Town of Paradise Valley

6401 E Lincoln Dr
Paradise Valley, AZ 85253

Meeting Notice and Agenda

Planning Commission

Tuesday, May 15, 2018 | **6:00 PM** | **Council Chambers**

1. CALL TO ORDER

2. ROLL CALL

Notice is hereby given that members of the Public Body will attend either in person or by telephone conference call, pursuant to A.R.S. §38-431(4).

3. EXECUTIVE SESSION

The Public Body may convene into an executive session at one or more times during the meeting as needed to confer with the Town Attorney for legal advice regarding any of the items listed on the agenda as authorized by A.R.S. §38-431.03.A.3.

4. STUDY SESSION ITEMS

Work/Study is open to the public however the following items are scheduled for discussion only. The Public Body will be briefed by staff and other Town representatives. There will be no votes and no final action taken on discussion items. The Public Body may give direction to staff and request that items be scheduled for consideration and final action at a later date. The order of discussion items and the estimated time scheduled to hear each item is subject to change.

5. PUBLIC HEARINGS

The Public Body may take action on this item.

A. **18-197** **Consideration of a Minor Amendment to the Montessori Academy Special Use Permit to allow for additional storage at 6050 N Invergordon Road**

Staff Contact: Paul Michaud, 480-348-3574

6. ACTION ITEMS

The Public Body may take action on this item.

7. CONSENT AGENDA

All items on the Consent Agenda are considered by the Public Body to be routine and will be enacted by a single motion. There will be no separate discussion of these items. If a Commissioner or member of the public desires discussion on any item it will be removed from the Consent Agenda and considered separately.

A. 18-196 Approval of May 1, 2018 Planning Commission Minutes

8. STAFF REPORTS

9. PUBLIC BODY REPORTS

10. FUTURE AGENDA ITEMS

11. ADJOURNMENT

AGENDA IS SUBJECT TO CHANGE

**Notice is hereby given that pursuant to A.R.S. §1-602.A.9, subject to certain specified statutory exceptions, parents have a right to consent before the State or any of its political subdivisions make a video or audio recording of a minor child. Meetings of the Planning Commission are audio and/or video recorded, and, as a result, proceedings in which children are present may be subject to such recording. Parents in order to exercise their rights may either file written consent with the Town Clerk to such recording, or take personal action to ensure that their child or children are not present when a recording may be made. If a child is present at the time a recording is made, the Town will assume that the rights afforded parents pursuant to A.R.S. §1-602.A.9 have been waived.*

The Town of Paradise Valley endeavors to make all public meetings accessible to persons with disabilities. With 72 hours advance notice, special assistance can also be provided for disabled persons at public meetings. Please call 480-948-7411 (voice) or 480-483-1811 (TDD) to request accommodation to participate in the Planning Commission meeting.

Action Report

File #: 18-197

TO: Chair and Planning Commission

FROM: Paul Michaud, Interim Community Development Director

DATE: May 15, 2018

CONTACT:
Paul Michaud, 480-348-3574

AGENDA TITLE:
Consideration of a Minor Amendment to the Montessori Academy Special Use Permit to allow for additional storage at 6050 N Invergordon Road

REQUEST

Julianne Newman on behalf of Montessori Academy Inc., is requesting a Minor Special Use Permit amendment for Montessori Academy located at 6050 N Invergordon Road (Assessor Parcel 169-39-007). This request is for an addition to the existing storage structure located at the southwest corner of said Property. The total square footage of the storage structure will not be more than 1,125 square feet. The structure will maintain the existing maximum 12-foot height. The west setback will be increased from approximately 29 feet to 39 feet and the south setback will remain at 20 feet. The request also includes approval for temporary screening for the playing field south of the existing backstop chain link fencing and the removal of two nonconforming shipping containers.

RECOMMENDATION A
Deem or not deem the requested amendment as a minor amendment to the Special Use Permit zoning per the criteria listed in Section 1102.7.B of the Zoning Ordinance.

RECOMMENDATION B
Approve the Minor Special Use Permit Amendment to the Montessori Academy Special Use Permit to allow for additional storage at 6050 N Invergordon Road, subject to the stipulations in the attached stipulations document.

BACKGROUND

Planning Commission Discussion:
The Planning Commission discussed this request at its April 17, 2018 and February 6, 2018 work session. The Planning Commission directed the applicant to come up with a timeframe for removal of the two shipping containers and to apply for a site-built storage building.

Storage building - The Planning Commission expressed general support of the existing Special Use Permit setback of 40 feet to the west property line and a setback of 20 feet to the south property line to match the existing approved structures. The Planning Commission was not supportive of retaining the 200 square-foot west addition of this storage structure not previously approved, but willing to transfer this square footage to the new addition east of the original 400 square-foot storage building for an approximate total of 1,200 square feet. The Planning Commission suggested the use of stucco and/or designing an offset in the addition for a better transition between the new material and the existing slump block. Attached is the revised site plan from the applicant.

Shipping containers - The applicant requests to construct the new storage building before moving the shipping containers. The applicant also noted that removal of the shipping containers is preferred outside of regular school class schedules. The earliest the completion of the storage building will likely occur is this August factoring in the required 15-day appeal period of the Minor Special Use Permit Amendment, building permit review timeline, and construction timeline. Staff has drafted a stipulation that the shipping containers be removed no later than January 5, 2019 to accommodate the construction and school schedule. However, Planning Commission may wish to consider other alternatives. The last shipping container removal before the Planning Commission was at Sanctuary Resort. The Town gave that applicant 12 months to remove their shipping containers.

Temporary netting - As discussed at the April work session, the operator of the school has used netting on temporary poles near the west property line to aid in errant balls from leaving the property during events on the ball field. There is also a permanent chain link back stop fence that was approved in a prior amendment to the school's Special Use Permit. The permanent back stop has a 20-foot setback to the west property line and a maximum height of 13 feet. The applicant noted this temporary netting is used during the summer. Since the temporary netting was never officially approved, the Planning Commission was agreeable to consider approval of temporary netting. The applicant was asked to redesign the existing temporary netting to avoid having to leave the poles up all year long. The Planning Commission expressed that the applicant did not need to provide detailed plans for the temporary netting with the Special Use Permit, but such plans would be needed for the building permit. In lieu of detailed plans, the Special Use Permit submittal would address the maximum lineal footage of the temporary netting structure, setback from the west property line, height of the temporary structure, material of the temporary structure (poles/frame and netting), how the holes in the ground will be capped when not in use, the time period the structure will be up, along with any other pertinent information. The applicant provided no specific details. As such, there is a draft stipulation that address various parameters.

Exterior lighting - Exterior lighting will be required by the building code at exterior exits. A stipulation has been included that requires such lighting be mounted at or below the height of the doorways (7 feet) and comply with the lighting standards of the Special Use Permit Guidelines.

Outdoor storage - A couple comments were made by the Planning Commission about visible outdoor storage in the vicinity of the storage building. The school presently uses an approximate 600 square foot area south of the storage building for outside storage. There is also storage of material along the west property line. Staff's understanding is that the outside material near the storage will be relocated into the new storage building. The Minor Special Use Permit does only apply to the vicinity of the storage building and west property line. If deemed necessary, the Planning Commission could

consider a stipulation prohibiting outdoor storage within the vicinity of the storage building and along the west property line. Also, it could consider allowing some outdoor storage within parameters such as a maximum height of any outdoor storage, screening from adjoining properties by an opaque wall or fence, or other parameter(s).

History:
The Montessori Academy site was annexed into the Town in 1961. In 1972/1973, the site was granted Special Use Permit approval for a private elementary school called the “Camelback Desert School.” Although not clear in the file records, use of the property as a school appears to date back to the 1950s. The site is a long narrow 4-acre site with street frontage along the narrow side of Invergordon Road. The attached document called “Stipulations” summarizes the past Special Use Permit amendments and stipulations.

General Plan/Zoning:
The subject property has a General Plan designation of “Public/Quasi Public” according to the Town’s General Plan Land Use Map. The zoning on the subject property is “Special Use Permit -Private School, Non-Profit Organization, Public/Quasi Public” for a private school. Proposed storage for school property is in conformance with this designation and zoning.

Special Use Permit (SUP):
The last approved site plan for the southeast corner of the school site was in 1996. This 1996 site plan has a 400 square-foot storage structure that is setback 40 feet from the west property line and a 26-foot setback from the south property line. Also, the 1996 site plan shows a 180 square-foot tuff shed just east of the 400 square-foot storage structure. A review of various aerials over time show various structures placed both west and east of the 400 square-foot storage structure. Presently, there is the 400 square-foot storage structure shown on the 1996 site plan, an approximate 200 square-foot addition on the west elevation of that structure built circa the late 1990s, and two shipping containers west of these afore-mentioned structures placed on the site about 2015. Available building permit records do not include any permits for a shed after 1973. The existing storage addition on the west elevation is at a height of 8 feet. The height of the proposed and original -approved storage structure is 12 feet to the top of the pitched roof.

Enforcement:
On November 13, 2017, the Town received a complaint that the school has two shipping containers near the property line to the adjoining residential lot at 6019 N 62nd Place. There are generally oleanders along the shared property lines of the entire school site and the site adjoins R-43-zoned lots.

As the school site is zoned Special Use Permit for a private school, installation of structures require approval by the Town. Upon review of the Special Use Permit for this site, the last major Special Use Permit amendment was in 1996, with a few minor managerial amendments and a minor amendment to the property since that date. No shipping containers were approved as part of the 1996 site plan or subsequent amendments.

Pursuant to Section 1102.3.C.5.f of the Special Uses and Additional Use Regulations, the terms and conditions of the Special Use Permit shall be complied with as a condition to the establishment of any

use on the site. Furthermore, Section 1105, Violations of Special Use Permits, states a violation of any requirement that governs the uses, structures and activities permitted through the Special Use Permit constitute a violation. The circumstance that the approved Special Use Permit did not include the two shipping containers results in a violation of the Special Use Permit for the subject site. As such, the owner of the school is seeking the amendment to its Special Use Permit zoning as described in this report.

DISCUSSION/FACTS

Compliance with Special Use Permit (SUP), SUP Guidelines and Other Standards

Use of Accessory Structures
The school's approved SUP has several detached accessory structures. Also, the SUP Guidelines for private schools identify the ability to have other structures in addition to the principal structure.

Accessory Structure Type
The construction type and finish of structures are not specially addressed in the school's SUP or in the SUP Guidelines for a private school. Section 1101, General Purpose; Applicability, of the SUP regulations state the purpose of a SUP is to implement the Town's General Plan. The Town's General Plan includes three policies that reference quality design and compatibility to adjoining uses as follows:

Policy LU 2.1.1.6, High Quality Design
The Town will maintain a comprehensive and up-to-date set of ordinances and codes to ensure that development is consistent with this General Plan while resulting in high quality, sensitively designed projects.

Policy LU 2.1.2.3, Compatibility of Adjoining Uses
The Town shall ensure that development within Special Use Permit properties is compatible with adjacent land uses, particularly residential uses, by requiring such features as:

- *Increased building setbacks from rear or side yard property lines adjoining single-family residential uses;*
- *Building heights stepped back from sensitive adjoining uses to maintain appropriate transitions in scale and to protect privacy;*
- *Landscaped off-street parking areas, loading areas, and service areas screened from adjacent residential areas, to the degree feasible;*
- *Lighting shielded to minimize impacts on adjacent residential uses and protect dark skies; and*
- *Operational restrictions to limit the adverse impact of noise, light, and traffic and minimize the risk of crime to adjacent residences.*

Policy LU 2.1.2.5, Building Design and Site Planning

The Town shall encourage context-appropriate and responsive building design and site planning on Special Use Permit properties that mitigates the scale of larger buildings through careful use of building massing, setbacks, facade articulation, fenestration, varied parapets and roof planes, and pedestrian-scaled architectural details.

Height and Setback
The Special Use Permit regulations of Article XI, Special Uses and Additional Use Regulations, do not specifically provide height or setbacks for structures. Specific structures, and height and setback of structures are approved as part of the Special Use Permit amendment process. The Town does include Special Use Permit Guidelines for private schools that provide suggested setbacks of 60 feet for structures adjoining a residential lot, with R-43 zoned residential lots requiring minimum 20-foot rear and side yard setbacks. The SUP Guideline for private schools on height for non-principal structures is 24 feet. Typical accessory structure height on an R-43 residential lot is 16 feet. The existing and proposed addition to the storage structure meet R-43 height and setback.

Lot Coverage
The SUP Guidelines suggest a maximum lot coverage of 25-percent. The lot coverage on the school site is approximately 19,000 square feet or 19,500 square feet with the additional storage additions. This results in a lot coverage approximately 11.3-percent.

Lighting
The building code will require lights at exterior doorways. As noted, there is a draft stipulation that exterior lights on the storage building comply with Special use Permit Guidelines.

Landscaping
There is no additional proposed landscaping indicated with the application.

Minor Amendment Criteria Conformance
Planning Commission will need to take two actions related to this application request at a future meeting. First, the application request must be deemed a minor amendment pursuant to the four criteria in Section 1102.7.B of the Town Zoning Ordinance. Second, the Planning Commission must take action on the application with any relevant stipulations. This request meets the four minor amendment criteria as follows:

1. **Change or add any uses.**

   There is no change in allowable use or addition of a new use. The school site can have accessory structures for storage of school-related material.

2. **Increase the floor area of the project by more than 5000 square feet or constitute an increase of more than 15% upon the existing or, if still under construction, approved floor area square footage of the affected SUP property, whichever is less, with any such increase to be measured cumulatively over a sixty-month period.**

   The increase in floor area is under the allowable criteria. The total proposed additional square

footage is approximately 620 square feet. This number excludes the 200 square-foot existing addition not previously approved and to be demolished. The total existing allowable floor area is approximately 115,000 square feet, which includes the allowable 180 square-foot tuff shed in that location that was removed several years back. The lessor allowable floor area to keep the request as a minor amendment is 5,000 square feet. The only new square footage in the past 60 months was a 400 square-foot shade structure. 1,020 new square feet of floor area is less than the allowable 5,000 square feet.

3. **Have any material effect on the adjoining property owners that is visible, audible, or otherwise perceptible from adjacent properties that cannot be sufficiently mitigated.**

   The proposed 8-foot tall block wall and new landscaping being installed on the neighboring property to the west will mitigate the visibility of the existing storage structure. The adjoining lot owner has already reinstalled a replacement 6-foot tall chain link fence and planted a hedge row of honeysuckle. Approval of this amendment will require removal of the shipping containers presently setback approximately 10 feet from the west property line. With the removal of the unapproved west addition to the storage structure, the storage structure will be setback further from the west property line. The west setback will change from approximately 30 feet to 39 feet. As noted previously, the SUP guidelines for schools do not specifically address height or setback for accessory structures. However, the existing storage structure with proposed addition fully complies with the typical R-43 residential standards for accessory structures of 20 feet to the side and rear yard, and a maximum height of 16 feet. The adjoining lots to the subject site are R-43. The location of the new addition is on the east elevation of the existing storage structure which will be hidden from view to the adjoining residential lot to the south by an existing 6-foot tall perimeter block wall and an existing approximate 12-foot tall oleander hedge.

4. **Change the architectural style.**

   The proposed addition will be site-built and architecturally generally match the existing block/wood storage structure. The other existing approved buildings on the school property are a mix of block and wood-frame construction. The attached plans do not address the use of stucco or building offset discussed at the last work session.

Public Comment & Noticing

Mailing notification was done in advance of the scheduled hearing to all property owners within a radius of 1,500 feet, along with a newspaper advertisement and property posting. To date, no comments have been given to staff.

