

# SUMMIT

## LAND MANAGEMENT

### PHOENIX COUNTRY DAY SCHOOL PERFORMING ARTS CENTER Paradise Valley, Arizona

### Parking Occupancy and Analysis

September 2023

**Prepared for:**  
PHOENIX COUNTRY DAY SCHOOL

**For Submittal to:**  
TOWN OF PARADISE VALLEY

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## Executive Summary

### Introduction

The Phoenix Country Day School is planning to construct a new 600-seat Performing Arts Center (PAC). All performances currently occurring at Dorrance Auditorium will occur at the Performing Arts Center in the future. The existing parking areas have a total of 451 parking spaces. The construction of the Performing Arts Center will include reconstructed parking areas that will provide a total of 455 parking spaces.

### Methodology

From midnight on Tuesday, 29 August 2023 to midnight on Thursday, 31 August 2023; each occupied parking space was counted every 30 minutes for 48 hours. Classes for the current school year began on Tuesday, 22 August 2023, therefore the school was at full capacity. The maximum occupied number of parking spaces was 315 spaces at 8:30 AM on 29 August 2023; approximately 70% of the total number of on-site parking spaces.

### Parking Recommendation with Phoenix Country Day School PAC

The new 600-seat Performing Arts Center will require 200 total parking spaces, in accordance with Town of Paradise Valley guidelines. Events at the new 600-seat Performing Arts Center will be scheduled to not conflict with classroom schedules or with other events on the Phoenix Country Day School campus. Events at the Performing Arts Center will occur on weekday evenings or weekends. The Performing Arts Center will not be open for use by the general public. The maximum weekday evening parking occupancy was 208 spaces at 5:00 PM on Tuesday, 22 August 2023; and decreased to 12 spaces at 8:00 PM.

The existing and reconstructed Phoenix Country Day School campus parking areas will accommodate the new 600-seat Performing Arts Center.

**Table 1** applies the Paradise Valley parking guidelines to the existing Phoenix Country Day School.

**Table 1: Existing Phoenix Country Day School Required Parking per Paradise Valley Guidelines**

PROPERTY USE	QUANTITY	RATE	PARKING SPACES
EXISTING Class Rooms	83 rooms	1 space-per-room	83
EXISTING Dorrance Auditorium	290 seats	1 space-per-3-seats	97
EXISTING Alumni Gym	736 seats	1 space-per-3-seats	246
EXISTING Nafai Gym	1,072 seats	1 space-per-3-seats	358
EXISTING Burch Hall	300 seats	1 space-per-3-seats	100
EXISTING Dining Hall	180 seats	1 space-per-3-seats	60
EXISTING Aquatic Center	432 seats	1 space-per-3-seats	144
EXISTING Administrative Offices	28,926 square feet	1 space-per-300-square-feet	97
EXISTING Business Office	1,016 square feet	1 space-per-300-square-feet	4
TOTAL TOWN GUIDELINES PARKING SPACES FOR EXISTING CAMPUS:			1,189
EXISTING PARKING SPACES:			451
PARKING SPACE DEFICIT PER TOWN GUIDELINES:			-738

**Table 2** applies the Paradise Valley parking guidelines to the Phoenix Country Day School with the proposed Performing Arts Center.

**Table 2: PCDS with Performing Arts Center Required Parking per Paradise Valley Guidelines**

PROPERTY USE	QUANTITY	RATE	PARKING SPACES
EXISTING Class Rooms	83 rooms	1 space-per-room	83
EXISTING Dorrance Auditorium	290 seats	1 space-per-3-seats	97
EXISTING Alumni Gym	736 seats	1 space-per-3-seats	246
EXISTING Nafai Gym	1,072 seats	1 space-per-3-seats	358
EXISTING Burch Hall	300 seats	1 space-per-3-seats	100
EXISTING Dining Hall	180 seats	1 space-per-3-seats	60
EXISTING Aquatic Center	432 seats	1 space-per-3-seats	144
EXISTING Administrative Offices	28,926 square feet	1 space-per-300-square-feet	97
EXISTING Business Office	1,016 square feet	1 space-per-300-square-feet	4
NEW Performing Arts Center	600 seats	1 space-per-3-seats	200
TOTAL TOWN GUIDELINES PARKING SPACES FOR EXISTING CAMPUS:			1,189
PROPOSED PARKING SPACES:			455
TOTAL TOWN GUIDELINES PARKING SPACES FOR EXISTING CAMPUS PLUS NEW PAC:			1,389
PARKING SPACE DEFICIT PER TOWN GUIDELINES:			-934

The proposed Performing Arts Center will require 200 parking spaces. The additional parking spaces for the Performing Arts Center will not be necessary for school-day use of the Performing Arts Center when only faculty and students will use the facility. The additional parking spaces would only be necessary for performances with audiences that include more than students and faculty, such as family members and friends of students. These events will only occur after classroom hours or on weekends.

