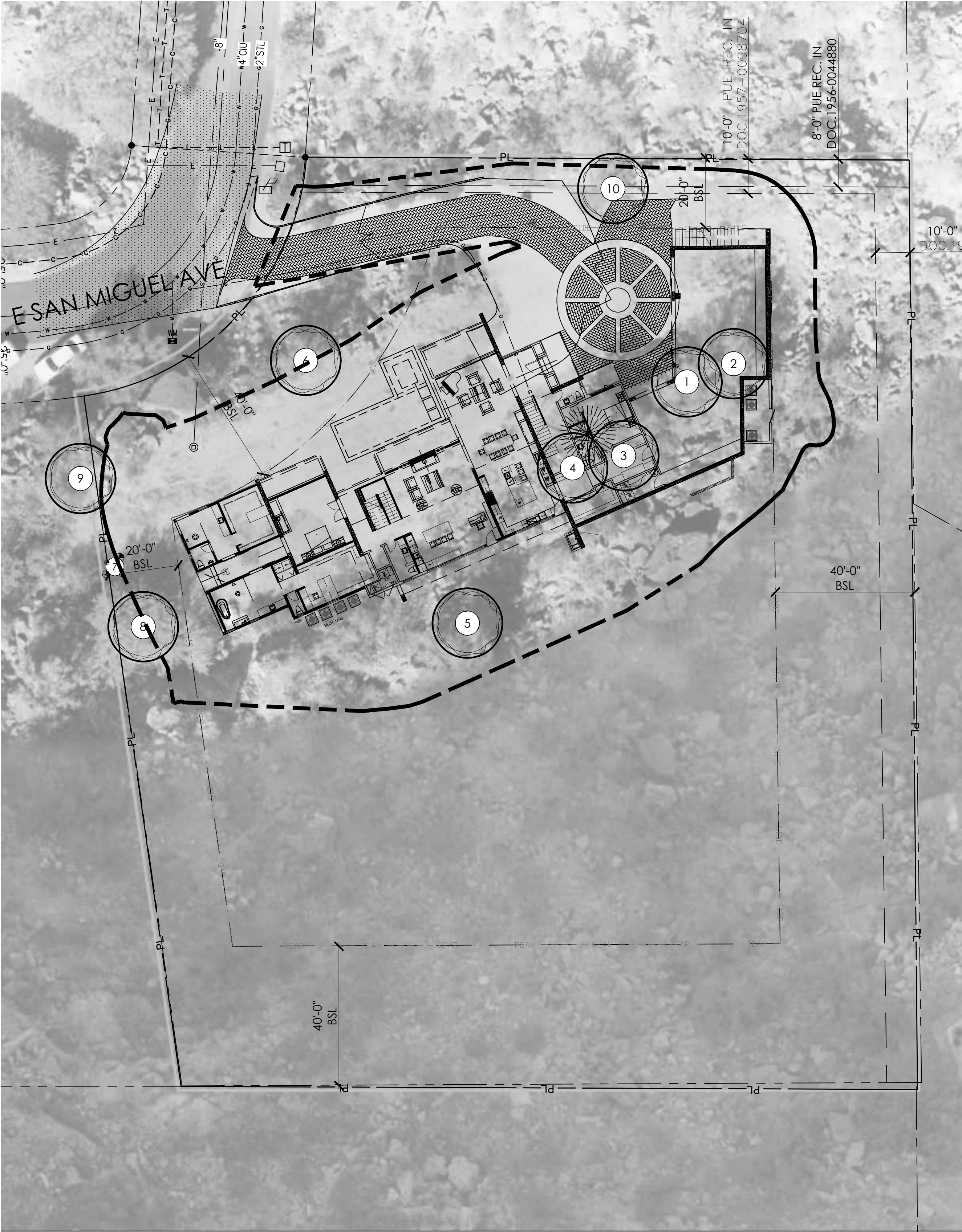
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5405 EAST SAN MIGUEL AVENUE

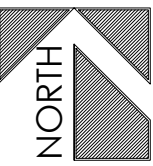
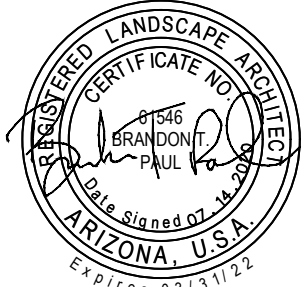
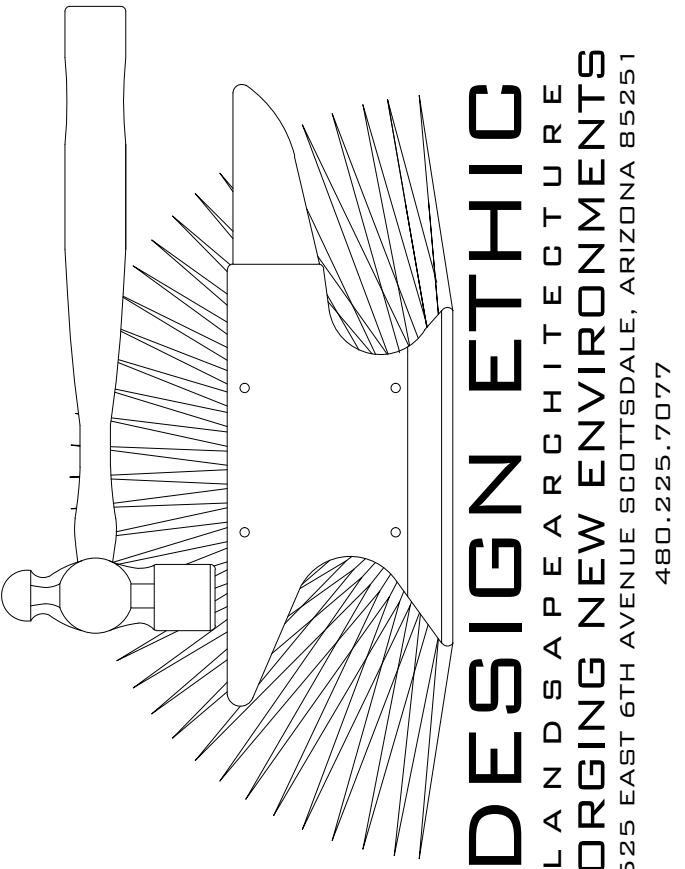
project consultants

landscape architecture:

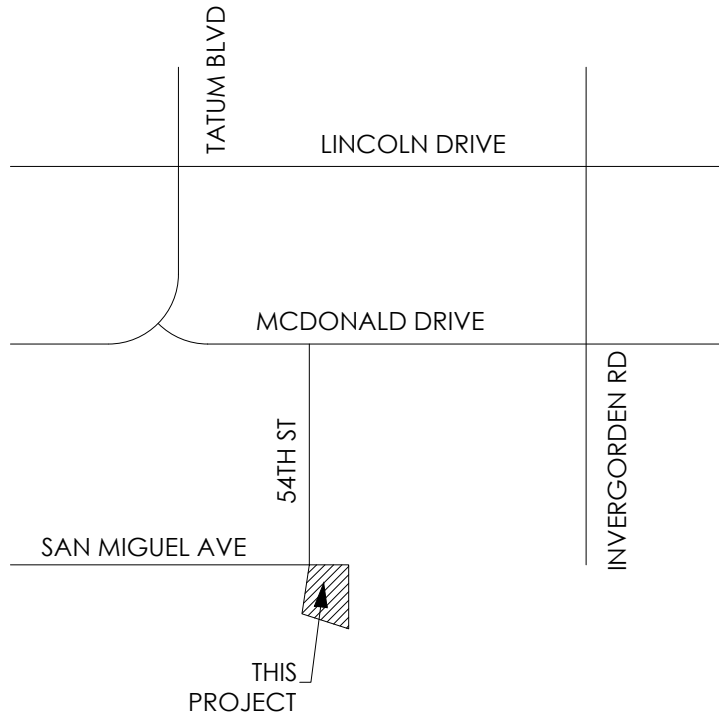
DESIGN ETHIC, LLC
7525 EAST 6TH AVENUE
SCOTTSDALE, ARIZONA 85251
CONTACT: BRANDON PAUL
PHONE: 480.225.7077
EMAIL: bpaul@designethic.net



Plant #	Inventory Designation	Intended Designation	Species	Scientific Name	Caliper (in)	Height (ft)	Comments
1	NS	D	FOOTHILLS PALO VERDE	PARKINSONIA MICROPHYLLUM	12	15	BROKEN CAMBIUM; DIE BACK; ROCKS; ON SLOPE
2	NS	D	FOOTHILLS PALO VERDE	PARKINSONIA MICROPHYLLUM	6	12	BROKEN CAMBIUM; DIE BACK; ROCKS; ON SLOPE
3	NS	D	FOOTHILLS PALO VERDE	PARKINSONIA MICROPHYLLUM	8	18	BROKEN CAMBIUM; DIE BACK; ROCKS; ON SLOPE
4	NS	D	FOOTHILLS PALO VERDE	PARKINSONIA MICROPHYLLUM	6	15	BROKEN CAMBIUM; EXPOSED ROOTS; ROCKS; ON SLOPE
5	NS	D	FOOTHILLS PALO VERDE	PARKINSONIA MICROPHYLLUM	14	20	BROKEN CAMBIUM; EXPOSED ROOTS; ROCKS; ON SLOPE
6	NS	PIP	FOOTHILLS PALO VERDE	PARKINSONIA MICROPHYLLUM	4	12	BROKEN CAMBIUM; ROCKS; ON SLOPE
7	NS	D	DESERT NIGHT BLOOMING CEREUS	PENIOCEREUS GREGGII	X	4	BROKEN ARM
8	NS	PIP	NATIVE MESQUITE	PROSOPIS JULIFLORA	10	25	LEANING; WIDE BASE
9	NS	PIP	FOOTHILLS PALO VERDE	PARKINSONIA MICROPHYLLUM	4	10	BROKEN CAMBIUM
10	NS	D	FOOTHILLS PALO VERDE	PARKINSONIA MICROPHYLLUM	4	12	BROKEN CAMBIUM; ROCKS; ON SLOPE



