



Action Report

File #: 20-186

TO: Chair and Planning Commission

FROM: Jeremy Knapp, Community Development Director
Paul Michaud, Planning Manager
George Burton, Senior Planner

DATE: May 5, 2020

DEPARTMENT: Community Development

AGENDA TITLE:

SUP-20-03. Consideration of Crown Castle Intermediate Special Use Permit Amendment.

RECOMMENDATION:

It is recommended that the Planning Commission forward to the Town Council approval of Ordinance #2020-06, approving the proposed Crown Castle Intermediate SUP Amendment to relocate and replace the faux rock screens with equipment cages at three streetlight pole locations.

REQUEST:

The applicant requests an Intermediate Special Use Permit (SUP) Amendment to relocate and replace the faux rock screens with equipment cages at three streetlight pole locations.

BACKGROUND:

Planning Commission Discussion

The Planning Commission reviewed this application at the April 7, 2020 work study session. During the work study review, the Commission requested or identified the following:

1. The applicant to provide photos of the proposed equipment cages for review,
2. The applicant to identify the thickness of the metal on the equipment cages,
3. The solid portion of the equipment cages shall face the street (the H219 equipment cage must face Tatum Blvd. and the H228/H232 equipment cages must face Invergordon Rd.), and
4. A rusted metal finish on the equipment changes was preferred. The applicant may use an untreated cage that will rust over time.

The applicant provided several sample photos. The photos were sent by staff to the Commission for review; however, no feedback was provided by the Commission. A copy of the sample photos are enclosed for reference.

The applicant identified that the side panels, arch tops, and faces of the equipment cages are 0.063

inches or 16 gauge cold rolled steel. The expanded mesh part of the cage is a thicker metal at 0.084 inches and the flat top has an approximate thickness of 0.125 inches. A stipulation was also added to identify that the solid panel of the equipment cages shall face the adjoining street.

History

In July of 2010, Crown Castle (formally NewPath Networks) received SUP approval from the Town Council for a Distributed Antenna System in the Town's right-of-way (via Ordinance 625). The Distributed Antenna System (DAS) consists of a fiber-optic backbone that connects a series of antenna nodes that wireless carriers may use to improve system capacity, coverage, voice quality, high speed data, and internet access.

The DAS system in Paradise Valley consists of 42 signal antenna nodes located above ground on vertical structures including two traffic signal nodes, three streetlight pole nodes, and thirty-seven faux cactus nodes. Each node has ground equipment such as a fiber vault, an electrical meter with disconnect, and a faux rock battery backup.

Scope of Request

Crown Castle is upgrading the equipment at 3 streetlight pole locations. These light poles and equipment are located in the right-of-way at:

- H219 - 7300 N. Tatum Blvd.
- H228 - 6401 E. McDonald Dr.
- H232 - 5395 N. Invergordon Rd.

To accommodate the upgraded equipment and to dissipate heat from the new equipment at these 3 sites, the applicant is proposing to relocate the equipment and replace the faux rock screen with a concrete pad on grade and a 3' x 3' x 3' equipment cage. The new equipment cage consists of one solid panel and three mesh panels. The mesh panels will vent the heat generated by the equipment and eliminate the need for fan-cooled equipment (which may require larger insulated cabinets to dampen the noise generated from the fans). The screens may be orientated in any direction and painted any color the Town prefers. Creosote bushes will be placed around the H228 and H232 sites to provide additional screening. The new landscaping will be maintained by a landscaper for one year to help ensure the Creosote bushes take root and survive. Landscaping will not be placed around the H219 equipment cage since it will be placed behind and partially screened by the existing utility cabinets. New landscaping at this location may also obstruct or impede access to the existing utility cabinets.

In summary, the applicant is proposing the following changes:

H219 - 7300 N. Tatum Boulevard. The applicant is proposing to replace the faux rock and relocate the equipment from the corner of Tatum Blvd and Clearwater Pkwy several feet northwest of the streetlight. The new equipment and cage will be located approximately 14' away from the existing faux rock location (placed between the existing fence wall and existing utility cabinets). The new equipment cage is 3'x3'x3' in size (with 1 solid and 3 mesh panels). The solid portion of the cage will face Tatum Blvd. and the equipment cage will have a "bare metal" or "unprotected" initial finish that will allow it to rust over time. A stipulation was added to identify that

any changes to the finish and/or color of the equipment cages will require Town Manager or Designee approval.

H228 - 6401 E. McDonald Drive. The applicant is proposing to replace the faux rock and relocate the equipment from the corner of Invergordon Rd and McDonald Dr further south on Invergordon Rd. The new equipment and cage will be located approximately 60' further south from the existing faux rock location. The new equipment cage is 3'x3'x3' in size (with 1 solid and 3 mesh panels) and will be screened with 3 creosote bushes.

The solid portion of the cage will face Invergordon Road and the equipment cage will have a "bare metal" or "unprotected" initial finish that will allow it to rust over time. Stipulations were added to identify:

- That any changes to the finish and/or color of the equipment cages will require Town Manager or Designee approval, and
- That the new landscaping shall be maintained by a landscaper for one year to help ensure that the Creosote bushes take root and survive. If the landscaping dies, it shall be replaced with plants in accordance with the approved plans and any changes to the landscaping shall require Town Manager or Designee approval.

H232 - 5395 N. Invergordon Road. The applicant is proposing to replace the faux rock and relocate the equipment from the corner of Invergordon Rd and Jackrabbit Rd further south on Invergordon Rd. The new equipment and cage will be located approximately 50' further south from the existing faux rock location. The new equipment cage is 3'x3'x3' in size (with 1 solid and 3 mesh panels) and will be screened with 3 creosote bushes.

The solid portion of the cage will face Invergordon Road and the equipment cage will have a "bare metal" or "unprotected" initial finish that will allow it to rust over time. Stipulations were added to identify:

- That any changes to the finish and/or color of the equipment cages will require Town Manager or Designee approval, and
- That the new landscaping shall be maintained by a landscaper for one year to help ensure that the Creosote bushes take root and survive. If the landscaping dies, it shall be replaced with plants in accordance with the approved plans and any changes to the landscaping shall require Town Manager or Designee approval.

Equipment Cage Finish/Color

During the April 7th work study session, there was support for a bare or untreated metal equipment cage that would rust over time. Since the applicant provided photo samples of the equipment cages for review, staff would like confirm that the Planning Commission still prefers a bare metal equipment cage that will rust over time versus a pre-treated rusted finish or a painted finish.

DISCUSSION:

Statement of Direction (SOD)

On March 26, 2020, the Town Council issued a SOD on the updated equipment screens by a vote of

7 to 0. The SOD is summarized as follows:

1. **Equipment Cages/Screens.** The equipment modification will improve service and will not change the use of the SUP. However, the new cages/screens will change the aesthetics. The Planning Commission shall evaluate the color and/or type of material (such as rusted metal) of the equipment screens/cages.
2. **Orientation, Location, and Mitigation.** The Planning Commission shall: 1) evaluate the location and the orientation of the equipment screens/cages and 2) identify how the equipment cages can be visually mitigated. This includes identifying the location of underground utilities and potential conflicts, identifying the best location that will conceal the screen/cage, and identifying the appropriate orientation at each site (such as having the solid portions of the screen face the street and/or locating the equipment to a less visible area).

However, the costs associated with the different mitigation factors must be considered. The Commission shall provide effective and cost-efficient options that will visually mitigate the new equipment cages and minimize project costs. This includes the use of vegetation around the equipment cages/screens, evaluate if vegetation is needed at all 3 locations, and identify the type, quantity, and location of all applicable plants.

3. The Planning Commission must complete their review by May 5, 2020.

Please reference Attachment D for the complete SOD.

Zoning Ordinance Compliance:

The proposed improvements are consistent with the DAS Special Use Permit, which require screening of the equipment. Due the aesthetic change, an Intermediate SUP Amendment is required. Since this is an Intermediate SUP Amendment, the Planning Commission will forward a recommendation to the Town Council.

INTERMEDIATE AMENDMENT CRITERIA:

An Intermediate Amendment to a Special Use Permit shall include any proposal which does not:

1. Change or add any uses; or
2. Increase the floor area of the project by more than 40% upon the existing or, if still under construction, approved floor area square footage of the affected SUP property, with any such increase to be measured cumulatively over a sixty-month period; or
3. Have any significant material effect on the adjoining property owners that is visible, audible, or otherwise perceptible from adjacent properties that cannot be sufficiently mitigated.

Stipulation No. 2 on the Crown Castle SUP states that, “....Aesthetic changes to the approved antenna equipment or the addition of new antenna nodes shall require an Intermediate Amendment to the Special Use Permit.” The proposed improvements do not change the use of the SUP, do not

affect floor area, and should be mitigated with the type of screen and landscaping.

Public Comment

Public notification was performed in accordance with the public hearing and Intermediate SUP Amendment process. Staff received two inquiries regarding the application. One resident inquired if this would improve his coverage and was supportive of the request. The other resident was inquiring if the improvements were to accommodate 5G. Staff clarified that the applicant currently does not have plans for 5G at these three sites and that the new cages will prevent the equipment from overheating. The applicant also held a Citizen Review meeting on April 20, 2020. A copy of the Citizen Review meeting minutes is enclosed for reference.

Next Steps

Forward the application to the Town Council with a recommendation of approval or a recommendation of denial.

ATTACHMENT(S):

- A - Application
- B - Vicinity Map & Aerial Photo
- C - Narrative & Plans
- D - Ordinance 2020-06 (Draft)
- E - Statement of Direction (SUP-20-03)
- F - Ordinance 625 (Original Crown Castle DAS Special Use Permit)
- G - Photo Samples of Equipment Cage
- H - Notification Materials (Citizen Review Meeting Minutes and Public Hearing Notice)



COMMUNITY DEVELOPMENT DEPARTMENT SPECIAL USE PERMIT APPLICATION GUIDE

Town of Paradise Valley • 6401 East Lincoln Drive • Paradise Valley, Arizona 85253 • Phone: (480) 348-3693

APPLICANT & CONTACT INFORMATION

Please check the appropriate box for the Type(s) of Application(s) you are requesting

Special Use Permit

- | | |
|---|--|
| <input type="checkbox"/> Managerial Amendment | <input checked="" type="checkbox"/> Intermediate Amendment |
| <input type="checkbox"/> Minor Amendment | <input type="checkbox"/> Major Amendment/New SUP |

Project Name: Crown Castle - ground equipment modifications

Date: 2/12/2020 Existing Zoning: _____ Proposed Zoning: _____ Net Acres: _____

Property Address: 3 existing locations in Town's ROW - see list

Assessor's Parcel Number: N/A - in Town ROW

Owner: Town of Paradise Valley

Address: 8401 E Lincoln Dr.

Phone number: 480-348-3693

E-mail address: _____

Signature: _____
(Or provide a separate letter of authorization)


Applicant/Representative: Tanya Friese

Company Name (if Applicable): Crown Castle Fiber LLC (NewPath Networks)

Address: 2055 S. Stearman Dr, Chandler, AZ 85286

Phone number: 602-677-0957

E-mail address: tanya.friese@crowncastle.com

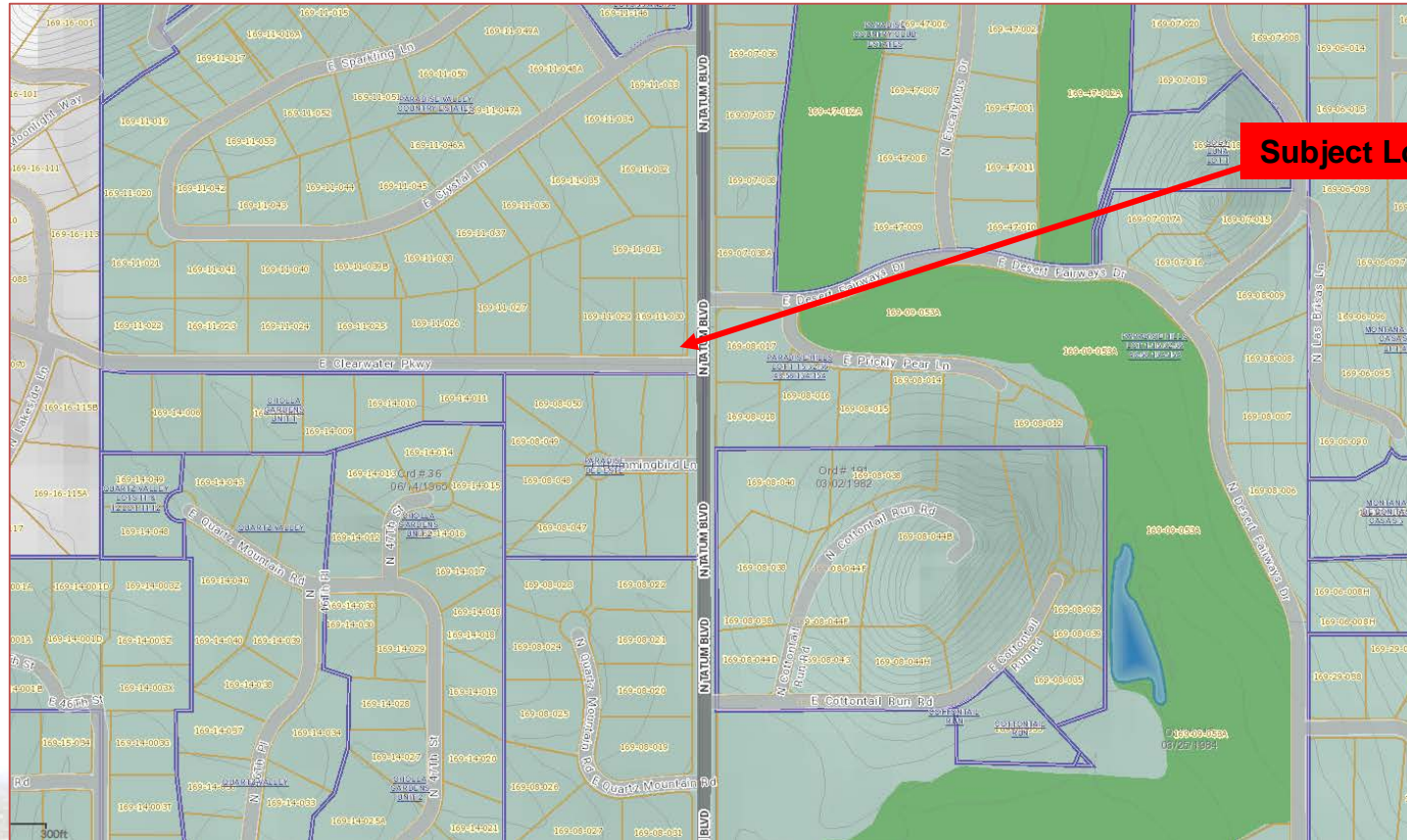
Signature: 

THE ABOVE APPLICANT HEREBY APPLIES FOR AN APPLICATION AS INDICATED IN THE SUBMITTED NARRATIVE, PLANS, AND DOCUMENTS IN ACCORDANCE WITH THE TOWN CODE AND TOWN POLICIES.

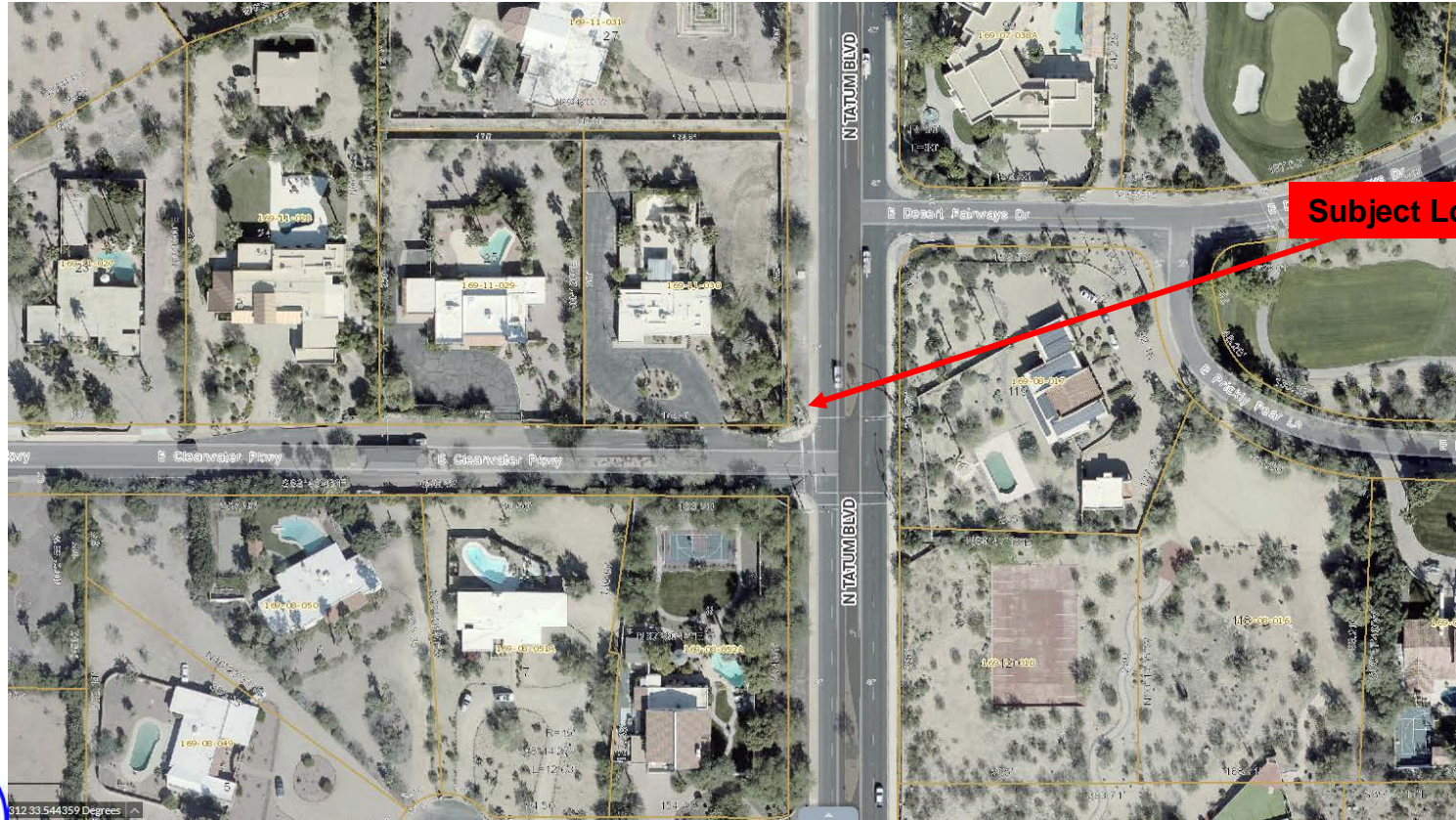
FOR DEPARTMENTAL USE ONLY

App.#: SUP-20-03 Submittal Date: 2/14/20 Expiration Date: _____

H219 – 7300 N TATUM BLVD



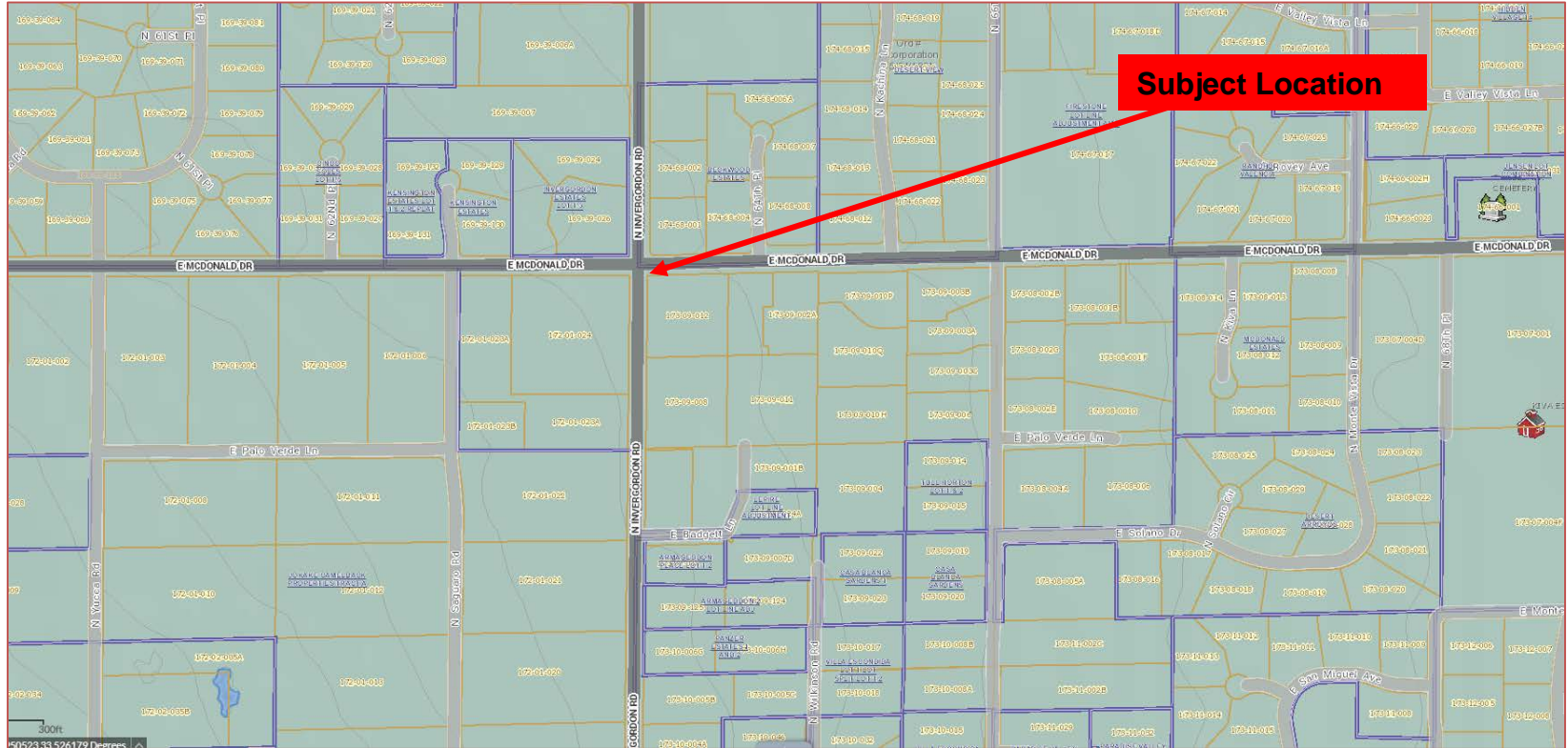
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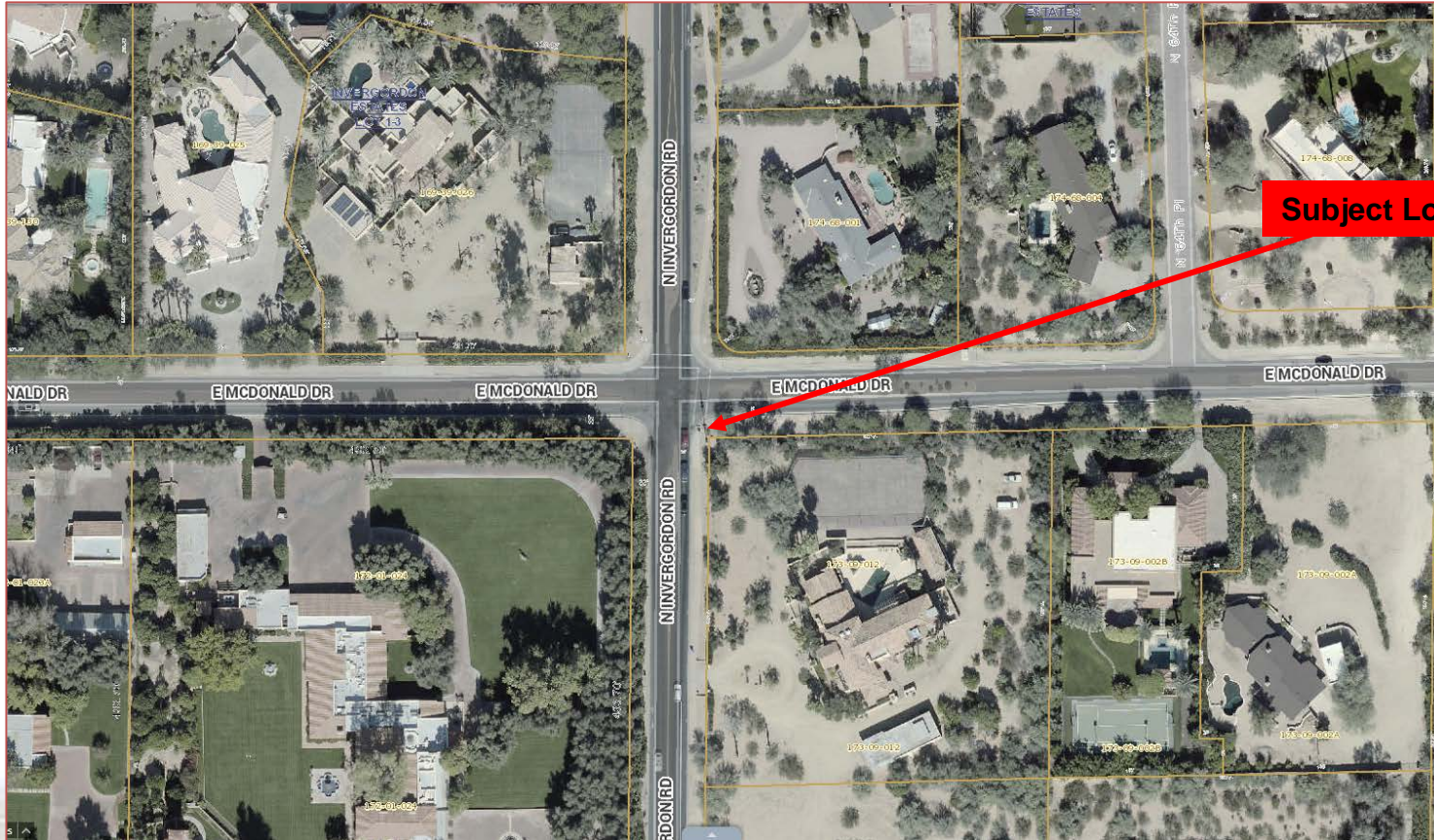
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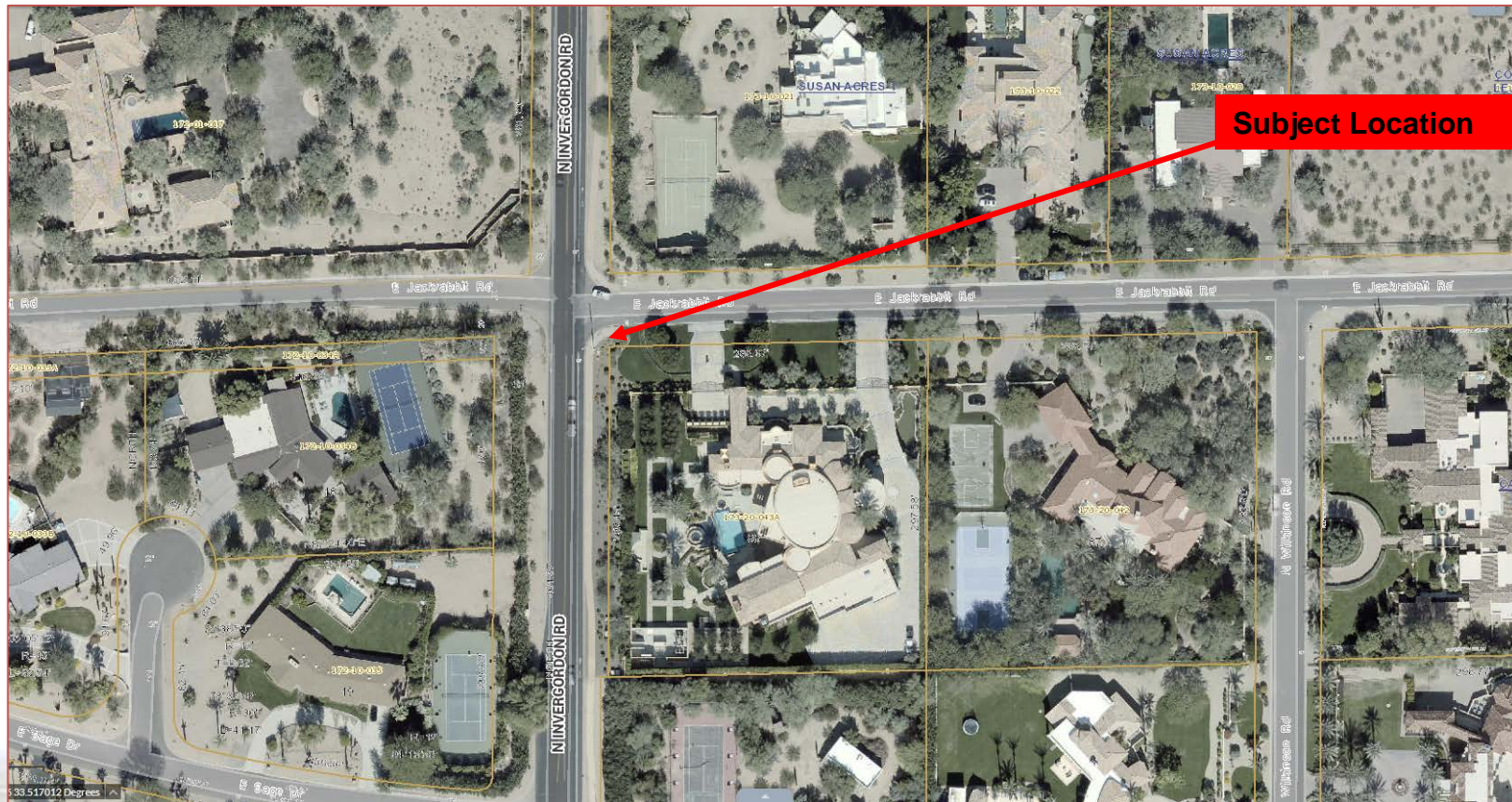


Subject Location



H228 - 6401 E MCDONALD DR





Paradise Valley – equipment modifications to 3 streetlight SWF sites

Site List:

- 1) H219 – 7300 N. Tatum Blvd
- 2) H228 – 6401 E. McDonald Dr
- 3) H232 – 5395 N. Invergordon Rd

Project Narrative:

Crown Castle Fiber LLC, formerly NewPath Networks, is upgrading its existing small wireless facilities throughout Paradise Valley to provide increased signal penetration and improve network capacity. These equipment modifications require a change in the form factor to accommodate different sized equipment than what was original permitted and installed for the three (3) streetlight poles in this network.

To accommodate the changes in equipment at these 3 sites, Crown Castle considered all possible configurations including placing the equipment into a new, pole-mounted cabinet, installing a larger, 36" tall faux rock structure near the pole, as well as, installing an underground vault. Due to heat dissipation issues with the electronic equipment, we were unable to proceed with these alternative options, including the use of a decorative cabinet. All other small wireless sites in the Town have an existing 48"x36"x24" equipment cage or 24't x 24"w faux cactus structure, allowing the replacement equipment to fit and operate effectively. To accommodate the equipment modifications at the 3 streetlight poles, we'll remove the existing faux rock-covered partial vault, install a new concrete pad at grade and place a new 3' x 3' x 3' equipment cage on it. This new ground cabinet features a single solid panel side with 3 mesh panels, can be painted any color the Town prefers and oriented in any direction. The mesh panels help dissipate the heat and eliminate the need for additional fan-cooled equipment that would generate sound or the use of a much larger, insulated cabinet. The proposed addition of Creosote bushes, similar to what is in the vicinity, placed around the new cabinet will further provide screening of views and will be maintained by a landscaper until established (approximately 1 year).

D:\AAA - Shift Companies\AAA - Arizona\Scottsdale\Upgrade Sites\AAA - SITES\Paradise Valley\H219-01 - Project.rvt 1/29/2020 9:07:50 AM

ABBREVIATIONS AND SYMBOLS

3

Δ

REVISION

A01

→

KEY NOTE

8

A-2

ELEVATION REFERENCE

●

ELEVATION MARKER

##

←

ANTENNA AZIMUTH

1

A-0.2

VIEW NUMBER

1

A-0.2

SHEET NUMBER

CENTER LINE

RIGHT-OF-WAY/PROPERTY LINE

FIBER

GAS

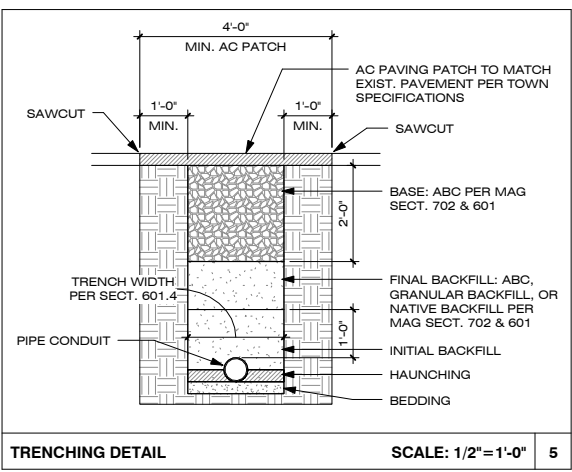
POWER

SANITARY SEWER

STORM DRAIN

WATER

OVERHEAD POWER LINE



TRENCHING DETAIL

SCALE: 1/2"=1'-0"

5

GENERAL NOTES

1. CONTRACTOR TO FIELD LOCATE EXIST. UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION

2. EX. LANDSCAPE PLANTINGS AND DECORATIVE HARDSCAPES DISTURBED OR DESTROYED AS A RESULT OF CONSTRUCTION SHALL BE REPLACED WITH A LIKE SIZE AND SPECIES.

3. CONTRACTOR TO HAND LOCATE EX. IRRIGATION PRIOR TO EXCAVATION.

4. SITE PLAN IS A DIAGRAMMATIC REPRESENTATION ONLY; VERIFY ALL DIMENSIONS.

5. EXIST. UTILITY LOCATIONS SHOWN ON PLANS ARE APPROXIMATE ONLY (AS PROVIDED BY LOCAL UTILITIES).

6. ANY DAMAGE TO EXISTING GUTTER, CURB, SIDEWALK AND ROADWAY DURING CONSTRUCTION TO BE REPAIRED OR REPLACED.

Contact Arizona 811 at least two full working days before you begin excavation

ARIZONA811

Call 811 or click Arizona811.com

SUBJECT POLE: H219-01

GPS COORDINATES:

LAT: 33.543756,

LONG: -111.975778

POLE TYPE: METAL STREET LIGHT

POLE ID #:

SUBJECT POLE IS LOCATED IN:

SCOTTSDALE R.O.W.

CROWN CASTLE

CROWN CASTLE

2055 S. STEARMAN DRIVE
CHANDLER, AZ 85286
PH: 602.722.4707

RECORD DRAWINGS ISSUE DATE: 01.28.20

SHIFT

Shift Companies, LLC

3334 N. 20TH STREET
PHOENIX, ARIZONA 85016
ph: 480.264.0829
fax: 480.264.0163

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RELEASE

DATE	SUBMITTAL
11.08.19	1ST SUBMITTAL
01.28.20	2ND SUBMITTAL

REVISIONS

NO.	DATE	COMMENT

PROJECT NAME

PARADISE VALLEY - UPGRADE

NODE NUMBER

H219-01

NODE ADDRESS

7300 N. TATUM BLVD.
PARADISE VALLEY, AZ 85253

LAT: 33.543756,

LONG: -111.975778

SHIFT JOB NUMBER

150602

IN HOUSE

DRAWN BY: MB

CHECKED BY: RA

SHEET TITLE

SITE PLAN, EQUIPMENT AND ANTENNA PLAN

SHEET NUMBER

A1.1

PAGE

2 OF 4

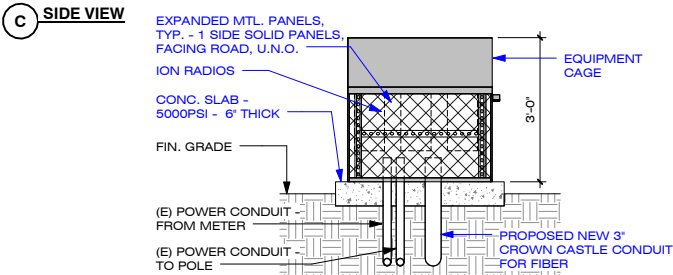
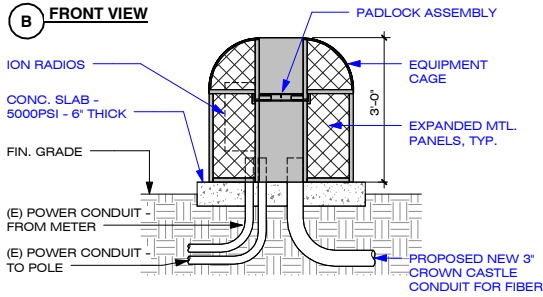
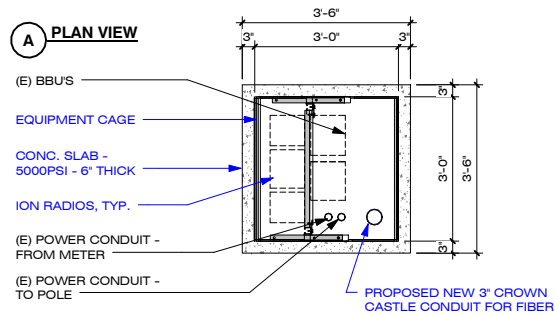
PLOT SCALE: 1:1 @ 24"x36"; 1:2 @ 11"x17"

SITE / EQUIPMENT PLAN

SCALE 1/8" = 1'-0" 0 1 2 4 20

PLAN CHECK #

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ANTENNA:	(1) AMPHENOL OMNI	- 2.325 CuFt TOTAL: 2.325 CuFt
EQUIPMENT:	(1) NOKIA AIRSCALE RRH (1) NOKIA B14/12 RRH (2) DELTA DC CONVERTER (1) NOVUS MICRO XL BBU	- 0.917 CuFt - 1.069 CuFt - 0.237 CuFt (EA.) 0.474 CuFt TOTAL - 1.855 CuFt TOTAL: 4.315 CuFt

NOTE:
PAINT PROPOSED GROUND EQUIPMENT A NATURAL EARTH COLOR (SHERWIN WILLIAMS SW7055 'ENDURING BRONZE' OR AS APPROVED BY CITY OF SCOTTSDALE).

