

D:\CW DRAFTING\100W_JOB6_NEW_CONTRACTS\Duncan Design Group\2-WOLFSWINKEL_PV 082224 start\Wolfswinkel_07012025 CLIENT CHANGES.rvt 8/14/2025 1:03:57 PM

VIEW FRONT



SYMBOLS

1

A

STRUCTURAL GRID LINES

1

A101

ELEVATION NUMBER SHEET NUMBER

1

A101

SECTION NUMBER SHEET NUMBER

1

A101

DETAIL NUMBER SHEET NUMBER

A

A101

B

C

D

ELEVATION NUMBER INTERIOR ELEVATION SHEET NUMBER

1

A101

REVISION CLOUD W/ DELTA

1

A101

ENLARGED DETAIL

BREAK LINE

10'-0"

T.O. PLATE

ELEVATION HEIGHT

MATCH LINE

CONTROL POINT

4"

CHANGE OF PLANE

12

4

PITCH INDICATOR

SLOPE 3/8" /FT.

SLOPE INDICATOR

101

DOOR TAG - REFER TO DOOR SCHEDULE SHEET

A

WINDOW TAG - REFER TO WINDOW SCHEDULE SHEET

KITCHEN

1

ROOM NAME

A-1.0

1

DRAWING TITLE

SCALE: 0" =1'-0"

NORTH

NORTH ARROW

NO.

SHEETS

SHT ISSUE DATE

REV DELTA <1>

REV ISSUED

REV DATE

TC-1

COVER SHEET

07.07.1015

No

TC-2

SITE PLAN

07.07.1015

No

GN

GENERAL NOTES

07.07.1015

No

A-1.0

FLOOR PLAN

07.07.1015

No

A-1.1

FLOOR PLAN

07.07.1015

No

A-2.0

DIMENSION PLAN

07.07.1015

No

A-2.1

DIMENSION PLAN

07.07.1015

No

A-2.2

DIMENSION PLAN

07.07.1015

No

A-3.0

EXTERIOR ELEVATIONS

07.07.1015

No

A-3.1

EXTERIOR ELEVATIONS

07.07.1015

No

A-5.0

DETAILED BUILDING SECTIONS

07.07.1015

No

A-5.1

DETAILED BUILDING SECTIONS

07.07.1015

No

A-5.2

DETAILED BUILDING SECTIONS

07.07.1015

No

A-6.0

ARCHITECTURAL DETAILS / ROOF PLAN

07.07.1015

No

A-6.1

DOOR AND WINDOW SCHEDULES

07.07.1015

No

A-6.2

ARCHITECTURAL DETAILS

07.07.1015

No

M-1.0

MECHANICAL PLAN

07.07.1015

No

M-1.1

MECHANICAL PLAN

07.07.1015

No

P-1.0

PLUMBING WASTE & VENT WATER CALCS

07.07.1015

No

P-2.0

PLUMBING WASTE & VENT

07.07.1015

No

P-3.0

GAS PIPING DIAGRAM

07.07.1015

No

E-1.0

ELECTRICAL PLAN

07.07.1015

No

E-1.1

ELECTRICAL PLAN

07.07.1015

No

E-2.1

ELECTRICAL PLAN

07.07.1015

No

E-2.2

ELECTRICAL PLAN

07.07.1015

No

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P-2.0	PLUMBING WASTE & VENT	07.07.1015		No	
P-3.0	GAS PIPING DIAGRAM	07.07.1015		No	
E-1.0	ELECTRICAL PLAN	07.07.1015		No	
E-1.1	ELECTRICAL PLAN	07.07.1015		No	
E-2.1	ELECTRICAL PLAN	07.07.1015		No	
E-2.2	ELECTRICAL PLAN	07.07.1015		No	

DEFERRED SUBMITTALS

- MANUFACTURED ROOF TRUSSES
- FIRE SPRINKLERS

SPECIAL INSPECTIONS

SEE STRUCTURAL DRAWINGS FOR REQUIRED SPECIAL INSPECTIONS.

APPROVAL STAMP

PROJECT INFORMATION

3924 E BETHANY HOME ROAD
PARADISE VALLY, AZ 85253
MARICOPA COUNTY

ASSESSOR PARCEL NUMBER: 170-01-006

LEGAL DESCRIPTION:
LOT 5, ARROYO HEIGHTS, ACCORDING TO BOOK 110 OF MAPS,
PAGE 50, RECORDS OF MARICOPA COUNTY, ARIZONA.

TRACT: --

LOT: 5

GROSS SITE AREA: 43,970SF / 1.00 ACRES

LOT COVERAGE: --

BUILDING HEIGHT: 24' FT <ALLOWED> 24' FT

USE TYPE: R3

NUMBER OF STORIES: 2

FLOOR AREA RATIO (FAR)		
1. TOTAL LOT AREA:	43,970SF	Square Feet
2. FLOOR AREA OF EXISTING OR PROPOSED MAIN HOUSE:		
a. FIRST FLOOR	5,269 SF	Square Feet (including all overhangs/leaves, covered patios etc.)
b. SECOND FLOOR	459 SF	Square Feet (including all overhangs/leaves, covered patios etc.)
c. BASEMENT AREA	000 SF	Square Feet (portions of non-fully subterranean basement)
d. GARAGE:	1,728 SF	Square Feet
e. COURTYARDS:	761 SF	Square Feet
f. ADDITIONS:	000 SF	Square Feet
SUB-TOTAL A	8,217 SF	Square Feet (Add Lines a,b,c,d,e, & f)
3. ADDITIONS FLOOR AREAS:		
a. GUEST HOME:	000 SF	Square Feet (including all overhangs/leaves, covered patios etc.)
b. DETACHED ACCESSORY STRUCTURES:	000 SF	Square Feet (i.e. shade structures, ramadas trellis, etc.)
c. DETACHED ACCESSORY STRUCTURES:	000 SF	Square Feet (i.e. shade structures, ramadas trellis, etc.)
d. DETACHED ACCESSORY STRUCTURES:	000 SF	Square Feet (i.e. shade structures, ramadas trellis, etc.)
SUB-TOTAL B	000 SF	Square Feet (Add Lines a,b,c, & d)
4. TOTAL FLOOR AREAS:		
TOTAL FLOOR AREA	8,217 SF	Square Feet (Add SUB-TOTAL A & SUB-TOTAL B)
5. TOTAL AREA RATIO (FAR):		
FAR	18.68	% (Divide Line 4 by Line 1)

ZONING & BUILDING CODE SUMMARY

CODES	2015 IBC
	2015 IRC
	2015 IMC
	2015 IECC
	2015 IPCC
	2014 NEC

PLUS CITY APPLICABLE CODES OR AMENDMENTS

ZONE R-43

PARCEL ZONING R-43

GENERAL PLAN USE RESIDENTIAL

TYPE OF CONSTRUCTION TYPE V-B

SETBACKS PER PER R-43 ZONING

FRONT YARD - 40' FT

SIDE YARD - 20' - 40' FT

REAR YARD - 40' FT

VICINITY MAP

3924 E BETHANY HOME ROAD
PARADISE VALLY, AZ 85253
MARICOPA COUNTY

CUSTOM NEW HOME
WOLFSWINKEL RESIDENCE

3924 E BETHANY HOME ROAD
PARADISE VALLY, AZ 85253
MARICOPA COUNTY

DDG
DUNCAN DESIGN GROUP, LLC
3723 WEST BARNES LANE
PHOENIX, ARIZONA 85051
PHONE: 602.841.1284
FAX: 602.841.7517
DUNCANDESIGNGROUPPHX@GMAIL.COM

DATE: 07.07.1015

No.	Description	Date

SHEET NAME:

COVER SHEET

SHEET NUMBER:

TC-1

PROJECT #:

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PROJECT #

TOWN OF PARADISE VALLEY NOTES

- GRADING SHALL BE IN CONFORMANCE WITH 2018 IBC.
- PRIOR TO FIRST FOOTING INSPECTION OF ANY TYPE, ALL PROPERTY PINS SHALL BE PLACED BY A REGISTERED LAND SURVEYOR OF THE STATE OF ARIZONA, AND PROPERTY LINES MUST BE PHYSICALLY IDENTIFIED PRIOR TO INSPECTION.
- WHERE EXCAVATION IS TO OCCUR THE TOP 4" OF EXCAVATED NATIVE SOIL SHALL REMAIN ON THE SITE AND SHALL BE REUSED IN A MANNER THAT TAKES ADVANTAGE OF THE NATURAL SOIL SEED BANK IT CONTAINS.
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) SPECIFICATIONS AND STANDARD DETAILS.
- ALL EXTERIOR SITE LIGHTING SHALL COMPLY WITH REQUIREMENTS OF SECTION 2208 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES FOR FUTURE TYPE, LOCATION, HEIGHT, WATTAGE BASED UPON FIXTURES INSTALLED.
- A DUST CONTROL PLAN MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
- A SEPARATE PERMIT IS NECESSARY FOR ANY OFFSITE CONSTRUCTION.
- AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
- EAVE PROJECTIONS INTO REQUIRED SETBACKS ARE LIMITED TO A MAXIMUM OF 24" PURSUANT TO SECTION 1008 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES.
- ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
- ALL NEW AND EXISTING ELECTRICAL SERVICE TO BE BURIED UNDERGROUND PER THE TOWN OF PARADISE VALLEY STANDARDS.
- POOL, SPA, BARBECUE AND ANY PROPOSED STRUCTURES OVER 8 INCHES ABOVE GRADE REQUIRE SEPARATE PERMIT APPLICATIONS.
- POOLS SHALL BE CONSTRUCTED BY SEPARATE PERMIT AND SECURED FROM UNWANTED ACCESS PER SECTION 5-2-2 OF THE TOWN OF PARADISE VALLEY ORDINANCES.
- A SETBACK CERTIFICATION IS REQUIRED AND MUST BE GIVEN TO TOWN INSPECTOR AT STEM WALL INSPECTION.
- MAIL BOX TO COMPLY WITH THE TOWN OF PARADISE VALLEY STANDARDS FOR MAIL BOXES IN THE R.O.W. FOR HEIGHT, WIDTH AND BREAK AWAY FEATURES.
- ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE. ALL LAWN AREAS ADJOINING WALKS OR SLABS WILL BE GRADED TO 2" BELOW THE TOP OF SLAB. TYPICAL FINISHED GRADE AROUND PERIMETER OF BUILDING IS MINUS 6" BELOW FINISHED FLOOR UNLESS SPECIFIED OTHERWISE.
- ALL MATERIAL TO BE UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95% PER ASTM D698.
- SOILS COMPACTION TEST RESULTS MUST BE SUBMITTED TO THE TOWN ENGINEER'S OFFICE FOR BUILDING PADS THAT HAVE ONE (1) FOOT OR MORE OF FILL MATERIAL INDICATED. THIS INFORMATION MUST BE SUPPLIED PRIOR TO REQUEST FOR FINAL INSPECTION.
- TRENCH BED SHALL BE FREE OF ROCKS AND DEBRIS.
- FINISHED FLOOR ELEVATION CERTIFICATION IS REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO STRAP AND SHEAR INSPECTION.
- REGULATION II RULE 20-3 OF THE MARICOPA COUNTY HEALTH DEPARTMENT, BUREAU OF AIR POLLUTION CONTROL SHALL BE OBSERVED AND ENFORCED.
- ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL CITY OR TOWN UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
- THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL STATE, AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO THE CONSTRUCTION COVERED BY THIS PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
- ALL CONSTRUCTION IN THE PUBLIC RIGHTS-OF-WAY OR IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) UNIFORM STANDARD SPECIFICATIONS AND UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION.
- THE TOWN ONLY APPROVES THE SCOPE, NOT THE DETAIL, OF ENGINEERING DESIGNS; THEREFORE, IF CONSTRUCTION QUANTITIES ARE SHOWN ON THESE PLANS, THEY ARE NOT VERIFIED BY THE TOWN.
- THE APPROVAL OF PLANS IS VALID FOR SIX (6) MONTHS; IF AN ENCROACHMENT PERMIT FOR THE CONSTRUCTION HAS NOT BEEN ISSUED WITHIN SIX MONTHS, THE PLANS MUST BE RESUBMITTED TO THE TOWN FOR RE-APPROVAL.
- A PUBLIC WORKS INSPECTOR WILL INSPECT ALL WORKS WITHIN THE TOWN OF PARADISE VALLEY RIGHTS-OF-WAY AND IN EASEMENTS. NOTIFICATION INSPECTION SERVICES 24 HOURS PRIOR TO BEGINNING CONSTRUCTION BY CALLING 480-312-5750.
- WHENEVER EXCAVATION IS NECESSARY, CALL THE BLUE STAKE CENTER, 602-263-1100, TWO WORKING DAYS BEFORE EXCAVATION BEGINS. THE CENTER WILL SEE THAT THE LOCATION OF THE UNDERGROUND UTILITY LINES IS IDENTIFIED FOR THE PROJECT. CALL "COLLECT" IF NECESSARY.
- ENCROACHMENT PERMITS ARE REQUIRED FOR ALL WORK IN PUBLIC RIGHTS-OF-WAY AND EASEMENTS GRANTED FOR PUBLIC PURPOSES. AN ENCROACHMENT PERMIT WILL BE ISSUED BY THE TOWN ONLY AFTER THE REGISTRANT HAS PAID A BASE FEE PLUS A FEE FOR INSPECTION SERVICES. COPIES OF ALL PERMITS MUST BE RETAINED ON-SITE AND BE AVAILABLE FOR INSPECTION AT ALL TIMES. FAILURE TO PRODUCE THE REQUIRED PERMITS WILL RESULT IN IMMEDIATE SUSPENSION OF ALL WORK UNTIL THE PROPER PERMIT DOCUMENTATION IS OBTAINED.
- ALL EXCAVATION AND GRADING THAT IS NOT IN THE PUBLIC RIGHTS-OF-WAY OR NOT IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO CHAPTER 70, EXCAVATION AND GRADING, OF THE LATEST EDITION OF THE IBC BY THE ICC. A PERMIT FOR THIS GRADING MUST BE SECURED FROM THE TOWN FOR A FEE ESTABLISHED BY THE UNIFORM BUILDING CODE.
- EXCAVATIONS SHALL COMPLY WITH REQUIREMENTS OF OSHA EXCAVATION STANDARDS (29 CFR, PART 1926, SUBPART P). UNDER NO CIRCUMSTANCES WILL THE CONTRACTORS BE ALLOWED TO WORK IN A TRENCH LOCATED WITHIN THE TOWN'S RIGHT-OF-WAY WITHOUT PROPER SHORING OR EXCAVATION METHODS.
- ON DEMOLITION, GRADING, REMODELING AND NEW CONSTRUCTION PROJECTS, PERMITTEE MUST NOTIFY ADJACENT PROPERTY OWNERS REGARDING THE NATURE OF THE PROJECT, THE TIME PERIOD FOR CONSTRUCTION, AND ANY UNUSUAL ACTIVITIES THAT MAY CAUSE DISRUPTION OF THE NORMAL COURSE OF TRAFFIC DURING CONSTRUCTION.
- ALL PERMITTEES MUST POST A 6 SQUARE FOOT (2'x3') IDENTIFICATION SIGN, WAY OF DURABLE MATERIAL, IN THE FRONT YARD OF SUBJECT PROPERTY AND NOT IN THE TOWN RIGHT-OF-WAY. THE SIGN MAY NOT EXCEED A MAXIMUM OF 6 FEET IN HEIGHT FROM GRADE TO TOP OF THE SIGN. THE SIGN MUST INCLUDE THE PERMITTEE OR COMPANY NAME, PHONE NUMBER, TYPE OF WORK, AND ADDRESS OF PROJECT.
- WHEN DEEMED NECESSARY, A 6-FOOT HIGH CHAIN LINK FENCE MUST BE INSTALLED AROUND THE CONSTRUCTION AREA TO PREVENT ANY POTENTIAL SAFETY HAZARD FOR THE PUBLIC. THE FENCE SHALL BE SETBACK AT LEAST 10 FEET FROM ALL RIGHTS-OF-WAY AND HAVE A 50-FOOT STREET CORNER SITE TRIANGLE WHERE APPLICABLE.
- CLEAR ACCESS FOR NEIGHBORING PROPERTIES AND EMERGENCY VEHICLES MUST BE MAINTAINED AT ALL TIMES. CONSTRUCTION RELATED VEHICLES MUST BE LEGALLY PARKED ONLY ON ONE SIDE OF THE STREET OR JOB SITE PROPERTY. IF A STAGING AREA IS REQUIRED ON A PROPERTY OTHER THAN THE CONSTRUCTION SITE FOR CONSTRUCTION SUPPLIES AND EQUIPMENT, THE PERMITTEE MUST OBTAIN PROPERTY OWNER AND TOWN APPROVAL FIRST AND MUST INFORM THE ADJACENT PROPERTY OWNERS OF THE LOCATION OF STAGING AREA, AND TIME AND HOURS DURING THE DAY THE AREA WILL BE USED.
- EXCEPT AS OUTLINED IN ITEM 4, ALL CONSTRUCTION DEBRIS AND EQUIPMENT MUST BE CONTAINED ON SITE AT ALL TIMES. CONTRACTOR AND PROPERTY OWNER MUST MAINTAIN THE JOB SITE FREE OF LITTER AND UNSIGHTLY MATERIALS AT ALL TIMES. CONSTRUCTION MATERIALS CAR PROHIBITED IN THE TOWN RIGHT-OF-WAY OR NEAR ADJACENT PROPERTIES.
- BUILDING CONSTRUCTION MUST NOT START SOONER THAN SUNRISE AND MUST STOP NO LATER THAN SUNSET. ALSO, ORDINANCE #561 IMPOSES RESTRICTIONS ON CONSTRUCTION WORK ON SATURDAYS, SUNDAYS AND MAJOR BUSINESS HOLIDAYS. HILLSIDE PROJECTS MAY HAVE ADDITIONAL RESTRICTIONS. EQUIPMENT WITH AUDIBLE REVERSE DIRECTION WARNINGS MUST NOT BE OPERATED PRIOR TO 7:00 A.M.
- THE USE AND OPERATION OF FUEL-FIRED GENERATORS ON ANY CONSTRUCTION SITE, NEW, EXISTING OR REMODELING, IS PROHIBITED UNLESS DUE TO A HARDSHIP TOWN APPROVAL IS OBTAINED.
- THE CONTRACTOR AND PROPERTY OWNER WILL BE LIABLE FOR ANY DAMAGE DONE TO ANY PUBLIC PROPERTY AS A RESULT OF ANY CONSTRUCTION OR CONSTRUCTION RELATED ACTIVITIES. NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL AFFECTED RIGHTS-OF-WAY ARE CLEANED AND/OR REPAIRED TO THEIR ORIGINAL CONDITION AND UNTIL ANY AND ALL DAMAGES TO AFFECTED PROPERTIES ARE RESTORED TO ORIGINAL CONDITION, OR UNTIL SUCH TIME THAT A WRITTEN, SIGNED AND LEGALLY BINDING AGREEMENT HAS BEEN REACHED BY THE PARTIES INVOLVED TO REMEDY ANY VIOLATION WITHIN A REASONABLE TIME PERIOD, AND UNTIL ALL REQUIRED FEES ARE PAID IN FULL.
- THE NATURAL FLOW OF RAINWATER AND OTHER SURFACE DRAINAGE FROM THE PROPERTY MAY NOT BE ALTERED IN ANY WAY.
- A KEY SWITCH SHALL BE REQUIRED ON ALL NEW AND EXISTING ELECTRIC ENTRY CONTROL GATES. THE KEY SWITCH SHALL BE INSTALLED IN A LOCATION ON THE GATE CONTROL PANEL THAT IS READILY VISIBLE AND ACCESSIBLE. KNOX BOX ORDER FORMS ARE AVAILABLE AT THE PARADISE VALLEY BUILDING DEPARTMENT.
- ALL EQUIPMENT OF ALL TRADES ON OR AFFECTING THE JOB MUST BE CLEANED ONLY IN A PRE-DETERMINED AND DESIGNATED AREA. DEBRIS AND RUNOFF FROM SAID AREA MAY NOT EXTEND BEYOND THE BUILDING AREA.
- PROPERTY OWNER, BUILDER, OR GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR CONTROLLING DUST FROM THE SITE AT ALL TIMES. ALL MEANS NECESSARY SHALL BE USED BY THE BUILDER OR GENERAL CONTRACTOR TO CONTROL THE EXISTENCE OF DUST CAUSED BY ANY EARTHWORK, SPRAY APPLICATION OF MATERIALS, OR OTHER DUST-CAUSING PRACTICES REQUIRED BY THE CONSTRUCTION PROCESS.
- AN INSPECTION FEE WILL BE CHARGED IF THE INSPECTION IS REQUIRED AS A RESULT OF A CODE VIOLATION.
- FOR DEMOLITION INSPECTION OWNER OR PERMITTEE SHALL NOTIFY OSHA FOR ASBESTOS INSPECTION. ALL DEMOLITIONS AND ALL RENOVATION ACTIVITIES THAT WILL DISTURB FRABLE ASBESTOS CONTAINING MATERIALS MUST BE REPORTED TO THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT.

