

LOT 30 PV ESTATES

ADDRESS: 5254 EAST ARROYO ROAD
PARADISE VALLEY, ARIZONA 85253

APN: 169-29-030

LOT AREA: **49,914 SF** = 1.15 AC

EXISTING LIVABLE SPACE: 6,096 SF

CURRENT DISTURBED AREA: 84%

PER HISTORICAL GRADE VS EXISTING GRADE EXHIBIT DRAWINGS

2 EXISTING TOPOGRAPHY - WITH DISTURBANCE
SCALE: 1" = 20'-0"

EXISTING TOPO

SCALE: As indicated

DR-01



PENTECOST RESIDENCE

5254 E ARROY RD PARADISE VALLEY, ARIZONA 85253

11/12/2025



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APN: 169-29-030

LOT AREA: 49,914 SF = 1.15 AC

TOTAL AREA UNDER ROOF: 12,495 SF
FLOOR AREA RATIO: 25% = 25%

MAIN LEVEL LIVABLE: 7,185 SF
UPPER LEVEL LIVABLE: 1,283 SF
LOWER LEVEL LIVABLE (UNDERGROUND): 2,012 SF
LOWER LEVEL (PORTION EXPOSED ABOVE GRADE): 30% 885 SF
POOL BATH: 36 SF

UPPER GARAGE: 1,170 SF
LOWER GARAGE (UNDERGROUND): 4,028 SF
RV GARAGE/STORAGE (UNDERGROUND): 1,098 SF
RV GARAGE (PORTION EXPOSED ABOVE GRADE): 50% 460 SF
MECHANICAL / STORAGE: 151 SF
MECHANICAL / STORAGE (UNDERGROUND): 1,370 SF

COVERED PATIO: 1,184 SF
COVERED ENTRY: 141 SF
UNCOVERED PATIO & POOL: 3,000 SF
UNCOVERED LOWER PATIO: 835 SF

BUILDING PAD SLOPE: 13.7%
VERTICAL: 29 FT
HORIZONTAL: 212 FT
ALLOWABLE NET DISTURBED AREA: 60%
ALLOWABLE NET DISTURBED AREA: 29,948 SF
EXISTING GROSS DISTURBED: 82%
EXISTING GROSS DISTURBED: 40,985 SF
EXISTING BUILDING FOOTPRINT: 7,061 SF
EXISTING NET DISTURBED AREA: 33,942 SF (68%)
PROPOSED NEW DISTURBED AREA: 0%
TOTAL GROSS DISTURBED AREA: 33,942 SF (68%)

LESS AREAS OF DISTURBANCE:
TOTAL LIVABLE FOOTPRINT: 9,654 SF
TOTAL GARAGE FOOTPRINT: 2,130 SF
DRIVEWAY CREDIT @25%: 7,230 SF x 0.25 = 1,808 SF
RETENTION BASIN CREDIT @50%: 0 SF

RESTORED AREAS: 0 SF
NET DISTURBED AREAS: 20,332 SF (41%)
% OF LOT > THAN NATURAL GRADE: 2,450 SF 4.9% < 5%
VOLUME OF CUT: 225 CY
VOLUME OF FILL: 185 CY
TOTAL CUT & FILL: 410 CY
HILLSIDE ASSURANCE = 35 TIMES THE GRADING PERMIT FEE
GRADING PERMIT FEE: \$466.00
\$168 FIRST 100 CY / \$96 EA. ADDITIONAL 100 CY)
ASSURANCE AMOUNT: \$16,310.00

ALL QUANTITIES LISTED ON THESE PLANS ARE ESTIMATES ONLY.
THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF THE
QUANTITIES AND BASE THEIR BIDS ON THEIR ESTIMATES.

NOTE: THIS SITE PLAN IS FOR BASIC BUILDING PLACEMENT AND
SETBACK INFORMATION ONLY - REFER TO CIVIL GRADING AND
DRAINAGE PLANS AND LANDSCAPE ARCHITECT DRAWINGS FOR ALL
SITE RELATED INFORMATION.

1 SITE PLAN
SCALE: 1" = 20'-0"

SITE PLAN



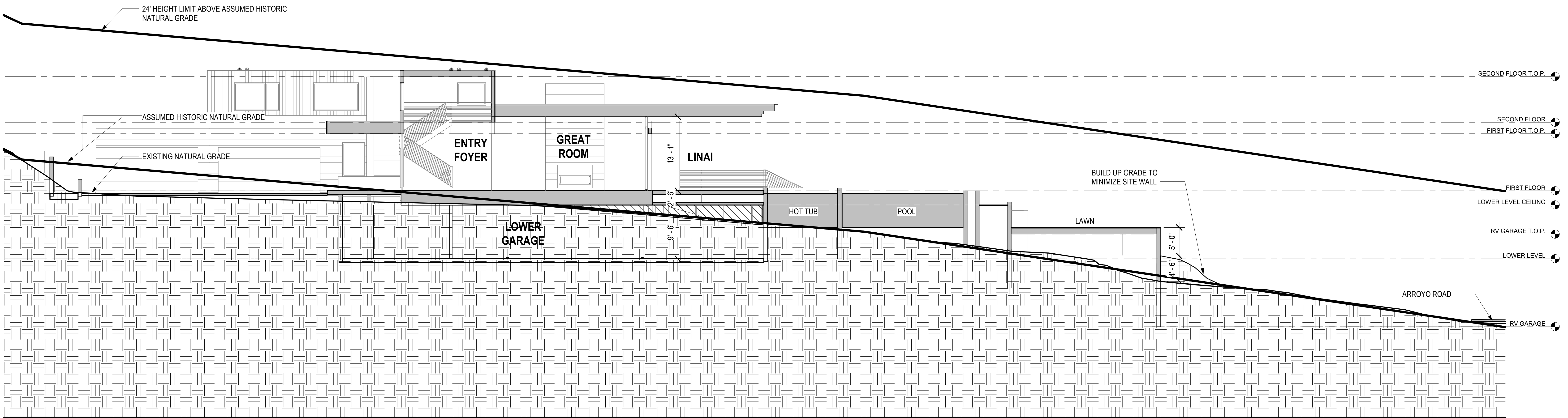
PENTECOST RESIDENCE

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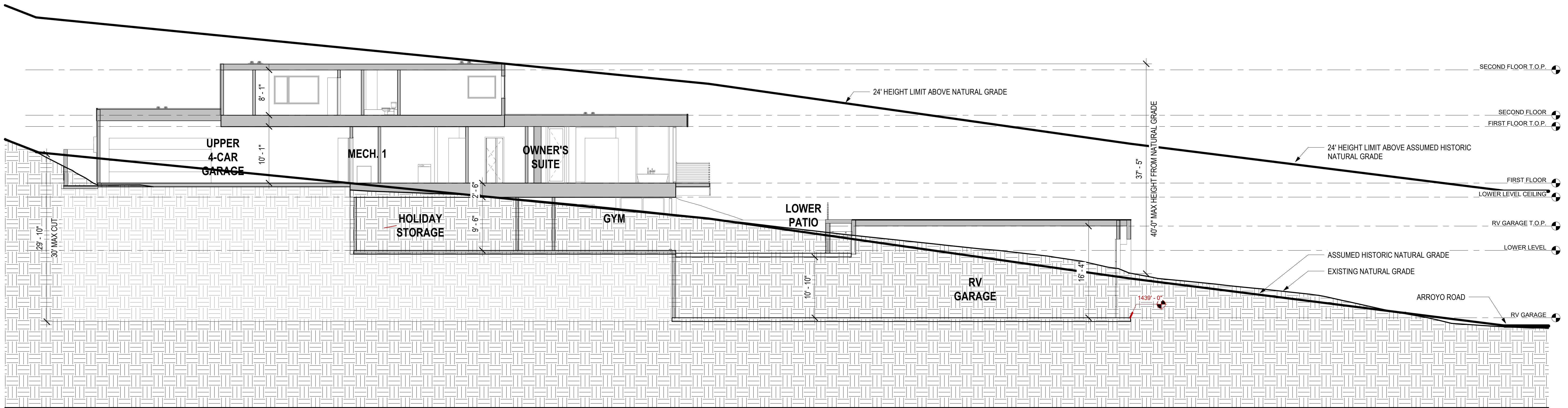
SCALE: As indicated