EQUIPMENT CAGE DETAILS

SCALE: 1/4" = 1'-0"

9



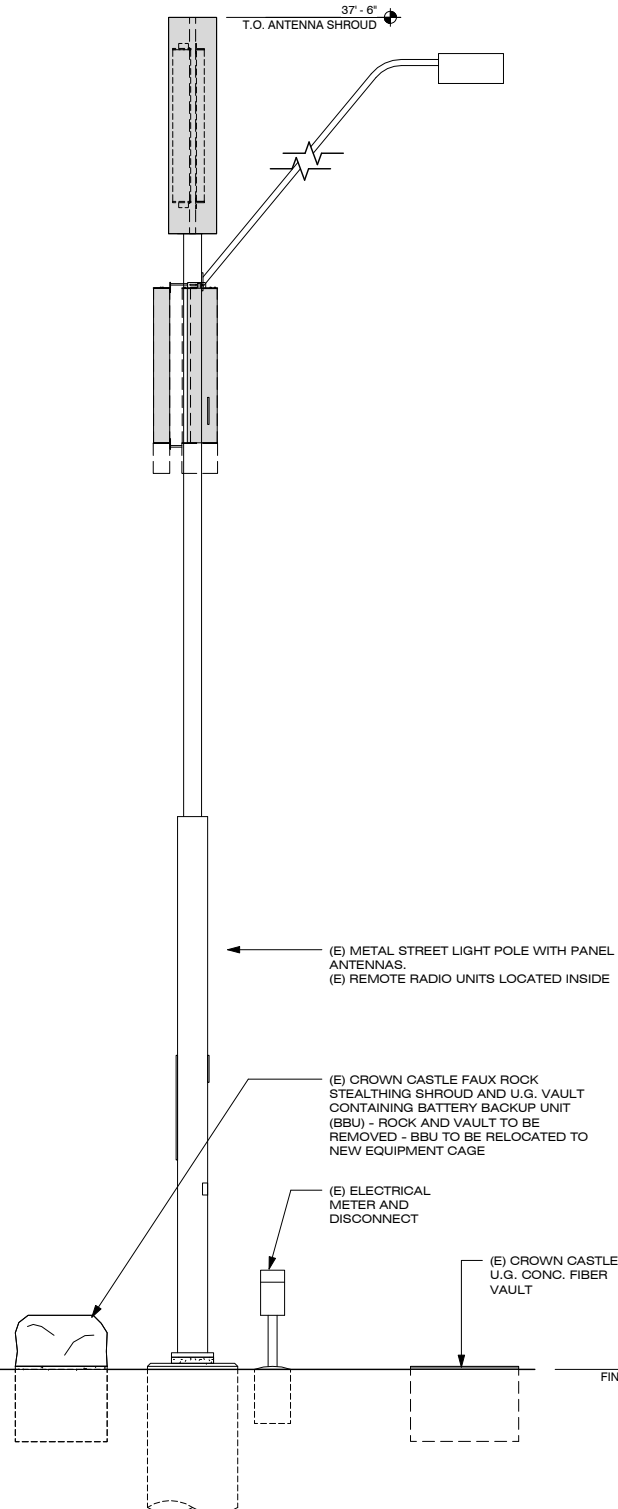
POLE LOCATION PHOTO (EXISTING)

SCALE: N.T.S.



POLE LOCATION PHOTO SIMULATION (PROPOSED)

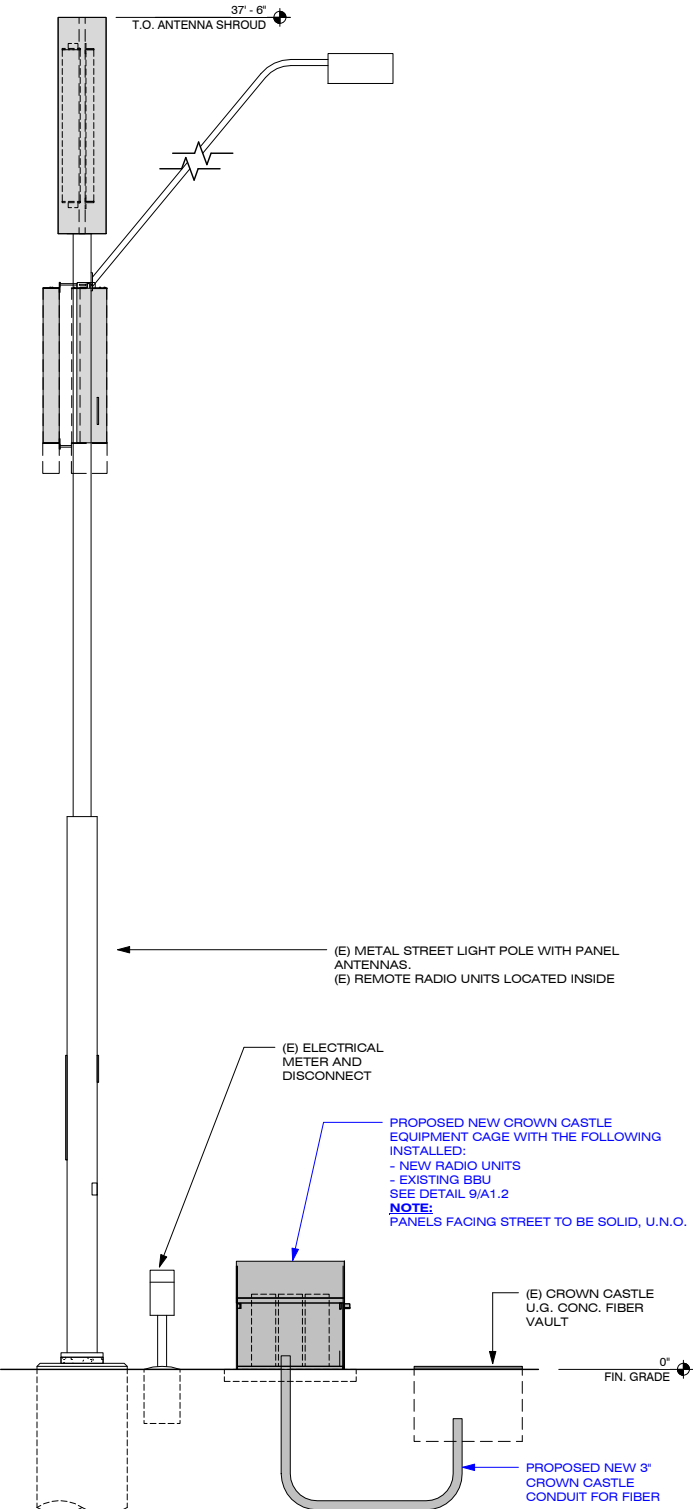
SCALE: N.T.S.



POLE ELEVATION (EXISTING)

SCALE: 3/16" = 1'-0"

16



POLE ELEVATION (PROPOSED)

SCALE: 3/16" = 1'-0"

20



CROWN CASTLE
2055 S. STEARMAN DRIVE
CHANDLER, AZ 85286
PH: 602.722.4707

RECORD DRAWINGS ISSUE DATE: 01.28.20



Shift Companies, LLC
3334 N. 20TH STREET
PHOENIX, ARIZONA 85016
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fax: 480.264.0163

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LAT: 33.543756,
LONG: -111.975778

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DRAWN BY: MB
CHECKED BY: RA

SHEET TITLE

POLE ELEVATION /
PHOTO SIMULATIONS,
PROPOSED

SHEET NUMBER

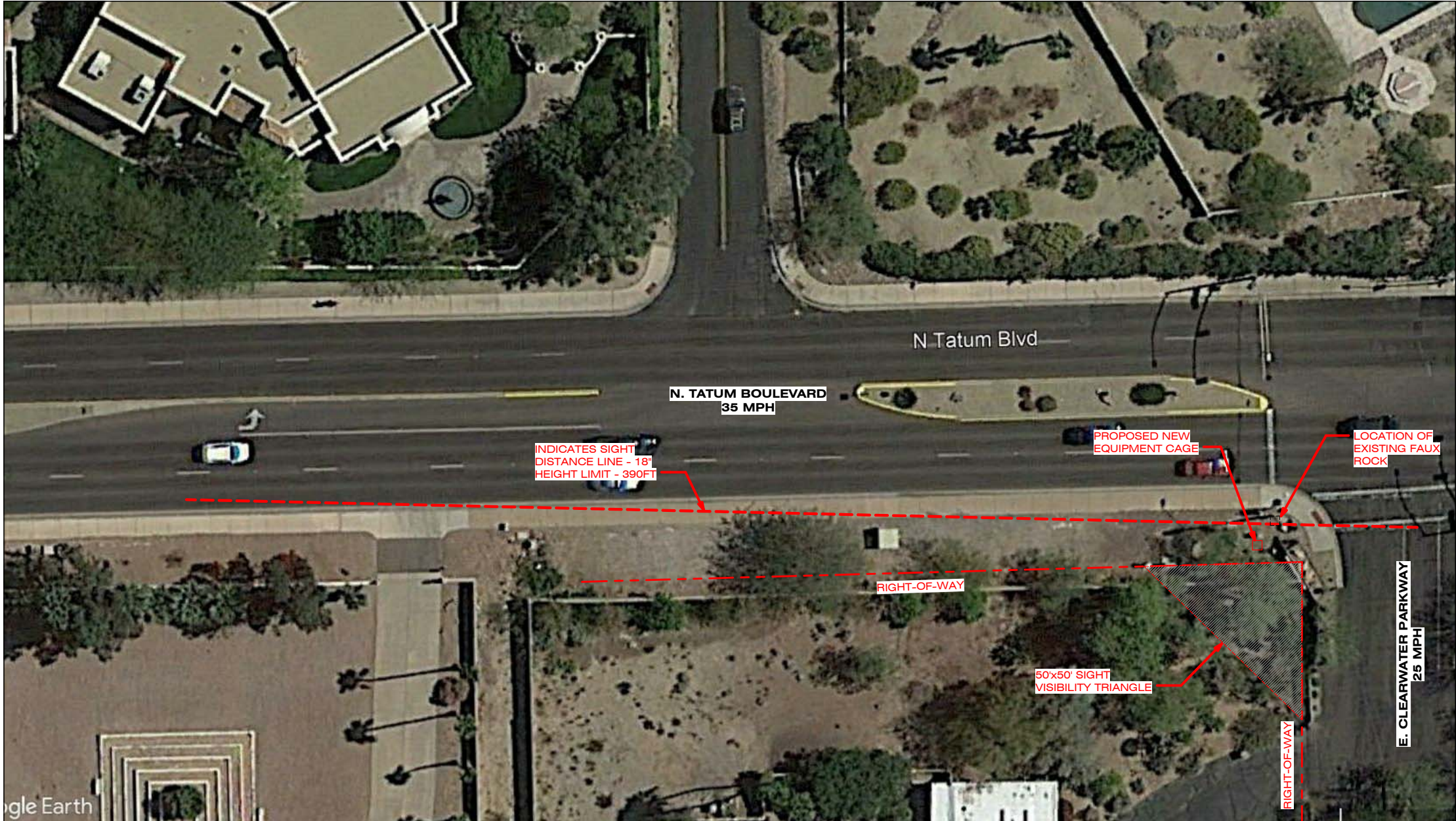
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PAGE

3 OF 4

PLOT SCALE: 1:1 @ 24"x36"; 1:2 @ 11"x17"

PLAN CHECK #



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LAT: 33.543756,
LONG: -111.975778

SHIFT JOB NUMBER

150602

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IN HOUSE

SHEET TITLE

SIGHT VISIBILITY EXHIBIT

SHEET NUMBER

A1.3

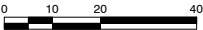
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4 OF 4

PLOT SCALE: 1:1 @ 24"x36"; 1:2 @ 11"x17"



SCALE 1" = 20'-0"



SIGHT VISIBILITY EXHIBIT

PLAN CHECK #

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2/12/2020 9:31:21 AM



PROJECT NAME: PARADISE VALLEY - UPGRADE

HUB AREA: PARADISE VALLEY X463

NODE #(s): **H228-01**

PROJECT TYPE: **METAL STREET LIGHT**

ADDRESS: 6401 E. McDONALD DR.
PARADISE VALLEY, AZ 85253

COORDINATES: LAT.: 33.523717, LONG.: -111.943044

T1.1-Sheet Index		
Sheet #	Sheet Description	Page
T1.1	TITLE SHEET	1
A1.1	SITE PLAN, EQUIPMENT AND ANTENNA PLAN	2
A1.2	POLE ELEVATION / PHOTO SIMULATIONS, PROPOSED	3
A1.3	SIGHT VISIBILITY EXHIBIT	4



CROWN CASTLE
2055 S. STEARMAN DRIVE
CHANDLER, AZ 85286
PH: 602.722.4707

RECORD DRAWINGS ISSUE DATE: 02.12.20

SHIFT

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REVISIONS		
NO.	DATE	COMMENT

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NODE NUMBER

H228-01

NODE ADDRESS

6401 E. McDONALD DR.
PARADISE VALLEY, AZ 85253

LAT: 33.523717,
LONG: -111.943044

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CHECKED BY: RA

SHEET TITLE

TITLE SHEET

SHEET NUMBER

T1.1

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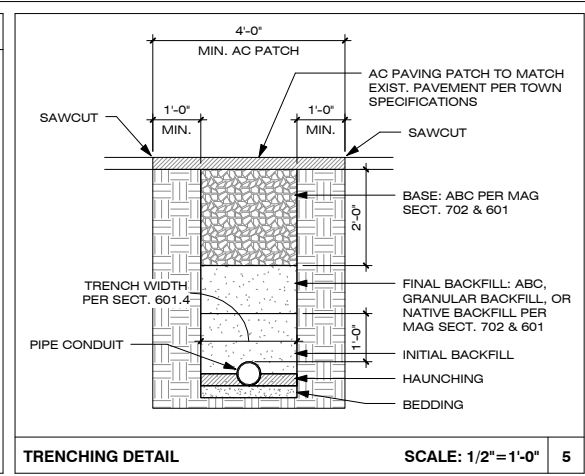
1 OF 4

PLOT SCALE: 1:1 @ 24"x36"; 1:2 @ 11"x17"

CODES		GENERAL PROJECT NOTES
<p>CODES:</p> <p>CURRENT TOWN OF PARADISE VALLEY MUNICIPAL CODE</p> <p>2015 INTERNATIONAL BUILDING CODE (IBC)</p> <p>2014 NATIONAL ELECTRICAL CODE (NEC)</p> <p>NOTE:</p> <p>NO PROPOSED STORM SEWER, WASTEWATER, OR WATER WORK IS SHOWN ON THIS PLAN SET, NOR INCLUDED IN THIS WORK SCOPE.</p>		<ol style="list-style-type: none">1. A UTILITY LOCATE IS REQUIRED FOR ALL PROJECTS.2. CROSSING OF EXISTING UTILITIES SHALL BE COORDINATED BY CONTRACTOR.3. ALL DISTURBED LANDSCAPING SHALL BE REPLACED TO SIMILAR EXISTING CONDITION.4. ALL SURFACE REPAIR SHALL BE TO TOWN OF PARADISE VALLEY SPECIFICATIONS.5. ANY SIDEWALK CLOSURE SHALL BE COORDINATED WITH THE TOWN AND PROPER SIGNAGE WILL BE PLACED.6. TEMPORARY LIGHTING WILL BE COORDINATED WITH THE CITY AND PROVIDED WHENEVER EXISTING LIGHTING IS REMOVED OR UNAVAILABLE AS REQUIRED.7. NO MATERIALS OR EQUIPMENT SHALL BE STORED ON PRIVATE PROPERTY OR BLOCK ACCESS TO PRIVATE PROPERTY.8. OPEN EXCAVATIONS SHALL BE PROPERLY GUARDED AND SIGNED. NO OPEN EXCAVATIONS WILL BE LEFT ACCESSIBLE TO THE PUBLIC.9. CLEANUP OF THE WORK AREA WILL BE COMPLETED EACH EVENING AND THE PROJECT AREA WILL BE RETURNED TO EXISTING CONDITION AT THE COMPLETION OF CONSTRUCTION AT EACH NODE LOCATION.10. ALL WORK TO COMPLY WITH OSHA AND TOWN OF PARADISE VALLEY GUIDELINES.11. CONTRACTOR WILL BE RESPONSIBLE FOR LOCATING PRIVATE IRRIGATION PRIOR TO EXCAVATION. CONTRACTOR WILL REPAIR OR REROUTE IRRIGATION IN ROW AS NECESSARY.12. THE CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE AND REPLACE, AT THEIR COST, ANY AND ALL DAMAGED PAVEMENT, SIDEWALK, CURB AND GUTTER OUTSIDE THE PAY LIMIT, DAMAGE DUE TO THEIR ACTIVITIES ON THE PROJECT. THIS INCLUDES, BUT IS NOT LIMITED TO THE REMOVAL AND REPLACEMENT OF NEWLY CRACKED, THE REMOVAL AND REPLACEMENT OF EXISTING CRACKS WHERE THE CRACKS HAVE BEEN ENLARGED DUE TO THE CONTRACTORS OPERATIONS. THE REMOVAL AND REPLACEMENT OF DEFORMED PAVEMENT, CURB AND GUTTTER, SIDEWALK, ETC.. ALL SAW CUTS USED FOR THE REMOVAL OF THESE ITEMS SHALL BE PERPENDICULAR AND PARALLEL TO THE CENTERLINE CONTROLLING THAT ITEM, OR AT THE DISCRETION OF THE CITY INSPECTOR.13. THE VAULTS INSTALLED IN CONJUNCTION WITH THE INDIVIDUAL ANTENNA NODES SHALL BE FLUSH WITH THE GROUND.
PROJECT INFORMATION		
<p>JURISDICTION:</p> <p>TOWN OF PARADISE VALLEY 6401 E. LINCOLN DR. PARADISE VALLEY, AZ 85253 PH: 480.348.3692 CONTACT: T.B.D.</p>	<p>APPLICANT:</p> <p>CROWN CASTLE 2055 S. STEARMAN DR. CHANDLER, AZ 85286 PH: 602.722.4707</p> <p>POWER COMPANY:</p> <p>ARIZONA PUBLIC SERVICE 400 N. 5TH STREET PHOENIX, AZ 85004 PH: 800.659.2975 CONTACT: T.B.D.</p>	
PROJECT TEAM		
<p>ARCHITECT</p> <p>Company: SHIFT CONSULTING Address: 3334 N. 20TH ST. PHOENIX, AZ 85016 Phone: 480.264.0829 Email: ruebenA@shiftcompanies.com Contact: RUEBEN AMADO</p>	<p>OWNER INFO</p> <p>Company: CROWN CASTLE Address: 2055 S. STEARMAN DR. CHANDLER, AZ 85286 Phone: 480.586.4306 Fax: 480.686.8975 Contact: MATT BOND</p>	
PROJECT DESCRIPTION		
<p>THIS PROJECT UPGRADE WILL CONSIST OF THE REPLACEMENT OF AN EXISTING FAUX ROCK STEALTHING SHROUD (BATTERY BACKUP UNIT), WITH A NEW EQUIPMENT CAGE. EXISTING BATTERY BACKUP UNITS WILL BE MOVED TO THE NEW CAGE. NEW RADIO UNITS WILL ALSO BE INSTALLED IN THE CAGE. A NEW U.G. FIBER CONDUIT WILL BE INSTALLED FROM THE EQUIPMENT CAGE TO THE EXISTING FIBER VAULT.</p>		




PLAN CHECK #




GENERAL NOTES

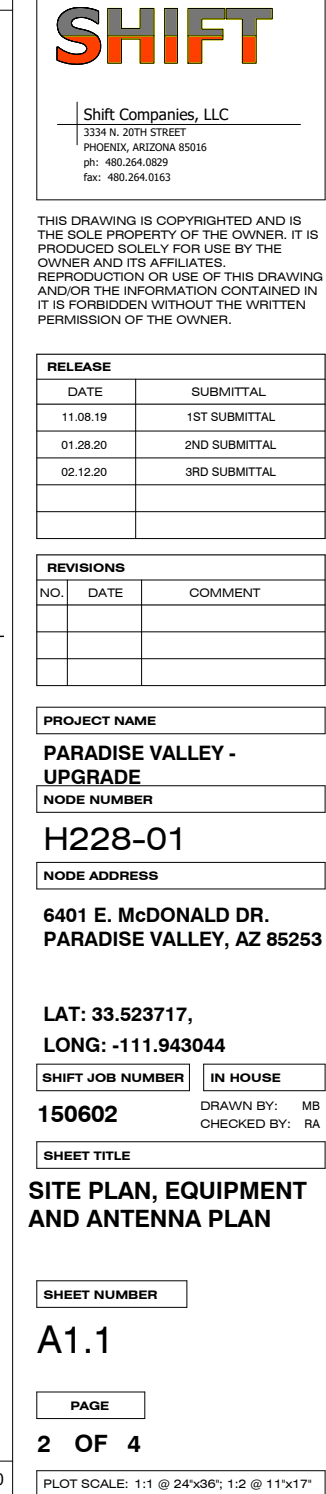
1. CONTRACTOR TO FIELD LOCATE EXIST. UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION
2. EX. LANDSCAPE PLANTINGS AND DECORATIVE HARDSCAPES DISTURBED OR DESTROYED AS A RESULT OF CONSTRUCTION SHALL BE REPLACED WITH A LIKE SIZE AND SPECIES.
3. CONTRACTOR TO HAND LOCATE EX. IRRIGATION PRIOR TO EXCAVATION.
4. SITE PLAN IS A DIAGMMATIC REPRESENTATION ONLY; VERIFY ALL DIMENSIONS.
5. EXIST. UTILITY LOCATIONS SHOWN ON PLANS ARE APPROXIMATE ONLY (AS PROVIDED BY LOCAL UTILITIES).
6. ANY DAMAGE TO EXISTING GUTTER, CURB, SIDEWALK AND ROADWAY DURING CONSTRUCTION TO BE REPAIRED OR REPLACED.

Contact Arizona 811 at least two full working days before you begin excavation



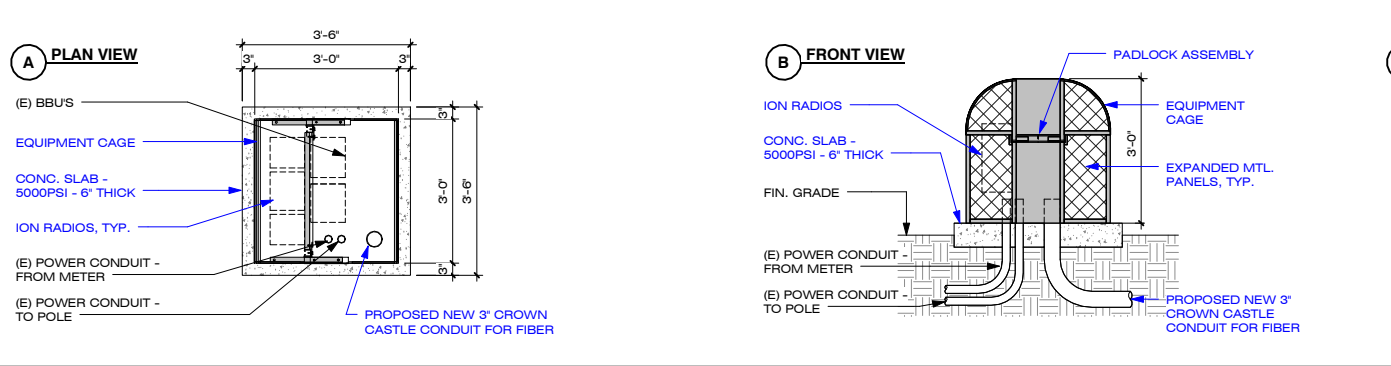
Call 811 or click Arizona811.com

	CROWN CASTLE
CROWN CASTLE 2055 S. STEARMAN DRIVE CHANDLER, AZ 85286 PH: 602.722.4707	
RECORD DRAWINGS ISSUE DATE: 02.12.20	



D:\AAA - Shift Companies\AAA - Crown Castle\Scottsdale\Upgrade Sites\AAA - Arizona\Scottsdale\Upgrade Sites\AAA - Crown Castle\AAA - Arizona\Scottsdale\Upgrade Sites\AAA - Crown Castle.rvt

2/12/2020 9:31:19 AM



EQUIPMENT CAGE DETAILS

SCALE: 1/4" = 1'-0"

9



POLE LOCATION PHOTO (EXISTING)

SCALE: N.T.S.

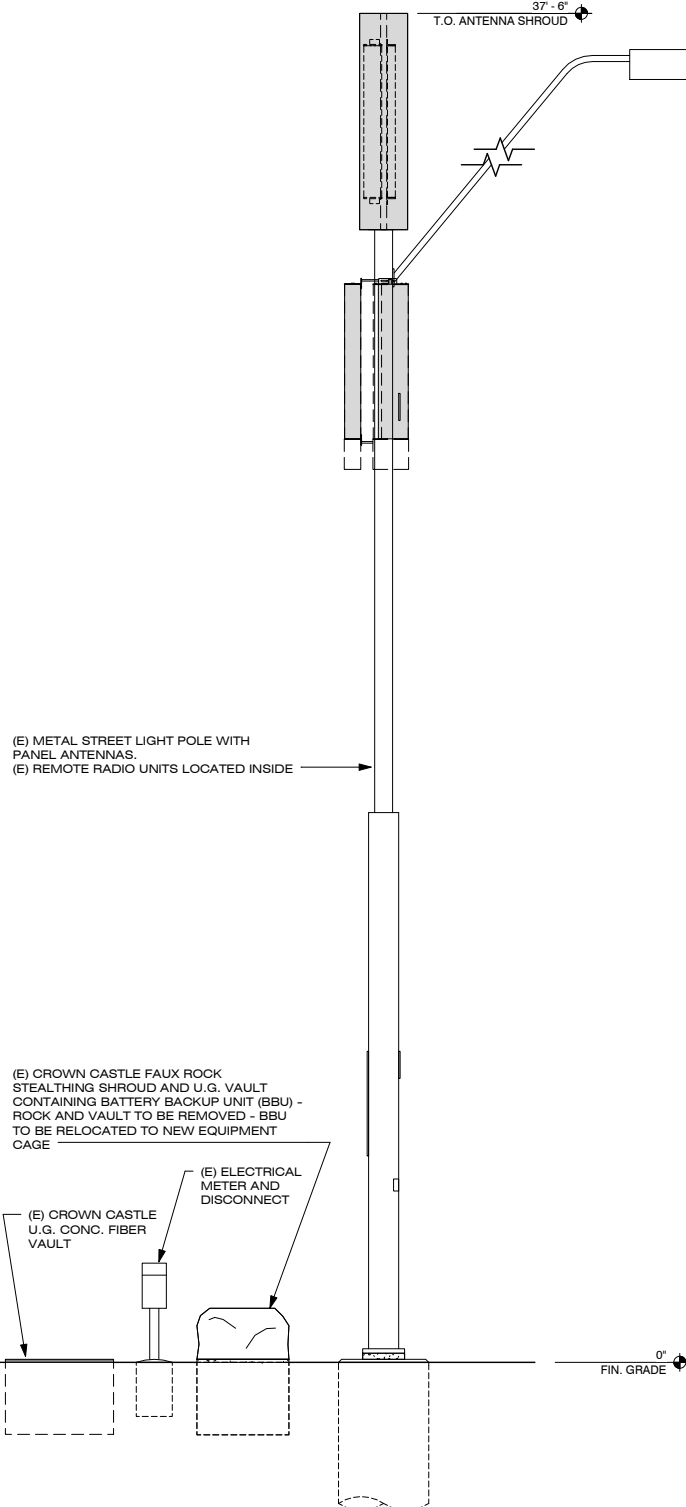
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POLE LOCATION PHOTO SIMULATION (PROPOSED)

SCALE: N.T.S.

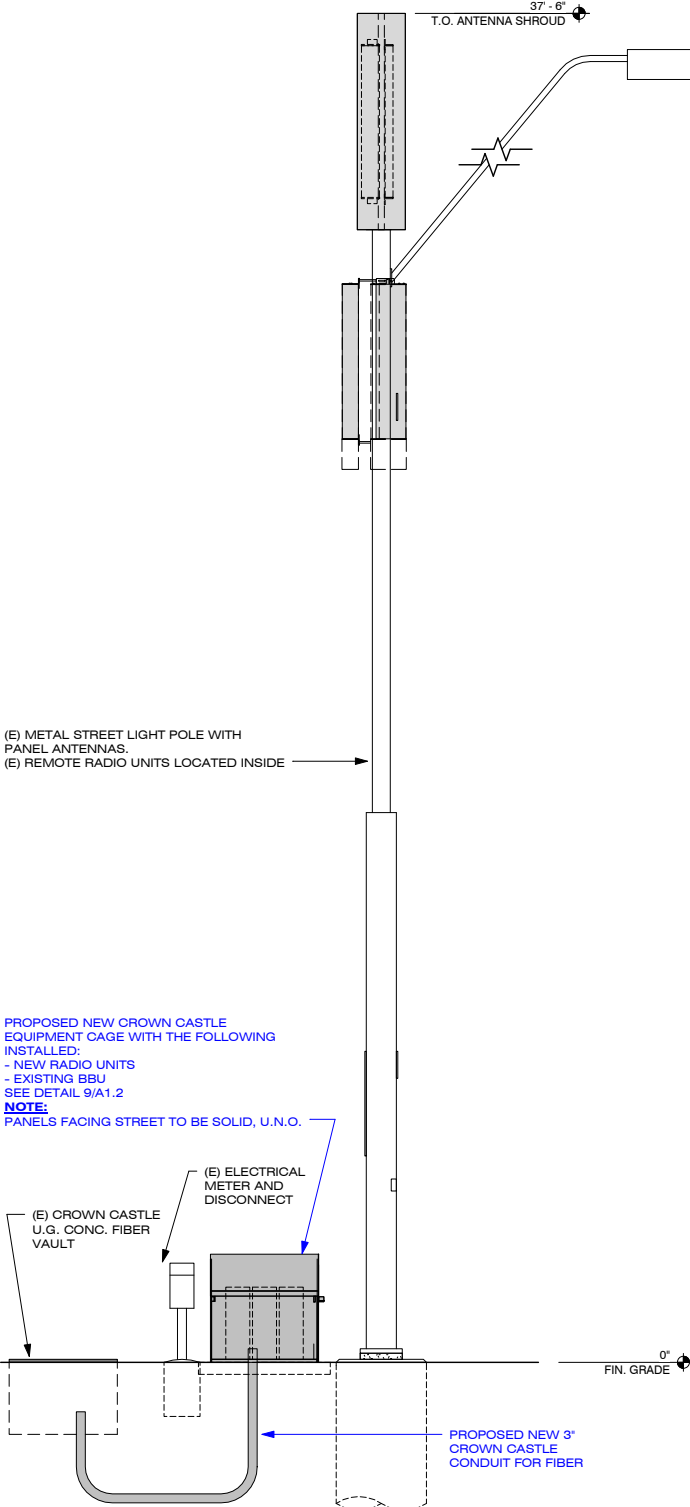
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POLE ELEVATION (EXISTING)

SCALE: 3/16" = 1'-0"

16



POLE ELEVATION (PROPOSED)

SCALE: 3/16" = 1'-0"

20

ANTENNA:	(1) AMPHENOL OMNI	- 2.325 CuFt TOTAL: 2.325 CuFt
EQUIPMENT:	(1) NOKIA AIRSCALE RRH (1) NOKIA B14/12 RRH (2) DELTA DC CONVERTER (1) NOVUS MICRO XL BBU	- 0.917 CuFt - 1.069 CuFt - 0.237 CuFt (EA.) 0.474 CuFt TOTAL - 1.855 CuFt TOTAL: 4.315 CuFt

NOTE:
PAINT PROPOSED GROUND EQUIPMENT A NATURAL EARTH COLOR (SHERWIN WILLIAMS SW7055 'ENDURING BRONZE' OR AS APPROVED BY CITY OF SCOTTSDALE).



CROWN CASTLE
2055 S. STEARMAN DRIVE
CHANDLER, AZ 85286
PH: 602.722.4707

RECORD DRAWINGS ISSUE DATE: 02.12.20



Shift Companies, LLC
3334 N. 20TH STREET
PHOENIX, ARIZONA 85016
ph: 480.264.0829
fax: 480.264.0163

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RELEASE	
DATE	SUBMITTAL
11.08.19	1ST SUBMITTAL
01.28.20	2ND SUBMITTAL
02.12.20	3RD SUBMITTAL

REVISIONS		
NO.	DATE	COMMENT

PROJECT NAME

PARADISE VALLEY -
UPGRADE

NODE NUMBER

H228-01

NODE ADDRESS

6401 E. McDONALD DR.
PARADISE VALLEY, AZ 85253

LAT: 33.523717,

LONG: -111.943044

SHIFT JOB NUMBER

IN HOUSE

150602

DRAWN BY: MB
CHECKED BY: RA

SHEET TITLE

POLE ELEVATION /
PHOTO SIMULATIONS,
PROPOSED

SHEET NUMBER

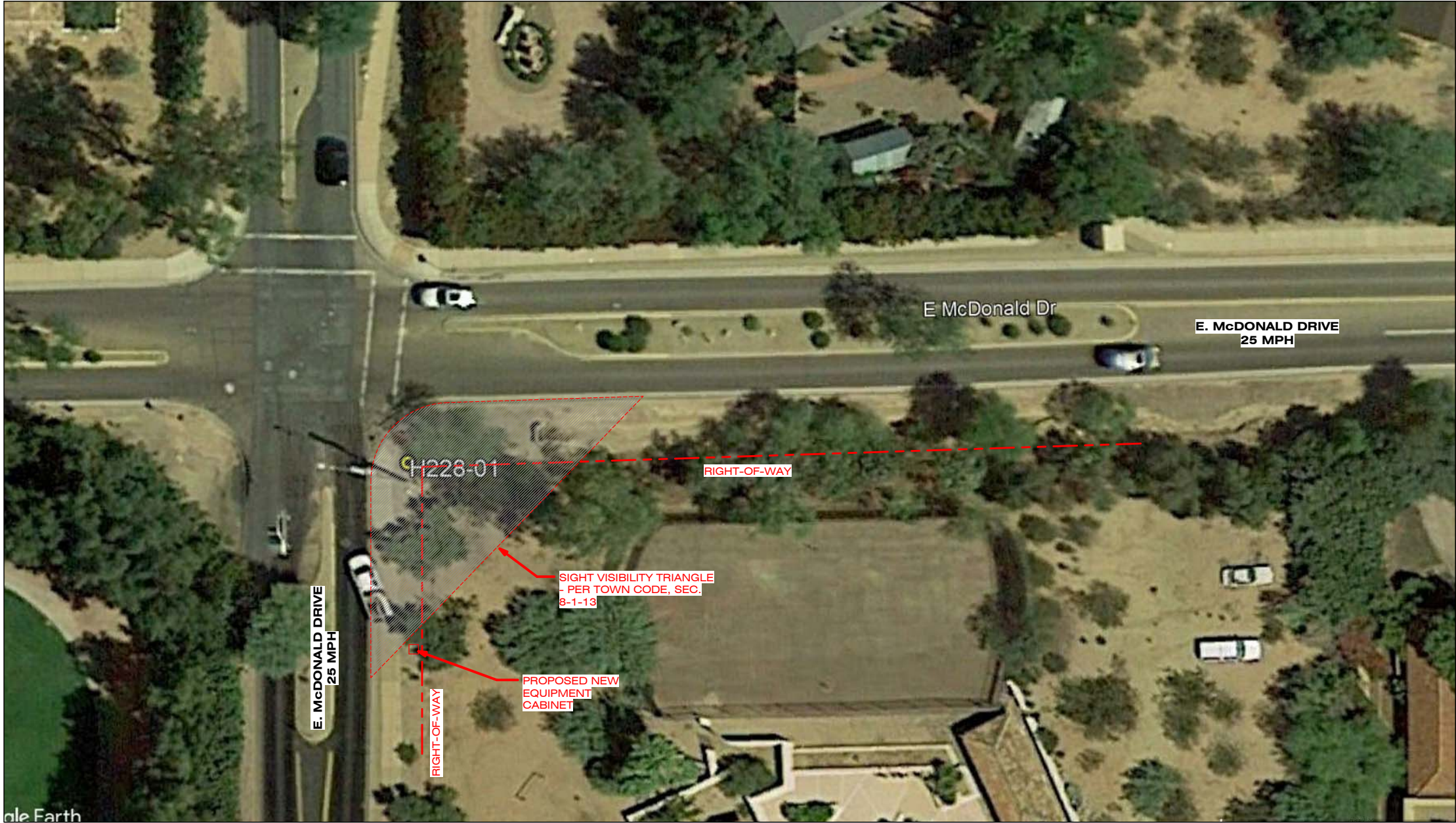
A1.2

PAGE

3 OF 4

PLOT SCALE: 1:1 @ 24"x36"; 1:2 @ 11"x17"

PLAN CHECK #



SCALE 1" = 20'-0" 0 10 20 40 20



CROWN CASTLE
2055 S. STEARMAN DRIVE
CHANDLER, AZ 85286
PH: 602.722.4707

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NO.	DATE	COMMENT

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IN HOUSE

SHEET TITLE

SIGHT VISIBILITY
EXHIBIT

SHEET NUMBER

A1.3

PAGE

4 OF 4

PLOT SCALE: 1:1 @ 24"x36"; 1:2 @ 11"x17"

PLAN CHECK #

D:\AAA - Shift Companies\AAA - Crown Castle\Scottsdale\Upgrade Sites\AAA - SITES\Paradise Valley\H232-01 - Project.rvt

2/12/2020 8:45:00 AM



PROJECT NAME: PARADISE VALLEY - UPGRADE

HUB AREA: PARADISE VALLEY X463

NODE #(s): **H232-01**

PROJECT TYPE: **METAL STREET LIGHT**

ADDRESS: 5395 N. INVERGORDON RD.
PARADISE VALLEY, AZ 85253

COORDINATES: LAT.: 33.516431, LONG.: -111.943133

T1.1-Sheet Index		
Sheet #	Sheet Description	Page
T1.1	TITLE SHEET	1
A1.1	SITE PLAN, EQUIPMENT AND ANTENNA PLAN	2
A1.2	POLE ELEVATION / PHOTO SIMULATIONS, PROPOSED	3
A1.3	SIGHT VISIBILITY EXHIBIT	4



CROWN CASTLE
2055 S. STEARMAN DRIVE
CHANDLER, AZ 85286
PH: 602.722.4707

RECORD DRAWINGS ISSUE DATE: 02.12.20

SHIFT

Shift Companies, LLC
3334 N. 20TH STREET
PHOENIX, ARIZONA 85016
ph: 480.264.0829
fax: 480.264.0163

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DATE	SUBMITTAL
11.08.19	1ST SUBMITTAL
01.28.20	2ND SUBMITTAL
02.12.20	3RD SUBMITTAL

REVISIONS		
NO.	DATE	COMMENT

PROJECT NAME

PARADISE VALLEY - UPGRADE

NODE NUMBER

H232-01

NODE ADDRESS

5395 N. INVERGORDON RD.
PARADISE VALLEY, AZ 85253

LAT: 33.516431,
LONG: -111.943133

SHIFT JOB NUMBERIN HOUSE

150602DRAWN BY: MB
CHECKED BY: RA

SHEET TITLE

TITLE SHEET

SHEET NUMBER

T1.1

PAGE

1 OF 4

PLOT SCALE: 1:1 @ 24"x36"; 1:2 @ 11"x17"

CODES:

CURRENT TOWN OF PARADISE VALLEY MUNICIPAL CODE
2015 INTERNATIONAL BUILDING CODE (IBC)
2014 NATIONAL ELECTRICAL CODE (NEC)

NOTE:

NO PROPOSED STORM SEWER, WASTEWATER, OR WATER WORK IS SHOWN ON THIS PLAN SET, NOR INCLUDED IN THIS WORK SCOPE.

PROJECT INFORMATION

JURISDICTION:

TOWN OF PARADISE VALLEY
6401 E. LINCOLN DR.
PARADISE VALLEY, AZ 85253
PH: 480.348.3692
CONTACT: T.B.D.