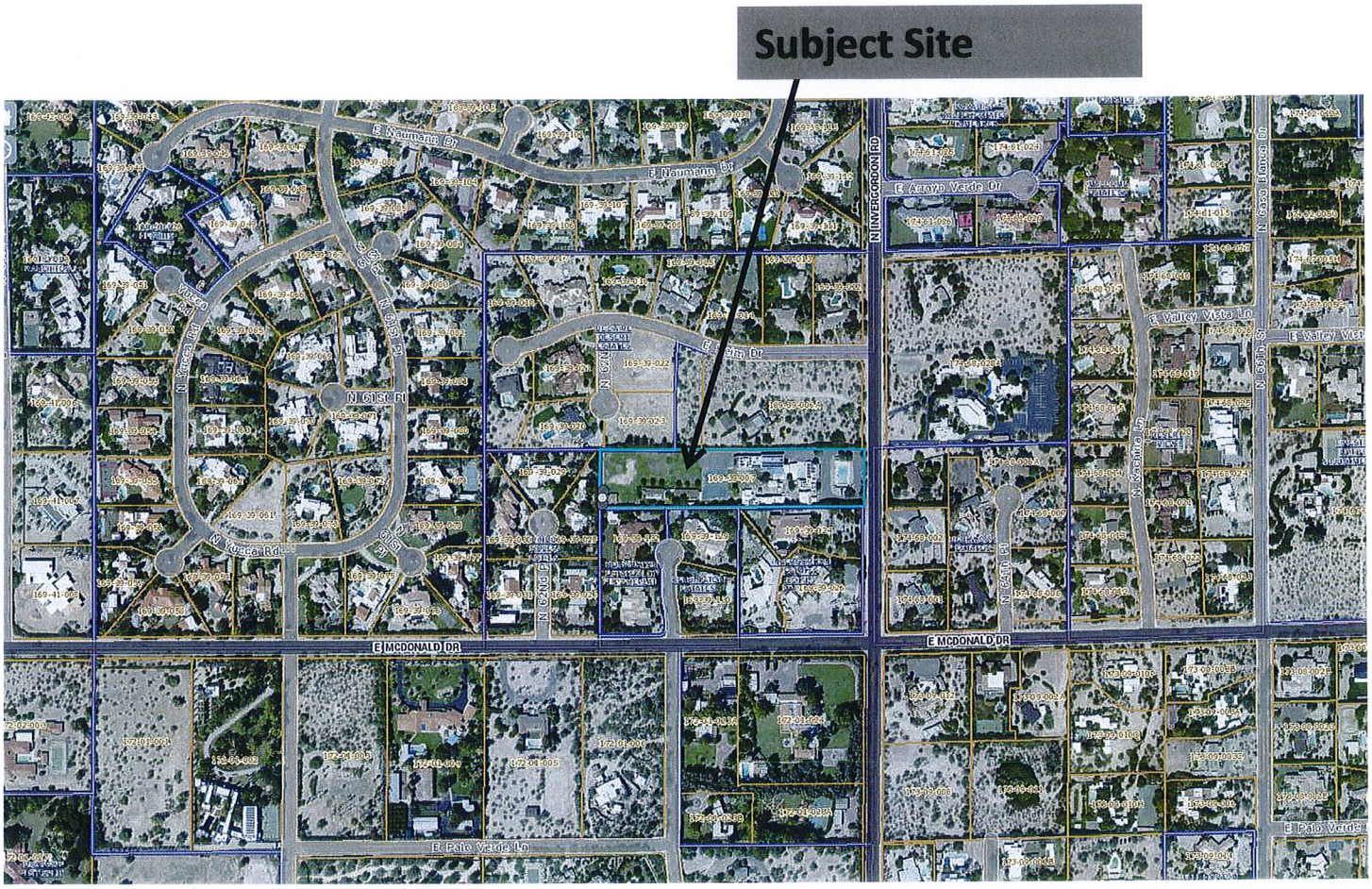
ATTACHMENTS

1. Vicinity Map/Aerial/General Plan/Zoning
2. Application
3. Photos
4. Noticing
5. Related Material
6. Stipulations

C: - Applicant/Case File

powered by Legistar™

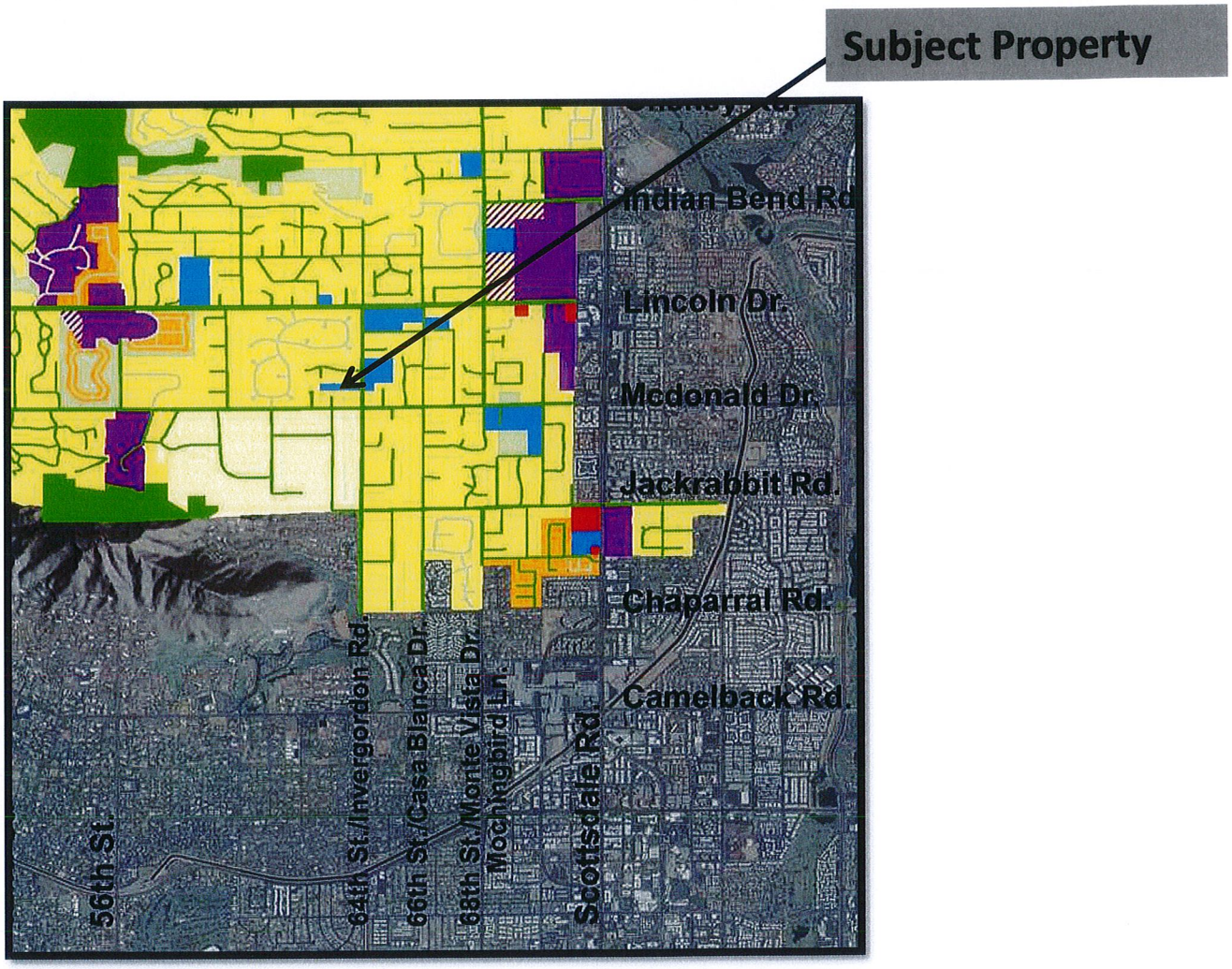
VICINITY MAP



Montessori Academy

6050 N Invergordon Rd

GENERAL PLAN



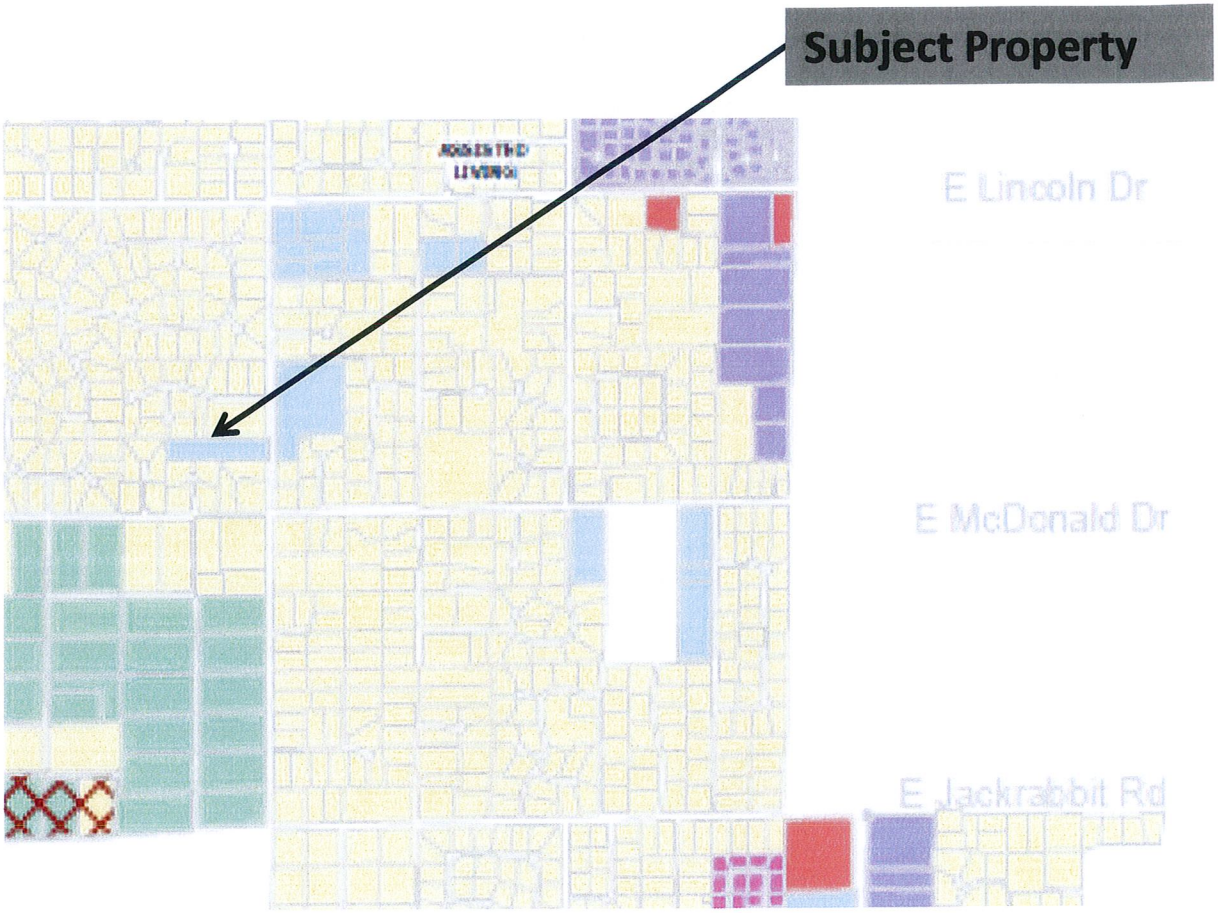
Legend

- Low Density Residential OR Resort/Country Club
- Private Open Space OR Resort/Country Club
- Very Low Density Residential
- Low Density Residential
- Medium Density Residential
- Private Open Space
- Public Open Space
- Medical Office
- Public/Quasi Public
- Resort/Country Club

Montessori Academy

6050 N Invergordon Rd

ZONING



Legend
Zoning

0 0.25 0.5 1 1.5 2 Miles

City of Phoenix

City of Scottsdale

R-175	R-35	R-18	R-18CP	SUP-R Special Use Permit- Resort
R-43	R-35CP	R-18A	SUP-P Special Use Permit- Public	SUP-O Special Use Permit- Medical
R-43CP	R-35A	R-10	OSP- Open Space Preserve	Hillside

Montessori Academy

6050 N Invergordon Rd

TOWN OF PARADISE VALLEY
APPLICATION FOR MINOR AMENDMENT TO SPECIAL USE PERMIT

PARCEL NO.: 169 - 39 - 007 **DATE:** 1-18-18
(County Tax Assessor Number)

NAME OF SUBDIVISION OR PARCEL: _____

ADDRESS OR LOCATION OF PROPERTY: 6050 N. Invergordon Rd.
Paradise Vly, AZ 85253

OWNER: Montessori Academy, Inc - Julianne Newman -
NAME

6050 N. Invergordon Rd PV AZ 85253 480-945-1121
ADDRESS PHONE #

SIGNATURE OF OWNER

AUTHORIZED AGENT: Julianne Newman
NAME

6044 N. Quail Run Rd PV AZ 85253 480-216-3507
ADDRESS PHONE #

SIGNATURE OF AUTHORIZED AGENT

FILED
1/24/18 PCM

APPLICATION FOR MINOR AMENDMENT TO SPECIAL USE PERMIT

PLEASE PROVIDE A NARRATIVE DESCRIPTION OF THE PROPOSAL (Please Attach Additional Sheets as Necessary): Requesting to approve the two shipping containers currently located on the west end of the property. The suggested guideline is a 60-foot setback, however there is no other space for the needed storage.

BEING UNDER SPECIAL USE PERMIT AS FOLLOWS:

NAME: Montessori Academy, Inc.

SPECIAL USE PERMIT DATED: _____ AMENDED: _____

THE MINOR AMENDMENT TO EXISTING, APPROVED SITE PLAN IS REQUESTED FOR THE FOLLOWING REASONS: Public charter school needed additional storage. The storage units were purchased in 2015. There have been no issues or complaints until 2017. There is no other possible placement (Non-homeowner) on the school property.

THE ABOVE SITE PLAN IS TO BE AMENDED AS FOLLOWS: _____

EXHIBITS, MODELS, SITE PLANS, ETC. FOR THE ABOVE SPECIAL USE WILL BE CHANGED IN THE FOLLOWING MANNER: _____

EXHIBIT A

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARICOPA, STATE OF ARIZONA, AND IS DESCRIBED AS FOLLOWS:

THAT PORTION OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 9, TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 9;

THENCE NORTH 466.7 FEET ALONG THE EAST LINE OF SAID SECTION TO THE TRUE POINT OF BEGINNING;

THENCE WEST 933.4 FEET;

THENCE NORTH 193.3 FEET;

THENCE EAST 933.4 FEET;

THENCE SOUTH 193.3 FEET TO THE POINT OF BEGINNING.

APN: 169-39-007

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AMERICAN LAND TITLE ASSOCIATION