The maximum weekday parking at 3:30 PM or later was 249 spaces, when on-campus sporting events and a parents night were occurring. The future Phoenix Country Day School campus will have 455 parking spaces with the proposed Performing Arts Center. Events at the Performing Arts Center that will attract audiences including people who are not students or faculty, should begin at or after 3:30 PM on weekdays, and could begin at any time on weekends, to ensure that event parking demand does not compete with school-day parking demand.



## Introduction

The Phoenix Country Day School is planning to construct a new 600-seat Performing Arts Center (PAC) on their existing campus. After construction of the new Performing Arts Center, the existing Dorrance Auditorium will be used as a classroom and as an Upper School meeting space. The existing Dorrance Auditorium will not be utilized for performances with attendees or audiences who are not students or faculty of Phoenix Country Day School.

## Scope of Study

The purpose for this analysis is to determine the number of parking spaces required to serve the new Performing Arts Center.

An aerial photograph of the existing Phoenix Country Day School general vicinity is provided in **Figure 1**.

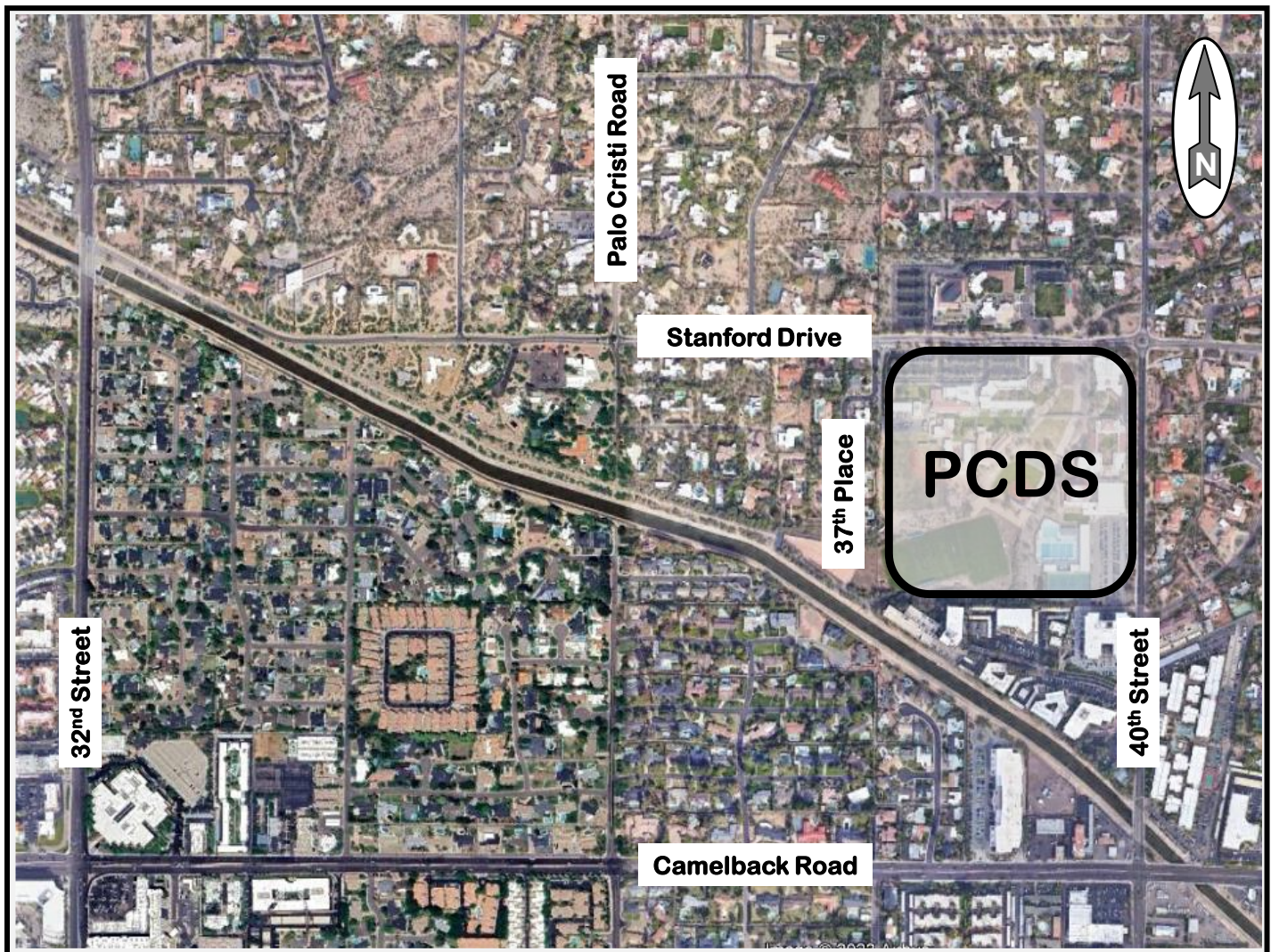


Figure 1: Existing Phoenix Country Day School General Vicinity Aerial Photograph

## Proposed Phoenix Country Day School Performing Arts Center

**Figure 2** provides an aerial photograph of the proposed location of the Performing Arts Center and the adjacent existing parking area on the existing Phoenix Country Day School campus.





**Figure 2: Phoenix Country Day School Proposed Performing Arts Center**

### ***Existing Phoenix Country Day School Enrollment and Employment***

Phoenix Country Day School currently has 758 students, 160 school employees, and 16 contracted vendor employees. **Table 3** provides the student enrollment by grade.

