

# PARADISE VALLEY MEDICAL PLAZA

SPECIAL USE PERMIT INTERMEDIATE AMENDMENT 2018





**PARADISE VALLEY MEDICAL PLAZA**  
**INTERMEDIATE AMENDMENT TO SPECIAL USE PERMIT**  
**NOVEMBER 26TH, 2018**

Paradise Valley Medical Plaza is located on an approximately 10-acre parcel at the southwest corner of Scottsdale Road and Jackrabbit, directly across Scottsdale Road from the Doubletree Resort. In 1979 the Town granted the original special use permit for a medical clinic. Dr. John Simons, a well-known plastic surgeon, maintained his private practice at the site for over 20 years.

In 2003, the Town approved a major amendment to the special use permit that increased the overall square footage to just over 50,000 square feet of medical uses and surgical facilities. While Dr. Simons no longer works from the property, a significant focus for Paradise Valley Medical Plaza continues to be elective plastic surgery.

The current proposal would add one single-story 10,000 square foot building on the west side of the campus. This new space will be used for additional medical offices and/or surgical facilities. The setback of this new building will match the existing building immediately to the north.

A final decision on whether to use the new building for surgical facilities, traditional medical offices, or a combination of both will depend on the tenant. Regardless of whether the surgical facilities remain in the existing building immediately to the north, or are located to the new 10,000 SF building, the existing drop-off area for the surgical facilities will be replaced by a new drop-off that will be screened, reducing noise for neighbors to the west.

Since eight covered parking spaces will be eliminated by the new building, new covered parking spaces will be added in the central area of the site. The architecture and exterior finishes of the new building will be consistent with the existing structures on-site. Exterior finishes will consist primarily of stucco (painted), exposed wood, and dark bronze window glazing frames. Roofing material (where sloped) will be Spanish tiles. The overall scale of the building will not deviate from the scale of existing buildings on site. New landscaping consistent with the existing palate will be added in the area of the new building. In addition, additional landscaping will be added on the far west side of the property.

New pole lighting and building-mounted fixtures will maintain consistency with existing lighting fixtures found on-site, including temperature, wattage, and aesthetic. All mechanical units will be located on the roof in a screened mechanical well hidden behind sloped roofs.

Stormwater design will include underground retention piping and will conform to the 2018 Paradise Valley Drainage Guidelines. Care has been taken to make sure that the number of parking spaces to be provided will comply with the Town's SUP Guidelines.

New signage is proposed. There will be a single building directory sign and several tenant ID signs; these match the existing signage in size and style. The new building will have a building identification sign—"I"—that will match signs on the other buildings. A new monument sign is proposed along Scottsdale Road, midway between Jackrabbit Road and the Scottsdale entry to the Medical Plaza. The SUP Guidelines suggest one ground sign at each entrance that is no higher than 8 feet and no larger than 40 square feet.

There are two entrances to the Medical Plaza—one on Scottsdale Road and one on Jackrabbit Road. There are currently two small signs at each entrance that simply say "Paradise Valley Medical Plaza" and "Paradise Valley Cosmetic Surgery." The total area of these existing signs, which do not identify any specific tenants, is 42 square feet. The actual signage on the proposed monument sign is 40 square feet on each side. So, when the existing signs are added to the proposed signage, the total signage is 122 feet.

**PROJECT TEAM:**

**Owner:**

**Bayport PV Associates, LP**  
300 West Clarendon Avenue – Suite 240  
Phoenix, AZ 85013

**Zoning Lawyer:**

**Jorden Hiser & Joy, PLC**  
**Doug Jorden**  
5080 N 40<sup>th</sup> Street – Suite 245  
Phoenix, AZ 85018

E: djorden@jhjlawyers.com  
P: 480.505.3909

**Architect:**

**Cawley Architects, Inc.**  
**Justen Cassidy**  
730 N 52<sup>nd</sup> Street – Suite 203  
Phoenix, AZ 85008

E: justenc@cawleyarchitects.com  
P: 602.393.5060

**Civil Engineer:**

**JMA Engineering Corporation**  
**Jay Mihalek**  
531 E Bethany Home Road  
Phoenix, AZ 85012

E: jay@jmaengineering.com  
P: 602.248.0286

**Electrical Engineer:**

**Hawkins Design Group, Inc.**  
**Mindy Adler**  
2152 S Vineyard Avenue – Suite 107  
Mesa, AZ 85210

E: mindy@hawkinsdg.com  
P: 480.813.9000

**Landscape Architect:**

**TJ McQueen & Associates**  
**Tim McQueen**  
10450 N 74<sup>th</sup> Street – Suite 120  
Scottsdale, AZ 85258

E: timmcqueen@tjmla.net  
P: 602.265.0320

**Acoustical Consultant:**

**Acoustical Consulting Services**  
**Tony Sola**  
P.O. Box 41182  
Mesa, AZ 85274

E: tony@acoustics.com  
P: 480.827.1007



FOOTPRINT OF PROPOSED MEDICAL OFFICE BUILDING

EXISTING DROP-OFF LOCATION

RED BOUNDARY INDICATES LOCATION OF EXISTING COVERED PARKING (TO BE DEMOLISHED)

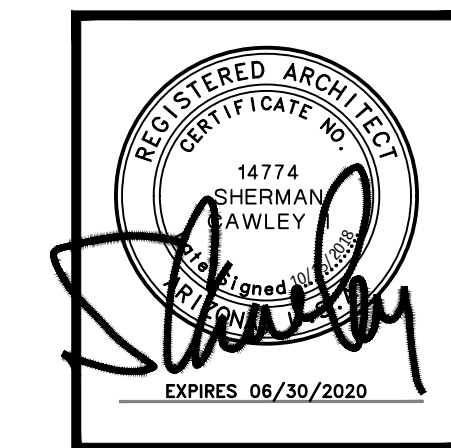
SITE AERIAL  
1" = 20'-0"  
0 10 20



**CAWLEY ARCHITECTS**

730 N. 52nd St. Ste. 203  
Phoenix, Arizona 85008  
P 602.393.5060

CawleyArchitects.com



PARADISE VALLEY MEDICAL PLAZA

SWC OF SCOTTSDALE AND JACKRABBIT

PARADISE VALLEY, AZ

DATE

PRE-APP SUBMITTAL  
06-20-2018

SUP SUBMITTAL  
08-01-2018

SUP - 1ST COMMENTS  
10-01-2018

SUP - 2ND COMMENTS  
10-15-2018

NOTICE OF ALTERNATE BILLING CYCLE:

The contract allows the owner to require submission of billings or estimates in billing cycles other than thirty days. A written description of such other billing cycle applicable to this project is available from the owner or the owner's designated agent (see owner's telephone number and address on cover sheet) and the owner or its designated agent shall provide this written description upon request.

The architectural design and data presented in these documents is an instrument of service provided by Cawley Architects.

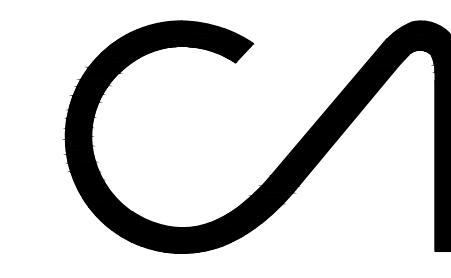
All discrepancies found in these documents, or conflicts between these documents and actual field conditions shall be reported to Cawley Architects for resolution prior to commencement of the work.

Discrepancies between bid amounts and these documents shall be reported to the General Contractor prior to commencement of work.

Project: - PVMC

A1.0





**CAWLEY ARCHITECTS**

730 N. 52nd St. Ste. 203  
Phoenix, Arizona 85008  
P 602.393.5060

CawleyArchitects.com



**PARADISE VALLEY MEDICAL PLAZA**  
  
SWC OF SCOTTSDALE AND JACKRABBIT  
  
PARADISE VALLEY, AZ

**DATE**  
PRE-APP SUBMITTAL 06-20-2018  
SUP SUBMITTAL 08-01-2018  
SUP - 1ST COMMENTS 10-01-2018  
SUP - 2ND COMMENTS 10-15-2018  
P.C. COMMENTS 12-10-2018

**NOTICE OF ALTERNATE BILLING CYCLE:**  
The contract allows the owner to require submission of billings or estimates in billing cycles other than thirty days. A written description of such other billing cycle applicable to this project is available from the owner or the owner's designated agent (see owner's telephone number and address on cover sheet) and the owner or its designated agent shall provide this written description upon request.

The architectural design and data presented in these documents is an instrument of service provided by Cawley Architects.

All discrepancies found in these documents, or conflicts between these documents and actual field conditions shall be reported to Cawley Architects for resolution prior to commencement of the work.

Discrepancies between bid amounts and these documents shall be reported to the General Contractor prior to commencement of work.

Project - PVMC  
**A1.1**

### SITE DATA

PROJECT:	PARADISE VALLEY MEDICAL PLAZA
ADDRESS:	SWC OF SCOTTSDALE AND JACKRABBIT ROAD
DEVELOPER:	PLAZA COMPANIES 9401 W. THUNDERBIRD ROAD PEORIA, AZ 85381
SCOPE:	ADDITION OF NEW BUILDING TO EXISTING MEDICAL OFFICE PLAZA
ASSESSOR PARCEL NO.:	173-18-002C
ZONING:	SPECIAL USE PERMIT (EXISTING)
SITE AREA:	+/- 367,808 S.F. +/- 8.44 ACRES
EXISTING BUILDING AREA (GROSS):	52,717 S.F. GROSS
EXISTING BUILDING AREA (INTERIOR):	50,686 S.F. INTERIOR (NET)
NEW BUILDING AREA:	10,000 S.F. GROSS
NEW BUILDING AREA:	9,692 S.F. INTERIOR (NET)
TOTAL BUILDING AREA (GROSS):	62,717 S.F. GROSS
TOTAL BUILDING AREA (NET):	60,378 S.F. GROSS
NEW CANOPY AREA:	1,157 S.F.
STORIES:	SINGLE STORY
LOT COVERAGE (EXIST):	14.33 %
LOT COVERAGE (NEW):	17.37 %
BUILDING HEIGHT (EXIST):	24'-5" AT HIGHEST RIDGE
BUILDING HEIGHT (NEW):	20'-0 1/2" AT HIGHEST RIDGE

### PARKING CALCULATIONS

BUILDING AREA CALCULATIONS		
OCCUPANCY	1ST FLOOR	TOTALS
EXIST. BLDGS	50,686 S.F. (INTERIOR)	50,686 S.F.
NEW BUILDING	9,692 S.F.	9,692 S.F.
TOTAL S.F.	9,692 S.F.	60,378 S.F.

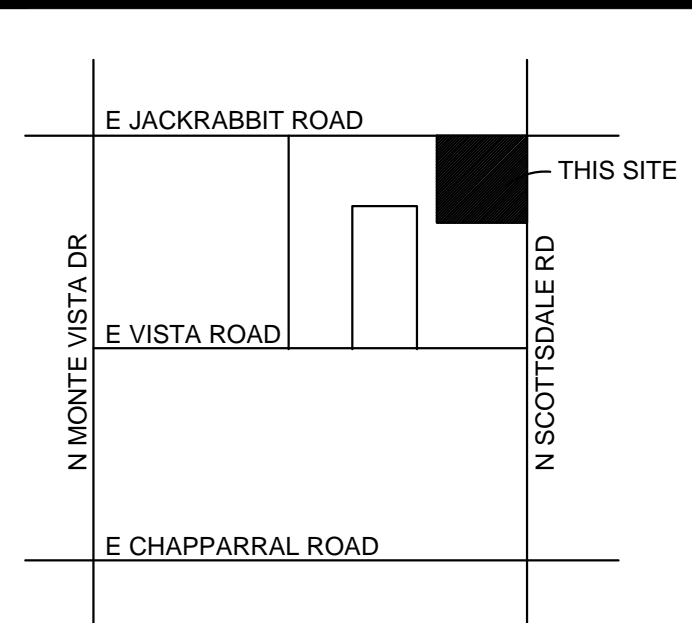
REQUIRED PARKING CALCULATIONS			
OCCUPANCY	S.F.	FACTOR	TOTAL
EXIST. BLDGS	50,686 S.F.	VARIES	227
NEW BUILDING	9,692 S.F.	5:1000	49
TOTAL:			276

PARKING PROVIDED	
TOTAL REGULAR SPACES (EXISTING)	227
TOTAL REGULAR SPACES (NEW)	30
TOTAL ACCESSIBLE SPACES (EXISTING)	16
TOTAL ACCESSIBLE SPACES (NEW)	3
TOTAL COVERED SPACES	0
TOTAL SPACES ON SITE	276

### LEGEND

- PROPERTY LINE
- EASEMENT / SETBACK LINE
- LIMITS OF SUP AMENDMENT
- CAR OVERHANG, MEASURED FROM FACE OF CURB AS DIMENSIONED ON SITE PLAN
- SITE WALL
- PAINT STRIPING ON PAVEMENT
- NEW FIRE HYDRANT
- EXISTING FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION
- ACCESSIBLE ROUTE / PATH OF TRAVEL FIRE RISER

### VICINITY MAP N.T.S.



NOTE: NO WORK TO BE PERFORMED OUTSIDE OF LIMITS OF CONSTRUCTION, WITH THE EXCEPTION OF TRENCHING FOR UTILITY CONNECTIONS TO ON OR OFFSITE MAINS

EXISTING HARDSCAPE + LANDSCAPE ELEMENTS TO REMAIN, TYPICAL ACROSS SITE OUTSIDE OF LIMITS OF CONSTRUCTION SCOPE

EXISTING COVERED PARKING TO REMAIN

EXISTING COVERED PARKING TO REMAIN

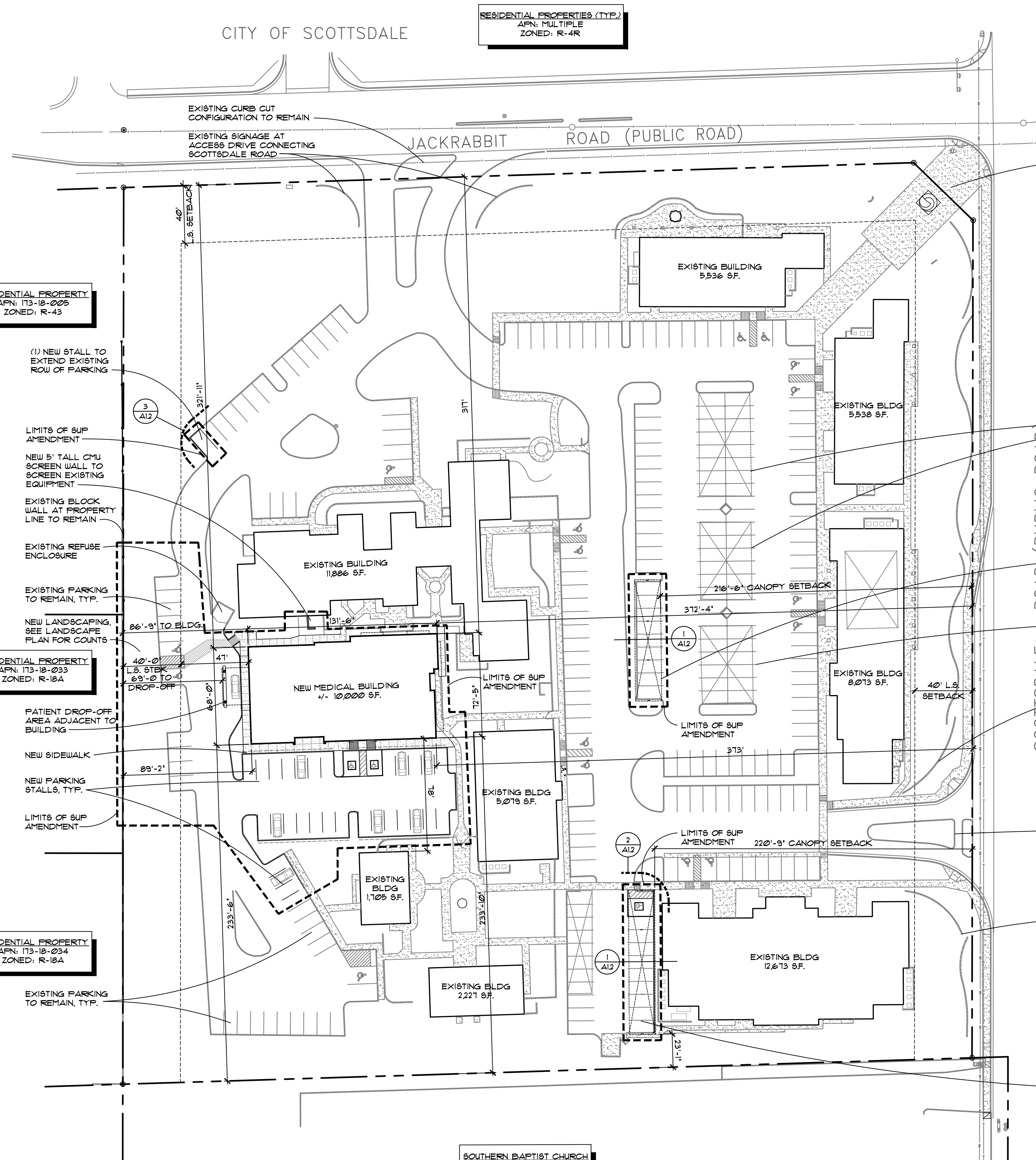
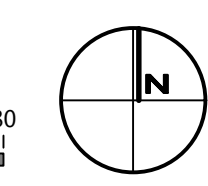
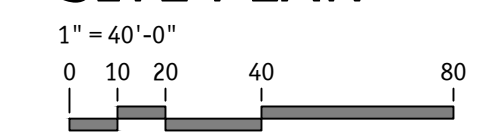
EXISTING SIGNAGE AT ACCESS DRIVE CONNECTING SCOTTSDALE ROAD

