



HILLSIDE PROGRESS		Issue for:
04-17-2025		Issue date:
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NO **DRB200**



TOWN OF PARADISE VALLEY NOTES

1. GRADING SHALL BE IN CONFORMANCE WITH 2018 IBC.
2. PRIOR TO FIRST FOOTING INSPECTION OF ANY TYPE, ALL PROPERTY PINS SHALL BE PLACED BY A REGISTERED LAND SURVEYOR OF THE STATE OF ARIZONA, AND PROPERTY LINES MUST BE PHYSICALLY IDENTIFIED PRIOR TO INSPECTION.
3. WHERE EXCAVATION IS TO OCCUR THE TOP 4" OF EXCAVATED NATIVE SOIL SHALL REMAIN ON THE SITE AND SHALL BE REUSED IN A MANNER THAT TAKES ADVANTAGE OF THE NATURAL SOIL SEED BANK IT CONTAINS.
4. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) SPECIFICATIONS AND STANDARD DETAILS.
5. ALL EXTERIOR SITE LIGHTING SHALL COMPLY WITH REQUIREMENTS OF SECTION 2208 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES FOR FUTURE TYPE, LOCATION, HEIGHT, WATTAGE BASED UPON FIXTURES INSTALLED.
6. A DUST CONTROL PLAN MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
7. A SEPARATE PERMIT IS NECESSARY FOR ANY OFFSITE CONSTRUCTION.
8. AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
9. EAVE PROJECTIONS INTO REQUIRED SETBACKS ARE LIMITED TO A MAXIMUM OF 24" PURSUANT TO SECTION 1008 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES.
10. ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
11. ALL NEW AND EXISTING ELECTRICAL SERVICE TO BE BURIED UNDERGROUND PER THE TOWN OF PARADISE VALLEY STANDARDS.
12. POOL, SPA, BARBEQUE AND ANY PROPOSED STRUCTURES OVER 8 INCHES ABOVE GRADE REQUIRE SEPARATE PERMIT APPLICATIONS.
13. POOLS SHALL BE CONSTRUCTED BY SEPARATE PERMIT AND SECURED FROM UNWANTED ACCESS PER SECTION 5-2-2 OF THE TOWN OF PARADISE VALLEY ORDINANCES.
14. A SETBACK CERTIFICATION IS REQUIRED AND MUST BE GIVEN TO TOWN INSPECTOR AT STEM WALL INSPECTION.
15. MAIL BOX TO COMPLY WITH THE TOWN OF PARADISE VALLEY STANDARDS FOR MAIL BOXES IN THE R.O.W. FOR HEIGHT, WIDTH AND BREAK AWAY FEATURES.
16. ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE. ALL LAWN AREAS ADJOINING WALKS OR SLABS WILL BE GRADED TO 2" BELOW THE TOP OF SLAB. TYPICAL FINISHED GRADE AROUND PERIMETER OF BUILDING IS MINUS 6" BELOW FINISHED FLOOR UNLESS SPECIFIED OTHERWISE.
17. ALL MATERIAL TO BE UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95% PER ASTM D698.
18. SOILS COMPACTION TEST RESULTS MUST BE SUBMITTED TO THE TOWN ENGINEER'S OFFICE FOR BUILDING PADS THAT HAVE ONE (1) FOOT OR MORE OF FILL MATERIAL INDICATED. THIS INFORMATION MUST BE SUPPLIED PRIOR TO REQUEST FOR FINAL INSPECTION.
19. TRENCH BED SHALL BE FREE OF ROCKS AND DEBRIS.
20. REGULATION # RULE 20-3 OF THE MARICOPA COUNTY HEALTH DEPARTMENT, BUREAU OF AIR POLLUTION CONTROL SHALL BE OBSERVED AND ENFORCED.
21. ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL CITY OR TOWN UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
22. THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL STATE, AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO THE CONSTRUCTION COVERED BY THIS PLAN.
23. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
24. ALL CONSTRUCTION IN THE PUBLIC RIGHTS-OF-WAY OR IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) UNIFORM STANDARD SPECIFICATIONS AND UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION.
25. THE TOWN ONLY APPROVES THE SCOPE, THE DETAIL, OF ENGINEERING DESIGNS; THEREFORE, IF CONSTRUCTION QUANTITIES ARE SHOWN ON THESE PLANS, THEY ARE NOT VERIFIED BY THE TOWN.
26. THE APPROVAL OF PLANS IS VALID FOR SIX (6) MONTHS. IF AN ENCROACHMENT PERMIT FOR THE CONSTRUCTION HAS NOT BEEN ISSUED WITHIN SIX MONTHS, THE PLANS MUST BE RESUBMITTED TO THE TOWN FOR RE-APPROVAL.
27. A PUBLIC WORKS INSPECTOR WILL INSPECT ALL WORKS WITHIN THE TOWN OF PARADISE VALLEY RIGHTS-OF-WAY AND IN EASEMENTS. NOTIFY INSPECTION SERVICES 24 HOURS PRIOR TO BEGINNING CONSTRUCTION BY CALLING 480-312-5750.
28. WHENEVER EXCAVATION IS NECESSARY, CALL THE BLUE STAKE CENTER, 602-263-1100, TWO WORKING DAYS BEFORE EXCAVATION BEGINS. THE CENTER WILL SEE THAT THE LOCATION OF THE UNDERGROUND UTILITY LINES IS IDENTIFIED FOR THE PROJECT. CALL "COLLECT" IF NECESSARY.
29. ENCROACHMENT PERMITS ARE REQUIRED FOR ALL WORK IN PUBLIC RIGHTS-OF-WAY AND EASEMENTS GRANTED FOR PUBLIC PURPOSES. AN ENCROACHMENT PERMIT WILL BE ISSUED BY THE TOWN ONLY AFTER THE REGISTRANT HAS PAID A BASE FEE PLUS A FEE FOR INSPECTION SERVICES. COPIES OF ALL PERMITS MUST BE RETAINED ON-SITE AND BE AVAILABLE FOR INSPECTION AT ALL TIMES. FAILURE TO PRODUCE THE REQUIRED PERMITS WILL RESULT IN IMMEDIATE SUSPENSION OF ALL WORK UNTIL THE PROPER PERMIT DOCUMENTATION IS OBTAINED.
30. ALL EXCAVATION AND GRADING THAT IS NOT IN THE PUBLIC RIGHTS-OF-WAY OR NOT IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO CHAPTER 70, EXCAVATION AND GRADING, OF THE LATEST EDITION OF THE IBC BY THE ICC. A PERMIT FOR THIS GRADING MUST BE SECURED FROM THE TOWN FOR A FEE ESTABLISHED BY THE UNIFORM BUILDING CODE.
31. EXCAVATIONS SHALL COMPLY WITH REQUIREMENTS OF OSHA EXCAVATION STANDARDS (29 CFR, PART 1926, SUBPART P). UNDER NO CIRCUMSTANCES WILL THE CONTRACTORS BE ALLOWED TO WORK IN A TRENCH LOCATED WITHIN THE TOWN'S RIGHT-OF-WAY WITHOUT PROPER SHORING OR EXCAVATION METHODS.
32. ON DEMOLITION, GRADING, REMODELING AND NEW CONSTRUCTION PROJECTS, PERMITTEE MUST NOTIFY ADJACENT PROPERTY OWNERS REGARDING THE NATURE OF THE PROJECT, THE TIME PERIOD FOR CONSTRUCTION, AND ANY UNUSUAL ACTIVITIES THAT MAY CAUSE DISRUPTION OF THE NORMAL COURSE OF TRAFFIC DURING CONSTRUCTION.
33. ALL PERMITTEES MUST POST A 6 SQUARE FOOT (2'X3') IDENTIFICATION SIGN, MADE OF DURABLE MATERIAL, IN THE FRONT YARD OF SUBJECT PROPERTY AND NOT IN THE TOWN RIGHT-OF-WAY. THE SIGN MAY NOT EXCEED A MAXIMUM OF 6 FEET IN HEIGHT TO TOP OF A MAXIMUM OF 4 FEET IN WIDTH. THE SIGN MUST INCLUDE THE PERMITTEE OR COMPANY NAME, PHONE NUMBER, TYPE OF WORK, AND ADDRESS OF PROJECT.
34. WHEN DEEMED NECESSARY, A 6-FOOT HIGH CHAIN LINK FENCE MUST BE INSTALLED AROUND THE CONSTRUCTION AREA TO PREVENT ANY POTENTIAL SAFETY HAZARD FOR THE PUBLIC. THE FENCE SHALL BE SETBACK AT LEAST 10 FEET FROM ALL RIGHTS-OF-WAY AND HAVE A 50-FOOT STREET CORNER SITE TRIANGLE WHERE APPLICABLE.
35. CLEAR ACCESS FOR NEIGHBORING PROPERTIES AND EMERGENCY VEHICLES MUST BE MAINTAINED AT ALL TIMES. CONSTRUCTION RELATED VEHICLES MUST BE LEGALLY PARKED ONLY ON ONE SIDE OF THE STREET OR JOB SITE PROPERTY. IF A STAGING AREA IS NEEDED ON A PROPERTY OTHER THAN THE CONSTRUCTION SITE FOR CONSTRUCTION SUPPLIES AND EQUIPMENT, THE PERMITTEE MUST OBTAIN PROPERTY OWNER AND TOWN APPROVAL FIRST AND MUST INFORM THE ADJACENT PROPERTY OWNERS OF THE LOCATION OF STAGING AREA, AND TIME AND HOURS DURING THE DAY THE AREA WILL BE USED.
36. EXCEPT AS OUTLINED IN ITEM 4, ALL CONSTRUCTION DEBRIS AND EQUIPMENT MUST BE CONTAINED ON SITE AT ALL TIMES. CONTRACTOR AND PROPERTY OWNER MUST MAINTAIN THE JOB SITE FREE OF LITTER AND UNSIGHTLY MATERIALS AT ALL TIMES. CONSTRUCTION MATERIALS ARE PROHIBITED IN THE TOWN RIGHT-OF-WAY OR NEAR ADJACENT PROPERTIES.
37. BUILDING CONSTRUCTION MUST NOT START SOONER THAN SUNRISE AND MUST STOP NO LATER THAN SUNSET. ALSO, ORDINANCE #661 IMPOSES RESTRICTIONS ON CONSTRUCTION WORK ON SATURDAYS, SUNDAYS AND MAJOR BUSINESS HOLIDAYS. HILLSIDE PROJECTS MAY HAVE ADDITIONAL RESTRICTIONS. EQUIPMENT WITH AUDIBLE REVERSE DIRECTION WARNINGS MUST NOT BE OPERATED PRIOR TO 7:00 A.M.
38. THE USE AND OPERATION OF FUEL-FIRED GENERATORS ON ANY CONSTRUCTION SITE, NEW, EXISTING OR REMODELING, IS PROHIBITED UNLESS DUE TO A HARSHSHIP TOWN APPROVAL IS OBTAINED.
39. THE CONTRACTOR AND PROPERTY OWNER WILL BE LIABLE FOR ANY DAMAGE DONE TO ANY PUBLIC PROPERTY AS A RESULT OF ANY CONSTRUCTION OR CONSTRUCTION RELATED ACTIVITIES. NO CERTIFICATE OF OCCUPANCY UNTIL ALL AFFECTED RIGHTS ARE RESTORED TO PRESERVED AND/OR REPAIRED TO THEIR ORIGINAL CONDITION AND UNTIL ANY AND ALL DAMAGES TO AFFECTED PROPERTIES ARE RESTORED TO ORIGINAL CONDITION, OR UNTIL SUCH TIME THAT A WRITTEN, SIGNED AND LEGALLY BINDING AGREEMENT HAS BEEN REACHED BY THE PARTIES INVOLVED TO REMEDY ANY VIOLATION WITHIN A REASONABLE TIME PERIOD, AND UNTIL ALL REQUIRED FEES ARE PAID IN FULL. THE NATURAL FLOW OF RAINWATER AND OTHER SURFACE DRAINAGE FROM THE PROPERTY MAY NOT BE ALTERED IN ANY WAY.
41. A KEY SWITCH SHALL BE REQUIRED ON ALL NEW AND EXISTING ELECTRIC ENTRY CONTROL GATES. THE KEY SWITCH SHALL BE INSTALLED IN LOCATION ON THE GATE CONTROL PANEL THAT IS READILY VISIBLE AND ACCESSIBLE. KNOX BOX ORDER FORMS ARE AVAILABLE AT THE PARADISE VALLEY BUILDING DEPARTMENT.
42. ALL EQUIPMENT OF ALL TRADES ON OR AFFECTING THE JOB MUST BE CLEANED ONLY IN A PRE-DETERMINED AND DESIGNATED AREA. DEBRIS AND RUNOFF FROM SAID AREA MAY NOT EXTEND BEYOND THE BUILDING AREA.
43. PROPERTY OWNER, BUILDER, OR GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR CONTROLLING DUST FROM THE SITE AT ALL TIMES. ALL MEANS NECESSARY SHALL BE USED BY THE BUILDER OR GENERAL CONTRACTOR TO CONTROL THE EXISTENCE OF DUST CAUSED BY ANY EARTHWORK, SPRAY APPLICATION OF MATERIALS, OR OTHER DUST-CAUSING PRACTICES REQUIRED BY THE CONSTRUCTION PROCESS.
44. AN INSPECTION FEE WILL BE CHARGED IF THE INSPECTION IS REQUIRED AS A RESULT OF A CODE VIOLATION.
45. FOR DEMOLITION INSPECTION OWNER OR PERMITTEE SHALL NOTIFY OSHA FOR ASBESTOS INSPECTION. ALL DEMOLITIONS AND ALL RENOVATION ACTIVITIES THAT WILL DISTURB FRIBLE ASBESTOS CONTAINING MATERIALS MUST BE REPORTED TO THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT.

GRADING & DRAINAGE PLAN  
6041 E FOOTHILL DR., PARADISE VALLEY, AZ 85253  
LOT 64 - MUMMY MOUNTAIN PARK  
A SUBDIVISION PLAT RECORDED IN BOOK 57 OF MAPS, PAGE 1, MCR.,  
LOCATED IN A PORTION OF THE NW 1/4 OF THE NW 1/4 OF SECTION 4, T.2N, R.4E  
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

ENGINEERS NOTES

1. MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION INCLUDING LATEST REVISION AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL TOWN OR CITY) ARE INCORPORATED INTO THIS PLAN IN THEIR ENTIRETY.
2. ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL CITY OR TOWN UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
3. GRADING SHALL BE IN CONFORMANCE WITH 2018 IBC SECT. 1803 AND APPENDIX J.
4. 5% MINIMUM SLOPE AWAY FROM BUILDING FOR A MINIMUM 10', U.N.O.
5. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) SPECIFICATIONS AND STANDARD DETAILS.
6. A DUST CONTROL PLAN MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
7. A SEPARATE PERMIT IS NECESSARY FOR ANY OFFSITE CONSTRUCTION.
8. AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
9. ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTOR DITCHES, PIPES, PROTECTIVE BERMS, BARRIER WALLS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT ADJACENT BUILDINGS OR PROPERTY FROM STORM RUNOFF MUST BE COMPLETED PRIOR TO BUILDING CONSTRUCTION.
10. ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
11. ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE. ALL LAWN AREAS ADJOINING WALKS OR SLABS WILL BE GRADED TO 2" BELOW THE TOP OF SLAB. TYPICAL FINISHED GRADE AROUND PERIMETER OF BUILDING IS MINUS 6" BELOW FINISHED FLOOR UNLESS SPECIFIED OTHERWISE.
12. ALL MATERIAL TO BE UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95% PER ASTM D698.
13. THE QUANTITIES AND SITE CONDITIONS DEPICTED IN THESE PLANS ARE FOR INFORMATIONAL PURPOSES ONLY AND ARE SUBJECT TO ERROR AND OMISSION. CONTRACTORS SHALL SATISFY THEMSELVES AS TO ACTUAL QUANTITIES AND SITE CONDITIONS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
14. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
15. THE CONTRACTOR IS RESPONSIBLE FOR ALL METHODS, SEQUENCING, AND SAFETY CONCERNS ASSOCIATED WITH THIS PROJECT DURING CONSTRUCTION, UNLESS SPECIFICALLY ADDRESSED OTHERWISE IN THIS PLAN OR ELSEWHERE.
16. A REASONABLE EFFORT HAS BEEN MADE TO SHOW THE LOCATIONS OF EXISTING UNDERGROUND FACILITIES AND UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND/OR FACILITIES CAUSED DURING THEIR CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL CALL 48 HOURS IN ADVANCE FOR BLUE STAKE (1-800-STAKE-IT) PRIOR TO ANY EXCAVATION.
17. THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION OF CONSTRUCTION AFFECTING UTILITIES AND THE COORDINATION OF ANY NECESSARY UTILITY RELOCATION WORK.
18. ALL PAVING, GRADING, EXCAVATION, TRENCHING, PIPE BEDDING, CUT, FILL AND BACKFILL SHALL COMPLY WITH THE RECOMMENDATIONS SET FORTH IN THE SOILS (GEOTECHNICAL) REPORT FOR THIS PROJECT IN ADDITION TO THE REFERENCED REQUIRED SPECIFICATIONS AND DETAILS.
19. THE CONTRACTOR IS TO VERIFY THE LOCATION AND THE ELEVATIONS OF ALL EXISTING UTILITIES AT POINTS OF TIE-IN PRIOR TO COMMENCING ANY NEW CONSTRUCTION. SHOULD ANY LOCATION OR ELEVATION DIFFER FROM THAT SHOWN ON THESE PLANS, THE CONTRACTOR SHALL CONTACT THE OWNER'S AGENT.
20. CONTRACTOR TO VERIFY AND COORDINATE ALL DIMENSIONS AND SITE LAYOUT WITH ARCHITECTURE'S FINAL SITE PLAN AND FINAL BUILDING DIMENSIONS BEFORE STARTING WORK. REPORT DISCREPANCIES TO OWNER'S AGENT.
21. COORDINATION BETWEEN ALL PARTIES IS ESSENTIAL PART OF CONTRACT.
22. CONTRACTOR IS RESPONSIBLE FOR PROJECT AND SITE CONDITIONS, AND TO WORK WITH WEATHER CONDITIONS AS THE PROJECT SITE MAY BE LOCATED IN A FLOOD PRONE AREA AND SUBJECT TO FLOODING AND ITS HAZARDS.
23. THE CONTRACTOR IS TO VERIFY THE LOCATION, ELEVATION, CONDITION, AND PAVEMENT CROSS-SLOPE OF ALL EXISTING SURFACES AT POINTS OF TIE-IN AND MATCHING. PRIOR TO COMMENCEMENT OF GRADING, PAVING, CURB AND GUTTER, OR OTHER SURFACE CONSTRUCTION, SHOULD EXISTING LOCATIONS, ELEVATIONS, CONDITION, OR PAVEMENT CROSS-SLOPE DIFFER FROM THAT SHOWN ON THESE PLANS, RESULTING IN THE DESIGN INTENT REFLECTED ON THESE PLANS NOT ABLE TO BE CONSTRUCTED, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AGENT IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ALL COSTS ASSOCIATED WITH CORRECTIVE ACTION IF THESE PROCEDURES ARE NOT FOLLOWED.
24. CONTRACTOR IS RESPONSIBLE TO COORDINATE UTILITY CROSSINGS AT CULVERT CROSSINGS BEFORE STARTING WORK ON CULVERT. COORDINATE WITH OWNER REPRESENTATIVE. VERIFY UTILITY LINES AND/OR CONDUITS ARE IN PLACE BEFORE STARTING CULVERT WORK.
25. ALL ON-SITE UTILITIES PER OTHERS.
26. THIS PROJECT REQUIRES A REGULAR ONGOING MAINTENANCE PROGRAM FOR THE DESIGNED DRAINAGE SYSTEM(S) TO PRESERVE THE DESIGN INTEGRITY AND THE ABILITY TO PERFORM ITS OPERATIONAL INTENT. FAILURE TO MAINTAIN MAINTENANCE WILL JEOPARDIZE THE DRAINAGE SYSTEM(S) PERFORMANCE AND MAY LEAD TO IT'S INABILITY TO PERFORM PROPERLY AND/OR CAUSE DAMAGE ELSEWHERE IN THE PROJECT.
27. IF A DISCREPANCY IS FOUND BETWEEN ENGINEER'S PLAN OR SURVEYOR'S STAKING AND THE ARCHITECTURAL PLAN, ENGINEER SHALL BE NOTIFIED IMMEDIATELY. FAILURE TO NOTIFY ENGINEER SHALL NEGATE ENGINEER'S LIABILITY.
28. ALL DISTURBED AREAS ARE TO BE ROPED AND ROPING MUST MATCH PLAN.
29. VEGETATION OUTSIDE OF CONSTRUCTION AREA TO REMAIN.
30. AREAS OUTSIDE THE WALL AND CUT AND FILL SLOPES SHALL BE REVEGETATED WITH SIMILAR PLANT TYPES AND DENSITIES FOUND ON THE SITE. REVEGETATION SHALL BE COMPLETED PRIOR TO OCCUPANCY AND THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
31. MECHANICAL EQUIPMENT SHALL BE SCREENED TO A MINIMUM OF ONE FOOT ABOVE TOP OF EQUIPMENT.
32. ANY FUTURE IMPROVEMENTS SHOWN HEREON SHALL REQUIRE A SEPARATE PERMIT.
33. ANY POINTS OF DRAINAGE CONCERN SHALL BE PROTECTED AGAINST EROSION WITH NATIVE STONE. THIS PLAN IS DESIGNED TO SHOW SITE GRADING AND DRAINAGE CONTROL SHALL USE THE ARCHITECTURAL SITE PLAN TO DETERMINE FINAL HOUSE, WALL, STEP, ETC., LOCATIONS AND ELEVATIONS.
34. ALL DRAINAGE FACILITIES TO BE MAINTAINED BY HOMEOWNER.
35. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR SITE AND RETAINING WALLS LAYOUT, DIMENSIONS, AND DETAILS.
36. TOP OF FOOTING ELEVATIONS SHOWN IN PLAN ARE APPROXIMATE ONLY. ACTUAL TOP OF FOOTINGS TO BE DETERMINED AT TIME OF CONSTRUCTION AND TO BE A MINIMUM OF SIX INCHES BELOW EXISTING NATURAL GRADE OR FINISHED GRADE WHICHEVER IS LOWER (TYPICAL).
37. REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT, DIMENSIONS AND ELEVATIONS.
38. REFER TO STRUCTURAL DRAWINGS, DETAILS AND CALCULATIONS FOR ALL PROPOSED RETAINING WALLS.
39. FOR CHANGE IN ELEVATION THAT ARE GREATER THAN 30", PROVIDE 36" HIGH GUARDRAILS FOR TOTAL OF 42" FALL PROTECTION BARRIER U.N.O.
40. CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE - 5% MIN SLOPE FOR FIRST 10 FEET, U.N.O.
41. ALL WATER AND SEWER LINES AND CONNECTIONS MUST BE INSTALLED PER IPC 208, MAG AND TOWN OF PARADISE VALLEY SUPPLEMENT TO MAG.
42. WATERPROOF ALL EXTERIOR WALLS 18" ABOVE FINISH GRADE--(BITUTHENE@ 3000 HC MEMBRANE W/ GRADE PROTECTION OS OR APPROVED EQJ).
43. ALL PIPES AND FITTINGS SHALL BE INSTALLED PER MANUFACTURE'S SPECIFICATIONS AND DETAILS.
44. ABANDONMENT OF EXISTING AND INSTALLATION OF NEW SEPTIC SYSTEMS SHALL BE PERFORMED IN ACCORDANCE WITH THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT RULES AND STANDARDS, AND WILL REQUIRE SEPARATE PERMIT.
45. COORDINATE RIPRAP COLOR WITH LANDSCAPE PLANS AND DETAILS.
46. VERIFY AND COORDINATE WITH LANDSCAPE PLANS FINAL LOCATION AND GRATE TYPE OF SPECIFIED AREA DRAINS AND TRENCH DRAINS.
47. VERIFY AND COORDINATE WITH ARCHITECTURAL AND LANDSCAPE PLANS LOCATION AND HEIGHT OF ALL SITE WALLS.
48. DISTURBED AREA: TOTAL ACRES = 0.872 ACRES < 1 ACRE; NPDES PERMIT IS REQUIRED.
49. REFER TO ARCHITECTURAL PLANS AND DETAILS FOR DEMOLITION AND REMOVAL OF ANY EXISTING BUILDING STRUCTURES, SITE WALLS, POOL AND PAVEMENT ETC.
50. REFER TO GEOTECHNICAL REPORT FOR SPECIFIC RECOMMENDATIONS AND MAXIMUM ALLOWED FILL AND CUT SLOPES.
51. THE PROPOSED POOL EQUIPMENT FOR THIS PROJECT SHALL BE EQUIPPED WITH CARTRIDGE FILTER IN ORDER TO AVOID THE BACKWASH

FIRE SPRINKLER SYSTEM

FIRE SPRINKLER SYSTEM TO BE INSTALLED PER THE REQUIREMENTS OF THE TOWN OF PARADISE VALLEY AND IN ACCORDANCE WITH I.B.C. SECT. 904.2.2 AMD. AND 2018 IFC, SEC. 903.

LEGEND

- BRASS CAP FLUSH
- CALCULATED POINT
- FOUND REBAR AS NOTED
- SET 1/2" REBAR & TAG OR AS NOTED
- PROPERTY LINE
- EASEMENT LINE
- MONUMENT LINE
- GAS METER
- CABLE TV RISER
- FIRE HYDRANT
- TELEPHONE PEDESTAL
- SEWER CLEANOUT
- MAILBOX
- ELECTRIC METER
- A/C UNIT
- WATER METER
- ELECTRIC CABINET
- COMMUNICATIONS LINE
- CATV, PHONE
- GAS LINE
- WATER LINE
- ELECTRIC LINE
- SEWER LINE
- EXISTING CONTOUR
- HEDGE/BUSH
- TREE
- DRAINAGE FLOW ARROW
- PROPOSED SPOT ELEVATION
- PROPOSED CONTOUR
- HISTORIC CONTOUR
- TOP OF GUARD RAIL
- TOP OF RETAINING WALL
- FINISH GRADE
- BOTTOM OF WALL
- TOP OF FOOTING
- STORM DRAIN PIPE
- RETAINING WALL
- EXISTING DISTURBED AREA
- PROPOSED DISTURBED AREA

ABBREVIATIONS

- BSL BUILDING SETBACK LINE
- EG EXISTING GRADE
- EL ELEV
- EP EDGE OF PAVEMENT
- ESMT EASEMENT
- EX, EXIST. EXISTING
- G GUTTER, GAS
- INV INVERT
- (M) MEASURED
- MCR MARICOPA COUNTY RECORDER
- MH MANHOLE
- P, PWM PAVEMENT
- PUE PUBLIC UTILITY EASEMENT
- (R), REC. RECORDED
- R RADIUS
- R/W RIGHT OF WAY
- TC TANGENT, TELEPHONE
- TPV TOP OF CURB
- TPV W TOWN OF PARADISE VALLEY
- WDO WEST, WATERLINE
- WDO WALL DRAINAGE OPENING
- WM WATER METER

UTILITIES

- WATER: CITY OF PHOENIX
- SANITARY SEWER: SEPTIC
- ELECTRIC: ARIZONA PUBLIC SERVICE
- TELEPHONE: CENTURY LINK, COX COMM.
- NATURAL GAS: SOUTHWEST GAS
- CABLE TV: CENTURY LINK, COX COMM.

UTILITIES NOTES

- HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THE PLAN ARE APPROXIMATE ONLY AND WILL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO START OF CONSTRUCTION WORK. CALL BLUE STAKE @ (602) 263-1100.

SHEET INDEX

- C-1 COVER SHEET
- C-2 IMPROVEMENTS PLAN LOWER LEVEL
- C-3 IMPROVEMENTS PLAN MAIN LEVEL
- C-4 CROSS SECTIONS
- DETAILS

DISTURBED AREA CALCULATIONS

- EXISTING LOT AREA: 62,665 S.F. (1.439 AC.)
- TOTAL AREA UNDER ROOF: 13,295 S.F.
- FLOOR AREA RATIO: 21.2% < 25%
- BUILDING PAD SLOPE: 31.68%
- VERTICAL: 65.00 FT
- HORIZONTAL: 205.17 FT
- ALLOWABLE DISTURBED AREA: 10.25%
- ALLOWABLE DISTURBED AREA: 6,423 S.F.
- EXISTING DISTURBED AREA: 57.11%
- EXISTING DISTURBED AREA: 35,785 S.F.
- PROPOSED NEW DISTURBED AREA: 11,623 S.F. (18.55%)
- TOTAL GROSS DISTURBED AREA: 47,408 S.F. (75.65%)
- LESS AREAS OF DISTURBANCE:
- TOTAL LIVABLE FOOTPRINT: 12,975 S.F.
- TOTAL GARAGE FOOTPRINT: 0 S.F.
- DRIVEWAY CREDIT 0 S.F.
- RETENTION BASIN CREDIT @50%: 2,655\*50%=1,328 S.F.
- RESTORED AREAS: 6,515 S.F.
- NET DISTURBED AREA: 26,590 S.F. (42.43%)
- PERCENT OF LOT STEEPER THAN NATURAL GRADE (5% MAX.): 2,005 S.F. (3.20%)
- VOLUME OF CUT: 7,499 C.Y.
- VOLUME OF FILL: 1,126 C.Y.
- TOTAL CUT/FILL: 8,625 C.Y.
- HILLSIDE ASSURANCE = 35 TIMES THE GRADING PERMIT FEE.
- GRADING PERMIT FEE: \$8,232
- (\$168 FIRST 100 CY @ \$96 EA. ADDITIONAL 100 CY).
- ASSURANCE AMOUNT: \$288,120

- ALL QUANTITIES LISTED ON THESE PLANS ARE ESTIMATES ONLY. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF THE QUANTITIES AND BASE THEIR BIDS ON THEIR ESTIMATES.

TOWN OF PARADISE VALLEY HILLSIDE NOTES

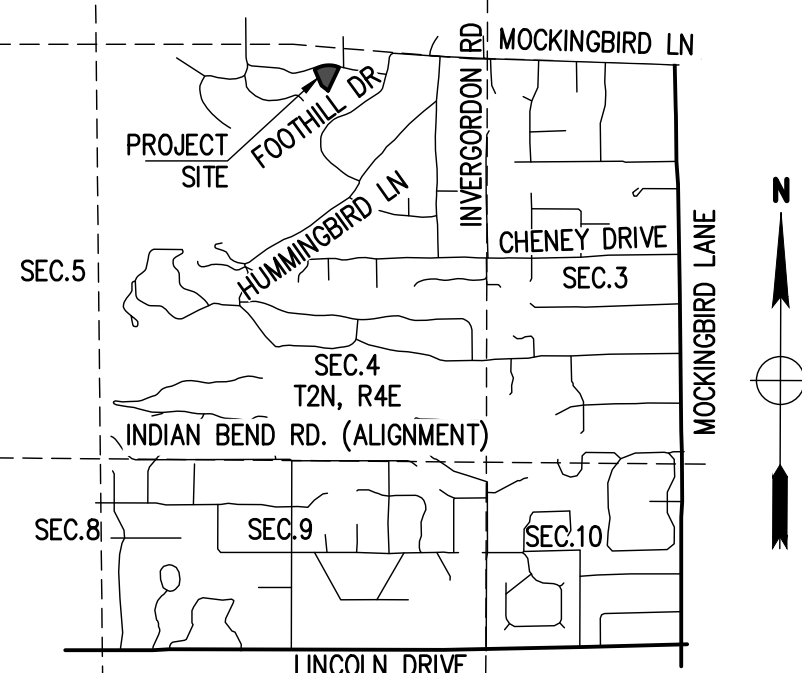
- A. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL ALL HILLSIDE STIPULATIONS AND ALL TOWN CODE REQUIREMENTS ARE COMPLIED INCLUDING, BUT NOT LIMITED TO LANDSCAPING, GROUND RESTORATION, FIRE FLOW, FIRE SAFETY, AND ALL ONSITE AND OFFSITE IMPROVEMENTS.
- B. ALL OUTDOOR LIGHTING SHALL BE IN CONFORMANCE WITH ARTICLE XXII OF THE TOWN ZONING ORDINANCE.
- C. ALL EXCESS FILL MATERIAL SHALL BE REMOVED FROM THE SITE WITH NO NEW SPILL SLOPES.
- D. THE USE OF HYDRAULIC RAM HAMMERS, OR OTHER HEAVY EQUIPMENT USED TO CUT THROUGH ROCK, INCLUDING MACHINERY WITH AUDIBLE BACK UP WARNING DEVICES SHALL BE LIMITED TO USE BETWEEN THE HOURS OF 7:00AM OR SUNRISE, WHICHEVER IS LATER, AND 6:00PM OR SUNSET, WHICHEVER IS EARLIER, MONDAY THROUGH FRIDAY, WITH LIMITED WORK ON SATURDAY AND NO WORK ON SUNDAY OR LEGAL HOLIDAYS. RAM HAMMERS AND OTHER HEAVY EQUIPMENT CANNOT BE USED ON SATURDAYS WITHOUT A WAIVER FROM THE TOWN MANAGER.
- E. CONSTRUCTION STAKING AND/OR FENCING SHALL BE PLACED AROUND THE CONSTRUCTION SITE SO AS TO PROTECT THE UNDISTURBED NATURAL AREA.
- F. ALL RETAINING WALLS SHALL NOT EXTEND MORE THAN 6 INCHES ABOVE THE MATERIAL THEY RETAIN (WITH EXCEPTION OF DRIVEWAY RETAINING WALLS IN ACCORDANCE WITH 2207.V.6).

GRADING SPECIFICATIONS

1. EXCAVATION AND GRADING OF THIS SITE IS CLASSIFIED AS "ENGINEERED GRADING" PER 2018 I.B.C. AND WILL BE PERFORMED ACCORDINGLY.
2. THE CONTRACTOR WILL RETAIN A SOILS ENGINEER DURING CONSTRUCTION TO INSPECT PROGRESS OF CONSTRUCTION. CONCERNING PREPARATION OF GROUND TO RECEIVE FILLS, TESTING AND REQUIRED COMPACTION STABILITY OF ALL SUBSTRATA AND ALL TYPES OF SLOPES.
3. COMPACTION SHALL COMPLY WITH M.A.G. SECTION 601 AND PROVISIONS AS SET FORTH IN THE SOILS REPORT.
4. BEARING MATERIALS FOR FILL UNDER RESIDENCE PAD IF NATIVE MATERIAL IS USED. LARGE ROCK FRAGMENTS MUST BE REMOVED THAT ARE IN EXCESS OF SIX INCHES. REMAINING MATERIAL MUST BE SMALLER PARTICLES OF SAND AND ROCK THAT CAN BE COMPACTED INTO A DENSE CONDUIT.
- MAXIMUM PARTICLE SIZE: 6 INCHES
- PERCENT PASSING NO. 4 SIEVE: 35% TO 70%
- PERCENT PASSING NO. 200 SIEVE: 25% MAX.
- PLASTICITY INDEX: 10% MAX.
5. CUT-SLOPES: MAXIMUM ROCK CUT SLOPE TO BE 1.0 FEET HORIZONTAL TO 3.0 FEET VERTICAL PER GEOTECHNICAL STUDY.
6. FILL SLOPES: MAXIMUM FILL SLOPE TO BE 2.0 FEET HORIZONTAL TO 1.0 FEET VERTICAL.
7. COMPACTION FILL MATERIAL MUST BE PLACED ON LEVELED BENCHES CUT INTO UNDISTURBED EXISTING HILLSIDE. PLACE FILL IN HORIZONTAL LIFTS OF THICKNESS COMPATIBLE WITH THE COMPACTION EQUIPMENT USED. COMPACT TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM A.S.T.M. DENSITY AT THE OPTIMUM MOISTURE CONTENT OF ± TWO PERCENT. THIS PERTAINS TO ALL ENGINEERED STRUCTURAL FILL SUPPORTING STRUCTURES AND INCLUDING FILL UNDER ANY OF THE RETAINING WALLS. COMPACTION TEST RESULTS SHALL BE SUBMITTED TO THE SOILS ENGINEER AND TOWN OF PARADISE VALLEY BUILDING AND SAFETY DEPARTMENT.
8. ANY RETAINING WALLS ADJACENT TO THE PROPERTY LINES WILL BE UNDER THE SCOPE OF SPECIAL INSPECTION BY THE SOILS ENGINEER. THE DEVELOPER SHALL NOTIFY THE ADJOINING PROPERTY OWNERS IN WRITING, TEN DAYS PRIOR TO START OF CONSTRUCTION ON THESE WALLS PER SECTION 2903-B OF IBC. THE DEVELOPER WILL HAVE TO PROVIDE MEANS OF PROTECTION OF ADJACENT PROPERTY WHILE THIS WORK IS UNDER CONSTRUCTION.
9. ALL EXPOSED CUT AND FILL SHALL BE TREATED WITH AN APPROVED AGING AGENT TO MINIMIZE TO VISUAL CONTINUITY.
10. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL ALL HILLSIDE STIPULATIONS AND ALL TOWN CODE REQUIREMENTS ARE COMPLIED INCLUDING, BUT NOT LIMITED TO LANDSCAPING, GROUND RESTORATION, FIRE FLOW, FIRE SAFETY AND ALL ONSITE AND OFFSITE IMPROVEMENTS.
11. ALL OUTDOOR LIGHTING SHALL BE IN CONFORMANCE WITH ARTICLE XXII OF THE TOWN ZONING ORDINANCE.
12. THE USE OF HYDRAULIC RAM HAMMERS, OR OTHER HEAVY EQUIPMENT USED TO CUT THROUGH ROCK, INCLUDING MACHINERY WITH AUDIBLE BACK UP WARNING DEVICES SHALL BE LIMITED TO USE BETWEEN THE HOURS OF 7:00AM OR SUNRISE, WHICHEVER IS LATER, AND 6:00PM OR SUNSET, WHICHEVER IS EARLIER, MONDAY THROUGH FRIDAY, WITH LIMITED WORK ON SATURDAY AND NO WORK ON SUNDAY OR LEGAL HOLIDAYS.
14. CONSTRUCTION STAKING AND/OR FENCING SHALL BE PLACED AROUND THE CONSTRUCTION SITE SO AS TO PROTECT THE UNDISTURBED NATURAL AREAS.

DRAINAGE STATEMENT

1. ULTIMATE STORM OUTFALL IS LOCATED AT THE NORTHEASTERLY CORNER AT ELEVATION OF 1388.77.
2. NEW SINGLE FAMILY RESIDENCE, NEW ATTACHED GARAGE, NEW DRIVEWAY, NEW POOL AND SITE IMPROVEMENTS ARE PROVIDED WITH THIS PROJECT.
3. PROPOSED DEVELOPMENT DOES NOT IMPACT DRAINAGE CONDITIONS OF ADJOINING LOTS.
4. HISTORIC FLOOD PATTERNS ARE RESTORED TO PRESERVED.
5. THE MINIMUM FINISH FLOOR ELEVATIONS SHOWN ARE SAFE FROM INUNDATION DURING A 100-YEAR PEAK RUN-OFF EVENT IF CONSTRUCTED PER THE APPROVED CIVIL PLANS.
6. PROPOSED STORM DRAIN SYSTEM SHALL BE INSPECTED AND CLEANED FROM DEBRIS AND SLT AFTER EVERY MAJOR STORM EVENT.
7. CHECK DAMS, RIPRAP AND BOULDERS ARE SPECIFIED AT ALL POINTS OF DISCHARGE TO MITIGATE EROSION AND TO CONVERT CONCENTRATED FLOWS BACK TO SHEET FLOWS.
8. ON-SITE RETENTION IS PROVIDED FOR THE FIRST FLUSH STORM EVENT.



VICINITY MAP

OWNER

MC REAL ESTATE HOLDINGS  
COMPANY, LLC  
6041 E FOOTHILL DR.,  
PARADISE VALLEY, AZ 85253

CIVIL ENGINEER

LAND DEVELOPMENT GROUP, LLC  
8808 N CENTRAL AVE., SUITE 288  
PHOENIX, AZ 85020  
CONTACT: NICK PRODANOV, PE  
P: 602 889 1984

ARCHITECT

DREWETT WORKS  
7144 E STETSON DR., STE 204,  
SCOTTSDALE, AZ 85251  
P: 267-907-2970  
T: 855-373-9388 EXT. 705  
NICK@DREWETTWORKS.COM

BENCHMARK

BRASS CAP IN HAND HOLE AT THE INTERSECTION OF MOCKINGBIRD LANE AND NORTHERN AVE. HAVING AN ELEVATION OF 1311.035 NAVD 88 DATUM, GDACS# 24506-1.

BASIS OF BEARINGS

THE MONUMENT LINE OF FOOTHILL DR., THE BEARING OF WHICH IS 571°27'18".

LEGAL DESCRIPTION

PARCEL NO. 1:  
LOT 64, OF MUMMY MOUNTAIN PARK, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 57 OF MAPS, PAGE 1;

PARCEL NO. 2:  
A PORTION OF LOT 1, DESERT FOOTHILLS MANOR, ACCORDING TO BOOK 381 OF MAPS, PAGE 1 AND IN BOOK 511 OF MAPS, PAGE 9, A PORTION OF THE NORTHEAST QUARTER OF SECTION 4, TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, RECORDS OF MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
COMMENCING AT THE NORTH 1/4 CORNER OF SAID SECTION 4;  
THENCE ALONG THE NORTHERLY LINE OF SAID SECTION 4 SOUTH 84 DEGREES 39 MINUTES 00 SECONDS EAST, A DISTANCE OF 626.05 FEET TO A 3/4 IRON PIPE IN SAID NORTHERLY LINE;  
THENCE ALONG THE CENTERLINE OF COCONINO ROAD SOUTH 00 DEGREES 01 MINUTE 00 SECONDS WEST, A DISTANCE OF 278.20 FEET TO A POINT OF CURVE IN THE CENTERLINE OF FOOTHILL DRIVE;  
THENCE ALONG THE SAID CENTERLINE OF FOOTHILL DRIVE CURVING TO THE RIGHT THE RADIUS POINT BEARS NORTH 04 DEGREES 50 MINUTES 40 SECONDS EAST 477.75 FEET WITH A CENTRAL ANGLE OF 18 DEGREES 54 MINUTES 00 SECONDS AND AN ARC DISTANCE OF 157.59 FEET TO A POINT OF TANGENT IN SAME;  
THENCE STILL ALONG SAID CENTERLINE NORTH 66 DEGREES 15 MINUTES 20 SECONDS WEST, A DISTANCE OF 20.00 FEET TO A POINT IN SAME AND AT THE PROLONGED WESTERLY LINE OF LOT 1, OF DESERT FOOTHILLS MANOR;  
THENCE ALONG SAID PROLONGED WESTERLY LINE OF LOT 1, SOUTH 23 DEGREES 44 MINUTES 40 SECONDS WEST, A DISTANCE OF 25.00 FEET TO THE NORTHWEST CORNER OF SAID LOT 1 AND THE SOUTHERLY RIGHT OF WAY LINE OF FOOTHILL DRIVE AND THE TRUE POINT OF BEGINNING;  
THENCE ALONG THE SAID SOUTHERLY RIGHT OF WAY LINE OF FOOTHILL DRIVE SOUTH 68 DEGREES 15 MINUTES 20 SECONDS EAST, A DISTANCE OF 14.00 FEET TO A POINT IN SAME;  
THENCE LEAVING SAID RIGHT OF WAY LINE SOUTH 69 DEGREES 47 MINUTES 10 SECONDS WEST, A DISTANCE OF 19.45 FEET TO A POINT IN THE WESTERLY LINE OF SAID LOT 1;  
THENCE ALONG THE SAID WESTERLY LINE OF LOT 1 NORTH 23 DEGREES 44 MINUTES 40 SECONDS EAST, A DISTANCE OF 13.50 FEET TO THE TRUE POINT OF BEGINNING;  
EXCEPT ALL COAL AND OTHER MINERALS AS RESERVED IN PATENT FROM THE UNITED STATES OF AMERICA.

FLOOD INSURANCE RATE MAP (FIRM) DATA

COMMUNITY #	PANEL #	SUFFIX	BASE FLOOD ELEVATION
040049	1755 OF 4425	L	N/A
MAP #	PANEL DATE	FIRM INDEX DATE	ZONE
04013C	10/16/2013	02/09/2024	X*

\*AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

PROJECT DESCRIPTION

NEW SINGLE FAMILY RESIDENCE, NEW CASTA/ART STUDIO, NEW GARAGE, NEW DRIVEWAYS, NEW POOL AND SITE IMPROVEMENTS WITH ON SITE RETENTION.

FINISH FLOOR CERTIFICATION

I HEREBY CERTIFY THAT THE FINISHED FLOOR ELEVATION OF THE PROPOSED NEW SINGLE FAMILY RESIDENCE SHOWN ON THE PLAN OF 1418.50, 1431.00 AND 1443.50 ARE MINIMUM OF 12" ABOVE THE 100-YEAR STORM ELEVATION OF 1417.00 ACCORDING TO THE TOWN OF PARADISE VALLEY CODE OF ORDINANCE.

Nick Prodanov

REGISTERED CIVIL ENGINEER

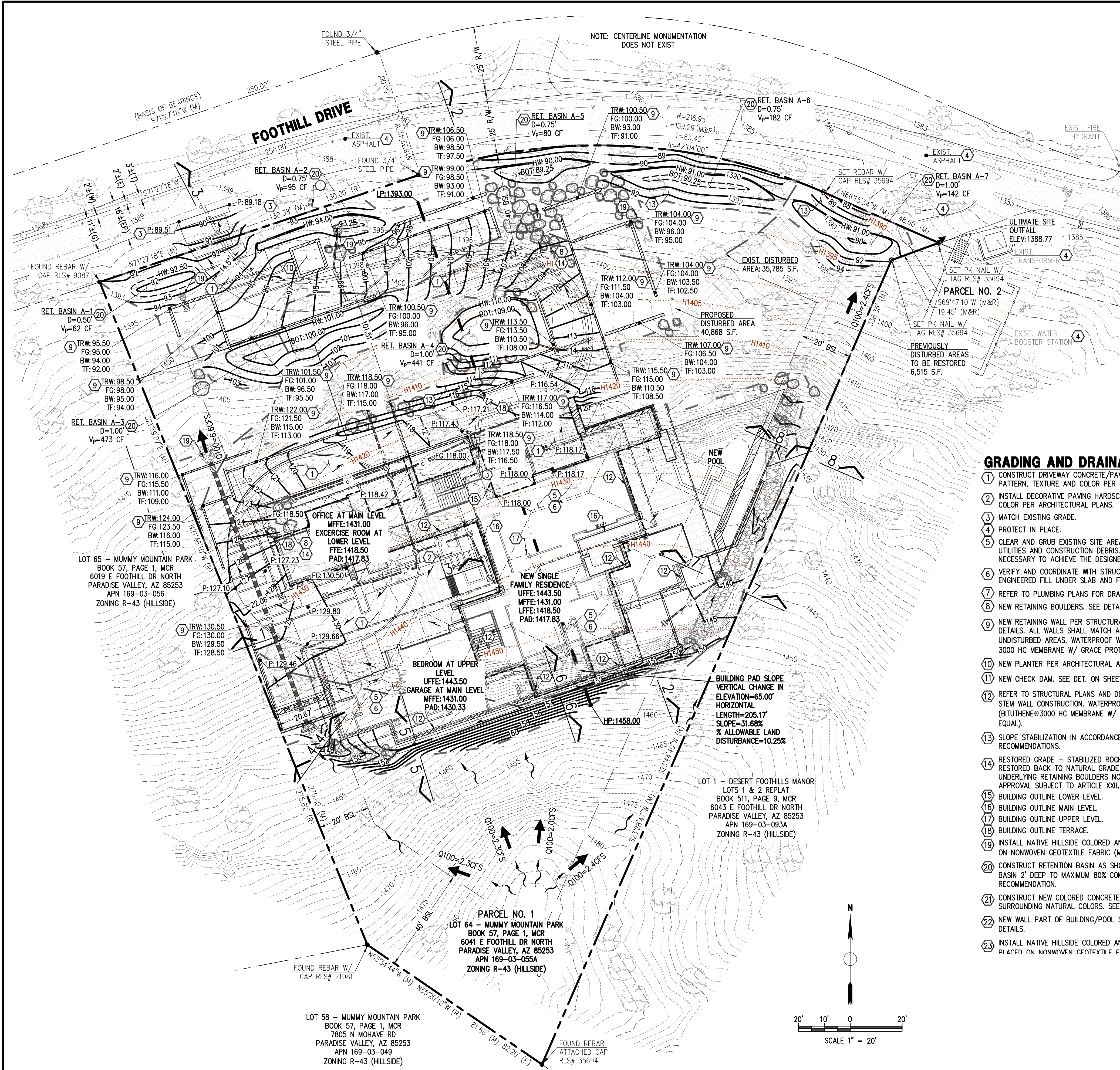
06/05/25

DATE:

APPROVAL

THIS SET OF PLANS HAS BEEN REVIEWED FOR COMPLIANCE WITH TOWN OF PARADISE VAL





### RETENTION CALCULATIONS

ON-SITE RETENTION FOR THE PRE VS. POST DEVELOPMENT RUNOFF FROM 100-YEAR, 2-HOUR STORM EVENT											
V=DxAx(Cw,post-Cw,pre)/12   D = RAINFALL DEPTH = 2.21"   A = TRIBUTARY AREA, SF EXCLUDING OFF-SITE FLOWS DRAINAGE CORRIDORS   Cw = WEIGHTED RUNOFF COEFFICIENT   V=(DfxAxCw,post)/12   Df = RAINFALL DEPTH = 0.5" FIRST FLUSH   A = TRIBUTARY AREA, SF											
DRAINAGE AREA	AREA	RUNOFF COEFFICIENT	VOLUME REQUIRED PRE VS POST	VOLUME REQUIRED FIRST FLUSH	UNDERGROUND PIPE ID	STORM WATER RETENTION METHOD		CONTOUR AREA	DEPTH	VOLUME PROVIDED	AS-BUILT VOLUME PROVIDED
	S.F.	Cw	C.F.	C.F.		S.F.	FT	S.F.	FT	C.F.	C.F.
A	40,868	0.06	452	1,430	A1	HW	1,392.50	180	0.50	62	
						BOTTOM	1,392.00	68			
					A2	HW	1,394.00	232	0.75	95	
						BOTTOM	1,393.25	20			
					A3	HW	1,401.00	750	1.00	473	
						BOTTOM	1,400.00	196			
					A4	HW	1,411.00	611	1.00	441	
						BOTTOM	1,410.00	271			
					A5	HW	1,390.00	192	0.75	80	
						BOTTOM	1,389.25	20			
					A6	HW	1,391.00	411	0.75	182	
						BOTTOM	1,390.25	74			
					A7	HW	1,391.00	279	1.00	142	
						BOTTOM	1,390.00	5			
TOTAL			452	1,430					1,475		

WEIGHTED RUNOFF COEFFICIENT, Cw			
PRE- DEVELOPMENT			
SURFACE TYPE	RUNOFF COEFFICIENT	AREA	C*AREA
PAVEMENT & ROOF	C	SF	
	0.95	12,086	11,482
NATIVE HILLSIDE	C	SF	
	0.70	28,782	20,147
TOTAL		40,868	31,629
Cw = C * AREA / TOTAL AREA			
0.77			

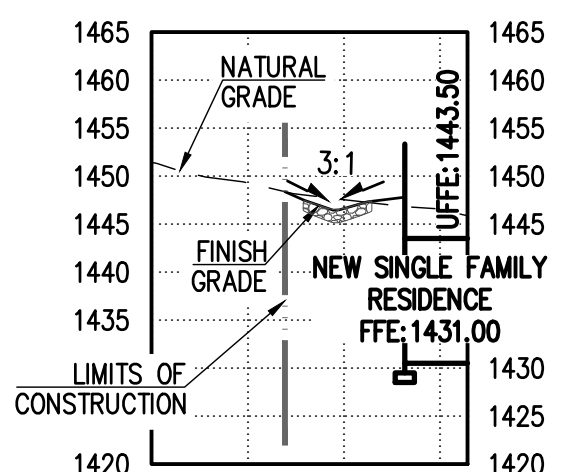
WEIGHTED RUNOFF COEFFICIENT, Cw			
POST- DEVELOPMENT			
SURFACE TYPE	RUNOFF COEFFICIENT	AREA	C*AREA
PAVEMENT & ROOF	C	SF	
	0.95	22,083	20,979
NATIVE HILLSIDE	C	SF	
	0.70	18,785	13,150
TOTAL		40,868	34,128
Cw = C * AREA / TOTAL AREA			
0.84			

### GRADING AND DRAINAGE KEY-NOTES

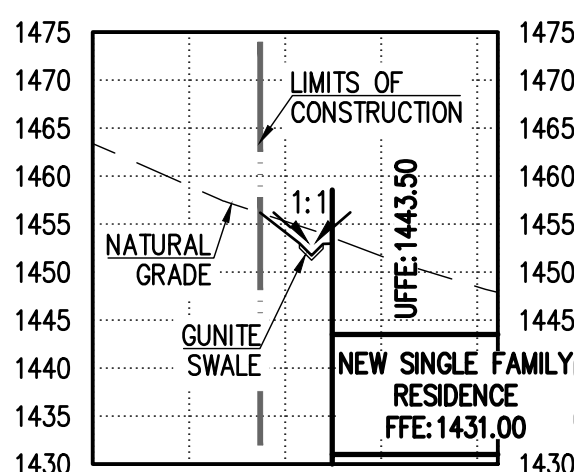
- CONSTRUCT DRIVEWAY CONCRETE/PAVERS ON COMPACTED SUBGRADE. THICKNESS, PATTERN, TEXTURE AND COLOR PER ARCHITECTURAL PLANS.
- INSTALL DECORATIVE PAVING HARDSCAPE. THICKNESS, PATTERN, TEXTURE AND COLOR PER ARCHITECTURAL PLANS.
- MATCH EXISTING GRADE.
- PROTECT IN PLACE.
- CLEAR AND GRUB EXISTING SITE AREA. REMOVE ALL VEGETATION, EXISTING UTILITIES AND CONSTRUCTION DEBRIS. CUT AND FILL EXISTING TERRAIN AS NECESSARY TO ACHIEVE THE DESIGNED SUBGRADE ELEVATIONS.
- VERIFY AND COORDINATE WITH STRUCTURAL AND GEOTECHNICAL ENGINEERS, THE ENGINEERED FILL UNDER SLAB AND FOOTINGS.
- REFER TO PLUMBING PLANS FOR DRAINAGE OF MAIN LEVEL POOL DECK.
- NEW RETAINING BOULDERS. SEE DETAIL ON SHEET C-4.
- NEW RETAINING WALL PER STRUCTURAL AND ARCHITECTURAL PLANS AND DETAILS. ALL WALLS SHALL MATCH AND BLEND WITH THE ADJACENT UNDISTURBED AREAS. WATERPROOF WALL 1.5' ABOVE FINISH GRADE. (BITUTHENE® 3000 HC MEMBRANE W/ GRACE PROTECTION 03 OR APPROVED EQUAL).
- NEW PLANTER PER ARCHITECTURAL AND LANDSCAPE PLANS.
- NEW CHECK DAM. SEE DET. ON SHEET C-4.
- SLOPE STABILIZATION IN ACCORDANCE WITH GEOTECHNICAL REPORT RECOMMENDATIONS.
- RESTORED GRADE - STABILIZED ROCKS AND BOULDERS WITH SOIL DEPOSITS RESTORED BACK TO NATURAL GRADE AND REVEGETATED WITH NATIVE PLANTS. UNDERLYING RETAINING BOULDERS NOT TO EXCEED A SLOPE OF 1:1. FINAL APPROVAL SUBJECT TO ARTICLE XXII, SECTION 2207.V.
- BUILDING OUTLINE LOWER LEVEL.
- BUILDING OUTLINE MAIN LEVEL.
- BUILDING OUTLINE UPPER LEVEL.
- BUILDING OUTLINE TERRACE.
- INSTALL NATIVE HILLSIDE COLORED ANGULAR RIP-RAP D50=6", 1" THICK PLACED ON NONWOVEN GEOTEXTILE FABRIC (MIRAFI N-SERIES OR APPROVED EQUAL).
- CONSTRUCT RETENTION BASIN AS SHOWN. CONTRACTOR TO SCARIFY BOTTOM OF BASIN 2' DEEP TO MAXIMUM 80% COMPACTION, AND PER GEOTECHNICAL REPORT RECOMMENDATION.
- CONSTRUCT NEW COLORED CONCRETE GUNNITE SWALE. COLOR SHALL MATCH SURROUNDING NATURAL COLORS. SEE DETAIL ON SHEET C-4.
- NEW WALL PART OF BUILDING/POOL STRUCTURE PER STRUCTURAL PLANS AND DETAILS.
- INSTALL NATIVE HILLSIDE COLORED ANGULAR RIP-RAP D50=1.17", 1.75" THICK PLACED ON NONWOVEN GEOTEXTILE FABRIC (MIRAFI N-SERIES OR APPROVED EQUAL).

