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May 6, 2025

Paradise Valley Community Development
Board of Adjustment
6401 E Lincoln Drive
Paradise Valley, AZ 85253-4399

RE: Variance Application 7102 North 57th Place

This Variance request is to establish adequate parking arrangements to safely accommodate a Paradise Valley hillside home that requires relief from the strict application of the zoning code because of unique **shape, topography, location of the property.**

The property, located at 7102 North 57th Place, Paradise Valley, Arizona (APN: 169-55-033E), is herein referred to as the “Property.” See Figure 1.

Figure 1



The applicant is proposing the addition of a single-car garage with integrated living and working space above. The garage will measure 263.5 square feet, with 216 square feet encroaching into the existing setback. It will be set back 30 feet from the applicant’s property line and approximately 80 feet from the nearest neighboring property line.

The existing garage currently accommodates three modern vehicles. The proposed addition will provide one additional enclosed space, bringing the total to four. This configuration is consistent with surrounding homes, which typically accommodate between four and five vehicles. In addition, the proposal will reduce the total disturbed area of the lot.

To proceed, the applicant is requesting a variance from Article X, Height and Area Regulations, to permit additions to the main residence within the setback, and from Article XXIII, Nonconformance, to allow existing nonconforming portions of the house to remain and extend within the setback. In total, 433 square feet of floor area will be located within the setback as a result of this addition.

The average slope of the building pad, as shown on the Grading and Drainage Plan, is 25.3 percent. Please refer to the attached site plan for additional detail. The proposed improvements have been designed by Mark Candelaria of Candelaria Design Associates.

This request reflects the typical building needs for properties in this area. Although a variance is required due to the lot's unique conditions, the proposed design minimizes land disturbance, improves visual compatibility with the surrounding neighborhood, and reduces reliance on outdoor parking. Most importantly, it provides a safe, functional, and secure parking solution for a Paradise Valley family, ensuring convenient access and adequate vehicle storage.

COMPLIANCE WITH VARIANCE CRITERIA

APPROVAL CRITERIA #1: "That there are special circumstances applicable to the property, which may include circumstances related to the property's size, shape, topography, location, or surroundings."

The Property is uniquely situated in relation to 57th Place, with a significantly greater landscaped setback compared to neighboring properties. Unlike typical lots, where the property line closely aligns with the road, this lot has approximately 15 feet of additional space between the property line and the actual roadway. This extra buffer creates a natural separation, meaning any potential structure will be set back farther from the road than the zoning setback requirement alone would suggest. This unique condition enhances the sense of openness and reduces the visual impact of the proposed improvements. As mentioned above this addition will be 80 feet from the nearest adjoining property line.

Additionally, the property's triangular shape and hillside topography create significant constraints on development. With roads on both the high and low sides of the lot, the usable space is already limited, and additional setback requirements further restrict the ability to design functional and safe structures. Most properties do not have three sides of road frontage, and this increased frontage significantly reduces the buildable area. When combined with hillside regulation layers, these factors create a uniquely restrictive condition that this variance seeks to modestly alleviate, bringing the property's buildability closer to that of a standard lot.

Further limiting development, the western portion of the property includes a designated wash area, for which the owner has provided a wash easement. While essential for drainage, this easement

prohibits further construction in that section of the lot, further reducing the already constrained buildable area.

The proposed parking arrangement, designed to improve safety and functionality, is in the eastern corner of the irregularly shaped lot. While the zoning code classifies this area as a backyard setback, it effectively functions as the home's side yard due to the lot's unconventional shape. The required setback in this area is effectively doubled, creating an unnecessary hardship. The proposed structure aligns with neighboring property expectations, as the rounded corner of the lot does not technically qualify as a side yard. Granting this variance will allow for a standard side yard setback that accommodates the property's unique geometry.

Lastly, the current parking and driveway configuration is dangerously narrow, creating serious safety concerns. This issue resulted in an incident where the family was unable to access emergency medical care in a timely manner due to blocked access caused by double parking. The need for a variance is critical to address these constraints, ensuring the safety and accessibility of the property for both daily use and emergency situations.

After exploring all feasible options for a safe parking arrangement, the property owner has determined that the proposed garage is the least impactful solution, balancing hillside preservation, compliance with zoning standards, and alignment with the architectural character of the neighborhood.

APPROVAL CRITERIA #2: "That the special circumstances applicable to the property were not self-imposed or created by the property owner."

Unlike most neighboring properties with more conventional shapes and layouts, this lot's triangular configuration, hillside terrain, and road frontage on three sides creates compounded challenges. Other properties typically have more flexibility in design and parking configurations, whereas this lot's unique shape and setbacks severely limit the buildable area and functional use of the site.

The current unsafe parking and driveway conditions are also a unique hardship. Other properties in the area do not face such extreme access issues, and their designs better accommodate emergency situations and daily use.

APPROVAL CRITERIA #3: "That the strict application of the Zoning Ordinance will deprive the property of privileges enjoyed by other property of the same classification in the same zoning district."

The purpose of the zoning ordinance is to allow reasonable use of properties while preserving safety, aesthetic quality, and neighborhood harmony. Granting the variance will address the safety concerns posed by the inadequate parking and driveway, ensuring the family can access and exit the Property safely in both routine and emergency situations.

