

PV SCOTTSDALE HOTEL OWNER SPE LLC

5721 Chelsea Avenue
La Jolla, California 92037

Via email: gburton@paradisevalleyaz.gov

August 15, 2022

Mr. George Burton
Senior Planner
Community Development Department
TOWN OF PARADISE VALLEY
6401 E. Lincoln Drive
Paradise Valley, Arizona 85253

RE: 6041 N. Quail Run Road APN 174-65-004C Proposed Andaz Resort Expansion

Dear Mr. Burton,

On behalf of PV Hotel Venture SPE LLC (the "Applicant"), enclosed please find information and associated documents relative to the proposed expansion of the Andaz Scottsdale Resort & Bungalows (the "Resort") onto a 5 acre parcel adjacent to the southwest corner of the Resort, which land is owned by and affiliate of the Applicant and upon which the Applicant proposes to develop additional residential villa style units which will be included in the Resorts guestroom inventory for rental to Resort guests.

The existing parcel is currently zoned R-43 with a Resort/Country Club General Plan use designation. The Applicant seeks a Special Use Permit to enable the development of additional Resort guestroom inventory.

Following are the key elements of our proposed addition to the Andaz Scottsdale Resort & Bungalows:

- The addition will include 10 residential villa style units which will expand the guestroom options available to Resort guests. Four of these will be 2 bedroom units of approximately 2,150 sq ft each, Five will be 3 bedroom units of approximately 2,600 sq ft each, together with One 4 bedroom unit of just over 4,000 sq ft in size. In addition, we are planning to add a new service / storage / restroom structure of approximately 1,200 square feet adjacent to an existing outdoor event area to provide restrooms, storage and support to service this event area – as well as to provide support service to the proposed new guestroom villas.
- Our plan to develop these luxury residential style units will address increasing demand for luxury residential accommodations in resort settings - both in the Paradise Valley / Scottsdale market and across the country from users that can easily afford but would prefer not to purchase second homes in resort markets due to the cost and time necessary to maintain

second homes on a full-time basis. These units will be included in our normal guest room inventory and will be marketed in a manner similar to our existing 2 bedroom suites. Because of the nature of these units, we believe that they will be attractive to a wide variety of prospective guests – whose length of stay is likely to vary depending on the nature of the guest, time of year and other factors.

- The inclusion of residential style units at Andaz will heighten the level of customers we are able to attract to the Resort. Experience shows us that heightened luxury reduces the number of occupants in guestrooms and results in increased usage of the restaurant/spa/wellness and other Resort amenities.
- Also, short term residential rentals are increasingly creating friction with homeowners in residential neighborhoods. Residential style accommodations at resorts provide higher levels of control and security.
- We have included a summary of similar residential style accommodations at other area resorts.
- The addition of these 10 proposed units will bring the Resort's total guestroom inventory to 195 guestrooms, suites and villas, a total which is less than the 201 units previously approved for the Resort by the Town of Paradise Valley in 2015.
- Each of the new guestroom villa units will include covered carports sized to accommodate 2 vehicles. We have no plans to enclose these carports at any time in the future. Together with covered outdoor patio spaces and the new event service building, the total combined covered areas of all of the new spaces will be 29,400 square feet – approximately 13.44% of the 219,027 sq ft size of the proposed expansion land parcel, bringing the total structure and shade coverage for the entire Resort to 167,899 sq ft – or 14.19% of the total combined Resort land parcels of 1,183,000 sq ft.
- Access to this parcel and the new guestroom units and facilities will be solely from Scottsdale Road through the existing Resort. No direct vehicular or pedestrian access is planned from Quail Run Road, except as may be required for Fire Department access or to comply with other Town of Paradise Valley requirements. In this light, we are not proposing to widen Quail Run Road. Similar to the existing Resort, we are proposing to dedicate the westernmost 25 feet of our property to the Town of Paradise Valley and will plant and maintain the landscape materials on this land.
- These new units will contain no provisions for the lock-off of any portion of any of the units to create additional guestroom keys.
- To provide security and privacy for these new units and mitigate sound and light impact upon surrounding properties, a new eight-foot masonry wall will be constructed on the south

property line of the parcel, similar to that which currently exists on the south property line of the adjacent Resort property to the east. On the west property line, an articulating six-foot tall masonry wall will be constructed along Quail Run Road to match that which currently exists at the western side of the existing Resort.

- The exterior design of these new residential guestroom units will be consistent with the architecture of the existing Resort. All of the new structures will be single story with maximum heights of 14 feet, with the bulk of each of the structures being 12 feet or less in height – with all height measurements taken from the lowest natural grade under each unit. Each new unit will be situated on parcels of approximately ½ acre configured to maximize view corridors and accommodate required rainwater retention areas.
- Air conditioning and other equipment will be located within screened areas adjacent to each unit to keep them from view and control sound to the greatest extent possible. These areas will not be covered and therefore have not been included in the lot coverage calculation.
- Each of these new structures have been placed consistent within setbacks on the west and south sides of the parcel consistent with those for the existing Resort. As a result, none of the new structures will be closer than 100 feet from the south property line or 40 feet from the west property line - after a 25-foot dedication of land on the west side of the property to facilitate the widening of Quail Run Road, should the Town of Paradise Valley approve such widening in the future.
- All site grading, drainage and utilities will be designed to fully integrate into the existing Resort plans and systems.
- Trash generated by these units will be picked up daily by Resort personnel as part of normal housekeeping services.
- The landscape and lighting and signage plans for the expansion area will continue the themes used throughout the existing Resort and will feature the strategic placement of trees and other landscape materials to screen areas and maintain view corridors. No palm trees will be included in landscape plan.
- In addition to this summary, please click on the link below to access the following project related information for the proposed project:

<https://chelseahospitalitypartners.box.com/s/fx3rmz0zjjwfo20z3era6kc58whbkf7k>

- A conceptual site plan including a preliminary landscape plan for the proposed addition, prepared by our Landscape Design Architect, Burton Landscape Architecture Studio.

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- An overall site plan depicting how the proposed addition will integrate with the existing Resort, prepared by our Landscape Design Architect, Burton Landscape Architecture Studio.
- A wall and fence plan showing the height and configuration of the planned walls surrounding the proposed expansion parcel. Note that these will be concrete block walls similar to those which currently exist around the existing Resort.
- A plant palette sheet including a list of plant materials to be used throughout the proposed addition and the Quail Run dedication areas prepared by our Landscape Design Architect, Burton Landscape Architecture Studio. These materials and plan are consistent with that used throughout the existing Resort. A full landscape plan will be provided as part of the materials submitted for Planning Commission review.
- Proposed Villa Floor Plans and Elevations, prepared by our architects, Andrew Rodrigues and Howard Anderson Architecture:
 - 2 Bedroom Unit
 - 3 Bedroom Unit
 - 4 Bedroom Unit
- We have included a summary of similar residential style accommodations at other area resorts.
- Proposed Service Building Floor Plan and Elevations, prepared by our architects, Andrew Rodrigues and Howard Anderson Architecture.
- A preliminary site lighting plan for the proposed addition, including cut sheets for proposed lighting fixtures, prepared by our lighting consultant The Ruzika Company. Note that this plan and proposed fixtures are consistent with those used throughout the existing Resort. A final lighting plan will be provided as part of the materials submitted for Planning Commission review.
- A schematic Site Grading and Drainage Plan, and a Drainage Design memorandum prepared by our Civil Engineer, Hubbard Engineering which integrates with the existing Resort grading and drainage plans. A final site grading and drainage plan will be provided as part of the materials submitted for Planning Commission review.
- Schematic Water and Sewer Utility Plans and related design memorandums prepared by our Civil Engineer, Hubbard Engineering, including locations for connections to the existing Resort utilities. A final utility plan will be provided as part of the materials submitted for Planning Commission review.

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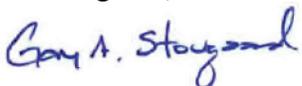
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- An Updated ALTA survey and Legal description of the expansion site, prepared by our Civil Engineer, Hubbard Engineering
- A worksheet summarizing additional and overall Resort structure and shade coverage of the proposed addition and of the overall Resort including the proposed addition reflecting that the combined footprint of the proposed structures and other covered areas will be less than 17%.
- A letter from our Acoustic consultant, MD Acoustics describing the anticipated mitigating impact the construction of the proposed additional structures will have on sound transmission from the existing adjacent Resort event area to neighboring properties on the south and west.
- A traffic impact letter prepared by our traffic consultant, EPS, updated in response to the review comments received from the third-party reviewer engaged by the Town - reflecting the nominal impact the proposed addition will have on trip counts.
- A summary of existing and proposed additional Resort parking.
- Copies of the applicable pages from the signage plan for the existing Resort which we plan for use in the expansion area.

We believe that this proposed addition to the Andaz Scottsdale Resort and Bungalows will enhance our Resort offering - and do so in a manner consistent with the use for this parcel contemplated by the General Land Use plan for the Town of Paradise Valley and with appropriate sensitivity to the neighbors around us.

We look forward to your thoughts and comments about our proposed plan – and to working with the Planning Department staff, the Planning Commission and Town Council to arrive at a plan that will work for everyone.

Best regards,



Gary A. Stougaard

Manager

PV Scottsdale Hotel Owner SPE, LLC

Andaz Scottsdale Resort & Bungalows
Proposed Villa Addition / Total Combined Resort
Structure and Other Covered Areas - Summary

Date Prepared: 8/15/2022

Unit Type	# Units	Villa Unit Size		Sq Ft		Total
		Per Unit	Total	Allow for other Shade Coverage @ 33%		
				Per Unit	Total	
Four Bedroom Villa	1	4,068	4,068	1,342	1,342	5,410
Three Bedroom Villa	5	2,465	12,325	813	4,067	16,392
Two Bedroom Villa	4	2,145	8,580	708	2,831	11,411
Totals - New Villas			24,973	2,864	8,241	33,214
Event / Villa Service Bldg	1	1,200	1,200	396	396	1,596
Totals			26,173	3,260	8,637	34,810

Total Land Area:			
Expansion Parcel Only:			
	Acres	Sq ft / Acre	Total Sq Ft
	5.0282	43,560	219,027
Combined Resort Total:			
	Villa Additon	Existing Resort	Total Combined
	219,027	964,042	1,183,069
Total Resort Land Sq Ft			

Combined Resort Shade Coverage Summary:			
Expansion Parcel:			
Total Expansion Parcel Sq Ft - from above	219,027	Existing Resort per Previous Approvals	See Attached
Allowable Shade Coverage / Sq Ft	25.00%	Total Including Expansion Area	
Total Allowable Sq Ft Shade Coverage	54,757	140,972	195,729
<i>% of Total</i>		14.62%	16.54%
Total Resort Post Expansion:			
Total Actual + Proposed Covered Area	From Above	See Attached	
34,810	34,810	138,466	173,276
<i>% of Total sq ft</i>	15.89%	14.36%	14.65%
% of Total Allowable Shade Coverage / Sq Ft	63.57%	98.22%	88.53%

Andaz Scottsdale Resort & Bungalows
Development Square Footage Summary
September 7, 2015