DR-02

11/12/2025



1 SITE SECTION 1
SCALE: 1/8" = 1'-0"

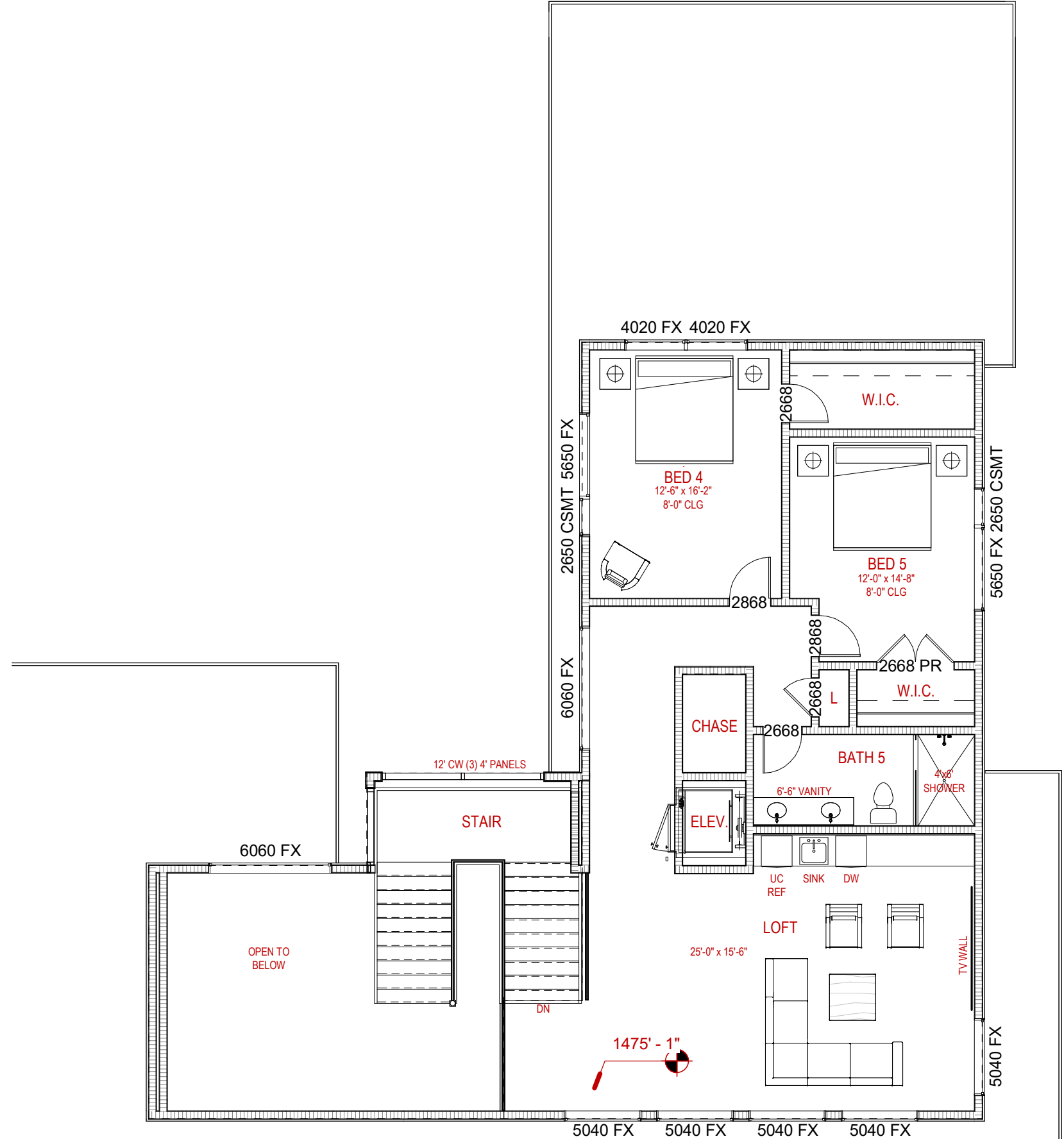


2 SITE SECTION 2
SCALE: 1/8" = 1'-0"

SITE SECTION

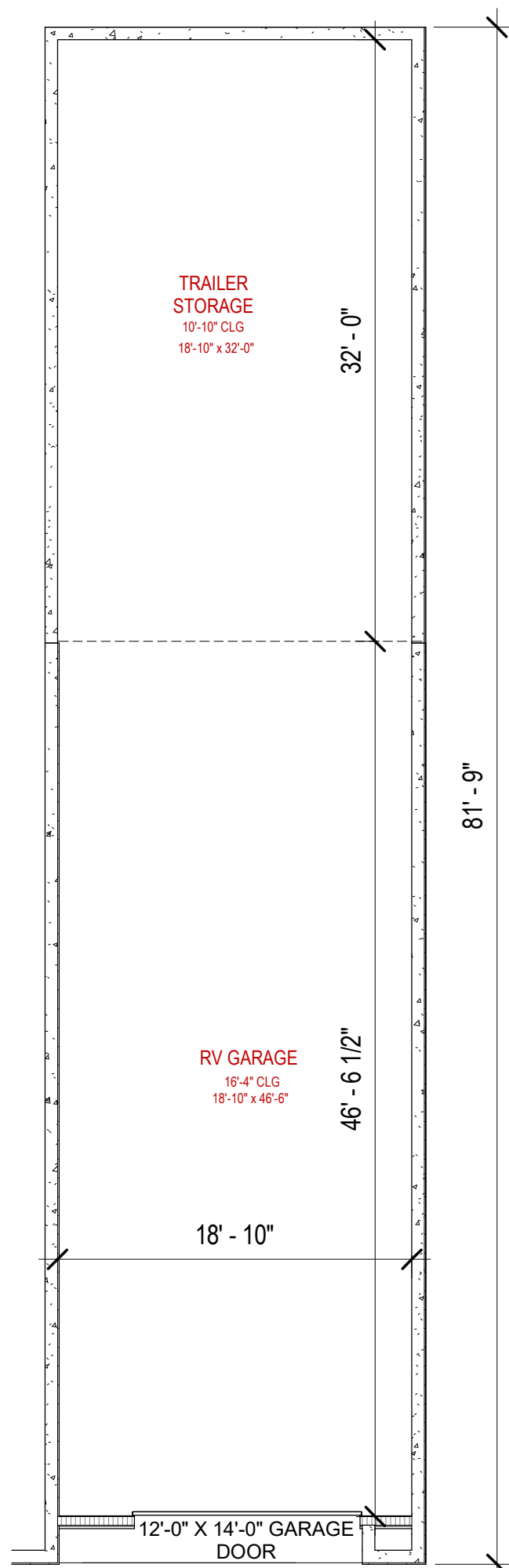
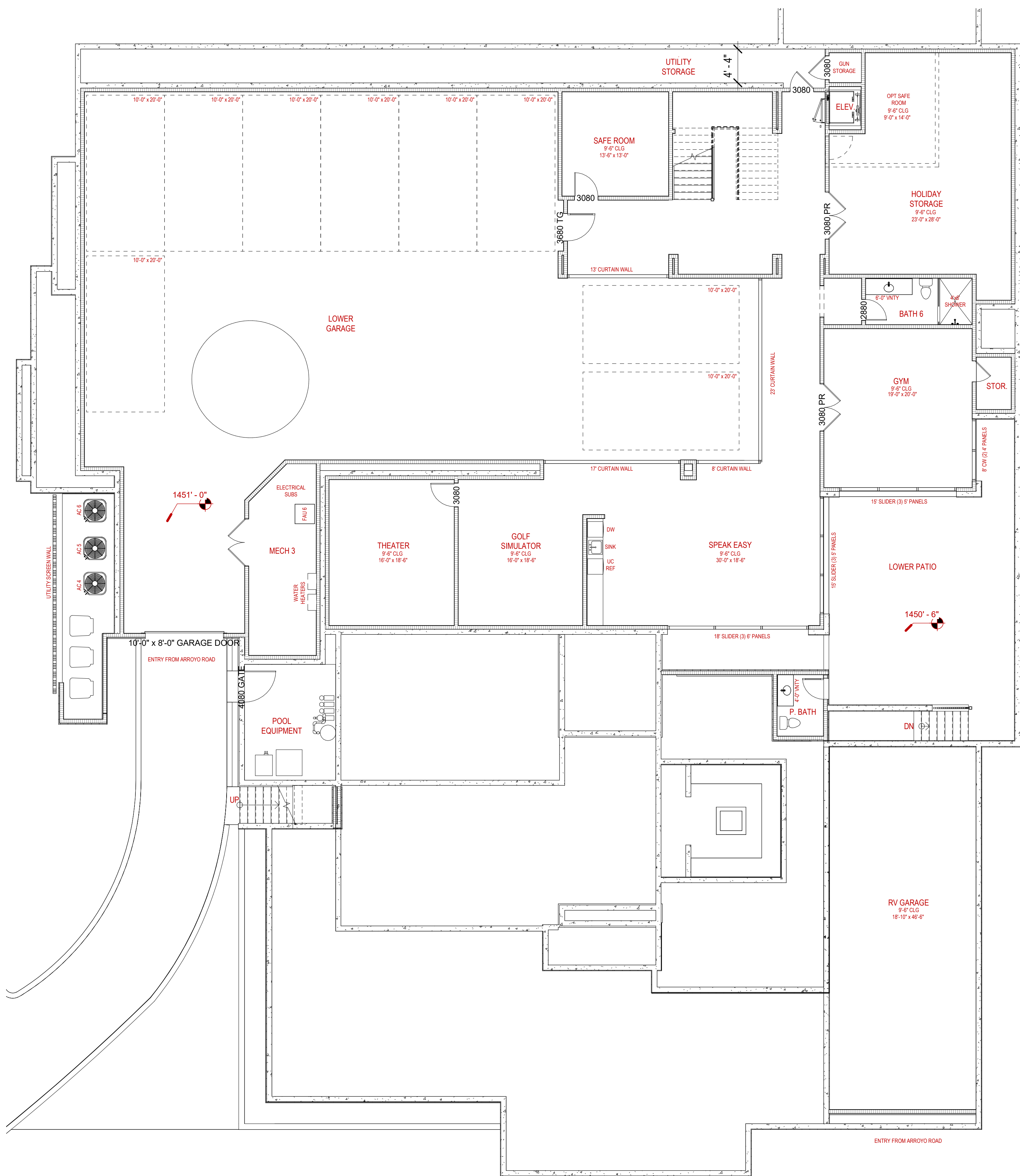
SCALE: 1/8" = 1'-0"

DR-03



MAIN LEVEL FLOOR PLAN WITH LOFT

SCALE: 1/8" = 1'-0" DR-04



LOWER LEVEL FLOOR PLAN

SCALE: 1/8" = 1'-0"