**Table 3: Existing Phoenix Country Day School Student Enrollment**

LOWER SCHOOL	MIDDLE SCHOOL	UPPER SCHOOL
TOTAL: .....215	TOTAL:.....237	TOTAL:..... 306
Pre-Kindergarten:.....28	5th Grade: ..... 53	9th Grade:..... 77
Kindergarten:.....35	6th Grade: ..... 60	10th Grade:..... 83
1st Grade: .....35	7th Grade ..... 61	11th Grade:..... 73
2nd Grade: .....38	8th Grade: ..... 63	12th Grade:..... 73
3rd Grade: .....39		
4th Grade: .....40		

Of the 758 students, only 146 are potentially driving age, approximately 19% of the students. Furthermore, of the Upper School eligible students of driving age, an estimated 85% of seniors (12<sup>th</sup> grade) drive to campus and an estimated 50% of juniors (11<sup>th</sup> grade) drive to campus.

The Phoenix Country Day School participates in the Maricopa County Trip Reduction Program, and therefore knows their employee's transportation mode to and from campus. Two (2) employees walk to work, three (3) employees ride a bicycle to work, six (6) employees are dropped off by family members or friends, and twelve (12) employees carpool for a total of (6) carpool vehicles.

The Phoenix Country Day School also has two (2) primary vendors: Sage Dining Services with ten (10) employees on campus and ABM Janitorial with six (6) employees on campus. The Sage Dining Services employees are on campus from 6:00 AM to 2:00 PM. Eight (8) of these employees drive to campus, while two (2) use a bus. The ABM Janitorial employees are on campus from 2:00 PM to 11:00 PM. Four (4) of these employees drive with two (2) of the employees riding with employees who drive.

## Existing Phoenix Country Day School Parking

**Figure 3** depicts the existing 451 parking spaces on the Phoenix Country Day School property in the four (4) parking areas. The parking areas are identified exclusively for purposes of this parking occupancy analysis, and not by school function use.



