



DESERT CREST

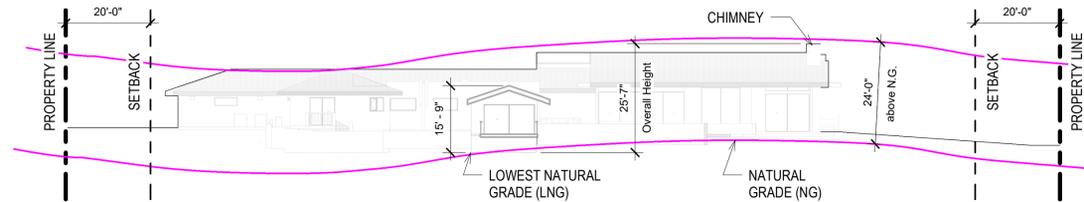
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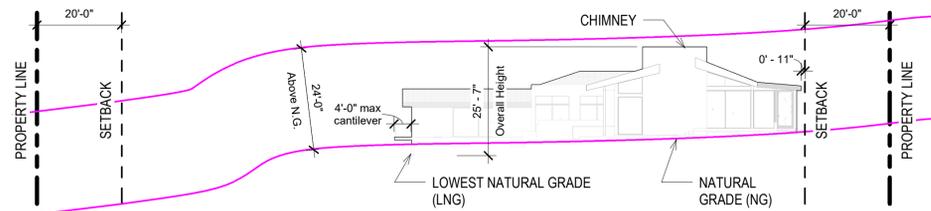
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## HILLSIDE HEIGHT ANALYSIS

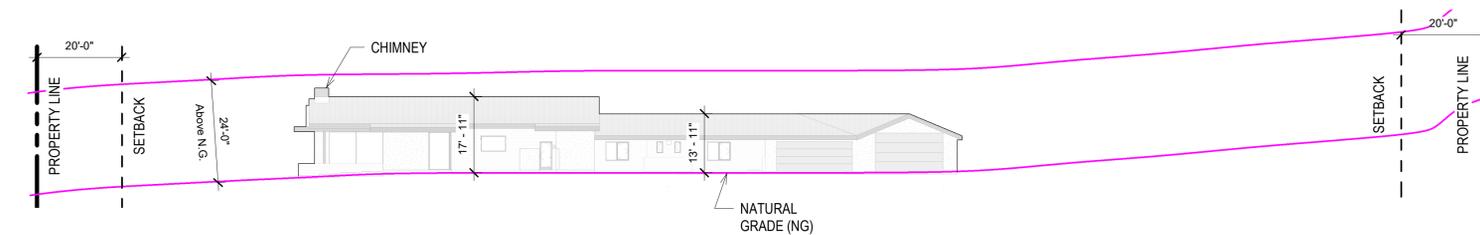
SCALE 1:20



West Elevation



South Elevation



East Elevation

## PROJECT INFORMATION

**PROJECT OWNERS:** Joel Borovay & Dian Daniel

**PROJECT ADDRESS:** 4030 E Desert Crest Dr  
Paradise Valley, AZ 85253

### PROJECT NARRATIVE:

Desert Crest is a renovation and addition to an existing single-family residence. The single-story structure, originally constructed in 1974, is comprised of 3,716 SF with 4 bedrooms, 3 bathrooms and a 694 SF garage. The renovation will touch 100% of the original home, including a remodel of the kitchen, bathrooms, and flooring throughout. A series of small additions, 984 SF total, will result in a new count of 5 bedrooms and 5.5 bathrooms. This project complies with all Town Codes & Guidelines, including the Hillside height limit (see height analysis below), restrictions for cantilevered elements, disturbance standards, and material selections.

## ZONING

**ZONING DISTRICT:** R43  
HILLSIDE

**SUBDIVISION:** Lincoln Heights

**APN:** 169-52-017  
**LOT #:** 32

**SETBACKS:** FRONT: 40'  
SIDE (INTERIOR): 20'  
REAR: 40'

**BUILDING HEIGHT:** Max Allowed: 24' above NG  
and 40' overall height  
Proposed: 22'-1" above NG  
and 25'-7" overall height  
\*See below for height analysis\*

**IECC CLIMATE ZONE:** 2  
\*Entire House to be Sprinklered per 2015 IRC R313.2

## AREA CALCULATIONS

Existing House	3,716 sf
Proposed Additions	984 sf
Entry	222 sf
Bed & bath 5	403 sf
Laundry	139 sf
Converted from Garage	141 sf
Utility	79 sf
<b>Total Gross Livable</b>	<b>4,700 sf</b>

Covered Patios	
Front Patio	Existing 199 sf + Addition 180 sf
Side Patio	Existing 110 sf + Addition 133 sf
Back Patio	Existing 227 sf
Guest Patio	Existing 84 sf
Pool Patio	Addition 192 sf
<b>Total Covered Patios</b>	<b>933 sf</b>

Existing Garage	694 sf
Area converted to Conditioned Space	-141 sf
Proposed Garage Addition	670 sf
<b>Total Garage</b>	<b>1,223 sf</b>

<b>Lot Area</b>	<b>52,128 sf (1.19 acre)</b>
<b>Existing Lot Coverage</b>	<b>10.9% (5,723 sf)</b>
<b>Allowed Lot Coverage</b>	<b>25% (13,032 sf)</b>
<b>Proposed Lot Coverage</b>	<b>14.6% (7,621 sf)</b>

## GOVERNING CODES

ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING CODES AND AMENDMENTS PER THEIR ADOPTING ORDINANCES.

- 2015 INTERNATIONAL BUILDING CODE
- 2015 INTERNATIONAL RESIDENTIAL CODE
- 2021 INTERNATIONAL FIRE CODE
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE
- 2015 INTERNATIONAL FUEL GAS CODE
- 2015 INTERNATIONAL MECHANICAL CODE
- 2015 INTERNATIONAL PLUMBING CODE
- 2015 NATIONAL ELECTRIC CODE

## SHEET INDEX

1	cover
2	project info
3	survey
4	survey
5	preliminary architectural site plan
6	preliminary grading and drainage plan
7	preliminary grading and drainage plan
8	preliminary grading and drainage plan
9	exterior lighting plan
10	elevations
11	photographs
12	renderings

## CONTACTS

**Architect:**  
The Ranch Mine, LLC  
4340 E Indian School Rd. Suite 21552  
Phoenix, AZ 85018

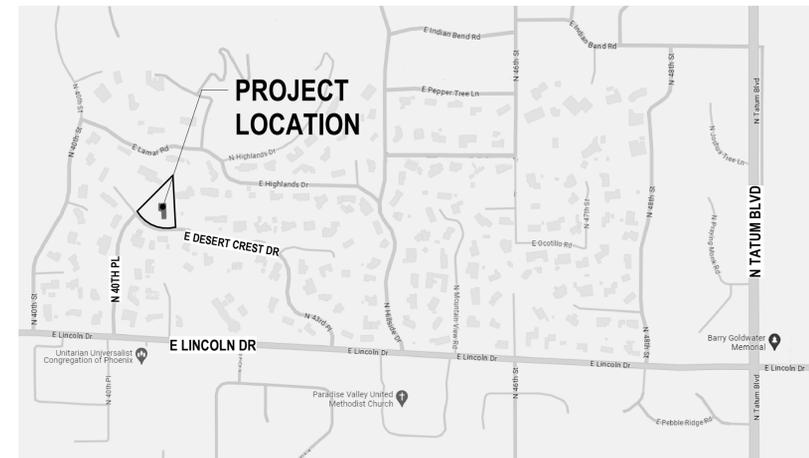
Principal: Cavin Costello  
P: 480-399-5990  
E: cavin@theranchmine.com

Project Architect: Nicole Mehaffey  
P: 504-710-0895  
E: nicole@theranchmine.com

**Civil Engineer:**  
Landcor Consulting  
1955 S. Val Vista Dr., Ste. 121  
Mesa, AZ 85204  
Contact: Joel D. Miller, P.E.  
P: 480-734-9157

**Home Owners:**  
Joel Borovay & Dian Daniel  
4030 E Desert Crest Dr  
Paradise Valley, AZ 85253  
E: joel.borovay@gmail.com;  
d.dian.daniel@gmail.com

## VICINITY MAP



## DESERT CREST

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**project info**

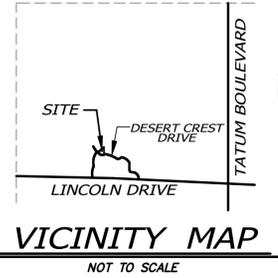
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# ALTA / NSPS LAND TITLE SURVEY

OF A PORTION OF THE NORTHWEST QUARTER OF SECTION 7,  
TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE GILA AND SALT  
RIVER BASE AND MERIDIAN, MARICOPA COUNTY,  
ARIZONA