### PRIVATE WATER KEY-NOTES

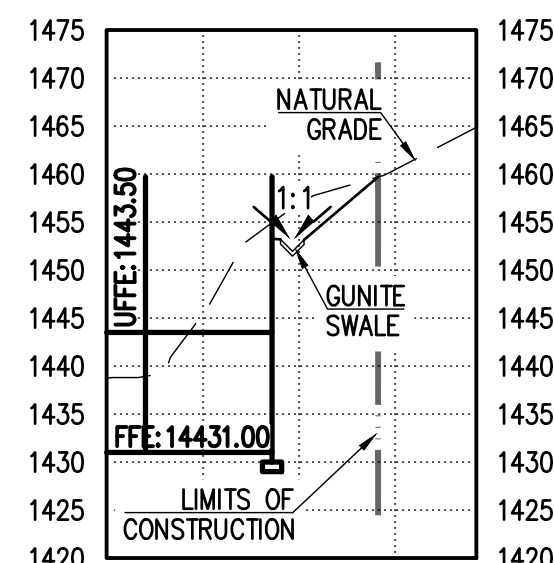
- CONNECT TO EXIST. WATER SERVICE. INSTALL NEW 1" WATER METER. VERIFY WITH PLUMBING PLANS.
- INSTALL NEW 1-1/2" DOMESTIC WATER LINE. VERIFY WITH PLUMBING PLANS.
- FOR CONTINUATION SEE PLUMBING PLANS.



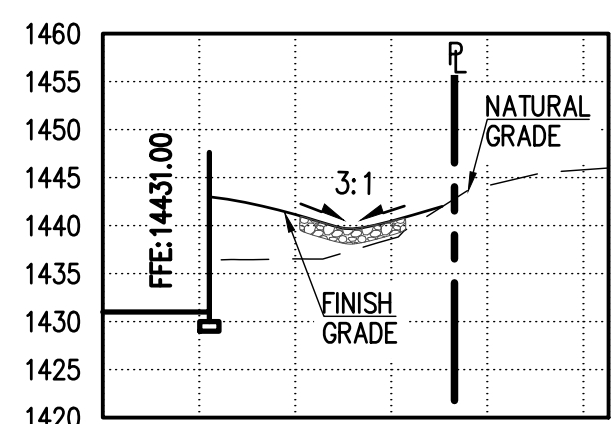
**CROSS SECTION 4 - 4**  
SCALE HOR. 1" = 20', VER. 1" = 20'



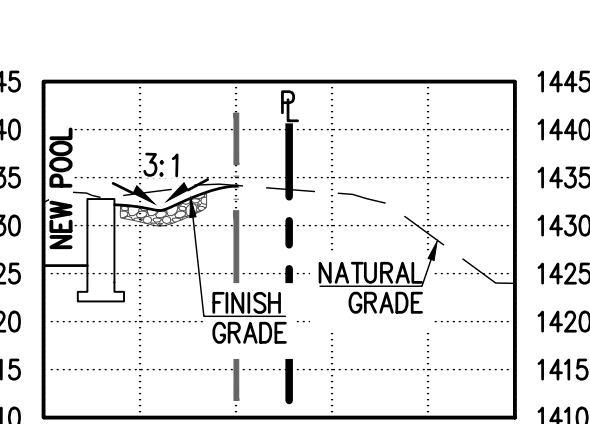
**CROSS SECTION 5 - 5**  
SCALE HOR. 1" = 20', VER. 1" = 20'



**CROSS SECTION 6 - 6**  
SCALE HOR. 1" = 20', VER. 1" = 20'



**CROSS SECTION 7 - 7**  
SCALE HOR. 1" = 20', VER. 1" = 20'



**CROSS SECTION 8 - 8**  
SCALE HOR. 1" = 20', VER. 1" = 20'

DATE: 06/05/25	DATE: 06/05/25	DATE: 06/05/25	DATE: 06/05/25
JOB: 2108360	DESIGNED BY: NP	DRAWN BY: ZA	CHECKED BY: JL
VERSION: 1.1			
PLOT DATE: 06/05/25			

### GRADING & DRAINAGE IMPROVEMENT PLAN LOWER LEVEL

**LOT 64 - MUMMY MOUNTAIN PARK**  
6041 E FOOTHILL DR.,  
PARADISE VALLEY, AZ 85253

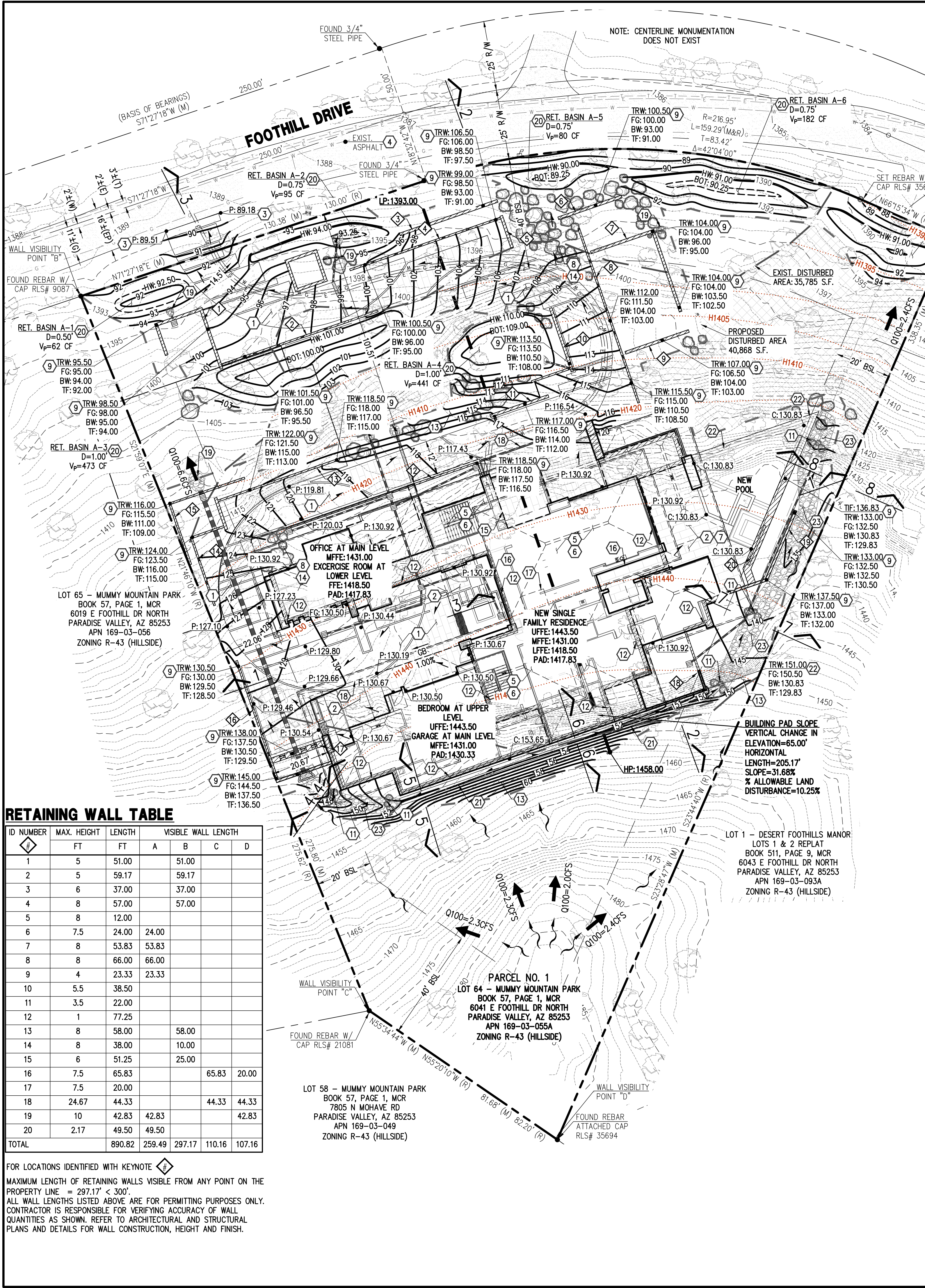
P. 602 889 0984 | F. 602 445 9482  
8808 N CENTRAL AVE., SUITE 288  
PHOENIX, AZ 85020  
PHOENIXDESIGN.COM



**C-2**  
2 OF 4







RETAINING WALL TABLE

ID NUMBER	MAX. HEIGHT	LENGTH	VISIBLE WALL LENGTH			
			A	B	C	D
1	5	51.00		51.00		
2	5	59.17		59.17		
3	6	37.00		37.00		
4	8	57.00		57.00		
5	8	12.00				
6	7.5	24.00	24.00			
7	8	53.83	53.83			
8	8	66.00	66.00			
9	4	23.33	23.33			
10	5.5	38.50				
11	3.5	22.00				
12	1	77.25				
13	8	58.00	58.00			
14	8	38.00	10.00			
15	6	51.25	25.00			
16	7.5	65.83		65.83	20.00	
17	7.5	20.00				
18	24.67	44.33		44.33	44.33	
19	10	42.83	42.83			42.83
20	2.17	49.50	49.50			
TOTAL		890.82	259.49	297.17	110.16	107.16

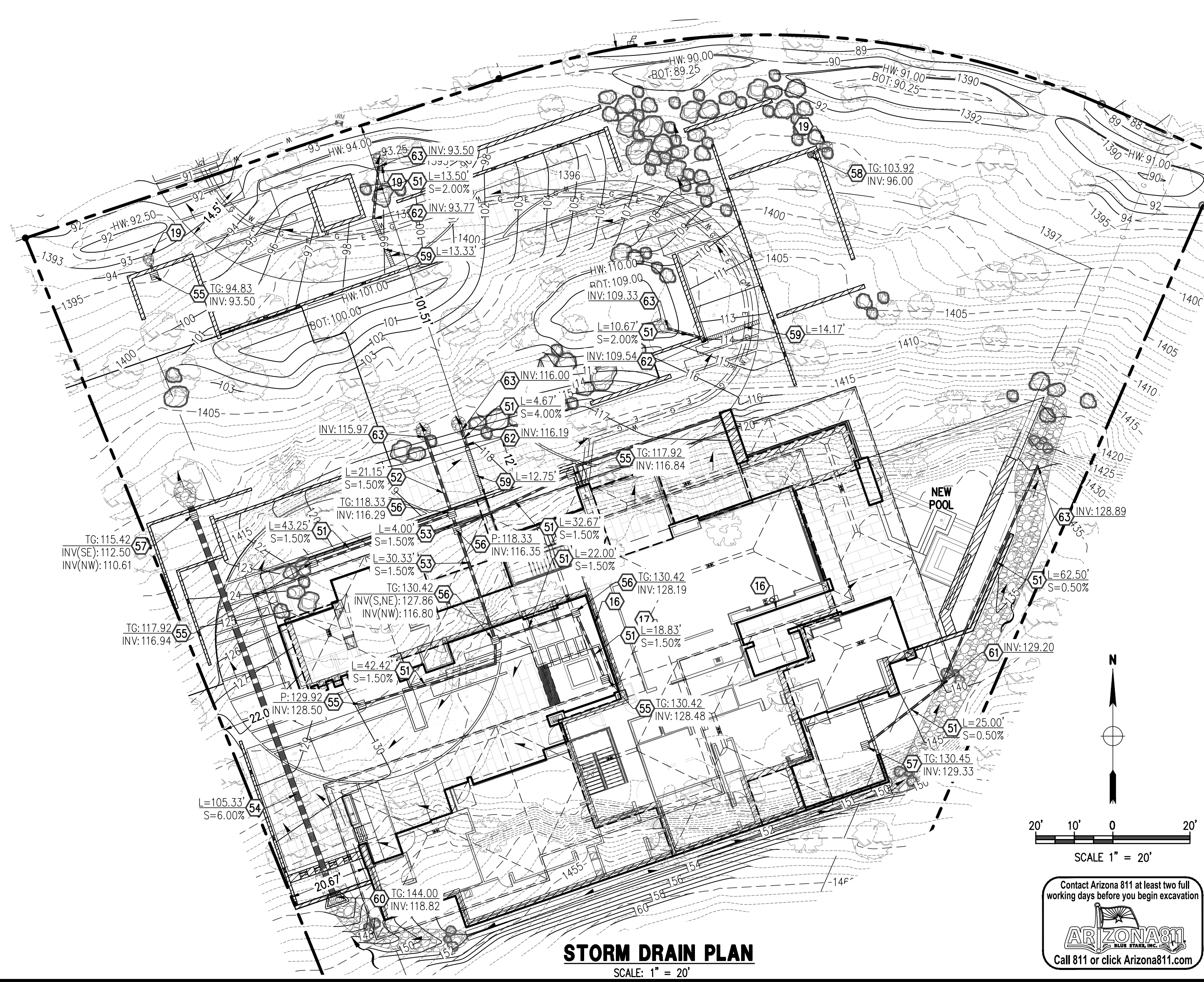
FOR LOCATIONS IDENTIFIED WITH KEYNOTE 4  
MAXIMUM LENGTH OF RETAINING WALLS VISIBLE FROM ANY POINT ON THE PROPERTY LINE = 297.17' < 300'.  
ALL WALL LENGTHS LISTED ABOVE ARE FOR PERMITTING PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ACCURACY OF WALL QUANTITIES AS SHOWN. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS AND DETAILS FOR WALL CONSTRUCTION, HEIGHT AND FINISH.

GRADING AND DRAINAGE KEY-NOTES

1. CONSTRUCT DRIVEWAY CONCRETE/PAYERS ON COMPACTED SUBGRADE. THICKNESS, PATTERN, TEXTURE AND COLOR PER ARCHITECTURAL PLANS.
2. INSTALL DECORATIVE PAVING HARDSCAPE. THICKNESS, PATTERN, TEXTURE AND COLOR PER ARCHITECTURAL PLANS.
3. MATCH EXISTING GRADE.
4. PROTECT IN PLACE.
5. CLEAR AND GRUB EXISTING SITE AREA. REMOVE ALL VEGETATION, EXISTING UTILITIES AND CONSTRUCTION DEBRIS. CUT AND FILL EXISTING TERRAIN AS NECESSARY TO ACHIEVE THE DESIGNED SUBGRADE ELEVATIONS.
6. VERIFY AND COORDINATE WITH STRUCTURAL AND GEOTECHNICAL ENGINEERS, THE ENGINEERED FILL UNDER SLAB AND FOOTINGS.
7. REFER TO PLUMBING PLANS FOR DRAINAGE OF MAIN LEVEL POOL DECK.
8. NEW RETAINING BOULDERS. SEE DETAIL ON SHEET C-4.
9. NEW RETAINING WALL PER STRUCTURAL AND ARCHITECTURAL PLANS AND DETAILS. ALL WALLS SHALL MATCH AND BLEND WITH THE ADJACENT UNDISTURBED AREAS. WATERPROOF WALL 1.5' ABOVE FINISH GRADE. (BITUTHENE® 3000 HC MEMBRANE W/ GRACE PROTECTION 03 OR APPROVED EQUAL).
10. NEW PLANTER PER ARCHITECTURAL AND LANDSCAPE PLANS.
11. NEW CHECK DAM. SEE DET. ON SHEET C-4.
12. REFER TO STRUCTURAL PLANS AND DETAILS FOR RETAINING AGAINST BUILDING STEM WALL CONSTRUCTION. WATERPROOF WALL 1.5' ABOVE FINISH GRADE. (BITUTHENE® 3000 HC MEMBRANE W/ GRACE PROTECTION 03 OR APPROVED EQUAL).
13. SLOPE STABILIZATION IN ACCORDANCE WITH GEOTECHNICAL REPORT RECOMMENDATIONS.
14. RESTORED GRADE - STABILIZED ROCKS AND BOULDERS WITH SOIL DEPOSITS RESTORED BACK TO NATURAL GRADE AND REVEGETATED WITH NATIVE PLANTS. UNDERLYING RETAINING BOULDERS NOT TO EXCEED A SLOPE OF 1:1. FINAL APPROVAL SUBJECT TO ARTICLE XXII, SECTION 2207.V.
15. BUILDING OUTLINE LOWER LEVEL.
16. BUILDING OUTLINE MAIN LEVEL.
17. BUILDING OUTLINE UPPER LEVEL.
18. BUILDING OUTLINE TERRACE.
19. INSTALL NATIVE HILLSIDE COLORED ANGULAR RIP-RAP D50=6", 1' THICK PLACED ON NONWOVEN GEOTEXTILE FABRIC (MIRAFI N-SERIES OR APPROVED EQUAL).
20. CONSTRUCT RETENTION BASIN AS SHOWN. CONTRACTOR TO SCARIFY BOTTOM OF BASIN 2' DEEP TO MAXIMUM 80% COMPACTION, AND PER GEOTECHNICAL REPORT RECOMMENDATION.
21. CONSTRUCT NEW COLORED CONCRETE GUNNITE SWALE. COLOR SHALL MATCH SURROUNDING NATURAL COLORS. SEE DETAIL ON SHEET C-4.
22. NEW WALL PART OF BUILDING/POOL STRUCTURE PER STRUCTURAL PLANS AND DETAILS.
23. INSTALL NATIVE HILLSIDE COLORED ANGULAR RIP-RAP D50=1.17", 1.75' THICK PLACED ON NONWOVEN GEOTEXTILE FABRIC (MIRAFI N-SERIES OR APPROVED EQUAL).

STORM DRAIN KEY-NOTES

51. INSTALL 6" PVC STORM DRAIN PIPE, INCLUDING ALL FITTINGS PER MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS.
52. INSTALL 8" PVC STORM DRAIN PIPE, INCLUDING ALL FITTINGS PER MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS.
53. INSTALL 8" RORCP CLASS V STORM DRAIN PIPE, INCLUDING ALL FITTINGS PER MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS.
54. INSTALL 18" HDPE STORM DRAIN PIPE, INCLUDING ALL FITTINGS PER MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS.
55. INSTALL NYLOPLAST ADS INLINE DRAIN 2712AG WITH 12" X 12" ADS 1299COP GRATE WITH WATERTIGHT CONNECTIONS, INCLUDING ALL ADAPTERS & FITTINGS PER MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS, OR APPROVED EQUAL.
56. INSTALL NYLOPLAST ADS DRAIN BASIN 2812AG WITH 12" X 12" ADS 1299COP GRATE WITH WATERTIGHT CONNECTIONS, INCLUDING ALL ADAPTERS & FITTINGS PER MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS, OR APPROVED EQUAL.
57. INSTALL NYLOPLAST ADS INLINE DRAIN 2724AG WITH 24" X 24" ADS 2499COP GRATE WITH WATERTIGHT CONNECTIONS, INCLUDING ALL ADAPTERS & FITTINGS PER MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS, OR APPROVED EQUAL.
58. INSTALL 6" PVC SCH. 40 STORM DRAIN PIPE THROUGH WALL TO DAYLIGHT WITH VERTICAL RISER WITH 12" DOMED GRATE WITH WATERTIGHT CONNECTIONS, INCLUDING ALL ADAPTERS & FITTINGS PER MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS, OR APPROVED EQUAL. REFER TO MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS.
59. INSTALL 8" WIDE ADS DURA-SLOT XL TRENCH DRAIN SYSTEM. COMPLETE WITH ALL REQUIRED FITTINGS OR APPROVED EQUAL. REFER TO MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS.
60. INSTALL DROP INLET HEADWALL, WITH SIZES SHOWN ON PLAN, PER MAG STD DET. 501-S(MODIFIED) AND STRUCTURAL PLANS AND DETAILS WITH TRASH RACK PER MAG STD. DET. 502-1 SET AT 60° ANGLE, MODIFIED FOR THE INLET SIZE.
61. INSTALL WYE CONNECTION INCLUDING ALL FITTINGS PER MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS.
62. INSTALL TRENCH DRAIN END/BOTTOM OUTLET CONNECTION TO STORM DRAIN PIPE INCLUDING ALL FITTINGS PER MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS.
63. STORM DRAIN PIPE TO DAYLIGHT AT FINISHED GRADE, SEE DETAIL ON SHEET C-4.



STORM DRAIN PLAN

SCALE: 1" = 20'

DATE: 06/05/25  
JOB: 2108360  
VERSION: 1.1  
PLOT DATE: 06/05/25

SCALE: 1"=20' OR AS NOTED  
DESIGNED BY: NP  
DRAWN BY: ZA  
CHECKED BY: JL

DATE:  
REVISIONS:

GRADING & DRAINAGE  
IMPROVEMENT PLAN  
MAIN LEVEL  
STORM DRAIN PLAN

LOT 64 - MUMMY MOUNTAIN PARK  
6041 E FOOTHILL DR.,  
PARADISE VALLEY, AZ 85253

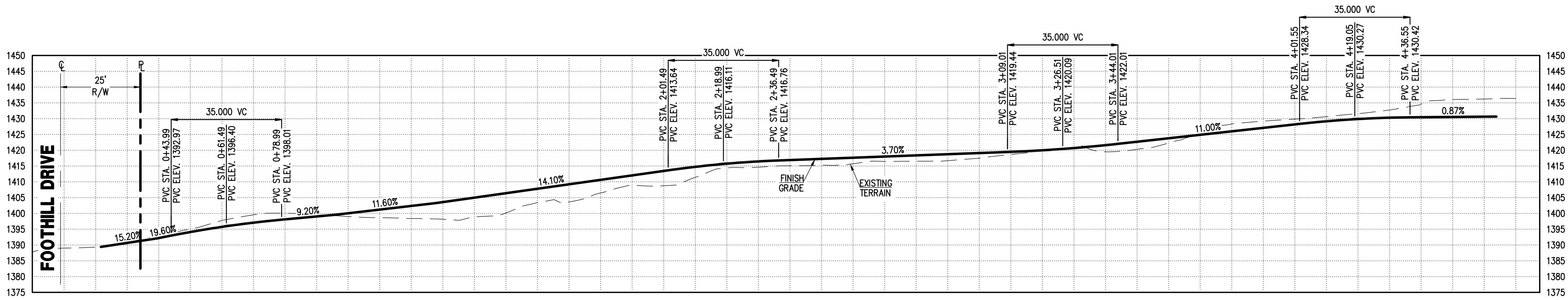
P: 602 889 0984 | F: 602 445 9492  
8808 N CENTRAL AVE., SUITE 288  
PHOENIX, AZ 85020  
PHOENIXLANDING.COM

PHOENIXLANDING GROUP

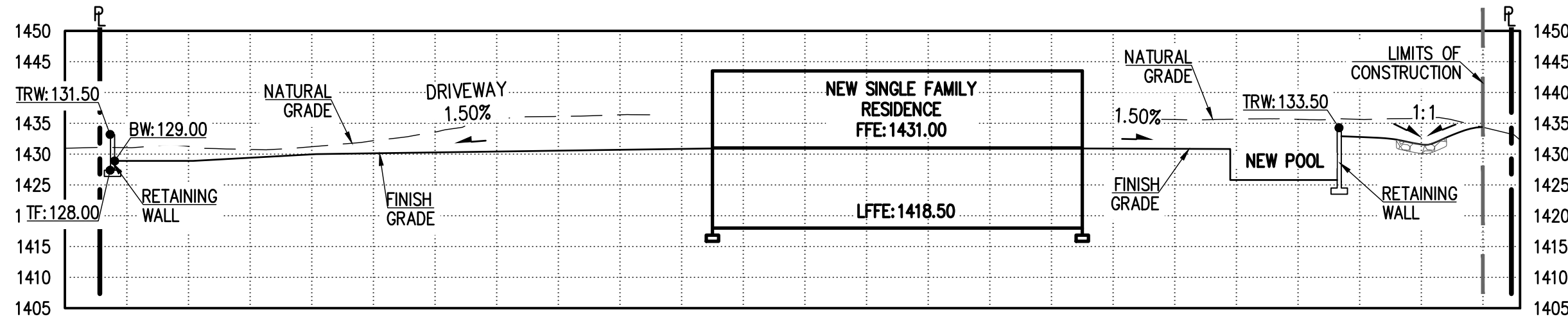
NICKOLA J. PRODANOV  
REGISTERED PROFESSIONAL ENGINEER  
NO. 41005  
STATE OF ARIZONA

C-3  
3 OF 4

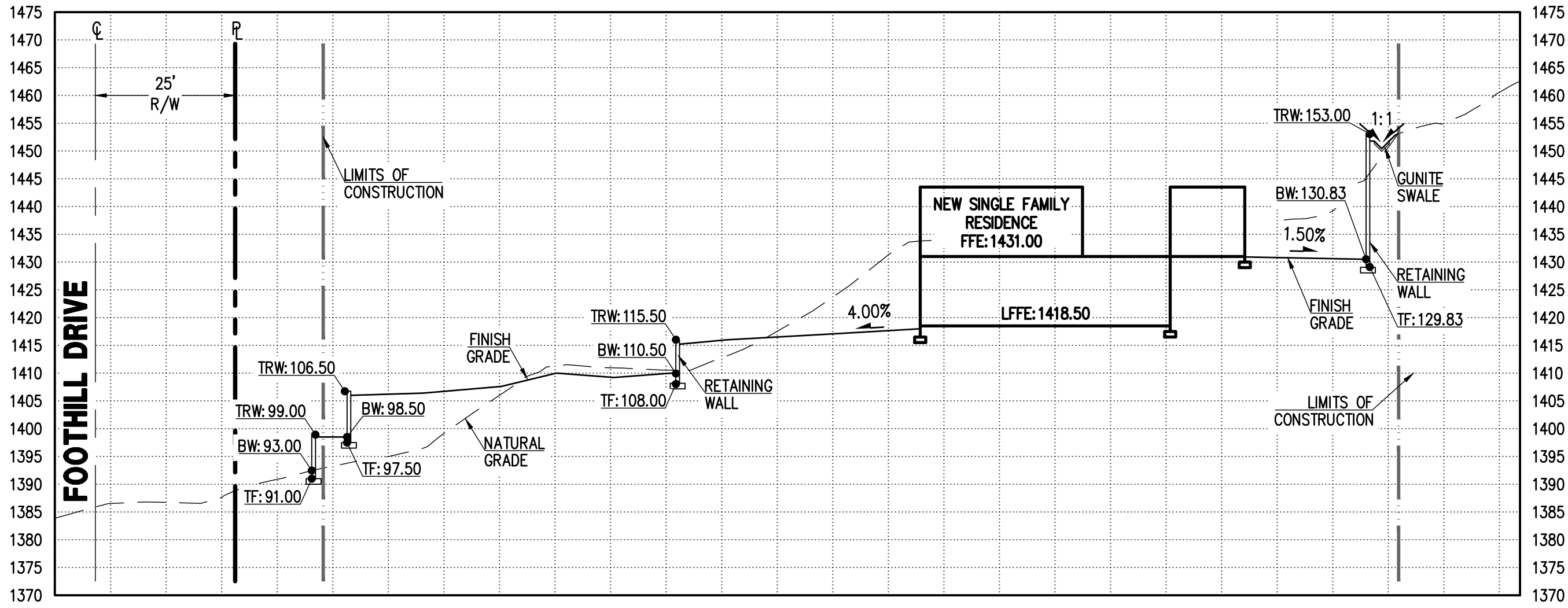




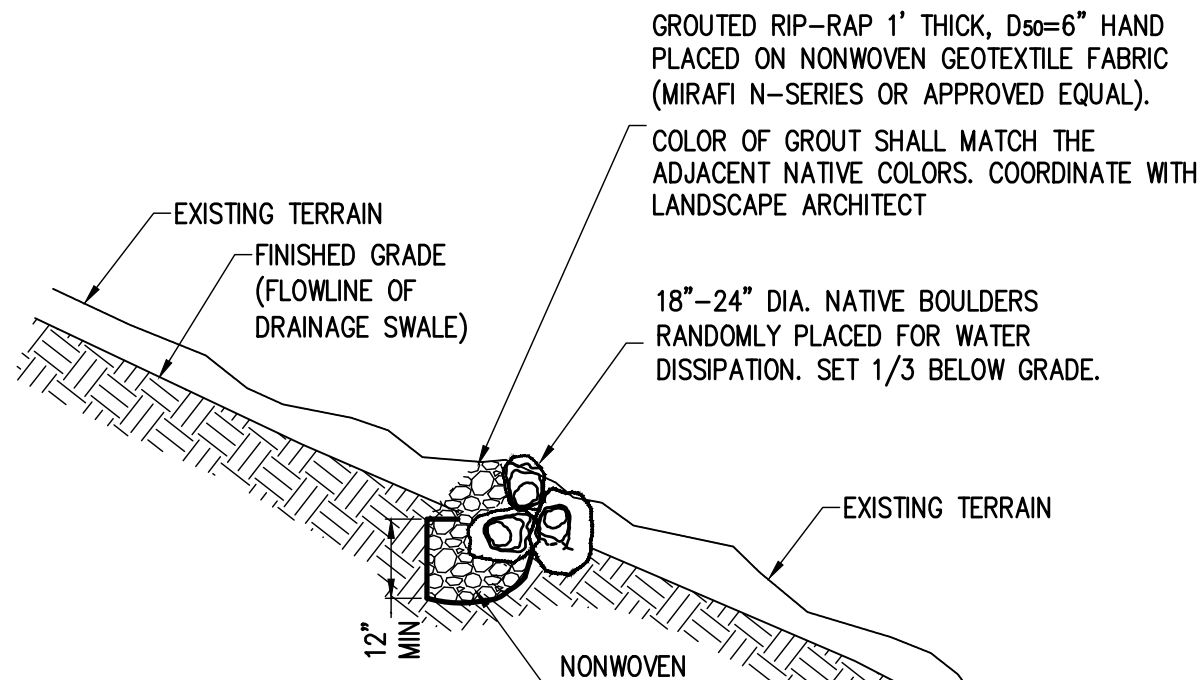
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SCALE HOR. 1" = 20', VER. 1" = 20'



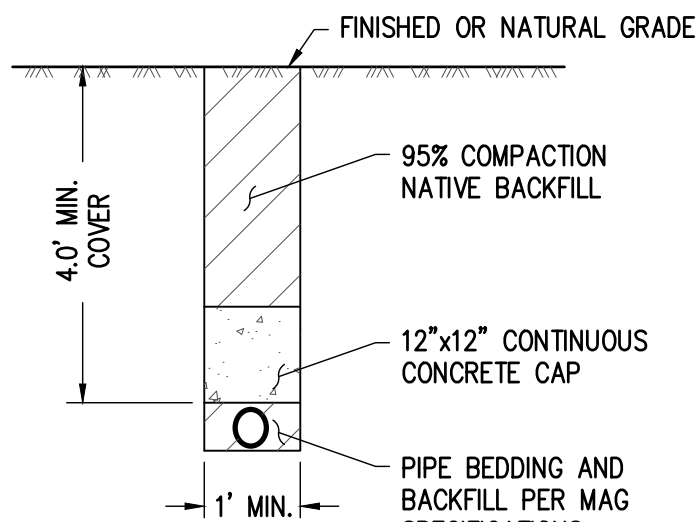
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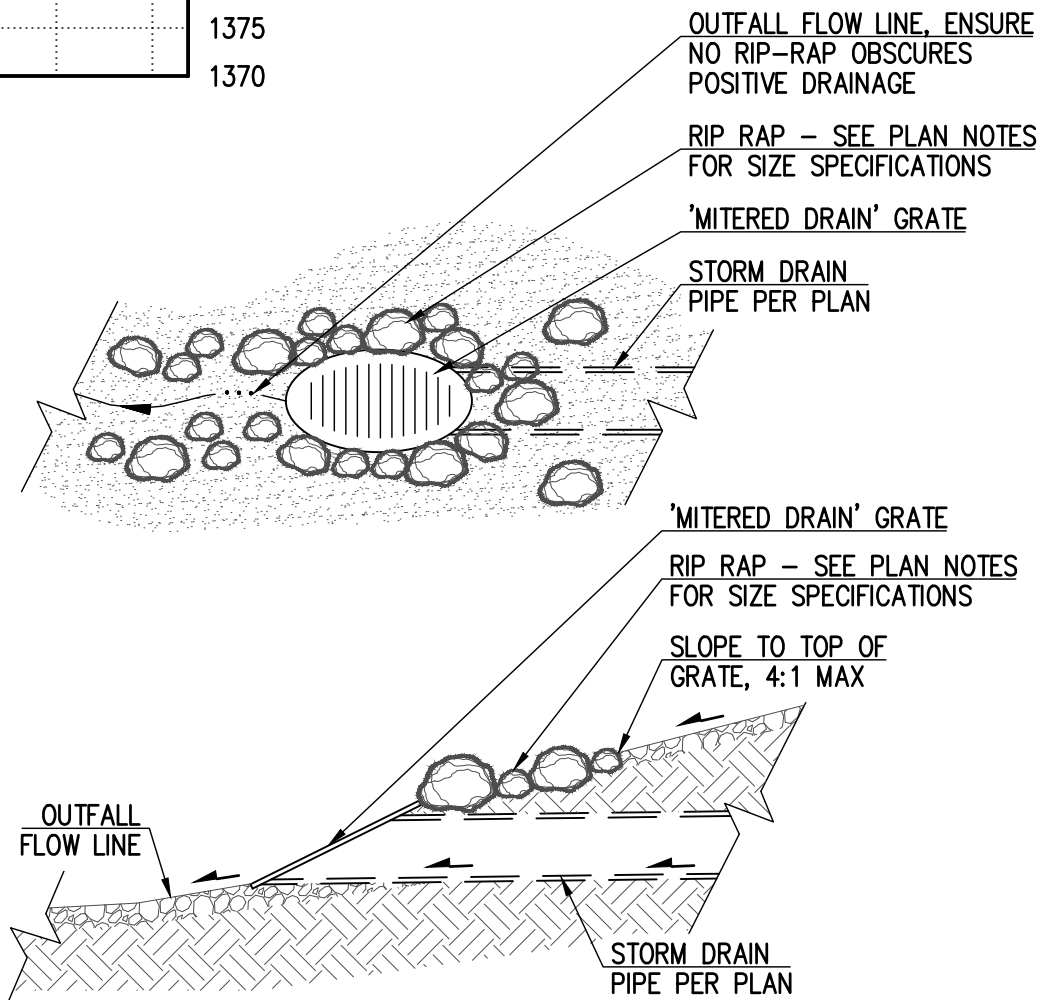
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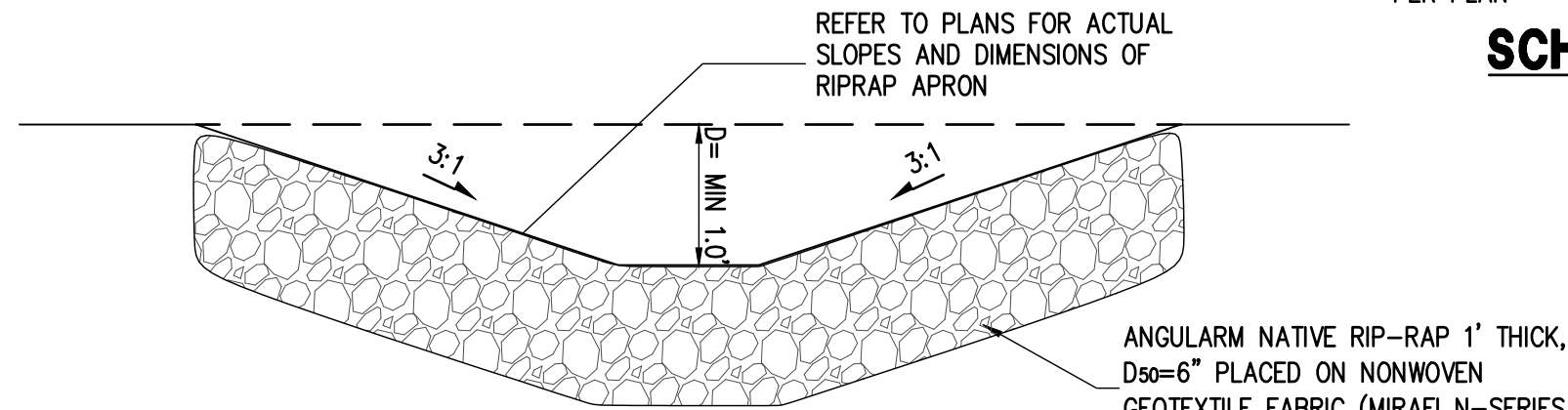
**CHECK DAM DETAIL**  
N.T.S.



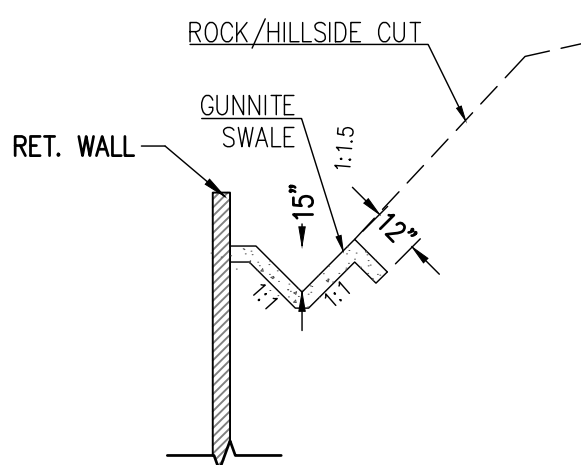
**UTILITIES TRENCHING**  
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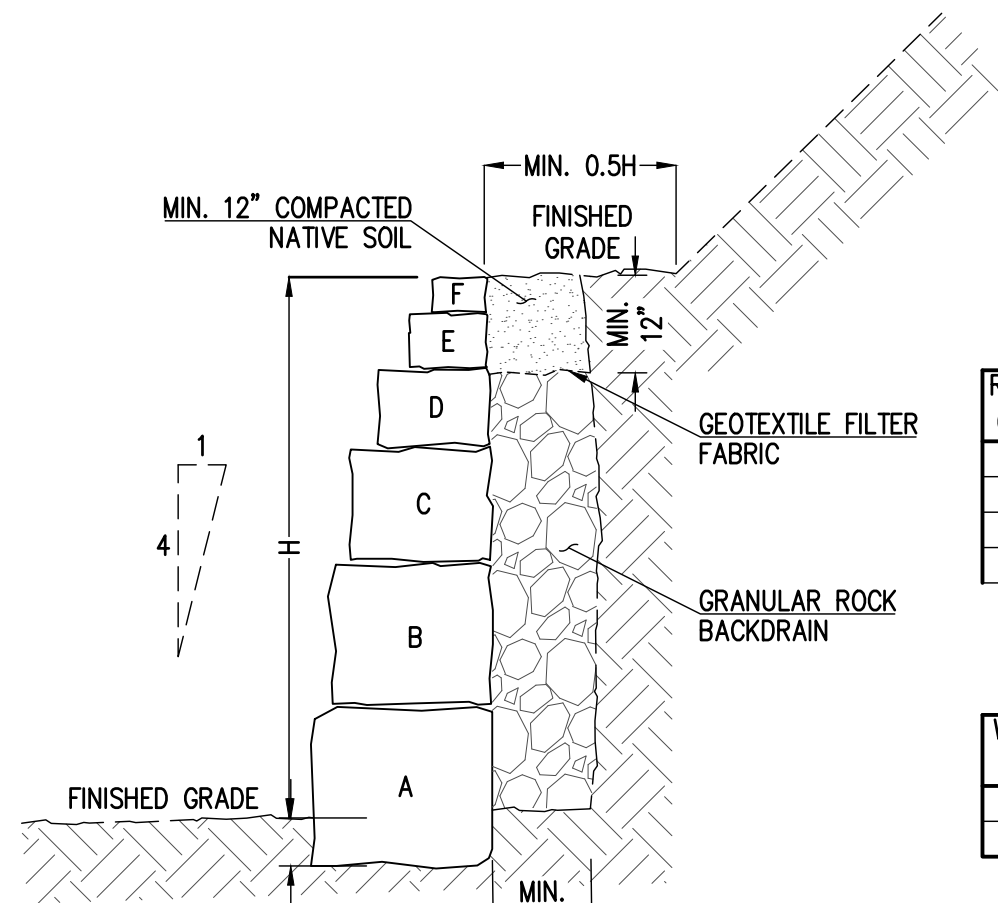
**PIPE OUTLET DETAIL**  
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**DRAINAGE SWALE DETAIL**  
N.T.S.



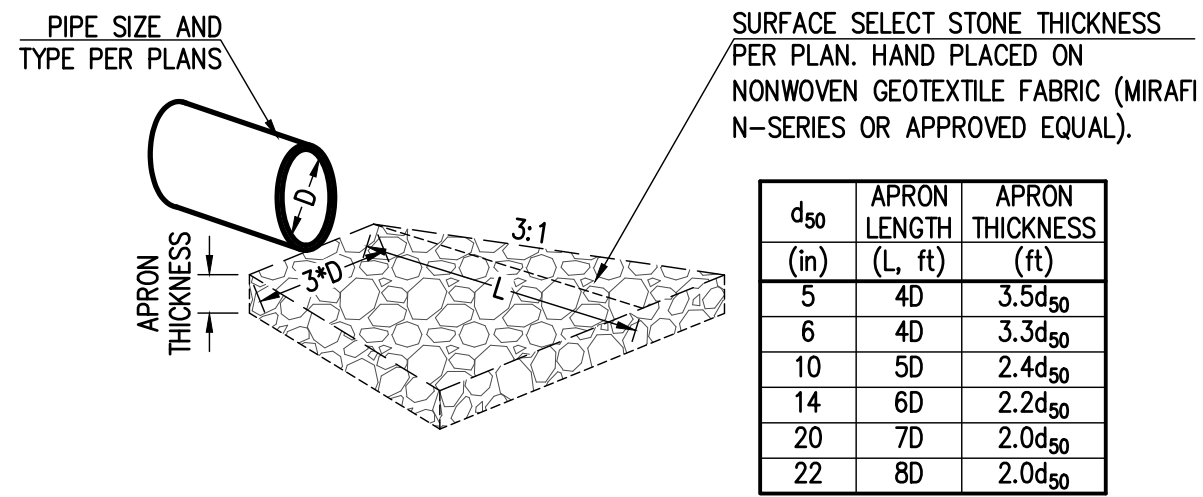
**CONCRETE LINED SWALE DETAIL**  
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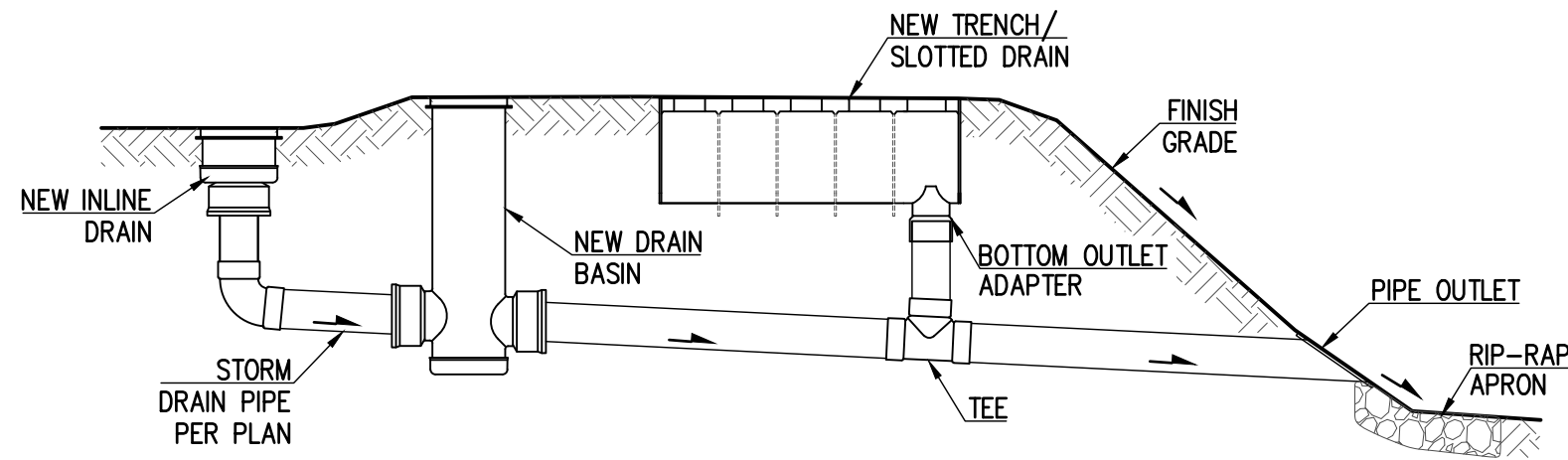
**RETAINING BOULDER DETAIL**  
N.T.S.

PERCENT PASSING	SIZE	D <sub>50</sub> CLASS, INCHES
100 TO 80	2.0 D <sub>50</sub>	4 6 8 12
85 TO 70	1.5 D <sub>50</sub>	8 12 16 24
50 TO 30	1.0 D <sub>50</sub>	6 8 12 18
15 TO 5	0.67 D <sub>50</sub>	4 6 8 12
5 TO 0	0.33 D <sub>50</sub>	3 4 5 8

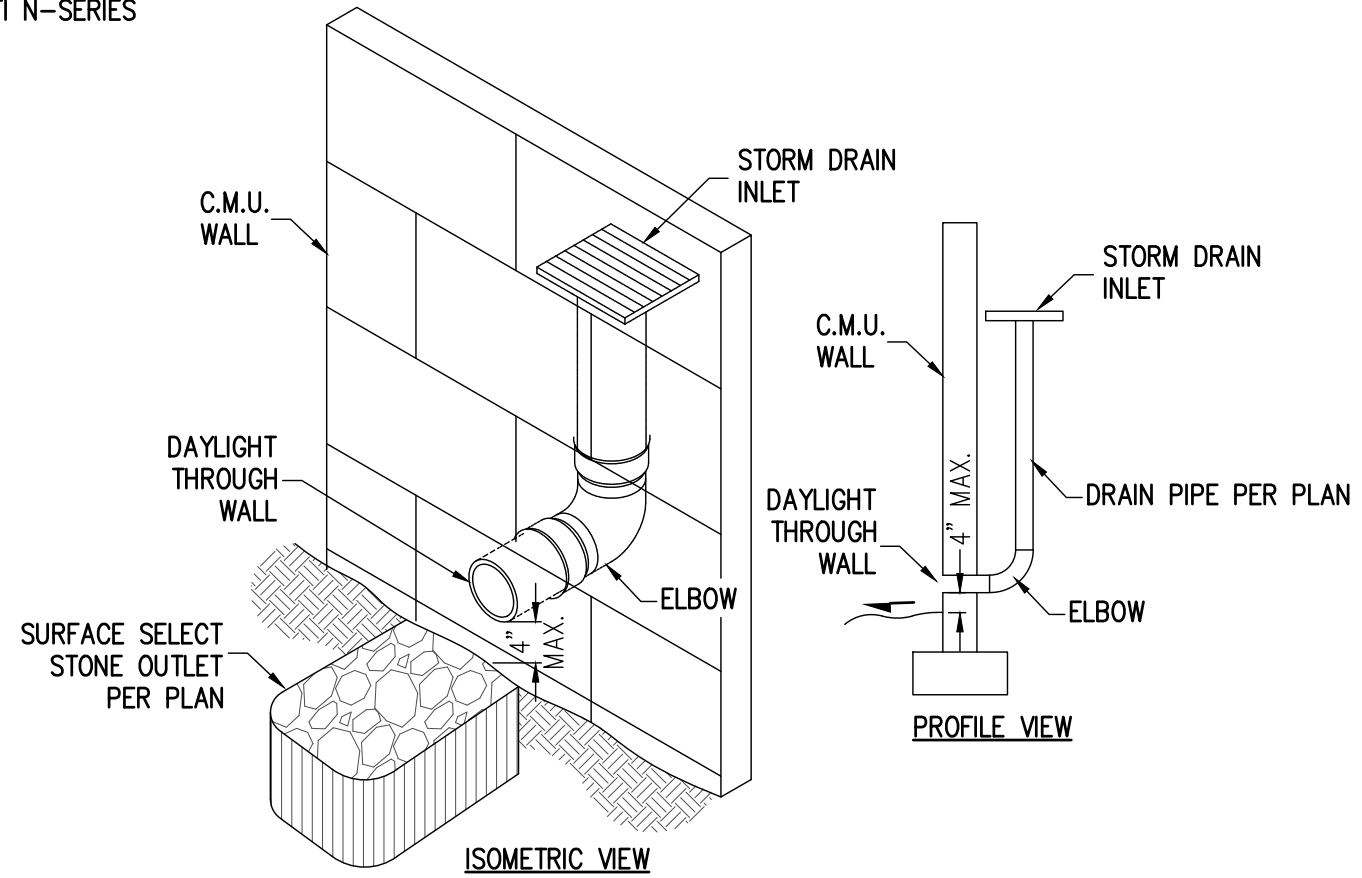
**RIP-RAP GRADATION TABLE**



**APRON LENGTH AND THICKNESS**  
N.T.S.



**SCHEMATIC STORM DRAIN SYSTEM**  
N.T.S.



**STORM DRAIN OUTLET AT WALL DETAIL**  
N.T.S.

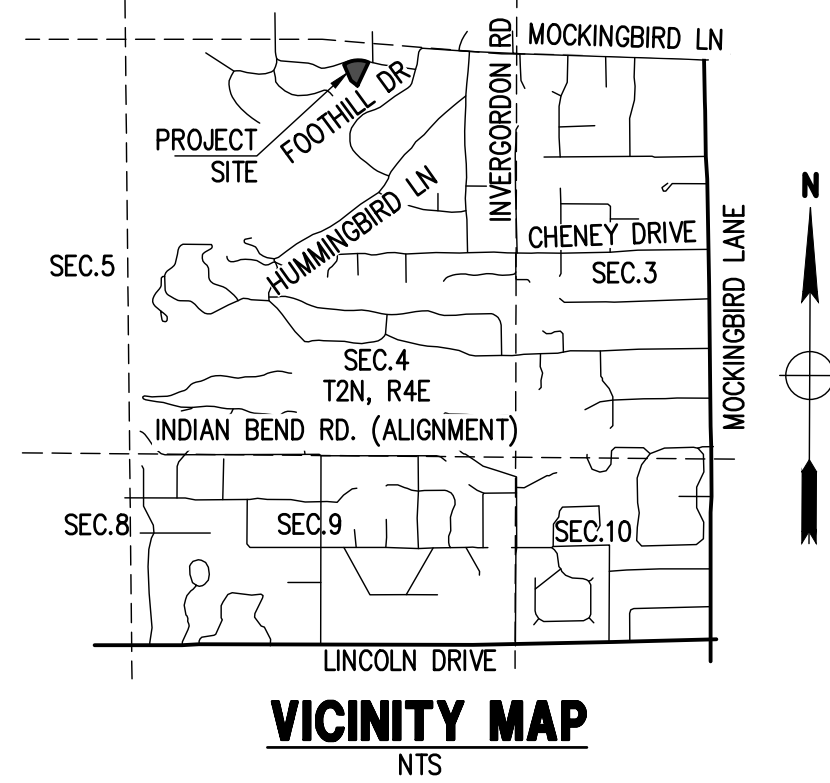
ROCK SIZE (PERSON)	ROCK WEIGHT (POUNDS)	AVERAGE DIMENSIONS (FT.)
1	50 TO 200	0.7 TO 1.1
2	200 TO 650	1.1 TO 1.6
3	650 TO 1950	1.6 TO 2.3
4	1950 TO 3900	2.3 TO 2.9

WALL HEIGHT H (FT.)	A	B	C	D	E	F
3	3	2	-	-	-	-
6	4	3	2	-	-	-





**AERIAL MAP EXHIBIT**  
**6041 E FOOTHILL DR., PARADISE VALLEY, AZ 85253**  
**LOT 64 - MUMMY MOUNTAIN PARK**  
A SUBDIVISION PLAT RECORDED IN BOOK 57 OF MAPS, PAGE 1, MCR.,  
LOCATED IN A PORTION OF THE NW 1/4 OF THE NW 1/4 OF SECTION 4, T.2N, R.4E  
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA



**OWNER**  
MG REAL ESTATE HOLDINGS  
COMPANY, LLC  
6041 E FOOTHILL DR.,  
PARADISE VALLEY, AZ 85253

**SITE DATA**  
APN: 169-03-055A  
ADDRESS: 6041 E FOOTHILL DR.,  
PARADISE VALLEY, AZ 85253  
ZONING: R-43 (HILLSIDE)  
LOT AREA: 62,665 S.F. (1.439 AC.);  
Q.S.: 24-42  
TOTAL AREA UNDER ROOF: 13,295 S.F.  
LOT COVERAGE: 21.2% < 25% (ALLOWED)  
EXISTING DISTURBED AREA: 35,785 S.F. (0.822 AC.)  
PROPOSED DISTURBED AREA: 40,265 S.F. (0.924 AC.)