**Figure 3: Existing Phoenix Country Day School for Parking Areas**

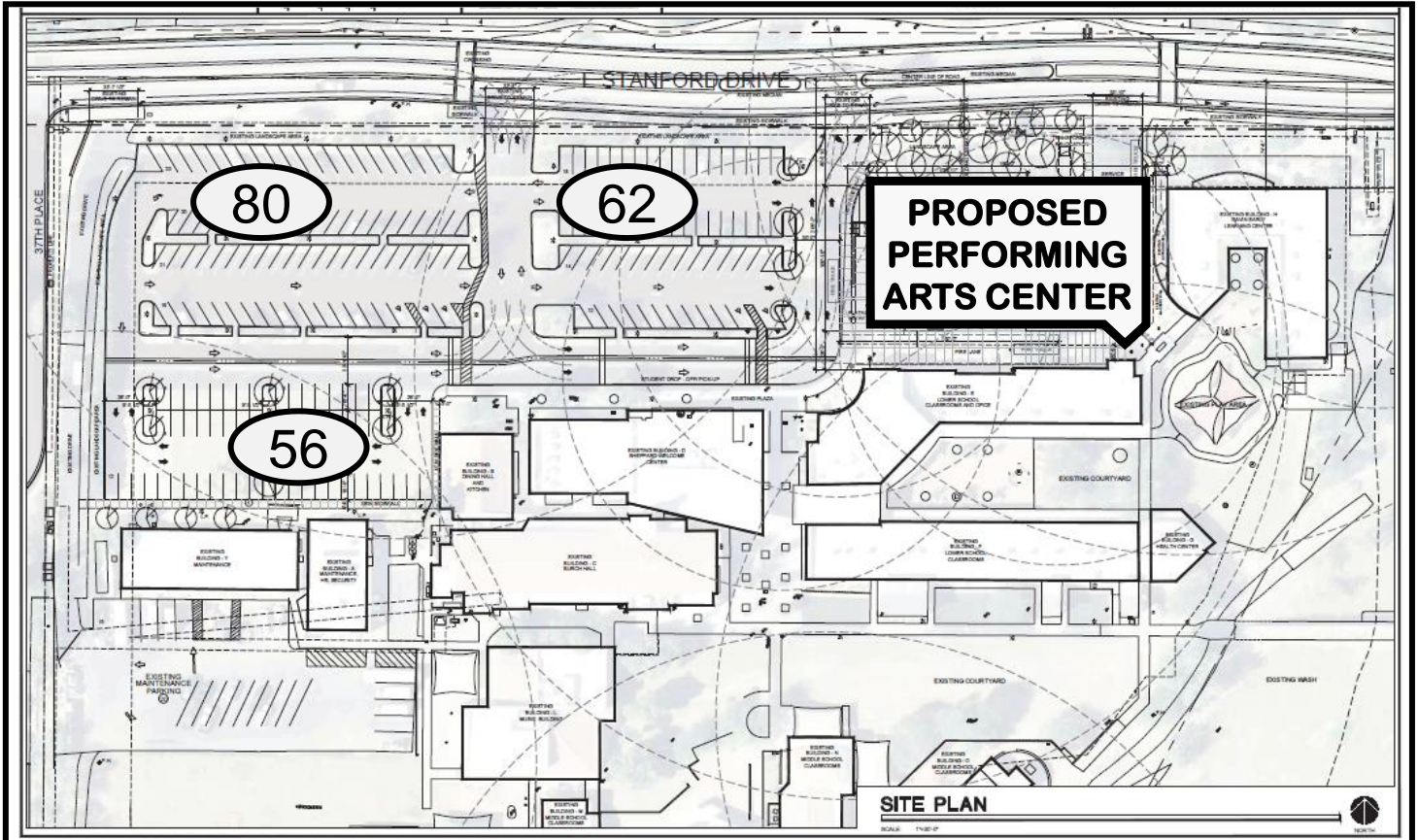
The parking area adjacent to Stanford Drive, indicated as #1 in **Figure 3**, has 194 parking spaces. A 29-space parking area exists north of the baseball practice field, indicated as #2 in **Figure 3**, adjacent to the maintenance building, and is currently used for maintenance vehicles and buses.

Additionally, indicated as #3 in **Figure 3**, 14 parking spaces are provided west of and adjacent to 40<sup>th</sup> Street, immediately south of Stanford Drive. Adjacent to the Aquatic Center, which is within the Phoenix Country Day School campus, 214 parking spaces are available as indicated as #4 in **Figure 3**.



## Reconstructed Phoenix Country Day School Parking

The existing parking area #1 indicated in **Figure 3**, will be enlarged from its current 194 parking spaces to 198 parking spaces. **Figure 4** provides a schematic plan of the proposed new Performing Arts Center, located at the east end of the existing school parking area closest to Stanford Drive. Currently 52 parking spaces exist where the new Performing Arts Center will be constructed. Therefore, with construction of the new Performing Arts Center, Phoenix Country Day School will have 455 parking spaces.



**Figure 4: Proposed Phoenix Country Day School Performing Arts Center**

The entire Phoenix Country Day School campus is interconnected with wide attractive walkways. These walkways include bridges as indicated in **Figure 5**. People can walk from each of the parking areas to all campus buildings with ease. Additionally, Phoenix Country Day School owns several golf carts as pictured in **Figure 6**. These golf carts are currently used as transportation for events, when necessary. This same transportation mode will be used in the future to transport students, relatives, and other campus visitors between the more distant parking areas adjacent to 40<sup>th</sup> Street and the main buildings, when necessary.