ENGINEERS NOTES

- MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION INCLUDING LATEST REVISION AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL TOWN OR CITY) ARE INCORPORATED INTO THIS PLAN IN THEIR ENTIRETY.
- ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL CITY OR TOWN UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
- GRADING SHALL BE IN CONFORMANCE WITH 2018 IBC SEC. 1803 AND APPENDIX J.
- 5% MINIMUM SLOPE AWAY FROM BUILDING FOR A MINIMUM 10', U.N.O.
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) SPECIFICATIONS AND STANDARD DETAILS.
- A DUST CONTROL PLAN MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
- A SEPARATE PERMIT IS NECESSARY FOR ANY OFFSITE CONSTRUCTION.
- AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
- ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTOR DITCHES, PIPES, PROTECTIVE BERMS, BARRIER WALLS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT ADJACENT BUILDINGS OR PROPERTY FROM STORM RUNOFF MUST BE COMPLETED PRIOR TO BUILDING CONSTRUCTION.
- ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
- ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE. ALL LAWN AREAS ADJOINING WALKS OR SLABS WILL BE GRADED TO 2" BELOW THE TOP OF SLAB. TYPICAL FINISHED GRADE AROUND PERIMETER OF BUILDING IS MINUS 6" BELOW FINISHED FLOOR UNLESS SPECIFIED OTHERWISE.
- ALL MATERIAL TO BE UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95% PER ASTM D698.
- THE QUANTITIES AND SITE CONDITIONS DEPICTED IN THESE PLANS ARE FOR INFORMATIONAL PURPOSES ONLY AND ARE SUBJECT TO ERROR AND OMISSION. CONTRACTORS SHALL SATISFY THEMSELVES AS TO ACTUAL QUANTITIES AND SITE CONDITIONS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL METHODS, SEQUENCING, AND SAFETY CONCERNS ASSOCIATED WITH THIS PROJECT DURING CONSTRUCTION, UNLESS SPECIFICALLY ADDRESSED OTHERWISE IN THIS PLAN OR ELSEWHERE.
- A REASONABLE EFFORT HAS BEEN MADE TO SHOW THE LOCATIONS OF EXISTING UNDERGROUND FACILITIES AND UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND/OR FACILITIES CAUSED DURING THEIR CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL CALL 48 HOURS IN ADVANCE FOR BLUE STAKE (1-800-STAKE-IT) PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION OF CONSTRUCTION AFFECTING UTILITIES AND THE COORDINATION OF ANY NECESSARY UTILITY RELOCATION WORK.
- ALL PAVING, GRADING, EXCAVATION, TRENCHING, PIPE BEDDING, CUT, FILL AND BACKFILL SHALL COMPLY WITH THE RECOMMENDATIONS SET FORTH IN THE SOILS (GEOTECHNICAL) REPORT FOR THIS PROJECT IN ADDITION TO THE REFERENCED REQUIRED SPECIFICATIONS AND DETAILS.
- THE CONTRACTOR IS TO VERIFY THE LOCATION AND THE ELEVATIONS OF ALL EXISTING UTILITIES AT POINTS OF TIE-IN PRIOR TO COMMENCING ANY NEW CONSTRUCTION. SHOULD ANY LOCATION OR ELEVATION DIFFER FROM THAT SHOWN ON THESE PLANS, THE CONTRACTOR SHALL CONTACT THE OWNER'S AGENT.
- CONTRACTOR TO VERIFY AND COORDINATE ALL DIMENSIONS AND SITE LAYOUT WITH ARCHITECTURE'S FINAL SITE PLAN AND FINAL BUILDING DIMENSIONS BEFORE STARTING WORK. REPORT DISCREPANCIES TO OWNER'S AGENT.
- COORDINATION BETWEEN ALL PARTIES IS ESSENTIAL PART OF CONTRACT.
- CONTRACTOR IS RESPONSIBLE FOR PROJECT AND SITE CONDITIONS, AND TO WORK WITH WEATHER CONDITIONS AS THE PROJECT SITE MAY BE LOCATED IN A FLOOD PRONE AREA AND SUBJECT TO FLOODING AND ITS HAZARDS.
- THE CONTRACTOR IS TO VERIFY THE LOCATION, ELEVATION, CONDITION, AND PAVEMENT CROSS-SLOPE OF ALL EXISTING SURFACES AT POINTS OF TIE-IN AND MATCHING, PRIOR TO COMMENCEMENT OF GRADING, PAVING, CURB AND GUTTER, OR OTHER SURFACE CONSTRUCTION. SHOULD EXISTING LOCATIONS, ELEVATIONS, CONDITION, OR PAVEMENT CROSS-SLOPE DIFFER FROM THAT SHOWN ON THESE PLANS, RESULTING IN THE DESIGN INTENT REFLECTED ON THESE PLANS NOT ABLE TO BE CONSTRUCTED, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AGENT IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ALL COSTS ASSOCIATED WITH CORRECTIVE ACTION IF THESE PROCEDURES ARE NOT FOLLOWED.
- CONTRACTOR IS RESPONSIBLE TO COORDINATE UTILITY CROSSINGS AT CULVERT CROSSINGS BEFORE STARTING WORK ON CULVERT. COORDINATE WITH OWNER REPRESENTATIVE. VERIFY UTILITY LINES AND/OR CONDUITS ARE IN PLACE BEFORE STARTING CULVERT WORK.
- ALL ON-SITE UTILITIES PER OTHERS.
- THIS PROJECT REQUIRES A REGULAR ONGOING MAINTENANCE PROGRAM FOR THE DESIGNED DRAINAGE SYSTEM(S) TO PRESERVE THE DESIGN INTEGRITY AND THE ABILITY TO PERFORM ITS OPERATIONAL INTENT. FAILURE TO PROVIDE MAINTENANCE WILL JEOPARDIZE THE DRAINAGE SYSTEM(S) PERFORMANCE AND MAY LEAD TO IT'S INABILITY TO PERFORM PROPERLY AND/OR CAUSE DAMAGE ELSEWHERE IN THE PROJECT.
- IF A DISCREPANCY IS FOUND BETWEEN ENGINEER'S PLAN OR SURVEYOR'S STAKING AND THE ARCHITECTURAL PLAN, ENGINEER SHALL BE NOTIFIED IMMEDIATELY. FAILURE TO NOTIFY ENGINEER SHALL NEGATE ENGINEER'S LIABILITY.
- ALL DISTURBED AREAS ARE TO BE ROPED AND ROPING MUST MATCH PLAN.
- VEGETATION OUTSIDE OF CONSTRUCTION AREA TO REMAIN.
- AREAS OUTSIDE THE WALL AND CUT AND FILL SLOPES SHALL BE REVEGETATED WITH SIMILAR PLANT TYPES AND DENSITIES FOUND ON THE SITE. REVEGETATION SHALL BE COMPLETED PRIOR TO OCCUPANCY AND THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- MECHANICAL EQUIPMENT SHALL BE SCREENED TO A MINIMUM OF ONE FOOT ABOVE TOP OF EQUIPMENT.
- ANY FUTURE IMPROVEMENTS SHOWN HEREON SHALL REQUIRE A SEPARATE PERMIT.
- ANY POINTS OF DRAINAGE CONCENTRATION SHOULD BE PROTECTED AGAINST EROSION WITH NATIVE STONE.
- THIS PLAN IS DESIGNED TO SHOW SITE GRADING AND DRAINAGE CONTRACTOR SHALL USE THE ARCHITECTURAL SITE PLAN TO DETERMINE FINAL HOUSE, WALL, STEP, ETC., LOCATIONS AND ELEVATIONS.
- ALL DRAINAGE FACILITIES TO BE MAINTAINED BY HOMEOWNER.
- SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR SITE AND RETAINING WALLS LAYOUT, DIMENSIONS, AND DETAILS.
- TOP OF FOOTING ELEVATIONS SHOWN IN PLAN ARE APPROXIMATE ONLY. ACTUAL TOP OF FOOTINGS TO BE DETERMINED AT TIME OF CONSTRUCTION AND TO BE A MINIMUM OF SIX INCHES BELOW EXISTING NATURAL GRADE OR FINISHED GRADE, WHICHEVER IS LOWER (TYPICAL).
- REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT, DIMENSIONS AND ELEVATIONS.
- REFER TO STRUCTURAL DRAWINGS, DETAILS AND CALCULATIONS FOR ALL PROPOSED RETAINING WALLS.
- FOR CHANGE IN ELEVATION THAT ARE GREATER THAN 30", PROVIDE 36" HIGH GUARDRAILS FOR TOTAL OF 42" FALL PROTECTION BARRIER U.N.O.
- CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE - 5% MIN SLOPE FOR FIRST 10 FEET, U.N.O.
- ALL WATER AND SEWER LINES AND CONNECTIONS MUST BE INSTALLED PER IPC 2018, MAG AND TOWN OF PARADISE VALLEY SUPPLEMENT TO MAG.
- WATERPROOF ALL EXTERIOR WALLS 18" ABOVE FINISH GRADE-(BITUTHENE@ 3000 HC MEMBRANE W/ GRACE PROTECTION 03 OR APPROVED EQUAL).
- ALL PIPES AND FITTINGS SHALL BE INSTALLED PER MANUFACTURE'S SPECIFICATIONS AND DETAILS.
- ABANDONMENT OF EXISTING AND INSTALLATION OF NEW SEPTIC SYSTEMS SHALL BE PERFORMED IN ACCORDANCE WITH THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT RULES AND STANDARDS, AND WILL REQUIRE SEPARATE PERMIT.
- COORDINATE RIPRAP COLOR WITH LANDSCAPE PLANS AND DETAILS.
- VERIFY AND COORDINATE WITH LANDSCAPE PLANS FINAL LOCATION AND GRATE TYPE OF SPECIFIED AREA DRAINS AND TRENCH DRAINS.
- VERIFY AND COORDINATE WITH ARCHITECTURAL AND LANDSCAPE PLANS LOCATION AND HEIGHT OF ALL SITE WALLS.
- DISTURBED AREA: TOTAL ACRES = 1.009 acres > 1 ACRE; NPDES PERMIT IS REQUIRED.
- REFER TO ARCHITECTURAL PLANS AND DETAILS FOR DEMOLITION AND REMOVAL OF ANY EXISTING BUILDING STRUCTURES, SITE WALLS, POOL AND PAVEMENT ETC.
- REFER TO GEOTECHNICAL REPORT FOR SPECIFIC RECOMMENDATIONS AND MAXIMUM ALLOWED FILL AND CUT SLOPES.
- THE PROPOSED POOL EQUIPMENT FOR THIS PROJECT SHALL BE EQUIPPED WITH CARTRIDGE FILTER IN ORDER TO AVOID THE BACKWASH.

FIRE SPRINKLER SYSTEM

FIRE SPRINKLER SYSTEM TO BE INSTALLED PER THE REQUIREMENTS OF THE TOWN OF PARADISE VALLEY AND IN ACCORDANCE WITH I.B.C. SECT. 904.2.2 AMD. AND 2018 IFG, SEC. 903.