Updated: 8/15/2022

		Enclosed Structure							
		Shade							
		Planned Sq Ft						Planned sq ft (over)/under Allowable	
Size	Allowable Sq Ft per SUP	Per Unit		# Units	Total		Total		
		Building Footprint	Shade Areas		Building Footprint	Shade Areas			
Total Bungalow Sq Ft per SUP		114,972					99,994	14,978	
Bungalows - By Building Type									
	Bldg 3		2,455	7		17,185			
	Bldg 6		2,782	5		13,910			
	Bldg 7		2,730	7		19,110			
	Bldg 8		3,009	6		18,054			
	Bldg 9		3,009	6		18,054			
	Bldg 10		2,460	3		7,380			
	Presidential Suite F		1,742	1		1,742			
	Presidential Suite G		1,932	1		1,932			
	"Eyebrow" over entry doors				2,627	-	2,627		
New Spa Building		-					6,044	(6,044)	
	New Main Spa Bldg		5,297	1		5,297			
	New Spa Bldg - Shade Areas				747	-	747		
Pool Bar / Equipment / Storage		-					2,756	(2,756)	
	Pool Building - existing	667	667	1		667			
	Pool Bar - existing (shade)	598			598	-	598		
	New Pool Bathrooms		263	1		263			
	Pool Kitchen - addition		27	1		27			
	Pool Equipment - addition		445	1		445			
	Pool Bar Shade - addition				756	-	756		
Main Lobby Building - Per SUP		10,000			1		10,978	(978)	
New Lobby / Restaurant:									
	Lobby / Restaurant / Lounge / Other		9,980	1		9,980			
	Basement @ 10%		9,980	1		998			
Patio Area Per SUP		4,000					3,019	981	
	Arrival Building Outdoor Covered Patio Area				3,019	-	3,019		
Pool Cabanas Per SUP		2,000					2,057	(57)	
	Main Pool		121	7		847			
	Spa Pool Added 2019		121	3		363			
	Guest Rooms		121	7		847			
New Meeting Rooms		-					5,062	(5,062)	
	Meeting Space #1 (incl BOH)		2,340	1		2,340			
	Meeting Space # 2 & 3		800	2		1,600			
	Shade for Meeting Rooms				1,122	-	1,122		
Auxiliary Buildings Per SUP		4,000					1,165	2,835	
	Housekeeping Structures		233	5		1,165			
Fitness Center		-					1,570	(1,570)	
	Fitness		1,275	1		1,275			
	Fitness Shade				295	-	295		
Restrooms Per SUP		1,000					1,191	(191)	
	At Fitness / Lawn (from Fitness above)		580	1		580			
	At Meeting Space Structure (from Tent below)		611	1		611			
Tent Per SUP		5,000					4,630	370	
Convert to Meeting Space Structure									
	Meeting Space		2,216	1		2,216			
	Enclosed Prefunction Space		977	1		977			
	Back of House Space		990	1		990			
	Shade Structure attached				447	-	447		
Totals		140,972				128,855	9,611	138,466	2,506

Andaz Scottsdale Resort & Bungalows
Proposed Villa Expansion
Parking Summary

Prepared by: GAS
 Date Prepared: 8/4/2022

Existing Resort:

Guestroom Keys
 Parking Spaces - Per Actual Count

Proposed Villa Expansion:

Proposed Additional Guestroom Keys
 Parking Requirement / Additional key

1.2 spaces

Post Expansion Totals:

Keys	Parking Spaces	
	Total	per Key
185	278	1.50
10	12	1.20
195	290	1.49

Andaz Scottsdale Resort & Bungalows
Paradise Valley / Scottsdale Area Resorts with Residential Style Inventory

Resort Property	# units	Unit Size sq ft	Number of Bedrooms	Baths	Kitchens	Private pool for each Unit?		Access
						Yes / No	Type	
Sanctuary	8	2,400-5,500	3-6	2-3	Yes	Yes	75% of Units have pools / hot tubs	Resort Adjacent
Four Seasons	6	1,000-3,000	2-3	2-3	No	Yes	Plunge Pools Only	Via Resort
Mountain Shadows	30	1,000-3,000	1-3	1-3	Yes	No	Resort Pool Access Only	Resort Adjacent
Ritz Carlton	81	1,739-3,000	1-3	1-3	Yes	No	Resort Pool Access Only	Via Resort
Fairmont Princess	119	700-850	Studios - 1 Bedroom	2	No	Yes	Separate Shared Pool for Villa Use	Via Resort
Boulders	60	1,400-3,800	1-3	1-3	Yes	Yes	Separate pools Included with large units only	Via Resort
Proposed Andaz Expansion	10	2,100 - 4,100	2-4	2.5 - 4.5	Yes	Yes	Convertible Hot Tub / Cold Plunge	Via Resort

RESORT EXPANSION

ANdAZ SCOTTSDALE RESORT & BUNGALOWS

6014 Quail Run Road, Paradise Valley, Arizona

PROJECT DATA

PROJECT NAME:	Andaz Scottsdale Resort & Bungalows Expansion		
PROPERTY ADDRESS:	6014 Quail Run Road Paradise Valley, AZ 85253		
RESORT ADDRESS:	6114 N. Scottsdale Road Scottsdale, AZ 85253		
A.P.N.:	174-65-004C		
ZONE:	Existing R-43 to Proposed SUP/Resort		
SITE AREA:	5.03 Acre (219,027 SF)		
LOT COVERAGE:	EXISTING ANDAZ RESORT	Structure / Shade	Coverage
	Lot Size	130,918 SF	14.51%
	Proposed Villa Expansion	329,10 SF	18.40%
	UNIT CALCULATIONS:	QUANTITY	AREA
	2-BEDROOM	4	2,145 SF
	3-BEDROOM	5	2,446 SF
	4-BEDROOM VILLA	1	4,068 SF
	SERVICE BUILDING	1	743 SF
PARKING:	EXISTING ANDAZ RESORT	Parking Spaces	Parking Spaces per Key
	Keys	278	1.50
	Proposed Villa Expansion	12	1.20
KEYS:	Parking Spaces	Parking Spaces per Key	
	10	1.20	

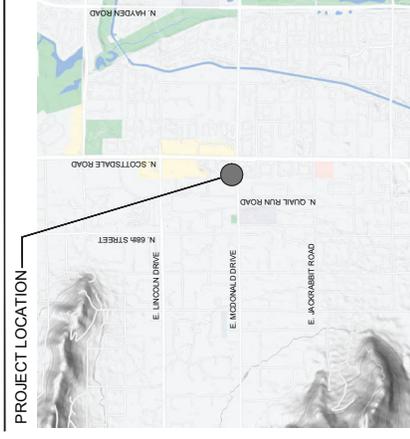
PROJECT TEAM

OWNER:	PV Scottsdale Hotel Owner SPE, LLC 5721 Chelsea Avenue La Jolla, CA 92037	Contact: Gary Shougaard gshougaard@chelespe.com 619.709.4461
LOCAL PROJECT MANAGEMENT:	Blackstone Ror Group	Contact: Travis Keele 480.518.6877
DESIGN & ARCHITECTURE:	M. Andrew Rodrigues Howard Anderson ARCHITECTURE 2194 Carmel Valley Road Del Mar, California 92014	Contact: Andrew Rodrigues mandrewrod@gmail.com Contact: Michael Kummer 619.507.4119
INTERIORS:	EDG Design Hanger 7 7 Hamilton Landing Norco, CA 94640	Contact: Jennifer Johnson 415.847.7086
LANDSCAPE DESIGN:	Buron Landscape Studio 10000 Wilshire Blvd, Suite 400 Solana Beach, CA 92075	Contact: Jebi Harris 858.794.7294
CIVIL ENGINEER:	1202 N. Alma School Rd, Suite 120 Mesa, AZ 85201	Contact: Berni Stoffregen 415.454.2277
TRAFFIC ENGINEER:	ERS 1130 N. Alma School Rd, Suite 120 Mesa, Arizona 85201	Contact: Eric Messko 602.391.3034
CONSTRUCTION CONTRACTOR:	PJM Residential 5725 N. Scottsdale Road, Suite C-20 Scottsdale, Arizona 85250	Contact: David Mueller 602.648.0050

SHEET INDEX

TITLE SHEET
CONCEPTUAL SITE PLAN
OVERALL SITE PLAN
WALL & FENCE PLAN
LANDSCAPE PLANTING PALETTE
2-BEDROOM VILLA PLAN & ELEVATIONS
3-BEDROOM VILLA PLAN & ELEVATIONS
4-BEDROOM VILLA PLAN & ELEVATIONS
SERVICE BUILDING PLAN & ELEVATIONS
SITE LIGHTING PLAN & CALCULATIONS SHEET
LIGHTING FIXTURE CUTSHEETS
CONCEPTUAL GRADING / DRAINAGE PLAN
ALTA / ACSM LAND TITLE SURVEY

VINCINITY MAP





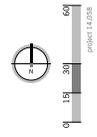
Services Bldg. at Each Unit Garage
 Monument Sign
 Existing Resort Perimeter Road
 Property Line
 Existing Resort Landscape
 Proposed A/C Unit Locations
 Existing Walks to Remain
 Existing Walks to Remain

Guest Parking - (2) Spaces per Unit (Min)
 Shade Trees
 Refer to Architect's Plans
 Perimeter Wall
 Refer to Wall and Fence Plan

20' (min.) to Poles
 North Quail Run Rd.
 95' Quail Run
 R/W Dedication

70' (min.) to Poles
 100' Setback
 65' Setback
 40' Setback
 Existing Property Line
 Proposed Property Line

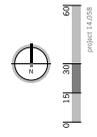
Perimeter Wall
 Refer to Wall and Fence Plan



ANdAZ | Resort Expansion
Conceptual Site Plan
 16 August 2022



ANdAZ | Resort Expansion
Overall Site Plan
16 AUGUST 2022



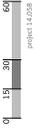


New 6'-0" Wall
Block Wall w/ Stucco Finish

Existing 6'-0" Wall (Add 2'-0")
Block Wall w/ Stucco Finish

ANdAZ | Resort Expansion
Wall and Fence Plan

16 AUGUST 2022



Plant Palette - Andaz Resort

Trees

Botanical name	Common Name
<i>Chilopsis linearis</i> 'AZT Desert Amethyst'	Desert Willow
<i>Citrus speciosus</i> 'Improved Meyer Lemon'	Improved Meyer Lemon
<i>Lysiloma watsunii</i>	Desert Fern
<i>Olea europaea</i> 'Swan Hill'	Olive
<i>Olneya tesota</i>	Desert Ironwood
<i>Parkinsonia</i> x 'Desert Museum'	No Common Name
<i>Prosopis glandulosa</i>	Honey Mesquite
<i>Thevetia</i> species	Thevetia

Vines and Espallers

Botanical name	Common Name
<i>Bougainvillea</i> species	No Common Name
<i>Gelsemium sempervirens</i>	Carolina Jessamine
<i>Macleodora unguis-cati</i>	Cat's Claw

Plant Palette - Quail Run Sonoran Desert Legend

(Plant Palette for Quail Run to match species from the original installation)

Trees

Botanical name	Common Name
<i>Olneya tesota</i>	Ironwood
<i>Parkinsonia floridum</i> ++	Blue Palo Verde
<i>Prosopis glandulosa</i>	Honey Mesquite

Notes:

Planting will be irrigated using high efficiency in-line drip where appropriate. Turf areas will use matched precipitation spray heads or rotors. The system will be centrally controlled with weather-based smart controllers with rain and flow sensing.