**Figure 5: One of Three Campus Walkway Bridges**



## Existing Parking Occupancy

For 48 hours, from midnight on Tuesday, 29 August 2023 through midnight on Thursday, 31 August 2023, parking occupancy was counted on the Phoenix Country Day School property. Each of the four (4) parking areas were counted on the half-hour for 48 hours {all day Tuesday and all day Wednesday}. These days were selected as school was in session with typical full attendance, and typical events.

On the days of the parking occupancy counts, some building renovation was occurring. The contracted construction workers parked their company-owned and personal vehicles on the Phoenix Country Day School property.



**Figure 6: One of Several PCDS Golf Carts**

On Tuesday, 29 August, there were thirteen (13) construction vehicles parked in Area #1 and five (5) vehicles parked in Area #2. On Wednesday, 30 August, there were eleven (11) construction vehicles parked in Area #1 and four (4) vehicles parked in Area #2.

On the days of the parking occupancy counts, the listed events occurred.

### Tuesday, 29 August

Regular school day 7:50 AM to 2:55 PM (Gates open at 7:25 AM)

Middle School Flag Football and Volleyball tryouts 3:00 PM to 4:30 PM

Upper School swimming and diving competition in Aquatic Center 4:00 PM to 6:00 PM

Upper School Junior Varsity and Varsity Volleyball games in Najafi Gym 4:00 PM to 6:30 PM

### Wednesday, 30 August

Regular school day 7:50 AM to 2:55 PM (Gates open at 7:25 AM)

Middle School Flag Football and Volleyball tryouts 3:00 PM to 4:30 PM

Upper School Junior Varsity and Varsity Volleyball games in Najafi Gym 4:00 PM to 6:30 PM

Upper School Back-to-School Night for Parents 5:30 PM to 7:30 PM

**Table 4** provides the number of occupied parking spaces on the Phoenix County Day School campus by 30-minute interval for Tuesday, 29 August 2023. **Table 5** provides the number of occupied parking spaces on the Phoenix County Day School campus by 30-minute interval for Wednesday, 30 August 2023. These same tables are provided in a larger format in **Appendix A**.

The maximum number of occupied parking spaces on the Phoenix Country Day School campus was 315 on Tuesday, 29 August 2023 at 8:30 AM, as indicted in **Table 4** and **Table 5**. This represents approximately 70% of the available parking spaces on campus. The maximum number of parked vehicles by parking area and by total are highlighted.

**Table 4: Parked Vehicles By Half-Hour: 8-29-2023 MIDNIGHT to 8-30-2023 MIDNIGHT**

PARKED VEHICLES - TUESDAY 29 MARCH 2023							
	PARCEL	1	2	3	4	TOTAL	
	SPACES	194	29	14	214	451	
<b>TUESDAY 08/29/2023</b>	MIDNITE	1	15	0	0	16	3.5%
	12:30 AM	1	15	0	0	16	3.5%
	1:00 AM	0	15	0	0	15	3.3%
	1:30 AM	0	15	0	0	15	3.3%
	2:00 AM	0	15	0	0	15	3.3%
	2:30 AM	0	15	0	0	15	3.3%
	3:00 AM	4	16	0	0	20	4.4%
	3:30 AM	4	17	0	0	21	4.7%
	4:00 AM	4	17	0	1	22	4.9%
	4:30 AM	4	17	0	4	25	5.5%
	5:00 AM	4	19	0	24	47	10.4%
	5:30 AM	13	20	0	52	85	18.8%
	6:00 AM	16	21	0	74	111	24.6%
	6:30 AM	23	20	0	50	93	20.6%
	7:00 AM	30	18	4	29	81	18.0%
	7:30 AM	85	20	7	45	157	34.8%
	8:00 AM	122	22	8	160	312	69.2%
	8:30 AM	124	22	8	161	315	69.8%
	9:00 AM	124	22	10	158	314	69.6%
	9:30 AM	109	22	10	162	303	67.2%
	10:00 AM	101	20	10	160	291	64.5%
	10:30 AM	102	20	9	158	289	64.1%
	11:00 AM	102	22	10	160	294	65.2%
	11:30 AM	100	21	10	162	293	65.0%
	12:00 PM	103	22	9	165	299	66.3%
	12:30 PM	96	21	9	169	295	65.4%
	1:00 PM	98	21	9	166	294	65.2%
	1:30 PM	95	22	10	160	287	63.6%
	2:00 PM	98	20	9	152	279	61.9%
	2:30 PM	98	18	8	153	277	61.4%
	3:00 PM	119	18	9	150	296	65.6%
	3:30 PM	53	16	8	86	163	36.1%
	4:00 PM	26	19	1	125	171	37.9%
	4:30 PM	16	17	3	188	224	49.7%
	5:00 PM	15	17	9	208	249	55.2%
	5:30 PM	12	17	12	202	243	53.9%
	6:00 PM	11	19	13	162	205	45.5%
	6:30 PM	9	19	13	152	193	42.8%
	7:00 PM	7	19	11	130	167	37.0%
	7:30 PM	5	19	1	48	73	16.2%
	8:00 PM	3	18	1	2	24	5.3%
	8:30 PM	3	18	0	0	21	4.7%
	9:00 PM	3	18	0	0	21	4.7%
	9:30 PM	1	18	0	0	19	4.2%
	10:00 PM	1	18	0	0	19	4.2%
	10:30 PM	1	18	0	0	19	4.2%
	11:00 PM	1	18	0	0	19	4.2%
	11:30 PM	1	18	0	0	19	4.2%
	MIDNITE	1	18	0	0	19	4.2%