SCALE: 1" = 20'-0"



vicinity map



not to scale

PROJECT:

STONE CANYON - LOT 41
5405 EAST SAN MIGUEL AVENUE
PARADISE VALLEY, ARIZONA 85253

SHEET TITLE:

NATIVE PLANT INVENTORY

JOB NO:

20-017

DATE:

07.14.2020

DRAWN BY:

B. PAUL

SUBMITTED:

-

REVISED:

SHEET

IS.01 of IS.01



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THE NEW RESIDENCE FOR
TOM & NANCY TURELLI

SET ISSUED:
08.01.2020

MATERIAL BOARD

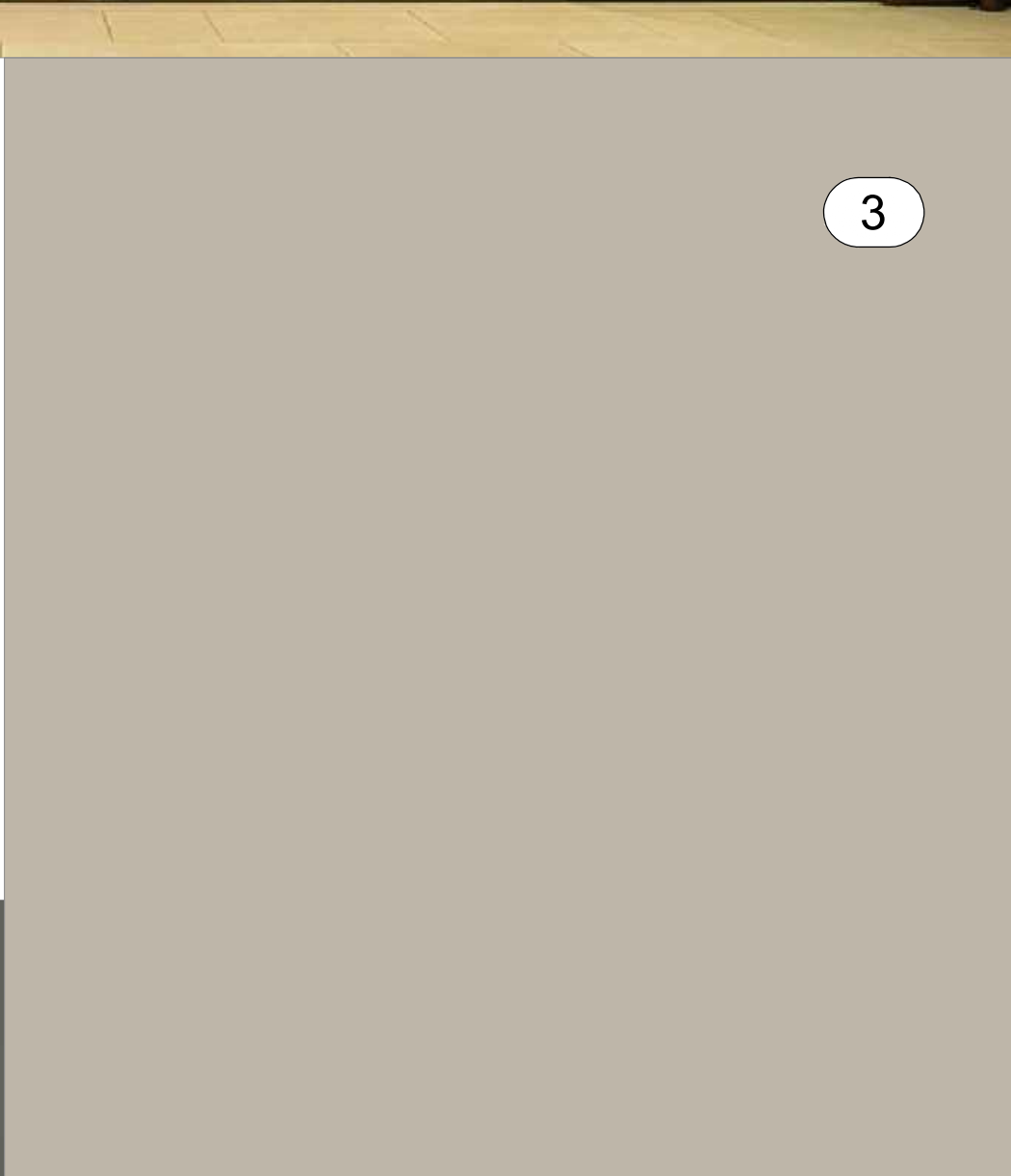
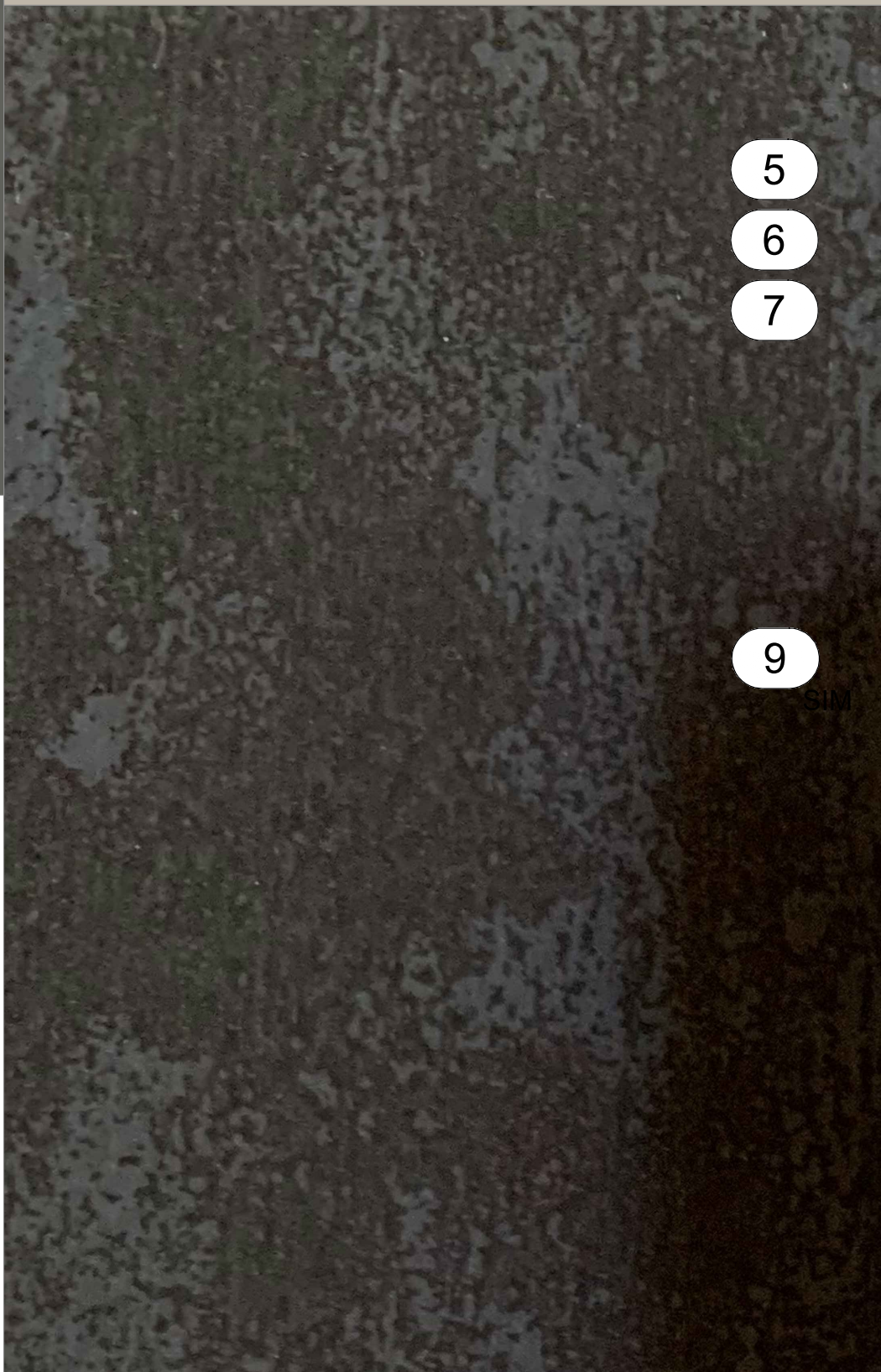
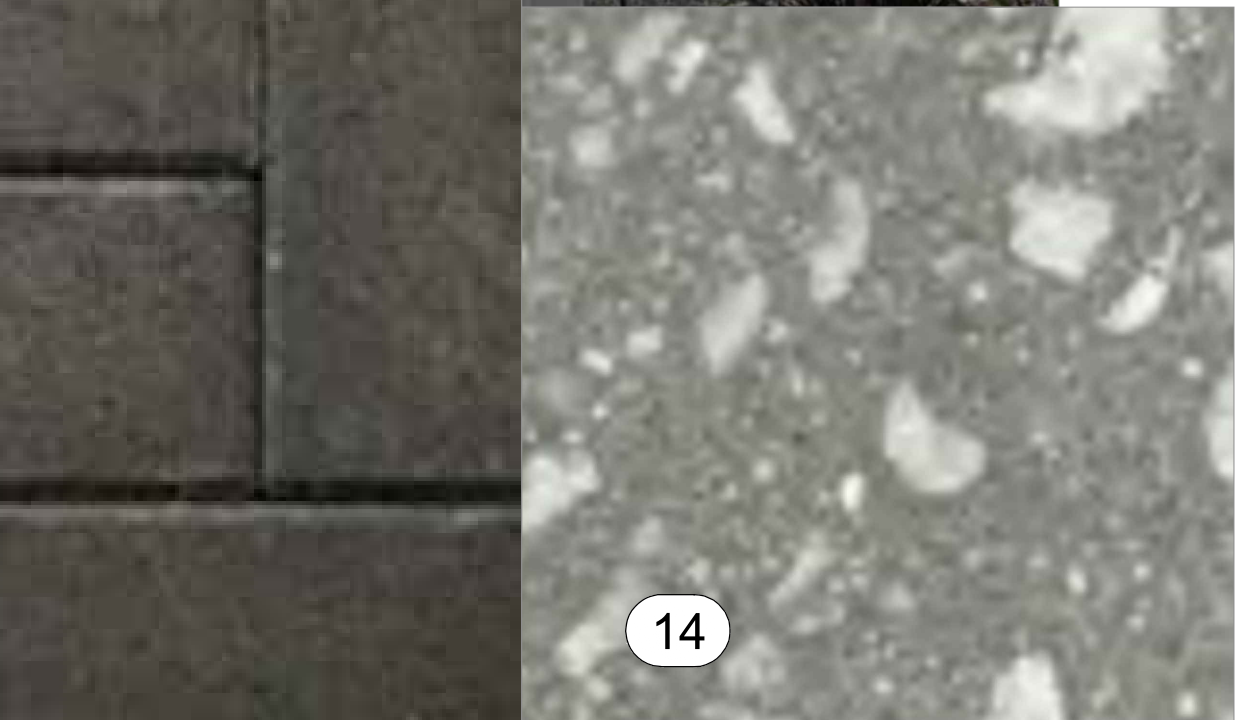
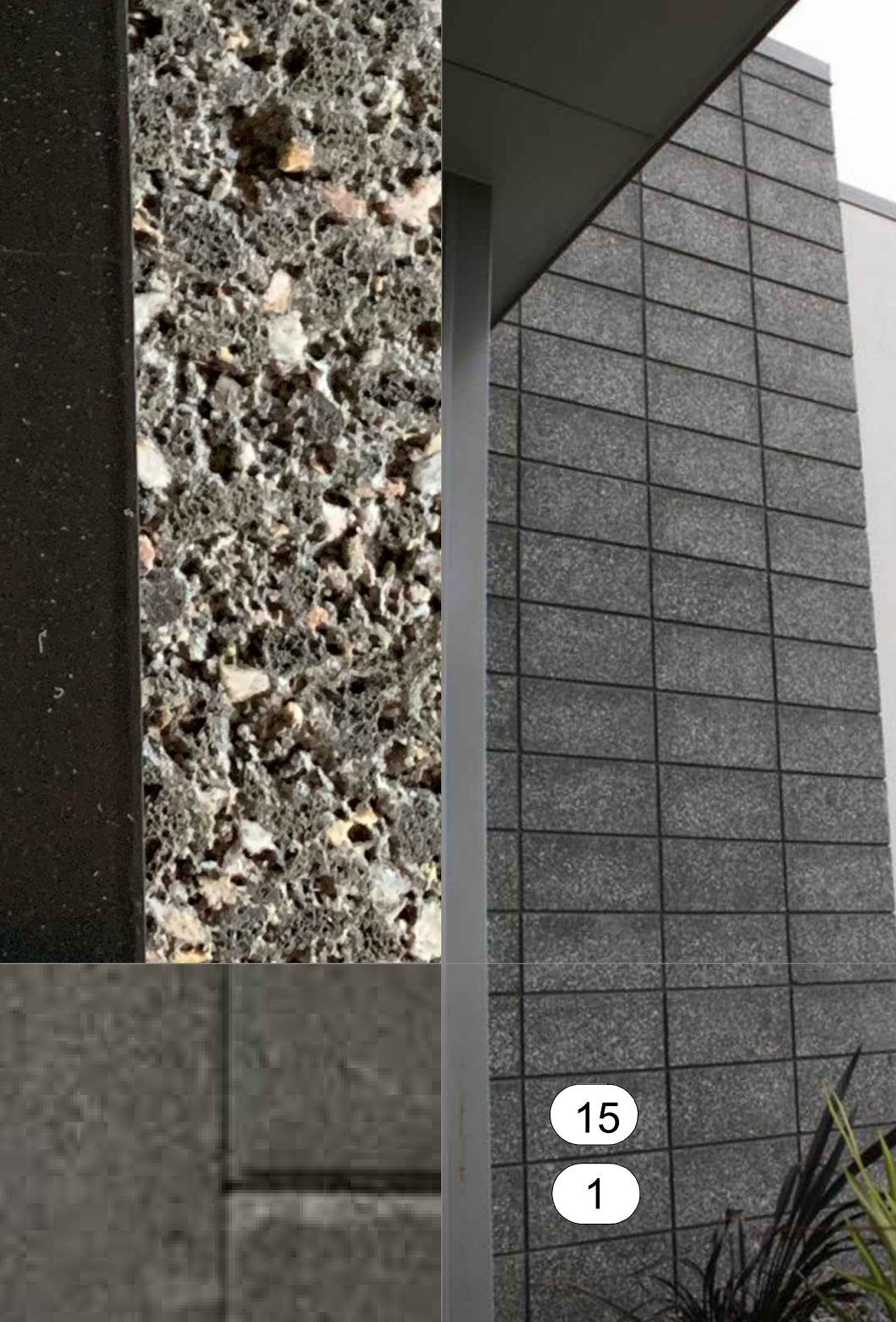
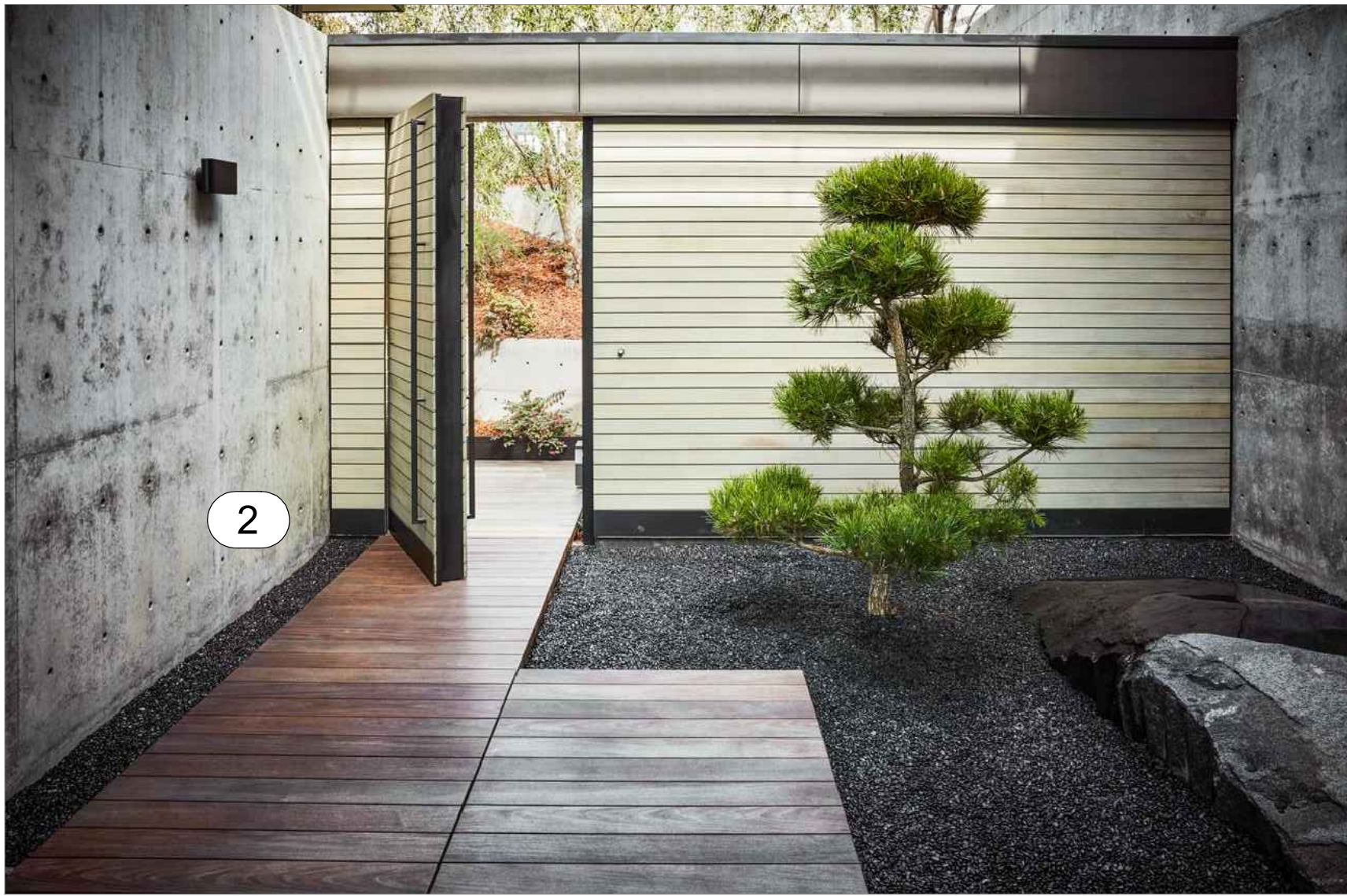
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Sheet of