EXISTING CURB CUT CONFIGURATION TO REMAIN

EXISTING SCREEN WALLS/LANDSCAPING IN SETBACKS TO REMAIN, NO OFFSITE WORK TO BE PERFORMED

NEW COVERED PARKING CANOPY OVER (1) EXISTING STALLS. SEE SHEET DR 10 FOR LIGHT FIXTURE LOCATIONS

### SITE PLAN



RESIDENTIAL PROPERTY  
APN: 173-18-005  
ZONED: R-43

RESIDENTIAL PROPERTY  
APN: 173-18-033  
ZONED: R-18A

RESIDENTIAL PROPERTY  
APN: 173-18-034  
ZONED: R-18A

RESIDENTIAL PROPERTIES (TYP.)  
APN: MULTIPLE  
ZONED: R-4R

COMMERCIAL PROPERTY  
APN: 173-11-012  
ZONED: SUP-R

COMMERCIAL PROPERTY  
APN: 173-11-001  
ZONED: SUP-R

COMMERCIAL PROPERTY  
APN: 173-11-001  
ZONED: SUP-R

SOUTHERN BAPTIST CHURCH  
APN: 173-18-003A  
ZONED: SUP-P

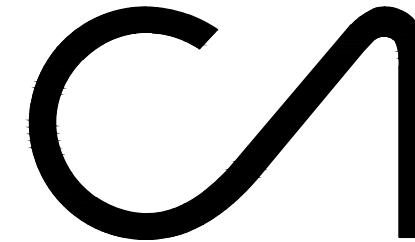
CITY OF SCOTTSDALE

JACKRABBIT ROAD (PUBLIC ROAD)

SCOTTSDALE ROAD (PUBLIC ROAD)

CITY OF SCOTTSDALE





**CAWLEY ARCHITECTS**

730 N. 52nd St. Ste. 203  
Phoenix, Arizona 85008  
P 602.393.5060

CawleyArchitects.com



### SITE DATA

PROJECT:	PARADISE VALLEY MEDICAL PLAZA
ADDRESS:	SWC OF SCOTTSDALE AND JACKRABBIT ROAD
DEVELOPER:	PLAZA COMPANIES 9401 W. THUNDERBIRD ROAD PEORIA, AZ 85381
SCOPE:	ADDITION OF NEW BUILDING TO EXISTING MEDICAL OFFICE PLAZA
ASSESSOR PARCEL NO.:	173-18-002C
ZONING:	SPECIAL USE PERMIT (EXISTING)
SITE AREA:	+/- 367,808 S.F. +/- 8.44 ACRES
EXISTING BUILDING AREA (GROSS):	52,717 S.F. GROSS
EXISTING BUILDING AREA (INTERIOR):	50,686 S.F. INTERIOR (NET)
NEW BUILDING AREA:	10,000 S.F. GROSS
NEW BUILDING AREA (INTERIOR (NET)):	9,692 S.F. INTERIOR (NET)
TOTAL BUILDING AREA (GROSS):	62,717 S.F. GROSS
TOTAL BUILDING AREA (NET):	60,378 S.F. GROSS
NEW CANOPY AREA:	1,157 S.F.
STORIES:	SINGLE STORY
LOT COVERAGE (EXIST):	14.33 %
LOT COVERAGE (NEW):	17.37 %
BUILDING HEIGHT (EXIST):	24'-5" AT HIGHEST RIDGE
BUILDING HEIGHT (NEW):	20'-0 1/2" AT HIGHEST RIDGE

### PARKING CALCULATIONS

BUILDING AREA CALCULATIONS			
OCCUPANCY	1ST FLOOR	TOTALS	
EXIST. BLDGS	50,686 S.F. (INTERIOR)	50,686 S.F.	
NEW BUILDING	9,692 S.F.	9,692 S.F.	
TOTAL S.F.	9,692 S.F.	60,378 S.F.	

REQUIRED PARKING CALCULATIONS			
OCCUPANCY	S.F.	FACTOR	TOTAL
EXIST. BLDGS	50,686 S.F.	VARIES	227
NEW BUILDING	9,692 S.F.	5:1000	49
TOTAL:			276

PARKING PROVIDED	
TOTAL REGULAR SPACES (EXISTING)	227
TOTAL REGULAR SPACES (NEW)	30
TOTAL ACCESSIBLE SPACES (EXISTING)	16
TOTAL ACCESSIBLE SPACES (NEW)	3
TOTAL COVERED SPACES	0
TOTAL SPACES ON SITE	276

### LEGEND

- PROPERTY LINE
- - - EASEMENT / SETBACK LINE
- LIMITS OF SUP AMENDMENT
- - - CAR OVERHANG, MEASURED FROM FACE OF CURB AS DIMENSIONED ON SITE PLAN
- 6' CURB
- SITE WALL
- /// PAINT STRIPING ON PAVEMENT
- NEW FIRE HYDRANT
- EXISTING FIRE HYDRANT
- ⊕ FDC
- ⊕ FIRE DEPARTMENT CONNECTION
- ACCESSIBLE ROUTE/PATH OF TRAVEL
- ⊕ FIRE RISER

PARADISE VALLEY MEDICAL PLAZA

SWC OF SCOTTSDALE AND JACKRABBIT

PARADISE VALLEY, AZ

### DATE

- PRE-APP SUBMITTAL 06-20-2018
- SUP SUBMITTAL 08-01-2018
- SUP - 1ST COMMENTS 10-01-2018
- SUP - 2ND COMMENTS 10-15-2018
- P.C. COMMENTS 12-10-2018

### NOTICE OF ALTERNATE BILLING CYCLE:

The contract allows the owner to require submission of billings or estimates in billing cycles other than thirty days. A written description of such other billing cycle applicable to this project is available from the owner or the owner's designated agent (see owner's telephone number and address on cover sheet) and the owner or its designated agent shall provide this written description upon request.

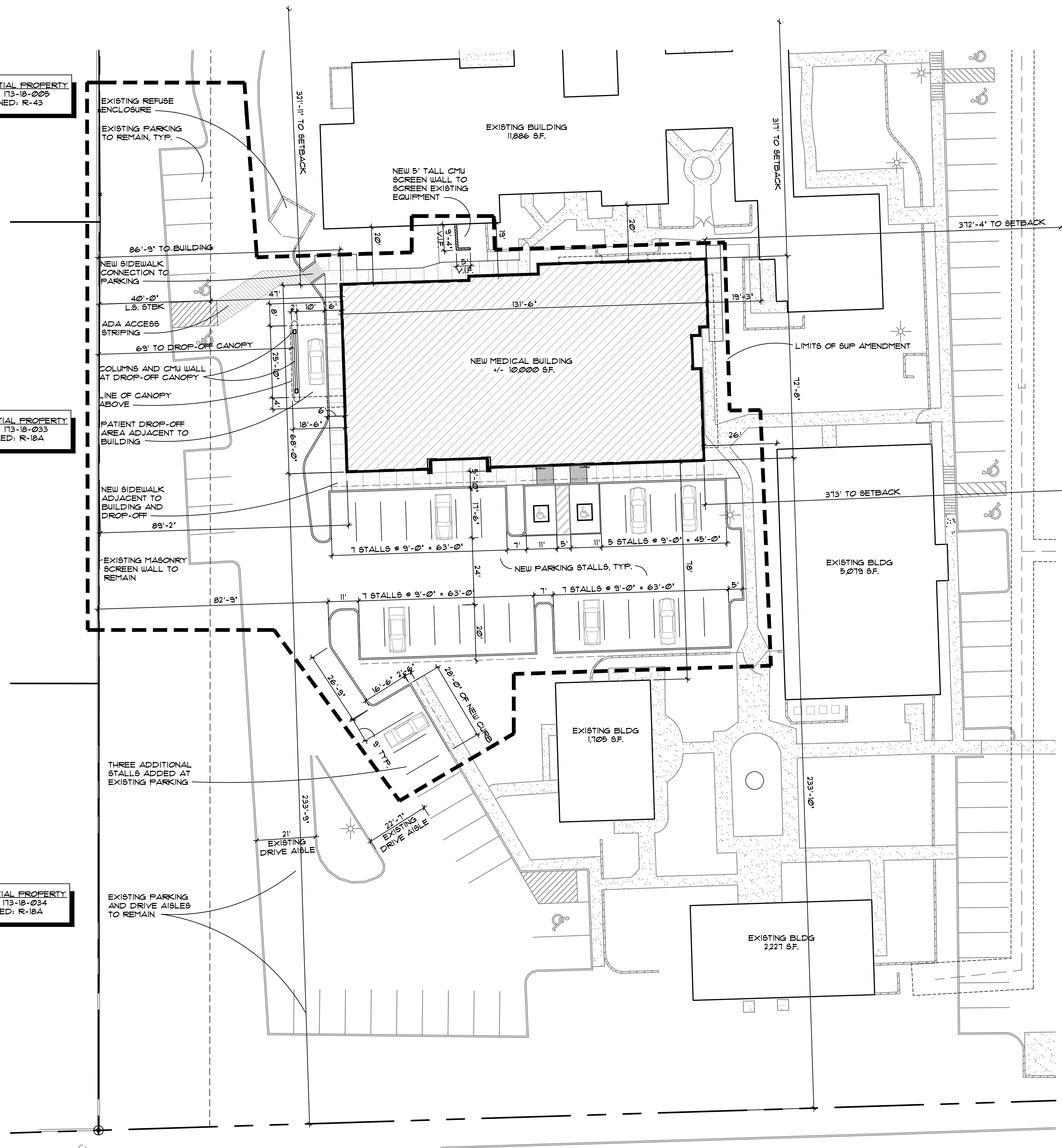
The architectural design and data presented in these documents is an instrument of service provided by Cawley Architects.

All discrepancies found in these documents or conflicts between these documents and actual field conditions shall be reported to Cawley Architects for resolution prior to commencement of the work.

Discrepancies between bid amounts and these documents shall be reported to the General Contractor prior to commencement of work.

Project - PVMC

A1.2

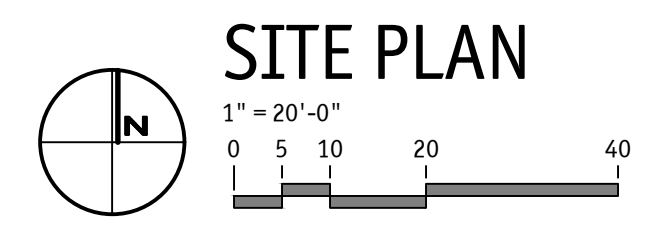


RESIDENTIAL PROPERTY  
APN: 173-18-005  
ZONED: R-43

RESIDENTIAL PROPERTY  
APN: 173-18-033  
ZONED: R-18A

RESIDENTIAL PROPERTY  
APN: 173-18-034  
ZONED: R-18A

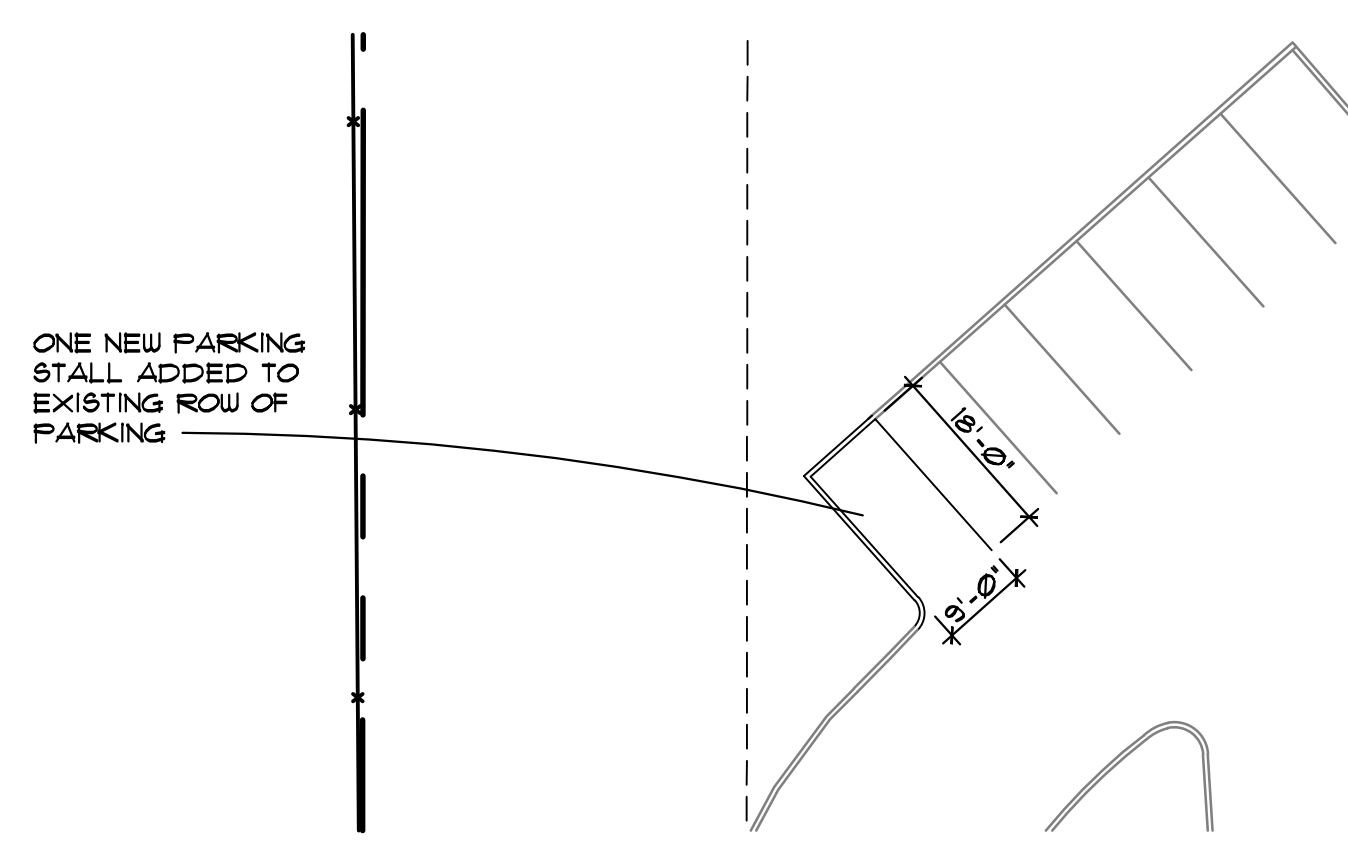
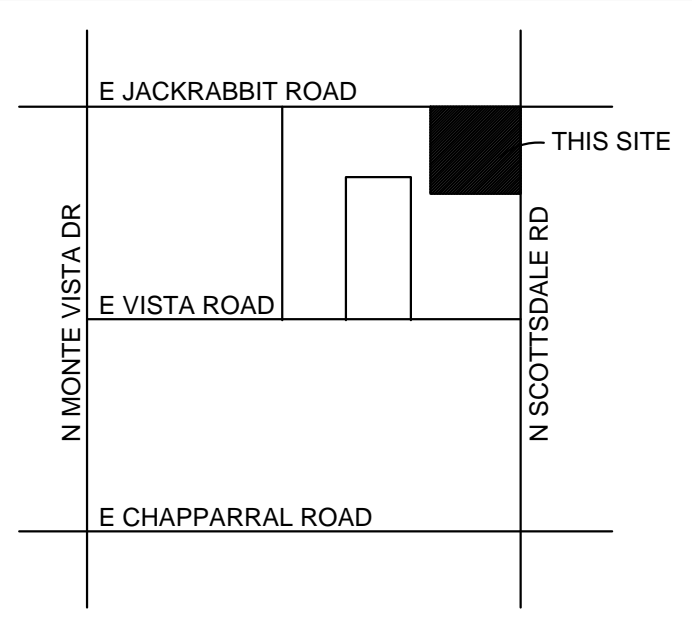
SOUTHERN BAPTIST CHURCH  
APN: 173-18-003A  
ZONED: SUP-P