PRELIMINARY GRADING & DRAINAGE PLAN
WOLFSWINKEL RESIDENCE
3924 E BETHANY HOME RD., PARADISE VALLEY, AZ 85253
LOT 5 - ARROYO HEIGHTS

A SUBDIVISION PLAT RECORDED IN BOOK 110 OF MAPS, PAGE 50, MCR.,
LOCATED IN A PORTION OF THE NE 1/4 OF THE NE 1/4 OF THE NE 1/4 OF SECTION 13, T.2N, R.3E
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

LEGEND

●

BRASS CAP FLUSH

●

FOUND REBAR OR AS NOTED

○

CALCULATED POINT

PROPERTY LINE

EASEMENT LINE

MONUMENT LINE

WATER METER

MAILBOX

SEWER MANHOLE

TRANSFORMER

CATV, PHONE

SEWER LINE

GAS LINE

WATER LINE

ELECTRIC LINE

TELECOMM. LINE

COMM. LINE

EXISTING CONTOUR

EXIST. DRAINAGE FLOW

EXIST. SPOT ELEVATION

CITRUS TREE

PALO VERDE

PROPOSED SPOT ELEVATION

PROPOSED CONTOUR

PROPOSED DISTURBED AREA

STORM DRAIN PIPE

CATCH BASIN

RETAINING WALL

EXTENDED STEM

TOP OF PARAPET

TOP OF WALL

TOP OF RETAINING WALL

FINISH GRADE

BOTTOM OF WALL

TOP OF FOOTING

RIP-RAP

HISTORIC CONTOUR

TP:XX.XX
TW:XX.XX
TRW:XX.XX
FG:XX.XX
BW:XX.XX
TF:XX.XX

XX

HISTORIC CONTOUR

DISTURBED AREA CALCULATIONS

EXISTING LOT AREA:	43,970 S.F. (1.009 AC.)
TOTAL AREA UNDER ROOF:	8,217 S.F.
FLOOR AREA RATIO: (AREA UNDER ROOF/AREA OF LOT)	18.68% < 25%
BUILDING PAD SLOPE:	6.10%
VERTICAL:	13 FT
HORIZONTAL:	213 FT
ALLOWABLE NET DISTURBED AREA:	60.00%
ALLOWABLE NET DISTURBED AREA:	26,382 S.F.
EXISTING GROSS DISTURBED AREA:	100%
EXISTING GROSS DISTURBED AREA:	43,970 S.F.
EXISTING BUILDING FOOTPRINT:	4,899 S.F.
EXISTING NET DISTURBED AREA:	39,071 S.F. (88.86%)
PROPOSED NEW DISTURBED AREA:	0 S.F. (0%)
TOTAL GROSS DISTURBED AREA:	43,970 S.F. (100%)
LESS AREAS OF DISTURBANCE:	
TOTAL LIVABLE FOOTPRINT:	5,798 S.F.
TOTAL GARAGE FOOTPRINT:	2,156 S.F.
DRIVEWAY CREDIT @25% 998 S.F.x25%=	250 S.F.
RETENTION BASIN CREDIT @50% 5,030 S.F.x50%=2,515 S.F.	
RESTORED AREAS:	0 S.F.
NET DISTURBED AREA:	33,251 S.F. (75.6%)
PERCENT OF LOT STEEPER THAN NATURAL GRADE (5% MAX.):	1,586 S.F. (3.61%)
VOLUME OF CUT:	2,343 C.Y.
VOLUME OF FILL:	421 C.Y.
TOTAL CUT&FILL:	2,764 C.Y.
HILLSIDE ASSURANCE = 35 TIMES THE GRADING PERMIT FEE.	
GRADING PERMIT FEE:	\$2,760
(\$168 FIRST 100 CY / \$96 EA. ADDITIONAL 100 CY).	
ASSURANCE AMOUNT:	\$96,600
ALL QUANTITIES LISTED ON THESE PLANS ARE ESTIMATES ONLY. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF THE QUANTITIES AND BASE THEIR BIDS ON THEIR ESTIMATES.	

GRADING SPECIFICATIONS

- EXCAVATION AND GRADING OF THIS SITE IS CLASSIFIED AS "ENGINEERED GRADING" PER 2015 I.B.C. AND WILL BE PERFORMED ACCORDINGLY.
- THE CONTRACTOR WILL RETAIN A SOILS ENGINEER DURING CONSTRUCTION TO INSPECT PROGRESS OF CONSTRUCTION, CONCERNING PREPARATION OF GROUND TO RECEIVE FILLS, TESTING AND REQUIRED COMPACTION STABILITY OF ALL FINISH SLOPES INCLUDING CUT SLOPES.
- COMPACTION SHALL COMPLY WITH M.A.G. SECTION 601 AND PROVISIONS AS SET FORTH IN THE SOILS REPORT.
- BEARING MATERIALS FOR FILL RESIDENCE PAD IF NATIVE MATERIAL IS USED. LARGE ROCK FRAGMENTS MUST BE REMOVED THAT ARE IN EXCESS OF SIX INCHES. REMAINING MATERIAL MUST BE SMALLER PARTICLES OF SAND AND ROCK THAT CAN BE COMPACTED INTO A DENSE CONDITION.
- MAXIMUM PARTICLE SIZE 6 INCHES
- PERCENT PASSING NO. 4 SIEVE 95% TO 70%
- PERCENT PASSING NO. 200 SIEVE 25% MAX.
- PLASTICITY INDEX 10% MAX.
- CUT-SLOPES: MAXIMUM ROCK CUT SLOPE TO BE 1.0 FEET HORIZONTAL TO 3.0 FEET VERTICAL PER GEOTECHNICAL STUDY.
- FILL SLOPES: MAXIMUM FILL SLOPE TO BE 2.0 FEET HORIZONTAL TO 1.0 FEET VERTICAL.
- COMPACTION FILL MATERIAL MUST BE PLACED ON LEVELED BENCHES CUT INTO UNDISTURBED EXISTING HILLSIDE. PLACE FILL IN HORIZONTAL LIFTS OF THICKNESS COMPATIBLE WITH THE COMPACTION EQUIPMENT USED. COMPACT TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM A.S.T.M. DENSITY AT THE OPTIMUM MOISTURE CONTENT OF ± TWO PERCENT. THIS PERTAINS TO ALL ENGINEERED STRUCTURAL FILL SUPPORTING STRUCTURES AND INCLUDING FILL UNDER ANY OF THE RETAINING WALLS. COMPACTION TEST RESULTS SHALL BE SUBMITTED TO THE SOILS ENGINEER AND TOWN OF PARADISE VALLEY BUILDING AND SAFETY DEPARTMENT.
- ANY RETAINING WALLS ADJACENT TO THE PROPERTY LINES WILL BE UNDER THE SCOPE OF SPECIAL INSPECTION BY THE SOILS ENGINEER. THE DEVELOPER SHALL NOTIFY THE ADJOINING PROPERTY OWNERS IN WRITING, TEN DAYS PRIOR TO START OF CONSTRUCTION ON THESE WALLS PER SECTION 2903-B OF IBC. THE DEVELOPER WILL HAVE TO PROVIDE MEANS OF PROTECTION OF ADJACENT PROPERTY WHILE THIS WORK IS UNDER CONSTRUCTION.
- ALL EXPOSED CUT AND FILL SHALL BE TREATED WITH AN APPROVED AGING AGENT TO MINIMIZE TO VISUAL CONTINUITY.
- NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL ALL HILLSIDE STIPULATIONS AND ALL TOWN CODE REQUIREMENTS ARE COMPLIED INCLUDING, BUT NOT LIMITED TO LANDSCAPING, GROUND RESTORATION, FIRE FLOW, FIRE SAFETY AND ALL ONSITE AND OFFSITE IMPROVEMENTS.
- ALL OUTDOOR LIGHTING SHALL BE IN CONFORMANCE WITH ARTICLE XXII OF THE TOWN ZONING ORDINANCE.
- ALL EXCESS FILL MATERIAL SHALL BE REMOVED FROM THE SITE WITH NO NEW SPILL SLOPES.
- THE USE OF HYDRAULIC RAM HAMMERS, OR OTHER HEAVY EQUIPMENT USED TO CUT THROUGH ROCK, INCLUDING MACHINERY WITH AUDIBLE BACK UP WARNING DEVICES SHALL BE LIMITED TO USE BETWEEN THE HOURS OF 7:00AM OR SUNRISE, WHICHEVER IS LATER, AND 6:00PM OR SUNSET, WHICHEVER IS EARLIER, MONDAY THROUGH FRIDAY, WITH LIMITED WORK ON SATURDAY AND NO WORK ON SUNDAY OR LEGAL HOLIDAYS.
- CONSTRUCTION STAKING AND/OR FENCING SHALL BE PLACED AROUND THE CONSTRUCTION SITE SO AS TO PROTECT THE UNDISTURBED NATURAL AREAS.

DRAINAGE STATEMENT

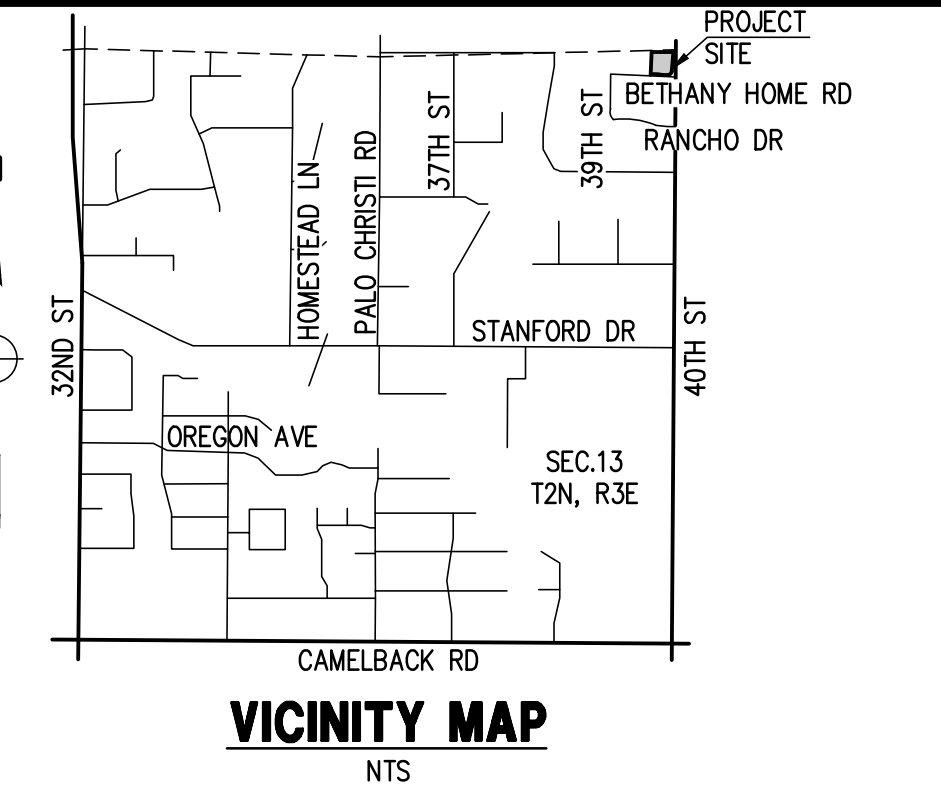
- ULTIMATE STORM OUTFALL IS LOCATED AT THE SOUTHEASTERLY PROPERTY CORNER AT ELEVATION OF 1295.75.
- NEW SINGLE FAMILY RESIDENCE, NEW GARAGE, NEW GUEST HOUSE, NEW DRIVEWAY, NEW POOL & SPA AND SITE IMPROVEMENTS ARE PROPOSED WITH THIS PROJECT.
- PROPOSED DEVELOPMENT DOES NOT IMPACT DRAINAGE CONDITIONS OF ADJOINING LOTS.
- HISTORIC DRAINAGE PATTERNS ARE RESTORED AND PRESERVED.
- THE MINIMUM FINISH FLOOR ELEVATIONS SHOWN ARE SAFE FROM INUNDATION DURING A 100-YEAR PEAK RUN-OFF EVENT IF CONSTRUCTED PER THE APPROVED CIVIL PLANS.
- PROPOSED STORM DRAIN SYSTEM SHALL BE INSPECTED AND CLEANED FROM DEBRIS AND SILT AFTER EVERY MAJOR STORM EVENT.
- CHECK DAMS, RIPRAP AND BOULDERS ARE SPECIFIED AT ALL POINTS OF DISCHARGE TO MITIGATE EROSION AND TO CONVERT CONCENTRATED FLOWS BACK TO SHEET FLOWS.
- ON-SITE RETENTION IS PROVIDED FOR THE FIRST FLUSH STORM EVENT FOR THE LIMITS OF DISTURBANCE.

PROJECT DESCRIPTION

NEW SINGLE FAMILY RESIDENCE, NEW GARAGE, NEW GUEST HOUSE, NEW DRIVEWAY, NEW POOL & SPA AND SITE IMPROVEMENTS WITH ON-SITE RETENTION.

SHEET INDEX

- C-1 – COVER SHEET
- C-2 – PRELIMINARY IMPROVEMENT PLAN DETAILS
- C-3 – STORM DRAIN PLAN CROSS SECTIONS DETAILS



OWNER

ASHTON A. WOLFSWINKEL AND SARAH BESS WOLFSWINKEL
3924 E BETHANY HOME RD.,
PARADISE VALLEY, AZ 85253

ARCHITECT

DUNCAN DESIGN GROUP, LLC
3723 W BARNES LN.,
PHOENIX, AZ 85051
P: 602-841-1284
F: 602-841-7517
DUNCANDESIGNGROUPPHX@GMAIL.COM

SITE DATA

APN: 170-01-006
ADDRESS: 3924 E BETHANY HOME RD.,
PARADISE VALLEY, AZ 85253
ZONING: R-43
LOT AREA: 43,970 S.F. (1.009 AC.)
OS #: 20-36
AREA UNDER ROOF: 8,217 S.F.
LOT COVERAGE: 18.68% < 25%

LANDSCAPE ARCHITECT

GREEY PICKETT
7144 E STETSON DR, # 205,
SCOTTSDALE, AZ 85251
CONTACT: KATRYN SQUIRES
P: 480-609-0009
KSQUIRES@GREEYPICKETT.COM

LAND SURVEYOR

J.L.D. ENGINEERING, PPC
2822 S BUCKSKIN WAY,
CHANDLER, AZ 85286
P: 602-790-7958
CONTACT: REED DALBIK, PE
REED@JLD-ENGINEERING.COM

NOTE: CIVIL ENGINEERING DESIGN PRESENTED HEREIN IS BASED ON THE TOPOGRAPHIC SURVEY MAP, PROVIDED IN AN ELECTRONIC FORMAT BY SURVEYOR LISTED ABOVE.
LAND DEVELOPMENT GROUP, LLC ASSUMES NO LIABILITY FOR ERRORS AND OMISSIONS SHOWN ON THE SURVEY AND INFORMATION PROVIDED BY OTHERS.

LEGAL DESCRIPTION

LOT 5, OF ARROYO HEIGHTS, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 110 OF MAPS, PAGE 50.

BENCHMARK

FOUND 1/2" REBAR NE COR. SEC. 13 HAVING AN ELEVATION OF 1306.415, CITY OF PHOENIX DATUM, NAVD 88.

FLOOD INSURANCE RATE MAP (FIRM) DATA

COMMUNITY #	PANEL #	SUFFIX	BASE FLOOD ELEVATION
040049	1765 OF 4425	L	N/A
MAP #	PANEL DATE	FIRM INDEX DATE	ZONE
04013C	09/19/2020	11/04/2015	X*

- *AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- *AREAS OF 0.2% ANNUAL CHANCE FLOOD;
- AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE;
- AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD

FINISH FLOOR CERTIFICATION

I HEREBY CERTIFY THAT FINISHED FLOOR ELEVATIONS SHOWN ON THE PLAN OF 1484.85 IS MINIMUM OF 12" ABOVE THE 100-YEAR STORM ELEVATION OF 1483.85 ACCORDING TO THE TOWN OF PARADISE VALLEY CODE OF ORDINANCE.

Nick Rodanov
REGISTERED CIVIL ENGINEER

08/14/25
DATE:

APPROVAL

THIS SET OF PLANS HAS BEEN REVIEWED FOR COMPLIANCE WITH TOWN OF PARADISE VALLEY REQUIREMENTS PRIOR TO ISSUANCE OF PERMIT. THE TOWN NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. THIS COMPLIANCE APPROVAL SHALL NOT PREVENT THE TOWN ENGINEER FROM REQUIRING CORRECTIONS OF ERRORS OR OMISSIONS IN THE PLANS TO BE FOUND IN VIOLATION OF LAWS OR ORDINANCES.

