

December 12, 2025

Attn: George Burton
Senior Planner
Town of Paradise Valley
6401 E Lincoln Drive
Paradise Valley, AZ 85253

**Re: Phoenix Country Day School - 3901 East Stanford Drive (170-09-001A and 001B)
Formal Intermediate SUP Amendment Request to allow new Wellness Center,
Baseball Field Updates, and Signage (SUP-25-06)**

Please accept this formal request for an Intermediate Amendment to the existing Special Use Permit (SUP) for Phoenix Country Day School (PCDS) to allow the addition of new +/- 7,000 square foot Wellness Center, much need improvements to the existing baseball field and spectator areas, and two digital campus signs interior to the parking lots on East Stanford Drive and North 40th Street.

BACKGROUND

Phoenix Country Day School (PCDS) opened in 1961 with the vision of bringing an East-coast traditional education model to the Town of Paradise Valley. Included in this holistic educational vision is the development of skills in students knowing themselves and empathizing with the experiences of others. In addition to their excellence in academics, PCDS also provides opportunities for bright students to grow in unique non-academic ways through the athletics program. Critical values such as teamwork, persistence, commitment, selflessness, humility and self-confidence as well as physical fitness and overall health are necessary life skills that are certainly core to the overall PCDS experience.

REQUEST JUSTIFICATION

The proposed amendment to the existing SUP constitutes an Intermediate Amendment process as described in Section 1102.7.C of the Town's Zoning Ordinance (Ordinance).

1. This amendment does not change or add any uses.

This amendment has been revised from initial submittal and will no longer be proposed to relocate the soccer and baseball fields. Additionally, lighting for the sports fields has also been removed from this request. PCDS is proposing much needed improvements to the existing baseball field that was built nearly 50 years ago. This request will also propose a new Wellness Center building to the east of the existing baseball field towards the interior of the campus. The Wellness Building will provide locker rooms for athletes as

well as fitness opportunities for existing faculty and staff on site. Finally, this request will provide digital signage on campus to promote school-based events and helpful campus information.

2. **This request does not increase the floor area of the project by more than 40% upon the existing or approved floor area square footage, calculated cumulatively over the last 60 months.**

The new Wellness Center will add approximately 7,000 square feet of building to the PCDS campus which does not increase the floor area on the site by more than 40%. Please see table referenced on the Overall Site Plan for floor area calculation to date.

3. **The request does not have any material effect on the adjoining property owners that is visible, audible or otherwise perceptible from adjacent properties that cannot be sufficiently mitigated.**

Updates to the baseball field will have no negative impacts on adjoining properties. PCDS has carefully redesigned this project with great sensitivity to their neighbors and has sufficiently mitigated their concerns through in-depth discussion and alterations to original requests. First, PCDS is no longer pursuing the relocation of sports fields. This request is being resubmitted with improvements to the existing baseball field in its current location and only updates existing structures such as dugouts and seating to ensure safety for players and spectators. There will be no additional lights or anything that might alter the neighboring residential properties view corridors. Second, the placement of digital signage will be set back well in excess of that which is required by the Town Zoning Ordinance Section XXV and fully located interior to the campus (not on PV streets like other schools in Town). Finally, the addition of the new Wellness Center building on the east side of the baseball field has been carefully designed to preserve any existing views from surrounding properties. None of the new improvements are taller than the existing buildings on campus today. Importantly, there is no sport lighting poles being proposed near residential neighbors with this resubmitted request.

NEW WELLNESS CENTER

The Wellness Center is proposed to be built on the east side of the existing baseball field towards the interior of campus. The facility is a single story 6,953 sf multi-use building with 730 sf metal canopy to be used by both faculty and students with a maximum building height of 26 feet. After discussions with neighbors and to accommodate the neighboring baseball field, the facility's footprint will be shifted approximately 16 feet to the east of the existing fence line of the baseball field, which positions the structure further to the interior of the campus and away from neighbors. This building will also be positioned twelve feet to the south of and parallel to the existing middle school building to prevent having to increase the fire ratings on the windows and doors of the building. The Wellness Center will provide a 1,553-sf faculty workout center to

enhance employee health and assist with employee retention. The workout center will be available for staff use during school hours and will be closed at the end of the day with all other facilities on campus.

Within this new building there will be a 1,002 sf multi-purpose room for dance classes and other physical education programs, a concession stand for athletic events, two locker rooms to be used by the PCDS soccer team and the visiting soccer team, restrooms for athletic events, and an office for PCDS athletic staff. PCDS prides itself on its motto: “Happy, Healthy and Hardworking” which applies to both faculty and students alike. The proposed Wellness Center helps PCDS achieve this goal!

BASEBALL FIELD UPDATES

As mentioned, this SUP is no longer requesting to relocate the baseball and soccer fields. Hence, this amendment will only update the existing baseball field on campus to improve the overall experience for players and spectators, but most importantly to ensure students and spectators may safely utilize the existing facilities.

In previous iterations of planning, PCDS had proposed swapping its soccer fields (currently located in the lower wash on campus) to where the baseball diamond currently stands to address seasonal weather issues and flood risks that negatively impacted athletic programs. After socializing these changes with neighbors, they expressed concern over the light poles to be installed on the new fields. To accommodate the neighbors, PCDS has decided to keep the baseball field in its existing location and the soccer fields in the lower wash area, instead focusing this amendment on revamping the dated and dilapidated infrastructure on the baseball field and surrounding spectator areas, some of which has not been modified in over 40 years.

The proposed and much-needed updates to the existing baseball field will retain the same usage and intensity but update aspects of the field to ensure student, player, and spectator safety and enjoyment. First, the sheet metal roofs on both dugouts (constructed almost 20 years ago) are deteriorating and need to be replaced. The new roofs will have a similar appearance with replacement sheet metal or comparable metal covering. Additionally, the chain link backstop will be replaced with a new 34-foot-high backstop, which is comparable to the heights of nearby campus buildings. Students and faculty regularly walk behind the baseball field to access the music building, and there is a middle school quad directly to the east of the field. Given the high traffic setting and that students in both areas are unable to see the field, a backstop of this height prevents foul balls from exiting the field onto these other parts of campus and posing dangers to students and faculty.

The baseball field will also have enhanced amenities to benefit the exceptional PCDS baseball program. Along each baseline, new bullpens will be constructed. The infield dirt will be replaced, and an outfield warning track along the existing fencing will be installed. Artificial turf will replace the existing natural grass in the infield and edges of foul territory. No changes will be made to the footprint of the outfield nor the height of the fence, except for new 20-foot-high foul poles

on each baseline. For spectators, existing canopies and bleachers will be replaced with stadium seating for similar capacity crowds while maintaining the same footprint as currently. For reference, the existing canopy height is 14'-0" and the proposed new canopy column is 14'-6" with the canopy fabric being 13'-4". The existing bleachers are 2'-6" to the top of the metal seat. As for the proposed new bleachers, the top of the guardrail will be 6'-0", the top of the seat back will be 5'-0" and the top of the highest metal bleacher step is 2'-0"

The field will no longer be erecting lights. PCDS simply seeks to update and upgrade structures that have been in use for decades at the current baseball field location.

Hours of Operation

PCDS current class schedule is Monday through Friday 7:30AM to 3:00PM with 2:00PM dismissal on Fridays.

This amendment will not alter the current PCDS baseball schedule. Baseball games will begin after dismissal and end by 6:00PM just as they have done over the past decades. Any weekend games will take place on Saturdays only and end before it is dark outside. There is no sports lighting associated with this request. The table below shows approximate number of baseball games for the upcoming season.

Table 1 – Baseball Program

BASEBALL PROGRAM (SPRING)	
Middle School	6 games
Upper School	18 games

Lighting

As previously mentioned, PCDS has heard its neighbors and their concern over building permanent light poles. To accommodate, PCDS is no longer seeking to construct any light poles. Additionally, as baseball is a spring sport with days being longer, games can be played after school hours but before sunset, negating the need for any light structures in this area of campus. The bleachers will also not have any lighting installed.

Like the recently approved Performing Arts Center, these fields are for PCDS use only and will not be rented out for others to use.

Noise

As with any outdoor school activity there is a minimal amount of cheerful noise that is associated with sporting events. Nearby neighbors may already enjoy the cheers from the bleachers,

whistles from the officials, and play by play announcements provided by the existing amplified speaker system. This will remain the same – no changes to the existing PA system are being proposed with this request. A recent sound study conducted by Newton Environmental Consulting concluded that the existing PA system registers around 48-50 decibels of sound when it reaches the nearest neighbor’s property, which is quieter than 60 decibels (the amount of noise emitted from normal conversation). This level of sound is also less than the 56-decibel threshold for fixed noise in the Town Code for activities taking place on weekdays and Saturdays.

School sports are an important part of the overall Middle and High School experience and these upgrades to the sports programs and fields will be welcomed additions for the next generation of student athletes.

Spectator Capacity

PCDS currently has shaded bleacher seating for home and visiting teams on the current baseball field. The proposed upgraded seating for spectators will consist of the same 4 rows of seats but will offer stadium seating with backs instead of flat bleachers. The new seating will also be shaded with new canopies and replace the existing dated and sun-damaged canopies. The proposed new fabric canopy height is 13’-4” and the proposed canopy footprints include two 40’-0” x 13’-0” areas and one 20’-0” x 13’-0” area. Height and visual specs of the new canopies will be the same as those existing today. These visuals and measurements can be found the attached exhibits.

Parking

An updated Parking and Traffic Statement is submitted with this request. As you will see, there will be no impact on traffic nor parking because of this amendment. All the uses already exist on campus today. Baseball games will remain the same. The addition of the wellness facility will promote physical health and well-being for faculty and staff already working on campus and will not be open to the public. Thus, there will be no increase in traffic with the approval of this request.

DIGITAL SIGNAGE

Two digital signs are proposed to be installed on the interior of the drop-off and pickup sites on campus to display important school-related announcements. At present, the school uses tall aluminum frames where physical banners are hung to convey announcements. These frames are imposing and placed in the middle of planters to avoid sidewalks. Since they are bolted to the ground to avoid tipping over, the school is unable to remove them and are somewhat unsightly in between uses.

To provide a more visually appealing and sophisticated means to convey pertinent school announcements, this amendment seeks to construct brick and stucco posts that match the sidings of neighboring buildings on campus to mount the new digital signs. The signage will be entirely interior to the school and, unlike the public schools in the Town, the PCDS digital signs

will not be visible from Paradise Valley streets. The first sign will be positioned adjacent to the Shepard Welcome Center and set back over 200 feet from the North property line on East Stanford Drive. The second sign will be positioned near the aquatic center and set back approximately 203 feet from the East property line along North 40th Street. Visual depictions and dimensions of these sites can be found in the attached Exhibit. This positioning is considerably further away from neighbors when compared with digital signs at other schools in the Town, which are set back around 30 feet from the street. The signs at PCDS will, instead, be visible only to individuals who enter the parking lots on school property.

The illuminated dimensions of the signs will be 4'-2" high x 8'-4" wide. The total dimensions of the masonry wall supporting the sign will be 12' high x 11'-4" wide, which is lower than the height of both the Shepard Welcome Center and Aquatic Center. The top of the digital screen on the masonry wall is 10'-2". Compared against previous submissions, PCDS has lowered the overall height of the masonry wall by two feet and lowered the height of the digital screens by 16 inches. The signs need to be at this height to provide a feasible vantage point for those at different parts of the school property. Both sign locations are alongside car pickup lines, and the cars and foot traffic would block the signs if they were positioned any lower.

The signs will be illuminated Monday-Friday between 7am and 7pm on a regular basis. If events (e.g. a school band concert) take place during evening hours, the signs will be operational during those events, not to go past 10pm under any circumstances. The signs will be operational on weekends only if there is a school event taking place over a weekend. In such circumstances, PCDS will adhere to the same hour restrictions during the week.

The signs will display static text messages, pictures, and graphics that will cycle through with unobtrusive transitions in a similar way to a slide show on a computer screen. There will be no flashing, intermittent, or scintillating light either.

PCDS will take great care to ensure the signs comply with Article XXV of the Town's Zoning Ordinance. A signage subcontractor who will build and specify the exact digital sign will submit to the Town all required exhibits and cutsheets, including a photometric showing that the signage meets the town's requirements prior to construction. Specifically:

- Pursuant to Section 2(d)(i), the lighting measured at the property line will not exceed 0.5 foot candles.
- Pursuant to Section 2505, the signs will be mounted to the school's private property.
- Pursuant to Section 2506(A), the internal illumination will be confined to the area of the sign.
- Pursuant to Section 2506(H), the signs will only be illuminated during the hours when of school programs and shut off at nighttime.
- Pursuant to Section 2507, the signs will emit no noise.

CONCLUSION

Approving the enhancements to the baseball field mentioned above will allow the program to excel by updating the playing and viewing areas as well as ensuring the utmost safety. Additionally, the new Wellness Center will offer much-needed facilities on campus to promote faculty health and wellbeing for faculty and students alike. New digital signage will provide a convenient way to disseminate important news and community updates to the PCDS community without interfering with neighbors' use of their land.

PCDS is eager to continue to serve its students and the local community by enhancing overall student and faculty experiences and opportunities on its campus. This amendment, like previous amendments, will allow PCDS the opportunity to continue to achieve excellence in education (academics/athletic) for future generations to come.

Please feel free to contact Jordan Rose or Jennifer Hall at 480.505.3938 with any questions regarding this Intermediate amendment request to the existing SUP.



NORTHEAST VIEW - PERSPECTIVE RENDERING

SCALE: N.T.S.



SOUTHEAST VIEW - PERSPECTIVE RENDERING

SCALE: N.T.S.



SOUTHWEST VIEW - PERSPECTIVE RENDERING

SCALE: N.T.S.



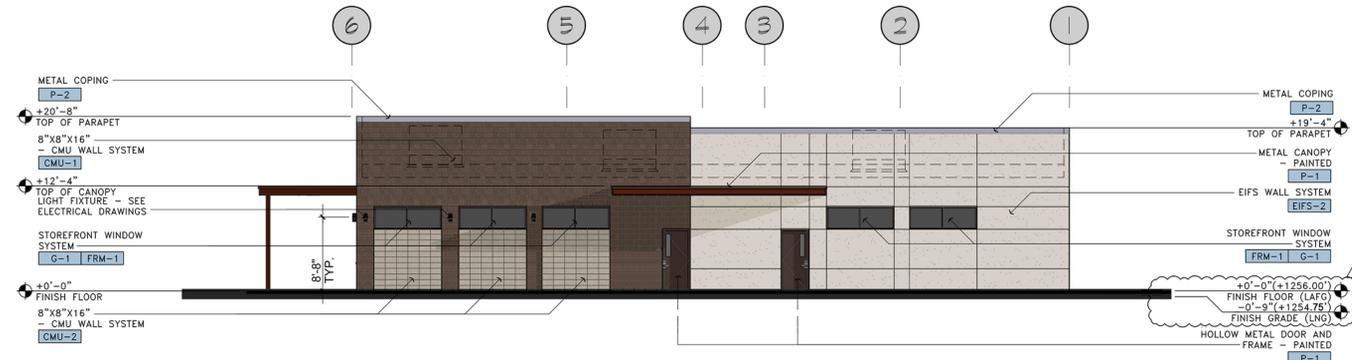
NORTHWEST VIEW - PERSPECTIVE RENDERING

SCALE: N.T.S.



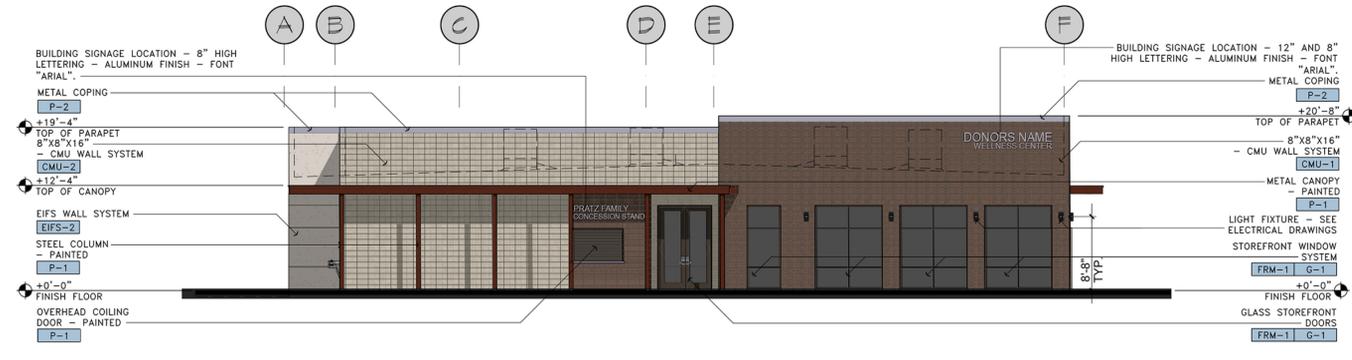
WEST BUILDING ELEVATION

SCALE: 1"=10'-0"



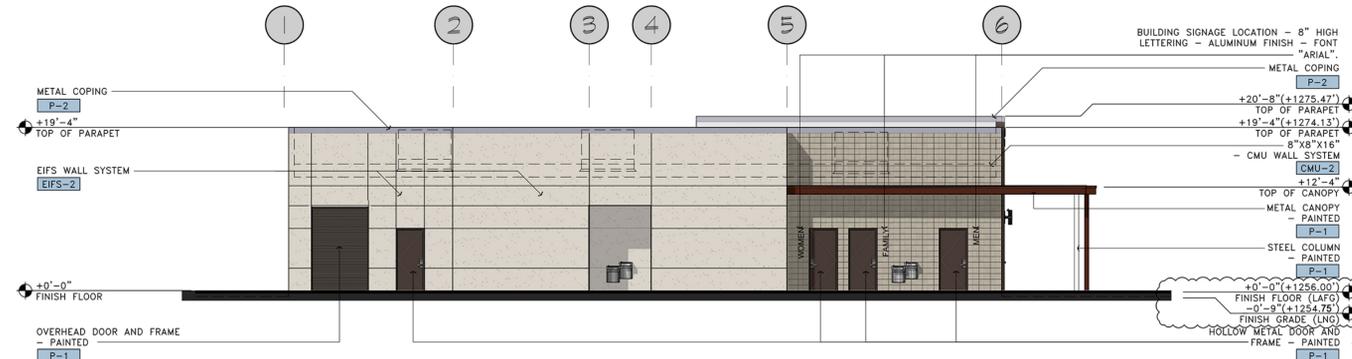
NORTH BUILDING ELEVATION

SCALE: 1"=10'-0"



EAST BUILDING ELEVATION

SCALE: 1"=10'-0"



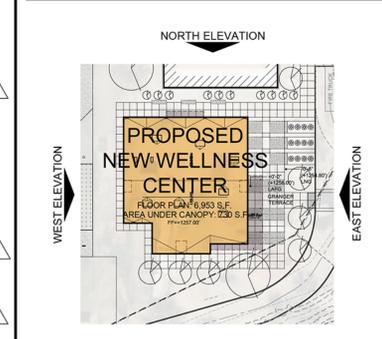
SOUTH BUILDING ELEVATION

SCALE: 1"=10'-0"

MATERIALS LEGEND:

CMU:	CMU-1	INTEGRAL COLORED CMU • STYLE: TEXTURED MASONRY UNIT • TYPE: MESASTONE • COLOR: MOJAVE BROWN • GROUP 1 - MEDIUM WEIGHT
	CMU-2	INTEGRAL COLORED CMU • STYLE: GROUND FACE MASONRY UNIT • TYPE: TRENDSONE • COLOR: SOUTHWEST GOLD • GROUP 3 - NORMAL WEIGHT
EIFS:	EIFS-1	EIFS (EXTERIOR INSULATED FINISH SYSTEM) • INTEGRAL COLOR • COLOR: 101 SUPER WHITE • TEXTURE: SANDBLAST (FINE FINISH)
	EIFS-2	EIFS (EXTERIOR INSULATED FINISH SYSTEM) • INTEGRAL COLOR • COLOR: 449 BUCKSKIN • TEXTURE: SANDBLAST (FINE FINISH)
CONCRETE:	CONC-1	INTEGRAL COLORED CONCRETE • COLOR: TERRA COTTA • NUMBER: 10134 • MFG.: DAVIS COLOR
PAINT:	P-1	PAINT COLOR • COLOR: MATCH FRAZEE RUBRUM LILLY • NUMBER: 6325R • MFG.: MODERN MASTERS PAINTS
	P-2	PAINT COLOR • COLOR: LOOKING GLASS • NUMBER: DE6376 • MFG.: DUNN EDWARDS PAINTS
GLASS:	G-1	GLASS COLOR • LOW-E INSULATED GLAZING • INSIDE FACE: 1/4" SOLARGRAY + CLEAR GLASS • OUTSIDE FACE: 1/4" SOLARGRAY + CLEAR GLASS • MFG.: VITRO GLASS • NUMBER: SOLARBAN 90 • REFLECTIVE
WINDOW FRAME:	FRM-1	STOREFRONT • COLOR: CLEAR ANODIZED ALUMINUM • MFG.: ARCADIA • NUMBER: AC-2

KEY PLAN



architecture.
design.
management.

dno.16
adm

2100 WEST 15TH STREET | TEMPE, AZ 85281 | 480.265.9800



PHOENIX COUNTRY DAY SCHOOL
NEW WELLNESS CENTER, RENOVATED
BASEBALL FIELD, AND SIGNS

3901 EAST STANFORD DRIVE
PARADISE VALLEY, ARIZONA 85253

Date	7-25-2025
Revisions	1. SUP CITY COMMENTS 7-25-2025
	2. SUP REVISIONS 10-02-2025
	3. SUP CITY COMMENTS 12-12-2025
Project Number	7189-102
Date	12-12-2025
Drawn By	SSW
Checked By	SSW, J.D., JEW

NEW WELLNESS CENTER
BUILDING ELEVATIONS

A6.0



PanaView® Baseball/Softball Scoreboard;
Scoreboard Color: White (7725-10)
Caption Color: White (7725-10)
 Cabinet Dimensions: 4'0" H X 0'0" W X 0'0" D (Approx. Dimensions)
 Digit Type: PANAVIEW
 Digit Color: WHITE
 Max Power: 155 watts/display
 Unpackaged 96 lbs per display, Packaged 141 lbs per display
 Border Stripe for BA-2518 Scoreboards; Color: Sunflower (7725-25)
 Team Name Caption in place of HOME caption; Name: EAGLES
 Frequency of 2.4 GHz
 For 2 H-Beams
 DAK Score App with All Sport® MX-1 Mobile Scoring Kit and Gen VI Radio Transmitter

SCOREBOARD

SCALE: N.T.S.

NOTE: NEW SCORE BOARD WILL MATCH EXISTING SCORE BOARD AT SOFTBALL FIELD.

SCOREBOARD EAST ELEVATION

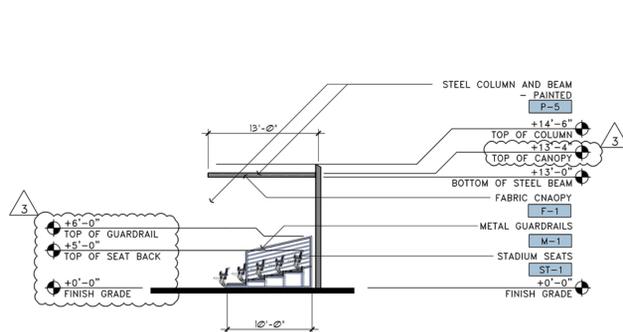
SCALE: 1"=10'-0"

SCOREBOARD WEST ELEVATION

SCALE: 1"=10'-0"

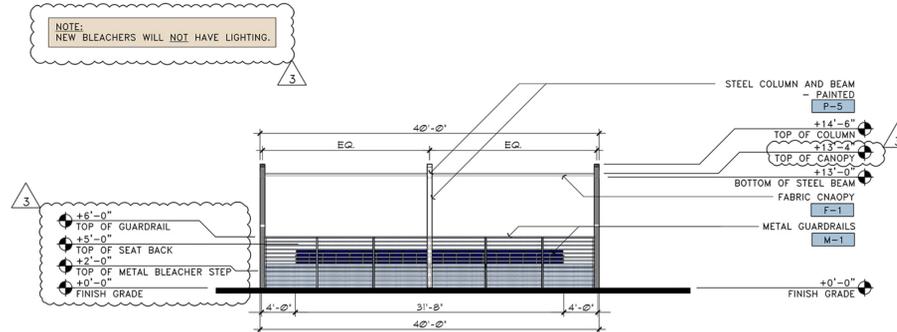
MATERIALS LEGEND:

- PAINT:**
- P-1** PAINT COLOR: COLOR: MATCH SCHOOL COLOR, BLUE; NUMBER: SUPPLIED BY OWNER; MFG.: MODERN MASTERS PAINTS
 - P-2** PAINT COLOR: COLOR: YELLOW; NUMBER: DEA119; MFG.: DUNN EDWARDS PAINTS
 - P-3** PAINT COLOR: COLOR: LOOKING GLASS; NUMBER: DEW360; MFG.: DUNN EDWARDS PAINTS
 - P-4** PAINT COLOR: COLOR: WHITE; NUMBER: DEW360; MFG.: DUNN EDWARDS PAINTS
 - P-5** PAINT COLOR: COLOR: SILVER; NUMBER: ME150; FINISH: SATIN; MFG.: MODERN MASTERS
- GLASS:**
- G-1** GLASS COLOR: COLOR: INSULATED GLAZING; INSIDE FACE: 1/4" SOLARGRAY + CLEAR GLASS; OUTSIDE FACE: 1/4" SOLARGRAY + CLEAR GLASS; MFG.: VITRO GLASS; NUMBER: SOLARBAN 90; REFLECTIVE
- WINDOW FRAME:**
- FRM-1** STOREFRONT; COLOR: CLEAR ANODIZED ALUMINUM; MFG.: ARCADIA; NUMBER: AC-2
- METAL BLEACHERS:**
- M-1** BLEACHERS, HANDRAILS AND FENCING; COLOR: CLEAR ANODIZED ALUMINUM; MFG.: BEACON ATHLETICS; NUMBER: BASEBALL FIELD - CUSTOM DUGOUTS BENCH
- CANOPY:**
- F-1** FABRIC CANOPY; COLOR: NAVY BLUE; MFG.: SHADE N NET
- SAFETY PADS:**
- PD-1** SAFETY PADS; COLOR: NAVY BLUE; MFG.: TBD
- STADIUM SEATS:**
- ST-1** STADIUM SEATS; COLOR: DEEP BLUE; MFG.: TBD



BASEBALL FIELD BLEACHER EAST/SOUTH/SOUTHEAST ELEVATION

SCALE: 1"=10'-0"



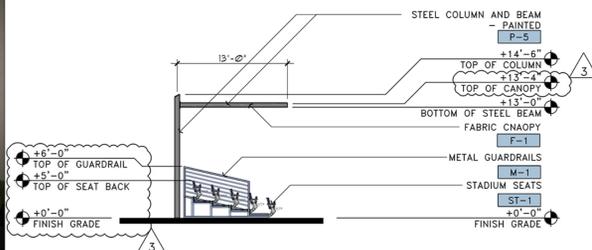
BASEBALL FIELD BLEACHER NORTH/EAST/NORTHEAST ELEVATION

SCALE: 1"=10'-0"



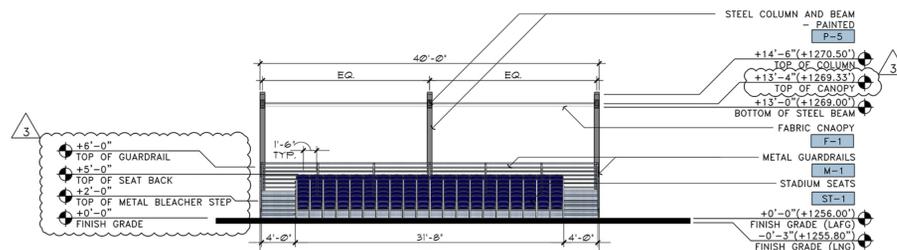
BASEBALL FIELD BLEACHER - TYPICAL SOUTHWEST VIEW - PERSPECTIVE RENDERING

SCALE: N.T.S.



BASEBALL FIELD BLEACHER WEST/NORTH/NORTHWEST ELEVATION

SCALE: 1"=10'-0"



BASEBALL FIELD BLEACHER SOUTH/WEST/SOUTHWEST ELEVATION

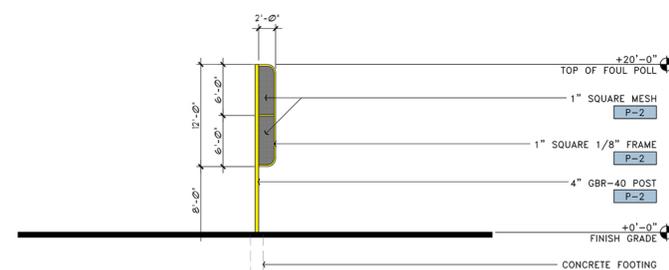
SCALE: 1"=10'-0"

GALVANIZED FINISHED CHAIN LINK FENCING - FOR ALL HEIGHTS.
 - WIRE DIAMETER OF 0.148 INCH.
 - MESH SIZE: 2 INCHES.
 - 86.23% OPEN.



BASEBALL FIELD CHAIN LINK FENCE EXHIBIT

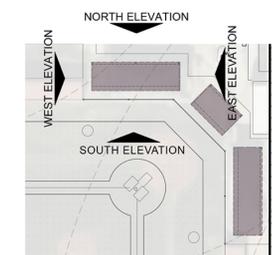
SCALE: N.T.S.



BASEBALL FIELD FOUL POLE ELEVATION

SCALE: N.T.S.