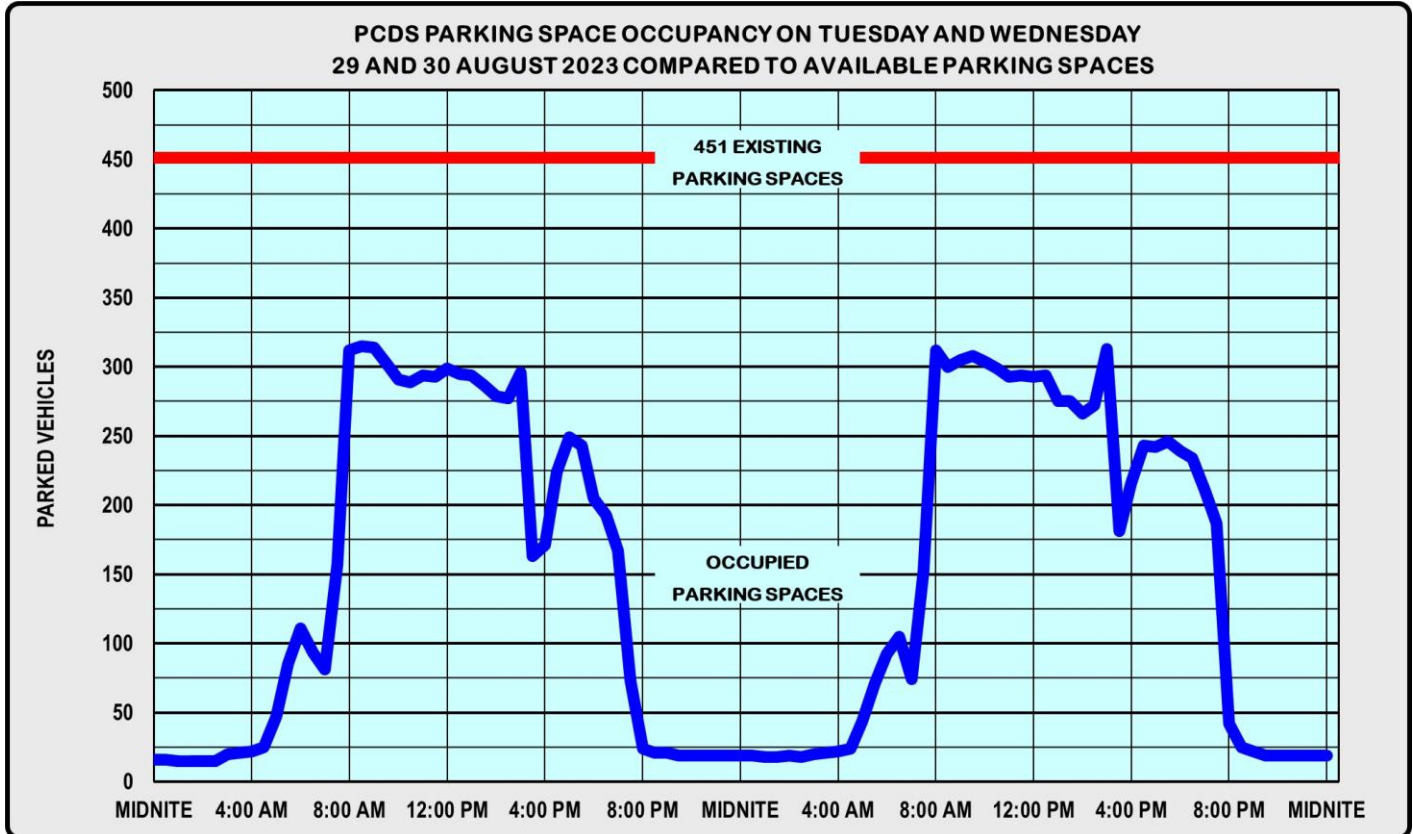


**Table 5: Parked Vehicles By Half-Hour: 8-30-2023 MIDNIGHT to 8-31-2023 MIDNIGHT**

PARKED VEHICLES - WEDNESDAY 30 MARCH 2023							
	PARCEL	1	2	3	4	TOTAL	
	SPACES	194	29	14	214	451	
<b>WEDNESDAY 08/30/2023</b>	MIDNITE	1	18	0	0	19	4.2%
	12:30 AM	1	18	0	0	19	4.2%
	1:00 AM	0	18	0	0	18	4.0%
	1:30 AM	0	18	0	0	18	4.0%
	2:00 AM	0	19	0	0	19	4.2%
	2:30 AM	0	18	0	0	18	4.0%
	3:00 AM	2	18	0	0	20	4.4%
	3:30 AM	2	19	0	0	21	4.7%
	4:00 AM	2	19	0	1	22	4.9%
	4:30 AM	3	19	0	2	24	5.3%
	5:00 AM	7	20	0	17	44	9.8%
	5:30 AM	10	20	0	41	71	15.7%
	6:00 AM	14	21	0	57	92	20.4%
	6:30 AM	22	20	1	62	105	23.3%
	7:00 AM	29	19	2	24	74	16.4%
	7:30 AM	87	19	4	42	152	33.7%
	8:00 AM	109	21	8	174	312	69.2%
	8:30 AM	101	21	9	169	300	66.5%
	9:00 AM	107	21	10	167	305	67.6%
	9:30 AM	107	21	9	171	308	68.3%
	10:00 AM	106	21	9	168	304	67.4%
	10:30 AM	100	22	9	168	299	66.3%
	11:00 AM	97	22	10	169	298	66.1%
	11:30 AM	95	20	10	167	292	64.7%
	12:00 PM	95	19	10	169	293	65.0%
	12:30 PM	95	19	11	169	294	65.2%
	1:00 PM	92	21	9	153	275	61.0%