TOWN ENGINEER
TOWN OF PARADISE VALLEY

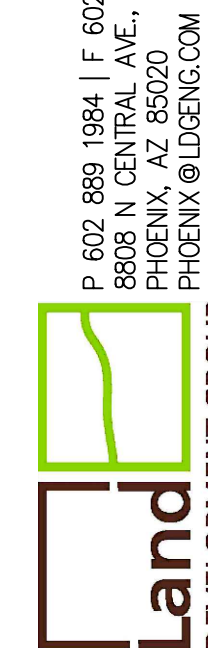
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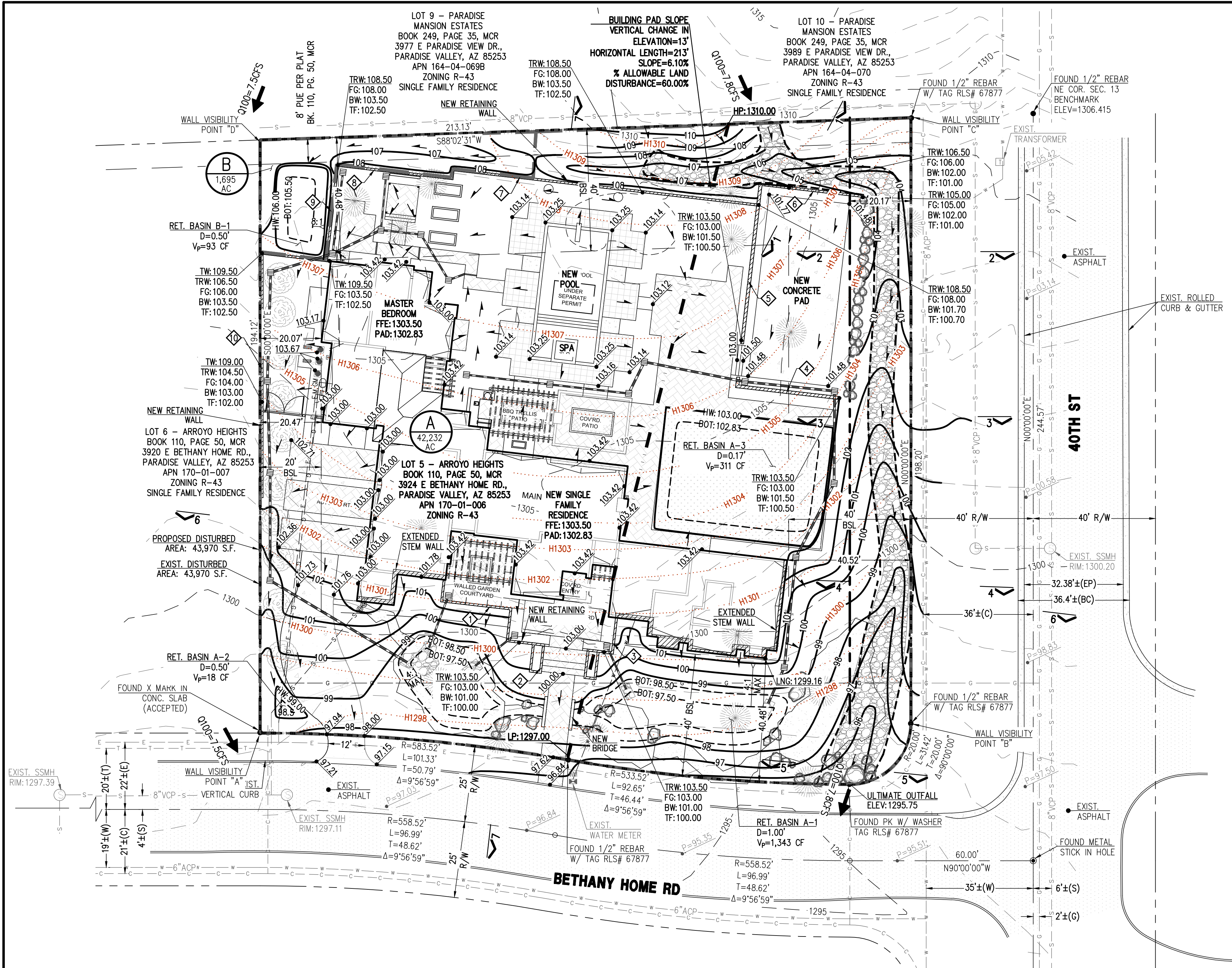


PRELIMINARY
GRADING & DRAINAGE
IMPROVEMENT PLAN
ON HILLSIDE LOT

WOLFSWINKEL RESIDENCE
3924 E BETHANY HOME RD.,
PARADISE VALLEY, AZ 85253

P: 602-889-1984 | F: 602-443-9482
8808 N CENTRAL AVE., SUITE 208
PHOENIX, AZ 85020
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RETENTION CALCULATIONS

ON-SITE RETENTION FOR THE PRE VS. POST DEVELOPMENT RUNOFF FROM 100-YEAR, 2-HOUR STORM EVENT											
V=DxAx(Cw,post-Cw,pre)/12 D - RAINFALL DEPTH = 2.22" A - TRIBUTARY AREA, SF Cw - WEIGHTED RUNOFF COEFFICIENT											
Vf=(DfxAxCw,post)/12 Df - RAINFALL DEPTH = 0.5" FIRST FLUSH A - TRIBUTARY AREA, SF Cw - WEIGHTED RUNOFF COEFFICIENT											
DRAINAGE AREA	AREA	RUNOFF COEFFICIENT	VOLUME REQUIRED PRE VS POST	VOLUME REQUIRED FIRST FLUSH	RETENTION BASIN ID	CONTOUR ELEVATION		CONTOUR AREA	DEPTH	VOLUME PROVIDED	AS-BUILT VOLUME PROVIDED
	S.F.					Cw	C.F.				C.F.
A	42,232	0.07	547	1,425 (GOVERNS)	A1	HW	98.50	1,839	1.00	1,343	
						BOTTOM	97.50	848			
					A2	HW	99.00	61	0.50	18	
						BOTTOM	98.50	9			
					A3	HW	103.00	2,175	0.17	311	
						BOTTOM	102.83	1,480			
TOTAL A										1,672	
B	1,695	0.00	0	57 (GOVERNS)	B1	HW	106.00	306	0.50	93	
						BOTTOM	105.50	64			
TOTAL B										93	
TOTAL										1,764	

(1) RAINFALL DEPTH IS PER NOAA ATLAS 14, VOLUME 1, VERSION 5.

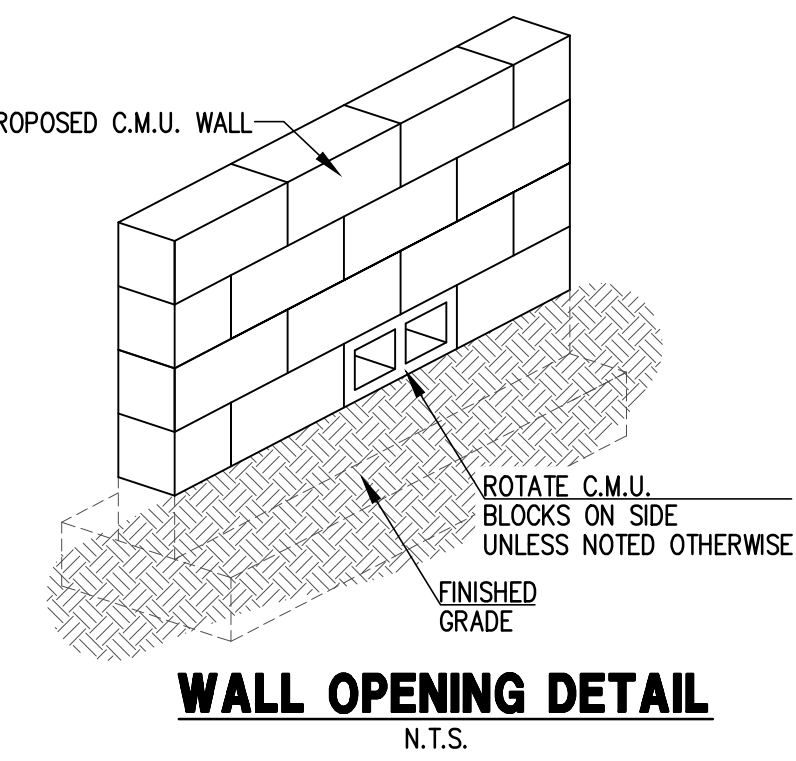
WEIGHTED RUNOFF COEFFICIENT, Cw PRE- DEVELOPMENT AREA A				WEIGHTED RUNOFF COEFFICIENT, Cw POST- DEVELOPMENT AREA A			
SURFACE TYPE	RUNOFF COEFFICIENT	AREA	C*AREA	SURFACE TYPE	RUNOFF COEFFICIENT	AREA	C*AREA
PAVEMENT & ROOF	0.95	7,782	7,393	PAVEMENT & ROOF	0.95	19,744	18,757
NATIVE HILLSIDE	0.70	34,450	24,115	NATIVE HILLSIDE	0.70	22,488	15,742
TOTAL		42,232	31,508	TOTAL		42,232	34,498
$C_w = C * AREA / TOTAL AREA$			0.75	$C_w = C * AREA / TOTAL AREA$			0.82

WEIGHTED RUNOFF COEFFICIENT, Cw PRE- DEVELOPMENT AREA B				WEIGHTED RUNOFF COEFFICIENT, Cw POST- DEVELOPMENT AREA B			
SURFACE TYPE	RUNOFF COEFFICIENT	AREA	C*AREA	SURFACE TYPE	RUNOFF COEFFICIENT	AREA	C*AREA
PAVEMENT & ROOF	0.95	0	0	PAVEMENT & ROOF	0.95	0	0
NATIVE HILLSIDE	0.70	1,695	1,186	NATIVE HILLSIDE	0.70	1,695	1,186
TOTAL		1,695	1,186	TOTAL		1,695	1,186
$C_w = C * AREA / TOTAL AREA$			0.70	$C_w = C * AREA / TOTAL AREA$			0.70

RETAINING WALL TABLE

ID NUMBER	MAX. HEIGHT	LENGTH	VISIBLE WALL LENGTH			
			A	B	C	D
1	2.5	82.50	82.50			
2	2.5	32.00	32.00			
3	2.5	29.25		29.25		
4	2	36.50		36.50		
5	2	45.67		45.67	45.67	
6	6.8	39.83			39.83	
7	5	100.00			100.00	100.00
8	5	40.50			40.50	40.50
9	5	52.83			52.83	52.83
10	3	80.00	80.00			80.00
TOTAL		539.08	194.50	143.42	226.00	273.33

FOR LOCATIONS IDENTIFIED WITH KEYNOTE
MAXIMUM LENGTH OF RETAINING WALLS
VISIBLE FROM ANY POINT ON THE PROPERTY
LINE = 273.33 < 300'.
ALL WALL LENGTHS LISTED ABOVE ARE FOR
PERMITTING PURPOSES ONLY. CONTRACTOR
IS RESPONSIBLE FOR VERIFYING ACCURACY
OF WALL QUANTITIES AS SHOWN. REFER TO
ARCHITECTURAL AND STRUCTURAL PLANS
AND DETAILS FOR WALL CONSTRUCTION,
HEIGHT AND FINISH.



WALL OPENING DETAIL
N.T.S.

PERCENT PASSING	SIZE	D50 CLASS, INCHES			
100 TO 90	2.0 D50	4	6	8	12
85 TO 70	1.5 D50	6	8	12	24
50 TO 30	1.0 D50	4	6	8	12
15 TO 5	0.67 D50	3	4	5	8
5 TO 0	0.35 D50	1	2	3	4

RIP-RAP GRADATION TABLE



DATE: 08/14/25
JOB: 2503070
DESIGNED BY: NP
DRAWN BY: ZA
CHECKED BY: JJ
PLOT DATE: 08/14/25

REVISIONS:

SCALE: 1"=20'

DATE:

DATE: 08/14/25

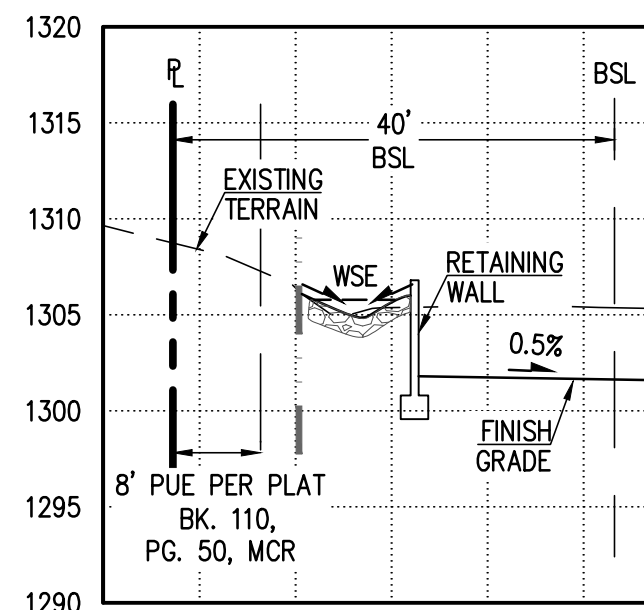
PRELIMINARY
GRADING & DRAINAGE
IMPROVEMENT PLAN
DETAILS

WOLFENKEL RESIDENCE
3924 E BETHANY HOME RD.,
PARADISE VALLEY, AZ 85253

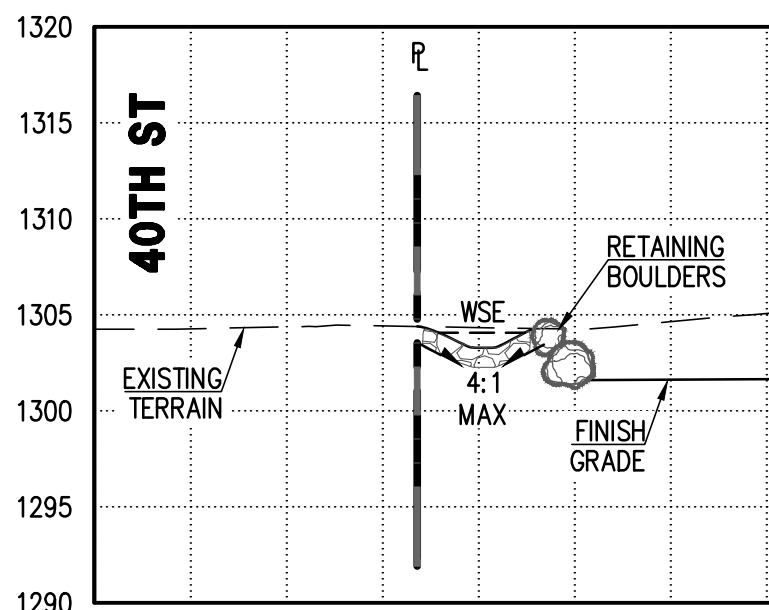
P 602 889 1984 | F 602 445 9482
8808 N CENTRAL AVE., SUITE 288
PHOENIX, AZ 85020
PHOENIX @ LDGEN.COM

Land
DEVELOPMENT GROUP

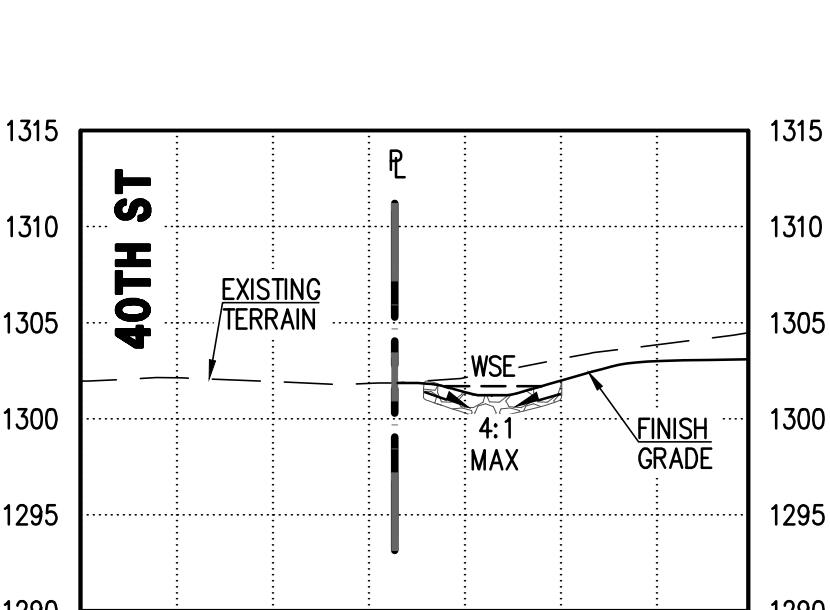
REGISTERED PROFESSIONAL ENGINEER
PRELIMINARY
NOT FOR CONSTRUCTION
N.E. McClellan
C-2
2 OF 3



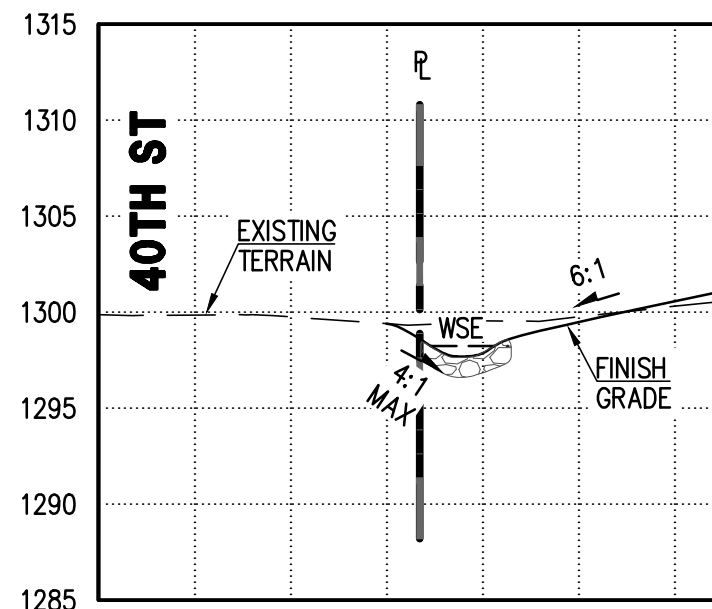
CROSS SECTION 1 - 1
SCALE HOR. 1" = 20', VER. 1" = 10'