KEY PLAN



architecture.
 design.
 management.
 dno.16
 adm

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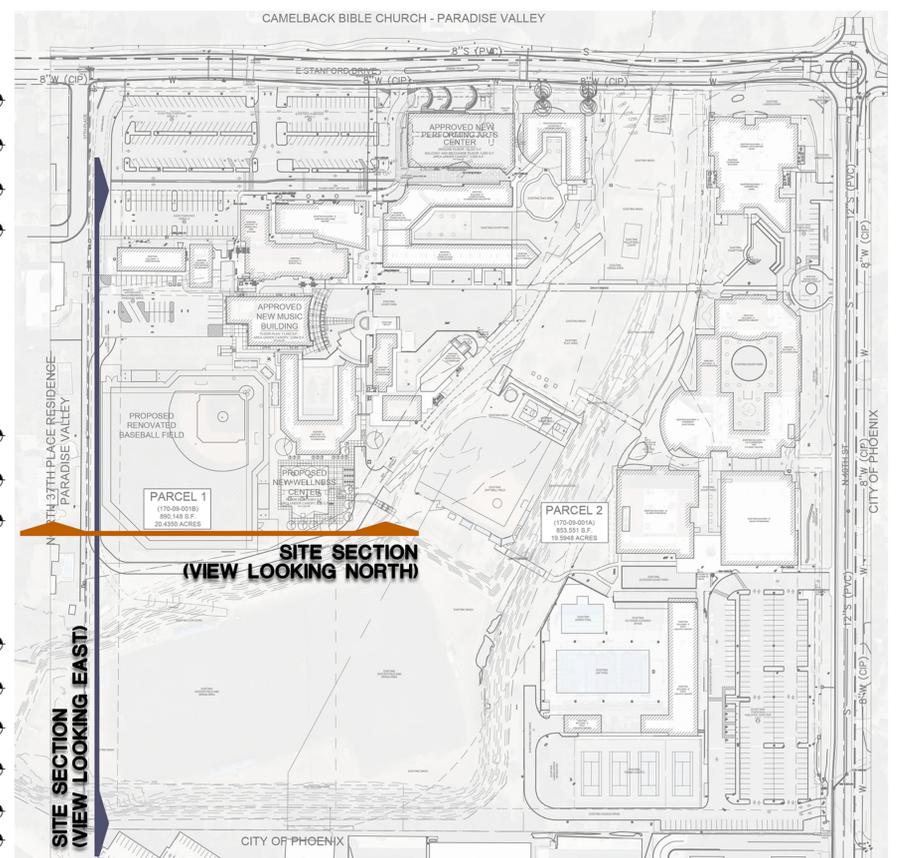
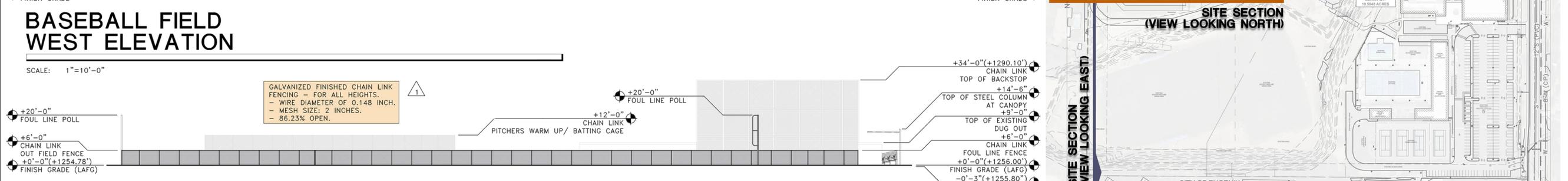
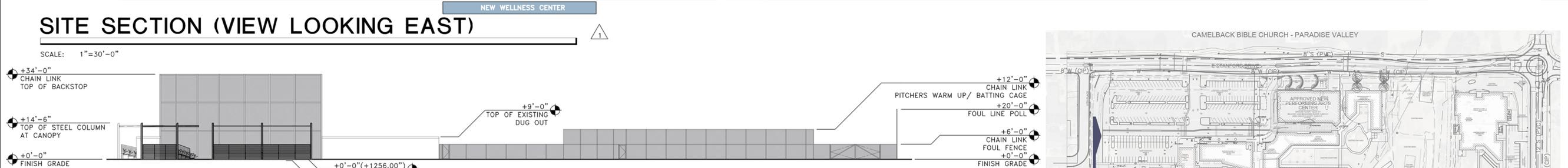
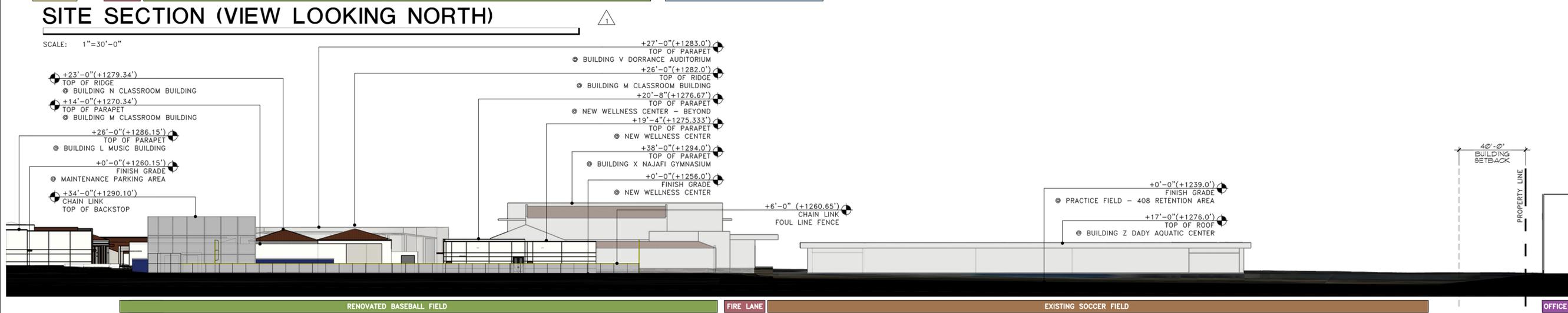
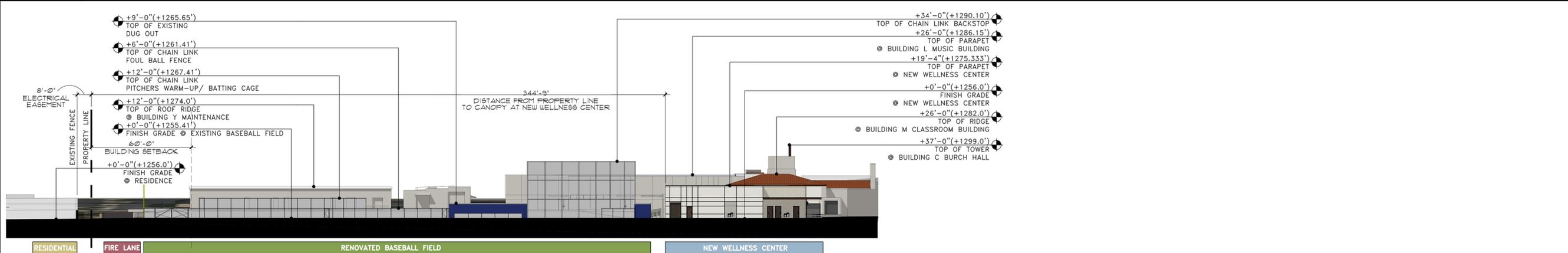
REGISTERED ARCHITECT
 49919 JASON R. OLIVE
 12-12-2025
 EXPIRES 09/30/2026
 ARIZONA U.S.A.
 DIGITALLY SIGNED PER AZBTR

PHOENIX COUNTRY DAY SCHOOL
 NEW WELLNESS CENTER, RENOVATED
 BASEBALL FIELD, AND SIGNS
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Date	Revisions
7-25-2025	1 SUP CITY COMMENTS
10-02-2025	2 SUP REVISIONS
12-12-2025	3 SUP CITY COMMENTS

Project Number 7188-102	Date 12-12-2025	Drawn By SSW	Checked By SSW, JG, JEW
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BASEBALL FIELD BLEACHER ELEVATIONS
A6.1



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PHOENIX COUNTRY DAY SCHOOL
NEW WELLNESS CENTER, RENOVATED
BASEBALL FIELD, AND MARQUEE SIGNS

3901 EAST STANFORD DRIVE
PARADISE VALLEY, ARIZONA 85253

Revisions	Date
1. SUP CITY COMMENTS	7-25-2025
2. SUP REVISIONS	10-02-2025

Project Number	7189-102
Date	10-02-2025
Drawn By	SSW
Checked By	SSW, JO, JEW

SITE SECTIONS (BASEBALL FIELD ELEVATIONS)
A6.2

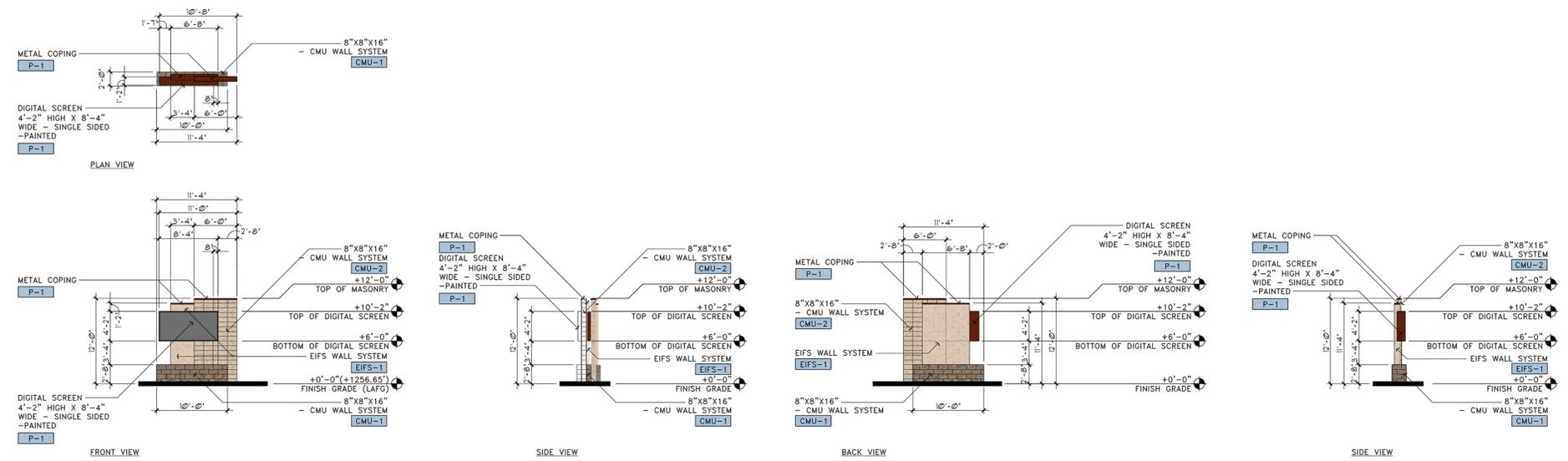
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3	SUP CITY COMMENTS 12-12-2025

Project Number	7189-102
Date	12-12-2025
Drawn By	SSW
Checked By	SSW, J.D., JEW

SIGNAGE
A6.3

MATERIALS LEGEND:

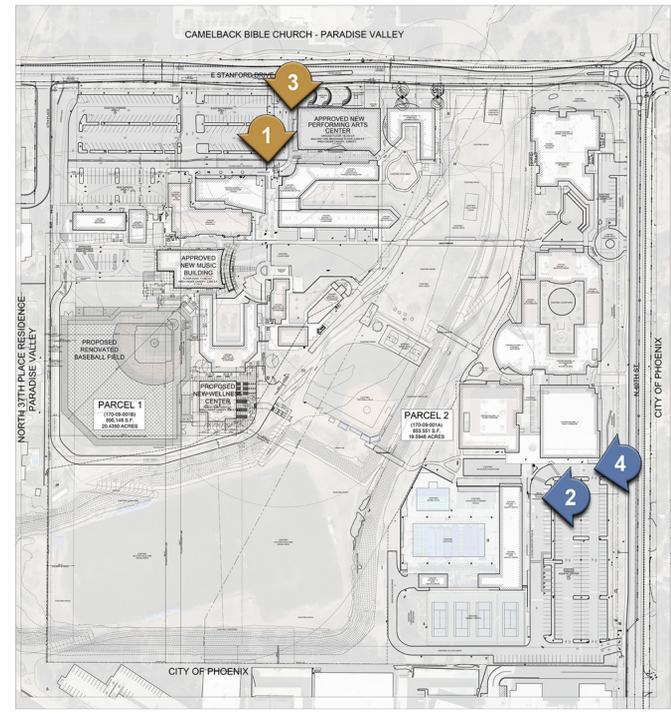
- CMU:**
- CMU-1** INTEGRAL COLORED CMU
 - STYLE: TEXTURED MASONRY UNIT
 - TYPE: MESASTONE
 - COLOR: MOJAVE BROWN
 - GROUP 1 - MEDIUM WEIGHT
 - CMU-2** INTEGRAL COLORED CMU
 - STYLE: GROUND FACE MASONRY UNIT
 - TYPE: TRENDSSTONE
 - COLOR: SOUTHWEST GOLD
 - GROUP 3 - NORMAL WEIGHT
- EIFS:**
- EIFS-1** EIFS (EXTERIOR INSULATED FINISH SYSTEM)
 - INTEGRAL COLOR
 - COLOR: 449 BUCKSKIN
 - TEXTURE: SANDBLAST (FINE FINISH)
- PAINT:**
- P-1** PAINT COLOR
 - COLOR: MATCH FRAZEE RUBRUM LILLY
 - NUMBER: 6325R
 - MFG.: MODERN MASTERS PAINTS



NEW SIGN - TYPICAL PLAN VIEW AND ELEVATIONS

SCALE: 1"=10'-0"

KEY PLAN



NEW SIGN AT AQUATIC CENTER PERSPECTIVE RENDERING AT PROPERTY LINE

SCALE: N.T.S.



NEW SIGN AT AQUATIC CENTER PERSPECTIVE RENDERING

SCALE: N.T.S.



NEW SIGN AT MAIN ENTRY PERSPECTIVE RENDERING

SCALE: N.T.S.



NEW SIGN AT MAIN ENTRY PERSPECTIVE RENDERING AT PROPERTY LINE

SCALE: N.T.S.

CONCRETE MASONRY UNIT:



CMU-1

- INTEGRAL COLORED CMU
- STYLE: TEXTURED MASONRY UNIT
 - TYPE: MESASTONE
 - COLOR: MOJAVE BROWN
 - GROUP 1 - MEDIUM WEIGHT



CMU-2

- INTEGRAL COLORED CMU
- STYLE: GROUND FACE MASONRY UNIT
 - TYPE: TRENDSTONE
 - COLOR: SOUTHWEST GOLD
 - GROUP 3 - NORMAL WEIGHT

WINDOW FRAME COLOR:



FRM-1

- STOREFRONT
- COLOR: CLEAR ANODIZED ALUMINUM
 - MFG.: ARCADIA
 - NUMBER: AC-2

GLASS COLORS:



G-1

- GLASS COLOR
- LOW-E INSULATED GLAZING
 - INSIDE FACE COLOR: 1/4" SOLARGRAY + CLEAR GLASS
 - OUTSIDE FACE COLOR: 1/4" SOLARGRAY + CLEAR GLASS
 - MFG.: VITRO GLASS
 - NUMBER: SOLARBAN 90
 - REFLECTIVE

EXTERIOR INSULATED FINISH SYSTEM:



EIFS-1

- EIFS (EXTERIOR INSULATED FINISH SYSTEM)
- INTEGRAL COLOR
- COLOR: 101- SUPER WHITE
 - TEXTURE: SANDBLAST (FINE FINISH)



EIFS-2

- EIFS (EXTERIOR INSULATED FINISH SYSTEM)
- INTEGRAL COLOR
- COLOR: 449 BUCKSKIN
 - TEXTURE: SANDBLAST (FINE FINISH) - (MATCH EXISTING)

INTEGRAL CONCRETE COLORS:



CONC-1

- INTEGRAL COLORED CONCRETE
- COLOR: TERRA COTTA
 - NUMBER: 10134
 - MFG.: DAVIS COLOR

PAINT COLORS:



P-1

- PAINT COLOR
- COLOR: MATCH FRAZEE RUBRUM LILLY
 - NUMBER: 6325R
 - MFG.: MODERN MASTERS PAINTS



P-2

- PAINT COLOR
- COLOR: LOOKING GLASS
 - NUMBER: DE6376
 - MFG.: DUNN EDWARDS PAINTS

Revisions	Date
1 SUP CITY COMMENTS	7-25-2025
2 SUP REVISIONS	10-02-2025

Project Number	7188-102
Date	10-02-2025
Drawn By	SSW
Checked By	SSW, J.D., JEW



**3 - VIEW FROM FENCE LINE
(PROPOSED RENOVATED BASEBALL FIELD)**

SCALE: N.T.S.



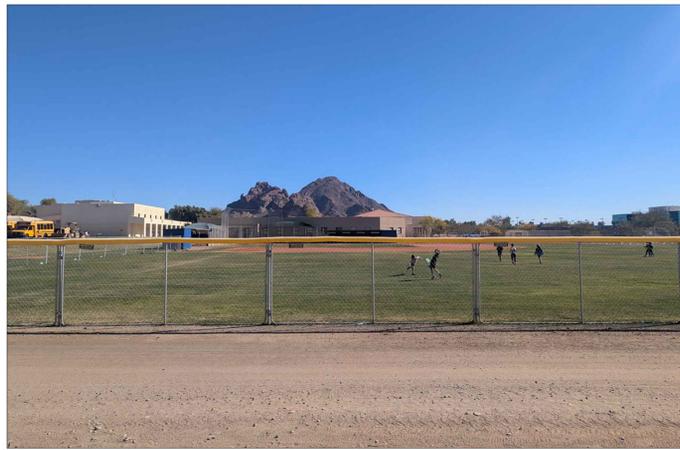
**2 - VIEW FROM FENCE LINE
(PROPOSED RENOVATED BASEBALL FIELD)**

SCALE: N.T.S.



**1 - VIEW FROM FENCE LINE
(PROPOSED RENOVATED BASEBALL FIELD)**

SCALE: N.T.S.



**3 - VIEW FROM FENCE LINE
(EXISTING CONDITIONS)**

SCALE: N.T.S.



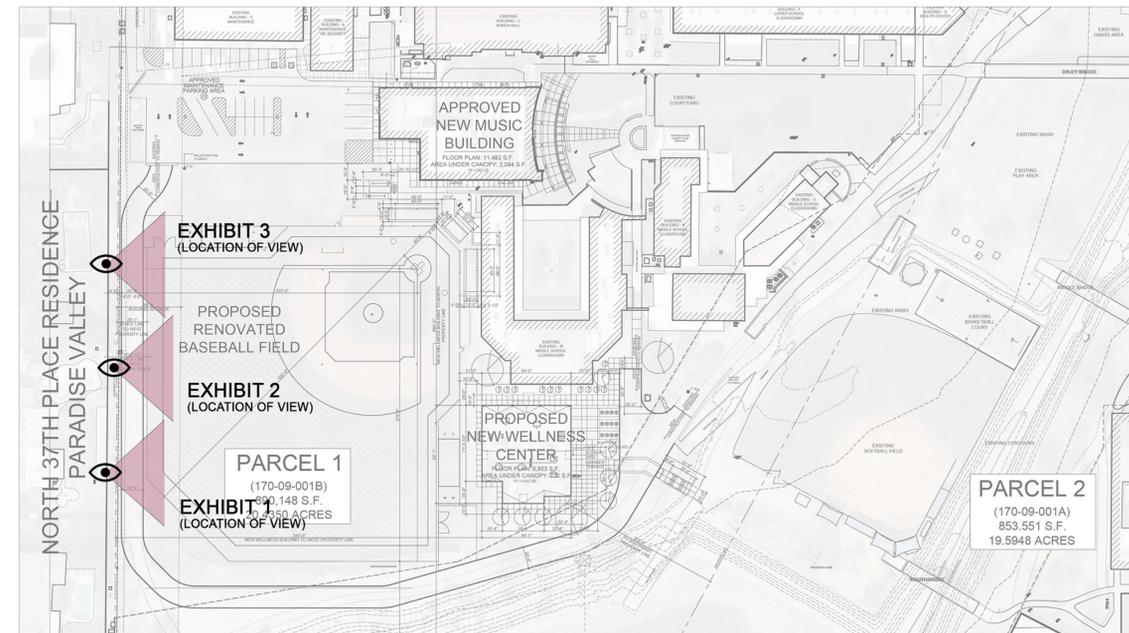
**2 - VIEW FROM FENCE LINE
(EXISTING CONDITIONS)**

SCALE: N.T.S.



**1 - VIEW FROM FENCE LINE
(EXISTING CONDITIONS)**

SCALE: N.T.S.



**NEW SOCCER FIELD/ TRACK FIELD
LIGHT POLE LOCATION PLAN**

SCALE: 1"=80'-0"



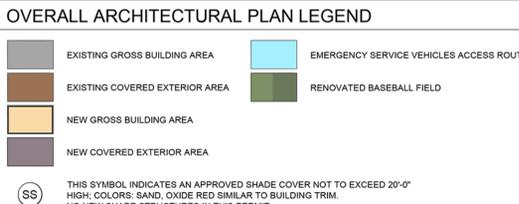
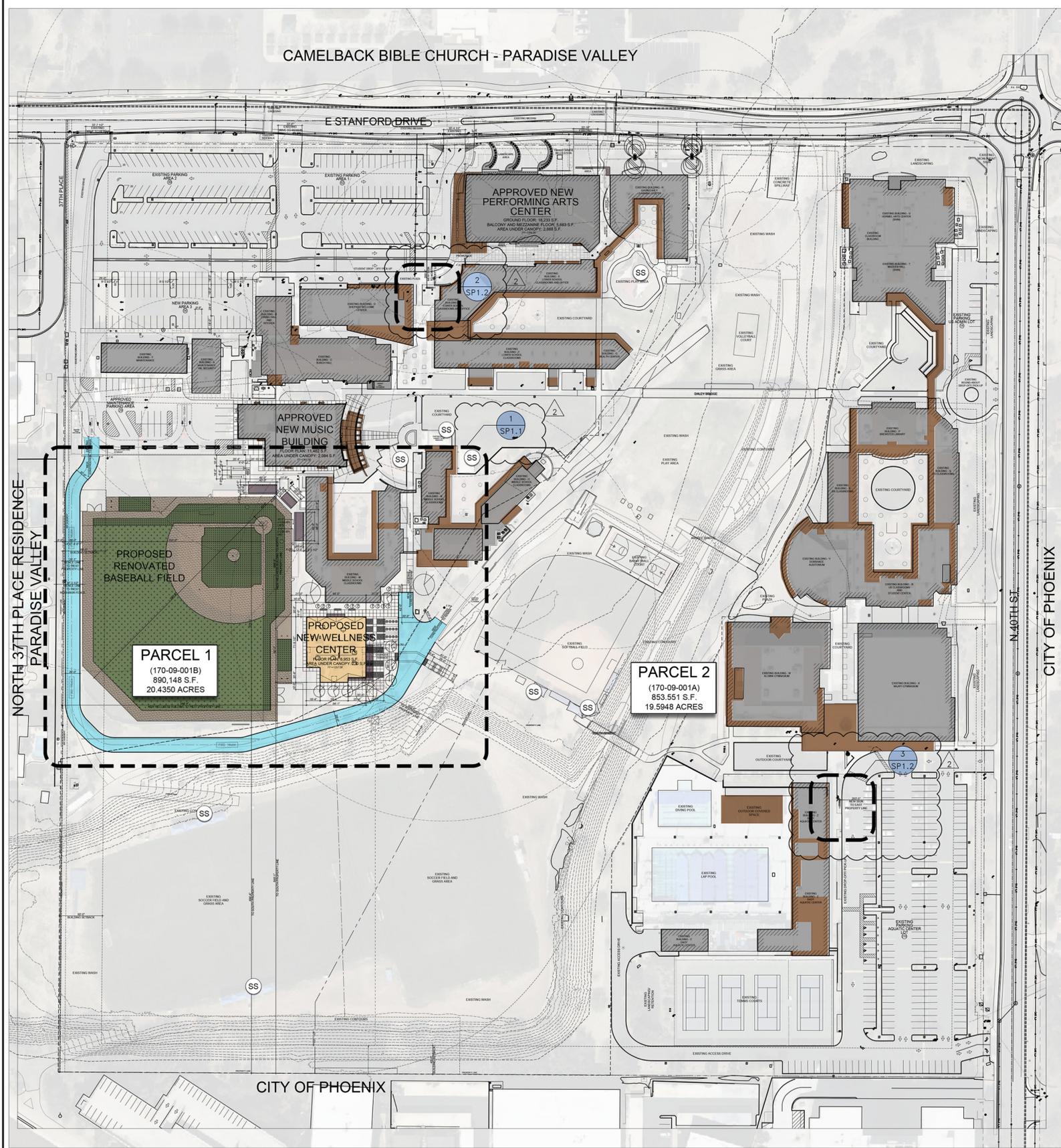
PHOENIX COUNTRY DAY SCHOOL
NEW WELLNESS CENTER, RENOVATED
BASEBALL FIELD, AND MARQUEE SIGNS
3901 EAST STANFORD DRIVE
PARADISE VALLEY, ARIZONA 85253

Revisions	Date
1 SUP CITY COMMENTS	7-25-2025
2 SUP REVISIONS	10-02-2025

Project Number	7189-102
Drawn By	SSW
Checked By	SSW, JO, JEW

PROPOSED
RENOVATED BASEBALL FIELD
- PHOTO MATCH EXHIBITS
A7.0

CAMELBACK BIBLE CHURCH - PARADISE VALLEY



OVERALL ARCHITECTURAL SITE PLAN

SCALE: 1"=80'-0"



PROJECT INFORMATION

CLIENT NAME: PHOENIX COUNTRY DAY SCHOOL
 ADDRESS: 3901 EAST STANFORD DRIVE, PARADISE VALLEY, AZ 85253
 DESIGN PROFESSIONAL: ADM GROUP, INC., 2100 WEST 15TH STREET, TEMPE, ARIZONA 85281
 CONTACT: JASON OLIVE, (602)339-8386, jolive@admgrouppc.com
 PROJECT ADDRESS: 3901 EAST STANFORD DRIVE, PARADISE VALLEY, AZ 85253
 PROPERTY DESCRIPTION: THE NORTHEAST ONE QUARTER OF THE SOUTHEAST ONE QUARTER OF SECTION 13, TOWNSHIP 2 NORTH, RANGE 3 EAST OF THE GILA AND SALT RIVER BASE AND MEDIAN, MARICOPA COUNTY, AS REFERENCED IN BOOK 336 OF MAPS, PAGE 1, MARICOPA COUNTY RECORDERS
 PROJECT DESCRIPTION: NEW 6,853 S.F. WELLNESS CENTER, 853 S.F. COVERED EXTERIOR AREA, RENOVATED BASEBALL FIELD WITH CANOPIES (1,300 S.F.)
 PARCEL 1 (170-09-001B) PARCEL 2 (170-09-001A)
 GROSS ACREAGE: 890.148 S.F. (20.4350 ACRES)
 NET ACREAGE: 730.961 S.F. (16.7805 ACRES)
 PARCEL 1 (170-09-001B) PARCEL 2 (170-09-001A)
 GROSS ACREAGE: 853.551 S.F. (19.5948 ACRES)
 NET ACREAGE: 745.982 S.F. (17.1242 ACRES)
 EXISTING ZONING: SUP
 PROPOSED ZONING: SUP
 MAXIMUM HEIGHT PER SUP: +35'-0"
 IRRESPONSIBILITY FOR COMPLIANCE: THE DEVELOPMENT, CONSTRUCTION AND USAGE OF THE PROPERTY SHALL BE IN STRICT COMPLIANCE WITH THE AMENDED SPECIAL USE PERMIT ISSUED BY THE TOWN OF PARADISE VALLEY.

EXISTING BUILDINGS:

BUILDING DESIGNATION:	BUILDING NAME/INTENDED USE:	CURRENT APPROVED AREA (S.F.):	CURRENT APPROVED BUILDING HEIGHT:	MEASURED GROSS BUILDING AREA (S.F.):	MEASURED COVERED EXTERIOR AREA (S.F.):	TOTAL LOT COVERAGE (S.F.):	TOTAL BUILDING (S.F.):
A	MAINTENANCE, HR, SECURITY:	3,000	15'-9" TO PARAPET	3,040	0	3,040	
B	DINING HALL AND KITCHEN:	8,524	23'-0" TO RIDGE	2,772	0	2,772	
C	BURCH HALL (WITH ADDITION):	20,000	23'-0" TO RIDGE/W/ TOWER OF 38'-0"	11,383	720	12,103	
D	SHEPARD WELCOME CENTER:	2,137	23'-0" TO RIDGE	2,145	555	2,700	
E	LOWER SCHOOL CLASSROOMS AND OFFICE:	10,100	14'-0" TO RIDGE/W/ TOWER OF 20'-0"	9,496	4,187	13,683	
F	LOWER SCHOOL CLASSROOMS:	9,900	13'-0" TO RIDGE	9,212	3,609	12,821	
G	HEALTH CENTER:	2,000	14'-0" TO RIDGE/W/ TOWER OF 20'-0"	1,146	823	1,969	
H	GAVIN EARLY LEARNING CENTER:	9,000	15'-0" TO RIDGE	7,380	2,488	9,868	
I	PERFORMING ARTS CENTER:	26,684	35'-0" MAXIMUM	23,916*	2,668	26,584	
J	MUSIC BUILDING:	13,566	25'-0"	11,452	2,084	13,536	26,604
K	MIDDLE SCHOOL CLASSROOMS:	11,800	N/A	11,887	4,054	15,941	
L	MIDDLE SCHOOL CLASSROOMS:	3,250	VARIES 11'-0" - 24'-0"	3,279	1,547	4,826	
M	MIDDLE SCHOOL CLASSROOMS:	7,420	VARIES 11'-0" - 24'-0"	7,479	3,036	10,515	
N	MAINTENANCE:	5,040		5,075	0	5,075	
SUB-TOTAL:		131,471		109,592	25,791	129,700	135,383

* (18,233 GROUND FLOOR + 5,683 BALCONY AND MEZZANINE FLOOR)

EASE SIDE OF WASH (PARCEL 2):

BUILDING DESIGNATION:	BUILDING NAME/INTENDED USE:	CURRENT APPROVED AREA (S.F.):	CURRENT APPROVED BUILDING HEIGHT:	MEASURED GROSS BUILDING AREA (S.F.):	MEASURED COVERED EXTERIOR AREA (S.F.):	TOTAL LOT COVERAGE (S.F.):	TOTAL BUILDING (S.F.):
P	BREWSTER LIBRARY:	5,700	17'-0" TO RIDGE	6,835	3,065	9,900	
Q	UPPER SCHOOL CLASSROOMS:	4,300	VARIES TO 25'-0" TO RIDGE	2,980	969	3,949	
R	UPPER SCHOOL CLASSROOMS/STUDENT CTR:	9,900	VARIES TO 22'-0" TO RIDGE	9,486	3,832	13,318	
S	UPPER SCHOOL CLASSROOMS:	3,000	17'-0" TO RIDGE	3,000	986	3,986	
T	MADDEN HALL (SHIN):	8,500	VARIES 16'-0" - 20'-0"	9,508	1,887	11,395	
U	HORNEL ARTS CENTER (SHIN):	13,000	VARIES 16'-0" - 18'-0"	13,281	973	14,254	
V	DORRANCE AUDITORIUM:	7,600	27'-0"	7,503	1,643	9,146	
W	ALUMNI GYMNASIUM:	18,462	VARIES TO 35'-0" TO PARAPET	18,393	5,342	23,735	
X	NAJAFI GYMNASIUM:	20,779	VARIES TO 38'-0" TO PARAPET	20,779	5,342	26,599	
Z	DADY AQUATIC CENTER:	17,343	VARIES TO 18'-0" MAXIMUM	9,006	8,337	17,343	
-	GUARHOUSE:	50	10'-0"	56	0	56	
-	SOFTBALL DUGOUTS:	884		199	710	909	
SUB-TOTAL:		114,388		99,996	33,564	132,560	132,560

PROPOSED NEW BUILDING:

BUILDING DESIGNATION:	BUILDING NAME/INTENDED USE:	CURRENT APPROVED AREA (S.F.):	CURRENT APPROVED BUILDING HEIGHT:	MEASURED GROSS BUILDING AREA (S.F.):	MEASURED COVERED EXTERIOR AREA (S.F.):	TOTAL LOT COVERAGE (S.F.):	TOTAL BUILDING (S.F.):
L	PROPOSED NEW WELLNESS CENTER		26'-0"	6,953	803	7,756	7,756
-	BASEBALL STADIUM SEAT CANOPIES			0	520 + 260 + 520	1,300	1,300
-	RENOVATED EXISTING BASEBALL DUGOUT CANOPIES			0	400 + 400	800	800
GRAND TOTAL:		248,859		215,541	62,258	272,116	277,799

EXISTING FLOOR AREA RATIO AND LOT COVERAGE RATIO (INCLUDING PAC BUILDING)

LOT COVERAGE:	236,375 S.F.
SITE AREA (NET):	1,476,923 S.F.
SITE AREA (GROSS):	1,743,699 S.F.
FLOOR AREA RATIO:	(262,979 S.F. / SITE AREA NET S.F. = 178%
LOT COVERAGE RATIO:	(257,296 S.F. / SITE AREA NET S.F. = 174%)

- 60 MONTH INCREASED FLOOR AREA:
- REBUILD-RELOCATE BUILDING X AQUATIC CENTER * CORRECTION ON ALL BUILDING SQUARE FOOTAGES.
 - 235,973 S.F. (FEBRUARY - JUNE 2014, REMOVE BUILDING X AND ADD BUILDING Z GYMNASIUM EXPANSION)
 - 236,375 S.F. (MARCH 2023, BUILDING G BURCH HALL, REMOVED COVERED CANOPY AND ADDED ADDITION.)
 - 262,979 S.F. (MAY 2024 - APRIL 2025, REMOVE LOT #3 ALONG STANFORD DRIVE, ADD PERFORMING ARTS BUILDING AND NEW PARKING AREA.)
 - 267,943 S.F. (NEED CONSTRUCTION DATES; REMOVE AND REPLACE MUSIC BUILDING)
 - 277,799 S.F. (NEED CONSTRUCTION DATES; ADD NEW WELLNESS CENTER, BASEBALL STADIUM SEATING CANOPIES, AND EXISTING BASEBALL DUGOUT CANOPIES.)