APPLICANT:

CROWN CASTLE
2055 S. STEARMAN DR.
CHANDLER, AZ 85286
PH: 602.722.4707

POWER COMPANY:

ARIZONA PUBLIC SERVICE
400 N. 5TH STREET
PHOENIX, AZ 85004
PH: 800.659.2975
CONTACT: T.B.D.

PROJECT TEAM

ARCHITECT

Company: SHIFT CONSULTING
Address: 3334 N. 20TH ST.
PHOENIX, AZ 85016
Phone: 480.264.0829
Email: ruebenA@shiftcompanies.com
Contact: RUEBEN AMADO

OWNER INFO

Company: CROWN CASTLE
Address: 2055 S. STEARMAN DR.
CHANDLER, AZ 85286
Phone: 480.586.4306
Fax: 480.686.8975
Contact: MATT BOND

PROJECT DESCRIPTION

THIS PROJECT UPGRADE WILL CONSIST OF THE REPLACEMENT OF AN EXISTING FAUX ROCK STEALTHING SHROUD (BATTERY BACKUP UNIT), WITH A NEW EQUIPMENT CAGE. EXISTING BATTERY BACKUP UNITS WILL BE MOVED TO THE NEW CAGE. NEW RADIO UNITS WILL ALSO BE INSTALLED IN THE CAGE. A NEW U.G. FIBER CONDUIT WILL BE INSTALLED FROM THE EQUIPMENT CAGE TO THE EXISTING FIBER VAULT.

GENERAL PROJECT NOTES

1. A UTILITY LOCATE IS REQUIRED FOR ALL PROJECTS.

2. CROSSING OF EXISTING UTILITIES SHALL BE COORDINATED BY CONTRACTOR.

3. ALL DISTURBED LANDSCAPING SHALL BE REPLACED TO SIMILAR EXISTING CONDITION.

4. ALL SURFACE REPAIR SHALL BE TO TOWN OF PARADISE VALLEY SPECIFICATIONS.

5. ANY SIDEWALK CLOSURE SHALL BE COORDINATED WITH THE TOWN AND PROPER SIGNAGE WILL BE PLACED.

6. TEMPORARY LIGHTING WILL BE COORDINATED WITH THE CITY AND PROVIDED WHENEVER EXISTING LIGHTING IS REMOVED OR UNAVAILABLE AS REQUIRED.

7. NO MATERIALS OR EQUIPMENT SHALL BE STORED ON PRIVATE PROPERTY OR BLOCK ACCESS TO PRIVATE PROPERTY.

8. OPEN EXCAVATIONS SHALL BE PROPERLY GUARDED AND SIGNED. NO OPEN EXCAVATIONS WILL BE LEFT ACCESSIBLE TO THE PUBLIC.

9. CLEANUP OF THE WORK AREA WILL BE COMPLETED EACH EVENING AND THE PROJECT AREA WILL BE RETURNED TO EXISTING CONDITION AT THE COMPLETION OF CONSTRUCTION AT EACH NODE LOCATION.

10. ALL WORK TO COMPLY WITH OSHA AND TOWN OF PARADISE VALLEY GUIDELINES.

11. CONTRACTOR WILL BE RESPONSIBLE FOR LOCATING PRIVATE IRRIGATION PRIOR TO EXCAVATION. CONTRACTOR WILL REPAIR OR REROUTE IRRIGATION IN ROW AS NECESSARY.

12. THE CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE AND REPLACE, AT THEIR COST, ANY AND ALL DAMAGED PAVEMENT, SIDEWALK, CURB AND GUTTER OUTSIDE THE PAY LIMIT, DAMAGE DUE TO THEIR ACTIVITIES ON THE PROJECT. THIS INCLUDES, BUT IS NOT LIMITED TO THE REMOVAL AND REPLACEMENT OF NEWLY CRACKED, THE REMOVAL AND REPLACEMENT OF EXISTING CRACKS WHERE THE CRACKS HAVE BEEN ENLARGED DUE TO THE CONTRACTORS OPERATIONS. THE REMOVAL AND REPLACEMENT OF DEFORMED PAVEMENT, CURB AND GUTTTER, SIDEWALK, ETC.. ALL SAW CUTS USED FOR THE REMOVAL OF THESE ITEMS SHALL BE PERPENDICULAR AND PARALLEL TO THE CENTERLINE CONTROLLING THAT ITEM, OR AT THE DISCRETION OF THE CITY INSPECTOR.

13. THE VAULTS INSTALLED IN CONJUNCTION WITH THE INDIVIDUAL ANTENNA NODES SHALL BE FLUSH WITH THE GROUND.

PROJECT LOCATION MAP

PLAN CHECK #

ABBREVIATIONS AND SYMBOLS

3

REVISION

A01

KEY NOTE

8
A-2

ELEVATION REFERENCE

ELEVATION MARKER

##

ANTENNA AZIMUTH

1

VIEW NUMBER

A-0.2

SHEET NUMBER

CENTER LINE

RIGHT-OF-WAY/PROPERTY LINE

F

F

FIBER

G

G

GAS

E

E

POWER

S

S

SANITARY SEWER

SD

SD

STORM DRAIN

W

W

WATER

-OHE

-OHE

OVERHEAD POWER LINE

TRENCHING DETAIL

SCALE: 1/2"=1'-0" 5

PLANT LIST

SHRUBS:	QTY:	BOTANICAL NAME:	COMMON NAME:	SIZE:
	3	LARREA TRIDENTATA	CREOSOTE BUSH	15 GALLON

NOTE:
ALL NEW LANDSCAPING TO BE NURSERY STOCK CONDITION

GENERAL NOTES

- CONTRACTOR TO FIELD LOCATE EXIST. UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION
- EX. LANDSCAPE PLANTINGS AND DECORATIVE HARDSCAPES DISTURBED OR DESTROYED AS A RESULT OF CONSTRUCTION SHALL BE REPLACED WITH A LIKE SIZE AND SPECIES.
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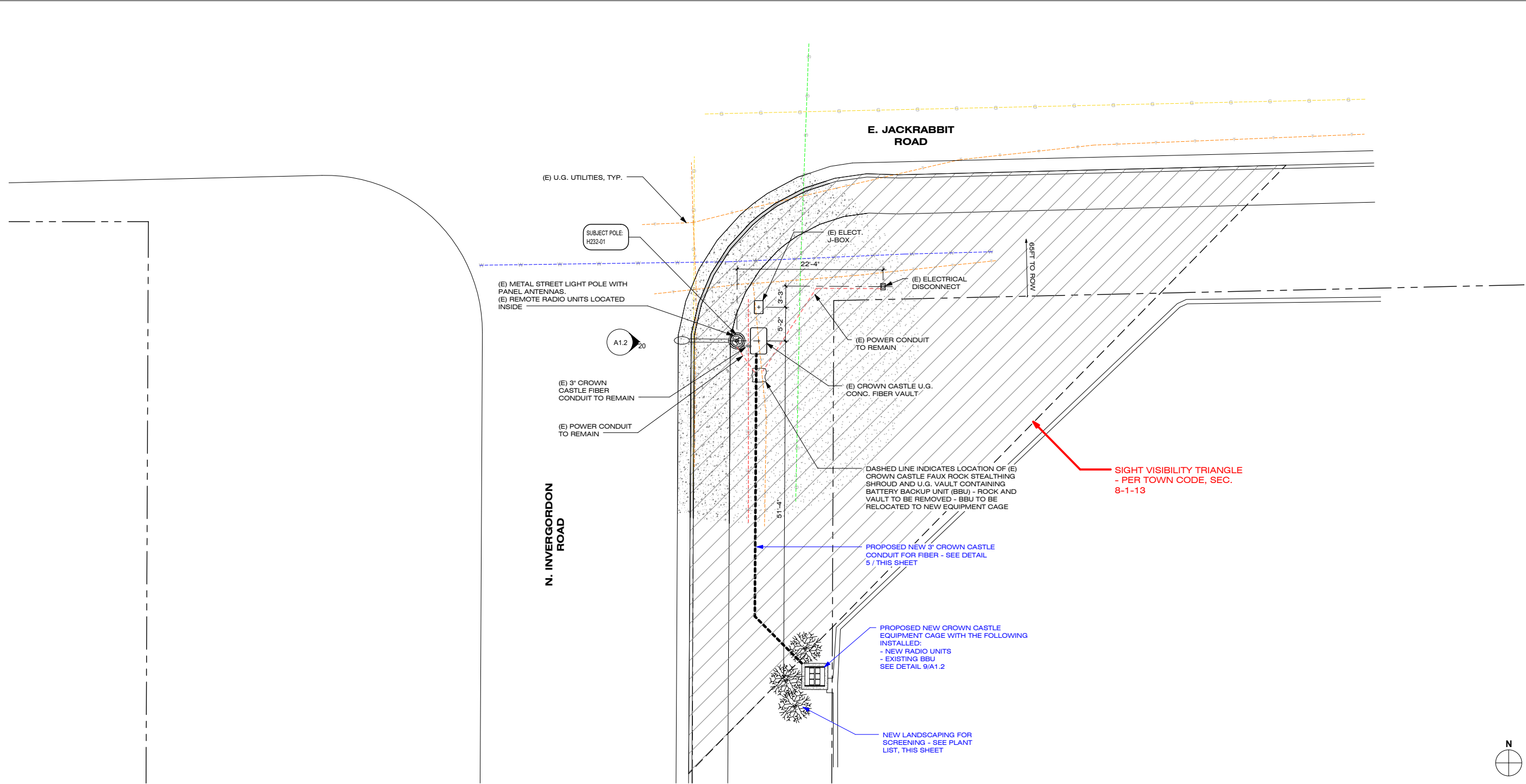
Contact Arizona 811 at least two full working days before you begin excavation
ARIZONA811
Call 811 or click Arizona811.com

SUBJECT POLE: H232-01

GPS COORDINATES:
LAT: 33.516431,
LONG: -111.943133

POLE TYPE: METAL STREET LIGHT
POLE ID #:

SUBJECT POLE IS LOCATED IN: SCOTTSDALE R.O.W.



CROWN CASTLE
2055 S. STEARMAN DRIVE
CHANDLER, AZ 85286
PH: 602.722.4707

RECORD DRAWINGS ISSUE DATE: 02.12.20

Shift Companies, LLC
3334 N. 20TH STREET
PHOENIX, ARIZONA 85016
ph: 480.264.0829
fax: 480.264.0163

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RELEASE

DATE	SUBMITTAL
11.08.19	1ST SUBMITTAL
01.28.20	2ND SUBMITTAL
02.12.20	3RD SUBMITTAL

REVISIONS

NO.	DATE	COMMENT

PROJECT NAME

PARADISE VALLEY - UPGRADE

NODE NUMBER

H232-01

NODE ADDRESS

5395 N. INVERGORDON RD.
PARADISE VALLEY, AZ 85253

LAT: 33.516431,
LONG: -111.943133

SHIFT JOB NUMBER
150602

IN HOUSE
DRAWN BY: MB
CHECKED BY: RA

SHEET TITLE

SITE PLAN, EQUIPMENT AND ANTENNA PLAN

SHEET NUMBER

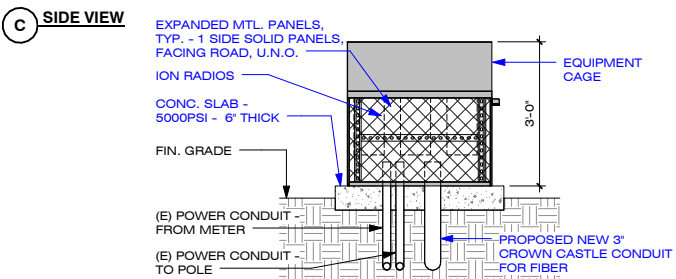
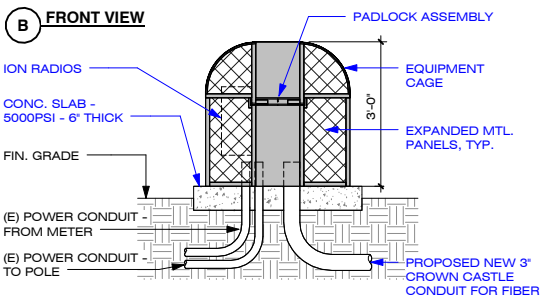
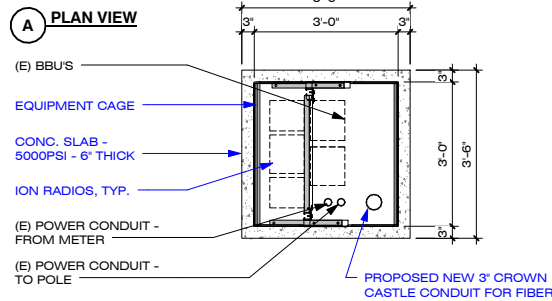
A1.1

PAGE

2 OF 4

PLOT SCALE: 1:1 @ 24"x36"; 1:2 @ 11"x17"

D:\AAA - Shift Companies\AAA - Crown Castle\Upgrade Sites\AAA - SITES\Paradise Valley\H232-01 - Project.rvt 2/12/2020 8:44:59 AM



ANTENNA:	(1) AMPHENOL OMNI	- 2.325 CuFt TOTAL: 2.325 CuFt
EQUIPMENT:	(1) NOKIA AIRSCALE RRH (1) NOKIA B14/12 RRH (2) DELTA DC CONVERTER (1) NOVUS MICRO XL BBU	- 0.917 CuFt - 1.069 CuFt - 0.237 CuFt (EA.) 0.474 CuFt TOTAL - 1.855 CuFt TOTAL: 4.315 CuFt

NOTE:
PAINT PROPOSED GROUND EQUIPMENT A NATURAL EARTH COLOR (SHERWIN WILLIAMS SW7065 'ENDURING BRONZE' OR AS APPROVED BY CITY OF SCOTTSDALE).

EQUIPMENT CAGE DETAILS

SCALE: 1/4" = 1'-0"

9



POLE LOCATION PHOTO (EXISTING)

SCALE: N.T.S.

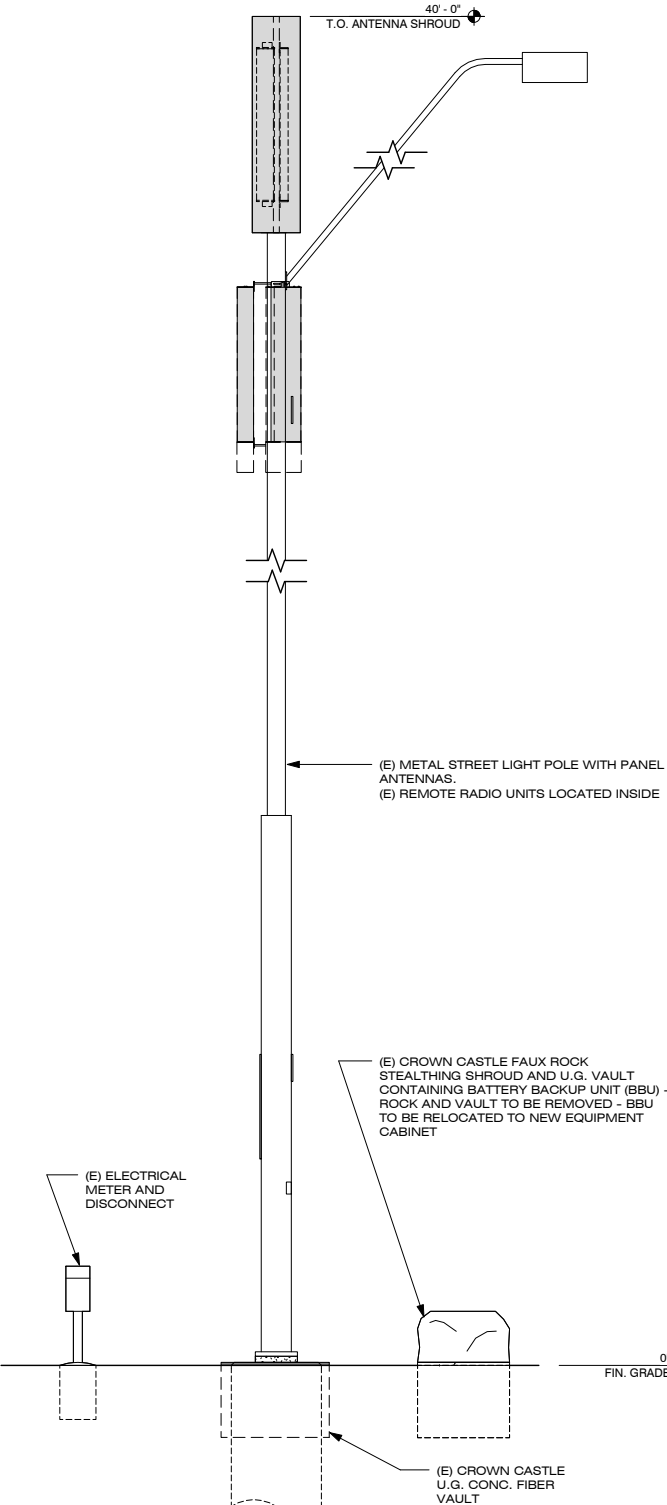
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POLE LOCATION PHOTO SIMULATION (PROPOSED)

SCALE: N.T.S.

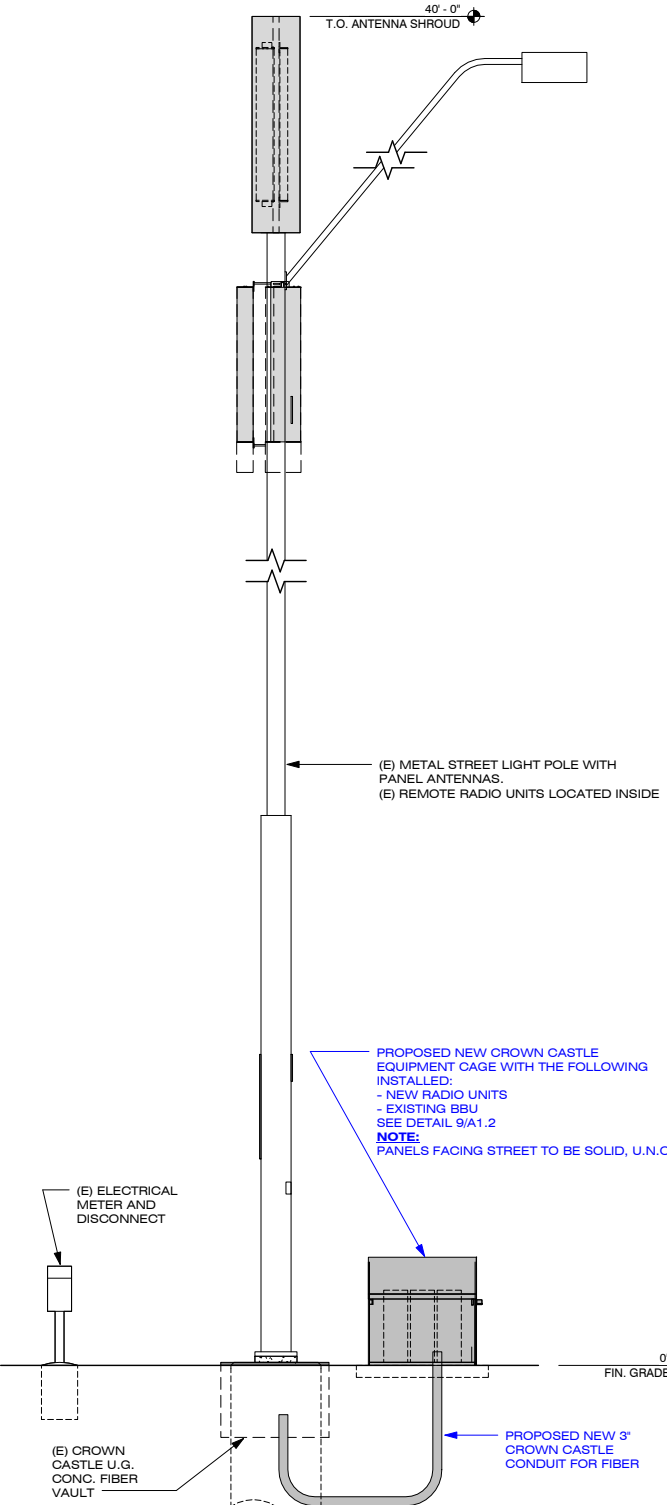
8



POLE ELEVATION (EXISTING)

SCALE: 3/16" = 1'-0"

16



POLE ELEVATION (PROPOSED)

SCALE: 3/16" = 1'-0"

20



CROWN CASTLE
2055 S. STEARMAN DRIVE
CHANDLER, AZ 85286
PH: 602.722.4707

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PHOENIX, ARIZONA 85016
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NO.	DATE	COMMENT

PROJECT NAME

PARADISE VALLEY -
UPGRADE

NODE NUMBER

H232-01

NODE ADDRESS

5395 N. INVERGORDON RD.
PARADISE VALLEY, AZ 85253

LAT: 33.516431,
LONG: -111.943133

SHIFT JOB NUMBER

IN HOUSE

150602

DRAWN BY: MB
CHECKED BY: RA

SHEET TITLE

POLE ELEVATION /
PHOTO SIMULATIONS,
PROPOSED

SHEET NUMBER

A1.2

PAGE

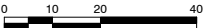
3 OF 4

PLOT SCALE: 1:1 @ 24"x36"; 1:2 @ 11"x17"

PLAN CHECK #



SCALE 1" = 20'-0"



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CHECKED BY: RA

IN HOUSE

SHEET TITLE

SIGHT VISIBILITY
EXHIBIT

SHEET NUMBER

A1.3

PAGE

4 OF 4

PLOT SCALE: 1:1 @ 24"x36"; 1:2 @ 11"x17"

PLAN CHECK #

ORDINANCE NUMBER 2020-06

AN ORDINANCE OF THE TOWN OF PARADISE VALLEY, ARIZONA, APPROVING AN INTERMEDIATE AMENDMENT TO THE SPECIAL USE PERMIT FOR EQUIPMENT MODIFICATIONS TO THE EXISTING DISTRIBUTED ANTENNA SYSTEM WHICH IS LOCATED IN THE TOWN'S RIGHT-OF-WAY; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Town of Paradise Valley Council held a public hearing on June 11, 2020, in the manner prescribed by law, to hear and to take action on the amendment to the Special Use Permit for equipment modifications to the Crown Castle Distributed Antenna System, as recommended by the Planning Commission; and

WHEREAS, the Town of Paradise Valley Planning Commission held a public hearing on May 5, 2020, in the manner prescribed by law, for the purpose of considering an amendment to the Special Use Permit for equipment modifications to the Crown Castle Distributed Antenna System, and recommended approval to the Town Council; and

WHEREAS, the Town Council finds that the Applicant met the requirements of Section 2-5-2.F, Citizen Review Process, including holding a Citizen Review Session on April 20, 2020 to provide a reasonable opportunity for the Applicant, adjacent landowners, and other potentially affected citizens to discuss issues or concerns they may have with the Application; and

WHEREAS, the amendment to the Special Use Permit for equipment modifications to the Crown Castle Distributed Antenna System is consistent the Town's General Plan and its Special Use Permit; and

WHEREAS, in accordance with Article II, Sections 1 and 2, Constitution of Arizona, the Town Council has considered the individual property rights and personal liabilities of the residents of the Town before adopting this ordinance.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND TOWN COUNCIL OF THE TOWN OF PARADISE VALLEY, ARIZONA THAT:

SECTION I. In General

1. The Distributed Antenna System Special Use Permit is located in the Town's right-of-way in the Town of Paradise Valley, Arizona, more particularly described on Exhibit "A" attached hereto (the "Distributed Antenna System Special Use Permit").
2. The Distributed Antenna System Special Use Permit is hereby amended by application SUP 20-03 to allow for equipment modifications at Node/Site H219 (7300 N Tatum Blvd.), Node/Site H228 (6401 E McDonald Drive), and Node/Site 232 (5395 N Invergordon Road), subject to any definitions, stipulations, plans, and documents set forth in Exhibit "B" and Exhibit "C", attached hereto.
3. The Distributed Antenna System Special Use Permit includes the following sections: Project Description, Stipulations, and Approved Plans. This Special Use Permit has been amended to include all applicable prior approvals that shall remain in full force and effect, together with the amendments of Exhibit "B" as set forth in Exhibit "C", attached hereto.
4. This Intermediate Amendment to the Distributed Antenna System Special Use Permit (SUP 20-03) for the Crown Castle equipment modifications is in accordance with Section 1102.7 of the Zoning Ordinance.

SECTION 2. Severability. If any section, subsection, sentence, clause, phrase or portion of this ordinance is for any reason held invalid or unconstitutional by a court of competent jurisdiction, such portion shall be deemed a separate, distinct and independent provision and such holding shall not affect the validity of the remaining portions thereof.

SECTION 3. Effective Date. This ordinance shall become effective at the time and in the manner prescribed by law.

PASSED AND ADOPTED by the Mayor and Town Council of the Town of Paradise Valley, Arizona, this ____ day of _____, 2020.

Jerry Bien-Willner, Mayor

SIGNED AND ATTESTED THIS ____ DAY OF _____ 2020.

ATTEST:

APPROVED AS TO FORM:

Duncan Miller, Town Clerk

Andrew Miller, Town Attorney

**EXHIBIT “A”
TO
ORDINANCE NUMBER 2020-06**

DISTRIBUTED ANTENNA SYSTEM SPECIAL USE PERMIT

The Distributed Antenna System Special Use Permit was issued on July 8, 2010 via SUP 10-4 and Ordinance 625. The Distributed Antenna System Special Use Permit identifies specific locations in the Town’s right-of-way and allows for the use of the right-of-way for utility poles associated with a distributed antenna system, including antenna nodes on traffic signal poles, street light poles, and faux saguaro cactus, subject to the stipulations set forth in SUP 10-4 and Ordinance 625.

**EXHIBIT “B”
TO
ORDINANCE NUMBER 2020-06**

DESCRIPTION OF PROPOSED AND PRIOR SUP AMENDMENTS

**TOWN OF PARADISE VALLEY
DISTRIBUTED ANTENNA SYSTEM SPECIAL USE PERMIT**

The Town approved the original Special Use Permit (“SUP”) for the Distributed Antenna System (“DAS”) on July 8, 2010. The list below summarizes the known amendments to the SUP.

June 11, 2020 (SUP 20-03)	Intermediate Special Use Amendment to allow equipment modifications at Node/Site H219 (7300 N Tatum Blvd.), Node/Site H228 (6401 E McDonald Drive), and Node/Site 232 (5395 N Invergordon Road).
November 15, 2011 (SUP 11-7)	Minor Special Use Permit Amendment to add electric meters at each antenna node location.
July 8, 2010 (SUP-10-4)	Special Use Permit to allow for the installation of new or modified utility poles and equipment (for a Distributed Antenna System) in the Town of Paradise Valley right-of-way.

**EXHIBIT “C”
TO
ORDINANCE NUMBER 2020-06**

SPECIAL USE PERMIT

**TOWN OF PARADISE VALLEY
DISTRIBUTED ANTENNA SYSTEM SPECIAL USE PERMIT**

I. PROJECT DESCRIPTION

Pursuant to Article XI of the Zoning Ordinance of the Town of Paradise Valley, Arizona (the “Town”), the Town hereby grants an Intermediate Special Use Permit Amendment (SUP 20-03) by its approval of this Ordinance.

This Intermediate Amendment is one of several amendments to the first Special Use Permit approved by the Town in 2010. This Intermediate Special Use Permit Amendment is being granted by the Town to permit the continued use and operation of a distributed antenna system subject to and in accordance with the stipulations and other provisions set forth herein.

Subject to the new stipulations, the existing stipulations, and other provisions set forth herein, the facilities and uses authorized to be developed, redeveloped, and used for the distributed antenna system shall be as depicted on the Approved Plans and documents.

II. STIPULATIONS

A. GENERAL

SUP 20-03. New/Proposed SUP Stipulations for Equipment Modifications for Nodes/Sites: 1) H219 located at 7300 N. Tatum Blvd, 2) H228 located at 6401 E. McDonald Dr, and 3) H232 located at 5395 N. Invergordon Rd:

1. All improvements to the three sites shall be in substantial compliance with the following Narrative, Plans, and Documents:
 - a. The “Paradise Valley – Equipment Modifications to 3 Streetlight SWF Sites” Narrative prepared by Crown Castle.
 - b. Sheet T1.1, Title Sheet, Node Number H219-01, Node Address 7300 N Tatum Blvd., prepared by Crown Castle and Shift Companies LLC, and dated January 28, 2020.
 - c. Sheet A1.1, Site Plan, Equipment and Antenna Plan, Node Number H219-01, Node Address 7300 N Tatum Blvd., prepared by Crown Castle and Shift Companies LLC, and dated January 28, 2020.
 - d. Sheet A1.2, Pole Elevation/Photo Simulations, Proposed, Node Number H219-01, Node Address 7300 N Tatum Blvd., prepared by Crown Castle and Shift Companies LLC, and dated January 28, 2020.
 - e. Sheet A1.3, Sight Visibility Exhibit, Node Number H219-01, Node Address 7300 N Tatum Blvd., prepared by Crown Castle and Shift Companies LLC, and dated January 28, 2020.
 - f. Sheet T1.1, Title Sheet, Node Number H228-01, Node Address 6401 E McDonald Drive, prepared by Crown Castle and Shift Companies LLC, and dated February 12, 2020.
 - g. Sheet A1.1, Site Plan, Equipment and Antenna Plan, Node Number H228-01, Node Address 6401 E McDonald Drive, prepared by Crown Castle and Shift Companies LLC, and dated February 12, 2020.
 - h. Sheet A1.2, Pole Elevation/Photo Simulations, Proposed, Node Number H228-01, Node Address 6401 E McDonald Drive, prepared by Crown Castle and Shift Companies LLC, and dated February 12, 2020.
 - i. Sheet A1.3, Sight Visibility Exhibit, Node Number H228-01, Node Address 6401 E McDonald Drive, prepared by Crown Castle and Shift Companies LLC, and dated February 12, 2020.
 - j. Sheet T1.1, Title Sheet, Node Number H232-01, Node Address 5395 N Invergordon Road, prepared by Crown Castle and Shift Companies LLC, and dated February 12, 2020.
 - k. Sheet A1.1, Site Plan, Equipment and Antenna Plan, Node Number H232-01, Node Address 5395 N Invergordon Road, prepared by Crown Castle and Shift Companies LLC, and dated February 12, 2020.
 - l. Sheet A1.2, Pole Elevation/Photo Simulations, Proposed, Node Number H232-01, Node Address 5395 N Invergordon Road, prepared by Crown Castle and Shift Companies LLC, and dated February 12, 2020.
 - m. Sheet A1.3, Sight Visibility Exhibit, Node Number H232-01, Node Address 5395 N Invergordon Road, prepared by Crown Castle and Shift Companies LLC, and dated February 12, 2020.

2. Equipment Cage Orientation:
 - a. The solid portion of the equipment cages shall face the street. The solid portion of Node H219 equipment cage shall face Tatum Blvd.; the solid portion of H228 equipment cage shall face Invergordon Road, and the solid portion of Node H232 equipment cage to face Invergordon Road.
3. Equipment Cage Finish and Color:
 - a. The proposed equipment cages shall have a rusted metal finish. The equipment cages may have a “bare metal” or “unprotected” initial finish that will allow them to rust over time. Any changes to the finish and/or color of the equipment cages will require Town Manager or Designee approval.
4. Landscaping:
 - a. Node H228. Three (3) Creosote bushes shall be placed around the equipment cage in accordance with Sheet A1.1, Site Plan, Equipment and Antenna Plan, Node Number H228-01, Node Address 6401 E McDonald Drive, prepared by Crown Castle and Shift Companies LLC, and dated February 12, 2020.
 - b. Node H232. Three (3) Creosote bushes shall be placed around the equipment cage in accordance with Sheet A1.1, Site Plan, Equipment and Antenna Plan, Node Number H232-01, Node Address 5395 N Invergordon Road, prepared by Crown Castle and Shift Companies LLC, and dated February 12, 2020.
 - c. At the applicant’s expense, the new landscaping around Node H228 and Node H232 equipment cages shall be maintained by a landscaper for one (1) year to help ensure that the Creosote bushes take root and survive. If the landscaping dies, it shall be replaced with plants in accordance with the approved plans. Any changes to the landscaping shall require Town Manager or Designee approval.

(EXISTING S.U.P. STIPULATIONS to Remain in Full Force and Effect Unless Changed or Modified by Intermediate Amendment SUP 20-03):

SUP 11-7. Minor Special Use Permit Amendment to allow for the Installation of Electrical Meters at each of the 42 Distributed Antenna Nodes located in the Town of Paradise Valley Right-of-Way:

1. All existing Special Use Permit stipulations shall remain in full force and effect with stipulation # 6 revised as follows:
 - a. Staff shall inspect each node site **including but not limited to all electric meter pedestals, faux rocks, disconnects, and** vaults in the field after antenna and fiber installation is adequate. **Crown Castle** shall make adjustments per staff’s direction including but not limited to additional landscaping and paint adjustments. **All such landscaping shall be maintained and replaced as staff deems necessary.**

2. The meters shall be installed in substantial compliance with the following:
 - a. Electric Meter Pedestal Placement Criteria for DAS Nodes, Dated October 27, 2011 with criteria #9 revised as follows:
 1. Additional **landscaping** or shrub(s) as **deemed** necessary for maximizing screening. **All such landscaping shall be maintained and replaced as staff deems necessary.**
 - b. Special Use Permit booklet dated October 18, 2011 with Amendments listed on Sheet Dated November 15, 2011.

SUP 10-4 (Ordinance 625). Special Use Permit to allow for the Installation of New or Modified Utility Poles (for a Distributed Antenna System) in the Town of Paradise Valley Right-of-Way:

1. The Distributed Antenna System improvements shall be in substantial compliance with the following attached documents:
 - a. DAS Master Plan for Paradise Valley, AZ booklet dated June 24, 2010 with antenna node H238 relocated to the new proposed location on the North side of Northern Avenue, east of N. Mockingbird Lane as shown on the revised aerial, photo-simulation, and land-use plan dated July 6, 2010 and with antenna node H678 relocated south of Option A on the east side of Arroyo south of Desert Jewel up to the northern boundary of the wash delineation with additional redesign by the licensee.
 - b. Saguaro Cactus Standard Features submitted on June 15, 2010 with the Larson paint list attached for reference.
2. The Distributed Antenna System shall be limited to five (5) carriers and/or twelve (12) amplifiers unless a Minor Amendment to the Special Use Permit is granted, the RF Exposure Report is updated, and no changes are made to the approved antenna node equipment. Aesthetic changes to the approved antenna equipment or the addition of new antenna nodes shall require an Intermediate Amendment to the Special Use Permit.
3. The faux rocks installed in conjunction with the individual antenna nodes shall be painted to match the surrounding conditions.
4. The electrical disconnect installed in conjunction with the individual antenna nodes shall be painted to match the surrounding conditions and be located as low to the ground as possible.
5. The vaults installed in conjunction with the individual antenna nodes shall be flush with the ground.
6. Town of Paradise Valley staff shall inspect each node site in the field after antenna and fiber installation is complete to determine if landscaping, painting, and overall installation is adequate. Any licensee of the Town using the DAS shall make adjustments per Town staff's direction including but not limited to additional landscaping and paint adjustments.

7. The DAS shall meet the current FCC RF Guidelines and any amendments thereto. If FCC Guidelines are changed, then the DAS shall be brought into compliance with such revised guidelines within the time period provided by the FCC or if no time period is stated, then within sixty (60) days of the effective date of such guidelines.
8. Any licensee of the Town using the DAS shall install an 8" x 12" "RF Caution" metal plate on the vault hatch at each antenna location in substantial compliance with the template provided by Newpath Networks dated June 24, 2010.
9. No permits for any licensee of the Town using the DAS shall be issued for the fiber installation or antenna node installations until the Town Council approves a license agreement, or any equivalent thereof, for a licensee or other authorized user to utilize the DAS.

III. APPROVED PLANS

The following are known approved plans and documents that still apply to the Distributed Antenna System (DAS). In the case of discrepancies between Approved Plans, those with a later date shall take precedence. In the circumstance an approved plan or document is not listed, this does not nullify its validity.

June 11, 2020 (SUP 20-03)	<ol style="list-style-type: none"> 1. The "Paradise Valley – Equipment Modifications to 3 Streetlight SWF Sites" Narrative prepared by Crown Castle. 2. Sheet T1.1, Title Sheet, Node Number H219-01, Node Address 7300 N Tatum Blvd., prepared by Crown Castle and Shift Companies LLC, and dated January 28, 2020. 3. Sheet A1.1, Site Plan, Equipment and Antenna Plan, Node Number H219-01, Node Address 7300 N Tatum Blvd., prepared by Crown Castle and Shift Companies LLC, and dated January 28, 2020. 4. Sheet A1.2, Pole Elevation/Photo Simulations, Proposed, Node Number H219-01, Node Address 7300 N Tatum Blvd., prepared by Crown Castle and Shift Companies LLC, and dated January 28, 2020. 5. Sheet A1.3, Sight Visibility Exhibit, Node Number H219-01, Node Address 7300 N Tatum Blvd., prepared by Crown Castle and Shift Companies LLC, and dated January 28, 2020. 6. Sheet T1.1, Title Sheet, Node Number H228-01, Node Address 6401 E McDonald Drive, prepared by Crown Castle and Shift Companies LLC, and dated February 12, 2020. 7. Sheet A1.1, Site Plan, Equipment and Antenna Plan, Node Number H228-01, Node Address 6401 E McDonald Drive, prepared by Crown Castle and Shift Companies LLC, and dated February 12, 2020. 8. Sheet A1.2, Pole Elevation/Photo Simulations, Proposed, Node Number H228-01, Node Address 6401 E McDonald Drive,
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	<p>prepared by Crown Castle and Shift Companies LLC, and dated February 12, 2020.</p> <p>9. Sheet A1.3, Sight Visibility Exhibit, Node Number H228-01, Node Address 6401 E McDonald Drive, prepared by Crown Castle and Shift Companies LLC, and dated February 12, 2020.</p> <p>10. Sheet T1.1, Title Sheet, Node Number H232-01, Node Address 5395 N Invergordon Road, prepared by Crown Castle and Shift Companies LLC, and dated February 12, 2020.</p> <p>11. Sheet A1.1, Site Plan, Equipment and Antenna Plan, Node Number H232-01, Node Address 5395 N Invergordon Road, prepared by Crown Castle and Shift Companies LLC, and dated February 12, 2020.</p> <p>12. Sheet A1.2, Pole Elevation/Photo Simulations, Proposed, Node Number H232-01, Node Address 5395 N Invergordon Road, prepared by Crown Castle and Shift Companies LLC, and dated February 12, 2020.</p> <p>13. Sheet A1.3, Sight Visibility Exhibit, Node Number H232-01, Node Address 5395 N Invergordon Road, prepared by Crown Castle and Shift Companies LLC, and dated February 12, 2020.</p>
November 15, 2011 (SUP 11-7)	<p>1. Electric Meter Pedestal Placement Criteria for DAS Nodes, Dated October 27, 2011.</p> <p>2. Special Use Permit booklet dated October 18, 2011 with Amendments listed on Sheet Dated November 15, 2011.</p>
July 8, 2010 (SUP-10-4)	<p>1. DAS Master Plan for Paradise Valley, AZ Booklet dated June 24, 2010 (Exhibit B in Ordinance 625).</p>

Crown Castle Distributed Antenna System -Statement of Direction-

In July of 2010, Crown Castle (formally NewPath Networks) received SUP approval from the Town Council for a Distributed Antenna System in the Town's right-of-way (via Ordinance 625). The Distributed Antenna System (DAS) consists of a fiber-optic backbone that connects a series of antenna nodes that wireless carriers may use to improve system capacity, coverage, voice quality, high speed data, and internet access. Crown Castle submitted an Intermediate Special Use Permit Amendment application to replace the faux rock screens with equipment cages at three streetlight poles, which are located in the right-of-way at:

- 7300 N. Tatum Blvd (Site H219),
- 6401 E. McDonald Dr (Site H228), and
- 5395 N. Invergordon Rd (Site H232).