EXTERIOR FINISHES LEGEND

- EXPOSED CMU:**
(1) TRENDSTONE GROUND FACE MASONRY UNITS, COLOR OPAL, BY OLDCASTLE SUPERLIGHT - ECHELON - TRENNYTH, STACK BOND, LRV/38
- CAST IN PLACE CONCRETE:**
(2) 4XB FORM WORK PANELS WITH SNAP OFF TIES, COLOR: GREY LRV/38
- STUCCO:**
(3) DUNN EDWARDS DECTE/1 ASH GREY 150% DARKER, SAND TEXTURE, LRV 38
- FOAM ROOF:**
(4) FOAM ROOFING WITH BLENDED GRANULES: R675 ESTATE GREY GRANULES BY LUCAS ROOFING LRV/38
- METAL ROOF:**
(5) STANDING SEAM ROOFING, SITE PULLED SHEET METAL COIL BY OCM (OLD COUNTRY MILLWORK, INC.) MIDNIGHT COAL, LRV/38
- METAL FACIA:**
(6) SHEET METAL WITH PVDF FINISH BY OCM, COLOR: MIDNIGHT COAL, LRV/38
- SOFFITS & OVERHANGS:**
(7) SAME SHEET METAL AS FACIA SEE ABOVE
- DOOR / WINDOW COLOR:**
(8) FLEETWOOD 3070 SERIES DOOR AND WINDOW, SLIM LINE ANODIZED FINISH, BLACK ANODIZED, LRV/38
- EXPOSED IN-SHAPE L BEAMS AND COLUMNS:**
(9) CLEAR COATED RAW STEEL, LRV/38
- EXTERIOR GUARDRAIL:**
(10) 4"X36" BEND STEEL PLATE POSTS W/STEEL CABLES, PAINTED DE6870 CHARCOAL SMUDGE, LRV II 80% CLR, OPEN MIN.
- GARAGE DOORS:**
(11) AVANTE COLLECTION BY GLOPAY OVERHEAD DOOR, ALUMINUM FRAME, BLACK ANODIZED, LRV 38, GLASS: GRAY TINTED FINISH INSULATED TEMPERED GLASS
- CUSTOM METAL CHIMNEY CAP:**
(12) CUSTOM METAL PAINTED, DE6870 CHARCOAL SMUDGE, LRV II
- AUTOCOURT & DRIVEWAY:**
(13) BELGARD PAVER "GRAPHITE BLEND" LRV/38
- PATIOES & WALKWAYS:**
(14) ARTISTIC PAVER "SILVER SAM" LRV < 38
- ACQUSTA-WAL - SYSTEM - ALL MECHANICAL YARDS WALL:**
(15) SOUND WAIVE ABSORPTION MASONRY UNIT BY OLD CASTLE ARCHITECTURAL / SUPERLITE BLOCK, STACK BOND, IN TRENDSTONE FINISH, COLOR OPAL
- STOCKS-IN-DESERT FENCING:**
(16) PAINTED: DE6870 CHARCOAL SMUDGE, LRV II





Action Report

File #: 20-356

To: Hillside Building Committee

From: Hugo Vasquez; Hillside Development Administrator

Date: September 9th, 2020

Subject: Formal Review for a new single family residence at 7070 N 59th Place (APN 169-55-017).

Narrative: The proposed project shall construct a new single family residence. The new project has an application date of May 26th, 2020 and will be reviewed under the 2018 Hillside Development Regulations.

Lot Data		
1.	Area of Lot	1.027 ac or 44,750 ft ²
2.	Area Under Roof	10,549 ft ²
3.	Floor Area Ratio	23.57%
4.	Building Site Slope	14.00%
5.	Allowable Disturbed Area	17,099 ft ² (38.21%)
6.	Existing Net Disturbed Area	24,978 ft ² (55.82%)
7.	Proposed Net Disturbed Area	17,089 ft ² (38.19%)
8.	Maximum Building Height	18 ft - 0 in
9.	Overall Height	32 ft - 6 in
10.	Volume of Cut/Fill	3,860 yd ³
11.	Hillside Assurance	\$ 131,320

Background

The property contains an empty lot, as the residence was recently demolished.

New Single Family Residence

The new project shall construct a new single family residence with approximately 7,200 ft² of livable area.

Pool

A new pool with negative edge is proposed south of the residence.

Building Materials

The proposed building materials shall include gray stucco finishes (DET620, Barnwood Gray, LRV 31), split-face CMU (LRV 14), and telluride natural stone (LRV 27). Roof shall include an elastomer tan roof (Santa Fe Tan, LRV 34). Metal fascia, railings, and gate shall be matte black (LRV 27). Soffits shall be gray (DET620, Barnwood Gray, LRV 31) and

select areas in pine tongue and groove (LRV 32). All materials shall have an LRV of 38 or less.

Hardscape

The driveway, auto court, and pool patio court shall be gray pavers (Pewter, LRV 15). All materials shall have an LRV of 38 or less.

Building Lighting

All proposed building lighting shall be provided through thirty-five (35) recessed can lights (250 lumens actual / 750 lumens allowable), five (5) wall sconces (250 lumens actual / 750 lumens allowable), and one (1) higher output wall sconce (610 lumens actual / 750 lumens allowable). All light sources shall have a maximum color temperature of 3000K.

Landscape Lighting

Landscape lighting is specified as eleven (11) path lights (250 lumens actual / 250 lumens allowable) and seventeen (17) up lights (150 lumens actual / 150 lumens allowable). All light sources shall have a maximum color temperature of 3000K.

Landscaping

Artificial turf is proposed west of the pool. Proposed site vegetation is provided on the table below:

Trees	Shrubs/Accents/Cactus	Accents/Cactus
Desert Museum Palo Verde	Creosote	Beardtongue
Texas Mountain Laurel	Brittlebush	Desert Marigold
Chilean Mesquite	Desert Spoon	Globe Mallow
Shrubs/Accents/Cactus	Blackfoot Daisy	Parry's Agave
Gold Mound Lantana	Greencloud Sage	Ocotillo
Bougainvillea	Trailing Rosemary	

Land Disturbance

A gross disturbed area of 58.11% (24,978 ft²) currently exists on the lot and the building pad slope of 14.00% allows a disturbance of 38.21% (16,425 ft²) the lot. The applicant has proposed a net disturbed area of approximately 39.60% (17,022 ft²), which is less than the existing disturbance.

Grading and Drainage

There will be grading associated with the construction of the property in order to properly retain the "pre vs post" storm water volumes for the 100-year, 2-hour rainfall event. Stormwater generated onsite will be retained in underground pipe located south of the pool. Water entering the property from the north shall pass storm drain pipes and a rip rap swale north of the residence. A driveway trench drain shall capture stormwater to another storage pipe located west of the residence.

Sewer

Public sewer is located near the property on E Glenn Drive, however a force main would be required as it is located uphill. Septic is proposed on the southeast corner of the property.

Hillside Safety Improvement Plan

The Applicant submitted a Hillside Safety Improvement Plan in accordance with the Hillside Safety Improvement Measures and Process Manual per Section 5-10-9 of the Town Code. The plan completed 45 days without any public comment.

Formal Plan Review

Should the Hillside Committee wish to approve this application, staff suggests the following stipulations:

1. Any changes to the Hillside-approved plans may result in delays in permit plan review and inspection processes. Any proposed changes should be reported to the Staff to determine compliance with Hillside Development Regulations. Changes may be subject to a Staff, Chair, or Committee review.
2. The Applicant shall submit a Construction Staging Plan to the Town per the Hillside Safety Improvement Measures and Process Manual for review and approval prior to being issued a building permit.
3. The Applicant shall submit a liability insurance policy for the proposed project in the amount of \$2 million per occurrence and \$5 million aggregate naming the Town of Paradise Valley as an additional insured prior to being issued a building permit.
4. Prior to issuance of a permit, the Applicant shall submit a Hillside Assurance in the amount of \$131,320.
5. All construction parking shall be located on the property as much as possible. Any offsite parking shall be confined to the adjacent streets along the immediate property frontage. All offsite parking shall be located on the same side of the street. No construction materials will be allowed to be stored on the Town's right-of-way.
6. All recommendations provided in the Safety Improvement Plan shall be followed by the applicant. Any field work related to the Safety Improvement Plan, including but not limited to rock bolting, rock cuts, mesh placement, and boulder stabilization methods, shall be inspected by a qualified Special Inspector contracted by the applicant. An Arizona Registered Engineer contracted by the applicant shall review, for compliance with the recommendations provided in the Safety Improvement Plan, the proposed plans prior to submitting for a permit. The contracted Arizona Registered Engineer shall provide a sealed letter stating that the plans submitted are in accordance with the Safety Improvement Plan.
7. No final approval or certificate of occupancy shall be issued until all Hillside stipulations and all Town Code requirements are complied with, including, but not limited to, landscaping, fire flow, fire safety and all onsite and offsite improvements.
8. The limits of construction and proposed disturbed areas shall be clearly staked in the field, with visible roping, prior to demolition and during construction and shall conform to the approved individual site analysis plan. Photos of the staking shall be provided prior to issuance of a demolition and/or building permit.
9. Noise from construction that can be heard off-site, including, but not limited to, hydraulic ram hammers, equipment used to cut through rock, machinery with audible back-up warning devices, powered machinery, truck delivery and idling, constant and persistent hammering, shall comply with Article 8-10, Nuisance Noise, as set forth in the Town Code. Heavy Equipment and construction-related deliveries are generally limited between the hours of 7:00 a.m. and 5:00 p.m. Monday through Friday; no work on Saturday, Sunday or legal holidays. Exceptions include a one hour early start time in summer, time exceptions granted by the Town Manager, and construction not defined as Heavy Equipment or deliveries that can occur outside the 7:00 a.m. to 5:00 p.m., Monday through Friday, time frame.
10. Natural stone selections shall not exceed the maximum allowable LRV of 38. Care should be taken when selecting to ensure that the maximum LRV is not exceeded. Failure to comply with may result in delays obtaining a Certificate of Occupancy.
11. The civil engineer of record shall inspect the final grading and drainage improvements and shall provide a report or memo confirming that the improvements are constructed per plan. Any deviations from the approved plan shall be noted and addressed in the report or memo.

12. Documented approval to construct within the northern utility easement shall be provided by all servicing utilities in the area. Documentation shall be submitted prior to the issuance of a building permit.

13. A landscape as-built plan shall be provided by the landscape designer at the time of the Final Hillside inspection and prior to the issuance of a Certificate of Occupancy. See Stipulation #1 for more information.

14. Retaining wall #6 on sheet C-2 shall not exceed 100 ft in length. Revised plan shall be provided with building permit submittal for Staff review.