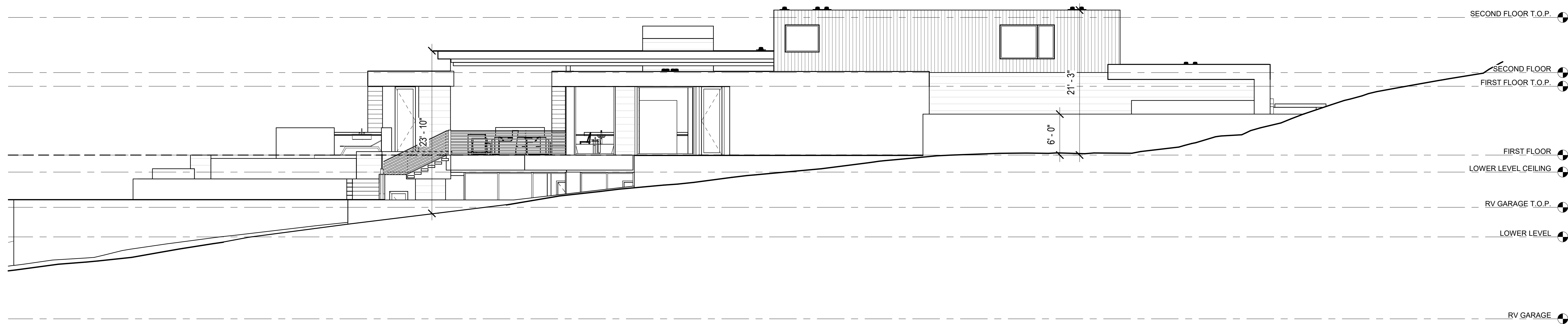
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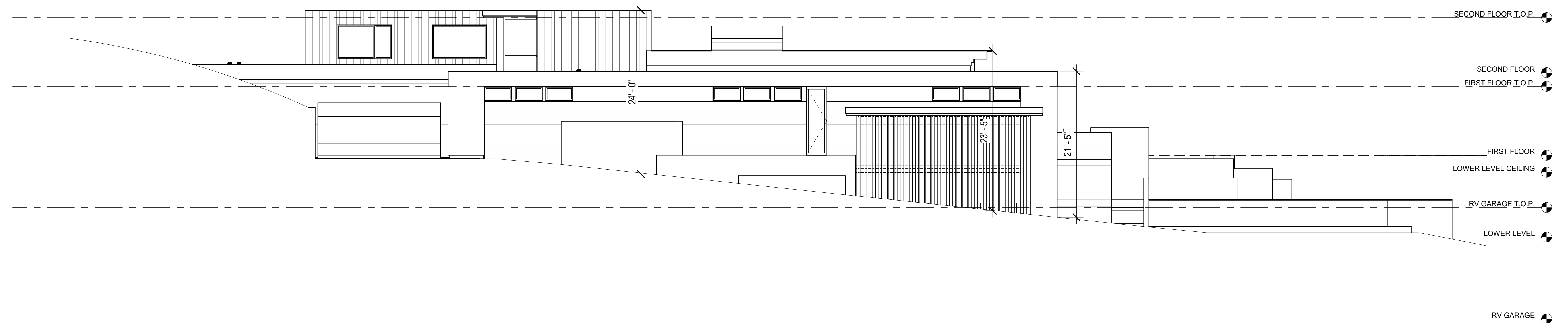
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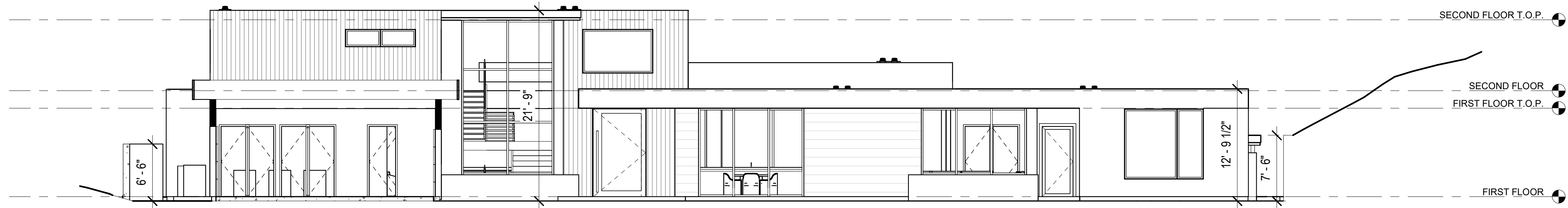
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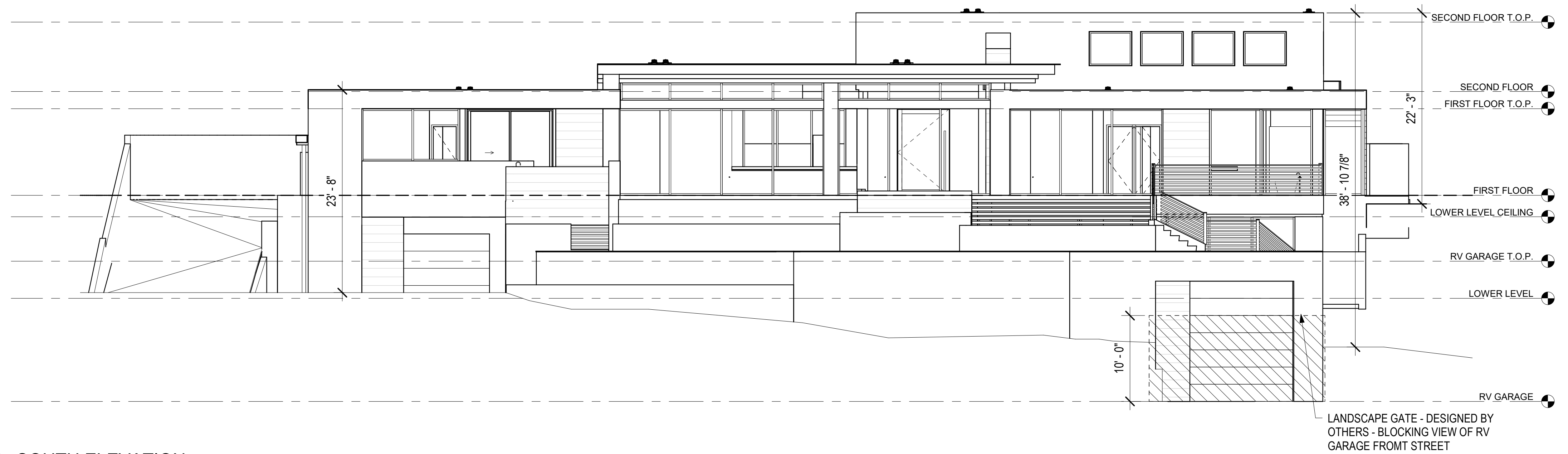
2 EAST ELEVATION
SCALE: 1/8" = 1'-0"



1 WEST ELEVATION
SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



PERSPECTIVES

SCALE:

DR-08



PENTECOST RESIDENCE

5254 E ARROY RD PARADISE VALLEY, ARIZONA 85253

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PERSPECTIVES

SCALE:

DR-09



PENTECOST RESIDENCE

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11/12/2025

TOWN OF PARADISE VALLEY NOTES

- BUILDING NOTES:**
- ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL CITY OR TOWN UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN. THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL, STATE, AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO THE CONSTRUCTION COVERED BY THIS PLAN.
 - PRIOR TO THE FIRST INSPECTION OF STRUCTURES WITHIN 3 FEET OF A SETBACK LINE, THE PROPERTY PINS SHALL BE PLACED BY A REGISTERED CIVIL ENGINEER OR LAND SURVEYOR OF THE STATE OF ARIZONA, AND THE PROPERTY LINE(S) IDENTIFIED.
 - WHERE EXCAVATION IS TO OCCUR THE TOP 4" OF EXCAVATED NATIVE SOIL SHALL REMAIN ON THE SITE AND SHALL BE REUSED IN A MANNER THAT TAKES ADVANTAGE OF THE NATURAL SOIL SEED BANK IT CONTAINS.
 - THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
 - ALL EXTERIOR SITE LIGHTING SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS FOR TYPE, LOCATION, HEIGHT, WATTAGE, AND LUMEN BASED UPON THE FIXTURES INSTALLED PURSUANT TO SECTION 1023 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCE FOR NON-HILLSIDE PROPERTIES, SECTION 2208 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCE FOR HILLSIDE PROPERTIES, OR AS SPECIFIED IN THE SPECIAL USE PERMIT FOR SPECIAL USE PERMIT PROPERTIES.

- ENGINEERING NOTES:**
- A DUST CONTROL PLAN AND PERMIT MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
 - A SEPARATE RIGHT-OF-WAY PERMIT IS NECESSARY FOR ANY OFF-SITE CONSTRUCTION.
 - AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
 - EAVE PROJECTIONS INTO REQUIRED SETBACKS ARE LIMITED TO A MAXIMUM OF 24" PURSUANT TO SECTION 1008 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES.
 - ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
 - ALL NEW AND EXISTING ELECTRICAL SERVICE LINES SHALL BE BURIED PER THE TOWN OF PARADISE VALLEY REQUIREMENTS.
 - IT SHALL BE THE RESPONSIBILITY OF THE PERMITEE TO ARRANGE FOR THE RELOCATION AND RELOCATION COSTS OF ALL UTILITIES, AND TO SUBMIT A UTILITY RELOCATION SCHEDULE PRIOR TO THE ISSUANCE OF AN ENGINEERING CONSTRUCTION PERMIT.
 - EXISTING AND/OR NEW UTILITY CABINETS AND PEDESTALS SHALL BE LOCATED A MINIMUM OF 4' BEHIND ULTIMATE BACK OF CURB LOCATION.
 - POOL, SPA, BARBECUE AND ANY PROPOSED STRUCTURES OVER 8' ABOVE GRADE REQUIRE SEPARATE PERMIT APPLICATIONS.
 - POOLS SHALL BE CONSTRUCTED BY SEPARATE PERMIT AND SECURED FROM UNWANTED ACCESS PER TOWN CODE, ARTICLE 9-2.
 - ALL FILL MATERIAL UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95%.
 - SETBACK CERTIFICATION IS REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO STEM WALL INSPECTION.
 - FOR BUILDING PADS THAT HAVE 1' OR MORE OF FILL MATERIAL, SOILS COMPACTION TEST RESULTS ARE REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO PRE-SLAB INSPECTION.
 - LOWEST FLOOR ELEVATION CERTIFICATION IS REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO STRAP AND SHEAR INSPECTION.
 - MAIL BOXES SHALL COMPLY WITH THE TOWN OF PARADISE VALLEY STANDARDS FOR MAIL BOXES IN THE RIGHT-OF-WAY FOR HEIGHT, WIDTH AND BREAK AWAY FEATURES.
 - ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE.
 - TRENCH BEDDING AND SHADING SHALL BE FREE OF ROCKS AND DEBRIS.
 - THE TOWN ONLY APPROVES THE SCOPE OF WORK AND NOT THE ENGINEERING DESIGN. ANY CONSTRUCTION QUANTITIES SHOWN ARE NOT VERIFIED BY THE TOWN.