Section 1102.3 of the Town's Zoning Ordinance states the Town Council must issue a Statement of Direction for the Special Use Permit application within 45 days of the first staff presentation. In this case, the Statement of Direction must be issued on or before April 26, 2020.

The Statement of Direction is not a final decision of the Town Council and does not create any vested rights to the approval of a Special Use Permit. Any applicant for a Special Use Permit shall not rely upon the matters addressed in the Statement of Direction being the same as those that may be part of an approved Special Use Permit.

Therefore, the Town Council issues the following Statement of Direction for the Crown Castle Distributed Antenna System:

- The General Plan states that the Town shall require telecommunications facilities be located, installed and maintained to minimize visual impact and noise and preserve views. Cabling, conduit, and fiber optics shall be installed underground where possible, and the visual impact of cellular towers and antennas shall be a prime consideration of the Town's acceptance and approval (Community Character and Housing Goal 3.1.4.6).
- The Town Council considers the improvement of cellular service in Paradise Valley to be a critical policy goal and is grateful for this application to improve cellular infrastructure to better serve Paradise Valley. Thus, the Council disfavors the Commission recommending the imposition of aesthetic or other considerations that would serve as an obstacle to the applicant completing this project in a timely and efficient manner. Stated differently, while the aesthetics of the improvements are important to the Town Council, they should be evaluated in reference to the ability and reasonable willingness of the applicant to implement any recommended aesthetic considerations from the Commission.

- The Planning Commission shall focus their review on and provide options on how to mitigate the visible effects the amendment may have on the neighbors. In particular, the Planning Commission shall focus their review on:

1. **Equipment Cages/Screens.** The equipment modification will improve service and will not change the use of the SUP. However, the new cages/screens will change the aesthetics. The Planning Commission shall evaluate the color and/or type of material (such as rusted metal) of the equipment screens/cages.
2. **Orientation, Location, and Mitigation.** The Planning Commission shall: 1) evaluate the location and the orientation of the equipment screens/cages and 2) identify how the equipment cages can be visually mitigated. This includes identifying the location of underground utilities and potential conflicts, identifying the best location that will conceal the screen/cage, and identifying the appropriate orientation at each site (such as having the solid portions of the screen face the street and/or locating the equipment to a less visible area).

However, the costs associated with the different mitigation factors must be considered. The Commission shall provide effective and cost-efficient options that will visually mitigate the new equipment cages and minimize project costs. This includes the use of vegetation around the equipment cages/screens, evaluate if vegetation is needed at all 3 locations, and identify the type, quantity, and location of all applicable plants.

As per Section 1102.3.C.3.c of the Zoning Ordinance, at any time during the review process, the Planning Commission may request clarification and/or expansion of this Statement of Direction based on additional information that has evolved. However, the Planning Commission shall complete their review of this application no later than May 5, 2020.

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2 When recorded, return to:
3 Paradise Valley Town Attorney
4 6401 East Lincoln Drive
5 Paradise Valley, Arizona 85253
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10

OFFICIAL RECORDS OF
MARICOPA COUNTY RECORDER
HELEN PURCELL
20100584331,07/09/2010 04:08
ELECTRONIC RECORDING
ORDINANCE625-5-1-1--,N

11 **ORDINANCE NUMBER 625**
12

13 **AN ORDINANCE OF THE TOWN OF PARADISE**
14 **VALLEY, ARIZONA, ISSUING A SPECIAL USE**
15 **PERMIT TO THE TOWN OF PARADISE VALLEY AND**
16 **AMENDING THE ZONING ORDINANCE AND**
17 **AMENDING THE ZONING MAP TO ALLOW FOR THE**
18 **INSTALLATION OF NEW OR MODIFIED UTILITY**
19 **POLES (FOR A DISTRIBUTED ANTENNA SYSTEM) IN**
20 **THE TOWN OF PARADISE VALLEY RIGHT-OF-WAY,**
21 **PROVIDING FOR SEVERABILITY; AND PROVIDING**
22 **FOR AN EFFECTIVE DATE.**
23

24 WHEREAS, the Town of Paradise Valley Planning Commission held a public hearing on June
25 1, 2010 and June 15, 2010, in the manner prescribed by law, for the purpose of considering a
26 new Special Use Permit to allow the Town of Paradise Valley to install, or to allow the
27 installation by Newpath Networks of, new utility poles associated with a distributed antenna
28 system in the Town right-of-way, and recommended approval to the Town Council; and
29

30 WHEREAS, the Town Council, at its meeting of July 8, 2010, held a public hearing as
31 prescribed by law to hear Ordinance No. 625 (a new Special Use Permit) and take action on
32 Ordinance No. 625 (a new Special Use Permit), pursuant to the prior recommendation for
33 approval by the Planning Commission and with modifications or changes to the terms and
34 conditions of Ordinance No. 625 (a new Special Use Permit) as the Town Council deems fit
35 and appropriate; and to amend the Town Official Zoning Map to reflect the location of each
36 new utility pole approved by issuance of the Special Use Permit.
37

38 **NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND TOWN COUNCIL**
39 **OF THE TOWN OF PARADISE VALLEY, ARIZONA THAT:**
40

41 SECTION 1. Special Use Permit. The issuance of a new Special Use Permit for specific
42 locations in the Town's right-of-way (said locations to be as shown indicated in Exhibit B, the
43 DAS Master Plan for Paradise Valley, AZ, attached hereto and made part hereof) is hereby
44 created to allow for use of the right-of-way for utility poles associated with a distributed
45 antenna system, including antenna nodes on traffic signal poles, street light poles, and faux
46 saguaro cactus, subject to the stipulations set forth in Exhibit A hereto, made a part hereof by
47 this reference. The Special Use Permit is approved as indicated in Exhibit B, DAS Master
48 Plan for Paradise Valley, AZ. The proposed amendment is in accordance with Section 1102
49 of the Town Zoning Ordinance, specifically:

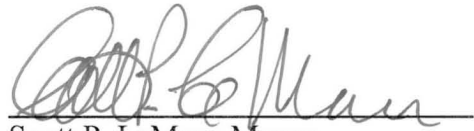
- The construction or development of improvements that create substantial public benefits.
- It will not be detrimental to, interfere with or adversely affect existing uses or character of adjacent properties, persons residing or working in the vicinity, the neighborhood, the public health, safety, peace, comfort, and general welfare, or the purpose of the zone in which it is proposed, and
- It will be in full conformity to any conditions, requirements, or standards prescribed in the permit, in the zoning ordinance, and the ordinances of the town.

SECTION 2. Amendment to Town Zoning Map. The Town's Official Zoning Map is hereby amended to include, by asterisks (*) at each utility pole/antenna node location, the location of each antenna node that is part of the DAS (as shown in Exhibit B, the DAS Master Plan for Paradise Valley, AZ), along with a note on the Official Zoning Map referencing the approval by this Ordinance of a new SUP for each such new utility pole location.

SECTION 3. Severability. If any section, subsection, sentence, clause, phrase, or portion of this ordinance is for any reason held invalid or unconstitutional by a court of competent jurisdiction, such portion shall be deemed a separate, distinct, and independent provision and such holding shall not affect the validity of the remaining portions thereof.

SECTION 4. Effective Date. This ordinance shall become effective at the time and in the manner prescribed by law.


PASSED AND ADOPTED by the Mayor and Town Council of the Town of Paradise Valley, Arizona, this 8th day of July 2010.


Scott P. LeMarr, Mayor

SIGNED AND ATTESTED TO THIS 9th DAY OF July 2010.


Duncan Miller, Town Clerk

APPROVED AS TO FORM:


Andrew Miller, Town Attorney

**EXHIBIT A
TO
ORDINANCE NUMBER 625**

**TOWN OF PARADISE VALLEY
SPECIAL USE PERMIT FOR NEW UTILITY POLES
TO BE USED FOR A DISTRIBUTED ANTENNA SYSTEM
SUP-10-4**

I. PROJECT DESCRIPTION

Pursuant to Article XI of the Zoning Ordinance of the Town of Paradise Valley, Arizona ("Town"), the Town hereby grants to the Town of Paradise Valley, its successors and assigns, this Special Use Permit allowing for the installation of new or modified utility poles within the Town's right-of-way for a distributed antenna system (DAS) subject to and in accordance with these stipulations.

II. STIPULATIONS

1. The Distributed Antenna System improvements shall be in substantial compliance with the following attached documents:
 - a. DAS Master Plan for Paradise Valley, AZ booklet dated June 24, 2010 with antenna node H238 relocated to the new proposed location on the North side of Northern Avenue, east of N. Mockingbird Lane as shown on the revised aerial, photo-simulation, and land-use plan dated July 6, 2010 and with antenna node H678 relocated south of Option A on the east side of Arroyo south of Desert Jewel up to the northern boundary of the wash delineation with additional redesign by the licensee.
 - b. Saguaro Cactus Standard Features submitted on June 15, 2010 with the Larson paint list attached for reference.
2. The Distributed Antenna System shall be limited to five (5) carriers and/or twelve (12) amplifiers unless a Minor Amendment to the Special Use Permit is granted, the RF Exposure Report is updated, and no changes are made to the approved antenna node equipment. Aesthetic changes to the approved antenna equipment or the addition of new antenna nodes shall require an Intermediate Amendment to the Special Use Permit.
3. The faux rocks installed in conjunction with the individual antenna nodes shall be painted to match the surrounding conditions.
4. The electrical disconnect installed in conjunction with the individual antenna nodes shall be painted to match the surrounding conditions and be located as low to the ground as possible.
5. The vaults installed in conjunction with the individual antenna nodes shall be flush with the ground.
6. Town of Paradise Valley staff shall inspect each node site in the field after antenna and fiber installation is complete to determine if landscaping, painting, and overall installation is adequate. Any licensee of the Town using the DAS shall make adjustments per Town staff's direction including but not limited to additional landscaping and paint adjustments.

- 1 7. The DAS shall meet the current FCC RF Guidelines and any amendments thereto. If
2 FCC Guidelines are changed, then the DAS shall be brought into compliance with such
3 revised guidelines within the time period provided by the FCC or if no time period is
4 stated, then within sixty (60) days of the effective date of such guidelines.
- 5 8. Any licensee of the Town using the DAS shall install an 8" x 12" "RF Caution" metal
6 plate on the vault hatch at each antenna location in substantial compliance with the
7 template provided by Newpath Networks dated June 24, 2010.
- 8 9. No permits for any licensee of the Town using the DAS shall be issued for the fiber
9 installation or antenna node installations until the Town Council approves a license
10 agreement, or any equivalent thereof, for a licensee or other authorized user to utilize
11 the DAS.
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**EXHIBIT B
TO
ORDINANCE NUMBER 625**

(DAS Master Plan for Paradise Valley, AZ Booklet dated June 24, 2010)

**On file at the Town Clerk's Office
Town of Paradise Valley
6401 E Lincoln Drive
Paradise Valley, AZ 85253**

Saguaro Cactus Standard Features
June 15, 2010

Maximum installed height 24 feet

Cactus exterior is durable structural-grade fiberglass shell.

Cactus structure is galvanized steel pole with permanent hidden lift eyebolt at top.

Cactus to withstand 90 mile per hour wind in accordance with Design Criteria Per ANSI/TIA-222-G

Basic saguaro configuration with six ribs per foot of circumference
Outside diameter (OD) of cactus 4" greater than the inside diameter (ID).
Ribs are 2 inches deep and pleated with natural look and realistic texture

Tapered top, upper 6.5 feet cactus tapered inward 1.15inch per foot, 7.45 inch total

Tapered base, lower 3 feet cactus tapered inward 1.15inch per foot, 3.45 inch total

Access panels are carved into "skin" following rib lines to minimize appearance
Mounting hardware concealed and flush with "skin"

Five age-zone paint design

- **Zone V:** [18'-24'] New Growth – (2) tones of green
- **Zone IV:** [18'-14'] Young Growth – (3) tones of green w/ accents in various locations
- **Zone III:** [14'-10'] Intermediate – (3) tones of green and reduction of color accents
- **Zone II:** [10'-4'] Mature Growth – (3) Tones of green color accent over base greens: yellows, browns, and whites
- **Zone I:** [4'- soil] Base – brown/gray and heavily aged
- **Zones 11 to V** have 2-tone individual airbrushed faux needles. Needles located on edge of ribs spaced approximately 2 to 3 inches apart.
- **All zones:** 3-tone scars and dead areas artistically placed
- **All zones:** Inset and 3-tone painted Gila woodpecker holes
- **Paint :**Ultraviolet resistant latex paint, colors, using Larson paint list attached

Internal antenna mount locations

1710 to 2170 MHz 20 feet from ground

776 to 869 MHz 16 feet from ground

LARSON PAINT COLORS FOR FIVE AGE-ZONE DESIGN

June 15, 2010

Two Tone Green Basic Colors:

SW 6417	Tupelo Green
SW6424	Tansy Green (Old)
SW6418	Rural Green (New)

Varied Tone "Aging" Colors:

SW 7005	Pure White	SW 6815	Escape Gray
SW 6131	Chamois	SW 6816	Dried Thyme
SW 6232	Misty	SW 6027	Retreat

Faux Needles:

SW 7005	Pure White
SW 6994	Greenblack

Scars & Woodpecker Holes:

SW 6060	Java
---------	------

Note: All paints are Sherwin/Williams exterior rated, ultraviolet resistant latex.

existing



proposed



newpath
NETWORKS

Paradise Valley, AZ

H219

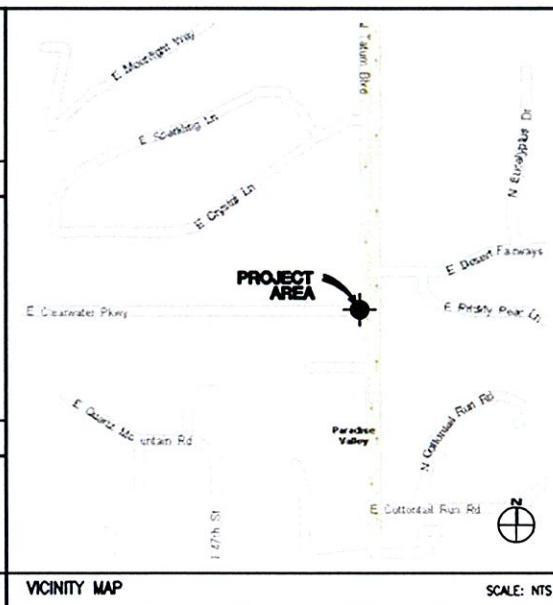
E Clearwater Pkwy & N Tatum Blvd



NewPath Networks H219

Streetlight on the NWC of N. Tatum Blvd. & E. Clearwater Pkwy.

APPLICANT NEWPATH NETWORKS 6908 E THOMAS ROAD, SUITE 201 SCOTTSDALE, AZ 85251 TEL: 480.225.0151 CONTACT: STEPHEN GARCIA	ARCHITECT PB TELECOM, INC. 303 BATTERY STREET SEATTLE, WA 98121 TEL: 206.838.9275 FAX: 206.838.5021 CONTACT: ROY LORETE
PROJECT TEAM NEWPATH NETWORKS PROPOSES TO PROVIDE AN ENHANCED RESIDENTIAL WIRELESS COMMUNICATIONS SYSTEM FOR THE PARADISE VALLEY COMMUNITY, LOCATED IN THE TOWN OF PARADISE VALLEY, ARIZONA. THE SYSTEM WILL IMPROVE CELLULAR COMMUNICATIONS AND INCREASE CALL CAPACITY IN RESIDENTIAL AREAS. THE NETWORK AND ASSOCIATED EQUIPMENT HAVE BEEN DESIGNED TO MINIMIZE VISUAL IMPACTS IN URBAN SETTINGS. THE PROPOSED SYSTEM WILL PROVIDE A CELLULAR NETWORK THAT CAN BE UTILIZED SIMULTANEOUSLY BY DIFFERENT LICENSED TELECOMMUNICATIONS COMPANIES. THIS PROPOSAL WILL CONSIST OF NODE SITES AT KEY LOCATIONS THROUGHOUT THE PARADISE VALLEY COMMUNITY. A SUBJECT NODE WILL CONSIST OF GROUND MOUNTED EQUIPMENT AND REPLACEMENT LIGHT POLE SPECIFICALLY ENGINEERED TO SUPPORT THE PROPOSED NETWORK ANTENNAS. THE REPLACEMENT POLE WILL NOT EXTEND MORE THAN 6'-0" ABOVE THE EXISTING POLE HEIGHT. THE RADIO EQUIPMENT WILL BE MOUNTED INSIDE OF THE LIGHT POLE. THE ANTENNA CANISTER, LOWER ANTENNAS (FUTURE) AND MOUNTING BRACKETS WILL BE PAINTED TO MATCH THE POLE. THE COLOR WILL MATCH THE ORIGINAL POLE OR BE PAINTED PER THE TOWN OF PARADISE VALLEY REQUIREMENTS.	
PROJECT DESCRIPTION CURRENT - TOWN OF PARADISE VALLEY CODE 2005 - NATIONAL ELECTRICAL CODE 2006 - INTERNATIONAL BUILDING CODE 2006 - INTERNATIONAL FIRE CODE HANDICAPPED REQUIREMENTS: -FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. -HANDICAPPED ACCESS REQUIREMENTS ARE NOT REQUIRED.	
CODES	



SECTION-TOWNSHIP-RANGE	5-2N-4E
QUARTER-SECTION	23-39
POLE TYPE:	LIGHT POLE
ASSIGNED ADDRESS:	TBD BY TOWN OF PARADISE VALLEY
NEAREST RESIDENTIAL ADDRESS:	4836 E CLEARWATER PARKWAY
UPPER ANTENNA RAD CENTER:	35'-1"
LOWER ANTENNA RAD CENTER:	27'-10"
SITE INFO	

ITEM	DESCRIPTION
A02	PROPOSED NEWPATH NETWORKS PANEL ANTENNA
A03	PROPOSED NEWPATH NETWORKS "SHUGMOUNT" PANEL ANTENNAS; PAINT TO MATCH POLE
A04	PROPOSED NEWPATH NETWORKS ANTENNA CANISTER; PAINT TO MATCH POLE
A05	PROPOSED NEWPATH NETWORKS 10' COAX COVER
A06	PROPOSED REPLACEMENT LIGHT POLE
A22	PROPOSED NEWPATH NETWORKS REMOTE UNIT(S)
A27	PROPOSED NEWPATH NETWORKS BOLLARD (FUTURE EQUIPMENT STEALTHING STRUCTURE); 3'-6" HEIGHT MAX
A29	PROPOSED NEWPATH NETWORKS UNDERGROUND CONC FIBER VAULT, SEAL WATER TIGHT
A30	PROPOSED NEWPATH NETWORKS LANDSCAPE PLANTINGS
A33	PROPOSED NEWPATH NETWORKS FAUX ROCK (BATTERY BACKUP EQUIPMENT STEALTHING)
E11	PROPOSED NEWPATH NETWORKS PANEL W/ DISCONNECT; PAINTED TO MATCH POLE

KEY NOTE LEGEND

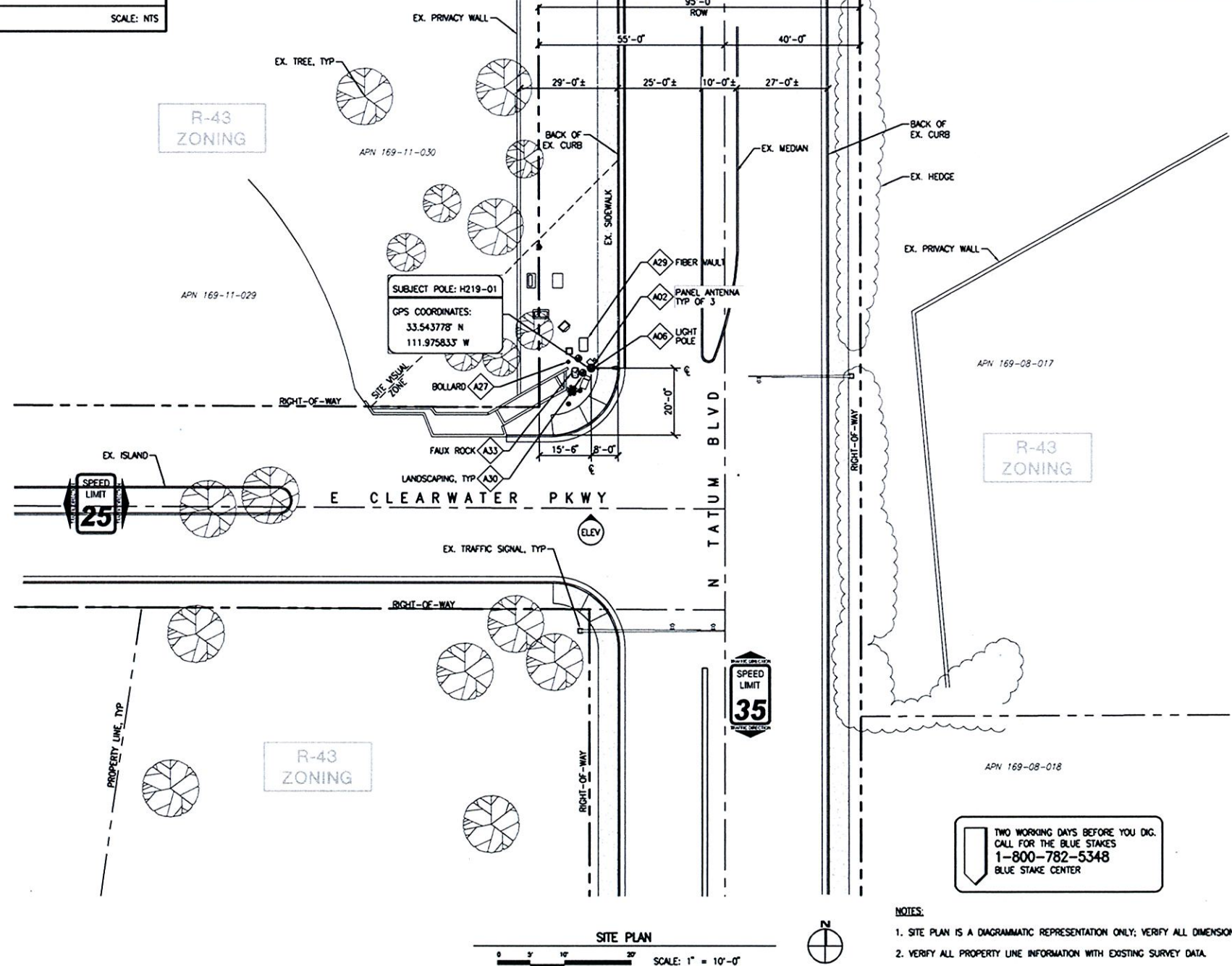
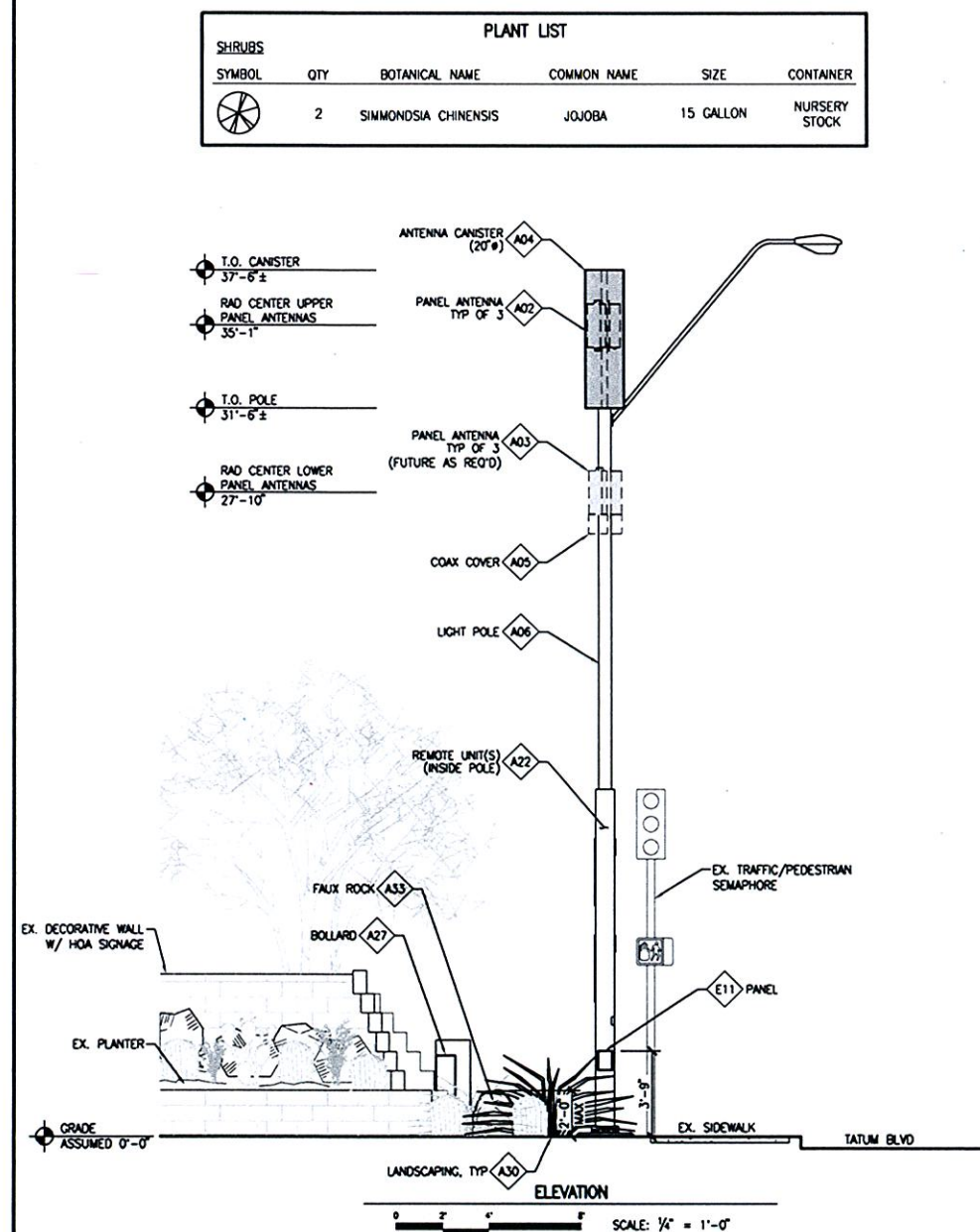
newpath NETWORKS

NewPath Networks, LLC
768 GARFIELD STREET
SEATTLE, WA 98109
ph: 206.550.3858
fax: 206.633.2768

PB TELECOM

303 BATTERY STREET SEATTLE, WA 98121
206.838.9275
206.838.5021

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- NOTES:
1. SITE PLAN IS A DIAGRAMMATIC REPRESENTATION ONLY; VERIFY ALL DIMENSIONS.
 2. VERIFY ALL PROPERTY LINE INFORMATION WITH EXISTING SURVEY DATA.

RELEASE	
DATE	LUP
12MAY10	
PROJECT NAME	
PARADISE VALLEY	
MODE ADDRESS	
H219-01 N TATUM BLVD E CLEARWATER PARKWAY	
PROJECT AREA	
PARADISE VALLEY	
PBT JOB NUMBER	IN HOUSE
290210	DRAWN BY: PBT CHECKED BY: RL
SHEET TITLE	
LUP BASE DRAWING	
SHEET	PAGE
LUP-1	1 OF 1
PLOT SCALE: 1:1 @ 24"x36"; 1:2 @ 11"x17"	

existing



proposed

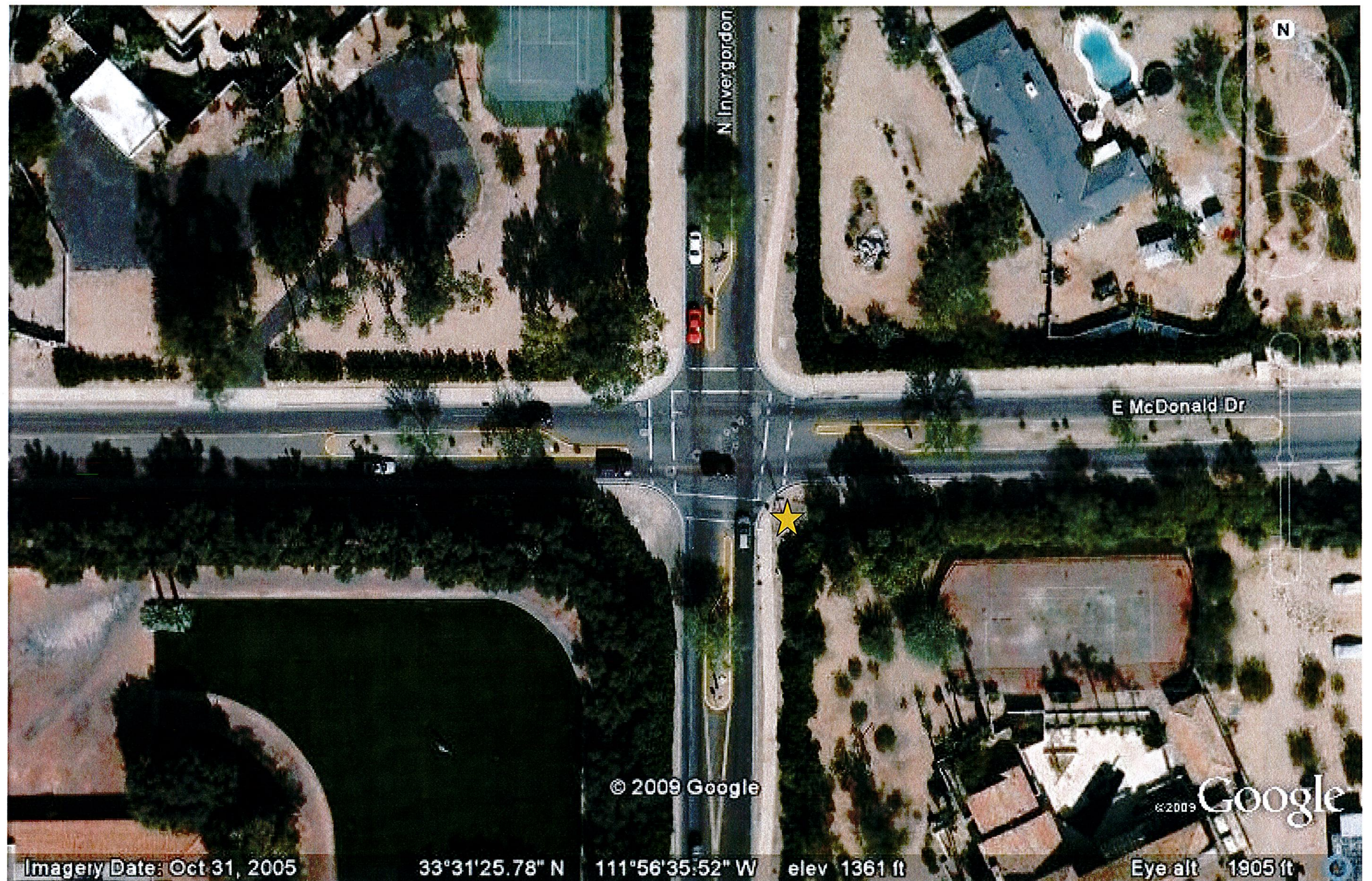


newpath NETWORKS

Paradise Valley, AZ

H228

E McDonald Dr & N Invergordon Rd



NewPath Networks H228 Streetlight at the SEC of E. McDonald Dr. & N. Invergordon Rd.

APPLICANT
NEWPATH NETWORKS
6908 E THOMAS ROAD, SUITE 201
SCOTTSDALE, AZ 85251
TEL: 480.225.0151
CONTACT: STEPHEN GARCIA

ARCHITECT
PB TELECOM, INC.
303 BATTERY STREET
SEATTLE, WA 98121
TEL: 206.838.9275
FAX: 206.838.5021
CONTACT: ROY LORETE

PROJECT TEAM

NEWPATH NETWORKS PROPOSES TO PROVIDE AN ENHANCED RESIDENTIAL WIRELESS COMMUNICATIONS SYSTEM FOR THE PARADISE VALLEY COMMUNITY, LOCATED IN THE TOWN OF PARADISE VALLEY, ARIZONA. THE SYSTEM WILL IMPROVE CELLULAR COMMUNICATIONS AND INCREASE CALL CAPACITY IN RESIDENTIAL AREAS. THE NETWORK AND ASSOCIATED EQUIPMENT HAVE BEEN DESIGNED TO MINIMIZE VISUAL IMPACTS IN URBAN SETTINGS. THE PROPOSED SYSTEM WILL PROVIDE A CELLULAR NETWORK THAT CAN BE UTILIZED SIMULTANEOUSLY BY DIFFERENT LICENSED TELECOMMUNICATIONS COMPANIES.

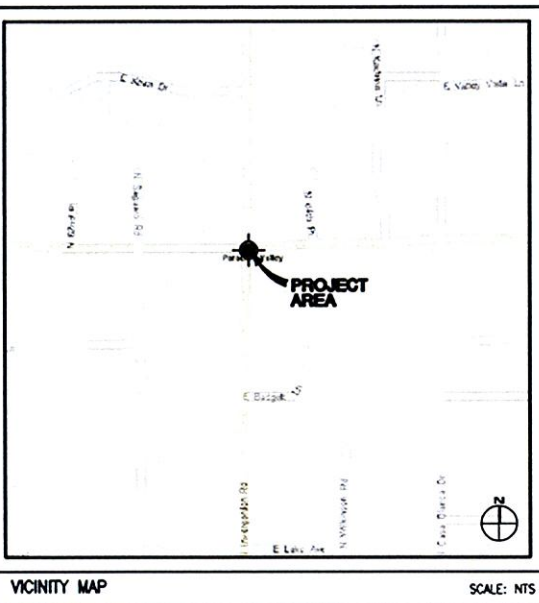
PROJECT DESCRIPTION

THIS PROPOSAL WILL CONSIST OF NODE SITES AT KEY LOCATIONS THROUGHOUT THE PARADISE VALLEY COMMUNITY. A SUBJECT NODE WILL CONSIST OF GROUND MOUNTED EQUIPMENT AND REPLACEMENT LIGHT POLE SPECIFICALLY ENGINEERED TO SUPPORT THE PROPOSED NETWORK ANTENNAS. THE REPLACEMENT POLE WILL NOT EXTEND MORE THAN 6'-0" ABOVE THE EXISTING POLE HEIGHT. THE RADIO EQUIPMENT WILL BE MOUNTED INSIDE OF THE LIGHT POLE. THE ANTENNA CANISTER, LOWER ANTENNAS (FUTURE) AND MOUNTING BRACKETS WILL BE PAINTED TO MATCH THE POLE. THE COLOR WILL MATCH THE ORIGINAL POLE OR BE PAINTED PER THE TOWN OF PARADISE VALLEY REQUIREMENTS.

CODES

CURRENT - TOWN OF PARADISE VALLEY CODE 2005 - NATIONAL ELECTRICAL CODE
2006 - INTERNATIONAL BUILDING CODE 2006 - INTERNATIONAL FIRE CODE

HANDICAPPED REQUIREMENTS:
-FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION.
-HANDICAPPED ACCESS REQUIREMENTS ARE NOT REQUIRED.