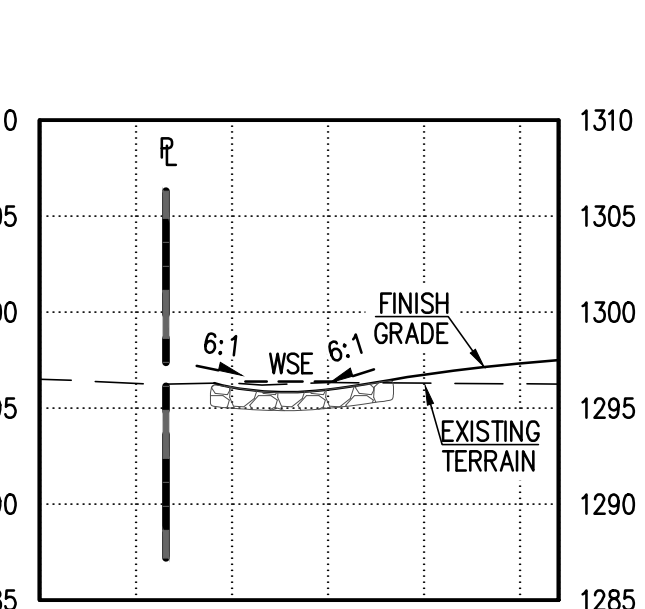
CROSS SECTION 2 - 2
SCALE HOR. 1" = 20', VER. 1" = 10'



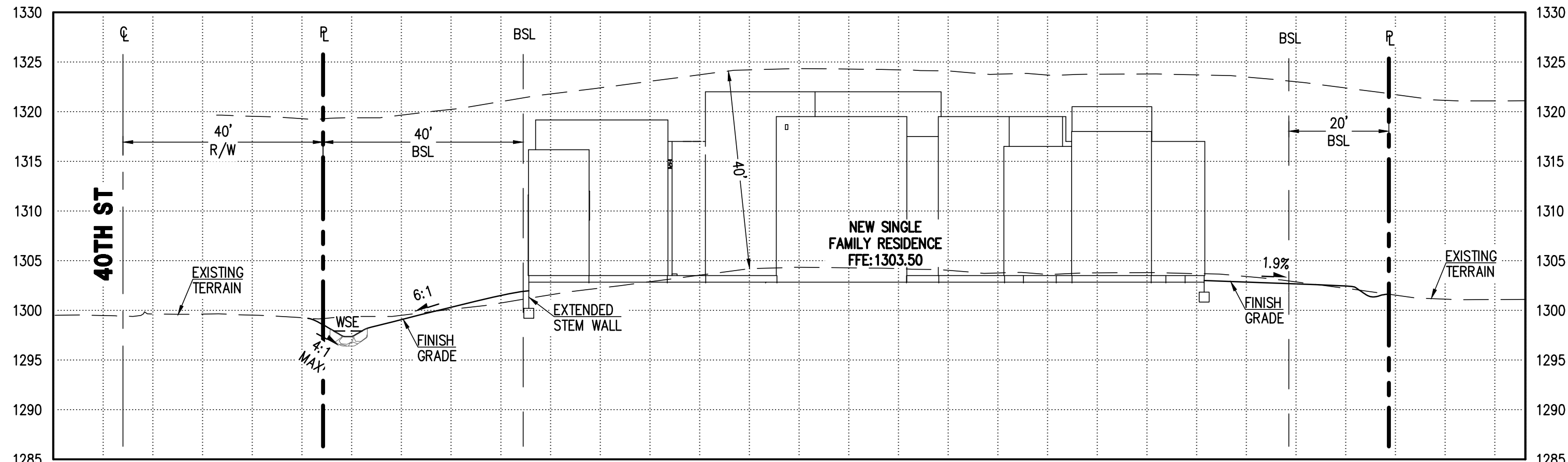
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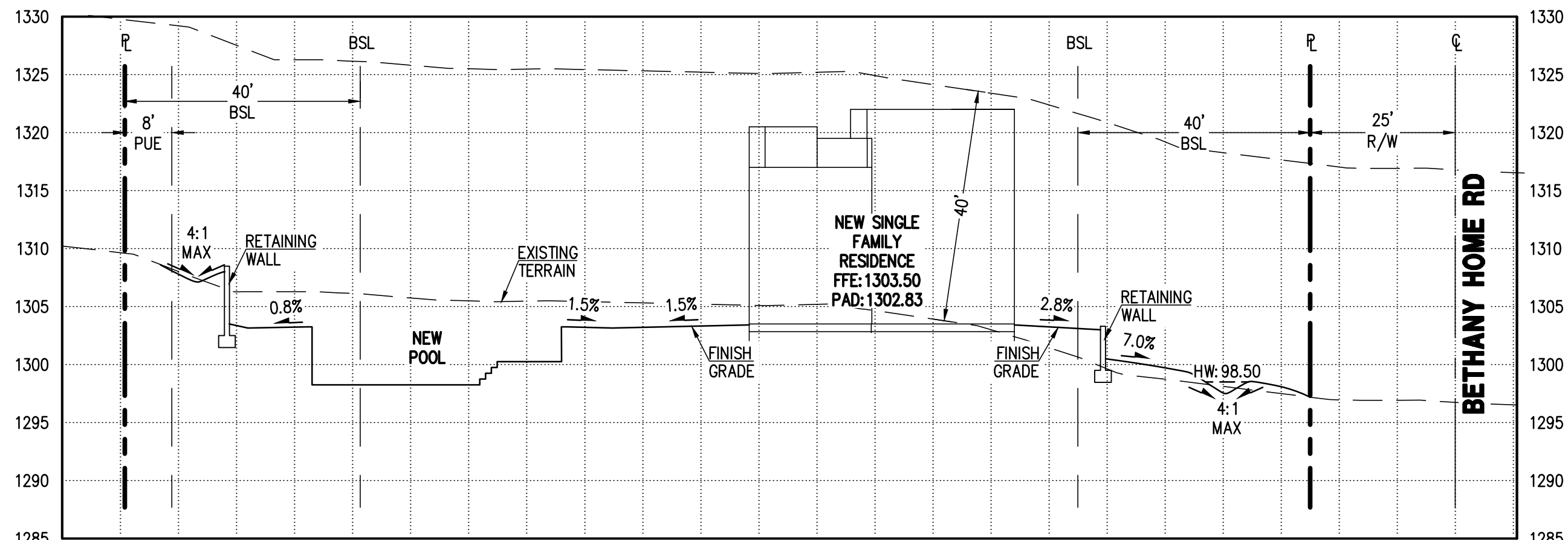
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SCALE HOR. 1" = 20', VER. 1" = 10'



CROSS SECTION 5 - 5
SCALE HOR. 1" = 20', VER. 1" = 10'



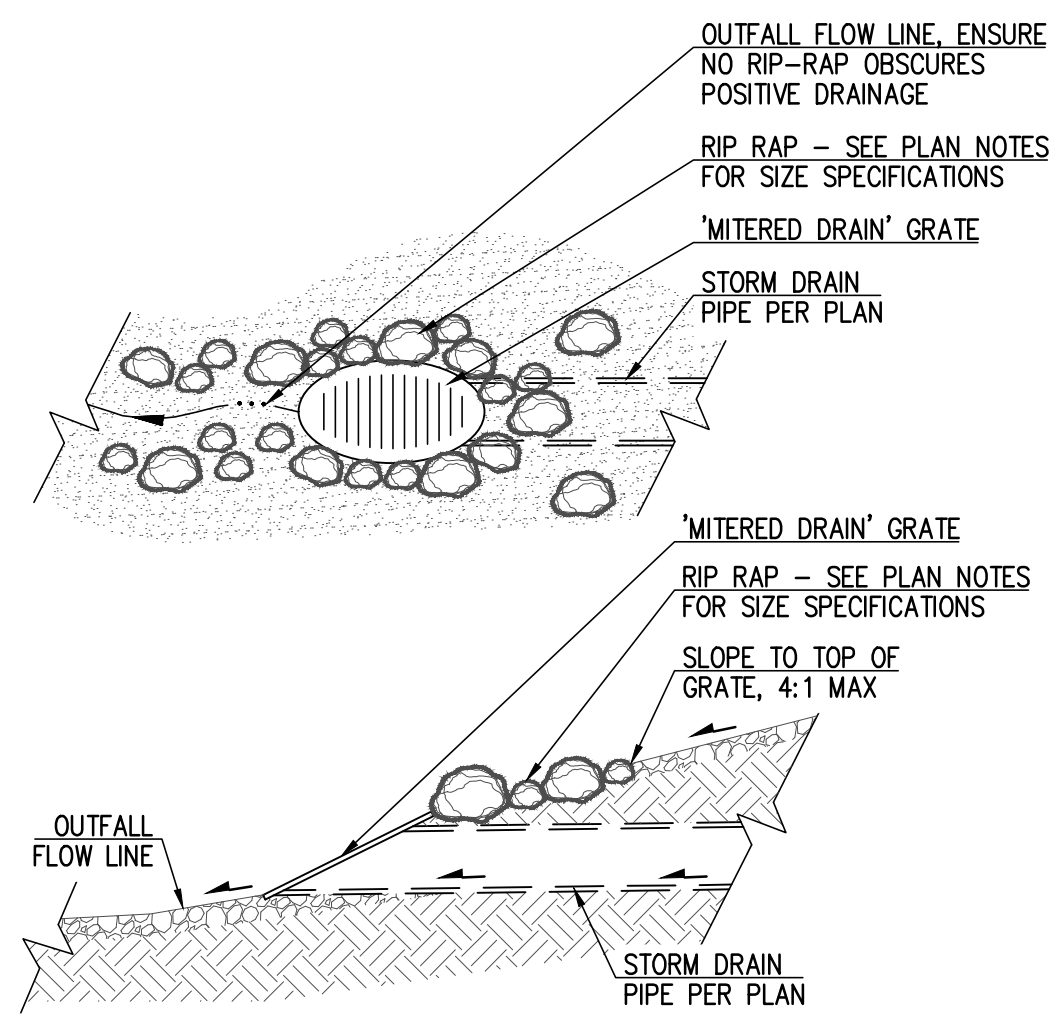
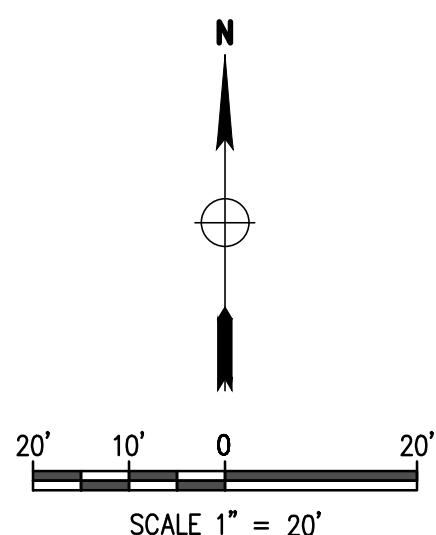
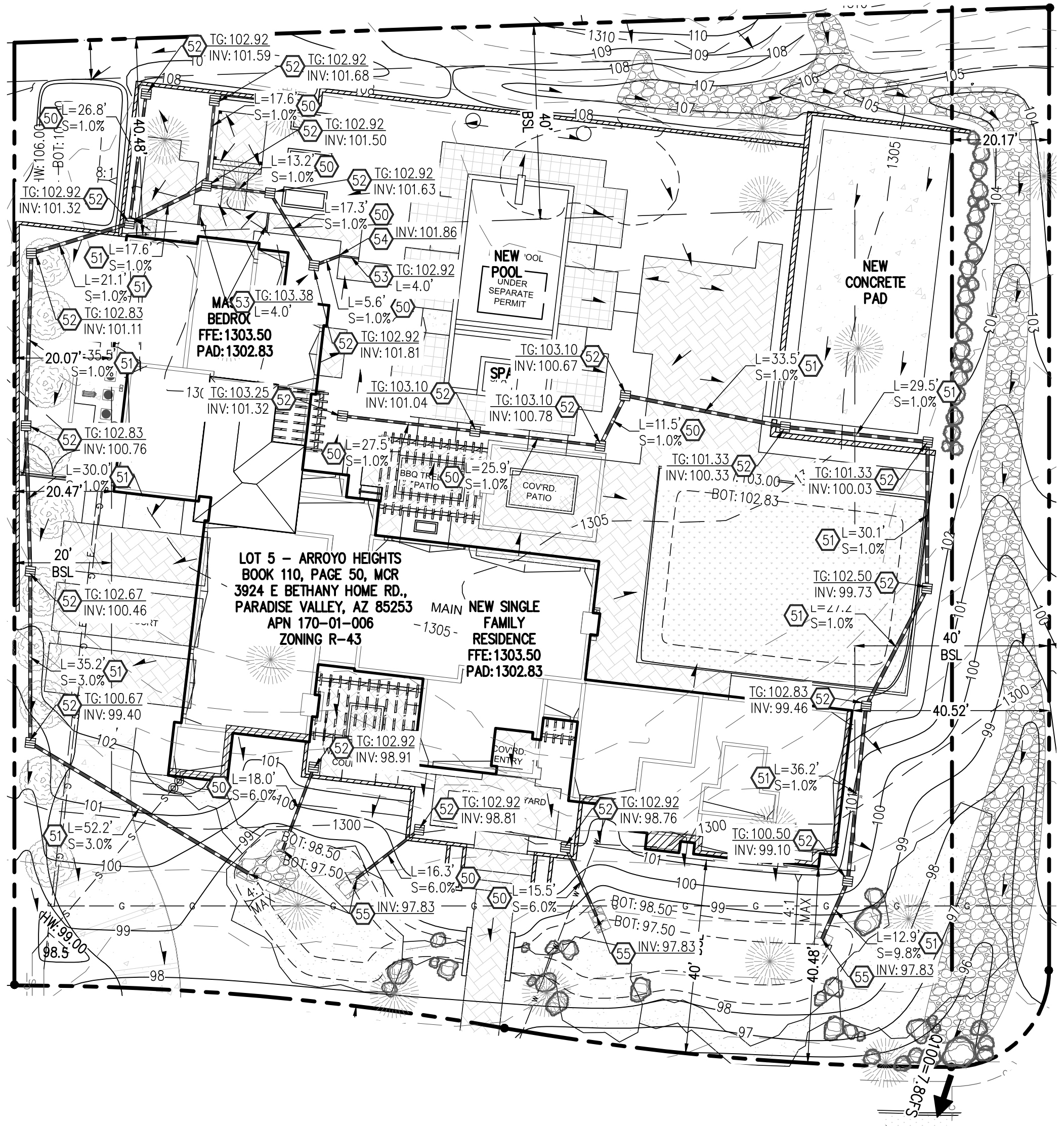
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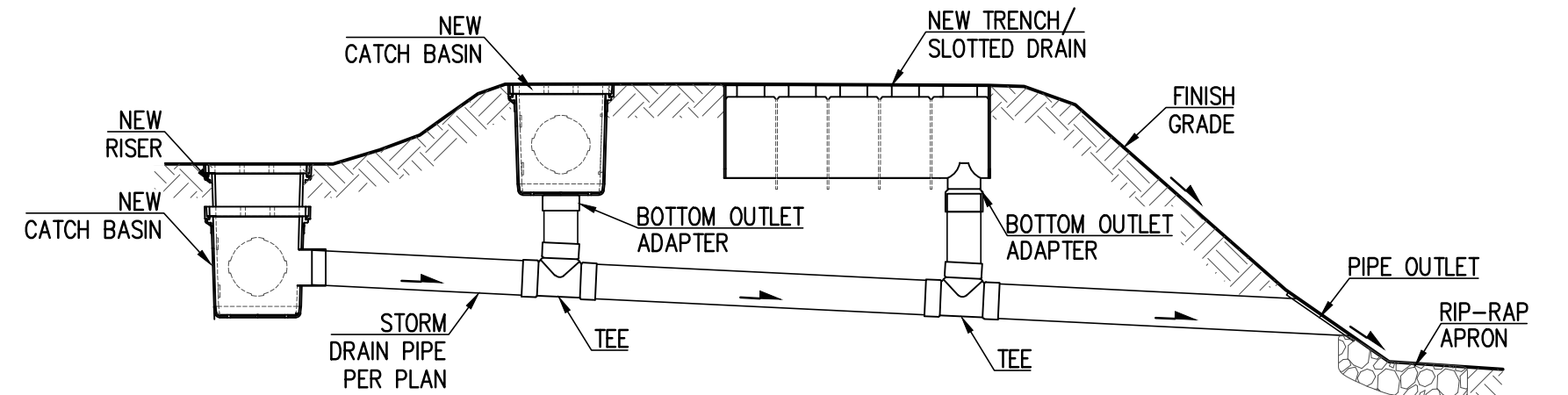
CROSS SECTION 7 - 7
SCALE HOR. 1" = 20', VER. 1" = 10'

STORM DRAIN KEY-NOTES

- 50 INSTALL 6" PVC STORM DRAIN PIPE, INCLUDING ALL FITTINGS PER MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS.
- 51 INSTALL 8" PVC STORM DRAIN PIPE, INCLUDING ALL FITTINGS PER MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS.
- 52 INSTALL NDS 1200NGB 12" CATCH BASIN WITH VERTICAL RISER AND 12" GRATE, OR APPROVED EQUAL.
- 53 INSTALL NDS SLIM CHANNEL 9206 TRENCH DRAIN SYSTEM, COMPLETE WITH ALL REQUIRED FITTINGS OR APPROVED EQUAL. REFER TO MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS. CONNECT NEW TRENCH DRAIN TO NEW STORM DRAIN PIPE WITH OUTLET ADAPTER AND ALL REQUIRED FITTINGS.
- 54 INSTALL SLOTTED/TRENCH DRAIN END/BOTTOM OUTLET CONNECTION TO STORM DRAIN PIPE INCLUDING ALL FITTINGS PER MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS.
- 55 STORM DRAIN PIPE TO DAYLIGHT AT FINISHED GRADE, SEE DETAIL ON THIS SHEET.