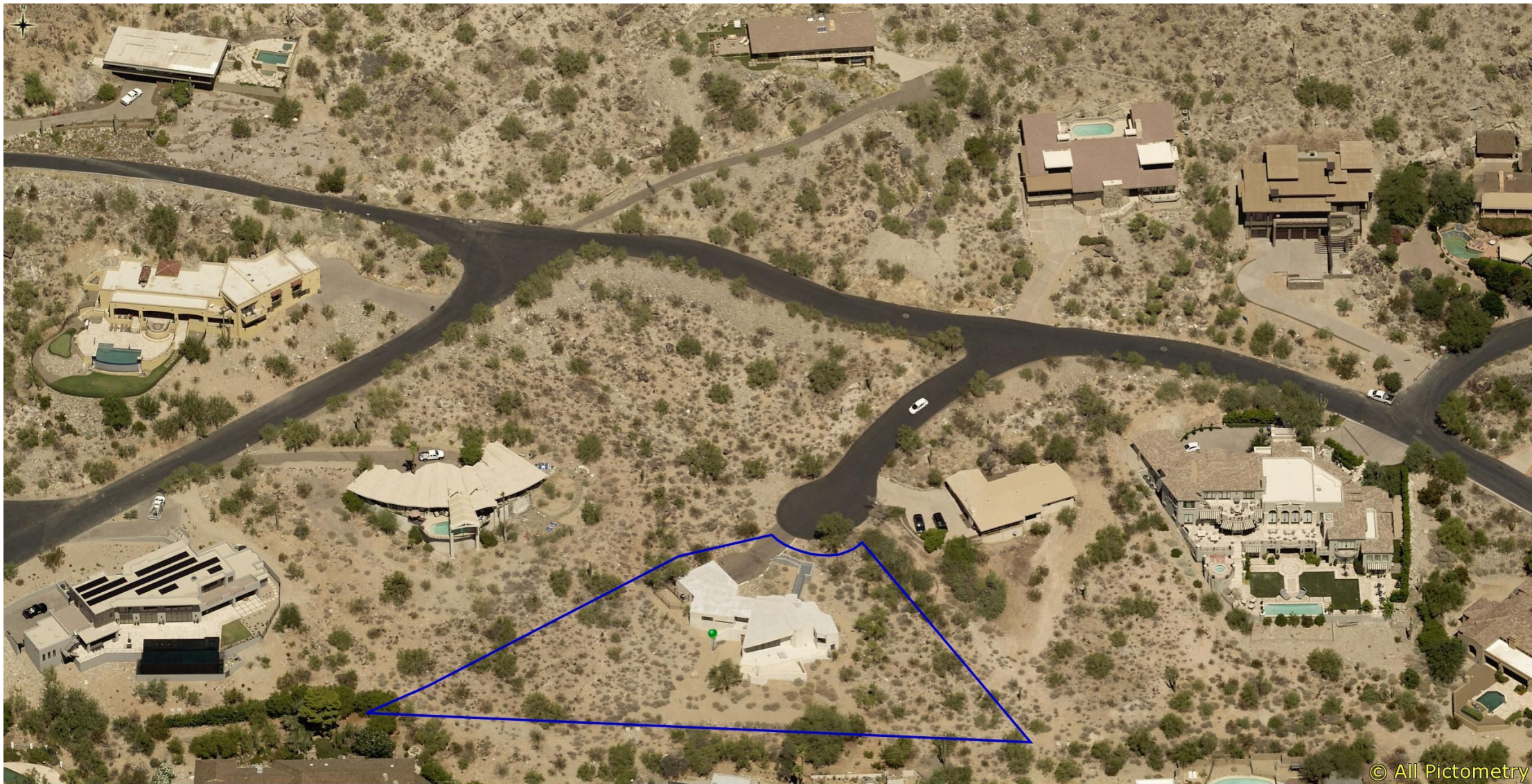
7070 N 59th Place



7070 N 59th Place



7070 N 59th Place



09/06/2016



TOWN OF PARADISE VALLEY HILLSIDE DEVELOPMENT

DATE: MAY 26, 2020

SUBDIVISION NAME: CLUB ESTATES 2

ADDRESS OF PROPERTY 7070 N 59th Place P.V.

ASSESSOR'S PARCEL NUMBER: 169-55-017

LEGAL DESCRIPTION: LOT 49 CLUB ESTATES 2
BOOK 91, Page 07, MCR

ARCHITECT: JOANNA MCBRIDE 480-467-8006
NAME PHONE NUMBER

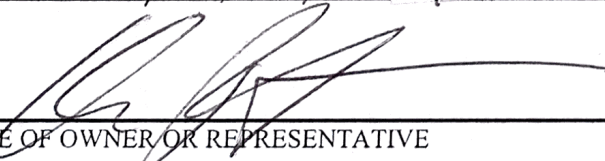
3634 E PARADISE DR PHOENIX, AZ JOANNA@TRARCHITECT.COM
ADDRESS E-MAIL ADDRESS

ENGINEER/OTHER: NICK PRODANOV 602-390-7999
NAME PHONE NUMBER

8808 N CENTRAL AVE STE 288 PHOENIX AZ NICK@LDGENG.COM
ADDRESS 85020 E-MAIL ADDRESS

OWNER: CHRISTA PETRACCA 602 743-4557
PRINT NAME PHONE NUMBER

6120 E INDIAN BEND RD CHRISTABERLANTI@GMAIL.COM
ADDRESS E-MAIL ADDRESS


SIGNATURE OF OWNER OR REPRESENTATIVE

MAY 26, 2020
DATE

SCOPE OF WORK: CONSTRUCT A NEW, SINGLE LEVEL
RESIDENCE ON LOT, WITH POOL & SPA, APPROX.
7,000 sq ft. LIVABLE

Christa Berlanti
6120 E Indian Bend Rd
Paradise Valley, AZ 85253

CONTI ROBERT C/NIKAL M,
6050 E INDIAN BEND RD,
PARADISE VALLEY, AZ, 85253

August 19th, 2020

Subject: Formal plan Review for the Construction of a New Single Family Residence

Dear Property Owner,

An application has been submitted to the Town of Paradise Valley for the construction of a new single family residence at 7070 N 59th Pl, Paradise Valley, AZ 85253. In compliance with Town requirements, this letter is being sent to you as a courtesy to inform you of the pending application. The Hillside Building Committee will be reviewing this application on September 9th, 2020 at 8:00 AM. The meeting may take place remotely.

The purpose of Formal Plan Review meeting is for the Hillside Building Committee to review the submittal for compliance with the goals, purposes, and specific criteria of the Town of Paradise Valley Hillside Development Regulations

The Hillside Building Committee will approve, approve with stipulations, continue, or deny the submittal. This meeting is open to the public and you may feel free to attend.

If you have any questions please call me at 602-743-4557

Sincerely,

Christa Berlanti, owner

THIS MEETING MAY BE HELD BY REMOTE PARTICIPATION

Please check the meeting agenda at <https://paradisevalleyaz.legistar.com/Calendar.aspx> to determine if the Hillside Building Committee meeting will be held by remote participation. If held by remote participation, members of the public are encouraged to participate in the meeting via the following options:

1. View the live stream at <https://paradisevalleyaz.legistar.com/Calendar.aspx> (a) Click on Calendar Tab (b) Look for Hillside Building Committee meeting (you may have to select it from the dropdown list) and find the meeting date (c) Click the "In Progress" link in the column titled Video
2. Zoom Conference: Meeting information to be provided on final meeting agenda
3. Submitting questions and comments: (a) Visit <https://paradisevalleyaz.legistar.com/Calendar.aspx>, search for the meeting date, and click "eComment". Locate the agenda item you are interested in and click "Comment" (Please submit comments at least 1 hr prior to meeting)
4. Speaking during Call to the Public / Public Hearings:
(a) Visit <https://paradisevalleyaz.legistar.com/Calendar.aspx>, search for the meeting date, and click "eComment". Locate the agenda item and click "Register to Speak". Join the meeting by dialing the Zoom Video Conference number provided on the final meeting agenda.
(b) If attending by Zoom Video Conference, click the chat button and enter your name and the agenda item you would like to address (These meeting participation guidelines are pursuant to Tow11 Council Resolution 2020-08 adopted March 17, 2020.)

Notice is hereby given pursuant to A.R.S. §38-431.02 that members of the Hillside Building Committee may attend by audio/video conference call.