SECTION-TOWNSHIP-RANGE	15-2N-4E
QUARTER-SECTION	20-43
POLE TYPE:	LIGHT POLE
ASSIGNED ADDRESS:	TBD BY TOWN OF PARADISE VALLEY
NEAREST RESIDENTIAL ADDRESS:	5809 N INVERGORDON RD
UPPER ANTENNA RAD CENTER:	35'-1"
LOWER ANTENNA RAD CENTER:	27'-10"
SITE INFO	

I	DESCRIPTION
A02	PROPOSED NEWPATH NETWORKS PANEL ANTENNA
A03	PROPOSED NEWPATH NETWORKS "SHUGMOUNT" PANEL ANTENNAS; PAINT TO MATCH POLE
A04	PROPOSED NEWPATH NETWORKS ANTENNA CANISTER; PAINT TO MATCH POLE
A05	PROPOSED NEWPATH NETWORKS 10" COAX COVER
A06	PROPOSED REPLACEMENT LIGHT POLE
A22	PROPOSED NEWPATH NETWORKS REMOTE UNIT(S)
A29	PROPOSED NEWPATH NETWORKS UNDERGROUND CONC FIBER VAULT, SEAL WATER TIGHT
A30	PROPOSED NEWPATH NETWORKS LANDSCAPE PLANTINGS
A33	PROPOSED NEWPATH NETWORKS FAUX ROCK (BATTERY BACKUP EQUIPMENT STEALTHING)
A53	PROPOSED NEWPATH NETWORKS EMERGENCY MARKER (NODE IDENTIFICATION) SIGNAGE
E02	PROPOSED NEWPATH NETWORKS ELECTRICAL JUNCTION BOX, SUPPLIED BY APS, INSTALLED BY CONTRACTOR
E11	PROPOSED NEWPATH NETWORKS ELECTRICAL PANEL W/ DISCONNECT, PAINTED TO MATCH POLE
KEY NOTE LEGEND	

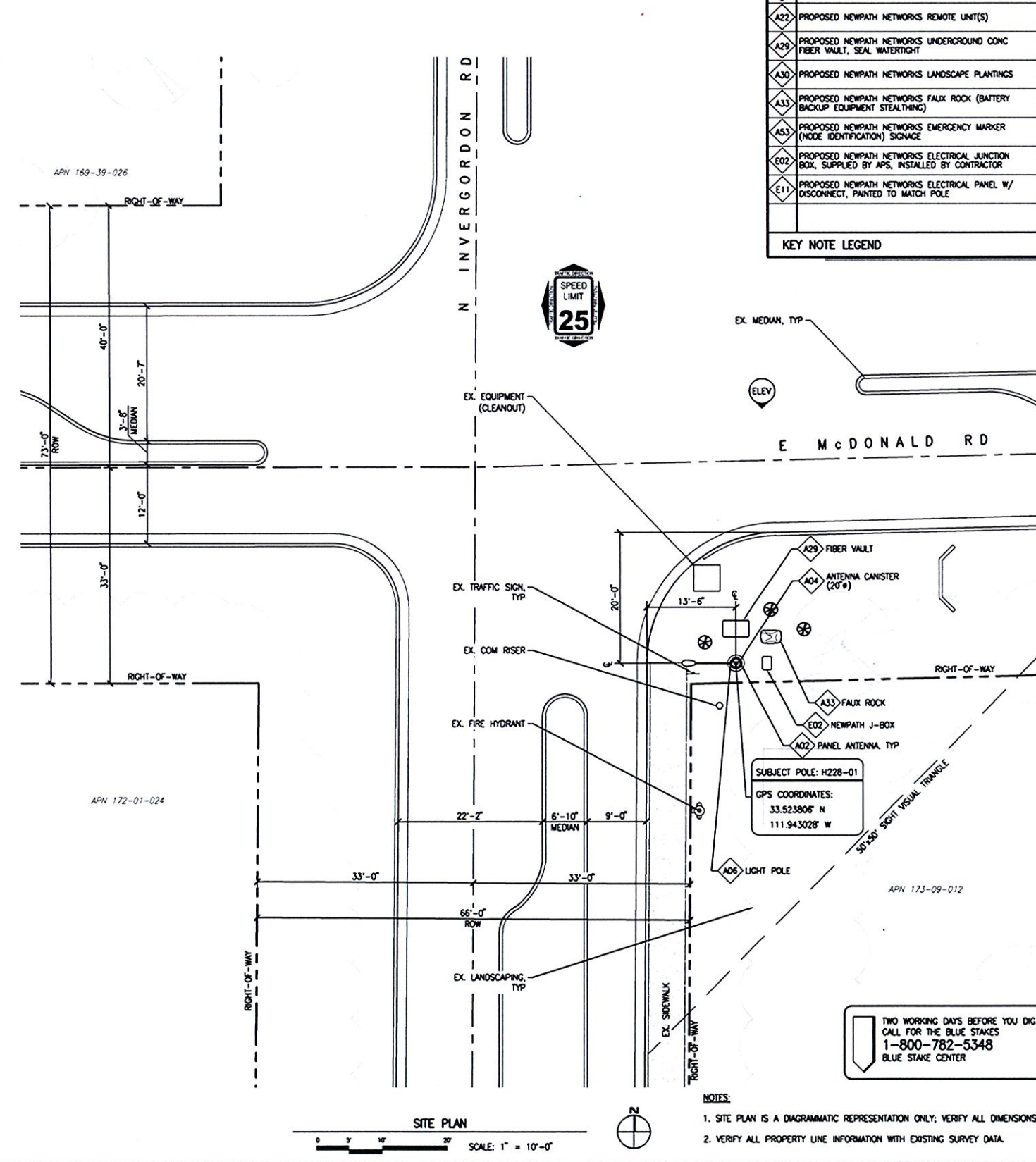
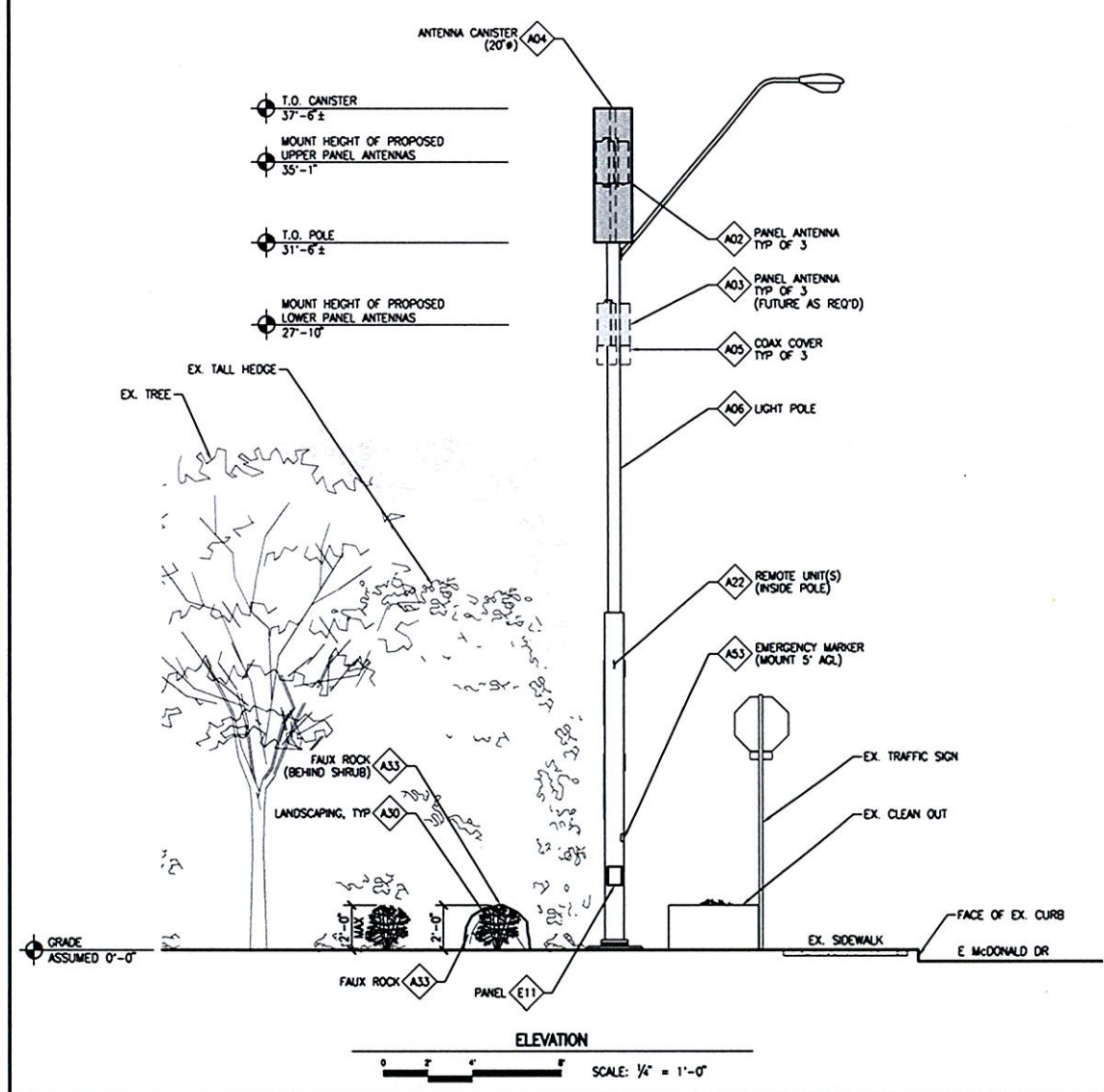
newpath NETWORKS
NewPath Networks, LLC
768 GARFIELD STREET
SEATTLE, WA 98109
ph: 206.550.8558
fax: 206.633.2768

PB TELECOM

303 BATTERY STREET SEATTLE, WA 98121
206.838.9275
206.838.5021

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PLANT LIST					
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
	3	SIMMONDSIA CHINENSIS	JOJOBA	15 GALLON	NURSERY STOCK



TWO WORKING DAYS BEFORE YOU DIG.
CALL FOR THE BLUE STAKES
1-800-782-5348
BLUE STAKE CENTER

- NOTES:
- SITE PLAN IS A DIAGRAMMATIC REPRESENTATION ONLY; VERIFY ALL DIMENSIONS.
 - VERIFY ALL PROPERTY LINE INFORMATION WITH EXISTING SURVEY DATA.

RELEASE	
DATE	LUP
21MAY10	
PROJECT NAME	
PARADISE VALLEY	
NODE ADDRESS	
H228-01	
E McDONALD DR & E INVERGORDON RD	
PROJECT AREA	
PARADISE VALLEY	
PBT JOB NUMBER	IN HOUSE
290210	DRAWN BY: PBT
SHEET TITLE	
LUP BASE DRAWING	
SHEET	PAGE
LUP-1	1 OF 1
PLOT SCALE: 1:1 @ 24"x36"; 1:2 @ 11"x17"	

existing



proposed

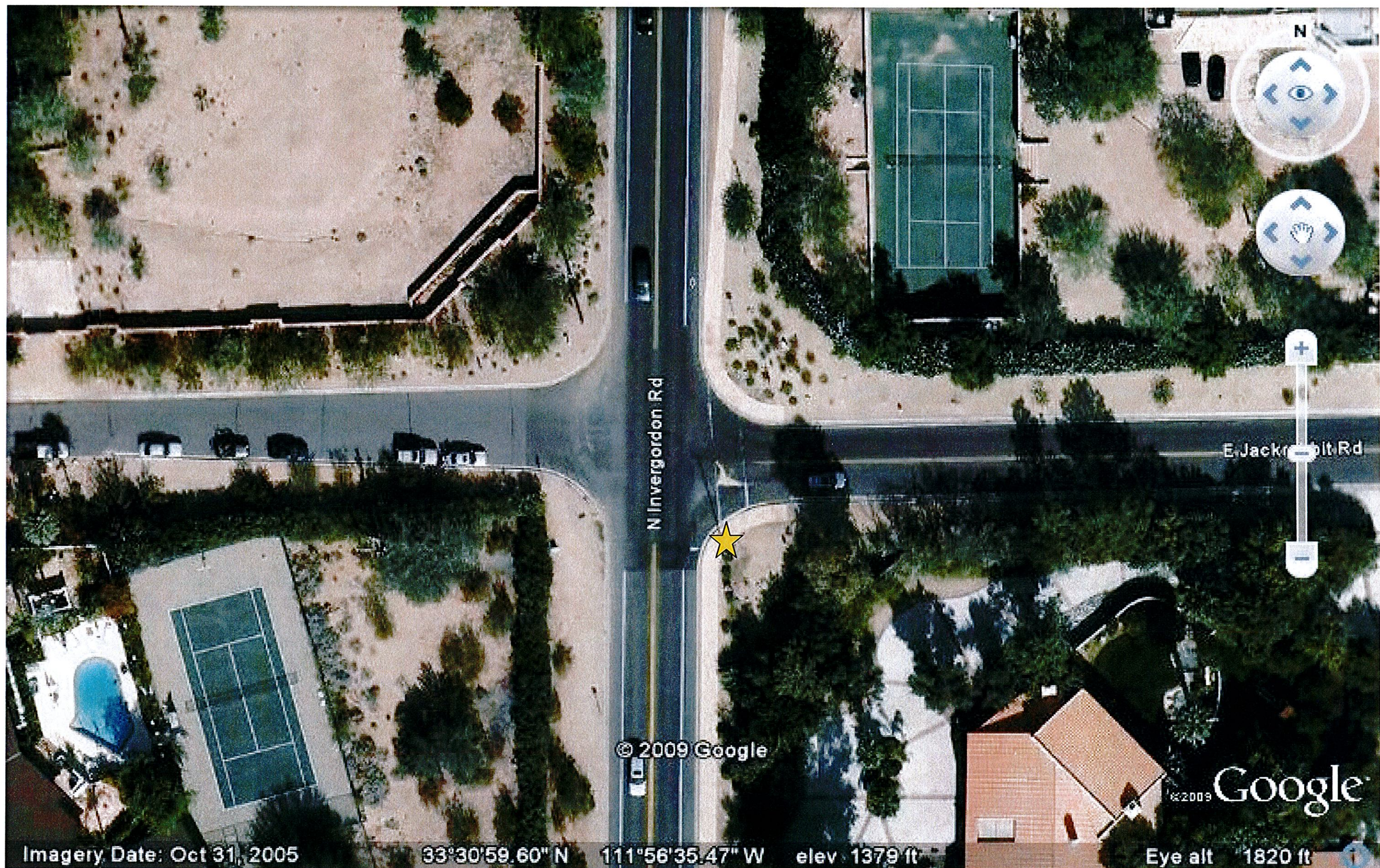


newpath
NETWORKS

Paradise Valley, AZ

H232

N Invergordon & E Jackrabbit Rd



NewPath Networks H232 Street Light at SEC of N. Invergordon Rd. & E. Jackrabbit Rd.


<u>APPLICANT</u>	<u>ARCHITECT</u>
NEWPATH NETWORKS 6908 E THOMAS ROAD, SUITE 201 SCOTTSDALE, AZ 85251 TEL: 480.225.0151 CONTACT: STEPHEN GARCIA	PB TELECOM, INC. 303 BATTERY STREET SEATTLE, WA 98121 TEL: 206.838.9275 FAX: 206.838.5021 CONTACT: ROY LORETE

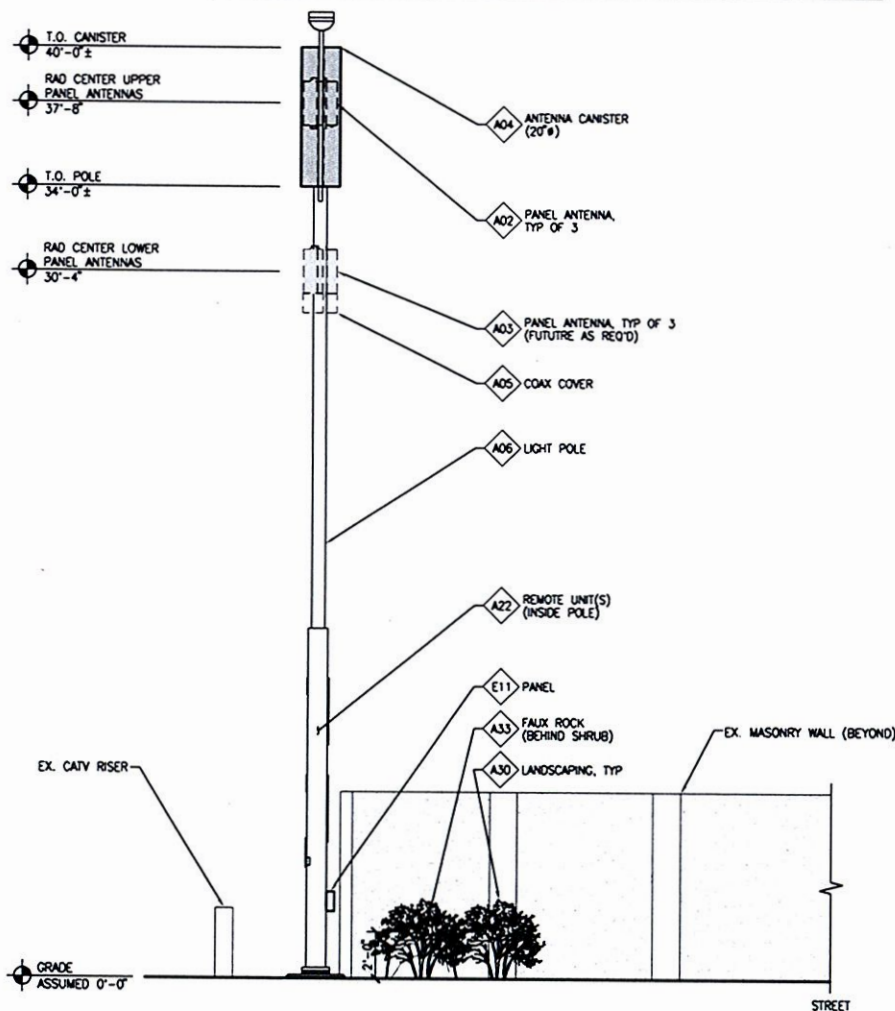
PROJECT TEAM

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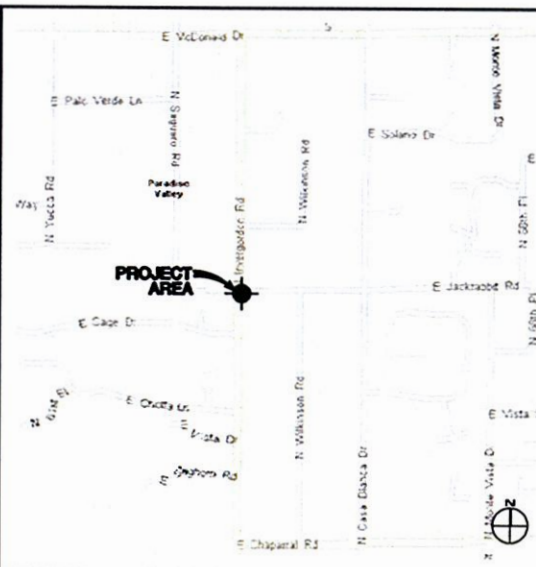
CURRENT - TOWN OF PARADISE VALLEY CODE 2005 - NATIONAL ELECTRICAL CODE
2006 - INTERNATIONAL BUILDING CODE 2006 - INTERNATIONAL FIRE CODE

CODES

PLANT LIST					
SHRUBS					
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
	2	SIMMONDSIA CHINENSIS	JOJOBA	15 GALLON	NURSERY STOCK



0 2 4 8 SCALE: $\frac{1}{4}" = 1'-0"$

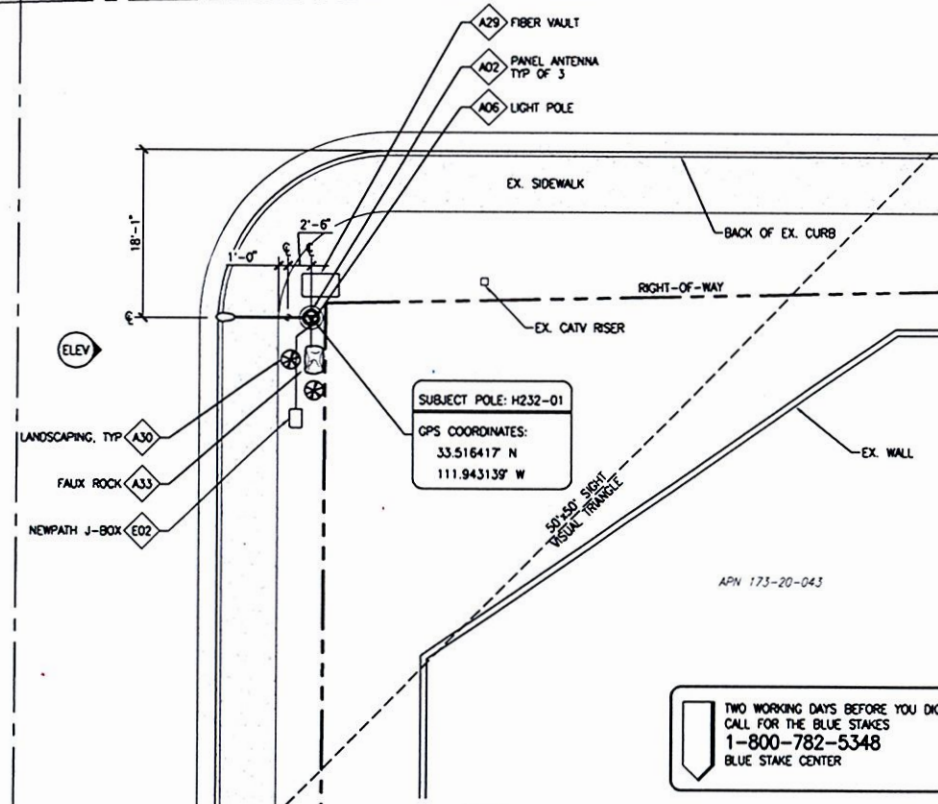


SECTION-TOWNSHIP-RANGE	28-3N-4E
------------------------	----------

QUARTER-SECTION	28-43
-----------------	-------

POLE TYPE:	LIGHT POLE
ASSIGNED ADDRESS:	TBD BY TOWN OF PARADISE VALLEY
NEAREST RESIDENTIAL ADDRESS:	6346 E MOUNTAIN VIEW RD
UPPER ANTENNA RAD CENTER:	37'-8"
LOWER ANTENNA RAD CENTER:	30'-4"

SITE INFO



NOTES:

I	DESCRIPTION
A02	PROPOSED NEWPATH NETWORKS PANEL ANTENNA
A03	PROPOSED NEWPATH NETWORKS "SMUGMOUNT" PANEL ANTENNAS; PAINT TO MATCH POLE
A04	PROPOSED NEWPATH NETWORKS ANTENNA CANISTER; PAINT TO MATCH POLE
A05	PROPOSED NEWPATH NETWORKS 10' COAX COVER
A06	PROPOSED REPLACEMENT LIGHT POLE
A22	PROPOSED NEWPATH NETWORKS REMOTE UNIT(S)
A29	PROPOSED NEWPATH NETWORKS UNDERGROUND CONC CRIB VAULT, SEAL WATERTIGHT
A30	PROPOSED NEWPATH NETWORKS LANDSCAPE PLANTINGS
A33	PROPOSED NEWPATH NETWORKS FAUX ROCK (BATTERY BACKUP EQUIPMENT STEALTHING)
E02	PROPOSED NEWPATH NETWORKS ELECTRICAL JUNCTION BOX, SUPPLIED BY APS, INSTALLED BY CONTRACTOR
E11	PROPOSED NEWPATH NETWORKS PANEL W/ DISCONNECT) PAINTED TO MATCH POLE

KEY NOTE LEGEND



newpath
NETWORKS

NewPath Network
768 GARFIELD STREET
SEATTLE, WA 98109
ph: 206.550.3858
fax: 206.633.2768



303 BATTERY STREET SEATTLE, WA 98121
 ☎ 206.838.9275
 ☎ 206.838.5021

RELEASE	
DATE	
21MAY10	LUP

PARADISE VALLEY

H232-01
N INVERGORDON RD
E JACKRABBIT RD

PARADISE VALLEY

290210

SHEET TITLE

LUP BASE DRAWING

SHEET

LUP-1

PLOT SCALE: 1:1 • 24"x36"; 1:2 • 11"x17"









George Burton
Senior Planner
Town of Paradise Valley
6401 E. Lincoln Drive
Paradise Valley, AZ 85253

Dear Resident:

Notice is hereby given that the Town of Paradise Valley Planning Commission will hold a public hearing at **6:00 p.m. on Tuesday, May 5, 2020** (in which a recommendation will be forwarded to the Town Council), at Town Hall, 6401 East Lincoln Drive, Paradise Valley, Arizona, 85253 for:

PUBLIC HEARING: Consideration of an application requesting an Intermediate Amendment to the Crown Castle Special Use Permit for its existing Distributed Antenna System which is located in the Town's right-of-way. Crown Castle is proposing modify the ground equipment at three of its existing telecommunications utility sites, which are located in the public right of way. The modifications would allow for new radio equipment to be installed in order to improve network capacity. No changes are proposed to the equipment located on the adjacent streetlight pole. The subject sites are located at:

- Site H219 – 7300 N. Tatum Blvd (northwest corner of Tatum Blvd and Clearwater Pkwy)
- Site H228 – 6401 E. McDonald Dr (southeast corner of McDonald Dr and Invergordon Rd)
- Site H232 – 5395 N. Invergordon Rd (southeast corner of Invergordon Rd and Jackrabbit Rd)

If you have questions about this application, please call the Community Development Department at (480) 348-3692.

THIS MEETING MAY BE HELD BY REMOTE PARTICIPATION

Please check the meeting agenda at <https://paradisevalleyaz.legistar.com/Calendar.aspx> to determine if the Planning Commission meeting will be held by remote participation. If held by remote participation, members of the public are encouraged to participate in the meeting via the following options:

1. View the live stream at <https://paradisevalleyaz.legistar.com/Calendar.aspx> (a) Click on Calendar Tab (b) Look for Planning Commission meeting (you may have to select it from the dropdown list) and find the meeting date (c) Click the "In Progress" link in the column titled Video
2. Zoom Conference (a) Computer: <https://zoom.us/j/6678902153> (b) Telephone: 1 669 900 6833 Meeting ID 667 890 2153
3. Submitting questions and comments: (a) Visit <https://paradisevalleyaz.legistar.com/Calendar.aspx>, search for the meeting date, and click "eComment". Locate the agenda item you are interested in and click "Comment" (Please submit comments at least 1 hr prior to meeting) (b) Email jknapp@paradisevalleyaz.gov (Please submit comments at least 1 hr prior to meeting)
4. Speaking during Call to the Public / Public Hearings:
(a) Visit <https://paradisevalleyaz.legistar.com/Calendar.aspx>, search for the meeting date, and click "eComment". Locate the agenda item and click "Register to Speak". Join the meeting by dialing 1 669 900 6833 Meeting ID 667 890 2153
(b) If attending by Zoom Video Conference, click the chat button and enter your name and the agenda item you would like to address (These meeting participation guidelines are pursuant to Town Council Resolution 2020-08 adopted March 17, 2020.)

Notice is hereby given pursuant to A.R.S. §38-431.02 that members of the Planning Commission may attend by audio/video conference call.

The Town of Paradise Valley endeavors to make all public meetings accessible to persons with disabilities. With 72 hours advance notice, special assistance can be provided for disabled persons at public meetings. Please call 480-948-7411 (voice) or 483-1811 (TDD) to request accommodation.

For further information about any of these matters, please contact the Community Development Department, 6401 E. Lincoln Drive, Paradise Valley, Arizona, 480-348-3692.

All agendas are subject to change. You can view the agenda, find application material, and provide your input via eComment approximately 4-6 days prior to the meeting date at <https://paradisevalleyaz.legistar.com/Calendar.aspx>. You may also contact the staff liaison, George Burton on this application at gburton@paradisevalleyaz.gov or 480-348-3525 at any time before the scheduled meeting date.

AFFIDAVIT OF MAILING NOTIFICATION

STATE OF ARIZONA)

) ss:

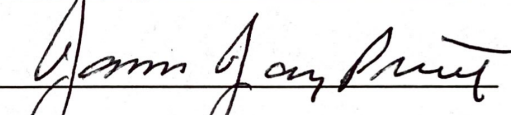
County of Maricopa)

In accordance with the requirements of the Town of Paradise Valley, the undersigned hereby certifies that the mailing list for the proposed project is a complete list of property owners within 1,500 feet of the subject property, as obtained from the Maricopa County Assessor's Office on the following date March 5, 2020, and such notification has been mailed on the following date April 8, 2020.


Signature

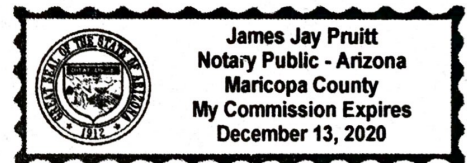
The foregoing instrument was acknowledged by me this 16th day of APRIL, 2020, by TANIA NICOLA FRIEJO.

Name


NOTARY PUBLIC

My commission expires:

12-13-2020



AFFIDAVIT OF MAILING NOTIFICATION

STATE OF ARIZONA)

) ss:

County of Maricopa)

In accordance with the requirements of the Town of Paradise Valley, the undersigned hereby certifies that the mailing list for the proposed project is a complete list of property owners within 1,500 feet of the subject property, as obtained from the Maricopa County Assessor's Office on the following date March 5, 2020, and such notification has been mailed on the following date April 10, 2020.



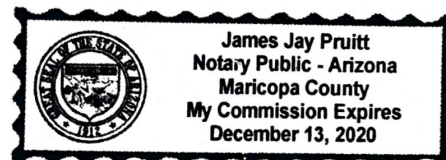
Signature

The foregoing instrument was acknowledged by me this 16TH day of APRIL, 2020, by TANYA FRIESE
Name


NOTARY PUBLIC

My commission expires:

12-13-2020



AFFIDAVIT OF POSTING

STATE OF ARIZONA)

) ss:

County of Maricopa)

I, TANYA FRIESE, depose and state that the attached notice, of proposed application CROWN CASTLE SUPPLEMENT located at PARADISE VALLEY R.O.W for the (Planning Commission/Town Council/Board of Adjustment/Hillside Committee) meeting date of MAY 5, 2020 is a true and correct copy of a notice which I cause to be posted by the following day of the week THURSDAY, and on the following date APRIL 16, 2020 in the following location(s):

H219 - CLEARWATER PKWY & TATUM
H228 - McDONALD & INVERGORDON
H232 - INVERGORDON & JACKRABBIT

All in the Town of Paradise Valley, Arizona and County and State aforesaid, the same being public places in said County and in the following locations:

All to the Town of Paradise Valley, Arizona and County and State aforesaid.

DATED this 16TH day of APRIL, 2020.

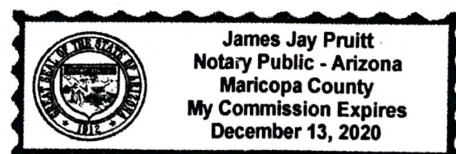
[Signature]
Signature

This affidavit was SUBSCRIBED AND SWORN to before me this 16TH day of APRIL, 2020.

[Signature]
NOTARY PUBLIC

My commission expires:

12-13-2020



Equipment Modifications – Citizen Input Meeting 4/20/20

attendees and mailed notice inquiries to applicant

H219 – 3pm

No calls/Emails/Attendees

H228 – 4pm

4/18 Call: 602-363-1142, Joe Ciolli. Wanted to know if the site will have 5G (no plans yet) and if the ground equipment will have to be modified again to support future 5G (no, it won't).

4/20 Attendee: Ivy Ciolli (Joe's wife). She is concerned about the health effects of 5G. Does not want 5G anywhere near her home. Has signed a petition to stop 5G deployments. Notified her that the SUP amendment is not for 5G and our customer has not indicated to us their 5G deployment plans in Paradise Valley to date.

H232 – 5pm

No calls/Emails/Attendees

Dear Property Owner,

April 7, 2020

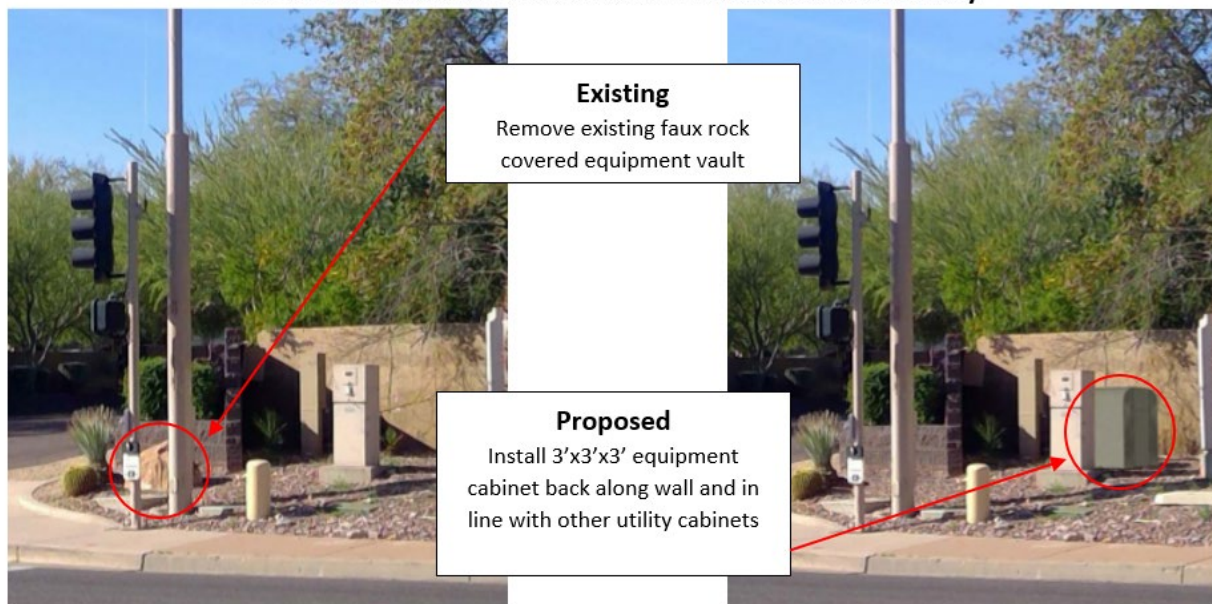
This letter is to inform you that Crown Castle is requesting an intermediate amendment to the Special Use Permit to modify the ground equipment at its existing telecommunications utility site located in the public right of way. This modification will allow for new radio equipment to be installed that will increase signal penetration and improve network capacity. No changes are proposed to the equipment located on the adjacent streetlight pole.

In accordance with the Special Use Permit process, the Town of Paradise Valley requires a neighborhood meeting to give residents within 1,500 feet of the utility site an opportunity to review our proposal and ask any questions.

Due to the Covid-19 pandemic and prohibition on public meetings, this meeting will be conducted via WebEx on April 20th at 3pm.

If you are unable to attend the neighborhood meeting or have any questions regarding the project, please contact Crown Castle representative Tanya Friese at 602.677.0957 or email tanya.friese@crowncastle.com. You may also contact George Burton, Senior Planner at the Town of Paradise Valley at 480.348.3525 or by email gburton@paradisevalleyaz.gov with any questions regarding the application and the Special Use Permit amendment process.

H219: Northwest corner of N Tatum Blvd & Clearwater Pkwy



To join the meeting at 3pm on 4/20/2020

Option 1) enter this address into your web browser:

<https://crowncastle.webex.com/crowncastle/j.php?MTID=m60ca4b41e19794256a399682ceea6c71>

Option 2) Download WebEx app and enter meeting number (access code) 743 172 702

Option 3) Join by phone 415.655.0003 and enter meeting number (access code) 743 172 702

[illegible]

6:00 P.M. O'CLOCK 5th DAY OF May 2020

6:00 PM **Paradise Valley, Arizona**
O'CLOCK 5th DAY OF May 2020

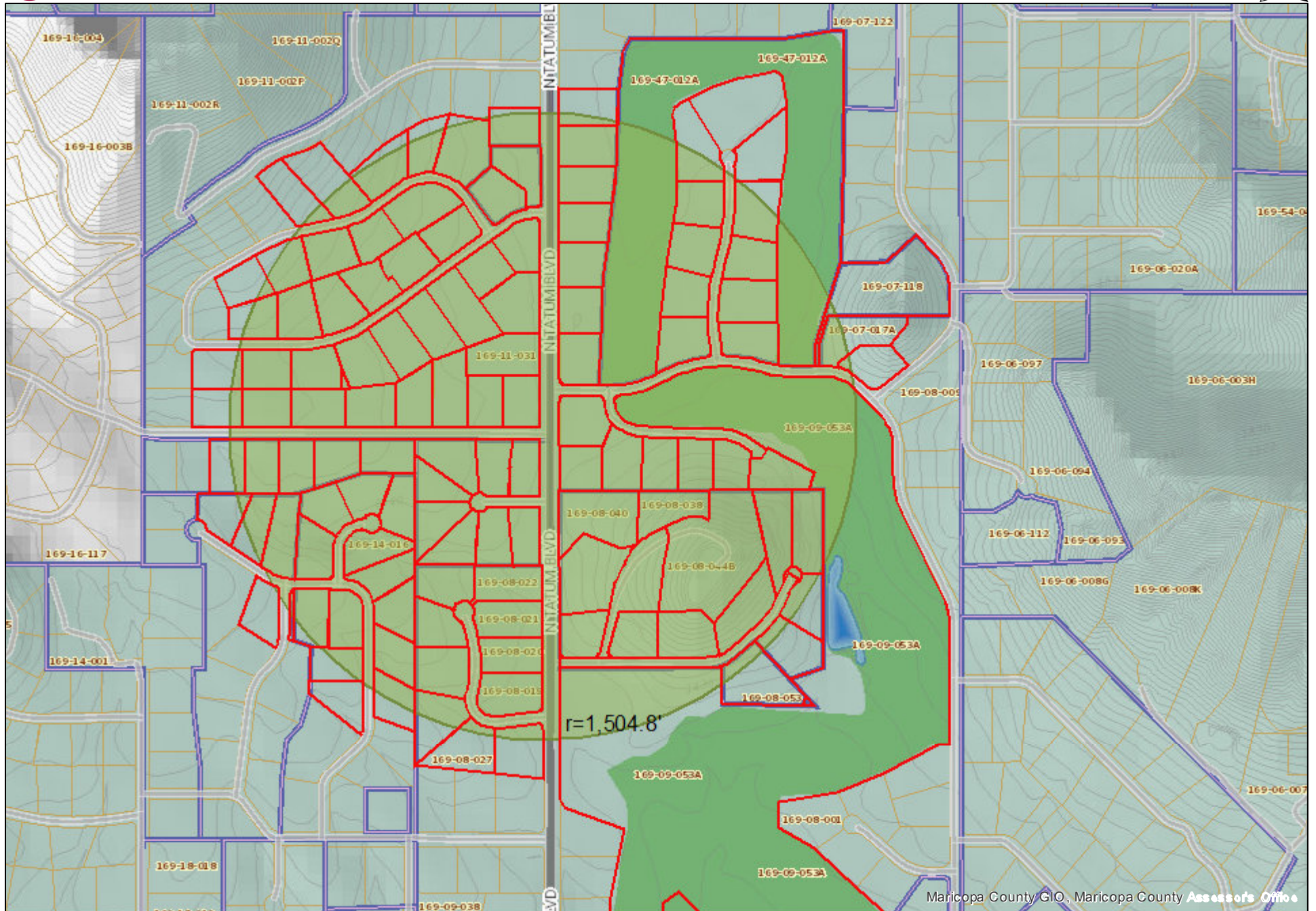
[illegible][illegible][illegible]