Existing Pictures

Figure 1 Existing Shed - East Elevation - Looking West

Figure 2Existing Shed - North Elevation - Looking Southwest

Existing Pictures

Figure 3 Wire attached to Shipping Containers

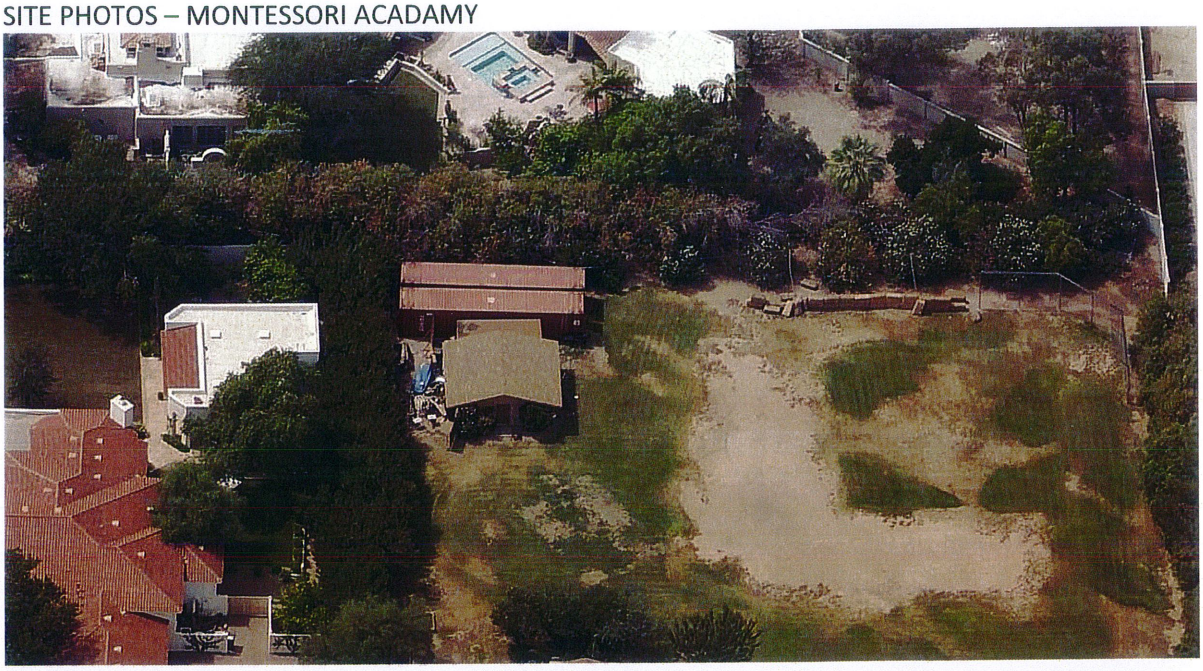
Figure 4 View looking North Near Shed

Existing Pictures

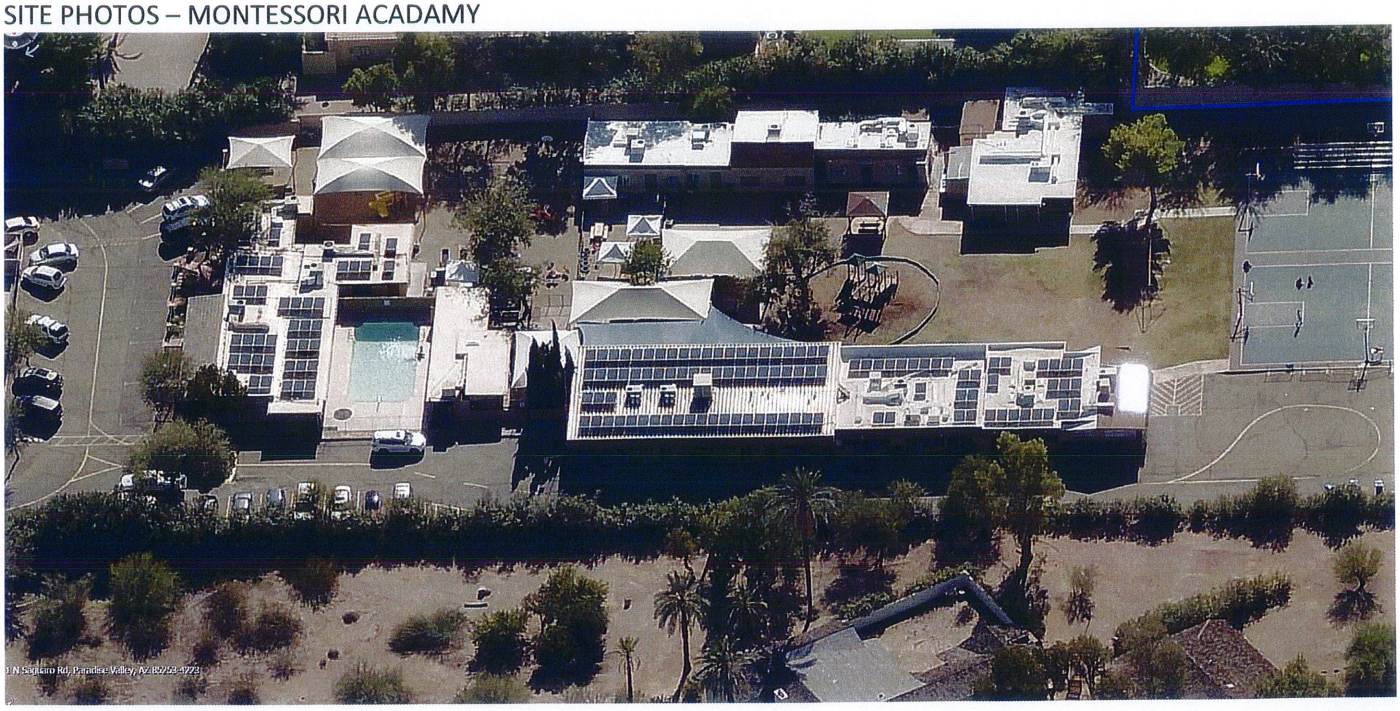
Figure 5 View Along West Property Line

Figure 6 View Looking Northwest at Shed

SITE PHOTOS – MONTESSORI ACADAMY



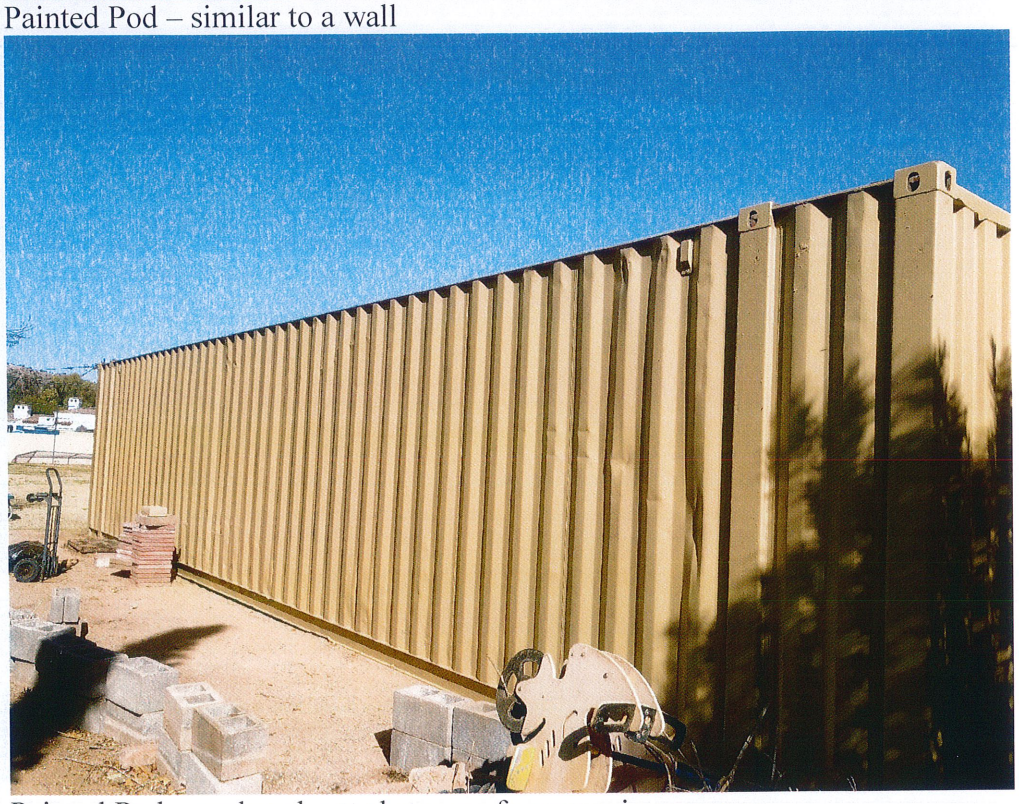
SITE PHOTOS – MONTESSORI ACADAMY



Maintenance Building with painted pods

Painted Pods

Painted Pod – similar to a wall



Painted Pod – replaced rotted storage from previous owner

Site for new wall and trees to block the view

Current south wall – example of what it may look like on the west side once the wall is up and the trees are planted.

AFFIDAVIT OF POSTING

STATE OF ARIZONA)

) ss:

County of Maricopa)

I, Julianne L. Newman, depose and state that the attached notice, of proposed application Minor Amendment located at Montessori Academy 6050 N. Invergordon, PV 85253 for the (Planning Commission/Town Council/Board of Adjustment/Hillside Committee) meeting date of May 15, 2018 is a true and correct copy of a notice which I cause to be posted by the following day of the week Friday, and on the following date April 27, 2018 in the following location(s):

Montessori Academy
6050 N. Invergordon Rd.
Paradise Vly. AZ 85253

All in the Town of Paradise Valley, Arizona and County and State aforesaid, the same being public places in said County and in the following locations:

All to the Town of Paradise Valley, Arizona and County and State aforesaid.

DATED this 27th day of April, 2018.

Signature

This affidavit was SUBSCRIBED AND SWORN to before me this 27 day of April, 2018.

NOTARY PUBLIC

My commission expires:

DUNCAN MILLER
Notary Public, State of Arizona
Maricopa County
My Commission Expires
January 05, 2022

AFFIDAVIT OF MAILING NOTIFICATION

STATE OF ARIZONA)

) ss:

County of Maricopa)

In accordance with the requirements of the Town of Paradise Valley, the undersigned hereby certifies that the mailing list for the proposed project is a complete list of property owners within 1500 feet of the subject property, as obtained from the Maricopa County Assessor's Office on the following date April 18, 2018, and such notification has been mailed on the following date April 27, 2018.

Signature

The foregoing instrument was acknowledged by me this 27 day of April, 2018, by Juli Newman.

Name

NOTARY PUBLIC

My commission expires:

DUNCAN MILLER
Notary Public, State of Arizona
Maricopa County
My Commission Expires
January 05, 2022

Paul Michaud, AICP
Senior Planner
Town of Paradise Valley
6401 E. Lincoln Drive
Paradise Valley, AZ 85253
(480) 348-3574

Dear Resident:

Notice is hereby given that the Town of Paradise Valley Planning Commission will hold a public hearing at **6:00 p.m. on Tuesday, May 15, 2018**, at Town Hall, 6401 East Lincoln Drive, Paradise Valley, Arizona, 85253 for:

> **PUBLIC HEARING**: Consideration of an application requesting a minor amendment to the Special Use Permit for the Montessori Academy located at 6050 N Invergordon Road (Assessor Parcel 169-39-007). This request is for an addition to the existing storage structure located at the southwest corner of the school property. The total square footage of the storage structure will not be more than 1,200 square feet. The existing storage structure is 600 square feet. The structure will maintain the existing maximum 12-foot height. The west setback will be increased from approximately 29 feet to 40 feet and the south setback will remain at 20 feet. The request also includes approval to retain temporary screening for the playing field south of the existing backstop chain link fencing. This temporary netting is used in the summer months and the temporary structure will be redesigned. The application further includes the removal of two nonconforming shipping containers.

If you have questions about these applications, please call the Community Development Department at (480) 348-3574.

Sincerely,

Paul Michaud, AICP
Senior Planner

The Town of Paradise Valley endeavors to make all public meetings accessible to persons with disabilities. With 72 hours advance notice, special assistance can be provided for disabled persons at public meetings. Please call 480-948-7411 (voice) or 483-1811 (TDD) to request accommodation.

For further information about any of these matters, please contact the Community Development Department, 6401 E. Lincoln Drive, Paradise Valley, Arizona, 480-348-3692.

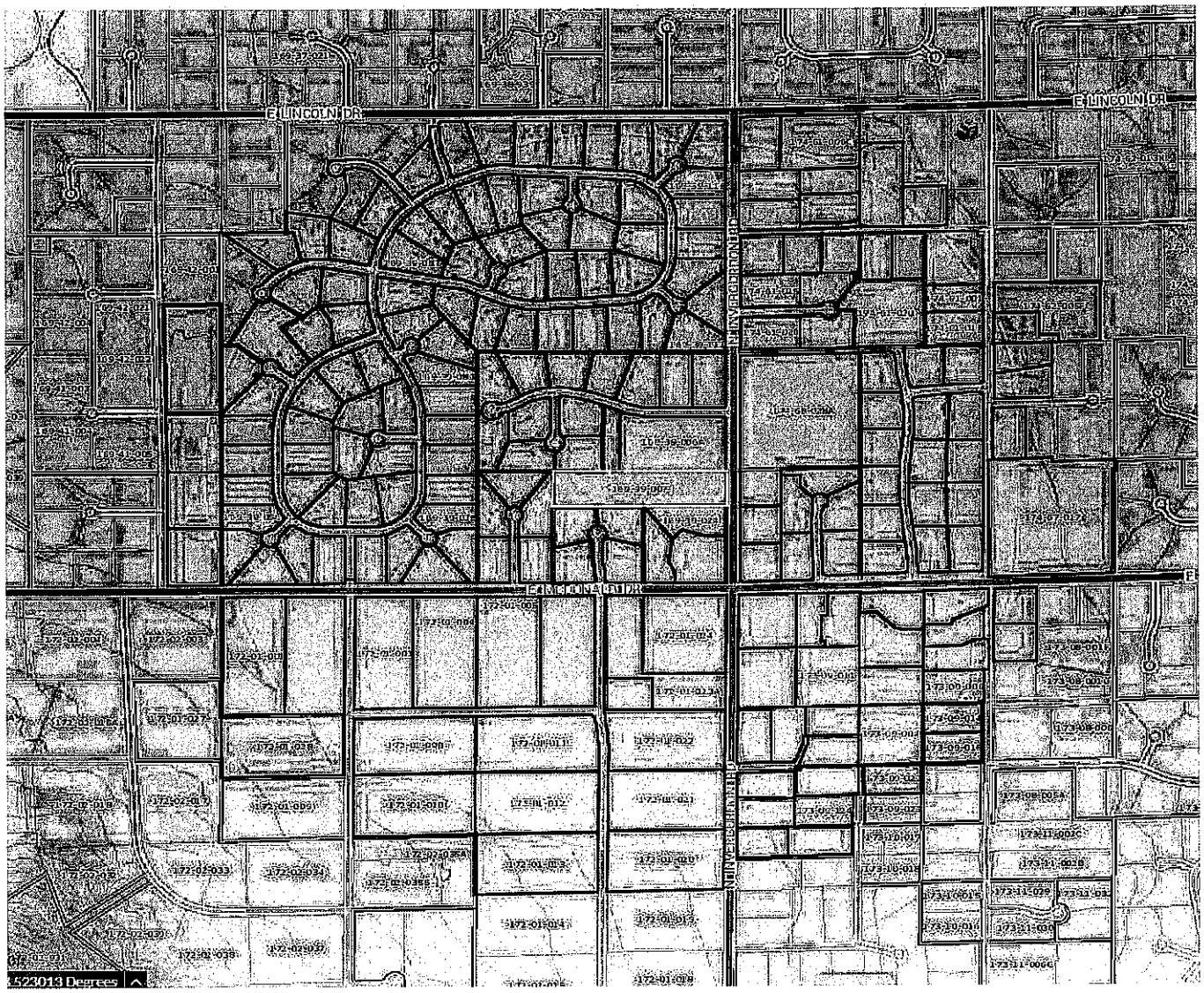
All agendas are subject to change. Several items may be on an agenda. You may want to contact the Town or view the agenda online to check the order of the item you are interested in to estimate when it may be heard. You can generally view the agenda approximately 4-6 days prior to the meeting date at www.ci.paradise-valley.az.us/330/Agendas-and-Meetings.

Parcel Number	Owner	Property Address	Mailing Address
169-39-006A	YANDELL LUNSFORD P VI	6114 N INVERGORDON RD PARADISE VALLEY 852	6114 N INVERGORDON RD SCOTTSDALE AZ 85253
169-39-006C	YANDELL LUNSFORD P VI	6114 N INVERGORDON RD PARADISE VALLEY 852	6114 N INVERGORDON RD SCOTTSDALE AZ 85253
169-39-007	MONTESSORI ACADEMY INC	6050 N INVERGORDON RD PARADISE VALLEY 852	6050 N INVERGORDON RD PARADISE VALLEY AZ 85253
169-39-012	FULROTH RICHARD/SABRACK NINA	6330 E KEIM DR PARADISE VALLEY 85253	6330 E KEIM DR SCOTTSDALE AZ 85253
169-39-013	YORK DOUGLAS WILLIAM/KELLI ANN TR	6316 E KEIM DR PARADISE VALLEY 85253	6316 E KEIM DR PARADISE VALLEY AZ 85253
169-39-014	DOUGLAS AND KELLI YORK FAMILY TRUST	6300 E KEIM DR PARADISE VALLEY 85253	6300 E KEIM DR PARADISE VALLEY AZ 85253
169-39-015	RICHARD J HARDEGGER LIVING TRUST	6250 E KEIM DR PARADISE VALLEY 85253	6250 E KEIM DR PARADISE VALLEY AZ 85253
169-39-016	BENNAN MICHAEL EDWARD/KELLY ANN	6238 E KEIM DR PARADISE VALLEY 85253	2130 E SAN JUAN AVE PHOENIX AZ 85016
169-39-017	GERBER FRANK M JR/STACY L	6224 E KEIM DR PARADISE VALLEY 85253	6224 E KEIM DR PARADISE VALLEY AZ 85253
169-39-018	HOLLAND SCOTT/SHELLEY	6210 E KEIM DR PARADISE VALLEY 85253	6210 E KEIM DR SCOTTSDALE AZ 85253
169-39-019	6211 E KEIM LLC	6211 E KEIM DR PARADISE VALLEY 85253	1445 N STATE PKWY NO 307 CHICAGO IL 60610
169-39-020	WHYTE SCOTT A/ELISE D	6028 N 62ND PL PARADISE VALLEY 85253	6028 N 62ND PL PARADISE VALLEY AZ 85253
169-39-021	BIXLER DENISE M	6040 N 62ND PL PARADISE VALLEY 85253	6040 N 62ND PL PARADISE VALLEY AZ 85253
169-39-022	BJAN FAMILY ENTERPRISES LLC	6241 E KEIM DR PARADISE VALLEY 85253	1402 E COLT RD TEMPE AZ 85284
169-39-023	LJG KIDS LLC	6029 N 62ND PL PARADISE VALLEY 85253	1402 E COLT RD TEMPE AZ 85284-2455
169-39-024	PEGRAM MICHAEL E	6010 N INVERGORDON RD PARADISE VALLEY 852	6010 N INVERGORDON SCOTTSDALE AZ 85253
169-39-025	ALLIED INVESTMENTS LLC	6328 E MCDONALD DR PARADISE VALLEY 85253	PO BOX 4698 SCOTTSDALE AZ 85261
169-39-026	PAPPAS JOHN	6330 E MCDONALD DR PARADISE VALLEY 85253	6330 E MCDONALD DR PARADISE VALLEY AZ 85253
169-39-027	KELSCH REVOCABLE TRUST	6001 N 62ND PL PARADISE VALLEY 85253	6001 NORTH 62ND PLACE PARADISE VALLEY AZ 85253
169-39-028	BLUECHIP INVESTMENT COMPANY LP	6019 N 62ND PL PARADISE VALLEY 85253	38355 CHIMNEY RIDGE TRL WILLOUGHBY HILLS OH 44094
169-39-029	ALEXANDER NEIL M/MARTINA M	6020 N 62ND PL PARADISE VALLEY 85253	6020 N 62ND PL PARADISE VALLEY AZ 85253
169-39-030	EHTESHAMI JOHN R/CHAHBAZI MEENOO	6018 N 62ND PL PARADISE VALLEY 85253	6018 N 62ND PL PARADISE VALLEY AZ 85253
169-39-031	MATTEI RICHARD F TR	6000 N 62ND PL PARADISE VALLEY 85253	6000 N 62ND PL PARADISE VALLEY AZ 85253
169-39-032	MILLER ADAM T/LORI I	6110 E HUNTRESS DR PARADISE VALLEY 85253	6110 E HUNTERS DR PARADISE VALLEY AZ 85253
169-39-038	OLSON WILLARD W/KO CHIUNG-HWA TR	6021 E HUNTRESS DR PARADISE VALLEY 85253	6021 E HUNTRESS DR PARADISE VALLEY AZ 85253
169-39-039	PIROS INVESTMENTS LTD	6101 E HUNTRESS DR PARADISE VALLEY 85253	11211 N TATUM BLVD #130 PHOENIX AZ 85028
169-39-040	EMILIO M JUSTO TRUST	6400 N 61ST PL PARADISE VALLEY 85253	6400 N 61ST PL PARADISE VALLEY AZ 85253
169-39-041	LAVINIA ROBERT J/RUTH E TR	6020 E NAUMANN DR PARADISE VALLEY 85253	6020 E NAUMANN DR PARADISE VALLEY AZ 85253-4221
169-39-042	SANDCASTLE ENTERPRISES LLC	6010 E NAUMANN DR PARADISE VALLEY 85253	61 PRINCEVILLE LN LAS VEGAS NV 89113
169-39-046	6021 LLC	6021 E NAUMANN DR PARADISE VALLEY 85253	12875 N 83RD PLACE SCOTTSDALE AZ 85260
169-39-047	RALPH AND CAROLEE THOMAS REVOCABLE TR	6101 E NAUMANN DR PARADISE VALLEY 85253	6263 N SCOTTSDALE RD SUITE 150 SCOTTSDALE AZ 85250
169-39-048	MARLA CP TRUST	6320 N YUCCA RD PARADISE VALLEY 85253	6320 N YUCCA RD PARADISE VALLEY AZ 85253
169-39-049	TO DEVELOPMENT LLC	6310 N YUCCA RD PARADISE VALLEY 85253	6263 N SCOTTSDALE RD NO 150 SCOTTSDALE AZ 85250
169-39-051	JENNIFER M CANNON REVOCABLE TRUST	6234 N YUCCA RD PARADISE VALLEY 85253	545 SQUAW CREEK CIR MARION IA 52302
169-39-052	GALLUCCI CARLA J TR	6224 N YUCCA RD PARADISE VALLEY 85253	6224 N YUCCA RD PARADISE VALLEY AZ 85253
169-39-053	MARILYN R HESS TRUST/BLAINE R HESS TRUST	6214 N YUCCA RD PARADISE VALLEY 85253	6214 N YUCCA RD PARADISE VALLEY AZ 85253
169-39-054	LYNNE K COOK LIVING TRUST	6200 N YUCCA RD PARADISE VALLEY 85253	6200 N YUCCA RD PARADISE VALLEY AZ 85253-4291
169-39-055	WELLS JOHN J/JACQUELINE M TR	6152 N YUCCA RD PARADISE VALLEY 85253	6152 N YUCCA RD PARADISE VALLEY AZ 85253
169-39-056	POSTLA LLC	6142 N YUCCA RD PARADISE VALLEY 85253	6142 N YUCCA RD PARADISE VALLEY AZ 85253
169-39-057	JAMB II LLC	6132 N YUCCA RD PARADISE VALLEY 85253	6132 N YUCCA RD PARADISE VALLEY AZ 85253
169-39-058	DOORNBOS M JO/PHILIP H	6122 N YUCCA RD PARADISE VALLEY 85253	6122 N YUCCA RD PARADISE VALLEY AZ 85250
169-39-059	BRACKETT JAMES/ANNE	6112 N YUCCA RD PARADISE VALLEY 85253	1203 EAST 25TH STREET TULSA OK 74114
169-39-060	TURNER R BRADFORD/ELISIN A	6100 N YUCCA RD PARADISE VALLEY 85253	6100 N YUCCA PARADISE VALLEY AZ 85253
169-39-061	QUINTANA GLADYS DIAZ	6101 N YUCCA RD PARADISE VALLEY 85253	889 NW 108TH AVE PLANTATION FL 33324
169-39-062	NFPN YUCCA LLC	6151 N YUCCA RD PARADISE VALLEY 85253	6151 N YUCCA RD PARADISE VALLEY AZ 85253
169-39-063	BERRETT BARBARA K	6201 N YUCCA RD PARADISE VALLEY 85253	6201 E YUCCA RD PARADISE VALLEY AZ 85253
169-39-064	BONNIE D VOEGELI REVOCABLE TRUST	6215 N YUCCA RD PARADISE VALLEY 85253	PO BOX 460 KECHI KS 67067
169-39-065	YUCCA ROAD LLC	6301 N YUCCA RD PARADISE VALLEY 85253	6301 N YUCCA RD PARADISE VALLEY AZ 85253
169-39-066	JAMES AND LORENE DAWSON FAMILY TRUST	6315 N YUCCA RD PARADISE VALLEY 85253	6315 N YUCCA RD PARADISE VALLEY AZ 85253
169-39-067	VOLK CHARLES R/JOYCE L	6325 N 61ST PL PARADISE VALLEY 85253	714 BELL ST N BISMARCK ND 58501
169-39-068	MCDONOUGH RYAN M/VALERIE	6228 N 61ST PL PARADISE VALLEY 85253	6228 N 61ST PL PARADISE VALLEY AZ 85253
169-39-069	M T QUAYLE TRUST/DAN QUAYLE TRUST	6224 N 61ST PL PARADISE VALLEY 85253	6224 N 61ST PL PARADISE VALLEY AZ 85253
169-39-070	TUCKER & ZHIQIN QUAYLE FAMILY TR	6214 N 61ST PL PARADISE VALLEY 85253	6214 N 61ST PL PARADISE VALLEY AZ 85253
169-39-071	MEENAGHAN JAMES J/ JEAN A TR	6200 N 61ST PL PARADISE VALLEY 85253	6200 N 61ST PL PARADISE VALLEY AZ 85253
169-39-072	DONALD AND LESLIE BUDINGER FAMILY TRUS	6154 N 61ST PL PARADISE VALLEY 85253	1934 E CAMELBACK RD 120-538 PHOENIX AZ 85016
169-39-073	QUINTANA GLADYS DIAZ	6100 N 61ST PL PARADISE VALLEY 85253	889 NW 108TH AVE PLANTATION FL 33324
169-39-074	CHATHAM JOSEPH L/VALSALA J TR	6101 N 61ST PL PARADISE VALLEY 85253	6101 N 61ST PL PARADISE VALLEY AZ 85253
169-39-075	FOWLER JACK W TR	6123 N 61ST PL PARADISE VALLEY 85253	6123 N 61ST PL PARADISE VALLEY AZ 85253
169-39-076	GALA DONALD/HEATHER	6133 N 61ST PL PARADISE VALLEY 85253	6133 N 61ST PL PARADISE VALLEY AZ 85253
169-39-077	JAMES AND CANDYCE HINES FAMILY TRUST	6143 N 61ST PL PARADISE VALLEY 85253	6143 N 61ST PL PARADISE VALLEY AZ 85253
169-39-078	LA DOLCE VITA LLC	6153 N 61ST PL PARADISE VALLEY 85253	PO BOX 464 ROSWELL NM 88202
169-39-079	FROHNEN MARK/EILEEN TR	6163 N 61ST PL PARADISE VALLEY 85253	2205 LAS TRAMPAS RD ALAMO CA 94507
169-39-080	KLEIN MICHAEL J/JOAN	6201 N 61ST PL PARADISE VALLEY 85253	6201 N 61ST PL PARADISE VALLEY AZ 85253
169-39-081	CURTIN HARRY J/NICOLE L	6215 N 61ST PL PARADISE VALLEY 85253	6215 N 61ST PL PARADISE VALLEY AZ 85253