**GEOTECHNICAL ENGINEER**  
ACS SERVICES, LLC  
2235 WE BROADWAY RD.,  
MESA, AZ 85202  
P: 480-968-0190  
PROJECT# 2301889  
DATE: 10/11/23

**BASIS OF BEARINGS**  
THE MONUMENT LINE OF FOOTHILL DR., THE BEARING OF WHICH IS S71°27'18"W.

**LEGAL DESCRIPTION**

**PARCEL NO. 1:**  
LOT 64, OF MUMMY MOUNTAIN PARK, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 57 OF MAPS, PAGE 1;  
**PARCEL NO. 2:**  
A PORTION OF LOT 1, DESERT FOOTHILLS MANOR, ACCORDING TO BOOK 381 OF MAPS, PAGE 1 AND IN BOOK 511 OF MAPS, PAGE 9, A PORTION OF THE NORTHEAST QUARTER OF SECTION 4, TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, RECORDS OF MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
COMMENCING AT THE NORTH 1/4 CORNER OF SAID SECTION 4;  
THENCE ALONG THE NORTHERLY LINE OF SAID SECTION 4 SOUTH 84 DEGREES 39 MINUTES 00 SECONDS EAST, A DISTANCE OF 626.05 FEET TO A 3/4 IRON PIPE IN SAID NORTHERLY LINE;  
THENCE ALONG THE CENTERLINE OF COCONINO ROAD SOUTH 00 DEGREES 01 MINUTE 00 SECONDS WEST, A DISTANCE OF 278.20 FEET TO A POINT OF CURVE IN THE CENTERLINE OF FOOTHILL DRIVE;  
THENCE ALONG THE SAID CENTERLINE OF FOOTHILL DRIVE CURVING TO THE RIGHT THE RADIUS POINT BEARS NORTH 04 DEGREES 50 MINUTES 40 SECONDS EAST 477.75 FEET WITH A CENTRAL ANGLE OF 18 DEGREES 54 MINUTES 00 SECONDS AND AN ARC DISTANCE OF 157.59 FEET TO A POINT OF TANGENT IN SAME;  
THENCE STILL ALONG SAID CENTERLINE NORTH 66 DEGREES 15 MINUTES 20 SECONDS WEST, A DISTANCE OF 20.00 FEET TO A POINT IN SAME AND AT THE PROLONGED WESTERLY LINE OF LOT 1, OF DESERT FOOTHILLS MANOR;  
THENCE ALONG SAID PROLONGED WESTERLY LINE OF LOT 1, SOUTH 23 DEGREES 44 MINUTES 40 SECONDS WEST, A DISTANCE OF 25.00 FEET TO THE NORTHWEST CORNER OF SAID LOT 1 AND THE SOUTHERLY RIGHT OF WAY LINE OF FOOTHILL DRIVE AND THE TRUE POINT OF BEGINNING;  
THENCE ALONG THE SAID SOUTHERLY RIGHT OF WAY LINE OF FOOTHILL DRIVE SOUTH 66 DEGREES 15 MINUTES 20 SECONDS EAST, A DISTANCE OF 14.00 FEET TO A POINT IN SAME;  
THENCE LEAVING SAID RIGHT OF WAY LINE SOUTH 69 DEGREES 47 MINUTES 10 SECONDS WEST, A DISTANCE OF 19.45 FEET TO A POINT IN THE WESTERLY LINE OF SAID LOT 1;  
THENCE ALONG THE SAID WESTERLY LINE OF LOT 1 NORTH 23 DEGREES 44 MINUTES 40 SECONDS EAST, A DISTANCE OF 13.50 FEET TO THE TRUE POINT OF BEGINNING;  
EXCEPT ALL COAL AND OTHER MINERALS AS RESERVED IN PATENT FROM THE UNITED STATES OF AMERICA.

**FLOOD INSURANCE RATE MAP (FIRM) DATA**

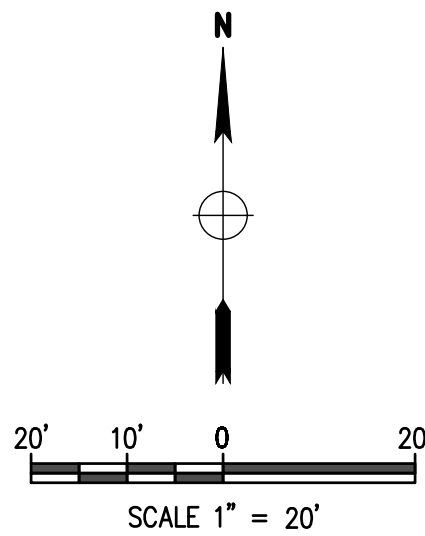
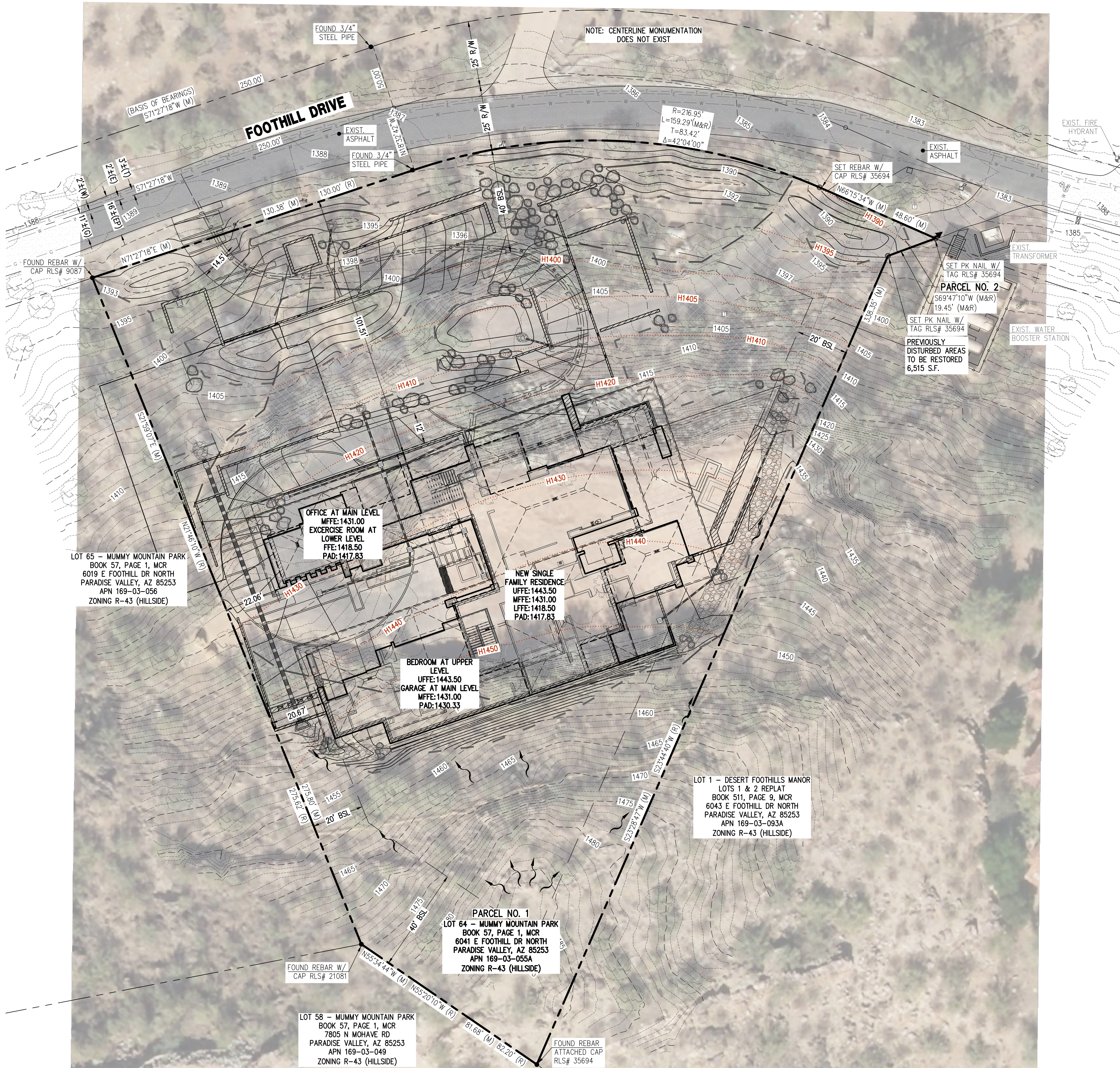
COMMUNITY #	PANEL #	SUFFIX	BASE FLOOD ELEVATION
040049	1755 OF 4425	L	N/A
MAP #	PANEL DATE	FIRM INDEX DATE	ZONE
04013C	10/16/2013	02/09/2024	X*

\*AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

**ARCHITECT**  
DREWETT WORKS  
7144 E STETSON DR., STE 204,  
SCOTTSDALE, AZ 85251  
P: 267-907-2970  
T: 855-373-9388 EXT. 705  
NICK@DREWETTWORKS.COM

**CIVIL ENGINEER**  
LAND DEVELOPMENT GROUP, LLC  
8808 N CENTRAL AVE., SUITE 288  
PHOENIX, AZ 85020  
CONTACT: NICK PRODANOV, PE  
P: 602 889 1984

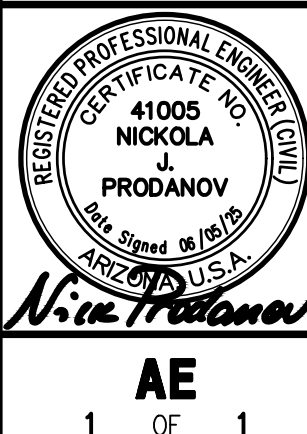
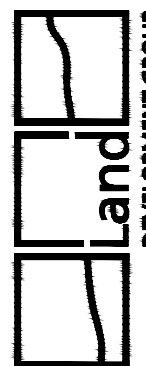
**BENCHMARK**  
BRASS CAP IN HAND HOLE AT THE INTERSECTION OF MOCKINGBIRD LANE AND NORTHERN AVE. HAVING AN ELEVATION OF 1311.035 NAVD 88 DATUM, GDACS# 24506-1.



**AERIAL MAP EXHIBIT**

**LOT 64 - MUMMY MOUNTAIN PARK**  
**6041 E FOOTHILL DR.,**  
**PARADISE VALLEY, AZ 85253**

P 602 889 1984 | F 602 445 9482  
8808 N CENTRAL AVE., SUITE 288  
PHOENIX, AZ 85020  
PHOENIX@LDG.COM





# STORM WATER POLLUTION PREVENTION PLAN

6041 E FOOTHILL DR., PARADISE VALLEY, AZ 85253

LOT 64 - MUMMY MOUNTAIN PARK

A SUBDIVISION PLAT RECORDED IN BOOK 57 OF MAPS, PAGE 1, MCR.,  
LOCATED IN A PORTION OF THE NW 1/4 OF THE NW 1/4 OF SECTION 4, T.2N, R.4E  
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

## CONSTRUCTION SEQUENCE

1. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
2. DEMO EXISTING WALLS AND SITE IMPROVEMENTS.
3. CLEAR AND GRUB.
4. CONSTRUCT RETENTION/SEDIMENTATION BASINS AND UNDERGROUND STORMWATER STORAGE.
5. ROUGH GRADE SITE WHILE PROVIDING POSITIVE DRAINAGE TO BASINS.
6. STABILIZE DENuded AREAS AND STOCKPILES AS SOON AS PRACTICABLE.
7. FINAL GRADE AND CONSTRUCT BUILDING PAD.
8. COMPLETE POOL & SPA CONSTRUCTION.
9. CONSTRUCT PAVING AND SIDEWALKS.
10. COMPLETE FINAL GRADING, INSTALL PERMANENT SEEDING AND LANDSCAPING.

## UTILITIES

WATER: CITY OF PHOENIX  
SANITARY SEWER: SEPTIC  
ELECTRIC: ARIZONA PUBLIC SERVICE  
TELEPHONE: CENTURY LINK, COX COMMUNICATIONS  
NATURAL GAS: SOUTHWEST GAS  
CABLE TV: CENTURY LINK, COX COMMUNICATIONS

## NOTE

1. NO WORK OF ANY KIND CAN COMMENCE UNTIL ALL STORM WATER POLLUTION BMP'S ARE IN PLACE AND INSPECTED BY THE TOWN. ONLY UNTIL THE TOWN HAS APPROVED THE STORM WATER BMP'S MAY ANY CONSTRUCTION BEGIN.
2. SEDIMENTATION CONTROL DEVICES (SILT BARRIERS) SHALL REMAIN IN PLACE AT ALL TIME. SEDIMENTATION CONTROL DEVICES SHALL BE KEPT IN GOOD REPAIR, INSPECTED MONTHLY, INSPECTED AFTER EACH RAIN EVENT, AND MAINTAINED AS NEEDED BY THE APPLICANT/OWNER.
3. SEDIMENTATION CONTROL DEVICE INSPECTION LOG SHALL BE MAINTAINED BY APPLICANT AND/OR OWNER AND MADE AVAILABLE TO THE TOWN UPON REQUEST.

## LEGEND

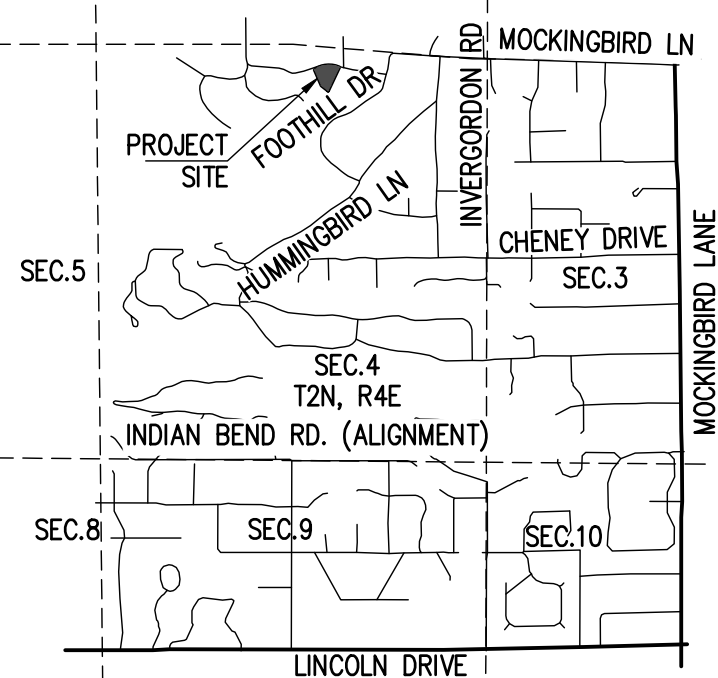
- SF— SILT FENCE
- SCE STABILIZED CONSTRUCTION ENTRANCE
- W.A. DESIGNATED WASHOUT AREA
- DESIGNATED HAZARDOUS WASTE CONTAINMENT AREA
- TRASH CONTAINER

## SWPPP KEY-NOTES

1. USE THE EXISTING CONC. DRIVEWAY FOR CONSTRUCTION ENTRANCE.
2. DUST CONTROL PER FCDMC BMP-43 THROUGH BMP-46
3. SILT FENCE PER FCDMC BMP-63 THROUGH BMP-68, EPA STANDARDS AND DETAILS, AND DETAILS ON SHEET SP-2 OR STRAW WATTLES PER MARICOPA COUNTY EROSION CONTROL MANUAL SP-1 ORGANIC FILTER BARRIER.
4. DESIGNATED CONCRETE WASHOUT VESSEL PER FCDMC BMP-99 THROUGH BMP-100 AND DETAILS ON SHEET SP-2
5. DUMPSTER/TRASH CONTAINER
6. DESIGNATED PAINT/SOLVENT WASHOUT VESSEL PER FCDMC BMP-99 THROUGH BMP-100 AND DETAILS ON SHEET SP-2
7. DESIGNATED HAZARDOUS WASTE CONTAINMENT AREA. SEGREGATE POTENTIALLY HAZARDOUS WASTE FROM NON-HAZARDOUS CONSTRUCTION SITE WASTE. HAZARDOUS WASTES ARE NOT TO BE DISPOSED OF IN DUMPSTER AND SHALL BE HAULED TO AN APPROPRIATE DISPOSAL AND/OR RECYCLING FACILITY.
8. DROP INLET PROTECTION.
9. ROCK OUTLET PROTECTION.
10. RETENTION/SEDIMENTATION BASIN

## GENERAL NOTES

1. THIS PROJECT IS SUBJECT TO THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS FOR CONSTRUCTION SITES UNDER THE ENVIRONMENTAL PROTECTION AGENCY (EPA) GENERAL PERMIT FOR ARIZONA. OWNERS, DEVELOPERS, ENGINEERS, AND/OR CONTRACTORS ARE REQUIRED TO PREPARE ALL DOCUMENTS REQUIRED BY THIS REGULATION, INCLUDING BUT NOT LIMITED TO STORM WATER POLLUTION PROTECTION PLAN (SWPPP), NOTICE OF INTENT (NOI) AND NOTICE OF TERMINATION (NOT).
2. A COPY OF THE APPROVED GRADING AND DRAINAGE PLAN FOR THIS PROJECT, TOGETHER WITH A COPY OF THE NOTICE OF INTENT (NOI) AND THIS STORM WATER POLLUTION PROTECTION PLAN (SWPPP), SHALL BE MAINTAINED ON THE SITE AND AVAILABLE FOR REVIEW. THOSE ELEMENTS OF THE GRADING AND DRAINAGE PLAN PERTINENT TO OR REFERENCED ON THE SWPPP SHALL BE CONSIDERED A PART OF THE SWPPP.
3. COMMUNITY DEVELOPMENT DEPARTMENT'S FIELD INSPECTION GROUP SHALL BE NOTIFIED 48 HOURS BEFORE ANY ON-SITE AND/OR OFF-SITE CONSTRUCTION BEGINS, AT (480) 348-3692.
4. THE OPERATOR SHALL OBTAIN A DUST CONTROL PERMIT FROM MARICOPA COUNTY HEALTH DEPARTMENT AND PERFORM MEASURES AS REQUIRED BY THE PERMIT TO PREVENT EXCESS DUST. ALL PERMITTEES MUST SUBMIT A TENTATIVE CONSTRUCTION SCHEDULE AND COMPLETION TIME.
5. THE OPERATOR SHALL PERFORM, AT A MINIMUM, A VISUAL INSPECTION OF THE CONSTRUCTION SITE ONCE EVERY MONTH AND WITHIN 24 HOURS OF RAINFALL GREATER THAN OR EQUAL TO A HALF OF AN INCH OR MORE. THE OPERATOR SHALL PREPARE A REPORT DOCUMENTING HIS/HER FINDINGS ON THE CONDITIONS OF THE SWPPP CONTROLS AND NOTE ANY EROSION PROBLEM AREAS. THE OPERATOR'S REPORT IS TO BE SUBMITTED TO THE DEVELOPMENT SERVICES DEPARTMENT PROJECT ENGINEERING DIVISION CONSTRUCTION INSPECTOR FOR REVIEW AND APPROVAL. FACILITIES SHALL BE MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING. IN ADDITION, ALL TEMPORARY SILTATION CONTROLS SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL SUCH TIME THAT CLEARING AND/OR CONSTRUCTION IS COMPLETED, PERMANENT DRAINAGE FACILITIES ARE OPERATIONAL, AND THE POTENTIAL FOR EROSION HAS PASSED.
6. THE OPERATOR SHALL AMEND THIS PLAN AS NECESSARY DURING THE COURSE OF CONSTRUCTION TO RESOLVE ANY PROBLEM AREAS, WHICH BECOME EVIDENT DURING THE CONSTRUCTION AND/OR DURING RAINFALLS.
7. THE PERMITTEE SHALL FILE A NOTICE OF TERMINATION (NOT) AFTER COMPLETION OF CONSTRUCTION AND PLACEMENT OF FINAL LANDSCAPE MATERIALS. THE NOT IS TO BE SUBMITTED TO THE DEVELOPMENT SERVICES DEPARTMENT PROJECT ENGINEERING INSPECTOR TO FINAL THE SWPPP PERMIT.
8. THE PERMITTEE SHALL SAVE ALL RECORDS, INCLUDING THE NOI, SWPPP, NOT, AND INSPECTION REPORTS, ON FILE FOR A MINIMUM OF THREE YEARS FROM THE DATE OF FILING THE NOT.
9. THE IMPLEMENTATION OF THESE PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE FACILITIES IS THE RESPONSIBILITY OF THE PERMITTEE/CONTRACTOR UNTIL ALL CONSTRUCTION IS APPROVED AND NOT SUBMITTED TO THE DEVELOPMENT SERVICES DEPARTMENT PROJECT ENGINEERING DIVISION INSPECTOR.
10. THE FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES IN SUCH A MANNER AS TO INSURE THAT SEDIMENT-LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM OR VIOLATE APPLICABLE WATER STANDARDS, AND MUST BE INSTALLED AND IN OPERATION PRIOR TO ANY GRADING OR LAND CLEARING. WHEREVER POSSIBLE, MAINTAIN NATURAL VEGETATION FOR SILT CONTROL.
11. THE CONTRACTOR'S NOI MUST BE RECEIVED PRIOR TO THE SWPPP PERMIT BEING ISSUED. THE CONTRACTOR THAT WILL BE PULLING THE G&D PERMIT MUST HAVE THE SWPPP PERMIT ISSUED IN THEIR NAME.
12. ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTOR DITCHES, PIPES, PROTECTIVE BERM, BARRIER WALLS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT ADJACENT BUILDINGS OR PROPERTY FROM STORM RUNOFF MUST BE COMPLETED PRIOR TO BUILDING CONSTRUCTION. THE NATURAL FLOW OF RAINWATER AND OTHER SURFACE DRAINAGE FROM THE PROPERTY MAY NOT BE ALTERED IN ANY WAY.
13. CONTRACTOR SHALL PROVIDE STABILIZATION FABRIC TO ALL SLOPES EQUAL TO OR GREATER THAN 3H:1V.
14. STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROVIDED AT ALL LOCATIONS WHERE CONSTRUCTION VEHICLES WILL ENTER AND EXIT THE CONSTRUCTION SITE.
15. REFER TO SHEET 2 FOR STANDARD DETAILS OF BEST MANAGEMENT PRACTICES.
16. WHEN DEEMED NECESSARY, A 6-FOOT HIGH CHAIN LINK FENCE MUST BE INSTALLED AROUND THE CONSTRUCTION AREA TO PREVENT ANY POTENTIAL SAFETY HAZARD FOR THE PUBLIC.



## VICINITY MAP

NTS

## OWNER

MC REAL ESTATE HOLDINGS  
COMPANY, LLC  
6041 E FOOTHILL DR.,  
PARADISE VALLEY, AZ 85253

## ARCHITECT

STRATTON ARCHITECTS  
5203 E LINCOLN DR.,  
PARADISE VALLEY, AZ 85253  
P: 860-331-0701  
STRATTON@STRATTON-ARCHITECTS.COM

## SITE DATA

APN: 169-03-055A  
ADDRESS: 6041 E FOOTHILL DR.,  
PARADISE VALLEY, AZ 85253  
ZONING: R-43 (HILLSIDE)  
LOT AREA: 62,665 S.F. (1.439 AC.);  
Q.S.: 24-42

## CIVIL ENGINEER

LAND DEVELOPMENT GROUP, LLC  
8808 N CENTRAL AVE, SUITE 288  
PHOENIX, AZ 85020  
CONTACT: NICK PRODANOV, PE  
P: 602 889 1984

## BENCHMARK

BRASS CAP IN HAND HOLE AT THE INTERSECTION OF MOCKINGBIRD LANE AND NORTHERN AVE. HAVING AN ELEVATION OF 1311.035 NAVD 88 DATUM, GDACS# 24506-1.

## BASIS OF BEARINGS

THE MONUMENT LINE OF FOOTHILL DR., THE BEARING OF WHICH IS S71°27'18"W.

## LEGAL DESCRIPTION

PARCEL NO. 1:  
LOT 64, OF MUMMY MOUNTAIN PARK, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 57 OF MAPS, PAGE 1;

PARCEL NO. 2:  
A PORTION OF LOT 1, DESERT FOOTHILLS MANOR, ACCORDING TO BOOK 381 OF MAPS, PAGE 1 AND IN BOOK 511 OF MAPS, PAGE 9, A PORTION OF THE NORTHEAST QUARTER OF SECTION 4, TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, RECORDS OF MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTH 1/4 CORNER OF SAID SECTION 4;

THENCE ALONG THE NORTHERLY LINE OF SAID SECTION 4 SOUTH 84 DEGREES 39 MINUTES 00 SECONDS EAST, A DISTANCE OF 626.05 FEET TO A 3/4 IRON PIPE IN SAID NORTHERLY LINE;

THENCE ALONG THE CENTERLINE OF COCONINO ROAD SOUTH 00 DEGREES 01 MINUTE 00 SECONDS WEST, A DISTANCE OF 278.20 FEET TO A POINT OF CURVE IN THE CENTERLINE OF FOOTHILL DRIVE;

THENCE ALONG THE SAID CENTERLINE OF FOOTHILL DRIVE CURVING TO THE RIGHT THE RADIUS POINT BEARS NORTH 04 DEGREES 50 MINUTES 40 SECONDS EAST 477.75 FEET WITH A CENTRAL ANGLE OF 18 DEGREES 54 MINUTES 00 SECONDS AND AN ARC DISTANCE OF 157.59 FEET TO A POINT OF TANGENT IN SAME;

THENCE STILL ALONG SAID CENTERLINE NORTH 66 DEGREES 15 MINUTES 20 SECONDS WEST, A DISTANCE OF 20.00 FEET TO A POINT IN SAME AND AT THE PROLONGED WESTERLY LINE OF LOT 1, OF DESERT FOOTHILLS MANOR;

THENCE ALONG SAID PROLONGED WESTERLY LINE OF LOT 1, SOUTH 23 DEGREES 44 MINUTES 40 SECONDS WEST, A DISTANCE OF 25.00 FEET TO THE NORTHWEST CORNER OF SAID LOT 1 AND THE SOUTHERLY RIGHT OF WAY LINE OF FOOTHILL DRIVE AND THE TRUE POINT OF BEGINNING;

THENCE ALONG THE SAID SOUTHERLY RIGHT OF WAY LINE OF FOOTHILL DRIVE SOUTH 66 DEGREES 15 MINUTES 20 SECONDS EAST, A DISTANCE OF 14.00 FEET TO A POINT IN SAME;

THENCE LEAVING SAID RIGHT OF WAY LINE SOUTH 69 DEGREES 47 MINUTES 10 SECONDS WEST, A DISTANCE OF 19.45 FEET TO A POINT IN THE WESTERLY LINE OF SAID LOT 1;

THENCE ALONG THE SAID WESTERLY LINE OF LOT 1 NORTH 23 DEGREES 44 MINUTES 40 SECONDS EAST, A DISTANCE OF 13.50 FEET TO THE TRUE POINT OF BEGINNING;

EXCEPT ALL COAL AND OTHER MINERALS AS RESERVED IN PATENT FROM THE UNITED STATES OF AMERICA.

## FLOOD INSURANCE RATE MAP (FIRM) DATA

COMMUNITY #	PANEL #	SUFFIX	BASE FLOOD ELEVATION
040049	1755 OF 4425	L	N/A
MAP #	PANEL DATE	FIRM INDEX DATE	ZONE
04013C	10/16/2013	11/04/2015	X*

\*AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

## APPROVAL

THIS SET OF PLANS HAS BEEN REVIEWED FOR COMPLIANCE WITH TOWN OF PARADISE VALLEY REQUIREMENTS PRIOR TO ISSUANCE OF PERMIT. THE TOWN NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. THIS COMPLIANCE APPROVAL SHALL NOT PREVENT THE TOWN ENGINEER FROM REQUIRING CORRECTIONS OF ERRORS OR OMISSIONS IN THE PLANS TO BE FOUND IN VIOLATION OF LAWS OR ORDINANCES.

TOWN ENGINEER  
TOWN OF PARADISE VALLEY

DATE

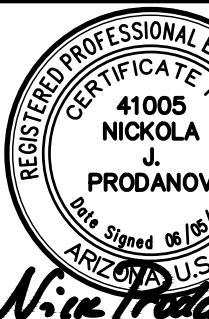
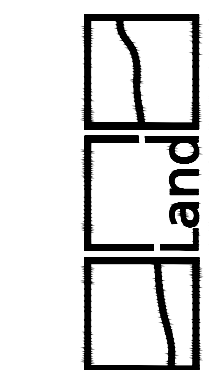
Contact Arizona 811 at least two full working days before you begin excavation



STORM WATER POLLUTION  
PREVENTION PLAN

LOT 64 - MUMMY  
MOUNTAIN PARK  
6041 E FOOTHILL DR.,  
PARADISE VALLEY, AZ 85253

P 602 889 1984 | F 602 445 9492  
8808 N CENTRAL AVE, SUITE 288  
PHOENIX, AZ 85020  
PHOENIX@LDG.COM



SP-1  
1 OF 2

## ABBREVIATIONS

BSL BUILDING SETBACK LINE  
EG EXISTING GRADE  
EL ELEV  
EP EDGE OF PAVEMENT  
ESMT EASEMENT  
EX, EXIST. EXISTING  
G GUTTER, GAS  
INV INVERT  
(M) MEASURED  
MCR MARICOPA COUNTY RECORDER  
MH MANHOLE  
P, PWMT PAVEMENT  
PUE PUBLIC UTILITY EASEMENT  
(R), REC. RECORDED  
R RADIUS  
R/W RIGHT OF WAY  
T TANGENT, TELEPHONE  
TC TOP OF CURB  
TPV TOWN OF PARADISE VALLEY  
W WEST, WATERLINE  
WDO WALL DRAINAGE OPENING  
WM WATER METER

LOT 58 - MUMMY MOUNTAIN PARK  
BOOK 57, PAGE 1, MCR  
7805 N MOHAVE RD  
PARADISE VALLEY, AZ 85253  
APN 169-03-049  
ZONING R-43 (HILLSIDE)

PARCEL NO. 1  
LOT 64 - MUMMY MOUNTAIN PARK  
BOOK 57, PAGE 1, MCR  
6041 E FOOTHILL DR NORTH  
PARADISE VALLEY, AZ 85253  
APN 169-03-055A  
ZONING R-43 (HILLSIDE)

LOT 1 - DESERT FOOTHILLS MANOR  
LOTS 1 & 2 REPLAT  
BOOK 511, PAGE 9, MCR  
6043 E FOOTHILL DR NORTH  
PARADISE VALLEY, AZ 85253  
APN 169-03-093A  
ZONING R-43 (HILLSIDE)

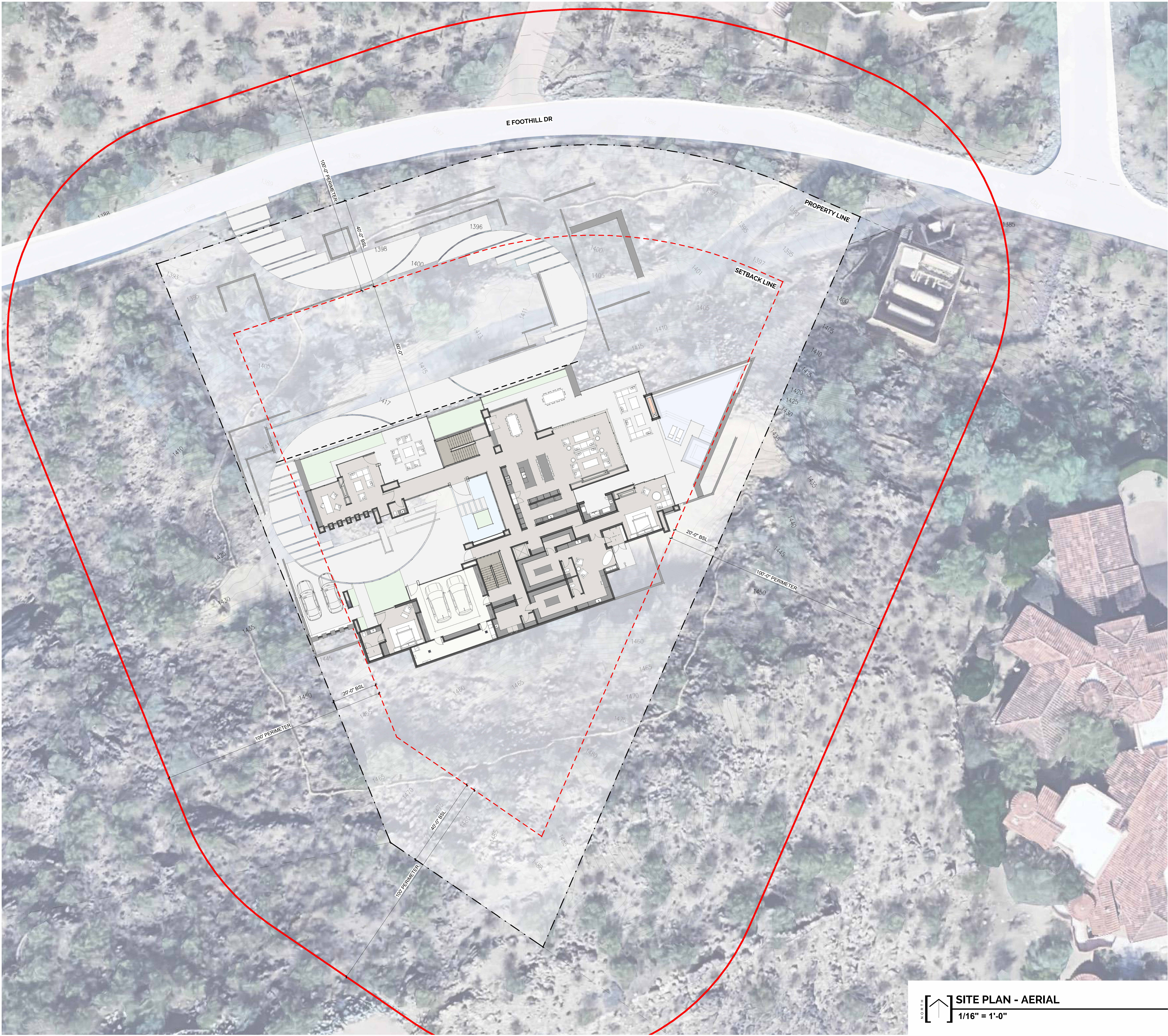
BUILDING PAD SLOPE  
VERTICAL CHANGE IN  
ELEVATION=65.00'  
HORIZONTAL  
LENGTH=205.17'  
SLOPE=31.68%  
% ALLOWABLE LAND  
DISTURBANCE=10.25%

SCALE 1" = 20'









**SITE PLAN - AERIAL**  
1/16" = 1'-0"

**FOOTHILLS RESIDENCE**  
6041 E FOOTHILL DR  
PARADISE VALLEY, AZ 85253

**DREWETT WORKS**  
email: PLANS@DREWETTWORKS.COM  
phone: 480.938.9388  
1144 E STETSON DR SUITE 8  
SCOTTSDALE, AZ 85261  
WWW.DREWETTWORKS.COM



HILLSIDE PROGRESS	
04-17-2025	Issue Date
△	
△	
△	
No	DRB201



6041 E FOOTHILL DR  
PARADISE VALLEY, AZ 85253

**24-24**

**NO FOR CONSTRUCTION**

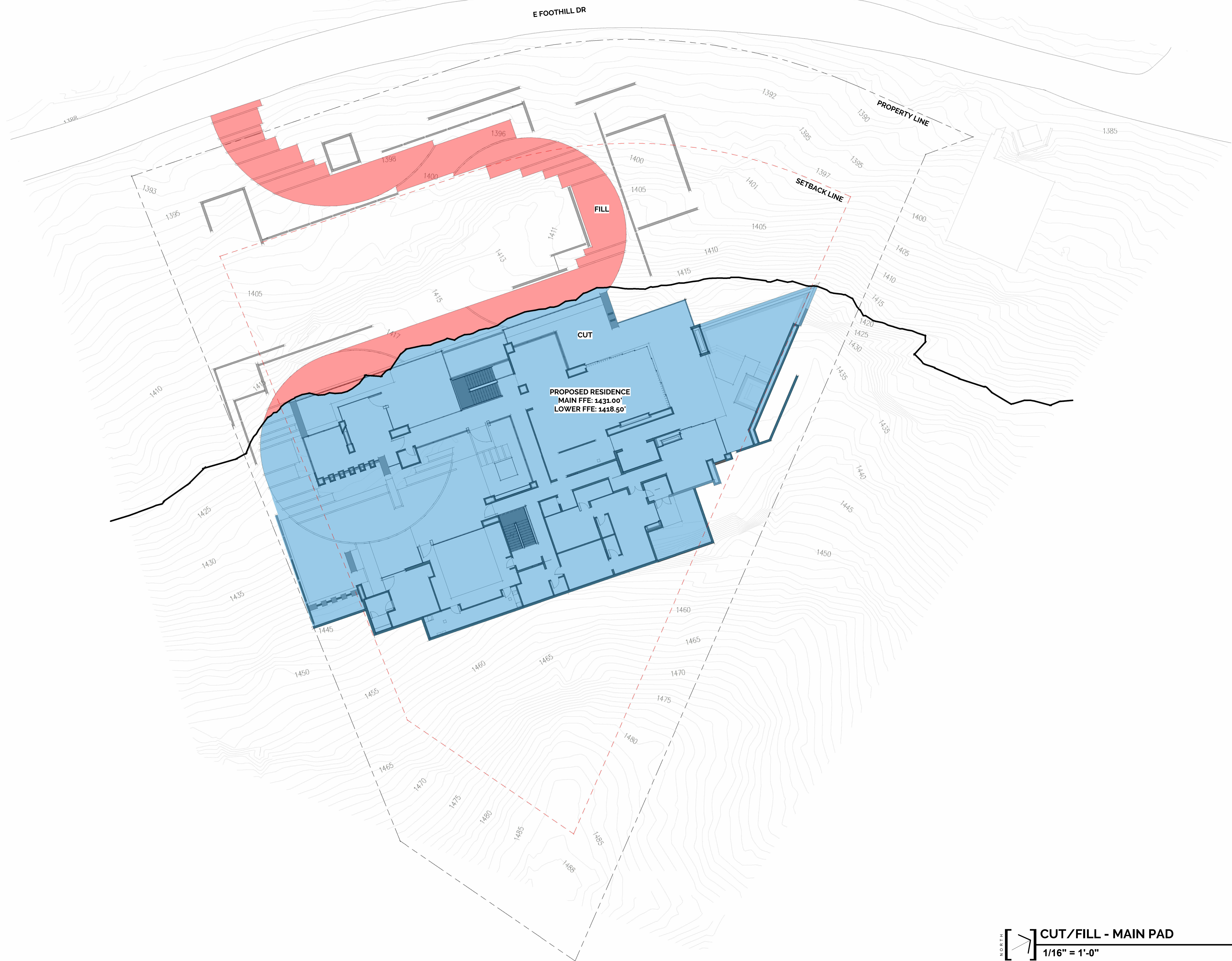
RED ARCH  
CLARK COUNTY  
GEOFFREY S. BLUMCK  
COUNTY CLERK  
JENNIFER L. JONES  
SIGNED:  
01-17-2025  
ARIZONA U.S.A.

Expires: 12/31/2025

HILLSIDE PROGRESS		ISSUE NO.
	04-17-2025	ISSUE DATE
△		
△		
△		
△		
NO	DRB202	







CUT/FILL LEGEND

FILL

CUT

DW  
DREWETT WORKS  
ARCHITECTURE

22  
YEARS

FOOTHILLS RESIDENCE

6041 E FOOTHILL DR  
PARADISE VALLEY, AZ 85253

DREWETT WORKS

email: PLANS@DREWETTWORKS.COM  
phone: 480.855.3733  
7144 E STETSON DR SUITE 9388  
SCOTTSDALE, AZ 85251  
WWW.DREWETTWORKS.COM

24-24

SEAL OF ARCHITECT  
DREWETT JR.  
CITY OF PHOENIX  
Signed: 04-17-2025  
ARIZONA U.S.  
Expires: 12/31/2025

HILLSIDE PROGRESS

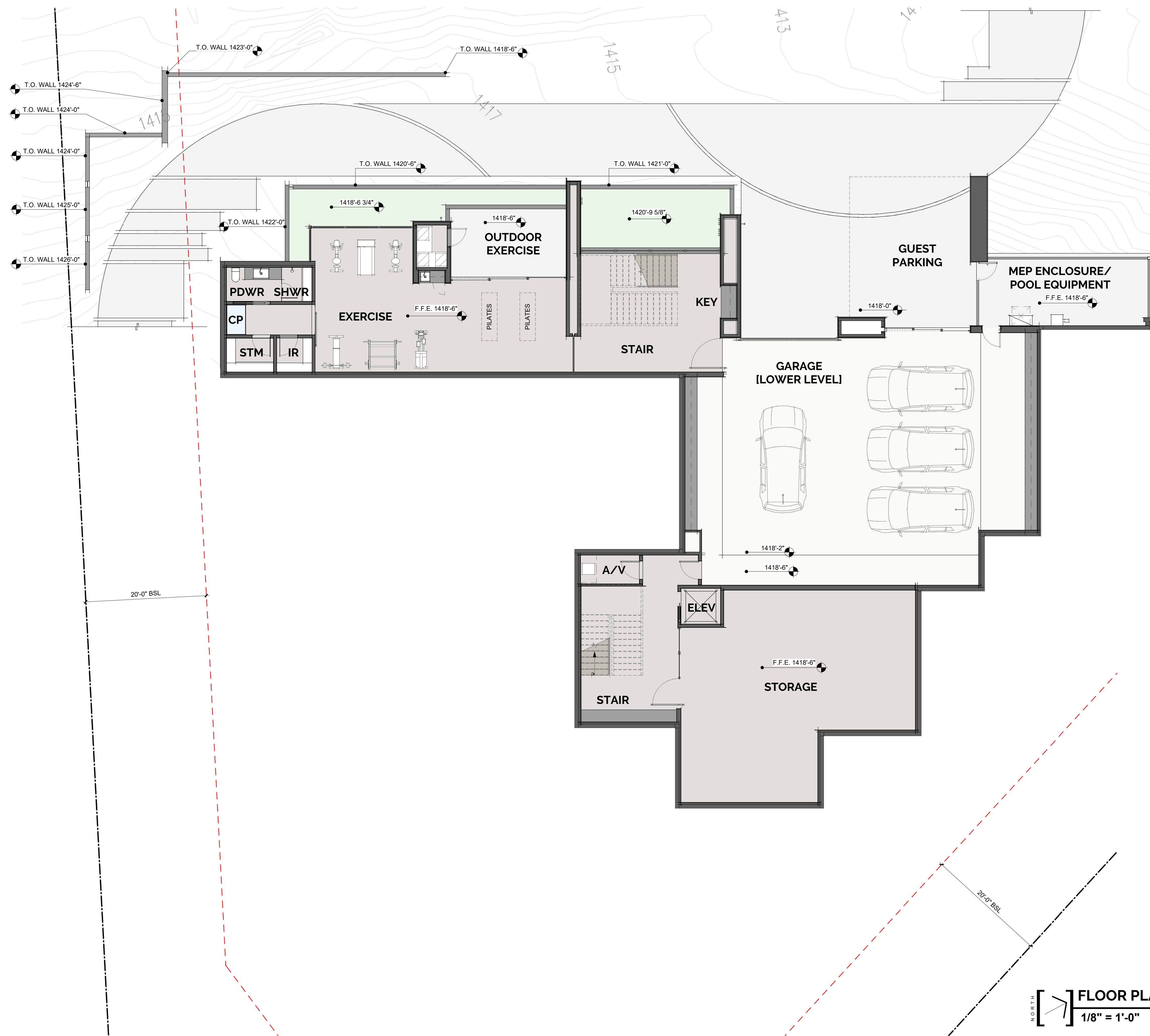
04-17-2025 Issue Date

DRB203

CUT/FILL - MAIN PAD

1/16" = 1'-0"





FOOTHILLS RESIDENCE

6041 E FOOTHILL DR  
PARADISE VALLEY, AZ 85253

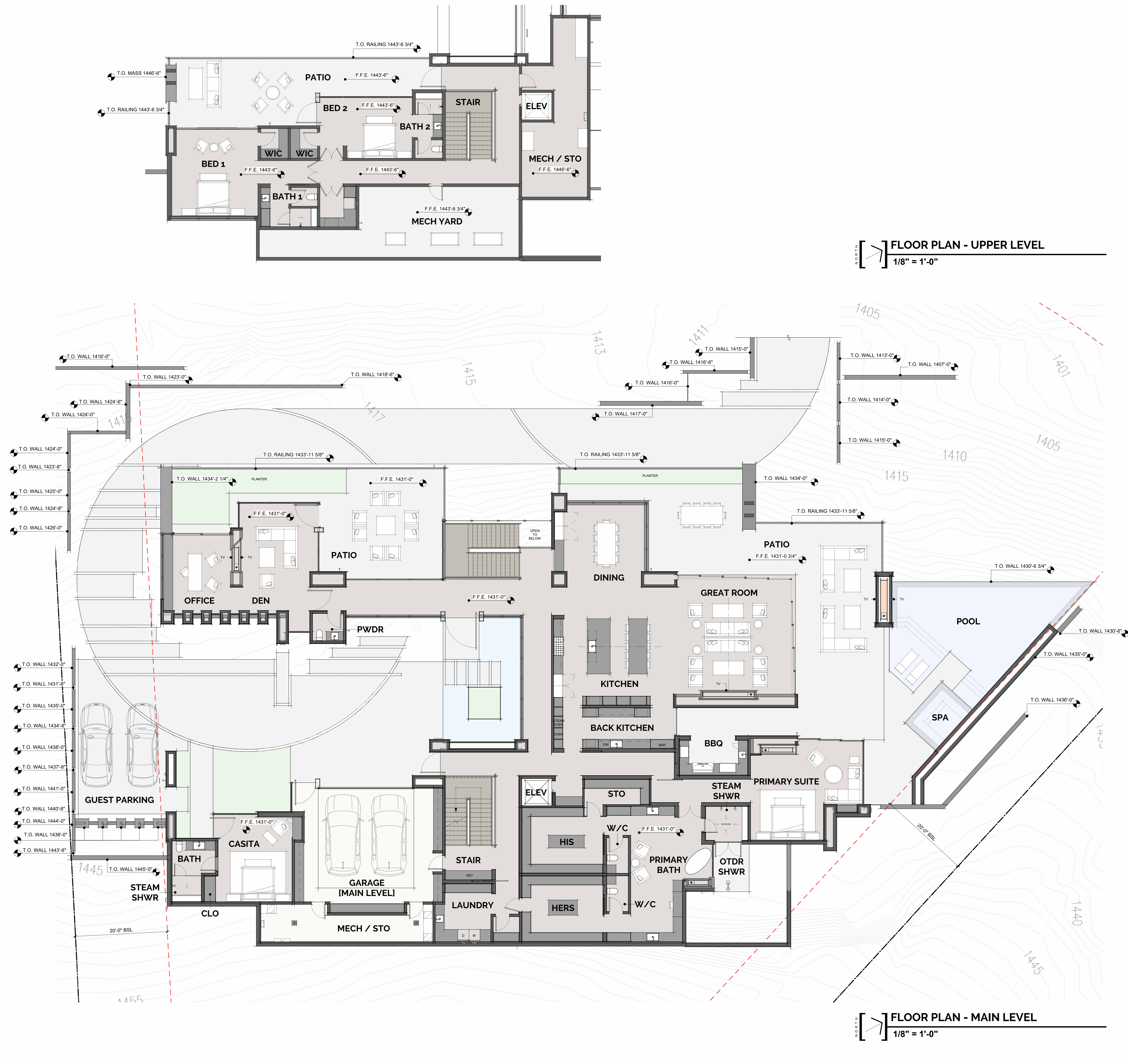
DREWETT WORKS

email: PLANS@DREWETTWORKS.COM  
phone: 480.955.3733  
7144 E STETSON DR SUITE 100  
SCOTTSDALE, AZ 85251  
WWW.DREWETTWORKS.COM



HILLSIDE PROGRESS	
04-17-2025	Issue Date
△	
△	
△	
△	
No. DRB204	





**FOOTHILLS RESIDENCE**  
6041 E FOOTHILL DR  
PARADISE VALLEY, AZ 85253

DREWETT WORKS  
architect  
PLANS@DREWETTWORKS.COM  
PHONE 480.938.8144  
7144 E STETSON DR SUITE 100  
SCOTTSDALE, AZ 85253  
WWW.DREWETTWORKS.COM

24-24  
SEAL  
DREWETT JR.  
CONSULTANT  
SIGNED  
04-17-2025  
ARIZONA U.S.  
Expires 12/31/2025

HILLSIDE PROGRESS  
04-17-2025  
Issue Date  
No. DRB205



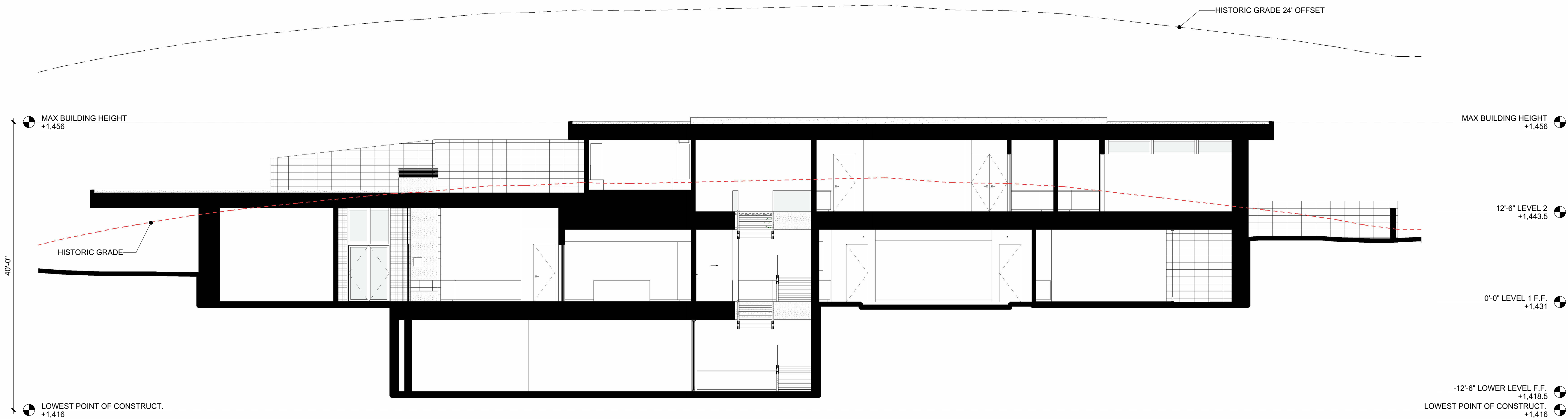
6041 E FOOTHILL DR  
PARADISE VALLEY, AZ 85253

email .....  
 PLANS@DREWETTWORKS.COM  
 phone ..... 855-373-  
 9388  
 7144 E. STETSON DR ..... SUITE  
 204  
 SCOTTSDALE, AZ ..... 8  
 5251  
 WWW.DREWETTWORKS.COM