### SITE PLAN

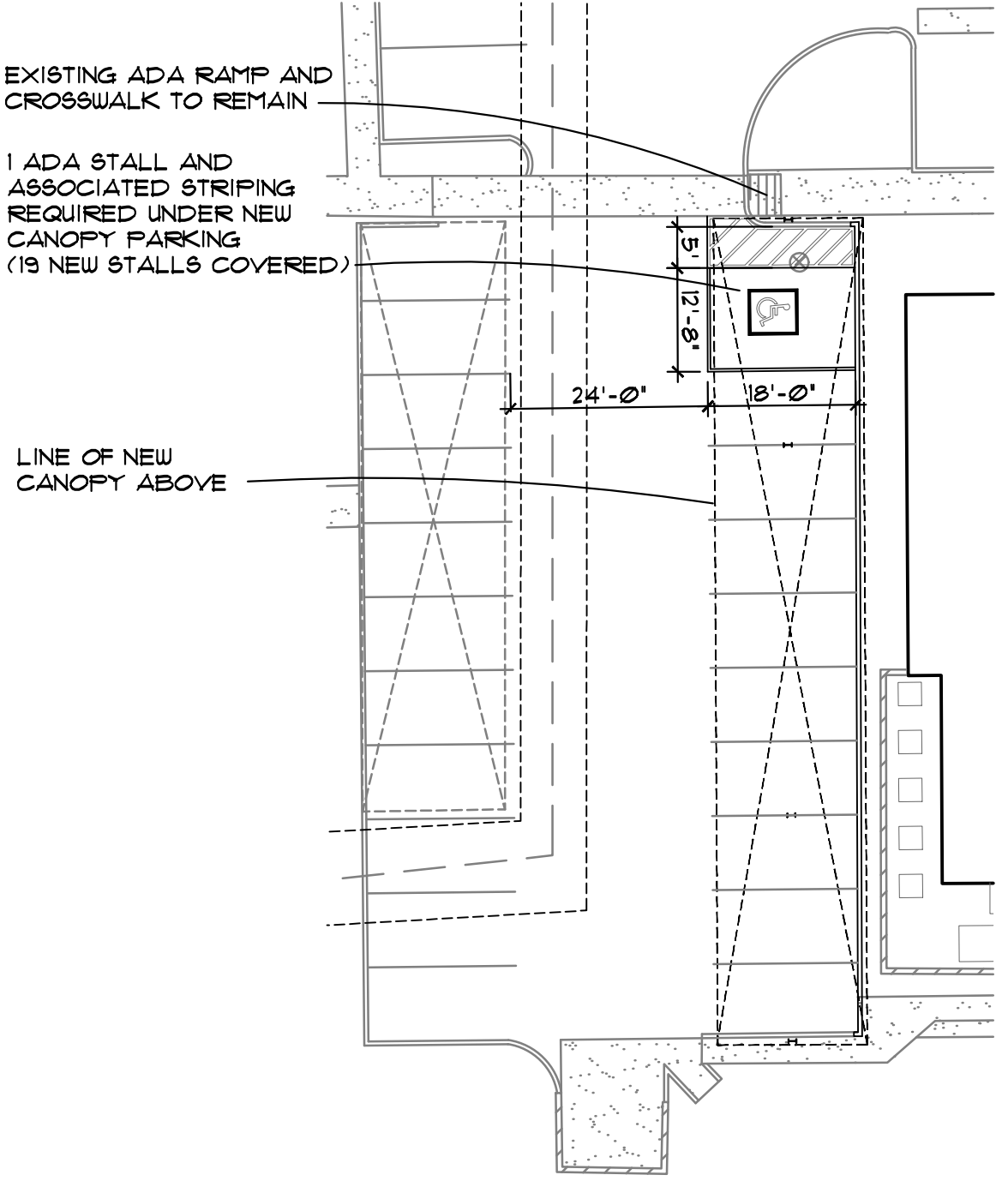
1" = 20'-0"  
0 5 10 20 40

### VICINITY MAP N.T.S.



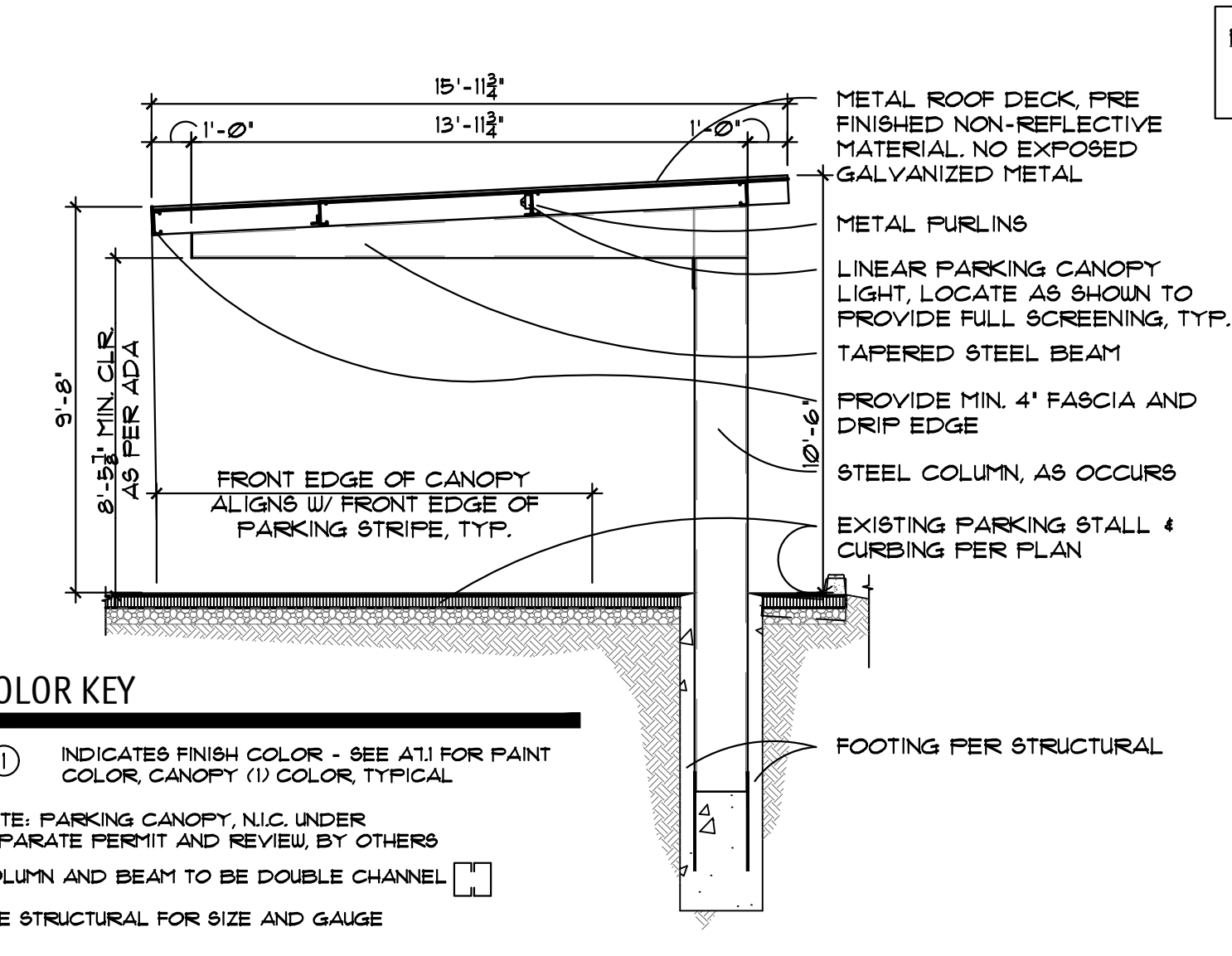
### 3 ENLARGED SITE PLAN

SCALE: 1" = 20'-0"



### 2 ENLARGED SITE PLAN

SCALE: 1" = 20'-0"



### 1 PARKING CANOPY

SCALE: 1/4" = 1'-0"

### COLOR KEY

- ① INDICATES FINISH COLOR - SEE A11 FOR PAINT COLOR, CANOPY (1) COLOR, TYPICAL
- NOTE: PARKING CANOPY N.I.C. UNDER SEPARATE PERMIT AND REVIEW, BY OTHERS  
COLUMN AND BEAM TO BE DOUBLE CHANNEL  
SEE STRUCTURAL FOR SIZE AND GAUGE

FOOTING PER STRUCTURAL

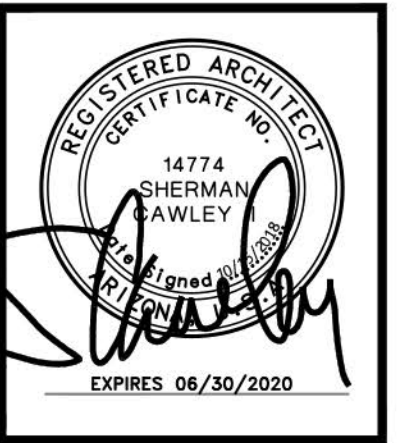




CAWLEY ARCHITECTS

730 N. 52nd St. Ste. 203  
Phoenix, Arizona 85008  
P 602.393.5060

CawleyArchitects.com



PARADISE VALLEY MEDICAL PLAZA  
SWC OF SCOTTSDALE AND JACKRABBIT  
PARADISE VALLEY, AZ

DATE  
PRE-APP SUBMITTAL 06-20-2018  
SUP SUBMITTAL 08-01-2018  
SUP - 1ST COMMENTS 10-01-2018  
SUP - 2ND COMMENTS 10-15-2018

NOTICE OF ALTERNATE BILLING CYCLE  
This contract allows the owner to require submission of bills or estimates in billing cycles other than thirty days. A written description of such other billing cycle applicable to this project is available from the owner or the owner's designated agent (see owner's telephone number and address on cover sheet) and the owner or its designated agent shall provide the written description upon request.  
The architectural design and data presented in these documents is an instrument of service provided by Cawley Architects.  
All discrepancies found in these documents or conflicts between these documents and actual field conditions shall be reported to Cawley Architects for resolution prior to commencement of the work.  
Discrepancies between bid amounts and these documents shall be reported to the General Contractor prior to commencement of work.

Project: PVMC  
A7.1

GENERAL NOTES

1. SEE STRUCTURAL FOR LINTEL INFORMATION.
2. SEE DOOR SCHEDULE FOR DOOR HEIGHTS.
3. SEE STRUCTURAL FOR CONTROL JOINTS.

MATERIAL KEY

MATERIAL	DESCRIPTION
STG	STUCCO FINISH, PAINT TO MATCH EXISTING CAMPUS BUILDINGS
WD	WOOD TRELLIS (TREATED) PAINT TO MATCH EXISTING CAMPUS BUILDINGS
STL	STEEL FRAMED CANOPY, PAINT TO MATCH EXISTING CAMPUS BUILDINGS

STOREFRONT / GLAZING KEY

MATERIAL	COLOR
FRAMES	DARK BRONZE ANODIZED ALUMINUM
GLAZING	1" INSULATED BLUE REFLECTIVE

INSULATED GLAZING SYSTEM SPECIFICATION

OLDCASTLE - 1" INSULATED GLAZING SYSTEM  
 U-FACTOR: 0.23  
 SOLAR HEAT GAIN COEFFICIENT (SHGC): 0.18  
 OUTBOARD: 1/4" PFG SOLARCOOL BLUE (SRF #2)  
 AIRSPACE: 1/2" (AIR FILL)  
 INBOARD: 1/4" PFG SOLARBAN 60 ON CLEAR (SRF #3)

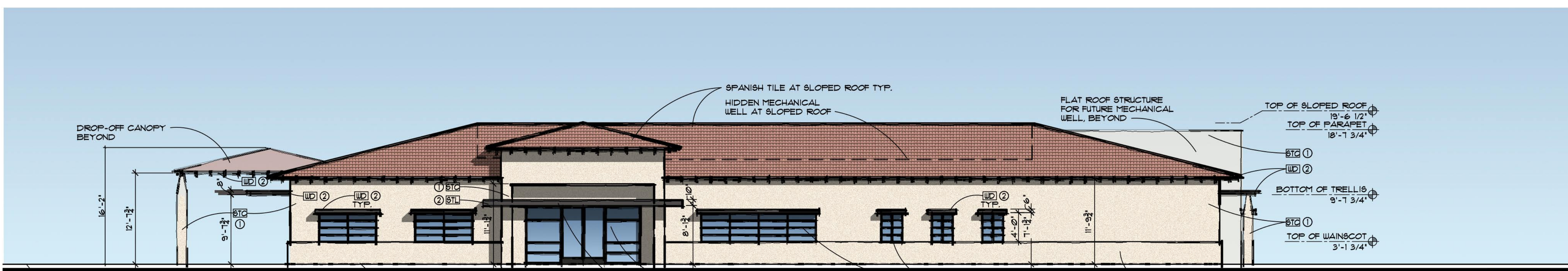
1. 'S' AT WINDOW LOCATIONS INDICATES SPANDREL PANELS.
2. SEE WINDOW TYPES FOR LOCATIONS OF TEMPERED GLASS.

COLOR KEY

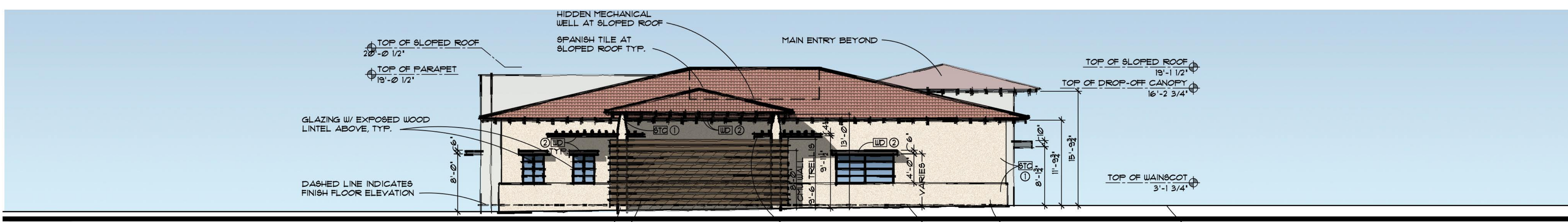
KEY	MANUF. - DUNN EDWARDS COLOR NAME
①	CAMEO - DEC142
②	BLACKJACK - DE6311

MATERIAL	KEY
BOLLARDS	②
GATES	②
SES	①
TRANSFORMER	②

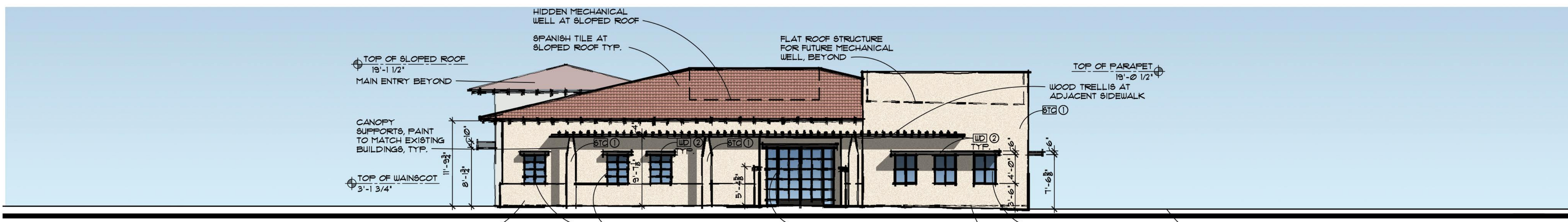
1. SEALANTS FOR PROJECTS TO MATCH ADJACENT MATERIAL COLORS - NO WHITE OR OFF WHITE COLORS.
2. PAINTER TO PROVIDE TWO COATS SEALER TO ALL EXPOSED NATURAL BLOCK, PRECAST CONCRETE, UNPAINTED CONCRETE AND OTHER MATERIALS AS REQUIRED TO PROVIDE A WEATHER SEALED PROJECT.
3. GC IS RESPONSIBLE FOR SUBMITTING ALL FIRE-MANUFACTURED MATERIALS AND COLORS TO ARCHITECT FOR REVIEW AND APPROVAL.
4. GC TO OBTAIN APPROVAL FROM UTILITY COMPANY BEFORE PAINTING TRANSFORMER.



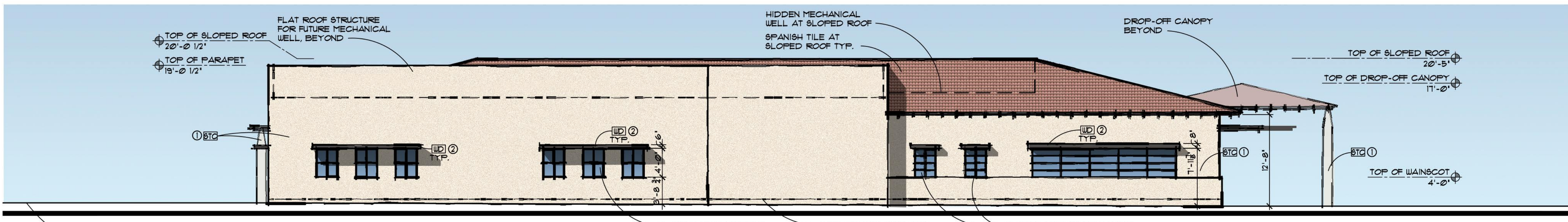
SOUTH ELEVATION



WEST ELEVATION

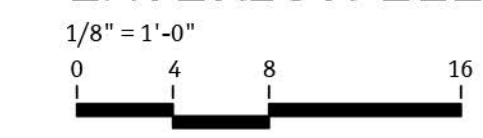


EAST ELEVATION



NORTH ELEVATION

EXTERIOR ELEVATIONS



LINE OF FINISHED GRADE

DASHED LINE INDICATES FINISH FLOOR ELEVATION

STOREFRONT GLAZING AT MAIN ENTRY

GLAZING W/ EXPOSED WOOD LINTEL ABOVE, TYP.