	1:30 PM	92	20	7	156	275	61.0%
	2:00 PM	91	19	6	150	266	59.0%
	2:30 PM	98	20	6	148	272	60.3%
	3:00 PM	128	20	5	160	313	69.4%
	3:30 PM	53	19	5	104	181	40.1%
	4:00 PM	48	19	4	145	216	47.9%
	4:30 PM	27	18	5	193	243	53.9%
	5:00 PM	21	17	7	197	242	53.7%
	5:30 PM	16	17	12	201	246	54.5%
	6:00 PM	20	18	14	187	239	53.0%
	6:30 PM	21	18	13	182	234	51.9%
	7:00 PM	15	19	12	165	211	46.8%
	7:30 PM	13	19	11	144	187	41.5%
	8:00 PM	3	19	8	12	42	9.3%
	8:30 PM	2	19	0	4	25	5.5%
	9:00 PM	2	18	0	2	22	4.9%
	9:30 PM	1	18	0	0	19	4.2%
	10:00 PM	1	18	0	0	19	4.2%
	10:30 PM	1	18	0	0	19	4.2%
	11:00 PM	1	18	0	0	19	4.2%
	11:30 PM	1	18	0	0	19	4.2%
	MIDNITE	1	18	0	0	19	4.2%

The maximum occupied parking spaces after 3:30 PM on either count day was 249, which occurred on Tuesday at 5:00 PM.

**Figure 7** graphically depicts the number of occupied parking spaces on the Phoenix Country Day School campus by 30-minute interval for Tuesday, 29 August 2023 and for Wednesday, 30 August 2023. This same graph is provided in a larger format in **Appendix A**.