PIPE OUTLET DETAIL
N.T.S.



SCHEMATIC STORM DRAIN SYSTEM
N.T.S.

**PRELIMINARY
GRADING & DRAINAGE PLAN
STORM DRAIN PLAN
CROSS SECTIONS
DETAILS**

**WOLFSWINKEL RESIDENCE
3924 E BETHANY HOME RD.,
PARADISE VALLEY, AZ 85253**

P 602.889.1984 | F 602.445.9482
8808 N CENTRAL AVE., SUITE 288
PHOENIX, AZ 85020
PHOENIX @ LDCEN6.COM

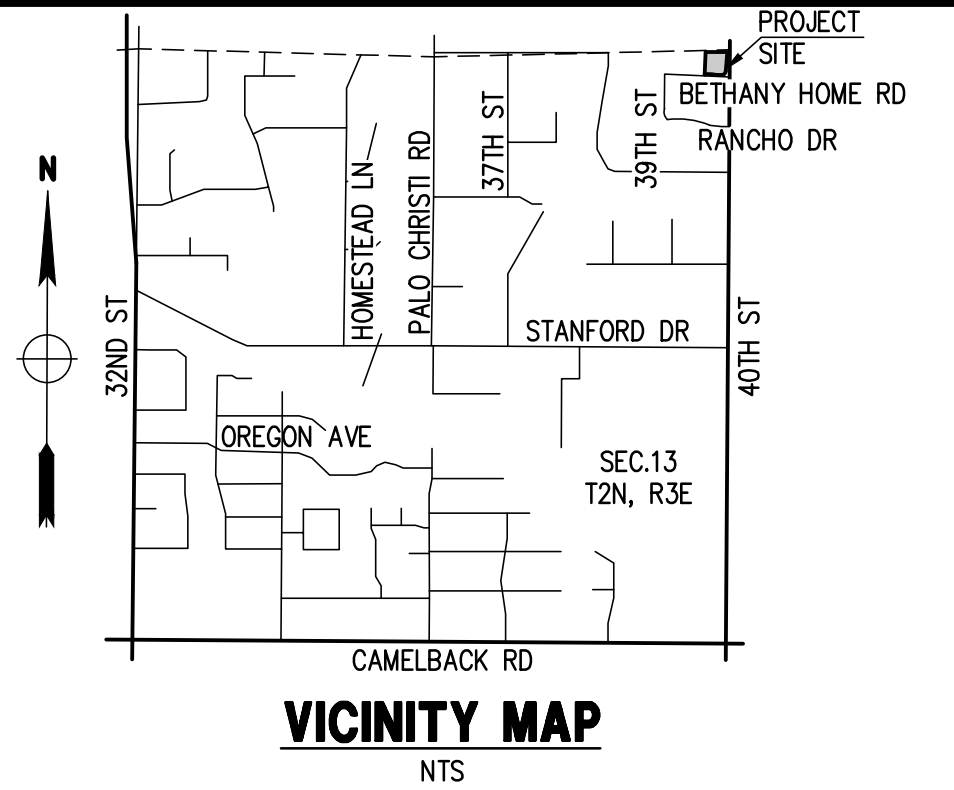
Land
DEVELOPMENT GROUP

**PRELIMINARY
NOT FOR
CONSTRUCTION**

C-3
3 OF 3

AERIAL MAP/HISTORIC TOPOGRAPHY EXHIBIT
WOLFSWINKEL RESIDENCE
3924 E BETHANY HOME RD., PARADISE VALLEY, AZ 85253
LOT 5 - ARROYO HEIGHTS

**A SUBDIVISION PLAT RECORDED IN BOOK 110 OF MAPS, PAGE 50, MCR.,
LOCATED IN A PORTION OF THE NE 1/4 OF THE NE 1/4 OF THE NE 1/4 OF SECTION 13, T.2N, R.3E
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA**



OWNER
ASHTON A. WOLFSWINKEL AND
SARAH BESS WOLFSWINKEL
3924 E BETHANY HOME RD.,
PARADISE VALLEY, AZ 85253

ARCHITECT
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3723 W BARNES LN.,
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SITE DATA
APN: 170-01-006
ADDRESS: 3924 E BETHANY HOME RD.,
PARADISE VALLEY, AZ 85253
ZONING: R-43
LOT AREA: 43,970 S.F. (1.009 AC.)
QS #: 20-36

LANDSCAPE ARCHITECT
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CONTACT: NICK PRODANOV, PE
P: 602 889 1984

NOTE: CIVIL ENGINEERING DESIGN PRESENTED HEREIN IS BASED ON THE
TOPOGRAPHIC SURVEY MAP, PROVIDED IN AN ELECTRONIC FORMAT BY
SURVEYOR LISTED ABOVE.
LAND DEVELOPMENT GROUP, LLC ASSUMES NO LIABILITY FOR ERRORS AND
OMMISSIONS SHOWN ON THE SURVEY AND INFORMATION PROVIDED BY OTHERS.

LEGAL DESCRIPTION

LOT 5, OF ARROYO HEIGHTS, ACCORDING TO THE PLAT OF RECORD IN THE
OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA,
RECORDED IN BOOK 110 OF MAPS, PAGE 50.

BENCHMARK

FOUND 1/2" REBAR NE COR. SEC. 13 HAVING AN ELEVATION OF
1306.415, CITY OF PHOENIX DATUM, NAVD 88.

FLOOD INSURANCE RATE MAP (FIRM) DATA

COMMUNITY #	PANEL #	SUFFIX	BASE FLOOD ELEVATION
040049	1765 OF 4425	L	N/A
MAP #	PANEL DATE	FIRM INDEX DATE	ZONE
04013C	09/19/2020	11/04/2015	X*

*AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE
FLOODPLAIN.
*AREAS OF 0.2% ANNUAL CHANCE FLOOD;
AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS
THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE;
AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD

UTILITIES

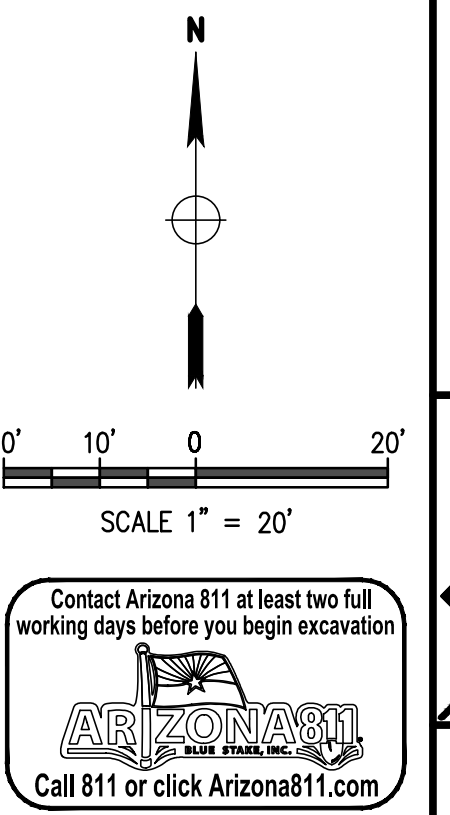
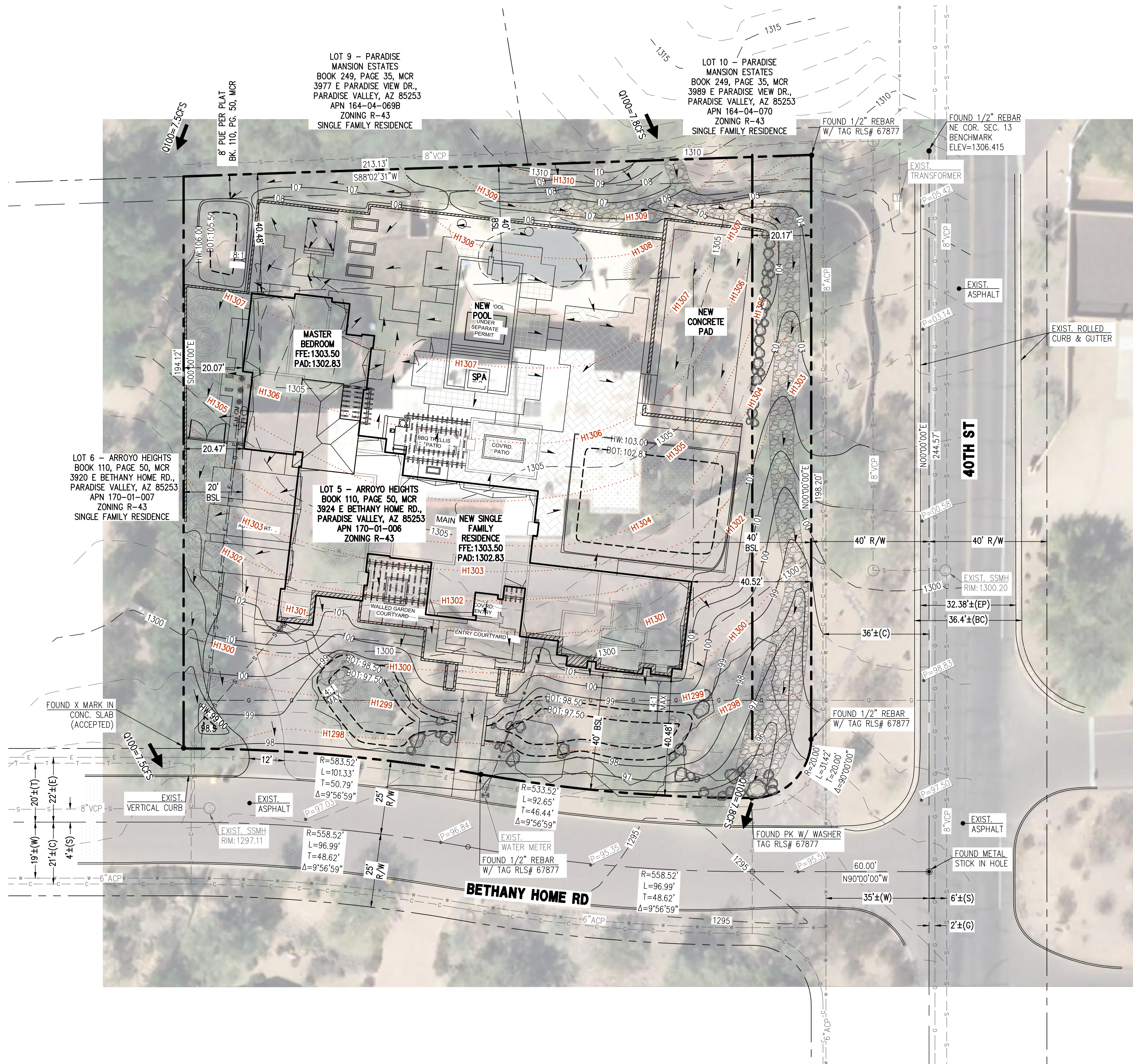
WATER: CITY OF PHOENIX
SANITARY SEWER: CITY OF PHOENIX
ELECTRIC: SRP
TELEPHONE: CENTURY LINK, COX COMMUNICATIONS
NATURAL GAS: SOUTHWEST GAS
CABLE TV: CENTURY LINK, COX COMMUNICATIONS

LEGEND

- BRASS CAP FLUSH
- FOUND REBAR OR AS NOTED
- CALCULATED POINT
- PROPERTY LINE
- EASEMENT LINE
- MONUMENT LINE
- WM WATER METER
- MB MAILBOX
- SM SEWER MANHOLE
- TRANSFORMER
- T CATV, PHONE
- S SEWER LINE
- G GAS LINE
- W WATER LINE
- E ELECTRIC LINE
- T TELECOMM. LINE
- C COMM. LINE
- 1444--- EXISTING CONTOUR
- EXIST. DRAINAGE FLOW
- EXIST. SPOT ELEVATION
- CITRUS TREE
- PALO VERDE

ABBREVIATIONS

- BC BACK OF CURB
- BSL BUILDING SETBACK LINE
- (C) CALCULATED
- EG EXISTING GRADE
- EL, ELEV ELEVATION
- EP EDGE OF PAVEMENT
- ESMT EASEMENT
- EX, EXIST. EXISTING
- FG FINISH GRADE
- G GUTTER, GAS
- INV INVERT
- (M) MEASURED
- MCR MARICOPA COUNTY RECORDER
- P, PWM PAVEMENT
- PUE PUBLIC UTILITY EASEMENT
- REC RECORDED
- (R), REC. RADIUS
- R/W RIGHT OF WAY
- T TANGENT, TELEPHONE
- W WEST, WATERLINE
- WM WATER METER



**AERIAL MAP
HISTORIC TOPOGRAPHY
EXHIBIT**

**WOLFSWINKEL RESIDENCE
3924 E BETHANY HOME RD.,
PARADISE VALLEY, AZ 85253**

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8808 N CENTRAL AVE., SUITE 288
PHOENIX, AZ 85020
PHOENIX@LDGEX.COM



AE
1 OF 1

STORM WATER POLLUTION PREVENTION PLAN
WOLFSWINKEL RESIDENCE
3924 E BETHANY HOME RD., PARADISE VALLEY, AZ 85253
LOT 5 - ARROYO HEIGHTS
A SUBDIVISION PLAT RECORDED IN BOOK 110 OF MAPS, PAGE 50, MCR.,
LOCATED IN A PORTION OF THE NE 1/4 OF THE NE 1/4 OF THE NE 1/4 OF SECTION 13, T.2N, R.3E
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