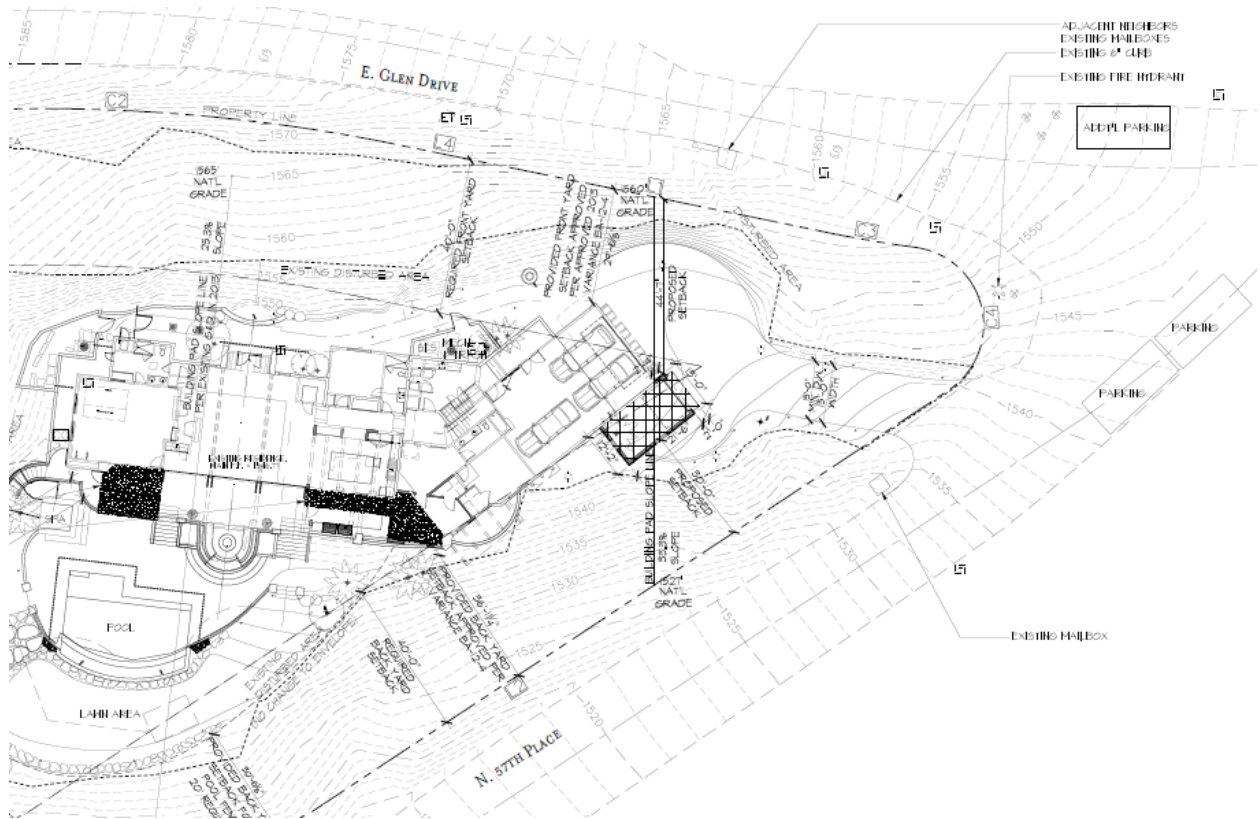
Furthermore, the proposed garage will improve the architectural value of the home, aligning it with the character and standards of the neighborhood. The strict application of the current zoning code has resulted in a lack of relief for these unique challenges, and granting the variance will allow for a solution that benefits both the Property owners and the surrounding community. The current parking configuration is dangerous, presenting credible safety concerns. The strict application of the zoning ordinance will deprive the applicant of privileges enjoyed by other property of the same classification but with more ordinary circumstances.

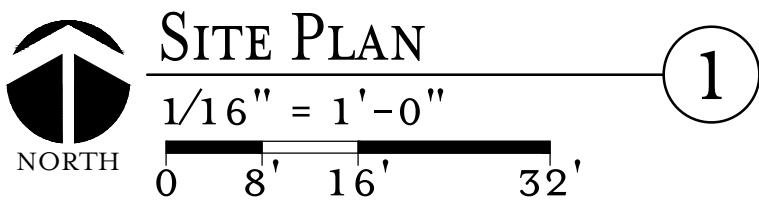
This variance will allow the property owners to enjoy the same privileges as their neighbors by accommodating their family's needs while also ensuring safe and accessible entry to the property.

CONCLUSION

For the reasons outlined above, we believe this variance request not only meets but exceeds the necessary criteria. Approving this request will contribute to creating a safer, more functional, and aesthetically harmonious home that aligns with the character and beauty of Paradise Valley.

Exhibit A





VICINITY MAP

GLEN DR.

PROJECT SITE

ARROYO RD.

57TH PL.

58TH PL.

INDIAN BEND RD.

JOSHUA TREE LN.

57TH PL.

60TH ST.

NORTH

2409

CELEBRATING
25 YEARS

1999-2024



Checked By: T.M.
 Drawn By: L.Z.
 Scale: AS NOTED
 Drawing:

SITE PLAN

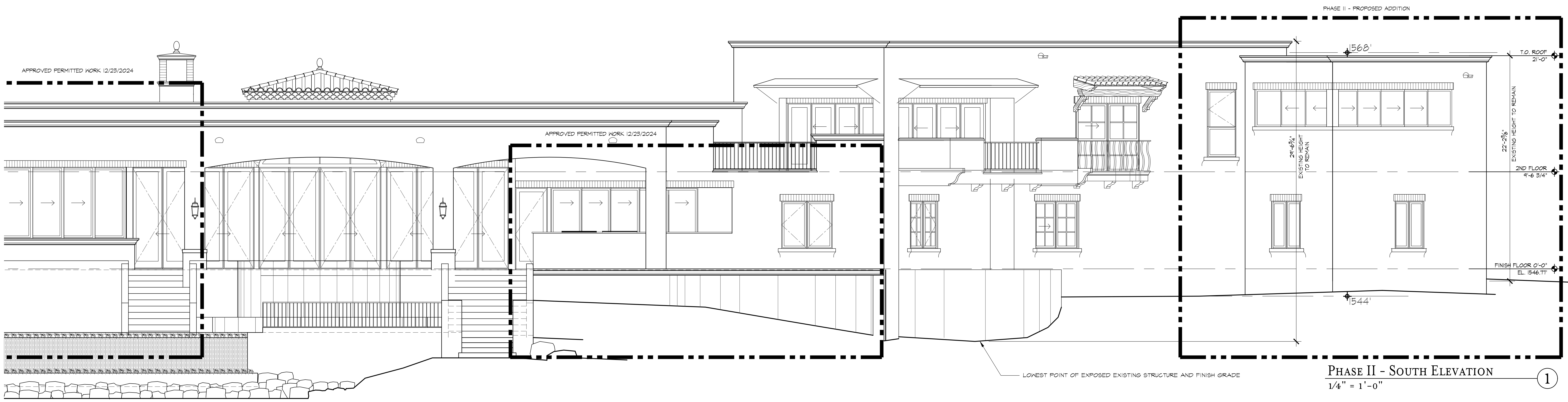
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EXISTING - SOUTH ELEVATION
1/4" = 1'-0"
0 2' 4' 8'



PHASE II - SOUTH ELEVATION
1/4" = 1'-0"

- DRAWING KEYNOTES
21. PLANTER OR LANDSCAPED AREA.

22. APPROXIMATE LINE OF PROPOSED FINISHED GRADE.

23. INTEGRALLY COLORED CONCRETE WITH BROOM FINISH DAVIS COLORS, SAN DIEGO BUFF 5297.

24. FILL-IN EXISTING DEPRESSIONED SLAB W/ COMPACTED A.B.G. TO ALLOW 4" CONCRETE SLAB TO BE FLUSH WITH ADJACENT CONCRETE.

25. WALKWAY PAVERS TO MATCH EXISTING.

26. NEW G.M.U. BENCH AND WALL WITH PLANTER. REF. TO DETAILS. PAINTED STUCCO O/ MASONRY.

31. 4" THK. EXTERIOR CONCRETE SLAB ON COMPACTED GRADE WITH INTEGRAL COLOR, OWNER AND ARCH. TO SELECT COLOR AND FINISH.

32. 1 1/2" 4" THK. STD. GRAY EXTERIOR CONCRETE SLAB ON COMPACTED GRADE FOR FINISHED STONE OR PAVES SURFACING.

33. 4" THK. RESIDENCE CONCRETE FLOOR SLAB OVER 4" A.B.G.

34. NEW/NOOTED CONCRETE APPROXIMATING HEIGHT TO MATCH INTERIOR FINISHED FLOOR.

35. APPROX. LINE OF TRANSITION FROM EXIS TO NEW CONCRETE FLOOR SLAB.

41. 8" x 8" x 16" REINFORCED CONCRETE MASONRY UNIT WALL.

42. 24" SQ. REINFORCED CONCRETE PIER CENTERED ON ADJACENT SITE WALLS.

43. ADOBE XBSO, GCI PRECAST MANTEL, TRIM CAP, SILL OR SURROUND AS OCCURS, OWNER/ ARCHITECT TO CONFIRM FINAL PROFILE.

44. 4" WALL OR PIER CAP TO MATCH BRICK VENEER.

45. 8" x 8" x 16" REINFORCED CONCRETE MASONRY UNIT SITE WALL. HEIGHT PER SITE PLAN.

46. MASONRY LINTEL - REFER TO STRUCTURAL DRAWINGS.

47. ADOBE XBSO, GCI PRECAST ENTRY SURROUND, SCUPPERS AND PARAPET CAPS.

48. SHOWN/STACK, THIN BRICK, ROBINSON BRICK, HEADS OR GAMNEY.

49. DECORATIVE RECESS DETAIL, CUT INTO EXT. CMU WALL APPROX 3/4". REPAIR ANY DAMAGED OR ROUGH CUT MASONRY, STUCCO OVER TO MATCH SURROUNDING.

51. EXISTING STEEL COLUMN, BEAM, OR LINTEL PER STRUCTURAL DRAWINGS.

52. STEEL COLUMN, BEAM OR LINTEL PER STRUCTURAL. WHERE STEEL COLUMN MEETS WINDOW OR DOOR SYSTEM, GLAD WITH MANUFACTURER'S METAL TO MATCH ADJACENT SYSTEM.

53. 36" to 38" HIGH GUARDRAIL, MEASURED FROM STEP NOSE, W/ 4" SPACING B/W VERTICAL RODS, KNUCKLE EVERY FIFTH VERTICAL ROD, CENTERED. KNUCKLE POST AT FIRST TREAD FINAL MATERIAL, 4 DESIGN BY OWNER.

54. 1 1/2" HANDRAIL AT 36" FROM STEP NOSE. HANDRAIL TO BE CAPABLE TO RESIST A LOAD OF 250#.

55. WROUGHT IRON OVERLAY AT FAUX DECORATIVE STEEL SCREEN, FINAL DESIGN T.B.D.

56. PRE-FABRICATED ROOFED 1 JULIET BALCONY BY OTHERS, REF. STRUCTURAL.

57. DECORATIVE FORGED STEEL SCREEN - FINAL DESIGN T.B.D.

58. 3/4" SQ. CROSS FORGED STEEL BARS, RUSTED STEEL FINISH, FINAL DESIGN BY OWNER.

61. 2x6 WOOD STUD WALL @ 16" O.C.

62. 2x6 WOOD STUD WALL @ 16" O.C.