## NOTES

- 1) The basis of bearing is the East line of Lot 32, using a bearing of North 03 degrees 59 minutes 18 seconds West per the Subdivision of LINCOLN HEIGHTS, Book 83 of Maps, Page 29 records of Maricopa County, Arizona.
- 2) The Benchmark used for this survey is the Town of Paradise Valley, being a Found 3" Brass Cap Flush, located at the intersection of 48th Street & Indian Bend Road having an elevation of 1419.80 feet, NAVD88.
- 3) All title information and the description shown is based on a Commitment for Title Insurance issued by First American Title Insurance Company, File Number 10210163, dated April 30, 2021 and that all easements, covenants and restrictions referenced in said title commitment or apparent from a physical inspection of the site or otherwise known to me have been plotted hereon or otherwise noted as to their effect on the subject property.
- 4) There are no striped parking spaces on the subject property.
- 5) The building lines and dimensions shown depict the exterior building footprint at ground level based on field measurements. This information is intended to depict the general configuration of the building at ground level and may or may not be the exact dimensions of the building foundation. The building square footage shown is based on the exterior building footprint and is not intended to reflect the interior or leasable area of any building. The building offset distances shown are to actual building corners. Building heights shown are the measurement between the adjacent natural ground to the highest point on the building visible from the ground.
- 6) According to FEMA Flood Insurance Rate Map, Map Number 04013C1765L, dated October 16, 2013, the subject property is located in Zone X (shaded). Zone X (shaded) is defined as "Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood."
- 7) The underground utilities shown are based on information obtained from plans and markings, combined with observed evidence. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. If this site is to be improved, the utilities and their locations shown on this survey should be verified. Please contact a private underground utility locator for any further utility locations on site prior to any design and/or excavation.
- 8) The spot elevations and contours shown on this survey are based on aerial topography provided by Bugzeye Aerial Mapping. Road cross sections shown are based on actual field measurements.
- 9) There was no observable evidence of cemeteries, gravesites, or burial grounds on the subject property as disclosed by record documents provided to the surveyor, or observed in the process of conducting the survey.
- 10) The subject property has direct physical access to Desert Crest Drive, being an improved and open public right-of-way.
- 11) The descriptions provided mathematically close and contain no gaps, gores or overlaps between the parcels described.
- 12) Use of the information contained in this instrument for other than the specific purpose for which it was intended is forbidden unless expressly permitted in writing in advance by Superior Surveying Services, Inc. Superior Surveying Services, Inc. shall have no liability for any such unauthorized use of this information without their written consent.

## REFERENCES

GENERAL LAND OFFICE RECORDS ON FILE WITH THE U.S. DEPARTMENT OF THE INTERIOR BUREAU OF LAND MANAGEMENT

SUBDIVISION OF "LINCOLN HEIGHTS" RECORDED IN BOOK 83 OF MAPS, PAGE 29, MARICOPA COUNTY RECORDS

WARRANTY DEED IN 2007-0809813, MARICOPA COUNTY RECORDS

RECORD OF SURVEY IN BOOK 734 OF MAPS, PAGE 10, MARICOPA COUNTY RECORDS

## SCHEDULE "B" ITEMS

- 11 Easements, restrictions, reservations, conditions and set-back lines as set forth on the plat recorded in Book 83 of Maps, Page 29, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604(c). (PLOTTED HEREON)
- 12 Covenants, conditions and restrictions in the document recorded in Book 323 of Deeds, Page 346 and in instrument recorded in Docket 3039, Page 285, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status, or national origin, to the extent such covenants, conditions or restrictions violate Title 42, Section 3604(c), of the United States Codes. (PERTAINS TO SURVEYED PROPERTY - NOT PLOTTABLE)

## DESCRIPTION

LOT 32, OF LINCOLN HEIGHTS, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 83 OF MAPS, PAGE 29.

**AREA = 1.197 ACRES**  
52,128 SQ. FT.

## SIGNIFICANT OBSERVATIONS

AT THE TIME OF THIS SURVEY THERE WAS NO VISIBLE EVIDENCE OF POTENTIAL ENCROACHMENTS OBSERVED ON SUBJECT PROPERTY

## CERTIFICATION

To: JOEL BOROVAY and DONA DIAN DANIEL, Trustees of The Joel and Dian Borovay Trust, dated October 6, 2005; DIAN DANIEL, THE RANCHMINE TEAM; and CLEAR TITLE AGENCY OF ARIZONA as issuing Agent for FIRST AMERICAN TITLE INSURANCE COMPANY.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 7(a), 7(b)(1), 7(c), 8, 9, 11(a) and 15 of Table A thereof. The field work was completed on April 27, 2021.

Date of Plat or Map: May 27, 2021  
David S. Klein  
R.L.S. 42137



REVISIONS  
DESCRIPTION  
DATE

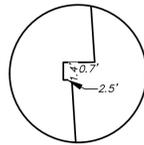
ALTA / NSPS LAND TITLE SURVEY

4030 E. DESERT CREST DRIVE  
PARADISE VALLEY, AZ 85253

2122 W. Lone Cactus Drive, Suite 11  
Phoenix, AZ 85027  
623-869-0223 (office) 623-869-0726 (fax)  
www.superiorsurveying.com  
info@superiorsurveying.com

**SUPERIOR**  
SURVEYING SERVICES, INC.

DWN: AC CHK: JW  
SHEET 1 OF 2  
DATE: 5/27/2021  
JOB: 202103100



**DETAIL "A"**  
NOT TO SCALE

SCALE IN FEET  
SCALE : 1" = 20'

TREE TABLE		
TREE NO.	TREE TYPE	SIZE
①	CACTUS	1'Ø
②	OLIVE	1.5'Ø
③	PALM	1'Ø
④	TREE	1'Ø

LINE	BEARING	DISTANCE
L1	N 39°26'55" W (R)	39.86' (R)
	N 39°24'24" W (M)	39.83' (M)

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	229.32' (R)	147.15'	144.64'	S 74°18'58" E	36°47'28" (R)
	229.16' (M)	-	-	-	36°47'32" (M)
C2	268.50' (R)	77.33'	77.06'	N 47°39'48" W	16°30'50" (R)
	268.31' (M)	-	-	-	16°30'48" (M)
C3	204.16'	131.20' (R)	128.86'	S 74°18'58" E	36°47'32"
	-	131.10' (M)	-	-	-
C4	243.31'	70.18' (R)	69.88'	N 47°39'48" W	16°30'48"
	-	70.12' (M)	-	-	-

**LEGEND**

- BOUNDARY LINE
- CENTER LINE OR MONUMENT LINE
- CONCRETE SURFACE
- 24 INCH ROLLED CURB
- INDICATES DRIVEWAY (MEANS OF ACCESS)
- WALL
- X- FENCE
- UNDERGROUND FIBER OPTIC LINE
- E- UNDERGROUND ELECTRIC LINE
- G- UNDERGROUND GAS LINE
- W- UNDERGROUND WATER LINE
- ⊗ INDICATES BOUNDARY CORNER NOTHING FOUND OR SET
- ⊙ FOUND 1/2" CAPPED REBAR ILLEGIBLE STAMP (CAP IN POOR CONDITION) SET ALUMINUM CAP STAMPED "KLEIN 42137"
- ⊙ FOUND 1" IRON PIPE NO IDENTIFICATION (S 51°40'5" E 5.07')
- ⊙ FOUND 1/2" REBAR NO IDENTIFICATION
- ⊙ FOUND MARICOPA COUNTY BRASS CAP FLUSH
- ⊙ CALCULATED POSITION NO MONUMENT FOUND OR SET
- ⊙ SCHEDULE B ITEM
- ⊙ BACK FLOW PREVENTER
- ⊙ ELECTRIC TRANSFORMER
- ⊙ GAS METER
- ⊙ GUARD POST OR GATE POST
- ⊙ LIGHT POLE
- ⊙ MAIL BOX
- ⊙ SEWER CLEAN OUT
- ⊙ TELEPHONE RISER
- ⊙ WATER METER
- ⊙ WATER VALVE
- FL FLOW LINE
- FF FINISHED FLOOR
- TC TOP OF CURB
- NG NATURAL GROUND
- P PAVEMENT
- C CONCRETE
- A.P.N. ASSESSORS PARCEL NUMBER
- M.C.R. MARICOPA COUNTY RECORDS
- R/W RIGHT OF WAY
- BK. BOOK
- PG. PAGE
- (TYP.) TYPICAL
- (R) RECORD PER BK. 63, PG. 29, M.C.R.
- (M) MEASURED



REVISIONS DESCRIPTION DATE

**ALTA / NSPS LAND TITLE SURVEY**  
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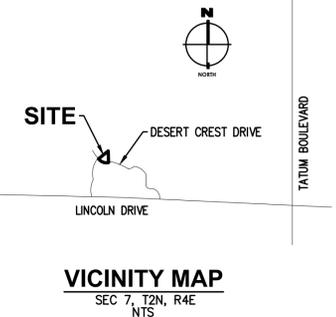
**TOWN OF PARADISE VALLEY NOTES**