GENERAL NOTES

1. THIS PROJECT IS SUBJECT TO THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS FOR CONSTRUCTION SITES UNDER THE ENVIRONMENTAL PROTECTION AGENCY (EPA) GENERAL PERMIT FOR ARIZONA. OWNERS, DEVELOPERS, ENGINEERS, AND/OR CONTRACTORS ARE REQUIRED TO PREPARE ALL DOCUMENTS REQUIRED BY THIS REGULATION, INCLUDING BUT NOT LIMITED TO STORM WATER POLLUTION PROTECTION PLAN (SWPPP), NOTICE OF INTENT (NOI) AND NOTICE OF TERMINATION (NOT).
2. A COPY OF THE APPROVED GRADING AND DRAINAGE PLAN FOR THIS PROJECT, TOGETHER WITH A COPY OF THE NOTICE OF INTENT (NOI) AND THIS STORM WATER POLLUTION PROTECTION PLAN (SWPPP), SHALL BE MAINTAINED ON THE SITE AND AVAILABLE FOR REVIEW. THOSE ELEMENTS OF THE GRADING AND DRAINAGE PLAN PERTINENT TO OR REFERENCED ON THE SWPPP SHALL BE CONSIDERED A PART OF THE SWPPP.
3. COMMUNITY DEVELOPMENT DEPARTMENT'S FIELD INSPECTION GROUP SHALL BE NOTIFIED 48 HOURS BEFORE ANY ON-SITE AND/OR OFF-SITE CONSTRUCTION BEGINS, AT (480) 348-3692.
4. THE OPERATOR SHALL OBTAIN A DUST CONTROL PERMIT FROM MARICOPA COUNTY HEALTH DEPARTMENT AND PERFORM MEASURES AS REQUIRED BY THE PERMIT TO PREVENT EXCESS DUST. ALL PERMITTEES MUST SUBMIT A TENTATIVE CONSTRUCTION SCHEDULE AND COMPLETION TIME.
5. THE OPERATOR SHALL PERFORM, AT A MINIMUM, A VISUAL INSPECTION OF THE CONSTRUCTION SITE ONCE EVERY MONTH AND WITHIN 24 HOURS OF RAINFALL GREATER THAN OR EQUAL TO A HALF OF AN INCH OR MORE. THE OPERATOR SHALL PREPARE A REPORT DOCUMENTING HIS/HER FINDINGS ON THE CONDITIONS OF THE SWPPP CONTROLS AND NOTE ANY EROSION PROBLEM AREAS. THE OPERATOR'S REPORT IS TO BE SUBMITTED TO THE DEVELOPMENT SERVICES DEPARTMENT PROJECT ENGINEERING DIVISION CONSTRUCTION INSPECTOR FOR REVIEW AND APPROVAL. FACILITIES SHALL BE MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING. IN ADDITION, ALL TEMPORARY SILTATION CONTROLS SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL SUCH TIME THAT CLEARING AND/OR CONSTRUCTION IS COMPLETED, PERMANENT DRAINAGE FACILITIES ARE OPERATIONAL, AND THE POTENTIAL FOR EROSION HAS PASSED.
6. THE OPERATOR SHALL AMEND THIS PLAN AS NECESSARY DURING THE COURSE OF CONSTRUCTION TO RESOLVE ANY PROBLEM AREAS, WHICH BECOME EVIDENT DURING THE CONSTRUCTION AND/OR DURING RAINFALLS.
7. THE PERMITTEE SHALL FILE A NOTICE OF TERMINATION (NOT) AFTER COMPLETION OF CONSTRUCTION AND PLACEMENT OF FINAL LANDSCAPE MATERIALS. THE NOT IS TO BE SUBMITTED TO THE DEVELOPMENT SERVICES DEPARTMENT PROJECT ENGINEERING INSPECTOR TO FINAL THE SWPPP PERMIT.
8. THE PERMITTEE SHALL SAVE ALL RECORDS, INCLUDING THE NOI, SWPPP, NOT, AND INSPECTION REPORTS, ON FILE FOR A MINIMUM OF THREE YEARS FROM THE DATE OF FILING THE NOT.
9. THE IMPLEMENTATION OF THESE PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE FACILITIES IS THE RESPONSIBILITY OF THE PERMITTEE/CONTRACTOR UNTIL ALL CONSTRUCTION IS APPROVED AND NOT SUBMITTED TO THE DEVELOPMENT SERVICES DEPARTMENT PROJECT ENGINEERING INSPECTOR.
10. THE FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES IN SUCH A MANNER AS TO INSURE THAT SEDIMENT-LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM OR VIOLATE APPLICABLE WATER STANDARDS, AND MUST BE INSTALLED AND IN OPERATION PRIOR TO ANY GRADING OR LAND CLEARING. WHEREVER POSSIBLE, MAINTAIN NATURAL VEGETATION FOR SILT CONTROL.
11. THE CONTRACTOR'S NOI MUST BE RECEIVED PRIOR TO THE SWPPP PERMIT BEING ISSUED. THE CONTRACTOR THAT WILL BE PULLING THE G&D PERMIT MUST HAVE THE SWPPP PERMIT ISSUED IN THEIR NAME.
12. ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTOR DITCHES, PIPES, PROTECTIVE BERMS, BARRIER WALLS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT ADJACENT BUILDINGS OR PROPERTY FROM STORM RUNOFF MUST BE COMPLETED PRIOR TO BUILDING CONSTRUCTION. THE NATURAL FLOW OF RAINWATER AND OTHER SURFACE DRAINAGE FROM THE PROPERTY MAY NOT BE ALTERED IN ANY WAY.
13. CONTRACTOR SHALL PROVIDE STABILIZATION FABRIC TO ALL SLOPES EQUAL TO OR GREATER THAN 3H:1V.
14. STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROVIDED AT ALL LOCATIONS WHERE CONSTRUCTION VEHICLES WILL ENTER AND EXIT THE CONSTRUCTION SITE.
15. REFER TO SHEET 2 FOR STANDARD DETAILS OF BEST MANAGEMENT PRACTICES.
16. WHEN DEEMED NECESSARY, A 6-FOOT HIGH CHAIN LINK FENCE MUST BE INSTALLED AROUND THE CONSTRUCTION AREA TO PREVENT ANY POTENTIAL SAFETY HAZARD FOR THE PUBLIC.

SWPPP KEY-NOTES

1. USE EXISTING PAVERS DRIVEWAY FOR CONSTRUCTION ENTRANCE.
2. DUST CONTROL PER FCDMC BMP-43 THROUGH BMP-46
3. SILT FENCE PER FCDMC BMP-63 THROUGH BMP-68, EPA STANDARDS AND DETAILS, AND DETAILS ON SHEET SP-2 OR STRAW WATTLES PER MARICOPA COUNTY EROSION CONTROL MANUAL SPC-1 ORGANIC FILTER BARRIER.
4. DESIGNATED CONCRETE WASHOUT VESSEL PER FCDMC BMP-99 THROUGH BMP-100 AND DETAILS ON SHEET SP-2
5. DUMPSTER/TRASH CONTAINER
6. DESIGNATED PAINT/SOLVENT WASHOUT VESSEL PER FCDMC BMP-99 THROUGH BMP-100 AND DETAILS ON SHEET SP-2
7. DESIGNATED HAZARDOUS WASTE CONTAINMENT AREA. SEGREGATE POTENTIALLY HAZARDOUS WASTE FROM NON-HAZARDOUS CONSTRUCTION SITE WASTE. HAZARDOUS WASTES ARE NOT TO BE DISPOSED OF IN DUMPSTER AND SHALL BE HAULED TO AN APPROPRIATE DISPOSAL AND/OR RECYCLING FACILITY.
8. DROP INLET PROTECTION.
9. RETENTION/SEDIMENTATION BASIN.
10. ROCK OUTLET PROTECTION.

LEGEND

- XX PROPOSED CONTOUR
- SF SILT FENCE/STRAW WATTLES
- SCE STABILIZED CONSTRUCTION ENTRANCE
- W.A. DESIGNATED WASHOUT AREA
- DESIGNATED HAZARDOUS WASTE CONTAINMENT AREA
- TRASH CONTAINER

ABBREVIATIONS

- BC BACK OF CURB
- BSL BUILDING SETBACK LINE
- EG EXISTING GRADE
- EL ELEV
- EP EDGE OF PAVEMENT
- ESMT EASEMENT
- EX EXIST.
- FG FINISH GRADE
- G GUTTER, GAS
- MCR MARICOPA COUNTY RECORDER
- P, PVMT PAVEMENT
- PUE PUBLIC UTILITY EASEMENT
- R RADIUS
- R/W RIGHT OF WAY
- T TANGENT, TELEPHONE
- W WEST, WATERLINE
- WM WATER METER

UTILITIES

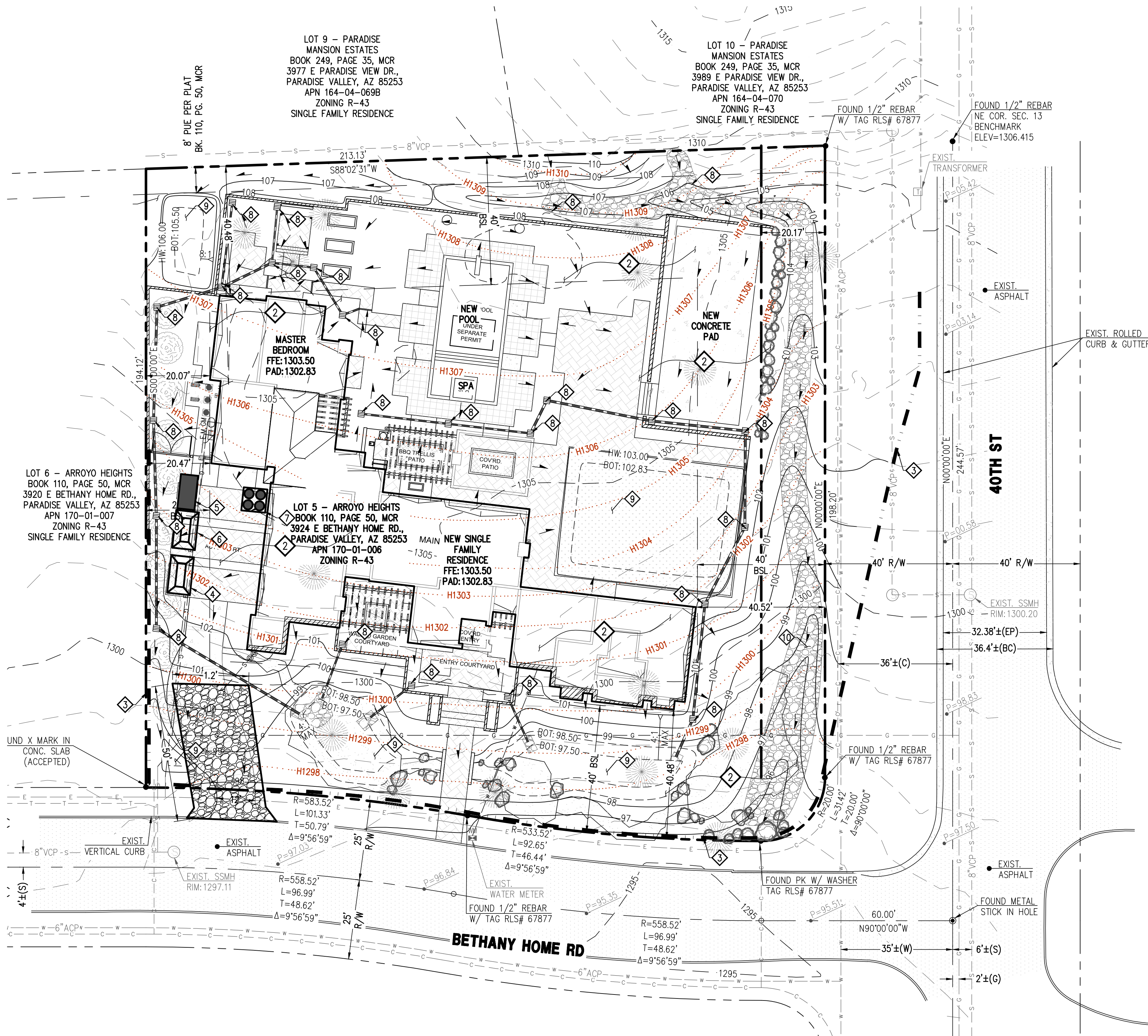
- WATER: CITY OF PHOENIX
- SANITARY SEWER: CITY OF PHOENIX
- ELECTRIC: SRP
- TELEPHONE: CENTURY LINK, COX COMMUNICATIONS
- NATURAL GAS: SOUTHWEST GAS
- CABLE TV: CENTURY LINK, COX COMMUNICATIONS

SHEET INDEX

- SP1 - SWPPP PLAN
- SP2 - DETAILS

NOTE

1. NO WORK OF ANY KIND CAN COMMENCE UNTIL ALL STORM WATER POLLUTION BMP'S ARE IN PLACE AND INSPECTED BY THE TOWN. ONLY UNTIL THE TOWN HAS APPROVED THE STORM WATER BMP'S MAY ANY CONSTRUCTION BEGIN.
2. SEDIMENTATION CONTROL DEVICES (SILT BARRIERS) SHALL REMAIN IN PLACE AT ALL TIME. SEDIMENTATION CONTROL DEVICES SHALL BE KEPT IN GOOD REPAIR, INSPECTED MONTHLY, INSPECTED AFTER EACH RAIN EVENT, AND MAINTAINED AS NEEDED BY THE APPLICANT/OWNER.
3. SEDIMENTATION CONTROL DEVICE INSPECTION LOG SHALL BE MAINTAINED BY APPLICANT AND/OR OWNER AND MADE AVAILABLE TO THE TOWN UPON REQUEST.



OWNER

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PHOENIX, AZ 85051
P: 602-841-1284
F: 602-841-7517
DUNCANDESIGNGROUPPHX@GMAIL.COM

SITE DATA

APN: 170-01-008
ADDRESS: 3924 E BETHANY HOME RD.,
PARADISE VALLEY, AZ 85253
ZONING: R-43
LOT AREA: 43,970 S.F. (1.009 AC.)
QS #: 20-36

LANDSCAPE
ARCHITECT

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LAND SURVEYOR

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CIVIL ENGINEER

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8808 N CENTRAL AVE, SUITE 288
PHOENIX, AZ 85020
CONTACT: NICK PRODANOV, PE
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LEGAL DESCRIPTION

LOT 5, OF ARROYO HEIGHTS, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 110 OF MAPS, PAGE 50.

BENCHMARK

FOUND 1/2" REBAR NE COR. SEC. 13 HAVING AN ELEVATION OF 1306.415, CITY OF PHOENIX DATUM, NAVD 88.

FLOOD INSURANCE RATE MAP (FIRM) DATA

COMMUNITY #	PANEL #	SUFFIX L	BASE FLOOD ELEVATION
040049	1765 OF 4425		N/A
MAP #	PANEL DATE	FIRM INDEX DATE	ZONE
04013C	09/19/2020	11/04/2015	X*

- *AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- *AREAS OF 0.2% ANNUAL CHANCE FLOOD;
- AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE;
- AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD

CONSTRUCTION SEQUENCE

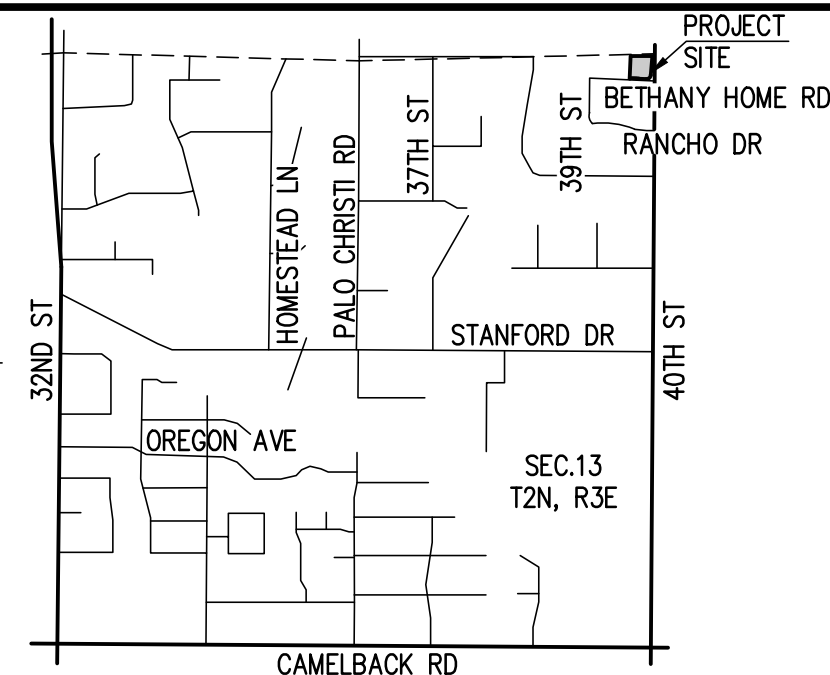
1. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
2. CLEAR AND GRUB.
3. CONSTRUCT RETENTION/SEDIMENTATION BASINS.
4. ROUGH GRADE SITE WHILE PROVIDING POSITIVE DRAINAGE TO BASINS.
5. STABILIZE BARE AREAS AND STOCKPILES AS SOON AS PRACTICABLE.
6. FINAL GRADE AND CONSTRUCT BUILDING PADS.
7. INSTALL UNDERGROUND STORM DRAIN PIPES AND ALL UNDERGROUND UTILITIES.
8. COMPLETE BUILDING CONSTRUCTION.
9. CONSTRUCT PAVING AND SIDEWALKS.
10. COMPLETE FINAL GRADING, INSTALL PERMANENT SEEDING AND LANDSCAPING.

APPROVAL

THIS SET OF PLANS HAS BEEN REVIEWED FOR COMPLIANCE WITH TOWN OF PARADISE VALLEY REQUIREMENTS PRIOR TO ISSUANCE OF PERMIT. THE TOWN NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. THIS COMPLIANCE APPROVAL SHALL NOT PREVENT THE TOWN ENGINEER FROM REQUIRING CORRECTIONS OF ERRORS OR OMISSIONS IN THE PLANS TO BE FOUND IN VIOLATION OF LAWS OR ORDINANCES.