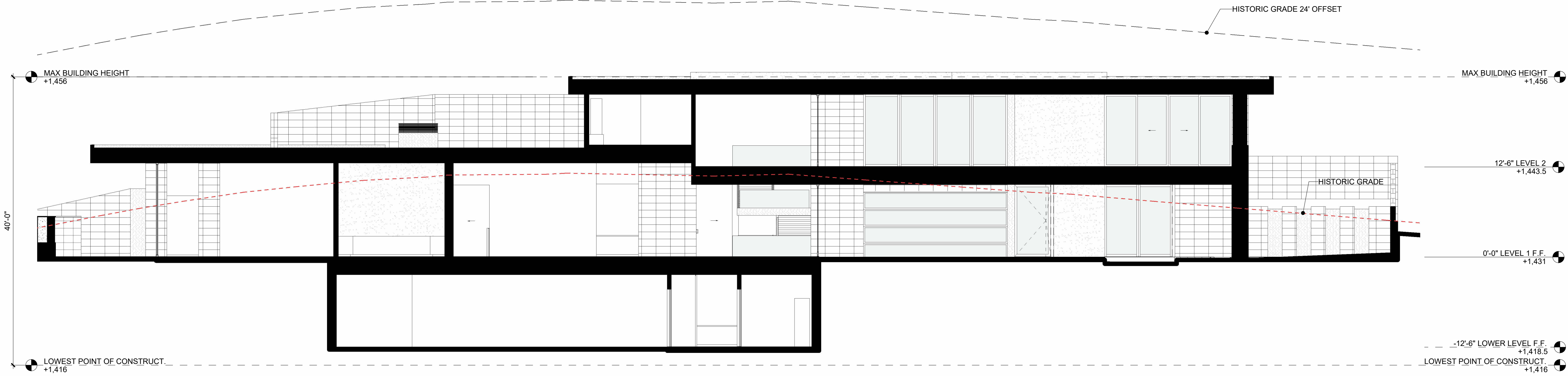


No. DRB206





**[ 1 ] BUILDING SECTION 01 (SSE)**  
1/8" = 1'-0"



**[ 2 ] BUILDING SECTION 02 (SSE)**  
1/8" = 1'-0"

**BUILDING HEIGHT NOTES**

MAX. BUILDING HEIGHT FROM NG:  
24'-0" ≤ 24'-0"

MAX. BUILDING HEIGHT FROM ADJ. GRADE:  
24'-0" ≤ 24'-0"

MAX. BUILDING HEIGHT:  
37'-6"

NOTE: MEASURED FROM THE LOWEST F.F. TO  
THE HIGHEST POINT

MAX. OVERALL HEIGHT:  
40'-0" ≤ 40'-0"

NOTE: MEASURED FROM THE LOWEST  
STRUCTURE TO THE HIGHEST

DW

DREWETT WORKS  
ARCHITECTURE

22  
YEARS

**FOOTHILLS RESIDENCE**

6041 E FOOTHILL DR  
PARADISE VALLEY, AZ 85253

**DREWETT WORKS**

email: PLANS@DREWETTWORKS.COM  
phone: 480.855.3733  
7144 E STETSON DR SUITE 100  
SCOTTSDALE, AZ 85251  
WWW.DREWETTWORKS.COM

24-24



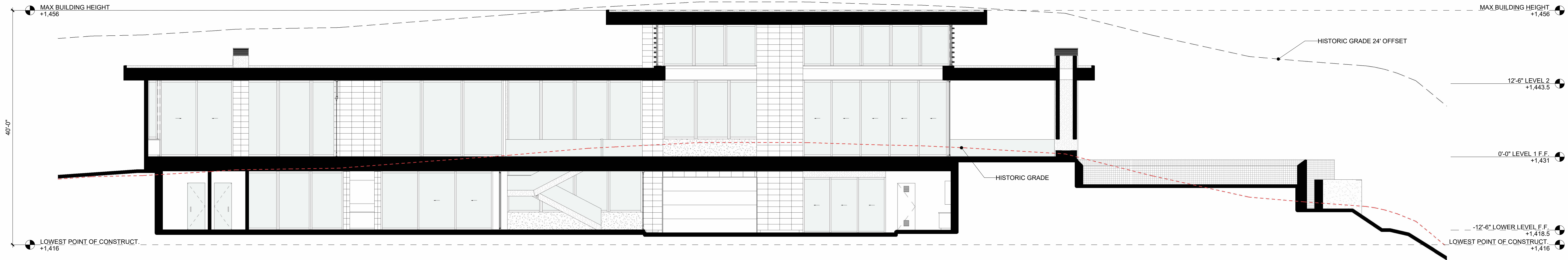
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04-17-2025 Issue Date

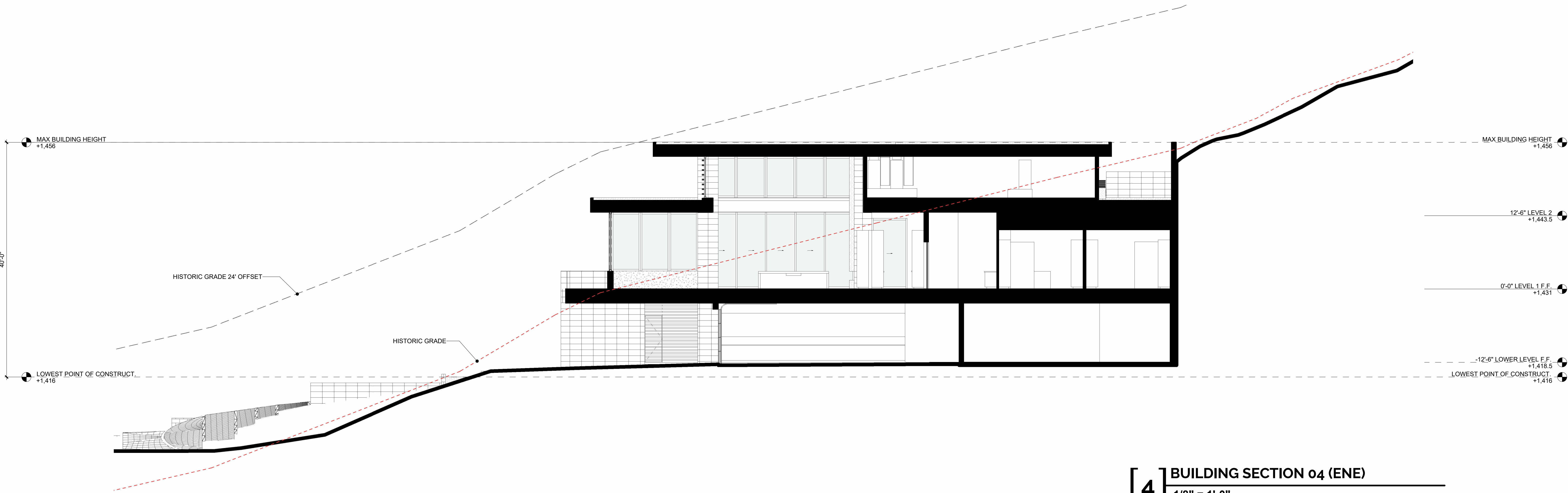
△  
△  
△  
△

No. **DRB207**





**[ 3 ]** BUILDING SECTION 03 (NNW)  
1/8" = 1'-0"



**[ 4 ]** BUILDING SECTION 04 (ENE)  
1/8" = 1'-0"

**BUILDING HEIGHT NOTES**

MAX. BUILDING HEIGHT FROM NG:  
24'-0" ≤ 24'-0"

MAX. BUILDING HEIGHT FROM ADJ. GRADE:  
24'-0" ≤ 24'-0"

MAX. BUILDING HEIGHT:  
37'-6"  
NOTE: MEASURED FROM THE LOWEST F.F. TO  
THE HIGHEST POINT

MAX. OVERALL HEIGHT:  
40'-0" ≤ 40'-0"  
NOTE: MEASURED FROM THE LOWEST  
STRUCTURE TO THE HIGHEST

DW  
DREWETT WORKS  
ARCHITECTURE

22  
YEARS

**FOOTHILLS RESIDENCE**

6041 E FOOTHILL DR  
PARADISE VALLEY, AZ 85253

**DREWETT WORKS**

email: PLANS@DREWETTWORKS.COM  
phone: 938.8 714 E STETSON DR SUITE 201  
SCOTTSDALE, AZ 85251  
WWW.DREWETTWORKS.COM

24-24



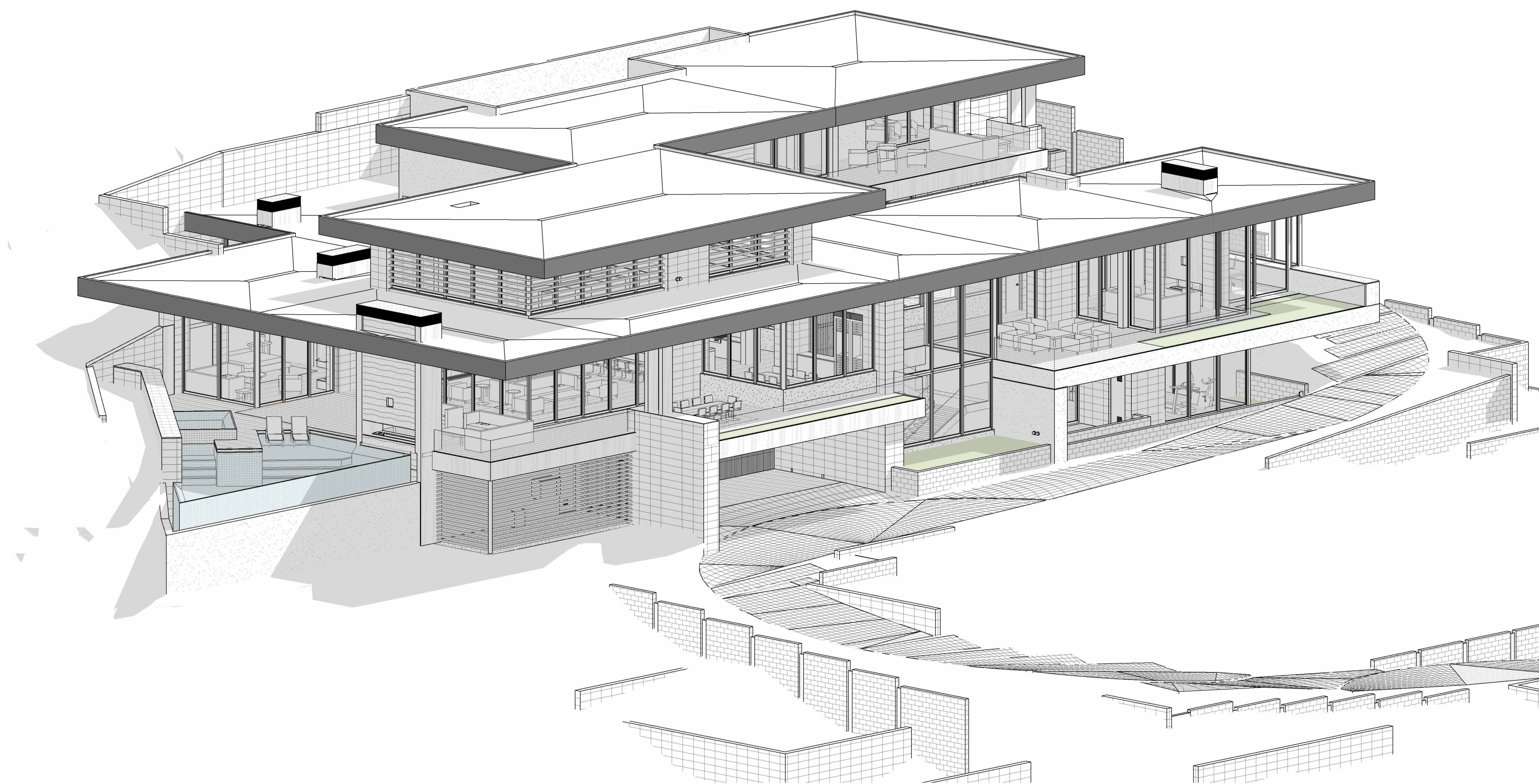
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04-17-2025 Issue Date

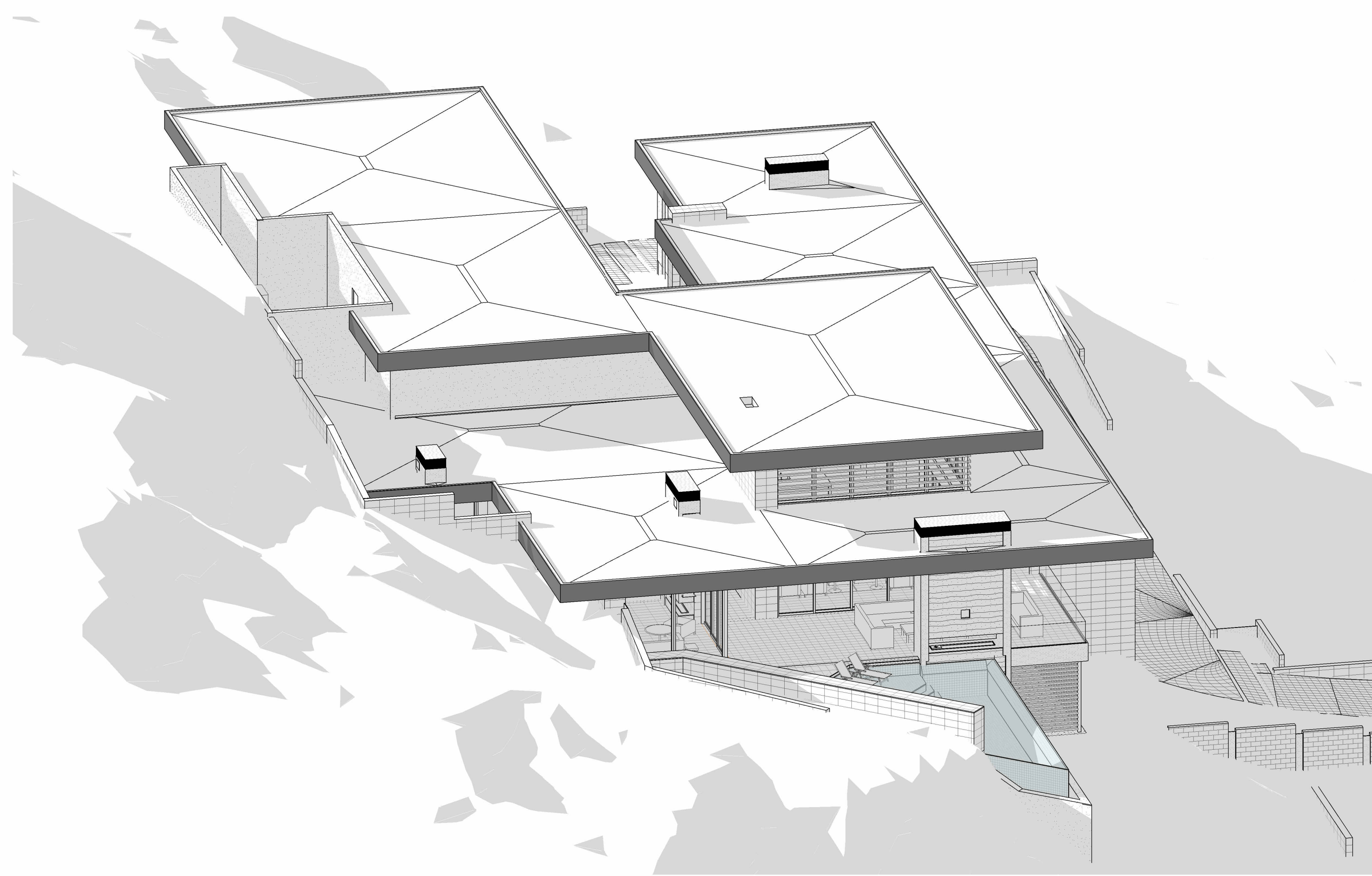


No. DRB208

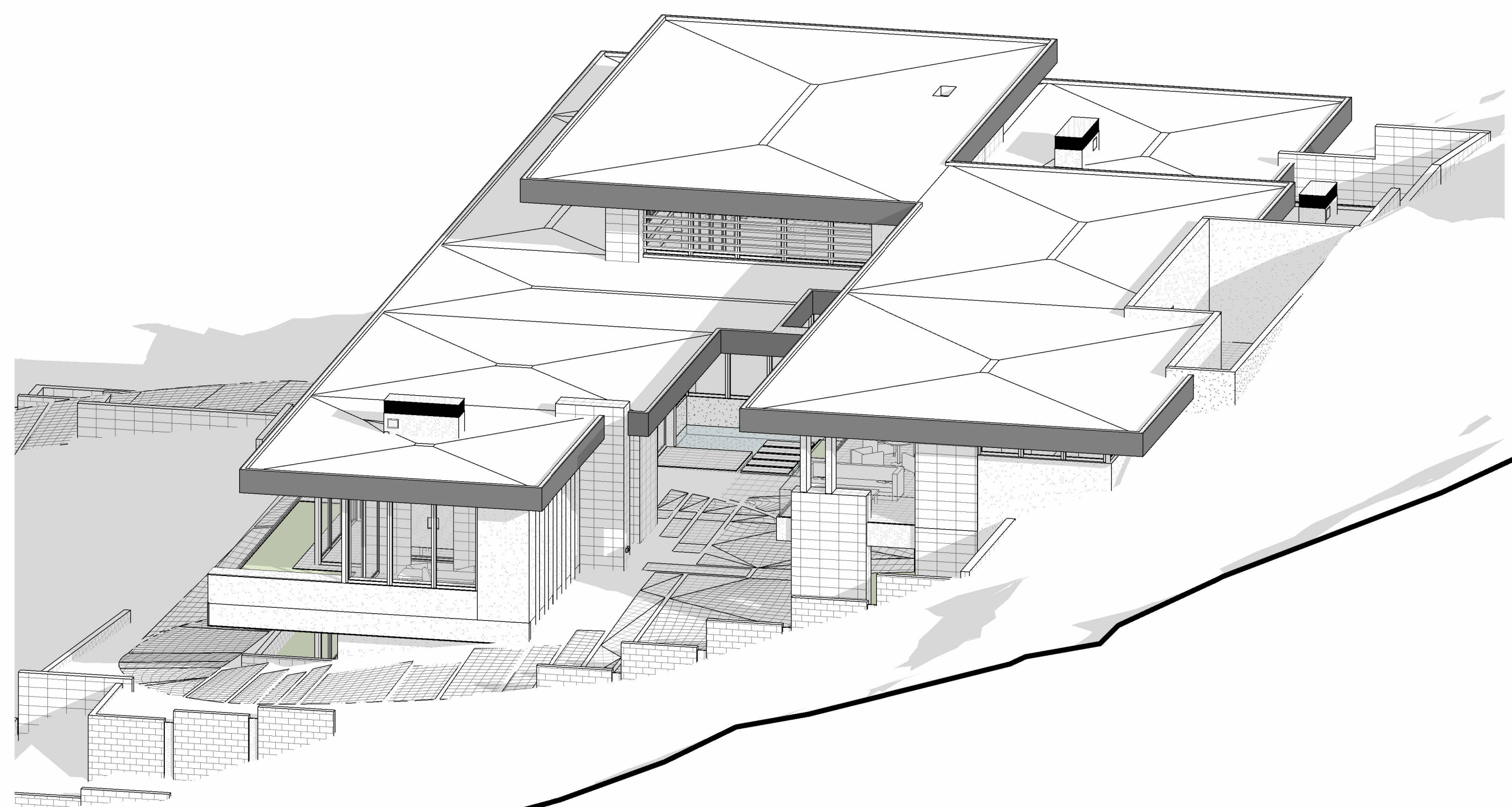




[ 1 ] 3D MASSING 01



[ 2 ] 3D MASSING 02



[ 3 ] 3D MASSING 03



[ 4 ] 3D MASSING 04

## FOOTHILLS RESIDENCE

6041 E FOOTHILL DR  
PARADISE VALLEY, AZ 85253

### DREWETT WORKS

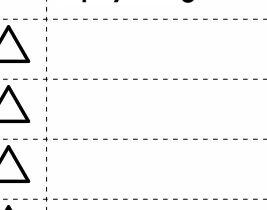
email: PLANS@DREWETTWORKS.COM  
PHONE: 480.855.3733  
7144 E STETSON DR SUITE 8  
SCOTTSDALE, AZ 85253  
WWW.DREWETTWORKS.COM

24-24



### HILLSIDE PROGRESS

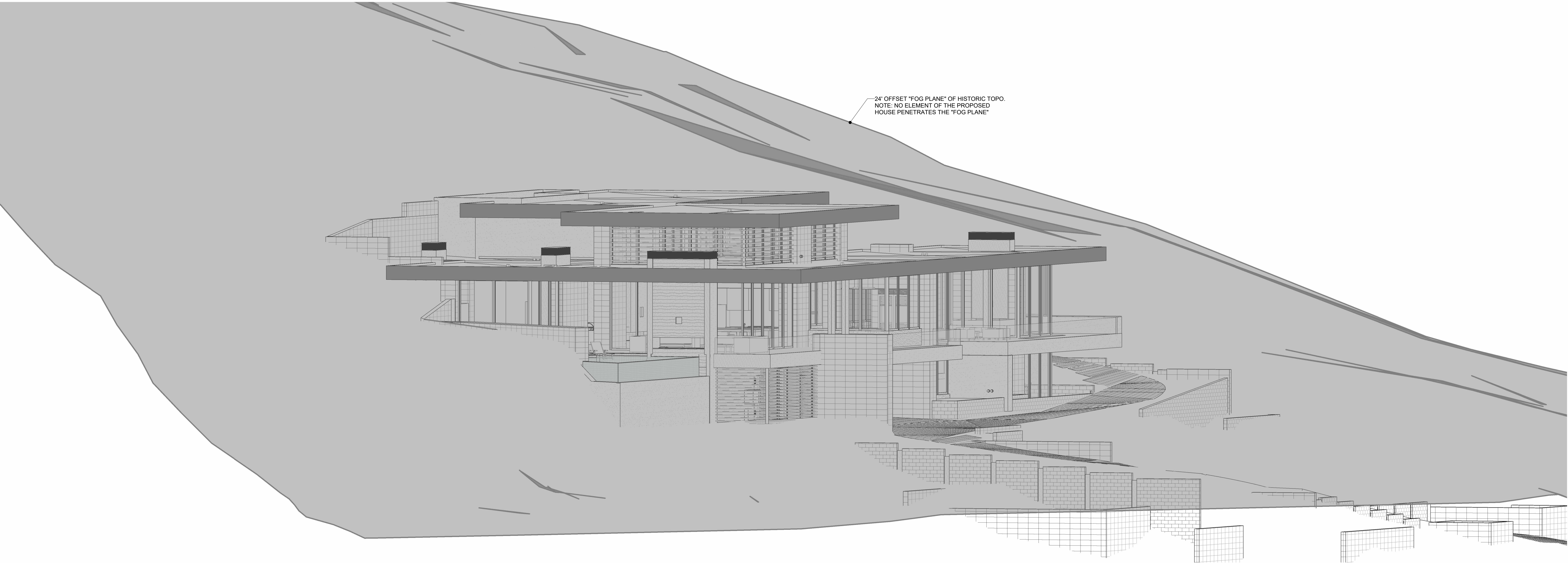
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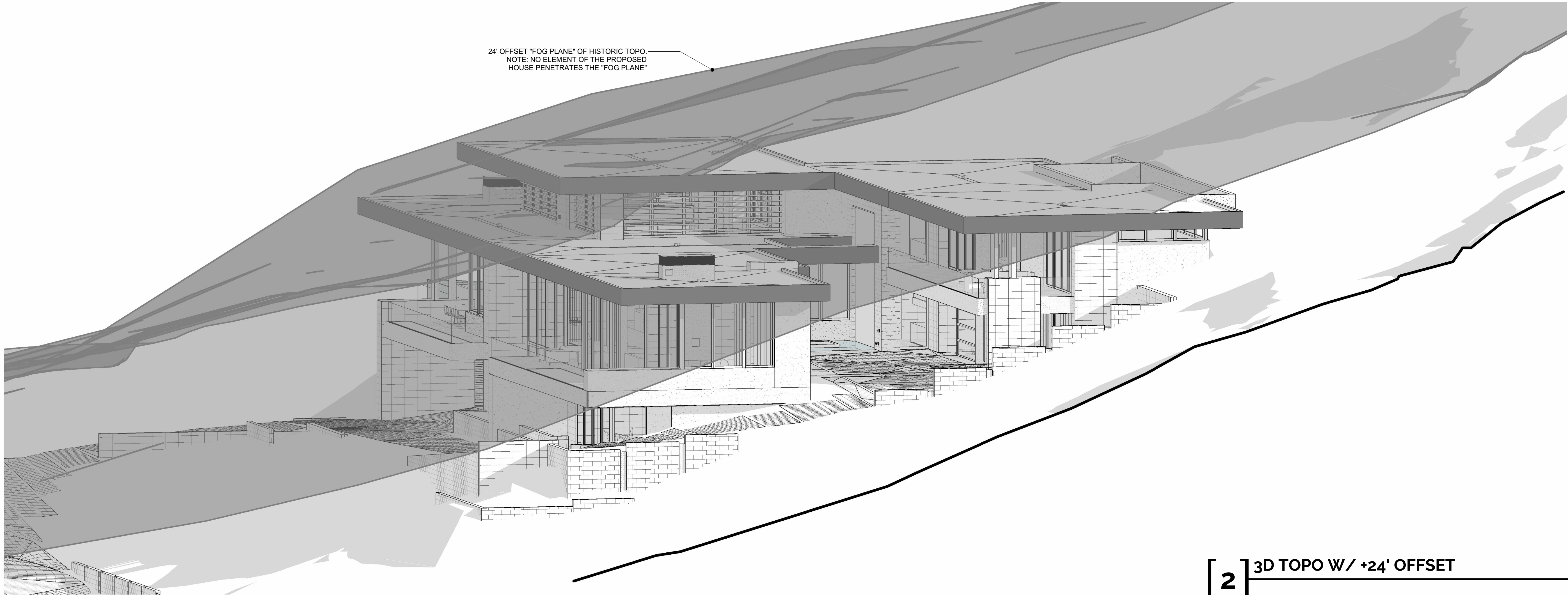
No.

DRB209





[ 1 ] 3D TOPO W/ +24' OFFSET



[ 2 ] 3D TOPO W/ +24' OFFSET





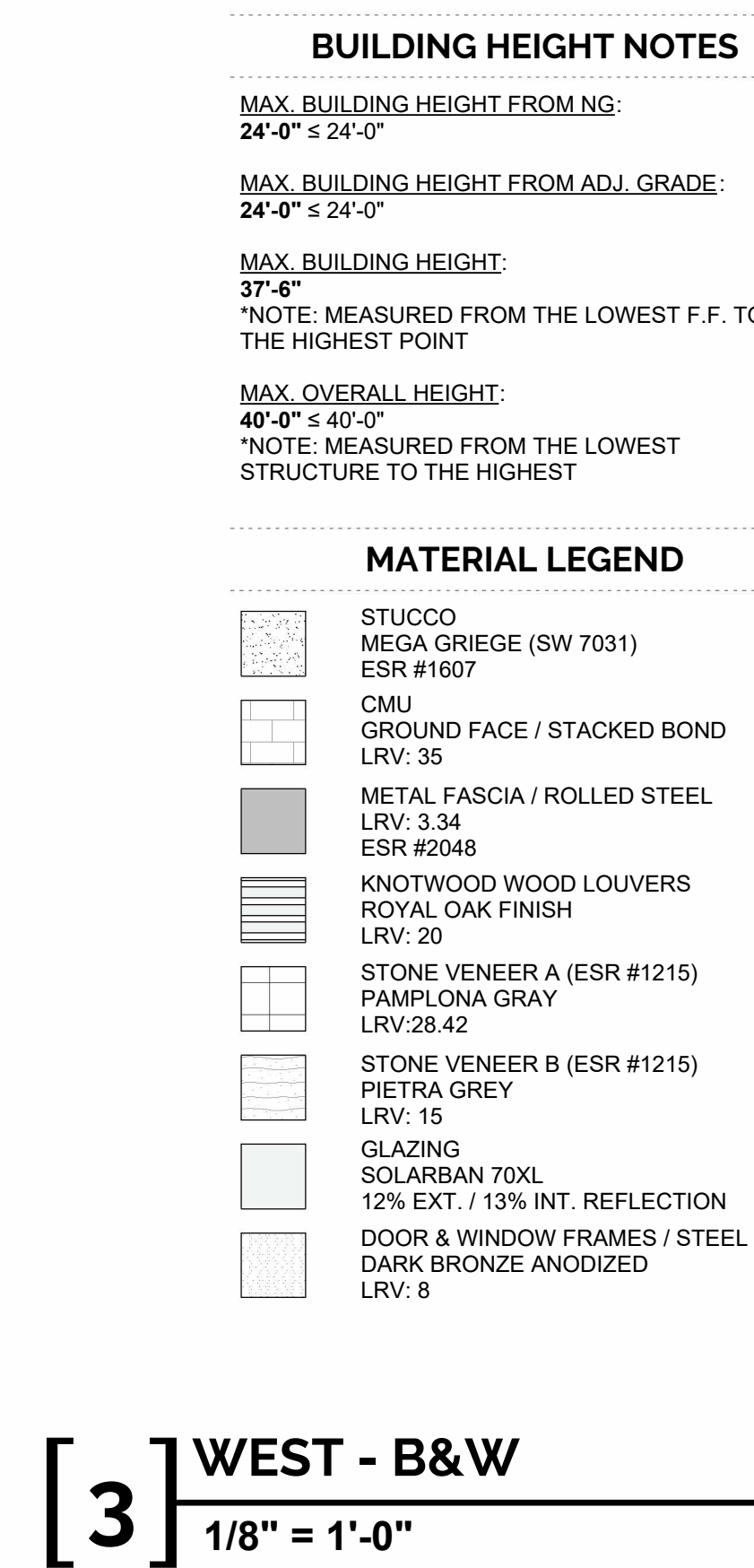
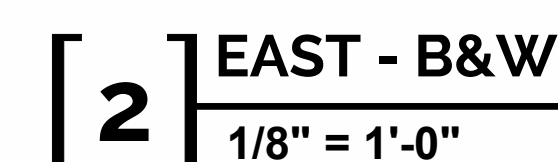
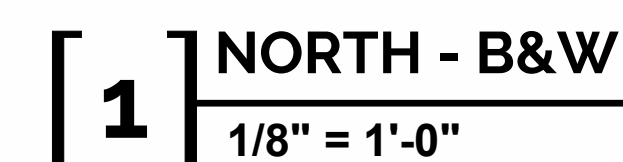
6041 E FOOTHILL DR  
PARADISE VALLEY, AZ 85253

24-24

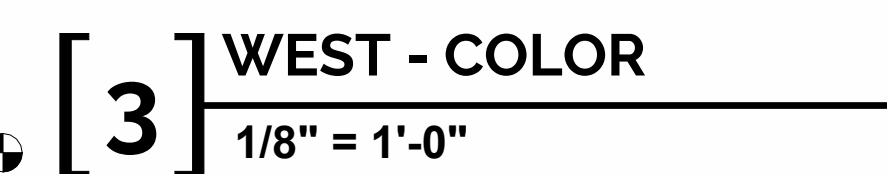
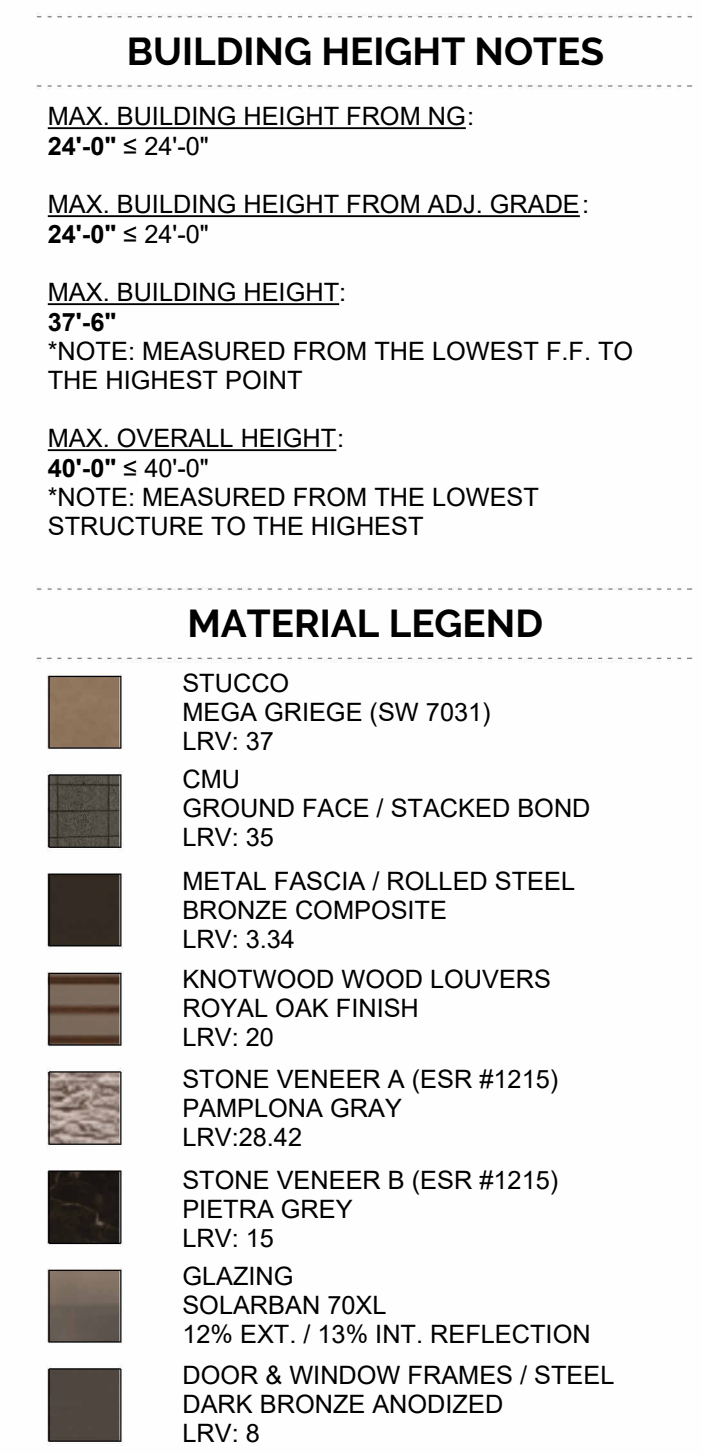
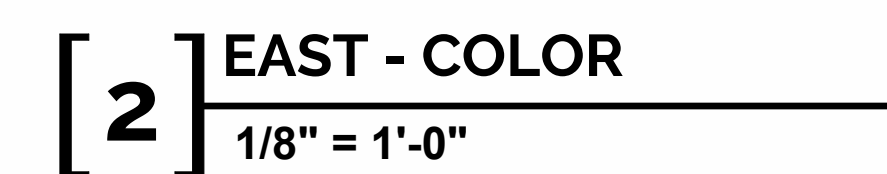
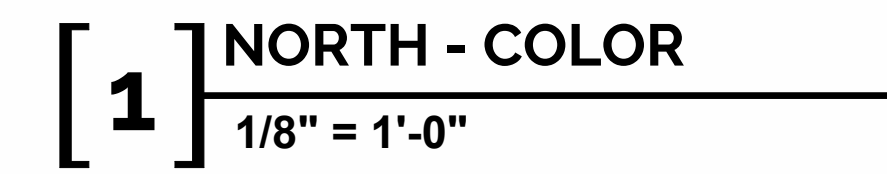
REGISTERED ARCHITECT  
CLAYTON B. BLACK  
CREWITT JR.  
Signed:  
04-17-2025  
ARIZONA U.S.A.

Expires: 12/31/2025

HILLSIDE PROGRESS	
	Issue 1
04-17-2025	
△	Issue 2
△	
△	
△	
NO	
DRB211	









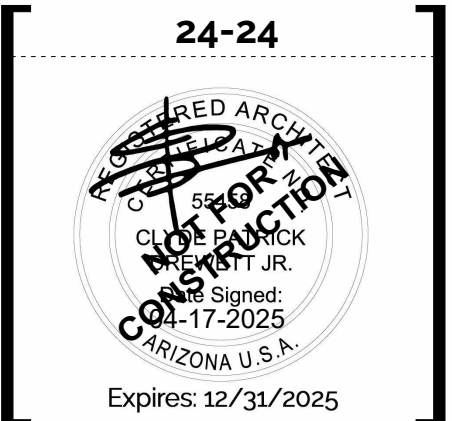


FOOTHILLS RESIDENCE

6041 E FOOTHILL DR  
PARADISE VALLEY, AZ 85253

DREWETT WORKS

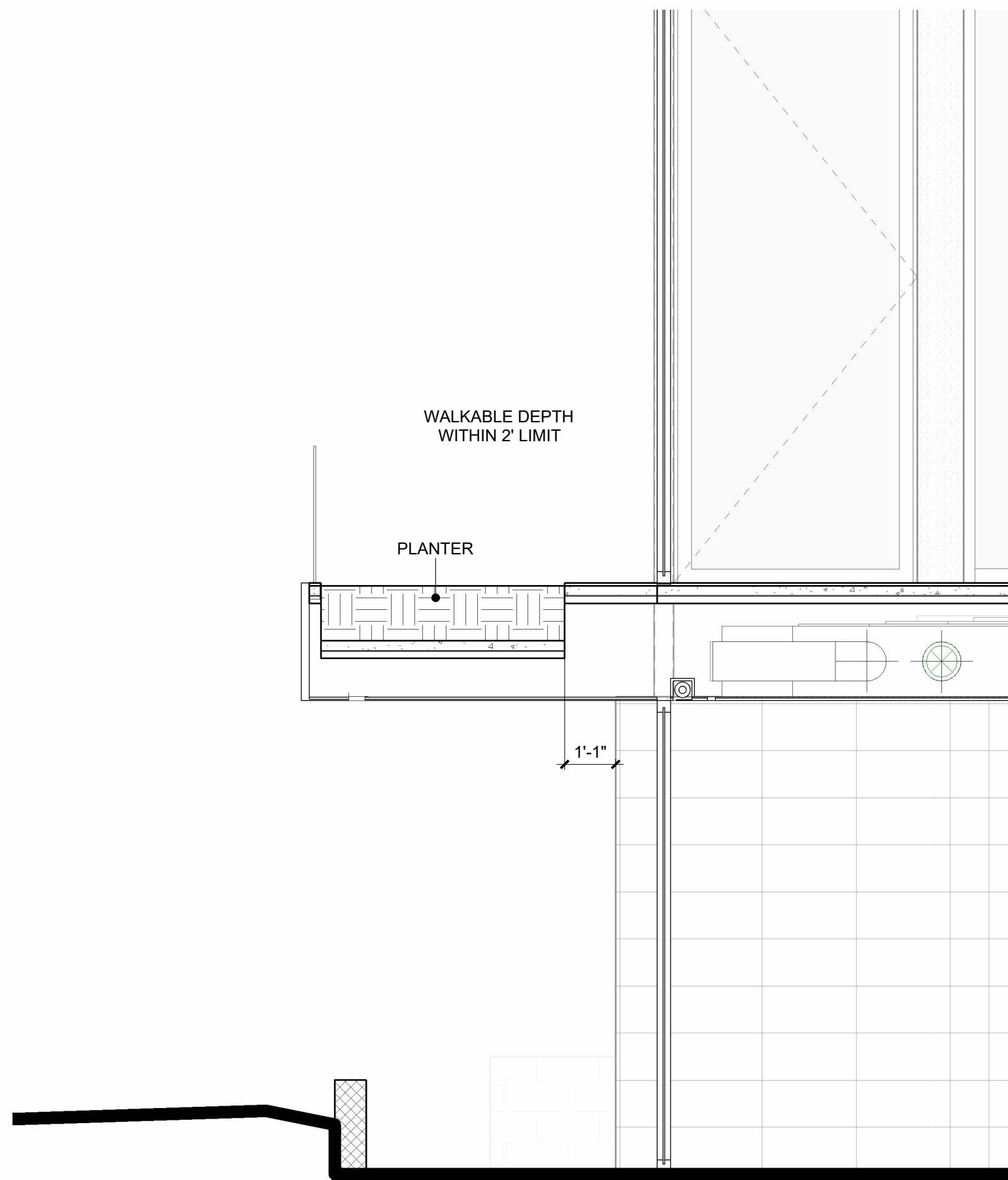
email: PLANS@DREWETTWORKS.COM  
phone: 480.855.3733  
1144 E STETSON DR SUITE 8  
SCOTTSDALE, AZ 85253  
WWW.DREWETTWORKS.COM



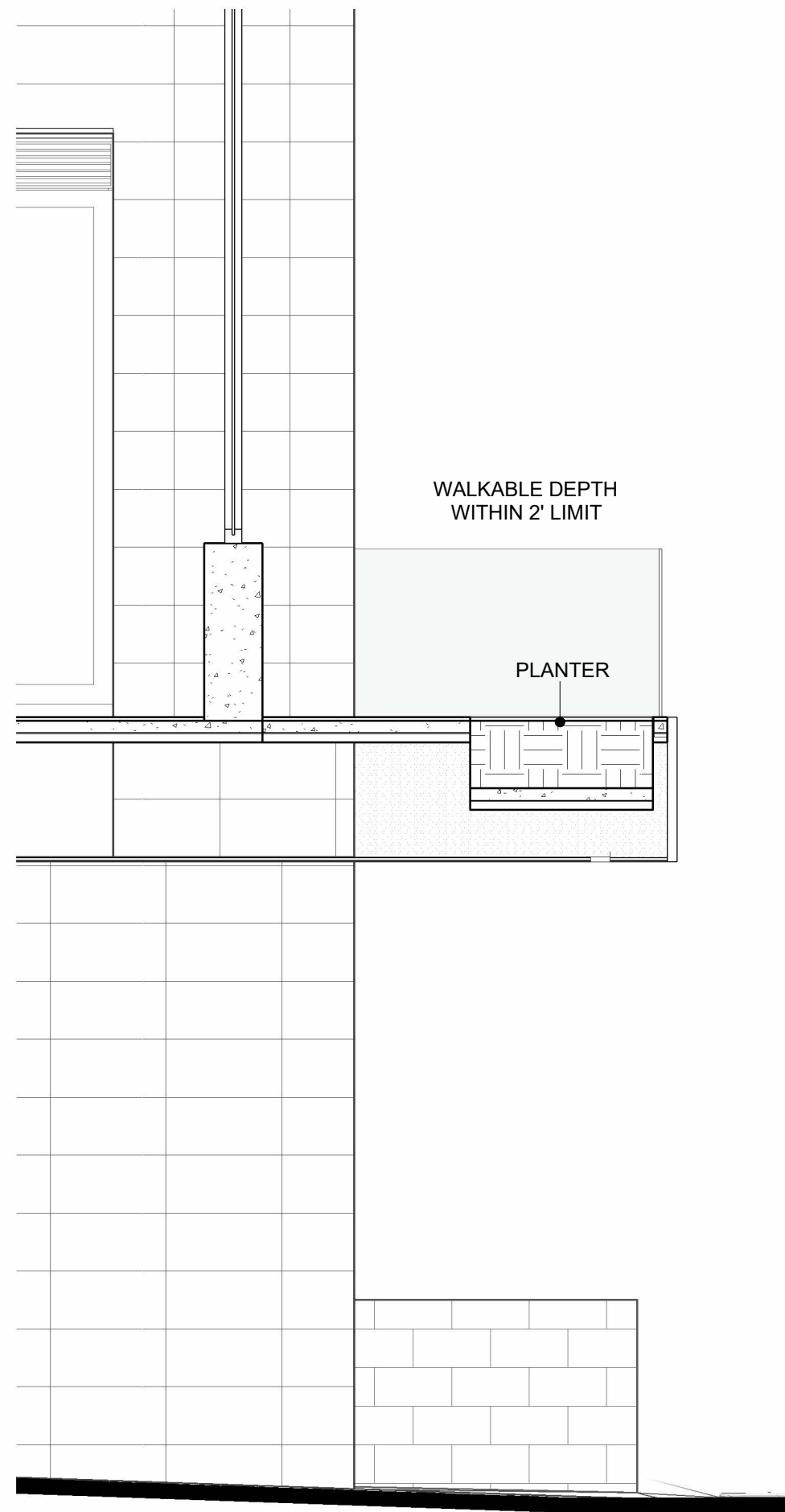
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Issue No.	Issue Date
04-17-2025	
△	
△	
△	
No	

DRB213

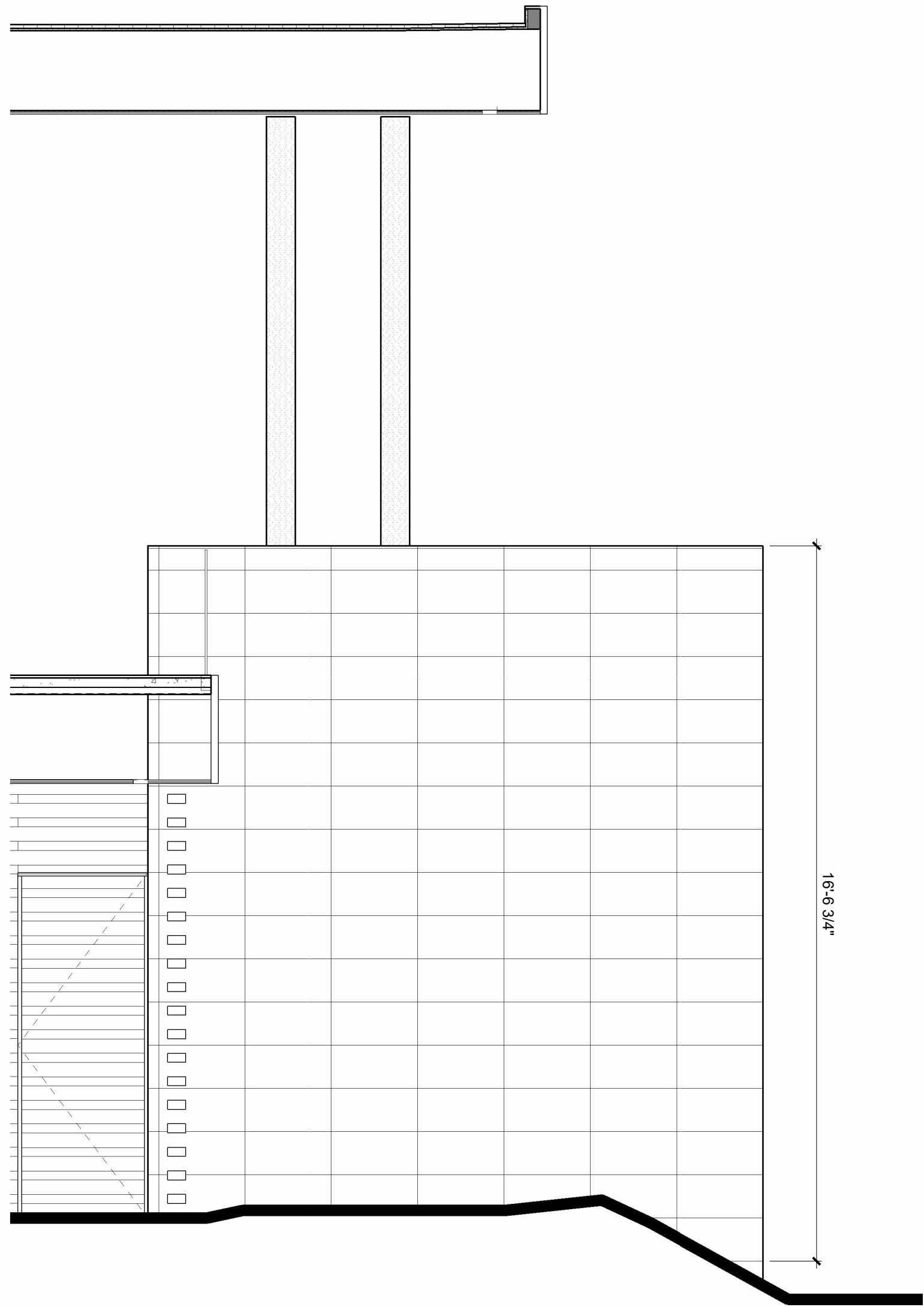




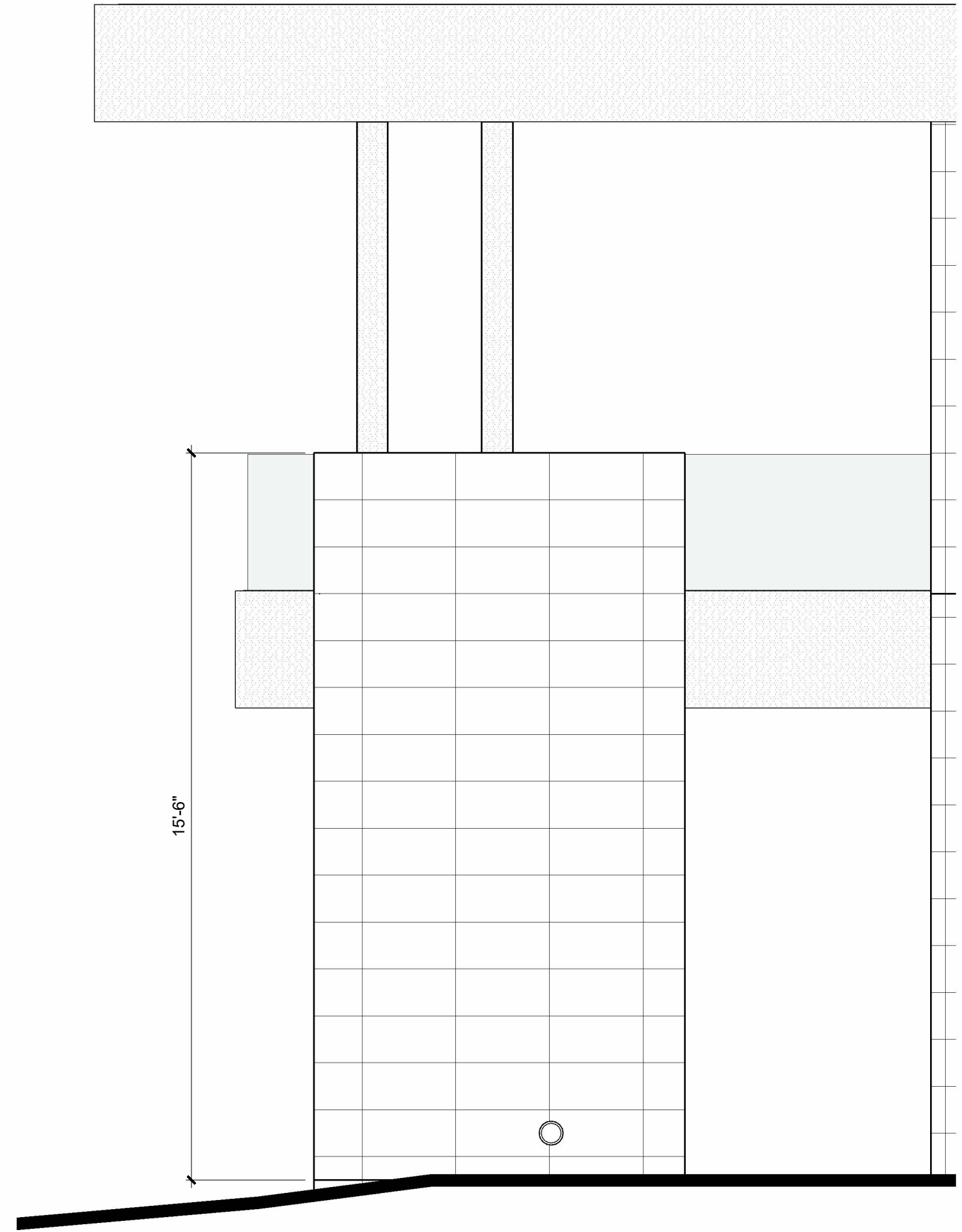
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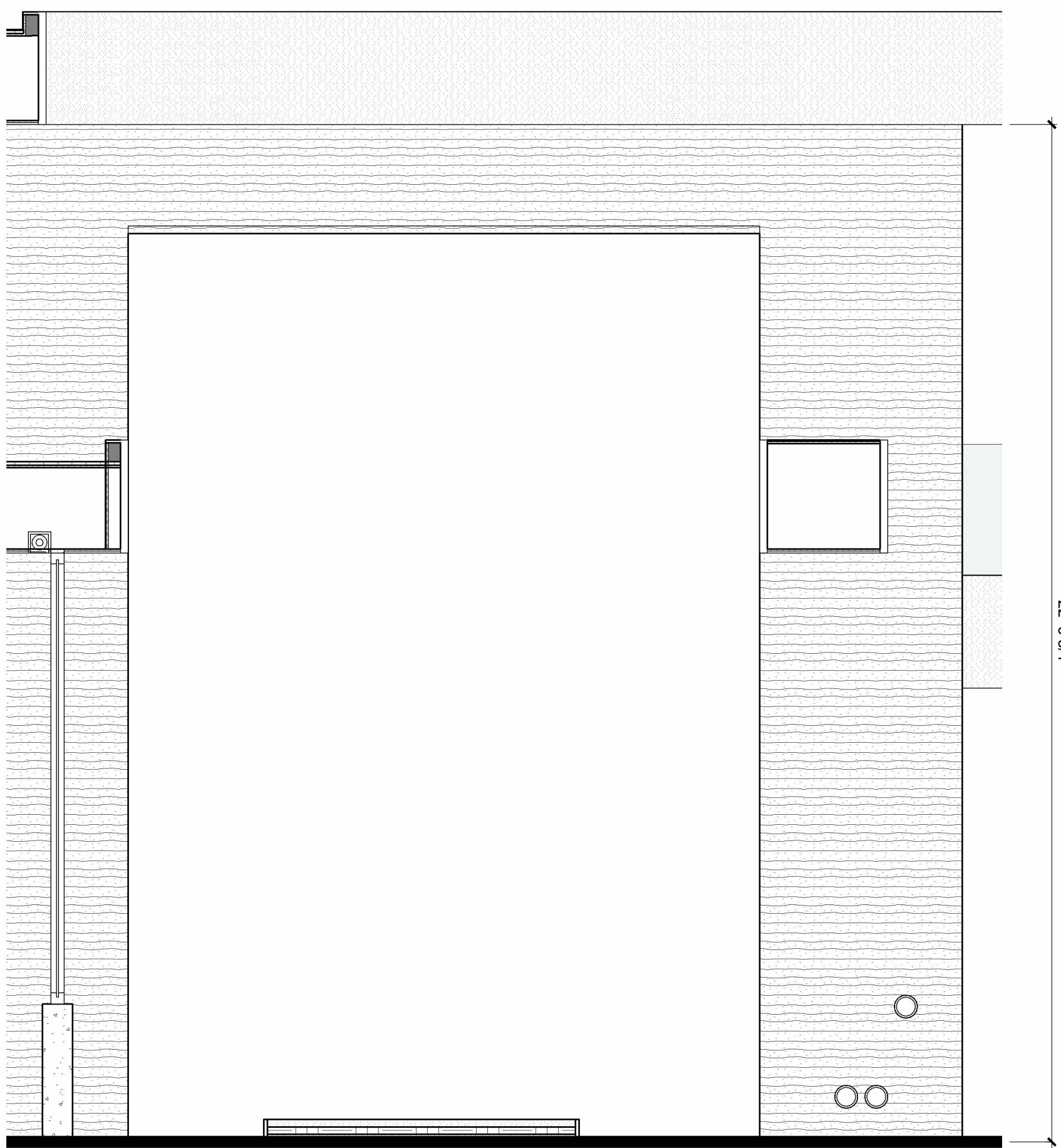
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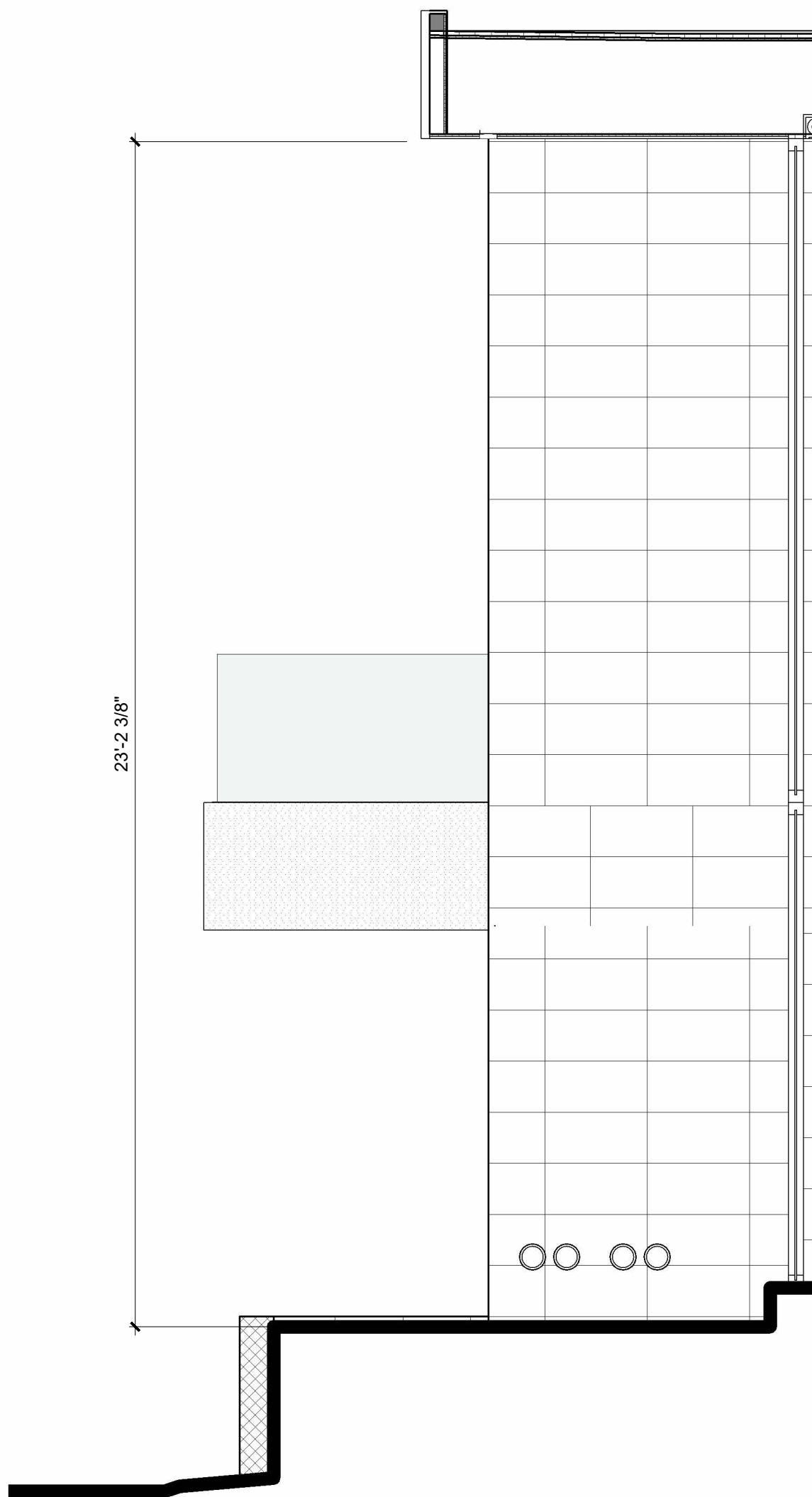
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3/8" = 1'-0"