- CONSTRUCTION NOTES:**
- THE APPROVAL OF THE PLANS IS VALID FOR 180 DAYS. IF A PERMIT FOR CONSTRUCTION HAS NOT BEEN ISSUED WITHIN 180 DAYS, THE PERMIT MUST BE RENEWED.
 - A TOWN INSPECTOR WILL INSPECT ALL WORK WITHIN THE TOWN'S RIGHTS-OF-WAY. NOTIFY TOWN INSPECTION SERVICES TO SCHEDULE A PRECONSTRUCTION MEETING PRIOR TO STARTING CONSTRUCTION.
 - WHENEVER EXCAVATION IS NECESSARY, CALL ARIZONA811 BY DIALING 811 OR 602-263-1100, TWO (2) WORKING DAYS BEFORE EXCAVATION BEGINS.
 - EXCAVATIONS SHALL COMPLY WITH REQUIREMENTS OF OSHA EXCAVATION STANDARDS (29 CFR, PART 1926, SUBPART P), UNDER NO CIRCUMSTANCES WILL THE CONTRACTORS BE ALLOWED TO WORK IN A TRENCH LOCATED WITHIN THE TOWN'S RIGHT-OF-WAY WITHOUT PROPER SHORING OR EXCAVATION METHODS.
 - PERMIT HOLDER SHALL POST A 6 SQUARE FOOT (2'x3') IDENTIFICATION SIGN, MADE OF DURABLE MATERIAL, IN THE FRONT YARD OF SUBJECT PROPERTY AND NOT IN THE TOWN'S RIGHT-OF-WAY. THE SIGN MAY NOT EXCEED A MAXIMUM OF 6 FEET IN HEIGHT FROM GRADE TO TOP OF THE SIGN. THE SIGN MUST INCLUDE THE PERMITEE OR COMPANY NAME, PHONE NUMBER, TYPE OF WORK, ADDRESS OF PROJECT AND TOWN CONTACT NUMBER, 480-348-3556.
 - WHEN DEEMED NECESSARY, A 6-FOOT HIGH CHAIN LINK FENCE MUST BE INSTALLED AROUND THE CONSTRUCTION AREA TO PREVENT ANY POTENTIAL SAFETY HAZARD FOR THE PUBLIC. THE FENCE SHALL BE SETBACK AT LEAST 10 FEET FROM ALL RIGHTS-OF-WAY AND HAVE A 50-FOOT STREET CORNER SITE TRIANGLE WHERE APPLICABLE.
 - CLEAR ACCESS FOR NEIGHBORING PROPERTIES AND EMERGENCY VEHICLES MUST BE MAINTAINED AT ALL TIMES. CONSTRUCTION RELATED VEHICLES MUST BE LEGALLY PARKED ONLY ON ONE SIDE OF THE STREET OR JOB SITE PROPERTY.
 - ALL CONSTRUCTION DEBRIS AND EQUIPMENT MUST BE CONTAINED ON SITE AT ALL TIMES. CONTRACTOR AND PROPERTY OWNER MUST MAINTAIN THE JOB SITE FREE OF LITTER AND UNSIGHTLY MATERIALS AT ALL TIMES. CONSTRUCTION MATERIALS ARE PROHIBITED IN THE TOWN'S RIGHT-OF-WAY.
 - CONSTRUCTION ACTIVITIES ARE PERMITTED BETWEEN THE HOURS OF 5 AM AND 7 PM MONDAY THROUGH THURSDAY AND 7 AM TO 7 PM ON SATURDAYS CONSTRUCTION ACTIVITIES (MAY 1ST THROUGH SEPTEMBER 30TH). TOPV CODE 8-10-2(D) ENFORCED OCTOBER 1ST THROUGH APRIL 30TH.
 - THE USE AND OPERATION OF FUEL-FIRED GENERATORS IS PROHIBITED UNLESS DUE TO A HARSHIP. TOWN APPROVAL SHALL BE REQUIRED.
 - THE CONTRACTOR AND PROPERTY OWNER SHALL BE LIABLE FOR ANY DAMAGE DONE TO ANY PUBLIC PROPERTY AS A RESULT OF ANY CONSTRUCTION OR CONSTRUCTION RELATED ACTIVITIES. NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL AFFECTED RIGHTS-OF-WAY ARE CLEANED AND/OR REPAIRED TO THEIR ORIGINAL CONDITION AND UNTIL ANY AND ALL DAMAGES TO AFFECTED PROPERTIES ARE RESTORED TO ORIGINAL CONDITION.
 - A KEYSWITCH SHALL BE REQUIRED ON ALL NEW AND EXISTING ELECTRIC ENTRY GATES. THE KEYSWITCH SHALL BE INSTALLED IN A LOCATION THAT IS READILY VISIBLE AND ACCESSIBLE. KNOX BOX ORDER FORMS ARE AVAILABLE AT THE TOWN'S BUILDING SAFETY DEPARTMENT.
 - PROPERTY OWNER, BUILDER, OR GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR CONTROLLING DUST FROM THE SITE AT ALL TIMES. ALL MEANS NECESSARY SHALL BE USED BY THE BUILDER OR GENERAL CONTRACTOR TO CONTROL THE EXISTENCE OF DUST CAUSED BY ANY EARTHWORK, SPRAY APPLICATION OF MATERIALS, OR OTHER DUST-CAUSING PRACTICES REQUIRED BY THE CONSTRUCTION PROCESS.
 - APPROVAL OF THESE PLANS ARE FOR PERMIT PURPOSES ONLY AND SHALL NOT PREVENT THE TOWN FROM REQUIRING CORRECTION OF ERRORS IN THE PLANS WHERE SUCH ERRORS ARE SUBSEQUENTLY FOUND TO BE IN VIOLATION OF ANY LAW, ORDINANCE, HEALTH, SAFETY, OR OTHER DESIGN ISSUES.
 - ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTION DITCHES, PIPES PROTECTIVE BERMS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT PROPOSED AND EXISTING IMPROVEMENTS FROM RUNOFF OR DAMAGE FROM STORM WATER, MUST BE CONSTRUCTED PRIOR TO THE CONSTRUCTION OF ANY IMPROVEMENTS.

FINISH FLOOR CERTIFICATION

I HEREBY CERTIFY THAT FINISHED FLOOR ELEVATIONS SHOWN ON THE PLAN OF XXXX.XX AND XXXX.XX ARE MINIMUM OF 12" ABOVE THE 100-YEAR STORM ELEVATION OF XXXX.XX ACCORDING TO THE TOWN OF PARADISE VALLEY CODE OF ORDINANCE.

REGISTERED CIVIL ENGINEER DATE:

GRADING & DRAINAGE PLAN
5254 E ARROYO ROAD PARADISE VALLEY, AZ 85253
PENTACOST RESIDENCE
LOT 30 PARADISE VALLEY ESTATES

ENGINEERS NOTES

- GRADING SHALL BE IN CONFORMANCE WITH 2018 IBC SEC. 1803 AND APPENDIX J.
- 5% MINIMUM SLOPE AHEAD FROM BUILDING FOR A MINIMUM 10', U.N.O.
- ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTOR DITCHES, PIPES, PROTECTIVE BERMS, BARRIER WALLS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT ADJACENT BUILDINGS OR PROPERTY FROM STORM RUNOFF MUST BE COMPLETED PRIOR TO BUILDING CONSTRUCTION.
- ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
- ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE. ALL LAWN AREAS ADJOINING WALKS OR SLABS WILL BE GRADED TO 2" BELOW THE TOP OF SLAB. TYPICAL FINISHED GRADE AROUND PERIMETER OF BUILDING IS MINUS 6" BELOW FINISHED FLOOR UNLESS SPECIFIED OTHERWISE.
- ALL MATERIAL TO BE UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95% PER ASTM D698.
- THE QUANTITIES AND SITE CONDITIONS DEPICTED IN THESE PLANS ARE FOR INFORMATIONAL PURPOSES ONLY AND ARE SUBJECT TO ERROR AND OMISSION. CONTRACTORS SHALL SATISFY THEMSELVES AS TO ACTUAL QUANTITIES AND SITE CONDITIONS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL METHODS, SEQUENCING, AND SAFETY CONCERNS ASSOCIATED WITH THIS PROJECT DURING CONSTRUCTION, UNLESS SPECIFICALLY ADDRESSED OTHERWISE IN THIS PLAN OR ELSEWHERE.
- A REASONABLE EFFORT HAS BEEN MADE TO SHOW THE LOCATIONS OF EXISTING UNDERGROUND FACILITIES AND UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND/OR FACILITIES CAUSED DURING THEIR CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL CALL 48 HOURS IN ADVANCE FOR BLUE STAKE (1-800-STAKE-IT) PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION OF CONSTRUCTION AFFECTING UTILITIES AND THE COORDINATION OF ANY NECESSARY UTILITY RELOCATION WORK.
- ALL PAVING, GRADING, EXCAVATION, TRENCHING, PIPE BEDDING, CUT, FILL AND BACKFILL SHALL COMPLY WITH THE RECOMMENDATIONS SET FORTH IN THE SOILS (GEOTECHNICAL) REPORT FOR THIS PROJECT IN ADDITION TO THE REFERENCED REQUIRED SPECIFICATIONS AND DETAILS.
- THE CONTRACTOR IS TO VERIFY THE LOCATION AND THE ELEVATIONS OF ALL EXISTING UTILITIES AT POINTS OF TIE-IN PRIOR TO COMMENCING ANY NEW CONSTRUCTION. SHOULD ANY LOCATION OR ELEVATION DIFFER FROM THAT SHOWN ON THESE PLANS, THE CONTRACTOR SHALL CONTACT THE OWNER'S AGENT.
- CONTRACTOR TO VERIFY AND COORDINATE ALL DIMENSIONS AND SITE LAYOUT WITH ARCHITECTURE'S FINAL SITE PLAN AND FINAL BUILDING DIMENSIONS BEFORE STARTING WORK. REPORT DISCREPANCIES TO OWNER'S AGENT.
- COORDINATION BETWEEN ALL PARTIES IS ESSENTIAL PART OF CONTRACT.
- CONTRACTOR IS RESPONSIBLE FOR PROJECT AND SITE CONDITIONS, AND TO WORK WITH WEATHER CONDITIONS AS THE PROJECT SITE MAY BE LOCATED IN A FLOOD PRONE AREA AND SUBJECT TO FLOODING AND ITS HAZARDS.
- THE CONTRACTOR IS TO VERIFY THE LOCATION, ELEVATION, CONDITION, AND PAVEMENT CROSS-SLOPE OF ALL EXISTING SURFACES AT POINTS OF TIE-IN AND MATCHING, PRIOR TO COMMENCEMENT OF GRADING, PAVING, CURB AND