- BUILDING NOTES:**
- ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL CITY OR TOWN UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN. THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL STATE, AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO THE CONSTRUCTION COVERED BY THIS PLAN.
  - PRIOR TO THE FIRST INSPECTION OF STRUCTURES WITHIN 3 FEET OF A SETBACK LINE, THE PROPERTY PINS SHALL BE PLACED BY A REGISTERED CIVIL ENGINEER OR LAND SURVEYOR OF THE STATE OF ARIZONA, AND THE PROPERTY LINE(S) IDENTIFIED.
  - WHERE EXCAVATION IS TO OCCUR THE TOP 4" OF EXCAVATED NATIVE SOIL SHALL REMAIN ON THE SITE AND SHALL BE REUSED IN A MANNER THAT TAKES ADVANTAGE OF THE NATURAL SOIL SEED BANK IT CONTAINS.
  - THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
  - ALL EXTERIOR SITE LIGHTING SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS FOR TYPE, LOCATION, HEIGHT, WATTAGE, AND LUMEN BASED UPON THE FIXTURES INSTALLED PURSUANT TO SECTION 1023 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCE FOR NON-HILLSIDE PROPERTIES, SECTION 2208 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCE FOR HILLSIDE PROPERTIES, OR AS SPECIFIED IN THE SPECIAL USE PERMIT FOR SPECIAL USE PERMIT PROPERTIES.
- ENGINEERING NOTES:**
- A DUST CONTROL PLAN AND PERMIT MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
  - A SEPARATE RIGHT-OF-WAY PERMIT IS NECESSARY FOR ANY OFF-SITE CONSTRUCTION.
  - AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
  - EAVE PROJECTIONS INTO REQUIRED SETBACKS ARE LIMITED TO A MAXIMUM OF 24" PURSUANT TO SECTION 1008 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES.
  - ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
  - ALL NEW AND EXISTING ELECTRICAL SERVICE LINES SHALL BE BURIED PER THE TOWN OF PARADISE VALLEY REQUIREMENTS.
  - IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE TO ARRANGE FOR THE RELOCATION AND RELOCATION COSTS OF ALL UTILITIES, AND TO SUBMIT A UTILITY RELOCATION SCHEDULE PRIOR TO THE ISSUANCE OF AN ENGINEERING CONSTRUCTION PERMIT.
  - EXISTING AND/OR NEW UTILITY CABINETS AND PEDESTALS SHALL BE LOCATED A MINIMUM OF 4" BEHIND ULTIMATE BACK OF CURB LOCATION.
  - POOL, SPA, BARBEQUE AND ANY PROPOSED STRUCTURES OVER 8' ABOVE GRADE REQUIRE SEPARATE PERMIT APPLICATIONS.
  - POOLS SHALL BE CONSTRUCTED BY SEPARATE PERMIT AND SECURED FROM UNWANTED ACCESS PER TOWN CODE, ARTICLE 5-2.
  - ALL FILL MATERIAL UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95%.
  - SETBACK CERTIFICATION IS REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO STEM WALL INSPECTION.
  - FOR BUILDING PADS THAT HAVE 1 OR MORE OF FILL MATERIAL, SOILS COMPACTION TEST RESULTS ARE REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO PRE-SLAB INSPECTION.
  - LOWEST FLOOR ELEVATION CERTIFICATION IS REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO STRAP AND SHEAR INSPECTION.
  - MAIL BOXES SHALL COMPLY WITH THE TOWN OF PARADISE VALLEY STANDARDS FOR MAIL BOXES IN THE RIGHT-OF-WAY FOR HEIGHT, WIDTH AND BREAK AWAY FEATURES.
  - ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE.
  - TRENCH BEDDING AND SHADING SHALL BE FREE OF ROCKS AND DEBRIS.
  - THE TOWN ONLY APPROVES THE SCOPE OF WORK AND NOT THE ENGINEERING DESIGN. ANY CONSTRUCTION QUANTITIES SHOWN ARE NOT VERIFIED BY THE TOWN.

- CONSTRUCTION NOTES:**
- THE APPROVAL OF THE PLANS IS VALID FOR 180 DAYS. IF A PERMIT FOR CONSTRUCTION HAS NOT BEEN ISSUED WITHIN 180 DAYS, THE PERMIT MUST BE RENEWED.
  - A TOWN INSPECTOR WILL INSPECT ALL WORK WITHIN THE TOWN'S RIGHTS-OF-WAY. NOTIFY TOWN INSPECTION SERVICES TO SCHEDULE A PRECONSTRUCTION MEETING PRIOR TO STARTING CONSTRUCTION.
  - WHENEVER EXCAVATION IS NECESSARY, CALL ARIZONA811 BY DIALING 811 OR 602-263-1100, TWO (2) WORKING DAYS BEFORE EXCAVATION BEGINS.
  - EXCAVATIONS SHALL COMPLY WITH REQUIREMENTS OF OSHA EXCAVATION STANDARDS (29 CFR, PART 1926, SUBPART P). UNDER NO CIRCUMSTANCES WILL THE CONTRACTORS BE ALLOWED TO WORK IN A TRENCH LOCATED WITHIN THE TOWN'S RIGHT-OF-WAY WITHOUT PROPER SHORING OR EXCAVATION METHODS.
  - PERMIT HOLDER SHALL POST A 6 SQUARE FOOT (2'X3') IDENTIFICATION SIGN, MADE OF DURABLE MATERIAL, IN THE FRONT YARD OF SUBJECT PROPERTY AND NOT IN THE TOWN'S RIGHT-OF-WAY. THE SIGN MAY NOT EXCEED A MAXIMUM OF 6 FEET IN HEIGHT FROM GRADE TO TOP OF THE SIGN. THE SIGN MUST INCLUDE THE PERMITTEE OR COMPANY NAME, PHONE NUMBER, TYPE OF WORK, ADDRESS OF PROJECT AND TOWN CONTACT NUMBER, 480-348-3556.
  - WHEN DEEMED NECESSARY, A 6-FOOT HIGH CHAIN LINK FENCE MUST BE INSTALLED AROUND THE CONSTRUCTION AREA TO PREVENT ANY POTENTIAL SAFETY HAZARD FOR THE PUBLIC. THE FENCE SHALL BE SETBACK AT LEAST 10 FEET FROM ALL RIGHTS-OF-WAY AND HAVE A 50-FOOT STREET CORNER SITE TRIANGLE WHERE APPLICABLE.
  - CLEAR ACCESS FOR NEIGHBORING PROPERTIES AND EMERGENCY VEHICLES MUST BE MAINTAINED AT ALL TIMES. CONSTRUCTION RELATED VEHICLES MUST BE LEGALLY PARKED ONLY ON ONE SIDE OF THE STREET OR JOB SITE PROPERTY.
  - ALL CONSTRUCTION DEBRIS AND EQUIPMENT MUST BE CONTAINED ON SITE AT ALL TIMES. CONTRACTOR AND PROPERTY OWNER MUST MAINTAIN THE JOB SITE FREE OF LITTER AND UNSIGHTLY MATERIALS AT ALL TIMES. CONSTRUCTION MATERIALS ARE PROHIBITED IN THE TOWN'S RIGHT-OF-WAY.
  - CONSTRUCTION ACTIVITIES ARE PERMITTED BETWEEN THE HOURS OF 5 AM AND 7 PM MONDAY THROUGH THURSDAY AND 7 AM TO 7 PM ON SATURDAYS CONSTRUCTION ACTIVITIES (MAY 1ST THROUGH SEPTEMBER 30TH). TOPV CODE 8-10-2(D) ENFORCED OCTOBER 1ST THROUGH APRIL 30TH.
  - THE USE AND OPERATION OF FUEL-FIRED GENERATORS IS PROHIBITED UNLESS DUE TO A HARDSHIP. TOWN APPROVAL SHALL BE REQUIRED.
  - THE CONTRACTOR AND PROPERTY OWNER SHALL BE LIABLE FOR ANY DAMAGE DONE TO ANY PUBLIC PROPERTY AS A RESULT OF ANY CONSTRUCTION OR CONSTRUCTION RELATED ACTIVITIES. NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL AFFECTED RIGHTS-OF-WAY ARE CLEANED AND/OR REPAIRED TO THEIR ORIGINAL CONDITION AND UNTIL ANY AND ALL DAMAGES TO AFFECTED PROPERTIES ARE RESTORED TO ORIGINAL CONDITION.
  - A KEYSWITCH SHALL BE REQUIRED ON ALL NEW AND EXISTING ELECTRIC ENTRY GATES. THE KEYSWITCH SHALL BE INSTALLED IN A LOCATION THAT IS READILY VISIBLE AND ACCESSIBLE. KNOX BOX ORDER FORMS ARE AVAILABLE AT THE TOWN'S BUILDING SAFETY DEPARTMENT.
  - PROPERTY OWNER, BUILDER, OR GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR CONTROLLING DUST FROM THE SITE AT ALL TIMES. ALL MEANS NECESSARY SHALL BE USED BY THE BUILDER OR GENERAL CONTRACTOR TO CONTROL THE EXISTENCE OF DUST CAUSED BY ANY EARTHWORK, SPRAY APPLICATION OF MATERIALS, OR OTHER DUST-CAUSING PRACTICES REQUIRED BY THE CONSTRUCTION PROCESS.
  - APPROVAL OF THESE PLANS ARE FOR PERMIT PURPOSES ONLY AND SHALL NOT PREVENT THE TOWN FROM REQUIRING CORRECTION OF ERRORS IN THE PLANS WHERE SUCH ERRORS ARE SUBSEQUENTLY FOUND TO BE IN VIOLATION OF ANY LAW, ORDINANCE, HEALTH, SAFETY, OR OTHER DESIGN ISSUES.
  - ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTION DITCHES, PIPES PROTECTIVE BERMS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT PROPOSED AND EXISTING IMPROVEMENTS FROM RUNOFF OR DAMAGE FROM STORM WATER, MUST BE CONSTRUCTED PRIOR TO THE CONSTRUCTION OF ANY IMPROVEMENTS.