PROPOSED NEW WELLNESS CENTER CHANGES TO BUILDING AREA, LOT COVERAGE RATIO AND FLOOR AREA RATIO (INTERMEDIATE AMENDMENT)

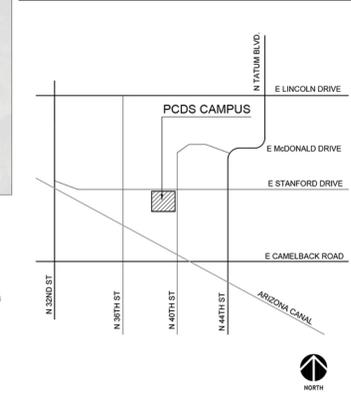
PROPOSED NEW FITNESS CENTER S.F.:	6,953 + 803 = 7,756 S.F.
TOTAL PROPOSED (TOTAL LOT COVERAGE/ DRIPLINE):	6,953 + 803 + 7,756 S.F.
TOTAL PROPOSED NEW CANOPIES (INCLUDES: BASEBALL STADIUM SEATING CANOPIES, AND EXISTING BASEBALL DUGOUT CANOPIES.):	520 + 260 + 520 = 1,300 S.F.
TOTAL PROPOSED S.F.:	7,756 + 2,100 = 9,856 S.F.
NEW LOT COVERAGE:	262,260 S.F. + 9,856 S.F. = 272,116 S.F.
SITE AREA (NET):	1,476,923 S.F.
SITE AREA (GROSS):	1,743,699 S.F.
% CHANGE IN LOT COVERAGE:	+0.6% (9,856 S.F. / 1,743,699 S.F. = .0056)
NEW FLOOR AREA RATIO:	(277,799 S.F. / SITE AREA NET S.F. = 188%)
NEW LOT COVERAGE RATIO:	(272,116 S.F. / SITE AREA NET S.F. = 184%)

PCDS PARKING SUMMARY

PARKING LOT:	EXISTING:	EXISTING ACCESSIBLE:	PROPOSED ACCESSIBLE:
STANFORD PARKING LOT LEFT (AREA 1):	80	3	3
CENTER (AREA 2):	62	2	2
PRE K (AREA 3): (TO BE REMOVED FOR PAC)	56	0	0
PARKING AREA 3:	14	2	2
UPPER SCHOOL ADMINISTRATION LOT:	14	2	2
AQUATIC CENTER LOT:	215	8	8
MAINTENANCE LOT (RE-STRIPPED):	29	0	2
TOTAL PCDS PARKING SPACES:	456	15	17
CAMELBACK BIBLE AVAILABLE SHARED PARKING - WEEKDAY AND SATURDAY:	307	2	2
CAMELBACK BIBLE AVAILABLE SHARED PARKING - SUNDAY:	79	2	2
TOTAL PARKING SPACES AVAILABLE - WEEKDAY AND SATURDAY:	763	17	19
TOTAL PARKING SPACES AVAILABLE - SUNDAY:	535	17	19

* SEE PARKING STUDY DOCUMENT FOR ADDITIONAL INFORMATION.

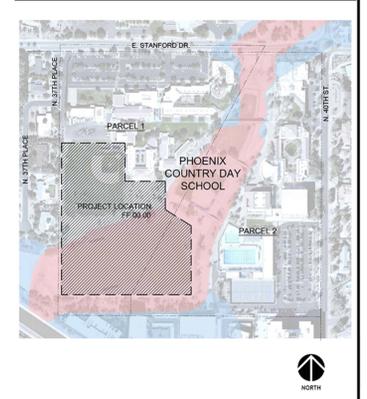
VICINITY MAP



AERIAL MAP



FLOOD PLAIN MAP



architecture.
 design.
 management.
 dno.16
 adm

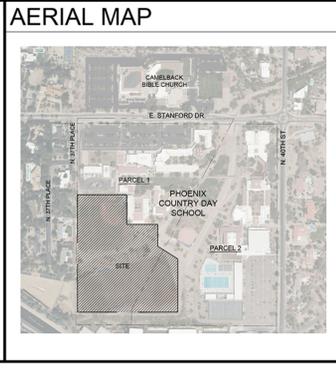
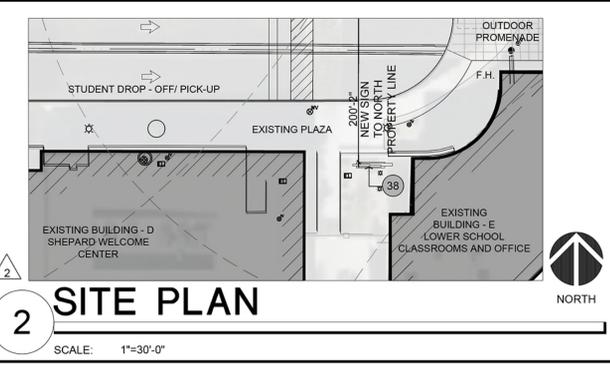
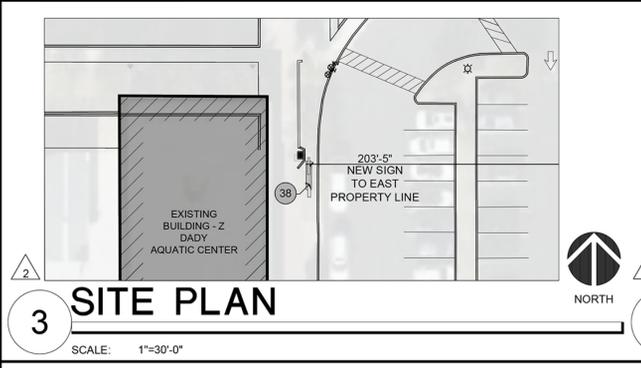


PHOENIX COUNTRY DAY SCHOOL
 NEW WELLNESS CENTER, RENOVATED
 BASEBALL FIELD, AND SIGNS
 3901 EAST STANFORD DRIVE
 PARADISE VALLEY, ARIZONA 85253

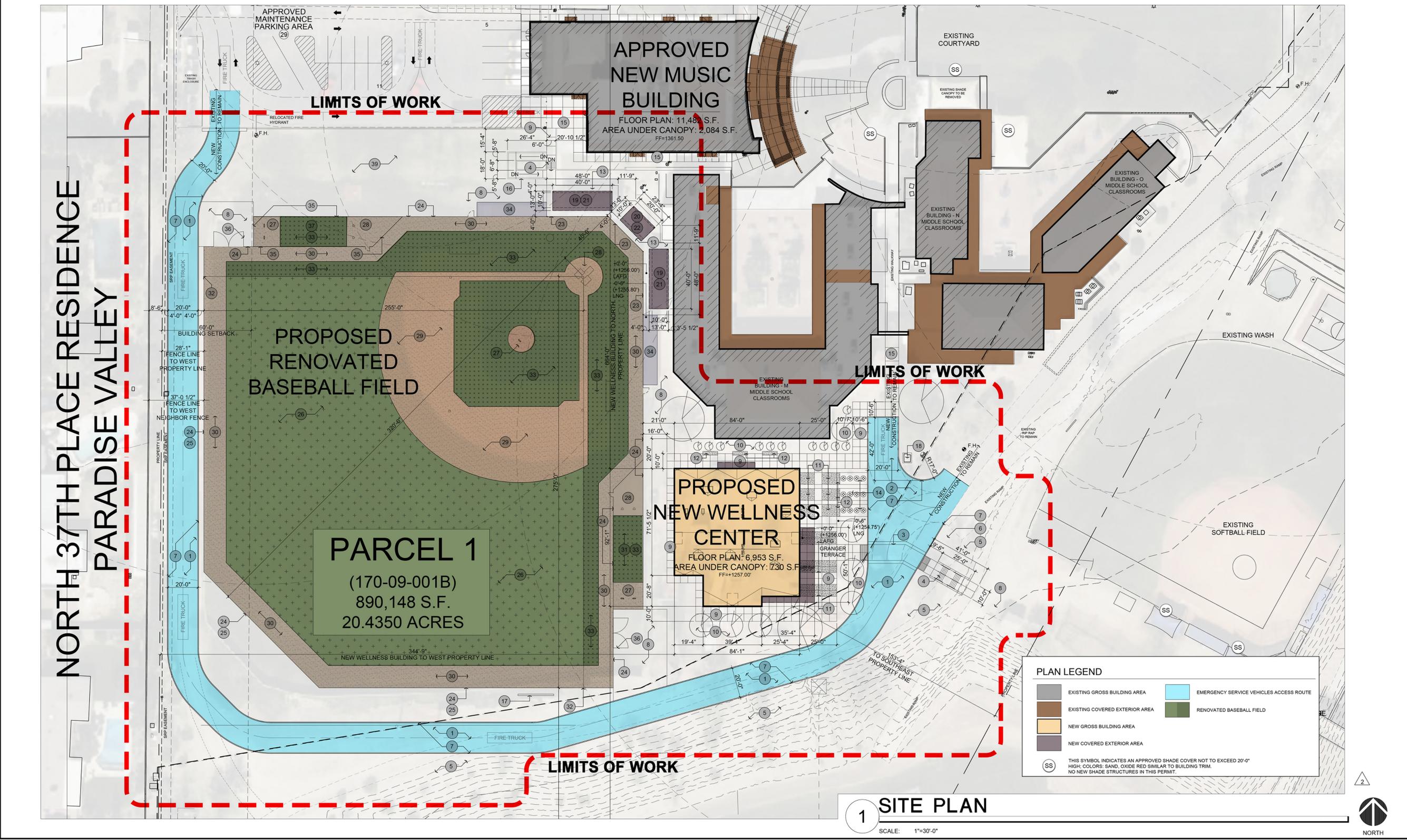
Date
 Revisions
 1 SUP CITY COMMENTS 7-25-2025
 2 SUP REVISIONS 10-02-2025
 3 SUP CITY COMMENTS 12-12-2025

Project Number
 Date
 Drawn By
 Checked By

Overall Architectural Site Plan
 SP.10



- KEY NOTES:**
1. FIRE LANE - NEW ASPHALT TO MEET ALL REQUIREMENTS RECOMMENDED ON THE SOILS REPORT. IN ADDITION, NEW FIRE LANE WILL MEET FIRE LANE SPECIFICATIONS. (MAXIMUM SLOPE 2%) FOR EMERGENCY SERVICE VEHICLES.
 2. FIRE TRUCK HAMMER HEAD TURN-AROUND
 3. NEW PEDESTRIAN CROSSING - PAVER WALKWAY WITH CONCRETE BORDERS
 4. NEW INTEGRAL COLORED CONCRETE STAIRS WITH CAST-IN-PLACE CONCRETE WALLS IN BOTH SIDES.
 5. EXISTING RIP RAP TO REMAIN
 6. EXISTING ASPHALT PAVING AND RAMP TO REMAIN
 7. NEW CONCRETE CURB AT EDGE OF PAVEMENT
 8. NEW STABILIZED DG PEDESTRIAN PATH
 9. NEW 4" CONCRETE SIDEWALK
 10. NEW LANDSCAPE AREA
 11. INTEGRAL CONCRETE SIDEWALK BAND
 12. INTEGRAL CONCRETE BENCH
 13. NEW CONCRETE PAD
 14. METAL TRIMMED LANDSCAPE PLANTER
 15. EXISTING CONCRETE SIDEWALK TO REMAIN
 16. CONCRETE ADA RAMP WITH CAST-IN-PLACE WALLS
 17. RELOCATED SCOREBOARD (11'-2" HIGH - SEE SHEET A6.1 FOR ADDITIONAL INFORMATION)
 18. EXISTING TRANSFORMER TO RELOCATED
 19. 5 ROW GROUND MOUNTED STADIUM SEATING - 40' LONG X 10' DEEP
 20. 5 ROW GROUND MOUNTED STADIUM SEATING - 20' LONG X 10' DEEP
 21. 40'-0" X 13'-0" CANTILEVER SHADE CANOPY
 22. 20'-0" X 13'-0" CANTILEVER SHADE CANOPY
 23. 34'-0" TALL CHAIN LINK BACKSTOP (116'-0" L.F.)
 24. 8'-0" TALL CHAIN LINK FENCE WITH 9 GAUGE X 2" MESH. (938'-8" LINEAL FEET)
 25. EXTERIOR GRADE UV RESISTANT POLYETHYLENE YELLOW FENCE GUARD TOPPER (2-5/8" WIDE X 4" TALL X .07" WALL THICKNESS). PREDRILLED AT 24" AND SECURED TO FENCE.
 26. NATURAL GRASS
 27. CLAY PITCHING MOUND - WITH CONDITIONER AND INFIELD MIX ON TOP.
 28. CLAY BATTERS BOX WITH INFIELD MIX ON TOP
 29. INFIELD MIX
 30. WARNING TRACK MIX
 31. PITCHERS WARM UP AREA
 32. 20' TALL FOUL POLE (SEE SHEET A6.1 FOR ADDITIONAL INFORMATION)
 33. ARTIFICIAL TURF
 34. EXISTING MASONRY DUGOUT TO REMAIN - REPLACING METAL ROOF WITH SIMILAR
 35. 12'-0" TALL CHAIN LINK FENCE WITH 9 GAUGE X 2" MESH. (228'-3" LINEAL FEET)
 36. (2)10'-0" WIDE X 6'-0" HIGH CHAIN LINK GATES
 37. PITCHERS WARM UP AREA BATTING CAGE
 38. NEW DIGITAL SIGNAGE (SEE A6.1 FOR ADDITIONAL INFORMATION)
 39. EXISTING GRASS AREA TO REMAIN



architecture.
design.
management.

adm
group

2100 WEST 15TH STREET | TEMPE, AZ 85281 | 480.285.3800



PHOENIX COUNTRY DAY SCHOOL
NEW WELLNESS CENTER, RENOVATED
BASEBALL FIELD, AND SIGNS

3901 EAST STANFORD DRIVE
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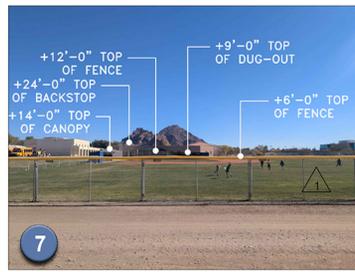
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Drawn By	SSW
Checked By	SSW, JO, JEW

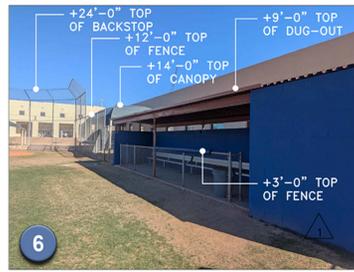
ENLARGED ARCHITECTURAL
SITE PLAN

SP.1

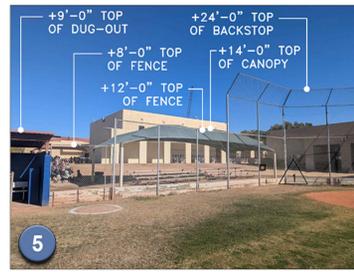
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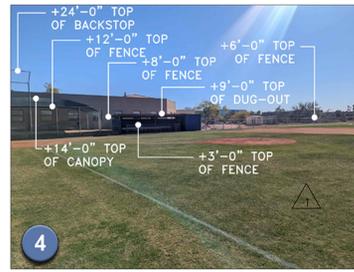
BASEBALL FIELD FROM RIGHT FIELD LOOKING EAST



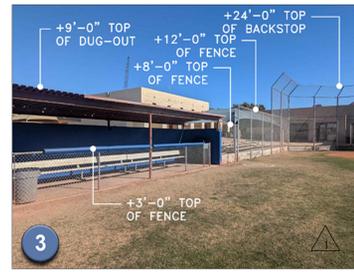
BASEBALL FIELD EAST DUGOUT



BASEBALL FIELD METAL STANDS AND CANOPY



BASEBALL FIELD



BASEBALL FIELD NORTH DUGOUT

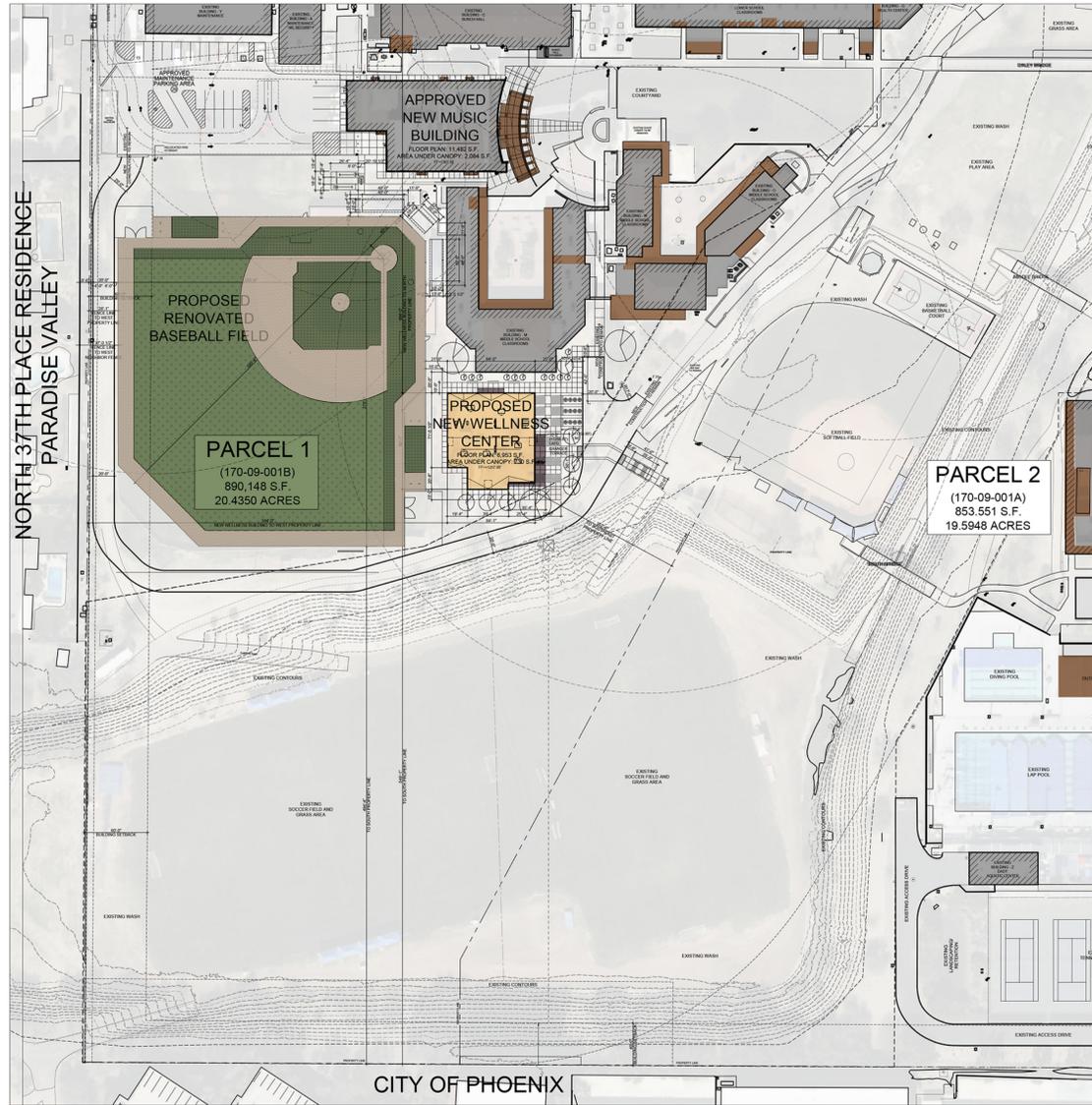


BASEBALL FIELD VIEW FROM ABOVE



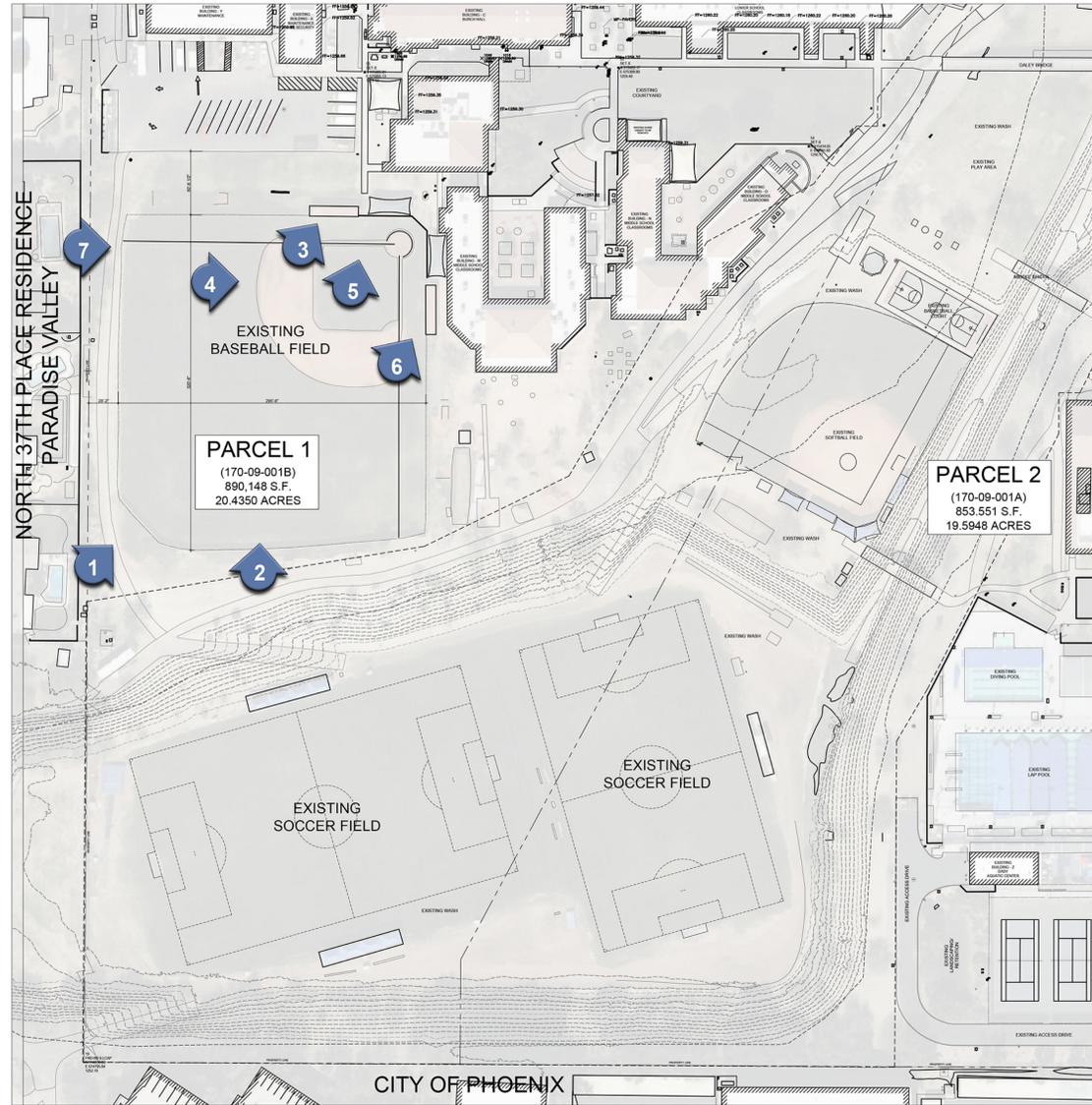
BASEBALL FIELD AERIAL PERSPECTIVE

BASEBALL FIELD EXISTING CONDITIONS IMAGES



PROPOSED RENOVATED BASEBALL FIELD SITE PLAN

SCALE: 1"=80'-0"



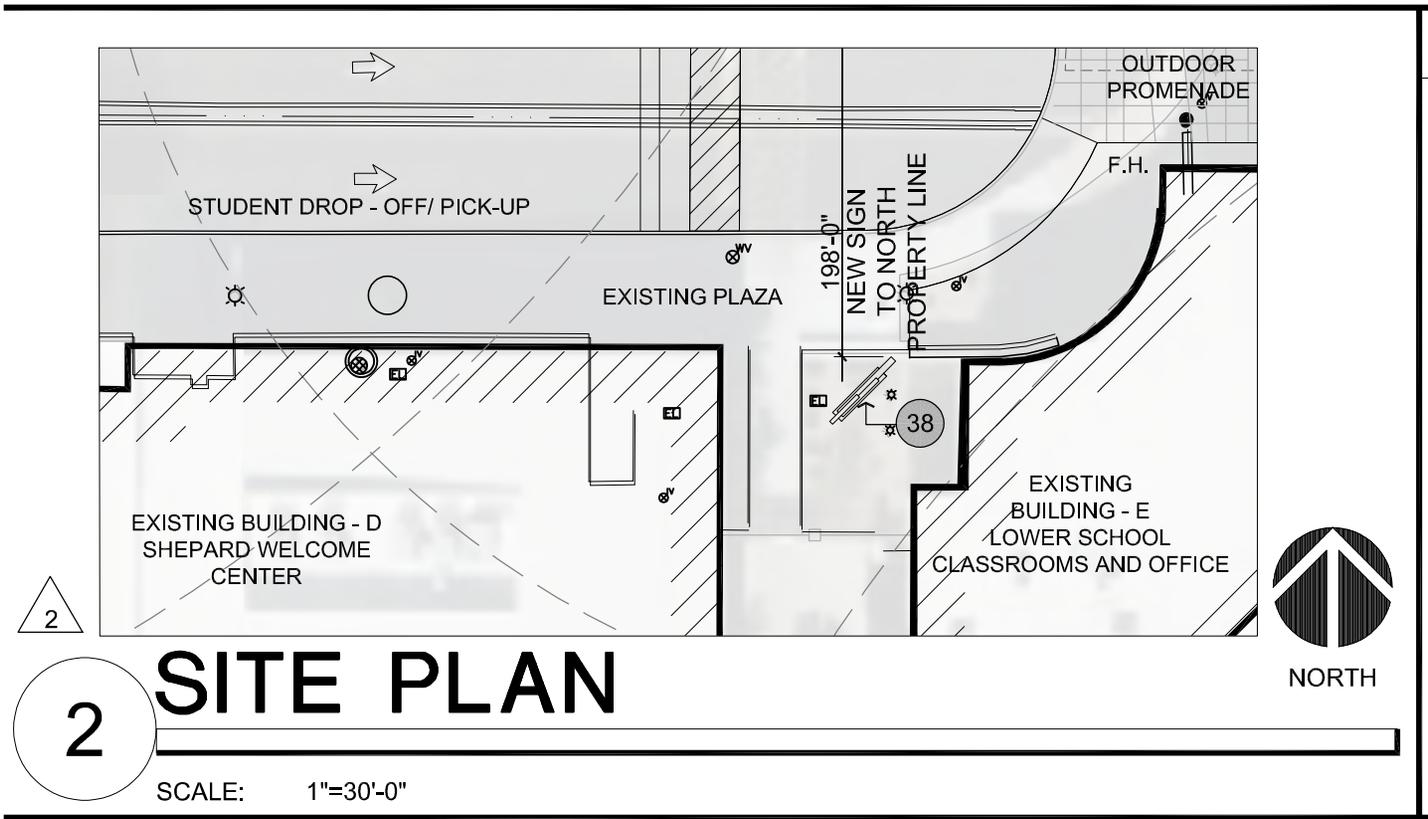
EXISTING BASEBALL FIELD SITE PLAN

SCALE: 1"=80'-0"



Revisions	Date
▲ SUP CITY COMMENTS	7-25-2025
▲ SUP REVISIONS	10-02-2025

Project Number	7185-102
Date	10-02-2025
Drawn By	SSW
Checked By	SSW, JO, JEW



2

2

SITE PLAN

SCALE: 1"=30'-0"





Engineering
& Design

Preliminary Drainage Report

December 10, 2025

PCDS New Wellness Center & Renovated Baseball Field

3901 East Stanford Drive
Paradise Valley, Arizona 85253



Prepared for:

ADM Group
2100 West 15th Street
Tempe, Arizona 85281

Prepared by:

Zach Hilgart
AZ Professional Civil Engineer
License No. 53637

Tristan Stevens
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Project No. 1648.02

Table of contents

Introduction.....	1
Project Name, Location, & Topography.....	1
Purpose.....	1
FEMA Floodplain Designation	1
Previous Drainage Studies.....	2
Cudia City Wash Area Drainage Master Study	2
Existing Drainage Conditions	2
Offsite Conditions	2
On-site Conditions.....	2
Management of On-site Drainage	2
Drainage Structures	3
Retention Requirements	3
Ultimate Outfall	3
Finished Floors	3
Summary and Conditions	3
References	4
Appendices	
Appendix A Figures	
Appendix B Preliminary Retention & Dewatering Calculations	
Appendix C Previous Drainage Study Excerpts	
Cudia City Wash Area Drainage Master Study	

Introduction

Project Name, Location, & Topography

Phoenix Country Day School (PCDS) Wellness Center and Renovated Baseball Field (the Project) are proposed improvements to advance the athletics and overall well-being of employees at PCDS. The Wellness Center is a proposed building with a footprint of approximately 7,176 square feet (sf) and landscaped areas. The Wellness Center will be a multi-use building for PCDS. The Wellness Center will have an approximately 1,400 sf employee workout room to enhance employee health and assist in employee retention, a multi-purpose room to be used for dance or other small physical education classes, a concession stand to be used for athletic events, two locker rooms to be used by the PCDS soccer team and the visiting soccer team, restrooms for athletic events and an office for PCDS athletic staff. The Project is located south of Stanford Drive and immediately west of the Cudia City Wash (also referred to as the Echo Canyon Wash), in the Town of Paradise Valley (the Town), Arizona. The PCDS campus (including the Project) consists of approximately 20.4 acres located within a portion of Section 13, Township 2 North, Range 3 East of the Gila and Salt River Meridian, Maricopa County, Arizona. The Project is generally bound by existing school buildings to the east and south, 37th Place and existing parking areas to the west, and Stanford Drive to the north. Refer to the **Figure 1** in **Appendix A** for a Vicinity Map.

The Project is located west of the Cudia City Wash (the Wash), and within the existing school campus. The Project currently consists primarily of sports fields, and the campus area generally drains south and east to the Wash, via existing drainage facilities and surface flow.

Purpose

The purpose of this report is to describe the methodology used and provide hydrologic analysis for the drainage-related infrastructure for the Project, including existing and proposed drainage infrastructure. This report is intended to identify on-site and offsite drainage management concepts and improvements for the final design of the Project. This drainage report has been prepared in accordance with the *Town of Paradise Valley Storm Drainage Design Manual (SDDM)* (Town of Paradise Valley, 2018) and the Flood Control District of Maricopa County's (FCDMC) current versions of the *Drainage Policies and Standards (DPSM)* (FCDMC 2018a), *Drainage Design Manuals (DDM) for Maricopa County, - Hydrology* (FCDMC 2018b) and *- Hydraulics* (FCDMC 2018c).

FEMA Floodplain Designation

The Project is located within two Federal Emergency Management Agency's (FEMA) Special Flood Hazard Areas (SFHA). The Wellness Center and Baseball Field are within SFHA Zone X (Shaded), as delineated on the FEMA Flood Insurance Rate Map (FIRM) panel number 04013C1765L, dated October 16, 2013, which is presented on **Figure 2** (FEMA Flood Map) of **Appendix A**. The flood hazard zones associated with the Project are defined below:

Zone X (Shaded):

The flood insurance rate zone that corresponds to areas between the 100-year and 500-year floodplains, areas of 100-year sheet flow flooding where average depths are less than 1 foot, areas of 100-year stream flooding where the contributing drainage area is less than 1 square mile, or areas protected from the 100-year flood by levees. No base flood elevations or depths are shown within this zone.

As illustrated in **Figure 2**, the Project is just outside the delineated Zone AE floodplain and floodway limits associated with the Wash (referred to as the Echo Canyon Wash by FEMA), and a Zone A floodplain associated with the Arizona Canal Diversion Channel. Any improvements by the school to be within the specified Zone AE or A areas will be reviewed by the Flood Control District of Maricopa County and Army Corps of Engineers. The remainder of this report will focus on those portions of the project that are within the FEMA SFHA Zone X.