Parcel Number	Owner	Property Address	MAIL_ADDR1	MAIL_CITY	MAIL_STA'	MAIL_ZIP
169-08-026	4711 QUARTZ MOUNTAIN LLC	4711 E QUARTZ MOUNTAIN RD PARADISE VALLEY 85253	4711 E QUARTZ MOUNTAIN RD	PARADISE VALLEY	AZ	85253
169-47-007	OCCUPANT	7510 N EUCALYPTUS DR PARADISE VALLEY 85253	7510 N EUCALYPTUS DR	PARADISE VALLEY	AZ	85253
169-47-007	7510 N EUCALYPTUS DRIVE LLC	7510 N EUCALYPTUS DR PARADISE VALLEY 85253	451 JACKSON ST	SAN FRANCISCO	CA	94111
PHOENIX	Alan Stephenson, Planning & Development Director, City of Phoenix		200 W. Washington St.	Phoenix	AZ	85003
169-14-007	ALLENBY FAMILY TRUST	4631 E CLEARWATER PKWY PARADISE VALLEY 85253	4631 E CLEARWATER PKWY	PARADISE VALLEY	AZ	85253
169-11-051	ALMAN MARK D/LAURA A	4707 E SPARKLING LN PARADISE VALLEY 85253	4707 E SPARKLING LN	PARADISE VALLEY	AZ	85253
169-08-016	AMERCO REAL ESTATE COMPANY		2727 N CENTRAL AVE STE 500	PHOENIX	AZ	85004
169-08-018	AMERCO REAL ESTATE COMPANY		2727 N CENTRAL AVE STE 500	PHOENIX	AZ	85004
169-08-038	AMERCO REAL ESTATE COMPANY		2727 N CENTRAL AVE STE 500	PHOENIX	AZ	85004
169-08-040	OCCUPANT		7211 N TATUM BLVD	PARADISE VALLEY	AZ	85253
169-08-040	AMERCO REAL ESTATE COMPANY		2727 N CENTRAL AVE STE 500	PHOENIX	AZ	85004
169-47-008	ARKULES STACEY	7211 N TATUM BLVD PARADISE VALLEY 85253	7502 N EUCALYPTUS DR	PARADISE VALLEY	AZ	85253
169-11-054	AUM PACK LIVING TRUST	4800 E SPARKLING LN PARADISE VALLEY 85253	4800 E SPARKLING LN	PARADISE VALLEY	AZ	85253
169-07-035	BABBRAH BHUPINDER S/POOJA K	7535 N TATUM BLVD PARADISE VALLEY 85253	7535 N TATUM BLVD	PARADISE VALLEY	AZ	85253
169-11-033	BEETHE MICHAEL F	4835 E CRYSTAL LN PARADISE VALLEY 85253	4835 E CRYSTAL LN	PARADISE VALLEY	AZ	85253
169-08-039	OCCUPANT		5045 E COTTONTAIL RUN	PARADISE VALLEY	AZ	85253
169-08-039	BERGERON FAMILY REVOCABLE TRUST	5045 E COTTONTAIL RUN RD PARADISE VALLEY 85253	7527 E WHISPER ROCK TRL	SCOTTSDALE	AZ	85266
169-47-001	BIDSTRUP G PETER TR	7511 N EUCALYPTUS DR PARADISE VALLEY 85253	7511 EUCALYPTUS DR	PARADISE VALLEY	AZ	85253
169-14-028	BLACK JOEL W II/HEIDI ANN	7116 N 47TH ST PARADISE VALLEY 85253	7116 N 47TH ST	PARADISE VALLEY	AZ	85253
169-08-022	BLECHMANN JASON K	7131 N QUARTZ MOUNTAIN RD PARADISE VALLEY 85253	7131 N QUARTZ MOUNTAIN RD	PARADISE VALLEY	AZ	85253
169-08-047	BLOCH ROBERT CARL/MIMS APRIL ANN	4809 E HUMMINGBIRD LN PARADISE VALLEY 85253	4809 E HUMMINBIRD LN	PARADISE VALLEY	AZ	85253
169-14-020	BOPPART TRUST	7101 N 47TH ST PARADISE VALLEY 85253	7101 N 47TH ST	PARADISE VALLEY	AZ	85253
169-11-146	BRADLEY TIMOTHY SCOTT/RICH KATIE FLETCHER	4834 E CRYSTAL LN PARADISE VALLEY 85253	4834 E CRYSTAL LN	PARADISE VALLEY	AZ	85253
169-14-012	OCCUPANT		4664 E QUARTZ MOUNTAIN RD	PARADISE VALLEY	AZ	85253
169-14-012	BROCK RICHARD I/JOAN E TR	4664 E QUARTZ MOUNTAIN RD PARADISE VALLEY 85253	7119 E SHEA BLVD STE 109 685	SCOTTSDALE	AZ	85254
169-07-118	OCCUPANT		7400 N SHADOW MOUNTAIN RD	PARADISE VALLEY	AZ	85253
169-07-118	BUTTERFIELD SHELBY J	7400 N SHADOW MOUNTAIN RD PARADISE VALLEY 85253	5901 E CALLE DEL NORTE	PHOENIX	AZ	85018
169-08-043	C JOURNEY REVOCABLE LIVING TRUST	4820 E COTTONTAIL RUN RD PARADISE VALLEY 85253	5844 E LAFAYETTE BLVD	PHOENIX	AZ	85018
169-08-044B	OCCUPANT		7201 N COTTONTAIL RUN RD	PARADISE VALLEY	AZ	85253
169-08-044B	CASEBOLT VICTOR A TR/OJO B TR	7201 N COTTONTAIL RUN RD PARADISE VALLEY 85253	7201 COTTONTAIL RUN NORTH	PARADISE VALLEY	AZ	85253
169-08-044F	CASEBOLT VICTOR A TR/OJO B TR	7201 N COTTONTAIL PARADISE VALLEY 85253	7201 COTTONTAIL RUN NORTH	PARADISE VALLEY	AZ	85253
169-08-012	CHAPMAN NICHOLAS J	4929 E PRICKLY PEAR LN PARADISE VALLEY 85253	508 E MANDALAY DR	SAN ANTONIO	TX	78212-1746
169-11-045	CHILDS FAMILY REV TR/CHILDS D/BAKER-CHILDS M	4734 E CRYSTAL LN PARADISE VALLEY 85253	4734 E CRYSTAL LN	PARADISE VALLEY	AZ	85253
169-47-009	CLARKE WILLIAM A/MARGARET O	7310 N EUCALYPTUS DR PARADISE VALLEY 85253	7310 N EUCALYPTUS DR	PARADISE VALLEY	AZ	85253
169-07-033	COHEN MARILYN/CHERI A	7605 N TATUM BLVD PARADISE VALLEY 85253	7605 N TATUM BLVD	PARADISE VALLEY	AZ	85253
169-11-034	COOPER MICHAEL L/TERESA S TR	4825 E CRYSTAL LN PARADISE VALLEY 85253	4825 E CRYSTAL LN	PARADISE VALLEY	AZ	85253
169-47-006	OCCUPANT		7526 N EUCALYPTUS DR	PARADISE VALLEY	AZ	85253
169-47-006	COTTON JOHN & JANET	7526 N EUCALYPTUS DR PARADISE VALLEY 85253	SUCURSAL B APT D POS 362-B	PUERTO VALLARTA		
169-08-044H	OCCUPANT		4928 E COTTONTAIL RUN RD	PARADISE VALLEY	AZ	85253
169-08-044H	COTTON TRAIL RUN 4928 LLC	4928 E COTTONTAIL RUN RD PARADISE VALLEY 85253	2400 E ARIZONA BILTMORE CIRCLE DR 22	PHOENIX	AZ	85016
169-08-044J	COTTON TRAIL RUN 4928 LLC		4928 E COTTON TRAIL RUN RD	PARADISE VALLEY	AZ	85253
169-08-053	COTTONTAIL INVESTMENTS LLC	5001 E COTTONTAIL RUN RD PARADISE VALLEY 85253	7332 E BUTHERUS DR	SCOTTSDALE	AZ	85260
169-14-029	COUCHE FAMILY REVOCABLE TRUST	4675 E QUARTZ MOUNTAIN RD PARADISE VALLEY 85253	4675 E QUARTZ MOUNTAIN RD	PARADISE VALLEY	AZ	85253
169-08-049	CSS TRUST	4800 E HUMMINGBIRD LN PARADISE VALLEY 85253	4800 E HUMMINGBIRD LN	PARADISE VALLEY	AZ	85253
169-08-023	CUSHING MARK L/LANGLEY NATALIE R	7132 N QUARTZ MOUNTAIN RD PARADISE VALLEY 85253	7132 N QUARTZ MOUNTAIN RD	PARADISE VALLEY	AZ	85253
169-11-032	OCCUPANT		7500 N TATUM BLVD	PARADISE VALLEY	AZ	85253
169-11-032	DAIZA MAYAR M	7500 N TATUM BLVD PARADISE VALLEY 85253	PO BOX 15704	SCOTTSDALE	AZ	85267
169-08-014	DANIEL J ZELISKO FAMILY TRUST	4907 E PRICKLY PEAR LN PARADISE VALLEY 85253	4907 E PRICKLY PEAR LANE	PARADISE VALLEY	AZ	85253
169-47-010	DE BELL MICHAEL A/ROBYN J TR	7311 N EUCALYPTUS DR PARADISE VALLEY 85253	7311 N EUCALYPTUS DR	PARADISE VALLEY	AZ	85253
169-11-036	DECEDENTS TRUST/SURVIVORS TRUST	4807 E CRYSTAL LN PARADISE VALLEY 85253	4807 E CRYSTAL LN	PARADISE VALLEY	AZ	85253
169-11-027	DUFFEY LEONARD E/ROSEMARY P TR	4800 E CLEARWATER PKWY PARADISE VALLEY 85253	4800 E CLEARWATER PKWY	PARADISE VALLEY	AZ	85253
169-11-043	E ADELE P SWAN FAMILY TRUST	4628 E CRYSTAL LN PARADISE VALLEY 85253	4628 E CRYSTAL LN	PARADISE VALLEY	AZ	85253
169-11-015	ERICKSON FAMILY	4660 E SPARKLING LN PARADISE VALLEY 85253	4660 E SPARKLING LN	PARADISE VALLEY	AZ	85253
169-47-003	OCCUPANT		7547 N EUCALYPTUS DR	PARADISE VALLEY	AZ	85253
169-47-003	EUCALYPTUS ESQ LLC	7547 N EUCALYPTUS DR PARADISE VALLEY 85253	135 S LASALLE ST SUITE 2350	CHICAGO	IL	60603
169-11-047A	F&C TRUST	4816 E CRYSTAL LN PARADISE VALLEY 85253	4816 E CRYSTAL LN	PARADISE VALLEY	AZ	85253
169-08-044G	FIELER DAVID JR	5022 E COTTONTAIL RUN RD PARADISE VALLEY 85253	5022 E COTTONTAIL RUN RD	PARADISE VALLEY	AZ	85253
169-11-055	FRANCIS AND CAROL SLAVIN FAMILY TRUST	4816 E SPARKLING LN PARADISE VALLEY 85253	4816 E SPARKLING LN	PARADISE VALLEY	AZ	85253
169-11-053	FRIEDMAN GLENN M & ARLENE B TR	4639 E SPARKLING LN PARADISE VALLEY 85253	4639 SPARKLING LANE	PARADISE VALLEY	AZ	85253
169-08-021	GABAI RICHARD J	7121 N QUARTZ MOUNTAIN RD PARADISE VALLEY 85253	7121 N QUARTZ MOUNTAIN RD	PARADISE VALLEY	AZ	85253
169-08-050	OCCUPANT		4810 E HUMMINGBIRD LN	PARADISE VALLEY	AZ	85253
169-08-050	GANNALO DAVID	4810 E HUMMINGBIRD LN PARADISE VALLEY 85253	8678 E KRAIL ST	SCOTTSDALE	AZ	85250
169-11-040	OCCUPANT		4641 E CRYSTAL LN	PARADISE VALLEY	AZ	85253
169-11-040	GERSTER KURT/KRISTINE	4641 E CRYSTAL LN PARADISE VALLEY 85253	2436 WATERFRONT DR	BRIGHTON	MI	48114
169-11-028	GERSTMAN FAMILY TR	4820 E CLEARWATER PKWY PARADISE VALLEY 85253	4820 E CLEARWATER PARKWAY	PARADISE VALLEY	AZ	85253
169-11-024	GLADYS L GREEN TRUST/ROOKE WILLIAM W	4630 E CLEARWATER PKWY PARADISE VALLEY 85253	4630 E CLEARWATER PKWY	PARADISE VALLEY	AZ	85253
169-07-016	GOLDSTEIN ANDREW H/COLOMBO MARIA	5108 E DESERT FAIRWAYS DR PARADISE VALLEY 85253	5108 E DESERT FAIRWAYS DR	PARADISE VALLEY	AZ	85253
169-47-005	HADDOCK ROBERT M/ANN M TR	7548 N EUCALYPTUS DR PARADISE VALLEY 85253	7548 N EUCALYPTUS	PARADISE VALLEY	AZ	85253
169-08-045A	HAZEL P SEIDEL SURVIVOR'S TRUST	4825 E HUMMINGBIRD LN PARADISE VALLEY 85253	4825 E HUMMINGBIRD LN	PARADISE VALLEY	AZ	85253
169-07-036	HEGLE TROND U	7521 N TATUM BLVD PARADISE VALLEY 85253	7521 N TATUM BLVD	PARADISE VALLEY	AZ	85253
169-14-027	HELM P RALPH/ROBERTA L TR	7100 N 47TH ST PARADISE VALLEY 85253	7100 N 47TH ST	PARADISE VALLEY	AZ	85253
169-14-043	HERBERGER GARY K TR	4634 E QUARTZ MOUNTAIN RD PARADISE VALLEY 85253	4645 E QUARTZ MONUNTAIN RD	PARADISE VALLEY	AZ	85253
169-14-044	HERBERGER GARY K TR	4644 E QUARTZ MOUNTAIN RD PARADISE VALLEY 85253	4645 E QUARTZ MONUNTAIN RD	PARADISE VALLEY	AZ	85253
169-14-045	HERBERGER GARY K TR	4654 E QUARTZ MOUNTAIN RD PARADISE VALLEY 85253	4645 E QUARTZ MONUNTAIN RD	PARADISE VALLEY	AZ	85253
169-14-046	HERBERGER GARY K TR		4645 E QUARTZ MONUNTAIN RD	PARADISE VALLEY	AZ	85253
169-08-013	HORTON STACEY	4921 E PRICKLY PEAR LN PARADISE VALLEY 85253	4921 E PRICKLY PEAR CT	PARADISE VALLEY	AZ	85253
169-11-044	OCCUPANT		4708 E CRYSTAL LN	PARADISE VALLEY	AZ	85253
169-11-044	HURRKURRMURR LOGISTICS LLC/GWN DEVELOPMENT LL	4708 E CRYSTAL LN PARADISE VALLEY 85253	23218 N LAS LAVATAS	SCOTTSDALE	AZ	85255
169-14-017	ISON MURRAY B/NANCY L	7141 N 47TH ST PARADISE VALLEY 85253	7141 N 47TH ST	PARADISE VALLEY	AZ	85253
169-11-050	J A MIHALEK TRUST	4801 E SPARKLING LN PARADISE VALLEY 85253	4801 E SPARKLING LN	PARADISE VALLEY	AZ	85253
169-11-031	JAMILA H DAIZA TRUST	7424 N TATUM BLVD PARADISE VALLEY 85253	7424 N TATUM	PARADISE VALLEY	AZ	85253
169-11-046A	JAQUELINE AND ROBERT WILLIS FAMILY TRUST	4800 E CRYSTAL LN PARADISE VALLEY 85253	4800 E CRYSTAL LN	PARADISE VALLEY	AZ	85253
169-08-052A	JENNIFER N NELSON LIVING TRUST	4824 E HUMMINGBIRD LN PARADISE VALLEY 85253	4824 E HUMMINGBIRD LN	PARADISE VALLEY	AZ	85253
169-08-035	JGM GROUP LLC	5035 E COTTONTAIL RUN RD PARADISE VALLEY 85253	5035 COTTONTAIL RUN EAST	PARADISE VALLEY	AZ	85253
169-11-029	KATHERINE JOHNSON PEDERSEN TRUST	4828 E CLEARWATER PKWY PARADISE VALLEY 85253	4828 E CLEARWATER PKWY	PARADISE VALLEY	AZ	85253
169-14-016	KATZ LAWRENCE ALLEN/ELLEN C	7201 N 47TH ST PARADISE VALLEY 85253	7201 N 47TH ST	SCOTTSDALE	AZ	85253
169-11-048A	KEARNEY RONALD K/DONNA S TR	4824 E CRYSTAL LN PARADISE VALLEY 85253	4824 E CRYSTAL LN	PARADISE VALLEY	AZ	85253
169-08-036	KELLY JEROME/CAROL	5055 E COTTONTAIL RUN RD PARADISE VALLEY 85253	5055 E COTTONTAIL RUN RD	PARADISE VALLEY	AZ	85253
169-08-044K	KELLY JEROME/CAROL		5044 E COTTONTAIL RUN RD	PARADISE VALLEY	AZ	85253
169-08-041	OCCUPANT		2115 ROSE CREEK BLVD S	FARGO	ND	58104
169-08-041	KENNEY EMMET/DIANE	5044 E COTTONTAIL RUN RD PARADISE VALLEY 85253	4665 E QUARTZ MOUNTAIN RD	PARADISE VALLEY	AZ	85253
169-14-030	OCCUPANT		3303 E 200 N	RIGBY	ID	83442
169-14-030	LONDON RICHARD A/SANDY M	4665 E QUARTZ MOUNTAIN RD PARADISE VALLEY 85253	4716 E SPARKLING LN	PARADISE VALLEY	AZ	85253
169-11-014	LEMARR ROBERT P/LOIS J TR	4716 E SPARKLING LN PARADISE VALLEY 85253	4729 E CLEARWATER PKWY	SCOTTSDALE	AZ	85253
169-14-009	LOWE IRVING & MIRIAM TR	4701 E SPARKLING LN PARADISE VALLEY 85253	4701 E SPARKLING LN	PARADISE VALLEY	AZ	85253
169-11-052	MCCUNE JAMES DAVID/LISA L	4621 E CRYSTAL LN PARADISE VALLEY 85253	4621 E CRYSTAL LN	PARADISE VALLEY	AZ	85253
169-11-041	MCDADE JOHN R II	7527 N EUCALYPTUS DR PARADISE VALLEY 85253	7527 N EUCALYPTUS DR	PARADISE VALLEY	AZ	85253
169-47-002	MEYER JAMES E/KAREN G TR	4801 E CLEARWATER PKWY PARADISE VALLEY 85253	4801 E CLEARWATER PKWY	PARADISE VALLEY	AZ	85253
169-14-010	MICHAEL AND JANE KUNDE 2014 REVOCABLE TRUST	4737 E CRYSTAL LN PARADISE VALLEY 85253	4737 E CRYSTAL LN	SCOTTSDALE	AZ	85253
169-11-038	MILLIGAN ROBERT J/KERRY E R TR	4711 E CRYSTAL LN PARADISE VALLEY 85253	4737 E CRYSTAL LN	SCOTTSDALE	AZ	85253
169-11-039A	MILLIGAN ROBERT J/KERRY E R TR	5100 E DESERT FAIRWAYS DR PARADISE VALLEY 85253	5100 E DESERT FAIRWAYS DR	PARADISE VALLEY	AZ	85253
169-07-017A	MINOR THOMAS/GUENTHER CHRISTINE	4801 E HUMMINGBIRD LN PARADISE VALLEY 85253	4801 E HUMMINGBIRD LN	PARADISE VALLEY	AZ	85253
169-08-048	MORRISON FAMILY TRUST	7549 N TATUM BLVD PARADISE VALLEY 85253	7549 N TATUM BLVD	PARADISE VALLEY	AZ	85253
169-07-034	MSAAD-ABDELHEDI FAMILY 2008 TRUST		4836 E CLEARWATER PKWY	PARADISE VALLEY	AZ	85253
169-11-030	OCCUPANT		PO BOX 7982	TEMPE	AZ	85281
169-11-030	NAINI ABBAS/NAEINI FIROUZEH	4836 E CLEARWATER PKWY PARADISE VALLEY 85253	4717 E QUARTZ MOUNTAIN RD	PARADISE VALLEY	AZ	85253
169-08-027	NOBLE MICHAEL/JODI	4717 E QUARTZ MOUNTAIN RD PARADISE VALLEY 85253	4900 E DESERT FAIRWAYS DR	PARADISE VALLEY	AZ	85253
169-07-038A	OCCUPANT		925 LAKE ST S 301	KIRKLAND	WA	98033
169-07-038A	OHAI BARRY B/JUDITH TR	4900 E DESERT FAIRWAYS DR PARADISE VALLEY 85253	4720 E CLEARWATER PKWY	PARADISE VALLEY	AZ	85253
169-11-026	PALERMO STEPHEN T	4720 E CLEARWATER PKWY PARADISE VALLEY 85253	7101 N TATUM BLVD	PARADISE VALLEY	AZ	85253
169-09-053A	PARADISE VALLEY COUNTRY CLUB INC	7101 N TATUM BLVD PARADISE VALLEY 85253	7101 N TATUM BLVD	PARADISE VALLEY	AZ	85253
169-47-012A	PARADISE VALLEY COUNTRY CLUB INC	7101 N TATUM BLVD PARADISE VALLEY 85253	7101 N TATUM BLVD	PARADISE VALLEY	AZ	85253

169-08-031	PATRI RAMESH C	4733 E QUARTZ MOUNTAIN RD PARADISE VALLEY 85253	4733 E QUARTZ MOUNTAIN RD	PARADISE VALLEY	AZ	85253
169-11-147	PAUL DAVIDSON REVOCABLE TRUST/DANIELLE DAVIDSON REVOCABLE TRUST	4848 E CRYSTAL LN PARADISE VALLEY 85253	4848 E CYRSTAL LN	PARADISE VALLEY	AZ	85253
169-14-015	PESTER PROPERTIES ARIZONA LLC	7241 N 47TH ST PARADISE VALLEY 85253	7231 N 47TH ST	PARADISE VALLEY	AZ	85253
169-14-014	PESTER THOMAS L/JUDITH A	7231 N 47TH ST PARADISE VALLEY 85253	7231 & 7241 N 47TH ST	PARADISE VALLEY	AZ	85253
169-14-019	PUTNAM CHANDRA LYNN/VASQUEZ JON	7115 N 47TH ST PARADISE VALLEY 85253	7115 N 47TH ST	PARADISE VALLEY	AZ	85253
169-11-023	OCCUPANT		4620 E CLEARWATER PKWY	PARADISE VALLEY	AZ	85253
169-11-023	PUZISS IRVING	4620 E CLEARWATER PKWY PARADISE VALLEY 85253	PO BOX 6328	PORTLAND	OR	97228
169-14-039	OCCUPANT		4655 E QUARTZ MOUNTAIN RD	PARADISE VALLEY	AZ	85253
169-14-039	QUARTZ VALLEY DEVELOPMENT INC	4655 E QUARTZ MOUNTAIN RD PARADISE VALLEY 85253	18001 N 94TH WAY	SCOTTSDALE	AZ	85255
169-08-019	QURESHI JUNAID I	7101 N QUARTZ MOUNTAIN RD PARADISE VALLEY 85253	7101 N QUARTZ MOUNTAIN RD	PARADISE VALLEY	AZ	85253
169-08-046A	RAW DOGS TRUST	4819 E HUMMINGBIRD LN PARADISE VALLEY 85253	4819 E HUMMINGBIRD LN	PARADISE VALLEY	AZ	85253
169-11-059	RGM HOLDINGS LLC	7616 N TATUM BLVD PARADISE VALLEY 85253	7616 N TATUM BLVD	PARADISE VALLEY	AZ	85253
169-11-056	RHD LIVING TRUST	4824 E SPARKLING LN PARADISE VALLEY 85253	4824 E SPARKLING LN	PARADISE VALLEY	AZ	85253
169-08-015	RISING MARTIN LEE/KANDACE J	4837 E PRICKLY PEAR LN PARADISE VALLEY 85253	4837 E PRICKLEY PEAR LN	PARADISE VALLEY	AZ	85253
169-08-020	ROBERT AND MICHELE LUNDSTEDT TRUST	7111 N QUARTZ MOUNTAIN RD PARADISE VALLEY 85253	7111 N QUARTZ MOUNTAIN RD	PARADISE VALLEY	AZ	85253
169-47-011	OCCUPANT		7501 N EUCALYPTUS DR	PARADISE VALLEY	AZ	85253
169-47-011	ROBERTSHAW JOHN C/ELIZABETH	7501 N EUCALYPTUS DR PARADISE VALLEY 85253	166 E 81ST ST	NEW YORK	NY	10028
169-11-025	SHOOTING STAR REVOCABLE TRUST	4710 E CLEARWATER PKWY PARADISE VALLEY 85253	4710 E CLEARWATER PKWY	PARADISE VALLEY	AZ	85253
169-11-039B	SIGGINS SCOTT E/SANDRIA K TR	4711 E CRYSTAL LN PARADISE VALLEY 85253	4711 E CRYSTAL LANE	PARADISE VALLEY	AZ	85253
169-08-024	OCCUPANT		7120 N QUARTZ MOUNTAIN RD	PARADISE VALLEY	AZ	85253
169-08-024	SIO4 PROPERTIES LLC	7120 N QUARTZ MOUNTAIN RD PARADISE VALLEY 85253	1445 GASLIGHT DR	ALGONQUIN	IL	60102
169-11-037	TALEEN JOHN THOMAS/SARA J	4801 E CRYSTAL LN PARADISE VALLEY 85253	4801 E CRYSTAL LN	PARADISE VALLEY	AZ	85253
169-14-018	TAUTE BRYAN	7131 N 47TH ST PARADISE VALLEY 85253	7131 N 47TH ST	PARADISE VALLEY	AZ	85253
169-07-037	TIM AND SHAWN HARRISON TRUST	7511 N TATUM BLVD PARADISE VALLEY 85253	7511 N TATUM BLVD	PARADISE VALLEY	AZ	85253
SCOTTSDALE	Tim Curtis, Planning Director, City of Scottsdale		7447 E. Indian Schol Rd	Scottsdale	AZ	85251
169-07-038	TIMOTHY AND JANIECE WEBB REVOCABLE TRUST	4906 E DESERT FAIRWAYS DR PARADISE VALLEY 85253	4906 E DESERT FAIRWAYS DR	PARADISE VALLEY	AZ	85253
169-08-025	TWIN PALMS REAL ESTATE LLC	7110 N QUARTZ MOUNTAIN RD PARADISE VALLEY 85253	7110 N QUARTZ MOUNTAIN RD	PARADISE VALLEY	AZ	85253
169-08-044D	OCCUPANT		7117 N TATUM BLVD	PARADISE VALLEY	AZ	85253
169-08-044D	URQUHART LLC	7117 N TATUM BLVD PARADISE VALLEY 85253	3219 E CAMELBACK RD STE 801	PHOENIX	AZ	85018
169-08-044M	VINCENT BOB		1797 E CHESTNUT	LAKE HAVASU CITY	AZ	86404
169-14-008	WEISSKOPF REVOCABLE LIVING TRUST	4709 E CLEARWATER PKWY PARADISE VALLEY 85253	4709 E CLEARWATER PKWY	PARADISE VALLEY	AZ	85253
169-14-011	WELLS RODGER D/VALERYE L TR	4821 E CLEARWATER PKWY PARADISE VALLEY 85253	4821 E CLEARWATER PKWY	PARADISE VALLEY	AZ	85253
169-14-013	OCCUPANT		7224 N 47TH ST	PARADISE VALLEY	AZ	85253
169-14-013	WHEELER STEVEN M & ANN M	7224 N 47TH ST PARADISE VALLEY 85253	3100 VALLEY CENTER	PHOENIX	AZ	85073
169-08-051A	WILLIAMS GREGORY M/JANE H	4820 E HUMMINGBIRD LN PARADISE VALLEY 85253	4820 E HUMMINGBIRD LN	PARADISE VALLEY	AZ	85253
169-11-035	WINOGRAD REVOCABLE TRUST	4815 E CRYSTAL LN PARADISE VALLEY 85253	4815 E CRYSTAL LANE	PARADISE VALLEY	AZ	85253
169-11-049A	WRIGHT FAMILY TRUST	4747 E SPARKLING LN PARADISE VALLEY 85253	4747 E SPARKLING LN	PARADISE VALLEY	AZ	85253
169-08-017	ZELISKO DANIEL J/LESLIE S	4801 E PRICKLY PEAR LN PARADISE VALLEY 85253	4801 E DESERT FAIRWAYS	PARADISE VALLEY	AZ	85253



Map



Dear Property Owner,

April 7, 2020

This letter is to inform you that Crown Castle is requesting an intermediate amendment to the Special Use Permit for a modification to the ground equipment at its existing telecommunications utility site located in the public right of way. This modification will allow for new radio equipment to be installed that will increase signal penetration and improve network capacity. No changes are proposed to the equipment located on the streetlight pole.

In accordance with the Special Use Permit process, the Town of Paradise Valley requires a neighborhood meeting to give residents within 1,500 feet of the utility site an opportunity to review our proposal and ask any questions. **Due to the Covid-19 pandemic and the prohibition on public meetings, this meeting will be conducted via WebEx on April 20th at 4pm.**

If you are unable to attend the neighborhood meeting or have any questions regarding the project, please contact Crown Castle representative Tanya Friese at 602.677.0957 or email tanya.friese@crowncastle.com. You may also contact George Burton, Senior Planner at the Town of Paradise Valley at 480.348.3525 or by email gburton@paradisevalleyaz.gov with any questions regarding the application and the Special Use Permit amendment process.

H228: Southeast corner of N Invergordon & E McDonald Dr



To join the meeting at 4pm on 4/20/2020

Option 1) enter this address into your web browser:

<https://crowncastle.webex.com/crowncastle/j.php?MTID=m2a0066b1c23f39e05ebe45d2f9c2f79e>

Option 2) Download WebEx app and enter meeting number (access code) 749 723 787

Option 3) Join by phone 415.655.0003 and enter meeting number (access code) 749 723 787

**ZONING
HEARING**
TOWN OF PARADISE VALLEY
Planning and Zoning Commission
8401 E. Lincoln Dr., Paradise Valley, Arizona
6:00 P.M. O'CLOCK 5TH DAY OF MAY 2020