- UTTER, OR OTHER SURFACE CONSTRUCTION. SHOULD EXISTING LOCATIONS, ELEVATIONS, CONDITION, OR PAVEMENT CROSS-SLOPE DIFFER FROM THAT SHOWN ON THESE PLANS, RESULTING IN THE DESIGN INTENT REFLECTED ON THESE PLANS NOT ABLE TO BE CONSTRUCTED, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AGENT IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ALL COSTS ASSOCIATED WITH CORRECTIVE ACTION IF THESE PROCEDURES ARE NOT FOLLOWED.
- CONTRACTOR IS RESPONSIBLE TO COORDINATE UTILITY CROSSINGS AT CULVERT CROSSINGS BEFORE STARTING WORK ON CULVERT. COORDINATE WITH OWNER REPRESENTATIVE. VERIFY UTILITY LINES AND/OR CONDUITS ARE IN PLACE BEFORE STARTING CULVERT WORK.
- ALL ON-SITE UTILITIES PER OTHERS.
- THIS PROJECT REQUIRES A REGULAR ONGOING MAINTENANCE PROGRAM FOR THE DESIGNED DRAINAGE SYSTEM(S) TO PRESERVE THE DESIGN INTEGRITY AND THE ABILITY TO PERFORM ITS OPERATIONAL INTENT. FAILURE TO PROVIDE MAINTENANCE WILL JEOPARDIZE THE DRAINAGE SYSTEM(S) PERFORMANCE AND MAY LEAD TO ITS INABILITY TO PERFORM PROPERLY AND/OR CAUSE DAMAGE ELSEWHERE IN THE PROJECT.
- IF A DISCREPANCY IS FOUND BETWEEN ENGINEER'S PLAN OR SURVEYOR'S STAKING AND THE ARCHITECTURAL PLAN, ENGINEER SHALL BE NOTIFIED IMMEDIATELY. FAILURE TO NOTIFY ENGINEER SHALL NEGATE ENGINEER'S LIABILITY.
- ALL DISTURBED AREAS ARE TO BE ROPED AND ROPING MUST MATCH PLAN.
- VEGETATION OUTSIDE OF CONSTRUCTION AREA TO REMAIN.
- AREAS OUTSIDE THE WALL AND CUT AND FILL SLOPES SHALL BE REVEGETATED WITH SIMILAR PLANT TYPES AND DENSITIES FOUND ON THE SITE. REVEGETATION SHALL BE COMPLETED PRIOR TO OCCUPANCY AND THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- MECHANICAL EQUIPMENT SHALL BE SCREENED TO A MINIMUM OF ONE FOOT ABOVE TOP OF EQUIPMENT.
- ANY FUTURE IMPROVEMENTS SHOWN HEREON SHALL REQUIRE A SEPARATE PERMIT.
- ANY POINTS OF DRAINAGE CONCENTRATION SHOULD BE PROTECTED AGAINST EROSION WITH NATIVE STONE.
- THIS PLAN IS DESIGNED TO SHOW SITE GRADING AND DRAINAGE CONTRACTOR SHALL USE THE ARCHITECTURAL SITE PLAN TO DETERMINE FINAL HOUSE, WALL, STEP, ETC., LOCATIONS AND ELEVATIONS.
- ALL DRAINAGE FACILITIES TO BE MAINTAINED BY HOMEOWNER.
- SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR SITE AND RETAINING WALLS LAYOUT, DIMENSIONS, AND DETAILS.
- TOP OF FOOTING ELEVATIONS SHOWN IN PLAN ARE APPROXIMATE ONLY. ACTUAL TOP OF FOOTINGS TO BE DETERMINED AT TIME OF CONSTRUCTION AND TO BE A MINIMUM OF SIX INCHES BELOW EXISTING NATURAL GRADE OR FINISHED GRADE WHICHEVER IS LOWER (TYPICAL).
- REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT, DIMENSIONS AND ELEVATIONS.
- REFER TO STRUCTURAL DRAWINGS, DETAILS AND CALCULATIONS FOR ALL PROPOSED RETAINING WALLS.
- FOR CHANGE IN ELEVATION THAT ARE GREATER THAN 30", PROVIDE 36" HIGH GUARDRAILS FOR TOTAL OF 42" FALL PROTECTION BARRIER U.N.O.
- ALL WATER AND SEWER LINES AND CONNECTIONS MUST BE INSTALLED PER IPC 2015, MAG AND CITY OF SCOTTSDALE SUPPLEMENT TO MAG.
- ALL PIPES AND FITTINGS SHALL BE INSTALLED PER MANUFACTURE'S SPECIFICATIONS AND DETAILS.
- ABANDONMENT OR REMOVAL OF EXISTING SEPTIC SYSTEMS SHALL BE PERFORMED IN ACCORDANCE WITH THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT RULES AND STANDARDS, AND WILL REQUIRE SEPARATE PERMIT.
- COORDINATE RIPRAP COVER WITH LANDSCAPE PLANS AND DETAILS.
- VERIFY AND COORDINATE WITH ARCHITECTURAL AND LANDSCAPE PLANS LOCATION AND HEIGHT OF ALL SITE WALLS.
- DISTURBED AREA 1.015 > 1 ACRE: NPDES PERMIT IS REQUIRED.
- REFER TO ARCHITECTURAL PLANS AND DETAILS FOR DEMOLITION OF EXISTING BUILDING STRUCTURE, SITE WALLS AND PAVEMENT.
- VERIFY AND COORDINATE WITH LANDSCAPE PLANS FINAL LOCATION AND GRATE TYPE OF SPECIFIED AREA DRAINS AND TRENCH DRAINS.
- CONTRACTOR TO COORDINATE ALL ELEVATIONS OF RETAINING, FREE STANDING AND STEM WALLS WITH ARCHITECT, LANDSCAPE ARCHITECT AND STRUCTURAL ENGINEER. LDG ASSUMES NO LIABILITY FOR LACK OF COORDINATION BETWEEN THE PROJECT STAKEHOLDERS.
- THE SCOPE OF THIS GRADING AND DRAINAGE PLAN COVERS CERTAIN SITE DRAINAGE IMPROVEMENTS AS DELINEATED BY THE LIMITS OF THE CONSTRUCTION AND IN ACCORDANCE TO THE PREPARED BY THE ARCHITECT SITE PLAN, WHICH HAS BEEN COORDINATED AND APPROVED BY THE OWNER. LAND DEVELOPMENT GROUP (LDG) ASSUMES NO LIABILITY FOR DRAINAGE ISSUES THAT MAY EXIST AND COULD CAUSE DAMAGE TO THE SUBJECT OR NEIGHBORING PROPERTIES BEYOND THE LIMITS OF THE CONSTRUCTION SHOWN ON THESE PLANS.
- THE GRADING AND DRAINAGE DESIGN PRESENTED HEREIN IS BASED ON EVALUATING STORMWATER RUNOFF RESULTING FROM A STATISTICAL ANALYSIS OF STORM EVENTS OF PARTICULAR FREQUENCY, UP TO AND INCLUDING 100-YEAR EVENT AS REQUIRED BY THE CITY OF PHOENIX AND MARICOPA COUNTY DRAINAGE DESIGN MANUALS. A STORM EVENT EXCEEDING THE 100-YEAR EVENT MAY CAUSE OR CREATE THE RISK OF GREATER STORM IMPACT THAN IS PRESENTED AND ADDRESSED ON THIS PLAN.

LEGEND

	PROPOSED ELEVATION
	EXISTING ELEVATION
	FINISHED FLOOR ELEVATION
	LOWEST FINISHED FLOOR ELEVATION
	FLOW DIRECTION
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EDGE OF PAVEMENT
	BACK OF CURB
	RIGHT OF WAY
	PUBLIC UTILITY EASEMENT
	GENERAL PURPOSE EASEMENT
	TOP OF SITE WALL
	TOP OF RETAINING WALL
	TOP OF FOOTING
	TOP OF FENCE
	TOP OF WROUGHT IRON FENCE
	TOP OF STEM WALL
	TOP OF COLUMN
	HIGH WATER SURFACE ELEVATION
	FINISHED GRADE
	FLOWLINE
	INVERT
	CENTERLINE
	PROPERTY LINE
	SANITARY SEWER LINE
	WATER LINE
	ASBUILT
	BUILDING SETBACK LINE
	HIGHEST ADJACENT NAT. GRD.
	LOWEST ADJACENT NAT. GRD.
	CONTROL POINT
	HIGH POINT
	DRAINAGE EASEMENT
	100 YR HWSE LIMITS

UTILITIES

WATER - CITY OF PHOENIX
SANITARY SEWER - SEPTIC
ELECTRIC - SRP
TELEPHONE - COX
NATURAL GAS - SOUTHWEST GAS
CABLE TV - COX