**GRADING & DRAINAGE PLAN**

**4030 E DESERT CREST DR  
DESERT CREST  
LINCOLN HEIGHTS**



**LEGEND**

<b>EXISTING</b>	<b>PROPOSED</b>	
--- PROPERTY LINE	--- GRADE BREAK	
--- ADJACENT PROPERTY LINE	--- FLOW LINE	
--- EASEMENT LINE	--- STORM DRAIN	
--- MONUMENT LINE	--- INDEX CONTOUR	
○ BRASS CAP FLUSH	--- INTERMEDIATE CONTOUR	
□ BRASS CAP IN HAND HOLD	--- FINISHED GRADE ELEVATION	
● PROPERTY CORNER	--- FLOW DIRECTION	
--- CULVERT PIPE	--- LIMITS OF DISTURBED AREA	
--- SEWER LINE		
--- WATER LINE		
--- INDEX CONTOUR		
--- INTERMEDIATE CONTOUR		
--- WATER METER		
--- WATER VALVE		
--- SEWER MANHOLE		
--- SEWER CLEANOUT		
--- GAS MARKER		
--- GAS METER		

**ABBREVIATIONS:**

FF FINISHED FLOOR	
FG FINISHED GRADE	
TC TOP OF CURB	
G GUTTER	
P PAVEMENT	
EP EDGE OF PAVEMENT	
S/W SIDEWALK	
D/W DRIVEWAY	
TW TOP OF WALL	
INV INVERT	
GR GRATE	
R/W RIGHT-OF-WAY	
HWE HIGH WATER ELEVATION	

NOTE: NOT ALL ABBREVIATIONS ARE USED IN THIS DRAWING.

**GRADING SPECIFICATIONS**

- EXCAVATION AND GRADING OF THIS SITE IS CLASSIFIED AS "ENGINEERED GRADING" PER 2018 I.B.C. AND WILL BE PERFORMED ACCORDINGLY.
- THE CONTRACTOR WILL RETAIN A SOILS ENGINEER DURING CONSTRUCTION TO INSPECT PROGRESS OF CONSTRUCTION, CONCERNING PREPARATION OF GROUND TO RECEIVE FILLS, TESTING AND REQUIRED COMPACTION STABILITY OF ALL FINISH SLOPES INCLUDING CUT SLOPES.
- COMPACTION SHALL COMPLY WITH M.A.G. SECTION 601 AND PROVISIONS AS SET FORTH IN THE APPROVED GEOTECHNICAL REPORT.
- CUT AND FILL SLOPES SHALL BE PER THE APPROVED GEOTECHNICAL REPORT.
- ANY RETAINING WALLS ADJACENT TO THE PROPERTY LINES WILL BE UNDER THE SCOPE OF SPECIAL INSPECTION BY THE SOILS ENGINEER. THE DEVELOPER SHALL NOTIFY THE ADJOINING PROPERTY OWNERS IN WRITING, TEN DAYS PRIOR TO START OF CONSTRUCTION ON THESE WALLS PER SECTION 2903-B OF I.B.C. THE DEVELOPER WILL HAVE TO PROVIDE MEANS OF PROTECTION OF ADJACENT PROPERTY WHILE THIS WORK IS UNDER CONSTRUCTION.
- THE USE OF HYDRAULIC RAM HAMMERS AND HEAVY EQUIPMENT SHALL BE LIMITED TO USE BETWEEN THE HOURS OF 7:00AM AND 6:00PM MONDAY THROUGH SATURDAY WITH NO WORK ON SUNDAY.

**RETENTION CALCULATIONS**

ON-SITE RETENTION FOR THE FIRST FLUSH STORM EVENT										
V=D x A x Cw / 12										
D - RAINFALL DEPTH = 0.5		A - TRIBUTARY AREA, SF			Cw - WEIGHTED RUNOFF COEFFICIENT					
DRAINAGE AREA	DISTURBED AREA	RUNOFF COEFFICIENT	VOLUME REQUIRED	RETENTION BASIN ID	CONTOUR	CONTOUR AREA	DEPTH	VOLUME PROVIDED	A.B. VOLUME PROVIDED	
AREA	SF	Cw	CF		ELEVATION	SF	FT	CF	CF	
1	25,108	1.00	1,046	1	HW	47	733	1	517	
					BOTTOM	46	300			
					HW	48	764	1	554	
					BOTTOM	47	343			
<b>TOTAL</b>			<b>1,046</b>	<b>TOTAL</b>		<b>1,070</b>				

**DRAINAGE STATEMENT**

- ULTIMATE STORM OUTFALL IS LOCATED NEAR THE SOUTHWEST CORNER OF THE SITE AT ELEVATION OF 1425.68.
- SINGLE FAMILY RENOVATIONS AND SITE IMPROVEMENTS ARE PROPOSED WITH THIS PROJECT.
- PROPOSED DEVELOPMENT DOES NOT IMPACT DRAINAGE CONDITIONS OF ADJOINING LOTS.
- HISTORIC DRAINAGE PATTERNS ARE RESTORED AND PRESERVED.
- ON-SITE RETENTION IS PROVIDED FOR THE FIRST FLUSH VOLUME.
- THE LOWEST FINISHED FLOOR ELEVATION OF 1450.41 IS SAFE FROM INUNDATION DURING A 100-YEAR PEAK RUN-OFF EVENT IF CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS.

**TOWN OF PARADISE VALLEY HILLSIDE NOTES**

- NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL ALL HILLSIDE STIPULATIONS AND ALL TOWN CODE REQUIREMENTS ARE COMPLIED INCLUDING, BUT NOT LIMITED TO LANDSCAPING, GROUND RESTORATION, FIRE FLOW, FIRE SAFETY, AND ALL ONSITE AND OFFSITE IMPROVEMENTS.
- ALL OUTDOOR LIGHTING SHALL BE IN CONFORMANCE WITH ARTICLE XXII OF THE TOWN ZONING ORDINANCE.
- ALL EXCESS FILL MATERIAL SHALL BE REMOVED FROM THE SITE WITH NO NEW SPLIT SLOPES.
- THE USE OF HYDRAULIC RAM HAMMERS, OR OTHER HEAVY EQUIPMENT USED TO CUT THROUGH ROCK, INCLUDING MACHINERY WITH AUDIBLE BACK UP WARNING DEVICES SHALL BE LIMITED TO USE BETWEEN THE OURS OF 7:00 AM OR SUNRISE, WHICHEVER IS LATER, AND 6:00 PM OR SUNSET, WHICHEVER IS EARLIER, MONDAY THROUGH FRIDAY, WITH LIMITED WORK ON SATURDAY AND NO WORK ON SUNDAY OR LEGAL HOLIDAYS. RAM HAMMERS AND OTHER HEAVY EQUIPMENT CANNOT BE USED ON SATURDAYS WITHOUT A WAIVER FROM THE TOWN MANAGER.
- CONSTRUCTION STAKING AND/OR FENCING SHALL BE PLACED AROUND THE CONSTRUCTION SITE SO AS TO PROTECT THE UNDISTURBED NATURAL AREA.
- ALL RETAINING WALLS SHALL NOT EXTEND MORE THAN 6 INCHES ABOVE THE MATERIAL THEY RETAIN (WITH EXCEPTION OF DRIVEWAY RETAINING WALLS IN ACCORDANCE WITH 2207.V.6).

**EARTHWORK QUANTITIES**

CUT	67 C.Y.
FILL	16 C.Y.
NET CUT	51 C.Y.

ALL QUANTITIES LISTED ON THESE PLANS ARE ESTIMATES ONLY. NO SHRINK OR SWELL IS ASSUMED. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF THE QUANTITIES AND BASE THEIR BIDS ON THEIR ESTIMATES.