169-39-082	RODCAM FAMILY TRUST	6229 N 61ST PL PARADISE VALLEY 85253	6229 N 61ST PL PARADISE VALLEY AZ 85253
169-39-083	VATISTAS JOHN/TASHA	6301 N 61ST PL PARADISE VALLEY 85253	6831 E 5TH AVE SCOTTSDALE AZ 85251
169-39-084	COLYER JAMES D & TONI K TR	6311 N 61ST PL PARADISE VALLEY 85253	6311 N 61ST PL PARADISE VALLEY AZ 85253
169-39-085	MAHOUBI RAY R/LISA M	6323 N 61ST PL PARADISE VALLEY 85253	6323 N 61ST PL PARADISE VALLEY AZ 85253
169-39-086	KIRBY PAMELA	6121 E NAUMANN DR PARADISE VALLEY 85253	6121 E NAUMANN DR PARADISE VALLEY AZ 85253
169-39-087	BOWE CLARENCE E JR/JUDITH D TR	6120 E NAUMANN DR PARADISE VALLEY 85253	6120 E NAUMAN DR PARADISE VALLEY AZ 85253
169-39-088	MARGARET E COCHRAN TRUST	6417 N 61ST PL PARADISE VALLEY 85253	6417 N 61ST PL PARADISE VALLEY AZ 85253
169-39-089	OVERDECK THOMAS/NANCY	6121 E HUNTRESS DR PARADISE VALLEY 85253	6121 E HUNTR DR PARADISE VALLEY AZ 85263
169-39-090	PATRICIA B COKER TRUST	6131 E HUNTRESS DR PARADISE VALLEY 85253	6131 E HUNTRESS DR PARADISE VALLEY AZ 85253
169-39-091	PLUNKETT DONALD L JR/MICHELLE P	6141 E HUNTRESS DR PARADISE VALLEY 85253	6141 E HUNTRESS DR PARADISE VALLEY AZ 85253
169-39-092	JEFFREY AND DIANA TRENT TRUST	6201 E HUNTRESS DR PARADISE VALLEY 85253	6201 HUNTRESS DR PARADISE VALLEY AZ 85253
169-39-093	ZHANG LIQUN	6211 E HUNTRESS DR PARADISE VALLEY 85253	6150 E HILLERY DR SCOTTSDALE AZ 85254
169-39-094	DKBK REAL ESTATE TRUST	6221 E HUNTRESS DR PARADISE VALLEY 85253	6221 E HUNTRESS DR PARADISE VALLEY AZ 85253
169-39-095	RALPH AND CAROLEE THOMAS REV TR SURVIV	6231 E HUNTRESS DR PARADISE VALLEY 85253	6263 N SCOTTSDALE RD SUITE 150 SCOTTSDALE AZ 85250
169-39-096	BUCHANAN DAVID R/JOAN	6301 E HUNTRESS DR PARADISE VALLEY 85253	6301 E HUNTRESS DR PARADISE VALLEY AZ 85253
169-39-097	COOVER MULTIGENERATIONAL TRUST	6350 E NAUMANN DR PARADISE VALLEY 85253	6350 E NAUMANN DR PARADISE VALLEY AZ 85253
169-39-098	MEEKISON JENNIFER	6320 E NAUMANN DR PARADISE VALLEY 85253	7530 MARK LN VICTORIA BC CANADA V93 2A1
169-39-099	SPRAGUE TODD P	6300 E NAUMANN DR PARADISE VALLEY 85253	6300 E NAUMANN DR PARADISE VALLEY AZ 85253
169-39-100	BROPHY STEPHEN M	6230 E NAUMANN DR PARADISE VALLEY 85253	10265 W CAMELBACK RD UNIT 104 PHOENIX AZ 85037
169-39-101	RAM JANAKI	6220 E NAUMANN DR PARADISE VALLEY 85253	6220 E NAUMANN DR PARADISE VALLEY AZ 85253
169-39-102	STARR TABER 1993 FAMILY TRUST	6200 E NAUMANN DR PARADISE VALLEY 85253	6200 E NAUMANN PARADISE VALLEY AZ 85253
169-39-103	KNAPP CRAIG A/DANA R	6130 E NAUMANN DR PARADISE VALLEY 85253	6130 NAUMAN DR PARADISE VALLEY AZ 85253
169-39-104	GONZALES DAVID/LORELEI KRAUSE	6131 E NAUMANN DR PARADISE VALLEY 85253	6131 E NAUMAN DR PARADISE VALLEY AZ 85253
169-39-105	MARSHALL DON C/CONNIE K TR	6201 E NAUMANN DR PARADISE VALLEY 85253	6201 E NAUMANN DR PARADISE VALLEY AZ 85253
169-39-106	MAGAN W SHAEN	6221 E NAUMANN DR PARADISE VALLEY 85253	4324 E ASHLAN AVE FRESNO CA 93726
169-39-107	DOUGHTON TRUST I	6231 E NAUMANN DR PARADISE VALLEY 85253	PO BOX 4310 SCOTTSDALE AZ 85261
169-39-108	SHAPIRO RESIDENCE TRUST	6301 E NAUMANN DR PARADISE VALLEY 85253	6301 E NAUMANN DR PARADISE VALLEY AZ 85253
169-39-109	BIVENS DONALD W/REFO PATRICIA LEE	6311 E NAUMANN DR PARADISE VALLEY 85253	6311 E NAUMANN DR PARADISE VALLEY AZ 85253
169-39-110	KNUTSON RONALD M/RUTH A	6321 E NAUMANN DR PARADISE VALLEY 85253	555 HIGHWAY 1804 NE BISMARCK ND 58503-6228
169-39-111	KAYCO LLC	6331 E NAUMANN DR PARADISE VALLEY 85253	6331 E NAUMANN DR PARADISE VALLEY AZ 85253
169-39-112	FLORENDO FEDERICO TADIAR ETAL	6341 E NAUMANN DR PARADISE VALLEY 85253	6341 E NAUMANN DR EMPLOYEES PROFIT SHARING RET T
169-39-113	GREENE LAWRENCE S TR	6351 E NAUMANN DR PARADISE VALLEY 85253	6351 E NAUMANN DR PARADISE VALLEY AZ 85253
169-39-114	PULATIE DAVID L TR	6361 E NAUMANN DR PARADISE VALLEY 85253	6361 E NAUMANN DR PARADISE VALLEY AZ 85253
169-39-115	STEER RITA A TR	6340 E HUNTRESS DR PARADISE VALLEY 85253	6340 E HUNTRESS DR PARADISE VALLEY AZ 85253
169-39-116	MUZZY HOWARD P & SUSAN J	6330 E HUNTRESS DR PARADISE VALLEY 85253	6330 E HUNTRESS DR PARADISE VALLEY AZ 85253
169-39-117	LIU XIAOMING/WANG WEI	6320 E HUNTRESS DR PARADISE VALLEY 85253	6320 E HUNTRESS DR PARADISE VALLEY AZ 85253
169-39-118	BASS DAVID M	6310 E HUNTRESS DR PARADISE VALLEY 85253	948 N SYCAMORE AVE LOS ANGELES CA 90038
169-39-119	VALENTINO JOHN J/MARY CLARE	6300 E HUNTRESS DR PARADISE VALLEY 85253	1902 NICHOLAS DR HUNTINGDON VY PA 19006-7931
169-39-120	PARKER ROBERT ALAN/JENNIFER GWYN	6230 E HUNTRESS DR PARADISE VALLEY 85253	6230 E HUNTRESS DR PARADISE VALLEY AZ 85253
169-39-121	ROBERT J BROWN REVOCABLE TRUST	6220 E HUNTRESS DR PARADISE VALLEY 85253	6220 E HUNTRESS DR PARADISE VALLEY AZ 85253
169-39-122	WILLIAM B KITE IRREV TR/ROBERT H KITE LIV T	6200 E HUNTRESS DR PARADISE VALLEY 85253	4600 E PEBBLE RIDGE RD PARADISE VALLEY AZ 85253
169-39-123	GRANT GREGORY M	6140 E HUNTRESS DR PARADISE VALLEY 85253	6140 E HUNTRESS DR PARADISE VALLEY AZ 85253
169-39-124	EDSON REVOCABLE TRUST	6130 E HUNTRESS DR PARADISE VALLEY 85253	6130 E HUNTRESS DR PARADISE VALLEY AZ 85253
169-39-125	FINISTERRE HOMEOWNERS ASSOC INC	6401 E LINCOLN DR PARADISE VALLEY 85253	9000 E PIMA CTR PKWY 300 SCOTTSDALE AZ 85258
169-39-126	BURKE RICHARD T	6011 E NAUMANN DR PARADISE VALLEY 85253	6011 E NAUMANN DR PARADISE VALLEY AZ 85253
169-39-129	CARTER FAMILY REVOCABLE TRUST	6011 N SAGUARO RD PARADISE VALLEY 85253	6011 N SAGUARO RD PARADISE VALLEY AZ 85253
169-39-130	COCHILL THOMAS R II/BONNIE L TR	6003 N SAGUARO RD PARADISE VALLEY 85253	6003 N SAGUARO RD PARADISE VALLEY AZ 85253
169-39-131	WEISS KEVIN M/ELIZABETH S	6008 N SAGUARO RD PARADISE VALLEY 85253	6008 N SAGUARO RD PARADISE VALLEY AZ 85253
169-39-132	BROWN WALTER L JR	6018 N SAGUARO RD PARADISE VALLEY 85253	7500 E MCDONALD DR SUITE 100A SCOTTSDALE AZ 85250
169-41-006	JOHN AND CAROL KEOGH TRUST	6101 N 59TH PL PARADISE VALLEY 85253	6101 N 59TH PL PARADISE VALLEY AZ 85253
169-41-007	KAYE LLC/59TH PLACE IRREVOCABLE TRUST	6031 N 59TH PL PARADISE VALLEY 85253	6112 N PARADISE VIEW DR PARADISE VALLEY AZ 85253
169-41-008	STEIN JAY D	6001 N 59TH PL PARADISE VALLEY 85253	5725 N SCOTTSDALE RD STE C195 SCOTTSDALE AZ 85250
169-42-023	SLADE A STEWART REVOCABLE LIVING TRUST	6161 N 59TH PL PARADISE VALLEY 85253	PO BOX 25109 SCOTTSDALE AZ 85255
172-01-001	GANDGPARTNERS LLC	6006 E PALO VERDE LN PARADISE VALLEY 85253	6112 N PARADISE VIEW DR PARADISE VALLEY AZ 85253
172-01-002	SIMON FAMILY TRUST	5800 N YUCCA RD PARADISE VALLEY 85253	5800 N YUCCA RD PARADISE VALLEY AZ 85253
172-01-003	SHEETS MARY CAROL	5801 N YUCCA RD PARADISE VALLEY 85253	6927 E CABALLO DR PARADISE VALLEY AZ 85253
172-01-004	FEDDERSON YVONNE TR	6135 E MCDONALD DR PARADISE VALLEY 85253	6135 E MCDONALD DR SCOTTSDALE AZ 85253
172-01-005	JANE ALISON WHITE TRUST	6245 E MCDONALD DR PARADISE VALLEY 85253	6245 E MCDONALD DR PARADISE VALLEY AZ 85253
172-01-006	R LYON REALTY INVESTMENTS LLC	6248 E PALO VERDE LN PARADISE VALLEY 85253	5050 N 40TH ST SUITE 200 PHOENIX AZ 85018
172-01-008	PALO VERDE & YUCCA LLC	5751 N YUCCA RD PARADISE VALLEY 85253	850 W ELLIOT RD UNIT 101 TEMPE AZ 85254
172-01-010	5711 INVESTMENT LLC	5711 N YUCCA RD PARADISE VALLEY 85253	7154 E STETSON DR SUITE 300 SCOTTSDALE AZ 85251
172-01-011	LARRY P CLEMMENSEN TR	5780 N SAGUARO RD PARADISE VALLEY 85253	5780 N SAGUARO RD PARADISE VALLEY AZ 85253
172-01-012	IRWIN HALE S/SALLY J TR	5720 N SAGUARO RD PARADISE VALLEY 85253	5720 N SAGUARO RD PARADISE VALLEY AZ 85253
172-01-013	MCKEEVER JEFFREY D/TAHNIA R	5660 N SAGUARO RD PARADISE VALLEY 85253	5660 N SAGUARO RD PARADISE VALLEY AZ 85253-5235
172-01-020	NEEDLES PROPERTIES LLC	5665 N SAGUARO RD PARADISE VALLEY 85253	5665 N SAGUARO RD PARADISE VALLEY AZ 85253