63. EXISTING 2x FLOORING STUDS AT 16" O.C. O/ EXISTING WALL (V.I.F.) REPAIR OR REPLACE AS REQUIRED.

64. PLYWOOD SHEATHING PER STRUCTURAL DRAWINGS.

65. DECORATIVE HAND HEIN WOOD GLS BEAM - SIZE AND SPACING AS NOTED ON REF. CEILING PLAN.

66. HAND HEIN VENEER WOOD O/ EXISTING BEAMS. FINAL BEAM WIDTH TO BE 10" MIN.

67. DECORATIVE HAND SAWN WOOD BRACKETS/CORBELS AS OCCURS - FINAL DESIGN T.B.D.

68. WINDOW SILL: HAND SAWN WOOD BEAMS - SIZE AND SPACING AS PER STRUCTURAL DRAWINGS.

69. PREFABRICATED WOOD ROOF TRUSS OR 2X ROOF JOISTS - SPACING AND SIZE PER STRUCTURAL DRAWINGS.

70. 18" FRAMED PLATFORM FOR RETURN AIR DUCT W/ GYPM BOARD FINISH AT INTERIOR AND PLYWOOD SHEATHING/SHUTTER METAL TOP AT MECHANICAL CLOSETS.

71. POLYMER COMPOSITE WOOD SHUTTER IN HEIGHT TO MATCH WINDOW OR DOOR UNIT. SN 6082 COBBLE BROWN, CASEWORK, CABINETRY, 4 COUNTERTOP PER OWNER, BUILDER, ARCH. 4 INT. DESIGNER, REFER TO SUPPLIERS SHOP DRAWINGS FOR ADDITIONAL INFO.

72. WOOD MILLWORK AS OCCURS, BASE, HANDSCOT, TRIM, CASING, COFFERS, CROWN MOLDING, ETC. - EXTENT & SPECS. T.B.D. BETWEEN OWNER, BUILDER, 4 ARCHITECT.

73. LOWRDED 2x CEILING OR SOFFIT FRAMING WITH FIREBLOCKING.

74. DECORATIVE STAINED WOOD RAFTER TAIL - SEE DETAILS FOR EXACT SIZE AND PROFILE.

75. 2x WOOD STUD TO INFILL OPENING, MATCH ADJACENT WALL, OR AS SPECIFIED WALL THICKNESS.

76. FRAMED COLUMNS AT EXTERIOR PATIO. SEE ELEVATIONS FOR HEIGHT AND TREATMENT.

77. WOOD BEAMS, WOOD TAILS, GARAGE DOORS, 4 DECORATIVE EXTERIOR SHUTTERS COLOR SN 6082 COBBLE BROWN (LRY. B).

78. FLUR OUT EXIS 4X4 STEEL COLUMN FOR NEW DOOR JAMBS AND ELECTRICAL, ROUGH IN, CONTRACTOR TO COORDINATE.

82.0 2x4 STUD WALL @ 16" O.C.

82.1 STRUCTURAL WOOD POST PER STRUCTURAL DWGS.

11. WATERPROOFING OR DAMPROOFING SYSTEM AT FACES OF MASONRY WALLS OR CONCRETE STEM WALLS BELOW FINISHED GRADE.

12. ELON CELLULOSE INSULATION AS PER CONDITION. R-19 AT 2x FLOORING R-18 AT 2x6 STUDS, (CYBENE SPRAY FOAM INSULATION AT ROOF DECK, R-30 MIN. CYBENE THROUGHOUT AT OWNER'S REQUEST).

13. GACOFLEX WALK DECK WATERPROOFING MEMBRANE (CC ESR 1284).

14. MIN. 1" EPS FOAM AT NEW EXTERIOR WALLS, FOAM TO ALIGN W/ EXISTING CMU.

14. SLOPPED FOAM/STUCCO SILL POP-OUT AT WINDOW.

81. ALUM. GLAD WOOD WINDOW WITH INSULATED LOW-E GLAZING. SEE WINDOW SCHEDULE, SHEET A8.1, FOR LOCATIONS OF TEMPERED GLAZING. COLOR T.B.D.

82. ALUM. GLAD WOOD DOOR WITH TEMPERED INSULATED SOLAR GLAZING. COLOR T.B.D.

51/8" GYP. BOARD TYP. AT INTERIOR WALLS AND CEILINGS (UNO.).

92. DECORATIVE PLASTER TRIM OR MOLDING AS SHOWN, VERIFY PROFILE. W/ OWNER, ARCHITECT, & INT. DESIGNER.

93. STUCCO SYSTEM FINISH TO MATCH RESIDENCE APPLIED DIRECTLY OVER MASONRY WALL CONSTRUCTION OR WESTERN 1-KOTE STUCCO SYSTEM (ESR 1607, OR EQ.) WITH "STO" SYNTHETIC FINISH CONTAINING INTEGRAL COLOR 4 A SMOOTH SAND FREESTYLE "AGED" FINISH, EXTEND BELOW GRADE MINIMUM 8" AT WALL BASE. COLOR SN 6192 MANNERED GOLD (LRY. 33).

14. STONE OR TILE FLOOR.

15. 1" THK. SPRAYED IN PLACE POLYURETHANE FOAM O/ ROOF SHEATHING (UL MR6091 OR SM) PAINTED W/ 3 COATS OF ACRYLIC ELASTOMERIC PAINT SN 6192 MANNERED GOLD (LRY. 33).

46. PLASTER PAINTED CORBELS.

47. WATERPROOF GYP. BOARD AS REQUIRED.

101. BUILT-IN SHELVING, RODS, ETC. FOR CLOTHES, DECORATIVE, STORAGE OR FUNCTIONAL USE. EXTENT & SPECS. PER BUILDER, OWNER, 4 INT. DESIGNER.