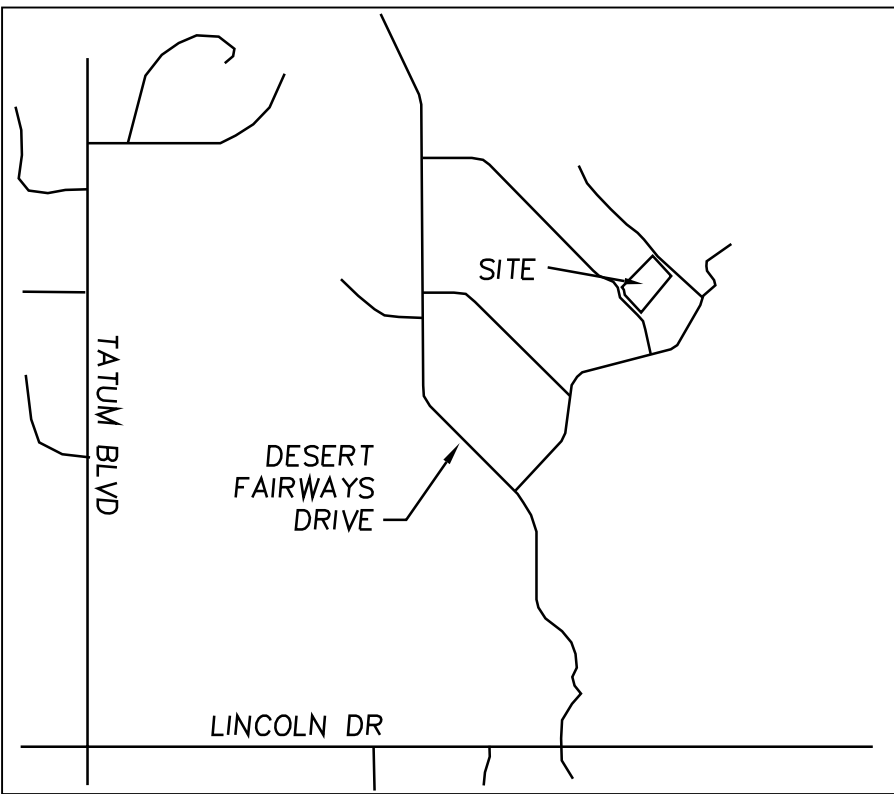
DRAINAGE STATEMENT

- ULTIMATE STORM OUTFALL IS LOCATED AT THE SOUTHEAST PORTION OF THE PROPERTY AT AN ELEVATION OF 1438.0.
- PROPOSED DEVELOPMENT DOES NOT IMPACT DRAINAGE CONDITIONS OF ADJOINING LOTS.
- RETENTION IS PROVIDED FOR THE 100-YEAR, 2-HOUR STORM EVENT.
- OFFSITE FLOWS IMPACT THE SITE.
- THE FINISH FLOOR ELEVATION OF 1439.0 IS SAFE FROM INUNDATION DURING A 100-YEAR PEAK RUN-OFF EVENT IF CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS.

EARTHWORK QUANTITIES

CUT: 225 C.Y.
FILL: 185 C.Y.
NET CUT: 40 C.Y.

ALL QUANTITIES LISTED ON THESE PLANS ARE ESTIMATES ONLY. NO SHRINK OR SWELL IS ASSUMED. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF THE QUANTITIES AND BASE THEIR BIDS ON THEIR ESTIMATES.



VICINITY MAP

N.T.S.

OWNER

Jonathan Pentecost
jpentecost@drhorton.com
239.872.1676

ARCHITECT

J. Cor Architecture
8601 N Scottsdale Road
Scottsdale, AZ 85253
(602) 881-6390
jessica@jcor-architecture.com

CIVIL ENGINEER

FRANK BOXBERGER, P.E.
SUMMIT CIVIL GROUP
8707 E VISTA BONITA DR
SCOTTSDALE, AZ 85255
(602) 725-0372
frank@scgag.com

SITE DATA

APN: 169-29-030
ADDRESS: 5254 E ARROYO RD
PARADISE VALLEY, AZ 85253
ZONING: R-43
LOT AREA: 49,914 SF (1.15 AC)
OS#: 23-40;22-40
TOTAL AREA UNDER ROOF: 12,323 SF
LOT COVERAGE: 24.6% < 25%
PROPOSED NEW DISTURBED AREA: 33,924 SF

BENCHMARK

FOUND 1/2" REBAR W/O ID DOWN 0.2", AFFIXED 2"
ALUMINUM CAP STAMPED "T2N R4E 1/4 S5 S8 2004 RLS
21782". ELEVATION = 1,401.451 (NAD83 DATUM)

LEGAL DESCRIPTION

Lot 30 of Paradise Valley Estates as recorded in Book 61, Page 04, Records of Maricopa County, Arizona.

FLOOD INSURANCE RATE MAP (FIRM) DATA

COMMUNITY #	PANEL #	SUFFIX L	BASE FLOOD ELEVATION
04013C	1765		N/A
PANEL DATE	FIRM INDEX DATE	ZONE	
10/16/13	2/8/24	X	

*AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

NATIVE PLANTS

ALL NATIVE PLANTS IMPACTED BY CONSTRUCTION SHALL BE RELOCATED ON SITE. SEE LANDSCAPE PLAN AND NATIVE PLANT INVENTORY AND SALVAGE PLAN.

AS-BUILT CERTIFICATION

I HEREBY CERTIFY THAT THE "RECORD DRAWING" MEASUREMENTS AS SHOWN HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

REGISTERED ENGINEER/ LAND SURVEYOR DATE

REGISTRATION NUMBER

APPROVAL

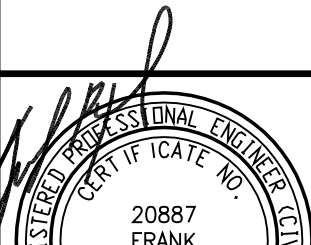
THIS SET OF PLANS HAS BEEN REVIEWED FOR COMPLIANCE WITH TOWN OF PARADISE VALLEY REQUIREMENTS PRIOR TO ISSUANCE OF PERMIT. THE TOWN NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. THIS COMPLIANCE APPROVAL SHALL NOT PREVENT THE TOWN ENGINEER FROM REQUIRING CORRECTIONS OF ERRORS OR OMISSIONS IN THE PLANS TO BE FOUND IN VIOLATION OF LAWS OR ORDINANCES.

TOWN ENGINEER DATE
TOWN OF PARADISE VALLEY



GRADING & DRAINAGE PLAN
COVER SHEET

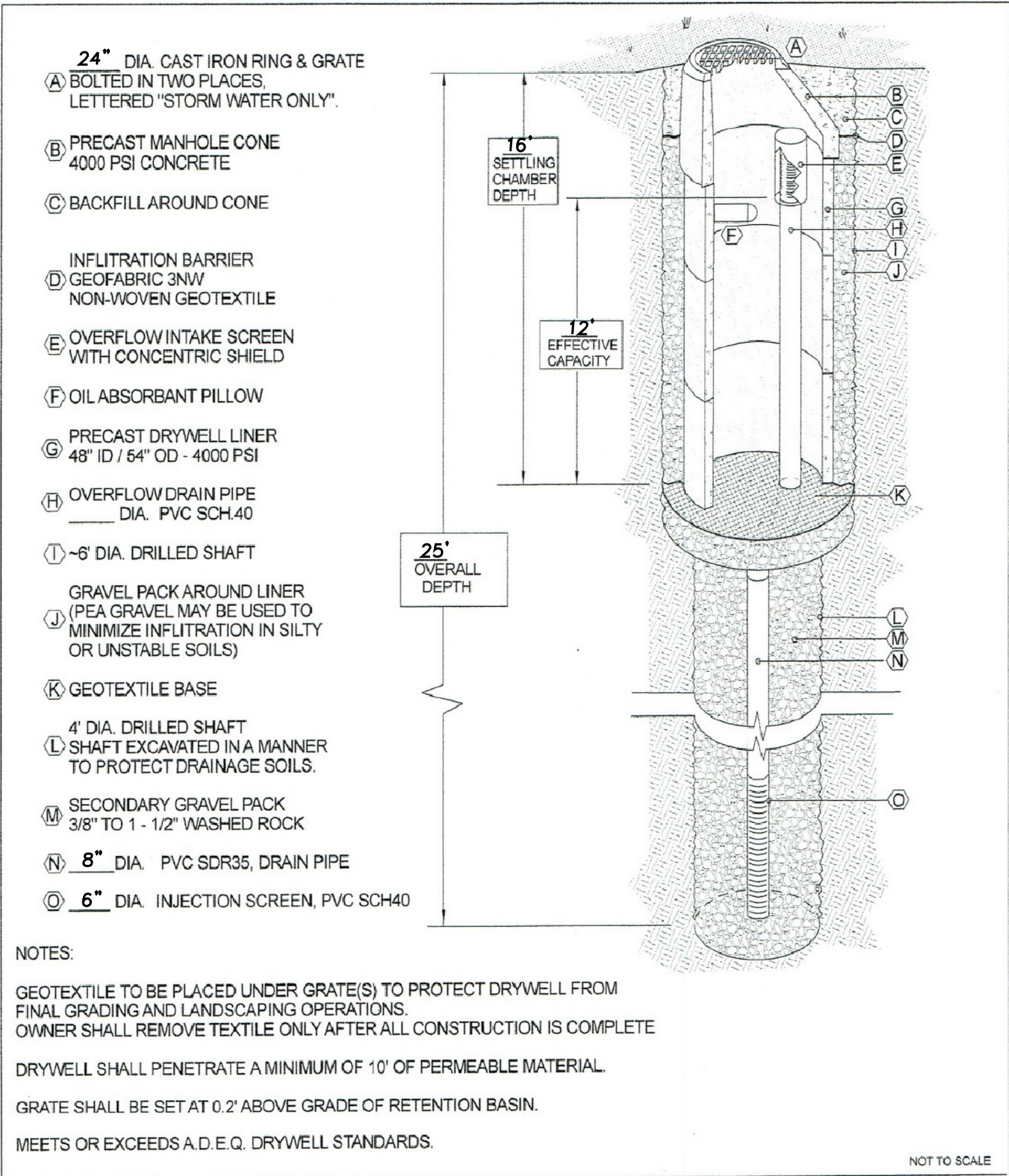
LOT 30
PARADISE VALLEY ESTATES
5254 E ARROYO RD
PARADISE VALLEY, AZ