**UTILITY PROVIDERS**

- ELECTRIC - A.P.S.
- SEWER - SEPTIC
- WATER - EPCOR
- GAS - SOUTHWEST GAS
- COMMUNICATION - COX

**AS-BUILT CERTIFICATION**

I HEREBY CERTIFY THAT THE "RECORD DRAWING" MEASUREMENTS AS SHOWN HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

REGISTERED ENGINEER/ LAND SURVEYOR \_\_\_\_\_ DATE \_\_\_\_\_  
REGISTRATION NUMBER \_\_\_\_\_

**OWNER**

BOROVAY JOEL/DANIEL  
DONA DIAN TR  
4030 E. DESERT CREST DR.  
PARADISE VALLEY 85253  
CONTACT: NICOLE MEHAFFEY  
PHONE: (504) 710-0895  
EMAIL: nicole@theranchmine.com

**ARCHITECT**

THE RANCH MINE, LLC  
4030 S INDIAN SCHOOL RD, SUITE 21552  
PHOENIX, AZ 85018  
PHONE: (504) 710-0895  
CONTACT: NICOLE MEHAFFEY  
EMAIL: nicole@theranchmine.com

**ENGINEER**

LANDCOR CONSULTING  
1955 S VAL VISTA DR, STE 121  
MESA, AZ 85204  
PHONE: (480) 734-9157  
CONTACT: JOEL D. MILLER, P.E.  
EMAIL: joel@landcorconsulting.com

**SITE DATA**

APN	169-52-017
ADDRESS	4030 E. DESERT CREST DRIVE PARADISE VALLEY AZ, 85253
ZONING	R-43
PARCEL AREA	52,128 SF (1.19 ACRES)
TOTAL AREA UNDER ROOF	6,856 SF
LOT COVERAGE	6,856 / 52,128 = 13.2%
PROPOSED NEW DISTURBED AREA	347 SF

**BASIS OF BEARINGS**

THE BASIS OF BEARING IS THE EAST LINE OF LOT 32, USING A BEARING OF NORTH 03 DEGREES 59 MINUTES 18 SECONDS WEST PER THE SUBDIVISION OF LINCOLN HEIGHTS, BOOK 83 OF MAPS, PAGE 29 RECORDS OF MARICOPA COUNTY, ARIZONA.

**BENCHMARK**

3" BRASS CAP FLUSH, LOCATED AT THE INTERSECTION OF 48TH STREET AND INDIAN BEND ROAD HAVING AN ELEVATION OF 1419.80 FEET, NAVD88.

**LEGAL DESCRIPTION**

LOT 32, OF LINCOLN HEIGHTS, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 83 OF MAPS, PAGE 29.

**FLOOD INSURANCE RATE MAP (FIRM) DATA**

COMMUNITY NUMBER	PANEL #	SUFFIX	DATE OF FIRM	FIRM ZONE	BASE FLOOD ELEVATION (In AO Zone, Use Depth)
040049	1765	L	10/16/13	X	NA

**NATIVE PLANTS STATEMENT**

ALL NATIVE PLANTS IMPACTED BY CONSTRUCTION SHALL BE RELOCATED ON SITE. SEE LANDSCAPE PLAN AND NATIVE PLANT INVENTORY AND SALVAGE PLAN.

**SHEET INDEX**

	CIVIL SHEET	SHEET
COVER SHEET	C-1	1
GRADING & DRAINAGE PLAN	C-2	2
CROSS SECTIONS	C-3	3

**PROJECT DESCRIPTION**

DESERT CREST IS A RENOVATION OF AND ADDITION TO A SINGLE-FAMILY RESIDENCE. THE ORIGINAL SINGLE-STORY STRUCTURE IS COMPRISED OF 3,716 SF WITH 4 BEDROOMS, 3 BATHROOMS AND A 694 SF GARAGE. THERE WILL BE 984 SF TOTAL OF ADDITIONS RESULTING IN A NEW COUNT OF 5 BEDROOMS AND 5.5 BATHROOMS.

**APPROVAL**

THIS SET OF PLANS HAS BEEN REVIEWED FOR COMPLIANCE WITH TOWN OF PARADISE VALLEY REQUIREMENTS PRIOR TO ISSUANCE OF PERMIT. THE TOWN NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. THIS COMPLIANCE APPROVAL SHALL NOT PREVENT THE TOWN ENGINEER FROM REQUIRING CORRECTIONS OF ERRORS OR OMISSIONS IN THE PLANS TO BE FOUND IN VIOLATION OF LAWS OR ORDINANCES.

TOWN ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_  
TOWN OF PARADISE VALLEY



**FINISH FLOOR CERTIFICATION**  
I HEREBY CERTIFY THAT FINISHED FLOOR ELEVATIONS SHOWN ON THE PLAN OF 1448.41 AND 1450.41 ARE MINIMUM OF 12" ABOVE THE 100-YEAR STORM ELEVATION OF 1447.00 & 1448.00, RESPECTIVELY ACCORDING TO THE TOWN OF PARADISE VALLEY CODE OF ORDINANCE.

*Joel D. Miller*  
REGISTERED CIVIL ENGINEER  
DATE: 11/17/25

DATE: 11/17/25  
JOB: 2193  
VERSION: --  
PLOT DATE: 11/17/25

SCALE: N.T.S.  
DESIGNED BY: JDM  
DRAWN BY: JDM  
CHECKED BY: MDC

REVISIONS:

GRADING & DRAINAGE PLAN  
COVER SHEET

DESERT CREST  
4030 E DESERT CREST DR  
PARADISE VALLEY, AZ 85253

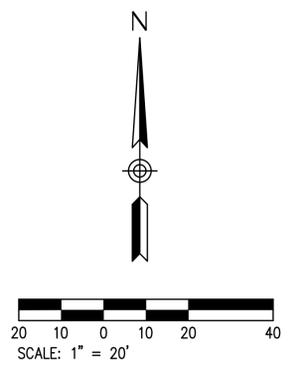
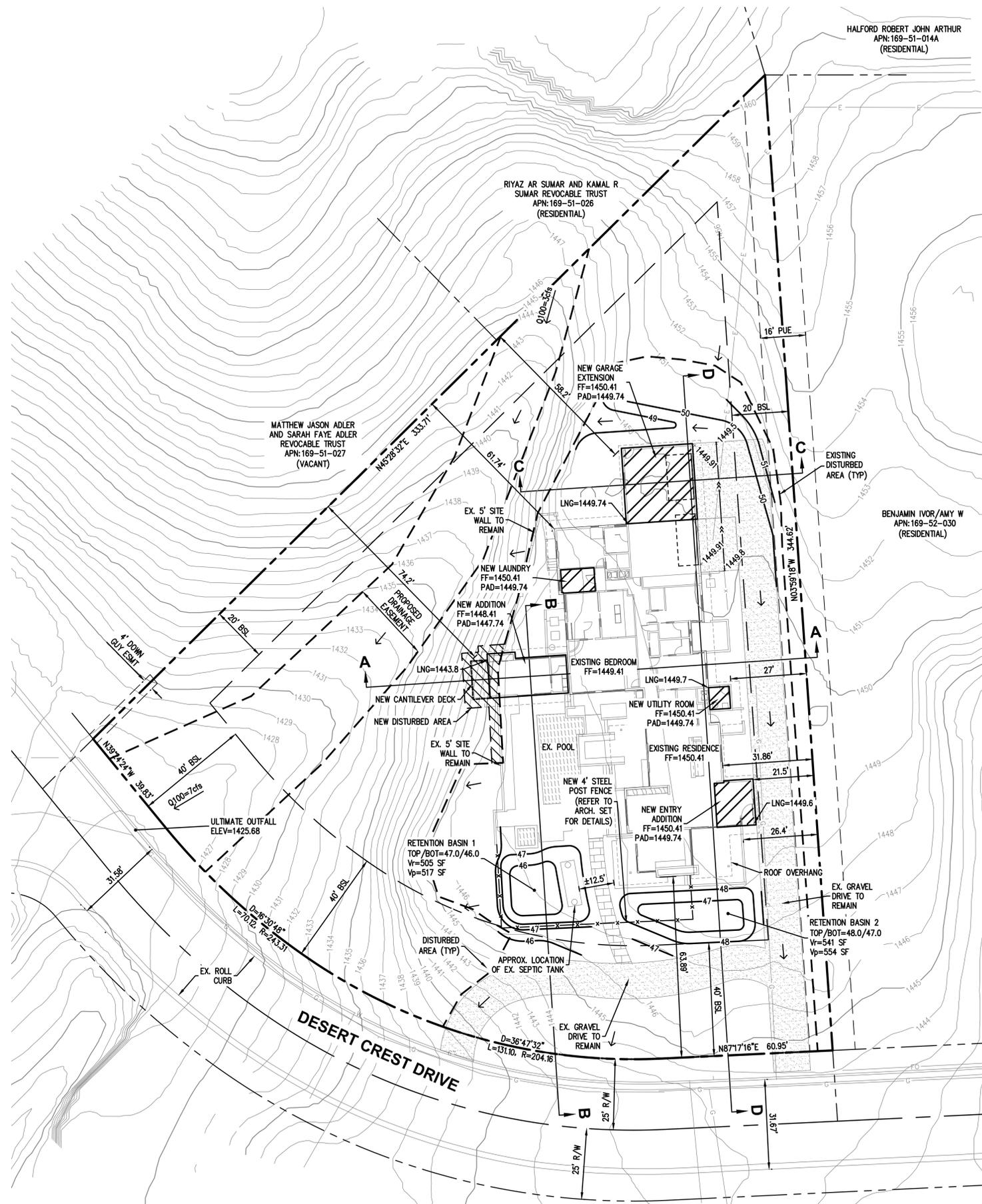
**LANDCOR CONSULTING**  
1955 S. Val Vista Dr., Ste. 121  
Mesa, AZ 85204  
Ph: (480) 553-9433  
landcorconsulting.com