102. SMOKER 4 OUTDOOR KITCHEN - FINAL SELECTION BY OWNER.

151. ELECTRICAL EXTERIOR CONDENSER UNIT PER MECHANICAL PLANS.

152. PROVIDE GAS AT RANGE.

153. APPROXIMATE LOCATION OF SUPPLY AIR DUCT (OR CENTERED REGISTER).

154. APPROXIMATE LOCATION OF RETURN AIR DUCT (OR GRILLE).

155. EXHAUST FAN WITHIN HOOD VENTED DIRECTLY TO EXTERIOR PER MSOS&B.

156. FRESH AIR INTAKE, SIZED PER MECHANICAL DRAWINGS.

157. SAUNA UNIT - FINAL DESIGN T.B.D. BY OWNER/ BUILDER.

158. EXHAUST FAN IN BATHROOM.

161. 100 AMP ELECTRICAL SERVICE 4 METER PER ELECT. SHTS. 4 POWER CO.

162. APPROXIMATE LOCATION OF ELECTRICAL SUB PANEL.

163. ELECTRICAL LIGHT FIXTURE, DEVICE OR JUNCT. BOX PER SHEETS AE....
- LIFESTYLE

ARCHITECTURE

Candelaria Design Associates

6900 EAST CAMELBACK RD., SUITE 400
602-604-2001
SCOTTSDALE, AZ 85251
CANDELARIADESIGN.COM
FAX 480-874-7098
- ADDITIONS & ALTERATIONS TO:

Van Houten Residence

7102 N. 57TH PLACE
PARADISE VALLEY, AZ 85253

2409

25 YEARS
1999-2024

APR. 25, 2025

REGISTERED ARCHITECT
MARK B. CANDELARIA
STATE OF ARIZONA, U.S.A.
- Checked By: P.D.

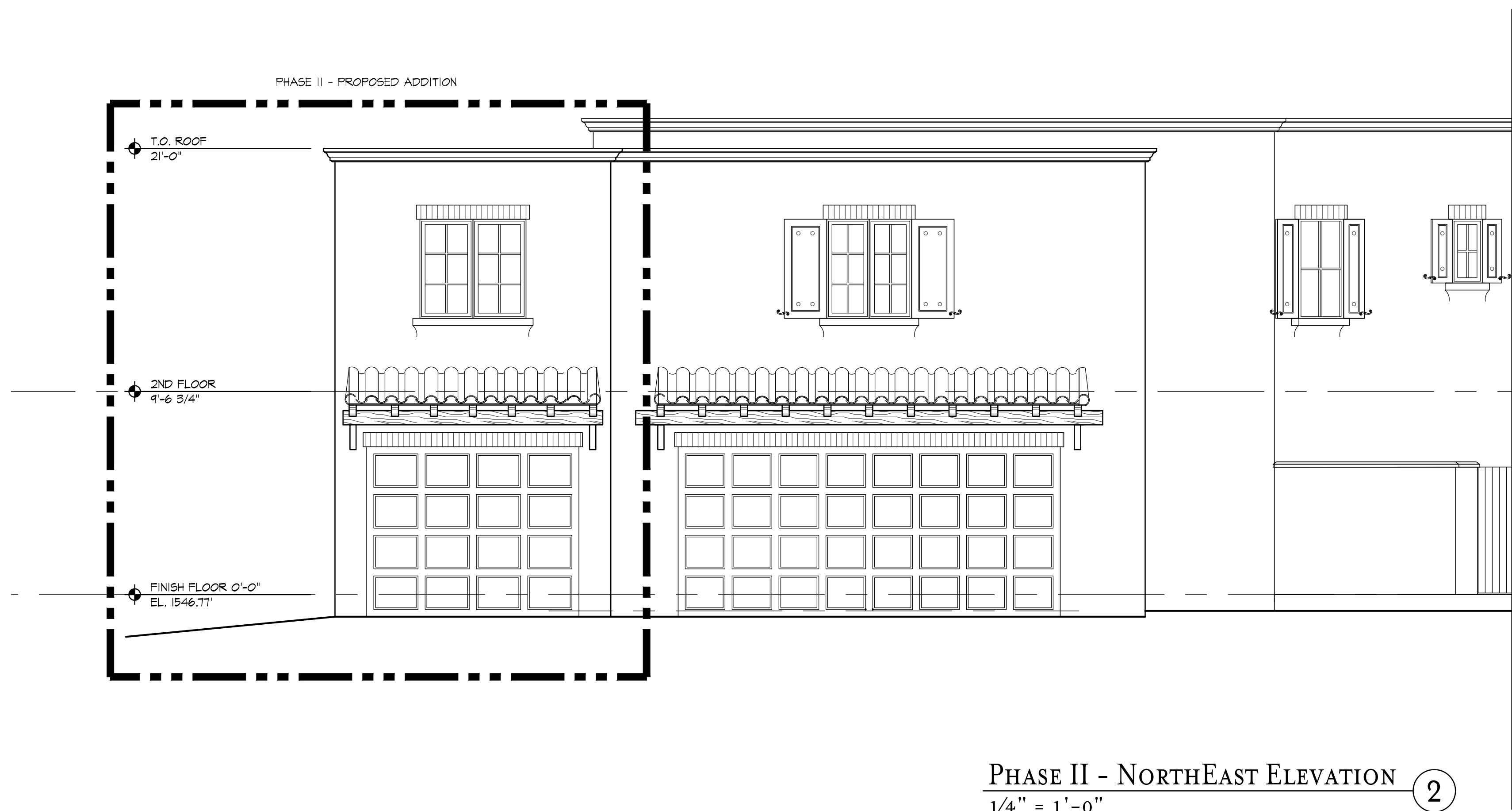
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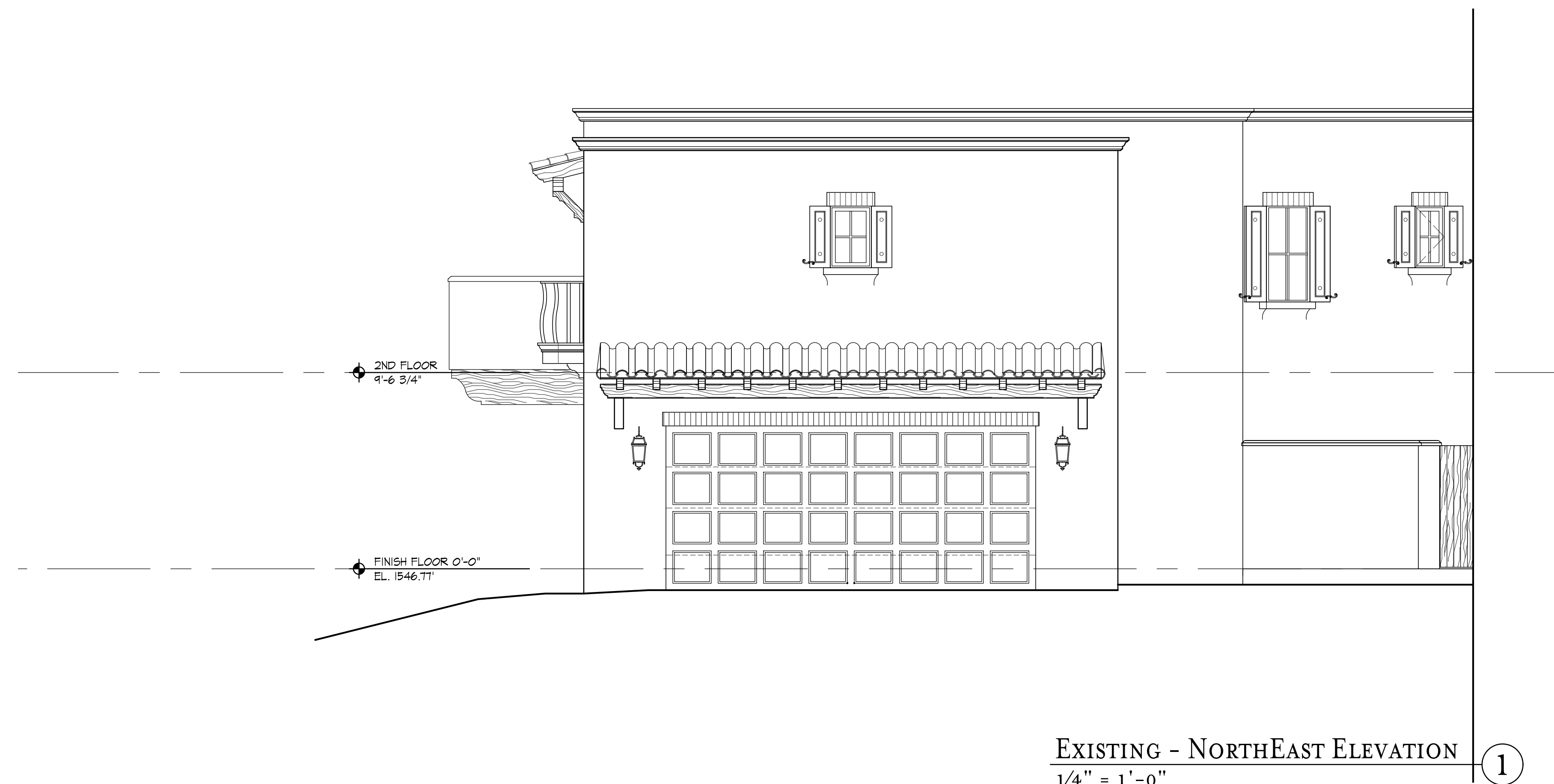
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PHASE II - NORTH EAST ELEVATION ②
1/4" = 1'-0"
0 2' 4' 8'