Cactus and Succulents

Botanical name	Common Name
<i>Agave americana</i>	Century Plant
<i>Agave 'Blue Glow'</i>	Blue Glow Agave
<i>Agave desmettiana</i> 'Yanigagar'	Yanigagar Smooth Agave
<i>Aloe vera</i>	Medicinal Aloe
<i>Carnegiea gigantea</i>	Saguaro
<i>Cereus</i> species	No Common Name
<i>Dasylistron wheeleri</i>	Desert Spoon
<i>Echinocactus grusonii</i>	Golden Barrel Cactus
<i>Euphorbia rigida</i>	Yellow Spurge
<i>Fouquieria splendens</i>	Occotillo
<i>Hesperaloe parviflora</i>	Red Yucca
<i>Opuntia ficus-indica</i>	Prickly Pear
<i>Opuntia santa-rita</i>	Purple Prickly Pear
<i>Pediobatus macrocarpus</i>	Slipper Plant
<i>Portulacaria afra</i>	Elephant's Foot

Groundcover

Botanical name	Common Name
<i>Dalea capitata</i> 'Sierra Gold'	Sierra Gold Dalea
<i>Dalea greggii</i>	Trailing Indigo Bush
<i>Lantana camara</i> 'Radiation'	Radiation Bush Lantana
<i>Lantana montevidensis</i>	Trailing Lantana
<i>Lantana</i> x 'New Gold'	New Gold Lantana
<i>Sphaeralcea trilobata</i>	Creeching Daisy

Cactus and Succulents

Botanical name	Common Name
<i>Hesperoyucca whipplei</i>	Football Yucca
<i>Opuntia ficus-indica</i>	Prickly Pear

Additional Note:

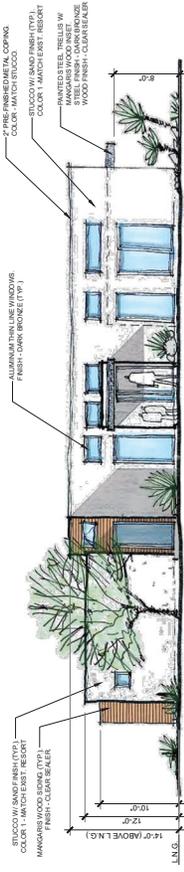
See Conceptual Site Plan for Preliminary Landscape Layout

Shrubs

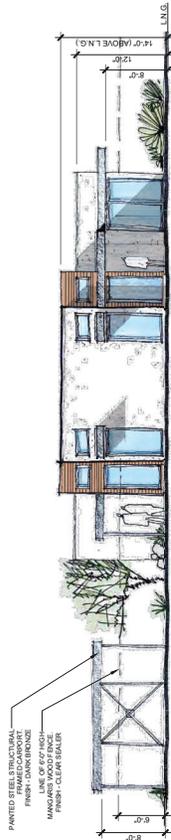
Botanical name	Common Name
<i>Blechnis salicifolia</i> (male)	Mullein
<i>Baileya multiradiata</i>	Desert Marigold
<i>Bougainvillea</i> 'Barbara Kusst'	Barbara Kusst Bougainvillea
<i>Bougainvillea</i> 'La Jolla'	La Jolla Bougainvillea
<i>Caesalpinia pulcherrima</i>	Red Bird of Paradise
<i>Carissa macrocarpa</i> 'Green Carpet'	Natal Plum
<i>Citrus 'Sour Orange'</i>	Sour Orange
<i>Dalea frutescens</i> 'Sierra Negra'	Black Dalea
<i>Dryosola acaesa</i>	Shrubby Dogweed
<i>Eriocolla farinosa</i>	Brittlebush
<i>Eriostyche maculata</i> 'Valentine'	Spotted Emu Bush
<i>Ficus microcarpa nitida</i>	Indian Laurel Fig
<i>Justicia spicigera</i>	Mexican Honeycucule
<i>Lantana</i> x 'Dallas Red'	Dallas Red Lantana
<i>Laurea tridentata</i>	Cresote Bush
<i>Leucophyllum frutescens</i> 'Green Cloud'	Texas Ranger
<i>Muhlenbergia capillaris</i> 'Regal Wig'	Pink Muhly
<i>Myrtus communis</i>	Myrtle
<i>Neelum oleander</i>	Oleander
<i>Penstemon exoniifolius</i>	Firecracker Penstemon
<i>Penstemon parryi</i>	Parry's Penstemon
<i>Rosmarinus officinalis</i>	Rosemary
<i>Ruellia brittoniana</i> 'Katie'	Dwarf Katie Ruellia
<i>Salvia greggii</i>	Autumn Sage
<i>Senna artemisioides</i>	Feathery Cassia
<i>Tecoma capensis</i>	Cape Honeycucule
<i>Tecoma</i> x 'Crimson Flame'	Crimson Flame Esperanza
<i>Tetraneris acutifolia</i>	Angelita Daisy
<i>Thevetia nerifolia</i>	Yellow Oleander

Shrubs

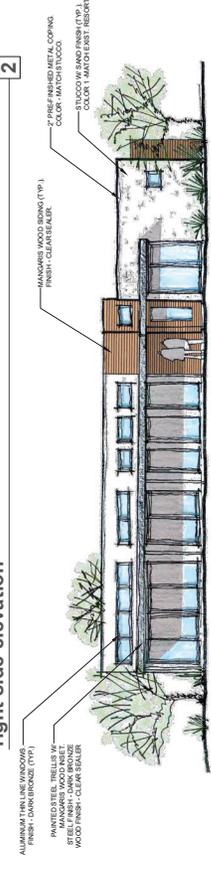
Botanical name	Common Name
<i>Baileya multiradiata</i>	Desert Marigold
<i>Dryosola acaesa</i>	Shrubby Dogweed
<i>Eriocolla farinosa</i>	Brittlebush
<i>Eriostyche maculata</i>	Turpentine Bush
<i>Laurea tridentata</i>	Cresote Bush
<i>Tetraneris acutifolia</i>	Angelita Daisy



front elevation (entry)



right side elevation



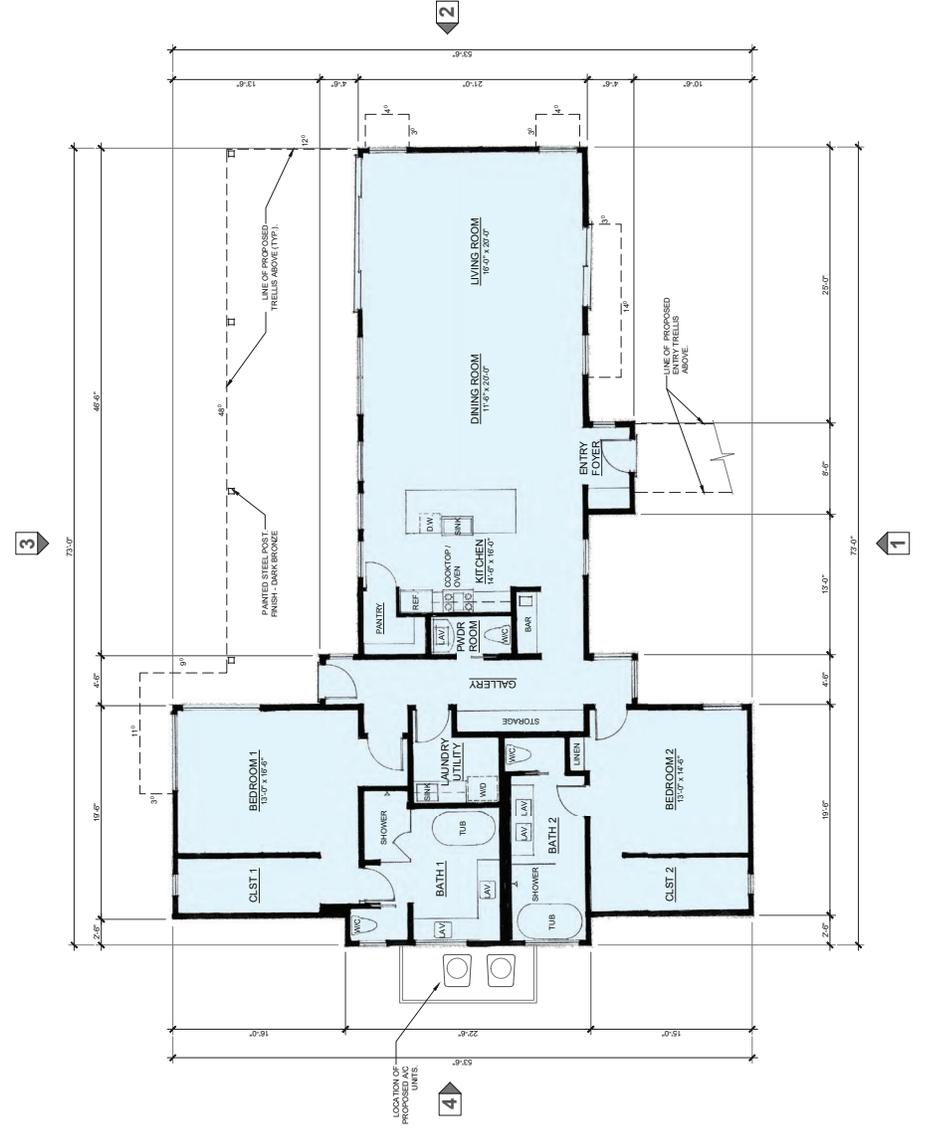
rear elevation



left side elevation

Exterior Elevations

NOTE: BUILDING HEIGHTS SHOWN ARE MEASURED FROM LOWEST NATURAL GRADE (L.N.G.), TYP.