DISTURBED AREA CALCULATIONS		
EXISTING LOT AREA:	49,914 SF (1.15AC)	
TOTAL AREA UNDER ROOF:	12,323 SF	
FLOOR AREA RATION:	24.6%<25%	
(AREA UNDER ROOF/AREA OF LOT)		
BUILDING PAD SLOPE:	13.7%	
VERTICAL:	29 FT	
HORIZONTAL:	212 FT	
ALLOWABLE NET DISTURBED AREA:	60%	
ALLOWABLE NET DISTURBED AREA:	29,948 SF	
EXISTING GROSS DISTURBED AREA:	82%	
EXISTING GROSS DISTURBED AREA:	40,985 SF	
EXISTING BUILDING FOOTPRINT:	7,061 SF	
EXISTING NET DISTURBED AREA:	33,924 SF (68%)	
PROPOSED NEW DISTURBED AREA:	0 SF (0%)	
TOTAL GROSS DISTURBED AREA:	33,924 SF (68%)	
LESS AREAS OF DISTURBANCE:		
TOTAL LIVABLE FOOTPRINT:	9,654 SF	
TOTAL GARAGE FOOTPRINT:	2,130 SF	
DRIVEWAY CREDIT @25%:	7,230 SF X 0.25 = 1,808 SF	
RETENTION BASIN CREDIT @50%:	0 SF	
RESTORED AREAS:	0 SF	
NET DISTURBED AREA	20,332 SF (41%)	
PERCENT OF LOT STEEPER		
THAN NATURAL GRADE (5% MAX):	2,450 SF (4.9%)	
VOLUME OF CUT:	225 CY	
VOLUME OF FILL:	185 CY	
TOTAL CUT & FILL:	410 CY	
HILLSIDE ASSURANCE = 35 TIMES THE GRADING PERMIT FEE		
GRADING PERMIT FEE:		\$466.00
(\$168 FIRST 100 CY / \$96 EA. ADDITIONAL 100 CY)		
ASSURANCE AMOUNT:		\$16,310.00
ALL QUANTITIES LISTED ON THESE PLANS ARE ESTIMATES ONLY. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF THE QUANTITIES AND BASE THEIR BIDS ON THEIR ESTIMATES.		

- CIVIL ENGINEER'S GENERAL NOTES
- IF A DISCREPANCY IS FOUND BETWEEN THE ENGINEER'S PLAN OR SURVEYOR'S STAKING AND THE ARCHITECTURAL PLAN, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY. FAILURE TO NOTIFY ENGINEER SHALL NEGATE ENGINEER'S LIABILITY.
 - THIS SITE PLAN IS NOT A BOUNDARY SURVEY.
 - BEARINGS AND DISTANCES ARE RECORD PER PLAT UNLESS OTHERWISE NOTED.
 - ALL EXISTING UTILITIES TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. CALL BLUE STAKE AT 263-1100.
 - ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTOR DITCHES, PIPES, PROTECTIVE BERMS, CONCRETE CHANNELS OR ANY OTHER MEASURES DESIGNED TO PROTECT BUILDINGS OR OTHER PROPERTIES FROM STORM RUNOFF MUST BE COMPLETED PRIOR TO ANY STRUCTURES BEING BUILT.
 - HYDROLOGIC ANALYSIS OF THIS SITE INCLUDES SURFACE RUNOFF ONLY.
 - ANY PROPOSED PIPES ON THIS SITE PLAN SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
 - ALL WALLS SHOWN ON THIS PLAN MUST BE SUBMITTED AND APPROVED BY THE REVIEWING MUNICIPALITY, HOA AND ARCHITECTURAL REVIEW COMMITTEE (IF APPLICABLE) PRIOR TO CONSTRUCTION.
 - CLIENT/OWNER/BUILDER TO SECURE PROPER PLAN REVIEW AND PERMITS OF ALL FEDERAL, STATE, COUNTY, LOCAL AND HOA REVIEW AGENCIES PRIOR TO THE INSTALLATION OF CULVERTS, SITE GRADING OR CONSTRUCTION OF THIS PLAN IN ANY FORM.
 - CONTRACTOR TO INSTALL BACKFLOW DEVICE PER P3008.1 IF FINISHED FLOOR IS LESS THAN 2' ABOVE UPSTREAM SEWER MANHOLE RIM. CONTRACTOR TO VERIFY PRIOR TO CONSTRUCTION OF THE PRIVATE SEWER LINE.
 - DRIVEWAY TO BE CONSTRUCTED OF ALL WEATHER MATERIAL TO WITHSTAND 83,000 LBS GVW (GROSS VEHICLE WEIGHT).
 - DRIVEWAY SLOPE NOT TO EXCEED 18% MAX AND THE AVERAGE GRADE FOR THE LENGTH OF THE DRIVEWAY SHALL BE 12%.
 - THE PAD ELEVATIONS OF ALL A/C AND/OR ELCTRO-MECHANICAL UNITS WILL BE SET REASONABLY HIGHER THAT THE ADJACENT GRADES TO PROVIDE FLOOD PROTECTION UNDER THE 100 YEAR STORM EVENT.

- PARADISE VALLEY HILLSIDE NOTES
- NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL ALL HILLSIDE STIPULATIONS AND ALL TOWN CODE REQUIREMENTS ARE COMPLIED INCLUDING, BUT NOT LIMITED TO LANDSCAPING, GROUND RESTORATION, FIRE FLOW, FIRE SAFETY AND ALL ONSITE AND OFFSITE IMPROVEMENTS.
 - ALL OUTDOOR LIGHTING SHALL BE IN CONFORMANCE WITH ARTICLE XXII OF THE TOWN ZONING ORDINANCE.
 - ALL EXCESS FILL MATERIAL SHALL BE REMOVED FROM THE SITE WITH NO NEW SPILL SLOPES.
 - THE USE OF HYDRAULIC RAM HAMMERS, OR OTHER HEAVY EQUIPMENT USED TO CUT THROUGH ROCK, INCLUDING MACHINERY WITH AUDIBLE BACK UP WARNING DEVICES SHALL BE LIMITED TO USE BETWEEN THE HOURS OF 7:00AM OR SUNRISE, WHICHEVER IS LATER, AND 6:00PM OR SUNSET, WHICHEVER IS EARLIER, MONDAY THROUGH FRIDAY, WITH LIMITED WORK ON SATURDAY AND NO WORK ON SUNDAY OR LEGAL HOLIDAYS. RAM HAMMERS AND OTHER HEAVY EQUIPMENT CANNOT BE USED ON SATURDAYS WITHOUT A WAIVER FROM THE TOWN MANAGER.
 - CONSTRUCTION STAKING AND /OR FENCING SHALL BE PLACED AROUND THE CONSTRUCTION SITE SO AS TO PROTECT THE UNDISTURBED NATURAL AREA.
 - ALL RETAINING WALLS SHALL NOT EXTEND MORE THAN 6 INCHES ABOVE THE MATERIAL THEY RETAIN (WITH EXCEPTION OF DRIVEWAY RETAINING WALLS IN ACCORDANCE WITH 2207.VI.6).

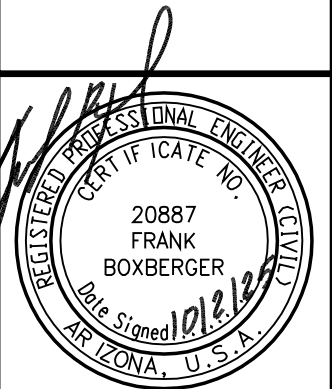


DRYWELL DETAIL

DATE: MAY 2025	SCALE: 1"=20'	DATE: --/--/--	DESIGNED BY: FB	CHECKED BY: FB
JOB: 30PVE	DESIGNED BY: FB	DATE: --/--/--	DESIGNED BY: FB	CHECKED BY: FB
VERSION:	DESIGNED BY: FB	DATE: --/--/--	DESIGNED BY: FB	CHECKED BY: FB
PLOT DATE: 10/2/25	DESIGNED BY: FB	DATE: --/--/--	DESIGNED BY: FB	CHECKED BY: FB

GRADING & DRAINAGE PLAN
COVER SHEET

LOT 30
PARADISE VALLEY ESTATES
5254 E ARROYO RD
PARADISE VALLEY, AZ



CONSTRUCTION NOTES

- Construct wall openings per detail this sheet (inverts to be level with adjacent grade)
- Grade to drain
- Waterproof walls with emulsified asphaltic coating to a minimum of one foot above outside grade and place 1/4" batter board from foundation to backfill grade level to protect waterproofing while backfilling.
- Construct extended stem wall (high), with top of stem wall a minimum of 1.5' above highest adjacent finished grade
- Install 3" wide deck drain with 6" PVC
- Install 18" diameter catch basin
- Install 12" HDPE
- Install 48" diameter HDPE for underground detention tanks (total 135 lf)
- Install 12" wide deck drain with 6" PVC
- Install drywell (see detail sheet 4)

RETENTION CALCULATIONS (HILLSIDE)

Volume Calculations per the Town of Paradise Valley Requirements

Volume calculations should be done by applying the following equation:

$$V = \frac{C \times R \times A}{12}$$

where

V = Calculated volume in cubic feet

C = runoff coefficient (Post - Pre = 0.85 - 0.75 = 0.10)

R = Precipitation amount = the depth in inches of the 100yr, 2hr rainfall, from FCDMC Hydrology Manual Figure A.56 at the site