Previous Drainage Studies

Cudia City Wash Area Drainage Master Study

In March 2020, Michael Baker prepared the *Final Hydrology and Hydraulics Report for Cudia City Wash Area Drainage Master Study* (the ADMS; Michael Baker, 2020) on behalf of the FCDMC, the Town, and City of Phoenix. The purpose of the ADMS is to identify and quantify drainage patterns and flood hazards within the Cudia City Wash watershed. A FLO-2D model was prepared as part of the ADMS which provides a detailed regional analysis of existing drainage conditions. The result of the FLO-2D model demonstrates that the project is not impacted by offsite regional flows. Refer to the excerpts included in **Appendix C**.

Existing Drainage Conditions

Offsite Conditions

The Project is not impacted by regional offsite flows, as the Cudia City Wash generally contains tributary flows which may otherwise impact the site.

On-site Conditions

Drainage area ON-1 currently consists of existing Building M, a portion of existing Building C, the maintenance parking lot, existing baseball field, and landscaped areas. Runoff generated by the building areas is captured and conveyed across the baseball field via sheet flow and existing storm drains between Building C and Building M where it ultimately outfalls into the Cudia City Wash.

Management of On-site Drainage

On-site runoff generated by ON-1 will continue to drain south as the existing condition. New infrastructure will be constructed with the Wellness Center and Baseball Field to collect runoff into new storm drains that will outfall into the Cudia City Wash. As part of the Music Building project (Building M), which at the time of this report is under construction, provided a retention basin (RB-1) to mitigate increased runoff from the building expansion and increased impervious improvements.

The Project anticipates an increase in impervious tributary area and will result in an increase of approximately 0.6 cubic feet per second (cfs). After analyzing existing infrastructure, the increase in flow will not have adverse impacts to existing infrastructure of adjacent properties, but as good measure, a new retention basin RB-2 is proposed as part of the baseball field renovation to reduce sheet runoff from upstream to offset the anticipated additional flows that will be generated. Refer to **Figure 4** for the proposed management of on-site flows.

Drainage Structures

The drainage design for the Project outlines a system in which flows from the Music Building and a portion of the existing Building C are directed to concentration points where catch basins and storm drain are placed to collect and direct runoff to detention facilities. The renovated baseball field will continue to follow existing flow conditions. The drainage design for the Wellness Center will utilize existing storm drain connections with new storm drain infrastructure to outfall into the Cudia City Wash. In general, catch basins and storm drainpipes will be designed to manage the 10-year storm event while maintaining the hydraulic grade line at least 6-inches below the gutter line. Runoff exceeding the capacity of the proposed detention facilities and catch basins will be routed via surface overflow to the historic outfall locations, consistent with existing drainage conditions.

Retention Requirements

Typically, the Town requires that new developments retain the runoff volume equivalent to the 100-year, 2-hour retention volume generated on-site. However, the proposed improvements maintain existing drainage patterns, in which the Project area discharges directly to the Wash via storm drain, and no retention is provided for the Project. As the Project area is currently primarily comprised of pervious area and is increasing the impervious area by approximately 4%, the proposed improvements do not adversely impact pre-development drainage conditions by virtue of not providing on-site retention.

Ultimate Outfall

The Project improvements will not modify existing flow patterns and maintain existing outfall locations. Runoff generated by the proposed building is routed via storm drain to existing drainage facilities, and ultimately discharged directly to the Cudia City Wash.

Finished Floors

The Project has been designed with finished floor elevations a minimum of 12-inches above the 100-year flow outfall elevation from basins, and 12-inches above the established water surface elevation of the adjacent Cudia City Wash.

Summary and Conditions

The proposed development complies with Town of Paradise Valley design criteria and other required drainage standards. No adverse drainage impacts are expected to either downstream existing properties or drainage ways from the site. The study has determined that:

- Onsite flows are conveyed to on-site detention facilities via surface flow and when necessary, catch basins and storm drainpipes. Flows generated by the proposed building are conveyed to an existing storm drain network and discharged directly to the Cudia City Wash.
- The proposed improvements will have an approximate net increase in peak flow rates and volumes of 0.6 cfs (2,160 cf) leaving the site from pre-development conditions.

All finished floor elevations are a minimum of 12-inches above the 100-year water surface elevations in the adjacent washes and emergency overflow elevations.

References

Flood Control District of Maricopa County (FCDMC), 2018a. *Drainage Policies and Standards Manual for Maricopa County, Arizona*. Phoenix, AZ.

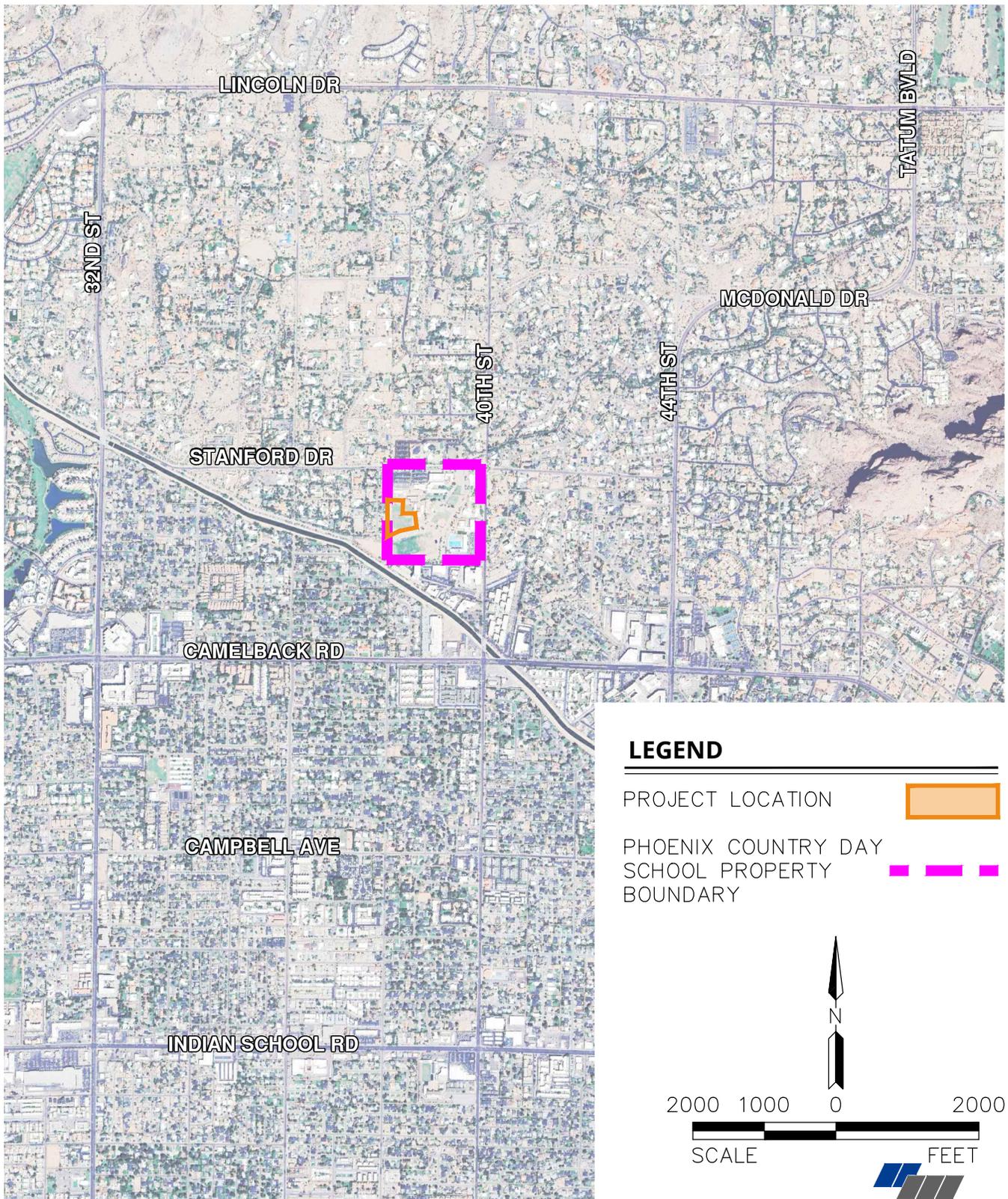
Flood Control District of Maricopa County (FCDMC), 2018b. *Drainage Design Manual for Maricopa County, Arizona, Volume 1 - Hydrology*. Phoenix, AZ.

Flood Control District of Maricopa County (FCDMC), 2018c. *Drainage Design Manual for Maricopa County, Arizona, Volume 2 - Hydraulics*. Phoenix, AZ.

Michael Baker, March 2020. *Hydrology and Hydraulics Report for Cudia City Wash Area Drainage Master Study*. Phoenix, AZ.

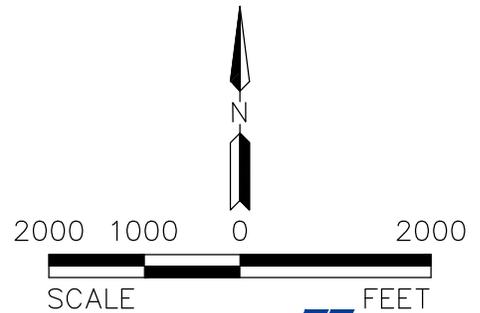
Appendices

Appendix A | Figures



LEGEND

- PROJECT LOCATION
- PHOENIX COUNTRY DAY SCHOOL PROPERTY BOUNDARY



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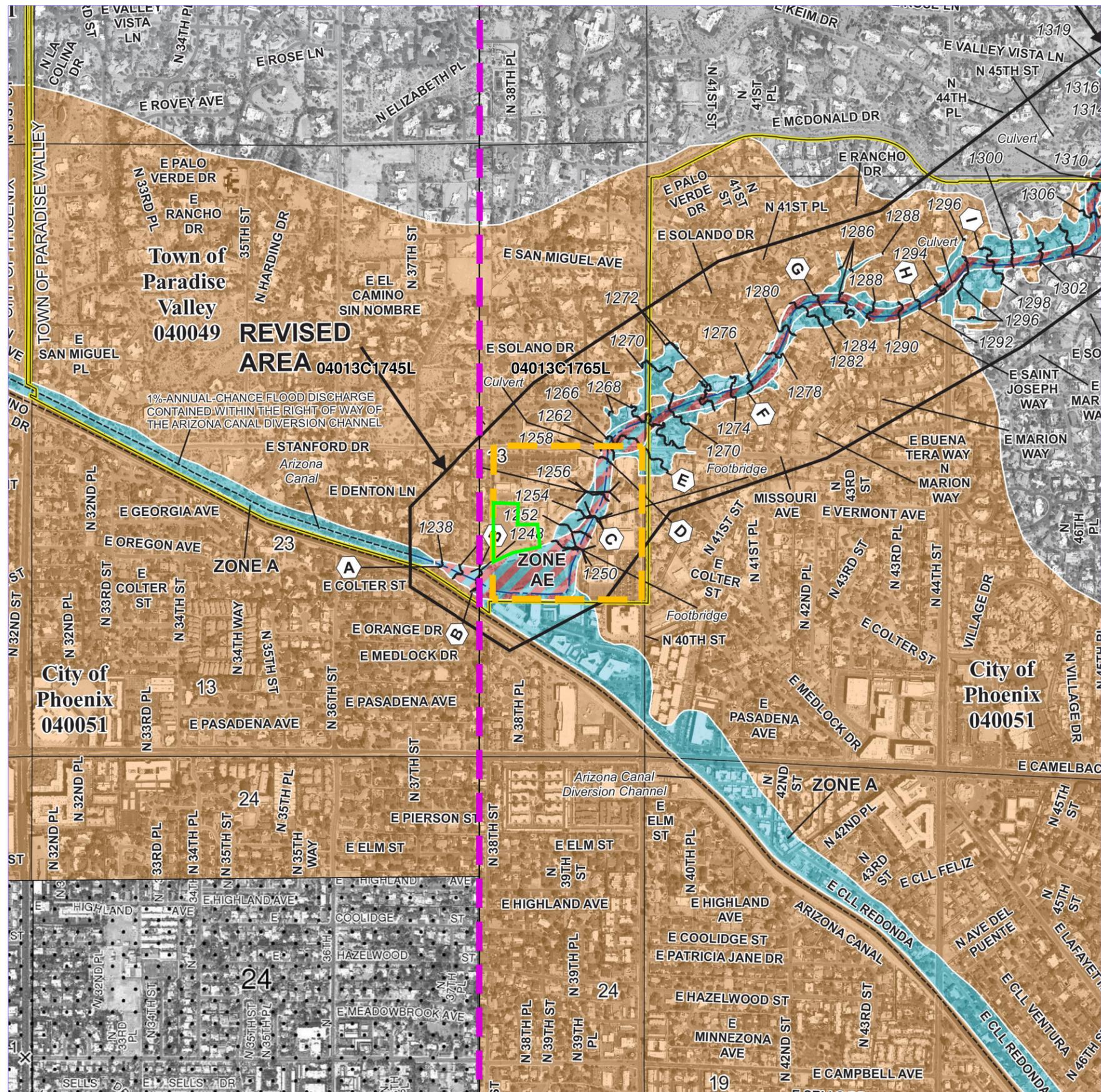
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DATE:	DEC 2025
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DRAWN BY:	TS
CHECKED BY:	TS

PHOENIX COUNTRY DAY SCHOOL
 NEW WELLNESS CENTER & RENOVATED BASEBALL FIELD
 TOWN OF PARADISE VALLEY, ARIZONA

FIG 1: VICINITY MAP



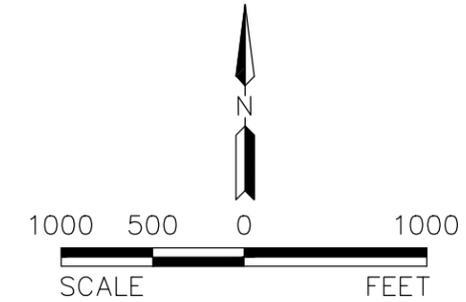
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<p>NATIONAL FLOOD INSURANCE PROGRAM</p> <p>FIRM FLOOD INSURANCE RATE MAP</p> <p>MARICOPA COUNTY, ARIZONA AND INCORPORATED AREAS</p> <p>PANEL 1745 OF 4425 (SEE MAP INDEX FOR FIRM PANEL LAYOUT)</p> <p>CONTAINS:</p> <table border="1"> <thead> <tr> <th>COMMUNITY</th> <th>NUMBER</th> <th>PANEL</th> <th>SUFFIX</th> </tr> </thead> <tbody> <tr> <td>PARADISE VALLEY, TOWN OF</td> <td>040049</td> <td>1745</td> <td>L</td> </tr> <tr> <td>PHOENIX, CITY OF</td> <td>040051</td> <td>1745</td> <td>L</td> </tr> </tbody> </table> <p>Notice: This map was reissued on July 31, 2015 to make a correction. This version replaces any previous versions. See the Notice-to-User Letter that accompanied this correction for details.</p> <p>Notice to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community.</p> <p>MAP NUMBER 04013C1745L MAP REVISED OCTOBER 16, 2013</p> <p>Federal Emergency Management Agency</p>		COMMUNITY	NUMBER	PANEL	SUFFIX	PARADISE VALLEY, TOWN OF	040049	1745	L	PHOENIX, CITY OF	040051	1745	L	<p>NATIONAL FLOOD INSURANCE PROGRAM</p> <p>FIRM FLOOD INSURANCE RATE MAP</p> <p>MARICOPA COUNTY, ARIZONA AND INCORPORATED AREAS</p> <p>PANEL 1765 OF 4425 (SEE MAP INDEX FOR FIRM PANEL LAYOUT)</p> <p>CONTAINS:</p> <table border="1"> <thead> <tr> <th>COMMUNITY</th> <th>NUMBER</th> <th>PANEL</th> <th>SUFFIX</th> </tr> </thead> <tbody> <tr> <td>MARICOPA COUNTY</td> <td>040037</td> <td>1765</td> <td>L</td> </tr> <tr> <td>PARADISE VALLEY, TOWN OF</td> <td>040049</td> <td>1765</td> <td>L</td> </tr> <tr> <td>PHOENIX, CITY OF</td> <td>040051</td> <td>1765</td> <td>L</td> </tr> <tr> <td>SCOTTSDALE, CITY OF</td> <td>045012</td> <td>1765</td> <td>L</td> </tr> </tbody> </table> <p>Notice: This map was reissued on July 31, 2015 to make a correction. This version replaces any previous versions. See the Notice-to-User Letter that accompanied this correction for details.</p> <p>Notice to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community.</p> <p>MAP NUMBER 04013C1765L MAP REVISED OCTOBER 16, 2013</p> <p>Federal Emergency Management Agency</p>		COMMUNITY	NUMBER	PANEL	SUFFIX	MARICOPA COUNTY	040037	1765	L	PARADISE VALLEY, TOWN OF	040049	1765	L	PHOENIX, CITY OF	040051	1765	L	SCOTTSDALE, CITY OF	045012	1765	L
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LEGEND

- PROJECT LOCATION
- FEMA MAP LIMITS
- PHOENIX COUNTRY DAY SCHOOL PROPERTY BOUNDARY



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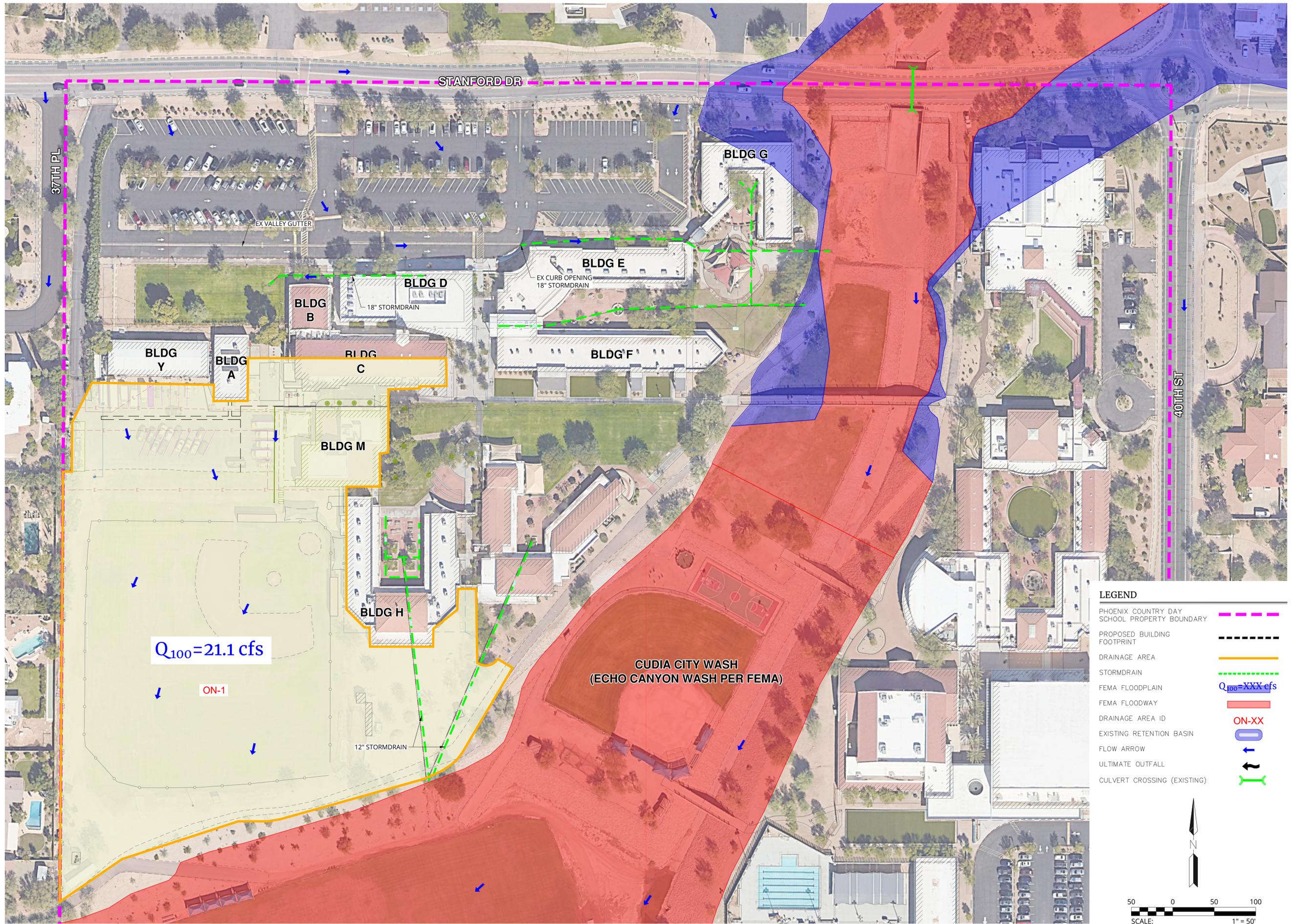
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PHOENIX COUNTRY DAY SCHOOL
NEW WELLNESS CENTER & RENOVATED BASEBALL FIELD
TOWN OF PARADISE VALLEY, ARIZONA

FIG 2: FEMA FLOOD MAP

PROJ. NO.:	1648
DATE:	DEC 2025
SCALE:	1" = 1,000'
DRAWN BY:	TS
CHECKED BY:	TS

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TOWN OF PARADISE VALLEY

FIG 3: EXISTING CONDITIONS DRAINAGE EXHIBIT

PROJ NO.:	1648.02
DATE:	Dec-25
SCALE:	1" = 50'
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DESIGNED:	TS
APPROVED:	TS
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Appendix B | Preliminary Retention & Dewatering Calculations

DRAINAGE SUBAREA SUMMARY TABLE

Project: 1648.02 - Phoenix Country Day School Wellness Center,
Soccer Field, Track, & Baseball Field



Prepared by: TWS

Date: Dec, 2025

Drainage Area ID(s)	Existing Vs. Developed	Land Use Category ⁽¹⁾		Total Area [ft ²]	Total Area [ac]
		Pavement & Rooftops [ft ²]	General Open Space [ft ²]		
ON-1-EX	EX	37,700	169,570	207,270	4.8
ON-1-DEV	DEV	45,456	161,814	207,270	4.8

NOTE:

(1) From Table 3.2 of the Maricopa County Drainage Design Manual. December 2018.

WEIGHTED RUNOFF COEFFICIENT CALCULATIONS

Project: 1648.02 - Phoenix Country Day School Wellness Center,
Soccer Field, Track, & Baseball Field

Prepared by: TWS

Date: Dec, 2025



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Landuse ⁽¹⁾	2-10 Year C Coefficient	100 Year C Coefficient
Pavement & Rooftops	0.90	0.95
General Open Space	0.40	0.50

(1) From Table 3.2 of the Maricopa County Drainage Design Manual. December 2018.

Drainage Area ID(s)	Existing Vs. Developed	Subarea Surface Types & Areas			Weighted Coefficient	
		Pavement & Rooftops	General Open Space	Total		
		[ft ²]	[ft ²]	[ft ²]	C _w - 2/10 Year	C _w - 100 Year
ON-1-EX	EX	37,700	169,570	207,270	0.49	0.58
ON-1-DEV	DEV	45,456	161,814	207,270	0.51	0.60

TIME OF CONCENTRATION CALCULATIONS

Project: 1648.02 - Phoenix Country Day School Wellness Center, Soccer Field, Track, & Baseball Field
Prepared by: TWS
Date: Dec, 2025



Drainage Subarea ID(s)	Concentration Point	Length of Longest Flowpath [mi]	Area [ac]	Slope [ft/mi]	Adjusted Slope [ft/mi]	m _{weighted}	b _{weighted}	K _b	11.4 x L ^{0.8} x K _b ^{0.52} x S ^{-0.31}	2-Year Storm Analysis			10-Year Storm Analysis			100-Year Storm Analysis		
										Assumed T _c ⁽⁴⁾	I ₁₀	T _c	Assumed T _c ⁽⁴⁾	I ₁₀	T _c	Assumed T _c ⁽⁴⁾	I ₁₀₀	T _c
										[min]	[in/hr]	[min]	[min]	[in/hr]	[min]	[min]	[in/hr]	[min]
ON-1-EX	EX	4.94	4.76	1	1	-0.00625	0.04000	0.036	4.436	5.0	2.95	176.4	5.0	4.84	146.2	5.0	7.62	123.0
ON-1-DEV	DEV	4.94	4.76	1	1	-0.00625	0.04000	0.036	4.436	5.0	2.95	176.4	5.0	4.84	146.2	5.0	7.62	123.0

NOTE:

(1) The minimum time of concentration has been set at 10 minutes per Section 6.2.2.4 of the City of Phoenix Storm Water Policies and Standards (2013).

From Equation 3.2 of the Flood Control District of Maricopa County (FCDMC) Drainage Design Manual for Maricopa County, Volume I, Hydrology, August, 2013.

$$T_c = 11.4 * L^{0.8} * K_b^{0.52} * S^{-0.31} * I^{-0.38}$$

Where

T_c = The time of concentration in hours

L = The length of the longest flow path in miles

K_b = The watershed resistance coefficient (K_b = m * log(A)+b)

S = The watercourse slope in ft/ mi

I = The rainfall intensity in in/ hr

m & b = Equation parameter from Table 3.1 of FCDMC

A = Drainage area in acres

PEAK FLOW RATE CALCULATIONS

Project: 1648.02 - Phoenix Country Day School Wellness Center, Soccer Field, Track, & Baseball Field
Prepared by: TWS
Date: Dec, 2025



Drainage Subarea ID(s)	Concentration Point	Average Slope	Total Area	2-Year Storm Event			10-Year Storm Event			100-Year Storm Event		
				Weighted C	Rainfall Intensity	Flow Rate ⁽¹⁾	Weighted C	Rainfall Intensity	Flow Rate ⁽¹⁾	Weighted C	Rainfall Intensity	Flow Rate ⁽¹⁾
		[ft/ft]	[ac]		[in/hr]	[cfs]		[in/hr]	[cfs]		[in/hr]	[cfs]
ON-1-EX		0.0002	4.8	0.49	2.95	6.9	0.49	4.84	11.3	0.58	7.62	21.1
ON-1-DEV		0.0002	4.8	0.51	2.95	7.2	0.51	4.84	11.7	0.60	7.62	21.7

NOTE:

(1) The flow rate values shown were calculated using the following process:

From Equation 3.1 of the Flood Control District of Maricopa County (FCDMC) *Drainage Design Manual for Maricopa County, Volume I, Hydrology*, August, 2013.

Q = CIA

Where

Q = The peak discharge (cfs) from a given area.

C = A coefficient relating the runoff to rainfall.

I = The average rainfall intensity (inches/ hour), lasting for a T_c

T_c = The time of concentration (hours)

A = The drainage area (acres)

DDF/IDF TABLES

Project: 1648.02 - Phoenix Country Day School Wellness Center,
Soccer Field, Track, & Baseball Field



**Engineering
& Design**

Prepared by: TWS

Date: Dec, 2025

Rainfall Depth (inches)										
Frequency (years)	Duration									
	5-min	10-min	15-min	30-min	1-hr	2-hr	3-hr	6-hr	12-hr	24-hr
2	0.25	0.38	0.47	0.63	0.78	0.89	0.95	1.14	1.28	1.52
5	0.34	0.51	0.63	0.85	1.05	1.19	1.25	1.46	1.62	1.98
10	0.40	0.61	0.76	1.02	1.27	1.42	1.49	1.71	1.89	2.34
25	0.49	0.75	0.93	1.26	1.55	1.73	1.82	2.06	2.25	2.83
50	0.56	0.86	1.06	1.43	1.77	1.96	2.08	2.33	2.53	3.22
100	0.64	0.97	1.20	1.61	2.00	2.21	2.36	2.62	2.82	3.64

Rainfall Intensity (inches/hour)			
Duration	Frequency (years)		
	2	10	100
5-min	2.95	4.84	7.62
10-min	2.25	3.68	5.80
15-min	1.86	3.04	4.80
30-min	1.25	2.04	3.22
1-hr	0.78	1.27	2.00
2-hr	0.44	0.71	1.11
3-hr	0.32	0.50	0.79
6-hr	0.19	0.29	0.44
12-hr	0.11	0.16	0.24
24-hr	0.06	0.10	0.15

1) intensity = Rainfall Depth / Duration

IDF CURVE TABLE

Project: 1648.02 - PCDS Wellness Center,
Soccer Field, Track, & Baseball Field

Prepared by: TWS

Date: Dec, 2025



Assumed Tc [min]	2-Year Storm	10-Year Storm	100-Year Storm
	[in/hr]	[in/hr]	[in/hr]
5.000	2.95	4.84	7.62
5.125	2.93	4.81	7.57
5.250	2.92	4.78	7.53
5.375	2.90	4.75	7.48
5.500	2.88	4.72	7.44
5.625	2.86	4.69	7.39
5.750	2.85	4.66	7.35
5.875	2.83	4.63	7.30
6.000	2.81	4.60	7.26
6.125	2.79	4.58	7.21
6.250	2.78	4.55	7.17
6.375	2.76	4.52	7.12
6.500	2.74	4.49	7.07
6.625	2.72	4.46	7.03
6.750	2.71	4.43	6.98
6.875	2.69	4.40	6.94
7.000	2.67	4.37	6.89
7.125	2.65	4.34	6.85
7.250	2.64	4.31	6.80
7.375	2.62	4.29	6.76
7.500	2.60	4.26	6.71
7.625	2.58	4.23	6.67
7.750	2.57	4.20	6.62
7.875	2.55	4.17	6.57
8.000	2.53	4.14	6.53
8.125	2.51	4.11	6.48
8.250	2.50	4.08	6.44
8.375	2.48	4.05	6.39
8.500	2.46	4.03	6.35
8.625	2.44	4.00	6.30
8.750	2.43	3.97	6.26
8.875	2.41	3.94	6.21
9.000	2.39	3.91	6.17
9.125	2.37	3.88	6.12
9.250	2.36	3.85	6.07
9.375	2.34	3.82	6.03
9.500	2.32	3.79	5.98
9.625	2.30	3.76	5.94
9.750	2.29	3.74	5.89
9.875	2.27	3.71	5.85
10.000	2.25	3.68	5.80
10.125	2.24	3.66	5.78
10.250	2.23	3.65	5.75
10.375	2.22	3.63	5.73
10.500	2.21	3.61	5.70
10.625	2.20	3.60	5.68
10.750	2.19	3.58	5.65
10.875	2.18	3.57	5.63
11.000	2.17	3.55	5.60
11.125	2.16	3.54	5.58
11.250	2.15	3.52	5.55
11.375	2.14	3.50	5.53
11.500	2.13	3.49	5.50
11.625	2.12	3.47	5.48
11.750	2.11	3.46	5.45
11.875	2.10	3.44	5.43
12.000	2.09	3.42	5.40
12.125	2.08	3.41	5.38
12.250	2.07	3.39	5.35
12.375	2.06	3.38	5.33
12.500	2.06	3.36	5.30
12.625	2.05	3.35	5.28
12.750	2.04	3.33	5.25
12.875	2.03	3.31	5.23
13.000	2.02	3.30	5.20
13.125	2.01	3.28	5.18
13.250	2.00	3.27	5.15
13.375	1.99	3.25	5.13
13.500	1.98	3.23	5.10
13.625	1.97	3.22	5.08
13.750	1.96	3.20	5.05
13.875	1.95	3.19	5.03
14.000	1.94	3.17	5.00
14.125	1.93	3.15	4.98