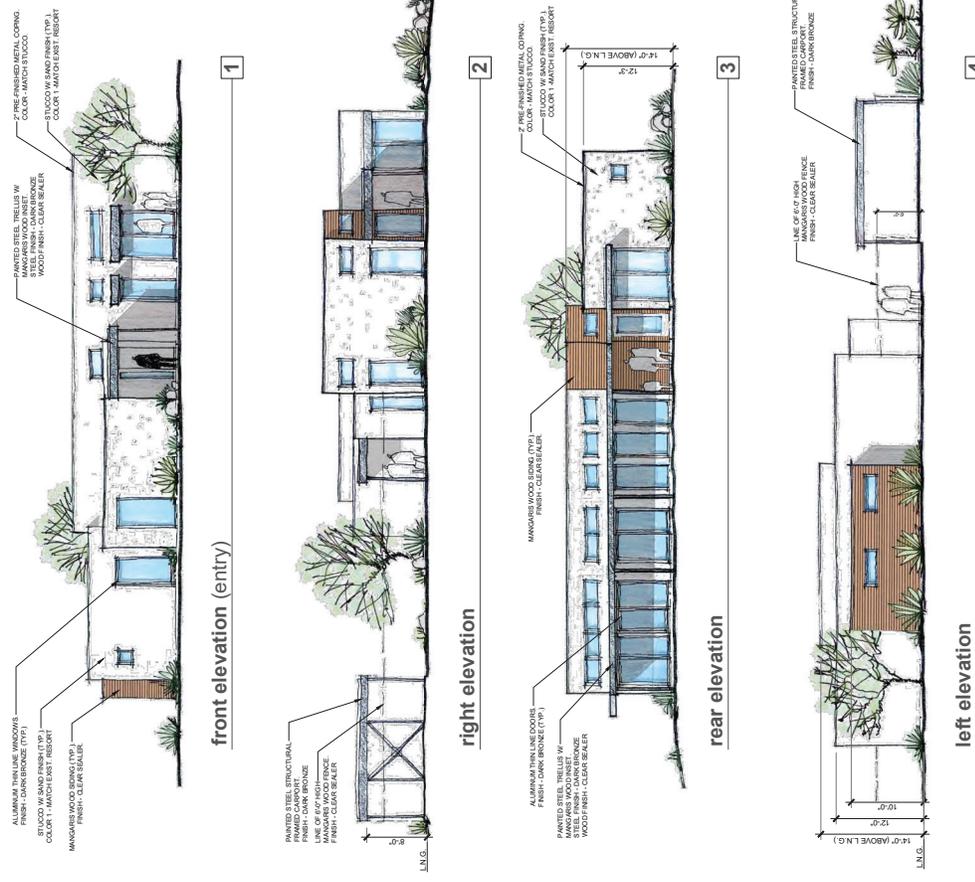
Floor Plan

2,145 SF



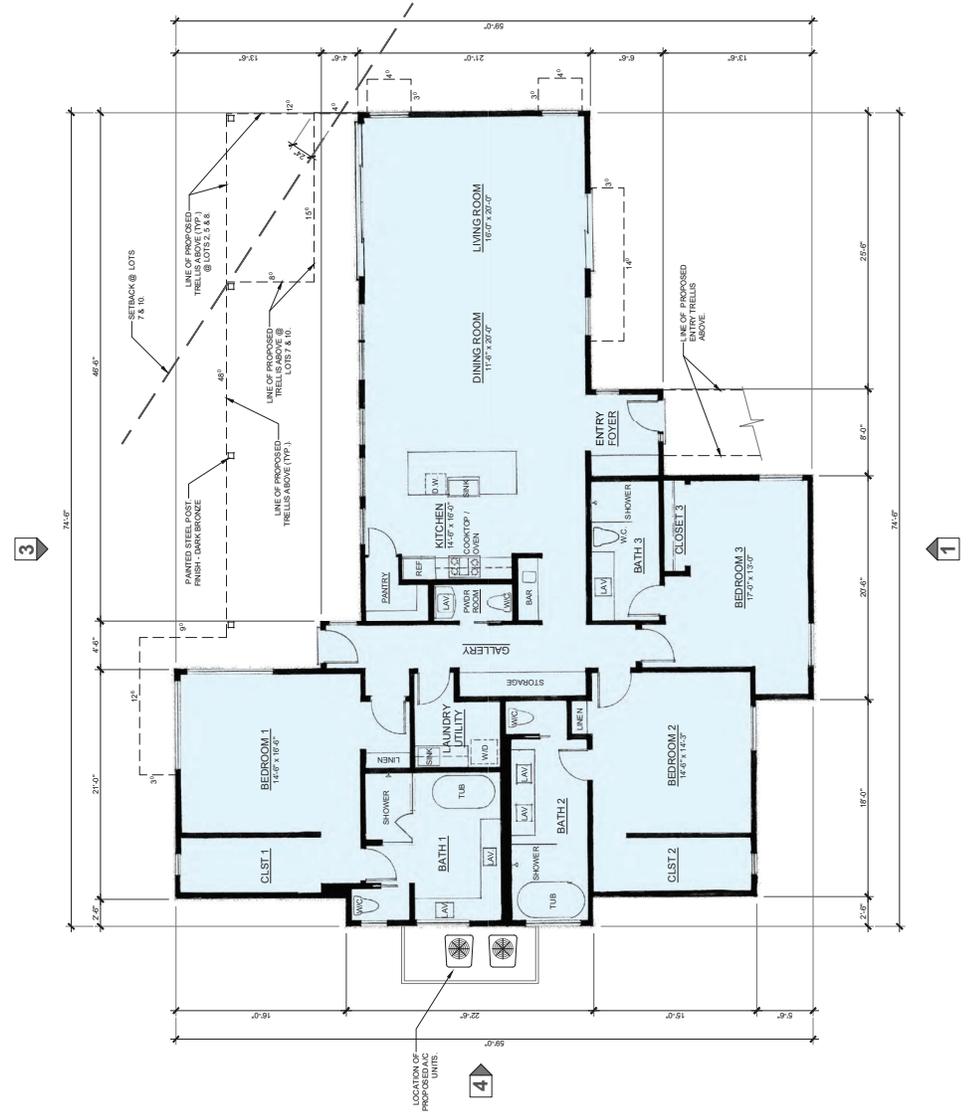
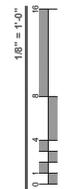
TWO BEDROOM VILLA





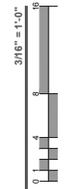
Exterior Elevations

NOTE: BUILDING HEIGHTS SHOWN ARE MEASURED FROM LOWEST NATURAL GRADE (L.N.G.), TYP.



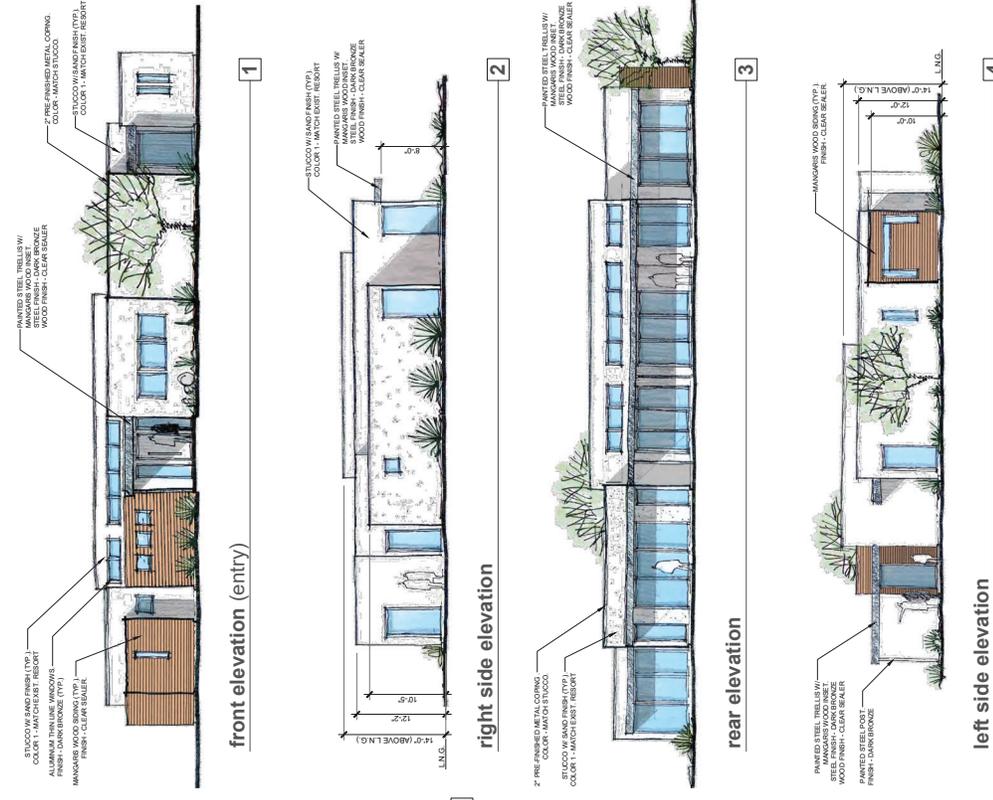
Floor Plan

2,446 SF



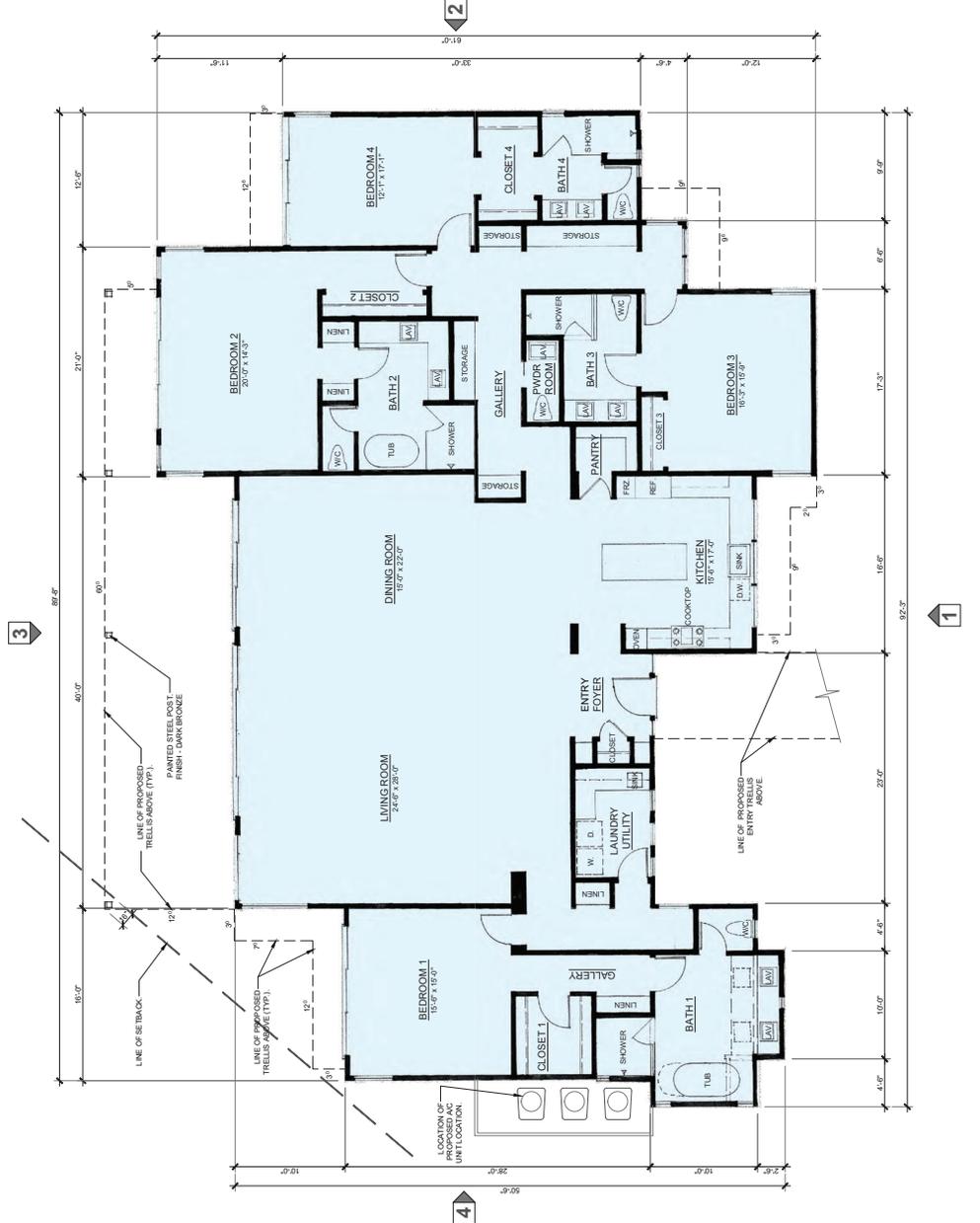
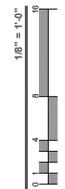
THREE BEDROOM VILLA





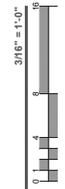
Exterior Elevations

NOTE: BUILDING HEIGHTS SHOWN ARE MEASURED FROM LOWEST NATURAL GRADE (L.N.G.), TYP.