TOWN ENGINEER
TOWN OF PARADISE VALLEY

DATE



VICINITY MAP
NTS

STORM WATER POLLUTION
PREVENTION PLAN
COVER SHEET

WOLFSWINKEL RESIDENCE
3924 E BETHANY HOME RD.,
PARADISE VALLEY, AZ 85253

P 602 889 1984 | F 602 443 9482
8808 N CENTRAL AVE., SUITE 288
PHOENIX, AZ 85020
PHOENIX @ LDGNG.COM





1 FRONT ELEVATION RENDERING
3/16" = 1'-0"



2 LEFT ELEVATION RENDERING
3/16" = 1'-0"



3 REAR ELEVATION RENDERING
3/16" = 1'-0"



4 RIGHT ELEVATION RENDERING
3/16" = 1'-0"

CUSTOM NEW HOME
WOLFSWINKEL RESIDENCE
3924 E BETHANY HOME ROAD
PARADISE VALLEY, AZ 85253
MARICOPA COUNTY

DDG
DUNCAN DESIGN GROUP, LLC
3723 WEST BARNES LANE
PHOENIX, ARIZONA 85051
PHONE: 602.841.1284
FAX: 602.841.7517
DUNCANDesignGroupPHX@gmail.com

DATE: 07.07.1015

No.	Description	Date

SHEET NAME:
RENDERINGS

SHEET NUMBER:
TC-4
PROJECT #:



DDG
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PHOENIX, ARIZONA 85051
PHONE: 602.841.1284
FAX: 602.841.7517
DuncanDesignGroupPHX@gmail.com

No.	Description	Date

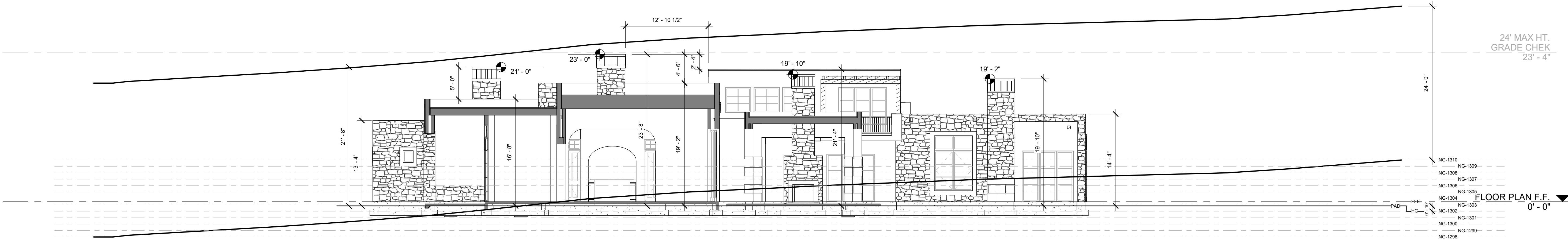
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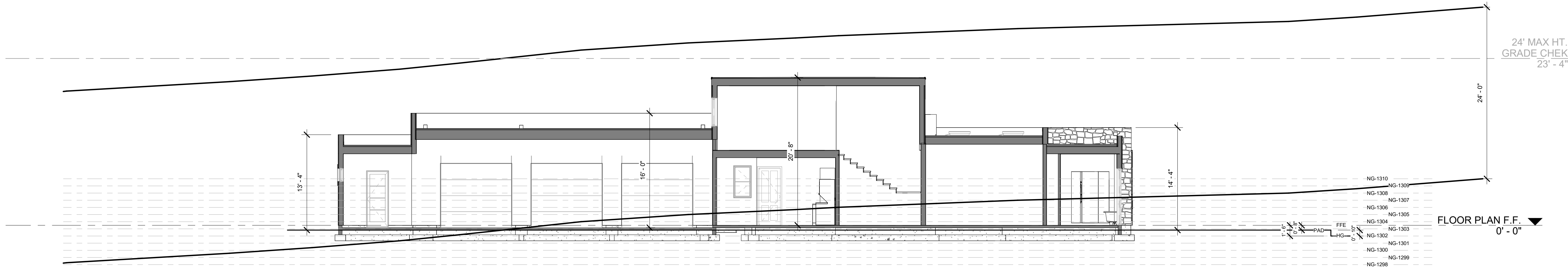
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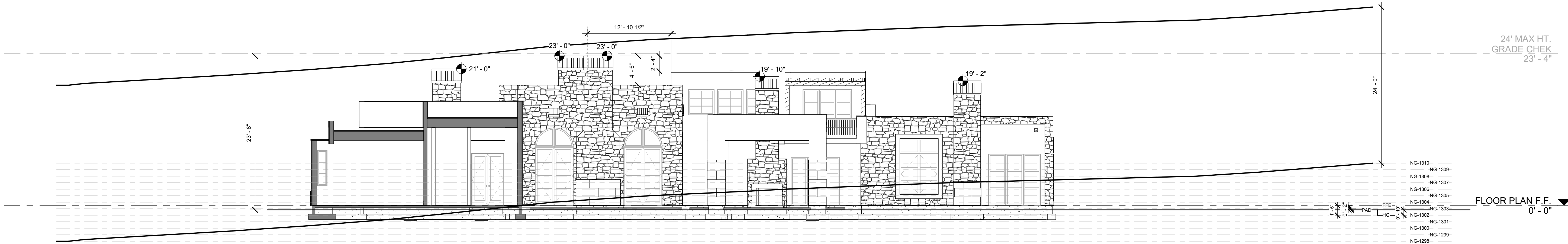
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1 Site Section 1
1/8" = 1'-0"



2 Site Section 2
1/8" = 1'-0"



3 Site Section 3
1/8" = 1'-0"

CUSTOM NEW HOME
WOLF-WINKEL RESIDENCE

3924 E BETHANY HOME ROAD
PARADISE VALLEY, AZ 85253
MARICOPA COUNTY

DDG
DUNCAN DESIGN GROUP, LLC
3723 WEST BARNES LANE
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PHONE: 602.841.1284
FAX: 602.841.7517
DUNCANDESIGNGROUPPHX@GMAIL.COM

DATE: 07.07.1015

No.	Description	Date

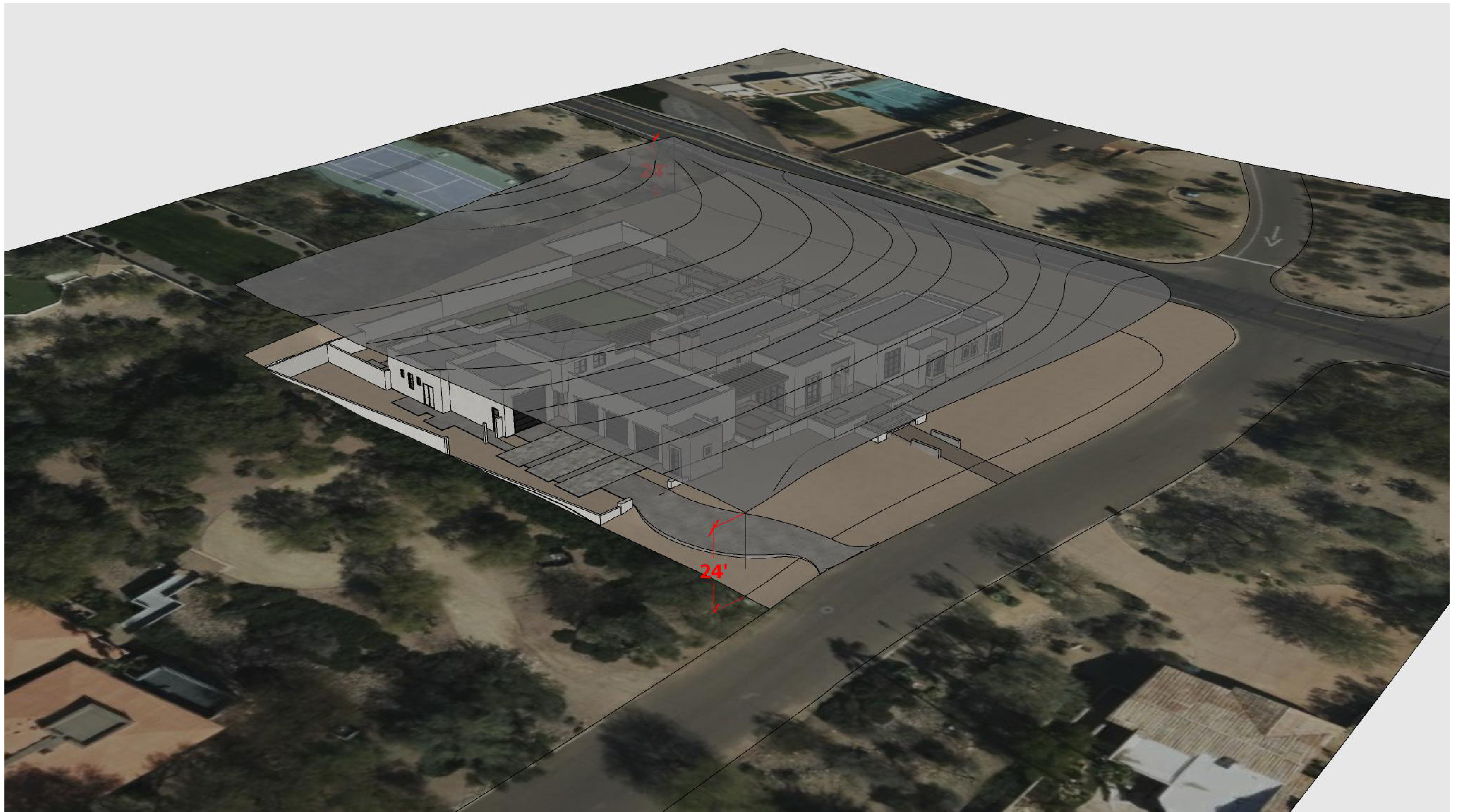
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SITE PLAN SECTIONS

SHEET NUMBER:

S-1.1

PROJECT #:

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WOLFSWINKEL RESIDENCE
24'-0" OFFSET PLANE



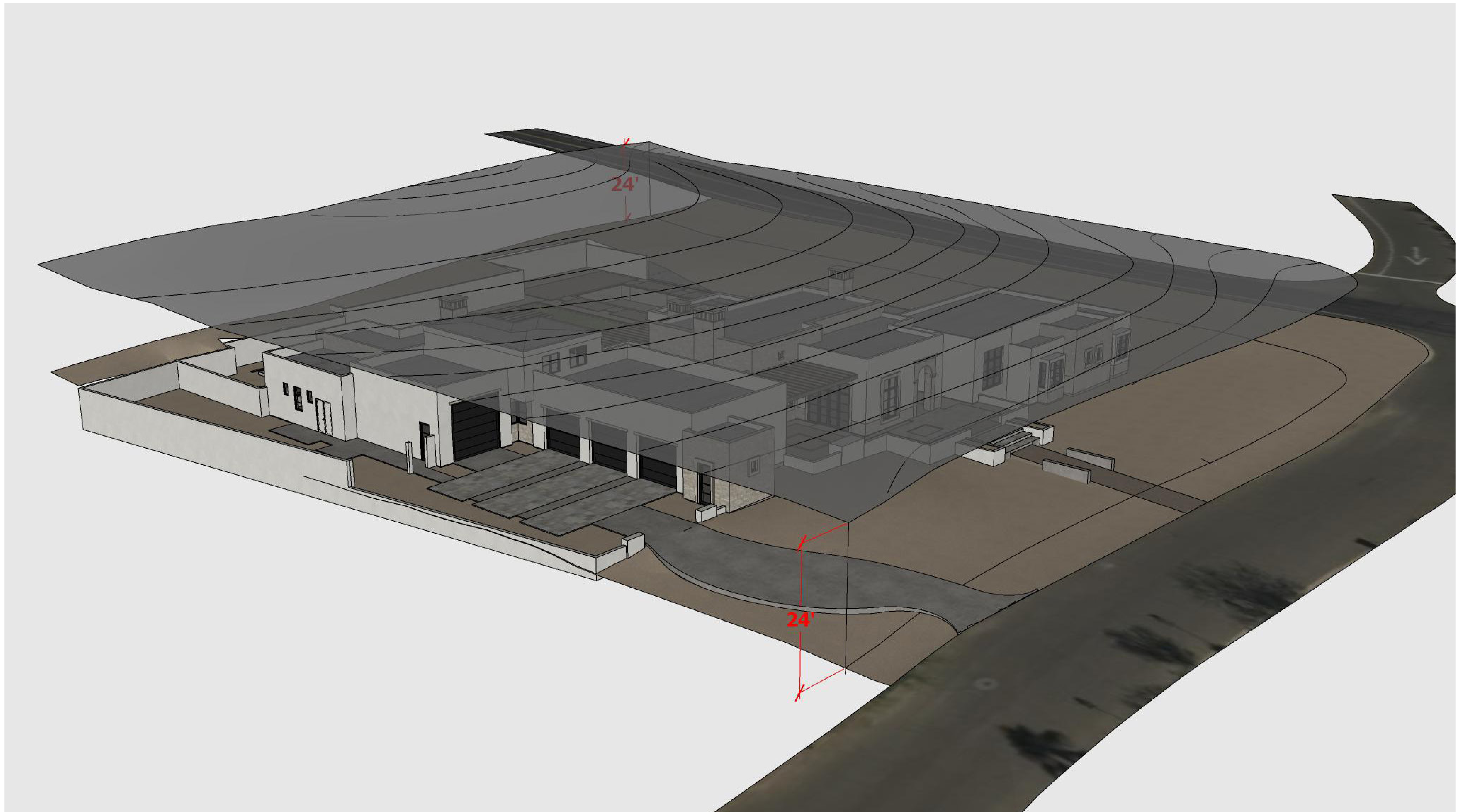
WOLFSWINKEL RESIDENCE
24'-0" OFFSET PLANE



WOLFSWINKEL RESIDENCE
24'-0" OFFSET PLANE



WOLFSWINKEL RESIDENCE
24'-0" OFFSET PLANE

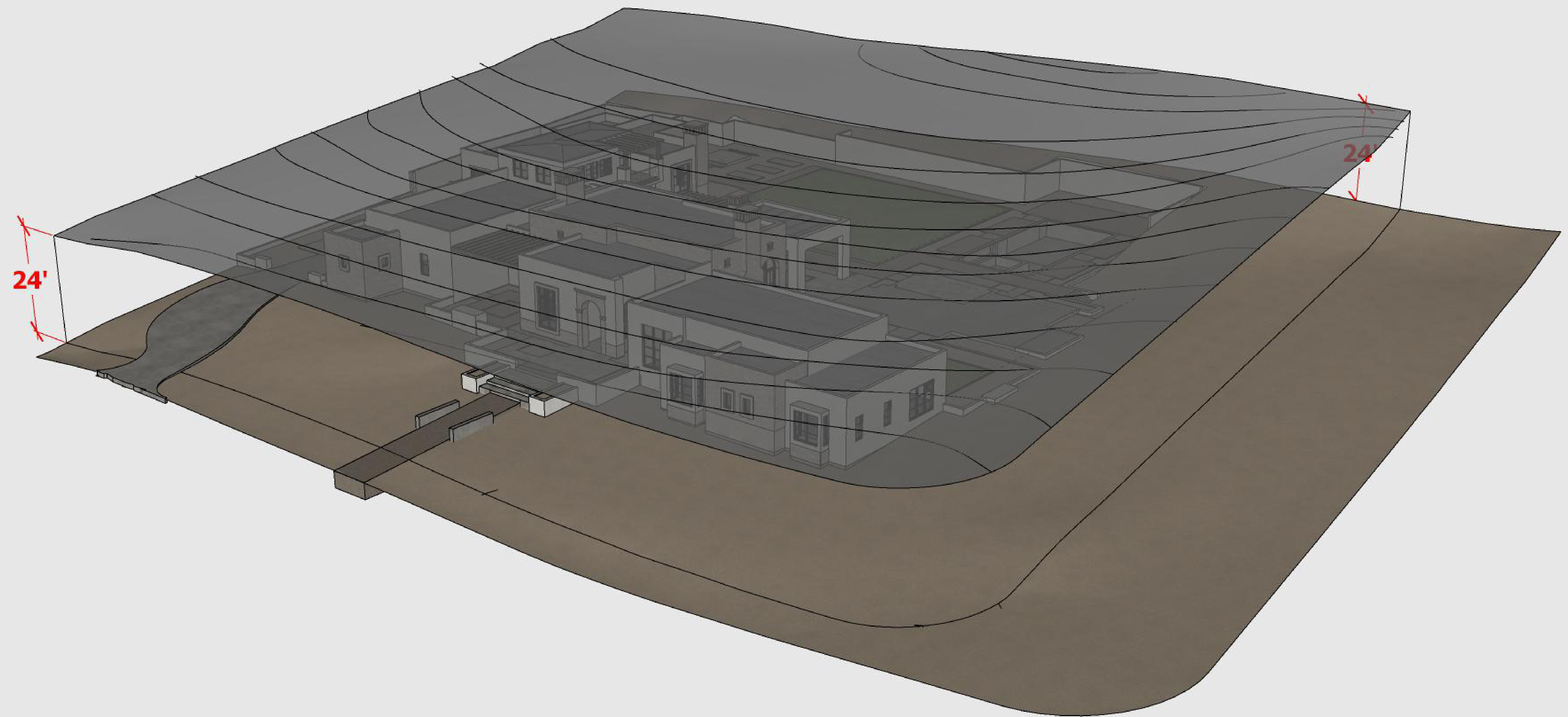


WOLFSWINKEL RESIDENCE
24'-0" OFFSET PLANE



ENTRY DETAIL

WOLFSWINKEL RESIDENCE
24'-0" OFFSET PLANE



GATE DESIGN

WOLFSWINKEL RESIDENCE
24'-0" OFFSET PLANE