IDF CURVE TABLE

Project: 1648.02 - PCDS Wellness Center,
Soccer Field, Track, & Baseball Field

Prepared by: TWS

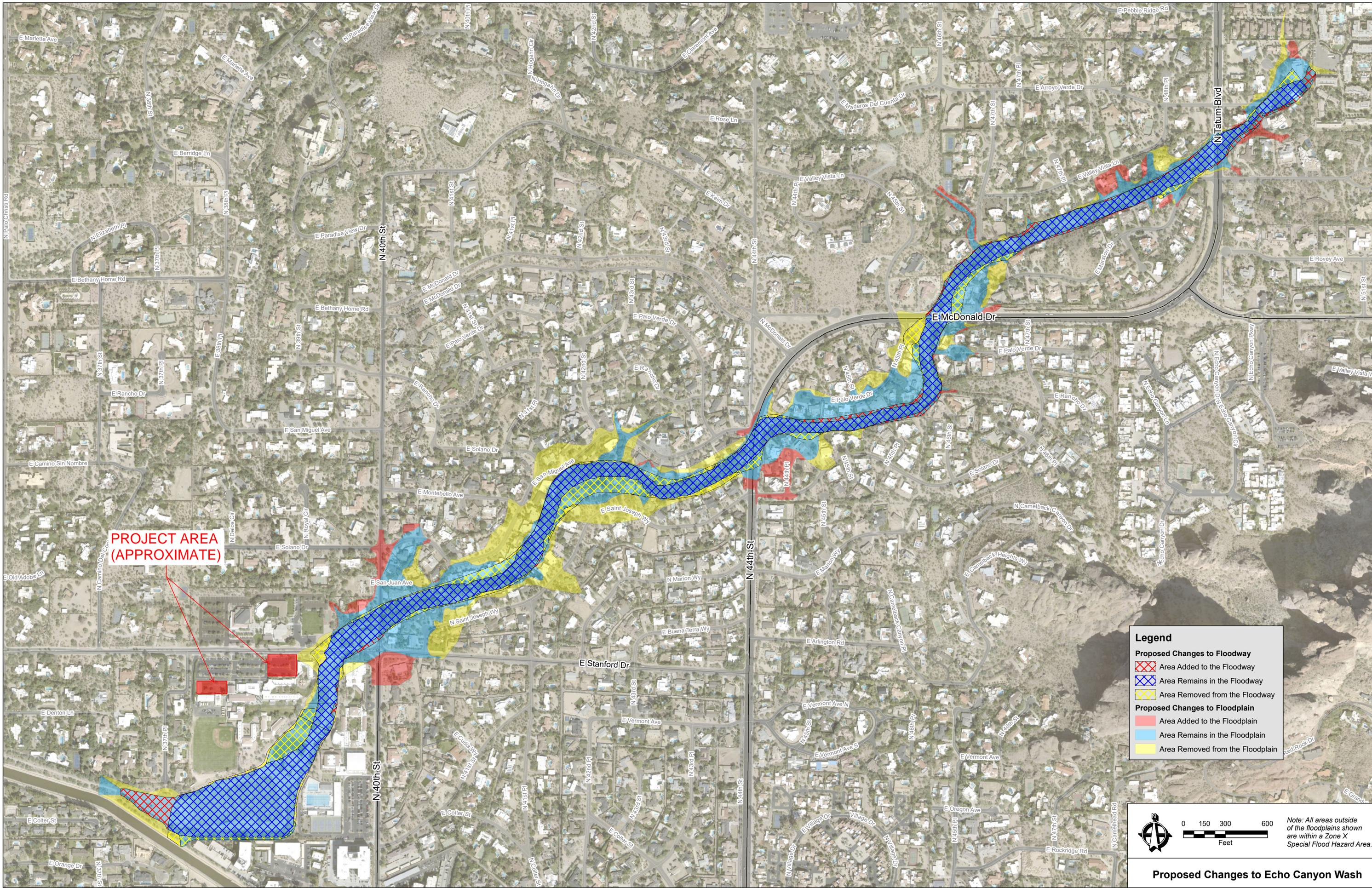
Date: Dec, 2025



Assumed Tc [min]	2-Year Storm	10-Year Storm	100-Year Storm
	[in/hr]	[in/hr]	[in/hr]
14.250	1.92	3.14	4.95
14.375	1.91	3.12	4.93
14.500	1.90	3.11	4.90
14.625	1.89	3.09	4.88
14.750	1.88	3.08	4.85
14.875	1.87	3.06	4.83
15.000	1.86	3.04	4.80
15.125	1.85	3.02	4.77
15.250	1.84	3.00	4.74
15.375	1.82	2.98	4.71
15.500	1.81	2.96	4.67
15.625	1.80	2.94	4.64
15.750	1.79	2.92	4.61
15.875	1.77	2.90	4.58
16.000	1.76	2.88	4.55
16.125	1.75	2.86	4.52
16.250	1.74	2.84	4.48
16.375	1.73	2.82	4.45
16.500	1.71	2.80	4.42
16.625	1.70	2.78	4.39
16.750	1.69	2.76	4.36
16.875	1.68	2.74	4.33
17.000	1.67	2.72	4.29
17.125	1.65	2.70	4.26
17.250	1.64	2.68	4.23
17.375	1.63	2.66	4.20
17.500	1.62	2.64	4.17
17.625	1.60	2.62	4.14
17.750	1.59	2.60	4.10
17.875	1.58	2.58	4.07
18.000	1.57	2.56	4.04
18.125	1.56	2.54	4.01
18.250	1.54	2.52	3.98
18.375	1.53	2.50	3.95
18.500	1.52	2.48	3.92
18.625	1.51	2.46	3.88
18.750	1.50	2.44	3.85
18.875	1.48	2.42	3.82
19.000	1.47	2.40	3.79
19.125	1.46	2.38	3.76
19.250	1.45	2.36	3.73
19.375	1.43	2.34	3.69
19.500	1.42	2.32	3.66
19.625	1.41	2.30	3.63
19.750	1.40	2.28	3.60
19.875	1.39	2.26	3.57
20.000	1.37	2.24	3.54
21.000	1.36	2.22	3.50
22.000	1.35	2.20	3.47
23.000	1.34	2.18	3.44
24.000	1.32	2.16	3.41
25.000	1.31	2.14	3.38
26.000	1.30	2.12	3.35
27.000	1.29	2.10	3.31
28.000	1.28	2.08	3.28
29.000	1.26	2.06	3.25
30.000	1.25	2.04	3.22
35.000	1.17	1.91	3.02
40.000	1.09	1.78	2.81
45.000	1.01	1.66	2.61
50.000	0.93	1.53	2.41
55.000	0.85	1.40	2.20
60.000	0.78	1.27	2.00
90.000	0.61	0.99	1.55
120.000	0.44	0.71	1.11
150.000	0.38	0.60	0.95
180.000	0.32	0.50	0.79
270.000	0.25	0.39	0.61
360.000	0.19	0.29	0.44
540.000	0.15	0.22	0.34
720.000	0.11	0.16	0.24
1080.000	0.09	0.13	0.19
1440.000	0.06	0.10	0.15

Appendix C | Previous Drainage Study Excerpts

Cudia City Wash Area Drainage Master Study



**PROJECT AREA
(APPROXIMATE)**

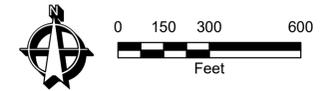
Legend

Proposed Changes to Floodway

- Area Added to the Floodway
- Area Remains in the Floodway
- Area Removed from the Floodway

Proposed Changes to Floodplain

- Area Added to the Floodplain
- Area Remains in the Floodplain
- Area Removed from the Floodplain



Note: All areas outside of the floodplains shown are within a Zone X Special Flood Hazard Area.

Proposed Changes to Echo Canyon Wash



AREA DRAINAGE MASTER STUDY REPORT

Contract No. FCD 2017C012

Submitted to:

Flood Control District
of Maricopa County

2801 West Durango Street
Phoenix, AZ 85009

Prepared by:

Michael Baker
INTERNATIONAL

Michael Baker International
2929 N. Central Ave, Suite 800
Phoenix, Plaza Tower II
Phoenix, AZ 85012



March 25, 2020

Contract No.: 2017C012

**Cudia City Wash
Area Drainage Master Study (ADMS)
Final Report**

Contract FCD 2017C012

Prepared for:

Flood Control District
of Maricopa County

2801 W. Durango St.
Phoenix, AZ 85009



City of Phoenix

200 W. Washington St.
Phoenix, AZ 85003



Town of Paradise Valley

6401 E. Lincoln Dr.
Paradise Valley, AZ 85253



Prepared by:

Michael Baker

INTERNATIONAL

Michael Baker
International
2929 N. Central Ave.,
Ste. 800
Phoenix, AZ 85012

In association with:

Riada Engineering



Dibble Engineering



EPG Design





1. Executive Summary

This Cudia City Wash (CCW) Area Drainage Master Study (ADMS) report documents existing and potential flooding hazards for a 14-square mile watershed that is located in central Maricopa County within the City of Phoenix, the Town of Paradise Valley, and a small portion of unincorporated Maricopa County. The study area is bounded by the Arizona Canal Diversion Channel (ACDC) to the south, the Phoenix Mountains Preserve to the North, the Mummy and Camelback Mountains to the east, and 10th St. Wash to the west. Flooding in the study area is mainly tributary in nature with significant potential for flash flooding and high sediment loads.

The two main goals of the ADMS are:

- (1) to identify and quantify drainage and flooding hazards within the study area, and
- (2) to establish guidance for future development and establish a flood hazard mitigation strategy that protects public safety and considers the unique natural and physical characteristics of the CCW watershed.

The ADMS provides conceptual drainage improvements to mitigate flooding in high hazard flood risk areas that were identified as part of the ADMS study.

The CCW ADMS report is divided into three main sections which are described below.

Data Collection

The data collection effort for this ADMS study includes collecting data and information from the various stake holders including, but not limited to the Flood Control District (FCDMC), City of Phoenix (COP) and Town of Paradise Valley (PV). Information was collected that documented the existing flooding and drainage problems within the study area. Exhibits were prepared using the collected data to show locations of existing flooding and drainage problems, drainage patterns, locations and types of existing drainage facilities, land ownership, and existing and future land use within the study area. A database was created with detailed information such as flooding issues, flooding complaints, culvert locations, and as-built plans. The results of the data collection were used to confirm historic drainage and flooding locations within the study area and used as a basis of evaluation of drainage characteristics. The CCW Data Collection Report is included in **Attachment B**.

Hydrology and Hydraulics

Two-dimensional models were developed using FLO-2D to model the rainfall runoff characteristics. All FLO-2D models were run using the latest approved FCDMC executable, dated November 17, 2018 (FLO-2D Pro Build No. 18.09.19). The rainfall return intervals and durations modeled were the 100-yr, 6-hr, 100-yr, 24-hr, 10-yr, 6-hr and 10-yr, 24-hr events. The FCDMC Pattern 1 distribution was used for the 6-hour storm. The SCS Type II distribution was used for the 24-hour storm. No sub-models



were developed. Hydraulic components modeled in FLO-2D include buildings, walls, culverts, bridges, one-dimensional channels, and storm drain systems. Although the ACDC was not part of the study area, it was modeled to allow the inlets to drain into the drainage feature. The ACDC was modeled with SWMM components for the closed conveyance section (Cudia City Wash Basin to 24th St.) and with floodplain (2-D) grids for the open channel portion (24th St. to north of Northern Ave.). Model calibration was performed using NEXRAD data from the September 8th, 2014 and the August 5th, 2016 storm events. The FLO-2D model results provide peak discharges, drainage patterns and flow characteristics for all rainfall return intervals and durations in the watershed listed above, with cross-sections providing hydrographs at key locations within the study area. The CCW Hydrology and Hydraulics Report is included in **Attachment C**.

Flood Hazard Identification and Risk Assessment

The three main goals of flood hazard risk assessment are:

- 1) Identify the flood hazards and inform/educate the public and stakeholders of potential flood mitigation measures,
- 2) to prioritize areas by risk level for future drainage improvement projects, and
- 3) to select feasible flood mitigation alternatives in priority areas.

Flood hazards and problem areas were identified using hydrologic and hydraulic modeling results, existing FEMA floodplains, stakeholder input, drainage complaints lodged by residents with the municipalities, and community outreach through public meetings. Flood hazard zones were defined as either high or low hazard. The ranking of the flood hazard zones is focused primarily on the potential susceptibility of structures to flooding hazards. The characterization of flood hazards was regional in nature. Flood hazard maps were prepared for each identified high flood hazard zone that characterized the depth of flow, flow velocity, flood intensity (combination of maximum velocity and maximum depth of flow), and potential erosion and scour.

Six zones were identified that met the criteria for high flood hazard. Each of the six zones has descriptions of the flood and erosion issues that need to be mitigated, and the alternative solutions that could be used to mitigate those issues. The CCW Flood Hazard Identification Memo is included in **Attachment A.2**.



CUDIA CITY WASH AREA DRAINAGE MASTER STUDY

HYDROLOGY AND HYDRAULICS REPORT

Contract No. FCD 2017C012

Submitted to:

**Flood Control District
of Maricopa County**

2801 West Durango Street
Phoenix, AZ 85009

Prepared by:

Michael Baker
INTERNATIONAL

Michael Baker International
2929 N. Central Ave, Suite 800
Phoenix, Plaza Tower II
Phoenix, AZ 85012



February 17, 2020
MBI JN 168466
Contract No.: 2017C012

Final Hydrology and Hydraulics Report
for
Cudia City Wash
Area Drainage Master Study

Prepared by:

Michael Baker

INTERNATIONAL
Michael Baker International
2929 N. Central Ave.,
Ste. 800
Phoenix, AZ 85012

Prepared for:



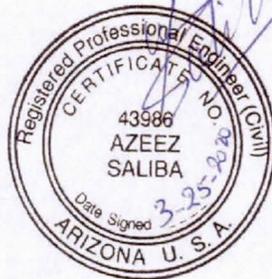
Flood Control District
of Maricopa County
2801 W. Durango St.
Phoenix, AZ 85009

In association with:

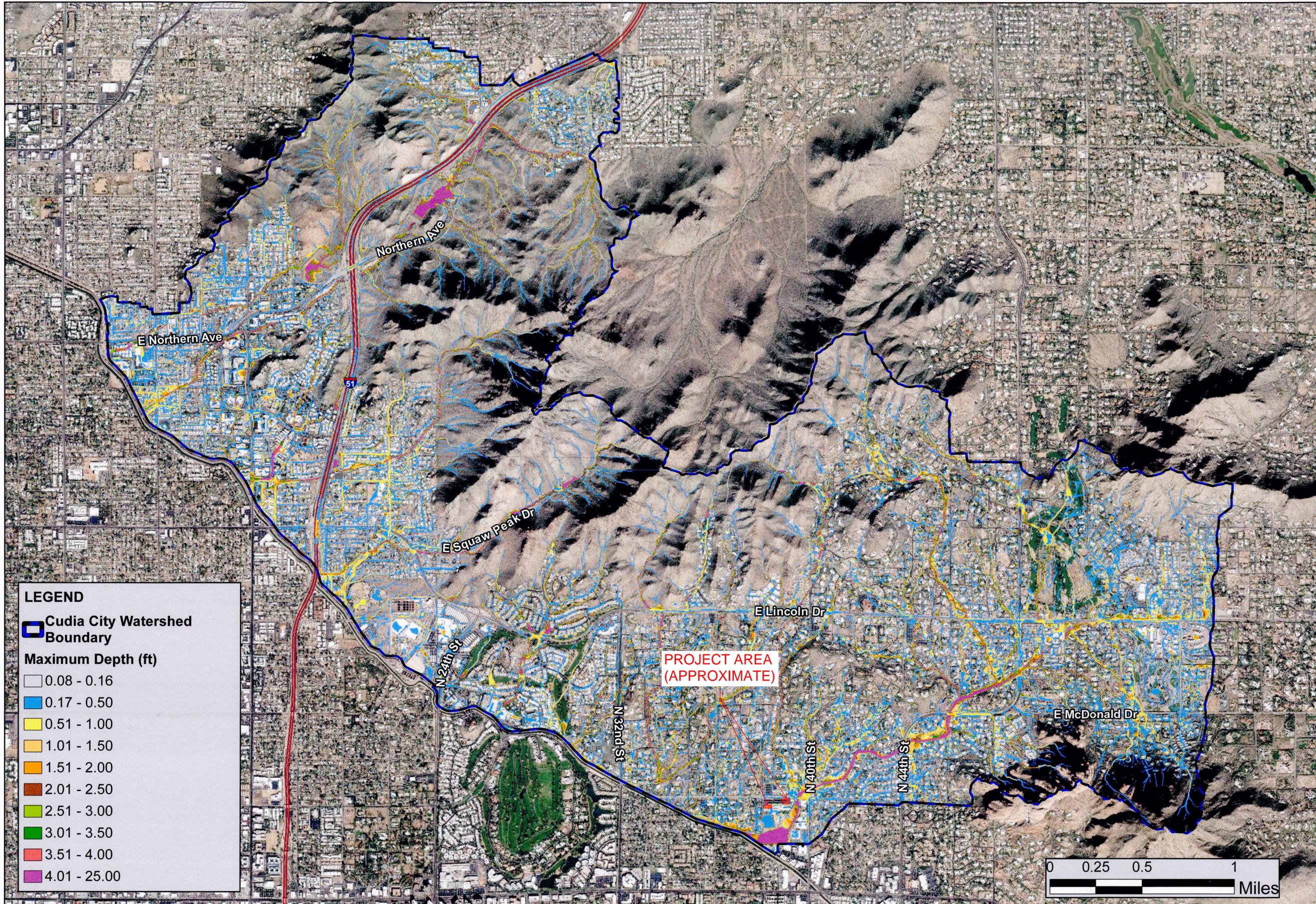
Riada Engineering



Dibble Engineering



3-31-2021
EXPIRES



LEGEND

Cudia City Watershed Boundary

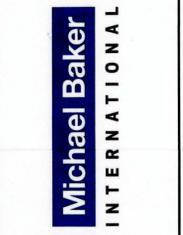
Maximum Depth (ft)

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	0.17 - 0.50
	0.51 - 1.00
	1.01 - 1.50
	1.51 - 2.00
	2.01 - 2.50
	2.51 - 3.00
	3.01 - 3.50
	3.51 - 4.00
	4.01 - 25.00

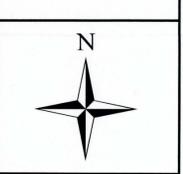
FLOOD CONTROL DISTRICT of Maricopa County
 2801 West Durango Street
 Phoenix, AZ 85009
 Phone: 602-506-1501
 Fax: 602-506-4601



Michael Baker International
 2929 North Central Ave.
 Phoenix, AZ 85012
 Phone: 602-279-1234
 Fax: 602-279-1411



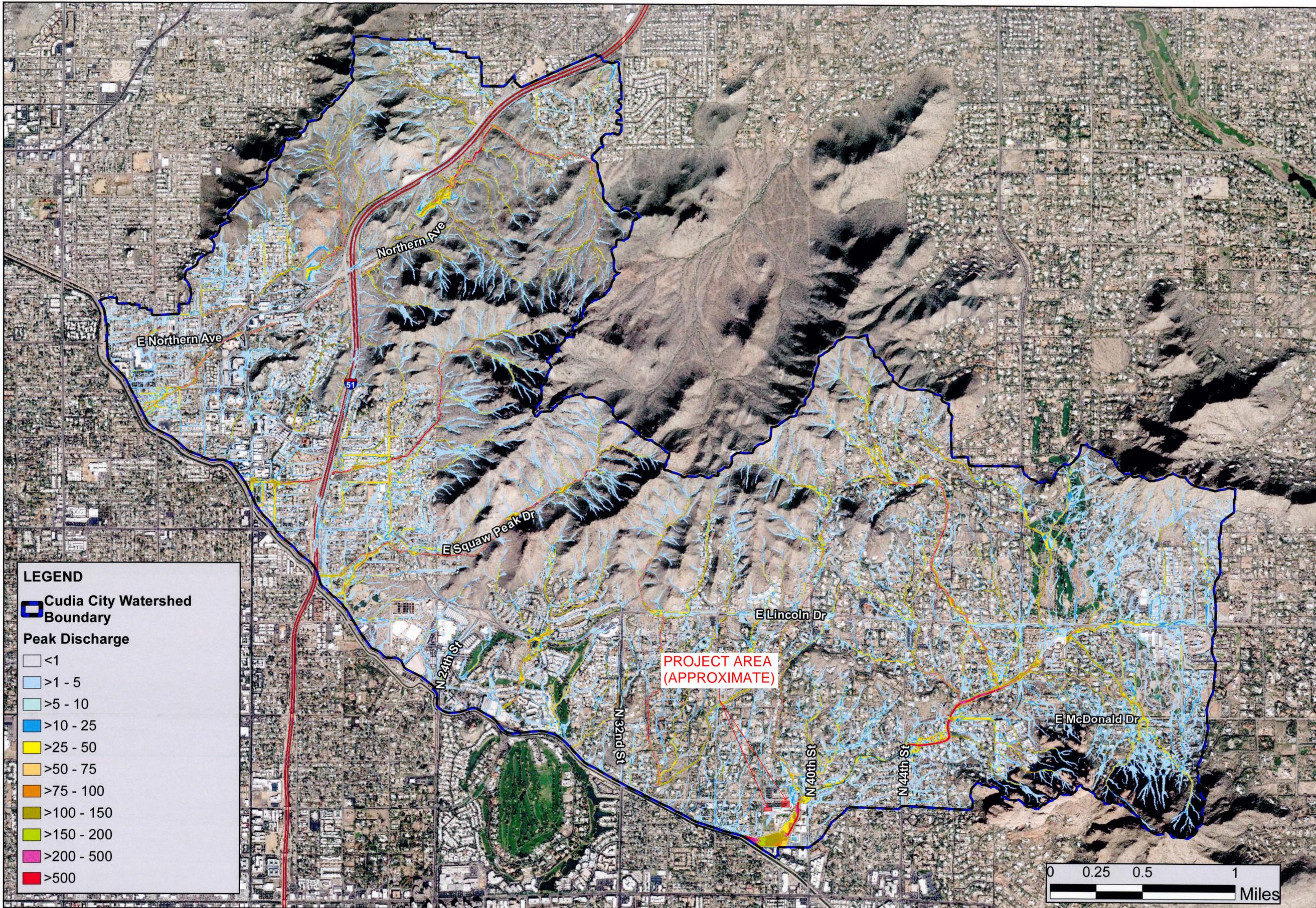
**100-yr, 6-hr
 Flow Depth Map
 Cudia City Wash ADMS
 Maricopa County, AZ**



MBI 168466
 FCD 2017C012

Date:
 2/17/2020

Exhibit 10.1

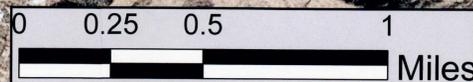


LEGEND

Cudia City Watershed Boundary

Peak Discharge

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	>1 - 5
	>5 - 10
	>10 - 25
	>25 - 50
	>50 - 75
	>75 - 100
	>100 - 150
	>150 - 200
	>200 - 500
	>500



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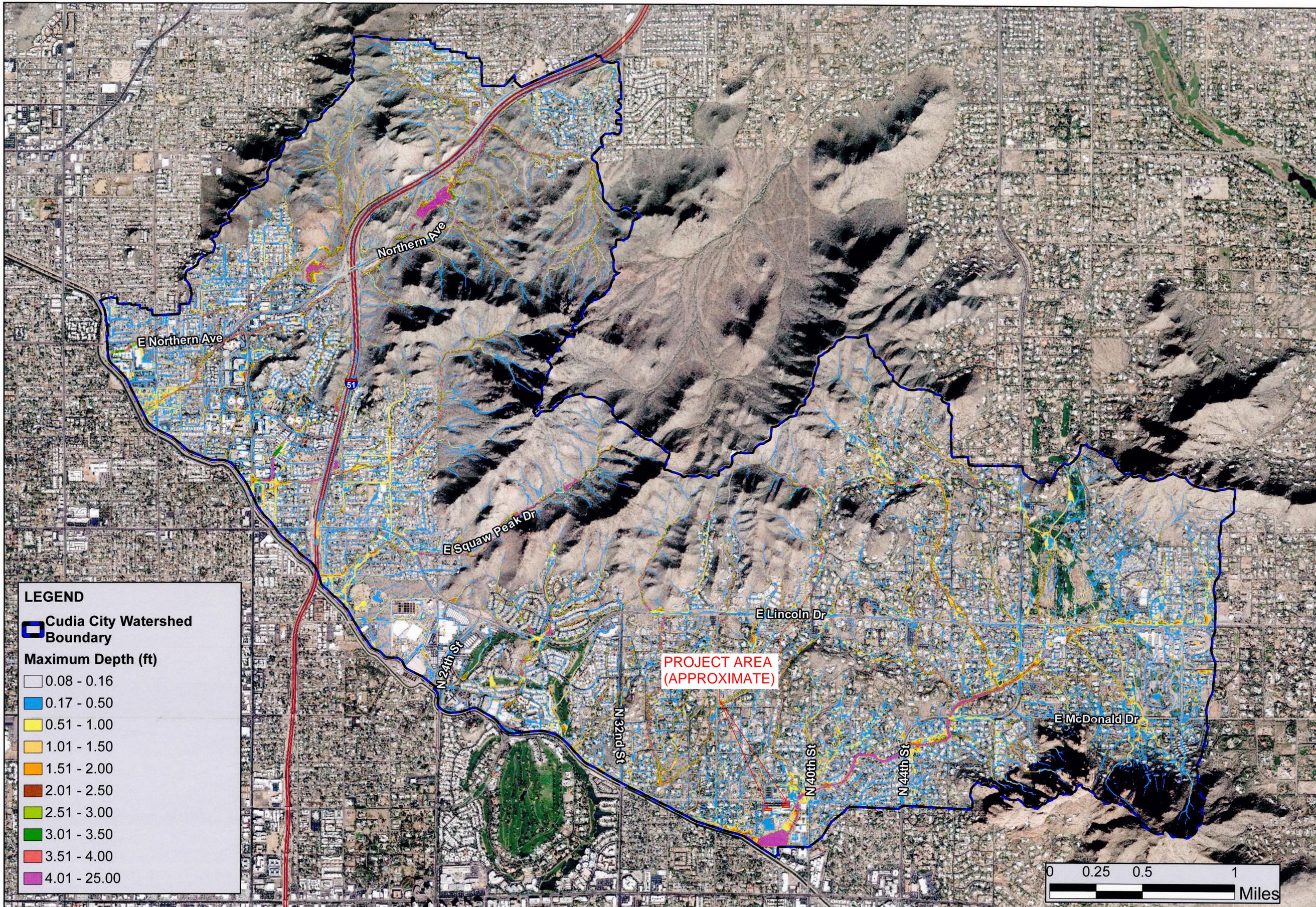
100-yr, 6-hr
 Peak Discharge Map
 Cudia City Wash ADMS
 Maricopa County, AZ



MBI 168466
 FCD 2017C012

Date:
 2/17/2020

Exhibit 10.2



LEGEND

Cudia City Watershed Boundary

Maximum Depth (ft)

	0.08 - 0.16
	0.17 - 0.50
	0.51 - 1.00
	1.01 - 1.50
	1.51 - 2.00
	2.01 - 2.50
	2.51 - 3.00
	3.01 - 3.50
	3.51 - 4.00
	4.01 - 25.00

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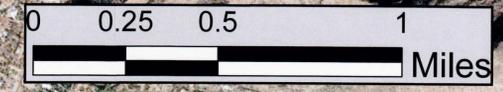
100-yr, 24-hr
 Flow Depth Map
 Cudia City Wash ADMS
 Maricopa County, AZ

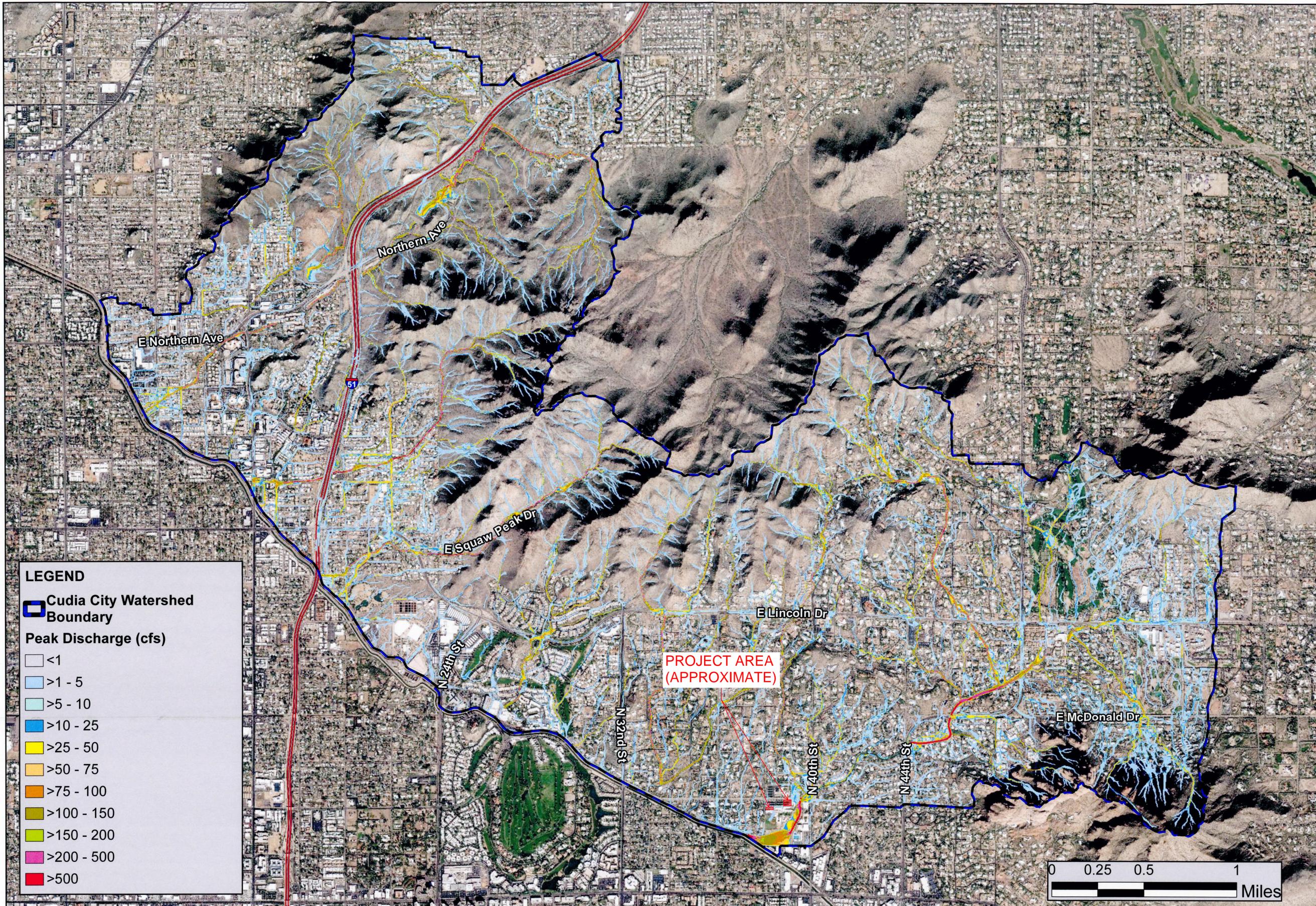


MBI 168466
 FCD 2017C012

Date:
 2/17/2020

Exhibit 11.1



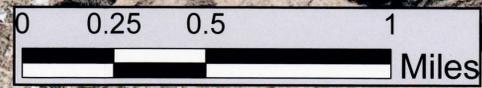


LEGEND

Cudia City Watershed Boundary

Peak Discharge (cfs)

	<1
	>1 - 5
	>5 - 10
	>10 - 25
	>25 - 50
	>50 - 75
	>75 - 100
	>100 - 150
	>150 - 200
	>200 - 500
	>500



FLOOD CONTROL DISTRICT of
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 2801 West Durango Street
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 Phoenix, AZ 85012
 Phone: 602-279-1234
 Fax: 602-279-1411



**100-yr, 24-hr
 Peak Discharge Map
 Cudia City Wash ADMS
 Maricopa County, AZ**



MBI 168466
 FCD 2017C012

Date:
 2/17/2020

Exhibit 11.2



Engineering & Design

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For a full listing of our office locations, please visit colliersengineering.com

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*Buildings • Civil/Site • Geotechnical/Environmental • Governmental
Infrastructure • Project/Program Management • Survey/Geospatial • Telecom & Utility*

TOWN OF PARADISE VALLEY NOTES

BUILDING NOTES:

- ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL CITY OR TOWN UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN. THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL STATE, AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO THE CONSTRUCTION COVERED BY THIS PLAN.
- PRIOR TO THE FIRST INSPECTION OF STRUCTURES WITHIN 3 FEET OF A SETBACK LINE, THE PROPERTY PINS SHALL BE PLACED BY A REGISTERED CIVIL ENGINEER OR LAND SURVEYOR OF THE STATE OF ARIZONA, AND THE PROPERTY LINE(S) IDENTIFIED.
- WHERE EXCAVATION IS TO OCCUR THE TOP 4" OF EXCAVATED NATIVE SOIL SHALL REMAIN ON THE SITE AND SHALL BE REUSED IN A MANNER THAT TAKES ADVANTAGE OF THE NATURAL SOIL SEED BANK IT CONTAINS.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
- ALL EXTERIOR SITE LIGHTING SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS FOR TYPE, LOCATION, HEIGHT, WATTAGE, AND LUMEN BASED UPON THE FIXTURES INSTALLED PURSUANT TO SECTION 1023 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCE FOR NON-HILLSIDE PROPERTIES, SECTION 2208 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCE FOR HILLSIDE PROPERTIES, OR AS SPECIFIED IN THE SPECIAL USE PERMIT FOR SPECIAL USE PERMIT PROPERTIES.
- A DUST CONTROL PLAN AND PERMIT MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
- A SEPARATE RIGHT-OF-WAY PERMIT IS NECESSARY FOR ANY OFF-SITE CONSTRUCTION.
- AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
- EAVE PROJECTIONS INTO REQUIRED SETBACKS ARE LIMITED TO A MAXIMUM OF 24" PURSUANT TO SECTION 1008 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES.
- ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
- ALL NEW AND EXISTING ELECTRICAL SERVICE LINES SHALL BE BURIED PER THE TOWN OF PARADISE VALLEY REQUIREMENTS.
- IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE TO ARRANGE FOR THE RELOCATION AND RELOCATION COSTS OF ALL UTILITIES, AND TO SUBMIT A UTILITY RELOCATION SCHEDULE PRIOR TO THE ISSUANCE OF AN ENGINEERING CONSTRUCTION PERMIT.
- EXISTING AND/OR NEW UTILITY CABINETS AND PEDESTALS SHALL BE LOCATED A MINIMUM OF 4' BEHIND ULTIMATE BACK OF CURB LOCATION.
- POOL, SPA, BARBECUE AND ANY PROPOSED STRUCTURES OVER 8" ABOVE GRADE REQUIRE SEPARATE PERMIT APPLICATIONS.
- POOLS SHALL BE CONSTRUCTED BY SEPARATE PERMIT AND SECURED FROM UNWANTED ACCESS PER TOWN CODE, ARTICLE 5-2.
- ALL FILL MATERIAL UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95% SETBACK CERTIFICATION IS REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO STEM WALL INSPECTION.
- FOR BUILDING PADS THAT HAVE 1' OR MORE OF FILL MATERIAL, SOILS COMPACTION TEST RESULTS ARE REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO PRE-SLAB INSPECTION.
- LOWEST FLOOR ELEVATION CERTIFICATION IS REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO STRAP AND SHEAR INSPECTION.
- MAIL BOXES SHALL COMPLY WITH THE TOWN OF PARADISE VALLEY STANDARDS FOR MAIL BOXES IN THE RIGHT-OF-WAY FOR HEIGHT, WIDTH AND BREAK AWAY FEATURES.
- ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE.
- TRENCH BEDDING AND SHADING SHALL BE FREE OF ROCKS AND DEBRIS.
- THE TOWN ONLY APPROVES THE SCOPE OF WORK AND NOT THE ENGINEERING DESIGN. ANY CONSTRUCTION QUANTITIES SHOWN ARE NOT VERIFIED BY THE TOWN.