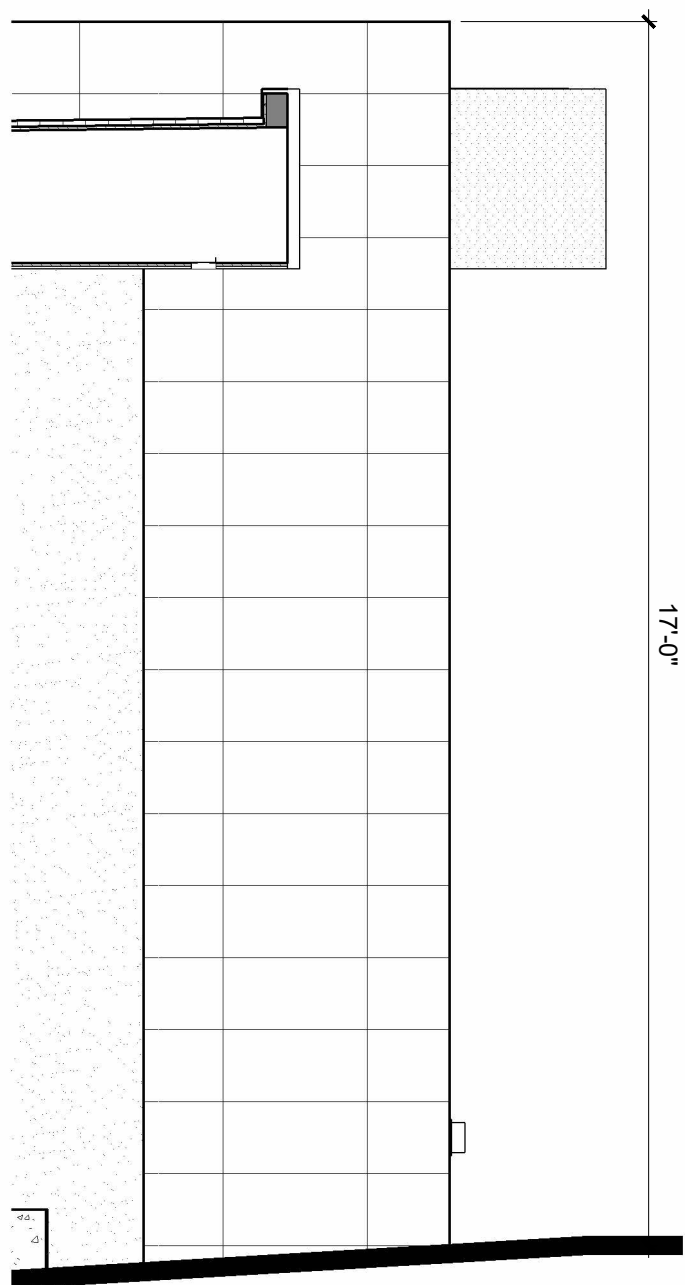
**[ 4 ] UNBROKEN PLANE 02**  
3/8" = 1'-0"



**[ 5 ] UNBROKEN PLANE 03**  
3/8" = 1'-0"



**[ 6 ] UNBROKEN PLANE 04**  
3/8" = 1'-0"



**[ 7 ] UNBROKEN PLANE 05**  
3/8" = 1'-0"





[ 1 ] SITE PHOTO 1  
N.T.S.



[ 2 ] SITE PHOTO 2  
N.T.S.



[ 3 ] SITE PHOTO 3  
N.T.S.



[ 4 ] SITE PHOTO 4  
N.T.S.



[ 5 ] SITE PHOTO 5  
N.T.S.



[ 6 ] SITE PHOTO 6  
N.T.S.



[ 7 ] SITE PHOTO 7  
N.T.S.



[ 8 ] SITE PHOTO 8  
N.T.S.



[ 9 ] SITE PHOTO 9  
N.T.S.



[ 10 ] SITE PHOTO 10  
N.T.S.



[ 11 ] SITE PHOTO 11  
N.T.S.



[ 12 ] SITE PHOTO 12  
N.T.S.



[ 13 ] SITE PHOTO 13  
N.T.S.



[ 14 ] SITE PHOTO 14  
N.T.S.



[ 15 ] SITE PHOTO 15  
N.T.S.



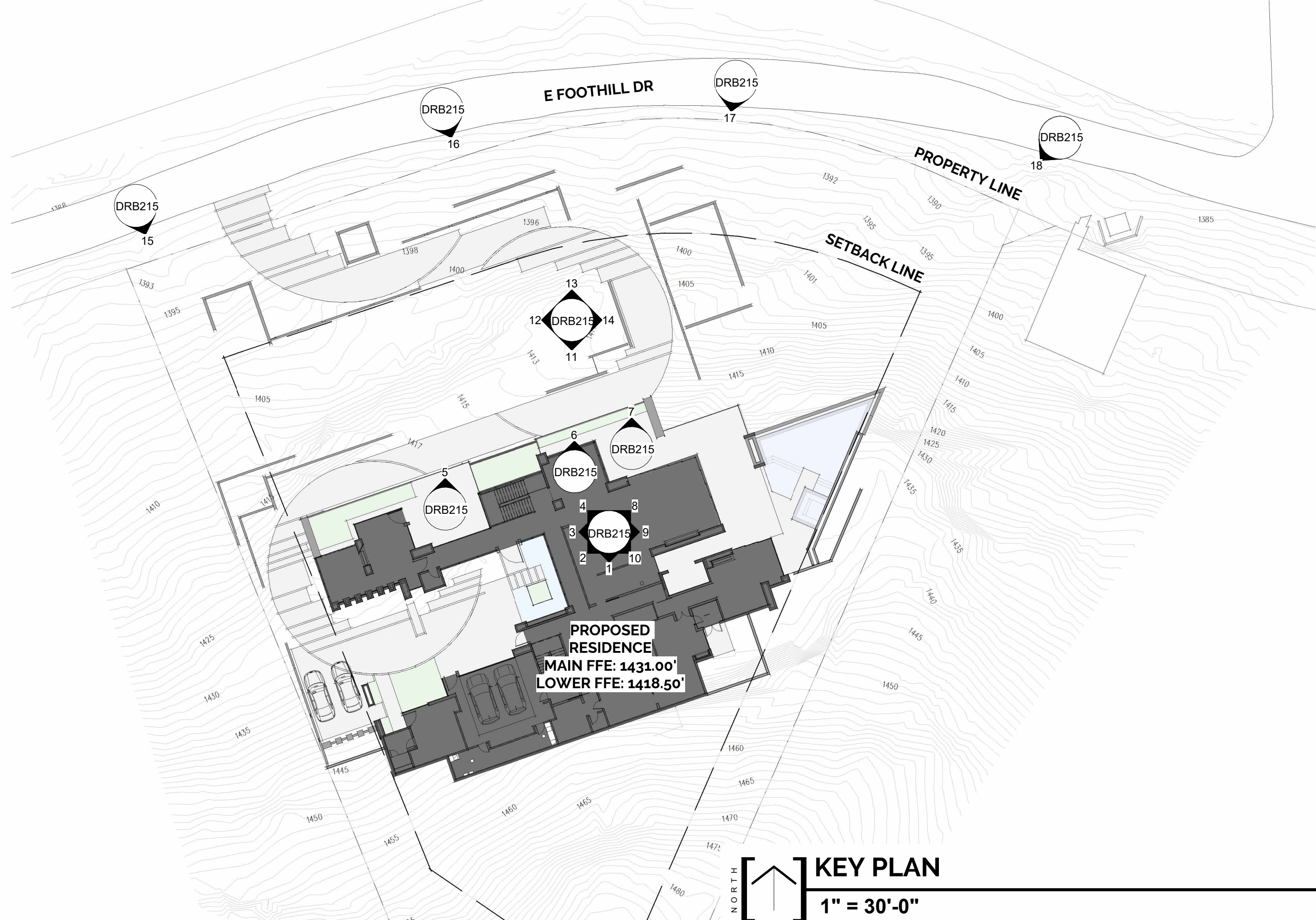
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N.T.S.



[ 17 ] SITE PHOTO 17  
N.T.S.



[ 18 ] SITE PHOTO 18  
N.T.S.



DW  
DREWETT WORKS  
ARCHITECTURE

22  
YEARS

FOOTHILLS RESIDENCE  
6041 E FOOTHILL DR  
PARADISE VALLEY, AZ 85253

DREWETT WORKS  
email: PLANS@DREWETTWORKS.COM  
PHONE: 480-955-3738  
1744 E STETSON DR SUITE 100  
SCOTTSDALE, AZ 85251  
WWW.DREWETTWORKS.COM

24-24  
SEAL  
DREWETT JR.  
REGISTERED ARCHITECT  
NO. 1744  
SIGNED: 04-17-2025  
ARIZONA U.S.A.  
Expires: 12/31/2025

HILLSIDE PROGRESS  
04-17-2025  
Issue 009  
No. DRB215

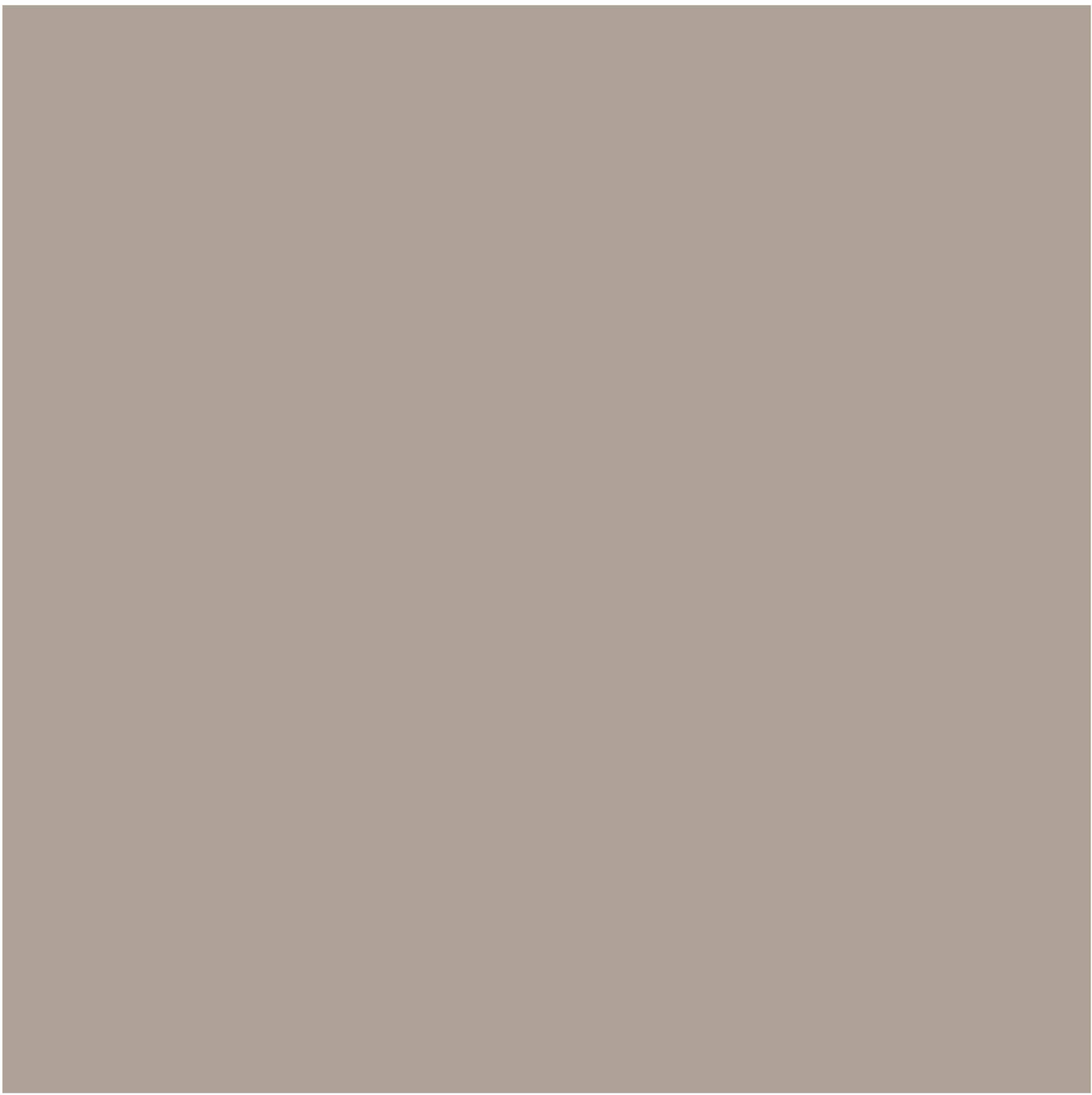




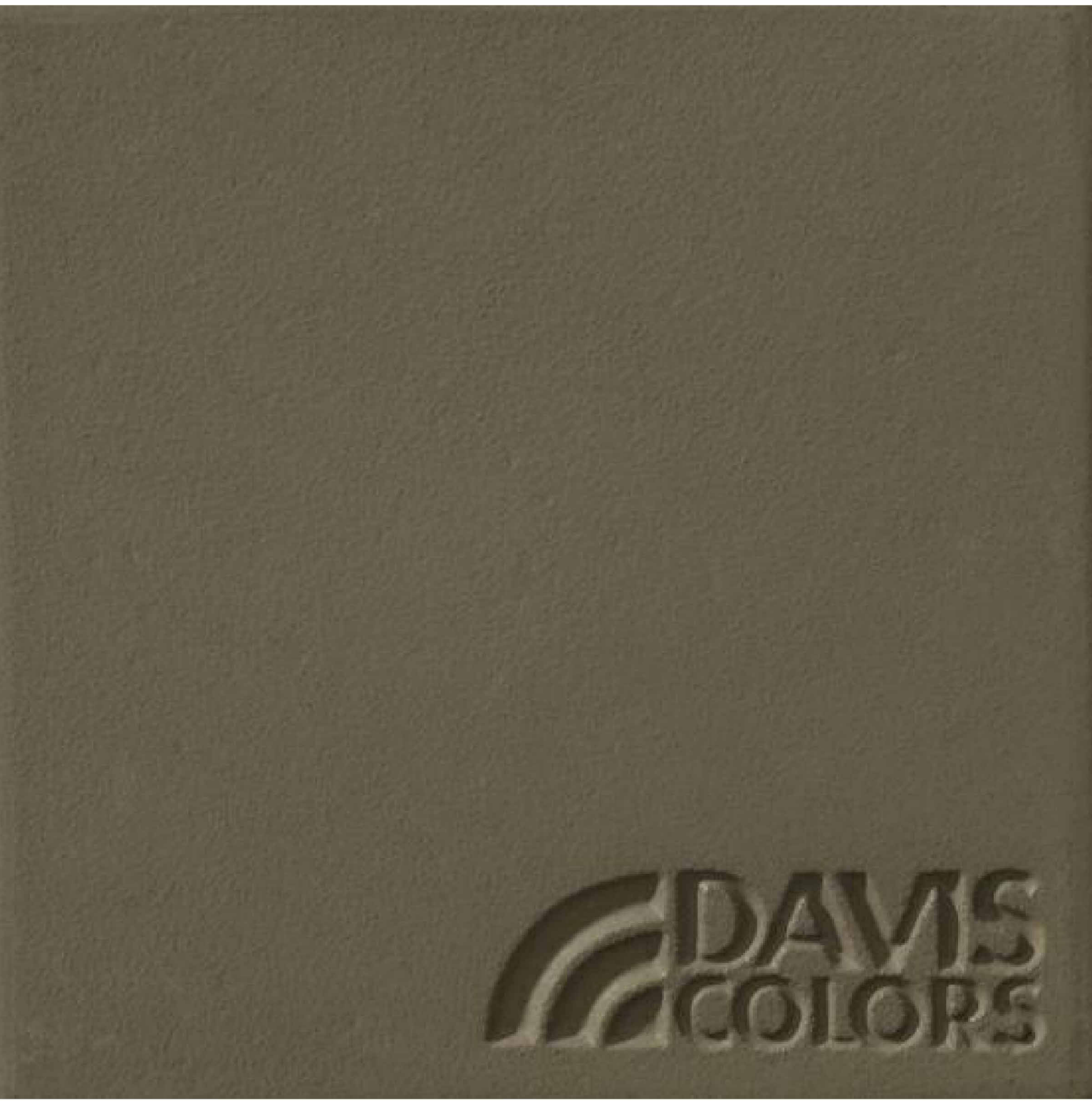
STONE VENEER A  
*SOLSTICE STONE*  
PAMPLONA GRAY WIDE SPLIT & COMBED  
LRV: 28.42



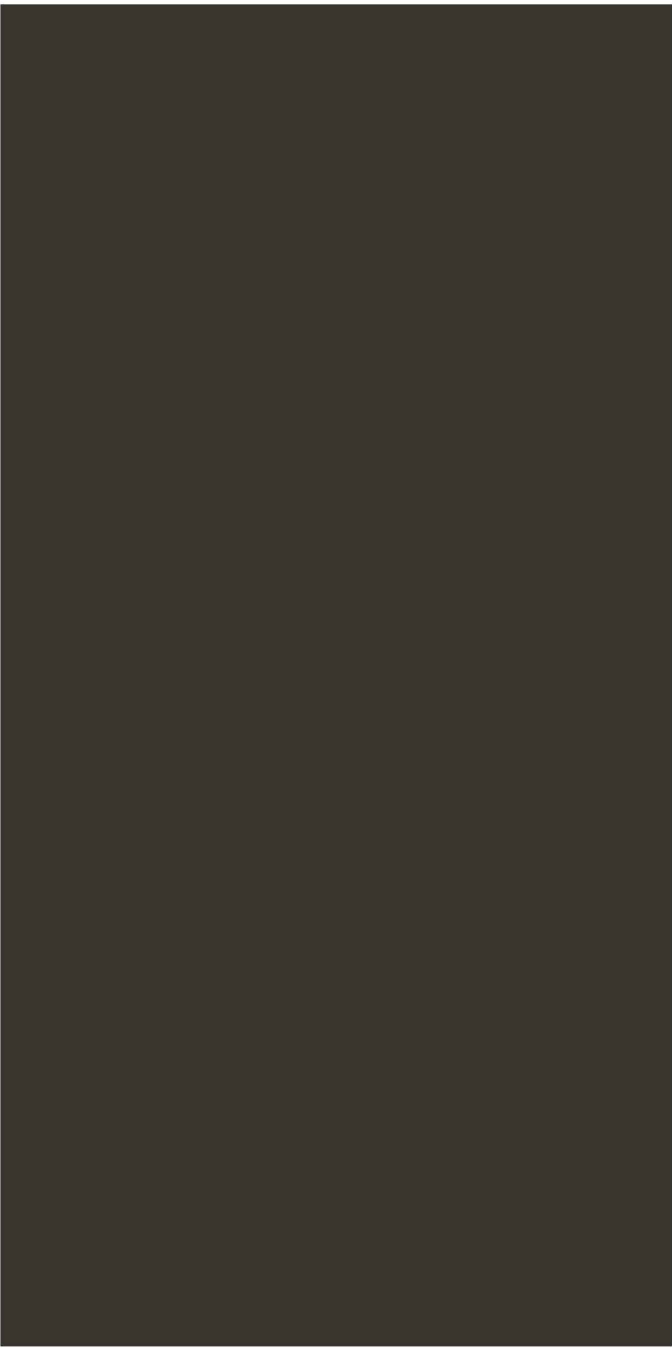
STONE VENEER B  
*SAPIENSTONE*  
PIETRA GREY - NATURAL  
LRV: 15



STUCCO  
*SHERWIN-WILLIAMS*  
MEGA GREIGE (SW 7031)  
LRV: 37



CONCRETE DRIVEWAY  
*DAVIS COLORS*  
'ADOBE' COLOR - LIGHT SAND FINISH  
LRV: 24



METAL FASCIA / STEEL  
METAL COMPOSITE MATERIAL  
COLOR: BRONZE  
LRV: 3.34



DOOR & WINDOW FRAMES  
DARK BRONZE ANODIZED  
LRV: 8



WOOD LOUVERS  
*KNOTWOOD*  
ROYAL OAK FINISH  
LRV: 20



T&G CEILING  
RIFT CUT WHITE OAK  
COLOR: CLEAR TOPCOAT  
LRV: 32



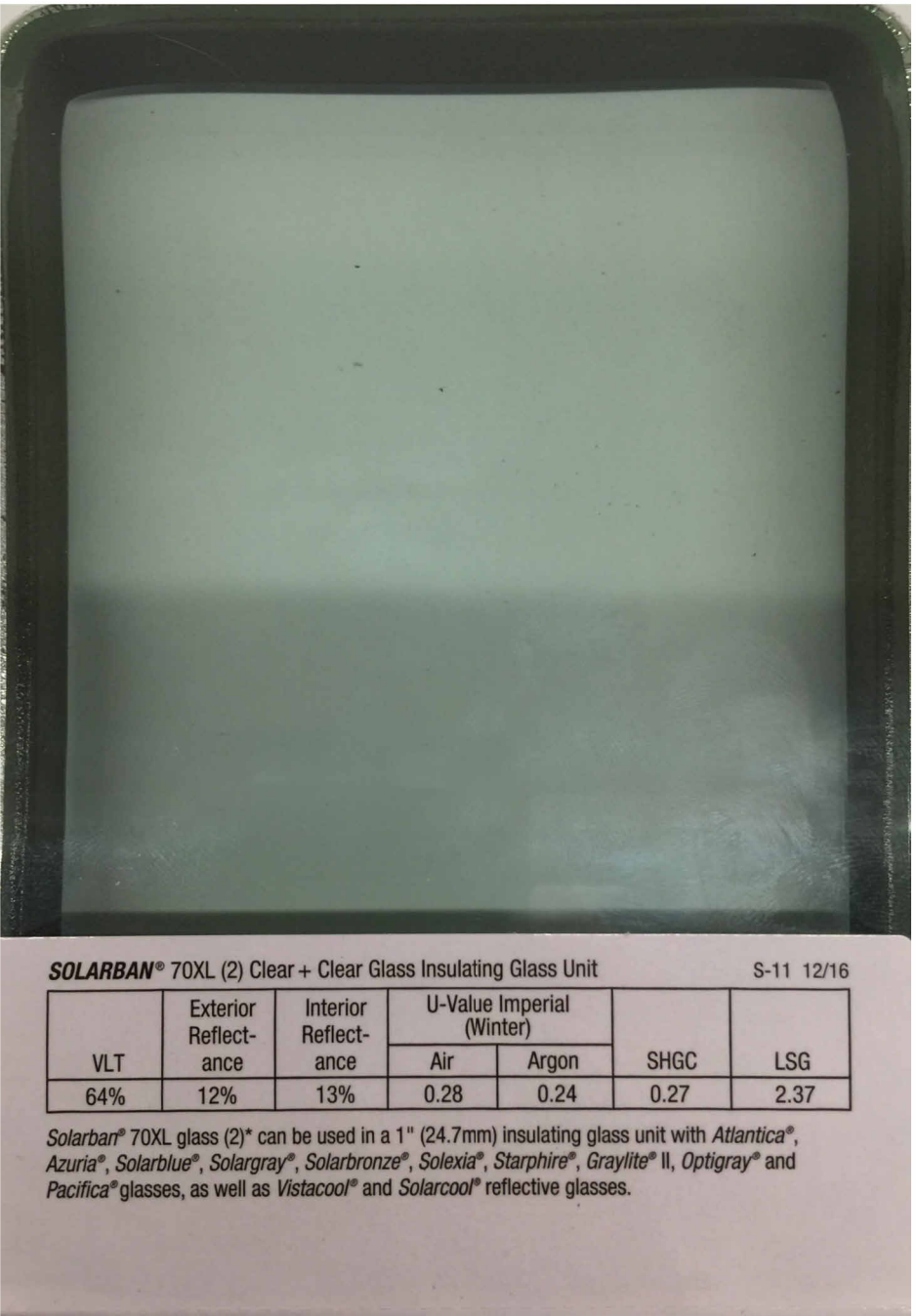
DRIVEWAY PAVERS  
*BELGARD* - HOLLAND SERIES  
'RIO BLEND' - 4"X8"  
LRV: 20



PATIO PAVERS  
*ECO OUTDOOR*  
'TILDEN' LIMESTONE 16"X32"  
LRV: 37



CMU RETAINING WALLS  
8" WIDE CMU WALL  
GROUND FACE - STACKED BOND  
LRV: 35

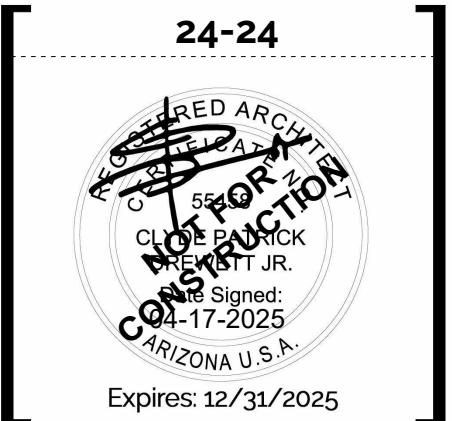


GLAZING  
*SOLARBAN*  
70XL  
12% EXT. REFLECT / 13% INT. REFLECT

FOOTHILLS RESIDENCE

6041 E FOOTHILL DR  
PARADISE VALLEY, AZ 85253

DREWETT WORKS  
architect  
PLANS@DREWETTWORKS.COM  
PHONE 480.955.3733  
714 E STETSON DR SUITE 8  
SCOTTSDALE, AZ 85253  
WWW.DREWETTWORKS.COM



HILLSIDE PROGRESS  
04-17-2025  
Issue No.  
Issue Date  
No. DRB216



TYPE	QUANTITY	DESCRIPTION	CATALOG NUMBER	Notes
A1	38	<b>4" Flangeless</b> Square Adjustable- Spot Optics (25deg), 1000lm, Warm Dim, Round on Square Trim, <b>Wood Ceiling, Black Finish</b>	Housing: M4NCSS Module: ART4A10T3WSPT Trim: M4TSQBKFL	Finish to be confirmed Color Temperature to be confirmed prior to procurement
A2	3	<b>4" Flangeless</b> Square Adjustable- Flood Optics (40deg), 1000lm, Warm Dim, Round on Square Trim, <b>Wood Ceiling, Black Finish</b>	Housing: M4NCSS Module: ART4A10T3WFLT Trim: M4TSQBKFL	Finish to be confirmed Color Temperature to be confirmed prior to procurement
A3	1	<b>4" Flangeless</b> Square Adjustable- Spot Optics (25deg), 1000lm, Warm Dim, Round on Square Trim, White Finish	Housing: M4NCSS Module: ART4A10T3WSPWT Trim: M4TSQWHFL Mudplate: M4XSMUD	Finish to be confirmed Color Temperature to be confirmed prior to procurement
D1	65	<b>4" Flangeless</b> Square General Downlight - General Ambient Optics (90deg), 1000lm, Warm Dim, Standard Trim, <b>Wood Ceiling, Black Finish</b>	Housing: M4NCSS Module: ART4D10T3WGAT Trim: M4TSSBKFL	Finish to be confirmed Color Temperature to be confirmed prior to procurement
D2	10	<b>4" Flangeless</b> Square General Downlight - Spot Optics (25deg), 1000lm, Warm Dim, Pinhole Trim, <b>Wood Ceiling, Black Finish</b>	Housing: M4NCSS Module: ART4D10T3WSPT Trim: M4TSPBKFL	Finish to be confirmed Color Temperature to be confirmed prior to procurement
D3	10	<b>4" Flangeless</b> Square General Downlight - General Ambient Optics (90deg), 1000lm, Warm Dim, Wall Wash Trim, <b>Wood Ceiling, Black Finish</b>	Housing: M4NCSS Module: ART4D10T3WGAT Trim: M4TSLBKFL	Finish to be confirmed Color Temperature to be confirmed prior to procurement
D4	8	<b>4" Flangeless</b> Square General Downlight - Flood Optics (40deg), 1000lm, Warm Dim, Standard Trim, <b>Wood Ceiling, Black Finish</b>	Housing: M4NCSS Module: ART4D10T3WFLT Trim: M4TSSWHFL	Finish to be confirmed Color Temperature to be confirmed prior to procurement
D5	6	<b>4" Square</b> General Downlight - General Ambient Optics (90deg), 1000lm, Warm Dim, Standard Trim, White Finish	Housing: M4NCSS Module: ART4D10T3WGAT Trim: M4TSSWH	Finish to be confirmed Color Temperature to be confirmed prior to procurement
D6	62	<b>4" Square</b> General Downlight - General Ambient Optics (90deg), 750lm, 3000K, Standard Trim, <b>Black Finish</b>	Housing: M4NCSS Module: ART4D07T30GAT Trim: M4TSSBK	Finish to be confirmed Color Temperature to be confirmed prior to procurement
D7	14	<b>4" Square</b> General Downlight - Spot Optics (25deg), 750lm, 3000K, Pinhole Trim, <b>Black Finish</b>	Housing: M4NCSS Module: ART4D07T30SPT Trim: M4TSPBK	Finish to be confirmed Color Temperature to be confirmed prior to procurement
D8	16	<b>4" Square</b> General Downlight - General Ambient Optics (90deg), 750lm, 3000K, Wall Wash Trim, <b>Black Finish</b>	Housing: M4NCSS Module: ART4D07T30GAT Trim: M4TSLBK	Finish to be confirmed Color Temperature to be confirmed prior to procurement
D9	46	<b>4" Flangeless</b> Square General Downlight - General Ambient Optics (90deg), 1000lm, Warm Dim, Standard Trim, White Finish	Housing: M4NCSS Module: ART4D10T3WGAT Trim: M4TSSWHFL Mudplate: M4XSMUD	Finish to be confirmed Color Temperature to be confirmed prior to procurement



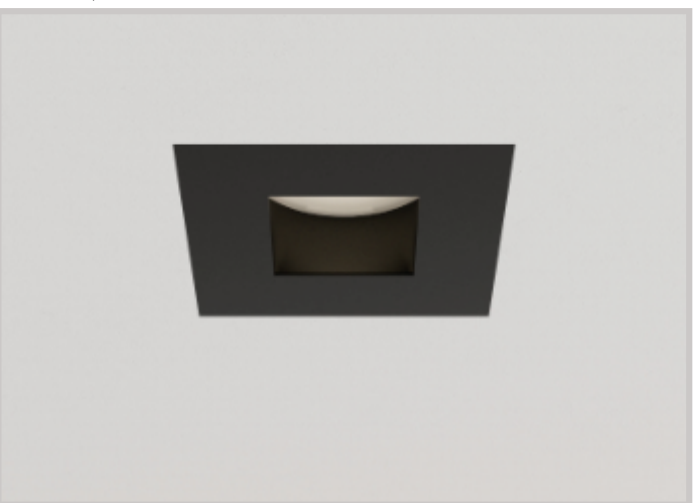
ART4A- (Adjustable)  
A1, A2



ART4A- (Adjustable)  
A3



ART4D- (Downlight)  
D1, D4



ART4D- (Pinhole)  
D2



ART4D- (Wallwasher)  
D3



ART4D- (Downlight)  
D5



ART4D- (Downlight)  
D6



ART4D- (Pinhole)  
D7



ART4D- (Wallwasher)  
D8



ART4D- (Downlight)  
D9



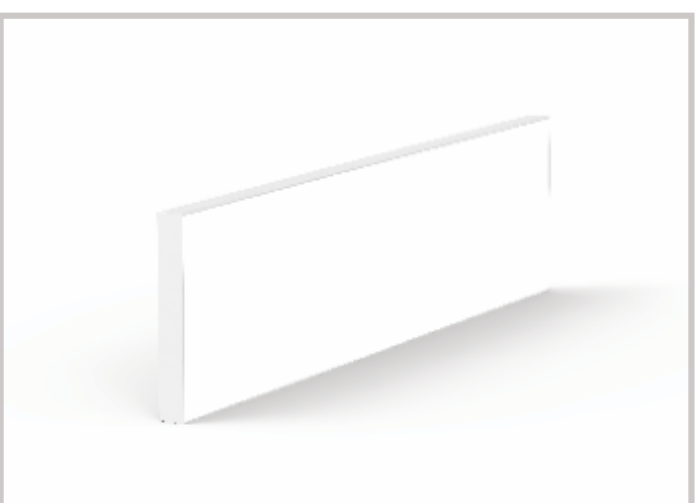
ART4D- (Pinhole)  
D10



ART05L- (Linear)  
L1, L2, L3, L4, L5



XCP- (Pendant Mounted)  
P1



DRD5 18"- (Downlight)  
S1



1118 East 223rd Street,  
Carson, California 90745  
323.934.7779  
dmflighting.com

DMF LIGHTING

LIGHTING APPLICATION

PROJECT:

ALLEN RESIDENCE RENOVATION

555 HICKORY ROAD NAPLES FL 34110

NOTES:

- The lighting layout furnished by DMF Lighting is an instrument of service and shall not become the property of the Architect, Contractor or Owner whether or not the work for which they are made is commenced.
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ISSUE DATE: 07.22.2025

REVISION DATE:

SHEET TITLE:

FIXTURE SCHEDULE

LD 0.0



TYPE	QUANTITY	DESCRIPTION	CATALOG NUMBER	Notes
D10	8	<b>4" Flangeless</b> Square General Downlight - Spot Optics (25deg), 1000lm, Warm Dim, Pinhole Trim, White Finish	Housing: M4NCSS Module: ART4D10T3WSPT Trim: M4TSPWHFL Mudplate: M4XSMUD	Finish to be confirmed Color Temperature to be confirmed prior to procurement
L1	39' - 4"	Linear undercounter, straight channel, Wide optics (114deg), 360lm/ft, warm dim(3000k-1800k), damp listed, 4w/ft, black anodize finish with remote driver	ART05L-1203WD01 (12" segment with middle connector as needed) ART05L-0203WD10 (2" segment 10-pack as needed) ART05L-0103WD10 (1" segment 10-pack as needed) ART05L-PF10 (input connector as needed) ARTP-4896T1 (driver as needed) ART05L-FL03 (Flat mounting track (3) 48" segments, as needed) ART05L-DE10 (end cover 10 pack, as needed) ART05L-JN10 (middle connector 10 pack, as needed)	Minimum 3ft per driver or 20ft maximum. Quantity of drivers to be confirmed per zone, provided by others Warm Dim, user select ability to change on site to 2000k, 2700k or 3000k
L2	66' - 1"	Linear accentlight mounted inside toekick area of millwork to provide glow around floor level, 45 deg channel, Wide optics (114deg), 360lm/ft, warm dim(3000k-1800k), damp listed, 4w/ft, black anodize finish with remote driver	ART05L-1203WD01 (12" segment with middle connector as needed) ART05L-0203WD10 (2" segment 10-pack as needed) ART05L-0103WD10 (1" segment 10-pack as needed) ART05L-PF10 (input connector as needed) ARTP-4896T1 (driver as needed) ART05L-4503 (Flat mounting track (3) 48" segments, as needed) ART05L-DE10 (end cover 10 pack, as needed) ART05L-JN10 (middle connector 10 pack, as needed) ART05L-J0605 (6" Jumper as needed)	Minimum 3ft per driver or 20ft maximum. Quantity of drivers to be confirmed per zone, provided by others Warm Dim, user select ability to change on site to 2000k, 2700k or 3000k
L3	176'	Linear sttriplight integrated into stair nose to light thread below, straight channel, Wide optics (114deg), 360lm/ft, warm dim(3000k-1800k), damp listed, 4w/ft, black anodize finish with remote driver	ART05L-1203WD01 (12" segment with middle connector as needed) ART05L-0203WD10 (2" segment 10-pack as needed) ART05L-0103WD10 (1" segment 10-pack as needed) ART05L-PF10 (input connector as needed) ARTP-4896T1 (driver as needed) ART05L-FL03 (Flat mounting track (3) 48" segments, as needed) ART05L-DE10 (end cover 10 pack, as needed) ART05L-JN10 (middle connector 10 pack, as needed) ART05L-J0605 (6" Jumper as needed)	Minimum 3ft per driver or 20ft maximum. Quantity of drivers to be confirmed per zone, provided by others Warm Dim, user select ability to change on site to 2000k, 2700k or 3000k
L4	74'-6"	Linear Perimeter cove to provide accentlight, straight channel, Wide optics (114deg), 360lm/ft, warm dim(3000k-1800k), damp listed, 4w/ft, black anodize finish with remote driver	ART05L-1203WD01 (12" segment with middle connector as needed) ART05L-0203WD10 (2" segment 10-pack as needed) ART05L-0103WD10 (1" segment 10-pack as needed) ART05L-PF10 (input connector as needed) ARTP-4896T1 (driver as needed) ART05L-FL03 (Flat mounting track (3) 48" segments, as needed) ART05L-DE10 (end cover 10 pack, as needed) ART05L-JN10 (middle connector 10 pack, as needed)	Minimum 3ft per driver or 20ft maximum. Quantity of drivers to be confirmed per zone, provided by others Warm Dim, user select ability to change on site to 2000k, 2700k or 3000k
L5	93'-5"	Linear shelf accentlight at closet to light clothig or display items below, recessed in notch or concealed behind lip. 45deg channel, Wide optics (114deg), 360lm/ft, warm dim(3000k-1800k), damp listed, 4w/ft, black anodize finish with remote driver	ART05L-1203WD01 (12" segment with middle connector as needed) ART05L-0203WD10 (2" segment 10-pack as needed) ART05L-0103WD10 (1" segment 10-pack as needed) ART05L-PF10 (input connector as needed) ARTP-4896T1 (driver as needed) ART05L-4503 (45deg mounting track (3) 48" segments, as needed) ART05L-DE10 (end cover 10 pack, as needed) ART05L-JN10 (middle connector 10 pack, as needed) ART05L-J0605 (6" Jumper as needed)	Minimum 3ft per driver or 20ft maximum. Quantity of drivers to be confirmed per zone, provided by others Warm Dim, user select ability to change on site to 2000k, 2700k or 3000k
S1	59	Surface Mounted Downlight, 1500lm, 3000K, Linear 18"	Housing: F4NC Module: DRD5S4L15930	
P1	1	<b>3"</b> Pendant mounted cylinder, 1000lm, Spot optic (30deg), Warm Dim, Black Finish	XCPR6C2SD10SP000003WBKT000S	Finish to be confirmed Color Temperature to be confirmed prior to procurement
Wood Template		Wood guideline to cut opening for 4" flangeless trim	M4KSTEMPLATE	OPTIONAL ACCESSORY, installer to confirm quantity needed



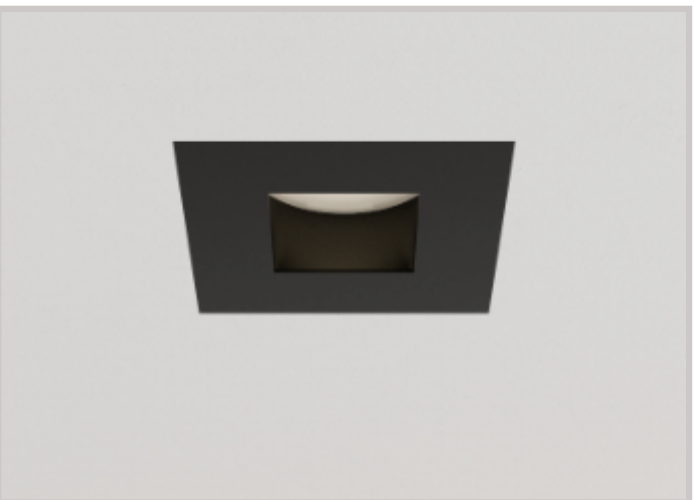
ART4A- (Adjustable)  
A1, A2



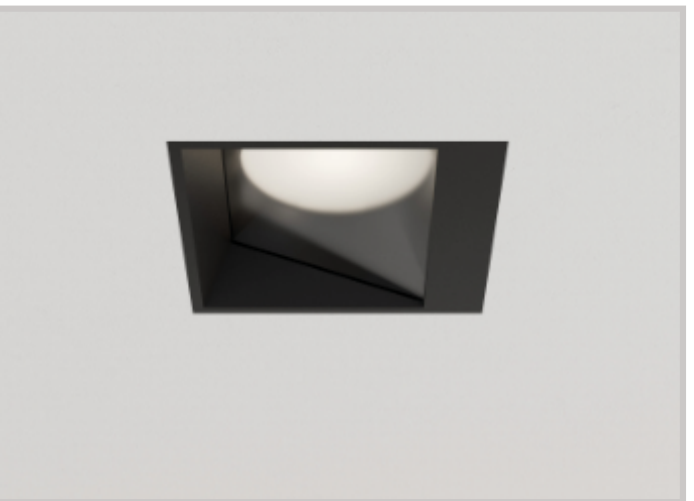
ART4A- (Adjustable)  
A3



ART4D- (Downlight)  
D1, D4



ART4D- (Pinhole)  
D2



ART4D- (Wallwasher)  
D3



ART4D- (Downlight)  
D5



ART4D- (Downlight)  
D6



ART4D- (Pinhole)  
D7



ART4D- (Wallwasher)  
D8



ART4D- (Downlight)  
D9



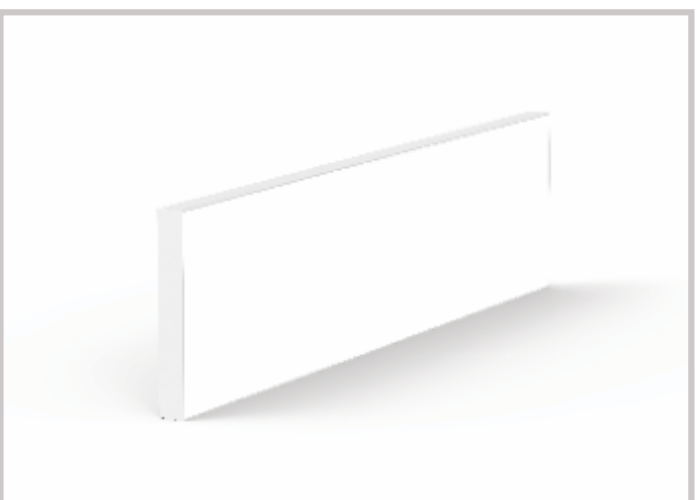
ART4D- (Pinhole)  
D10



ART05L- (Linear)  
L1, L2, L3, L4, L5



XCP- (Pendant Mounted)  
P1



DRD5 18"- (Downlight)  
S1



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dmflighting.com

DMF LIGHTING

LIGHTING APPLICATION

PROJECT:

ALLEN RESIDENCE RENOVATION  
555 HICKORY ROAD NAPLES FL 34110

- NOTES:
- The lighting layout furnished by DMF Lighting is an instrument of service and shall not become the property of the Architect, Contractor or Owner whether or not the work for which they are made is commenced.
  - The lighting layout furnished by DMF shall not be used by the Architect, contractor or Owner on other projects, for additions to this project, or for completion of this project by others without express written permission by DMF Lighting.
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ISSUE DATE: 07.22.2025

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SHEET TITLE:

FIXTURE SCHEDULE

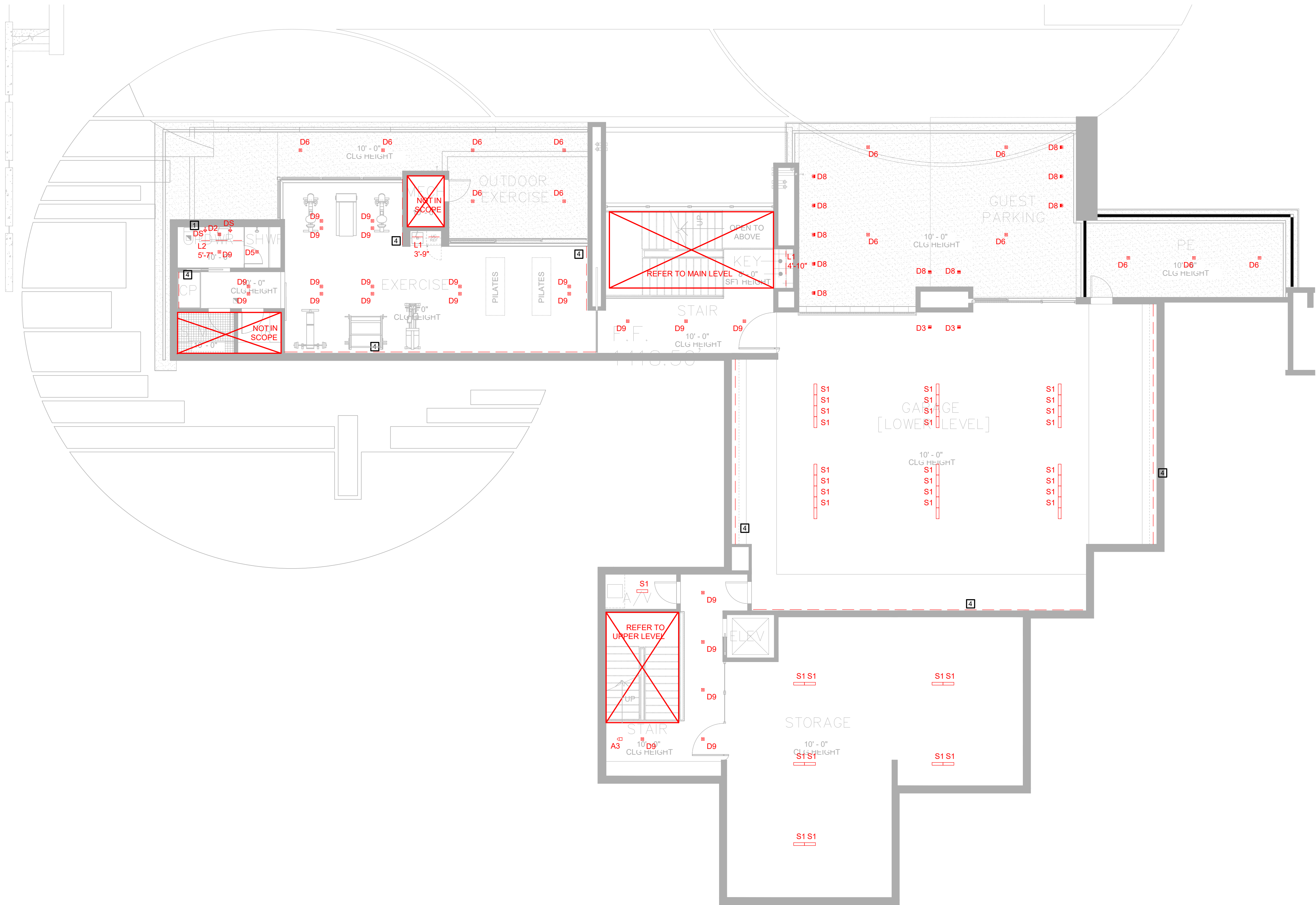
LD 0.1



1

LOWER LEVEL

SCALE: 1/8"=1'-0"



DRAWING NOTES

1

RECOMMEND ADDING DECORATIVE SCONCES, SMALL PENDANTS OR INCORPORATED MIRROR LIGHT FOR VERTICAL ILLUMINATION TO AVOID SHADOWS ON USERS FACIAL FEATURES.

2

DECORATIVE PENDANT (DP), DECORATIVE SCONCE (DS), DECORATIVE TABLE LAMPS (DT), TO BE PROVIDED BY OTHERS.

3

CONSIDER ADDING A LINEAR LIGHT AT GARAGE SCREEN TO SOFTLY WASH THE VERTICAL SIDES. FIXTURE LENGTH AND MOUNTING DETAIL TO BE COORDINATED WITH FINAL FIXTURE SELECTION. IF FIXTURE REQUIRES REMOTE POWER SUPPLY PLACE IN CONCEAL BUT ACCESSIBLE LOCATION. FIXTURES TO BE PROVIDED BY OTHERS. IT IS THE RESPONSIBILITY OF THE PROVIDER TO ENSURE THESE FIXTURES COMPLY WITH ALL APPLICABLE REQUIREMENTS OUTLINED IN ARTICLE XXII - HILLSIDE DEVELOPMENT REGULATIONS, INCLUDING BUT NOT LIMITED TO, LIGHT SHIELDING, MAXIMUM LUMEN OUTPUT, COLOR TEMPERATURE, AND FIXTURE PLACEMENT, TO MINIMIZE LIGHT POLLUTION AND PRESERVE THE NATURAL NIGHT SKY. COMPLIANCE WITH THESE REGULATIONS IS MANDATORY PRIOR TO INSTALLATION AND USE.

4

RECOMMEND ADDING A LINEAR WALL GRAZER LIGHT CONCEALED WITHIN ARCHITECTURAL POCKET. IF FIXTURE REQUIRES REMOTE POWER SUPPLY, PLACE IN A CONCEALED BUT ACCESSIBLE AREA. FIXTURE PROVIDED BY OTHERS.

5

CONSIDER ADDING A LINEAR LIGHT AT HEARTH TO PROVIDE GLOW AROUND IT. FIXTURE LENGTH AND MOUNTING DETAIL TO BE COORDINATED WITH FINAL FIXTURE SELECTION. IF FIXTURE REQUIRES REMOTE POWER SUPPLY PLACE IN CONCEAL BUT ACCESSIBLE LOCATION. FIXTURES TO BE PROVIDED BY OTHERS.