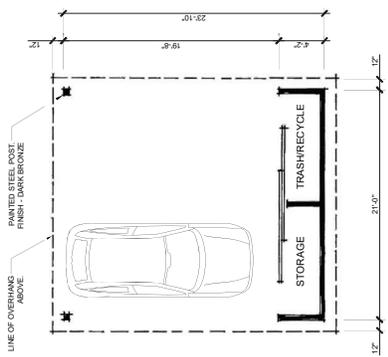
Floor Plan

4,068 SF

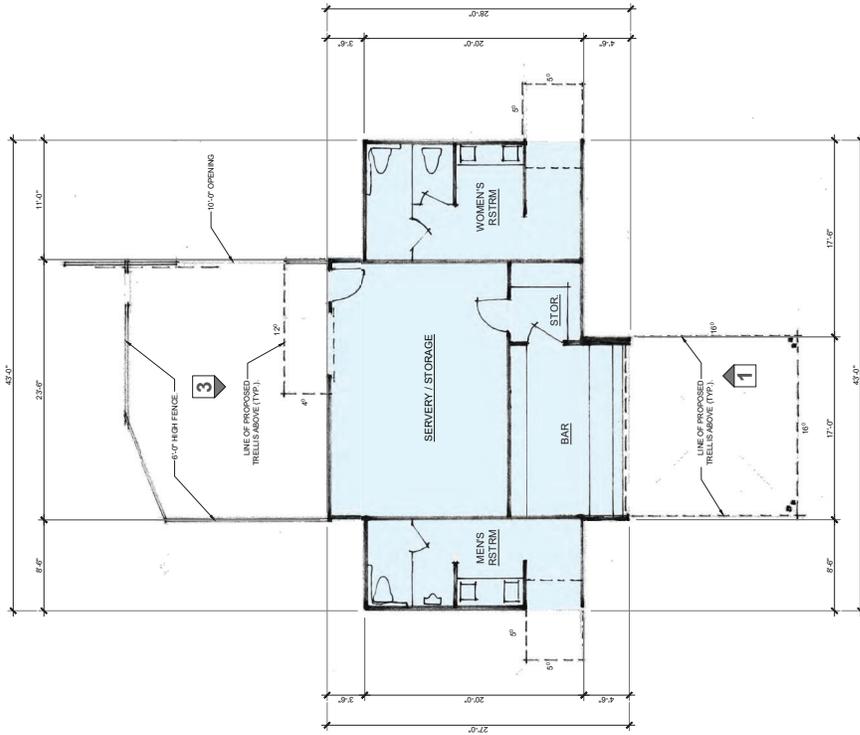
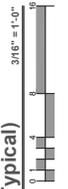


FOUR BEDROOM VILLA

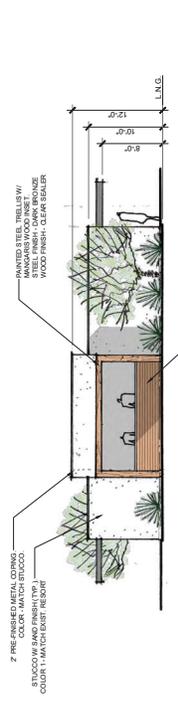
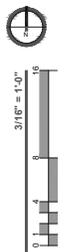




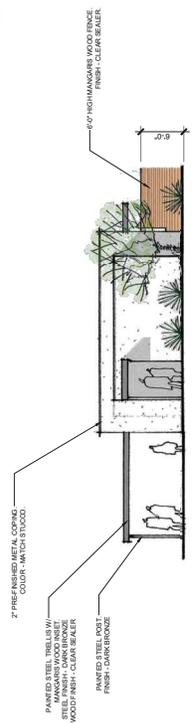
Carpport Plan (Typical)



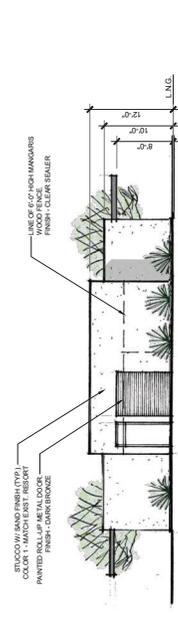
Floor Plan
743 SF



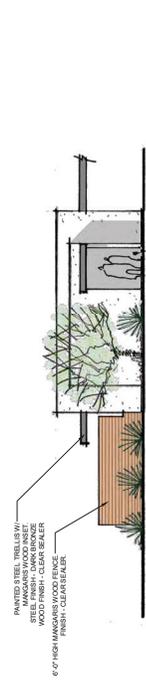
front elevation (entry)



right side elevation



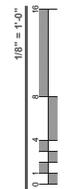
rear elevation



left side elevation

Exterior Elevations

NOTE: BUILDING HEIGHTS SHOWN ARE MEASURED FROM LOWEST NATURAL GRADE (L.N.G.), TYP.



SERVICE BUILDING



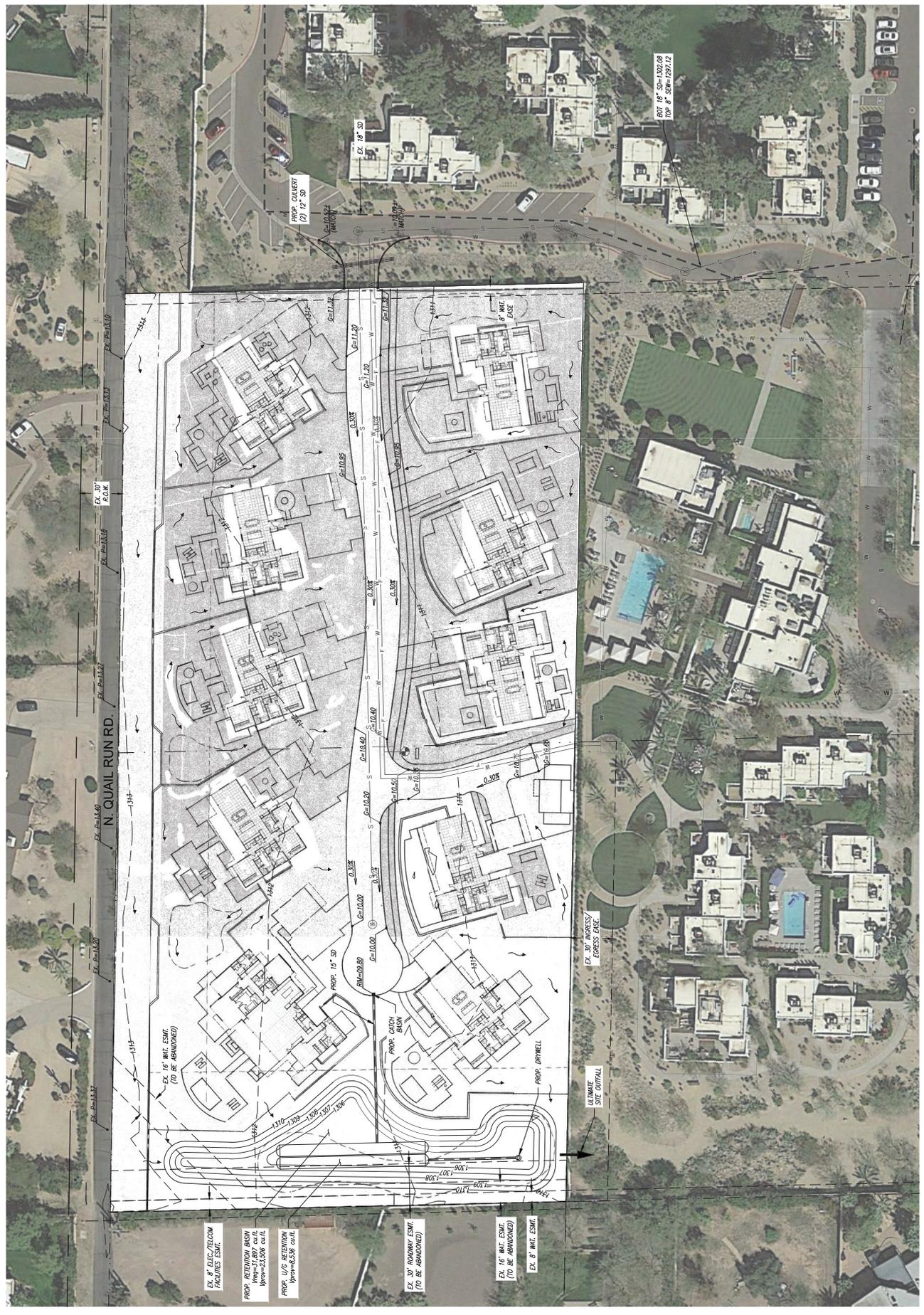
RUKA RUKA CONSULTANTS 15000 150th Street, Suite 100 Crestline, Colorado 81629 Tel: 970.233.8199 Fax: 970.233.8198 www.ruka.com	ANDAZ EXPANSION COUNTY REVIEW	AA2
DESCRIPTION MANUFACTURE PRODUCT CODE LED REPAIR ACCENT SINK AND DRAIN FIELD ACCESSORIES: TOILET POWER POZ	MANUFACTURE PRODUCT CODE	DATE 04/22
LOCATION KANGAROO	POWER MISCAL	MIN. DRAWING N/COM
MOORING SALE	CONTROL ELECTRONIC	TOILET WATS 1.5
FINISH BRONZE	NOTE	INPUT WATS 1.5

RUKA RUKA CONSULTANTS 15000 150th Street, Suite 100 Crestline, Colorado 81629 Tel: 970.233.8199 Fax: 970.233.8198 www.ruka.com	ANDAZ EXPANSION COUNTY REVIEW	AA2
DESCRIPTION MANUFACTURE PRODUCT CODE LED REPAIR ACCENT SINK AND DRAIN FIELD ACCESSORIES: TOILET POWER POZ	MANUFACTURE PRODUCT CODE	DATE 04/22
LOCATION KANGAROO	POWER MISCAL	MIN. DRAWING N/COM
MOORING SALE	CONTROL ELECTRONIC	TOILET WATS 1.5
FINISH BRONZE	NOTE	INPUT WATS 1.5