172-01-021	E K GAYLORD II TRUST/NATALIE J GAYLORD TR	5709 N SAGUARO RD PARADISE VALLEY 85253	5709 N SAGUARO RD PARADISE VALLEY AZ 85253
172-01-022	FKC/ADC TRUST	5739 N SAGUARO RD PARADISE VALLEY 85253	5739 N SAGUARO RD SCOTTSDALE AZ 85253
172-01-023A	MAUGHAN REVOCABLE TR		7501 E MCCORMICK PARKWAY SCOTTSDALE AZ 85258
172-01-023B	MAUGHAN REVOCABLE TR	5815 N SAGUARO RD PARADISE VALLEY 85253	7501 E MCCORMICK PARKWAY SCOTTSDALE AZ 85258
172-01-024	MAUGHAN REVOCABLE TR	6305 E MCDONALD DR PARADISE VALLEY 85253	7501 E MCCORMICK PARKWAY SCOTTSDALE AZ 85258
172-01-028	YUCCA ROAD INVESTMENTS LLC	5740 N YUCCA RD PARADISE VALLEY 85253	2140 S DUPONT HIGHWAY CAMDEN DE 19934
173-08-002B	LAISS MICHELLE A	5849 N CASA BLANCA DR PARADISE VALLEY 8525	5849 N CASA BLANCA DR PARADISE VALLEY AZ 85253
173-08-002G	LILLE PATRICIA TR	5835 N CASA BLANCA DR PARADISE VALLEY 8525	5835 N CASA BLANCA PARADISE VALLEY AZ 85253
173-09-001B	NICHOLS FAMILY LIVING TRUST	6435 E BADGETT LN PARADISE VALLEY 85253	6435 E BADGETT LN PARADISE VALLEY AZ 85253
173-09-001D	BURKE FAMILY REVOCABLE LIVING TRUST	5749 N INVERGORDON RD PARADISE VALLEY 852	5749 N INVERGORDON RD PARADISE VALLEY AZ 85253
173-09-001E	KELLOGG MICHAEL A	6424 E BADGETT LN PARADISE VALLEY 85253	6438 E BADGETT LN PARADISE VALLEY AZ 85253
173-09-002A	QURESHI NASREEN	6445 E MCDONALD DR PARADISE VALLEY 85253	6445 W MCDONALD DR PARADISE VALLEY AZ 85253
173-09-002B	HALEPOTA FAMILY TRUST	6441 E MCDONALD DR PARADISE VALLEY 85253	6441 E MCDONALD DR PARADISE VALLEY AZ 85253
173-09-003A	WAINWRIGHT JONATHAN M/MELINDA N	5828 N CASA BLANCA DR PARADISE VALLEY 8525	5828 N CASA BLANCA DR PARADISE VALLEY AZ 85253
173-09-003B	LAU FREDERICK T II/PATRICIA G	5840 N CASA BLANCA DR PARADISE VALLEY 8525	5840 N CASA BLANCA RD PARADISE VALLEY AZ 85253
173-09-003C	J M WALL DEVELOPMENT INC	5824 N CASA BLANCA DR PARADISE VALLEY 8525	7447 N 61ST ST PARADISE VALLEY AZ 85253
173-09-004	5738 CASA BLANCA LLC	5738 N CASA BLANCA DR PARADISE VALLEY 8525	5936 E SOLCITO LN PARADISE VALLEY AZ 85253
173-09-006	LOWE RONALD E/NINFA F	5816 N CASA BLANCA DR PARADISE VALLEY 8525	5816 N CASA BLANCA DR PARADISE VALLEY AZ 85253
173-09-007C	REGAL AMERICAN HOMES LLC	5728 N WILKINSON RD PARADISE VALLEY 85253	5727 N WILKINSON RD PARADISE VALLEY AZ 85253
173-09-008	SHAPIRO JACOB B/LOLA P TR	5823 N INVERGORDON RD PARADISE VALLEY 852	5909 N INVERGORDON RD PARADISE VALLEY AZ 85253
173-09-010H	PATTERSON ROBERT E	6507 E MCDONALD DR PARADISE VALLEY 85253	PO BOX 52610 TULSA OK 74152-0610
173-09-010P	UDINOTTI AGNESE TR	6511 E MCDONALD DR PARADISE VALLEY 85253	4215 N MARSHALL WAY SCOTTSDALE AZ 85251
173-09-010Q	UDINOTTI AGNESE TR	6505 E MCDONALD DR PARADISE VALLEY 85253	4215 N MARSHALL WAY SCOTTSDALE AZ 85251
173-09-011	PATTERSON ROBERT E	6447 E MCDONALD DR PARADISE VALLEY 85253	PO BOX 52610 TULSA OK 74152-0610
173-09-012	SHAPIRO JACOB BEHR/LOLA P TR	5909 N INVERGORDON RD PARADISE VALLEY 852	5909 N INVERGORDON RD PARADISE VALLEY AZ 85253
173-09-014	PAYSON AND SCOTTSDALE LLC	5800 N CASA BLANCA DR PARADISE VALLEY 8525	5800 N CASA BLANCA DR PARADISE VALLEY AZ 85253
173-09-015	FEREIDOUNI SAM S/RITA S	5740 N CASA BLANCA DR PARADISE VALLEY 8525	5740 N CASA BLANCA DR PARADISE VALLEY AZ 85253
173-09-016	MOFFITT J BARRY/GRAYBILL-MOFFITT ARLENE	5723 N INVERGORDON RD PARADISE VALLEY 852	5723 N INVERGORDON RD PARADISE VALLEY AZ 85253
173-09-022	WHITE RICHARD S/CONSTANCE K	5723 N WILKINSON RD PARADISE VALLEY 85253	5723 N WILKINSON RD PARADISE VALLEY AZ 85253
173-09-024A	LEPIRE EUGENE J/JUDITH L TR	6433 E BADGETT LN PARADISE VALLEY 85253	1865 BERKELEY DR RENO NV 89509
	PENDING		
	PENDING		
173-10-006G	INVERGORDON INVESTMENTS LLC	5641 N INVERGORDON RD PARADISE VALLEY 852	22805 N 38TH PL PHOENIX AZ 85050
173-10-006H	5650 WILKINSON LLC	5650 N WILKINSON RD PARADISE VALLEY 85253	14500 N 1ORTHSIGHT BLVD SUITE 200 SCOTTSDALE AZ 85
174-61-001	GUNN HUGH A/JEAN M REVOCABLE TRUST	6220 N 66TH ST PARADISE VALLEY 85253	6220 N CASA BLANCA RD PARADISE VALLEY AZ 85253
174-61-006B	PARADISE VALLEY TOWN OF ARIZONA	6401 E LINCOLN DR PARADISE VALLEY 85253	6401 E LINCOLN DR PARADISE VALLEY AZ 85253
174-61-006C	PARADISE VALLEY TOWN OF ARIZONA	6401 E LINCOLN DR PARADISE VALLEY 85253	6401 E LINCOLN DR PARADISE VALLEY AZ 85253
174-61-006D	PARADISE VALLEY TOWN OF	6401 E LINCOLN DR PARADISE VALLEY 85253	6401 E LINCOLN DR PARADISE VALLEY AZ 85253
174-61-006E	PARADISE VALLEY TOWN OF	6401 E LINCOLN DR PARADISE VALLEY 85253	6401 E LINCOLN DR PARADISE VALLEY AZ 85253
174-61-007B	HIATT JAMES A TR	6524 E MALCOMB DR PARADISE VALLEY 85253	6524 E MALCOMB DR PARADISE VALLEY AZ 85253
174-61-010B	PARADISE VALLEY TOWN OF	6401 E LINCOLN DR PARADISE VALLEY 85253	6401 E LINCOLN DR PARADISE VALLEY AZ 85253
174-61-010C	PARADISE VALLEY TOWN OF	6401 E LINCOLN DR PARADISE VALLEY 85253	6401 E LINCOLN DR PARADISE VALLEY AZ 85253
174-61-010D	PARADISE VALLEY TOWN OF	6401 E LINCOLN DR PARADISE VALLEY 85253	6401 E LINCOLN DR PARADISE VALLEY AZ 85253
174-61-013C	PARADISE VALLEY TOWN OF	6401 E LINCOLN DR PARADISE VALLEY 85253	6401 E LINCOLN DR PARADISE VALLEY AZ 85253
174-61-015	ZWEIG JAY A	6210 N CASA BLANCA DR PARADISE VALLEY 8525	6210 N CASA BLANCA DR PARADISE VALLEY AZ 85253
174-61-017	READ LAWRENCE A/JANET	6519 E MALCOMB DR PARADISE VALLEY 85253	6519 E MALCOMB DR PARADISE VALLEY AZ 85253
174-61-018	DANIEL AND JENNIFER GRIDLEY LIVING TRUST	6503 E MALCOMB DR PARADISE VALLEY 85253	6503 E MALCOMB DR PARADISE VALLEY AZ 85253
174-61-020	SMITH LARRY/MARIA	6136 N KACHINA LN PARADISE VALLEY 85253	500 106TH AVE NE UNIT 4003 BELLEVUE WA 98004
174-61-021	MCELMURY DONALD E/SHARON L TR	6419 E MALCOMB DR PARADISE VALLEY 85253	6419 E MALCOMB DR PARADISE VALLEY AZ 85253
174-61-022	MYERS MATTHEW F/YURIE TR	6443 E MALCOMB DR PARADISE VALLEY 85253	6443 E MALCOMB DR PARADISE VALLEY AZ 85253
174-61-023	BECKMANN LARRY H TR	6487 E MALCOMB DR PARADISE VALLEY 85253	9411 RESERVE DR CALEDONIA IL 61011
174-61-024	HISLOP IAN J	6460 E ARROYO VERDE DR PARADISE VALLEY 852	6460 E ARROYO VERDE DR PARADISE VALLEY AZ 85253
174-61-025	SWENGEL STANLEY K JR/LUCIA A TR	6420 E ARROYO VERDE DR PARADISE VALLEY 852	6420 E ARROYO VERDE DR PARADISE VALLEY AZ 85253
174-61-026	CHALLAPALLI SRINIVAS V/PATIBANDLA SUSHM	6423 E ARROYO VERDE DR PARADISE VALLEY 852	6423 E ARROYO VERDE DR PARADISE VALLEY AZ 85253
174-61-027	PHELAN TIMOTHY/KELLY	6463 E ARROYO VERDE DR PARADISE VALLEY 852	540 ELKTON DR UNIT 202 COLORADO SPRINGS CO 80907
174-61-930	CHAMPION FAMILY TRUST	6250 N CASA BLANCA DR PARADISE VALLEY 8525	6250 N CASA BLANCA DR PARADISE VALLEY AZ 85253
174-62-005F	FG 2011 IRREV TRUST/GG 2011 IRREV TRUST	6215 N CASA BLANCA DR PARADISE VALLEY 8525	6215 N CASA BLANCA DR PARADISE VALLEY AZ 85253
174-62-005G	FG 2011 IRREV TRUST/GG 2011 IRREV TRUST		6215 N CASA BLANCA DR PARADISE VALLEY AZ 85253
174-67-005C	SIDDIQI SEEMEEN TAYYIB	6610 E VALLEY VISTA LN PARADISE VALLEY 85253	6610 E VALLEY VISTA LN PARADISE VALLEY AZ 85253
174-67-005H	CARPINELLI PARQUELET FAMILY TRUST	6135 N CASA BLANCA DR PARADISE VALLEY 8525	6135 N CASA BLANCA DR PARADISE VALLEY AZ 85253
174-67-017	FIRESTONE JULIE NELSON TR	6035 N CASA BLANCA DR PARADISE VALLEY 8525	6035 N CASA BLANCA DR SCOTTSDALE AZ 85253
174-67-018B	JRRD FAMILY TRUST	6601 E VALLEY VISTA LN PARADISE VALLEY 85253	6601 E VALLEY VISTA LN PARADISE VALLEY AZ 85253
174-68-001	LOBDELL DEAN/MICHELLE	6005 N INVERGORDON RD PARADISE VALLEY 852	6005 N INVERGORDON RD PARADISE VALLEY AZ 85253
174-68-002	KACZMAREK DEREK WILLIAM/ALEXANDER GIS	6017 N INVERGORDON RD PARADISE VALLEY 852	6017 N INVERGORDON RD PARADISE VALLEY AZ 85253
174-68-004	AHMED WAHAJ/ADIL FARYAL	6006 N 64TH PL PARADISE VALLEY 85253	6006 N 64TH PL SCOTTSDALE AZ 85253

174-68-005A	NILSSEN SCOTT ARTHUR	6022 N 64TH PL PARADISE VALLEY 85253	6022 N 64TH PL PARADISE VALLEY AZ 85253
174-68-006A	CALVARY CHURCH OF THE VALLEY	6030 N 64TH PL PARADISE VALLEY 85253	6107 N INVERGORDON SCOTTSDALE AZ 85253
174-68-007	FAWAD ZAFAR AND MARSHAL HUSAIN REV TR	6021 N 64TH PL PARADISE VALLEY 85253	13682 LAKE SHORE DR CLIVE IA 50325
174-68-008	MATSON JEFFREY A	6005 N 64TH PL PARADISE VALLEY 85253	6005 N 64TH PL PARADISE VALLEY AZ 85253
174-68-012	SCHRAMM STEVEN P/ SARA A	6006 N KACHINA LN PARADISE VALLEY 85253	6006 N KACHINA LN PARADISE VALLEY AZ 85253
174-68-013	PENNEY JEFFREY A/BETH ANN TR	6016 N KACHINA LN PARADISE VALLEY 85253	6016 N KACHINA LN PARADISE VALLEY AZ 85253
174-68-014	VOTICHENCKO HELEN TR	6034 N KACHINA LN PARADISE VALLEY 85253	6034 N KACHINA LN SCOTTSDALE AZ 85251
174-68-015	CIOLLI JOSEPH MARK TR	6050 N KACHINA LN PARADISE VALLEY 85253	6050 N KACHINA LN PARADISE VALLEY AZ 85253
174-68-016	CORNERSTONE TRUST	6110 N KACHINA LN PARADISE VALLEY 85253	6110 N KACHINA LN PARADISE VALLEY AZ 85253
174-68-017	ZUBAL FAMILY TRUST	6126 N KACHINA LN PARADISE VALLEY 85253	6126 N KACHINA LN PARADISE VALLEY AZ 85253
174-68-018	MOSHIER REVOCABLE FAMILY TRUST THE	6500 E VALLEY VISTA LN PARADISE VALLEY 85253	6500 E VALLEY VISTA LN PARADISE VALLEY AZ 85253
174-68-019	6503 VALLEY VISTA LLC	6503 E VALLEY VISTA LN PARADISE VALLEY 85253	2536 S UNIVERSITY DRIVE S UNIT F FARGO ND 58103-5709
174-68-020	PORTER DAVID	6045 N KACHINA LN PARADISE VALLEY 85253	115 LAKE AVE W APT 101 KIRKLAND WA 98033-6184
174-68-021	DOBBS ANNE MARIE T TR	6029 N KACHINA LN PARADISE VALLEY 85253	6029 N KACHINA LN PARADISE VALLEY AZ 85253
174-68-022	DIRTSTORM LLC	6009 N KACHINA LN PARADISE VALLEY 85253	6009 N KACHINA LN PARADISE VALLEY AZ 85253
174-68-023	ANTHONY A AND SANDRA E SMITH FAMILY TR	6000 N CASA BLANCA DR PARADISE VALLEY 8525	6000 N CASA BLANCA RD PARADISE VALLEY AZ 85253
174-68-024	ALDUINO FAMILY TRUST/PIETRO V ALDUINO T	6028 N CASA BLANCA DR PARADISE VALLEY 8525	6028 N CASA BLANCA DR PARADISE VALLEY AZ 85253
174-68-025	HUNT CHRISTOPHER JOHN/ANTONIA MARIA	6100 N CASA BLANCA DR PARADISE VALLEY 8525	6100 N CASA BLANCA PARADISE VALLEY AZ 85253
174-68-026	OASIS ANESTESIA CONSULTANTS PLLC	6122 N CASA BLANCA DR PARADISE VALLEY 8525	6122 N CASA BLANCA DR PARADISE VALLEY AZ 85253
174-68-027	BRETT GEORGE/LESLIE	6204 N CASA BLANCA DR PARADISE VALLEY 8525	6204 N CASA BLANCA DR PARADISE VALLEY AZ 85253
174-68-028A	CALVARY CHURCH OF THE VALLEY	6107 N INVERGORDON RD PARADISE VALLEY 852	6107 N INVERGORDON RD SCOTTSDALE AZ 85253



MONTESSORI ACADEMY NEW BUILDING
6050 N. INVERGORDON ROAD
PARADISE VALLEY, ARIZONA

CRANE CONCEPTS
PROJECT DESIGN
Scottsdale, Arizona
480-295-1000

REVISIONS	DATE

LOT AREA

GROSS = 4.142 ACRES OR 180,427± SQ. FT.
NET = 3.996 ACRES OR 174,048± SQ. FT.
NET AREA IS THE AREA OF THE DESCRIBED PARCEL LESS ROADWAY EASEMENT

AUXILIARY BUILDING AREAS

EXISTING STORAGE.....604 S.F.
NEW STORAGE ADDITION.....700 S.F.

TOTAL AUXILIARY BLDG.....1,304 S.F.

LOT AREA.....174,048 S.F.

BUILDING.....

ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING CODES AND AMENDMENTS PER THEIR ADOPTING ORDINANCES.

2015 International Residential Code 2015 International Building Code

2015 International Mechanical Code 2015 International Plumbing Code

2015 International Fuel Gas Code 2015 International Fire Code

2015 Int'l Property Maintenance Code 2014 National Electric Code

2015 International Energy Conservation Code

PROJECT DATA

PROJECT ADDRESS.....6050 N. INVERGORDON RD.
ZONING.....SUP-P
USE.....SCHOOL
TAX ASSESSOR'S NO..... 169-39-007
LEGAL DESCRIPTION.....(see LEGAL below)
NET AREA OF LOT.....174,048 S.F.
OWNER: Montessori Academy Inc.

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARICOPA, STATE OF ARIZONA, AND IS DESCRIBED AS FOLLOWS:

THAT PORTION OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 9, TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 9;

THENCE NORTH 466.7 FEET ALONG THE EAST LINE OF SAID SECTION TO THE TRUE POINT OF BEGINNING;

THENCE WEST 933.4 FEET;

THENCE NORTH 193.3 FEET;

THENCE EAST 933.4 FEET;

THENCE SOUTH 193.3 FEET TO THE POINT OF BEGINNING.