6

WET LISTED LINEAR LED LENSED, CONCEAL WITHIN RECESSED ARCHITECTURAL POCKET OR FLUSHED WITH CEILING. FIXTURE TO BE INSTALLED PER RECOMMENDED MANUFACTURER INSTRUCTIONS FOR PROPER WET LISTED RATING. FIXTURE TO BE PROVIDED BY OTHERS.

7

LINEAR LED INTEGRATED INTO RAILING TO LIGHT GLASS. GLASS SHOULD HAVE SOME TYPE OF TEXTURE TO PICK UP LIGHT. FIXTURE TO BE CONCEALED FROM VIEW. FIXTURE LENGTH AND MOUNTING DETAIL TO BE COORDINATED WITH GLASS/RAILING DETAIL. IF FIXTURE REQUIRE REMOTE POWER SUPPLY PLACE IN ACCESSIBLE BUT CONCEAL LOCATION. FIXTURE TO BE PROVIDED BY OTHERS.

8

WET LISTED LINEAR LED LENSED, CONCEAL WITHIN RECESSED ARCHITECTURAL POCKET OR FLUSHED WITH CEILING. FIXTURE TO BE INSTALLED PER RECOMMENDED MANUFACTURER INSTRUCTIONS FOR PROPER WET LISTED RATING. FIXTURE TO BE PROVIDED BY OTHERS. IT IS THE RESPONSIBILITY OF THE PROVIDER TO ENSURE THESE FIXTURES COMPLY WITH ALL APPLICABLE REQUIREMENTS OUTLINED IN ARTICLE XXII - HILLSIDE DEVELOPMENT REGULATIONS, INCLUDING BUT NOT LIMITED TO, LIGHT SHIELDING, MAXIMUM LUMEN OUTPUT, COLOR TEMPERATURE, AND FIXTURE PLACEMENT, TO MINIMIZE LIGHT POLLUTION AND PRESERVE THE NATURAL NIGHT SKY. COMPLIANCE WITH THESE REGULATIONS IS MANDATORY PRIOR TO INSTALLATION AND USE.

9

WALL MOUNTED FIXTURES WITH FORWARD THROW AND WIDE OPTICS SPREAD, TO BE PROVIDED BY OTHERS. IT IS THE RESPONSIBILITY OF THE PROVIDER TO ENSURE THESE FIXTURES COMPLY WITH ALL APPLICABLE REQUIREMENTS OUTLINED IN ARTICLE XXII - HILLSIDE DEVELOPMENT REGULATIONS, INCLUDING BUT NOT LIMITED TO, LIGHT SHIELDING, MAXIMUM LUMEN OUTPUT, COLOR TEMPERATURE, AND FIXTURE PLACEMENT, TO MINIMIZE LIGHT POLLUTION AND PRESERVE THE NATURAL NIGHT SKY. COMPLIANCE WITH THESE REGULATIONS IS MANDATORY PRIOR TO INSTALLATION AND USE.

10

DECORATIVE SCONCE (DS), ARE TO BE PROVIDED BY OTHERS. IT IS THE RESPONSIBILITY OF THE PROVIDER TO ENSURE THESE FIXTURES COMPLY WITH ALL APPLICABLE REQUIREMENTS OUTLINED IN ARTICLE XXII - HILLSIDE DEVELOPMENT REGULATIONS, INCLUDING BUT NOT LIMITED TO, LIGHT SHIELDING, MAXIMUM LUMEN OUTPUT, COLOR TEMPERATURE, AND FIXTURE PLACEMENT, TO MINIMIZE LIGHT POLLUTION AND PRESERVE THE NATURAL NIGHT SKY. COMPLIANCE WITH THESE REGULATIONS IS MANDATORY PRIOR TO INSTALLATION AND USE.

11

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dmf

DMF Lighting

1118 East 223rd Street,  
Carson, California 90745  
323.934.7779  
dmflighting.com

DMF LIGHTING

LIGHTING APPLICATION

PROJECT:

ALLEN RESIDENCE RENOVATION  
555 HICKORY ROAD NAPLES FL 34110

- NOTES:
1.

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2.

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3.

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4.

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5.

Layout of lights should be verified by contractor in existing locations
6.

Electrical Engineer to verify compliance of layout to local codes

ISSUE DATE: 07.22.2025

REVISION DATE:

SHEET TITLE:

LOWER LEVEL  
LIGHTING PLAN

LD 1.01





# LD 1.02





- ## DMF LIGHTING

## LIGHTING APPLICATION

PROJECT:

# ALLEN RESIDENCE RENOVATION

555 HICKORY ROAD NAPLES FL 34110

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## UPPER LEVEL LIGHTING PLAN

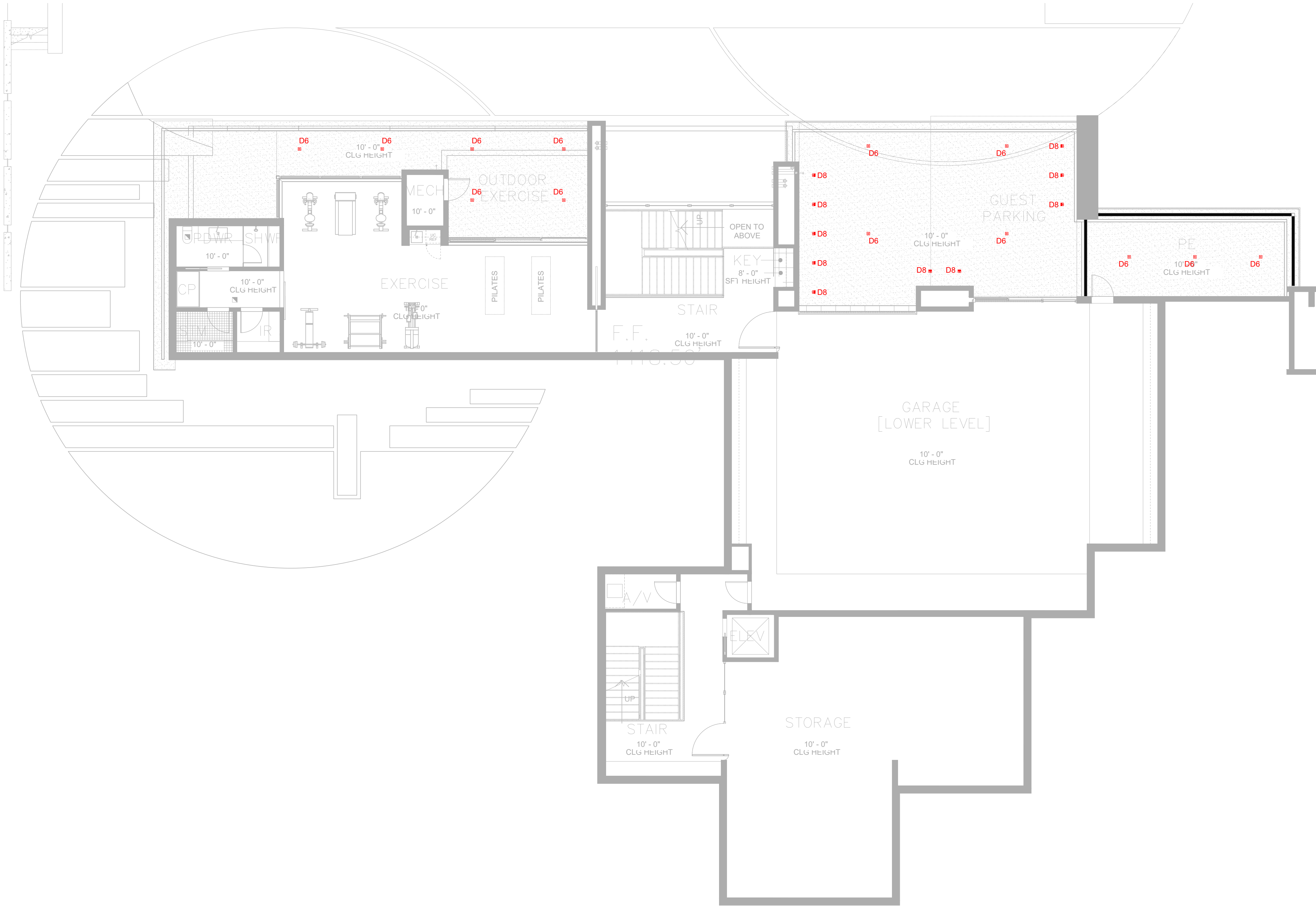
# LD 1.03



1

LOWER LEVEL

SCALE: 1/8"=1'-0"



DRAWING NOTES

- 3
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- 8
- WET LISTED LINEAR LED LENSED, CONCEAL WITHIN RECESSED ARCHITECTURAL POCKET OR FLUSHED WITH CEILING. FIXTURE TO BE INSTALLED PER RECOMMENDED MANUFACTURER INSTRUCTIONS FOR PROPER WET LISTED RATING. FIXTURE TO BE PROVIDED BY OTHERS. IT IS THE RESPONSIBILITY OF THE PROVIDER TO ENSURE THESE FIXTURES COMPLY WITH ALL APPLICABLE REQUIREMENTS OUTLINED IN ARTICLE XXII - HILLSIDE DEVELOPMENT REGULATIONS, INCLUDING BUT NOT LIMITED TO, LIGHT SHIELDING, MAXIMUM LUMEN OUTPUT, COLOR TEMPERATURE, AND FIXTURE PLACEMENT, TO MINIMIZE LIGHT POLLUTION AND PRESERVE THE NATURAL NIGHT SKY. COMPLIANCE WITH THESE REGULATIONS IS MANDATORY PRIOR TO INSTALLATION AND USE.
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- 11
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DMF LIGHTING

LIGHTING APPLICATION

PROJECT:

ALLEN RESIDENCE RENOVATION

555 HICKORY ROAD NAPLES FL 34110

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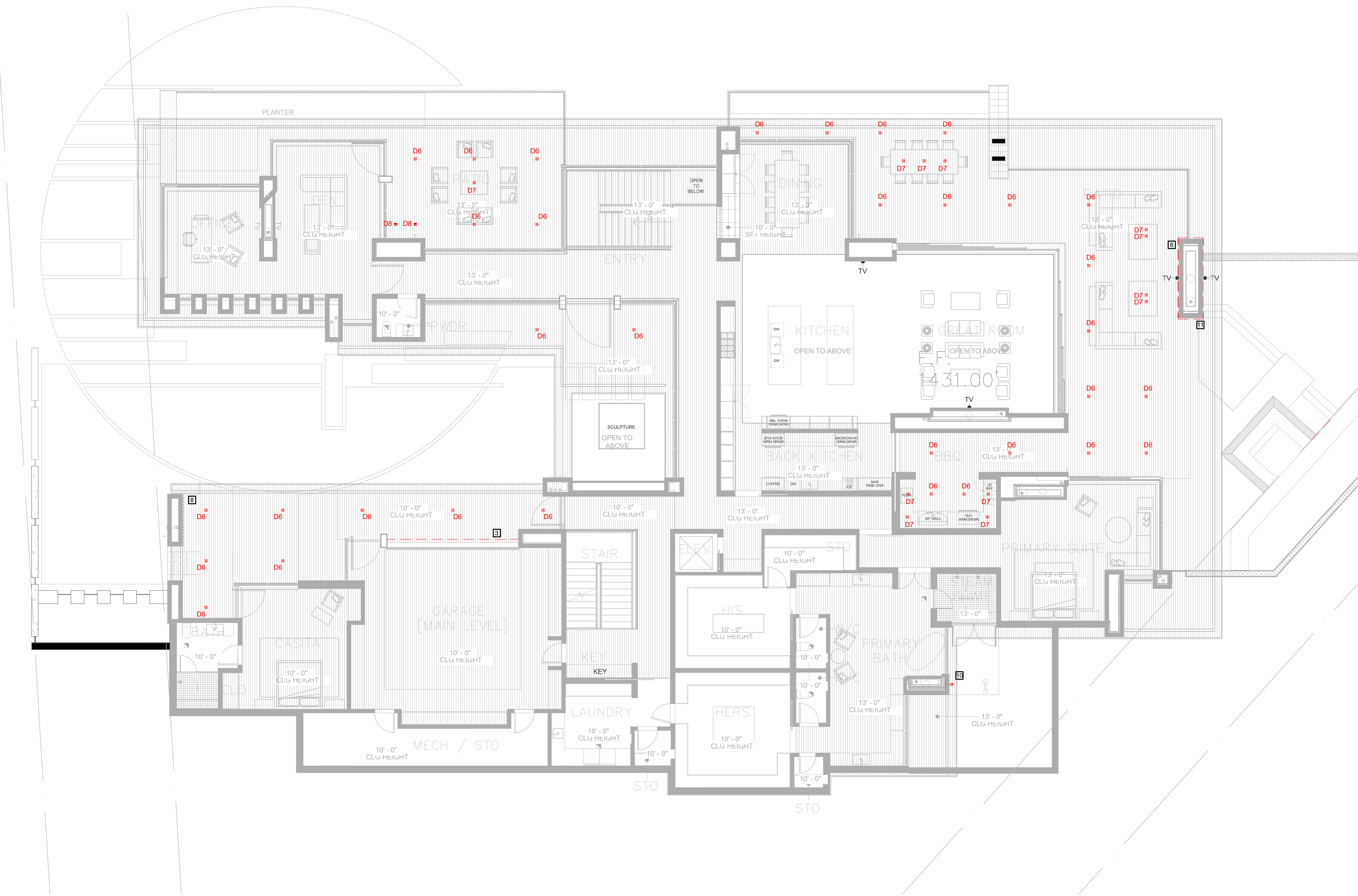
REVISION DATE:

SHEET TITLE:

LOWER LEVEL  
EXTERIOR LIGHTING PLAN

LD 2.01





1 MAIN LEVEL  
SCALE: 1/8"=1'-0"

DRAWING NOTES

- 3 CONSIDER ADDING A LINEAR LIGHT AT GARAGE SCREEN TO SOFTLY WASH THE VERTICAL SIDES. FIXTURE LENGTH AND MOUNTING DETAIL TO BE COORDINATED WITH FINAL FIXTURE SELECTION. IF FIXTURE REQUIRES REMOTE POWER SUPPLY PLACE IN CONCEAL BUT ACCESSIBLE LOCATION. FIXTURES TO BE PROVIDED BY OTHERS. IT IS THE RESPONSIBILITY OF THE PROVIDER TO ENSURE THESE FIXTURES COMPLY WITH ALL APPLICABLE REQUIREMENTS OUTLINED IN ARTICLE XXII - HILLSIDE DEVELOPMENT REGULATIONS, INCLUDING BUT NOT LIMITED TO, LIGHT SHIELDING, MAXIMUM LUMEN OUTPUT, COLOR TEMPERATURE, AND FIXTURE PLACEMENT, TO MINIMIZE LIGHT POLLUTION AND PRESERVE THE NATURAL NIGHT SKY. COMPLIANCE WITH THESE REGULATIONS IS MANDATORY PRIOR TO INSTALLATION AND USE.
- 8 WET LISTED LINEAR LED LENSED, CONCEAL WITHIN RECESSED ARCHITECTURAL POCKET OR FLUSHED WITH CEILING. FIXTURE TO BE INSTALLED PER RECOMMENDED MANUFACTURER INSTRUCTIONS FOR PROPER WET LISTED RATING. FIXTURE TO BE PROVIDED BY OTHERS. IT IS THE RESPONSIBILITY OF THE PROVIDER TO ENSURE THESE FIXTURES COMPLY WITH ALL APPLICABLE REQUIREMENTS OUTLINED IN ARTICLE XXII - HILLSIDE DEVELOPMENT REGULATIONS, INCLUDING BUT NOT LIMITED TO, LIGHT SHIELDING, MAXIMUM LUMEN OUTPUT, COLOR TEMPERATURE, AND FIXTURE PLACEMENT, TO MINIMIZE LIGHT POLLUTION AND PRESERVE THE NATURAL NIGHT SKY. COMPLIANCE WITH THESE REGULATIONS IS MANDATORY PRIOR TO INSTALLATION AND USE.
- 9 WALL MOUNTED FIXTURES WITH FORWARD THROW AND WIDE OPTICS SPREAD. TO BE PROVIDED BY OTHERS. IT IS THE RESPONSIBILITY OF THE PROVIDER TO ENSURE THESE FIXTURES COMPLY WITH ALL APPLICABLE REQUIREMENTS OUTLINED IN ARTICLE XXII - HILLSIDE DEVELOPMENT REGULATIONS, INCLUDING BUT NOT LIMITED TO, LIGHT SHIELDING, MAXIMUM LUMEN OUTPUT, COLOR TEMPERATURE, AND FIXTURE PLACEMENT, TO MINIMIZE LIGHT POLLUTION AND PRESERVE THE NATURAL NIGHT SKY. COMPLIANCE WITH THESE REGULATIONS IS MANDATORY PRIOR TO INSTALLATION AND USE.
- 10 DECORATIVE SCENCE (DS), ARE TO BE PROVIDED BY OTHERS. IT IS THE RESPONSIBILITY OF THE PROVIDER TO ENSURE THESE FIXTURES COMPLY WITH ALL APPLICABLE REQUIREMENTS OUTLINED IN ARTICLE XXII - HILLSIDE DEVELOPMENT REGULATIONS, INCLUDING BUT NOT LIMITED TO, LIGHT SHIELDING, MAXIMUM LUMEN OUTPUT, COLOR TEMPERATURE, AND FIXTURE PLACEMENT, TO MINIMIZE LIGHT POLLUTION AND PRESERVE THE NATURAL NIGHT SKY. COMPLIANCE WITH THESE REGULATIONS IS MANDATORY PRIOR TO INSTALLATION AND USE.
- 11 CONSIDER ADDING A WET LISTED LINEAR LIGHT AT HEARTH TO PROVIDE GLOW AROUND IT. FIXTURE LENGTH AND MOUNTING DETAIL TO BE COORDINATED WITH FINAL FIXTURE SELECTION. IF FIXTURE REQUIRES REMOTE POWER SUPPLY PLACE IN CONCEAL BUT ACCESSIBLE LOCATION. FIXTURES TO BE PROVIDED BY OTHERS. IT IS THE RESPONSIBILITY OF THE PROVIDER TO ENSURE THESE FIXTURES COMPLY WITH ALL APPLICABLE REQUIREMENTS OUTLINED IN ARTICLE XXII - HILLSIDE DEVELOPMENT REGULATIONS, INCLUDING BUT NOT LIMITED TO, LIGHT SHIELDING, MAXIMUM LUMEN OUTPUT, COLOR TEMPERATURE, AND FIXTURE PLACEMENT, TO MINIMIZE LIGHT POLLUTION AND PRESERVE THE NATURAL NIGHT SKY. COMPLIANCE WITH THESE REGULATIONS IS MANDATORY PRIOR TO INSTALLATION AND USE.



1118 East 223rd Street,  
Carson, California 90745  
323.934.7779  
dmflighting.com

DMF LIGHTING

LIGHTING APPLICATION

PROJECT:

ALLEN RESIDENCE RENOVATION  
555 HICKORY ROAD NAPLES FL 34110

NOTES:

1. The lighting layout furnished by DMF Lighting is an instrument of service and shall not become the property of the Architect, Contractor or Owner whether or not the work for which they are made is commenced.
2. The lighting layout furnished by DMF shall not be used by the Architect, contractor or Owner on other projects, for additions to this project, or for completion of this project by others without express written permission by DMF Lighting.
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6. Electrical Engineer to verify compliance of layout to local codes

ISSUE DATE: 07.22.2025

REVISION DATE:

SHEET TITLE:

MAIN LEVEL  
EXTERIOR LIGHTING PLAN

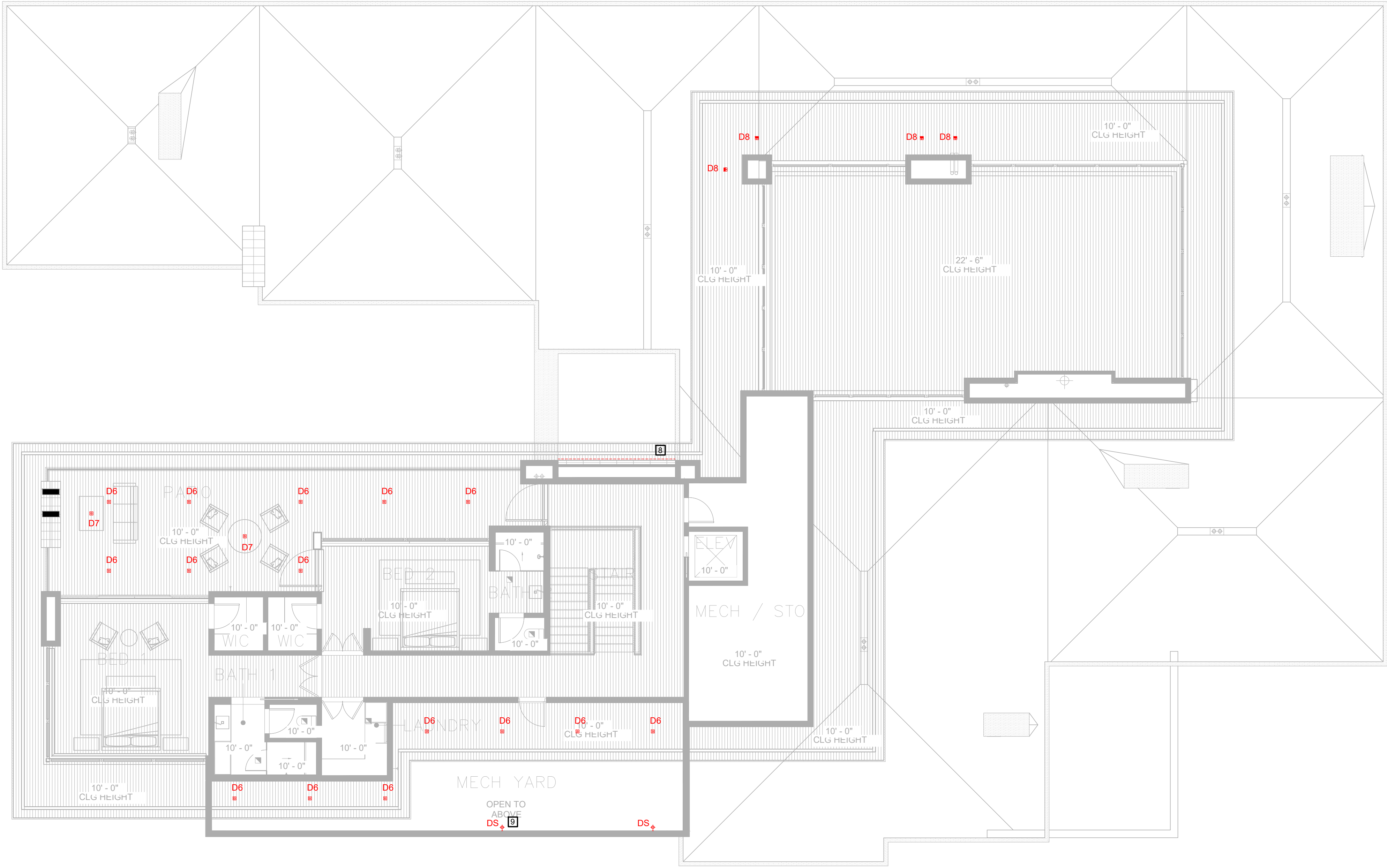
LD 2.02



1

UPPER LEVEL

SCALE: 1/8"=1'-0"



DRAWING NOTES

- 3

CONSIDER ADDING A LINEAR LIGHT AT GARAGE SCREEN TO SOFTLY WASH THE VERTICAL SIDES. FIXTURE LENGTH AND MOUNTING DETAIL TO BE COORDINATED WITH FINAL FIXTURE SELECTION. IF FIXTURE REQUIRES REMOTE POWER SUPPLY PLACE IN CONCEAL BUT ACCESSIBLE LOCATION. FIXTURES TO BE PROVIDED BY OTHERS. IT IS THE RESPONSIBILITY OF THE PROVIDER TO ENSURE THESE FIXTURES COMPLY WITH ALL APPLICABLE REQUIREMENTS OUTLINED IN ARTICLE XXII - HILLSIDE DEVELOPMENT REGULATIONS, INCLUDING BUT NOT LIMITED TO, LIGHT SHIELDING, MAXIMUM LUMEN OUTPUT, COLOR TEMPERATURE, AND FIXTURE PLACEMENT, TO MINIMIZE LIGHT POLLUTION AND PRESERVE THE NATURAL NIGHT SKY. COMPLIANCE WITH THESE REGULATIONS IS MANDATORY PRIOR TO INSTALLATION AND USE.
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DMF LIGHTING

LIGHTING APPLICATION

PROJECT:

ALLEN RESIDENCE RENOVATION

555 HICKORY ROAD NAPLES FL 34110

- NOTES:
- The lighting layout furnished by DMF Lighting is an instrument of service and shall not become the property of the Architect, Contractor or Owner whether or not the work for which they are made is commenced.
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ISSUE DATE: 07.22.2025

REVISION DATE:

SHEET TITLE:

UPPER LEVEL  
EXTERIOR LIGHTING PLAN

LD 2.03



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PROPERTY LINE

SETBACK LINE

PROPERTY LINE

SETBACK LINE

DMF LIGHTING

LIGHTING APPLICATION

PROJECT:

ALLEN RESIDENCE RENOVATION  
555 HICKORY ROAD NAPLES FL 34110

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ISSUE DATE: 07.22.2025

REVISION DATE:

SHEET TITLE:

EXTERIOR PHOTOMETRIC PLAN

LD 3.01

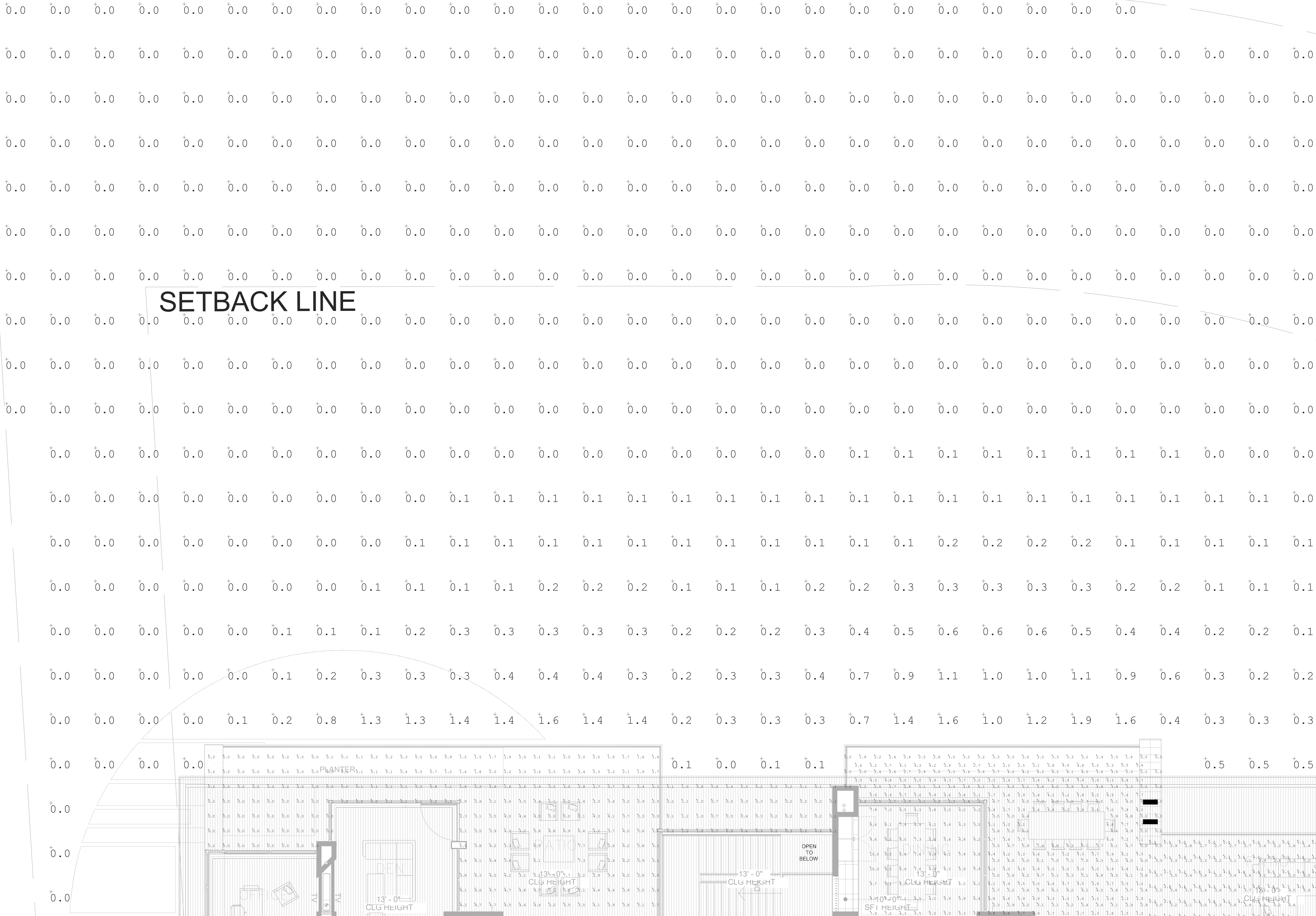
1

EXTERIOR PHOTOMETRIC PLAN

SCALE: 3/32"=1'-0"



PROPERTY LINE



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DMF LIGHTING

LIGHTING APPLICATION

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ISSUE DATE: 07.22.2025

REVISION DATE:

SHEET TITLE:

EXTERIOR PHOTOMETRIC PLAN

LD 3.02





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DMF LIGHTING

LIGHTING APPLICATION

PROJECT:  
ALLEN RESIDENCE RENOVATION  
555 HICKORY ROAD NAPLES FL 34110

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ISSUE DATE: 07.22.2025

REVISION DATE:

SHEET TITLE:

EXTERIOR PHOTOMETRIC PLAN

LD 3.03





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DMF LIGHTING

LIGHTING APPLICATION

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555 HICKORY ROAD NAPLES FL 34110

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ISSUE DATE: 07.22.2025

REVISION DATE:

SHEET TITLE:

EXTERIOR PHOTOMETRIC PLAN

LD 3.04



DMF LIGHTING

LIGHTING APPLICATION

PROJECT:  
ALLEN RESIDENCE RENOVATION  
555 HICKORY ROAD NAPLES FL 34110

- NOTES:
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Layout of lights should be verified by contractor in existing locations
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Electrical Engineer to verify compliance of layout to local codes

ISSUE DATE: 07.22.2025

REVISION DATE:

SHEET TITLE:

EXTERIOR PHOTOMETRIC PLAN

LD 3.05



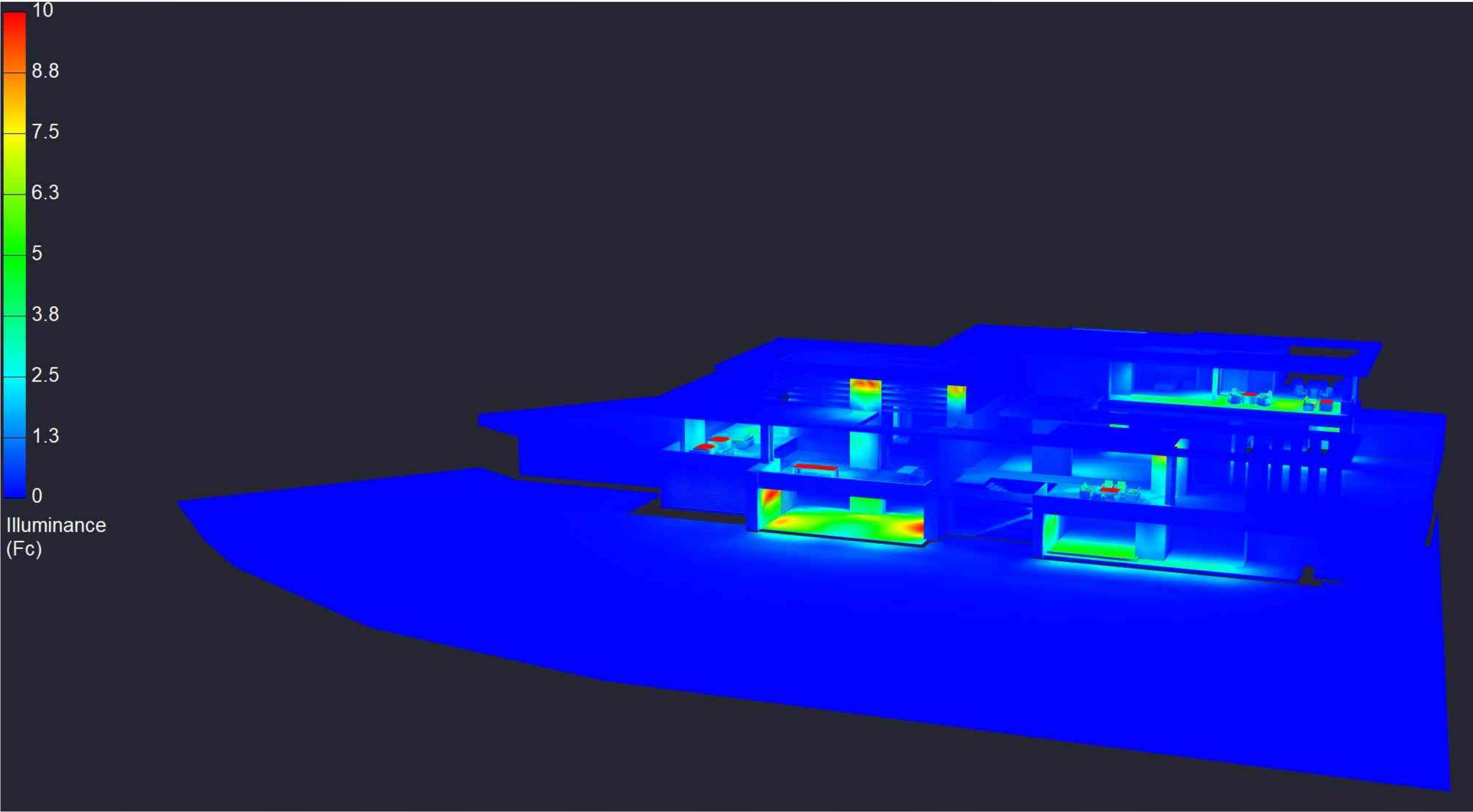
Luminaire Schedule								
Symbol	Qty	Label	Arrangement	Description	LLF	Luminaire Lumens	Luminaire Watts	Total Watts
☐	62	D6	Single	DMF_M4-(X)_ART4D-07-T30-GA_M4TSS-BK-(X)	0.750	765	12.5	775
☐	14	D7	Single	DMF_M4-(X)_ART4D-07-T30-SP_M4TSP-BK-(X)	0.750	404	12.5	175
☐	16	D8	Single	DMF_M4-(X)_ART4D-07-T30-GA_M4TSL-BK-(X)	0.750	620	12.5	200

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Entry Floor_Top	Illuminance	Fc	0.71	2.5	0.0	N.A.	N.A.
Guest Parking Floor_Top	Illuminance	Fc	5.01	10.0	0.0	N.A.	N.A.
Patio Floor 1_Top	Illuminance	Fc	2.96	11.7	0.0	N.A.	N.A.
Patio Floor_Top	Illuminance	Fc	3.81	8.0	0.0	N.A.	N.A.
PE floor_Top	Illuminance	Fc	2.63	4.8	0.0	N.A.	N.A.
Primary Bath Exterior Floor_Top	Illuminance	Fc	1.25	1.7	0.8	1.56	2.13
Property Line 1_Top	Illuminance	Fc	0.07	1.9	0.0	N.A.	N.A.
Property Line 2_Top	Illuminance	Fc	0.00	0.0	0.0	N.A.	N.A.

1

EXTERIOR PHOTOMETRIC SCHEDULE

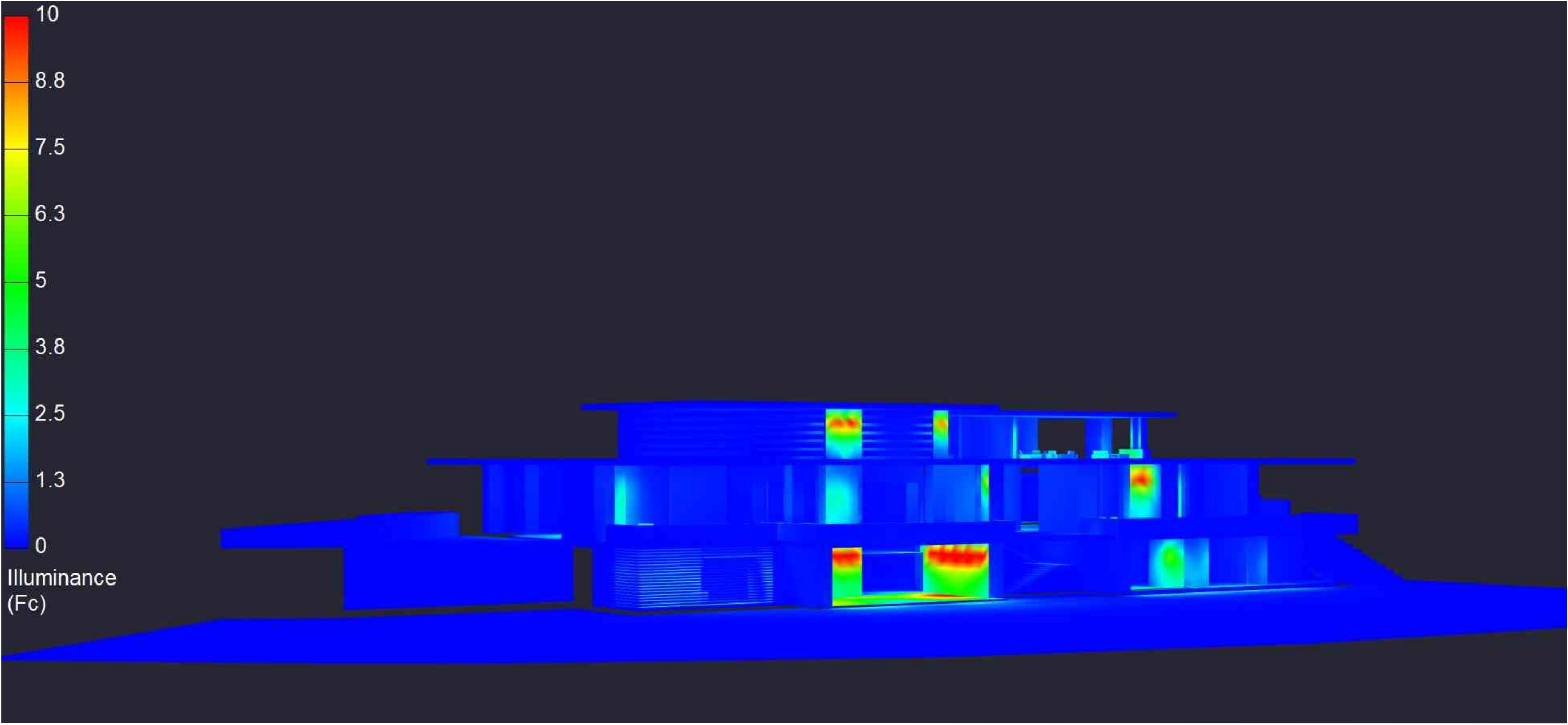
N.T.S.



2

EXTERIOR PSEUDO IMAGE

N.T.S.



3

EXTERIOR PSEUDO IMAGE

N.T.S.



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DMF LIGHTING

LIGHTING APPLICATION

PROJECT:  
ALLEN RESIDENCE RENOVATION  
555 HICKORY ROAD NAPLES FL 34110

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ISSUE DATE: 07.22.2025

REVISION DATE:

SHEET TITLE:

EXTERIOR PHOTOMETRIC PLAN

LD 3.06



# - GRAHAM RESIDENCE -

- 6041 E. Foothill Dr N, Paradise Valley, AZ. 85253 -
- Landscape Construction Documents -

## GENERAL NOTES:

- THESE CONSTRUCTION DOCUMENTS, INCLUDING ALL PLANS, NOTES, DETAILS, AND SPECIFICATIONS ARE INTENDED TO FACILITATE THE INSTALLATION CONTRACTOR BY PROVIDING GENERAL GUIDELINES FOR DESIGN INTENT. IT IS THE GOAL OF THE DOCUMENTS THAT THE WORK IS TO BE COMPLETED WITHOUT CHANGE ORDERS. ALL QUANTITIES SHOWN IN THE DOCUMENTS ARE ESTIMATES ONLY AND ARE NOT GUARANTEED. THE CONTRACTOR SHALL SUBMIT ALL MATERIALS, LABOR AND EQUIPMENT IN ORDER TO FULFILL THE INTENT OF THE DESIGN DRAWINGS.
- INTERPRETATION OF THE PLANS AND SPECIFICATIONS SHALL BE MADE BY THE "AUTHOR" OR "ARCHITECT/ENGINEER-OF-RECORD" OF THE RESPECTIVE DOCUMENT AND SHALL BE CONSIDERED FINAL. ANY POSSIBLE AMBIGUITY SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR PRIOR TO SUBMITTING FORMAL BIDS. ALL CLARIFICATIONS SHALL BE PREPARED IN WRITING BY THE "ARCHITECT/ENGINEER-OF-RECORD" PRIOR TO BIDDING. THE CONTRACTOR SHALL ACCEPT THE INTERPRETATION OF THE "ARCHITECT/ENGINEER-OF-RECORD" AS THE CORRECT AND FINAL INTERPRETATION.
- ANY INCIDENTAL INSTALLATION PROCEDURE, MATERIAL OR EQUIPMENT, NOT MENTIONED IN THESE CONSTRUCTION DOCUMENTS, THE SPECIFICATIONS NOR SHOWN ON THE PLANS, WHICH MAY BE NECESSARY FOR COMPLETION AND SATISFACTORY OPERATION OF THE DESIGN SYSTEM SHALL BE FURNISHED AND INSTALLED (AS BASED ON INDUSTRY STANDARDS) AS THOUGH SHOWN OR PROVIDED FOR.
- EXISTING CONDITIONS AND BASE INFORMATION ARE BASED ON PLANS PREPARED BY THE ARCHITECT. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE LOCATIONS OF EXISTING AND FUTURE UNDERGROUND SERVICES AND IMPROVEMENTS WHICH MAY CONFLICT WITH THE WORK TO BE DONE. NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY SHOULD A CONFLICT ARISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL NECESSARY PERMITS AND SHALL NOTIFY ALL UTILITY COMPANIES WITH UTILITIES ON SITE PRIOR TO THE CONSTRUCTION OF THE PROJECT.
- FOR UNDERGROUND UTILITY COORDINATION AND 48 HOURS PRIOR TO START OF CONSTRUCTION (DEPENDING ON AREA OR JURISDICTION), THE CONTRACTOR SHALL CONTACT:
  - A) BLUE STAKE (ARIZONA) 1-800-729-5346
  - B) UNDERGROUND SERVICES ALERT (USA) 1-800-227-2600
- THESE NOTES ARE TO BE USED FOR GENERAL REFERENCE IN CONJUNCTION WITH AND AS A SUPPLEMENT TO THE WRITTEN SPECIFICATIONS, APPROVED ADDENDUMS, AND THE CHANGE ORDERS AS ASSOCIATED WITH THESE CONSTRUCTION DOCUMENTS.
- SHOULD THE CONTRACTOR HAVE ANY QUESTIONS REGARDING THESE CONSTRUCTION DOCUMENTS OR SHOULD THERE BE ANY DISCREPANCIES, HE SHALL CONTACT THE LANDSCAPE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING FURTHER.
- ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS AND PER GOVERNING CODES AND/OR ORDINANCES.
- THE CONTRACTOR SHALL PROVIDE BARRICADES AND TRAFFIC CONTROL ALONG PUBLIC STREETS, IF REQUIRED, DURING INSTALLATION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPORT TO THE LANDSCAPE ARCHITECT AND/OR THE OWNER'S AUTHORIZED REPRESENTATIVE ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND FIELD CONDITIONS PRIOR TO THE START OF WORK.
- BEFORE WORK BEGINS ON THE PROJECT, THE CONTRACTOR SHALL REVIEW THE PROJECT WITH THE LANDSCAPE ARCHITECT AND/OR THE OWNER'S AUTHORIZED REPRESENTATIVE.
- THE LANDSCAPE ARCHITECT AND/OR THE OWNER'S AUTHORIZED REPRESENTATIVE SHALL APPROVE ANY OR ALL CHANGES PRIOR TO THE START OF WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND COORDINATING EXISTING SITE CONDITIONS.
- THE CONTRACTOR SHALL ADHERE TO ALL APPLICABLE LOCAL, STATE, AND/OR FEDERAL LAWS AND/OR REGULATIONS PERTAINING TO THE PROJECT.
- THE CONTRACTOR SHALL PROPERLY COORDINATE HIS WORK WITH OTHER CONTRACTOR'S WORK PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT EXISTING IMPROVEMENTS AND THE PUBLIC FROM DAMAGE THROUGHOUT CONSTRUCTION.
- THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY DAMAGES IMPOSED, UNINTENTIONALLY OR ACCIDENTALLY, TO EXISTING UTILITIES, STRUCTURES, WALLS, OR OTHER AMENITIES, DUE TO THE ACTION OF THE CONTRACTOR, CONTRACTOR'S EMPLOYEES AND/OR THE CONTRACTOR'S SUBCONTRACTORS, DAMAGE OCCURRED DURING THE CONTRACTOR'S OPERATION SHALL BE REPAIRED, AT THE EXPENSE OF THE CONTRACTOR, TO THE SATISFACTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE.
- MATCH GRADES, LAYOUT AND ELEVATIONS OF ADJOINING LANDSCAPE WORK BY OTHERS. NOTIFY THE LANDSCAPE ARCHITECT OF CONFLICTS BEFORE PROCEEDING WITH CONSTRUCTION.

## PLANTING GENERAL NOTES:

- THE CONTRACTOR SHALL REVIEW PLANTING PLAN WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. THE LANDSCAPE ARCHITECT OR HIS REPRESENTATIVE RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIALS HE DEEMS UNACCEPTABLE. SEE SPECIFICATIONS.
- THE CONTRACTOR SHALL SUPPLY AND INSTALL ALL PLANT MATERIAL AS SPECIFIED ON THE PLANTING PLANS. HOWEVER, SHOULD THE PLANT MATERIAL BE TEMPORARILY UNAVAILABLE, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND INSTALL 5 GALLON NURSERY BUCKETS WITH IRRIGATION AT EACH PLANT LOCATION. AS THE PLANT MATERIAL BECOMES AVAILABLE, THE 5 GALLON BUCKETS SHALL BE REMOVED AND PLANT MATERIAL INSTALLED.
- ANY AND ALL SUBSTITUTIONS TO BE APPROVED BY THE LANDSCAPE ARCHITECT.
- LOCATE PLANTS AWAY FROM SPRINKLER HEADS, LIGHT FIXTURES AND OTHER OBSTRUCTIONS.
- FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE.
- PLANTING AND IRRIGATION DESIGN MAY BE MODIFIED TO ADAPT TO WALK CONFIGURATIONS THAT DIFFER FROM THESE PLANS, OR BECAUSE OF GRADE LIMITATIONS ON SITE.
- WATER TEST ALL TREE PLANTING HOLES PRIOR TO PLANTING. IF TREE HOLES DOES NOT DRAIN, DO NOT PLANT. SEE HARDPAN DETAIL.
- REFER TO THE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS NOT SHOWN ON DRAWINGS.
- TREES SHALL BE PLANTED A MINIMUM OF 10'-0" FROM STREET LIGHTS, FIRE HYDRANTS, 6'-0" FROM EDGE OF UNDERGROUND PIPELINES AND A MINIMUM OF 4'-0" FROM WALKS, CURBS AND WALLS. SHRUBS SHALL BE PLANTED A MINIMUM OF 2'-0" FROM CURB AND WALLS.
- ALL SPECIMEN TREES, SHRUBS AND CACTI SHALL BE FIELD LOCATED BY LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE.
- THE CONTRACTOR SHALL INSTALL "SHAWTOWN ROOT BARRIER PANELS" (OR APPROVED EQUAL) AT ALL TREES WITHIN 7'-0" FEET OF HARDSCAPE ELEMENTS INCLUDING (BUT NOT LIMITED TO) SIDEWALKS, ASPHALT, CONCRETE SLABS / FOOTINGS AND STRUCTURES. CONTRACTOR SHALL SUBMIT SPECIFICATION SHEETS OF PROPOSED ROOT BARRIER PANELS TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL INSTALL ARBOR GUARDS AT ALL TREES LOCATED IN TURF AREAS.
- ON-SITE AND OFF-SITE TOPSOIL SHALL CONFORM TO CONTENT REQUIREMENTS AS SPECIFIED IN PART 2 OF THE PLANTING SPECIFICATIONS. AGRONOMIC TEST SUBMITTALS ARE REQUIRED FOR ALL MATERIAL USED FOR TOPSOIL AND BACKFILL. SUBMIT REPORT TO LANDSCAPE ARCHITECT FOR REVIEW.
- ALL PLANT MATERIAL SHALL BE IN COMPLIANCE WITH THE AMERICAN STANDARDS FOR NURSERY STOCK, LATEST EDITION.
- THE CONTRACTOR SHALL PROVIDE MAINTENANCE FOR ALL ALL PLANT MATERIAL FROM THE TIME OF INSTALLATION THROUGH SUBSTANTIAL COMPLETION.
- CACTI SHALL BE PLANTED A MINIMUM OF 3'-0" AWAY FROM ALL PEDESTRIAN ROUTES.
- CACTI SHALL BE WELL ROOTED AND NON-SCARRED.
- PLANT MATERIAL MARKED SALVAGE SHALL BE SELECTED FROM ON-SITE SALVAGE INVENTORY. ALL MATERIAL SELECTIONS SHALL BE APPROVED BY LANDSCAPE ARCHITECT AND/OR OWNER'S AUTHORIZED REPRESENTATIVE.
- IN DISTURBED AREAS INDICATED TO RECEIVE REVEGETATION HYDROSEED AND/OR PLANTING, THE CONTRACTOR SHALL MATCH EXISTING NATURAL DESERT STONE GROUND COVER CONDITIONS ADJACENT TO THE PROJECT.
- NATIVE REVEGETATION AREAS AND PLANTER BEDS SHALL BE TREATED WITH PRE-EMERGENT AS PER MANUFACTURER'S INSTRUCTIONS. RE-APPLY AS NECESSARY TO ELIMINATE INVASIVE WEEDS. REMOVE ALL DEAD DEBRIS.
- THE CONTRACTOR SHALL PROVIDE A 50'-0" BY 50'-0" TYPICAL MOCK-UP OF NATIVE REVEGETATION AREAS FOR REVIEW BY THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE.
- ALL TREE STAKING SHALL CONFORM TO THE PLANTING DETAILS OR AS NOTED IN THE SPECIFICATIONS. THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE SHALL REVIEW TYPICAL TREE STAKING PRIOR TO FINAL ACCEPTANCE.

## INERT GENERAL NOTES:

- ANGULAR GRANITE RIP-RAP
- INSTALL GRANITE RIP-RAP IN ALL DRAINAGE SWALES, AND WHERE INDICATED ON PLANS (TYPICAL). REFER TO MATERIALS SCHEDULE / PLANTING LEGEND FOR COLOR AND SIZE OF GRANITE RIP-RAP.
  - THE CONTRACTOR SHALL SUBMIT SAMPLES TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
  - THE CONTRACTOR SHALL REFER TO CIVIL PLANS FOR ADDITIONAL INFORMATION.