RUKA RUKA CONSULTANTS 15000 150th Street, Suite 100 Crestline, Colorado 81629 Tel: 970.233.8199 Fax: 970.233.8198 www.ruka.com	ANDAZ EXPANSION COUNTY REVIEW	BB1A
DESCRIPTION MANUFACTURE PRODUCT CODE LED REPAIR ACCENT SINK AND DRAIN FIELD ACCESSORIES: TOILET POWER POZ	MANUFACTURE PRODUCT CODE	DATE 04/22
LOCATION KANGAROO	POWER MISCAL	MIN. DRAWING N/COM
MOORING CONCRETE PAD	CONTROL ELECTRONIC	TOILET WATS 1.5
FINISH BRONZE	NOTE	INPUT WATS 1.5

RUKA RUKA CONSULTANTS 15000 150th Street, Suite 100 Crestline, Colorado 81629 Tel: 970.233.8199 Fax: 970.233.8198 www.ruka.com	ANDAZ EXPANSION COUNTY REVIEW	BB1A
DESCRIPTION MANUFACTURE PRODUCT CODE LED REPAIR ACCENT SINK AND DRAIN FIELD ACCESSORIES: TOILET POWER POZ	MANUFACTURE PRODUCT CODE	DATE 04/22
LOCATION KANGAROO	POWER MISCAL	MIN. DRAWING N/COM
MOORING CONCRETE PAD	CONTROL ELECTRONIC	TOILET WATS 1.5
FINISH BRONZE	NOTE	INPUT WATS 1.5

RUKA RUKA CONSULTANTS 15000 150th Street, Suite 100 Crestline, Colorado 81629 Tel: 970.233.8199 Fax: 970.233.8198 www.ruka.com	ANDAZ EXPANSION COUNTY REVIEW	BB1A
DESCRIPTION MANUFACTURE PRODUCT CODE LED REPAIR ACCENT SINK AND DRAIN FIELD ACCESSORIES: TOILET POWER POZ	MANUFACTURE PRODUCT CODE	DATE 04/22
LOCATION KANGAROO	POWER MISCAL	MIN. DRAWING N/COM
MOORING CONCRETE PAD	CONTROL ELECTRONIC	TOILET WATS 1.5
FINISH BRONZE	NOTE	INPUT WATS 1.5



EX. 16" MIT. ESM. (TO BE ABANDONED)

PROP. RETENTION BASIN
 1000=11.897' w/f
 1000=12.508' w/f

PROP. 1/2" RETENTION
 1000=12.508' w/f

EX. 30" ROADWAY ESM. (TO BE ABANDONED)

EX. 16" MIT. ESM. (TO BE ABANDONED)

EX. 8" MIT. ESM.

PROP. CATCH BASIN

PROP. DRAINAGE

UTIMATE SITE CONTROL

EX. 30" ACCESS EGRESS EASE

EX. 18" 50'

N. QUAIL RUN RD.

EX. 30" R.O.W.

EX. 18" 50'

ANDAZ

SIGN PACKAGE
PREPARED BY:



1205 N. Keller Road
Abilene, TX 79605
800.946.6565 / 800.536.6688 (t)
sign@airparkgroup.com

ELECTRICAL ROOM
G114

STUDIO UTILITY
B103

STUDIO KITCHEN
B106

MECHANICAL ROOM
QTY: 4
C100 / C105 / C110 / C112

DRY STORAGE
F100

TURQUOISE KITCHEN
F106C / F106A
QTY: 2
Scale: 3" = 1'-0"

ENGINEERING SHOP
G001A

AUDIO VISUAL
G114

LOOM KITCHEN
C108

ANDAZ STAFF
G004B AT BASE OF STAIR

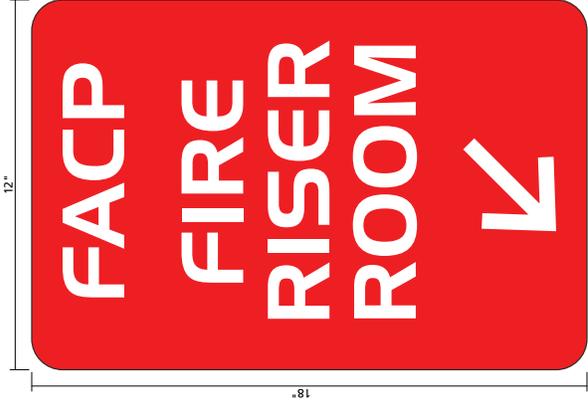
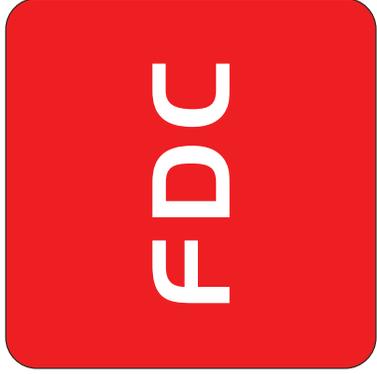
SHIPPING & RECEIVING
A110
Scale: 3" = 1'-0"

MECHANICAL EQUIPMENT ROOM
F103

HOUSEKEEPING
QTY: 5

HOUSEKEEPING
QTY: 5

ICE/WATER
QTY: 5



CODE SIGNAGE
Scale: 3" = 1'-0"



Gregory W. Williams, owner / designer
7150 East Rose Lane, Paradise Valley, Arizona
480.946.6565 / 480.946.6668
sign@airparksign.com

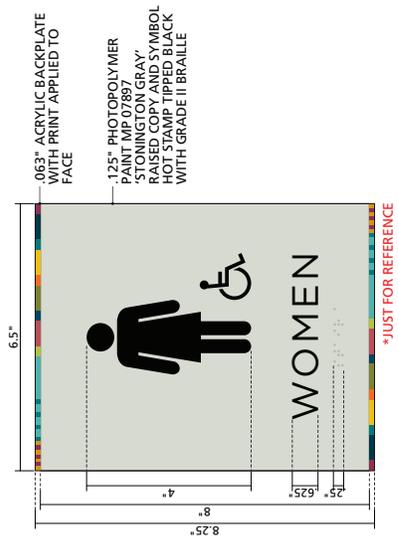
ANDAZ
7150 East Rose Lane, Paradise Valley, Arizona

NOTES:
Revised 08/25/16 - clk
Approved By: _____
Date: _____

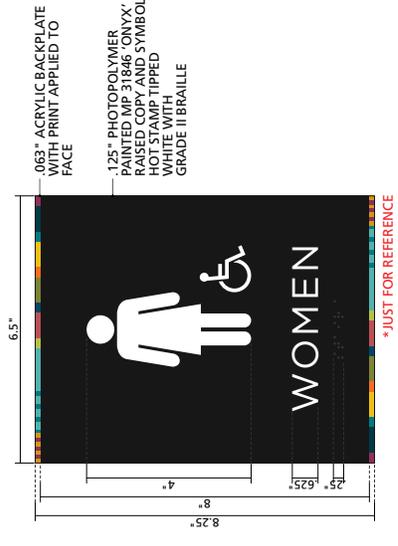
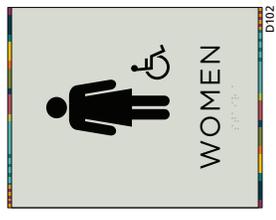
ab
gw

Andaz
Exterior Room ID 060116
06-01-16
1 / 1
PAGE

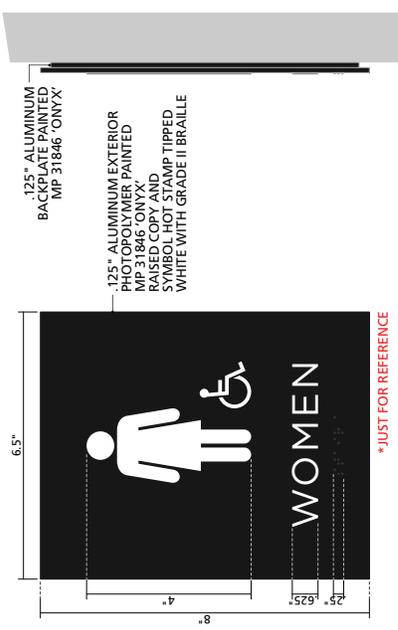
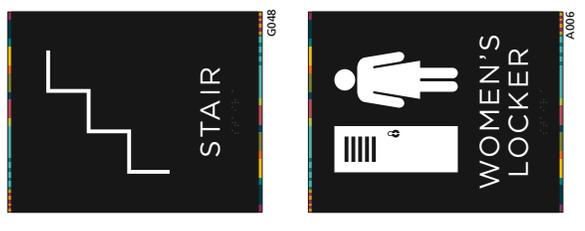
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FOH RESTROOM ID
scale: 4" = 1'-0"



BOH RESTROOM / STAIR ID
scale: 4" = 1'-0"



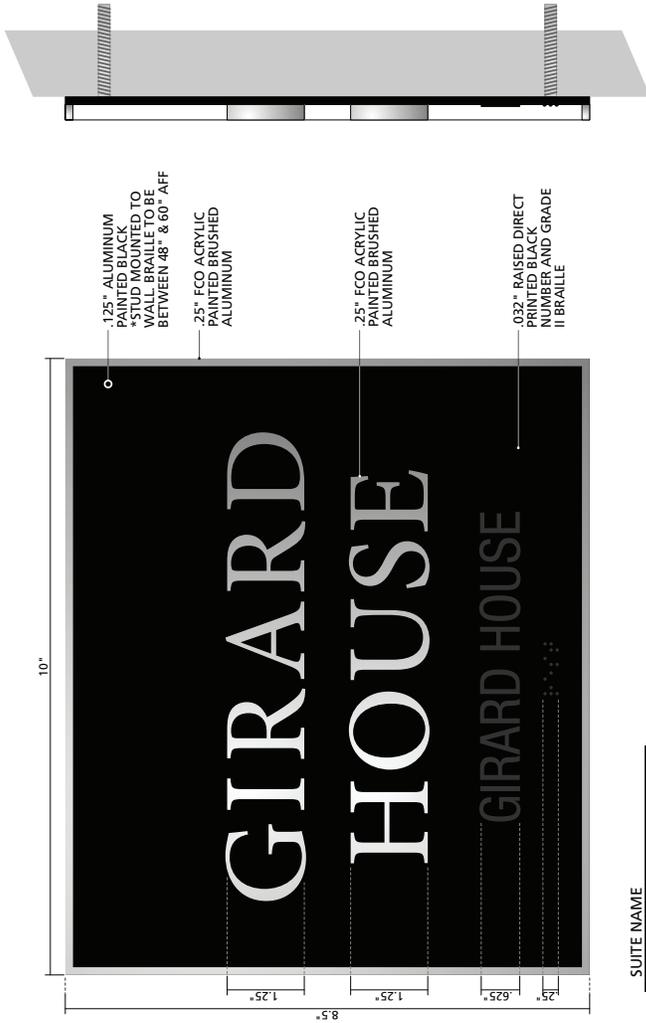
EXTERIOR RESTROOM
scale: 4" = 1'-0"