WAINSCOT, PAINT TO MATCH EXISTING BUILDINGS

GLAZING W/ EXPOSED WOOD LINTEL ABOVE, TYP.

DASHED LINE INDICATES FINISH FLOOR ELEVATION

CANOPY COLUMNS, PAINT TO MATCH EXISTING BUILDINGS, TYP.

8' HIGH CMU SCREEN WALL AT DROP-OFF CANOPY, 2X8 WOOD TRELLIS TO SPAN COLUMNS SUPPORTING DROP-OFF CANOPY IN FRONT OF CMU WALL

WOOD TRELLIS AT DROP-OFF CANOPY, TYP.

WAINSCOT, PAINT TO MATCH EXISTING BUILDINGS

DASHED LINE INDICATES FINISH FLOOR ELEVATION

LINE OF FINISHED GRADE

WAINSCOT, PAINT TO MATCH EXISTING BUILDINGS

GLAZING W/ EXPOSED WOOD LINTEL ABOVE, TYP.

FRENCH DOORS AT SECONDARY ENTRY, EXPOSED WOOD LINTEL ABOVE

GLAZING AT FLAT ROOF STRUCTURE TO RECEIVE CANOPY, TYP.

DASHED LINE INDICATES FINISH FLOOR ELEVATION

LINE OF FINISHED GRADE

LINE OF FINISHED GRADE

GLAZING AT FLAT ROOF STRUCTURE TO RECEIVE CANOPY, TYP.

DASHED LINE INDICATES FINISH FLOOR ELEVATION

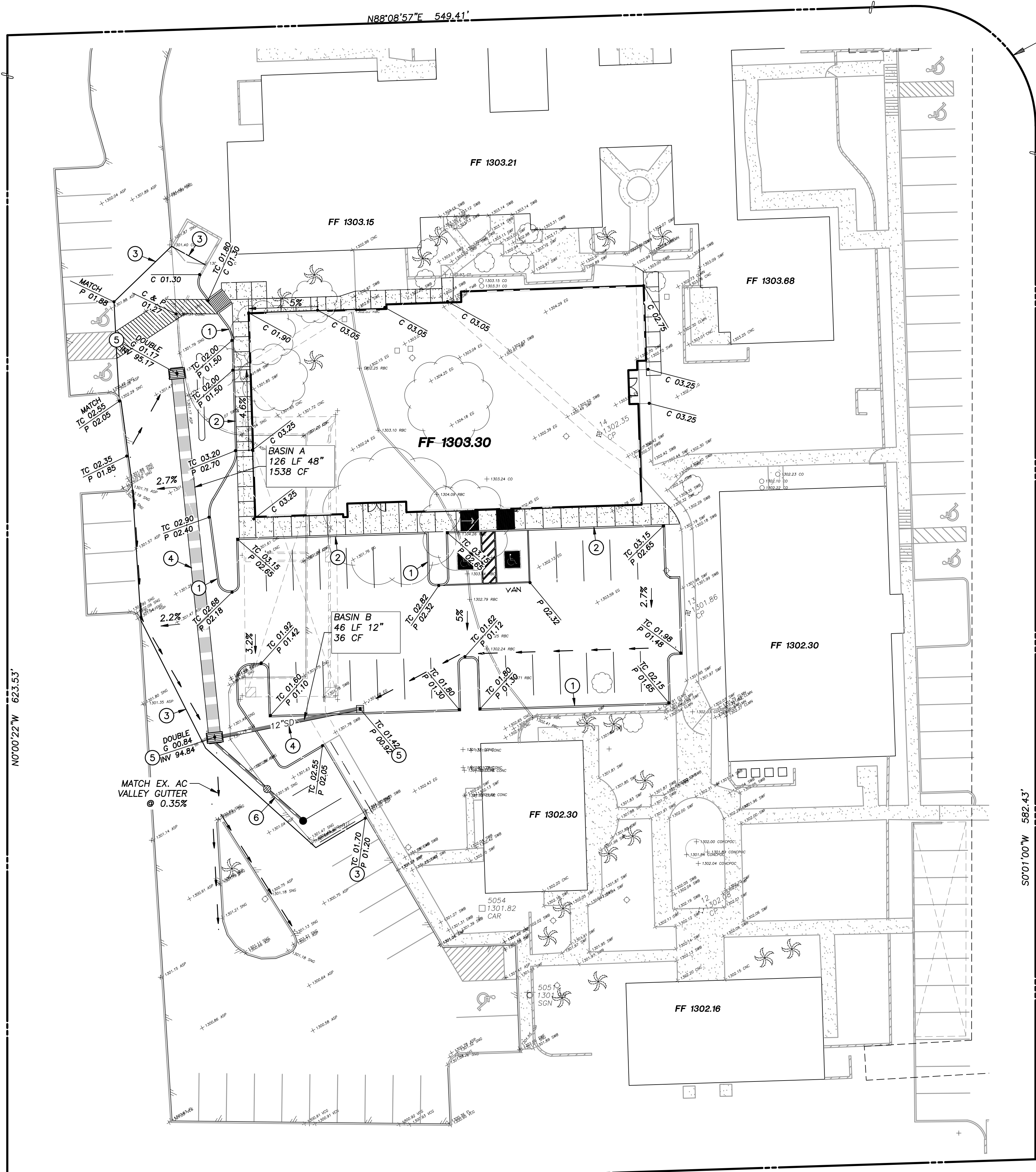
GLAZING W/ EXPOSED WOOD LINTEL ABOVE, TYP.



# CONCEPTUAL GRADING, DRAINAGE PLAN PARADISE VALLEY MEDICAL PLAZA 5410 N SCOTTSDALE ROAD, ARIZONA 85253

JACKRABBIT ROAD  
N88°08'57"E 549.41'

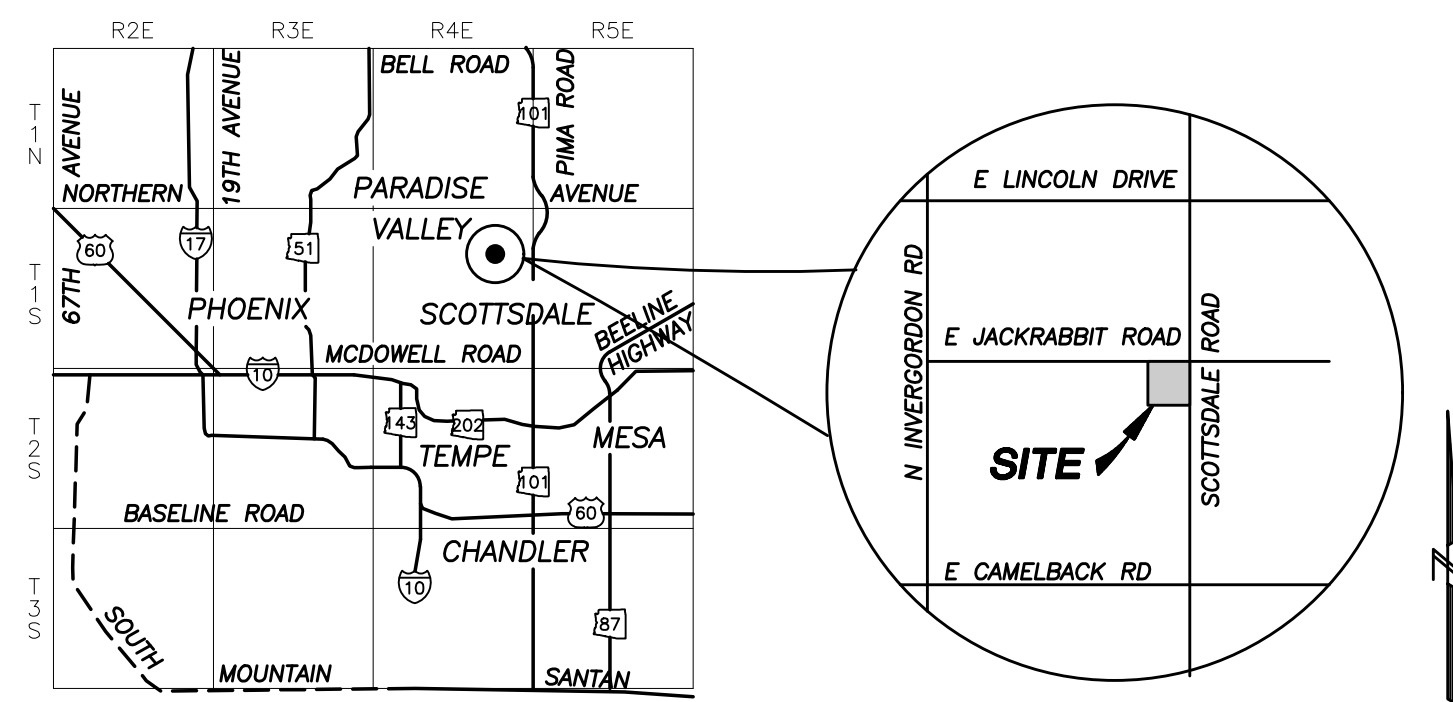
R=40.00', L=64.14'



N88°10'15"E 590.62'

N07°00'22"W 623.53'

S0°01'00"W 582.43'



VICINITY MAP  
PARADISE VALLEY, ARIZONA

**OWNER**

BAYPORT PV ASSOCIATES LP  
3090 PULLMAN STREET  
COSTA MESA, CA 92626

**ENGINEER**

JMA ENGINEERING CORPORATION  
531 E BETHANY HOME ROAD, GARDEN SUITE  
PHOENIX, ARIZONA 85012  
PHONE: (602) 248-0286  
FAX: (602) 248-0976  
CONTACT: JAY MIHALEK, PE

**ARCHITECT**

CAWLEY ARCHITECTS  
730 N. 52ND STREET #203  
PHOENIX, ARIZONA 85008  
PH. 602-393-5060  
FAX 602-393-5061  
CONTACT: JUSTEN CASSIDY

**IMPROVEMENT KEY NOTES**

- ① NEW EXTRUDED CURB.
- ② NEW SIDEWALK TURNDOWN.
- ③ SAWCUT AND MATCH EXISTING.
- ④ NEW HDPE STORM DRAIN PIPE, SIZE SHOWN.
- ⑤ NEW CATCH BASIN PER MAG STANDARD DETAIL 537. DOUBLE WHERE SHOWN.
- ⑥ NEW 2-STAGE DRYWELL.

NOTE:  
THE UNDERGROUND RETENTION SYSTEM SHALL COMPLY WITH THE TOWN'S STORM DRAINAGE DESIGN MANUAL REQUIREMENTS.

**DRAINAGE CALCULATIONS**

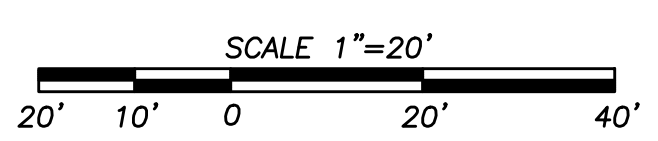
$VR = (C_{POST} - C_{PRE})AR / 12$  REQUIRED RETENTION VOLUME, CF  
WHERE:  
C PRE = 0.54 RUNOFF COEFFICIENT, PRE-DEVELOPMENT  
C POST = 0.88 RUNOFF COEFFICIENT, POST-DEVELOPMENT  
R 100YR, 2HR = 2.20 PRECIPITATION DEPTH, INCHES  
A = 25000 DISTURBED AREA, SF  
 $VR = (0.88 - 0.54) * 25,000 * 2.2 / 12$   
VR = 1558 COMPUTED REQUIRED RETENTION

**BENCHMARK**

MARICOPA COUNTY GEODETIC DENSIFICATION AND CADASTRAL SURVEY  
RECORDED IN BK. 734, PG. 10 M.C.R.  
CORNER NO. 24565-1M, 1-1/2" IP IN HH 0.5" DN. W/ 2"  
MARICOPA COUNTY AL CAP STAMPED RLS 21782.  
ELEVATION 1311.223. (NAVD 88)  
PARADISE VALLEY DATUM

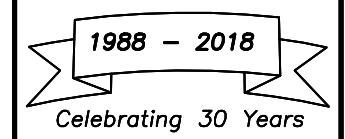
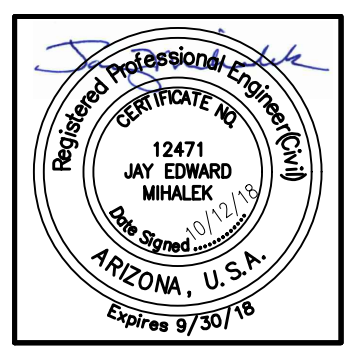
**LEGEND**

- CENTERLINE
- RIGHT-OF-WAY
- PROPERTY LINE
- EASEMENT
- EXISTING CURB
- EXISTING ELECTRICAL
- EXISTING GAS
- EXISTING PAVEMENT
- EXISTING TREE
- EXISTING WATER
- EXISTING LIGHT POLE
- EXISTING POWER POLE
- EXISTING MANHOLE
- EXISTING CATCH BASIN
- EXISTING DOUBLE CHECK VALVE
- EXISTING FIRE HYDRANT
- EXISTING TELEPHONE
- EXISTING FENCE
- EXISTING SIGN
- EXISTING WATER METER
- EXISTING WATER VALVE
- EXISTING BOX
- EXISTING SANITARY SEWER



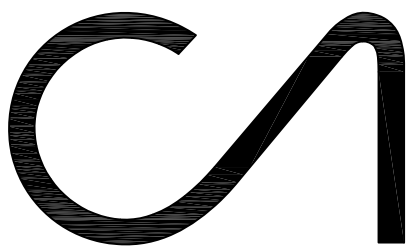
**CONCEPTUAL GRADING, DRAINAGE PLAN  
PARADISE VALLEY MEDICAL PLAZA  
5410 N. SCOTTSDALE ROAD, PARADISE VALLEY AZ 85253**

Manager	AS
Checked	JM
Job No.	1805



SHEET  
**C1**  
OF 1

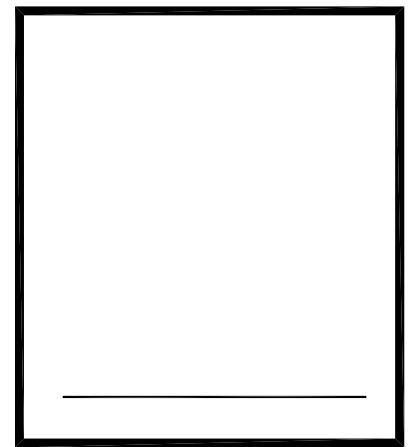




**CAWLEY ARCHITECTS**

730 N. 52nd St. Ste. 203  
Phoenix, Arizona 85008  
P 602.393.5060

CawleyArchitects.com



**PARADISE VALLEY MEDICAL PLAZA**

SWC OF SCOTTSDALE AND JACKRABBIT

PARADISE VALLEY, AZ

DATE
PRE-APP SUBMITTAL 06-20-2018
SUP SUBMITTAL 08-01-2018
SUP - 1ST COMMENTS 10-01-2018
SUP - 2ND COMMENTS 10-15-2018
P.C. COMMENTS 12-10-2018

**NOTICE OF ALTERNATE BILLING CYCLE:**

The contract allows the owner to require submission of billings or estimates in billing cycles other than thirty days. A written description of such other billing cycle applicable to this project is available from the owner or the owner's designated agent (see owner's telephone number and address on cover sheet) and the owner or its designated agent shall provide the written description upon request.

The architectural design and data presented in these documents is an instrument of service provided by Cawley Architects.

All discrepancies found in these documents, or conflicts between these documents and actual field conditions shall be reported to Cawley Architects for resolution prior to commencement of the work.

Discrepancies between bid amounts and these documents shall be reported to the General Contractor prior to commencement of work.