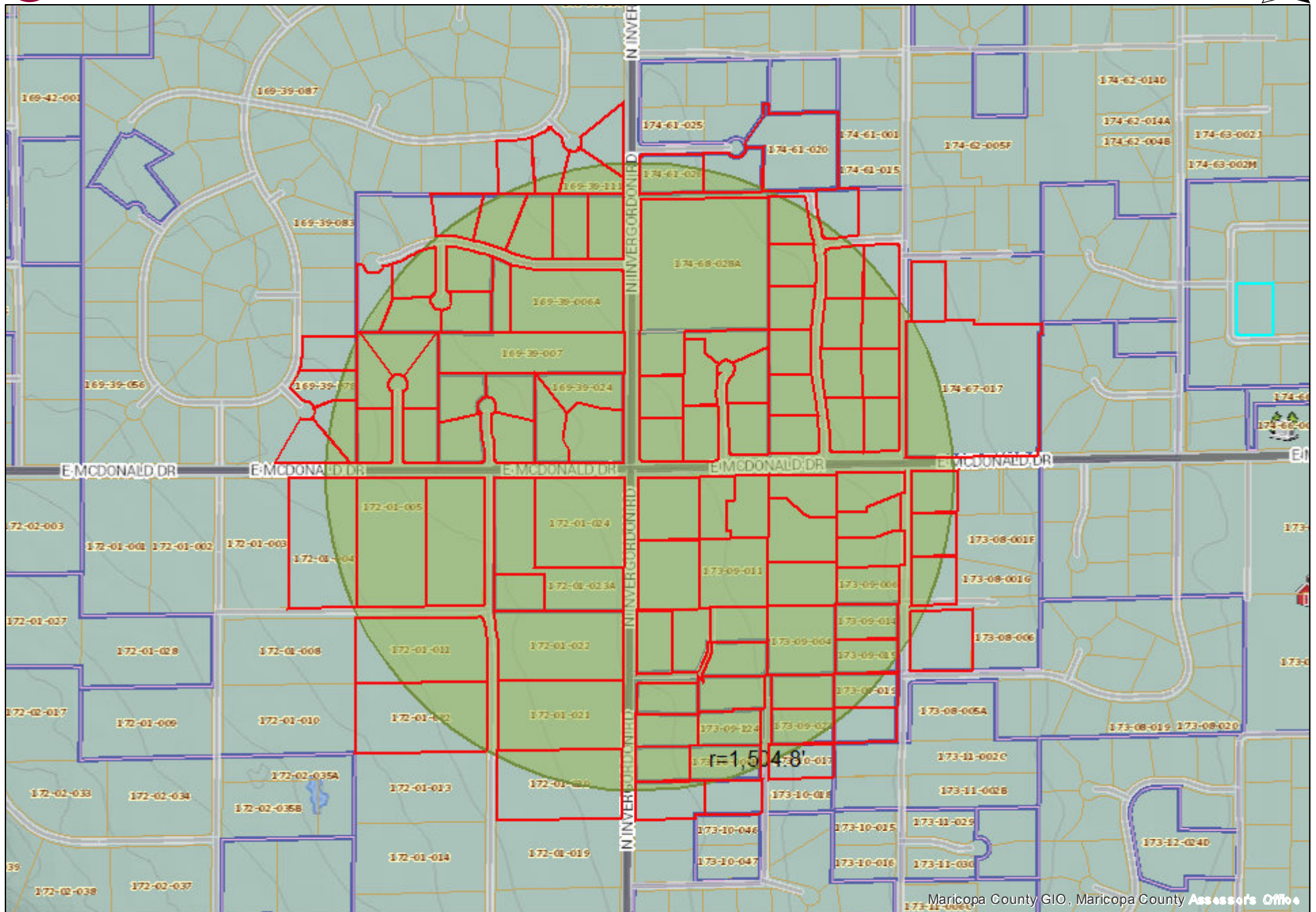
529339

Parcel Number	Owner	Property Address	MAIL_ADDR1	MAIL_CITY	MAIL_STA1	MAIL_ZIP
173-09-004	OCCUPANT		5738 N CASA BLANCA DR	PARADISE VALLEY	AZ	85253
173-09-004	5738 CASA BLANCA LLC	5738 N CASA BLANCA DR PARADISE VALLEY 85253	5936 E SOLCITO LN	PARADISE VALLEY	AZ	85253
174-68-001	OCCUPANT		6005 N INVERGORDON RD	PARADISE VALLEY	AZ	85253
174-68-001	6005 NORTH LLC	6005 N INVERGORDON RD PARADISE VALLEY 85253	10645 N TATUM BLVD STE C200 PMB 371	PHOENIX	AZ	85028
169-39-019	OCCUPANT		6211 E KEIM DR	PARADISE VALLEY	AZ	85253
169-39-019	6211 E KEIM LLC	6211 E KEIM DR PARADISE VALLEY 85253	1445 N STATE PKWY NO 307	CHICAGO	IL	60610
174-68-019	OCCUPANT		6503 E VALLEY VISTA LN	PARADISE VALLEY	AZ	85253
174-68-019	6503 VALLEY VISTA LLC	6503 E VALLEY VISTA LN PARADISE VALLEY 85253	2536 S UNIVERSITY DRIVE S UNIT F	FARGO	ND	58103-5709
173-09-124	OCCUPANT		5704 N WILKINSON RD	PARADISE VALLEY	AZ	85253
173-09-124	9351 PAYSON LLC	5704 N WILKINSON RD PARADISE VALLEY 85253	8419 E CORTEZ ST	SCOTTSDALE	AZ	85260
174-68-004	OCCUPANT		6006 N 64TH PL	PARADISE VALLEY	AZ	85253
174-68-004	AHMED WAHAJ/ADIL FARYAL	6006 N 64TH PL PARADISE VALLEY 85253	6006 N 64TH PL	SCOTTSDALE	AZ	85253
PHOENIX	Alan Stephenson, Planning & Development Director, City of Phoenix		200 W. Washington St.	Phoenix	AZ	85003
174-68-024	ALDUINO FAMILY TRUST/PIETRO V ALDUINO TRUST	6028 N CASA BLANCA DR PARADISE VALLEY 85253	6028 N CASA BLANCA DR	PARADISE VALLEY	AZ	85253
169-39-029	ALEXANDER NEIL M/MARTINA M	6020 N 62ND PL PARADISE VALLEY 85253	6020 N 62ND PL	PARADISE VALLEY	AZ	85253
169-39-025	OCCUPANT		6328 E MCDONALD DR	PARADISE VALLEY	AZ	85253
169-39-025	ALLIED INVESTMENTS LLC	6328 E MCDONALD DR PARADISE VALLEY 85253	PO BOX 4698	SCOTTSDALE	AZ	85261
174-68-023	ANTHONY A AND SANDRA E SMITH FAMILY TRUST	6000 N CASA BLANCA DR PARADISE VALLEY 85253	6000 N CASA BLANCA DR	PARADISE VALLEY	AZ	85253
169-39-016	OCCUPANT		6238 E KEIM DR	PARADISE VALLEY	AZ	85253
169-39-016	BENNAN MICHAEL EDWARD/KELLY ANN	6238 E KEIM DR PARADISE VALLEY 85253	2130 E SAN JUAN AVE	PHOENIX	AZ	85016
169-39-109	BIVENS DONALD W/REFO PATRICIA LEE	6311 E NAUMANN DR PARADISE VALLEY 85253	6311 E NAUMANN DR	PARADISE VALLEY	AZ	85253
169-39-031	BOVE RICHARD J/SHERRY F	6000 N 62ND PL PARADISE VALLEY 85253	6000 N 62ND PL	PARADISE VALLEY	AZ	85253
173-09-001D	BURKE FAMILY REVOCABLE LIVING TRUST	5749 N INVERGORDON RD PARADISE VALLEY 85253	5749 N INVERGORDON RD	PARADISE VALLEY	AZ	85253
174-68-006A	OCCUPANT		6030 N 64TH PL	PARADISE VALLEY	AZ	85253
174-68-006A	CALVARY CHURCH OF THE VALLEY	6030 N 64TH PL PARADISE VALLEY 85253	6107 N INVERGORDON	SCOTTSDALE	AZ	85253
174-68-028A	CALVARY CHURCH OF THE VALLEY	6107 N INVERGORDON RD PARADISE VALLEY 85253	6107 N INVERGORDON RD	SCOTTSDALE	AZ	85253
169-39-129	CARTER FAMILY REVOCABLE TRUST	6011 N SAGUARO RD PARADISE VALLEY 85253	6011 N SAGUARO RD	PARADISE VALLEY	AZ	85253
173-08-004A	OCCUPANT		5739 N CASA BLANCA DR	PARADISE VALLEY	AZ	85253
173-08-004A	CARTER W EMERSON REVOCABLE TRUST	5739 N CASA BLANCA DR PARADISE VALLEY 85253	6257 STARR RD	THREE OAKS	MI	49128
173-09-023	OCCUPANT		5715 N WILKINSON RD	PARADISE VALLEY	AZ	85253
173-09-023	CASA PARADISO LLC	5715 N WILKINSON DR PARADISE VALLEY 85253	1225 NW ELFORD DR	SEATTLE	WA	98177-4130
174-61-026	CHALLAPALLI SRINIVAS V/PATIBANDLA SUSHMITHA	6423 E ARROYO VERDE DR PARADISE VALLEY 85253	6423 E ARROYO VERDE DR	PARADISE VALLEY	AZ	85253
174-68-015	CIOILLI JOSEPH MARK	6050 N KACHINA LN PARADISE VALLEY 85253	6050 N KACHINA LN	PARADISE VALLEY	AZ	85253
169-39-022	CITRINE ESTATES TRUST	6241 E KEIM DR PARADISE VALLEY 85253	6241 E KEIM DR	PARADISE VALLEY	AZ	85253
174-68-016	CORNERSTONE TRUST	6110 N KACHINA LN PARADISE VALLEY 85253	6110 N KACHINA LN	PARADISE VALLEY	AZ	85253
174-68-022	OCCUPANT		6009 N KACHINA LN	PARADISE VALLEY	AZ	85253
174-68-022	DIRTSTORM LLC	6009 N KACHINA LN PARADISE VALLEY 85253	11626 E ASTER DR	SCOTTSDALE	AZ	85259
169-39-013	OCCUPANT		6316 E KEIM DR	PARADISE VALLEY	AZ	85253
169-39-013	DLC KEIM LLC	6316 E KEIM DR PARADISE VALLEY 85253	7425 E TUCKEY LN	SCOTTSDALE	AZ	85250
174-68-021	DOBBS ANNE MARIE T TR	6029 N KACHINA LN PARADISE VALLEY 85253	6029 N KACHINA LN	PARADISE VALLEY	AZ	85253
169-39-014	DOUGLAS AND KELLI YORK FAMILY TRUST	6300 E KEIM DR PARADISE VALLEY 85253	6300 E KEIM DR	PARADISE VALLEY	AZ	85253
172-01-021	OCCUPANT		5709 N SAGUARO RD	PARADISE VALLEY	AZ	85253
172-01-021	E K GAYLORD II TRUST/NATALIE J GAYLORD TRUST	5709 N SAGUARO RD PARADISE VALLEY 85253	PO BOX 31560	EDMOND	OK	73003
169-39-030	EHTESHAMI JOHN R/CHAHBAZI MEENOO	6018 N 62ND PL PARADISE VALLEY 85253	6018 N 62ND PL	PARADISE VALLEY	AZ	85253
174-68-007	OCCUPANT		6021 N 64TH PL	PARADISE VALLEY	AZ	85253
174-68-007	FAWAD ZAFAR AND MARSHAL HUSAIN REV TRUST	6021 N 64TH PL PARADISE VALLEY 85253	13682 LAKE SHORE DR	CLIVE	IA	50325
172-01-004	FEDDERSON YVONNE/OMEARA SARA	6135 E MCDONALD DR PARADISE VALLEY 85253	6135 E MCDONALD DR	SCOTTSDALE	AZ	85253
173-09-015	FEREIDOUNI SAM S/RITA S	5740 N CASA BLANCA DR PARADISE VALLEY 85253	5740 N CASA BLANCA DR	PARADISE VALLEY	AZ	85253
174-67-017	FIRESTONE JULIE NELSON TR	6035 N CASA BLANCA DR PARADISE VALLEY 85253	6035 N CASA BLANCA DR	SCOTTSDALE	AZ	85253
172-01-022	FKC/ADC TRUST	5739 N SAGUARO RD PARADISE VALLEY 85253	5739 N SAGUARO RD	SCOTTSDALE	AZ	85253
169-39-112	FLORENDO FEDERICO T/MARGARET M FAMILY	6341 E NAUMANN DR PARADISE VALLEY 85253	6341 E NAUMANN DR	PARADISE VALLEY	AZ	85253
169-39-012	FULROTH RICHARD/SABRACK NINA	6330 E KEIM DR PARADISE VALLEY 85253	6330 E KEIM DR	SCOTTSDALE	AZ	85253
169-39-076	GALA DONALD/HEATHER	6133 N 61ST PL PARADISE VALLEY 85253	6133 N 61ST PL	PARADISE VALLEY	AZ	85253
173-09-019	GOGOLAK JOHN/ERIN TR	5730 N CASA BLANCA DR PARADISE VALLEY 85253	5730 N CASA BLANCA DR	PARADISE VALLEY	AZ	85253
173-09-002B	HALEPOTA FAMILY TRUST	6441 E MCDONALD DR PARADISE VALLEY 85253	6441 E MCDONALD DR	PARADISE VALLEY	AZ	85253
169-39-132	OCCUPANT		6018 N SAGUARO RD	PARADISE VALLEY	AZ	85253
169-39-132	HOMBACH ROBERT J/AIMEE L	6018 N SAGUARO RD PARADISE VALLEY 85253	401 FARRINGTON DR	LINCOLNSHIRE	IL	60069
174-68-025	HUNT CHRISTOPHER JOHN/ANTONIA MARIA	6100 N CASA BLANCA DR PARADISE VALLEY 85253	6100 N CASA BLANCA	PARADISE VALLEY	AZ	85253
173-10-006G	OCCUPANT		5641 N INVERGORDON RD	PARADISE VALLEY	AZ	85253
173-10-006G	INVERGORDON INVESTMENTS LLC	5641 N INVERGORDON RD PARADISE VALLEY 85253	22805 N 38TH PL	PHOENIX	AZ	85050
172-01-012	IRWIN HALE S/SALLY J TR	5720 N SAGUARO RD PARADISE VALLEY 85253	5720 N SAGUARO RD	PARADISE VALLEY	AZ	85253
169-39-077	JAMES AND CANDYCE HINES FAMILY TRUST	6143 N 61ST PL PARADISE VALLEY 85253	6143 N 61ST PL	PARADISE VALLEY	AZ	85253
172-01-005	JANE ALISON WHITE TRUST	6245 E MCDONALD DR PARADISE VALLEY 85253	6245 E MCDONALD DR	PARADISE VALLEY	AZ	85253
169-39-023	JOFFE JEFFUR SEPARATE PROPERTY TRUST	6029 N 62ND PL PARADISE VALLEY 85253	6029 N 62ND PL	PARADISE VALLEY	AZ	85253
174-68-002	KACZMAREK DEREK WILLIAM/ALEXANDER GISELLE C	6017 N INVERGORDON RD PARADISE VALLEY 85253	6017 N INVERGORDON RD	PARADISE VALLEY	AZ	85253
169-39-111	KAYCO LLC	6331 E NAUMANN DR PARADISE VALLEY 85253	6331 E NAUMANN DR	PARADISE VALLEY	AZ	85253
169-39-027	KELSCH REVOCABLE TRUST	6001 N 62ND PL PARADISE VALLEY 85253	6001 NORTH 62ND PLACE	PARADISE VALLEY	AZ	85253
169-39-110	OCCUPANT		6321 E NAUMANN DR	PARADISE VALLEY	AZ	85253
169-39-110	KNUTSON RONALD M/RUTH A	6321 E NAUMANN DR PARADISE VALLEY 85253	555 HIGHWAY 1804 NE	BISMARCK	ND	58503-6228
173-09-125	KOCH LARRY E/MEGHAN A	5715 N INVERGORDON RD PARADISE VALLEY 85253	5715 N INVERGORDON RD	PARADISE VALLEY	AZ	85253
173-10-017	KORER CARMEN/SANFORD	5639 N WILKINSON RD PARADISE VALLEY 85253	5639 N WILKINSON RD	PARADISE VALLEY	AZ	85253
173-10-005C	KUCHER MARK	5620 N WILKINSON RD PARADISE VALLEY 85253	5620 N WILKINSON RD	PARADISE VALLEY	AZ	85253
169-39-078	OCCUPANT		6153 N 61ST PL	PARADISE VALLEY	AZ	85253
169-39-078	LA DOLCE VITA LLC	6153 N 61ST PL PARADISE VALLEY 85253	PO BOX 464	ROSWELL	NM	88020
173-08-002B	LAISS MICHELLE A	5849 N CASA BLANCA DR PARADISE VALLEY 85253	5849 N CASA BLANCA DR	PARADISE VALLEY	AZ	85253
172-01-011	LARRY P CLEMENSEN TR	5780 N SAGUARO RD PARADISE VALLEY 85253	5780 N SAGUARO RD	PARADISE VALLEY	AZ	85253
173-09-003B	LAU FREDERICK I II/PATRICIA G	5840 N CASA BLANCA DR PARADISE VALLEY 85253	5840 N CASA BLANCA DR	PARADISE VALLEY	AZ	85253
173-09-024A	OCCUPANT			PARADISE VALLEY	AZ	85253
173-09-024A	LEPIRE EUGENE J/JUDITH L TR	6433 E BADGETT LN PARADISE VALLEY 85253	1865 BERKELEY DR	RENO	NV	89509
173-08-002G	LILLE PATRICIA TR	5835 N CASA BLANCA DR PARADISE VALLEY 85253	5835 N CASA BLANCA	PARADISE VALLEY	AZ	85253
169-39-021	LOCK ALEX/SANTANGELO LUANN D	6040 N 62ND PL PARADISE VALLEY 85253	6040 N 62ND PL	PARADISE VALLEY	AZ	85253
173-09-006	LOWE RONALD E/NINFA F	5816 N CASA BLANCA DR PARADISE VALLEY 85253	5816 N CASA BLANCA DR	PARADISE VALLEY	AZ	85253
174-68-008	MATSON JEFFREY A	6005 N 64TH PL PARADISE VALLEY 85253	6005 N 64TH PL	PARADISE VALLEY	AZ	85253
172-01-023A	MAUGHAN REVOCABLE TR		7501 E MCCORMICK PARKWAY	SCOTTSDALE	AZ	85258
172-01-023B	OCCUPANT		5815 N SAGUARO RD	PARADISE VALLEY	AZ	85253
172-01-023B	MAUGHAN REVOCABLE TR	5815 N SAGUARO RD PARADISE VALLEY 85253	7501 E MCCORMICK PARKWAY	SCOTTSDALE	AZ	85258
172-01-024	MAUGHAN REVOCABLE TR	6305 E MCDONALD DR PARADISE VALLEY 85253	7501 E MCCORMICK PARKWAY	SCOTTSDALE	AZ	85258
173-09-003C	MCCLENDON JAMAL JR/BROWN JADA	5824 N CASA BLANCA DR PARADISE VALLEY 85253	5824 N CASA BLANCA DR	PARADISE VALLEY	AZ	85253
173-09-001E	MICHAEL A KELLOGG REVOCABLE LIVING TRUST	6438 E BADGETT LN PARADISE VALLEY 85253	6424 E BADGETT LN	PARADISE VALLEY	AZ	85253
173-09-016	MOFFITT J BARRY/GRAYBILL-MOFFITT ARLENE Y TR	5723 N INVERGORDON RD PARADISE VALLEY 85253	5723 N INVERGORDON RD	PARADISE VALLEY	AZ	85253
169-39-007	MONTESSORI ACADEMY INC	6050 N INVERGORDON RD PARADISE VALLEY 85253	6050 N INVERGORDON RD	PARADISE VALLEY	AZ	85253
172-01-020	NEEDLES PROPERTIES LLC	5665 N SAGUARO RD PARADISE VALLEY 85253	5665 N SAGUARO RD	PARADISE VALLEY	AZ	85253
173-09-001B	NICHOLS FAMILY LIVING TRUST	6435 E BADGETT LN PARADISE VALLEY 85253	6435 E BADGETT LN	PARADISE VALLEY	AZ	85253
174-68-005A	NILSEN SCOTT ARTHUR	6022 N 64TH PL PARADISE VALLEY 85253	6022 N 64TH PL	PARADISE VALLEY	AZ	85253
174-68-026	OCCUPANT		6122 N CASA BLANCA DR	PARADISE VALLEY	AZ	85253
174-68-026	OASIS ANESTHESIA CONSULTANTS PLLC PROFIT SHAR	6122 N CASA BLANCA DR PARADISE VALLEY 85253	4710 N 44TH ST	PHOENIX	AZ	85018
173-09-007D	OCCUPANT		5728 N WILKINSON RD	PARADISE VALLEY	AZ	85253
173-09-007D	OASIS DEVELOPMENT & MANAGEMENT LLC	5728 N WILKINSON RD PARADISE VALLEY 85253	7558 BACK STRETCH DR	WELLINGTON	CO	80549
169-39-026	PAPPAS JOHN	6330 E MCDONALD DR PARADISE VALLEY 85253	6330 E MCDONALD DR	PARADISE VALLEY	AZ	85253
173-09-014	PAYSON AND SCOTTSDALE LLC	5800 N CASA BLANCA DR PARADISE VALLEY 85253	5800 N CASA BLANCA DR	PARADISE VALLEY	AZ	85253
174-68-018	PEGGY J MOSHIER TRUST	6500 E VALLEY VISTA LN PARADISE VALLEY 85253	6500 E VALLEY VISTA LN	PARADISE VALLEY	AZ	85253
169-39-024	PEGRAM MICHAEL E	6010 N INVERGORDON RD PARADISE VALLEY 85253	6010 N INVERGORDON	SCOTTSDALE	AZ	85253
174-68-013	PENNEY JEFFREY A/BETH ANN TR	6016 N KACHINA LN PARADISE VALLEY 85253	6016 N KACHINA LN	PARADISE VALLEY	AZ	85253
174-68-020	OCCUPANT		6045 N KACHINA LN	PARADISE VALLEY	AZ	85253
174-68-020	PORTER DAVID	6045 N KACHINA LN PARADISE VALLEY 85253	115 LAKE AVE W APT 101	KIRKLAND	WA	98033-6184
173-09-002A	QURESHI NASREEN	6445 E MCDONALD DR PARADISE VALLEY 85253	6445 W MCDONALD DR	PARADISE VALLEY	AZ	85253
172-01-006	OCCUPANT		6248 E PALO VERDE LN	PARADISE VALLEY	AZ	85253
172-01-006	R LYON REALTY INVESTMENTS LLC	6248 E PALO VERDE LN PARADISE VALLEY 85253	5050 N 40TH ST SUITE 200	PHOENIX	AZ	85018
169-39-028	RICCI KENNETH C	6019 N 62ND PL PARADISE VALLEY 85253	6019 N 62ND PL	PARADISE VALLEY	AZ	85253
169-39-015	RICHARD J HARDEGGER LIVING TRUST	6250 E KEIM DR PARADISE VALLEY 85253	6250 E KEIM DR	PARADISE VALLEY	AZ	85253
173-09-010H	OCCUPANT		6507 E MCDONALD DR	PARADISE VALLEY	AZ	85253
173-09-010H	ROBERT E PATTERSON REVOCABLE TRUST	6507 E MCDONALD DR PARADISE VALLEY 85253	PO BOX 52610	TULSA	OK	74152-0610

173-09-011	ROBERT E PATTERSON REVOCABLE TRUST	6447 E MCDONALD DR PARADISE VALLEY 85253	PO BOX 52610	TULSA	OK	74152-0610
173-08-002E	OCCUPANT		5761 N CASA BLANCA DR	PARADISE VALLEY	AZ	85253
173-08-002E	ROMANO MICHAEL B/ANN B	5761 N CASA BLANCA DR PARADISE VALLEY 85253	62 FLINT RD	CONCORD	MA	1742
169-39-079	OCCUPANT		6163 N 61ST PL	PARADISE VALLEY	AZ	85253
169-39-079	SACHDEV JASGIT C/MANKANWAL S/HARKANWAL S	6163 N 61ST PL PARADISE VALLEY 85253	9529 N 52ND PL	PARADISE VALLEY	AZ	85253
174-68-012	SCHRAMM STEVEN P/ SARA A	6006 N KACHINA LN PARADISE VALLEY 85253	6006 N KACHINA LN	PARADISE VALLEY	AZ	85253
173-09-008	OCCUPANT		5823 N INVERGORDON RD	PARADISE VALLEY	AZ	85253
173-09-008	SHAPIRO JACOB B/LOLA P TR	5823 N INVERGORDON RD PARADISE VALLEY 85253	4110 N SCOTTSDALE RD	SCOTTSDALE	AZ	85251
173-09-012	OCCUPANT		5823 N INVERGORDON RD	PARADISE VALLEY	AZ	85253
173-09-012	SHAPIRO JACOB BEHR/LOLA P TR	5909 N INVERGORDON RD PARADISE VALLEY 85253	4110 N SCOTTSDALE RD	SCOTTSDALE	AZ	85251
174-67-018B	SIRJ HOLDINGS LLC	6601 E VALLEY VISTA LN PARADISE VALLEY 85253	6601 E VALLEY VISTA LN	PARADISE VALLEY	AZ	85253
174-61-020	OCCUPANT		6136 N KACHINA LN	PARADISE VALLEY	AZ	85253
174-61-020	SMITH LARRY/MARIA	6136 N KACHINA LN PARADISE VALLEY 85253	9011 NE 38TH PL	YARROW POINT	WA	98004
169-39-130	THOMAS R COCHILL II AND BONNIE L COCHILL FAMILY TRUST	6003 N SAGUARO RD PARADISE VALLEY 85253	6003 N SAGUARO RD	PARADISE VALLEY	AZ	85253
173-09-020	OCCUPANT		5716 N CASA BLANCA DR	PARADISE VALLEY	AZ	85253
173-09-020	THOMPSON DOUGLAS/AMANDA MARIE	5716 N CASA BLANCA DR PARADISE VALLEY 85253	3208 GLENVIEW PARK WAY	LOUISVILLE	KY	40222
SCOTTSDALE	Tim Curtis, Planning Director, City of Scottsdale		7447 E. Indian Schol Rd	Scottsdale	AZ	85251
173-09-010P	OCCUPANT		6511 E MCDONALD DR	PARADISE VALLEY	AZ	85253
173-09-010P	UDINOTTI AGNESE TR	6511 E MCDONALD DR PARADISE VALLEY 85253	4215 N MARSHALL WAY	SCOTTSDALE	AZ	85251
173-09-010Q	OCCUPANT		6505 E MCDONALD DR	PARADISE VALLEY	AZ	85253
173-09-010Q	UDINOTTI AGNESE TR	6505 E MCDONALD DR PARADISE VALLEY 85253	4215 N MARSHALL WAY	SCOTTSDALE	AZ	85251
174-68-014	VOTICHENCKO HELEN TR	6034 N KACHINA LN PARADISE VALLEY 85253	6034 N KACHINA LN	SCOTTSDALE	AZ	85251
173-09-003A	WAINWRIGHT JONATHAN M/MELINDA N	5828 N CASA BLANCA DR PARADISE VALLEY 85253	5828 N CASA BLANCA DR	PARADISE VALLEY	AZ	85253
173-10-005B	WARD DOUGLAS R & VIRGINIA M	5627 N INVERGORDON RD PARADISE VALLEY 85253	5627 N INVERGORDEN	PARADISE VALLEY	AZ	85253
169-39-131	WEISS KEVIN M/ELIZABETH S	6008 N SAGUARO RD PARADISE VALLEY 85253	6008 N SAGUARO RD	PARADISE VALLEY	AZ	85253
173-09-022	WHITE RICHARD S/CONSTANCE K	5723 N WILKINSON RD PARADISE VALLEY 85253	5723 N WILKINSON RD	PARADISE VALLEY	AZ	85253
169-39-020	WHYTE SCOTT A/EUISE D	6028 N 62ND PL PARADISE VALLEY 85253	6028 N 62ND PL	PARADISE VALLEY	AZ	85253
173-10-006H	WILKINSON PV LLC	5650 N WILKINSON RD PARADISE VALLEY 85253	5650 N WILKINSON RD	PARADISE VALLEY	AZ	85253
174-61-027	WILLIAM C OSBORN 2018 IRREVOCABLE TRUST	6463 E ARROYO VERDE DR PARADISE VALLEY 85253	6463 E ARROYO VERDE DR	PARADISE VALLEY	AZ	85253
169-39-006A	YANDELL LUNSFORD P VI	6114 N INVERGORDON RD PARADISE VALLEY 85253	6114 N INVERGORDON RD	SCOTTSDALE	AZ	85253
169-39-006C	YANDELL LUNSFORD P VI	6114 N INVERGORDON RD PARADISE VALLEY 85253	6114 N INVERGORDON RD	SCOTTSDALE	AZ	85253
174-68-017	ZUBAL FAMILY TRUST	6126 N KACHINA LN PARADISE VALLEY 85253	6126 N KACHINA LN	PARADISE VALLEY	AZ	85253



Map



Dear Property Owner,

April 7, 2020

This letter is to inform you that Crown Castle is requesting an intermediate amendment to the Special Use Permit for a modification to the ground equipment at its existing telecommunications utility site located in the public right of way. This modification will allow for new radio equipment to be installed that will increase signal penetration and improve network capacity. No changes are proposed to the equipment located on the streetlight pole.

In accordance with the Special Use Permit process, the Town of Paradise Valley requires a neighborhood meeting to give residents within 1,500 feet of the utility site an opportunity to review our proposal and ask any questions. **Due to the Covid-19 pandemic and the prohibition on public meetings, this meeting will be conducted via WebEx on April 20th at 5pm.**

If you are unable to attend the neighborhood meeting or have any questions regarding the project, please contact Crown Castle representative Tanya Friese at 602.677.0957 or email tanya.friese@crowncastle.com. You may also contact George Burton, Senior Planner at the Town of Paradise Valley at 480.348.3525 or by email gburton@paradisevalleyaz.gov with any questions regarding the application and the Special Use Permit amendment process.

H232: Southeast corner of N Invergordon & E Jackrabbit Rd**To join the meeting at 5pm on 4/20/2020**

Option 1) enter this address into your web browser:

<https://crowncastle.webex.com/crowncastle/j.php?MTID=m40816d5c81f64c857f2f3d905dbc789c>

Option 2) Download WebEx app and enter meeting number (access code) 746 807 571

Option 3) Join by phone 415.655.0003 and enter meeting number (access code) 746 807 571



ZONING HEARING

TOWN OF PARADISE VALLEY
Planning and Zoning Commission

6401 E. Lincoln Dr., Paradise Valley, Arizona

6:00 P.M. on clock 5th DAY OF May, 19th 2020

AGENDA

1. APPROVAL OF MINUTES

2. PUBLIC COMMENT

3. PARADISE VALLEY PLANNING AND ZONING COMMISSION

4. PARADISE VALLEY PLANNING AND ZONING COMMISSION

5. PARADISE VALLEY PLANNING AND ZONING COMMISSION

6. PARADISE VALLEY PLANNING AND ZONING COMMISSION

7. PARADISE VALLEY PLANNING AND ZONING COMMISSION

8. PARADISE VALLEY PLANNING AND ZONING COMMISSION

9. PARADISE VALLEY PLANNING AND ZONING COMMISSION

10. PARADISE VALLEY PLANNING AND ZONING COMMISSION

11. PARADISE VALLEY PLANNING AND ZONING COMMISSION

12. PARADISE VALLEY PLANNING AND ZONING COMMISSION

13. PARADISE VALLEY PLANNING AND ZONING COMMISSION

14. PARADISE VALLEY PLANNING AND ZONING COMMISSION

15. PARADISE VALLEY PLANNING AND ZONING COMMISSION

16. PARADISE VALLEY PLANNING AND ZONING COMMISSION

17. PARADISE VALLEY PLANNING AND ZONING COMMISSION

18. PARADISE VALLEY PLANNING AND ZONING COMMISSION

19. PARADISE VALLEY PLANNING AND ZONING COMMISSION

20. PARADISE VALLEY PLANNING AND ZONING COMMISSION

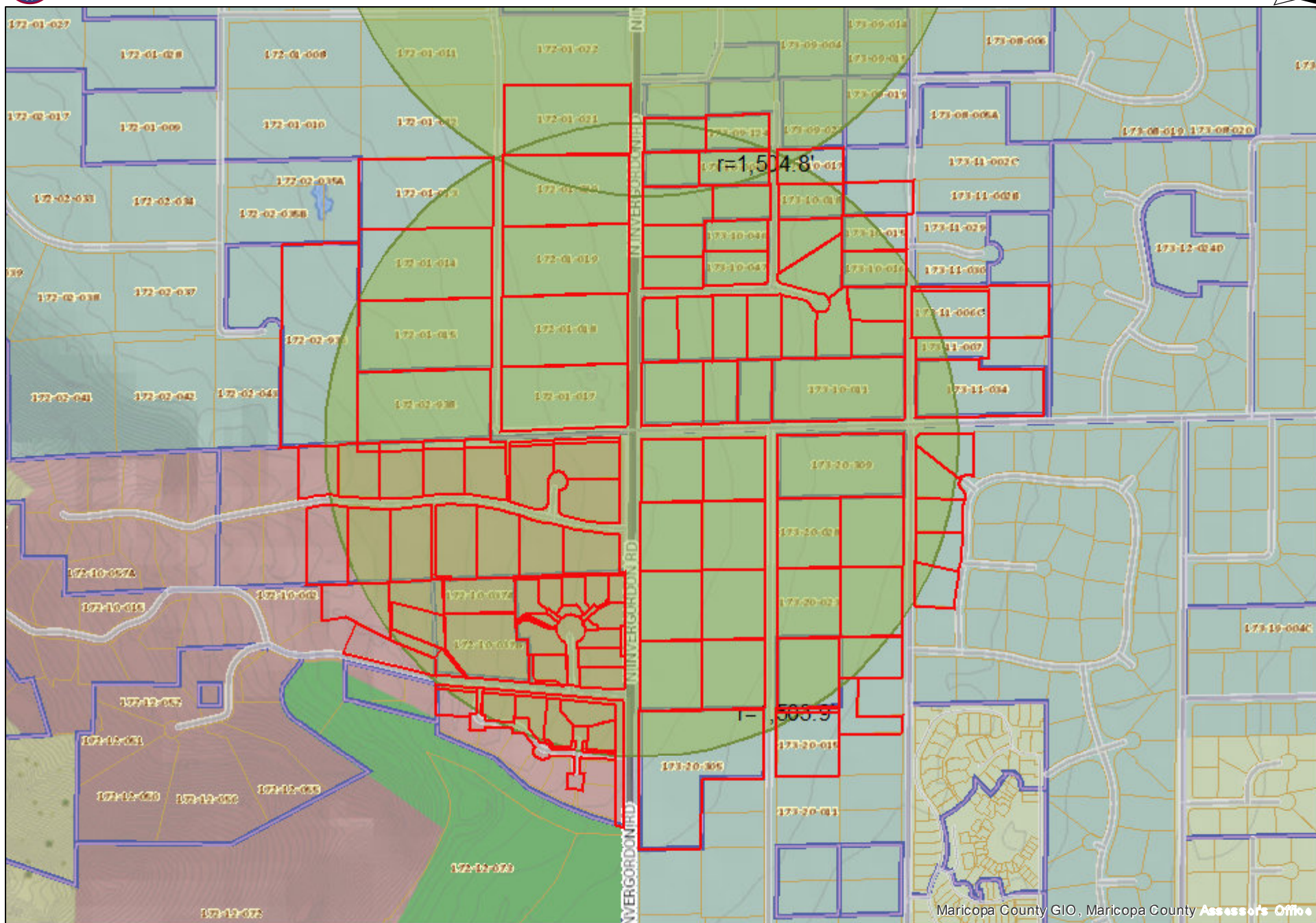
21. PARADISE VALLEY PLANNING AND ZONING COMMISSION

22. PARADISE VALLEY PLANNING AND ZONING COMMISSION

23. PARADISE VALLEY PLANNING AND ZONING COMMISSION

Parcel Number	Owner	Property Address	MAIL_ADDR1	MAIL_CITY	MAIL_STAT	MAIL_ZIP
172-01-013	MCKEEVER JEFFREY D/TAHNIA R	5660 N SAGUARO RD PARADISE VALLEY 85253	5660 N SAGUARO RD	PARADISE VALLEY	AZ	85253-5235
172-01-014	OCCUPANT		5600 N SAGUARO RD	PARADISE VALLEY	AZ	85253
172-01-014	5600 SAGUARO LLC	5600 N SAGUARO RD PARADISE VALLEY 85253	7154 E STETSON DR SUITE 300	SCOTTSDALE	AZ	85251
172-01-015	OCCUPANT		5540 N SAGUARO RD	PARADISE VALLEY	AZ	85253
172-01-015	SAMADHI PLACE LLC	5540 N SAGUARO RD PARADISE VALLEY 85253	P O BOX 1860	BENTONVILLE	AR	72712
172-01-017	OCCUPANT		5515 N SAGUARO RD	PARADISE VALLEY	AZ	85253
172-01-017	MORTON N FLEISCHER REVOCABLE TRUST/DONNA H FLEISCHER TRUST	5515 N SAGUARO RD PARADISE VALLEY 85253	15860 E RIO VERDE DR	SCOTTSDALE	AZ	85262
172-01-018	OCCUPANT		5539 N SAGUARO RD	PARADISE VALLEY	AZ	85253
172-01-018	CIV SAGUARO LLC	5539 N SAGUARO RD PARADISE VALLEY 85253	625 W DEER VALLEY RD	PHOENIX	AZ	85027
172-01-019	OCCUPANT		5615 N SAGUARO RD	PARADISE VALLEY	AZ	85253
172-01-019	KWS ARIZONA PV SAGUARO LLC	5615 N SAGUARO RD PARADISE VALLEY 85253	2200 E CAMELBACK RD STE 101	PHOENIX	AZ	85016
172-01-020	NEEDLES PROPERTIES LLC	5665 N SAGUARO RD PARADISE VALLEY 85253	5665 N SAGUARO RD	PARADISE VALLEY	AZ	85253
172-01-021	OCCUPANT		5709 N SAGUARO RD	PARADISE VALLEY	AZ	85253
172-01-021	E K GAYLORD II TRUST/NATALIE J GAYLORD TRUST	5709 N SAGUARO RD PARADISE VALLEY 85253	PO BOX 31560	EDMOND	OK	73003
172-02-936	OCCUPANT		5500 N YUCCA RD	PARADISE VALLEY	AZ	85253
172-02-936	ALENE HOLDINGS LLC	5500 N YUCCA RD PARADISE VALLEY 85253	PO BOX 1860	BENTONVILLE	AR	72712
172-02-938	ALENE HOLDINGS LLC	5502 N SAGUARO RD PARADISE VALLEY 85253	PO BOX 1860	BENTONVILLE	AR	72712
172-10-001B	THOMPSON DEREK		261 DOUGLAS LN	WAPATO	WA	98951
172-10-001C	PAUL AND CHARMAINE BERGGREEN FAMILY REV TRUST	6238 E CHOLLA LN PARADISE VALLEY 85253	6238 E CHOLLA LN	PARADISE VALLEY	AZ	85253
172-10-005D	KITCHEN MICHAEL L/LINDA G TR	6234 E CHOLLA LN PARADISE VALLEY 85253	6234 E CHOLLA LN	PARADISE VALLEY	AZ	85253
172-10-006B	THOMPSON DEREK		261 DOUGLAS LN	WAPATO	WA	98951
172-10-006C	ERIC REUSS REVOCABLE TRUST	6236 E CHOLLA LN PARADISE VALLEY 85253	6236 E CHOLLA LN	PARADISE VALLEY	AZ	85253
172-10-010A	OCCUPANT		6208 E CHOLLA LN	PARADISE VALLEY	AZ	85253
172-10-010A	DOUGLASS RONALD B/FAYE W TR	6208 E CHOLLA LN PARADISE VALLEY 85253	15824 NE 135TH ST	REDMOND	WA	98052
172-10-017	OCCUPANT		6339 E SAGE DR	PARADISE VALLEY	AZ	85253
172-10-017	HINKLE PATRICIA L TR	6339 E SAGE DR PARADISE VALLEY 85253	PO BOX 83	SCOTTSDALE	AZ	85252
172-10-018	BUNDY D JAMES/NANCY A TR	6323 E SAGE DR PARADISE VALLEY 85253	6323 E SAGE DR	SCOTTSDALE	AZ	85253
172-10-019	WILLIAM P WHITE AND SUSAN C SILKEY TRUST	6307 E SAGE DR PARADISE VALLEY 85253	6307 E SAGE DR	PARADISE VALLEY	AZ	85253
172-10-020	RENDALL ERROL/BEATRIX M	6237 E SAGE DR PARADISE VALLEY 85253	6237 E SAGE DR	PARADISE VALLEY	AZ	85253
172-10-021	GOODMAN GARY J/ANN D TR	6221 E SAGE DR PARADISE VALLEY 85253	6221 E SAGE DRIVE	SCOTTSDALE	AZ	85253
172-10-022	MCAUSLAN ROBERT/CASEY MARGARET	6205 E SAGE DR PARADISE VALLEY 85253	6205 E SAGE DR	SCOTTSDALE	AZ	85253
172-10-023	OCCUPANT		6133 E SAGE DR	PARADISE VALLEY	AZ	85253
172-10-023	RDS FAMILY TRUST	6133 E SAGE DR PARADISE VALLEY 85253	11110 N TATUM BLVD NO 101	PHOENIX	AZ	85028
172-10-028	COOPER JOHN R/MARIETTE B TR	6132 E SAGE DR PARADISE VALLEY 85253	6132 E SAGE DR	SCOTTSDALE	AZ	85253
172-10-029D	RILE PATRICK C/KATHLEEN M		6202 E SAGE DR	SCOTTSDALE	AZ	85253
172-10-029E	RILE PATRICK C/KATHLEEN M	6202 E SAGE DR PARADISE VALLEY 85253	6202 E SAGE DR	SCOTTSDALE	AZ	85253
172-10-030A	ALENE HOLDINGS LLC		PO BOX 1860	BENTONVILLE	AR	72712
172-10-030B	ALENE HOLDINGS LLC	6218 E SAGE DR PARADISE VALLEY 85253	PO BOX 1860	BENTONVILLE	AR	72712
172-10-031A	LEE DON H/KATHRYN C TR		6234 E SAGE DR	PARADISE VALLEY	AZ	85253
172-10-031B	LEE DON H/KATHRYN C TR	6234 E SAGE DR PARADISE VALLEY 85253	6234 E SAGE DR	PARADISE VALLEY	AZ	85253
172-10-032A	DON H LEE AND KATHRYN C LEE FAMILY TRUST		6234 E SAGE DR	PARADISE VALLEY	AZ	85253
172-10-032B	DON H LEE AND KATHRYN C LEE FAMILY TRUST	6302 E SAGE DR PARADISE VALLEY 85253	6234 E SAGE DR	PARADISE VALLEY	AZ	85253
172-10-033A	CAMPO ROBERT J & JEANNE C		6318 E SAGE DR	SCOTTSDALE	AZ	85253
172-10-033B	CAMPO ROBERT J & JEANNE C	6318 E SAGE DR PARADISE VALLEY 85253	6318 E SAGE DR	SCOTTSDALE	AZ	85253
172-10-034A	RAY DANIEL R/LISBETH W TR		6330 E SAGE DR	PARADISE VALLEY	AZ	85253
172-10-034B	RAY DANIEL R/LISBETH W TR	6330 E SAGE DR PARADISE VALLEY 85253	6330 E SAGE DR	PARADISE VALLEY	AZ	85253
172-10-035	BUTERBAUGH FAMILY TRUST	6340 E SAGE DR PARADISE VALLEY 85253	6340 E SAGE DR	PARADISE VALLEY	AZ	85253
172-10-037A	DIETRICH FAMILY TRUST	6244 E CHOLLA LN PARADISE VALLEY 85253	6244 E CHOLLA LN	PARADISE VALLEY	AZ	85253
172-10-037B	THOMPSON DEREK	6240 E CHOLLA LN PARADISE VALLEY 85253	261 DOUGLAS LN	WAPATO	WA	98951
172-10-063	SYMMERS BENJAMIN KEITH JR/SIMPSON JACQUELINE	6221 E VISTA DR PARADISE VALLEY 85253	6221 E VISTA DR	PARADISE VALLEY	AZ	85253
172-10-071	CUMMINS ASHLEY M/JASON G	6352 E VISTA DR PARADISE VALLEY 85253	6352 E VISTA DR	PARADISE VALLEY	AZ	85253-6950
172-10-072	FIMAJO LLC	6332 E VISTA DR PARADISE VALLEY 85253	6332 E VISTA DR	PARADISE VALLEY	AZ	85253
172-10-073	SHIELDS CHARLES W	6322 E VISTA DR PARADISE VALLEY 85253	6322 E VISTA DR	PARADISE VALLEY	AZ	85253
172-10-074	FOX REVOCABLE LIVING TRUST	6302 E VISTA DR PARADISE VALLEY 85253	6302 E VISTA DR	PARADISE VALLEY	AZ	85253
172-10-075	LOS PALACIOS HOMEOWNERS ASSN		7255 E HAMPTON AVE SUITE 101	MESA	AZ	85209
172-10-076	LOS PALACIOS HOMEOWNERS ASSN		7255 E HAMPTON AVE SUITE 101	MESA	AZ	85209
172-10-077	LOS PALACIOS HOMEOWNERS ASSN		7255 E HAMPTON AVE SUITE 101	MESA	AZ	85209
172-10-083	LOS PALACIOS HOMEOWNERS ASSN		7255 E HAMPTON AVE SUITE 101	MESA	AZ	85209
172-10-085	LOS PALACIOS HOMEOWNERS ASSN		7255 E HAMPTON AVE SUITE 101	MESA	AZ	85209
172-10-087	LOS PALACIOS HOMEOWNERS ASSN		7255 E HAMPTON AVE SUITE 101	MESA	AZ	85209
172-10-121	OLSON KEVIN D/ALEXANDER BONNIE	5201 N 63RD PL PARADISE VALLEY 85253	5201 N 63RD PL	SCOTTSDALE	AZ	85253
172-10-122	OCCUPANT		5209 N 63RD PL	PARADISE VALLEY	AZ	85253
172-10-122	DONALD AND HELEN DEVOTO REVOCABLE TRUST	5209 N 63RD PL PARADISE VALLEY 85253	2217 OTTERBURN LN	GERMANTOWN	TN	38139
172-10-123	HAWKINS REBECCA L	5217 N 63RD PL PARADISE VALLEY 85253	5217 N 63RD PL	PARADISE VALLEY	AZ	85253
172-10-124	OCCUPANT		5225 N 63RD PL	PARADISE VALLEY	AZ	85253
172-10-124	FANNTASTIC TRUST	5225 N 63RD PL PARADISE VALLEY 85253	5511 N 71ST PL	PARADISE VALLEY	AZ	85253
172-10-125	MISCIOSCIA ANDREW & KIM	5229 N 63RD PL PARADISE VALLEY 85253	5229 N 63RD PL	PHOENIX	AZ	85018
172-10-126	OCCUPANT		5233 N 63RD PL	PARADISE VALLEY	AZ	85253
172-10-126	BUELL BRAD R	5233 N 63RD PL PARADISE VALLEY 85253	3200 11TH ST S 216	FARGO	ND	58104
172-10-127	OCCUPANT		5230 N 63RD PL	PARADISE VALLEY	AZ	85253
172-10-127	INVERGORDON PROPERTIES INC	5230 N 63RD PL PARADISE VALLEY 85253	1001 W BROADWAY BOX 101	VANCOUVER	BC	V6H4E4
172-10-128	CERVELLI GENE FRANCIS JR/JOAN ALICE TR	5226 N 63RD PL PARADISE VALLEY 85253	5226 N 63RD PL	PARADISE VALLEY	AZ	85253
172-10-129	SCHNIER LIVING TRUST	5216 N 63RD PL PARADISE VALLEY 85253	5216 N 63RD PL	PARADISE VALLEY	AZ	85253
172-10-130	OCCUPANT		5202 N 63RD PL	PARADISE VALLEY	AZ	85253
172-10-130	CAMELBACK PROPERTIES LLC	5202 N 63RD PL PARADISE VALLEY 85253	PO BOX 12679	JACKSON	WY	83002
172-10-131	ESTATES AT INVERGORDON HOMEOWNERS ASSOC		16441 N 91ST ST STE 104	SCOTTSDALE	AZ	85260
172-10-132	ESTATES AT INVERGORDON HOMEOWNERS ASSOC		16441 N 91ST ST STE 104	SCOTTSDALE	AZ	85260
172-10-133	ESTATES AT INVERGORDON HOMEOWNERS ASSOC		16441 N 91ST ST STE 104	SCOTTSDALE	AZ	85260
172-10-134	ESTATES AT INVERGORDON HOMEOWNERS ASSOC		16441 N 91ST ST STE 104	SCOTTSDALE	AZ	85260
172-10-135	ESTATES AT INVERGORDON HOMEOWNERS ASSOC		16441 N 91ST ST STE 104	SCOTTSDALE	AZ	85260
172-10-136	ESTATES AT INVERGORDON HOMEOWNERS ASSOC	5220 N 63RD PL PARADISE VALLEY 85253	16441 N 91ST ST STE 104	SCOTTSDALE	AZ	85260
172-10-137	ESTATES AT INVERGORDON HOMEOWNERS ASSOC		16441 N 91ST ST STE 104	SCOTTSDALE	AZ	85260
172-10-138	ESTATES AT INVERGORDON HOMEOWNERS ASSOC	5234 N 63RD PL PARADISE VALLEY 85253	16441 N 91ST ST STE 104	SCOTTSDALE	AZ	85260
172-10-139	ESTATES AT INVERGORDON HOMEOWNERS ASSOC		16441 N 91ST ST STE 104	SCOTTSDALE	AZ	85260
172-10-140	ESTATES AT INVERGORDON HOMEOWNERS ASSOC	5221 N 63RD PL PARADISE VALLEY 85253	16441 N 91ST ST STE 104	SCOTTSDALE	AZ	85260
172-10-141	ESTATES AT INVERGORDON HOMEOWNERS ASSOC	5227 N 63RD PL PARADISE VALLEY 85253	16441 N 91ST ST STE 104	SCOTTSDALE	AZ	85260
172-10-142	ESTATES AT INVERGORDON HOMEOWNERS ASSOC	5220 N 63RD PL PARADISE VALLEY 85253	16441 N 91ST ST STE 104	SCOTTSDALE	AZ	85260
173-09-124	OCCUPANT		5704 N WILKINSON RD	PARADISE VALLEY	AZ	85253
173-09-124	9351 PAYSON LLC	5704 N WILKINSON RD PARADISE VALLEY 85253	8419 E CORTEZ ST	SCOTTSDALE	AZ	85260
173-09-125	KOCH LARRY E/MEGHAN A	5715 N INVERGORDON RD PARADISE VALLEY 85253	5175 N INVERGORDON RD	PARADISE VALLEY	AZ	85253
173-10-004A	OCCUPANT		5615 N INVERGORDON RD	PARADISE VALLEY	AZ	85253
173-10-004A	LEN OLEKSIJ	5615 N INVERGORDON RD PARADISE VALLEY 85253	880 3RD AVE FL 12	NEW YORK	NY	10022
173-10-004B	TORREST ROBERT S/MAYBELLE H TR	5601 N INVERGORDON RD PARADISE VALLEY 85253	5601 N INVERGORDON RD	PARADISE VALLEY	AZ	85253
173-10-005B	WARD DOUGLAS R & VIRGINIA M	5627 N INVERGORDON RD PARADISE VALLEY 85253	5627 N INVERGORDON	PARADISE VALLEY	AZ	85253
173-10-005C	KUCHER MARK	5620 N WILKINSON RD PARADISE VALLEY 85253	5620 N WILKINSON RD	PARADISE VALLEY	AZ	85253
173-10-006G	OCCUPANT		5641 N INVERGORDON RD	PARADISE VALLEY	AZ	85253
173-10-006G	INVERGORDON INVESTMENTS LLC	5641 N INVERGORDON RD PARADISE VALLEY 85253	22805 N 38TH PL	PHOENIX	AZ	85050
173-10-006H	WILKINSON PV LLC	5650 N WILKINSON RD PARADISE VALLEY 85253	5650 N WILKINSON RD	PARADISE VALLEY	AZ	85253
173-10-008A	OCCUPANT		5620 N CASA BLANCA DR	PARADISE VALLEY	AZ	85253
173-10-008A	MMB3 LLC	5620 N CASA BLANCA DR PARADISE VALLEY 85253	9215 N INVERGORDON DR	PARADISE VALLEY	AZ	85253
173-10-011	OCCUPANT		6500 E JACKRABBIT RD	PARADISE VALLEY	AZ	85253
173-10-011	SHOEN SOPHIA	6500 E JACKRABBIT RD PARADISE VALLEY 85253	PO BOX 17750	FOUNTAIN HILLS	AZ	85269-7750
173-10-015	EMMERSON CRAIG V/CYNTHIA A	5610 N CASA BLANCA DR PARADISE VALLEY 85253	5610 N CASA BLANCA DR	PARADISE VALLEY	AZ	85253
173-10-016	OSSIAS GEOFFREY M/WEBER KATHLEEN A	5600 N CASA BLANCA DR PARADISE VALLEY 85253	5600 N CASA BLANCA	PARADISE VALLEY	AZ	85253
173-10-017	KORER CARMEN/SANFORD	5639 N WILKINSON RD PARADISE VALLEY 85253	5639 N WILKINSON RD	PARADISE VALLEY	AZ	85253
173-10-018	BARNES ANTHONY GEORGE/FABIANI ROMINA R	5625 N WILKINSON RD PARADISE VALLEY 85253	5625 N WILKINSON RD	PARADISE VALLEY	AZ	85253
173-10-020	GRATIA ET SPERO FAMILY TRUST	6450 E JACKRABBIT RD PARADISE VALLEY 85253	6450 E JACKRABBIT RD	PARADISE VALLEY	AZ	85253
173-10-021	RAJA RUBINA	6400 E JACKRABBIT RD PARADISE VALLEY 85253	6400 E JACKRABBIT RD	PARADISE VALLEY	AZ	85253
173-10-022	LANGE 2014 REVOCABLE TRUST	6434 E JACKRABBIT RD PARADISE VALLEY 85253	6434 E JACKRABBIT RD	PARADISE VALLEY	AZ	85253
	OCCUPANT		6403 E LUKE AVE	PARADISE VALLEY	AZ	85253