SHEET INDEX

C-S COVER SHEET (PART 1 & PART 2)
S-P SITE PLAN
GSN GENERAL STRUCTURAL NOTES
A1 FLOOR PLAN NOTED
A2 FLOOR PLAN DIMENSIONED
A3 FOUNDATION & DEMOLITION PLAN
A4 EXTERIOR ELEVATIONS
A5 SECTION PLAN
A6 ROOF FRAMING PLAN
A7 ROOF PLAN
E1 ELECTRICAL PLAN
D1 DETAILS

MONTESSORI ACADEMY
NEW BUILDING
6050 N. INVERGORDON ROAD
PARADISE VALLEY, ARIZONA

DRAWN
CHECKED
DATE 4-14-18
SCALE

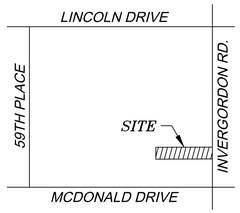
TITLE
C-S

COVER SHEET

SITE PLAN

MONTESSORI ACADEMY NEW BUILDING

6050 N. INVERGORDON ROAD
PARADISE VALLEY, ARIZONA



VICINITY MAP

NOT TO SCALE

BUILDING TABLE			
BUILDING	TYPE	HEIGHT	SQ. FEET
2	REMOVE WOOD SHED	10'±	200
3	ONE STORY BLOCK	14'±	400
4	ONE STORY BLOCK	14'±	1,464
5	ONE STORY BLOCK	11'±	1,540
6	ONE STORY WOOD	13'±	1,260
7	WOOD SHED	9'±	160
8	WOOD SHED	8'±	128
9	ONE STORY BLOCK & WOOD	13'±	2,017
10	ONE STORY STUCCO	14'±	5,031
11	ONE STORY WOOD	10'±	662
12	ONE STORY STUCCO, STONE & WOOD	10'±	3,448
1	STORAGE ADDITION	10'±	500

AREA

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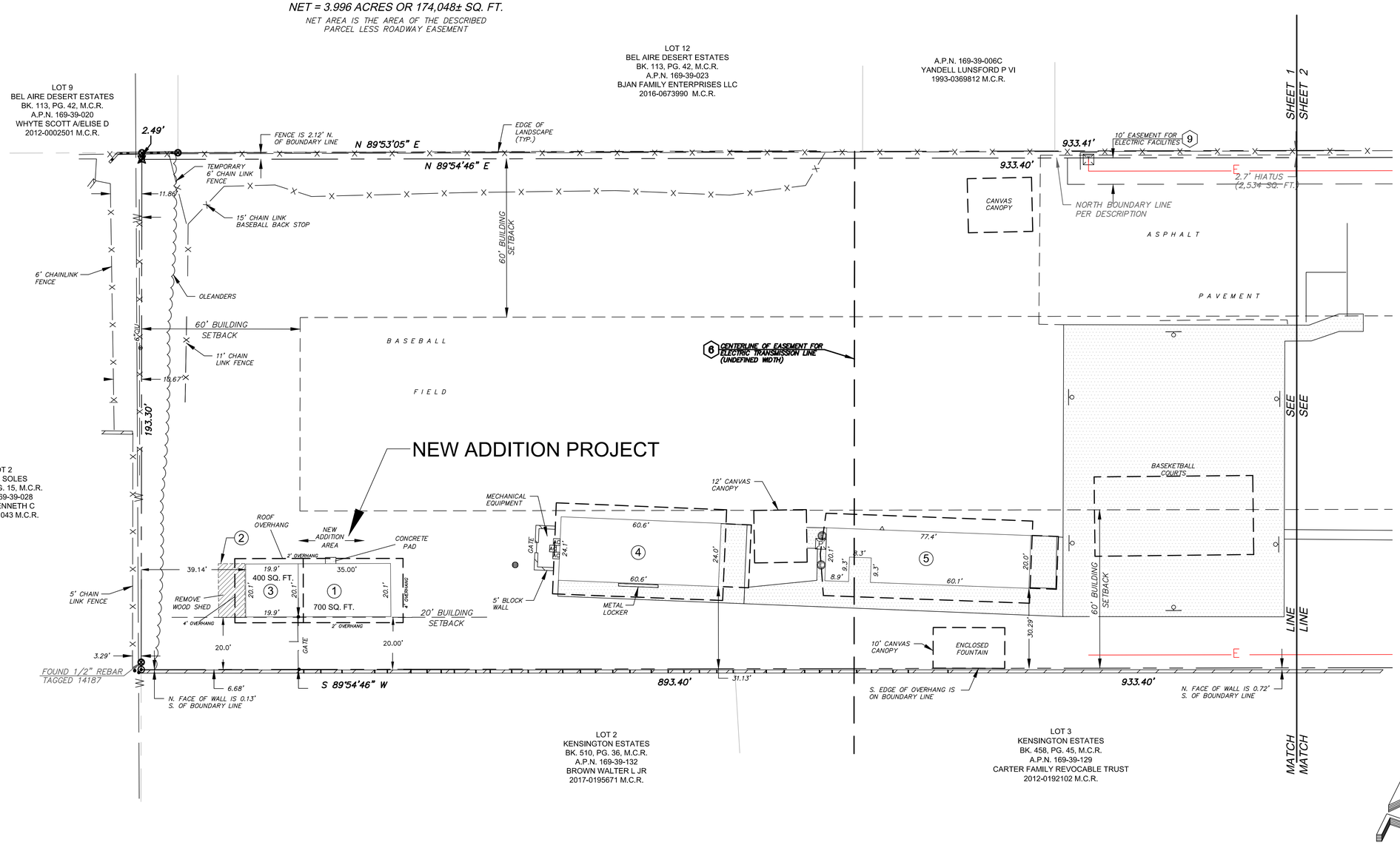

REV.

CAMELBACK BUILDERS

SITE PLAN PART 1 & PART 2

APN: 169-39-007

NEW BUILDING PROJECT
6050 N. INVERGORDON ROAD
PARADISE VALLEY, ARIZONA

SITE

SITE PLAN

MONTESSORI ACADEMY NEW BUILDING

6050 N. INVERGORDON ROAD
PARADISE VALLEY, ARIZONA

BUILDING TABLE			
BUILDING	TYPE	HEIGHT	SQ. FEET
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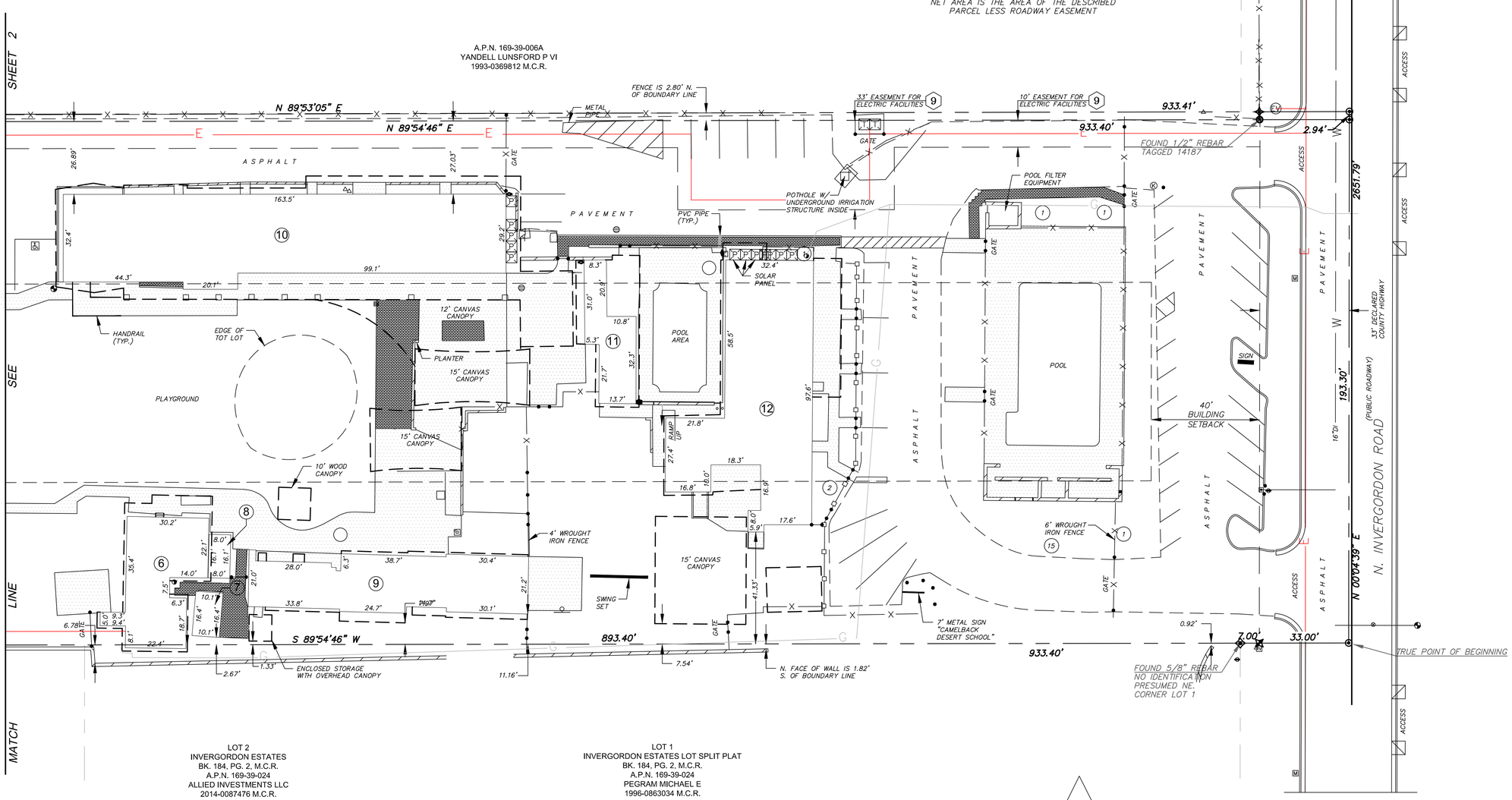


REV.	DATE	DESCRIPTION	CK. BY
1			

CAMELBACK BUILDERS

SITE PLAN PART 1 & PART 2

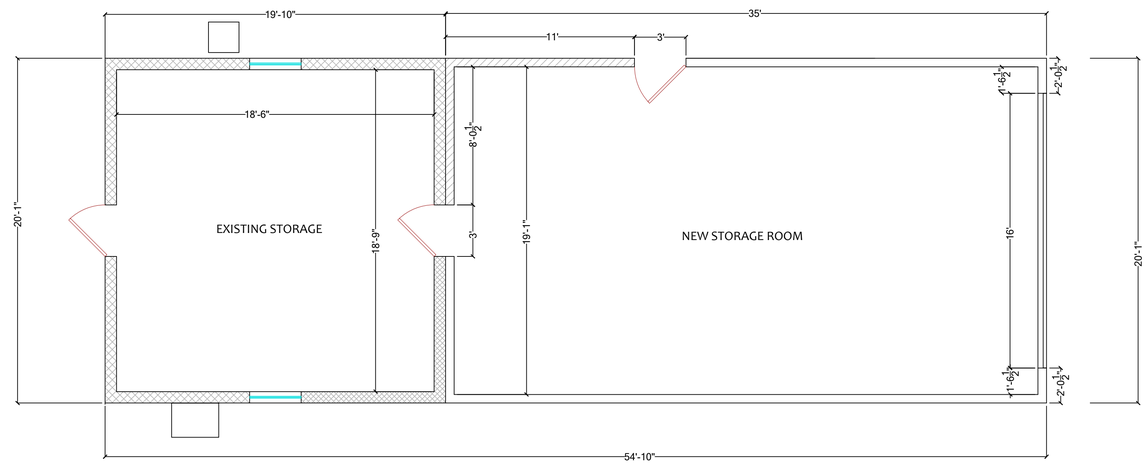
APN: 169-39-007

NEW BUILDING PROJECT
6050 N. INVERGORDON ROAD
PARADISE VALLEY, ARIZONA

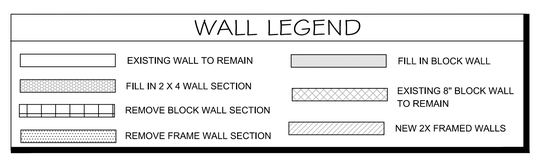
SITE

CRANE CONCEPTS
PROJECT DESIGN
Scottsdale, Arizona
480-295-1000

REVISIONS	DATE



FLOOR PLAN - DIMENSIONED



MONTESSORI ACADEMY
NEW BUILDING
6050 N. INVERGORDON ROAD
PARADISE VALLEY, ARIZONA

DRAWN

CHECKED

DATE
4-14-18

SCALE

FLOOR PLAN - DIMENSIONED

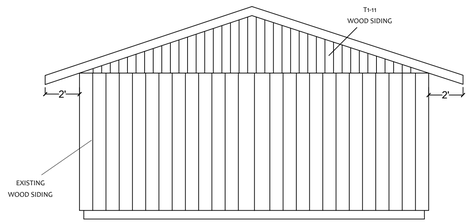
1/4" = 1' -0"

TITLE

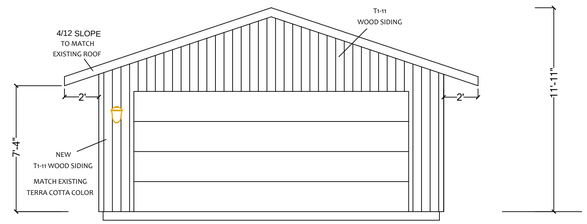
A-2

CRANE CONCEPTS
PROJECT DESIGN
Scottsdale, Arizona
480-295-1000

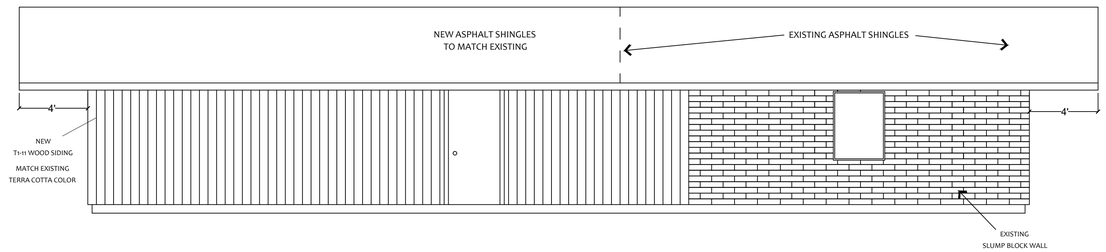
REVISIONS	DATE



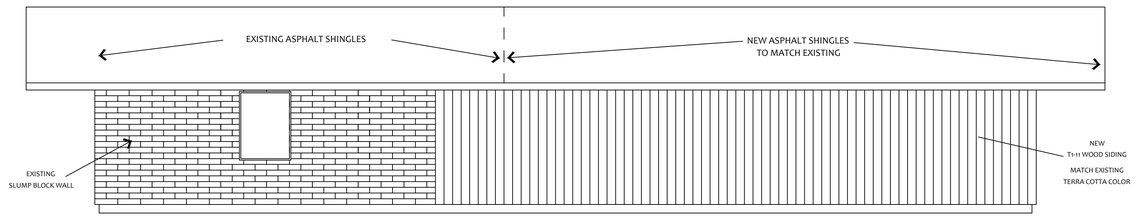
REAR ELEVATION



FRONT ELEVATION



RIGHT SIDE ELEVATION



LEFT SIDE ELEVATION

ELEVATION PLAN

1/4" = 1' -0"

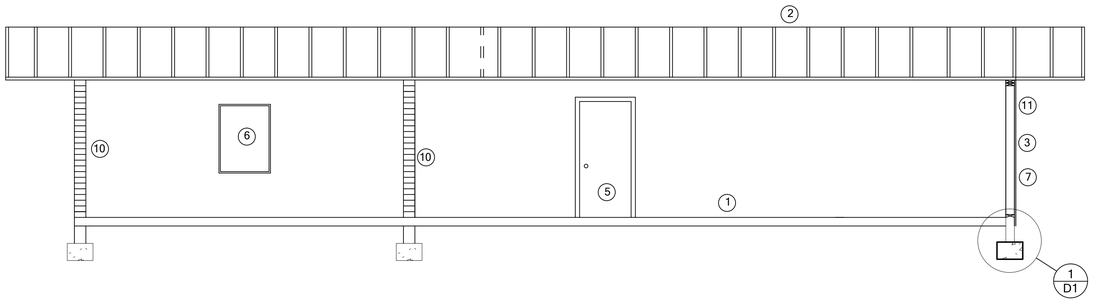
MONTESSORI ACADEMY
NEW BUILDING
6050 N. INVERGORDON ROAD
PARADISE VALLEY, ARIZONA

DRAWN
CHECKED
DATE
4-14-18
SCALE

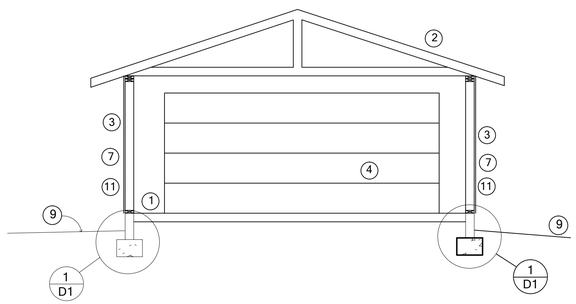
TITLE
A-4

CRANE CONCEPTS
PROJECT DESIGN
Scottsdale, Arizona
480-295-1000

REVISIONS	DATE



BUILDING SECTION - A



BUILDING SECTION - B

1. 4" CONCRETE SLAB OVER MIN. 4" A.B.C. FILL.
2. PRE-FAB WOOD TRUSSES AT 24" O.C. (CITY APPROVED) - SEE TRUSS SCHEDULE.
3. NEW 2 X 6 EXTERIOR WALL
4. GARAGE DOOR
5. ENTRY DOOR
6. WINDOW
7. STUCCO COATING
8. EXISTING 2 X 4 WALL TO REMAIN
9. FINISH GRADE.
10. EXISTING SLUMP BLOCK WALL TO REMAIN
11. NEW T1-11 WOOD SIDING