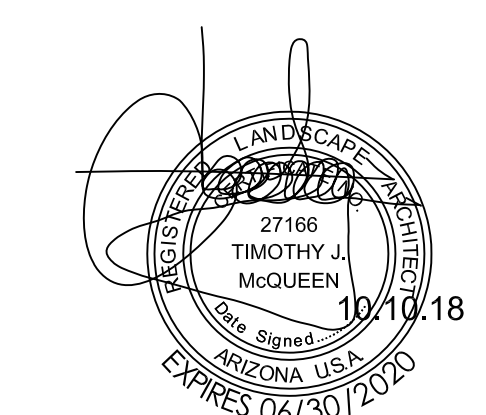
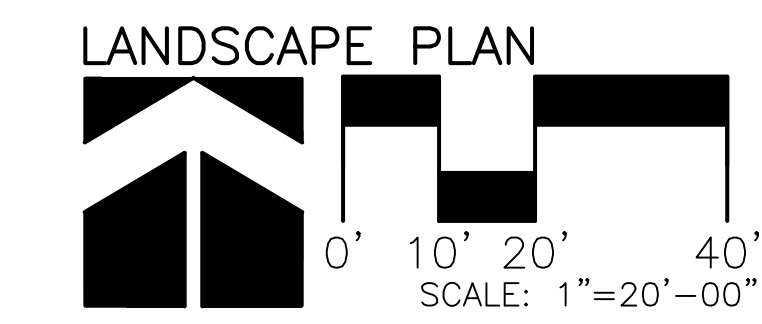
**LANDSCAPE LEGEND**

- CERCIDIUM 'HYBRID'
- DESERT MUSEUM PALO VERDE
- 2" CALIP., 6.5T, 4.5W (17)
- EXISTING TREE
- PROTECT FROM CONSTRUCTION (26)
- TECOMA 'ORANGE JUBILEE'
- ORANGE JUBILEE
- 5 GALLON (18)
- HESPERALOE PARVIFLORA
- RED YUCCA
- 5 GALLON (18)
- DASYLIRION WHEELERII
- DESERT SPOON
- 5 GALLON (12)
- ALOE 'BLUE ELF'
- BLUE ELF ALOE
- 1 GALLON (27)
- RUELLIA PENINSULARIS
- BAJA RUELLIA
- 5 GALLON (22)

MATCH EXISTING  
DECOMPOSED GRANITE  
2" DEPTH IN ALL LANDSCAPE AREAS

**IRRIGATION NOTE:**  
AN AUTOMATIC IRRIGATION SYSTEM WILL BE INSTALLED GUARANTEEING 100% COVERAGE TO ALL NEW AND EXISTING PLANT MATERIAL

**MAINTENANCE NOTE:**  
THIS ENTIRE SITE WILL BE MAINTAINED IN ACCORDANCE WITH PARADISE VALLEY STANDARDS IN A NEAT, CLEAN WEED FREE CONDITION BY THIS PROPERTY OWNER.



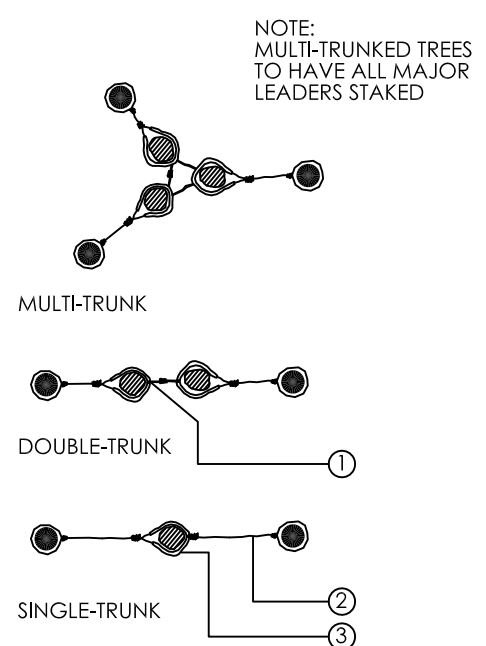
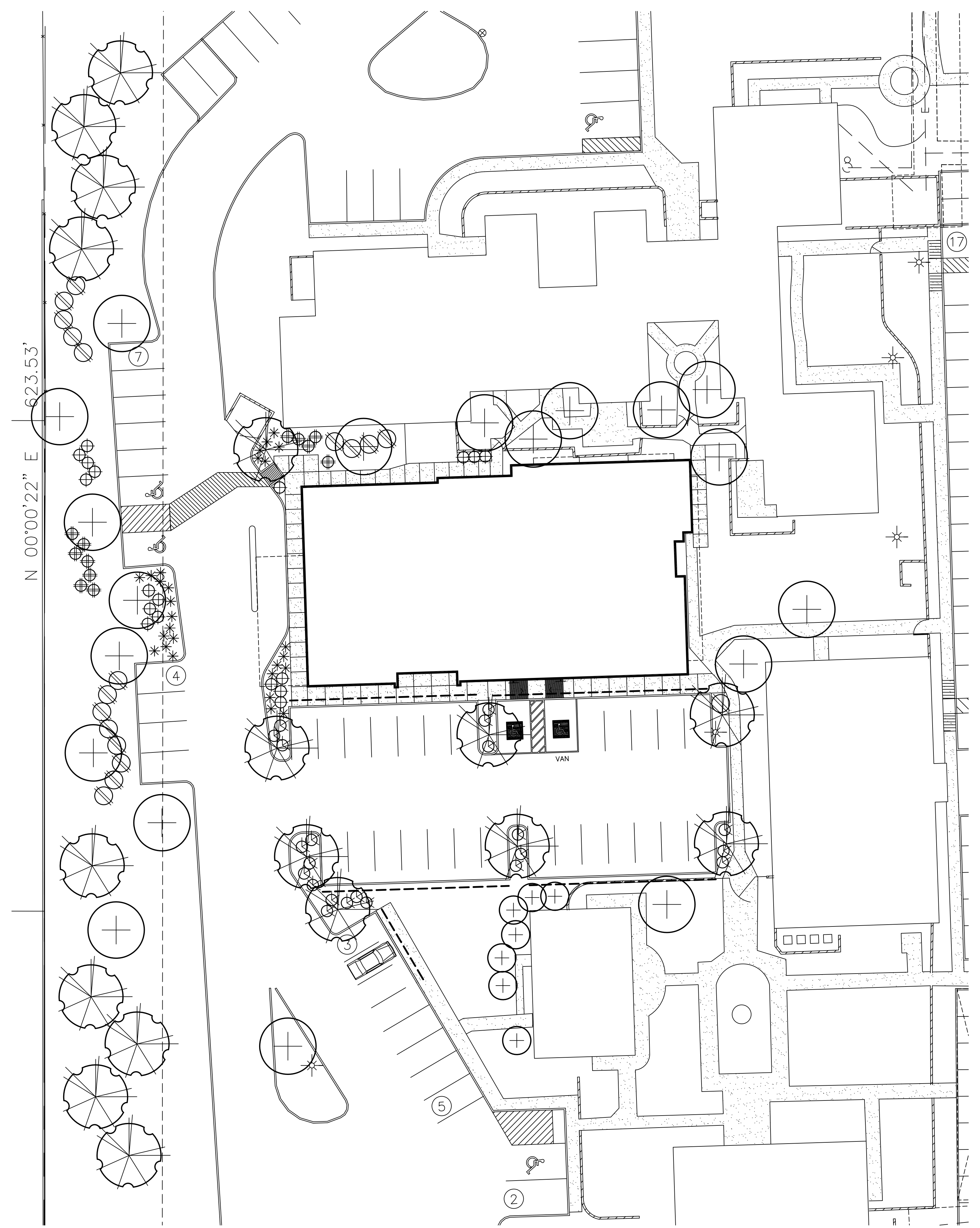
**T.J. McQUEEN & ASSOCIATES, INC.**  
LANDSCAPE ARCHITECTURE  
URBAN DESIGN  
SITE PLANNING

10450 N. 74th Street, Suite 120  
Scottsdale, Arizona 85258  
P. (602) 285-0320  
EMAIL: timmcqueen@tjmla.net



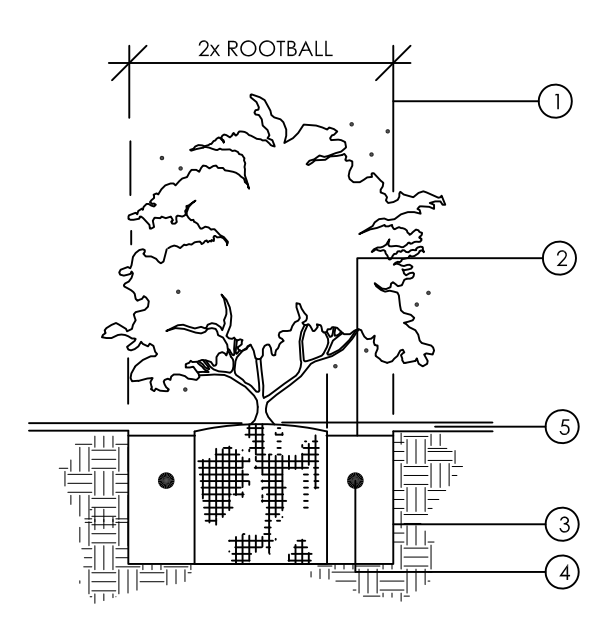
Project - PVMC

La.01



1. NOTCH TUBING LOOP WIRE THROUGH EXPOSED WIRE
2. #10 WIRE RUBBER COATED
3. 1/2" RUBBER HOSE

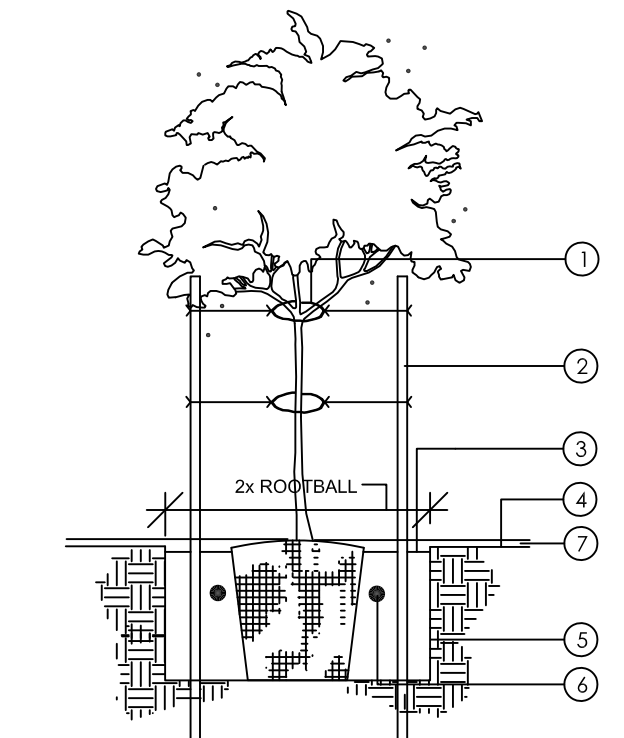
**TJM TREE GUYING DETAIL**  
NOT TO SCALE



1. MINIMUM DIMENSION FOR 5 GAL. PLANTS
2. 1" BASIN
3. ROUGHEN SIDES OF PLANT PIT TO PREVENT GLAZING
4. AGRIFORM TABLETS SEE SPECS. FOR RATIO
5. 2" DEPTH OF DECOMPOSED GRANITE. (SEE LEGEND FOR TYPE)

BACKFILL PLANT PIT WITH SOIL MIX PER PHX MAG SUPPLEMENT.

**TJM SHRUB PLANTING DETAIL**  
NOT TO SCALE

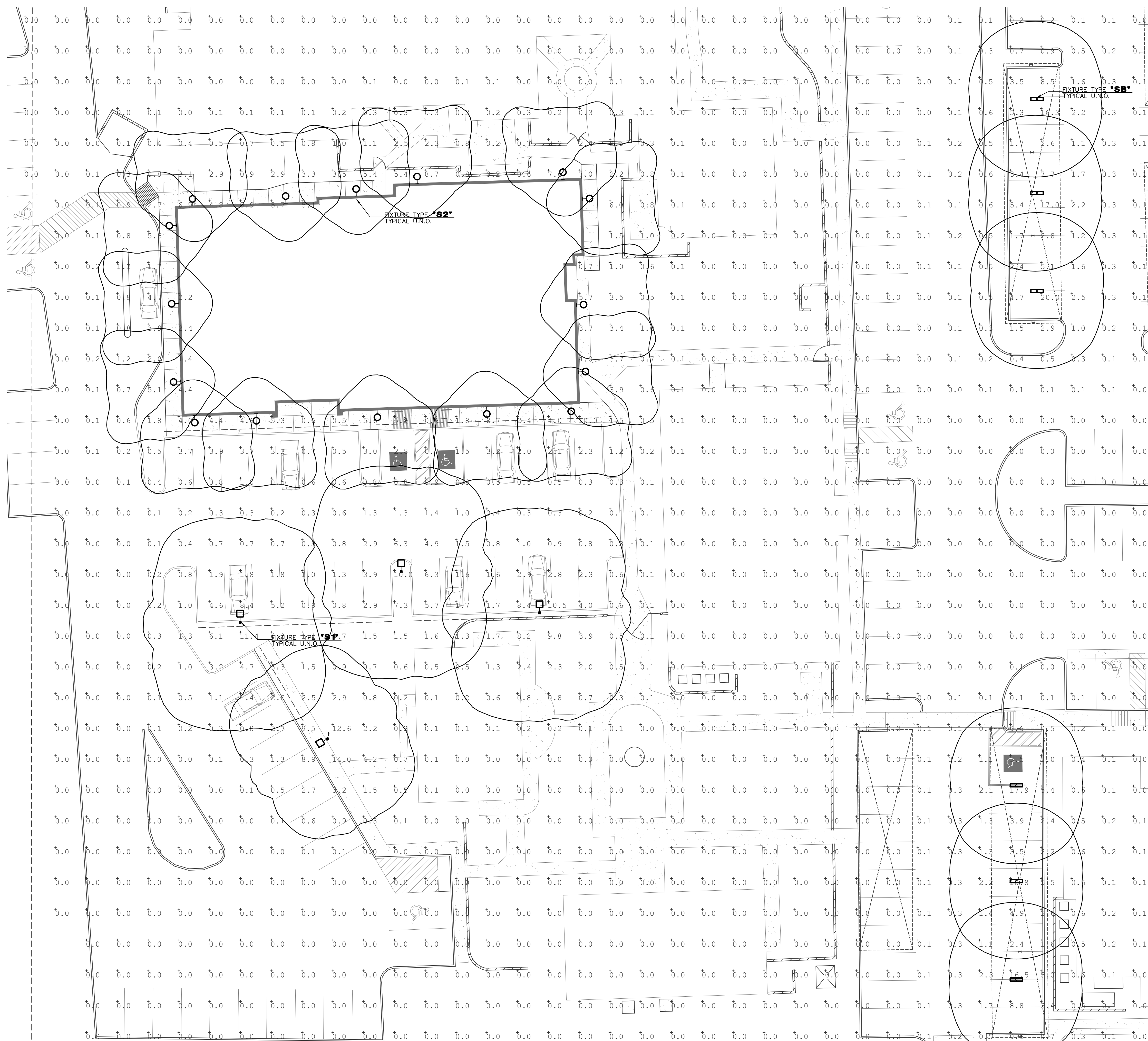


1. 1/2" RUBBER HOSE WITH #10 WIRE
2. TWO 2" ROUND BY 10' LONG GREEN TREE STAKES BURY 3' BELOW GRADE
3. 4" BASIN
4. GRADE (PRIOR TO GRANITE)
5. ROUGHEN SIDES OF PLANT PIT TO PREVENT GLAZING
6. AGRIFORM TABLETS
7. 2" DEPTH OF DECOMPOSED GRANITE. (SEE LEGEND FOR TYPE)

BACKFILL PLANT PIT WITH SOIL MIX PER PHX MAG SUPPLEMENT.