173-10-023	G & J PROPERTIES INC	6403 E LUKE AVE PARADISE VALLEY 85253	10881 N SCOTTSDALE RD STE 200	SCOTTSDALE	AZ	85254
173-10-024	G & J PROPERTIES INC	6411 E LUKE AVE PARADISE VALLEY 85253	10881 N SCOTTSDALE RD STE 200	SCOTTSDALE	AZ	85254
173-10-025	G & J PROPERTIES INC	6427 E LUKE AVE PARADISE VALLEY 85253	10881 N SCOTTSDALE RD STE 200	SCOTTSDALE	AZ	85254
173-10-026	5614 WILKINSON LLC OCCUPANT	6439 E LUKE AVE PARADISE VALLEY 85253	6439 E LUKE AVE	PARADISE VALLEY	AZ	85253
173-10-027	ATARAXIA 6453 LLC OCCUPANT	6453 E LUKE AVE PARADISE VALLEY 85253	6453 E LUKE AVE	PARADISE VALLEY	AZ	85253
173-10-028	CAMELDALE LAND LLC OCCUPANT	6471 E LUKE AVE PARADISE VALLEY 85253	4400 N SCOTTSDALE RD UNIT 9-529	SCOTTSDALE	AZ	85251
173-10-029	G & J PROPERTIES INC OCCUPANT	5530 N CASA BLANCA DR PARADISE VALLEY 85253	6471 E LUKE AVE	PARADISE VALLEY	AZ	85253
173-10-030	KOBA LLC OCCUPANT	5540 N CASA BLANCA DR PARADISE VALLEY 85253	7537 E MCDONALD DR	SCOTTSDALE	AZ	85250
173-10-031	G & J PROPERTIES INC OCCUPANT	6460 E LUKE AVE PARADISE VALLEY 85253	5530 N CASA BLANCA DR	PARADISE VALLEY	AZ	85253
173-10-032	WILKINSON STREET ASSOCIATES LLC	5611 N WILKINSON RD PARADISE VALLEY 85253	10881 N SCOTTSDALE RD STE 200	SCOTTSDALE	AZ	85254
173-10-046	JENSEN PETER SONDERGAARD/ARMIDA MARTA OCCUPANT	5614 N WILKINSON RD PARADISE VALLEY 85253	5540 N CASA BLANCA DR	PARADISE VALLEY	AZ	85253
173-10-047	5602 WILKINSON LLC	5602 N WILKINSON RD PARADISE VALLEY 85253	5201 N 63RD PL	PARADISE VALLEY	AZ	85253
173-11-006C	OCOTILLO FAMILY TRUST OCCUPANT	5555 N CASA BLANCA DR PARADISE VALLEY 85253	6460 E LUKE AVE	PARADISE VALLEY	AZ	85253
173-11-006D	ALLEN FAMILY TRUST	5575 N CASA BLANCA DR PARADISE VALLEY 85253	10881 N SCOTTSDALE RD STE 200	SCOTTSDALE	AZ	85254
173-11-007	KENNETH H AND NORMA E JONES FAMILY TRUST	5535 N CASA BLANCA DR PARADISE VALLEY 85253	5611 N WILKINSON RD	PARADISE VALLEY	AZ	85253
173-11-034	N CASA BLANCA DRIVE LLC/JACKRABBIT ROAD LLC OCCUPANT	5155 N WILKINSON RD PARADISE VALLEY 85253	4848 E CACTUS RD STE 505-209	SCOTTSDALE	AZ	85254
173-20-014	SKINNER GREGORY/SARA	5135 N WILKINSON RD PARADISE VALLEY 85253	5614 N WILKINSON RD	PARADISE VALLEY	AZ	85253
173-20-015	BRECKER LAWRENCE J TR	5221 N INVERGORDON RD PARADISE VALLEY 85253	5602 N WILKINSON RD	PARADISE VALLEY	AZ	85253
173-20-018	PARKE ROBIN E/MARILYN H OCCUPANT	5200 N WILKINSON RD PARADISE VALLEY 85253	6031 E PARADISE DR	SCOTTSDALE	AZ	85254
173-20-019	CACTUS WREN FAMILY LLC	5220 N CASA BLANCA DR PARADISE VALLEY 85253	5555 N CASA BLANCA DR	PARADISE VALLEY	AZ	85253
173-20-021	ROSENFELD STEVEN G/NASH LINDA S	5240 N CASA BLANCA DR PARADISE VALLEY 85253	5575 N CASA BLANCA DR	PARADISE VALLEY	AZ	85253
173-20-022	MASSEY MICHAEL J/LORI L	5301 N WILKINSON RD PARADISE VALLEY 85253	8590 E SHEA BLVD STE 110	SCOTTSDALE	AZ	85260
173-20-023	MACKAY RICHARD N/KELLY	5306 N WILKINSON RD PARADISE VALLEY 85253	5535 N CASA BLANCA DR	PARADISE VALLEY	AZ	85253
173-20-024	VARGAS FAMILY REVOCABLE TRUST	5247 N INVERGORDON RD PARADISE VALLEY 85253	21731 VENTURA BLVD SUITE 300	WOODLAND HILLS	CA	91364
173-20-025	JEFFREY A MORGAN LLC OCCUPANT	5307 N INVERGORDON RD PARADISE VALLEY 85253	5155 N WILKINSON RD	PARADISE VALLEY	AZ	85253
173-20-026	SAPER JOEL R	5312 N WILKINSON RD PARADISE VALLEY 85253	5202 N CASA BLANCA DR	PARADISE VALLEY	AZ	85253
173-20-027	VECCHIONE KENNETH/DEIDRE OCCUPANT	5315 N WILKINSON RD PARADISE VALLEY 85253	5135 N WILKINSON RD	PARADISE VALLEY	AZ	85253
173-20-028	5315 WILKINSON LLC OCCUPANT	5315 N WILKINSON RD PARADISE VALLEY 85253	5221 N INVERGORDON RD	PARADISE VALLEY	AZ	85253
173-20-029	CASA BLANCA PROPERTY LLC	5140 N CASA BLANCA DR PARADISE VALLEY 85253	5200 N WILKINSON RD	PARADISE VALLEY	AZ	85253
173-20-034	SKINNER GREGORY/SARA	6437 E JACKRABBIT RD PARADISE VALLEY 85253	PO BOX 44702	PHOENIX	AZ	85064
173-20-042	DRESCHER-MULZET SUSAN L TR	5335 N INVERGORDON RD PARADISE VALLEY 85253	5220 N CASA BLACA DR	PARADISE VALLEY	AZ	85253
173-20-043A	5335 N INVERGORDON RD LLC	5265 N WILKINSON RD PARADISE VALLEY 85253	5240 N CASA BLANCA DR	PARADISE VALLEY	AZ	85253
173-20-303A	HELMS FAMILY 1996 REVOCABLE TRUST	5112 N WILKINSON RD PARADISE VALLEY 85253	5301 N WILKINSON RD	PARADISE VALLEY	AZ	85253
173-20-305	DG2102 LLC OCCUPANT	5335 N WILKINSON RD PARADISE VALLEY 85253	5306 N WILKINSON RD	PARADISE VALLEY	AZ	85253
173-20-309	DESERT RIVER OASIS LLC	5218 N KASBA CIR W PARADISE VALLEY 85253	5247 N INVERGORDON RD	PARADISE VALLEY	AZ	85253
173-64-003	HARBOUR DAVID M	5302 N KASBA CIR W PARADISE VALLEY 85253	5307 N INVERGORDON RD	PARADISE VALLEY	AZ	85253
173-64-004	MATTHEWS REVOCABLE TRUST OCCUPANT	5316 N KASBA CIR W PARADISE VALLEY 85253	5606 MEADOW DR	ANN ARBOR	MI	48105
173-64-005A	KRULL ERNEST/HOUSER ROBERT/ELLAINE OCCUPANT	5330 N KASBA CIR W PARADISE VALLEY 85253	5312 N WILKINSON RD	PARADISE VALLEY	AZ	85253
173-64-006A	MULALLY FAMILY TRUST	6620 E KASBA CIR N PARADISE VALLEY 85253	5315 N WILKINSON RD	PARADISE VALLEY	AZ	85253
173-64-007	RAM11 LLC		5502 N 19TH AVE	PHOENIX	AZ	85015
PHOENIX	Alan Stephenson, Planning & Development Director, City of Phoenix		5320 N CASA BLANCA DR	PARADISE VALLEY	AZ	85253
SCOTTSDALE	Tim Curtis, Planning Director, City of Scottsdale		350 HWY 7 STE 200	EXCELSIOR	MN	55331
			5202 N CASA BLANCA DR	PARADISE VALLEY	AZ	85253
			6437 E JACKRABBIT	SCOTTSDALE	AZ	85253
			5335 N INVERGORDON RD	PARADISE VALLEY	AZ	85253
			5265 N WILKINSON RD	PARADISE VALLEY	AZ	85253
			5112 N WILKINSON RD	PARADISE VALLEY	AZ	85253
			5335 N WILKINSON RD	PARADISE VALLEY	AZ	85253
			4611 NW FRUIT VALLEY RD	VANCOUVER	WA	98660
			5218 W KASBA CIR	PARADISE VALLEY	AZ	85253-6201
			5302 N KASBA CIR	PARADISE VALLEY	AZ	85253
			5316 N KASBA CIR W	PARADISE VALLEY	AZ	85253
			1961 N CORAL BELLS DR	TUSCON	AZ	85745
			5330 N KASBA CIR W	PARADISE VALLEY	AZ	85253
			PO BOX 995	MERCER ISLAND	WA	98040
			6620 E KASBA CIR	PARADISE VALLEY	AZ	85253
			200 W. Washington St.	Phoenix	AZ	85003
			7447 E. Indian Schol Rd	Scottsdale	AZ	85251





Town of Paradise Valley

6401 E Lincoln Dr
Paradise Valley, AZ 85253

Action Report

File #: 20-189

TO: Chair and Planning Commission

FROM: Jeremy Knapp, Community Development Director
Paul Michaud, Planning Manager
George Burton, Senior Planner

DATE: May 5, 2020

DEPARTMENT: Community Development

AGENDA TITLE:
Approval of the April 7, 2020 Planning Commission Meeting Minutes

ATTACHMENT(S):
04-07-20 Minutes Draft



Town of Paradise Valley

6401 E Lincoln Dr
Paradise Valley, AZ 85253

Minutes - Draft

Planning Commission

Tuesday, April 7, 2020

6:00 PM

Council Chambers

**IN-PERSON ATTENDANCE AT PUBLIC MEETINGS HAS BEEN SUSPENDED UNTIL
FURTHER NOTICE. WATCH LIVE STREAMED MEETINGS AT:
<https://paradisevalleyaz.legistar.com/Calendar.aspx>**

1. CALL TO ORDER

Chairman Wainwright called the meeting to order at 6:10 p.m.

Jeremy Knapp, Community Development Director, announced that a sign was placed on the door to Town Hall which included tonight's meeting agenda and instructions on how to participate electronically. He then gave some instructions on how to make the meeting run smoothly via Zoom.

STAFF MEMBERS PRESENT

Town Attorney Andrew M. Miller (attended via teleconference)
Community Development Director Jeremy Knapp
Planning Manager Paul Michaud
Senior Planner George Burton

2. ROLL CALL

All Planning Commission Members attended by teleconference.

Present 6 - Chairman Jonathan Wainwright
Commissioner Charles Covington
Commissioner Pamela Georgelos
Commissioner Daran Wastchak
Commissioner Thomas Campbell
Commissioner James Anton

Absent 1 - Commissioner Orme Lewis

3. EXECUTIVE SESSION

None

4. STUDY SESSION ITEMS

A. [20-149](#)**SUP-20-03. Discussion of Crown Castle Intermediate Special Use Permit Amendment.**

George Burton, Senior Planner, introduced the item including the background. He also reviewed the scope of the request at all three locations and the Statement of Direction made by Council at their March 26, 2020 meeting. He then announced that the applicant's Citizen Review Meeting would be held on April 20, 2020 and the Public Hearing on May 5, 2020.

Tanya Friese, applicant, introduced herself and indicated she was willing to answer any questions.

Commissioner Campbell asked if the mesh was tighter than what the rendering shows.

Ms. Friese indicated the spaces were less than an inch big. She added that the material was the same as what was found at their traffic signal sites.

Commissioner Campbell requested that the screening be oriented for maximum screening. He asked for a sample of the mesh or a photo that clarified the scale.

Ms. Friese clarified that the cabinets consisted of three mesh sides, a solid metal side, and solid roof and that the cabinet could be oriented in whatever direction they preferred. She also noted there was multiple viewing locations since the cabinet was located on a corner.

Commissioner Wastchak agreed with Commissioner Campbell on needing more information on the mesh material. He added that he would also like to know more of the color options and if a rusted metal finish was an option.

Commissioner Covington indicated he was comfortable with a rusted metal material. He then asked why the box could not be screened with creosote bushes.

Commissioner Wastchak noted that the location on Tatum Boulevard already has several unscreened boxes and it may be unfair to ask them to screen theirs when others were not required to do so.

Mr. Knapp, Community Development Director, stated that Council had talked about doing a separate Town project at this site to screen all the equipment but did not feel it was fair to request that of the applicant.

Commissioner Campbell preferred that the solid face of the box be oriented to the street.

Chairman Wainwright shared that he believed there was consensus from the Commission to have the solid face toward the street.

Commissioner Georgelos inquired if they had concern about the material of the boxes since they would be screened at all three locations.

Commissioner Wastchak clarified that was only at the Tatum Boulevard location.

Commissioner Georgelos suggested considering the material of the boxes at locations that are not screened.

Commission Campbell recommended they use whatever materials will blend in the best.

Commissioner Wastchak expressed that he felt the rust material would be best for all three.

Chairman Wainwright agreed with Commissioner Wastchak.

Commissioner Georgelos noted that would be consistent with what they do throughout the Town.

Ms. Friese responded that she agreed with using the same rusted material for all three cabinets. She asked for further clarification on the preferred orientation.

Commissioner Wastchak explained that the solid panel on the first cabinet would face Tatum Boulevard and the other two would face Invergordon Road.

Commissioner Anton asked if all three boxes were the same size.

Mr. Burton replied they were.

Ms. Friese stated they were indifferent to the orientation of the boxes as long as they can access the equipment.

Commissioner Wastchak asked if the new box was required since they were putting in updated equipment that would no longer fit in the existing faux rocks.

Ms. Friese explained that the battery equipment contained in the faux rock would be held in the new cabinet along with new equipment. She noted that they had explored putting in a larger faux rock, but heat was an issue.

Commissioner Georgelos asked if they would be able to see a sample of the material prior to the hearing.

Mr. Burton indicated they could have another work session on April 21, 2020 or skip that work session and provide photos to the Commission via email.

Chairman Wainwright indicated he was happy to streamline it and go off photos provided before the hearing.

Commissioner Campbell agreed.

Commissioner Wastchak stated he would prefer taking an additional work session to be sure everything was worked out prior to the hearing, unless it was

the only item on the agenda. He asked how quickly the applicant could get details on the material to the Commission.

Mr. Knapp shared that this was the only item on the next meeting's agenda.

Ms. Frieese replied that they could do an unfinished metal that would oxidize and rust. She sent in a photo of an existing cabinet that could provide them more information on the mesh material.

Commissioner Covington asked if this was compatible with the upcoming 5G.

Ms. Frieese stated the equipment would fit in the cabinets, but the antennae would need to be changed. She added that they would be replacing the faux cacti this year to help support 5G as well.

No Reportable Action

5. PUBLIC HEARINGS

A. [20-160](#)**Consideration of a Minor Special Use Permit Amendment
St. Barnabas Church (SUP-20-02). 6715 N. Mockingbird Lane**

Mr. Knapp commented that they have 15-18 people attending from the public that may want to comment on this item. He asked if those that would like to comment could raise their hand feature in the app or make a comment on the chat box in Zoom.

Mr. Burton presented an overview of the item which included the scope of the request and comments previously made by the Commission on this item at the March 3, 2020 meeting.

Commissioner Wastchak asked if plans would make the parking lot more compliant compared to what it is today.

Mr. Burton replied they would. He indicated what parking areas would have the stalls expanded to meet the nine-foot width requirement and which parking areas would not meet that requirement.

Commissioner Wastchak asked why the applicant did not want to make all the parking spaces comply. The parking stalls in the red areas were six inches smaller than those in the green area.

Mr. Burton believed that the applicant wanted to keep the parking count from going down.

Commissioner Anton commented that cars are getting bigger and he was disappointed that the applicant was not taking advantage of getting the parking stalls to the size they should be.

Commissioner Georgelos asked if there was a way to meet the required parking numbers and stall size.

Mr. Burton stated the church site needs a minimum of 203 parking spaces and currently the proposal is for 315 parking spaces. He did not know what the total parking count would be if the applicant brought them all into compliance, although he did not believe it would remove 100 parking spaces.

David Getts, applicant, remarked that they are trying to grow, and a limiting factor is parking and asked that he would be disappointed if they lost spaces over this project.

Derik Schumacher, project engineer for the applicant, explained that they would lose about four spaces in the southeast parking lot and eight parking spaces in the northeast parking lot for a total of 12 parking spaces, if they were to expand each stall to meet the nine-foot standard.

Commissioner Campbell noted that they may lose more spaces if they keep the smaller stalls, since large cars will spill over into spaces and make them

unusable.

Mr. Schumacher indicated that the green parking lots were the most heavily used and then the northeast parking lot.

Jeff Bell, senior church warden, noted that he had never seen problems with larger vehicles parking in their smaller parking stalls or spilling over into other spaces.

Chris Winters, with the engineering firm for the applicant, commented that one of the primary goals in redoing the parking lot was to get more spaces. Taking 12 spots away would put them below the existing space count of 306. They have tried to provide nine-foot wide stalls where they felt it mattered and asked that the plan be approved as is.

Commissioner Anton shared that with bigger cars and older people they really need to keep up with the standards. He suggested that they hold an additional service to accommodate parking needs.

Commissioner Campbell agreed with Commissioner Anton.

Commissioner Georgelos asked for further detail information on how meeting the requirements might be affected by the light poles and planter boxes.

Commissioner Wastchak asked about potential additional parking along the north property line.

Mr. Burton stated that there were retention basins in that area. He then briefly reviewed the drainage plans for the site.

Mr. Winters remarked that they have explored other areas for parking and did not find additional space.

Chairman Wainwright commented that he may be in the minority, but felt if the eight and a half foot stalls worked for the applicant he would be inclined to give it to them.

Mr. Bell shared that this was an expensive project and parking is a critical issue to them as a growing church, even with the addition of another service. He asked that the Commission consider the cost that it would put upon them if they had to move any light poles or planter boxes as well.

It was noted that the west and northeast parking lots had light fixtures they were trying to avoid moving, along with a shade canopy in the southeast parking lot.

Mr. Winters indicated he could take a look at realigning the parking spaces under the shade structure to meet the nine-foot standard.

Commissioner Campbell suggested that could be a good compromise.

Commissioner Anton stated he did not feel the applicant tried hard enough to fit

in more nine-foot spaces without moving lights and incurring more costs and would like to see that before the Commission makes any accommodations.

Commissioner Wastchak recommended having the applicant focus on getting the northeast parking lot in compliance and compromising more in the southeast corner, since that parking lot was mostly for staff.

Commissioner Anton reiterated that he was willing to work with them, but did not want to set a precedence for allowing smaller parking spaces.

Mr. Burton noted the Commission could continue the item if they did not want to make a decision tonight.

Mr. Winters indicated that he was willing to take another look to bring as many more spaces in compliance as they can.

Commissioner Campbell inquired if the shade structure supports were down the center line.

Mr. Winters replied that they were.

Commissioner Campbell noted that striping should not be restricted in that area then.

Mr. Winters responded that was true, but noted the layout is constrained by the light fixture posts and the planter curb.

Commissioner Covington commented if they could get rid of the curb islands they could generate more nine-foot spaces.

Commissioner Campbell asked if they were keeping all the existing curbs, planters, and light footings in the northeast parking lot.

Mr. Winters replied that there will be slight modifications to the size of the medians and light locations.

Commissioner Campbell stated that he was less sympathetic to them not meeting the standards if they were making those types of changes already.

Mr. Bell noted that plans were to help make the parking lot more visually pleasing as well.

Chairman Wainwright commented that requiring them to lose a few spots may result in not getting a prettier parking area.

Commissioner Georgelos shared that she understands the need for beautification of the grounds and parking lot, but is confused by how much of the parking lot they were intending to re-do. She added that she would like to see more effort put into meeting the standards, especially if there are changes to footings and curbs already happening.

Commissioner Covington agreed with Commissioner Georgelos.

Mr. Getts indicated that they understood how the Commissions feels and would revisit the plans to see what else they can do to comply.

Mr. Burton continued with his presentation sharing more information on the scope of the parking lot changes, drainage, and retention improvements.

Commissioner Anton commented that he went and visited the site after a large rain fall and the water in the north central portion of the parking lot was deep and a couple days later he went to check on it again and it appeared that the dry well in that area was not working.

Mr. Schumacher stated that as part of the project they would stipulate that all the dry wells get cleaned out so that they drain within 24-36 hours.

Mr. Getts confirmed that they would be servicing the dry well and noted that there will always be some ponding after a rain storm.

Mr. Burton proceeded with the presentation on drainage and retention improvements. He asked if the Commission was still okay with the deviation from the ponding limit that they discussed at their last meeting.

Commissioner Campbell asked if their packets indicated how many stalls would be impacted if they allowed nine-inch deep ponding.

Mr. Schumacher responded that they would be impacting fewer than 20% of the spaces and the spaces impacted were in remote areas with the exception of about four or five spaces. He clarified that 20% was around 57 of the 315.

Further discussion was made on what areas would be affected by ponding.

Commissioner Covington suggested they stipulate that the applicant get the existing drywells to function at their best performance.

Next, Mr. Burton provided an overview of the proposed plans for signage. He presented information on Option A and Option B for the directional signs.

Commissioner Georgelos and Commissioner Wastchak indicated they preferred Option B.

Commissioner Covington noted Option B was staff's preference as well.

Mr. Burton continued his presentation on signs sharing information on the proposed identification signs. He then reviewed information on the new cross for the property and noted that documentation was provided identifying that the adjoining Five Star development did not have concerns with it.

Mr. Burton addressed landscaping plans for the property which included the addition of 111 new trees and that all new landscaping would be Crime Prevention Through Environmental Design (CPTED) compliant. He then

reviewed the new canopy plans which included changes to the lighting and height of the playground canopy to address comments made by the Commission at their last meeting. Further information was then given on the walkway and parking canopies.

Commissioner Campbell commented that he liked the design of the canopies.

Commissioner Wastchak pointed out that Shea Homes, the developer of the properties to the north and northeast, provided a letter saying that they were not in support of the canopy over the playground because of the height and solar panels. Shea Homes had suggested having a shade sail instead of solar panels.

Mr. Getts responded that they want to have solar on the property, but if it is important to the Commission to not have solar in that location they would be willing to install a fabric shade structure over the playground equipment. He showed some renderings of what it could look like and noted they also planned to do fencing around the playground area.

Commissioner Campbell inquired how far the Shea property owners are from the proposed shade structure.

Mr. Burton stated that the proposed shade structure is setback 65 feet from the property line.

Commissioner Anton asked if there was a maintenance plan for the fabric structure, since unlike the solar panels, fabric will deteriorate more in the Arizona sun.

Mr. Getts indicated they had not determined the maintenance plan, but always intend to maintain their shade structures.

Commissioner Campbell asked if the solar panels over the playground area get removed, would the applicant relocate them elsewhere on the property.

Mr. Getts explained that they would prefer to have the solar panels over the playground, but wanted to please the neighbors as well.

Commissioner Wastchak stated that he appreciated the accommodations the applicant is willing to make for the neighbors, but he did not want to see the loss of the solar panels. He would be willing to approve both options so that the church had the flexibility to work with the neighbors more.

Commissioner Covington agreed.

Commissioner Georgelos noted that either option was within their guidelines, but would like to stipulate that appropriately, so all parties know what is happening.

Mr. Burton reviewed additional site improvements including the new outdoor kitchen, new water feature, new and resurfaced pathways, and new fences and

site walls.

Commissioner Wastchak asked if the selection for the fence around the playground area was intended to block sound from the neighbors, since playgrounds can generate large amounts of noise.

Mr. Winters indicated that the design did not consider sound, but the church leaders were mostly concerned with the safety of the children on the playground. He added that none of the neighbors have expressed concerns about noise.

Mr. Burton continued his presentation addressing the proposed lighting plans for the site which included pole lights, wall mounted lights, surface mounted lights, recessed mounted lights, ground mounted lights, and tree lights. He shared the lighting schedule and noted that the total lighting output met the Special Use Permit (SUP) guidelines.

Commissioner Wastchak asked where the 16-foot tall light poles would be located. He noted that he was most concerned with the lighting near residential properties.

Mr. Burton noted that one of the neighbors expressed concern about the 16-foot tall pole lights in the northeast corner. He noted that switching to lower poles may require the church to put up more poles with greater brightness to get the same amount of coverage.

Mr. Winters stated that they explored lowering poles, but that could not be done with using the existing infrastructure which was their plan. He clarified that the 16-foot tall poles created evenly distributed light across the whole site while using the existing infrastructure. He noted that they are still working with Shea Homes on this issue and have suggested adding more trees to shade the light from the adjacent properties.

Commissioner Wastchak expressed that he still did not like the idea of tall light poles, since it is not something the Commission encourages in the Town next to residential lots.

Commissioner Campbell noted that the applicant may have to take more parking spaces away if they have to add more light fixtures.

Mr. Winters shared that the proposed lighting would not have any glares or hot spots, adding he would like to continue negotiations with the adjacent neighbors to work out a compromise.

Commissioner Campbell asked if the Commission could get a rendering that showed neighbors walls, landscaping, and nearest row or 16-foot poles.

Mr. Winters replied that could be provided.

Commissioner Covington pointed out that even if the applicant is able to work out a compromise with the neighbors, he does not support 16-foot tall light

poles.

Mr. Winters responded that they were unaware the Town discouraged having 16-foot tall light poles, since they are allowed within the guidelines.

Mr. Burton clarified that the proposed 16-foot tall lights are compliant with SUP guidelines. He added that the perimeter lighting would only be operating from dusk to 10 p.m. and interior lighting will be dusk to dawn with a 50% reduction in lighting after 10 p.m. He could clarify in a stipulation what is perimeter and what is internal lighting.

Chairman Wainwright expressed that he would also prefer lights lower in height, but recognized the proposed 16-foot tall fixtures meet the guidelines.

Commissioner Campbell commented that the most sensitive area was the top row of lights on the northeast lot. He suggested having lower poles put closer together placed in the east to west landscape median in the northeast lot.

Mr. Getts stated that was a good suggestion and would look into that further.

Mr. Burton reviewed the public comments that had been received by staff. He then briefly reviewed the applicant's request as well as staff's recommendations.

Discussion was made on when the Commission should continue the item. It was determined to revisit the item again in mid-May.

Chairman Wainwright noted that people would be given an opportunity to make public comment at this meeting as well as the May 19, 2020 meeting.

Mr. Knapp stated that six individuals indicated they would like to make a comment and that Allie Tossberg indicated that she did not want to speak but was in support. He added that Judee Morrison who previously requested to speak wanted to show her support, but also did not want to comment tonight.

Jim Clark thanked the Town for their support they have been given.

Jeff Bell commented that the project was five years in the making and that their membership is overwhelmingly in support of what they are doing and that they were off to a good start with their fundraising campaign.

Jim Rector stated he was a longtime resident and had attended the church for many years. He shared that he felt that this was a wonderful project and would benefit anyone who comes to the campus and pass by it.

Richard Frazee announced that he was speaking in behalf of the Five Star Development and Ritz Carlton Resort. He noted they share three property lines with the church and have always had positive interactions, as they have worked with them to create and maintain a contiguous interface. He indicated they were in support of the SUP.

Bruce Williams commented that he was a long-time resident and member of the St. Barnabas Church. He felt that this project was essential to bring the church up-to-date and was a great way to welcome the new community to St. Barnabas.

Mr. Knapp indicated that he did not have any other requests for public comment.

Chairman Wainwright reviewed some of the concerns addressed by the Commission during the meeting including width of parking spaces and the height of light poles.

Commissioner Campbell asked if there were homeowners along the east side of the northeast lot. He asked that they consider lighting along both the east and north sides of the lot.

It was indicated there are homes in that area, but those homes are located further back.

Chairman Wainwright closed the public hearing.

A motion was made by Commissioner Wastchak, seconded by Commissioner Georgelos, to continue the public hearing for the Minor Special Use Permit at the Saint Barnabas Church (SUP-20-02) located at 6715 N. Mockingbird Lane which is to renovate and replace the parking lot/parking area, update the site drainage and retention, replace and add new signage, re-landscape the campus, improve the playground area with a new solar panel shade structure and fencing, add new trellis shade canopies with solar panels, replace and add new site lighting, and replace a covered parking canopy with a solar panel parking canopy to the regular Planning Commission meeting of May 19, 2020.

The motion carried by the following vote:

Aye: 6 - Chairman Wainwright, Commissioner Covington, Commissioner Georgelos, Commissioner Wastchak, Commissioner Campbell, and Commissioner Anton

Absent: 1 - Commissioner Lewis

6. ACTION ITEMS

A. [20-116](#)**Recommendation of Noticing for Application Requests**

Paul Michaud, Planning Manager, provided background on the item. He reviewed the new mailing radius recommendations for legislative applications, administrative applications, and the reasons behind each of those recommendations. He asked what size mailing radius the Commission would recommend for non-administrative Special Use Permit (SUP) land modifications.

Commissioner Campbell expressed he preferred lowering it to a 1,000-foot radius.

Commissioner Georgelos indicated that she would like to error on the higher end of things and keep the mailing radius at a 1,500-foot radius.

Chairman Wainwright and Commissioner Covington stated they were in support of a 1,000-foot radius. Commissioner Wastchak and Commissioner Anton both indicated they agreed.

Mr. Michaud continued his presentation on mailing radiuses for administrative applications. He reviewed suggestions for sign posting date recommendations and the reasons behind those recommendations. Mr. Michaud provided information concerning sign posting size recommendations and provided some examples of what those would look like. He briefly reviewed possible sign posting content.

Commissioner Wastchak asked if the Commission could discuss the posting of signs further. He expressed having concerns with how long signs are left out. He suggested that having some signs out longer could be beneficial.

Mr. Michaud responded that if the Commission wanted to encourage earlier notification that would be good to state, and that early notification could be discussed further at the Council level.

Mr. Knapp noted that staff was in support of earlier notification and suggested the Commission to include support of earlier notification in their motion.

Commissioner Wastchak stated he would like to include earlier notification, specifically an earlier notification on the property, in their recommendation to Council.

Commissioner Campbell, Chairman Wainwright, Commissioner Georgelos, Commissioner Anton and Commissioner Covington voiced their support for Commissioner Wastchak's recommendation.

Commissioner Campbell motioned to forward the noticing recommendations included in their packets with the adjustment to the SUP non-administrative category to a 1,000-foot radius and encourage Council to additionally require signage earlier in the process that is not limited to hearing notifications.

A motion was made by Commissioner Campbell, seconded by Commissioner

Wastchak, to recommend forwarding to the Town Council the mailing notice radius and property posting as described in Attachment A, Proposed Noticing Table. In summary, this includes the following:

1. Lowering the mailing radius for properties outside the Town limits to match the typical mailing radius for that community (300' Phoenix, 300' Maricopa County, 750' Scottsdale). The applicant may use the Town's mailing radius distance or the neighboring jurisdiction mailing radius for the application type for properties outside Town limits, whichever is lower. The Community Development Director may require a modified mailing radius based on the potential impact of the application request;
2. Maintaining the typical 1,500' mailing radius for legislative applications due to the major changes from the existing condition and/or non-residential nature of most legislative applications. Also, adding a notification policy for annexation;
3. Reducing the mailing radius for most administrative applications approved by the public body. Specifically, having a 1,000' mailing radius for Conditional Use Permits, Minor Special Use Permits, and Non-Administrative Land Modifications for Special Use Permit-zoned property (e.g. replats, lot splits) due to their predominant non-residential nature and having a 500' mailing radius for residential plat/land modifications;
4. Maintaining the mailing radius for administrative applications approved by staff at adjoining property owners or no mailing notice depending on the application type;
5. Specifying when an application requires a site posting that the applicant use a sign that is 6 square feet in size (2' x 3') at 6' tall in front yard and along any other yard with street frontage, not placed in the right-of-way. Requiring a larger 16 square-foot sign (4' x 4') for Major and Intermediate Special Use Permit applications; and
6. Encouraging the Town Council to examine signage earlier in the application process.

The motion carried by the following vote:

Aye: 6 - Chairman Wainwright, Commissioner Covington, Commissioner Georgelos, Commissioner Wastchak, Commissioner Campbell, and Commissioner Anton

Absent: 1 - Commissioner Lewis

B. [20-159](#) Selection of Chairperson per Section 2-5-2 of the Town Code

Commissioner Wainwright thanked everyone for the opportunity to serve as their Chair and noted that all seven members of the Commission were eligible to be Chair.

Commissioner Campbell asked if Chairman Wainwright was available to serve as the Chairman for another term.

Commissioner Wainwright indicated he and the rest of the Commission Members were all available to serve for the next year. He noted that he had submitted a petition to run for Town Council and would no longer be able to serve on the Commission starting in January if he was elected.

A motion was made by Commissioner Campbell, seconded by Commissioner Covington, to nominate Commissioner Wainwright for a second term as Chairman of the Planning Commission to the Town Council.

The motion carried by the following vote:

Aye: 6 - Chairman Wainwright, Commissioner Covington, Commissioner Georgelos, Commissioner Wastchak, Commissioner Campbell, and Commissioner Anton

Absent: 1 - Commissioner Lewis

7. CONSENT AGENDA**A. [20-161](#) Approval of March 17, 2020 Planning Commission Minutes**

A motion was made by Commissioner Wastchak, seconded by Commissioner Covington, to approve the March 17, 2020 Planning Commission minutes. The motion carried by the following vote:

Aye: 6 - Chairman Wainwright, Commissioner Covington, Commissioner Georgelos, Commissioner Wastchak, Commissioner Campbell, and Commissioner Anton

Absent: 1 - Commissioner Lewis

8. STAFF REPORTS

None

9. PUBLIC BODY REPORTS

Commissioner Wastchak thanked Commissioner Anton for continuing to serve on the Commission until he can be replaced.

10. FUTURE AGENDA ITEMS

Mr. Knapp stated they would be cancelling the April 21, 2020 meeting for lack of agenda items. He added that they would have a hearing for the Crown Castle Equipment Cage at the May 5, 2020 meeting and a hearing for St. Barnabas Church Amendments at the May 19, 2020 meeting.

11. ADJOURNMENT

A motion was made by Commissioner Wastchak at 9:45 p.m., seconded by Commissioner Georgelos, to adjourn the meeting. The motion carried by the following vote:

Aye: 5 - Chairman Wainwright, Commissioner Covington, Commissioner Georgelos, Commissioner Wastchak, and Commissioner Campbell

Nay: 1 - Commissioner Anton

Absent: 1 - Commissioner Lewis

Paradise Valley Planning Commission

By: _____
Jeremy Knapp, Secretary