EXISTING - NORTH EAST ELEVATION ①
1/4" = 1'-0"
0 2' 4' 8'



EXISTING - SOUTH EAST ELEVATION ③
1/4" = 1'-0"
0 2' 4' 8'



PHASE II - SOUTH EAST ELEVATION ④
1/4" = 1'-0"
0 2' 4' 8'

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LIFESTYLE
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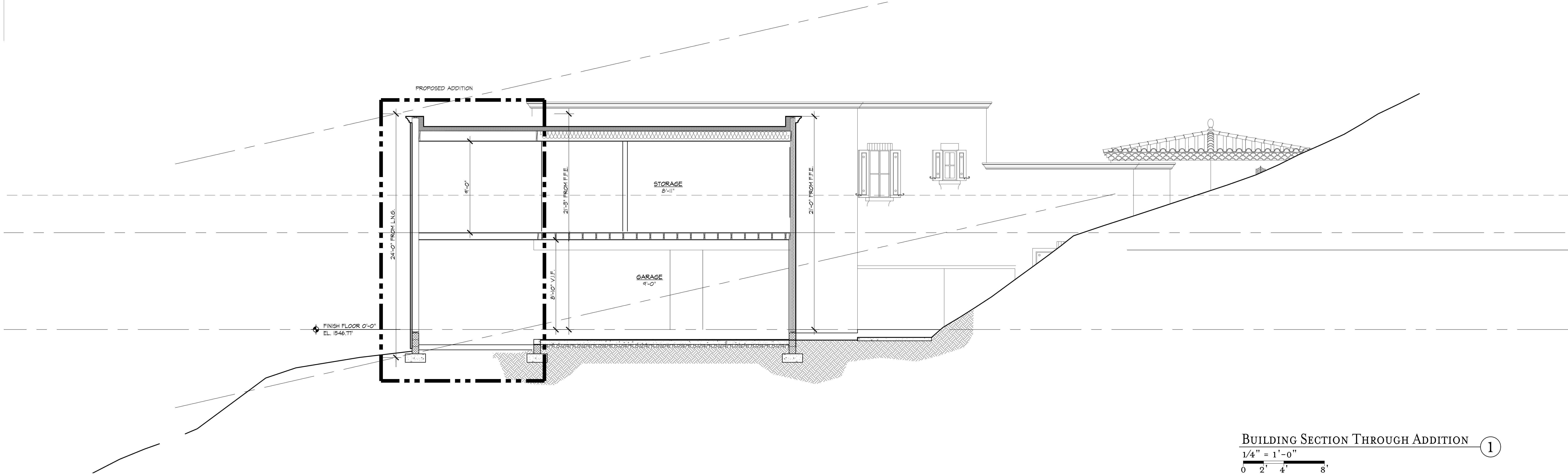
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PARADISE VALLEY, AZ 85253