CONSTRUCTION NOTES:

- THE APPROVAL OF THE PLANS IS VALID FOR 180 DAYS. IF A PERMIT FOR CONSTRUCTION HAS NOT BEEN ISSUED WITHIN 180 DAYS, THE PERMIT MUST BE RENEWED.
- A TOWN INSPECTOR WILL INSPECT ALL WORK WITHIN THE TOWN'S RIGHTS-OF-WAY. NOTIFY TOWN INSPECTION SERVICES TO SCHEDULE A PRECONSTRUCTION MEETING PRIOR TO STARTING CONSTRUCTION.
- WHENEVER EXCAVATION IS NECESSARY, CALL ARIZONA811 BY DIALING 811 OR 602-263-1100, TWO (2) WORKING DAYS BEFORE EXCAVATION BEGINS.
- EXCAVATIONS SHALL COMPLY WITH REQUIREMENTS OF OSHA EXCAVATION STANDARDS (29 CFR, PART 1926, SUBPART P). UNDER NO CIRCUMSTANCES WILL THE CONTRACTORS BE ALLOWED TO WORK IN A TRENCH LOCATED WITHIN THE TOWN'S RIGHT-OF-WAY WITHOUT PROPER SHORING OR EXCAVATION METHODS.
- PERMIT HOLDER SHALL POST A 6 SQUARE FOOT (2'X3') IDENTIFICATION SIGN, MADE OF DURABLE MATERIAL, IN THE FRONT YARD OF SUBJECT PROPERTY AND NOT IN THE TOWN'S RIGHT-OF-WAY. THE SIGN MAY NOT EXCEED A MAXIMUM OF 6 FEET IN HEIGHT FROM GRADE TO TOP OF THE SIGN. THE SIGN MUST INCLUDE THE PERMITTEE OR COMPANY NAME, PHONE NUMBER, TYPE OF WORK, ADDRESS OF PROJECT AND TOWN CONTACT NUMBER, 480-348-3556.
- WHEN DEEMED NECESSARY, A 6-FOOT HIGH CHAIN LINK FENCE MUST BE INSTALLED AROUND THE CONSTRUCTION AREA TO PREVENT ANY POTENTIAL SAFETY HAZARD FOR THE PUBLIC. THE FENCE SHALL BE SETBACK AT LEAST 10 FEET FROM ALL RIGHTS-OF-WAY AND HAVE A 50-FOOT STREET CORNER SITE TRIANGLE WHERE APPLICABLE.
- CLEAR ACCESS FOR NEIGHBORING PROPERTIES AND EMERGENCY VEHICLES MUST BE MAINTAINED AT ALL TIMES. CONSTRUCTION RELATED VEHICLES MUST BE LEGALLY PARKED ONLY ON ONE SIDE OF THE STREET OR JOB SITE PROPERTY.
- ALL CONSTRUCTION DEBRIS AND EQUIPMENT MUST BE CONTAINED ON SITE AT ALL TIMES. CONTRACTOR AND PROPERTY OWNER MUST MAINTAIN THE JOB SITE FREE OF LITTER AND UNSIGHTLY MATERIALS AT ALL TIMES. CONSTRUCTION MATERIALS ARE PROHIBITED IN THE TOWN'S RIGHT-OF-WAY.
- CONSTRUCTION ACTIVITIES ARE PERMITTED BETWEEN THE HOURS OF 5 AM AND 7 PM MONDAY THROUGH THURSDAY AND 7 AM TO 7 PM ON SATURDAYS CONSTRUCTION ACTIVITIES (MAY 1ST THROUGH SEPTEMBER 30TH), TOPV CODE 8-10-2(D) ENFORCED OCTOBER 1ST THROUGH APRIL 30TH.
- THE USE AND OPERATION OF FUEL-FIRED GENERATORS IS PROHIBITED UNLESS DUE TO A HARDSHIP. TOWN APPROVAL SHALL BE REQUIRED.
- THE CONTRACTOR AND PROPERTY OWNER SHALL BE LIABLE FOR ANY DAMAGE DONE TO ANY PUBLIC PROPERTY AS A RESULT OF ANY CONSTRUCTION OR CONSTRUCTION RELATED ACTIVITIES. NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL AFFECTED RIGHTS-OF-WAY ARE CLEANED AND/OR REPAIRED TO THEIR ORIGINAL CONDITION AND UNTIL ANY AND ALL DAMAGES TO AFFECTED PROPERTIES ARE RESTORED TO ORIGINAL CONDITION.
- A KEYSWITCH SHALL BE REQUIRED ON ALL NEW AND EXISTING ELECTRIC ENTRY GATES. THE KEYSWITCH SHALL BE INSTALLED IN A LOCATION THAT IS READILY VISIBLE AND ACCESSIBLE. KNOX BOX ORDER FORMS ARE AVAILABLE AT THE TOWN'S BUILDING SAFETY DEPARTMENT.
- PROPERTY OWNER, BUILDER, OR GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR CONTROLLING DUST FROM THE SITE AT ALL TIMES. ALL MEANS NECESSARY SHALL BE USED BY THE BUILDER OR GENERAL CONTRACTOR TO CONTROL THE EXISTENCE OF DUST CAUSED BY ANY EARTHWORK, SPRAY APPLICATION OF MATERIALS, OR OTHER DUST-CAUSING PRACTICES REQUIRED BY THE CONSTRUCTION PROCESS.
- APPROVAL OF THESE PLANS ARE FOR PERMIT PURPOSES ONLY AND SHALL NOT PREVENT THE TOWN FROM REQUIRING CORRECTION OF ERRORS IN THE PLANS WHERE SUCH ERRORS ARE SUBSEQUENTLY FOUND TO BE IN VIOLATION OF ANY LAW, ORDINANCE, HEALTH, SAFETY, OR OTHER DESIGN ISSUES.
- ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTION DITCHES, PIPES PROTECTIVE BERMS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT PROPOSED AND EXISTING IMPROVEMENTS FROM RUNOFF OR DAMAGE FROM STORM WATER, MUST BE CONSTRUCTED PRIOR TO THE CONSTRUCTION OF ANY IMPROVEMENTS.

ENGINEERS NOTES

- GRADING SHALL BE IN CONFORMANCE WITH 2018 IBC SEC. 1803 AND APPENDIX J.
- 5% MINIMUM SLOPE AWAY FROM BUILDING FOR A MINIMUM 10', U.N.O.
- ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTOR DITCHES, PIPES, PROTECTIVE BERMS, BARRIER WALLS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT ADJACENT BUILDINGS OR PROPERTY FROM STORM RUNOFF MUST BE COMPLETED PRIOR TO BUILDING CONSTRUCTION.
- ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
- ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE. ALL LAWN AREAS ADJOINING WALKS OR SLABS WILL BE GRADED TO 2" BELOW THE TOP OF SLAB. TYPICAL FINISHED GRADE AROUND PERIMETER OF BUILDING IS MINUS 6" BELOW FINISHED FLOOR UNLESS SPECIFIED OTHERWISE.
- ALL MATERIAL TO BE UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95% PER ASTM D698.
- THE QUANTITIES AND SITE CONDITIONS DEPICTED IN THESE PLANS ARE FOR INFORMATIONAL PURPOSES ONLY AND ARE SUBJECT TO ERROR AND OMISSION. CONTRACTORS SHALL SATISFY THEMSELVES AS TO ACTUAL QUANTITIES AND SITE CONDITIONS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL METHODS, SEQUENCING, AND SAFETY CONCERNS ASSOCIATED WITH THIS PROJECT DURING CONSTRUCTION, UNLESS SPECIFICALLY ADDRESSED OTHERWISE IN THIS PLAN OR ELSEWHERE.
- A REASONABLE EFFORT HAS BEEN MADE TO SHOW THE LOCATIONS OF EXISTING UNDERGROUND FACILITIES AND UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND/OR FACILITIES CAUSED DURING THEIR CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL CALL 48 HOURS IN ADVANCE FOR BLUE STAKE (1-800-STAKE-IT) PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION OF CONSTRUCTION AFFECTING UTILITIES AND THE COORDINATION OF ANY NECESSARY UTILITY RELOCATION WORK.
- ALL PAVING, GRADING, EXCAVATION, TRENCHING, PIPE BEDDING, CUT, FILL AND BACKFILL SHALL COMPLY WITH THE RECOMMENDATIONS SET FORTH IN THE SOILS (GEOTECHNICAL) REPORT FOR THIS PROJECT IN ADDITION TO THE REFERENCED REQUIRED SPECIFICATIONS AND DETAILS.
- THE CONTRACTOR IS TO VERIFY THE LOCATION AND THE ELEVATIONS OF ALL EXISTING UTILITIES AT POINTS OF TIE-IN PRIOR TO COMMENCING ANY NEW CONSTRUCTION. SHOULD ANY LOCATION OR ELEVATION DIFFER FROM THAT SHOWN ON THESE PLANS, THE CONTRACTOR SHALL CONTACT THE OWNER'S AGENT.
- CONTRACTOR TO VERIFY AND COORDINATE ALL DIMENSIONS AND SITE LAYOUT WITH ARCHITECTURE'S FINAL SITE PLAN AND FINAL BUILDING DIMENSIONS BEFORE STARTING WORK. REPORT DISCREPANCIES TO OWNER'S AGENT.
- COORDINATION BETWEEN ALL PARTIES IS ESSENTIAL PART OF CONTRACT.
- CONTRACTOR IS RESPONSIBLE FOR PROJECT AND SITE CONDITIONS, AND TO WORK WITH WEATHER CONDITIONS AS THE PROJECT SITE MAY BE LOCATED IN A FLOOD PRONE AREA AND SUBJECT TO FLOODING AND ITS HAZARDS.
- THE CONTRACTOR IS TO VERIFY THE LOCATION, ELEVATION, CONDITION, AND PAVEMENT CROSS-SLOPE OF ALL EXISTING SURFACES AT POINTS OF TIE-IN AND MATCHING, PRIOR TO COMMENCEMENT OF GRADING, PAVING, CURB AND GUTTER, OR OTHER SURFACE CONSTRUCTION. SHOULD EXISTING LOCATIONS, ELEVATIONS, CONDITION, OR PAVEMENT CROSS-SLOPE DIFFER FROM THAT SHOWN ON THESE PLANS, RESULTING IN THE DESIGN INTENT REFLECTED ON THESE PLANS NOT ABLE TO BE CONSTRUCTED, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AGENT IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ALL COSTS ASSOCIATED WITH CORRECTIVE ACTION IF THESE PROCEDURES ARE NOT FOLLOWED.
- CONTRACTOR IS RESPONSIBLE TO COORDINATE UTILITY CROSSINGS AT CULVERT CROSSINGS BEFORE STARTING WORK ON CULVERT. COORDINATE WITH OWNER REPRESENTATIVE. VERIFY UTILITY LINES AND/OR CONDUITS ARE IN PLACE BEFORE STARTING CULVERT WORK.
- ALL ON-SITE UTILITIES PER OTHERS.
- THIS PROJECT REQUIRES A REGULAR ONGOING MAINTENANCE PROGRAM FOR THE DESIGNED DRAINAGE SYSTEM(S) TO PRESERVE THE DESIGN INTEGRITY AND THE ABILITY TO PERFORM ITS OPERATIONAL INTENT. FAILURE TO PROVIDE MAINTENANCE WILL JEOPARDIZE THE DRAINAGE SYSTEM(S) PERFORMANCE AND MAY LEAD TO IT'S INABILITY TO PERFORM PROPERLY AND/OR CAUSE DAMAGE ELSEWHERE IN THE PROJECT.
- IF A DISCREPANCY IS FOUND BETWEEN ENGINEER'S PLAN OR SURVEYOR'S STAKING AND THE ARCHITECTURAL PLAN, ENGINEER SHALL BE NOTIFIED IMMEDIATELY. FAILURE TO NOTIFY ENGINEER SHALL NEGATE ENGINEER'S LIABILITY.
- ALL DISTURBED AREAS ARE TO BE ROPED AND ROPING MUST MATCH PLAN.
- VEGETATION OUTSIDE OF CONSTRUCTION AREA TO REMAIN.
- AREAS OUTSIDE THE WALL AND CUT AND FILL SLOPES SHALL BE REVEGETATED WITH SIMILAR PLANT TYPES AND DENSITIES FOUND ON THE SITE. REVEGETATION SHALL BE COMPLETED PRIOR TO OCCUPANCY AND THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- MECHANICAL EQUIPMENT SHALL BE SCREENED TO A MINIMUM OF ONE FOOT ABOVE TOP OF EQUIPMENT.
- ANY FUTURE IMPROVEMENTS SHOWN HEREON SHALL REQUIRE A SEPARATE PERMIT.
- ANY POINTS OF DRAINAGE CONCENTRATION SHOULD BE PROTECTED AGAINST EROSION WITH NATIVE STONE.
- THIS PLAN IS DESIGNED TO SHOW SITE GRADING AND DRAINAGE CONTRACTOR SHALL USE THE ARCHITECTURAL SITE PLAN TO DETERMINE FINAL HOUSE, WALL, STEP, ETC., LOCATIONS AND ELEVATIONS.
- ALL DRAINAGE FACILITIES TO BE MAINTAINED BY HOMEOWNER.
- SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR SITE AND RETAINING WALLS LAYOUT, DIMENSIONS, AND DETAILS. TOP OF FOOTING ELEVATIONS SHOWN IN PLAN ARE APPROXIMATE ONLY. ACTUAL TOP OF FOOTINGS TO BE DETERMINED AT TIME OF CONSTRUCTION AND TO BE A MINIMUM OF SIX INCHES BELOW EXISTING NATURAL GRADE OR FINISHED GRADE WHICHEVER IS LOWER (TYPICAL).
- REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT, DIMENSIONS AND ELEVATIONS.
- REFER TO STRUCTURAL DRAWINGS, DETAILS AND CALCULATIONS FOR ALL PROPOSED RETAINING WALLS.
- FOR CHANGE IN ELEVATION THAT ARE GREATER THAN 30", PROVIDE 36" HIGH GUARDRAILS FOR TOTAL OF 42" FALL PROTECTION BARRIER U.N.O.
- ALL WATER AND SEWER LINES AND CONNECTIONS MUST BE INSTALLED PER IPC 2015, MAG AND CITY OF SCOTTSDALE SUPPLEMENT TO MAG.
- ALL PIPES AND FITTINGS SHALL BE INSTALLED PER MANUFACTURE'S SPECIFICATIONS AND DETAILS.
- ABANDONMENT OR REMOVAL OF EXISTING SEPTIC SYSTEMS SHALL BE PERFORMED IN ACCORDANCE WITH THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT RULES AND STANDARDS, AND WILL REQUIRE SEPARATE PERMIT.
- COORDINATE RIPRAP COLOR WITH LANDSCAPE PLANS AND DETAILS.
- VERIFY AND COORDINATE WITH ARCHITECTURAL AND LANDSCAPE PLANS LOCATION AND HEIGHT OF ALL SITE WALLS.
- DISTURBED AREA 1.015 >1 ACRE; NPDES PERMIT IS REQUIRED.
- REFER TO ARCHITECTURAL PLANS AND DETAILS FOR DEMOLITION OF EXISTING BUILDING STRUCTURE, SITE WALLS AND PAVEMENT.
- VERIFY AND COORDINATE WITH LANDSCAPE PLANS FINAL LOCATION AND GRATE TYPE OF SPECIFIED AREA DRAINS AND TRENCH DRAINS.
- CONTRACTOR TO COORDINATE ALL ELEVATIONS OF RETAINING, FREE STANDING AND STEM WALLS WITH ARCHITECT, LANDSCAPE ARCHITECT AND STRUCTURAL ENGINEER. LDG ASSUMES NO LIABILITY FOR LACK OF COORDINATION BETWEEN THE PROJECT STAKEHOLDERS.
- THE SCOPE OF THIS GRADING AND DRAINAGE PLAN COVERS CERTAIN SITE DRAINAGE IMPROVEMENTS AS DELINEATED BY THE LIMITS OF THE CONSTRUCTION AND IN ACCORDANCE TO THE PREPARED BY THE ARCHITECT SITE PLAN, WHICH HAS BEEN COORDINATED AND APPROVED BY THE OWNER. LAND DEVELOPMENT GROUP (LDG) ASSUMES NO LIABILITY FOR DRAINAGE ISSUES THAT MAY EXIST AND COULD CAUSE DAMAGE TO THE SUBJECT OR NEIGHBORING PROPERTIES BEYOND THE LIMITS OF THE CONSTRUCTION SHOWN ON THESE PLANS.
- THE GRADING AND DRAINAGE DESIGN PRESENTED HEREIN IS BASED ON EVALUATING STORMWATER RUNOFF RESULTING FROM A STATISTICAL ANALYSIS OF STORM EVENTS OF PARTICULAR FREQUENCY, UP TO AND INCLUDING 100-YEAR EVENT AS REQUIRED BY THE CITY OF PHOENIX AND MARICOPA COUNTY DRAINAGE DESIGN MANUALS. A STORM EVENT EXCEEDING THE 100-YEAR EVENT MAY CAUSE OR CREATE THE RISK OF GREATER STORM IMPACT THAN IS PRESENTED AND ADDRESSED ON THIS PLAN.

PRELIMINARY GRADING & DRAINAGE PLAN

NEW WELLNESS CENTER AND RENOVATED BASEBALL FIELD

PARADISE VALLEY, ARIZONA

A PORTION OF THE SOUTHEAST QUARTER OF SECTION 13, TOWNSHIP 2 NORTH, RANGE 3 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

FLOOD ZONE DESIGNATION

THE FOLLOWING FLOOD PLAIN DESIGNATION AND ASSOCIATED COMMENTS ARE COPIED DIRECTLY FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) WEBSITE. HILGARTWILSON, LLC AND THE UNDERSIGNED REGISTERED PROFESSIONAL LAND SURVEYOR MAKE NO STATEMENT AS TO THE ACCURACY OR COMPLETENESS OF THE FOLLOWING FLOOD ZONE DESIGNATION STATEMENT.

A PORTION OF THE SUBJECT PROPERTY LIES WITHIN SHADED ZONE "X" WITH A DEFINITION OF: 0.2-PERCENT-ANNUAL-CHANCE FLOODPLAIN, AREAS OF 1-PERCENT-ANNUAL-CHANCE (BASE FLOOD) SHEET FLOW FLOODING WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT, AREAS OF BASE FLOOD STREAM FLOODING WITH A CONTRIBUTING DRAINAGE AREA OF LESS THAN 1 SQUARE MILE, OR AREAS PROTECTED FROM THE BASE FLOOD BY LEAVES. NO BFES OR DEPTHS ARE SHOWN IN THIS ZONE, AND INSURANCE PURCHASE IS NOT REQUIRED. DESIGNATION DETERMINED BY FEMA FLOOD ZONE MAP 04013C1765L, PANEL NUMBER 1765 OF 4425, EFFECTIVE DATE OCTOBER 16, 2013.

OWNER

PHOENIX COUNTRY DAY SCHOOL
3901 E STANFORD DR
PARADISE VALLEY, ARIZONA 85253

ENGINEER

HILGARTWILSON
2141 E. HIGH AND AVENUE, SUITE 250
PHOENIX, ARIZONA 85016
PHONE: (602) 490-0535
FAX: (602) 368-2436
CONTACT: ZACH HILGART, PE
EMAIL: ZACH.HILGART@COLLIERSENG.COM

ARCHITECT

ADM GROUP
2100 W 15TH STREET
TEMPE ARIZONA 85281
CONTACT: BEN BARCON
PHONE: (480) 285-3800

TITLE COMMITMENT LEGAL DESCRIPTION

PARCEL NO. 1:
BEGINNING AT THE SOUTHWEST CORNER OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION THIRTEEN (13), TOWNSHIP TWO (2) NORTH, RANGE THREE (3) EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN;
THENCE NORTH 89 DEGREES 53 MINUTES 30 SECONDS EAST, ALONG THE SOUTH LINE OF SAID NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 13, A DISTANCE OF 361.31 FEET TO A POINT;
THENCE NORTH 00 DEGREES 06 MINUTES 30 SECONDS WEST A DISTANCE OF 100.00 FEET TO A POINT;
THENCE NORTH 27 DEGREES 53 MINUTES 59 SECONDS EAST A DISTANCE OF 1404.16 FEET TO A POINT ON THE NORTH LINE OF SAID NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 13, FROM WHICH POINT THE EAST QUARTER CORNER OF SAID SECTION 13 BEARS NORTH 89 DEGREES 47 MINUTES 40 SECONDS EAST A DISTANCE OF 322.00 FEET;
THENCE SOUTH 89 DEGREES 47 MINUTES 40 SECONDS WEST, ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 13, A DISTANCE OF 1018.18 FEET TO THE NORTHWEST CORNER OF SAID NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 13;
THENCE SOUTH ALONG THE WEST LINE OF THE SAID NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 13, A DISTANCE OF 1337.99 FEET TO THE POINT OF BEGINNING.

PARCEL NO. 2:
A PORTION OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION THIRTEEN (13), TOWNSHIP TWO (2) NORTH, RANGE THREE (3) EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, DESCRIBED AS FOLLOWS:
BEGINNING AT THE EAST QUARTER CORNER OF SAID SECTION 13;
THENCE SOUTH 00 DEGREES 10 MINUTES 31 SECONDS EAST (ASSUMED BEARING) ALONG THE EASTERN LINE OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 13, A DISTANCE OF 1340.30 FEET TO THE SOUTHEAST CORNER OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 13;
THENCE SOUTH 89 DEGREES 53 MINUTES 30 SECONDS WEST ALONG THE SOUTH LINE OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 13, A DISTANCE OF 982.97 FEET, TO THE SOUTHEAST CORNER OF PREMISES CONVEYED TO PHOENIX COUNTRY DAY SCHOOL BY DEED RECORDED IN DOCKET 3540, PAGE 18;
THENCE NORTH 00 DEGREES 06 MINUTES 30 SECONDS WEST ALONG THE SOUTHEASTERLY LINE OF SAID PHOENIX COUNTRY DAY SCHOOL PREMISES A DISTANCE OF 100 FEET TO AN ANGLE POINT;
THENCE NORTH 27 DEGREES 53 MINUTES 59 SECONDS EAST, CONTINUING ALONG THE SAID SOUTHEASTERLY LINE, A DISTANCE OF 1404.16 FEET TO A POINT ON THE NORTH LINE OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 13, TO THE NORTHEAST CORNER OF SAID PHOENIX COUNTRY DAY SCHOOL PREMISES;
THENCE NORTH 89 DEGREES 47 MINUTES 40 SECONDS EAST ALONG THE NORTH LINE OF SAID NORTHEAST QUARTER OF THE SOUTHEAST QUARTER A DISTANCE OF 322.00 FEET TO THE POINT OF BEGINNING;
EXCEPT THE EAST 40 FEET THEREOF.

BASIS OF BEARING

BASIS OF BEARING IS 500°15'38"W ALONG THE EAST LINE OF THE SOUTHEAST QUARTER OF SECTION 13, TOWNSHIP 2 NORTH, RANGE 3 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, BETWEEN THE MONUMENTS AS SHOWN HEREON.

AS-BUILT CERTIFICATION

I HEREBY CERTIFY THAT THE "RECORD DRAWING" MEASUREMENTS AS SHOWN HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

REGISTERED ENGINEER/ LAND SURVEYOR _____ DATE _____

REGISTRATION NUMBER _____

APPROVAL

THIS SET OF PLANS HAS BEEN REVIEWED FOR COMPLIANCE WITH TOWN OF PARADISE VALLEY REQUIREMENTS PRIOR TO ISSUANCE OF PERMIT. THE TOWN NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. THIS COMPLIANCE APPROVAL SHALL NOT PREVENT THE TOWN ENGINEER FROM REQUIRING CORRECTIONS OF ERRORS OR OMISSIONS IN THE PLANS TO BE FOUND IN VIOLATION OF LAWS OR ORDINANCES.

TOWN ENGINEER _____ DATE _____
TOWN OF PARADISE VALLEY

NATIVE PLANTS

ALL NATIVE PLANTS IMPACTED BY CONSTRUCTION SHALL BE RELOCATED ON SITE. SEE LANDSCAPE PLAN AND NATIVE PLANT INVENTORY AND SALVAGE PLAN.

LEGEND

- FOUND REBAR AS NOTED
- SET REBAR W/ CAP OR AS NOTED
- CALCULATED POINT
- PROPERTY LINE
- EASEMENT LINE
- MONUMENT LINE
- GAS METER
- ELECTRIC METER
- FIRE HYDRANT
- TELEPHONE PEDESTAL
- SEWER CLEANOUT
- A/C UNIT
- TRANSFORMER
- WATER METER
- HOSE BIB
- TENNIS NET POST
- BASKETBALL HOOP
- STORM DRAIN INLET
- POOL EQUIPMENT
- STORM DRAIN PIPE
- CATV, PHONE
- GAS LINE
- WATER LINE
- ELECTRIC LINE
- SEWER LINE
- EXISTING CONTOUR
- EXIST. DRAINAGE FLOW
- EXIST. SPOT ELEVATION
- PALO VERDE
- TREE
- MESQUITE TREE
- PALM TREE
- STUMP
- DRAINAGE FLOW ARROW
- PROPOSED SPOT ELEVATION
- PROPOSED CONTOUR

FLOOD INSURANCE RATE

MAP (FIRM) DATA

COMMUNITY #	PANEL #	SUFFIX	BASE FLOOD ELEVATION
040049	1765 OF 4425	L	1250.00
MAP #	PANEL DATE	FIRM INDEX DATE	ZONE
04013C1765L	10/16/2013	07/31/2015	X

*AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

GRADING SPECIFICATIONS

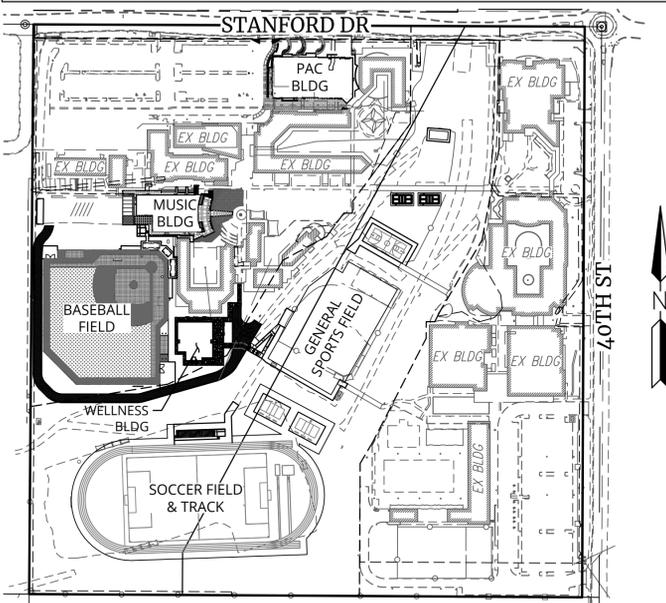
- EXCAVATION AND GRADING OF THIS SITE IS CLASSIFIED AS "ENGINEERED GRADING" PER 2018 I.B.C. AND WILL BE PERFORMED ACCORDINGLY.
- THE CONTRACTOR WILL RETAIN A SOILS ENGINEER DURING CONSTRUCTION TO INSPECT PROGRESS OF CONSTRUCTION. CONCERNING PREPARATION OF GROUND TO RECEIVE FILLS, TESTING AND REQUIRED COMPACTION STABILITY OF ALL FINISH SLOPES INCLUDING CUT SLOPES.
- COMPACTION SHALL COMPLY WITH M.A.G. SECTION 601 AND PROVISIONS AS SET FORTH IN THE APPROVED GEOTECHNICAL REPORT.
- CUT AND FILL SLOPES SHALL BE PER THE APPROVED GEOTECHNICAL REPORT.
- ANY RETAINING WALLS ADJACENT TO THE PROPERTY LINES WILL BE UNDER THE SCOPE OF SPECIAL INSPECTION BY THE SOILS ENGINEER. THE DEVELOPER SHALL NOTIFY THE ADJOINING PROPERTY OWNERS IN WRITING, TEN DAYS PRIOR TO START OF CONSTRUCTION ON THESE WALLS PER SECTION 2903-B OF I.B.C. THE DEVELOPER WILL HAVE TO PROVIDE MEANS OF PROTECTION OF ADJACENT PROPERTY WHILE THIS WORK IS UNDER CONSTRUCTION.
- THE USE OF HYDRAULIC RAM HAMMERS AND HEAVY EQUIPMENT SHALL BE LIMITED TO USE BETWEEN THE HOURS OF 7:00AM AND 6:00PM MONDAY THROUGH SATURDAY WITH NO WORK ON SUNDAY.

FINISH FLOOR CERTIFICATION

I HEREBY CERTIFY THAT FINISHED FLOOR ELEVATIONS SHOWN ON THE PLAN OF 1257.00 ARE MINIMUM OF 12" ABOVE THE 100-YEAR STORM ELEVATION ACCORDING TO THE TOWN OF PARADISE VALLEY CODE OF ORDINANCE.