**TOWN OF PARADISE VALLEY**  
APPROVED

**REGISTERED PROFESSIONAL ENGINEER**  
53735  
JOEL D. MILLER  
LICENSE NUMBER 17173  
ARIZONA, U.S.A.

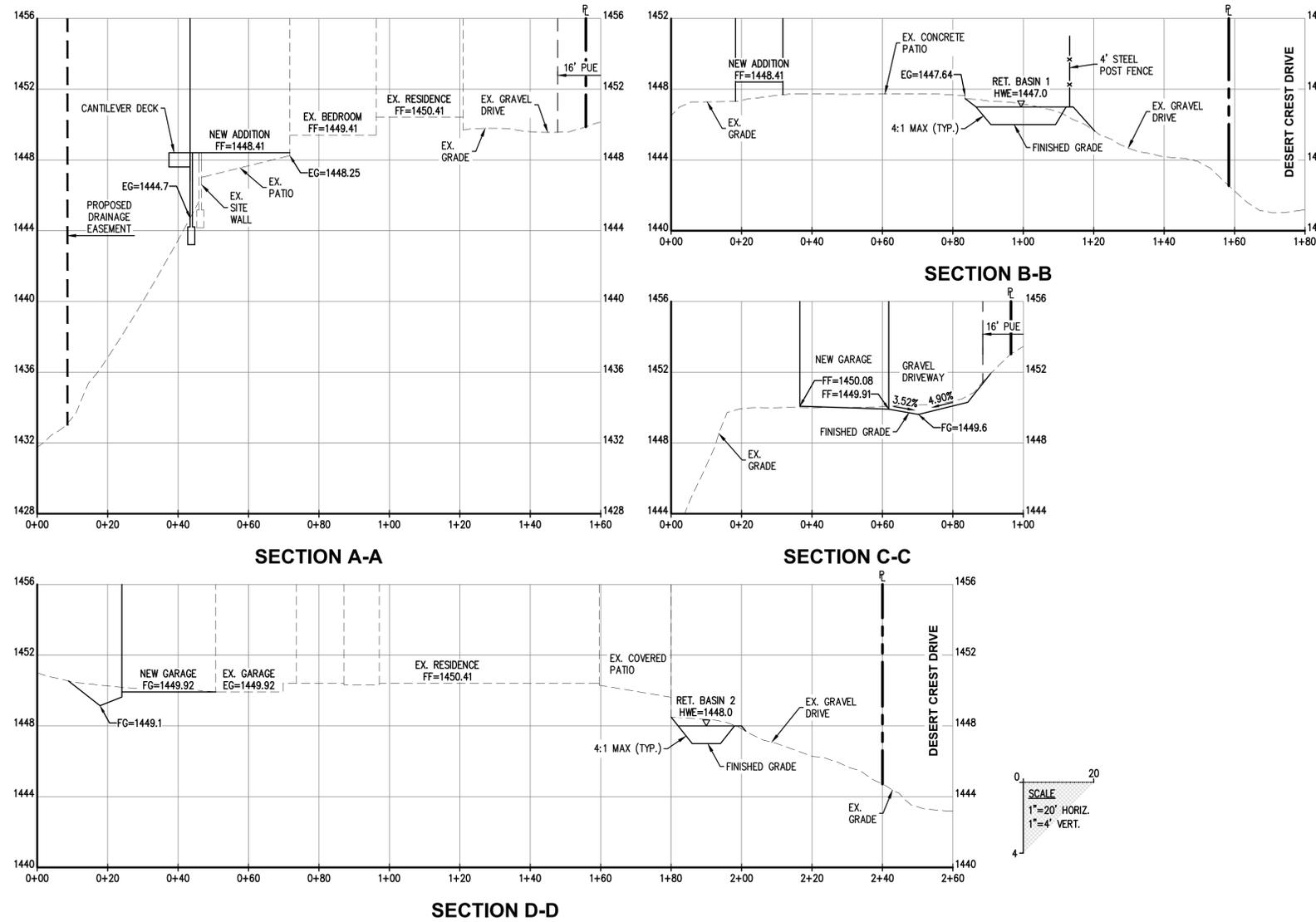
C-1  
1 OF 3

# GRADING & DRAINAGE PLAN



DATE: 11/17/25	SCALE: N.T.S.	DESIGNED BY: JDM	REVISIONS:
JOB: 2193	DATE: --/--	DRAWN BY: JDM	DESERT CREST 4030 E DESERT CREST DR PARADISE VALLEY, AZ 85253
VERSION: --	REVISIONS:	CHECKED BY: MDC	DESERT CREST 4030 E DESERT CREST DR PARADISE VALLEY, AZ 85253
PLOT DATE: 11/17/25	REVISIONS:		<b>LANDCOR</b> CONSULTING 1955 S. Val Vista Dr., Ste. 121 Mesa, AZ 85204 Ph: (480) 553-9433 landcorconsulting.com
			C-2 2 OF 3

# CROSS SECTIONS



DATE: 11/17/25	SCALE: N.T.S.	DESIGNED BY: JDM	CHECKED BY: MDC
JOB: 2193	DATE: --/--	DRAWN BY: JDM	DATE: 11/17/25
VERSION: --	REVISIONS: --		

GRADING & DRAINAGE PLAN  
COVER SHEET

DESERT CREST  
4030 E DESERT CREST DR  
PARADISE VALLEY, AZ 85253

**LANDCOR CONSULTING**  
 1955 S. Val Vista Dr., Ste. 121  
 Mesa, AZ 85204  
 Ph: (480) 553-9433  
 landcorconsulting.com



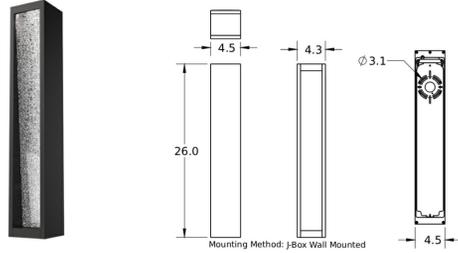
53735  
JOEL D. MILLER  
Professional Engineer  
Arizona, U.S.A.

Contact Arizona 811 at least two full working days before you begin excavation  
**ARIZONA811**  
 Call 811 or click Arizona811.com



01 Entry Sconce 400 lumens qty: 2

HAMMERTON STUDIO™ OUTDOOR|TORRENT 26" SCONCE PRODUCT #: ODB0082-02



**PRODUCT DESCRIPTION**

This clean lined outdoor sconce design casts light downward on both sides through sparkling panels of textured kiln-fused glass. Aluminum construction, marine grade pre-treatment and AAMA 2604 powder coat finishes ensure long lasting beauty in all climates.

The Torrent sconce includes a lifetime warranty to the original purchaser.

The Torrent sconce has been certified as DarkSky Approved by the International Dark Sky Association



SCAN FOR MORE INFORMATION

**PRODUCT SPECIFICATION**

Construction: Aluminum Body, With Glass Panels

Finish Options: [Color swatches]

Glass Types: Rime Light

Suspension Method: Wall Mount

Weight (lbs.): 14 LB

UL Rating: Outdoor/Wet

Top Diffuser: Closed Metal

Bottom Diffuser: Open Glass

Light Source: LED

Electrical Qty: 1

Wattage (Watts): 4

Voltage (Volts): 120

Source Lumens: 400

Dimming: Forward/Reverse Phase

CCT: 3000K

Driver Quantity & Location: N/A

CR: 93+

Power Factor: >0.9

02 Sconce 600 lumens qty: 13



**PRODUCT DETAILS:**

- Mounting hardware is hidden on the backplate to ensure a clean silhouette.
- Suitable for use in wet (interior direct splash and outdoor direct rain or sprinkler) locations as defined by NEC and CEC. Meets United States UL Underwriters Laboratories & CSA Canadian Standards Association Product Safety Standards
- Meets California Energy Commission 2016 Title regulations/JAB
- Fixture is Dark Sky compliant and engineered to minimize light glare upward into the night sky.
- LED components carry a 5-year limited warranty
- 5 year finish warranty
- The Coastal Elements Collection offers versatile designs, constructed of composite materials and coated with anti-fading finishes, for maximum durability in harsh climates.

**TAPER**

2144TK

MEDIUM WALL MOUNT LANTERN

Sleek and sophisticated, Taper is built to last with a timeless, minimalist style that radiates contemporary cool. Its recessed integrated LED engine is directed downward with gradient illumination that grazes the gently tapered design. Part of the Coastal Elements collection, it is engineered with composite materials for maximum durability in modern Textured Black, Textured Graphite and Textured Oiled Rubber® Bronze finish options.