2409
CELEBRATING 25 YEARS
1999-2024

REGISTERED ARCHITECT
MARK B. CANDELARIA
STATE OF ARIZONA
NO. 13541
EXPIRATION 12/31/25
SEDONA, U.S.A.

APR. 25, 2025
Checked By: P.D.
Drawn By: P.M.
Scale: AS NOTED
Drawing: EXTERIOR ELEVATIONS
Sheet:

A6.2
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BUILDING SECTION THROUGH ADDITION 1
1/4" = 1'-0"
0 2' 4' 8'

DRAWING KEYNOTES

- | | | | |
|---|--|--|--|
| 21. PLANTER OR LANDSCAPED AREA. | 53. 36" to 36" HIGH GUARDRAIL (MEASURED FROM STEP NOSE) W/ 4" SPACING B/W VERTICAL RODS. KNUCKLE EVERY FIFTH VERTICAL ROD, CENTERED. KNEEL POST AT FIRST TREAD FINAL MATERIAL & DESIGN BY OWNER. | COORDINATE | 151. ELECTRICAL EXTERIOR CONDENSER UNIT PER MECHANICAL PLANS |
| 22. APPROXIMATE LINE OF PROPOSED FINISHED GRADE. | 54. 1-1/2" HANDRAIL AT 36" FROM STEP NOSE. HANDRAIL TO BE CAPABLE TO RESIST A LOAD OF 250#. | 6.20 2x4 STUD WALL @ 16" O.C. | 152. PROVIDE GAS AT RANGE |
| 23. INTEGRALLY COLORED CONCRETE WITH BROOM FINISH DAVIS COLORS, SAN DIEGO BUFF 5297. | 55. WROUGHT IRON OVERLAY AT FAUX DECORATIVE STEEL SCREEN, FINAL DESIGN T.B.D. | 6.21 STRUCTURAL WOOD POST PER STRUCTURAL DWGS. | 153. APPROXIMATE LOCATION OF SUPPLY AIR DUCT (OR CENTERED REGISTER). |
| 24. FILL-IN EXISTING DEPRESSIONED SLAB W/ COMPACTED A.B.G. TO ALLOW 4" CONCRETE SLAB TO BE FLUSH WITH ADJACENT CONCRETE. | 56. PREFABRICATED ROOFED & JULIET BALCONY BY OTHERS, REF. STRUCTURAL | 11. WATERPROOFING OR DAMPROOFING SYSTEM AT FACES OF MASONRY WALLS OR CONCRETE STEM WALLS BELOW FINISHED GRADE. | 154. APPROXIMATE LOCATION OF RETURN AIR DUCT (OR GRILLE) |
| 25. WALKWAY PAVERS TO MATCH EXISTING | 57. DECORATIVE FORGED STEEL SCREEN - FINAL DESIGN T.B.D. | 12. BLON CELLULOSE INSULATION AS PER CONDITION. R-13 AT 2x FURRING R-18 AT 2x6 STUDS. (CYCENE SPRAY FOAM INSULATION AT ROOF DECK, R-30 MIN. (CYCENE THROUGHOUT AT OWNER'S REQUEST. | 155. EXHAUST FAN WITHIN HOOD VENTED DIRECTLY TO EXTERIOR PER MSOS&. |
| 26. NEW G.M.U. BENCH AND WALL WITH PLANTER. REF. TO DETAILS. PAINTED STUCCO O/ MASONRY. | 58. 3/4" SQ. CROSS FORGED STEEL BARS, RUSTED STEEL FINISH, FINAL DESIGN BY OWNER. | 13. GACOFLEX WALK DECK WATERPROOFING MEMBRANE (CC ESR 1284) | 156. FRESH AIR INTAKE, SIZED PER MECHANICAL DRAWINGS |
| 31. 4" THK. EXTERIOR CONCRETE SLAB ON COMPACTED GRADE WITH INTEGRAL COLOR, OWNER AND ARCH. TO SELECT COLOR AND FINISH | | 14. MIN. 1" EPS FOAM AT NEW EXTERIOR WALLS, FOAM TO ALIGN W/ EXISTING CMU. | 157. SAUNA UNIT - FINAL DESIGN TED BY OWNER/ BUILDER |
| 32. 1/2" 4" THK. STD. GRAY EXTERIOR CONCRETE SLAB ON COMPACTED GRADE FOR FINISHED STONE OR PAVES SURFACING | | 14. SLOPPED FOAM/STUCCO SILL POP-OUT AT WINDOW | 158. EXHAUST FAN IN BATHROOM |
| 33. 4" THK. RESIDENCE CONCRETE FLOOR SLAB OVER 4" ABC. | | 81. ALUM. GLAD WOOD WINDOW WITH INSULATED LOW-E GLAZING. SEE WINDOW SCHEDULE, SHEET A81, FOR LOCATIONS OF TEMPERED GLAZING. COLOR T.B.D. | 161. (E) 600 AMP ELECTRICAL SERVICE & METER PER ELECT. SHTS. & POWER CO. |
| 34. NEW/MODIFIED CONCRETE APPROXIMATING HEIGHT TO MATCH INTERIOR FINISHED FLOOR. | | 8.2 ALUM. GLAD WOOD DOOR WITH TEMPERED INSULATED SOLAR GLAZING. COLOR T.B.D. | 162. APPROXIMATE LOCATION OF ELECTRICAL SUB PANEL |