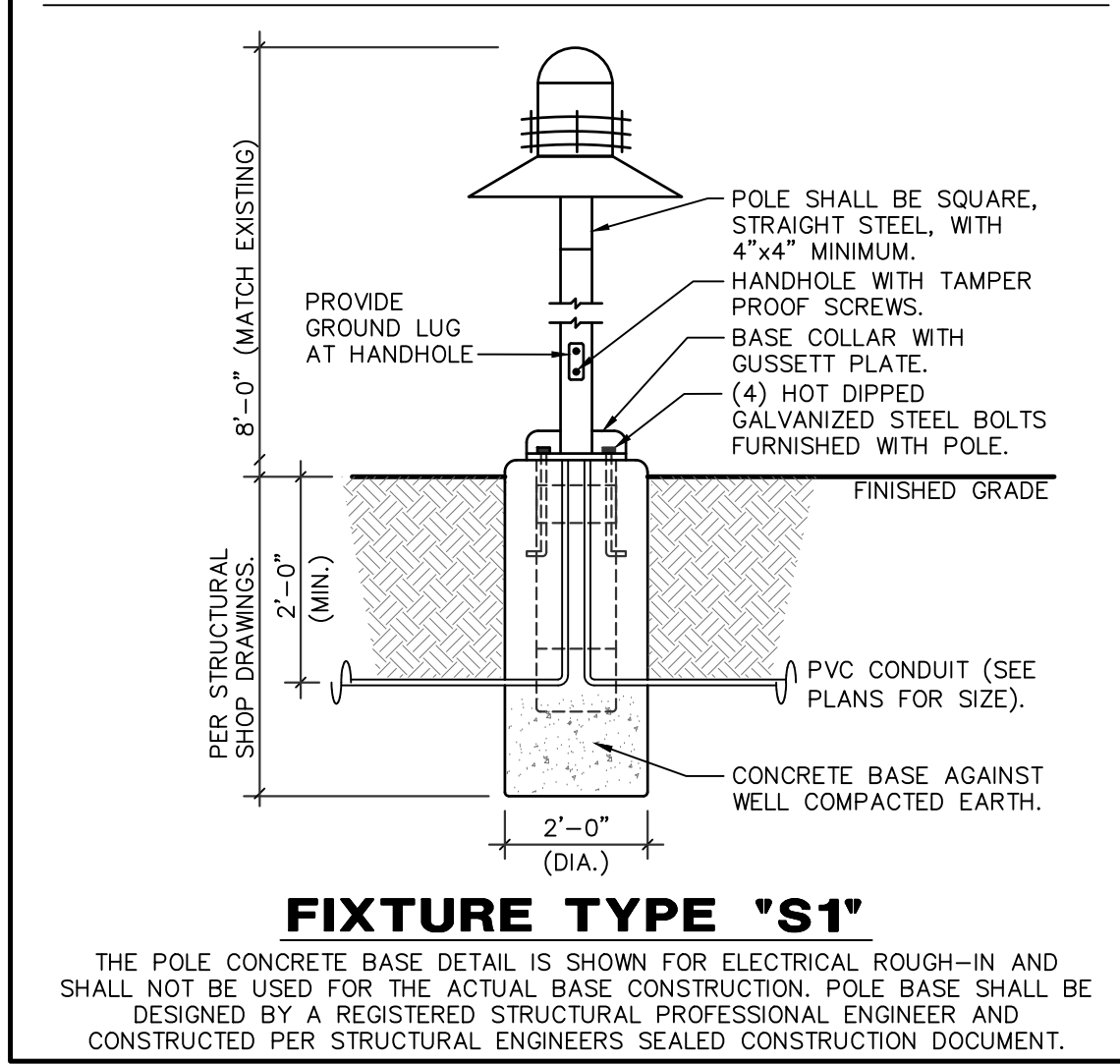
**TJM DOUBLE STAKING DETAIL**  
NOT TO SCALE





**ELECTRICAL SITE PHOTOMETRIC PLAN**  
SCALE: 1/16" = 1'-0"

**POLE MOUNTED FIXTURE DETAIL**



THE POLE CONCRETE BASE DETAIL IS SHOWN FOR ELECTRICAL ROUGH-IN AND SHALL NOT BE USED FOR THE ACTUAL BASE CONSTRUCTION. POLE BASE SHALL BE DESIGNED BY A REGISTERED STRUCTURAL PROFESSIONAL ENGINEER AND CONSTRUCTED PER STRUCTURAL ENGINEERS SEALED CONSTRUCTION DOCUMENT.

**NOTES:**  
 1. THE (3) S1 DECORATIVE SITE POLES ARE RELOCATED FROM EXISTING LOCATIONS.  
 2. ELECTRICAL CONTRACTOR SHALL HAVE THE RELOCATED SITE POLES ON TIMECLOCK/PHOTOCELL.  
 TIMECLOCK/PHOTOCELL SHALL BE PLACED ON ALL LIGHTS EXCEPT THOSE NEEDED FOR SAFETY, WHICH SHALL BE ON DUSK TO DAWN DEVICES. THE LIGHTS ON TIMERS SHALL BE IN OPERATION ONLY FROM 6:00 AM UNTIL 9:00 PM.

Luminaire Schedule									
Symbol	Qty	Label	LF	Description	Fag	Lum. Lumens	Lum. Watts	[MANUFAC]	
○	4	S1	0.850	UCM-H5-FTG-150MH	8'	8952	185	ARCHITECTURAL AREA LIGHTING	
○	16	S2	0.740	DTA-31861-28W-74-W30-XX	8'	2777	28	LIGMAN	
○	15	S3	1.000	LXBN4-35ML-RA-EDU	8.5'	5090	42	COLUMBIA LIGHTING	
Calculation Summary									
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min		
Site	Illuminance	Fc	0.72	20.0	0.0	N.A.	N.A.		

**PRELIMINARY  
NOT FOR CONSTRUCTION**

Project Contact/Designer: DAVE HAWKINS  
Project # 18286  
**HAWKINS DESIGN GROUP INC.**  
ELECTRICAL CONSULTING ENGINEERS  
252 SOUTH VINEYARD AVE. SUITE 107  
MESA, ARIZONA 85202  
PH 480.813.9000 FAX 480.813.9001  
EMAIL: email@hawkinsdg.com



730 N. 52nd St. Ste. 203  
Phoenix, Arizona 85008  
P 602.393.5060

CawleyArchitects.com

**PRELIMINARY NOT FOR CONSTRUCTION**  
Expires: XX/XX/XX

**PARADISE VALLEY MEDICAL PLAZA**  
  
SWC OF SCOTTSDALE AND JACKRABBIT  
  
PARADISE VALLEY, AZ

**DATE**  
 PRE-APP SUBMITTAL 06-20-2018  
 SUP SUBMITTAL 08-01-2018  
 SUP-1ST COMMENTS 10-01-2018  
 SUP - 2ND COMMENTS 10-15-2018

Project - PVMC

**DR1.0**

IF DRAWING IS NOT PLOTTED AT osmodeTHEY ARE NOT FULL SIZE



Universe® Medium with HID Optic – UCM

1. LUMINAIRE	2. LUMINOUS HOOD	3. OPTICS	4. LAMP/ BALLAST	5. COLOR	6. HOOD OPTIONS	7. OPTIONS	8. MOUNTING
--------------	------------------	-----------	------------------	----------	-----------------	------------	-------------

<b>1. LUMINAIRE</b> UCM Universe medium	<b>5. COLOR</b> Standard Color WH Acrylic White BL Black BLT Matte Black DB Dark Bronze DGN Dark Green TT Titanium	Premium Color SHK Shimmick SPP Salt and Pepper SFM Seaform WCP Weathered Copper RAL RAL 4 Color CUSTOM Custom Color	<b>2. LUMINOUS/HOOD</b> ANGLED BEL FLARED STRAIGHT SKIRTED ANG BEL FLR STR SKB	<b>3. OPTICS</b> HORIZONTAL REFLECTOR (top lens) H2 (Type 2) H4 (Type 4) H5 (Type 5) GLASS REFRACTOR GRS (Type 3) GRS (Type 5) OPAL LENS (Acrylic. Maximum 100 watts) OAL	<b>6. HOOD OPTIONS</b> WDB Weathered Bronze MDB Bronze Metallic VBU Vinyl Blue CRT Clear MAI Matte Aluminum MG Medium Gray AGN Antique Green LG Light Gray	<b>7. OPTIONS</b> COP35 - A borosilicate glass reflector lens with a Type 3 or Type 5 distribution shall be attached to an aluminum frame. Three captive fasteners shall be loosened to turn and remove the lens for relamping. OAL - Moulded opal acrylic lens and an aluminum frame. Three captive fasteners shall be loosened to turn and remove the lens for relamping. PMS (Post mount, GR55 & Opal lens only) PHS (Post mount, 40"/220mm stem & canopy with wire) INNER LENS - Lum only. Optional inner lens adds color to the ring edges when illuminated. BL (Blue) GRN (Green) RD (Red)	<b>8. MOUNTING</b> - Most choose one WALL MOUNT WMA4 WMA5 WMA6 WMA8 WMA9D WMA10 WMA11 WMA12 WMA16 WMA17 WMA18 WMA20 WMA22D WMA24 WMA37 WMA38 WMA39 POLE MOUNT SLA2 SLA3 SLA4 SLA4-2 SLA7 SLA7-2 SLA7(5) SLA7(5)-2 SLA8D SLA9 SLA9-2 SLA10 SLA10-2 SLA18 SLA18-2 SLA17 SLA17-2 SLA17(5)SLA17(5)-2SLA18 SLA18-2 SLA20 SLA20-2 SLA20A SLA20A-2 SLA20B SLA20B-2 SLA20C SLA20C-2 SLA20D SLA20D-2 SLA24 SLA24-2 SLA24(5) SLA24(5)-2 TRA4 TRA7 TRA7-2 TRA8 TRA8-2 TRA9 TRA9-2
--------------------------------------------	-----------------------------------------------------------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------	------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

<b>3. OPTICS</b> HORIZONTAL REFLECTOR (top lens) H2 (Type 2) H4 (Type 4) H5 (Type 5) GLASS REFRACTOR GRS (Type 3) GRS (Type 5) OPAL LENS (Acrylic. Maximum 100 watts) OAL	<b>4. LAMP/BALLAST</b> COMPACT FLUORESCENT CF TROBAR lamp -10°C max air temp PL57 METAL HALIDE Medium base, ED-17 lamp 500MA 700MH G12 base, T-6 ceramic lamp 70MHTC ELECTRONIC METAL HALIDE Medium base, ED-17 lamp 70MAHER 100MHEB G12 base, T-6 ceramic lamp 70MHTCEB PULSE START METAL HALIDE Medium base, ED-17 lamp 150PSMH G12 base, T-6 ceramic lamp 150PSMHTB HIGH PRESSURE SODIUM Medium base, ED-17 lamp 50HPS 70HPS 100HPS 150HPS	<b>5. COLOR</b> Standard Color WH Acrylic White BL Black BLT Matte Black DB Dark Bronze DGN Dark Green TT Titanium	<b>6. HOOD OPTIONS</b> WDB Weathered Bronze MDB Bronze Metallic VBU Vinyl Blue CRT Clear MAI Matte Aluminum MG Medium Gray AGN Antique Green LG Light Gray	<b>7. OPTIONS</b> COP35 - A borosilicate glass reflector lens with a Type 3 or Type 5 distribution shall be attached to an aluminum frame. Three captive fasteners shall be loosened to turn and remove the lens for relamping. OAL - Moulded opal acrylic lens and an aluminum frame. Three captive fasteners shall be loosened to turn and remove the lens for relamping. PMS (Post mount, GR55 & Opal lens only) PHS (Post mount, 40"/220mm stem & canopy with wire) INNER LENS - Lum only. Optional inner lens adds color to the ring edges when illuminated. BL (Blue) GRN (Green) RD (Red)	<b>8. MOUNTING</b> - Most choose one WALL MOUNT WMA4 WMA5 WMA6 WMA8 WMA9D WMA10 WMA11 WMA12 WMA16 WMA17 WMA18 WMA20 WMA22D WMA24 WMA37 WMA38 WMA39 POLE MOUNT SLA2 SLA3 SLA4 SLA4-2 SLA7 SLA7-2 SLA7(5) SLA7(5)-2 SLA8D SLA9 SLA9-2 SLA10 SLA10-2 SLA18 SLA18-2 SLA17 SLA17-2 SLA17(5)SLA17(5)-2SLA18 SLA18-2 SLA20 SLA20-2 SLA20A SLA20A-2 SLA20B SLA20B-2 SLA20C SLA20C-2 SLA20D SLA20D-2 SLA24 SLA24-2 SLA24(5) SLA24(5)-2 TRA4 TRA7 TRA7-2 TRA8 TRA8-2 TRA9 TRA9-2
------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-----------------------------------------------------------------------------------------------------------------------------------------	------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

All ballasts are factory wired for 277 volts, unless specified. Lamps not included, except LED.

ARCHITECTURAL AREA LIGHTING  
17760 Rowland Street | City of Industry, CA 91748  
P 626.968.5666 | F 626.369.2695 | www.aal.net  
Copyright © 2012 | Rev November 7, 2016 12:56 PM

Universe® Medium with HID Optic – UCM

<b>MOUNTING</b> The fixture shall be attached to the arm assembly with three stainless steel bolts. The connection shall be sealed with a silicone compression gasket. PM - The post top version shall slip over a 47100mm Q.D. pole or trunion, and secured with six stainless steel set screws.	<b>FINISH</b> Fixture finish consists of a five stage pretreatment regimen with a polymer primer sealer, oven dry oil, and top coated with a thermoset spray TIGC polyester powder coat finish. The finish shall meet the AAMA 605-2 performance specification which includes passing a 3000 hour salt spray test for corrosion resistance.	<b>CERTIFICATION</b> Listed with ETL for outdoor, wet location use. Conforms to UL1598 and Canadian CSA Std. C22-2 no.250 standard. The luminaire shall be constructed to IP65 standards.	<b>WARRANTY / TERMS AND CONDITIONS OF SALE</b> Download: <a href="http://www.hubbellighting.com/hubbellwarranty/">http://www.hubbellighting.com/hubbellwarranty/</a>
---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------------------------------------------------------------------------------

<b>WEIGHT &amp; EPA</b>	<b>GLASS REFRACTOR</b>	<b>HORIZONTAL REFLECTOR</b>	<b>OPAL LENS</b>
No luminous	WT (lbs)	EPA WT (lbs)	EPA WT (lbs)
ANG	28.55	30	22.30
BEL	32.00	33	24.21
FLR	28.88	33	22.66
STR	31.75	39	24.00
SKB	32.10	30	24.35
4 Lum Window			
WDB-ANG	30.70	32	24.40
WDB-BEL	34.15	35	26.40
WDB-FLR	31.00	35	24.75
WDB-STR	33.90	41	26.10
WDB-SKB	34.25	33	26.50
Solid Rings			
SR-ANG	33.70	34	27.40
SR-BEL	37.15	37	29.40
SR-FLR	34.00	37	27.75
SR-STR	36.90	43	29.10
SR-SKB	37.25	35	29.50
Vertical Slots			
VSL-ANG	31.45	32	25.30
VSL-BEL	34.90	35	27.30
VSL-FLR	31.75	35	25.60
VSL-STR	34.65	41	27.00
VSL-SKB	35.00	33	27.40
Lum Rings			
LUM-ANG	32.85	34	26.30
LUM-BEL	34.15	35	28.30
LUM-FLR	33.15	37	26.60
LUM-STR	36.05	43	28.00
LUM-SKB	36.40	35	28.40

<b>UCM H3 150MH FTG</b>	WATTAGE: 185	LUMEN OUTPUT: 7192	EFFICACY: 67.6
<b>B2 UO G2</b>	FORWARD LIGHT	LUMEN	Mounting Height
FL	30°	4.6%	577
FM	60°	16.2%	2026
FH	80°	14.8%	1850
FVH	90°	0.2%	30
BACK LIGHT	BL	30°	3.9%
BM	60°	11.7%	1469
BH	80°	5.3%	758
BVH	90°	0.1%	11
UPLIGHT	UL	100°	0%
UH	100°	0%	0

<b>UPLIGHT 0%</b>	<b>DOWNLIGHT 100%</b>
-------------------	-----------------------

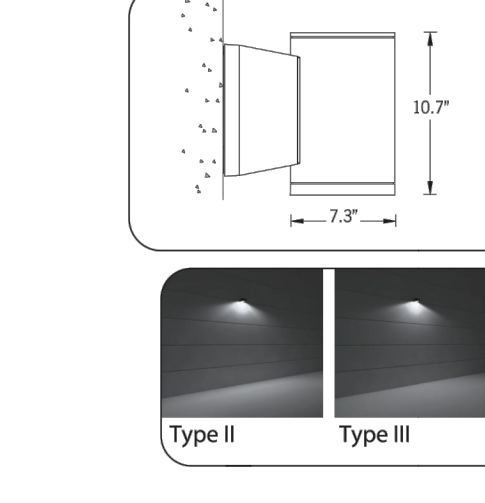
IES files can be found at [www.aal.net](http://www.aal.net)

ARCHITECTURAL AREA LIGHTING  
17760 Rowland Street | City of Industry, CA 91748  
P 626.968.5666 | F 626.369.2695 | www.aal.net  
Copyright © 2012 | Rev November 7, 2016 12:56 PM

UTA-31861  
Tango 29 Downlight



Physical Data  
Length - 7.3"  
Height - 10.7"  
Weight - 9.7 lbs  
IP65 - Suitable For Wet Locations  
IK08 - Impact Resistant (Vandal Resistant)



<b>Standard Options</b>	<b>Lamp</b>	<b>Beam</b>	<b>LED Color</b>	<b>Finish Color</b>
37w LED 20w LED 20w LED	T2 - Type II Distribution - 2706mm T3 - Type III Distribution - 2722mm T4 - Type IV Distribution - 2777mm (Lumen output for 37w LED)	W27 - 2700K W30 - 3000K W40 - 4000K (EMW Dark Sky approved for 2700K & 3000K only)	F - Frosted Lens EMG - Emergency Battery Pack SCE - Custom Surface Conduct Entry Box HGT - Specify Custom Height NAT - Natatorium & High Salt Environments RPA - Round Pole Adapter DIM - 0-10v Dimming	01 Black 02 Dark Gray 03 White 04 Metallic Silver 05 Matte Silver 06 Bronze 07 Custom LUM

<b>Options (Consult Factory for Pricing)</b>	<b>Options</b>
SCE Surface Conduct Entry Box EMG Emergency Battery Pack HGT Custom Height F Frosted Lens NAT Natatorium & High Salt Environments RPA Round Pole Adapter DIM 0-10v Dimming	01 Black 02 Dark Gray 03 White 04 Metallic Silver 05 Matte Silver 06 Bronze 07 Custom LUM