**DETAILS**

FINISH:	Textured Black
MATERIAL:	Composite
GLASS:	Etched

**DIMENSIONS**

WIDTH:	7"
HEIGHT:	15"
WEIGHT:	3.5 lbs.
BACK PLATE:	7" W x 15" H
EXTENSION:	3.5"
TOP TO OUTLET:	7.5"

**LIGHT SOURCE**

LIGHT SOURCE:	Integrated LED
LED NAME:	L214X-6
WATTAGE:	4w LED Included
VOLTAGE:	120
COLOR TEMP:	3000
LUMENS:	600
CR:	90
INCANDESCENT EQUIVALENCY:	1 x 60w
DIMMABLE:	Yes - CL Type Dimmer (SS27A)

**SHIPPING**

CARTON LENGTH:	9.8"
CARTON WIDTH:	8.2"
CARTON HEIGHT:	17.9"
CARTON WEIGHT:	4.6 lbs.

HINKLEY 33000 Pin Oak Parkway Avon Lake, OH 44012 PHONE: (440) 693-9500 Toll Free: 1 (800) 446-5539 hinkley.com

03 In-Ceiling Light 730 lumens qty: 8

Lightology Ocularc 3IN Square Warm Dim Downlight Trim SPEC # WAC1287575

**BRAND**

WAC Lighting

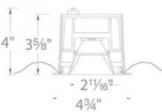
**DESCRIPTION**

The Ocularc 3 inch Dim-To-Warm Square Open Reflector Downlight features 3000K-1800K color temperature which gradually changes to a warmer color temperature as you dim. Great for new construction projects or remodels. Available with a 19 degree spot, 27 degree narrow flood, or 50 degree flood beam. Ceiling cutout 4.25 inch diameter. See housing for dimming. A complete fixture requires a housing and trim, sold separately.



Shown in: Black

TRIM COLOR	N/A
BODY FINISH	Black
WATTAGE	3W
DIMMER	N/A
DIMENSIONS	4.75"W x 4"H
BULB NOT INCLUDED	
LAMP	1x LED1W/702V LED
Technical Information	
LUMINOUS FLUX	730 lumens
LUMENS/WATT	62.36
LAMP COLOR	3000K Warm Dim
COLOR RENDERING	90 CRI
BEAM ANGLE	27°
LAMP LIFE	50000 hours
FUNCTION	Downlight
APERTURE SHAPE	Square
SPEC #	WAC1287575



04 Step Light (Existing) 140 lumens qty: 9



**DIMENSIONS (COVER):**  
8 3/4" Length x 3" Height x 1/4" Depth

**DIMENSIONS (HOUSING):**  
8" Length x 2 1/4" Height x 2 3/4" Depth

**BIG REX 12V LOUVERED FACE STEP LIGHT**  
SRS-502LED - RECESSED MOUNT 12V

**KEY FEATURES**

- HEAVY GAUGE SOLID BRASS WITH FROSTED LENS (STANDARD)
- NATURAL BRONZE FINISH (OTHER FINISHES AND LENS COLORS AVAILABLE. CONSULT FACTORY)
- DIMMABLE\* (TRANSFORMER USED MUST BE DIMMABLE)
- TEMPERED, SHOCK AND HEAT RESISTANT FROSTED LENS
- LENS - FIELD REPLACEABLE LED

**PRODUCT SPECIFICATIONS**

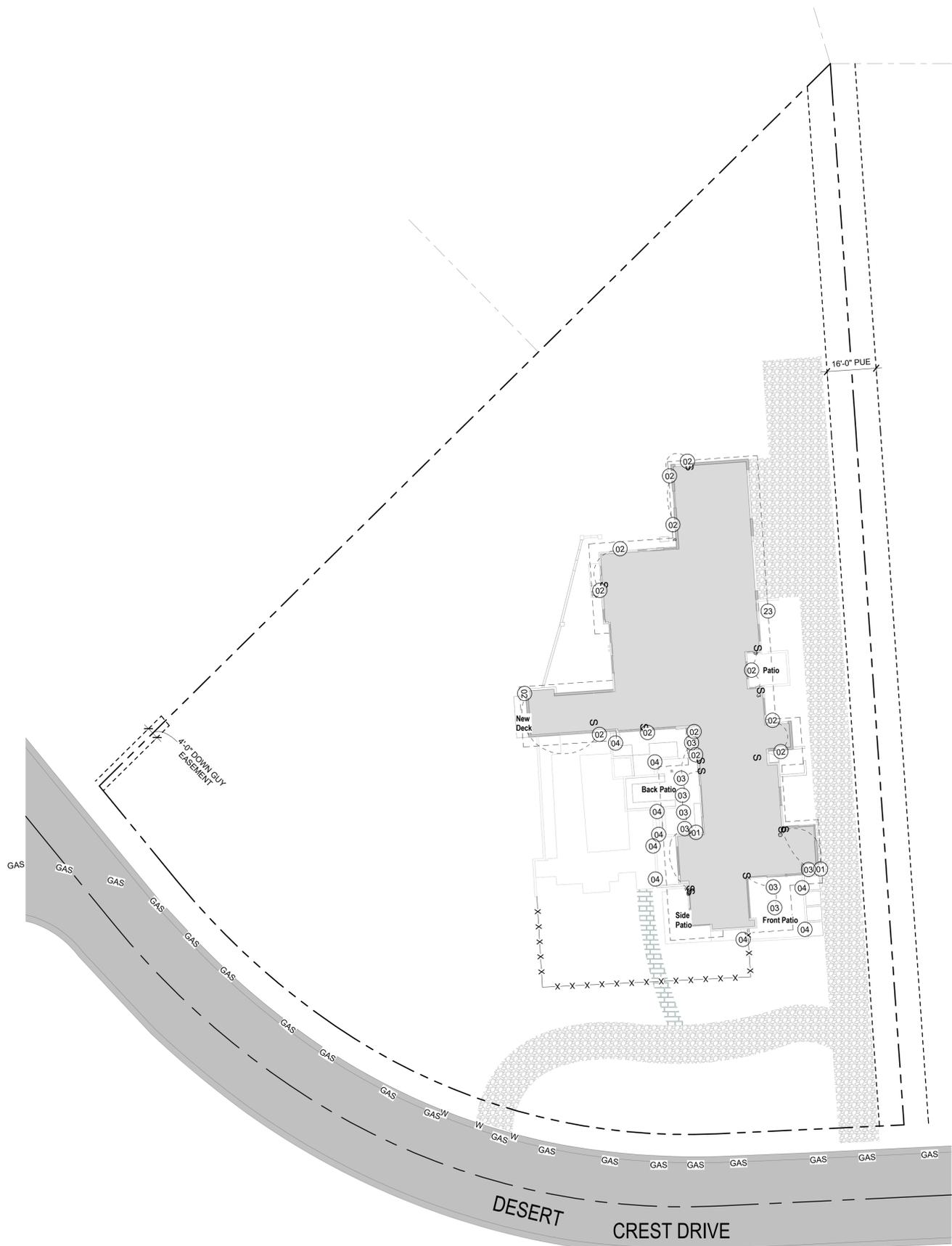
MATERIAL	SOLID DIE-CAST BRASS
LENS	FROSTED TEMPERED GLASS
VOLTAGE	12V AC/DC
ILLUMINATION	WIDE FLOOD / STEP / DECK PATH
LEAD WIRE	39"

**FIXTURE CONFIGURATION**

SRS-502LED	
FINISH	BR - BRONZE CST - CUSTOM

**LED LAMP CONFIGURATION**

LED	
LED WATTAGE	1.5W - 3W 140 - 280 LM (1 OR 2 LED'S)
KELVIN TEMPERATURE	27K 2700K



**OUTDOOR LIGHT NOTES**

1. All building mounted light fixtures shall be fully shielded and directed downward and away from adjacent lots, streets and open spaces.
2. Building mounted fixtures shall not exceed 8 feet above finished grade.
3. Recessed lights in exterior soffits, eaves or ceilings shall have a 45 degree cutoff.
4. No lighting permitted in "undisturbed areas"
5. Lights shall be set back from the nearest property line by a minimum of 10'
6. Landscape uplighting is limited to one fixture per 1000 square feet of allowable disturbed area and shall be recessed to provide a minimum of a 45 degree cut off from the vertical plane.
7. Fixtures shall not exceed 750 lumens at building entrances and outdoor living areas
8. Fixtures shall not exceed 250 lumens for other uses, or 150 lumens for landscape uplighting.