- DECOMPOSED GRANITE
- DECOMPOSED GRANITE IS REQUIRED IN ALL PLANTING AREAS, EXCEPT AREAS OF TURF AND GRANITE RIP-RAP. AND SHALL EXTEND UNDER PLANT MATERIAL UNLESS NOTED OTHERWISE ON PLANS. REFER TO MATERIALS SCHEDULE / PLANTING LEGEND.
  - ALL PLANTING AREAS SHALL RECEIVE A 2" MINIMUM LAYER OF DECOMPOSED GRANITE, THROUGHOUT (TYPICAL).
  - CONTRACTOR SHALL SUBMIT SAMPLES TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

## IRRIGATION GENERAL NOTES:

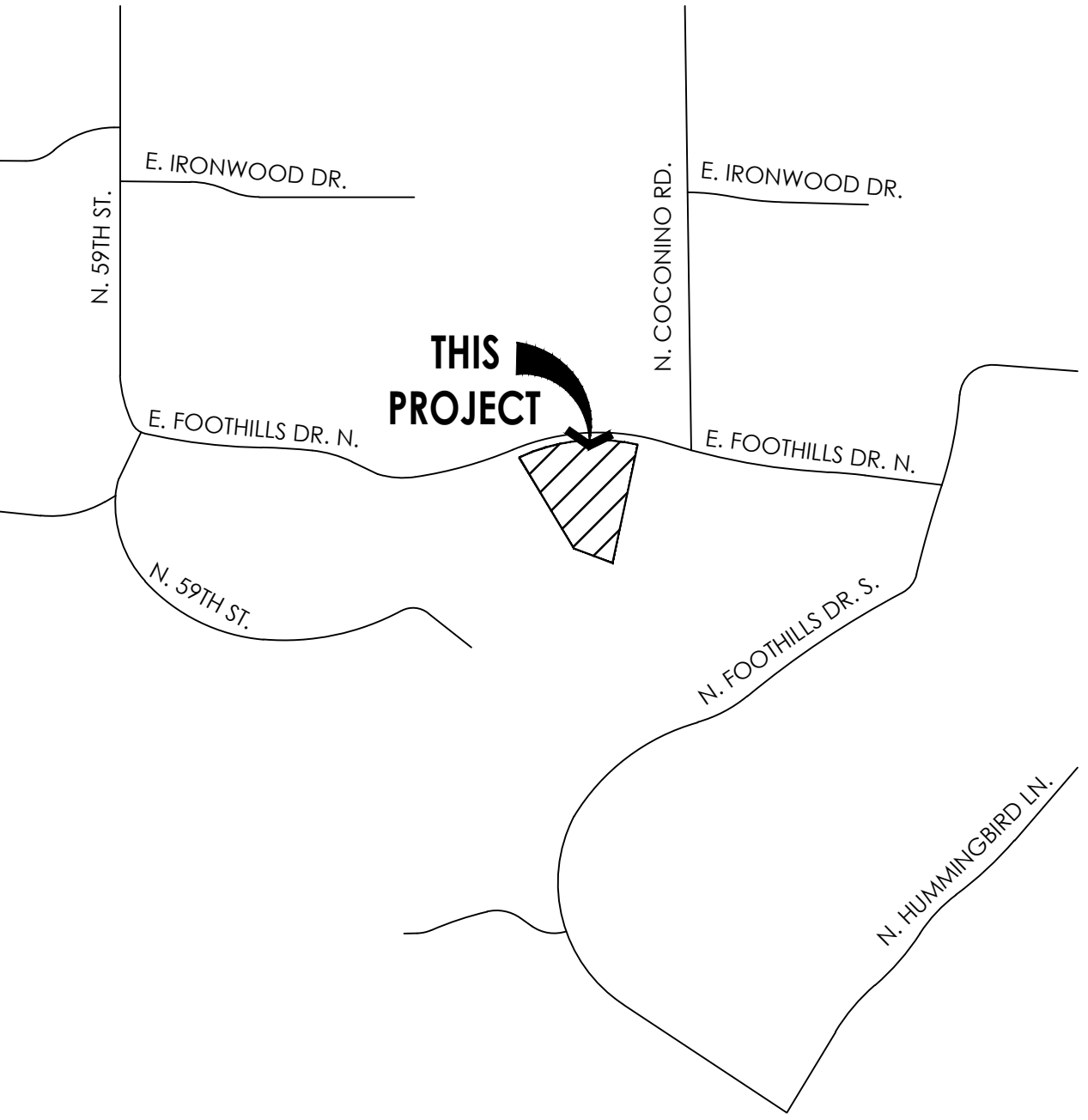
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FULL IRRIGATION COVERAGE OF ALL PLANT MATERIAL.
- THE LANDSCAPE CONTRACTOR SHALL SUBMIT FULL PIPING PLANS, AFTER FIELD VERIFICATION, DEPICTING POINT OF CONNECTION, METER LOCATION AND SIZE, BACKFLOW PREVENTER LOCATION AND SIZE, AND PIPE ROUTING AND SIZES.
- THE LANDSCAPE CONTRACTOR SHALL INSTALL THE SPECIFIED SYSTEM IN ACCORDANCE WITH THE ATTACHED SCHEDULES, NOTES, DETAILS, AND SPECIFICATIONS.
- THE LANDSCAPE CONTRACTOR TO SITE VERIFY PRESSURE AND NOTIFY LANDSCAPE ARCHITECT OF ANY DIFFERENCES PRIOR TO INSTALLATION OR ORDERING OF MATERIALS. IF CONTRACTOR FAILS TO NOTIFY LANDSCAPE ARCHITECT, HE IS FINANCIALLY RESPONSIBLE FOR ANY NECESSARY SYSTEM ALTERATIONS THAT RESULT.
- THE LANDSCAPE CONTRACTOR SHALL FIELD VERIFY EXISTING TAP LOCATIONS. INSTALL NEW METERS PER THE ATTACHED IRRIGATION SCHEDULE.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING AND PATCHING OF ASPHALT AND CONCRETE AS REQUIRED FOR SLEEVE INSTALLATION ACCORDING TO THE IRRIGATION SCHEDULE.
- CONTROLLER TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS. CONTROLLER SIZE AND QUANTITIES TO BE DETERMINED BY THE VALVE REQUIREMENTS AND POINTS OF CONNECTION. INSTALL ONE (1) CONTROLLER AT EACH POINT OF CONNECTION.
- INSTALL PVC MAINLINE AND LATERALS ACCORDING TO THE IRRIGATION AND PIPING SCHEDULES.
- ALL VALVE FLOWS SHALL NOT EXCEED MANUFACTURER'S SPECIFICATIONS.
- VALVE BOXES SHALL BE SQUARE TO ADJACENT WALKS OR CURBS AND FLUSH WITH THE FINAL GRADE.
- WORK SHALL CONFORM TO ALL CONSTRUCTION CODES AND REGULATIONS.
- THE LANDSCAPE CONTRACTOR SHALL INSTALL GREEN VALVE BOXES IN TURF AREAS AND TAN VALVE BOXES IN DECOMPOSED GRANITE AREAS (TYPICAL).
- REFER TO THE IRRIGATION NOTES FOR THE CALCULATED PRESSURE AT THE WATER METER.
- TO NOTE #4 IF PRESSURE DIFFERS FROM THAT NOTED.
- THE LANDSCAPE CONTRACTOR SHALL VISIT SITE PRIOR TO BIDDING ON PROJECT TO VERIFY INSTALLATION CONDITIONS.
- PRIOR TO COMMENCEMENT OF ANY WORK, THE CONTRACTOR SHALL CONTACT BLUE STAKE TO VERIFY LOCATIONS AND DEPTHS OF UNDERGROUND UTILITIES THAT MAY BE EFFECTED BY HIS WORK, AND HE SHALL BE RESPONSIBLE FOR DAMAGES TO SUCH UTILITIES CAUSED AS A RESULT OF HIS IRRIGATION INSTALLATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPENSATING THE OWNER AND/OR THE OWNER'S REPRESENTATIVE FOR ANY DESIGN CHANGES MADE AS A RESULT OF DEVIATION BY THE CONTRACTOR FROM THE PLANS AND SPECIFICATIONS OR DUE TO ERRORS, FAULTY MATERIAL OR FAULTY WORKMANSHIP.
- INSTALL ALL MAINLINES WITH A MINIMUM OF 20" OF COVER.
- INSTALL ALL LATERALS WITH A MINIMUM OF 12" OF COVER.
- ALL PIPE TO BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS AND ASTM STANDARD D 2774.
- ALL THREADED JOINTS TO BE COATED WITH TERLON TAPE, UNLESS OTHERWISE SPECIFIED BY THE MANUFACTURER. LIQUID TERLON ON METAL PIPE THREADS ONLY.
- FLUSHING OF ALL LINES PRIOR TO INSTALLATION OF SPRINKLERS AND EMITTERS IS REQUIRED.
- INSTALL ALL SPRINKLERS, EMITTERS, AND RELATED MATERIAL PER IRRIGATION SYSTEM SPECIFICATIONS AND DETAILS.
- INSTALL ALL ELECTRICAL JOINTS WITH 3-M WATERPROOF CONNECTORS.
- ALL ELECTRICAL CONNECTIONS SHALL BE MADE AT THE REMOTE CONTROL VALVE BOXES. CONTROLLER ENCLOSURES AND VALVE BOXES SPECIFICALLY FOR ELECTRICAL CONNECTIONS.
- A CERTIFIED ELECTRICIAN SHALL BE RESPONSIBLE FOR INSTALLING ALL WIRING FROM THE CIRCUIT BREAKER AT THE 120 VOLT SOURCE LOCATION TO AUTOMATIC CONTROLLER.
- ALL 120 VOLT VOLT POWER WIRE TO BE INSTALLED PER LOCAL CODE AND THE N.E.C.
- INSTALL ALL VALVE WIRING IN MAINLINE TRENCH AS DETAILLED.
- INSTALL ALL REMOTE CONTROL VALVES AT HEIGHT INDICATED ON DETAILS, AS HIGH AS POSSIBLE BUT ALLOWING CLEARANCE BETWEEN VALVE BOX LID AND FLOW CONTROL HANDLE ON REMOTE CONTROL VALVE.
- INSTALL ALL MAINLINE GATE VALVES IN A ROUND PLASTIC VALVE BOX PER DETAILS.
- ALL PVC SOLVENT WELD FITTINGS SHALL BE LASCO OR APPROVED EQUAL.
- THE MAINLINE, LATERAL PIPE, AND LATERALS SHALL BE INSTALLED SCHEMATICALLY AND SHALL BE INSTALLED WITHIN THE LANDSCAPE AREA, OUTSIDE R.O.W. AND P.U.E. ADJACENT TO SIDEWALK OR CURB AND OFFSET 18" WHEREVER POSSIBLE.
- SUPPLY THE FOLLOWING MATERIAL TO THE OWNER:
  - A) TWO WRENCHES FOR DISASSEMBLY AND ADJUSTING OF EACH TYPE OF SPRINKLER HEAD AND VALVE SUPPLIED.
  - B) TWO KEYS FOR EACH OF THE CONTROLLERS.
  - C) TWO COUPLERS WITH MATCHING HOSE BIBS AND SHUT-OFF VALVE.
  - D) TWO VALVE BOX KEYS.
- ALL MAINLINE FITTINGS FOR PIPE 3" AND LARGER SHALL BE CAST OR DUCTILE IRON FOR PVC; SCHEDULE 80 PVC FOR 2 1/2" AND SMALLER.
- ALL MAINLINE PIPE SHALL BE A MINIMUM OF SCHEDULE 40.
- SLEEVES SHALL BE A MINIMUM OF TWO TIMES THE DIAMETER OF THE LINE SIZE.
- ALL MAINLINE AND IRRIGATION EQUIPMENT SHALL BE PLACED IN THE LANDSCAPED AREAS.
- CONTROL WIRE Wires THAT ARE DIRECT BURIED SHALL BE #14 OR BETTER, BUNDLED OR WRAPPED A MINIMUM OF EVERY TWELVE (12) FEET. DURING INSTALLATION WIRES SHALL HAVE A 24" LOOP TIED IN. ALL DIRECTION CHANGES GREATER THAN 30 DEGREES AND BE UNITED PRIOR TO TRENCH FILL IN.
- DRIP SYSTEM FLUSH CAPS SHALL BE PLACED IN A VALVE BOX AT THE END OF ALL DRIP LATERAL RUNS, AS DESCRIBED ON THE DRAWINGS.
- ALL VALVES, PRESSURE REGULATORS AND OTHER DEVICES SHALL BE PLACED IN AN APPROPRIATELY SIZED VALVE BOX WITH A MINIMUM OF TWO (2") INCHES OF FEA GRAVEL.
- PRIOR TO PLACING ANY IRRIGATION SYSTEM IN SERVICE, AN ARIZONA CERTIFIED BACKFLOW DEVICE TESTER SHALL TEST THE BACKFLOW PREVENTION DEVICE AND GIVE A COPY OF THE PASSED TEST RESULTS TO THE MARICOPA COUNTY INSPECTOR OR MAIL IT TO THE MARICOPA COUNTY DEPARTMENT OF PUBLIC WORKS INSPECTION STATION.
- AFTER INITIAL TESTING, ALL BACKFLOW DEVICES SHALL BE TESTED ANNUALLY.
- BACKFLOW DEVICES SHALL BE A MINIMUM OF TWO (2) FEET FROM THE WATER METER AND BE THE SAME SIZE AS THE WATER SERVICE LINE.
- ALL BACKFLOW PREVENTION DEVICES SHALL HAVE A MINIMUM 24"x36"x4" CLASS B CONCRETE SLAB WITH PIPE SLEEVES. IF A SECURITY CAGE IS INSTALLED, CONCRETE SHALL BE SIX (6) INCHES LARGER ON ALL SIDES THAN THE SECURITY CAGE.
- ALL PIPE CROSSINGS IN THE RIGHT-OF-WAY SHALL BE MARKED ON EACH SIDE OF THE CURB WITH A NON-DESTRUCTIBLE MARKING.

## GRADING GENERAL NOTES:

- CONTRACTOR SHALL GRADE TO MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES. REVIEW ENGINEERS PLAN FOR DRAINAGE.
- FINISH GRADING SHALL BE IN THE DIRECTION OF THE LANDSCAPE ARCHITECT.
- LANDSCAPE ARCHITECT SHALL APPROVE GRADING PRIOR TO PLANTING.
- GRADING FOR THIS PROJECT INCLUDES THE FOLLOWING:
  - A) THE GRADING OF EXISTING ROUGH GRADES IS REQUIRED TO PROVIDE SMOOTH, EVEN GRADE TRANSITION IN LANDSCAPE AREA.
  - B) IMPORTING AND PLACING "OFF-SITE 3/8" MINUS TOPSOIL" IN THE FOLLOWING AREAS:
    - I) TURF AND ANNUAL AREAS (6" DEPTH).
    - II) PLANT BACKFILL (CAN BE SCREENED ON-SITE SOIL).
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY CALICHE ENCOUNTERED ON SITE AT NO ADDITIONAL COST TO THE OWNER. THE OWNER AND CONTRACTOR SHALL COORDINATE A SUITABLE LOCATION ON SITE TO DISPOSE OF THE CALICHE MATERIAL. SHOULD A SUITABLE LOCATION ON SITE NOT EXIST, THE OWNER SHALL BE RESPONSIBLE FOR ALL FEES ASSOCIATED WITH REMOVAL AND DISPOSAL OF THE CALICHE.
- FINISH GRADE OF ALL PLANTING AREAS IS TO BE 1.5' BELOW ADJACENT PAVING UNLESS NOTED OTHERWISE.
- REFERENCE CIVIL ENGINEERING DRAWINGS FOR GRADING AND DRAINAGE FLOWS. THE CONTRACTOR SHALL BE RESPONSIBLE THAT THESE ARE PROVIDED FOR AND NOT IMPAIRED WITH OBSTRUCTIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR GRADING ALL AREAS AT THE DIRECTION OF THE LANDSCAPE ARCHITECT TO CREATE A NATURALLY UNDULATING GROUND PLANE.

## VICINITY MAP:

SCALE: NTS



## HARDSCAPE GENERAL NOTES:

- FOOTINGS, WALLS AND FENCES SHALL BE PLACED OUTSIDE OF THE PUBLIC RIGHT-OF-WAY.
- REFER TO CIVIL PLANS PREPARED BY CIVIL ENGINEERS FOR ALL INFORMATION REGARDING HORIZONTAL AND VERTICAL CONTROLS.
- ALL DETAILS SHALL BE REVIEWED BY A STRUCTURAL ENGINEER AND MODIFIED (IF NECESSARY) PRIOR TO CONSTRUCTION.
- ALL DIMENSIONS SHOWN ON THIS PLAN ARE BASED ON THE CIVIL PLAN SUBMITTED BY THE ARCHITECT. SHOULD DISCREPANCIES OCCUR, FIELD REVISIONS SHALL BE REQUIRED.
- THE CONTRACTOR SHALL HAVE SIDEWALK SURVEYED AND STAKED FOR REVIEW BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- IN ADDITION TO SUBMITTING MATERIAL SAMPLES OF ALL SITE RELATED MATERIALS, THE CONTRACTOR SHALL PREPARE A 4'x4' SAMPLE PANEL FOR EACH TYPE OF CONSTRUCTION, I.E., A) CONCRETE PAVERS, B) EXPOSED AGGREGATE PAVING, C) INTEGRAL COLORED CONCRETE, ETC., FOR APPROVAL BY THE LANDSCAPE ARCHITECT AND OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO FINAL CONSTRUCTION.
- UNLESS NOTED OTHERWISE ON CONSTRUCTION DOCUMENTS OR NOTED IN DETAILS, SIDEWALKS SHALL BE 5'-0" WIDE, 4" THICK, 3,000 PSI CONCRETE ON COMPACTED BASE WITH CONSTRUCTION JOINTS AT 5'-0" ON CENTER AND EXPANSION JOINTS AT 20'-0" ON CENTER. SIDEWALKS SHALL HAVE A MEDIUM BROOM, NON-SKID FINISH WITH 1/2" RADIUS TOOLED EDGES.
- RADIUS AT SIDEWALK INTERSECTIONS SHALL BE 3'-0" (TYPICAL), UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL LAYOUT AND VERIFY ALL HARDSCAPE ELEMENTS PRIOR TO CONSTRUCTION FOR REVIEW BY THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE. SHOULD DISCREPANCIES EXIST, CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE BEFORE PROCEEDING FURTHER.

## SHEET INDEX:

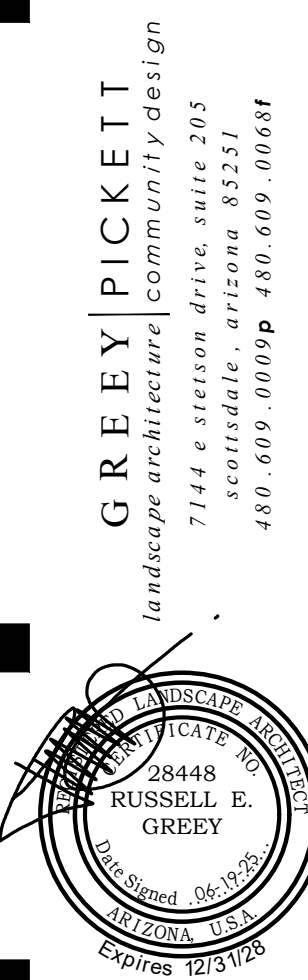
COVER SHEET	L0.0
LAYOUT PLAN	L2.1
PLANTING PLAN	L3.1
IRRIGATION PLAN	L4.1
LIGHTING PLAN	L5.1
HARDSCAPE DETAILS	L6.1
PLANTING DETAILS	L7.1
PLANTING SPECIFICATIONS	L8.1
IRRIGATION SPECIFICATIONS	L8.2

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project #: DWA082  
scale: N/A  
issued for:

drawn by: TEAM  
date: 06/19/2025

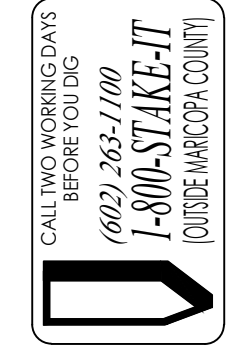
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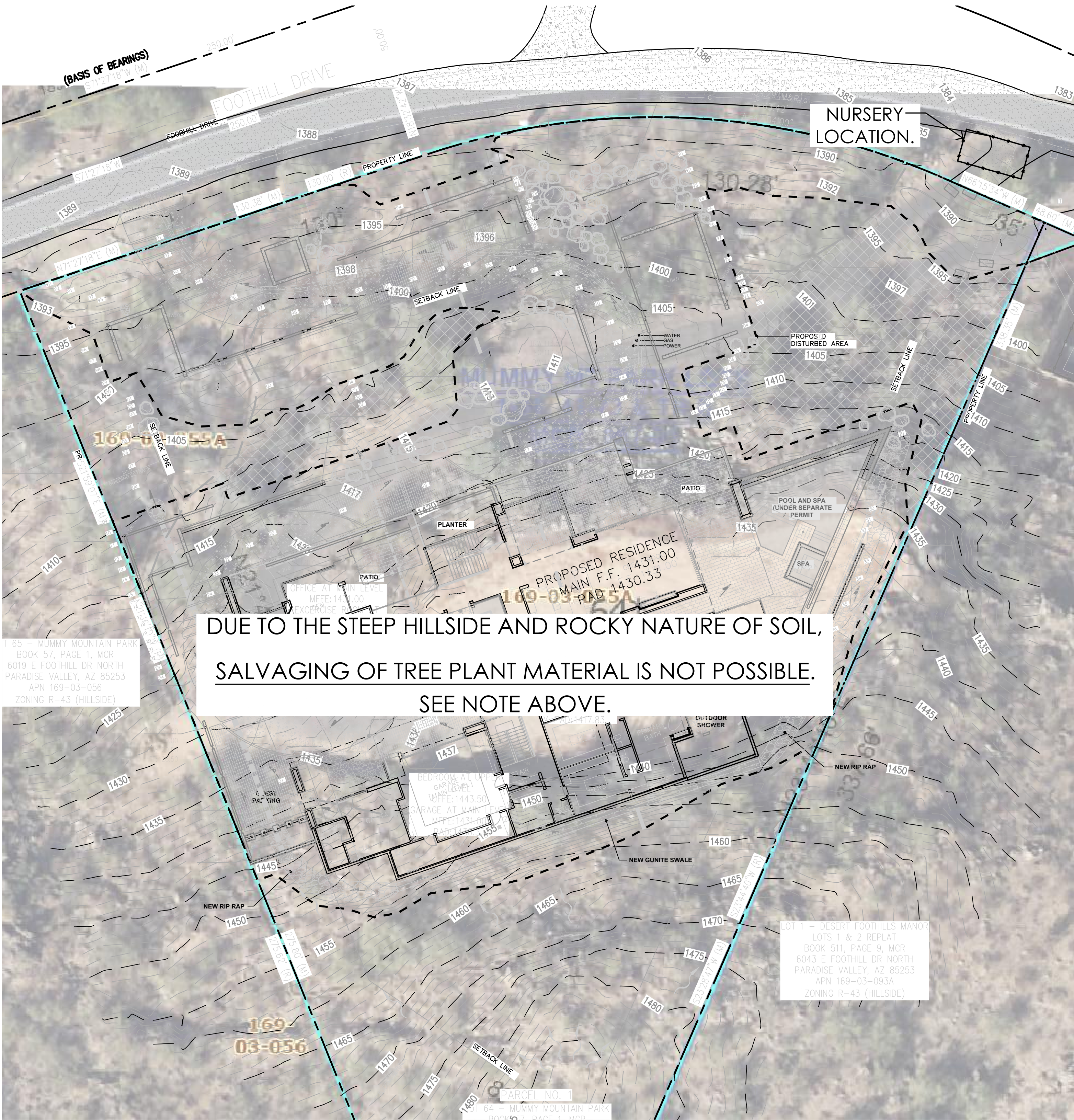


DUE TO THE STEEP HILLSIDE AND ROCKY NATURE OF SOIL,  
SALVAGING OF TREE PLANT MATERIAL IS NOT POSSIBLE.

ALL EFFECTED TREES WITHIN THE AREA OF DISTURBANCE WILL  
BE DESTROYED, ALL NATIVE BARRELS, HEDGEHOG CACTUS  
AND SAGUAROS WILL BE SALVAGED. A NURSERY WILL BE SET  
UP FOR THIS MATERIAL, SEE NURSERY LOCATION ON PLAN.  
ALL SALVAGED MATERIAL WILL BE RELOCATED INTO THE  
LANDSCAPE AT TIME OF FINAL LANDSCAPE INSTALL. ALL  
PLANT MATERIAL OUTSIDE THE AREA OF DISTURBANCE TO  
REMAIN IN PLACE UN TOUCHED.



SITE CONDITION PHOTOS:



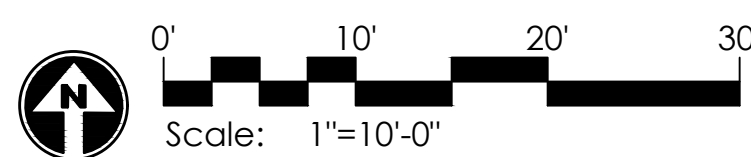
GRAHAM RESIDENCE  
6041 E. Foothill Dr N.  
Paradise Valley, AZ 85253





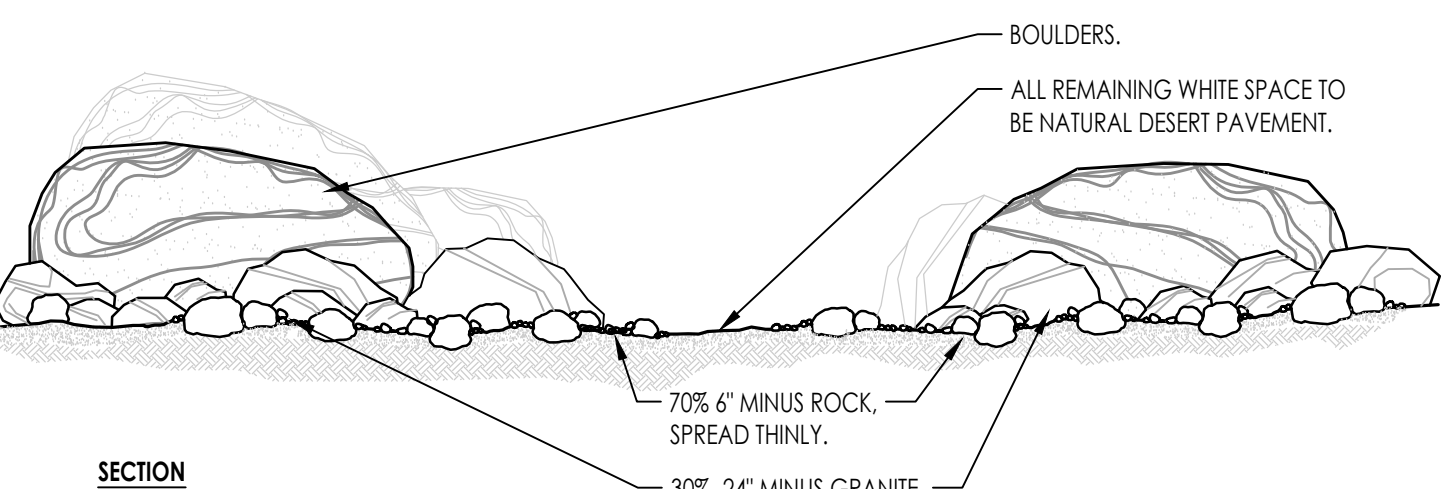
- KEY NOTES**
- 1.1 COLORED CONCRETE DRIVEWAY, DAVIS CONCRETE 'ADOBE' COLOR, LIGHT SAND FINISH, 1/4" RADIUS TOOLED EDGES, SAW CUT JOINTS, FINISH SIDES. **LRV: 24**
  - 1.1 DRIVEWAY PAVERS: BELGARD HOLLAND SERIES 'RIO BLEND', 4"x8" SIZE, RUNNING BOND PATTERN, 50% OVERLAP, SAND SET, MORTAR SET EDGES, NO BORDER COURSE. **LRV: 20**
  - 1.1 PATIO PAVERS: ECO OUTDOORS 'TILDEN' LIMESTONE, 16"x32" SIZE, RUNNING BOND PATTERN, 50% OVERLAP, MORTAR SET, NO BORDER COURSE. **LRV: 37**
  - 1.3 DECORATIVE COBBLE MIX, USE NATIVE ROCK FIRST, SUPPLY ADDITIONAL MATERIAL AS NEEDED: SPEC TBD, TO MATCH NATIVE, 70% 6" MINUS, SPREAD THINLY, 30% 24" MINUS, MATERIAL WILL BE STREWN ABOUT TO CREATE 'ROCKY/ROUGH' TERRAIN.
  - 2.10 8" WIDE CMU WALL, CLAD IN STONE TO MATCH HOME, WRAP STONE TO CAP.
  - 2.11 8" WIDE CMU WALL, GROUND FACE FINISH STANDARD GREY, STACKED BOND PATTERN.
  - 2.13 32" WIDE CMU WALL, CLAD IN STONE TILE TO MATCH ARCHITECTURE, WRAP TILE TO CAP.
  - 2.13 24" WIDE CMU WALL, CLAD IN STONE TO MATCH HOME, WRAP STONE TO CAP.
  - 2.13 EXTEND POOL SHELL UP FOR RETAINING/ACCENT WALL, CLAD IN STONE TILE FROM ARCHITECTURE, CARRY STONE TO BOTTOM OF POOL ENSURE STONE IS WATER SUBMERSIBLE.
  - 2.50 STEEL SOFFIT RETAINING PANEL.
  - 2.51 1/4" THICK STEEL VENEER RETAINING WALL.
  - 2.50 DECK RAILING.
  - 3.30 FIRE PIT @ SPA.
  - 3.30 FIRE PIT PER ARCHITECTURE.
  - 4.10 POOL WITH NEGATIVE EDGE.
  - 4.11 BAJA SHELF, 9" MAX WATER DEPTH.
  - 4.11 RAISED SPA WITH NEGATIVE EDGE.
  - 4.13 REFLECTION POOL @ FRONT ENTRY.
  - 4.13 WATERFALL FEATURE @ FRONT ENTRY.
  - 4.13 OUTDOOR SHOWER @ MASTER.
  - 5.10 SURFACE SELECT LANDSCAPE BOULDERS TO BE FIELD LOCATED BY LANDSCAPE ARCHITECT, BOULDERS TO MATCH CHARACTER OF EXISTING SITE BOULDERS, SIZES TO RANGE FROM 1-7 TON, WITH MINIMUM 1 TON SIZE.
  - 6.10 BARBEQUE COUNTER PER ARCHITECT.
  - 6.10 SHADE UMBRELLA @ POOL.
  - 6.10 EXISTING TREE TO REMAIN, PROTECT IN PLACE.

- NOTES:**
1. WALLS: IF RETAINING DAMP PROOF AND GROUT ALL CELLS BELOW GRADE. SEE PLAN FOR HEIGHT.
  2. ALL GATES AND FENCING TO MEET POOL BARRIER STANDARDS.
  3. POOL CONTRACTOR TO PROVIDE SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO CONSTRUCTION.
  4. CONCRETE COLOR TO BE SELECTED BY OWNER, CONTRACTOR TO PROVIDE 2'X2' SAMPLE OF PROPOSED CONCRETE COLOR AND FINISH FOR APPROVAL BY OWNER PRIOR TO INSTALLATION.
  5. ALL STEEL TO BE ELECTROSTATIC PAINTED TO MATCH ARCHITECTURAL STEEL, GRIND ALL WELDS SMOOTH.
  6. ALL SPOT ELEVATIONS AND CALLOUTS ARE FOR DESIGN INTENT PURPOSES ONLY. REFER TO CIVIL PLAN FOR ALL GRADING AND DRAINAGE INFORMATION.
  7. **CONTRACTOR TO PROVIDE SAMPLES ONSITE OF ALL PROPOSED MATERIALS, FOR APPROVAL BY OWNER PRIOR TO PURCHASE OR INSTALL.**



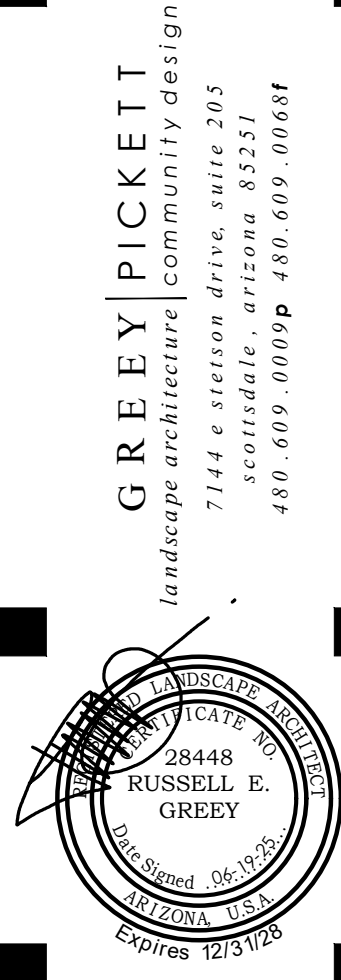
INTENT: HIGHER DENSITY COVERAGE TO MIMIC A REAL MOUNTAINOUS TERRAIN BOULDER OUTCROPPINGS.

\*NOTE ALL CRUSHED ROCK CALLED OUT TO BE 'SUPERIOR GOLD' FROM ROCK PROS. THIS PRODUCT TO BE CONFIRMED ONSITE WITH SAMPLES PRIOR TO ORDER OR INSTALL.



1.30 DECORATIVE COBBLE MIX  
SCALE: 1/2" = 1'-0"

65 - MUMMY MOUNTAIN PARK  
BOOK 57, PAGE 3, MCR  
019 E FOOTHILL DR NORTH  
ARADISE VALLEY, AZ 85253  
APN 169-03-056  
ZONING R-43 (HILLSIDE)



**GRAHAM RESIDENCE**

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revisions:

project #: DWA082  
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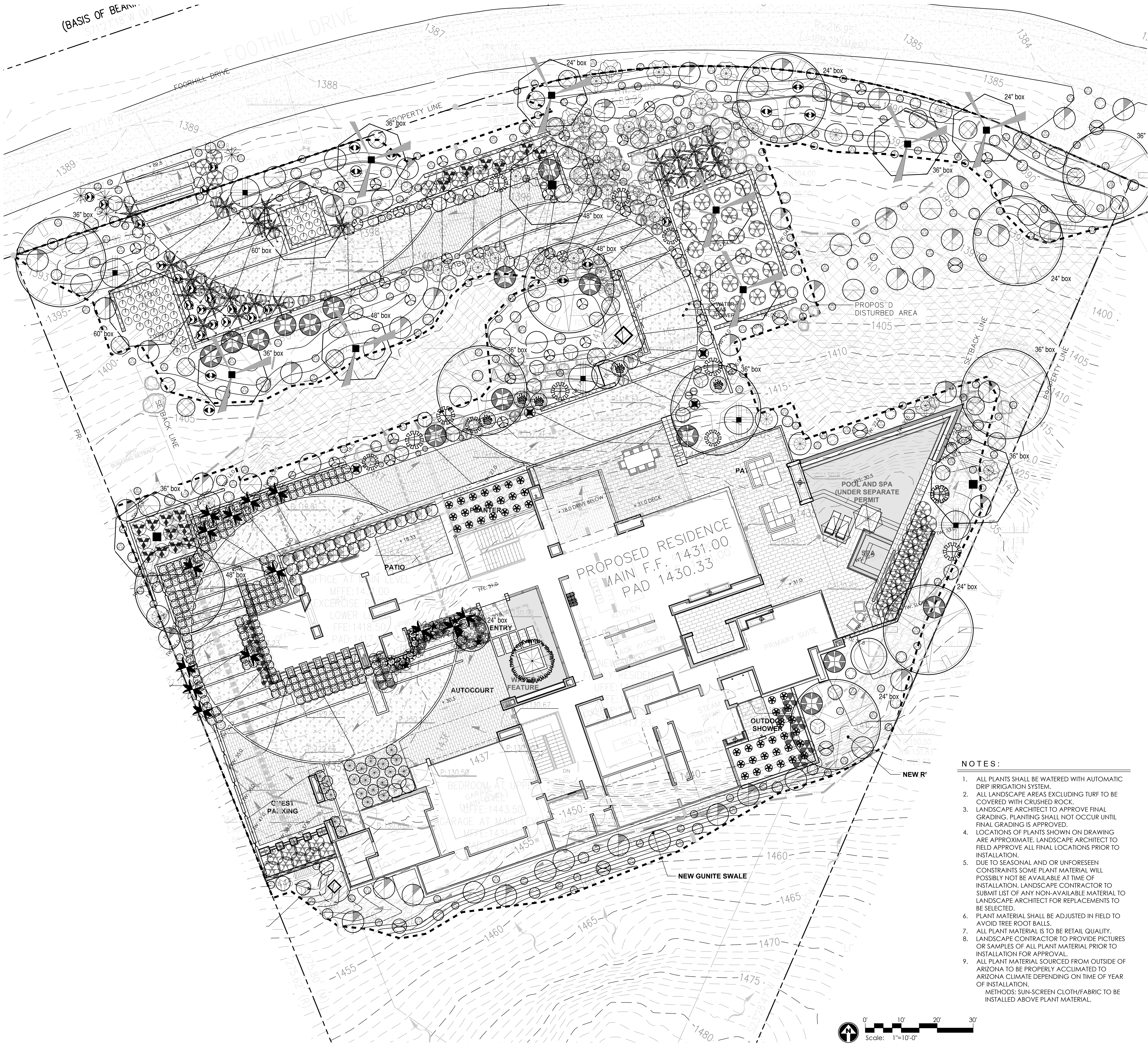
drawn by: TEAM  
date: 06/19/2025

drawing: Layout Plan

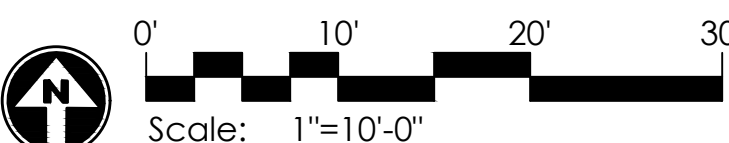
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- NOTES:**
- ALL PLANTS SHALL BE WATERED WITH AUTOMATIC DRIP IRRIGATION SYSTEM.
  - ALL LANDSCAPE AREAS EXCLUDING TURF TO BE COVERED WITH CRUSHED ROCK.
  - LANDSCAPE ARCHITECT TO APPROVE FINAL GRADING. PLANTING SHALL NOT OCCUR UNTIL FINAL GRADING IS APPROVED.
  - LOCATIONS OF PLANTS SHOWN ON DRAWING ARE APPROXIMATE. LANDSCAPE ARCHITECT TO FIELD APPROVE ALL FINAL LOCATIONS PRIOR TO INSTALLATION.
  - DUE TO SEASONAL AND/OR UNFORESEEN CONSTRAINTS SOME PLANT MATERIAL WILL POSSIBLY NOT BE AVAILABLE AT TIME OF INSTALLATION. LANDSCAPE CONTRACTOR TO SUBMIT LIST OF ANY NON-AVAILABLE MATERIAL TO LANDSCAPE ARCHITECT FOR REPLACEMENTS TO BE SELECTED.
  - PLANT MATERIAL SHALL BE ADJUSTED IN FIELD TO AVOID TREE ROOT BALLS.
  - ALL PLANT MATERIAL IS TO BE RETAIL QUALITY.
  - LANDSCAPE CONTRACTOR TO PROVIDE PICTURES OR SAMPLES OF ALL PLANT MATERIAL PRIOR TO INSTALLATION FOR APPROVAL.
  - ALL PLANT MATERIAL SOURCED FROM OUTSIDE OF ARIZONA TO BE PROPERLY ACCLIMATED TO ARIZONA CLIMATE DEPENDING ON TIME OF YEAR OF INSTALLATION.  
METHODS: SUN-SCREEN CLOTH/FABRIC TO BE INSTALLED ABOVE PLANT MATERIAL.



PLANT MATERIALS LEGEND				
Sym.	Plant Name	Size	Qty	Remarks
<b>Trees</b>				
	<i>Bauhinia lunarioides</i>	(2) @ 15 gal	3	-
	Anacacho Orchid Tree	(1) @ 24" box	1	-
	<i>Juniperus 'specie'</i>	TBD	1	Large Specimen
	Juniper Bonsai Specimen			
	<i>Olney tesota</i>	60" box	2	Specimen
	Ironwood			
	<i>Parkinsonia florida</i>	(2) @ 36" box	3	-
	Blue Palo Verde	(1) @ 48" box		
	<i>Parkinsonia microphylla</i>	(2) @ 24" box	8	-
	Foothills Palo Verde	(5) @ 36" box		
	<i>Prosopis velutina</i>	(4) @ 24" box	11	-
	Native Mesquite	(8) @ 36" box		
		(2) @ 48" box		
<b>Shrubs</b>				
	<i>Ambrosia deltoidea</i>	1 gal.	182	-
	Triangle Leaf Bursage			
	<i>Calliandra eriophylla</i>	5 gal.	10	-
	Pink Fairy Duster			
	<i>Cordia parvifolia</i>	5 gal.	5	-
	Little Leaf Cordia			
	<i>Dianella revoluta 'Little Rev'</i>	5 gal.	45	-
	Little Rev Flax Lily			
	<i>Dracaena marginata</i>	15 gal.	3	Multi Trunk
	Dragon Tree			
	<i>Eremophila hygrophana 'Blue Bell'</i>	5 gal.	4	-
	Blue Bells			
	<i>Ericameria laricifolia</i>	5 gal.	36	-
	Turpentine Bush			
	<i>Eriogonum fasciculatum</i>	5 gal.	40	-
	Flat Top Buckwheat			
	<i>Justicia californica</i>	5 gal.	30	-
	Chuparosa			
	<i>Larrea tridentata</i>	5 gal.	45	-
	Creosote			
	<i>Leucophyllum laevigatum</i>	5 gal.	4	-
	Chihuahuan Sage			
	<i>Leucophyllum langmaniae 'Rio Bravo'</i>	5 gal.	8	-
	Rio Bravo Sage			
	<i>Nolina microcarpa</i>	1 gal.	5	-
	Bear Grass			
	<i>Penstemon parryi</i>	1 gal.	20	-
	Parry's Penstemon			
	<i>Rhipidolepis indica 'Pinkie'</i>	5 gal.	25	-
	Pinkie Indian Hawthorne			
	<i>Rhus ovata</i>	15 gal.	2	-
	Sugarbush			
	<i>Salvia clevelandii</i>	5 gal.	15	-
	Chaparral Sage			
	<i>Simmondsia chinensis</i>	5 gal.	28	-
	Jojoba			
	<i>Sphaeralcea ambigua</i>	1 gal.	69	-
	Globe Mallow			
	<i>Vaqueria californica</i>	5 gal.	7	-
	Arizona Rosewood			
	<i>Vigiera deltoidea</i>	1 gal.	10	-
	Goldeneye			
	<i>Zamia furfuracea</i>	5 gal.	22	-
	Cardboard Palm			
<b>Groundcovers</b>				
	<i>Bouteloua gracilis 'Blonde Ambition'</i>	1 gal.	221	-
	Blonde Ambition Blue Grama			
	<i>Chrysactinia mexicana</i>	1 gal.	7	-
	Damianita			
	<i>Glandularia pulchella</i>	1 gal.	6	-
	Moss Verbena			
	<i>Glandularia rigida</i>	1 gal.	45	-
	Sandpaper Verbena			
	<i>Melampodium leucanthum</i>	1 gal.	27	-
	Blackfoot Daisy			
<b>Accents Cactus</b>				
	<i>Agave americana</i>	5 gal.	14	-
	Century Plant			
	<i>Agave bovicornuta</i>	5 gal.	3	-
	Cow Horn Agave			
	<i>Agave x 'Mr. Ripple'</i>	5 gal.	4	-
	Mr Ripple Agave			
	<i>Agave ovatifolia</i>	5 gal.	9	-
	Whale's Tongue Agave			
	<i>Agave x 'Blue Glow'</i>	5 gal.	6	-
	Blue Glow Agave			
	<i>Asclepias subulata</i>	1 gal.	56	-
	Desert Milkweed			
	<i>Dasylirion wheeleri</i>	5 gal.	5	-
	Desert Spoon			
	<i>Euphorbia ingens 'Chocolate Drop'</i>	15 gal.	5	-
	Chocolate Drop Cactus			
	<i>Fouquieria splendens</i>	bare root	24	-
	Ocotillo			
	<i>Opuntia ficus-indica</i>	5 gal.	12	-
	Indian Fig			
	<i>Opuntia robusta</i>	5 gal.	18	-
	Silver Dollar Prickly Pear			
	<i>Opuntia violacea santa-rita</i>	5 gal.	64	-
	Purple Prickly Pear			
	<i>Yucca baccata</i>	5 gal.	30	-
	Banana Yucca			
<b>INERTS</b>				
Sym.	Description			
	DECORATIVE COBBLE MIX. USE NATIVE ROCK FIRST. SUPPLY ADDITIONAL MATERIAL AS NEEDED: SPEC TBD, TO MATCH NATIVE. 70% 6" MINUS, SPREAD THINLY. 30% 24" MINUS. MATERIAL WILL BE STREWN ABOUT TO CREATE 'ROCKY' ROUGH TERRAIN.			
	IN ALL ORGANIZED PLANTING AREAS. 1/2" CRUSHED ROCK. MADISON GOLD COLOR. SPREAD 2" THICK.			
	IN ALL NATIVE PLANTING AREAS: NATURAL DESERT COBBLE. CONTRACTOR TO SALVAGE AND STOCKPILE TOP 3" OF DESERT SOIL FOR RESPREADING. SPREAD TO APPEAR AS ADJACENT NATURAL DESERT FLOOR.			

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28448  
RUSSELL E. GREEY  
Landscape Architect  
Expires 12/31/25

**GRAHAM RESIDENCE**

6041 E. Foothill Dr N.  
Paradise Valley, AZ 85253

revisions:  
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project #: DWA082  
scale: 1"=10'-0"  
issued for:  
date: 06/19/2025  
drawn by: TEAM  
drawing: Planting Plan

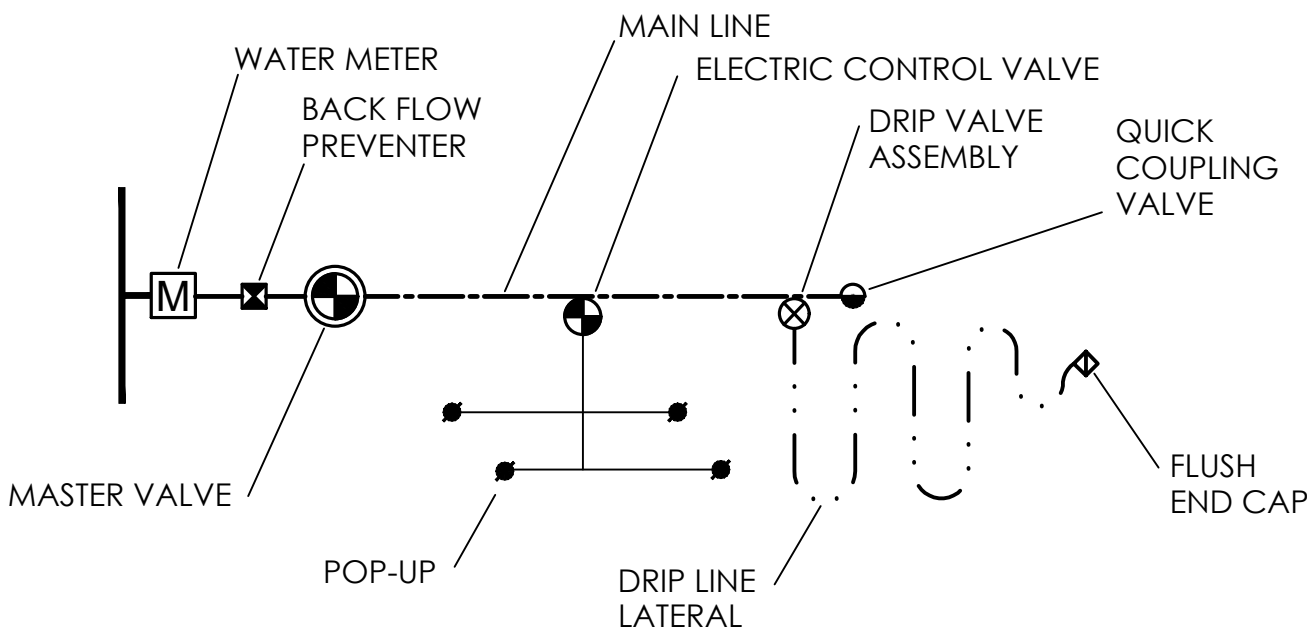
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IRRIGATION GENERAL NOTES

- THE SYSTEM DESIGN ASSUMES A MINIMUM DYNAMIC PRESSURE FOR THE IRRIGATION SYSTEM OF 65 PSI, AT A MINIMUM DISCHARGE OF 50 GPM AT MAINLINE POINT-OF-CONNECTION. VERIFY PRESSURE AND FLOW ON SITE AND NOTIFY LANDSCAPE ARCHITECT OF ANY DIFFERENCES PRIOR TO INSTALLATION OR ORDERING OF ANY MATERIALS OR STARTING CONSTRUCTION. IF CONTRACTOR FAILS TO NOTIFY LANDSCAPE ARCHITECT, HE ASSUMES FULL RESPONSIBILITY FOR ANY NECESSARY SYSTEM ALTERATIONS AND ADDITIONAL COST THAT RESULT. FIELD MODIFICATIONS MAY OCCUR IN ORDER TO FULFILL THE DESIGN INTENT OF THE DRAWINGS. CONTRACTOR SHALL CONSULT WITH IRRIGATION DESIGNER AND PREPARE AS-BUILT PLANS SHOULD FIELD MODIFICATIONS BE NECESSARY.
- READ THOROUGHLY AND BECOME FAMILIAR WITH THE SPECIFICATIONS AND INSTALLATION DETAILS FOR THIS AND RELATED WORK PRIOR TO CONSTRUCTION.
- COORDINATE UTILITY LOCATES ("CALL BEFORE YOU DIG") OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- DO NOT PROCEED WITH THE INSTALLATION OF THE IRRIGATION SYSTEM WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS OR GRADE DIFFERENCES EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. IF DISCREPANCIES IN CONSTRUCTION DETAILS, LEGEND, NOTES, OR SPECIFICATIONS ARE DISCOVERED, BRING ALL SUCH OBSTRUCTIONS OR DISCREPANCIES TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE.
- THESE IRRIGATION CONSTRUCTION DOCUMENTS, INCLUDING ALL PLANS, NOTES, DETAILS AND SPECIFICATIONS ARE INTENDED TO FACILITATE THE INSTALLATION CONTRACTOR BY PROVIDING GENERAL GUIDELINES FOR DESIGN INTENT, THEREFORE, ALL IRRIGATION ELEMENTS GRAPHICALLY REPRESENTED IN THESE CONSTRUCTION DOCUMENTS ARE SCHEMATIC.
  - ALTHOUGH IRRIGATION COMPONENTS MAY BE SHOWN OUTSIDE PLANTING AREAS FOR CLARITY, INSTALL IRRIGATION PIPE AND WIRING IN LANDSCAPED AREAS WHENEVER POSSIBLE. PROVED 18" DEEP, ROCK FREE COVER OVER MAINLINE AND WIRE, AND COVER 12" DEEP OVER LATERALS, 6" OVER POLY PIPE AND 1/4" PIPE, BASED ON FINISHED GRADE.
  - TREE AND SHRUB LOCATIONS AS SHOWN ON LANDSCAPE PLANS TAKE PRECEDENCE OVER IRRIGATION EQUIPMENT LOCATIONS. AVOID CONFLICTS BETWEEN THE IRRIGATION SYSTEM, PLANTING MATERIALS, AND ARCHITECTURAL FEATURES.
  - USE ONLY STANDARD TEES AND ELBOW FITTINGS. USE OF CROSS TYPE FITTINGS IS NOT ALLOWED.
- PROVIDE THE FOLLOWING COMPONENTS TO THE OWNER PRIOR TO THE COMPLETION OF THE PROJECT:
  - TWO (2) OPERATING KEYS FOR EACH TYPE OF MANUALLY OPERATED VALVES.
  - TWO (2) OF EACH SERVICING WRENCH OR TOOL NEEDED FOR COMPLETE ACCESS, ADJUSTMENT, AND REPAIR OF ALL ROTARY SPRINKLERS.
- SELECT NOZZLES FOR SPRAY AND ROTARY SPRINKLERS WITH ARCS WHICH PROVIDE COMPLETE AND ADEQUATE COVERAGE WITH MINIMUM OVERSPRAY FOR THE SITE CONDITIONS. CAREFULLY ADJUST THE RADIUS OF THROW AND ARC OF COVERAGE OF EACH ROTARY SPRINKLER TO PROVIDE THE BEST PERFORMANCE.
- THE IRRIGATION CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF IRRIGATION SLEEVING. SLEEVES ARE REQUIRED FOR BOTH PIPING AND ELECTRICAL WIRING AT EACH HARDSCAPE CROSSING. ALL PIPE AND WIRING UNDER PAVED SURFACES SHALL BE IN CLASS 200 MINIMUM PVC SLEEVES. WHETHER OR NOT SHOWN, PIPING IN SLEEVES UNDER ROADWAYS SHALL BE A MINIMUM DEPTH OF 24". PIPING IN SLEEVES UNDER SIDEWALKS SHALL BE A MINIMUM DEPTH OF 18". EXTEND SLEEVES 12" BEYOND EDGE OF PAVEMENT.
- COORDINATE INSTALLATION OF SLEEVING WITH OTHER TRADES. ANY PIPE OR WIRE WHICH PASSES BENEATH EXISTING HARDSCAPE WHERE SLEEVING WAS NOT INSTALLED WILL REQUIRE HORIZONTAL BORING BY THE IRRIGATION CONTRACTOR.
- INSTALL ALL ELECTRICAL POWER TO THE IRRIGATION CONTROL SYSTEM IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE AND ALL APPLICABLE LOCAL ELECTRIC UTILITY CODES. ALL 24-VOLT WIRING SHALL BE #14 UFIL DIRECT-BURIAL, SOLID COPPER.
- THE FOLLOWING SHOULD BE NOTED REGARDING PIPE SIZING: IF A SECTION OF UNSIZED PIPE IS LOCATED BETWEEN THE IDENTICALLY SIZED SECTIONS, THE UNSIZED PIPE IS THE SAME NOMINAL SIZE AS THE TWO SIZED SECTIONS. THE UNSIZED PIPE SHOULD NOT BE CONFUSED WITH THE DEFAULT PIPE SIZE NOTED IN THE LEGEND.
- INSTALL TWO (2) #14 AWG CONTROL WIRES FROM CONTROLLER LOCATION TO EACH DEAD-END OF MAINLINE FOR USE AS SPARES IN CASE OF CONTROL WIRE FAILURE. COIL 3 FEET OF WIRE IN VALVE BOX.
- SYSTEM SCHEMATIC SHALL BE AS FOLLOWS:



EMITTER SCHEDULE

INSTALL PRESSURE COMPENSATING EMITTERS AS FOLLOWS:					
Plant type	Plant size	Emitters per Plant	GPH Outlet	# of Outlets	Total GPH/Plant
TREES	15 gal.	1 Multi-Outlet	2 GPH	3	6 GPH
	24" Box	1 Multi-Outlet	2 GPH	4	8 GPH
	36" Box	1 Multi-Outlet	2 GPH	5	10 GPH
	48" Box	1 Multi-Outlet	2 GPH	6	12 GPH

INSTALL PRESSURE COMPENSATING EMITTERS AS FOLLOWS:					
SHRUBS	1 gallon	2 Single per Plant	1/2 GPH	2	1 GPH
	5 gallon	2 Single per Plant	2 GPH	2	4 GPH

NOTES:  
ALL SHRUBS SPACED 18 INCHES OR CLOSER SHALL RECEIVE ONLY ONE DRIP EMITTER. SHRUBS SPACED GREATER THAN 18 INCHES TO RECEIVE EMITTERS PER THE ABOVE SCHEDULE.