Zach Hilgart
REGISTERED CIVIL ENGINEER
DATE 12/11/2025

DESCRIPTION	SHEET NO.
COVER SHEET	1
PRELIMINARY GRADING & DRAINAGE PLAN	2



SITE MAP

N.T.S.

EARTHWORK QUANTITIES

CUT: 5,207 C.Y.
FILL: 1,007 C.Y.
NET CUT: 4,200 C.Y.

ALL QUANTITIES LISTED ON THESE PLANS ARE ESTIMATES ONLY. NO SHRINK OR SWELL IS ASSUMED. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF THE QUANTITIES AND BASE THEIR BIDS ON THEIR ESTIMATES.

SITE DATA

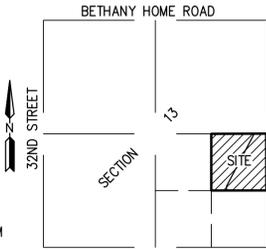
APN: 170-09-001B
ADDRESS: 3901 E STANFORD DR
PARADISE VALLEY, AZ
ZONING: SUP
LOT AREA: 837,659 SF (19.23 AC)
QS #: SE
TOTAL AREA UNDER ROOF: 7,176 SF

UTILITIES

WATER: CITY OF PHOENIX
SANITARY SEWER: CITY OF PHOENIX
ELECTRIC: SRP
TELEPHONE: COX
NATURAL GAS: SWG
CABLE TV: COX

DRAINAGE STATEMENT

- ULTIMATE STORM OUTFALL IS LOCATED AT THE SOUTH EDGE OF THE CUDIA CITY WASH AT AN ELEVATION OF 1253.00.
- PROPOSED DEVELOPMENT DOES NOT IMPACT DRAINAGE CONDITIONS OF ADJOINING LOTS.
- RETENTION IS PROVIDED FOR THE 100-YEAR, 2-HOUR STORM EVENT.
- OFFSITE FLOWS DO NOT IMPACT THE SITE.
- THE FINISH FLOOR ELEVATION OF 1257.00 ARE SAFE FROM INUNDATION DURING A 100-YEAR PEAK RUN-OFF EVENT IF CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS.



VICINITY MAP

NOT TO SCALE

DATE: 12/11/2025	SCALE: AS NOTED	DESIGNED BY: TS	DATE: --/--/--
JOB: 1648.02	REVISIONS: --	DRAWN BY: TS	REVISIONS: --
VERSION: --	NEW WELLNESS CENTER, SOCCER FIELD, TRACK, & BASEBALL FIELD	CHECKED BY: ZH	GRADING & DRAINAGE PLAN COVER SHEET
PLOT DATE: 12/11/2025	3901 EAST STANFORD DRIVE		COVER SHEET

NEW WELLNESS CENTER, SOCCER FIELD, TRACK, & BASEBALL FIELD
3901 EAST STANFORD DRIVE
PARADISE VALLEY, AZ 85253

HILGARTWILSON
HAS JOINED COLLIERS ENGINEERING & DESIGN
4742 N 24th Street, Suite 270 | P: 602-490-0535 | F: 602-368-2436
PHOENIX, AZ 85016 | www.hilgartwilson.com

TOWN OF PARADISE VALLEY
APPROVED FOR PERMIT
53637
ZACH HILGART
12/11/2025
PGO
1 OF 25

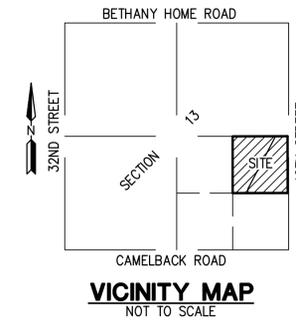
PRELIMINARY STORM WATER MANAGEMENT PLAN

PHOENIX COUNTRY DAY SCHOOL

NEW WELLNESS CENTER AND RENOVATED BASEBALL FIELD

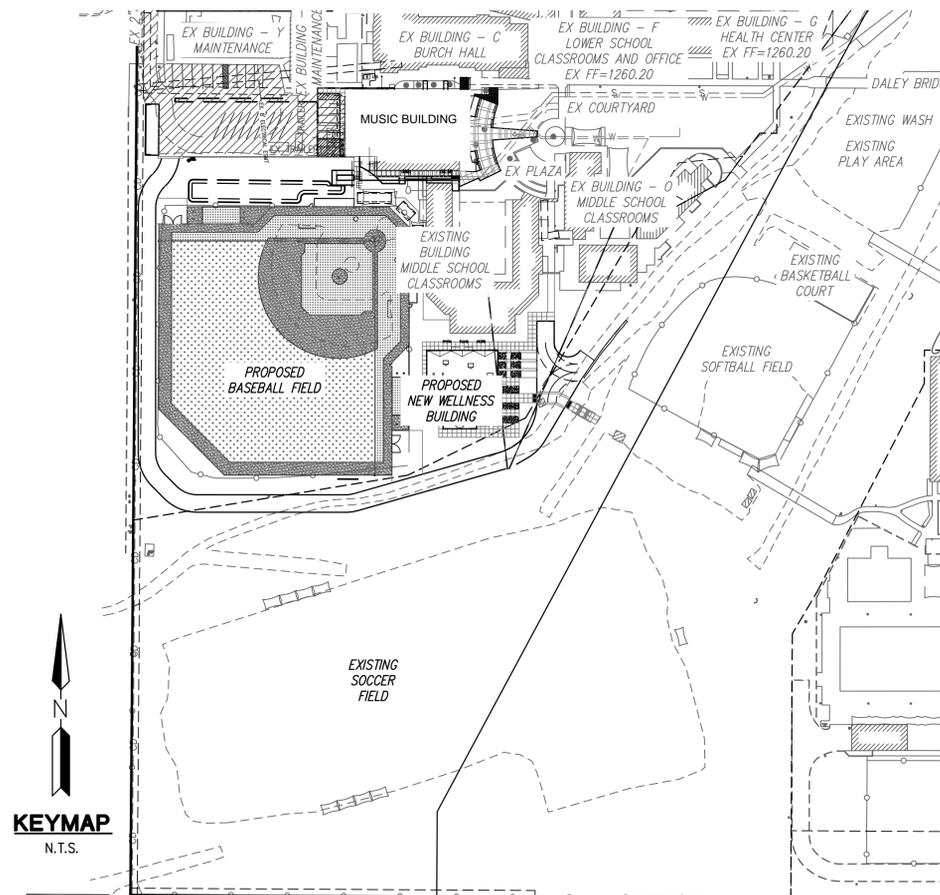
PARADISE VALLEY, ARIZONA

A PORTION OF THE SOUTHEAST QUARTER OF SECTION 13, TOWNSHIP 2 NORTH, RANGE 3 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA



STORMWATER MANAGEMENT PLAN NOTES (COP)

- A COPY OF THE APPROVED GRADING AND DRAINAGE PLAN FOR THIS PROJECT, TOGETHER WITH A COPY OF THE NOTICE OF INTENT (N.O.I.) AND THIS STORM WATER MANAGEMENT PLAN (SWMP), SHALL BE MAINTAINED ON THE SITE AND AVAILABLE FOR REVIEW. THOSE ELEMENTS OF THE GRADING AND DRAINAGE PLAN PERTINENT TO OR REFERENCED ON THE SWMP SHALL BE CONSIDERED A PART OF THE SWMP.
- PLANNING AND DEVELOPMENT DEPARTMENT'S CIVIL/SITE INSPECTION GROUP SHALL BE NOTIFIED 48 HOURS BEFORE ANY ON-SITE AND/OR OFF-SITE CONSTRUCTION BEGINS, AT (602) 262-7811.
- THE OPERATOR SHALL OBTAIN A DUST CONTROL PERMIT FROM MARICOPA COUNTY HEALTH DEPARTMENT AND PERFORM MEASURES AS REQUIRED BY THE PERMIT TO PREVENT EXCESS DUST.
- THE OPERATOR SHALL PERFORM, AT A MINIMUM, A VISUAL INSPECTION OF THE CONSTRUCTION SITE ONCE EVERY MONTH AND WITHIN 24 HOURS OF RAINFALL GREATER THAN OR EQUAL TO A HALF OF AN INCH OR MORE. THE OPERATOR SHALL PREPARE A REPORT DOCUMENTING HIS/HER FINDINGS ON THE CONDITIONS OF THE SWMP CONTROLS AND NOTE ANY EROSION PROBLEM AREAS. THE OPERATOR'S REPORT IS TO BE SUBMITTED TO THE PLANNING AND DEVELOPMENT DEPARTMENT CIVIL/SITE INSPECTOR FOR REVIEW AND APPROVAL. FACILITIES SHALL BE MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING. IN ADDITION, ALL TEMPORARY SILTATION CONTROLS SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL SUCH TIME THAT CLEARING AND/OR CONSTRUCTION IS COMPLETED, PERMANENT DRAINAGE FACILITIES ARE OPERATIONAL, AND THE POTENTIAL FOR EROSION HAS PASSED.
- THE OPERATOR SHALL AMEND THIS PLAN AS NECESSARY DURING THE COURSE OF CONSTRUCTION TO RESOLVE ANY PROBLEM AREAS, WHICH BECOME EVIDENT DURING THE CONSTRUCTION AND/OR DURING RAINFALLS.
- THE PERMITTEE SHALL FILE A NOTICE OF TERMINATION (N.O.T.) AFTER COMPLETION OF CONSTRUCTION AND PLACEMENT OF FINAL LANDSCAPE MATERIALS. THE N.O.T. IS TO BE SUBMITTED TO THE PLANNING AND DEVELOPMENT DEPARTMENT CIVIL/SITE INSPECTOR TO FINAL THE SWMP PERMIT.
- THE PERMITTEE SHALL SAVE ALL RECORDS, INCLUDING THE N.O.I., SWMP, N.O.T., AND INSPECTION REPORTS, ON FILE FOR A MINIMUM OF THREE YEARS FROM THE DATE OF FILING THE N.O.T.
- THE IMPLEMENTATION OF THESE PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE FACILITIES IS THE RESPONSIBILITY OF THE PERMITTEE/CONTRACTOR UNTIL ALL CONSTRUCTION IS APPROVED AND THE N.O.T. IS SUBMITTED TO THE PLANNING AND DEVELOPMENT DEPARTMENT CIVIL/SITE INSPECTOR.
- THE FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES IN SUCH A MANNER AS TO INSURE THAT SEDIMENT-LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM OR VIOLATE APPLICABLE WATER STANDARDS, AND MUST BE INSTALLED AND IN OPERATION PRIOR TO ANY GRADING OR LAND CLEARING. WHEREVER POSSIBLE, MAINTAIN NATURAL VEGETATION FOR SILT CONTROL.
- PLAN APPROVAL IS VALID FOR 180 DAYS. PRIOR TO PLAN APPROVAL EXPIRATION, ALL ASSOCIATED PERMITS SHALL BE PURCHASED OR THE PLANS SHALL BE RESUBMITTED FOR EXTENSION OF PLAN APPROVAL. THE EXPIRATION, EXTENSION, AND REINSTATEMENT OF CIVIL ENGINEERING PLANS AND PERMITS SHALL FOLLOW THE SAME GUIDELINES AS THOSE INDICATED IN THE PHOENIX BUILDING CONSTRUCTION CODE ADMINISTRATIVE PROVISIONS SECTION 105.3 FOR BUILDING PERMITS.



OWNER

PHOENIX COUNTRY DAY SCHOOL
3901 E STANFORD DR
PARADISE VALLEY, ARIZONA 85253

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ARCHITECT

ADM GROUP
2100 W 15TH STREET
TEMPE ARIZONA 85281
CONTACT: BEN BARCON
PHONE: (480) 285-3800

SITE PLAN

APN: 170-09-001B
EXISTING ZONING: SUP
NET AREA: 1,476,923 SF
GROSS AREA: 1,743,699 SF
DISTURBED AREA:

BASIS OF BEARING

BASIS OF BEARING IS S00°15'38"W ALONG THE EAST LINE OF THE SOUTHEAST QUARTER OF SECTION 13, TOWNSHIP 2 NORTH, RANGE 3 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, BETWEEN THE MONUMENTS AS SHOWN HEREON.

SHEET INDEX

C3.0 COVER SHEET
C3.1 DETAILS
C3.2-C3.3 STORM WATER MANAGEMENT PLAN

TITLE COMMITMENT LEGAL DESCRIPTION

A PORTION OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 13, TOWNSHIP 2 NORTH, RANGE 3 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE EAST QUARTER CORNER OF SAID SECTION 13, MARKED BY A FOUND BRASS CAP IN HAND HOLE, FROM WHICH THE SOUTHEAST CORNER, MARKED BY A FOUND BRASS CAP IN HAND HOLE, THEREOF BEARS SOUTH 00°15'38" WEST, 2680.21 FEET;
THENCE NORTH 89°46'03" WEST, 40.00 FEET ON THE NORTHERLY BOUNDARY OF SAID NORTHEAST QUARTER OF THE SOUTHEAST QUARTER TO THE POINT OF BEGINNING;
THENCE LEAVING SAID NORTHERLY BOUNDARY, SOUTH 00°15'38" WEST, 1340.04 FEET ON THE WESTERLY BOUNDARY OF THE EAST 40.00 FEET OF SAID NORTHEAST QUARTER OF THE SOUTHEAST QUARTER;
THENCE LEAVING SAID WESTERLY BOUNDARY, NORTH 89°40'12" WEST, 1304.43 FEET ON THE SOUTHERLY BOUNDARY OF SAID NORTHEAST QUARTER OF THE SOUTHEAST QUARTER TO THE SOUTHWEST CORNER THEREOF;
THENCE NORTH 00°26'33" EAST, 1337.82 FEET ON WESTERLY BOUNDARY OF SAID NORTHEAST QUARTER OF THE SOUTHEAST QUARTER TO THE NORTHWEST CORNER THEREOF;
THENCE SOUTH 89°46'03" EAST, 1300.19 FEET ON THE NORTHERLY BOUNDARY OF SAID NORTHEAST QUARTER OF THE SOUTHEAST QUARTER TO THE POINT OF BEGINNING.

FLOOD ZONE DESIGNATION

THE FOLLOWING FLOOD PLAIN DESIGNATION AND ASSOCIATED COMMENTS ARE COPIED DIRECTLY FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) WEBSITE. HILGARTWILSON, LLC AND THE UNDERSIGNED REGISTERED PROFESSIONAL LAND SURVEYOR MAKE NO STATEMENT AS TO THE ACCURACY OR COMPLETENESS OF THE FOLLOWING FLOOD ZONE DESIGNATION STATEMENT.

A PORTION OF THE SUBJECT PROPERTY LIES WITHIN SHADED ZONE "X" WITH A DEFINITION OF: 0.2-PERCENT-ANNUAL-CHANCE FLOODPLAIN, AREAS OF 1-PERCENT-ANNUAL-CHANCE (BASE FLOOD) SHEET FLOW FLOODING WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT, AREAS OF BASE FLOOD STREAM FLOODING WITH A CONTRIBUTING DRAINAGE AREA OF LESS THAN 1 SQUARE MILE, OR AREAS PROTECTED FROM THE BASE FLOOD BY LEVEES. NO BFES OR DEPTHS ARE SHOWN IN THIS ZONE, AND INSURANCE PURCHASE IS NOT REQUIRED. DESIGNATION DETERMINED BY FEMA FLOOD ZONE MAP 04013C1765L, PANEL NUMBER 1765 OF 4425, EFFECTIVE DATE OCTOBER 16, 2013.

REV: _____

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PHOENIX, AZ 85016
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PHOENIX COUNTRY DAY SCHOOL
3901 E STANFORD DRIVE
PARADISE VALLEY, ARIZONA

STORM WATER MANAGEMENT PLAN

HILGARTWILSON
PROJ NO.: 1648
DATE: OCT 2025
SCALE: N.T.S.
DRAWN: HW
DESIGNED: HW
APPROVED: ZH

DWG. NO.
C3.0
SHT. 1 OF 3



EC-7 EC-7: Dust Control

DEFINITION

A comprehensive plan to limit offsite sediment depression by minimizing or controlling airborne fugitive dust.

GENERAL INFORMATION	
Applicability - Effectiveness	Perimeter and Access Controls - high
Most effective when used with:	EC-5 Stabilized Construction Entrance EC-6 Construction Road Stabilization GH-6 Road Sweeping/Trackout Cleaning
Alternative BMPs:	For long term dust control, consider SPC-6 Revegetation

RATINGS			
Associated Costs	H	M	L
Implementation			X
Maintenance	X		
Training			X
Target Pollutants Removal	H	M	L
Oil and Grease			X
Nutrients			X
Sediment	X		
Floatable Material			X
Metals		X	
Other Construction Waste			X

FIGURES	
Photos/Sketches	EC-7 Dust Control Photos
Tables	Commonly Used Dust Suppressants

GH-6 GH-6: Road Sweeping/Trackout Cleaning

DEFINITION

Road trackout cleaning procedures refer to methods to remove tracked sediment around construction site points of egress.

GENERAL INFORMATION	
Applicability - Effectiveness	Perimeter and Access Controls - high Debris Management, Cleanup, and Washout - high
Most effective when used with:	EC-5 Stabilized Construction Entrance EC-6 Construction Road Stabilization EC-7 Dust Control
Alternative BMPs:	None

RATINGS			
Associated Costs	H	M	L
Implementation		X	
Maintenance	X		
Training		X	
Target Pollutants Removal	H	M	L
Oil and Grease			X
Nutrients			X
Sediment	X		
Floatable Material	X		
Metals		X	
Other Construction Waste	X		

FIGURES	
Photos/Sketches	GH-6 Road Sweeping/Trackout Cleaning Photos
CAD Drawings	None

GH-3 GH-3: Equipment Maintenance Procedures

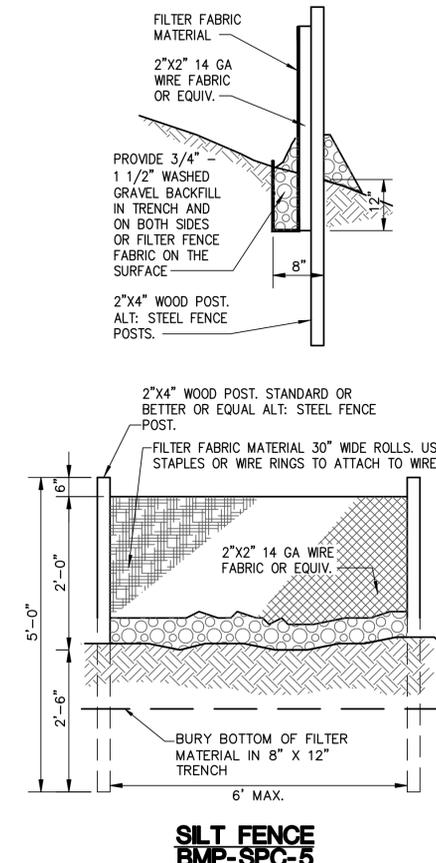
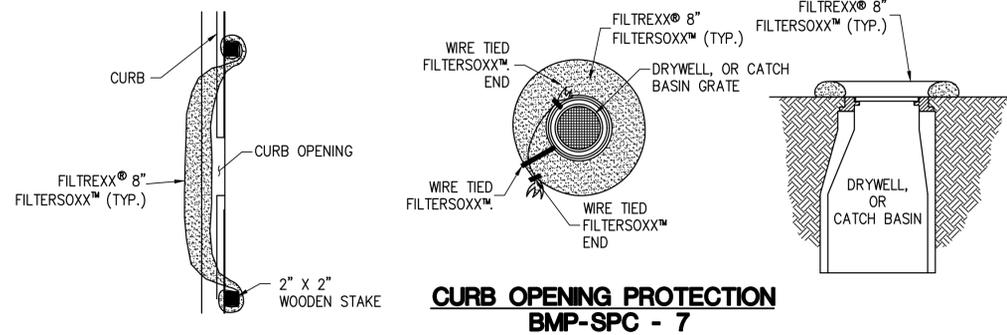
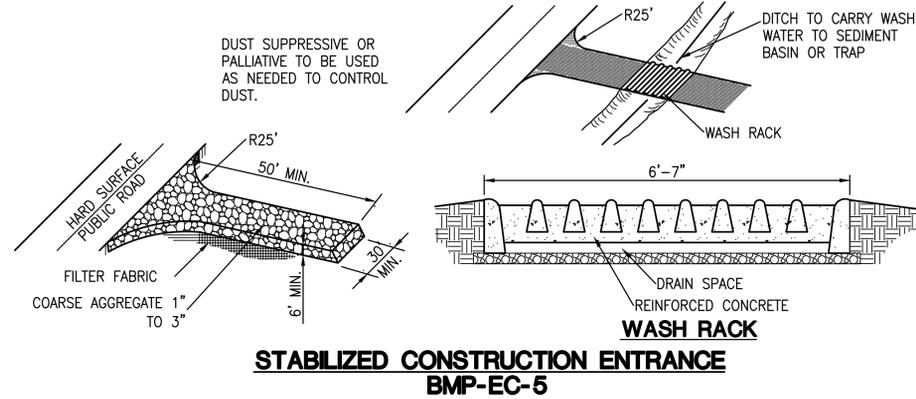
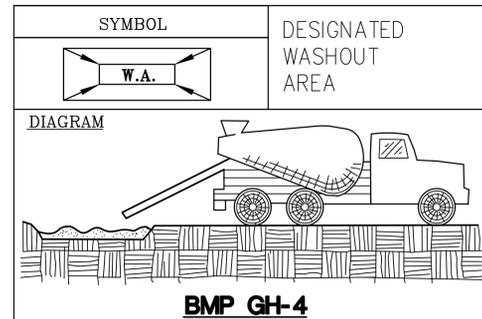
DEFINITION

Establish a program of equipment maintenance procedures, which will reduce contamination of onsite soils.

GENERAL INFORMATION	
Applicability - Effectiveness	Equipment Storage/Maintenance - high Debris Management, Cleanup, and Washout - moderate Trash Collection/Management - moderate
Most effective when used with:	GH-1: Chemical Management GH-4: Designated Washdown Areas GH-5: Spill Containment Plan
Alternative BMPs:	None

RATINGS			
Associated Costs	H	M	L
Implementation		X	
Maintenance		X	
Training		X	
Target Pollutants Removal	H	M	L
Oil and Grease	X		
Nutrients			X
Sediment			X
Floatable Material			X
Metals	X		
Other Construction Waste	X		

FIGURES	
Photos/Sketches	Equipment Maintenance Procedures Photos
CAD Drawings	None



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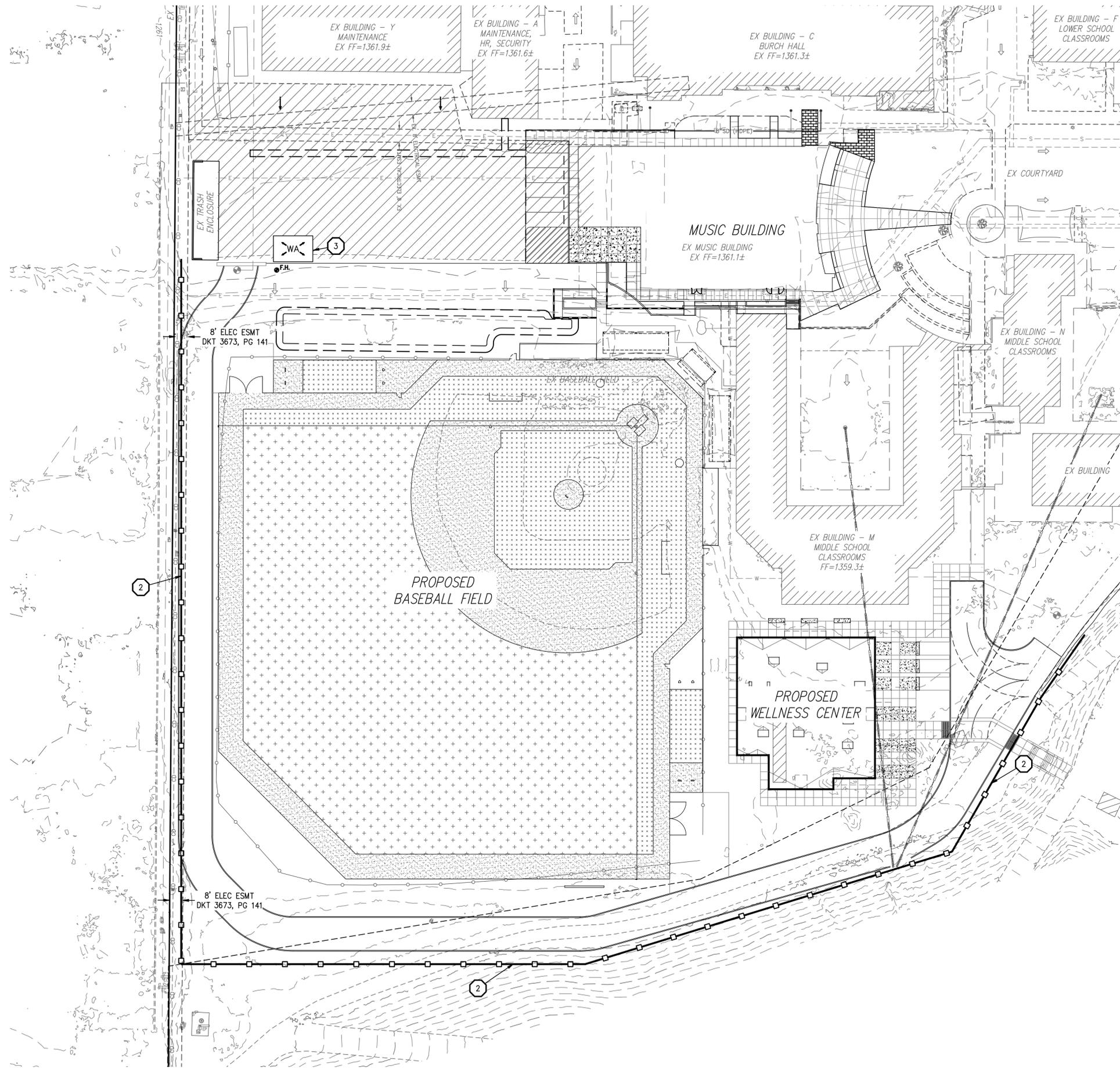
PHOENIX COUNTRY DAY SCHOOL
3901 E STANFORD DRIVE
PARADISE VALLEY, ARIZONA
DETAILS

HILGARTWILSON
PROJ NO.: 1648
DATE: OCT 2025
SCALE: N.T.S.
DRAWN: HW
DESIGNED: HW
APPROVED: ZH

DWG. NO.
C3.1
SHT. 2 OF 3

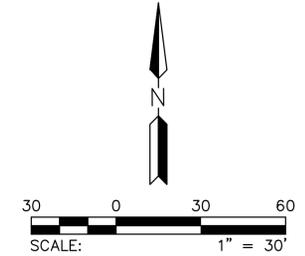


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- STORMWATER MANAGEMENT PLAN CONSTRUCTION NOTES**
- 1 CONSTRUCT AND MAINTAIN A 30' WIDE X 50' LONG STABILIZED CONSTRUCTION ENTRANCE PER EC-5 ON SHEET C3.1. FINAL LOCATION TO BE DETERMINED BY CONTRACTOR.
 - 2 INSTALL SILT FENCE, PER SPC-5 ON SHEET C3.1. FINAL LOCATION TO BE DETERMINED BY CONTRACTOR.
 - 3 CONSTRUCT AND MAINTAIN A STABILIZED EQUIPMENT DESIGNATED WASH OUT AREA PER GH-4 ON SHEET C3.1. FINAL LOCATION TO BE DETERMINED BY CONTRACTOR.
 - 4 POST SIGN NEAR THE MAIN ENTRANCE WITH AZPEDS AUTHORIZATION NUMBER, NAME AND TELEPHONE NUMBER OF CONTACT PERSON AND A BRIEF DESCRIPTION OF PROJECT.
 - 5 MATERIALS STORAGE AND EQUIPMENT MAINTENANCE. CONTRACTOR TO LOCATE FINAL LOCATION PER BMP GH-3 ON SHEET C3.0.
 - 6 PLACE FIBER ROLL PER BMP SPC-7, ON SHEET C3.1, OR GEOTEXTILE FABRIC, AT CATCH BASINS, DRYWELLS & STORM DRAIN INLETS ON SHEET C3.1.
 - 7 CONTRACTOR TO PROVIDE ROAD SWEEPING/TRACKOUT CLEANING AS NECESSARY PER GH-6 ON SHEET C3.0.
 - DC APPLY DUST CONTROL MEASURES OVER DISTURBED AREAS, PER EC-7 ON SHEET C3.0.