MONTESSORI ACADEMY
NEW BUILDING
6050 N. INVERGORDON ROAD
PARADISE VALLEY, ARIZONA

DRAWN
CHECKED
DATE
4-14-18
SCALE

SECTION PLAN

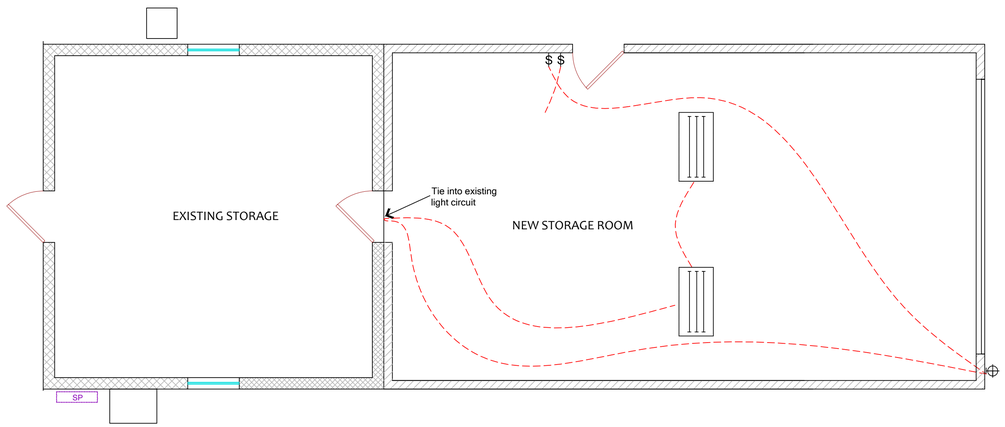
1/4" = 1' -0"

TITLE

A-5

CRANE CONCEPTS
PROJECT DESIGN
Scottsdale, Arizona
480-295-1000

REVISIONS	DATE



ELECTRICAL SYMBOLS

- $ SWITCH
- $3 3-WAY SWITCH
- $4 4-WAY SWITCH
- DUPLEX OUTLET (TAMPER RESISTANCE)
- FO FLOOR OUTLET
- GFCI GROUND FAULT CIRCUIT INTERRUPTER
- WP WATERPROOF
- FLUORESCENT TUBE FIXTURE
- ES ELECTRICAL SERVICE METER PANEL
- SP SUB PANEL
- J JUNCTION BOX

ARC FAULT CIRCUIT INTERRUPTER

Two or more 20 amp small appliance circuits shall be provided to serve the kitchen, breakfast room, and dining room. Such circuits shall have no other outlets (NEC Article 210-52).
At least one 20-amp branch circuit shall be installed to serve the laundry room and this circuit shall have no other outlets (IRC E3703.2, E3901.3).
Outlet boxes in the garage side of the wall between the dwelling and the garage and in the garage ceiling shall be metal or other materials listed for the use intended (IRC R302.4.2).
All branch circuits that supply 120-volt, single-phase, 15- and 20-ampere outlets installed in family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreations rooms, closets, hallways and similar rooms or areas shall be protected by a combination type arc-fault circuit interrupter installed to provide protection of the branch circuit.

Grounding conductor shall be a minimum of 20 feet of #4 bare copper wire embedded in the concrete footing (Ufer).
A minimum of one #4 copper wire connecting the building's metal water and gas piping system to the service equipment enclosure grounding buss for 200 or less SES.

ELECTRICAL PLAN

1/4" = 1' -0"

CRANE CONCEPTS DESIGN
Innovative Building Designs
480-295-1000

RESIDENTIAL REMODEL
10040 E. HAPPY VALLEY RD. 2059
SCOTTSDALE, ARIZONA

DRAWN
CHECKED
DATE
4-8-17
SCALE

TITLE
E-1

Montessori Academy

6050 N Invergordon Rd.
Paradise Valley, AZ 85253
Phone: 480-945-1121
Fax: 480-874-2928
Montessoriacademyaz.org

March 22, 2018

Re: Montessori Academy Shipping Pods/Storage

Although we are disappointed in not being able to keep our storage pods, we do respect your decision to have them removed. We absolutely need the storage capacity that the pods provide and appreciate being given some time to come up with a plan.

Being a non-profit charter school, we are on a very strict budget, which adds to the challenge of building permanent storage onsite. We have rallied some of our parents in the construction industry and have submitted a preliminary site plan. Following the commissioner's suggestions, we plan on adding to the existing structure, following the existing setbacks. We will also bring the existing additional attached storage up to code, if needed. Our parent contractor has procured a draftsman to complete the plans, for us as close to cost as possible. In the meantime, he is also procuring the materials and manpower to complete the project.

We are in regular school session until the end of May and begin Summer Camp one week later. The storage pods would be emptied the end of May and typically filled with our traditional classroom furniture for the summer and then the transition happen again the last week in July for an August start of school. Depending on the timeline having the project approved, materials and manpower available, and the funding, we have no problem fencing off a portion of our property to start construction before the end of the school year. If we could have the storage built by the "transition" of items in the storage pods, the traditional classroom furniture could go right into the new storage, the pods would be empty, they would be sold and removed by June. That is plan A, the most desirable.

Plan B would be on an extended timeline, but within 12 months, dependent on funds and supplies.

We would be happy to provide any additional information as requested.

Respectfully,

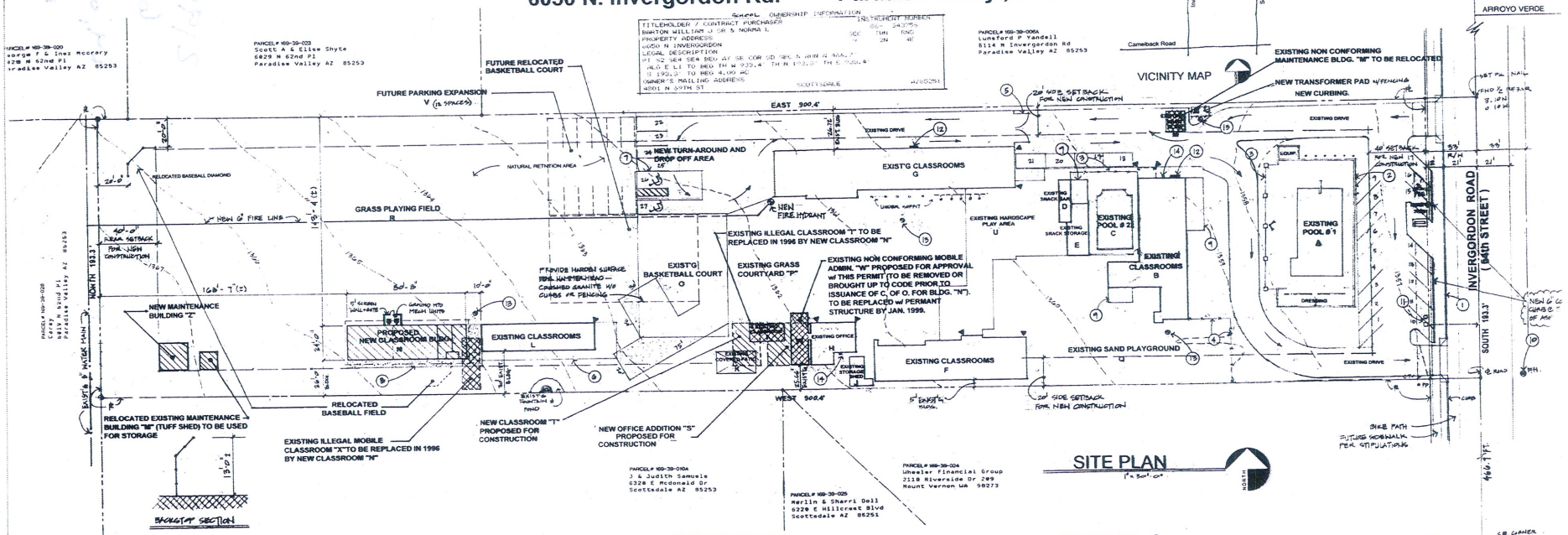
Julianne Lewis Newman
Executive Director/Principal

Montessori Academy, Inc.
is
a 501(c)3 non-profit
organization

1996 Proposed Amendment to the Master Plan of

Camelback Desert School

6050 N. Invergordon Rd. Paradise Valley , Ariz.



SQUARE FOOTAGE ANALYSIS

CATALOG LABEL	APPROVED 1986 MASTER PLAN	1986 MASTER PLAN NON CONFORMING BLDG.	PROPOSED 1996 AMMENDED MASTER PLAN
A	5000 S.F.		
B	3572 S.F.		
C	2210 S.F.		
D	240 S.F.		
E	528 S.F.		
F	2704 S.F.		
G	4980 S.F.		
H	572 S.F.		
I		290 S.F.	
J	225 S.F.		
K	390 S.F.		
L	1560 S.F.		
M		180 S.F.	
N			1920 S.F.
O	5100 S.F.		
P	14,400 S.F.		
Q	6300 S.F.		
R	59,000 S.F.		
S			900 S.F.
T			600 S.F.
U	500 S.F.		
V	3300 S.F.		
W		420 S.F.	
X		420 S.F.	
Z			400 S.F.
TOTAL S.F.	110,581 S.F.	1310 S.F.	3820 S.F.

As approved by the Town Council on October 10, 1996.

11-12-96
Date

SITE DATA

GROSS SITE AREA : 174,047.32 S.F. (3.99 AC.)
NET SITE AREA : 172,599.32 S.F. (3.96 AC.)
TOTAL BLDG. S.F. : 17,191 S.F. 10.0% COVERAGE
TOTAL PARKING S.F. : 16,700 S.F. 9.2% COVERAGE
TOTAL GREENBELT S.F. : 73,466 S.F. 43.3% COVERAGE
(49% OF GREENBELT IS LANDSCAPED)

PARKING DATA

TOTAL EXISTING PARKING PROVIDED : 45 SPACES
TOTAL PROPOSED PARKING WITH
NEW TRAFFIC LAYOUT : 27 SPACES
(INCLUDES 3 HANDICAP SPACES)
FUTURE SPACES PROPOSED : 12 SPACES
TOTAL EXIST'G AND FUTURE PARK'G : 39 SPACES

APPROVED EXTERIOR LIGHTING DATA*

KEY	TYPE	MANUF	LAMP	QUANTY
	FIXTURE "A" 18 FT. POLE AREA FLOOD	HUBBEL	4-75 WATT TRIAND. FLOOD 750 LUMENS	1
	FIXTURE "B" LANDSCAPE LOW VOLTAGE	MALIBU	16 WATT LOW VOLTAGE 156 LUMENS	10
	FIXTURE "C" WALL MTD AREA FLOOD	HUBBEL	75 WATT QUARTZ FLD 750 LUMENS	9
	FIXTURE "D" TRACK SPOT UNDER OPPTY	HUBBEL	75 WATT INCANDESC. 750 LUMENS	5 spts
	FIXTURE "E" RECESS DOWN UNDER SOFFIT	HALO	75 WATT 6" SHIELDED. 750 LUMENS	5 cans

NO NEW EXTERIOR LIGHTING PROPOSED.

ALL EXISTING LIGHTING TO BE REVISED TO MEET CURRENT TOWN STANDARDS 75w/750 LUMENS MAX.

BUILDING DATA

CATALOG	USE	SIZE	% COVERAGE	NEW OR EXIST.
A	MAIN POOL #1	5000 S.F.	2.77%	EXISTING
B	CLASSROOM BLDG.	3572 S.F.	1.98%	EXISTING
C	SECONDARY POOL #2	2210 S.F.	1.22%	EXISTING
D	SNACK BAR	240 S.F.	0.13%	EXISTING
E	SNACK STORAGE	528 S.F.	0.29%	EXISTING
F	CLASSROOM BLDG.	2704 S.F.	1.50%	EXISTING
G	CLASSROOM BLDG.	4980 S.F.	2.76%	EXISTING
H	ADMIN.OFFICE	572 S.F.	0.31%	EXISTING
I	CLASSROOM BLDG.NON-CONFRM	290 S.F.	0.13%	TO BE REMOVED*
J	STORAGE SHED	225 S.F.	0.12%	EXISTING
K	COVERED PATIO	390 S.F.	0.22%	EXISTING
L	CLASSROOM BLDG.	1560 S.F.	0.86%	EXISTING
M	MAINTENANCE BLDG.(TUFF SHED)	180 S.F.	0.10%	TO BE RELOCATED
N	NEW CLASSROOM BLDG.	1920 S.F.	1.06%	NEW
O	ASPHALT BASKETBALL COURT	5100 S.F.	2.80%	EXISTING
P	GRASS COURTYARD	14,400 S.F.	7.90%	EXISTING
Q	SAND PLAYGROUND	6300 S.F.	3.50%	EXISTING
R	GRASS PLAYING FIELD	59,000 S.F.	32.60%	EXISTING
S	FUTURE OFFICE ADDITION	900 S.F.	0.49%	NEW
T	FUTURE EXPANDED CLASSROOM	600 S.F.	0.33%	NEW
U	HARDSCAPE PLAY AREA	500 S.F.	0.27%	EXISTING
V	FUTURE PARKING AREA	3300 S.F.	1.83%	NEW
W	MOBILE ADMIN.-NON-CONFRM'G	420 S.F.	0.28%	TO BE REMOVED BY 1999
X	MOBILE CLSSRM-NON-CONFRM'G	420 S.F.	0.28%	TO BE REMOVED*
Z	NEW MAINTENANCE BLDG.	400 S.F.	0.20%	NEW

* TO BE REMOVED PRIOR TO ISSUANCE OF CERT. OF OCCUP. FOR NEW CLASSROOM "N".

KEY NOTES:

01. EXISTING CONC. CURB
02. EXISTING 6 FT. BLOCK FENCE
03. EXISTING 5 FT. W.I. FENCE
04. EXISTING 6 FT. CHAIN LINK FENCE
05. EXISTING SECURITY GATE WITH NEW KNOX BOX ON ADJACENT BLDG. FOR EMERGENCY ACCESS
06. EXISTING CONC. SIDEWALK
07. EXISTING COVERED PARKING STRUCTURE TO BE REMOVED
08. NEW CONC. SIDEWALK
09. EXISTING COVERED PORCH AREA
10. EXISTING FIRE HYDRANT
11. EXISTING WATER METER & GAS VALVE
12. EXISTING ELECTRICAL S.E.S.
13. EXISTING SEPTIC TANK C.O.
14. EXISTING GAS METER

NOTES :

1. THIS PROJECT TO COMPLY WITH SECT. 1024 THE ZONING ORDINANCE-TOWN OF PARADISE VALLEY.
2. EXISTING POWER POLES ARE CURRENTLY BEING REMOVED AND REPLACED BY AN UNDERGROUND SERVICE SYSTEM.
3. SEE PLAN FOR LOCATION OF NEW FIRE LINE AND HYDRANT AND HAMMER HEAD DRIVE
4. GRADES : PRESCHOOL THRU EIGHT
5. EMPLOYEES : 25 TOTAL
6. STUDENTS CURRENTLY ENROLLED : 210
7. UTILITIES AS FOLLOWS :
   PARADISE VALLEY WATER CO.....WATER
   ARIZONA PUBLIC SERVICE.....ELECT
   SOUTHWEST GAS.....GAS
4 SEPTIC LOCATIONS ON SITE
8. NO NEW WALLS OR FENCES PROPOSED EXCEPT FOR MECH. SCREEN WALL @ NEW CLASSROOM "N".

ART & SPACE
GOSNEY CAPPELLO
ARCHITECTS, LTD
(602) 991-7602 FAX (602) 991-8909
7633 E. Acoma Dr. Suite 106 Scottsdale, AZ 85260

A NEW CLASSROOM BLDG. FOR :

CAMELBACK DESERT SCHOOL

6050 N. INVERGORDON RD. PARADISE VALLEY, AZ.

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date: FEB 1, 1996	revisions	
drawn by: RM	1 JULY 12, 1996	1
checked by:	2 REVISED 9-17-96	
drawing name:	3	
	4	
job no.	5	FINAL OCT. 10, 1996

18,591 ⌀ STANDARD

1996

MONTESSORI ACADEMY
6050 N INVERGORDON ROAD
STIPULATIONS
MINOR SPECIAL USE PERMIT AMENDMENT
SUP-18-01

May 15, 2018

The existing Special Use Permit zoning for the Montessori Academy is on the land legally described as that portion of the Southeast quarter of the Southeast quarter of Section 9, Township 2 North, Range 4 East of the Gila and Salt River Base and Meridian, Maricopa County; Arizona, described as follows:

BEGINNING at the Southeast corner of said Section 9;

THENCE North 466.7 feet along the East line of said Section to the TRUE POINT OF BEGINNING;

THENCE West 933.4 feet;

THENCE North 193.3 feet;

THENCE East 933.4 feet;

THENCE South 193.3 feet to the POINT OF BEGINNING.

(Assessor's Parcel Number 169-39-007) (the "Property").

The Property has a General Plan designation of "Public/Quasi Public" and is zoned "Special Use Permit Special Use Permit –Private School, Non-Profit Organization, Public/Quasi Public," the allowable designation and zoning for a private school.

The Town of Paradise Valley Planning Commission held a public hearing on May 15, 2018, in the manner prescribed by law, for the purpose of considering a minor amendment to the Special Use Permit for said Property.

This minor amendment is for an addition to the existing storage structure located at the southwest corner of said Property. The total square footage of the storage structure will not be more than 1,200 square feet. The structure will maintain the existing maximum 12-foot height. The west setback will be increased from approximately 29 feet to 39 feet and the south setback will remain at 20 feet. The request also includes approval for temporary screening for the playing field south of the existing backstop chain link fencing and the removal of two nonconforming shipping containers.