Ordering Example: UTA - 31861 - 37w - T2 - W30 - 02 - 120/277v - Options

PROJECT: \_\_\_\_\_ DATE: \_\_\_\_\_ QUANTITY: \_\_\_\_\_

Universe® Medium with HID Optic – UCM

<b>MOUNTING</b> The fixture shall be attached to the arm assembly with three stainless steel bolts. The connection shall be sealed with a silicone compression gasket. PM - The post top version shall slip over a 47100mm Q.D. pole or trunion, and secured with six stainless steel set screws.	<b>FINISH</b> Fixture finish consists of a five stage pretreatment regimen with a polymer primer sealer, oven dry oil, and top coated with a thermoset spray TIGC polyester powder coat finish. The finish shall meet the AAMA 605-2 performance specification which includes passing a 3000 hour salt spray test for corrosion resistance.	<b>CERTIFICATION</b> Listed with ETL for outdoor, wet location use. Conforms to UL1598 and Canadian CSA Std. C22-2 no.250 standard. The luminaire shall be constructed to IP65 standards.	<b>WARRANTY / TERMS AND CONDITIONS OF SALE</b> Download: <a href="http://www.hubbellighting.com/hubbellwarranty/">http://www.hubbellighting.com/hubbellwarranty/</a>
---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------------------------------------------------------------------------------

<b>WEIGHT &amp; EPA</b>	<b>GLASS REFRACTOR</b>	<b>HORIZONTAL REFLECTOR</b>	<b>OPAL LENS</b>
No luminous	WT (lbs)	EPA WT (lbs)	EPA WT (lbs)
ANG	28.55	30	22.30
BEL	32.00	33	24.21
FLR	28.88	33	22.66
STR	31.75	39	24.00
SKB	32.10	30	24.35
4 Lum Window			
WDB-ANG	30.70	32	24.40
WDB-BEL	34.15	35	26.40
WDB-FLR	31.00	35	24.75
WDB-STR	33.90	41	26.10
WDB-SKB	34.25	33	26.50
Solid Rings			
SR-ANG	33.70	34	27.40
SR-BEL	37.15	37	29.40
SR-FLR	34.00	37	27.75
SR-STR	36.90	43	29.10
SR-SKB	37.25	35	29.50
Vertical Slots			
VSL-ANG	31.45	32	25.30
VSL-BEL	34.90	35	27.30
VSL-FLR	31.75	35	25.60
VSL-STR	34.65	41	27.00
VSL-SKB	35.00	33	27.40
Lum Rings			
LUM-ANG	32.85	34	26.30
LUM-BEL	34.15	35	28.30
LUM-FLR	33.15	37	26.60
LUM-STR	36.05	43	28.00
LUM-SKB	36.40	35	28.40

<b>UCM H3 150MH FTG</b>	WATTAGE: 185	LUMEN OUTPUT: 7192	EFFICACY: 67.6
<b>B2 UO G2</b>	FORWARD LIGHT	LUMEN	Mounting Height
FL	30°	4.6%	577
FM	60°	16.2%	2026
FH	80°	14.8%	1850
FVH	90°	0.2%	30
BACK LIGHT	BL	30°	3.9%
BM	60°	11.7%	1469
BH	80°	5.3%	758
BVH	90°	0.1%	11
UPLIGHT	UL	100°	0%
UH	100°	0%	0

<b>UPLIGHT 0%</b>	<b>DOWNLIGHT 100%</b>
-------------------	-----------------------

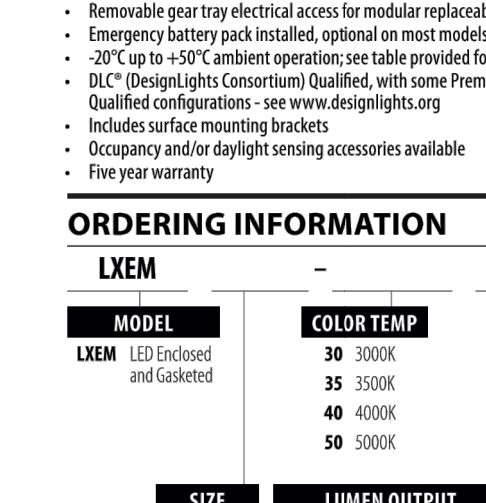
IES files can be found at [www.aal.net](http://www.aal.net)

ARCHITECTURAL AREA LIGHTING  
17760 Rowland Street | City of Industry, CA 91748  
P 626.968.5666 | F 626.369.2695 | www.aal.net  
Copyright © 2012 | Rev November 7, 2016 12:56 PM

UTA-31861  
Tango 29 Downlight



Physical Data  
Length - 7.3"  
Height - 10.7"  
Weight - 9.7 lbs  
IP65 - Suitable For Wet Locations  
IK08 - Impact Resistant (Vandal Resistant)



<b>Standard Options</b>	<b>Lamp</b>	<b>Beam</b>	<b>LED Color</b>	<b>Finish Color</b>
37w LED 20w LED 20w LED	T2 - Type II Distribution - 2706mm T3 - Type III Distribution - 2722mm T4 - Type IV Distribution - 2777mm (Lumen output for 37w LED)	W27 - 2700K W30 - 3000K W40 - 4000K (EMW Dark Sky approved for 2700K & 3000K only)	F - Frosted Lens EMG - Emergency Battery Pack SCE - Custom Surface Conduct Entry Box HGT - Specify Custom Height NAT - Natatorium & High Salt Environments RPA - Round Pole Adapter DIM - 0-10v Dimming	01 Black 02 Dark Gray 03 White 04 Metallic Silver 05 Matte Silver 06 Bronze 07 Custom LUM

<b>Options (Consult Factory for Pricing)</b>	<b>Options</b>
SCE Surface Conduct Entry Box EMG Emergency Battery Pack HGT Custom Height F Frosted Lens NAT Natatorium & High Salt Environments RPA Round Pole Adapter DIM 0-10v Dimming	01 Black 02 Dark Gray 03 White 04 Metallic Silver 05 Matte Silver 06 Bronze 07 Custom LUM

Ordering Example: UTA - 31861 - 37w - T2 - W30 - 02 - 120/277v - Options

PROJECT: \_\_\_\_\_ DATE: \_\_\_\_\_ QUANTITY: \_\_\_\_\_

Universe® Medium with HID Optic – UCM

<b>MOUNTING</b> The fixture shall be attached to the arm assembly with three stainless steel bolts. The connection shall be sealed with a silicone compression gasket. PM - The post top version shall slip over a 47100mm Q.D. pole or trunion, and secured with six stainless steel set screws.	<b>FINISH</b> Fixture finish consists of a five stage pretreatment regimen with a polymer primer sealer, oven dry oil, and top coated with a thermoset spray TIGC polyester powder coat finish. The finish shall meet the AAMA 605-2 performance specification which includes passing a 3000 hour salt spray test for corrosion resistance.	<b>CERTIFICATION</b> Listed with ETL for outdoor, wet location use. Conforms to UL1598 and Canadian CSA Std. C22-2 no.250 standard. The luminaire shall be constructed to IP65 standards.	<b>WARRANTY / TERMS AND CONDITIONS OF SALE</b> Download: <a href="http://www.hubbellighting.com/hubbellwarranty/">http://www.hubbellighting.com/hubbellwarranty/</a>
---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------------------------------------------------------------------------------

<b>WEIGHT &amp; EPA</b>	<b>GLASS REFRACTOR</b>	<b>HORIZONTAL REFLECTOR</b>	<b>OPAL LENS</b>
No luminous	WT (lbs)	EPA WT (lbs)	EPA WT (lbs)
ANG	28.55	30	22.30
BEL	32.00	33	24.21
FLR	28.88	33	22.66
STR	31.75	39	24.00
SKB	32.10	30	24.35
4 Lum Window			
WDB-ANG	30.70	32	24.40
WDB-BEL	34.15	35	26.40
WDB-FLR	31.00	35	24.75
WDB-STR	33.90	41	26.10
WDB-SKB	34.25	33	26.50
Solid Rings			
SR-ANG	33.70	34	27.40
SR-BEL	37.15	37	29.40
SR-FLR	34.00	37	27.75
SR-STR	36.90	43	29.10
SR-SKB	37.25	35	29.50
Vertical Slots			
VSL-ANG	31.45	32	25.30
VSL-BEL	34.90	35	27.30
VSL-FLR	31.75	35	25.60
VSL-STR	34.65	41	27.00
VSL-SKB	35.00	33	27.40
Lum Rings			
LUM-ANG	32.85	34	26.30
LUM-BEL	34.15	35	28.30
LUM-FLR	33.15	37	26.60
LUM-STR	36.05	43	28.00
LUM-SKB	36.40	35	28.40

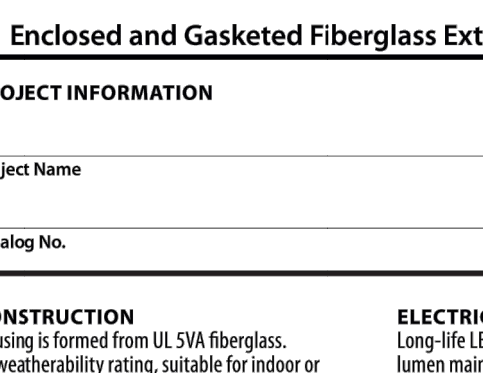
<b>UCM H3 150MH FTG</b>	WATTAGE: 185	LUMEN OUTPUT: 7192	EFFICACY: 67.6
<b>B2 UO G2</b>	FORWARD LIGHT	LUMEN	Mounting Height
FL	30°	4.6%	577
FM	60°	16.2%	2026
FH	80°	14.8%	1850
FVH	90°	0.2%	30
BACK LIGHT	BL	30°	3.9%
BM	60°	11.7%	1469
BH	80°	5.3%	758
BVH	90°	0.1%	11
UPLIGHT	UL	100°	0%
UH	100°	0%	0

<b>UPLIGHT 0%</b>	<b>DOWNLIGHT 100%</b>
-------------------	-----------------------

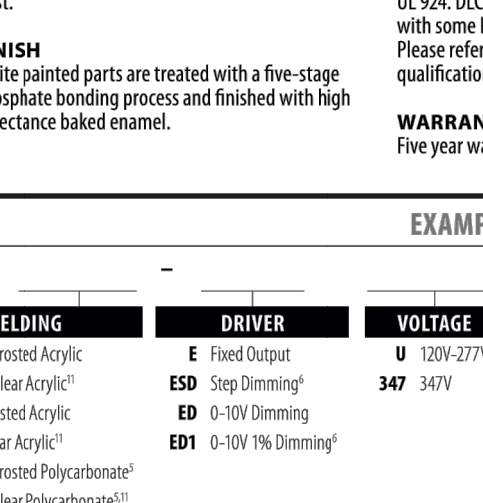
IES files can be found at [www.aal.net](http://www.aal.net)

ARCHITECTURAL AREA LIGHTING  
17760 Rowland Street | City of Industry, CA 91748  
P 626.968.5666 | F 626.369.2695 | www.aal.net  
Copyright © 2012 | Rev November 7, 2016 12:56 PM

UTA-31861  
Tango 29 Downlight

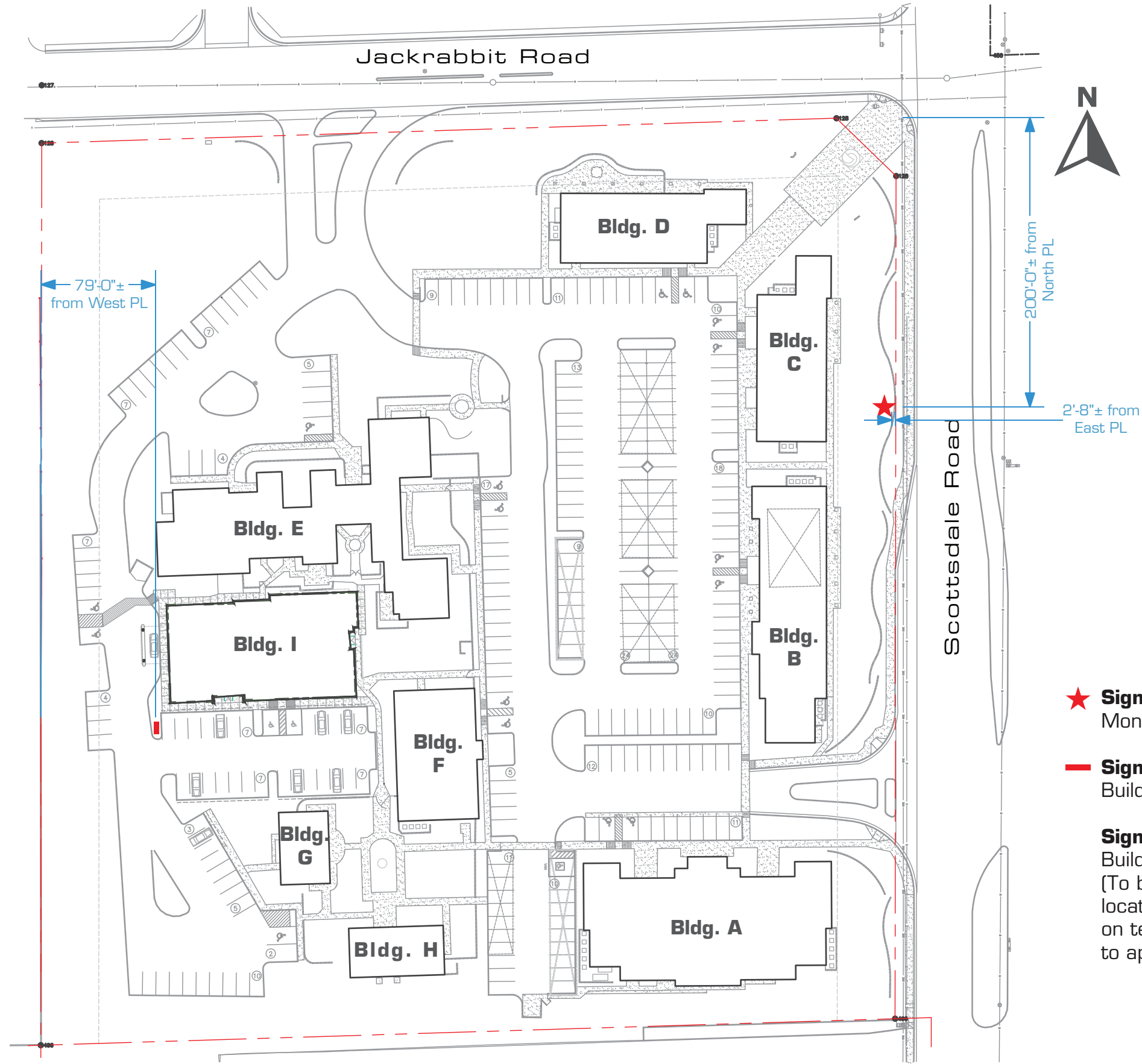


Physical Data  
Length - 7.3"  
Height - 10.7"  
Weight - 9.7 lbs  
IP65 - Suitable For Wet Locations  
IK08 - Impact Resistant (Vandal Resistant)



<b>Standard Options</b>	<b>Lamp</b>	<b>Beam</b>	<b>LED Color</b>	<b></b>
-------------------------	-------------	-------------	------------------	---------





★ **Sign Type A**  
Monument Sign

— **Sign Type B**  
Building Directory Sign

**Sign Type C**  
Building I Tenant/Suite ID Sign  
(To be located at various locations on the building based on tenant occupancy - owner to approve final locations)

**Sign Location Plan**

Scale: 1"=80'-0"

**DATE**

12.10.2018

**JOB NAME**

Paradise Valley Medical Plaza

**ADDRESS**

SEC Scottsdale Rd & Jackrabbit Rd  
Paradise Valley, AZ

**CLIENT**

Plaza Companies  
9401 W Thunderbird Rd  
Suite 200  
Peoria, AZ 85381

**CONTACT**

Bill Cook

**DESIGNER**

GD

**SCALE**

As Noted

**REVISIONS**

Date:  
Date:  
Date:

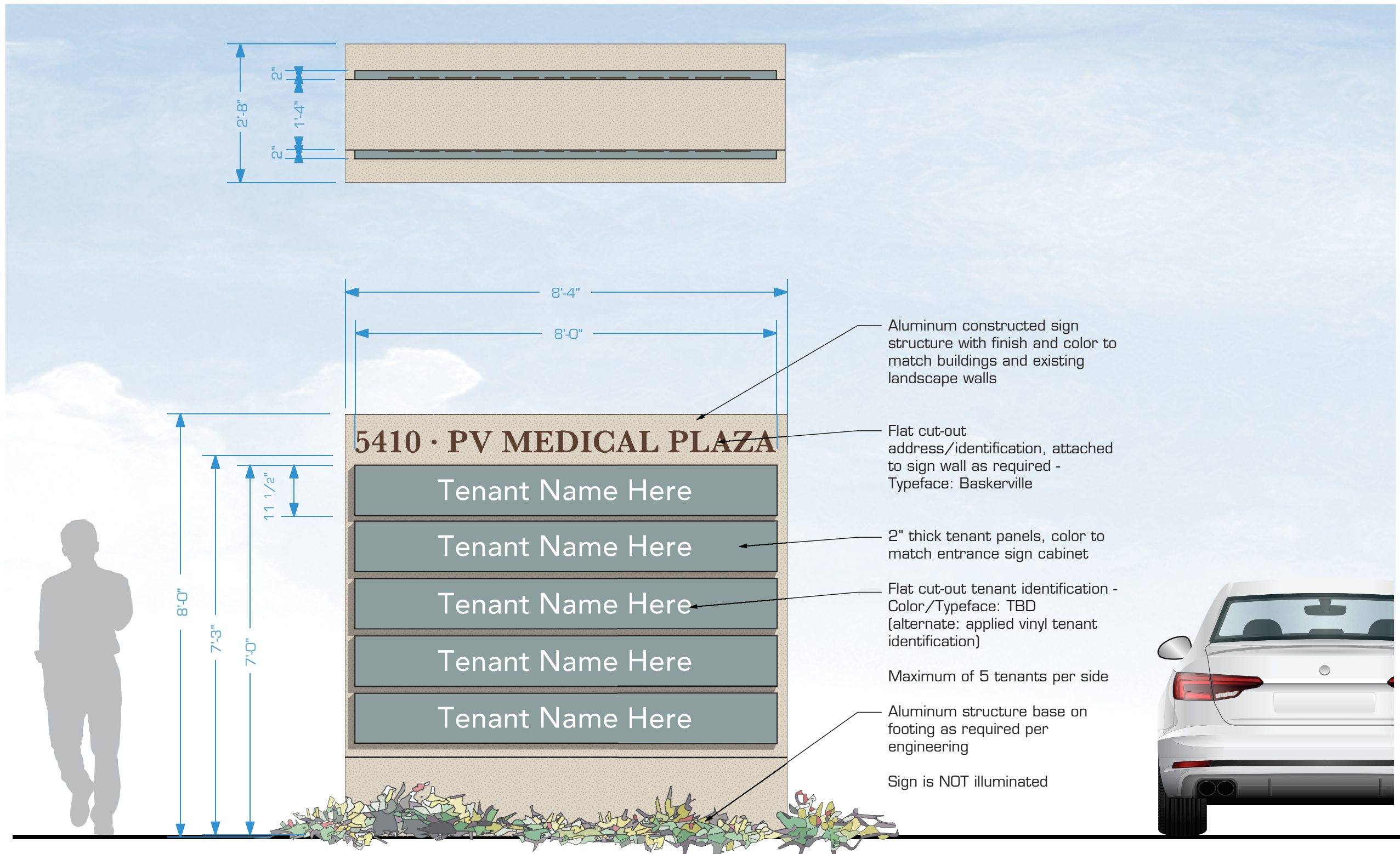


10027 N. 12th Street  
Phoenix, AZ. 85020

(T) 602.279.9268  
(C) 602.751.0708  
(F) 602.266.1289  
scott@identitysign.net

This Drawing was created to assist you in the visualizing our proposal. The Original Ideas herein are the property of IDENTITY SIGN GROUP. Permission to copy or revise this drawing can only be obtained thru a written agreement with IDENTITY SIGN GROUP.





**DATE**

01.02.2018

**JOB NAME**

Paradise Valley Medical Plaza

**ADDRESS**

SEC Scottsdale Rd & Jackrabbit Rd  
Paradise Valley, AZ

**CLIENT**

Plaza Companies  
9401 W Thunderbird Rd  
Suite 200  
Peoria, AZ 85381

**CONTACT**

Bill Cook

**DESIGNER**

GD

**SCALE**

As Noted

**REVISIONS**

Date:  
Date:  
Date:



10027 N. 12th Street  
Phoenix, AZ. 85020

(T) 602.279.9268  
(C) 602.751.0708  
(F) 602.266.1289



scott@identitysign.net  
This Drawing was created to assist you in the visualizing our proposal. The Original Ideas herein are the property of IDENTITY SIGN GROUP. Permission to copy or revise this drawing can only be obtained thru a written agreement with IDENTITY SIGN GROUP.

**Sign Type A - Tenant Monument**

Scale: 1/2"=1'-0" Qty: 1 - Overall Area of Sign: 67.2 Sq. Ft.





**Existing Conditions**



**Monument Sign Render**

**Sign Type A - Tenant Monument**

Scale: 1/2"=1'-0" Qty: 1 - Overall Area of Sign: 67.2 Sq. Ft.

**DATE**

01.02.2018

**JOB NAME**

Paradise Valley Medical Plaza

**ADDRESS**

SEC Scottsdale Rd & Jackrabbit Rd  
Paradise Valley, AZ

**CLIENT**

Plaza Companies  
9401 W Thunderbird Rd  
Suite 200  
Peoria, AZ 85381

**CONTACT**

Bill Cook

**DESIGNER**

GD

**SCALE**

As Noted

**REVISIONS**

Date:  
Date:  
Date:



10027 N. 12th Street  
Phoenix, AZ. 85020

(T) 602.279.9268  
(C) 602.751.0708  
(F) 602.266.1289  
scott@identitysign.net



This Drawing was created to assist you in the visualizing our proposal. The Original Ideas herein are the property of IDENTITY SIGN GROUP. Permission to copy or revise this drawing can only be obtained thru a written agreement with IDENTITY SIGN GROUP.





**Existing Entrance Ground Signs - Scottsdale Road**

Scale: 3/4"=1'-0"

Qty: 2 - 12 Sq.Ft. each



**Existing Entrance Ground Signs - Jackrabbit Road**

Scale: 3/4"=1'-0"

Qty: 2 - 9 Sq.Ft. each



View of Scottsdale Road entry (not to scale)



View of Jackrabbit Road entry (not to scale)

**Total area of existing entrance ground signs: 42 Sq.Ft.**

**DATE**

12.10.2018

**JOB NAME**

Paradise Valley Medical Plaza

**ADDRESS**

SEC Scottsdale Rd & Jackrabbit Rd  
Paradise Valley, AZ

**CLIENT**

Plaza Companies  
9401 W Thunderbird Rd  
Suite 200  
Peoria, AZ 85381

**CONTACT**

Bill Cook

**DESIGNER**

GD

**SCALE**

As Noted

**REVISIONS**

Date:

Date:

Date:



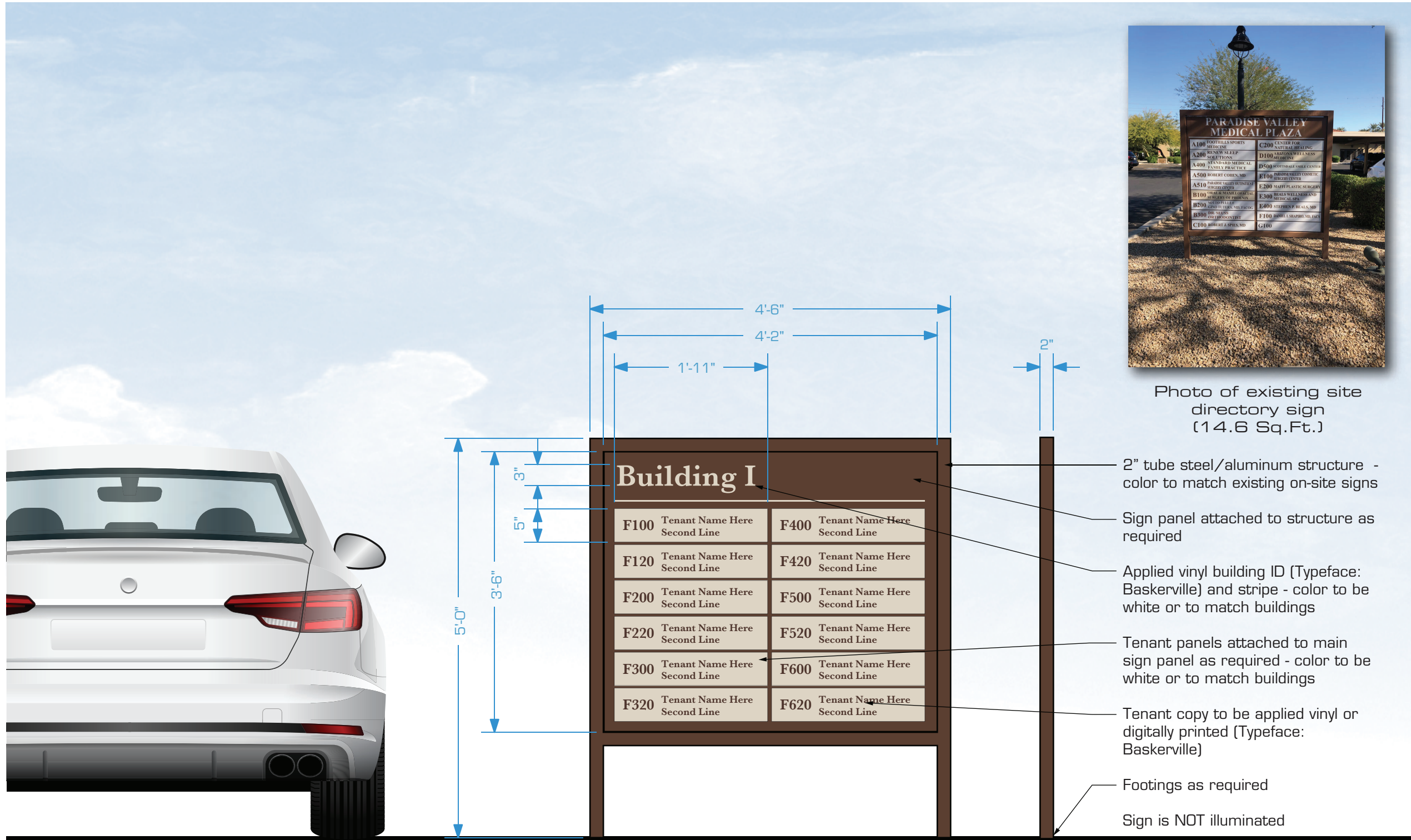
10027 N. 12th Street  
Phoenix, AZ. 85020

(T) 602.279.9268  
(C) 602.751.0708  
(F) 602.266.1289

scott@identitysign.net

This Drawing was created to assist you in the visualizing our proposal. The Original Ideas herein are the property of IDENTITY SIGN GROUP. Permission to copy or revise this drawing can only be obtained thru a written agreement with IDENTITY SIGN GROUP.





**Sign Type B - Building Directory Sign**

Scale: 3/4"=1'-0" Qty: 1 - 14.6 Sq.Ft.

DATE

12.10.2018

JOB NAME

Paradise Valley Medical Plaza

ADDRESS

SEC Scottsdale Rd & Jackrabbit Rd  
Paradise Valley, AZ

CLIENT

Plaza Companies  
9401 W Thunderbird Rd  
Suite 200  
Peoria, AZ 85381

CONTACT

Bill Cook

DESIGNER

GD

SCALE

As Noted

REVISIONS

Date:

Date:

Date:

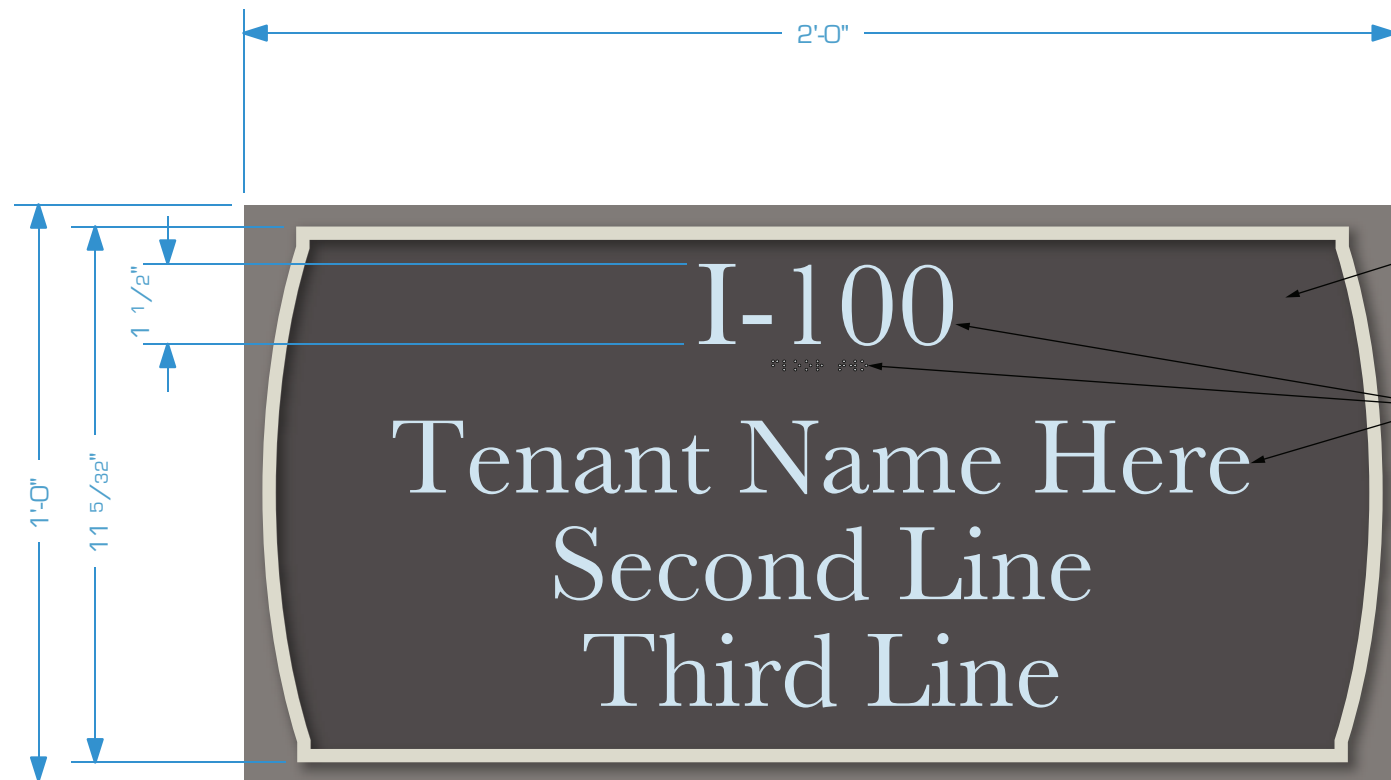


10027 N. 12th Street  
Phoenix, AZ. 85020

(T) 602.279.9268  
(C) 602.751.0708  
(F) 602.266.1289  
scott@identitiesign.net

This Drawing was created to assist you in the visualizing our proposal. The Original Ideas herein are the property of IDENTITY SIGN GROUP. Permission to copy or revise this drawing can only be obtained thru a written agreement with IDENTITY SIGN GROUP.





Dimensional building / suite ID plaque - style, color, and material to match existing on-site

Raised tenant identification and copy and braille as required (Typeface: Baskerville)



Photo of existing building / suite ID sign (2 Sq.Ft.)

**Sign Type C - Building I Tenant/Suite ID Sign**

Scale: 3"=1'-0"

Qty: TBD - 2 Sq.Ft.

**DATE**

12.10.2018

**JOB NAME**

Paradise Valley Medical Plaza

**ADDRESS**

SEC Scottsdale Rd & Jackrabbit Rd  
Paradise Valley, AZ

**CLIENT**

Plaza Companies  
9401 W Thunderbird Rd  
Suite 200  
Peoria, AZ 85381

**CONTACT**

Bill Cook

**DESIGNER**

GD

**SCALE**

As Noted

**REVISIONS**

Date:

Date:

Date:



10027 N. 12th Street  
Phoenix, AZ. 85020

(T) 602.279.9268  
(C) 602.751.0708  
(F) 602.266.1289

scott@identitysign.net

This Drawing was created to assist you in the visualizing our proposal. The Original Ideas herein are the property of IDENTITY SIGN GROUP. Permission to copy or revise this drawing can only be obtained thru a written agreement with IDENTITY SIGN GROUP.





West Elevation



East Elevation

Dimensional building letter "I" identification on East and West elevations.

Color/Typeface to match existing identifications.

**Building Letter Identification**

Scale: 3/32"=1'-0"

Qty: 2

**DATE**

12.10.2018

**JOB NAME**

Paradise Valley Medical Plaza

**ADDRESS**

SEC Scottsdale Rd & Jackrabbit Rd  
Paradise Valley, AZ

**CLIENT**

Plaza Companies  
9401 W Thunderbird Rd  
Suite 200  
Peoria, AZ 85381

**CONTACT**

Bill Cook

**DESIGNER**

GD

**SCALE**

As Noted

**REVISIONS**

Date:  
Date:  
Date:



10027 N. 12th Street  
Phoenix, AZ. 85020

(T) 602.279.9268  
(C) 602.751.0708  
(F) 602.266.1289  
scott@identitysign.net

This Drawing was created to assist you in the visualizing our proposal. The Original Ideas herein are the property of IDENTITY SIGN GROUP. Permission to copy or revise this drawing can only be obtained thru a written agreement with IDENTITY SIGN GROUP.