- LEGEND**
- CENTER LINE
 - - - PROPERTY LINE
 - · - · - GRADE BREAK
 - 60 - EXISTING CONTOUR
 - 60 - PROPOSED CONTOUR
 - □ - SILT FENCE
 - □ - LIMITS OF DISTURBANCE
 - □ - SWALE
 - □ - (ESO) ELEVATION SITE OUTFALL
 - □ - DRAINAGE PATTERN
 - □ - EX. DRAINAGE PATTERN
 - # - CONSTRUCTION NOTE CALLOUT
 - □ - INLET PROTECTION
 - □ - CONSTRUCTION ENTRANCE
 - WA - WASH OUT AREA
 - □ - MATERIALS STORAGE AND EQUIPMENT MAINTENANCE AREA



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PHOENIX COUNTRY DAY SCHOOL
 3901 E STANFORD DRIVE
 PARADISE VALLEY, ARIZONA

STORM WATER MANAGEMENT PLAN

HILGARTWILSON
 PROJ NO.: 1648
 DATE: OCT 2025
 SCALE: 1" = 30'
 DRAWN: HW
 DESIGNED: HW
 APPROVED: ZH

DWG. NO.
C3.2

SHT. 3 OF 3

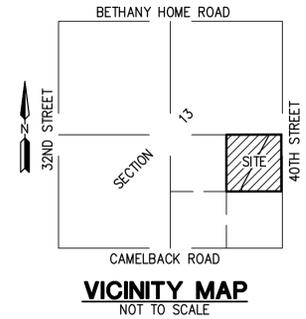
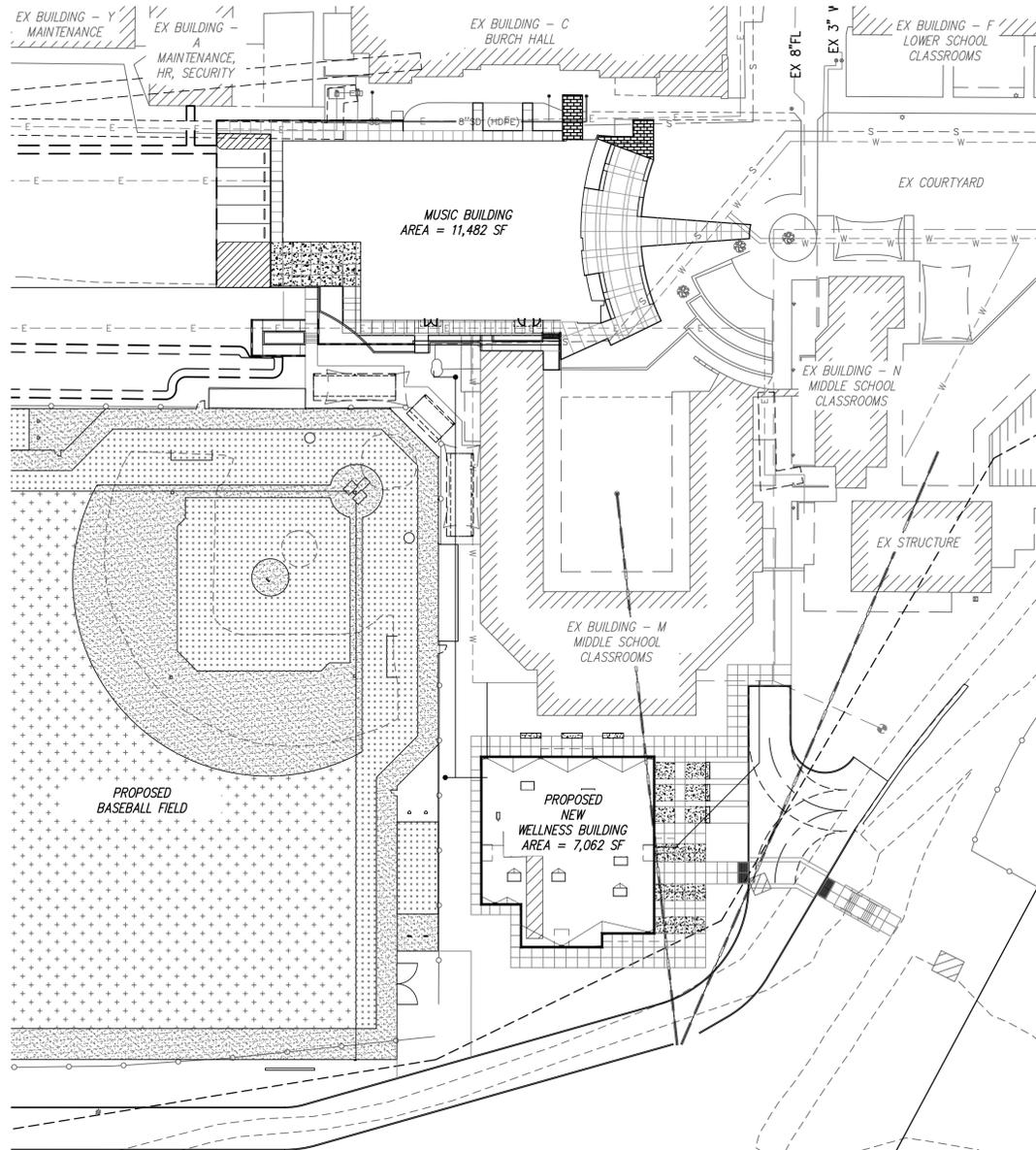
PRELIMINARY UTILITY PLAN

PHOENIX COUNTRY DAY SCHOOL

NEW WELLNESS CENTER AND RENOVATED BASEBALL FIELD

PARADISE VALLEY, ARIZONA

A PORTION OF THE SOUTHEAST QUARTER OF SECTION 13, TOWNSHIP 2 NORTH, RANGE 3 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA



TITLE COMMITMENT LEGAL DESCRIPTION

PARCEL NO. 1:
 BEGINNING AT THE SOUTHWEST CORNER OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION THIRTEEN (13), TOWNSHIP TWO (2) NORTH, RANGE THREE (3) EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN;
 THENCE NORTH 89 DEGREES 53 MINUTES 30 SECONDS EAST, ALONG THE SOUTH LINE OF SAID NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 13, A DISTANCE OF 361.31 FEET TO A POINT;
 THENCE NORTH 00 DEGREES 06 MINUTES 30 SECONDS WEST A DISTANCE OF 100.00 FEET TO A POINT;
 THENCE NORTH 27 DEGREES 53 MINUTES 59 SECONDS EAST A DISTANCE OF 1404.16 FEET TO A POINT ON THE NORTH LINE OF SAID NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 13, FROM WHICH POINT THE EAST QUARTER CORNER OF SAID SECTION 13 BEARS NORTH 89 DEGREES 47 MINUTES 40 SECONDS EAST A DISTANCE OF 322.00 FEET;
 THENCE SOUTH 89 DEGREES 47 MINUTES 40 SECONDS WEST, ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 13, A DISTANCE OF 1018.18 FEET TO THE NORTHWEST CORNER OF SAID NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 13;
 THENCE SOUTH ALONG THE WEST LINE OF THE SAID NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 13, A DISTANCE OF 1337.99 FEET TO THE POINT OF BEGINNING.

PARCEL NO. 2:
 A PORTION OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION THIRTEEN (13), TOWNSHIP TWO (2) NORTH, RANGE THREE (3) EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, DESCRIBED AS FOLLOWS:
 BEGINNING AT THE EAST QUARTER CORNER OF SAID SECTION 13;
 THENCE SOUTH 00 DEGREES 10 MINUTES 31 SECONDS EAST (ASSUMED BEARING) ALONG THE EASTERLY LINE OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 13, A DISTANCE OF 1340.30 FEET TO THE SOUTHEAST CORNER OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 13;
 THENCE SOUTH 89 DEGREES 53 MINUTES 30 SECONDS WEST ALONG THE SOUTH LINE OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 13, A DISTANCE OF 982.97 FEET; TO THE SOUTHEAST CORNER OF PREMISES CONVEYED TO PHOENIX COUNTRY DAY SCHOOL BY DEED RECORDED IN DOCKET 3540, PAGE 18;
 THENCE NORTH 00 DEGREES 06 MINUTES 30 SECONDS WEST ALONG THE SOUTHEASTERLY LINE OF SAID PHOENIX COUNTRY DAY SCHOOL PREMISES A DISTANCE OF 100 FEET TO AN ANGLE POINT;
 THENCE NORTH 27 DEGREES 53 MINUTES 59 SECONDS EAST, CONTINUING ALONG THE SAID SOUTHEASTERLY LINE, A DISTANCE OF 1404.16 FEET TO A POINT ON THE NORTH LINE OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 13, TO THE NORTHEAST CORNER OF SAID PHOENIX COUNTRY DAY SCHOOL PREMISES;
 THENCE NORTH 89 DEGREES 47 MINUTES 40 SECONDS EAST ALONG THE NORTH LINE OF SAID NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 13, A DISTANCE OF 322.00 FEET TO THE POINT OF BEGINNING;
 EXCEPT THE EAST 40 FEET THEREOF.

FLOOD ZONE DESIGNATION

THE FOLLOWING FLOOD PLAIN DESIGNATION AND ASSOCIATED COMMENTS ARE COPIED DIRECTLY FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) WEBSITE. HILGARTWILSON, LLC AND THE UNDERSIGNED REGISTERED PROFESSIONAL LAND SURVEYOR MAKE NO STATEMENT AS TO THE ACCURACY OR COMPLETENESS OF THE FOLLOWING FLOOD ZONE DESIGNATION STATEMENT.

A PORTION OF THE SUBJECT PROPERTY LIES WITHIN SHADED ZONE "X" WITH A DEFINITION OF: 0.2-PERCENT-ANNUAL-CHANCE FLOODPLAIN, AREAS OF 1-PERCENT-ANNUAL-CHANCE (BASE FLOOD) SHEET FLOW FLOODING WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT, AREAS OF BASE FLOOD STREAM FLOODING WITH A CONTRIBUTING DRAINAGE AREA OF LESS THAN 1 SQUARE MILE, OR AREAS PROTECTED FROM THE BASE FLOOD BY LEVEES. NO BFES OR DEPTHS ARE SHOWN IN THIS ZONE, AND INSURANCE PURCHASE IS NOT REQUIRED. DESIGNATION DETERMINED BY FEMA FLOOD ZONE MAP 04013C1765L, PANEL NUMBER 1765 OF 4425, EFFECTIVE DATE OCTOBER 16, 2013.

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ARCHITECT

ADM GROUP
 2100 W 15TH STREET
 TEMPE ARIZONA 85281
 CONTACT: BEN BARCON
 PHONE: (480) 285-3800

BASIS OF BEARING

BASIS OF BEARING IS S00°15'38"W ALONG THE EAST LINE OF THE SOUTHEAST QUARTER OF SECTION 13, TOWNSHIP 2 NORTH, RANGE 3 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, BETWEEN THE MONUMENTS AS SHOWN HEREON.

SITE PLAN

APN: 170-09-001B
 EXISTING ZONING: SUP
 NET AREA: 71,874 SF
 GROSS AREA: 71,874 SF
 DISTURBED AREA: 1.65 AC

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 PHOENIX, AZ 85016
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 3901 E STANFORD DRIVE
 PARADISE VALLEY, ARIZONA
COVER SHEET

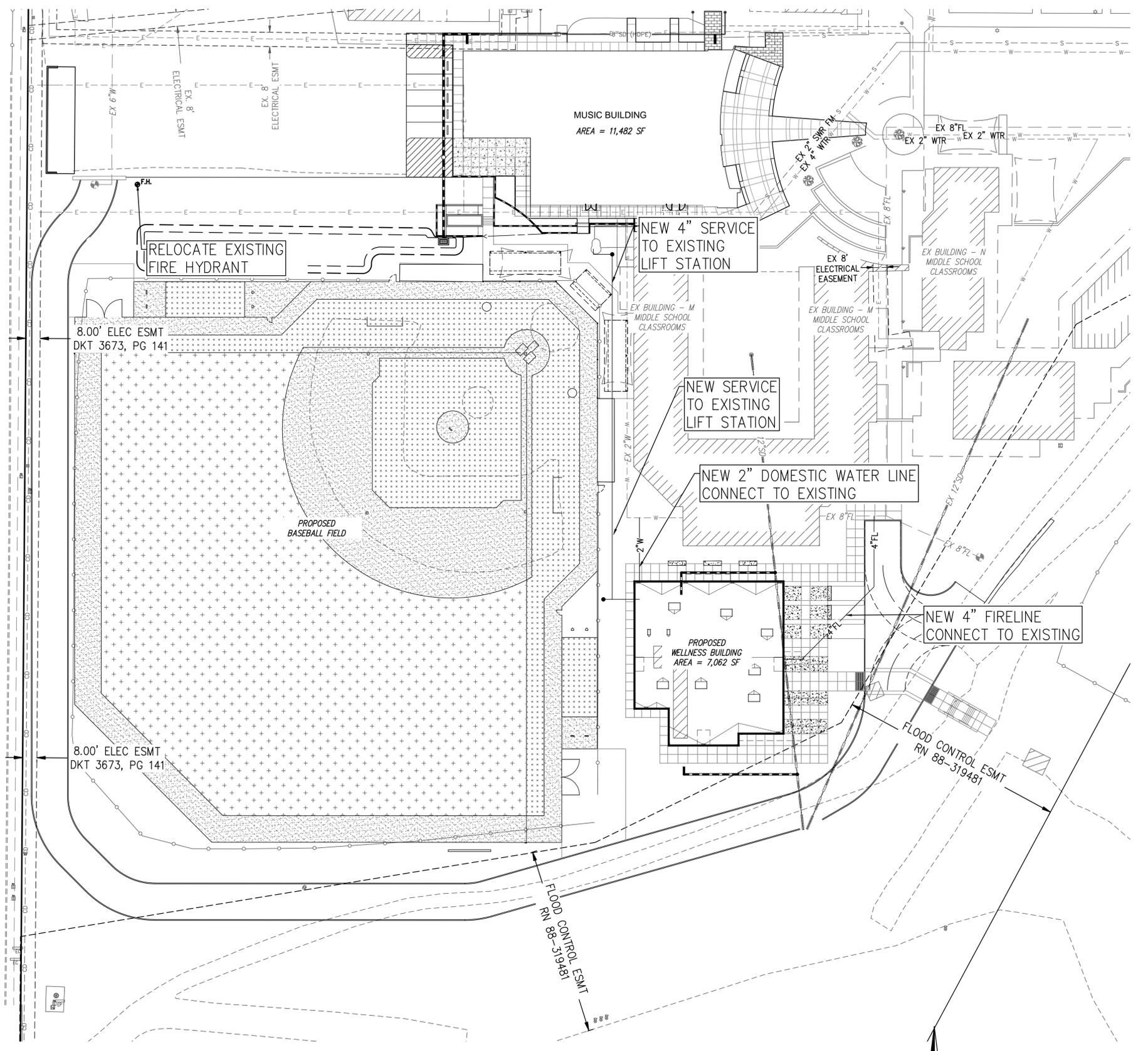
HILGARTWILSON
 PROJ NO.: 1648
 DATE: OCT 2025
 SCALE: N.T.S.
 DRAWN: HW
 DESIGNED: HW
 APPROVED: ZH

DWG. NO.
PU01
 SHT. 1 OF 2

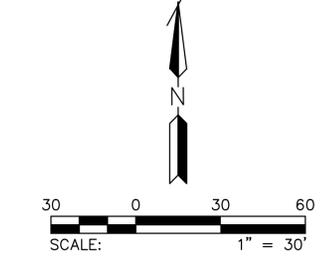


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LEGEND	
	FOUND BRASS CAP IN HAND HOLE
	FOUND BRASS CAP FLUSH
	BOUNDARY LINE
	EASEMENT LINE
	CENTER LINE
	RIGHT OF WAY LINE
TC=	TOP OF CURB
C=	CONCRETE
P=	PAVEMENT
G=	GUTTER
GR=	GRATE
FF=	FINISHED FLOOR
FG=	FINISHED GRADE
PUE	PUBLIC UTILITY EASEMENT
CL	CENTERLINE
R/W	RIGHT OF WAY
	CONTOUR (EX.)
	CONTOUR (PROPOSED)
	CHAINLINK FENCE (PROPOSED)
	EX. WROUGHT IRON FENCE
	EX. CHAINLINK FENCE
	EX. ELECTRIC METER
	EX. ELECTRIC JUNCTION BOX
	EX. ELECTRIC TRANSFORMER
	EX. ELECTRIC PULL BOX
	EX. LIGHT POLE
	EX. AIR CONDITIONER UNIT
	EX. FLAG POLE
	EX. TELEPHONE PEDESTAL
	EX. IRRIGATION CONTROL VALVE
	EX. FIRE DEPARTMENT CONNECTION
	EX. FIRE HYDRANT
	EX. WATER VALVE
	EX. GAS VALVE
	EX. SANITARY SEWER MANHOLE
	EX. SEWER CLEAN OUT
	PROPOSED FLOW ARROW
	EXISTING FLOW ARROW



REV:

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PHOENIX COUNTRY DAY SCHOOL
 3901 E STANFORD DRIVE
 PARADISE VALLEY, ARIZONA
UTILITY PLAN

HILGARTWILSON	PROJ NO.: 1648	DWG. NO. PU02
DATE: OCT 2025	SCALE: 1" = 30'	SHT. 2 OF 2
DRAWN: HW	DESIGNED: HW	APPROVED: ZH



General Illumination Shower Downlight

6"

Feature Set

- Wipe down flush or recessed lens
- NSF2 Splash/Non-food Zone
- Fully serviceable and upgradeable lensed LED light engine
- 70% lumen maintenance at 60,000 hours
- 2.5 MacAdam ellipse; 85 CRI typical, 90+ CRI optional
- IP66 rated room-side, Fixtures are wet location, covered ceiling
- Anti-microbial paint finish, optional
- Non-conductive dead-front trim
- Suitable for steam room application
- UGR of zero for fixtures aimed at nadir with a cut-off equal to or less than 60deg per CIE 117-1995 Discomfort Glare in Interior Lighting. UGR FAQ

Distribution

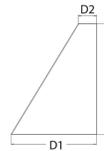
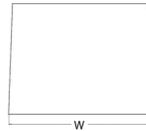


FIXTURE TYPE A



Specifications

- Depth (D1): 7"
- Depth (D2): 1.5"
- Height: 9"
- Width: 11.5"
- Weight: 13.5 lbs (without options)



FIXTURE TYPE B



WDGE2 LED
Architectural Wall Sconce
Visual Comfort Optic



Introduction

The WDGE2 LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with nLight® AIR wireless controls, the WDGE2 family provides additional energy savings and code compliance. WDGE2 delivers up to 6,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. When combined with multiple integrated emergency battery backup options, including an 18W cold temperature option, the WDGE2 becomes the ideal wall-mounted lighting solution for pedestrian scale applications in any environment.

PROJECT NAME: _____ QUANTITY: _____ TYPE: _____
ORDERING CODE: _____



- Cast aluminum driver housing, includes galvanized steel wall mount pressure plate.
- Cast aluminum top cover.
- Extruded aluminum cylindrical housing.
- Fully sealed cast aluminum light assembly.
- Sealed cast aluminum lens frame.
- Clear tempered glass lens.
- Faceted specular aluminum reflector.
- All stainless steel hardware.



FIXTURE TYPE C

Symbol	Label	QTY	Manufacturer	Catalog	Description	Lamp	Number Lamps	Lamp Output	LLF	Input Power	Mounting Height
⊙	A	9 (CANOPY)	GOtham	EVO6SH 27/20 DFF SMO 120	ROUND LED DOWNLIGHT SHOWER LENS AND WIDE DISTRIBUTION	2700K LED	1	2000	0.91	20W	11'
□	B	6 (WALL)	LITHONIA	WDGE2	RECTANGLE LED, COMFORT SHEILD WIDE DISTRIBUTION	2700K LED	1	1200	0.91	10W	15'
⊙	C	7 (WALL)	LUMINIS	SY300-L1L10-WD-27K	ROUND LED WALL MOUNT CYLINDER WIDE DISTRIBUTION	2700K LED	1	2000	0.91	12W	9'

DRAWINGS ARE PROVIDED FOR CITY PRE-APPLICATION AND SHOWS PROPOSED SITE LIGHTING AND PHOTOMETRICS. THESE DRAWINGS ARE NOT TO BE USED FOR PRICING OR CONSTRUCTION AND DOES NOT INCLUDE DETAILS ON CIRCUITING, CONTROLS, OR FINAL FIXTURE SPECIFICATIONS.

ABBREVIATIONS

- DS DISTRIBUTION SECTION
- EF EXHAUST FAN
- EMT ELECTRICAL METALLIC TUBING
- G/GRD COPPER GROUNDING/BONDING CONDUCTOR
- GF/GFP GROUND FAULT PROTECTED
- GFI/GFCI GROUND FAULT CIRCUIT INTERRUPTER
- IG ISOLATED GROUND CONDUCTOR/RECEPTACLE
- LC LIGHTING CONTACTOR
- LKH LOCK ON DEVICE FOR CIRCUIT BREAKER
- LOTO LOCK OUT TAG OUT DEVICE FOR CIRCUIT BREAKER
- MCC MOTOR CONTROL CENTER
- MS METER SECTION
- N NEUTRAL CONDUCTOR
- NF NON-FUSED
- NIC NOT IN CONTRACT
- NL NIGHT LIGHT
- PNL PANEL
- PVC RIGID PVC CONDUIT, SCHEDULE 40 UNO
- PS PULL SECTION
- RMC RIGID METAL CONDUIT
- SES SERVICE ENTRANCE SWITCHBOARD
- SF SUPPLY FAN
- ST SHUNT TRIP
- SWBD SWITCHBOARD
- TC TIME CLOCK
- UNO UNLESS NOTED OTHERWISE
- VFD VARIABLE FREQUENCY DRIVE
- WP WEATHERPROOF
- XFMR TRANSFORMER

GENERAL NOTES

1. PRIOR TO ROUGH-IN AND FINAL CONNECTION, VERIFY ELECTRICAL CHARACTERISTICS AND EXACT LOCATION OF EQUIPMENT.
2. COORDINATE THE SCHEDULE OF CONSTRUCTION WITH THE OWNER AND OTHER TRADES (PRIOR TO STARTING ANY WORK).
3. GROUT AND SEAL ALL CONDUIT PENETRATIONS OF WALLS AND FLOOR SLABS TO PRESERVE FIRE RATING AND WATERTIGHT INTEGRITY.
4. DRAWINGS SHOW EXISTING CONDITIONS OF THE SITE. AN ATTEMPT HAS BEEN MADE TO SHOW EXISTING BUILDINGS, DETAILS, ETC., BUT ACCURACY CANNOT BE GUARANTEED. VERIFY EXACT LOCATIONS OF ALL CIRCUITS, CONDUIT, PIPING, EQUIPMENT, ETC. VERIFY ALL BUILDING DETAILS.
5. THE OWNER WILL OCCUPY THE EXISTING SITE DURING THE LIFE OF THIS CONTRACT AND ALL WORK SHALL BE SCHEDULED AT SUCH TIME AND IN SUCH A MANNER TO MINIMIZE INTERFERENCE AND INCONVENIENCE TO THE OWNER. THE ELECTRICAL CONTRACTOR MUST OBTAIN THE APPROVAL OF THE CONSTRUCTION MANAGER OR OWNER BEFORE STARTING ANY WORK WITHIN THE EXISTING BUILDING.

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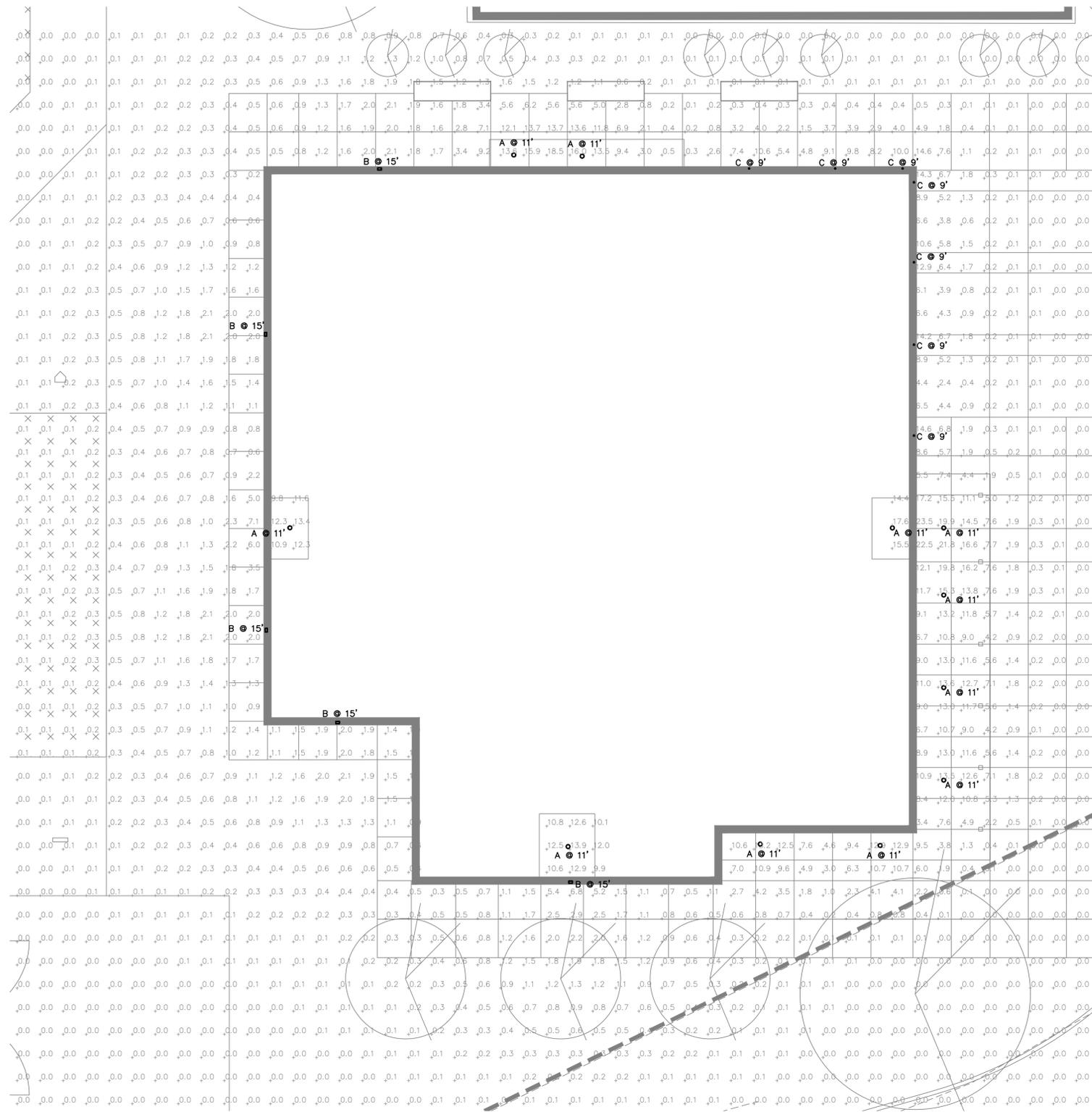
Revisions	Date
▲ SUP CITY COMMENTS	7-25-2025
▲ SUP REVISIONS	10-02-2025

Project Number	7189-102
Date	10-02-2025
Drawn By	TM
Checked By	NAS

ELECTRICAL SYMBOLS, NOTES & CUTSHEETS



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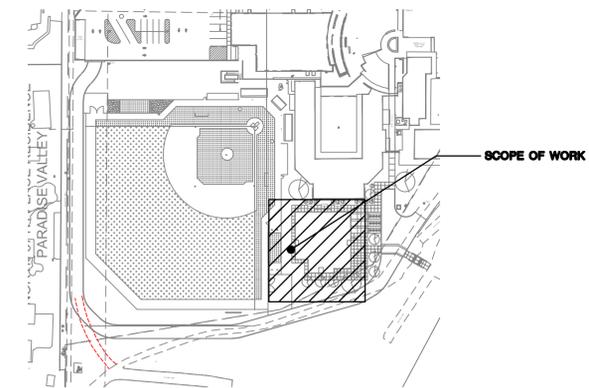
PHOTOMETRY - WELLNESS BLDG.
SCALE: 1/8" = 1'-0"

SHEET NOTES

- PER TOWN OF PARADISE VALLEY ORDINANCE, BUILDING WALL PACK FIXTURES SHALL BE SHIELDED OR HOODED WITH AN OPAQUE COVER SO THAT IT IS NOT VISIBLE FROM OFF THE PROPERTY AND SHALL NOT BE HIGHER THAN TWENTY (20) FEET ABOVE NATURAL OR EXCAVATED GRADE, WHICHEVER IS LOWER. EACH SECURITY/SAFETY LUMINAIRE SHALL NOT EXCEED 1200 LUMENS. FIXTURES SHALL BE CONTROLLED BY AN INTEGRATED MOTION SENSOR AND BUILDING TIME-CLOCK.

PHOTOMETRY NOTES

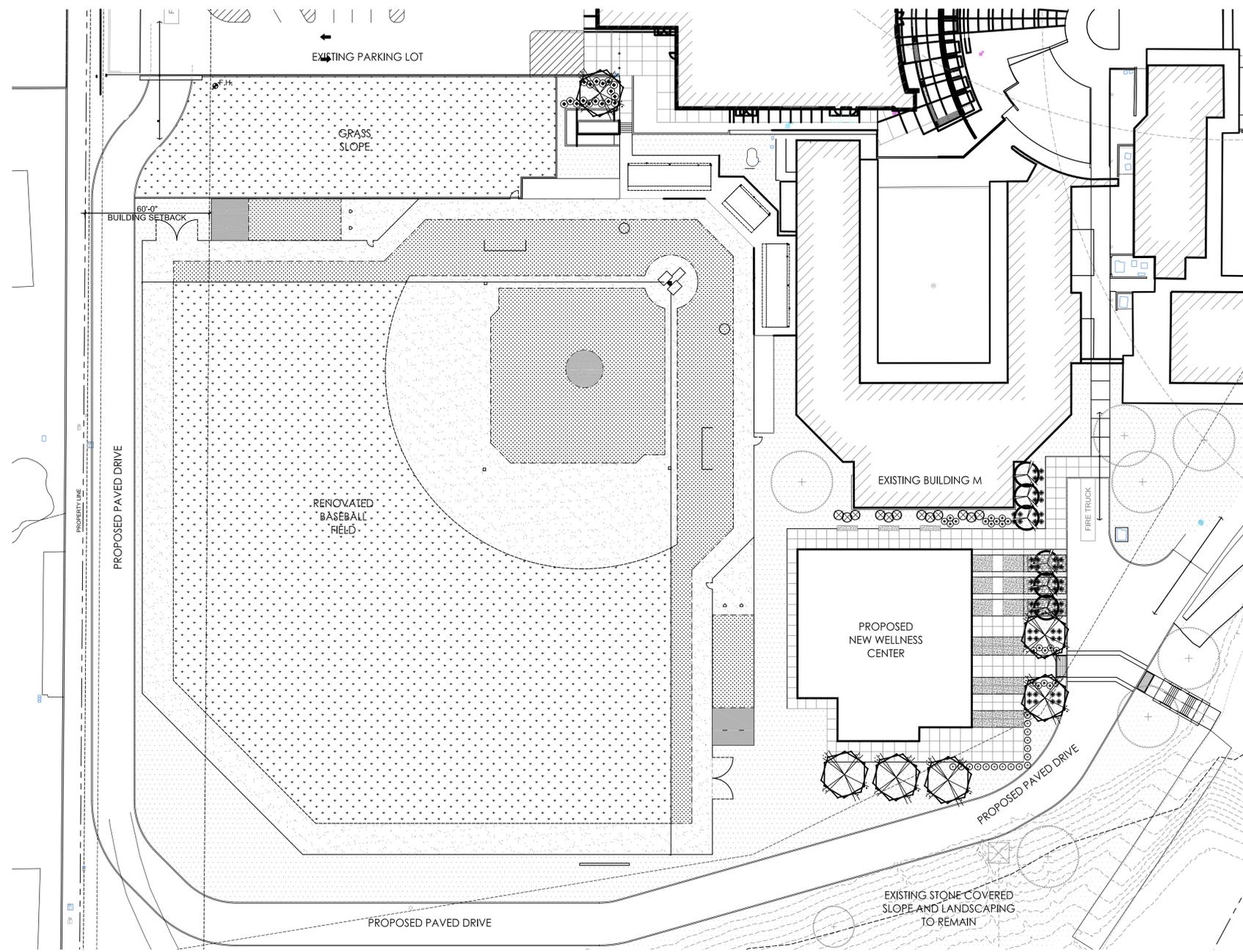
- EXTERIOR LUMINAIRES SHALL NOT PROVIDE LIGHT IN EXCESS OF 0.75 FOOT CANDLES OR EQUIVALENT LUX OF PROJECTED BRIGHTNESS MEASURED AT THE NEAREST PROPERTY LINE PER CITY OF PARADISE VALLEY ORDINANCE.
- EACH LIGHTING OR ILLUMINATING DEVICE SHALL BE SET BACK FROM THE NEAREST PROPERTY LINE A MINIMUM OF TEN (10) FEET OR A DISTANCE EQUAL TO OR GREATER THAN THE HEIGHT OF THE DEVICE ABOVE NATURAL OR EXCAVATED GRADE, WHICHEVER IS GREATER PER CITY PARADISE VALLEY ORDINANCE.



PARTIAL SITE PLAN
SCALE: 1/128" = 1' 0"

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OVERALL PLANT LEGEND

SYMBOL	COMMON NAME BOTANICAL NAME	SIZE	QTY	REMARKS
TREES				
+	Existing Tree to Remain Protect in Place			
⊗	Fan Tex Ash <i>Fraxinus velutina</i> 'Rio Grande'	24" Box	6	Single Trunk
⊗	Purple Leaf Plum <i>Prunus Cerasifera</i>	36" Box	6	Single Trunk Matching Specimen
SHRUBS / ACCENTS				
+	Little John Dwarf Bottlebrush <i>Callistemon viminalis</i> 'Little John'	5 Gal.	16	
⊗	Rio Bravo Sage <i>Leucophyllum langmaniae</i>	5 Gal.	12	
✱	Artichoke Agave <i>Agave parvif truncata</i>	5 Gal.	56	
GROUND COVER				
⊗	Trailing Purple Lantana <i>Lantana montevidensis</i>	1 Gal.	21	
⊗	Outback Sunrise Emu <i>Eremophila glabra</i> 'Mingenew Gold'	1 Gal.	17	
⊗	Bandera Hybrid Bermuda <i>Cynodon dactylon</i> 'Bandera'	54,250 Sq. Ft. Sodded		
INERT GROUND COVER				
□	Existing Stone Groundcover to Remain Protect in Place			
⊗	1" Screened Decorative Stone Color: Saddleback Brown Min. 2" Depth from a Single Source		450 Sq. Ft.	
⊗	1/2" Screened Decorative Stone Color: Madison Gold (To Match Campus) Min. 2" Depth from a Single Source		29,995 Sq. Ft.	
⊗	'Ballyard Brown' Infield Mix Install per Manufacturer's specifications		25,450 Sq. Ft.	
⊗	Stabilizer Ballyard Clay Pitcher's Mound Install per Manufacturer's specifications		975 Sq. Ft.	
⊗	Synthetic Athletic Turf See Architectural Site Plan for Specification		18,200 Sq. Ft.	

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Checked By	D. ROSENBERG

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0' 15' 30' 60'
Scale: 1"=30'-0"

Preliminary
Landscape Plan
PL 1.1