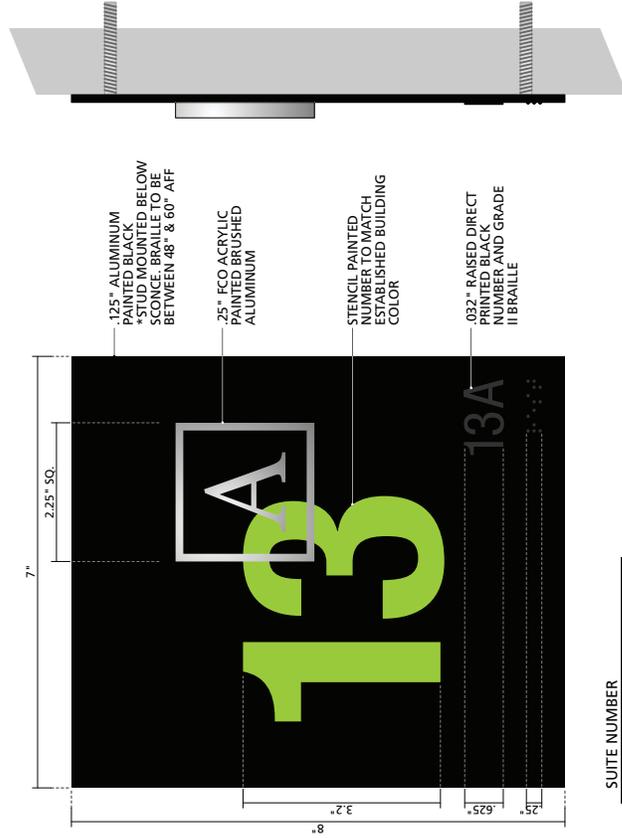
Andaz
7150 East Rose Lane, Paradise Valley, Arizona

NOTES:
Revised 08/25/16 - cjk
Approved By: _____ Date: _____

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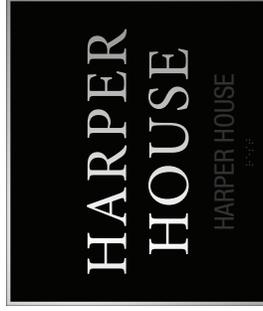
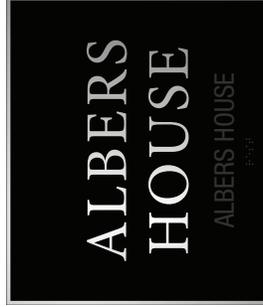
SUITE NUMBER _____
 scale: 6" = 1'-0"



SUITE NUMBER _____
 scale: 6" = 1'-0"



scale: 3" = 1'-0"



Gregory W. Wills, owner / designer
 7150 East Rose Lane, Paradise Valley, Arizona
 480.946.6665 / 480.946.6668 (t)
 sign@airparksign.com

ANDAZ

7150 East Rose Lane, Paradise Valley, Arizona

NOTES: Updated 06/07/16 ab

Approved By: _____ Date: _____

trc
 gw

05-04-16

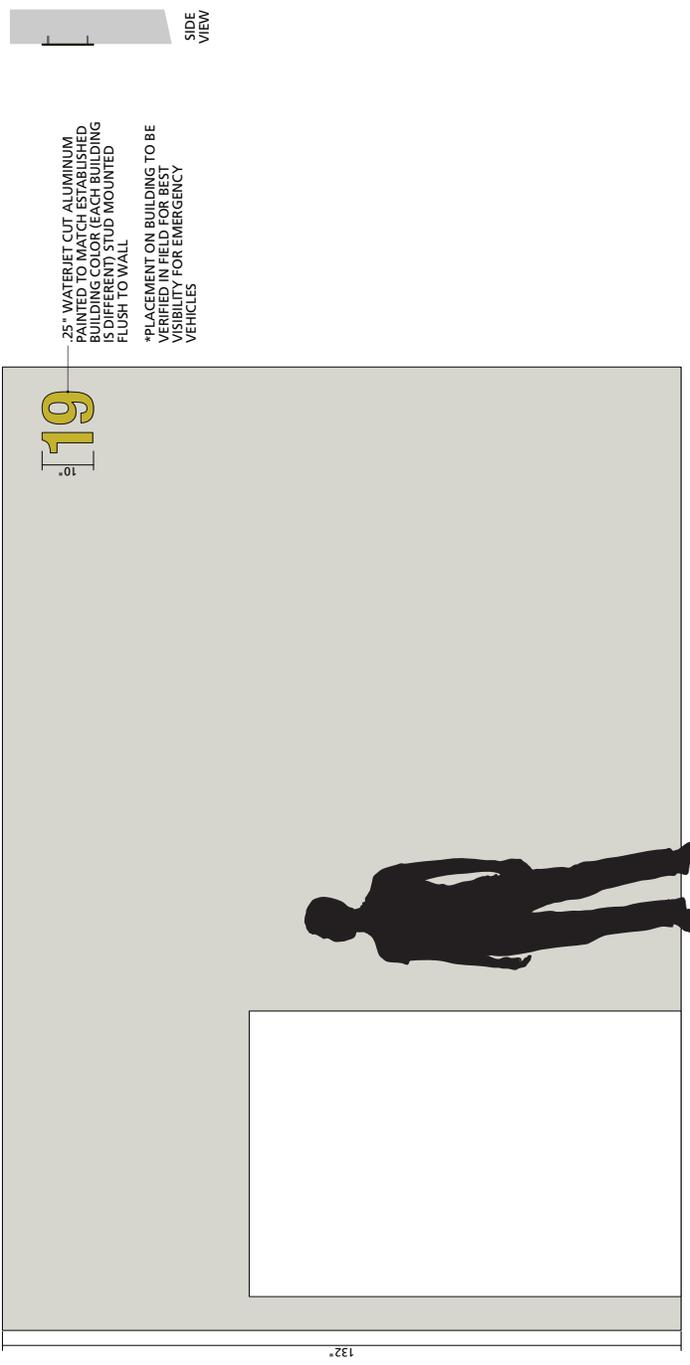
Andaz

Suite Signage 050416

1 / 1

PAGE

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-25" WATERJET CUT ALUMINUM
PAINTED TO MATCH ESTABLISHED
BUILDING COLOR (EACH BUILDING
IS DIFFERENT) STUD MOUNTED
FLUSH TO WALL

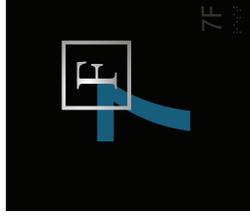
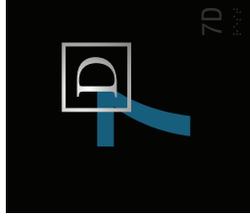
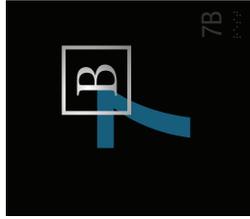
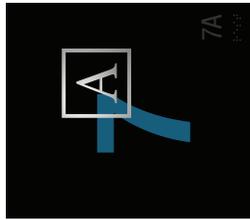
*PLACEMENT ON BUILDING TO BE
VERIFIED IN FIELD FOR BEST
VISIBILITY FOR EMERGENCY
VEHICLES

SIDE
VIEW

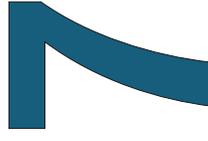
BUILDING ADDRESSING
Scale: 5" = 1'-0"

 <p>Gregory W. Little, owner / designer 7150 East Rose Lane Tempe, AZ 85281 480.966.6565 / 480.966.5668 sign@airparkign.com</p>	<p>NOTES:</p> <p>Approved By: _____ Date: _____</p>	<p>trc</p>	<p>Andaz</p>	<p>05-04-16</p>
		<p>gw</p>	<p>Suite Signage 050416</p>	<p>1 / 1</p>

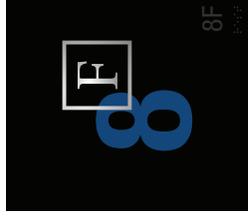
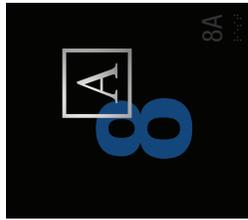
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CASITA 7 | IMP 00017 MONSERRAT BLUE
scale: 3" = 1'-0"



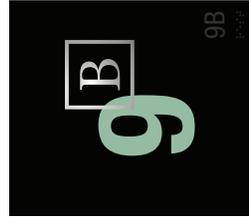
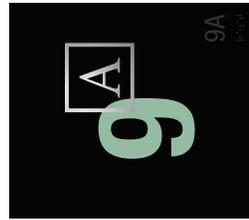
BLDG. # | IMP 00017 MONSERRAT BLUE
scale: 2" = 1'-0"



CASITA 8 | IMP 09460 BLUE COLLAR
scale: 3" = 1'-0"



BLDG. # | IMP 09460 BLUE COLLAR
scale: 2" = 1'-0"



CASITA 9 | IMP 13831 GREENFOAM
scale: 3" = 1'-0"



BLDGING # | IMP 13831 GREENFOAM
scale: 2" = 1'-0"



Gregory Wills, owner / designer
7150 East Rose Lane, Paradise Valley, Arizona
480.946.6565 / 480.946.5668 (t)
sign@airparksigns.com

ANDAZ

7150 East Rose Lane, Paradise Valley, Arizona

NOTES:

ab
gw

Date: _____

Approved By: _____

Andaz

Suite Signage 050416

06-06-16
3 / 12
PAGE

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NUMBERS TO ALIGN WITH BEAM

LOCATION ELEVATION



.25" THICK FLAT CUT OUT ALUMINUM ADDRESS NUMBERS. PAINTED MP 31846 'ONYX' AND STUD MOUNTED FLUSH.

BUILDING MOUNTED ADDRESS NUMBERS
scale: 2" = 1'-0"

29"

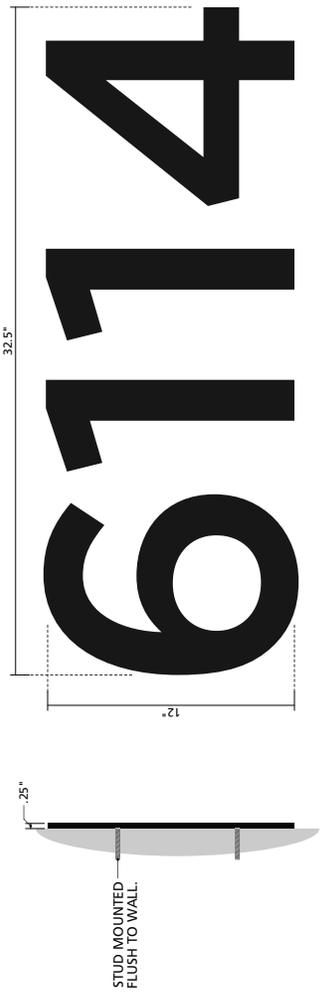
.25"

STUD MOUNTED FLUSH TO WALL.

12"

29"

7150



.25" THICK FLAT CUT OUT ALUMINUM ADDRESS NUMBERS. PAINTED MP 31846 'ONYX' AND STUD MOUNTED FLUSH.

BUILDING MOUNTED ADDRESS NUMBERS
scale: 2" = 1'-0"

.25"

STUD MOUNTED FLUSH TO WALL.