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| 41. 8" x 8" x 16" REINFORCED CONCRETE MASONRY UNIT WALL. | 61. 2x6 WOOD STUD WALL @ 16" O.C. | 12. DECORATIVE PLASTER TRIM OR MOLDING AS SHOWN, VERIFY PROFILE. W/ OWNER, ARCHITECT, & INT. DESIGNER. | |
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| 43. ADORSE X350, GCI PRECAST MANTEL, TRIM, CAP, SILL OR SURROUND AS OCCURS. OWNER/ ARCHITECT TO CONFIRM FINAL PROFILE. | 63. EXISTING 2x FURRING STUDS AT 16" O.C. O/ EXISTING WALL (V.I.F.) REPAIR OR REPLACE AS REQUIRED. | 14. STONE OR TILE FLOOR | |
| 44. 4" WALL OR PIER CAP TO MATCH BRICK VENEER. | 64. PLYWOOD SHEATHING PER STRUCTURAL DRAWINGS | 15. 1" THICK SPRAYED IN PLACE POLYURETHANE FOAM O/ ROOF SHEATHING (UL MR&Q29 OR SIM.) PAINTED W/ 3 COATS OF ACRYLIC ELASTOMERIC PAINT SH 6150 MANNERED GOLD (LRV 35) | |
| 45. 8" x 8" x 16" REINFORCED CONCRETE MASONRY UNIT SITE WALL. HEIGHT PER SITE PLAN | 65. DECORATIVE HAND HEIN WOOD G/LG BEAM - SIZE AND SPACING AS NOTED ON REF. CEILING PLAN. | 16. PLASTER PAINTED CORBELS. | |
| 46. MASONRY LINTEL - REFER TO STRUCTURAL DRAWINGS | 66. HAND HEIN VENEER WOOD O/ EXISTING BEAMS. FINAL BEAM WIDTH TO BE 10" MIN. | 17. WATERPROOF GYP. BOARD AS REQUIRED | |
| 47. ADORSE X350, GCI PRECAST ENTRY SURROUND, SCUPPERS AND PARAPET CAPS. | 67. DECORATIVE HAND SAWN WOOD BRACKET/CORBELL AS OCCURS - FINAL DESIGN T.B.D. | 18. BUILT-IN SHELVING, RODS, ETC. FOR CLOTHES, DECORATIVE, STORAGE OR FUNCTIONAL USE. EXTENT & SPECS. PER BUILDER, OWNER & INT. DESIGNER. | |
| 48. SHONESTACK, THIN BRICK, ROBINSON BRICK, HEADER OR GAMNEY. | 68. WINDOW SILL: HAND SAWN WOOD BEAMS - SIZE AND SPACING AS PER STRUCTURAL DRAWINGS. | 19. WOOD BEAMS, WOOD TAILS, GARAGE DOORS, & DECORATIVE EXTERIOR SHUTTERS COLOR SH 6092 COBBLE BROWN (LRV 15) | |
| 49. DECORATIVE RECESS DETAIL, CUT INTO EXT. CMU WALL APPROX. 3/4". REPAIR ANY DAMAGED OR ROUGH CUT MASONRY, STUCCO OVER TO MATCH SURROUNDING. | 69. PREFABRICATED WOOD ROOF TRUSS OR 2X ROOF JOISTS - SPACING AND SIZE PER STRUCTURAL DRAWINGS. | 6.H FUR OUT EXG 4x4 STEEL COLUMN FOR NEW DOOR JAMBS AND ELECTRICAL ROUGH ING, CONTRACTOR TO | |
| 51. EXISTING STEEL COLUMN, BEAM, OR LINTEL PER STRUCTURAL DRAWINGS. | 70. 18" FRAMED PLATFORM FOR RETURN AIR DUCT W/ GYP/DM BOARD FINISH AT INTERIOR AND PLYWOOD SHEATHING/SILL METAL TOP AT MECHANICAL CLOSETS. | | |
| 52. STEEL COLUMN, BEAM OR LINTEL PER STRUCTURAL. WHERE STEEL COLUMN MEETS WINDOW OR DOOR SYSTEM, GLAD WITH MANUFACTURER'S METAL TO MATCH ADJACENT SYSTEM. | 71. POLYMER COMPOSITE WOOD SHUTTER IN HEIGHT TO MATCH WINDOW OR DOOR UNIT. SH 6082 COBBLE BROWN. CASEWORK, CABINETRY & COUNTERTOP PER OWNER, BUILDER, ARCH. & INT. DESIGNER. REFER TO SUPPLIERS SHOP DRAWINGS FOR ADDITIONAL INFO. | | |

ADDITIONS & ALTERATIONS TO:
Van Houten Residence
7102 N. 57TH PLACE
PARADISE VALLEY, AZ 85253

2409
CELEBRATING 25 YEARS
1999-2024



APR. 25, 2025

Checked By: T.M.
Drawn By: L.Z.
Scale: 1/4" = 1'-0"
Drawing:
BUILDING SECTIONS
Sheet:

A5.2

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LIFESTYLE