A = Area (in sq. ft.) of disturbance

Volume required: $V = \frac{C \times R \times A}{12}$

$$V = \frac{(0.10)(2.2)(40,495)}{12}$$

= 742 cubic feet

FIRST FLUSH RETENTION CALCULATIONS

Volume Calculations per the Town of Paradise Valley Requirements

Volume calculations should be done by applying the following equation:

$$V_{FF} = CPA$$

where

V_{FF} = Required First Flush volume in cubic feet

C = runoff coefficient

P = required precipitation depth of 0.5 inches, converted to feet

A = disturbed area of the proposed development, in square feet

Volume required: $V = \frac{C \times P \times A}{12}$

$$V = \frac{(0.85)(0.5)(40,495)}{12}$$

= 1,434 cubic feet

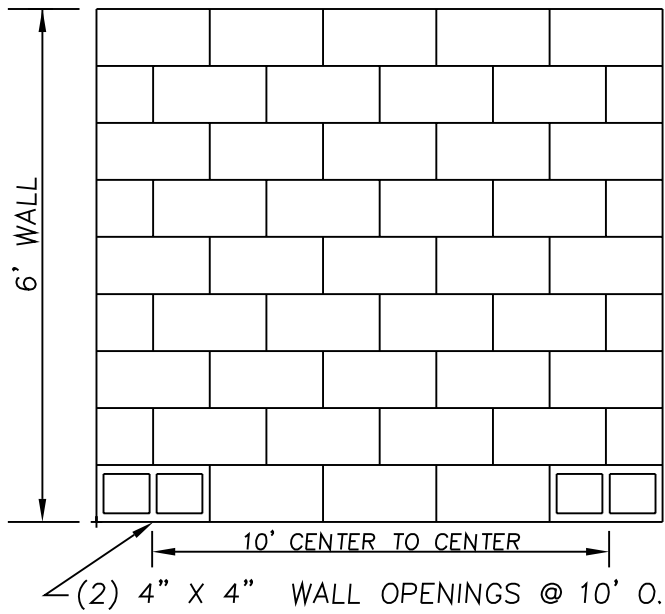
Volume Provided: V = 1,696 cubic feet

BASIN	REQ'D VOL (CF)	PROVIDED VOL (CF)	AS-BLT VOL (CF)
TANKS	1,434	1,696	
2			
3			

TOTAL 1,434 1,696
1,696 CF > 1,434 CF OK



SCALE: 1" = 20'

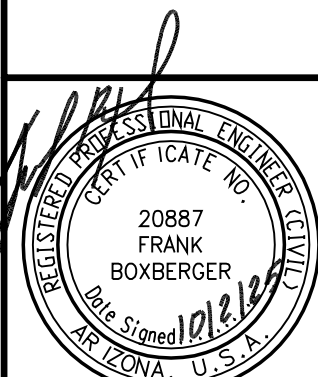


WALL OPENING DETAIL



GRADING & DRAINAGE PLAN
COVER SHEET

LOT 30
PARADISE VALLEY ESTATES
5254 E ARROYO RD
PARADISE VALLEY, AZ



C-3
3 OF 4

DATE: MAY 2025

JOB: 30P-VE

VERSION:

PLOT DATE: 10/2/25

SCALE: 1"=20'

DESIGNED BY: FB

DRAWN BY: KR

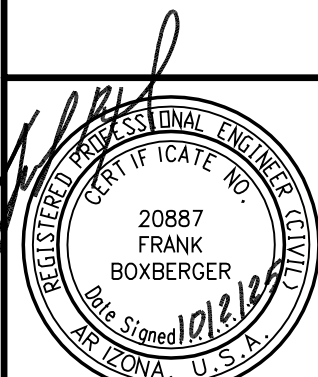
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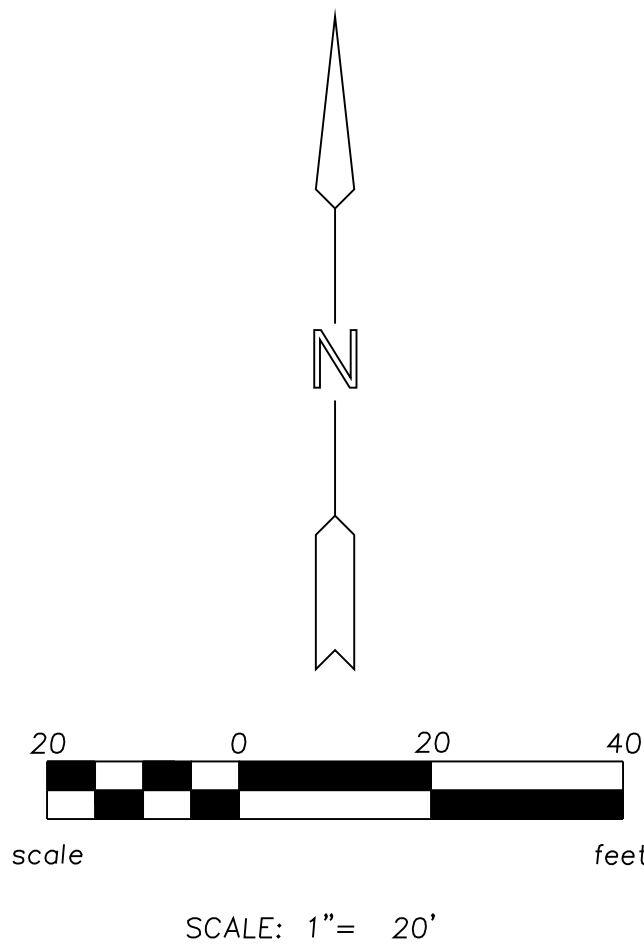
REVISIONS:

GRADING & DRAINAGE PLAN
COVER SHEET

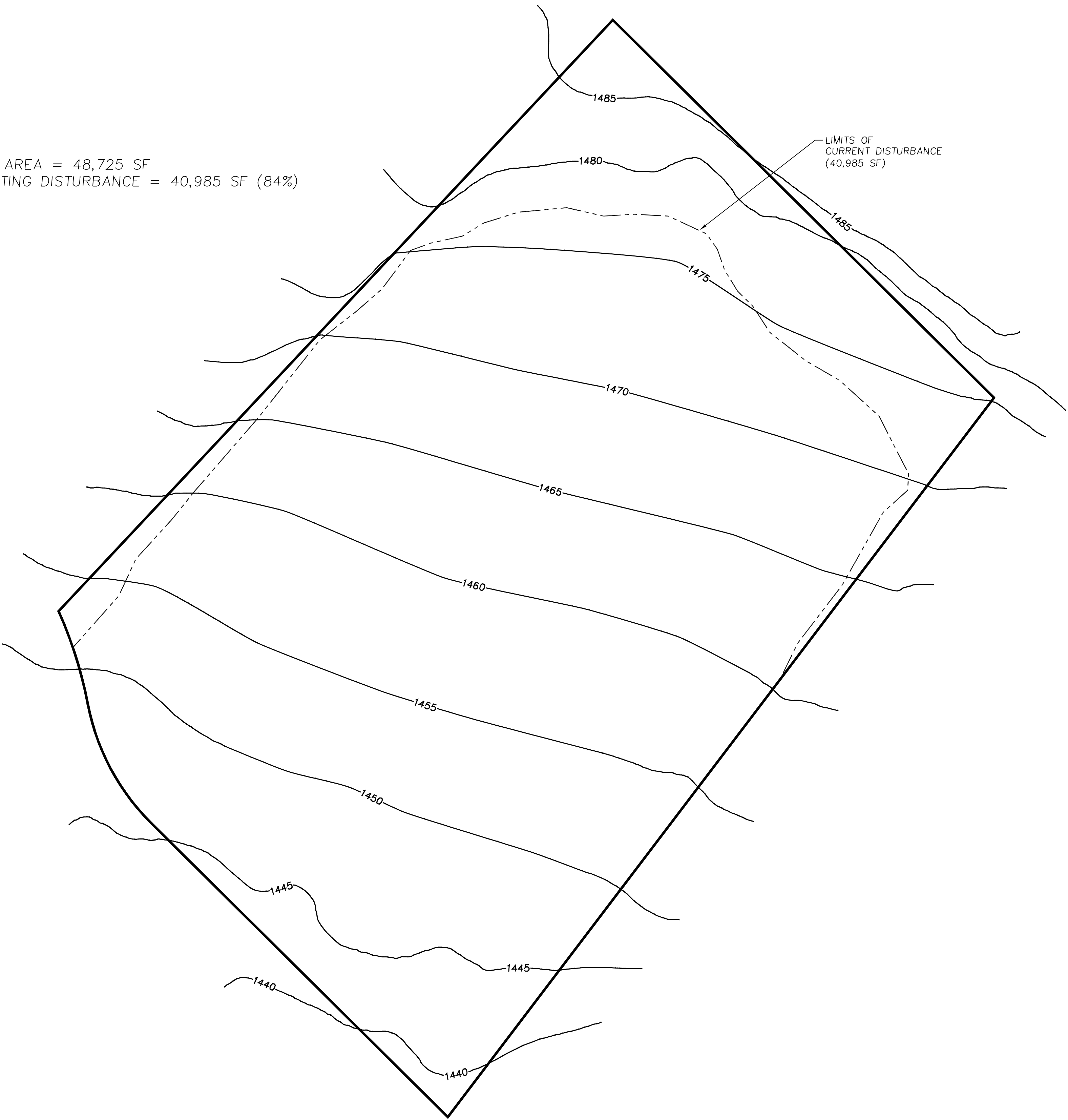
LOT 30
PARADISE VALLEY ESTATES
5254 E ARROYO RD
PARADISE VALLEY, AZ



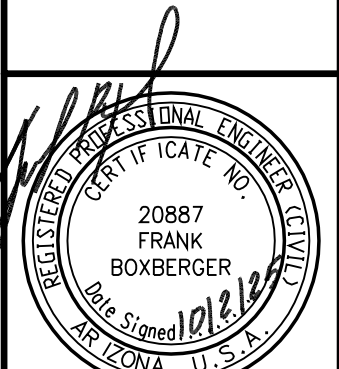
C-3
3 OF 4



TOTAL LOT AREA = 48,725 SF
TOTAL EXISTING DISTURBANCE = 40,985 SF (84%)



HISTORIC PRE-DEVELOPED TOPOGRAPHY



LOT 30
PARADISE VALLEY ESTATES
5254 E ARROYO RD
PARADISE VALLEY, AZ

GRADING & DRAINAGE PLAN
COVER SHEET

REVISIONS:	DATE:	SCALE: 1"=20'	DATE: MAY 2025
--	--/--/--	DESIGNED BY: FB	JOB: 30PVE
		DRAWN BY: KR	VERSION:
		CHECKED BY: FB	PLOT DATE: 10/2/25

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