**KEYNOTES**

- 01 Entry sconce - recessed in wall
- 02 Secondary sconce
- 03 Recessed light in ceiling
- 04 Existing step light or wall light to remain

**DESERT CREST**

sheet contents:  
**exterior lighting**

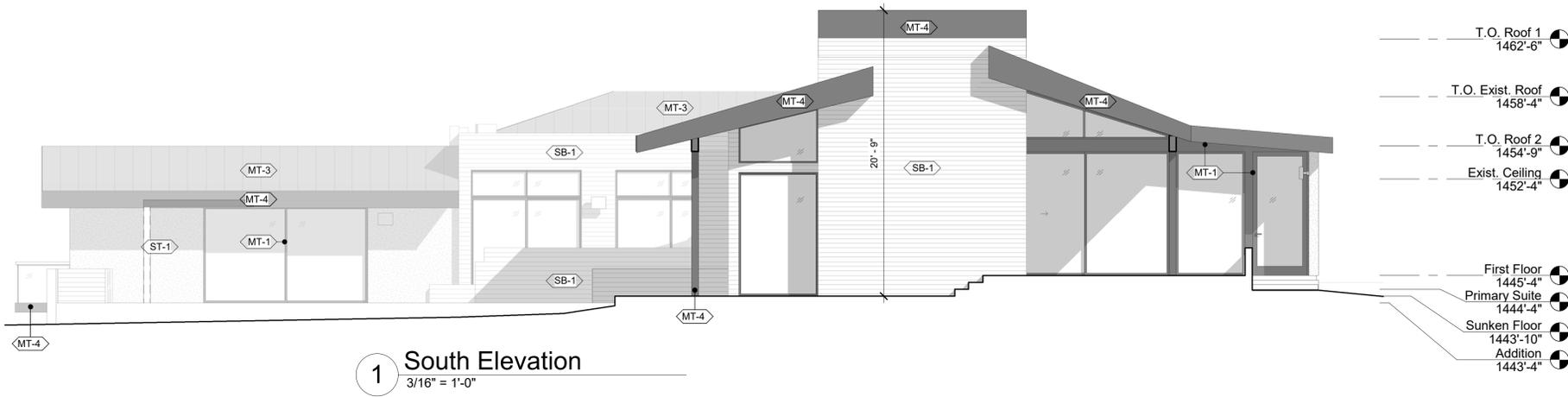
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**9**

Exterior Lighting Plan

1" = 20'-0"

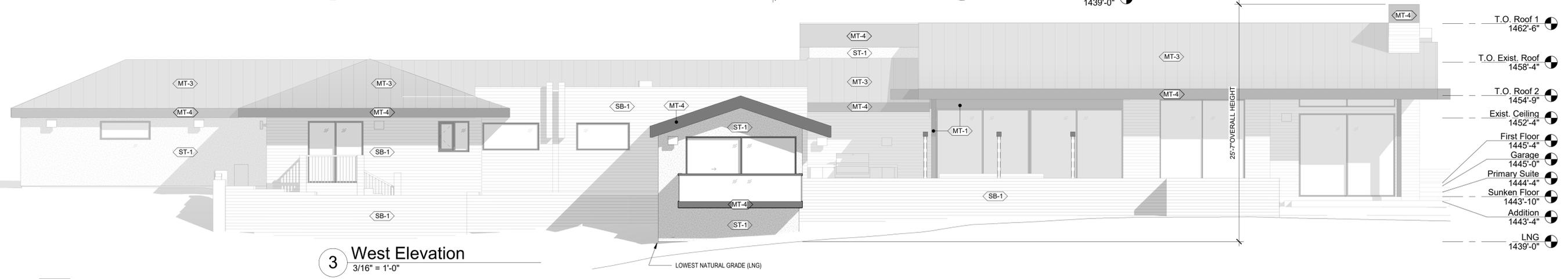




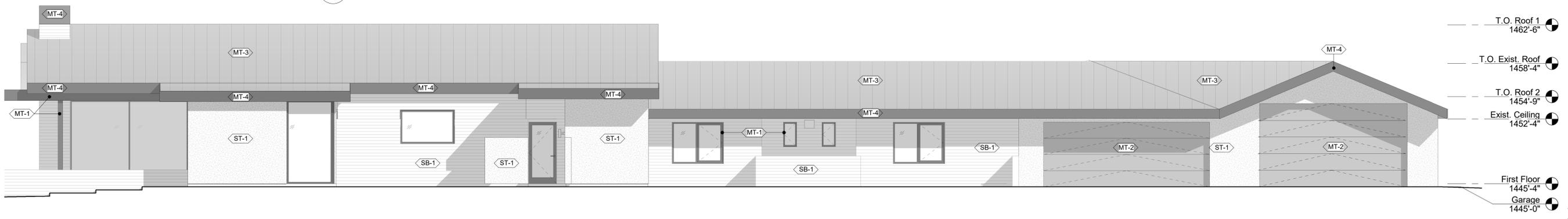
1 South Elevation  
3/16" = 1'-0"



2 North Elevation  
3/16" = 1'-0"



3 West Elevation  
3/16" = 1'-0"



4 East Elevation  
3/16" = 1'-0"

Exterior Finishes				Exterior Finishes			
Image	Type	Material	LRV	Image	Type	Material	LRV
	WD-5	Painted Wood	LRV		ST-1	Stucco - concrete look with exposed aggregate and color mix DEB243 Union Springs	LRV 29
	SB-1	Slump block	Existing		CT-1	Ground and polished concrete	
	MT-1	Bronze anodized	-LRV 19		WD-1	Slat ceiling - Lunawood	
	MT-2	Metal garage door - Clopay Mocha Brown	LRV 24		WD-4	Decking - TimberTech Dark Oak	
	MT-3	Metal panel roof - Desert Ore	-LRV 36				
	MT-4	Brake metal - to match MT-1	-LRV 19				



**DESERT CREST**  
sheet contents:  
**elevations**

sheet no:  
**10**



01



02



03



04



05



06



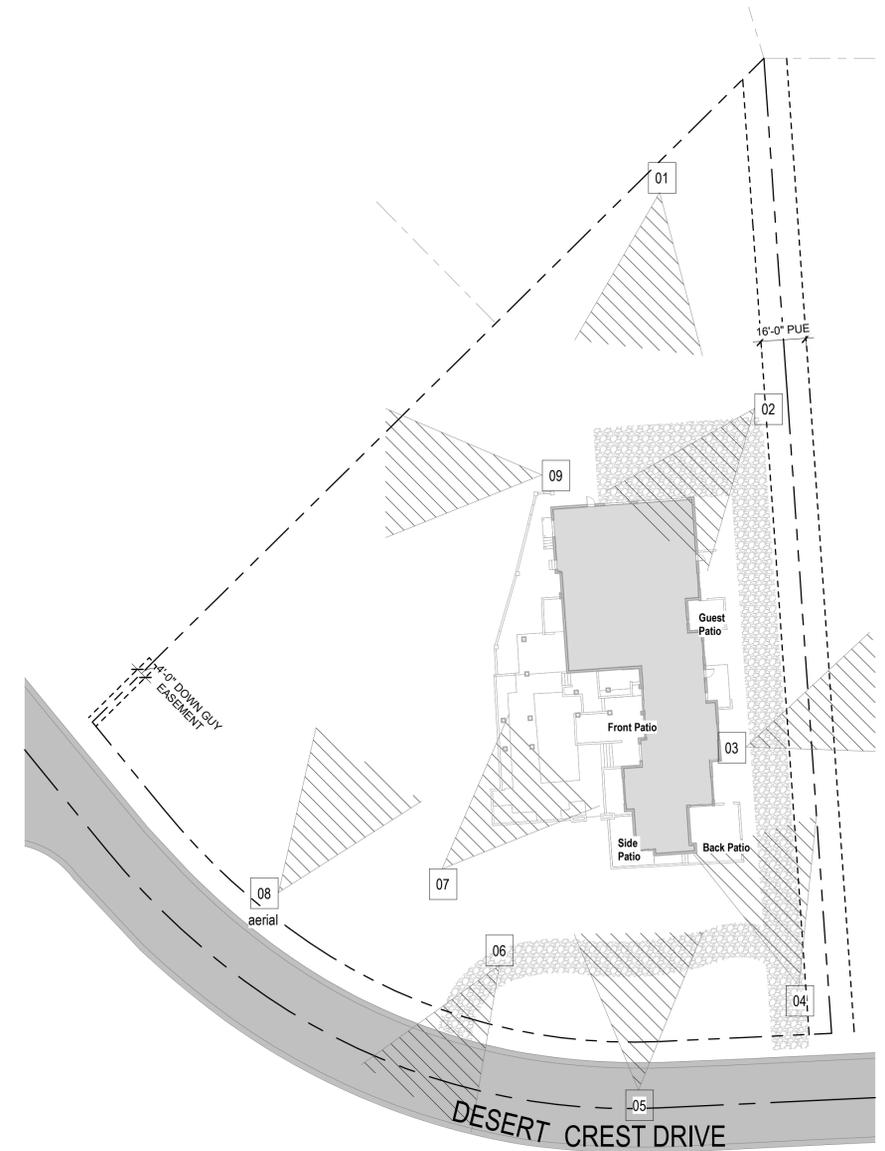
07



08 (aerial)



09



1 Exterior Photo Key  
1" = 30'-0"



View from driveway



View of entry



View of west addition with hillside in background



View from pool



DESERT CREST

sheet contents:  
**renderings**

sheet no:

**12**