12"

32.5"

6114

Gregory W. Williams, owner / designer
Gregory Williams & Associates
Tempe, AZ 85281
480.966.6565 / 480.966.5668
gwilliams@airparksigns.com

ANDAZ
Scottsdale, Arizona

NOTES: Updated 01/07/16 ab, Revised 08/25/16 -ck, Updated paint color 09/01/16 ab

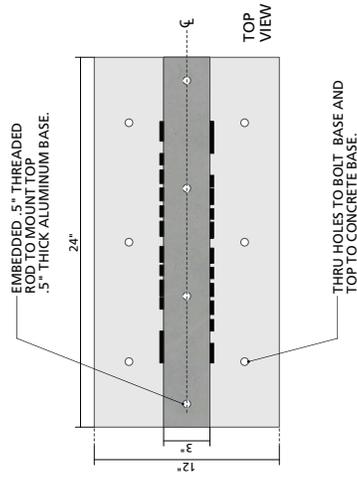
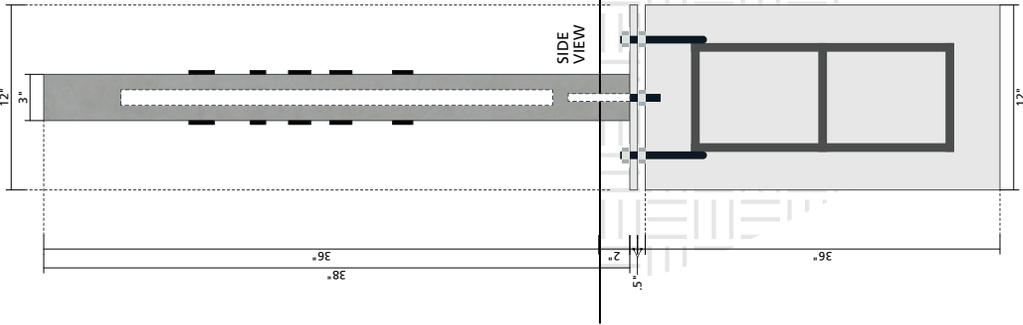
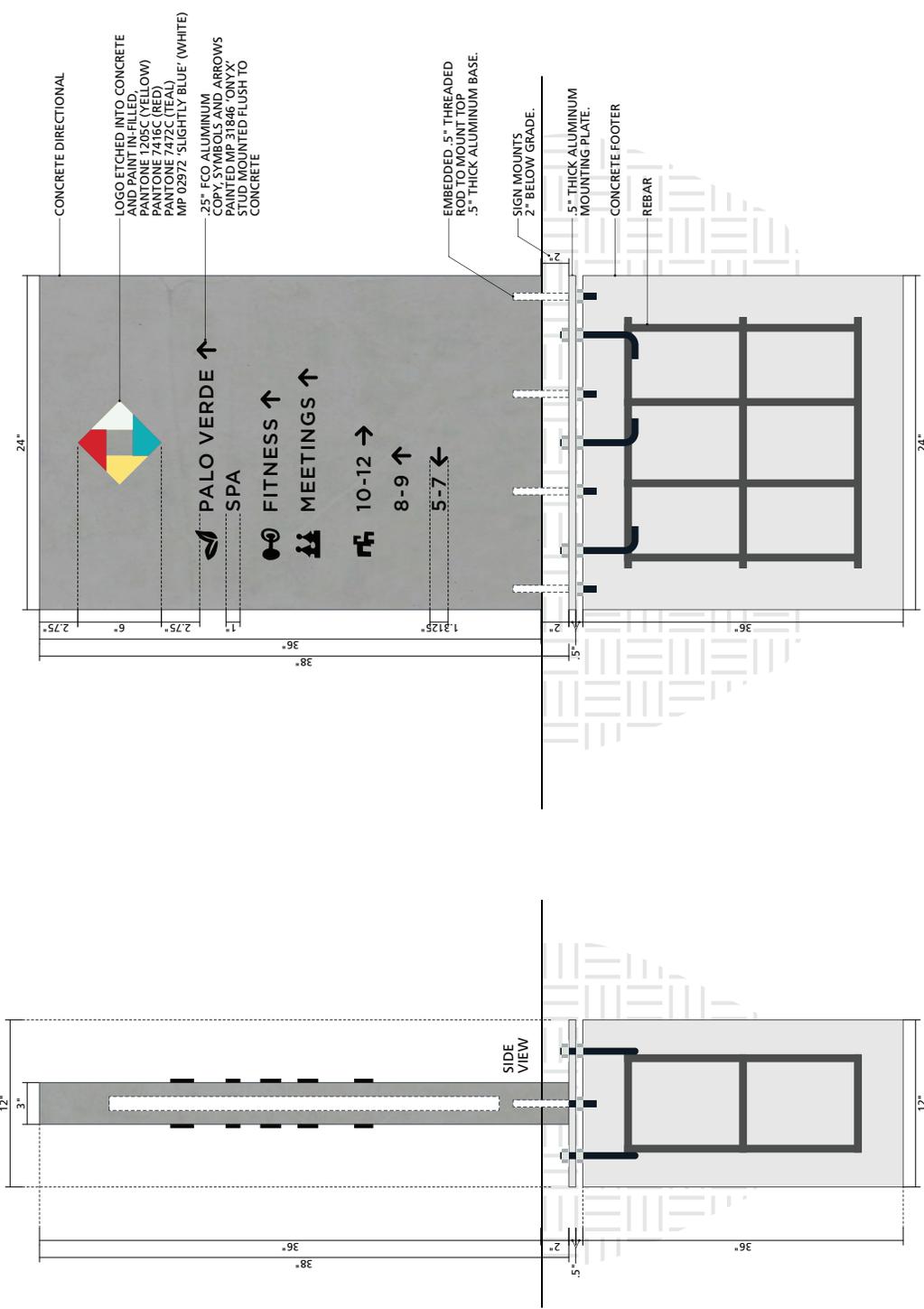
trc
gw

Andaz
Address Numbers 071416

09-01-16
1 / 1
PAGE



Approved By: _____ Date: _____
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CONCRETE DIRECTIONAL FOOTING
 scale: 1.5" = 1'-0"

 Gretchen Wille, owner / designer 480.946.5668 / 480.946.5668 (I) sign@airparkign.com	ANDAZ Scottsdale, Arizona	NOTES: Updated paint color 09/01/16 ab Approved By: _____ Date: _____	trc	Andaz	06-21-16
			gw	Pedestrian Monument	1 / 1

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20"

POOL RULES

ANdAZ

- Warning - NO LIFEGUARD ON DUTY. Swim at your own risk.
- An illustrated diagram of artificial respiration procedures and a telephone is located at the... (location TBD)
- In the event of an emergency dial 5000.
- Persons with sore or inflamed eyes, colds, nasal or ear discharges, boils or other acute or obvious skin or body infections, or cuts shall be excluded from the pool.
- No glass allowed within the pool area.
- No animals allowed except for service animals.
- No drinks, candy, tobacco, popcorn, gum, alcohol, or food of any kind shall be permitted in the pool.
- Keep gate(s) closed - do not prop open.
- Shower and use the toilet before entering the pool.
- If incontinent, wear tight fitting rubber or plastic pants or a swim diaper.
- Hours of pool operation are from 6 a.m. to 11 p.m.
- Pool is for use by Registered Hotel Guests Only.
- Children under the age of 14 should not use pool without an adult in attendance.
- Pool depth is TBD feet.
- No running, horseplay or ball playing allowed.
- Electrical appliances or radios are not permitted in the pool area.
- Do not leave valuables unattended at poolside.
- Hotel is not responsible for loss, damage, or theft of such items.
- Maximum pool occupancy is 000
- Observe all safety regulations.

24"

QTY: 2

.125" ALUMINUM PANEL PAINTED MP 31846 'ONYX'
WITH WHITE SILK SCREEN COPY AND PRINTED VINYL
LOGO ON FACE

POOL RULES
scale: 1" = 1'-0"

20"

**CAUTION
SHALLOW
WATER
NO DIVING**

4"

24"

QTY: 2

.125" ALUMINUM PANEL PAINTED MP 31846 'ONYX'
WITH WHITE SILK SCREEN COPY



Greg N. Wille, owner / designer
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sign@airparksigns.com



7150 East Rose Lane, Paradise Valley, Arizona

NOTES:

Approved By: _____ Date: _____

ab
gw

Andaz

Pool Rules 060116

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06-01-16

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3 FT 

3 FT 6 IN 

4 FT 
SANDBLAST MASK
PAINT FILLED BLACK

4 FT 6 IN 

4 FT 3 IN 

POOL DEPTH MARKERS
scale: 3" = 1'-0"


Craig M. Wolfe, owner / designer
1000 N. W. Main Road
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480.966.6565 / 480.966.5668 (t)
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A N D A Z
Scottsdale, Arizona

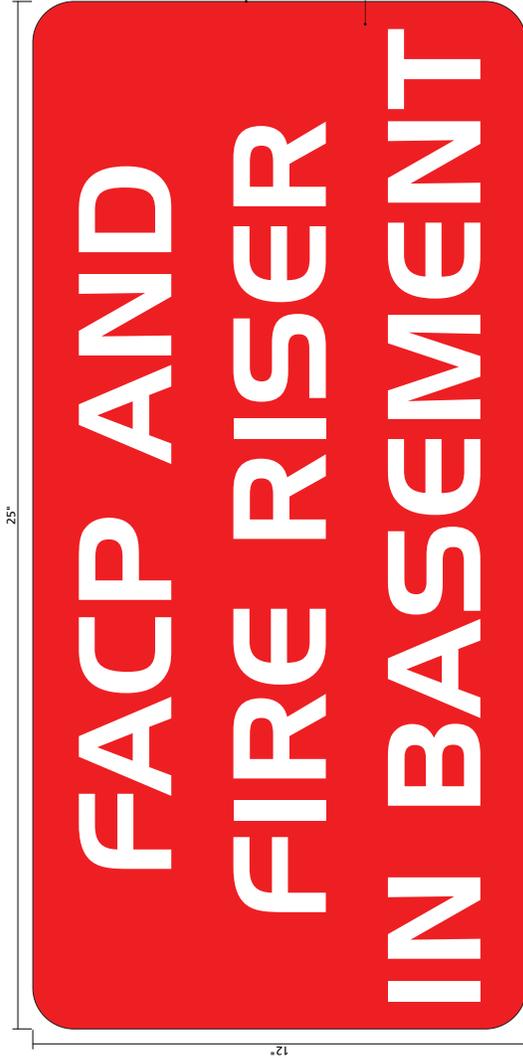
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Pool Depth Markers 120616

12-06-16
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REGULATORY FIRE SIGNS
Scale: 3" = 1'-0"

 <p>Gregory W. Little, owner / designer 6114 North Scottsdale Road Tempe, AZ 85281 480.966.6565 / 480.966.5668 (t) sign@airparkign.com</p>	<p>NOTES:</p> <p>Approved By: _____ Date: _____</p>	<p>ab gw</p>	<p>Andaz</p>	<p>12-30-16</p>
			<p>Regulatory Fire Signs 120316</p>	<p>1 / 1 PAGE</p>

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