Said Property is subject to the following stipulations:

STIPULATIONS In the case of discrepancies between approved plans, those with a later date shall take precedence.

May 15, 2018 Minor SUP Amendment (SUP-18-01)

Approval of an addition to an existing 400 square-foot storage structure located at the southwest corner of said Property for a total square footage not to exceed 1,125 square feet; approval of temporary screening for the playing field; and the removal of two nonconforming shipping containers used for storage of school equipment; subject to the following stipulations:

1. All improvements related to application (i.e. storage building) SUP-18-01 shall be in substantial compliance with the plan set prepared by Camelback Builders, dated April 14, 2018 (Sheets C-S, Site 1 of 2, Site 2 of 2, A-2, A-4, and A-5) and dated April 8, 2017 (Sheet E-1).

2. The property owner and Town shall sign and record a Waiver of Rights and Remedies agreement under A.R.S. § 12-1134 (Proposition 207 Waiver) in the form provided by the Town Attorney within 10 calendar days of the approval of this amendment to the Special Use Permit.

3. Exterior lighting shall be limited to near doorways only, be mounted less than 7 feet in height from the grade of the building, and shall comply with the Section 2, Lighting, of the Town's Special Use Permit Guidelines, as may be amended.

4. A temporary netting structure to prevent errant balls from entering neighboring properties is allowable to remain provided this structure is redesigned and is approved via a building permit through the Town. This structure shall comply with the following criteria:

a) a setback of at least 20 feet from perimeter property line of said Property,
b) a lineal length not to exceed 80 feet,
c) a height not to exceed 13 feet as measured from grade to the highest part of the structure,
d) uses pole and netting material that is neutral in color and without glare (e.g., matte finish, beige or black color),
e) the entire structure be removed and stored when not in use (i.e., poles, netting),
f) any holes in the ground will be capped when not in use, and
g) the structure is allowable to be erected starting the Saturday of Memorial Day weekend at the end of May until the first Saturday of August.

5. The shipping containers located on the subject property shall be removed no later than January 5, 2019.

6. All necessary building permits must be obtained.

7. All applicable Special Use Permit remain in effect.

<u>July 27, 2017 Managerial SUP Amendment (SUP-17-08)</u>

Approval of a 10-foot tall 20-foot by 20' foot playground shade structure, subject to the following stipulations:

1. All improvements to the property shall be in substantial compliance with the following:
   a) *Narrative dated July 25, 2017;*
   b) *Shade Structure details prepared by Ultra Shade, dated March 23, 2013;*
   c) *Isometric, Views& Details, and Footing Details prepared by Ultra Shade, sealed by Thomas Sadler, dated June 21, 2017; and*
   d) *Aerial Site Plan dated July 25, 2017 showing shade structure location*

2. All necessary building permits must be obtained.

3. All applicable Special Use Permit remain in effect.

<u>December 19, 2013 Managerial SUP Amendment (SUP-17-08)</u>

Approval of 186 roof-mounted solar panels. The panels will be placed on buildings A, B, C, D, E, F & G on our site plan diagram. Buildings A, B & D are pitched roofs, where the solar panels will be flush mounted. The flush mounted panels will be no higher than 7 inches above the roof. Buildings C, E, F & G are flat roofs, so the solar panels will be tilted up 10 degrees. Buildings C & G do not have parapet walls. Buildings E & F have parapet walls that range in height from 1 ft to 3 ft. The tilted

solar panels will be no higher than 2 ft, 1 inch above the roof, subject to the following stipulations:

1. All improvements to the property shall be in substantial compliance with the following:
    a) The narrative; and
    b) The site plan and elevation plans prepared by K&B Design and dated December 9, 2013.

2. All necessary permits shall be obtained.

<u>May 4, 2010 Minor SUP Amendment (SUP-10-05)</u>

To modify the student count to accommodate a private school and charter school, change the waste water infrastructure stipulation and update the existing monument sign with a new copy and logo for the Montessori Academy, subject to the following stipulations:

1. Student count shall be limited to:
    a) 214 enrolled students for private activities; and
    b) 350 enrolled students for times when both private and charter school students will be on campus at the same time, of which no more than 214 shall be enrolled private school students.

2. The waste water infrastructure stipulation shall be modified as follows:
    a) All wastewater facilities on the site shall be connected to the Town wastewater collection/sewer system within five (5) years of sewer being installed in Invergordon Road along the frontage of the subject property

3. All remaining Special Use Permit stipulations shall remain in full force and effect.

4. Traffic and circulation options shall be substantially compliant with the Montessori Academy Traffic Impact Analysis, prepared by CivTech, dated April 2010.

5. Upon enrollment, as defined above, exceeding 250 students, or if excessive delay or congestion is observed by the Town Engineer (with excessive delay or congestion being defined as excessive or significant stacking of traffic on Invergordon Road) the owner of the property shall commission and submit a traffic report to the Town assessing the conditions on Invergordon Road. If the Town Engineer, upon receipt of said report, determines that there is excessive delay or congestion (as previously defined herein), the Town may require the school to do either or both of the following:
    a) Further stagger class start times; or
    b) Modify Invergordon Road to accommodate a new left turn lane.

5. On October 1st every year, Montessori Academy shall provide the Town with an annual report identifying the private student, charter student, and combined student enrollment.

6. The monument sign shall be substantially compliant with Exhibit G, Proposed Revised Copy for Existing Monument Sign, prepared by Rose Law Group, dated March 23, 2010.

March 10, 2010 Zoning Administrator Interpretation

The Development Services Director determined that the school's request to operate a summer camp is allowable based on the historical uses on the property provided total camp enrollment does not exceed 214 students.

April 30, 2007 Administrative SUP Amendment

A staff administrative amendment to replace the slump block fence around the pool with a 6-foot wrought iron fence and landscaping, along with 6-foot high wrought iron security gates that parallel the pool fence and are setback 30-40 feet from Invergordon Road. Gates are to be open during school hours. No available plans on record.

May 11, 2006 Administrative SUP Amendment

A staff administrative amendment for an addition of a 200 square-foot patio cover for Building F and a 264 square-foot patio cover for Building G. Both patio covers at a height of 10 feet. These are the two class room buildings in the middle of the site adjoining the north and south property lines. Noticing of adjoining property owners was done as part of this approval. No available plans on record.

October 10, 1996 Major SUP Amendment (SUP-96-03)

To approve two new classroom buildings and an office building. The 900 square-foot office building is located near the middle of the site along the south property line. A 600 square-foot classroom building is also located near the middle of the site along the south property line, west of the new office building. A 1,920 square-foot classroom building midway between the west property line and the middle of the site along the south property line. Both classroom structures replaced existing illegal mobile classrooms. The amendment to the SUP was as motioned and recorded in the Town Council minutes. This SUP supersedes the prior SUP approvals. The stipulations were as follows:

1. That within 30 days of approval, the applicant will provide the Town with a mylar copy of the site Master Plan, Landscape Plan, 2 Building elevation sheets, and Traffic Plan as approved by the Town Council with a signature block for the Town Clerk's certification.

2. That prior to issuance of a Certificate of Occupancy for the New Classroom Building **"N:**

   a) the proposed emergency vehicle hammerhead turnaround be surfaced with a stabilized decomposed granite, or other dust free surface acceptable to the Town Engineer;
   b) a curb be installed along the full length of the frontage of the swimming pool parking area;
   c) maintenance building "M" be removed entirely from the site, unless it can be brought up to all required codes in which case it may be relocated to the site noted on Sheet #6, the revised Landscape Plan;
   d) existing illegal classroom, "I", be removed entirely from the site;

   e) the following outdoor light fixtures and/or bulbs be replaced to comply with Section 1023 of the Town Zoning Ordinance, the Town be provided with "cut sheets" for all new outdoor lighting fixtures, and the site plan be corrected to reflect outdoor lighting changes, including the following limits for the fixtures noted: Fixtures "A, "C", "D "E" - 75 watts/750 lumens;
   f) all proposed landscaping be installed in accordance with the proposed Landscape Plan;
   g) that the office building, Building X (sometimes referred to as Building W), will be brought up to Code or removed.

3. That a uniform color scheme, approved by staff and utilizing no more than three desert compatible colors, be adopted by the School for all painted surfaces visible from the street, and that the painting of those surfaces be completed before December 31, 1996.

4. That all wastewater facilities on the site be connected to the Town wastewater collection system within two years of the approval of this Special Use Permit by the Town Council.

5. That the draft proposed Master Site Plan and Special Use Permit be amended to note that the School agrees to complete the installation of a 6-foot wide meandering salt finish San Diego Buff colored concrete recreation path along the entire street frontage when a matching path is constructed in the right of way approaching either side of the School property.

6. That the draft proposed Master Site Plan be amended to show the proposed new Maintenance Building "Z", as shown on the revised Landscape Plan, Sheet #6, 30 days from approval.

7. The maximum daily attendance for the school shall be no more than 214 children.

June 16, 1993 Administrative SUP Amendment

A staff administrative amendment for a pool remodel to increase the existing pool behind Building B to a total size of 20 feet by 40 feet. No available plans on record.

June 14, 1973 Major SUP Amendment (SUP-73-03 and SUP-72-03)

To limit the maximum number of students to 214 pursuant to the Special Use Permit (SUP) recorded with the Maricopa County Recorder, Maricopa County, Arizona, in Docket 11624, Page 871. This SUP essentially only has the one stipulation related to the maximum student count and a site plan. Town Council conditionally approved the SUP on August 10, 1972, with the condition the property owner provide a site plan for the site. The site plan was not filed until 1973 as part of this 1973 approval. The only document in the file record id a site plan dated March 1, 1976. There was no Special Use Permit for the site prior to this date.

When recorded, return to:
Paradise Valley Town Attorney
6401 East Lincoln Drive
Paradise Valley, Arizona 85253

WAIVER OF RIGHTS AND REMEDIES UNDER A.R.S. § 12-1134

This agreement regarding Waiver of Rights and Remedies under A.R.S. § 12-1134 (this "Agreement") is made on this _____ day of _____, 2018, between MONTESSORI ACADEMY, INC., an Arizona non-profit corporation (the "Owner"), and the TOWN OF PARADISE VALLEY, an Arizona municipal corporation (the "Town"), regarding the property located in the Town at 6050 N Invergordon Road, Paradise Valley, Arizona, which is more particularly described by the legal description (the "Property," attached hereto as Exhibit A).

The Owner agrees and consents to all the conditions of approval (the "Conditions of Approval," attached hereto as Exhibit B) that are set forth in the final approvals by the Planning Commission regarding the following Minor Special Use Permit Amendment application (SUP-18-01) related to the Property: An addition to the existing storage structure located at the southwest corner of said Property. The total square footage of the storage structure will not be more than 1,200 square feet. The structure will maintain the existing maximum 12-foot height. The west setback will be increased from approximately 29 feet to 39 feet and the south setback will remain at 20 feet. The request also includes approval for temporary screening for the playing field south of the existing backstop chain link fencing and the removal of two nonconforming shipping containers.

The Owner has voluntarily applied for the change in its land use entitlements referenced in the above application; and agrees that the Conditions of Approval on the Property do not diminish the value of the Property.

By signing this Agreement, the Owner acknowledges that the Owner waives any right to claim diminution in value or claim for just compensation for diminution in value with regard to the Property under A.R.S. § 12-1134 related to the approval of said application.

This Agreement, any exhibits attached hereto, and any addendum, constitute the entire understanding and agreement of the Owner and the Town and shall supersede all prior agreements or understandings between the Owner and the Town only with respect to said applications. This Agreement may not be modified or amended except by written agreement by the Owner and the Town.

This Agreement is entered into in Arizona and will be construed and interpreted under the laws of the State of Arizona.

Within ten days after the execution of this Agreement, the Town Clerk shall file this Agreement in the Official Records of the County Recorder's Office, Maricopa County, Arizona.

This Agreement runs with the land and is binding upon all present and future owners of the Property.

This Agreement is subject to the cancellation provisions of A.R.S. § 38-511.

The Owner warrants and represents that MONTESSORI ACADEMY, INC., an Arizona non-profit corporation, is the owner of fee title to the Property.

Dated this _____ day of _____, 2018.

"OWNER"

MONTESSORI ACADEMY, INC, an Arizona non-profit corporation

By:_____

Name: _____

Title: _____

State of Arizona)
) ss
County of Maricopa)

SUBSCRIBED AND SWORN to before me this _____ day of _____, 2017 by _____, the _____ of MONTESSORI ACADEMY, INC, an Arizona non-profit corporation, for and on behalf thereof.

My commission expires:

_____
Notary Public

"TOWN"

TOWN OF PARADISE VALLEY,
an Arizona municipal corporation

_____
Kevin Burke, Town Manager

ATTEST:

_____
Duncan Miller, Town Clerk

APPROVED AS TO FORM:

_____
Andrew Miller, Town Attorney

EXHIBIT A: LEGAL DESCRIPTION OF PROPERTY

A portion of the Southeast quarter of the Southeast quarter of Section 9, Township 2 North, Range 4 East of the Gila and Salt River Base and Meridian, Maricopa County; Arizona, described as follows:

BEGINNING at the Southeast corner of said Section 9;

THENCE North 466.7 feet along the East line of said Section to the TRUE POINT OF BEGINNING;

THENCE West 933.4 feet;

THENCE North 193.3 feet;

THENCE East 933.4 feet;

THENCE South 193.3 feet to the POINT OF BEGINNING.

(Assessor's Parcel Number 169-39-007) (the "Property").

EXHIBIT B: CONDITIONS OF APPROVAL

The Conditions of Approval for the Property are as shown on the attached document titled

"MONTESSORI ACADEMY
6050 N INVERGORDON ROAD
STIPULATIONS
MINOR SPECIAL USE PERMIT AMENDMENT
SUP-18-01

May 15, 2018"

Town of Paradise Valley

6401 E Lincoln Dr
Paradise Valley, AZ 85253

Action Report

File #: 18-196

powered by Legistar™

Town of Paradise Valley

6401 E Lincoln Dr
Paradise Valley, AZ 85253

Minutes - Draft

Planning Commission

Tuesday, May 1, 2018 | **6:00 PM** | **Council Chambers**

1. CALL TO ORDER

STAFF MEMBERS PRESENT
Interim Community Development Director Paul Michaud
Planner George Burton

2. ROLL CALL

Present 7 - Commissioner Daran Wastchak
Commissioner James Anton
Commissioner Thomas G. Campbell
Commissioner Charles Covington
Commissioner Pamela Georgelos
Commissioner Orme Lewis
Commissioner Jonathan Wainwright

3. EXECUTIVE SESSION

None

4. STUDY SESSION ITEMS

None

5. PUBLIC HEARINGS

None

6. ACTION ITEMS

A. 18-183 Consideration of Finisterre Subdivision Wall (MI-18-02)
6440 N 61st Place (Assessor's Parcel Number 169-39-125)

Mr. Burton provided an update on the application request. He indicated the additional wall height will affect nine properties. He reviewed the Planning Commission discussion from the work session of April 17, 2018.

Commissioner Wainwright questioned if the wall height on the corner lot on Lincoln Drive and Invergordon Road will be on both sides. Mr. Burton

replied yes, the additional wall height will wrap onto Invergordon Road.

Commissioner Lewis inquired about the berming. Dave Pulatti, representing the Finisterre home owner association, explained the berms will be consistent. He added that the association plans to meet the draft Visually Significant Corridor plans landscaping palette.

Mr. Burton stated that staff recommends forward of approval of the request with the three stipulations in the action report. He responded to Chairman Wastchak that the process for a subdivision wall is different than a wall on an individual lot. It was noted that a subdivision wall requires recommendation by the Planning Commission and approval by the Town Council.

During Planning Commission questions, Commissioner Wainwright asked about the ownership of the subdivision wall. Mr. Pulatti noted that the home owner association will use a single contractor to do the work and they maintain the outside of the wall. The homeowner is responsible for maintenance of the inside of the wall.

Public comment was open and closed. There were no comments.

A motion was made by Commissioner Wainwright, seconded by Commissioner Covington, to recommend that the Planning Commission forward to the Town Council approval of the modified subdivision wall heights for the Finisterre subdivision, subject to the following stipulations:

1. The wall improvements shall be in substantial compliance with the following:
a. The narrative, prepared by the Finisterre Home Owner's Association (HOA);
b. The site plans, prepared by the Finisterre HOA; and
c. The exterior wall elevations/details, prepared by the Finisterre HOA.

2. The exterior of the wall must be finished and painted to match the existing wall.

3. Any exterior landscaping destroyed or removed during the construction of the wall improvement must be replaced with a similar plant or similar vegetation.

The motion carried by the following vote:

Aye: 7 - Commissioner Wastchak, Commissioner Anton, Commissioner Campbell, Commissioner Covington, Commissioner Georgelos, Commissioner Lewis and Commissioner Wainwright

7. CONSENT AGENDA

A. 18-179 Approval of April 17, 2018 Planning Commission Minutes

A motion was made by Commissioner Wainwright, seconded by Commissioner Covington, to approve the April 17, 2018 Planning Commission minutes. The motion carried by the following vote:

Aye: 7 - Commissioner Wastchak, Commissioner Anton, Commissioner Campbell, Commissioner Covington, Commissioner Georgelos, Commissioner Lewis and Commissioner Wainwright

8. STAFF REPORTS

None

9. PUBLIC BODY REPORTS

None

10. FUTURE AGENDA ITEMS

Mr. Michaud reviewed the upcoming meeting items.

11. ADJOURNMENT

A motion was made by Commissioner Campbell at 6:25 p.m., seconded by Commissioner Anton, to adjourn the meeting. The motion carried by the following vote:

Aye: 7 - Commissioner Wastchak, Commissioner Anton, Commissioner Campbell, Commissioner Covington, Commissioner Georgelos, Commissioner Lewis and Commissioner Wainwright

Paradise Valley Planning Commission

By: _____
Paul Michaud, Secretary