Parcel Number	Owner	Property Address	Mailing Address
169-01-007C	CONTI ROBERT C/NIKAL M	6050 E INDIAN BEND RD PARADISE VALLEY 85253	6050 E INDIAN BEND RD PARADISE VALLEY AZ 85253
169-01-007L	SPELTS LOUIS C JR/INGRID	6008 E INDIAN BEND RD PARADISE VALLEY 85253	6008 E INDIAN BEND RD PARADISE VALLEY AZ 85253
169-01-007Q	PLENCE ROBERT W/DORRANCE BENNETT ETAL TR	6401 E LINCOLN DR PARADISE VALLEY 85253	6401 E LINCOLN DR PARADISE VALLEY AZ 85253
169-01-007U	JEAN C FERRAND TRUST	6020 E INDIAN BEND RD PARADISE VALLEY 85253	6020 E INDIAN BEND PARADISE VALLEY AZ 85253
169-01-007W	PLENCE ROBERT W/DORRANCE BENNETT ETAL TR		6401 E LINCOLN DR PARADISE VALLEY AZ 85253
169-01-010	BLACKWOOD JOAN	6100 E INDIAN BEND RD PARADISE VALLEY 85253	6100 E INDIAN BEND ROAD PARADISE VALLEY AZ 85253
169-02-004E	PETERSON JOHN R/DIANE O TR	5901 E HUMMINGBIRD LN PARADISE VALLEY 85253	5901 E HUMMINGBIRD LANE PARADISE VALLEY AZ 85253
169-02-004F	NAPOLI MICHAEL	5939 E HUMMINGBIRD LN PARADISE VALLEY 85253	5939 E HUMMINGBIRD LN PARADISE VALLEY AZ 85253
169-02-004G	ROVINSKY ELLIOT B	5841 E HUMMINGBIRD LN PARADISE VALLEY 85253	5841 E HUMMINGBIRD LN PARADISE VALLEY AZ 85253
169-02-004Q	MUMMY MOUNTAIN PRESERVE TRUST THE	6400 E LINCOLN DR PARADISE VALLEY 85253	6401 E LINCOLN DR PARADISE VALLEY AZ 85253
169-02-004R	ELWELL DENNIS L/CANDY	5959 E HUMMINGBIRD LN PARADISE VALLEY 85253	PO BOX 187 ANKENY IA 50021
169-02-006	P DUGEL FAMILY LTD PARTNERSHIP	5841 E QUARTZ MOUNTAIN RD PARADISE VALLEY 85253	5841 E QUARTZ MOUNTAIN RD PARADISE VALLEY AZ 85253
169-02-007	ZIEGLER BRYAN TR/VICKI TR	5801 E QUARTZ MOUNTAIN RD PARADISE VALLEY 85253	PO BOX 6589 SCOTTSDALE AZ 85261
169-02-009	ZANG KERRY/VIRGINIA TR	5789 E QUARTZ MOUNTAIN RD PARADISE VALLEY 85253	5789 E QUARTZ MOUNTAIN RD PARADISE VALLEY AZ 85253
169-02-010	KCML LLC		8731 N 65TH ST PARADISE VALLEY AZ 85253
169-02-012A	DEWANJEE SUMIT	5749 E QUARTZ MOUNTAIN RD PARADISE VALLEY 85253	7301 E 3RD AVE UNIT 413 SCOTTSDALE AZ 85251
169-02-013A	BHOOOLA SNEHALKUMAR	5739 E QUARTZ MOUNTAIN RD PARADISE VALLEY 85253	4312 E MARION WY PHOENIX AZ 85018
169-02-014A	ROBERT SIMYAR TRUST	5665 E CHENEY DR PARADISE VALLEY 85253	7582 LAS VEGAS BLVD SOUTH SUITE 134 LAS VEGAS NV 89123
169-02-022B	PLENCE ROBERT W/DORRANCE BENNETT ETAL TR		6401 E LINCOLN DR PARADISE VALLEY AZ 85253
169-06-007F	MUMMY MOUNTAIN PRESERVE TRUST	6401 E LINCOLN DR PARADISE VALLEY 85253	6401 E LINCOLN DR PARADISE VALLEY AZ 85253
169-06-007G	CAMELBACK PROPERTIES INN INC	5402 E LINCOLN DR PARADISE VALLEY 85253	PO BOX 579 LOUISVILLE TN 37777-0579
169-28-001K	CAMELBACK PROPERTIES INN INC	5402 E LINCOLN DR PARADISE VALLEY 85253	PO BOX 579 LOUISVILLE TN 37777-0579
169-32-001B	MORSE JOHN DAVID/CAROL KAY TR	5744 E JOSHUA TREE LN PARADISE VALLEY 85253	5744 E JOSHUA TREE PARADISE VALLEY AZ 85253
169-32-001D	1897 BERRY LLC	5729 E INDIAN BEND RD PARADISE VALLEY 85253	2026 WAYNE ST ORRVILLE OH 44667
169-32-001E	DEDARIO JOSEPH N/NANCY L TR	5719 E INDIAN BEND RD PARADISE VALLEY 85253	5719 E INDIAN BEND RD PARADISE VALLEY AZ 85253
169-32-001F	T ANN SINER FAMILY TRUST	5730 E JOSHUA TREE LN PARADISE VALLEY 85253	5730 E JOSHUA TREE LN PARADISE VALLEY AZ 85253
169-32-003	MARC NEMER REVOCABLE TRUST	5739 E CACTUS WREN RD PARADISE VALLEY 85253	5739 E CACTUS WREN RD PARADISE VALLEY AZ 85253
169-32-004	AG FAMILY RESIDENCE TRUST	5729 E CACTUS WREN RD PARADISE VALLEY 85253	5729 E CACTUS WREN RD PARADISE VALLEY AZ 85253
169-32-005	ESL TRUST	5715 E CACTUS WREN RD PARADISE VALLEY 85253	P O BOX 15705 PHOENIX AZ 85060
169-32-006	BRADLEY BRIAN D/CATHERINE A	5675 E CACTUS WREN RD PARADISE VALLEY 85253	5675 E CACTUS WREN RD SCOTTSDALE AZ 85253
169-32-012	FUQUA BRIDGET A TR	5676 E CACTUS WREN RD PARADISE VALLEY 85253	6624 N SMOKE TREE LN PARADISE VALLEY AZ 85253
169-32-013	DIAMOND STEEL LLC	5644 E CACTUS WREN RD PARADISE VALLEY 85253	5644 E CACTUS WREN RD PARADISE VALLEY AZ 85253
169-32-014	MARTIN J VANDERPLOEG 2001 REVOCABLE LIV TRUST	5716 E CACTUS WREN RD PARADISE VALLEY 85253	5716 E CACTUS WREN RD PARADISE VALLEY AZ 85253
169-32-015	DESOUZA CALUM BRUNO/TRICIA	5736 E CACTUS WREN RD PARADISE VALLEY 85253	5736 E CACTUS WREN RD PARADISE VALLEY AZ 85253
169-32-016B	BKB INVESTMENTS LLC	5740 E CACTUS WREN RD PARADISE VALLEY 85253	5740 E CACTUS WREN RD PARADISE VALLEY AZ 85253
169-32-017B	SINGH JUPNEESH/MANDEEP	5739 E JOSHUA TREE LN PARADISE VALLEY 85253	5739 E JOSHUA TREE LN PARADISE VALLEY AZ 85253
169-32-018	ERIC WEINBRENNER LIVING TRUST	5729 E JOSHUA TREE LN PARADISE VALLEY 85253	PO BOX 25157 PHOENIX AZ 85002
169-32-019	ROESKE JEROME D/KATHRYN A TR	5709 E JOSHUA TREE LN PARADISE VALLEY 85253	5709 E JOSHUA TREE LN PARADISE VALLEY AZ 85255
169-32-023	WE'RE BACK LLC	6800 N LOST DUTCHMAN DR PARADISE VALLEY 85253	1622 WILLOW RD SUITE 201 NORTHFIELD IL 60093
169-32-024	HOLLENBECK RICK/PAM TR	6820 N LOST DUTCHMAN DR PARADISE VALLEY 85253	6820 N LOST DUTCHMAN DR PARADISE VALLEY AZ 85253
169-32-025	JOHNSON PAUL G/JOAN T	6830 N LOST DUTCHMAN DR PARADISE VALLEY 85253	6830 LOST DUTCHMAN DRIVE PARADISE VALLEY AZ 85253
169-32-026	MERIDIAN 6837 LLC	6837 N LOST DUTCHMAN DR PARADISE VALLEY 85253	1734 E BOSTON ST STE 103 GILBERT AZ 85295
169-32-027	PETERSON MARK/KARA	6821 N LOST DUTCHMAN DR PARADISE VALLEY 85253	5210 E VIA LOS CABALLOS PARADISE VALLEY AZ 85253
169-32-028	KATHRYN JO LINCOLN TRUST	6813 N LOST DUTCHMAN DR PARADISE VALLEY 85253	6813 N LOST DUTCHMAN DR PARADISE VALLEY AZ 85253
169-32-029	KRAMER REVOCABLE TRUST	5640 E JOSHUA TREE LN PARADISE VALLEY 85253	5640 E JOSHUA TREE LN PARADISE VALLEY AZ 85253
169-32-030	LEWIS THOMAS E/SUZANNE TR	6820 N 57TH PL PARADISE VALLEY 85253	6820 N 57TH PL SCOTTSDALE AZ 85251
169-32-031	SCOTT FAMILY TRUST	6830 N 57TH PL PARADISE VALLEY 85253	NO 200 11930 100TH AVE NW EDMONTON AB CANADA T5K0K5
169-32-032	RICHARDS PHILLIP C/STEPHANIE J TR/PHILLIP C	5709 E INDIAN BEND RD PARADISE VALLEY 85253	5709 E INDIAN BEND RD PARADISE VALLEY AZ 85253
169-32-033	GEAR BARBARA F TR	6817 N 57TH PL PARADISE VALLEY 85253	6817 N 57TH PL PARADISE VALLEY AZ 85253
169-32-035	SURRANO CHARLES J	5720 E JOSHUA TREE LN PARADISE VALLEY 85253	5720 E JOSHUA TREE LN PARADISE VALLEY AZ 85253
169-32-930	PARADISE VALLEY WATER CO		2355 W PINNACLE PEAK RD STE 300 PHOENIX AZ 85027
169-32-931	GARNER ALAN L/ALICE C	5615 E JOSHUA TREE LN PARADISE VALLEY 85253	6710 N SCOTTSDALE RD STE 225 SCOTTSDALE AZ 85253
169-32-932	MERAZ JOSE JR/FRIAS NUVIA M GARDEA	5639 E JOSHUA TREE LN PARADISE VALLEY 85253	5639 E JOSHUA TREE LN PARADISE VALLEY AZ 85253
169-33-001A	LITTLE CHAD MITCHELL TR/SOPHIA TAMARIND TR	6722 N 60TH ST PARADISE VALLEY 85253	6722 N 60TH ST PARADISE VALLEY AZ 85253
169-33-002	COBB ARLYN L TR	5926 E CACTUS WREN RD PARADISE VALLEY 85253	5926 E CACTUS WREN RD PARADISE VALLEY AZ 85253
169-33-003	MORGAN SARA SUE	5914 E CACTUS WREN RD PARADISE VALLEY 85253	5914 E CACTUS WREN PARADISE VALLEY AZ 85253
169-33-004	BROWN ANN A/RICHARD R D TR	5902 E CACTUS WREN RD PARADISE VALLEY 85253	5902 E CACTUS WREN RD SCOTTSDALE AZ 85253
169-33-005D	RECTOR RICHARD A/DEPENDAHL ROBYN L TR	5921 E INDIAN BEND RD PARADISE VALLEY 85253	5921 E INDIAN BEND RD PARADISE VALLEY AZ 85253
169-33-005E	WESSELS-COVINGTON FAMILY TRUST	5900 E JOSHUA TREE LN PARADISE VALLEY 85253	5900 E JOSHUA TREE LN PARADISE VALLEY AZ 85253
169-33-005F	NIGRO FAMILY TRUST	5920 E JOSHUA TREE LN PARADISE VALLEY 85253	5920 E JOSHUA TREE LN PARADISE VALLEY AZ 85253
169-33-006B	TAUBIN SCOTT/SIEGMAN STEVEN SCOTT	5816 E JOSHUA TREE LN PARADISE VALLEY 85253	4520 MADISON AVE STE 300 KANSAS CITY MO 64111
169-33-006C	TYLOR OYA	6815 N 58TH PL PARADISE VALLEY 85253	6815 N 58TH PL PARADISE VALLEY AZ 85253
169-33-006E	ROBINSON ROBERT P/KAREN L	6841 N 58TH PL PARADISE VALLEY 85253	6841 N 58TH PL PARADISE VALLEY AZ 85253
169-33-006F	WNJ24K LLC	6831 N 58TH PL PARADISE VALLEY 85253	7141 E RANCHO VISTA DR UNIT 3007 SCOTTSDALE AZ 85251-1481
169-33-007B	RURCELL RALPH N/GAIL A	5815 E JOSHUA TREE LN PARADISE VALLEY 85253	5815 E JOSHUA TREE LN PARADISE VALLEY AZ 85253
169-33-007C	PURCELL RALPH N/LEWIS GAIL A	6724 N 58TH PL PARADISE VALLEY 85253	5815 E JOSHUA TREE LN PARADISE VALLEY AZ 85253
169-33-008B	PURCELLGAIL	6736 N 58TH PL PARADISE VALLEY 85253	5815 E JOSHUA TREE LN PARADISE VALLEY AZ 85253
169-33-009C	250128 LLC	5936 E JOSHUA TREE LN PARADISE VALLEY 85253	2501 E 28TH ST TULSA OK 74114
169-33-009D	ROWE GREGORY	6732 N 60TH ST PARADISE VALLEY 85253	6721 N 60TH ST PARADISE VALLEY AZ 85253
169-33-009E	LONGO JOSEPH A III/MAUREEN C	5995 E INDIAN BEND RD PARADISE VALLEY 85253	5995 E INDIAN BEND RD PARADISE VALLEY AZ 85253
169-33-009F	WEISSMAN BURTON E/MARY ANN DEARDEN TR	6736 N 60TH ST PARADISE VALLEY 85253	6736 N 60TH ST PARADISE VALLEY AZ 85253
169-33-010B	SIMPSON FAMILY REVOCABLE TRUST	5925 E JOSHUA TREE LN PARADISE VALLEY 85253	5925 E JOSHUA TREE LN PARADISE VALLEY AZ 85253
169-33-010C	SAMITT HART FAMILY LIVING TRUST	5915 E JOSHUA TREE LN PARADISE VALLEY 85253	1465 ISLAND DR GOLDEN VALLEY MN 55422
169-33-010D	URBAN GLOBAL REAL ESTATE COMPANY LLC	5901 E JOSHUA TREE LN PARADISE VALLEY 85253	32100 TELEGRAPH RD NO 250 BINGHAM FARMS MI 48025
169-33-010E	SABBAGH FAMILY TRUST	6724 N 60TH ST PARADISE VALLEY 85253	47 CASCADE CREEK LN LAS VEGAS NV 89113
169-33-012B	J M WALL DEVELOPMENT INC	6719 N 58TH PL PARADISE VALLEY 85253	7447 N 61ST ST PARADISE VALLEY AZ 85253
169-33-012E	RISSEY ERIC/LORI	5829 E JOSHUA TREE LN PARADISE VALLEY 85253	7205 N 3RD ST PHOENIX AZ 85020-4904
169-33-012F	MARIAN DUNAWAY REVOCABLE TRUST	6711 N 58TH PL PARADISE VALLEY 85253	6711 N 58TH PL PARADISE VALLEY AZ 85253
169-33-012G	DELANO DOUGLAS/IRENE	5828 E CACTUS WREN RD PARADISE VALLEY 85253	958 BROKEN BRANCH DR PRESCOTT AZ 86303
169-33-013B	SCHUMAN CHRISTOPHER J/KATY A	5841 E INDIAN BEND RD PARADISE VALLEY 85253	444 HERMOSA AVE NO 102 HERMOSA BEACH CA 90254
169-33-013C	HEBETS JAMES B/CAROL M TR	5831 E INDIAN BEND RD PARADISE VALLEY 85253	5831 E INDIAN BEND RD PARADISE VALLEY AZ 85253
169-33-014B	SHERMAN REVOCABLE TRUST	5840 E JOSHUA TREE LN PARADISE VALLEY 85253	5840 E JOSHUA TREE LN PARADISE VALLEY AZ 85253