ALL EMISSION POINTS TO BE LOCATED ON THE UPHILL SIDE OF PLANT MATERIAL. ONE EMISSION POINT TO BE LOCATED AT THE PLANT BALL, WITH THE ADDITIONAL POINTS WITHIN PLANT PIT PERIMETER.

ALL PIPING SHALL BE THOROUGHLY FLUSHED PRIOR TO EMITTER INSTALLATION. CONTRACTOR IS RESPONSIBLE FOR ANY NECESSARY FLUSHING OF EMITTERS DUE TO CLOGGING FOR THE DURATION OF THE MAINTENANCE PERIOD. ANY PLANT MATERIAL THAT DIES DUE TO EMITTER CLOGGING SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST.

IRRIGATION LEGEND

SYMBOL	DESCRIPTION	NOTES
	WATER METER. ALSO PROVIDE REDUCED PRESSURE BACKFLOW PREVENTOR TO MATCH METER	
	CONTROLLER	WALL-MOUNTED, PAINT TO MATCH WALL. <b>SPEC HUNTER 'HPC' CONTROLLER OR EQUIVALENT.</b>
	CONTROL VALVE QTY. TBD	FLUSH MOUNTED, BOX COLOR TO MATCH GROUND PLANE
	MAINLINE	CLASS 200 PVC
	FERTIGATION TANK	EZ-FLOW MAINLINE 2.5 GALLON

THE INSTALLATION CONTRACTOR SHALL PROGRAM THE CONTROLLER, IN ORDER TO MANAGE THE DURATION OF THE IRRIGATION CYCLE TO AVOID RUNOFF CONDITIONS

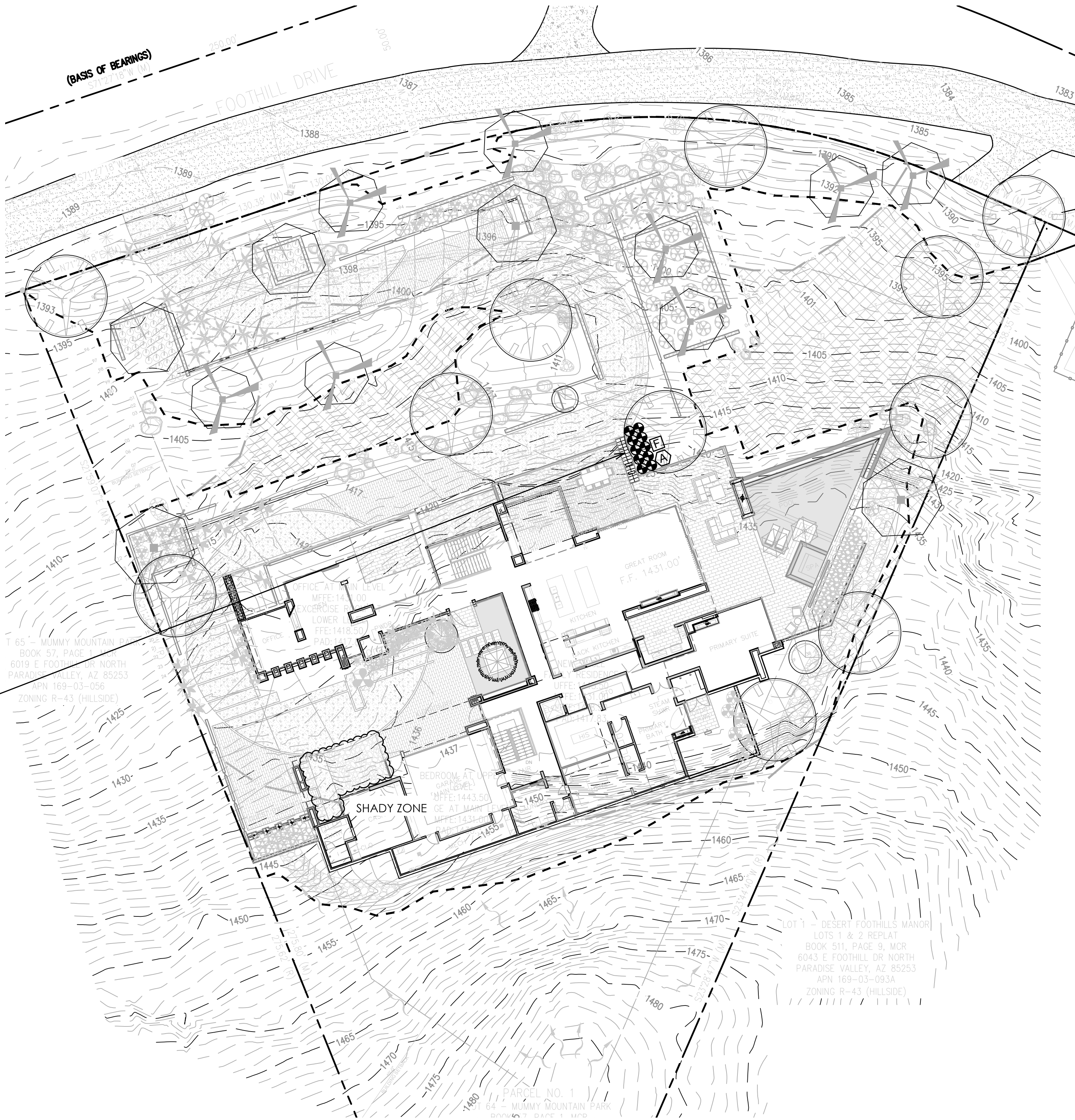
SLEEVING SCHEDULE

PIPE OR WIRE BUNDLE	REQUIRED SLEEVE
3/4", 1", 1-1/4" PIPE	1-2" PVC SLEEVE PER PIPE
1-1/2", 2" PIPE	1-4" PVC SLEEVE PER PIPE
1-25 CONTROL WIRES	1-2" PVC SLEEVE
26-55 CONTROL WIRES	2-2" PVC SLEEVE

APPROXIMATE IRRIGATION VALVE BOX & FERTIGATION SYSTEM LOCATION, VALVE BOX LOCATION TO BE FIELD LOCATED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

- VALVE ALLOCATION: (TYPICAL)**
- VINES VALVE
  - TREES VALVE
  - SHRUBS VALVE
  - GROUND COVER VALVE
  - CACTI VALVE
  - REVEG VALVE
  - BOXWOOD BEAUTY VALVE
  - PRICKLY PEAR VALVE
  - SHADY ZONE VALVE
  - JUNIPER TREE VALVE

NOTE:  
1. IRRIGATION MAINLINES TO BE ALL HARD PIPE PVC, SCH 40.  
2. DIRECT PUNCTURE INLINE EMITTERS INTO LATERALS, THEN RUN SPAGHETTI TO PLANT. NO FLAG EMITTERS.  
3. CONTRACTOR TO SUBMIT SHOP DRAWINGS OR CONTACT LANDSCAPE ARCHITECT FOR PROPOSED IRRIGATION SYSTEM FOR APPROVAL PRIOR TO CONSTRUCTION.  
4. ALL LATERAL LINES TO BE COMMERCIAL GRADE THICK WALL POLYPIPE WITH COLOR CODING ON PIPE. \*NO SPRAY PAINT\* SHADE PIPE WHERE ROCKY.  
5. **VALVES SHOWN ON PLAN TO SERVE AS A GUIDE. CONTRACTOR TO ADD VALVES AS NECESSARY TO ZONE THE YARD AND MEET IRRIGATION NEEDS OF ALL PLANT MATERIAL.**

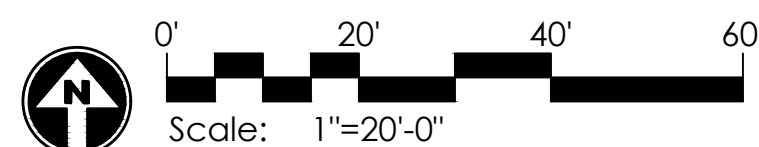
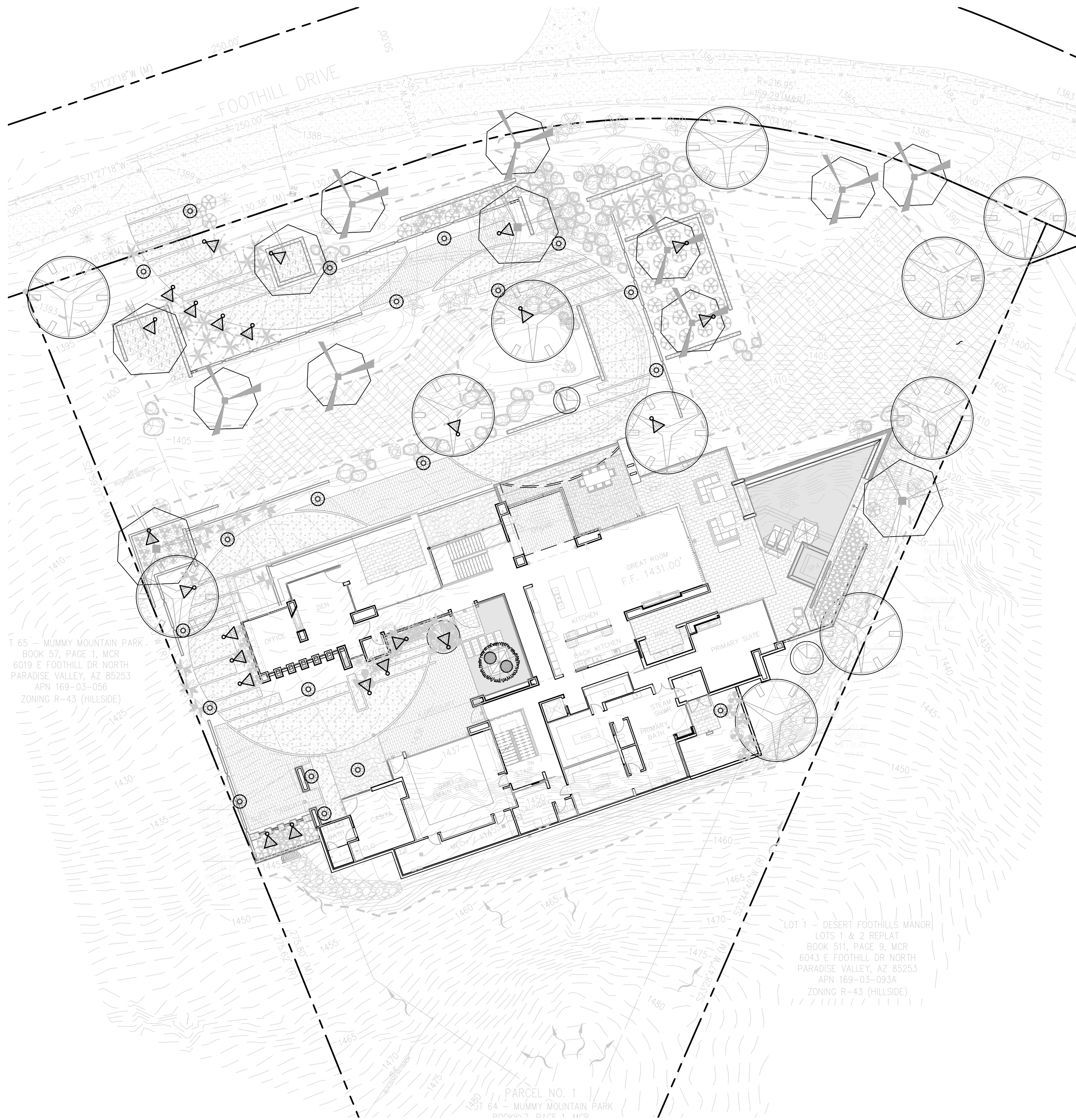




HILLSIDE OUTDOOR LIGHTING REQUIREMENTS:		
AREA OF LOT:	62,665 S.F.	
ALLOWABLE DISTURBED AREA: (42%)	26,590 S.F.	
LANDSCAPE UP-LIGHTING: LIMITED TO ONE (1) FIXTURE PER 1000 S.F. OF ALLOWABLE DISTURBED AREA.		
UP-LIGHTS PERMITTED:	26	
UP-LIGHTS PROVIDED:	26	
NOTE: ALL OTHER LIGHTING (LUMINAIRE) IS CONSIDERED 'SAFETY LIGHTING' USED TO ILLUMINATE VEHICULAR AND PEDESTRIAN CIRCULATION AND DOES NOT EMIT LIGHT RAYS ABOVE A HORIZONTAL PLANE.		

LIGHTING FIXTURE SCHEDULE						
SYMBOL	QTY	MANUFACTURER	MODEL #	COLOR	DESCRIPTION	LUMENS
▽	24	FX LUMINAIRE	NP-3LED-BZ	BLACK	LOW VOLTAGE UPLIGHT	290
⊙	19	FX LUMINAIRE	RP-32-1LED-W-18R	BLACK	LOW VOLTAGE PATHLIGHT	55
●	2	FX LUMINARE	FC-3LED-CW-BS	BRASS	LOW VOLTAGE IN GRADE UPLIGHT	301
⌈	TBD	-	-	-	LOW VOLTAGE TRANSFORMER (CONTRACTOR TO DETERMINE QUANTITY REQUIRED)	-

- LIGHTING NOTES**
- CONTRACTOR SHALL VERIFY ALL SPECIFICATIONS, COLORS, AND FINISHES WITH OWNER PRIOR TO ORDERING OR INSTALLING.
  - LANDSCAPE ARCHITECT TO FIELD APPROVE ALL LIGHTS.
  - ALL LIGHTS TO BE FIELD LOCATED BY LANDSCAPE ARCHITECT.
  - ALL LIGHTS TO BE 2,700K COLOR TEMPERATURE.
  - MAX 750 LUMENS PER FIXTURE.



## FXLuminaire.

### NP LED Up Light DESIGNER PLUS



PROJECT: \_\_\_\_\_

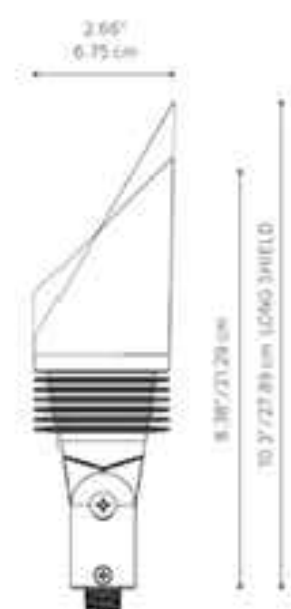
CATALOG #: \_\_\_\_\_

TYPE: \_\_\_\_\_

NOTES: \_\_\_\_\_

#### Quick Facts

- Die-cast aluminum
- Two-layer marine-grade anodization and powder coat finish
- Lumileds® integrated LEDs
- Beam angle options (10° • 35° 60°)
- Phase dimmable
- Prokin™ adjustability
- Compatible with Luxor® technology
- Input voltage: 10-15V



#### LANDSCAPE AND ARCHITECTURAL LIGHTING

Learn more: Visit: [fx.com](http://fx.com) | +1 760-744-5240

## FXLuminaire.

### LED Well Lights



PROJECT: \_\_\_\_\_

CATALOG #: \_\_\_\_\_

TYPE: \_\_\_\_\_

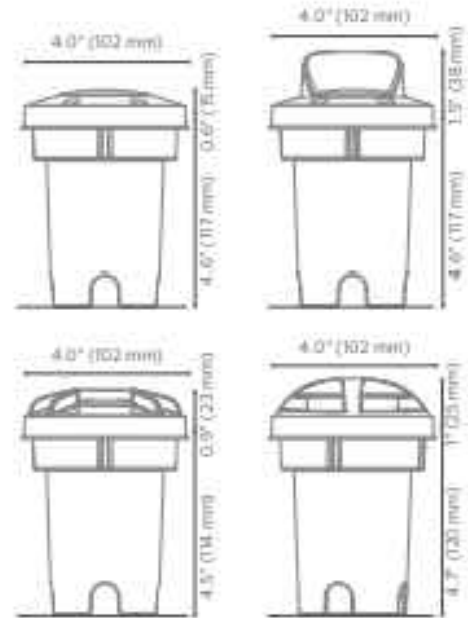
NOTES: \_\_\_\_\_

### FC Well Light DESIGNER PREMIUM

Cylindrical in-grade fixture with versatile faceplate options in 1, 3, 6, or 9 LED. An RGBW version is also available for use with Luxor® system.

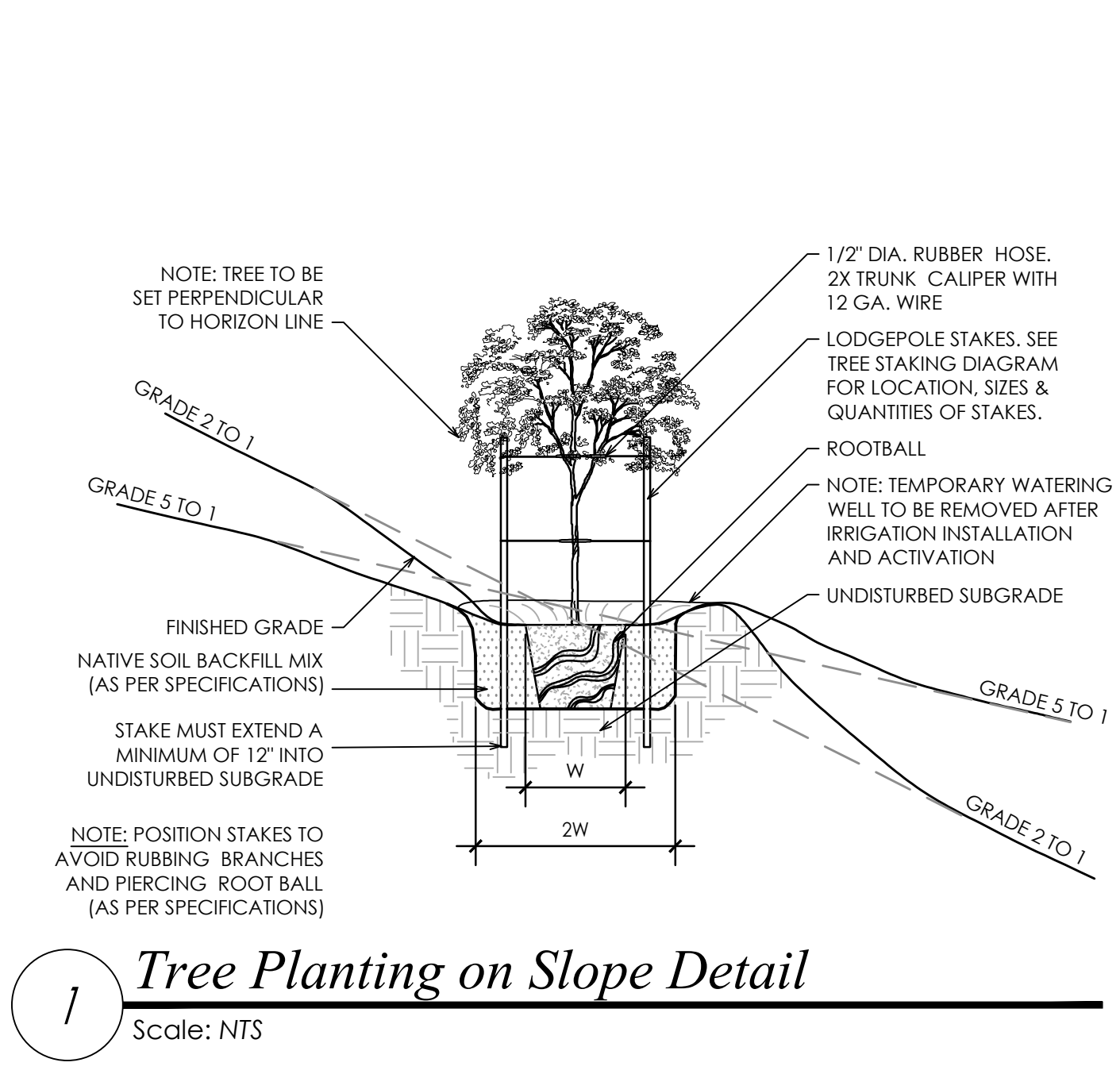
#### Quick Facts

- Die-cast brass or aluminum construction
- Two-layer marine-grade anodization and powder coat finish
- Cree® integrated LEDs
- Tamper-resistant features
- Color temperature filters
- Compatible with Luxor technology
- Phase and PWM dimmable
- Input voltage: 10-15V

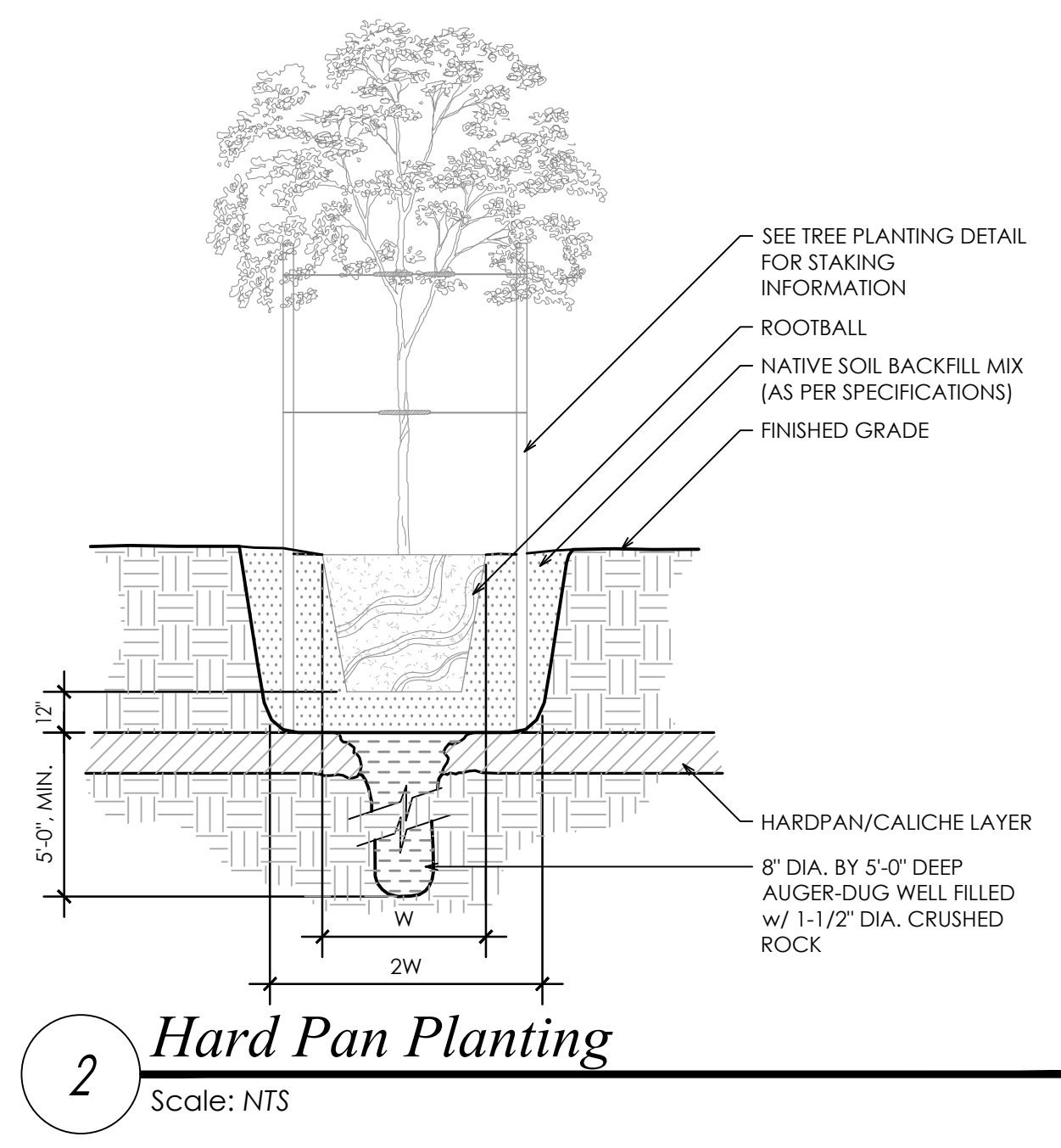


#### LANDSCAPE LIGHTING

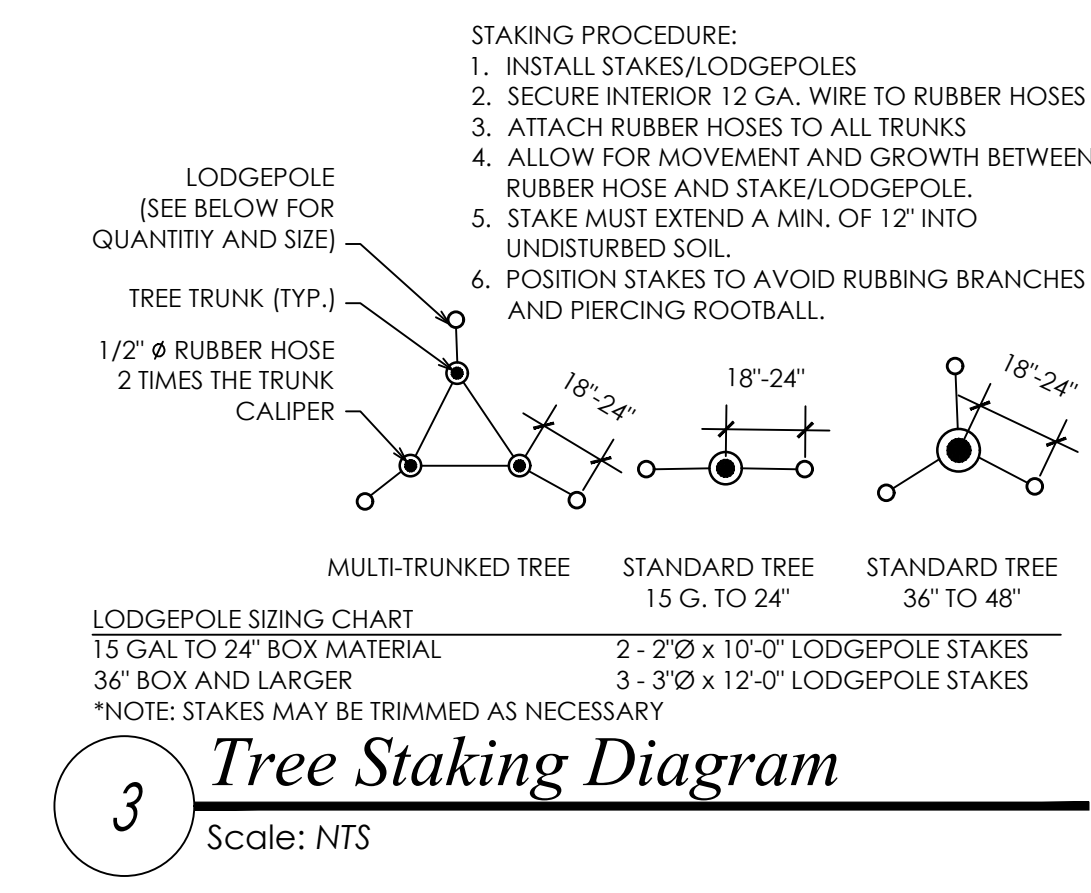




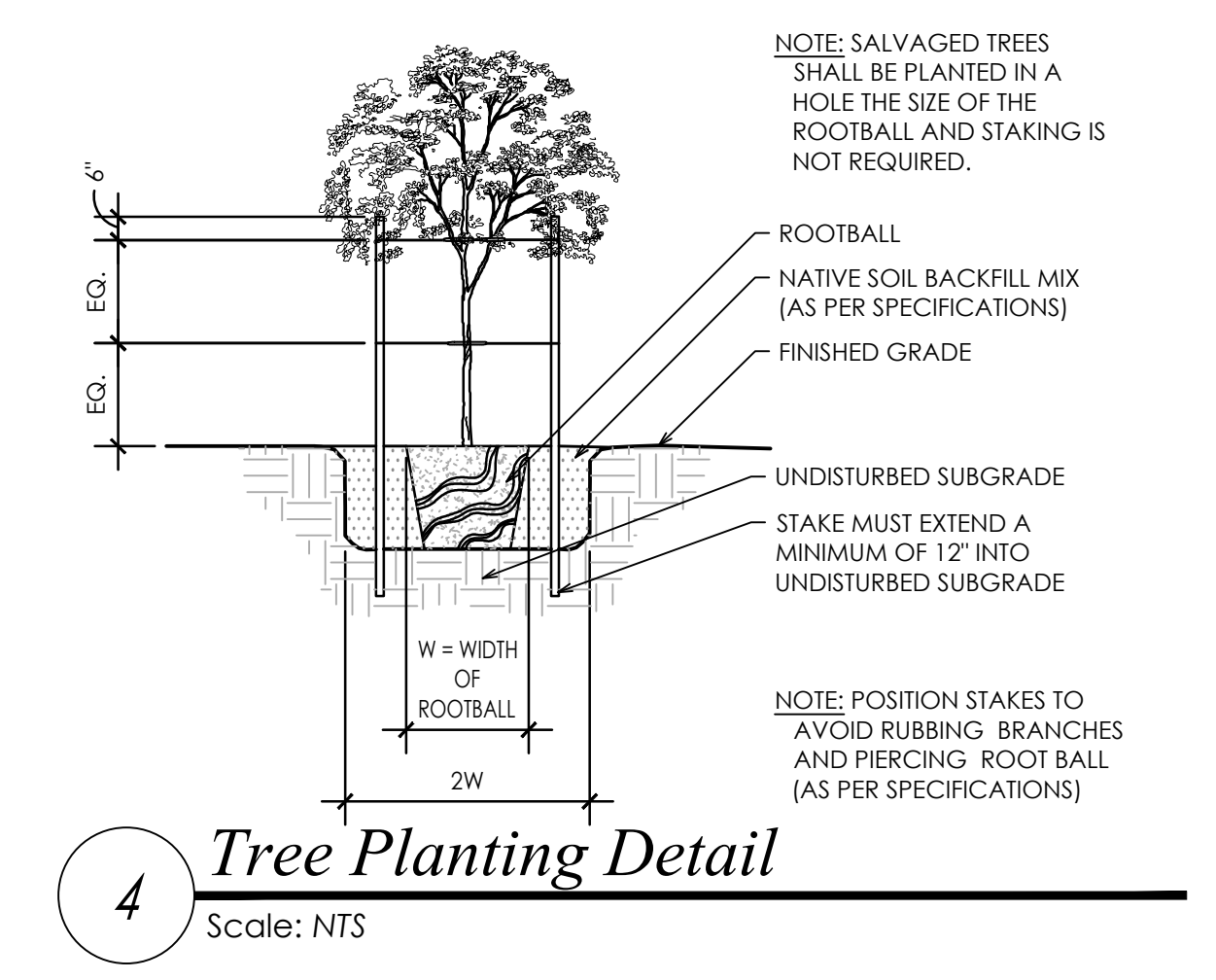
1 **Tree Planting on Slope Detail**  
Scale: NTS



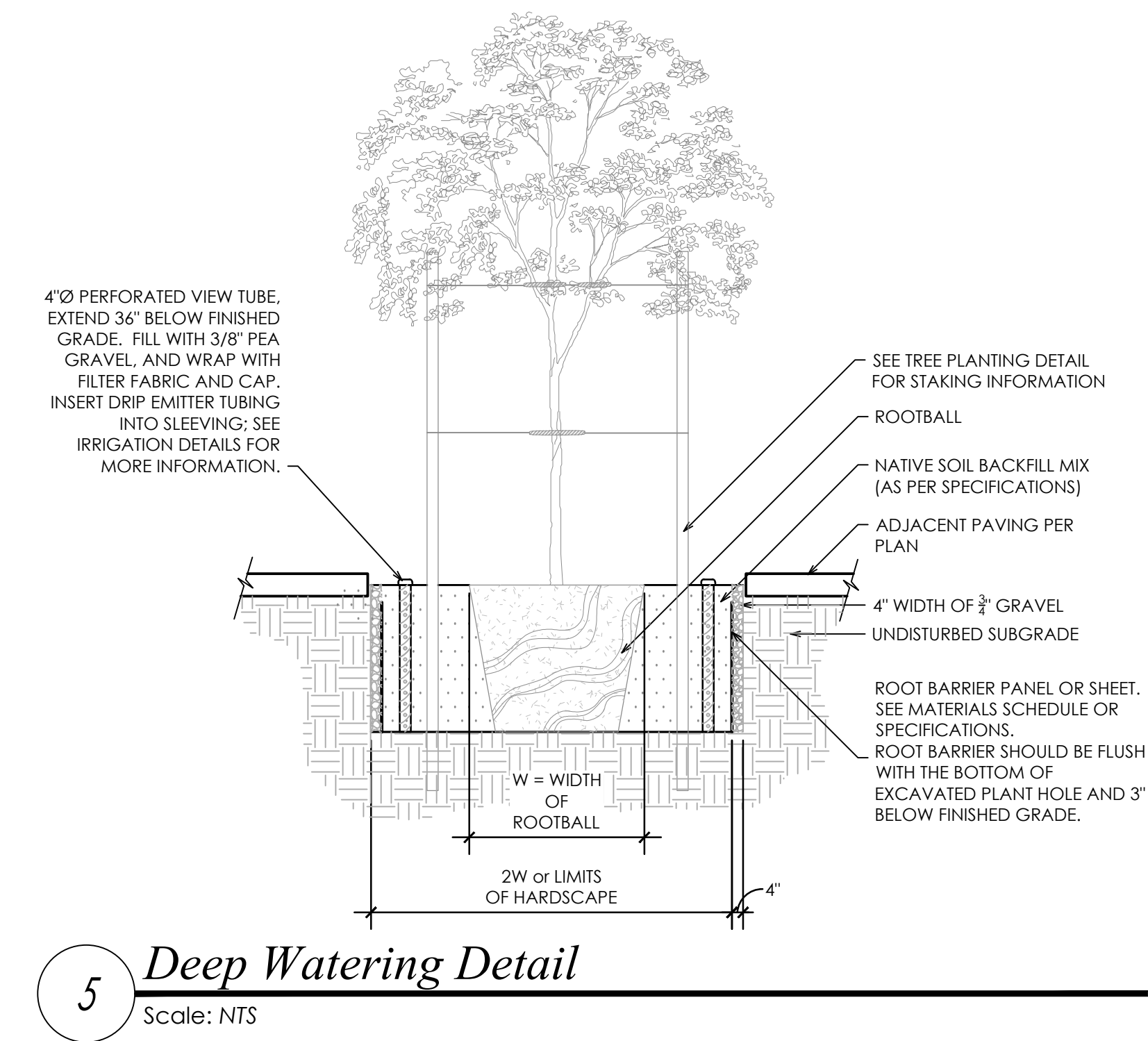
2 **Hard Pan Planting**  
Scale: NTS



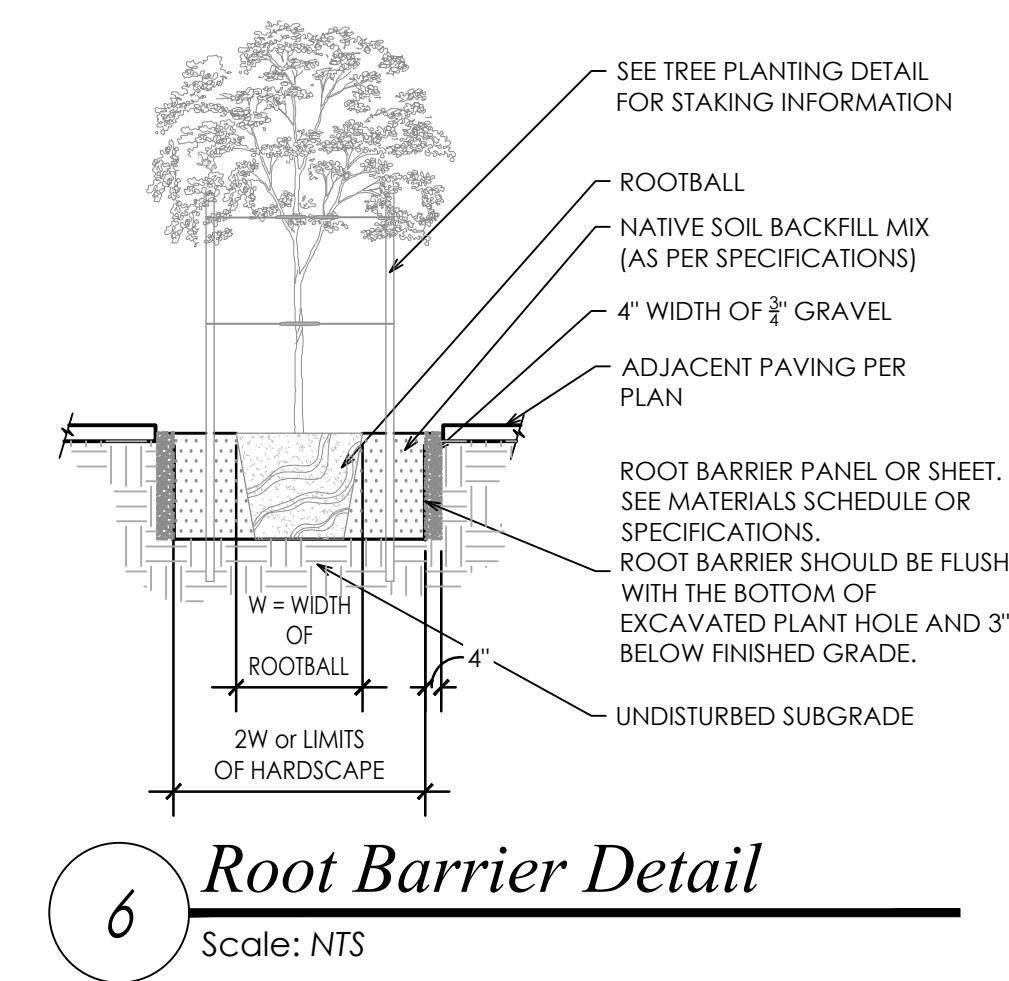
3 **Tree Staking Diagram**  
Scale: NTS



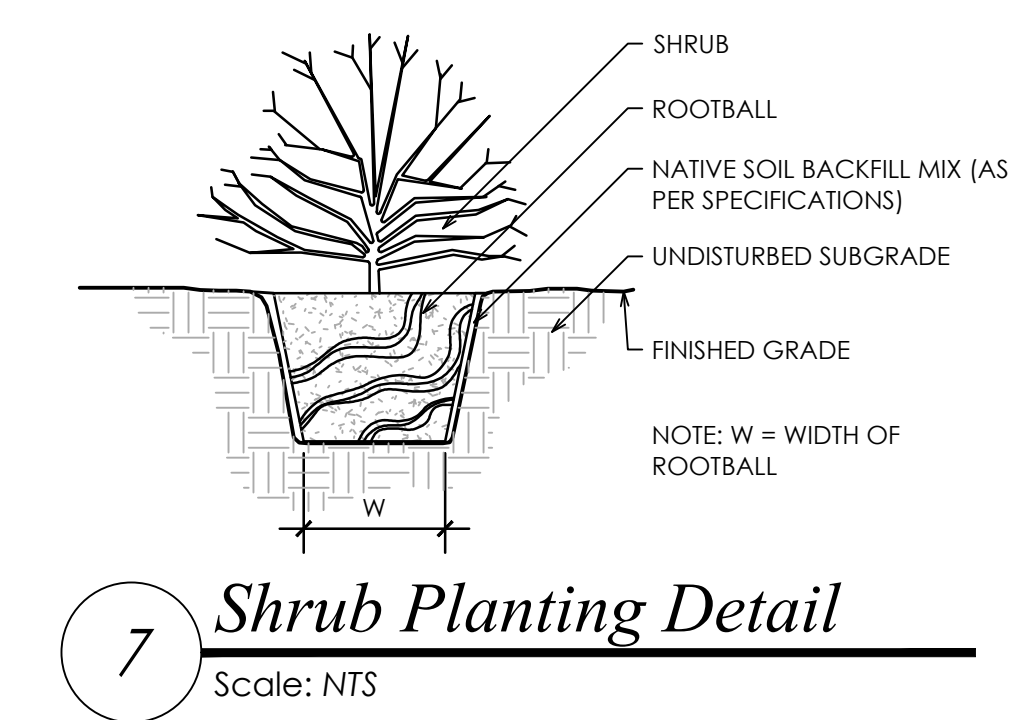
4 **Tree Planting Detail**  
Scale: NTS



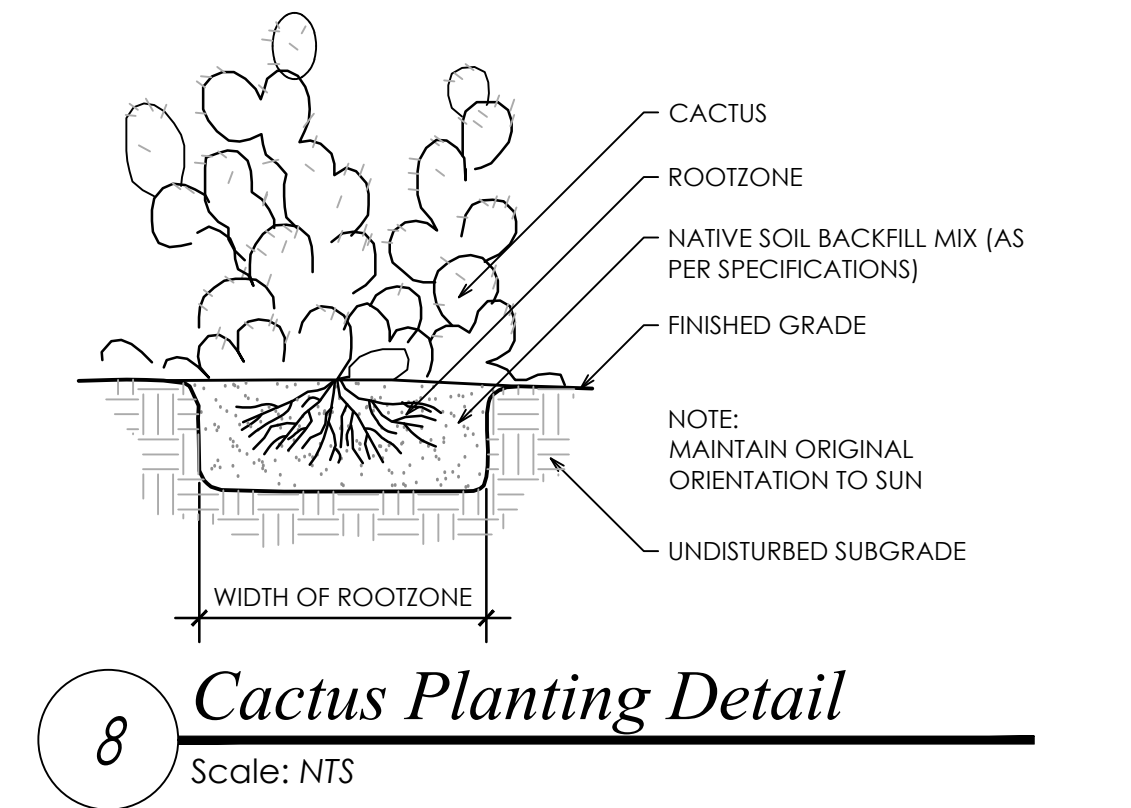
5 **Deep Watering Detail**  
Scale: NTS



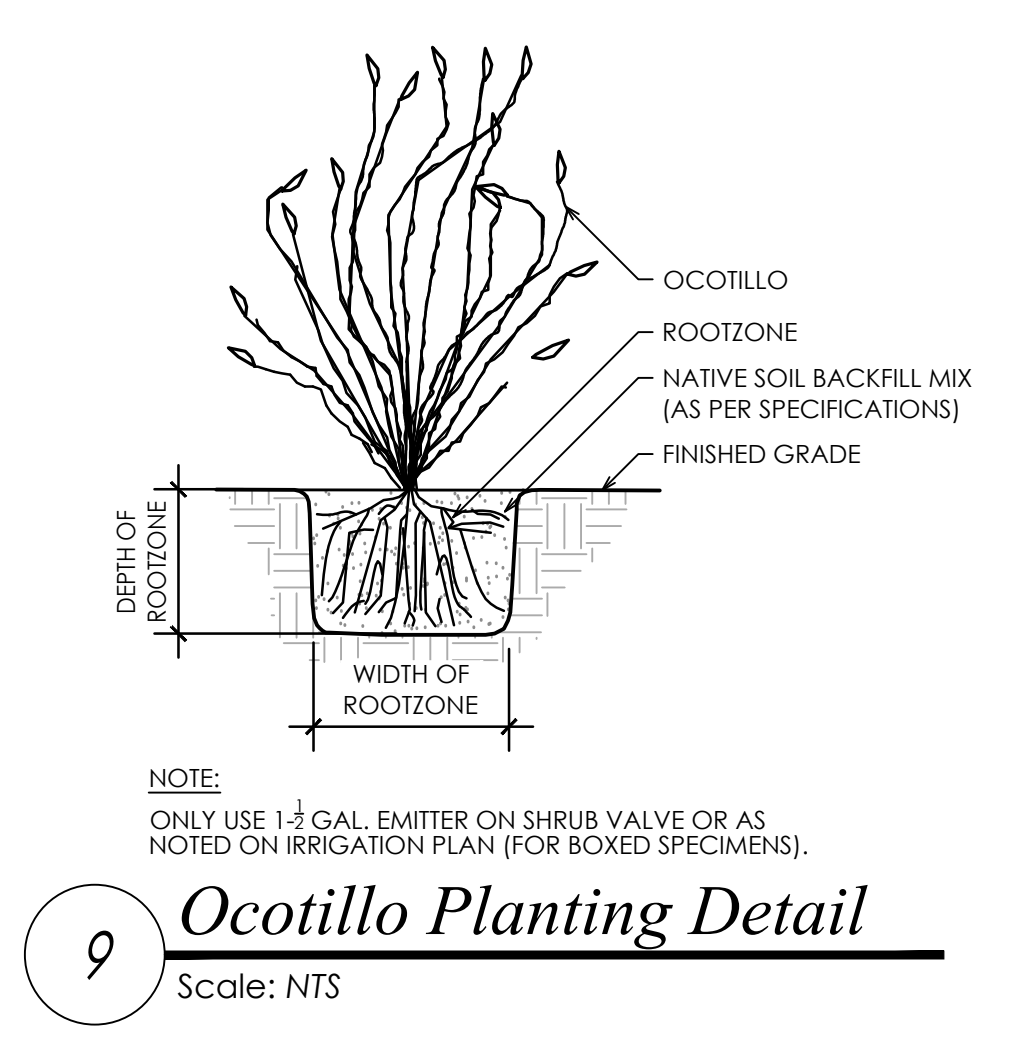
6 **Root Barrier Detail**  
Scale: NTS



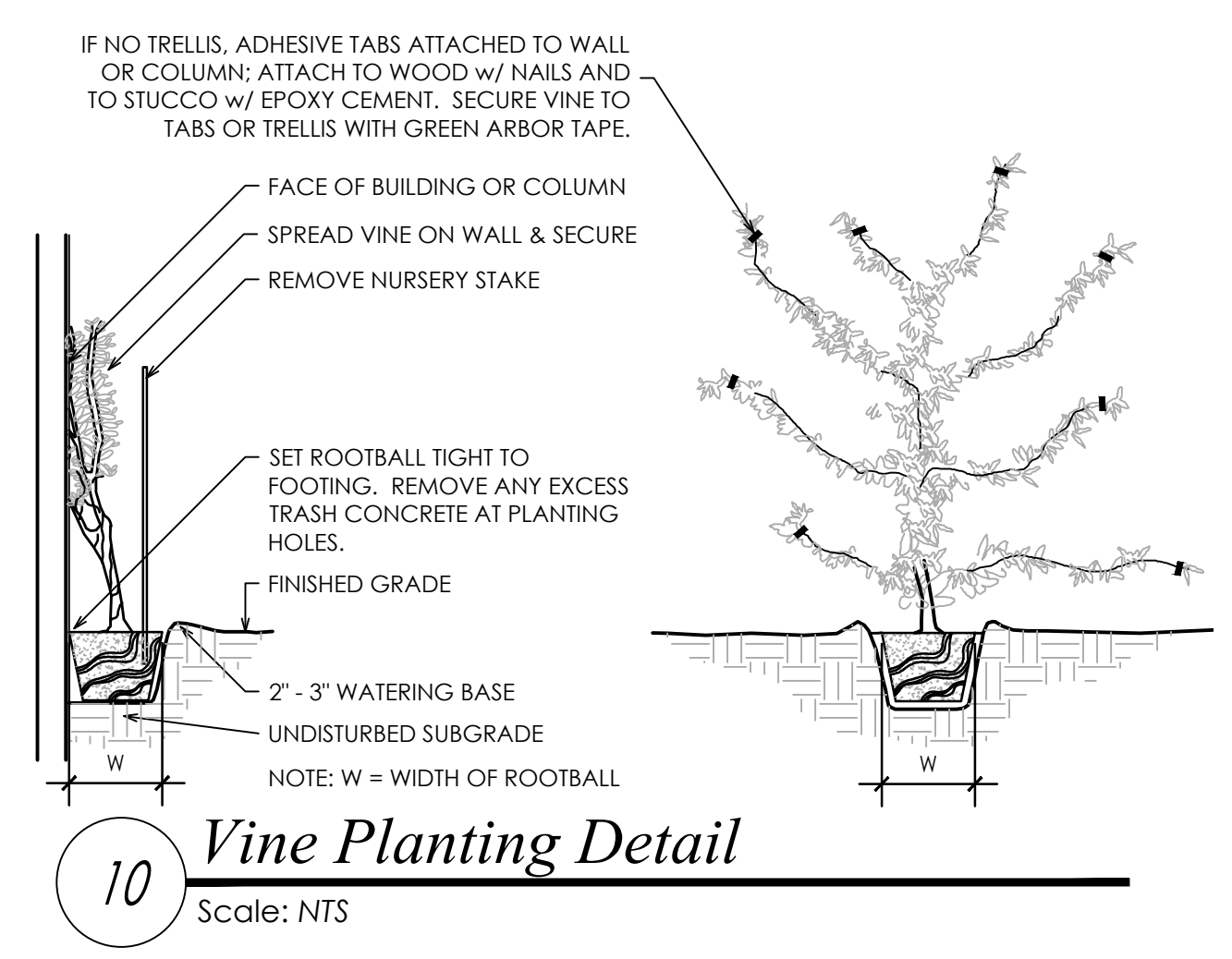
7 **Shrub Planting Detail**  
Scale: NTS



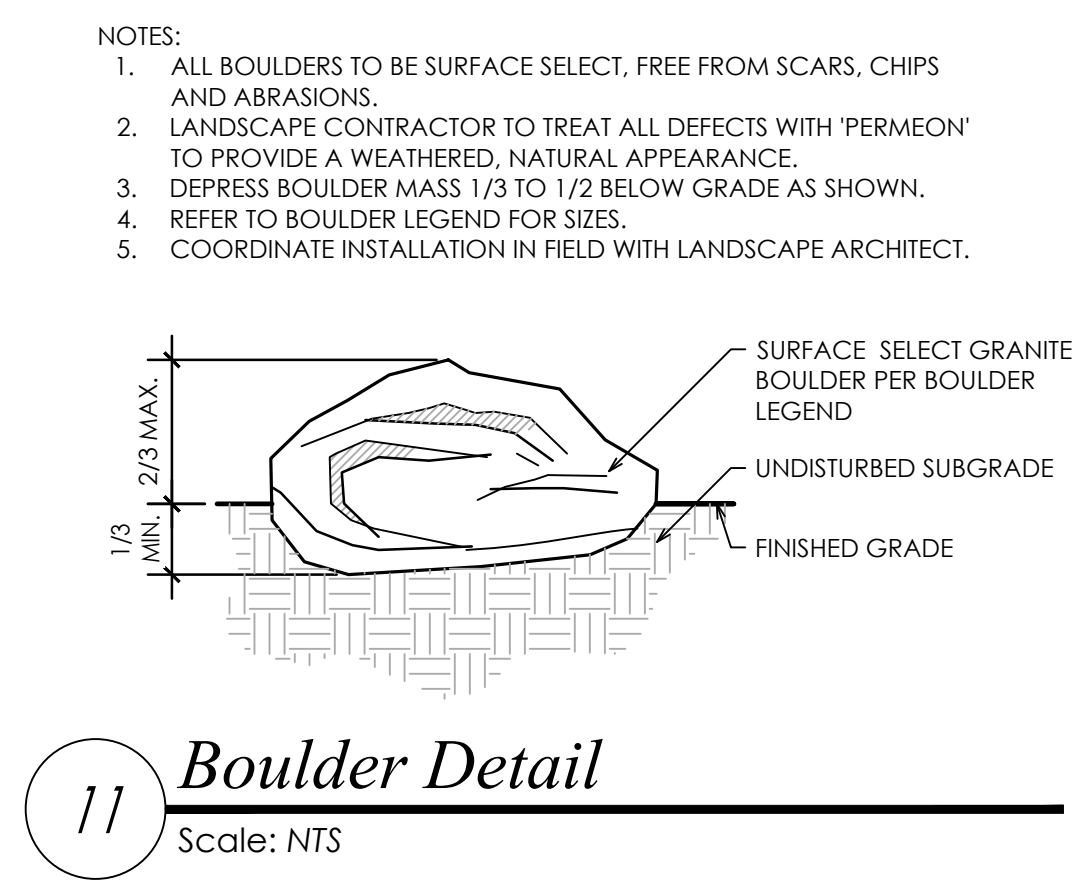
8 **Cactus Planting Detail**  
Scale: NTS



9 **Ocotillo Planting Detail**  
Scale: NTS



10 **Vine Planting Detail**  
Scale: NTS



11 **Boulder Detail**  
Scale: NTS