169-33-015A	CAMELOT LLC	5832 E JOSHUA TREE LN PARADISE VALLEY 85253	5832 E JOSHUA TREE LN PARADISE VALLEY AZ 85253
169-33-017A	JM WALL DEVELOPMENT INC/WALL JONATHAN M/MELISSA A	6712 N 58TH PL PARADISE VALLEY 85253	6712N 58TH PL PARADISE VALLEY AZ 85253
169-33-018	AUGUSTA INVESTMENTS LLC	5865 E INDIAN BEND RD PARADISE VALLEY 85253	370 E WINDMILL LN LAS VEGAS NV 89123
169-35-020	MOWERY BRUCE	6724 N WHISPERING HILLS RD PARADISE VALLEY 85253	6724 N WHISPERING HILLS RD PARADISE VALLEY AZ 85253
169-35-023	BLAICH LINDA	6721 N 60TH ST PARADISE VALLEY 85253	6721 N 60TH ST PARADISE VALLEY AZ 85253
169-35-024	LANGE FAMILY TRUST	6015 E JOSHUA TREE LN PARADISE VALLEY 85253	6015 E JOSHUA TREE LN PARADISE VALLEY AZ 85253
169-35-025	KIMBALL ROBERT G	6031 E JOSHUA TREE LN PARADISE VALLEY 85253	6031 E JOSHUA TREE LN PARADISE VALLEY AZ 85253
169-35-026	CHUCHRO WILLIAM M/LOITZ LADONNA M TR	6047 E JOSHUA TREE LN PARADISE VALLEY 85253	6047 E JOSHUA TREE LN PARADISE VALLEY AZ 85253
169-35-027	KING CHARLES H/MARY ANN	6030 E JOSHUA TREE LN PARADISE VALLEY 85253	6030 E JOSHUA TREE LN PARADISE VALLEY AZ 85040
169-35-028A	PUZINO EDWARD		2550 N TANQUE VERDE ACRES DR TUCSON AZ 85749
169-35-028B	WPM LIVING TRUST	6024 E JOSHUA TREE LN PARADISE VALLEY 85253	6024 E JOSHUA TREE LN PARADISE VALLEY AZ 85253
169-35-029	CONLEY CHRISTOPHER R/KATHARINE I	6016 E JOSHUA TREE LN PARADISE VALLEY 85253	6016 E JOSHUA TREE LN PARADISE VALLEY AZ 85253
169-35-030	RONALD R S PICERNE TRUST/PETERCHAK JOE ETAL	6737 N 60TH ST PARADISE VALLEY 85253	304 S LINCOLN ST HINSDALE IL 60521
169-35-033	CROHN STEVEN S	6041 E INDIAN BEND RD PARADISE VALLEY 85253	6041 INDIAN BEND RD PARADISE VALLEY AZ 85253
169-35-034	BELFER HARVEY A/BELFUR SANDRA H TR	6019 E INDIAN BEND RD PARADISE VALLEY 85253	6019 E INDIAN BEND RD PARADISE VALLEY AZ 85253
169-48-003	SALAHEDDINE TOMEH MD PC PROFIT SHARING PLAN	6001 E HUMMINGBIRD LN PARADISE VALLEY 85253	5600 E DOUBLETREE RD PARADISE VALLEY AZ 85253
169-48-004A	GANGADEAN RAMESH/URSULA R	5949 E QUARTZ MOUNTAIN RD PARADISE VALLEY 85253	5949 E QUARTZ MOUNTAIN RD PARADISE VALLEY AZ 85253
169-48-005A	GANGADEAN RAMESH/URSULA R	5939 E QUARTZ MOUNTAIN RD PARADISE VALLEY 85253	5939 E QUARTZ MOUNTAIN RD PARADISE VALLEY AZ 85253
169-49-057	6053 LLC	6053 E HUMMINGBIRD LN PARADISE VALLEY 85253	PO BOX 925 SCOTTSDALE AZ 85252
169-49-058	AUSTIN FRANCES J TR	7502 N LAS BRISAS LN PARADISE VALLEY 85253	7502 N LAS BRISAS LN SCOTTSDALE AZ 85353
169-49-060	FRED TASHMAN LIVING TRUST	6010 E HUMMINGBIRD LN PARADISE VALLEY 85253	6010 E HUMMINGBIRD LN PARADISE VALLEY AZ 85253
169-55-001	5651 LLC	5651 E INDIAN BEND RD PARADISE VALLEY 85253	5651 E INDIAN BEND RD PARADISE VALLEY AZ 85253
169-55-002A	ADKINS JAMES T	5625 E INDIAN BEND RD PARADISE VALLEY 85253	5625 E INDIAN BEND RD PARADISE VALLEY AZ 85253
169-55-003A	PLUMMER NELSON W/SHARON H	5600 E INDIAN BEND RD PARADISE VALLEY 85253	5600 E INDIAN BEND RD PARADISE VALLEY AZ 85253
169-55-004B	SHORT DAVE	5705 E ARROYO RD PARADISE VALLEY 85253	5705 E ARROYO RD PARADISE VALLEY AZ 85253
169-55-005A	TERRY L PHILLIPS FAM TR/USA E FITZNER FAM TR	5640 E INDIAN BEND RD PARADISE VALLEY 85253	5640 E INDIAN BEND RD PARADISE VALLEY AZ 85253
169-55-006	DONALD NEUERMAN REVOCABLE TRUST	5656 E INDIAN BEND RD PARADISE VALLEY 85253	3104 E CAMELBACK RD UNIT 713 PHOENIX AZ 85016-4502
169-55-007	TONY S COREY REVOCABLE TRUST	7000 N 57TH PL PARADISE VALLEY 85253	7000 N 57TH PL PARADISE VALLEY AZ 85253
169-55-008	WDI FAMILY TRUST	7002 N 57TH PL PARADISE VALLEY 85253	7002 N 57TH PL PARADISE VALLEY AZ 85253
169-55-009	SCHAFFNER STEVEN J/MYRA	5750 E INDIAN BEND RD PARADISE VALLEY 85253	5750 E INDIAN BEND RD SCOTTSDALE AZ 85253
169-55-010	BRUNGS ELIZABETH K TR	5806 E INDIAN BEND RD PARADISE VALLEY 85253	5806 E INDIAN BEND RD PARADISE VALLEY AZ 85253
169-55-011	TARLOW STEFAN/SHELLEY R	5826 E INDIAN BEND RD PARADISE VALLEY 85253	5826 E INDIAN BEND PARADISE VALLEY AZ 85253
169-55-012	SCAP S LLC	5846 E INDIAN BEND RD PARADISE VALLEY 85253	7433 N 62ND ST PARADISE VALLEY AZ 85253
169-55-013	TTF LLC	5870 E INDIAN BEND RD PARADISE VALLEY 85253	4148 N ARCADIA DR PHOENIX AZ 85018
169-55-014	MUMEL LLC/PAUL J ADDESSI JR TR/C A ADDESSI TR	7024 N 59TH PL PARADISE VALLEY 85253	8390 E VIA DE VENTURA SUITE F-110 SCOTTSDALE AZ 85258
169-55-015	HUBBLE FAMILY LIVING TRUST	7046 N 59TH PL PARADISE VALLEY 85253	7046 N 59TH PL PARADISE VALLEY AZ 85253
169-55-016	GERARD BRENDA A	7068 N 59TH PL PARADISE VALLEY 85253	7068 N 59TH PL PARADISE VALLEY AZ 85253
169-55-017	PETRACCA CHRISTA	7070 N 59TH PL PARADISE VALLEY 85253	6120 E INDIAN BEND RD PARADISE VALLEY AZ 85253
169-55-018	JOUDEH FAMILY TRUST	7090 N 59TH PL PARADISE VALLEY 85253	6332 E VISTA DR PARADISE VALLEY AZ 85253
169-55-019	WYTHE 40 LLC	7045 N 57TH PL PARADISE VALLEY 85253	5225 E DESERT VISTA RD PARADISE VALLEY AZ 85253-3301
169-55-020	SULLIVAN LIVING TRUST	7029 N 57TH PL PARADISE VALLEY 85253	7029 N 57TH PL PARADISE VALLEY AZ 85253
169-55-021D	THAILAND TRUST	7007 N 59TH PL PARADISE VALLEY 85253	7007 N 59TH PL PARADISE VALLEY AZ 85253
169-55-021E	WHEELER ROSS L REVOCABLE TRUST	7023 N 59TH PL PARADISE VALLEY 85253	7023 N 59TH PL PARADISE VALLEY AZ 85253
169-55-021F	MELAMED BETTY TR	7031 N 59TH PL PARADISE VALLEY 85253	30 S WACKER DR STE 1908 CHICAGO IL 60606
169-55-021U	STEILLOOP LLC		131 S DEARBORN ST SUITE 1700 CHICAGO IL 60603
169-55-022	CLUB ESTATES LLC		970 S MAIN ST SUITE A SNOWFLAKE AZ 85937
169-55-026A	RC GLEN LLC	5712 E GLEN DR PARADISE VALLEY 85253	4400 N SCOTTSDALE RD STE 9-903 SCOTTSDALE AZ 85251
169-55-028	DENICOLE TINA S	7111 N 59TH PL PARADISE VALLEY 85253	7111 N 59TH PL PARADISE VALLEY AZ 85253
169-55-029	MOORE M KENT	7071 N 59TH PL PARADISE VALLEY 85253	P O BOX 2170 SCOTTSDALE AZ 85252
169-55-030	LYNCH BROS DEVELOPMENT COMPANY LTD		4615 E LA MIRANDA WAY PHOENIX AZ 85044
169-55-032	KRUMWIEDE CRAIG/LEWIS ALISON	7045 N 59TH PL PARADISE VALLEY 85253	7045 N 59TH PL PARADISE VLY AZ 85253
169-55-033A	MITCHELL I DOLINS REVOCABLE TRUST/ETAL	5717 E ARROYO RD PARADISE VALLEY 85253	427 BRIAR HILL RD DEERFIELD IL 60015
169-55-033E	STONEBLU REVOCABLE TRUST	7102 N 57TH PL PARADISE VALLEY 85253	7102 N 57TH PL PARADISE VALLEY AZ 85253
169-55-033G	RICHARDS SUSAN B QUALIFIED PERSONAL RES TRUST	5709 E GLEN DR PARADISE VALLEY 85253	6333 N SCOTTSDALE RD SCOTTSDALE AZ 85250
169-55-034A	BEHSHAD FAMILY TRUST	5709 E ARROYO RD PARADISE VALLEY 85253	5709 E ARROYO RD PARADISE VALLEY AZ 85253
169-55-037G	WIRTH JAMES F/GAIL J TR	5700 E GLEN DR PARADISE VALLEY 85253	5700 E GLENN DR PARADISE VALLEY AZ 85253
169-55-037K	BIEGERT MAX L/THELMA L TR	5705 E GLEN DR PARADISE VALLEY 85253	5705 E GLEN DR PARADISE VALLEY AZ 85253
169-55-038A	MUMMY MOUNTAIN PRESERVE TRUST		6401 E LINCOLN DR PARADISE VALLEY AZ 85253-4399
169-55-038B	MUMMY MOUNTAIN PRESERVE TRUST		6401 E LINCOLN DR PARADISE VALLEY AZ 85253-4399
169-55-039	MCBURNETT WILFRED RAY III	7050 N 59TH PL PARADISE VALLEY 85253	6012 E HARVARD ST SCOTTSDALE AZ 85257
169-55-040A	PAVIO ANTHONY M/JEANNES S	7040 N 59TH PL PARADISE VALLEY 85253	7040 N 59TH PL PARADISE VALLEY AZ 85253
169-55-930	PARADISE VALLEY WATER CO		2355 W PINNACLE PEAK RD STE 300 PHOENIX AZ 85027
169-55-931	PARADISE VALLEY WATER CO		2355 W PINNACLE PEAK RD STE 300 PHOENIX AZ 85027
169-55-932	PARADISE VALLEY WATER CO		2355 W PINNACLE PEAK RD STE 300 PHOENIX AZ 85027
169-55-933	PATRICK LEWIS E		PO BOX 14136 SCOTTSDALE AZ 85267
169-55-934	ELAINE E JOHNSON TRUST	5800 E GLEN DR PARADISE VALLEY 85253	9500 UNIVERSITY AVENUE SUITE 2112 WEST DES MOINES IA 50266

Hugo Vasquez

From: Christa Berlanti <christaberlanti@gmail.com>
Sent: Wednesday, July 1, 2020 9:44 AM
To: Hugo Vasquez
Subject: Project description 7070 n 59th PI PV

EXTERNAL

Hi Hugo as requested is is a description of the project .

The new home to be built is designed as a single level , approximately 7,000 sq ft soft modern structure that will complement the hillside view and the surrounding neighborhood, located approximately mid level on this softly sloping 1 acre lot.

The original 40 year old house has been demoed . There was no landscaping of any sort around the house. We intend to create an extensive revegetated desert plant and tree landscape surrounding the new house , including a large 8' wide planter area around the south, west and east side of the house to "soften " and blend the exterior appearance of the structure .

The exterior of the house is mostly earth color frame and stucco , with extensive rectangular , varying sized Telluride natural stone brown/ grey walls . The overhang fascia is black matte metal , The ceiling of the overhangs are mostly stained natural tongue in groove wood or drywall .

The windows and doors are wood casement , or metal , with matte Black metal overlays on the outside , low E , non glare glass . The driveway is dark grey pavers. The garage doors are black metal with defused glass .

Hope is is what you need please let me know , regards Christa

Sent from my iPad



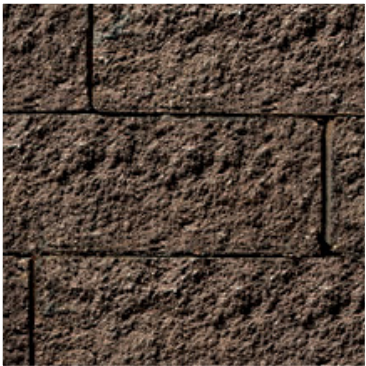
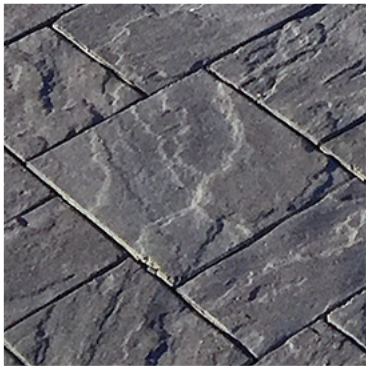
STAINED PINE SOFFIT LRV32

TELLURIDE NATURAL STONE - MOUNTAIN ASH LRV27

METAL FACIA, RAILINGS, AND ENTRY GATE - MATTE BLACK LRV26.8

ACKER STONE - ANTIQUE PEWTER LRV14.79

BELGARD - SIERRA LRV13.48



SBS MODIFIED ROOF PROTECH - SANTA FE TAN LRV34

DUNN EDWARDS - BARNWOOD GRAY DET620 LRV31
STUCCO / EXTERIOR GYPSUM SOFFIT BOARD

1 1/2" EMERALD/OLIVE GREEN TURF (KOOL K-9) SYNTHETIVC GRASS STORE

GLAZING

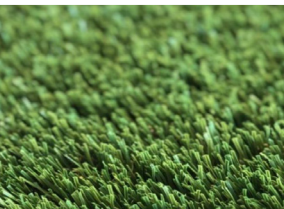
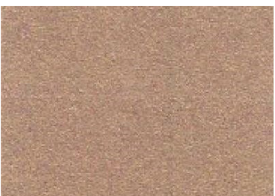
NON-REFLECTED GLASS .
LOW E GLASS .
AVERAGE U - VALUE .38
AVERAGE SOLAR HEAT GAIN COEFFICIENT .23
AVERAGE VISABLE LIGHT TRANSMITTANCE .49



EXTERIOR LIGHTING



CAN LIGHT



WALL SCONCE