**Figure 7: PCDS Total Parked Vehicles by Half-Hour**

### ***United States and Canada Parking Generation Data***

The Institute of Transportation Engineers published the *Parking Generation Manual, 5<sup>th</sup> Edition* in 2019. This document provides parking demand data from 589 existing developments throughout the United States and Canada, from 1988 through 2018, that can be utilized to estimate parking demand at proposed developments. The parking data are separated by land use category. One of the categories is Private School for Kindergarten through 12<sup>th</sup> Grade. Data for three (3) schools are provided. The location of each school and their parking count year are; Lumberton, New Jersey in 2008; Santa Barbara, California in 2009; and Los Angeles, California in 2010. The average parking demand is 0.35 parked-vehicles-per-student, with a minimum demand of 0.28 parked vehicles-per-student and a maximum demand of 0.42 parked-vehicles-per-student. The existing Phoenix Country Day School has a maximum parking demand of 315 parked-vehicles for 758 students. This results in a parking demand of 0.42 parked-vehicles-per-student, equal to the maximum of the national proxy data.

**Appendix B** provides the excerpt of *Parking Generation Manual, 5<sup>th</sup> Edition* pertinent to Phoenix Country Day School.



## ***Parking Requirements for Performing Arts Center Only***

Parking requirements for six (6) metropolitan communities were considered for the Phoenix Country Day School proposed Performing Arts Center. These adjacent communities' requirements were considered in addition to the Town of Paradise Valley parking guidelines. **Appendix C** provides the pertinent portions of the Town of Paradise Valley guidelines. **Appendix D** provides the pertinent portions of the parking requirements for the City of Scottsdale, the City of Phoenix, the Town of Gilbert, the City of Tempe, the City of Chandler, and the City of Queen Creek.

**Table 6: Parking Rates for Paradise Valley and Six Other Communities for 600-seat Event Space**

AGENCY	USE	NUMBER OF SEATS PER PARKING SPACE	SPACES
Paradise Valley	Private School Places of Assembly	3.00 *	200
Scottsdale	Performing Arts Theaters	4.00	150
Phoenix	Public Assembly - Spectator	4.00	150
Gilbert	Cultural Institutions	4.00	150
Tempe	Entertainment Stadium / Arena	5.00	120
Chandler	Auditorium / Theaters / Stadium	5.00	120
Queen Creek	Assembly / Auditorium	6.00	100

\* Paradise Valley has Parking Guidelines, not Requirements

The Town of Paradise Valley guidelines are the most conservative parking standards in the Valley. As indicated in **Table 6**, the Town of Paradise Valley guidelines has a higher parking rate requirement for event facilities than the other six (6) cities or towns.

Importantly, the proposed Phoenix Country Day School Performing Arts Center will be owned by the school and will not be available for use by the general public. Phoenix Country Day School will schedule events at the Performing Arts Center in advance and in coordination with other campus activities, to ensure parking areas are more than sufficient for all people on the campus for Performing Arts Center activities.

## ***Parking Requirements for Entire Phoenix Country Day School***

**Table 7** provides the parking spaces in accordance with the Town of Paradise Valley guidelines for the existing Phoenix Country Day School. As indicated; 1,189 parking spaces would be required. Currently 451 parking spaces are provided, and the current maximum demand is 315 parking spaces.

**Table 7: Paradise Valley Parking Guidelines for Existing Phoenix Country Day School**

PROPERTY USE	QUANTITY	RATE	PARKING SPACES
EXISTING Class Rooms	83 rooms	1 space-per-room	83
EXISTING Dorrance Auditorium	290 seats	1 space-per-3-seats	97
EXISTING Alumni Gym	736 seats	1 space-per-3-seats	246
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EXISTING PARKING SPACES:			451
PARKING SPACE DEFICIT PER TOWN GUIDELINES:			-738

**Table 8** provides the parking spaces in accordance with the Town of Paradise Valley guidelines for the Phoenix Country Day School with the proposed Performing Arts Center.

**Table 8: Paradise Valley Parking Guidelines for Phoenix Country Day School with PAC**

PROPERTY USE	QUANTITY	RATE	PARKING SPACES
EXISTING Class Rooms	83 rooms	1 space-per-room	83
EXISTING Dorrance Auditorium	290 seats	1 space-per-3-seats	97
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TOTAL TOWN GUIDELINES PARKING SPACES FOR EXISTING CAMPUS:			1,189
PROPOSED PARKING SPACES:			455
TOTAL TOWN GUIDELINES PARKING SPACES FOR EXISTING CAMPUS PLUS NEW PAC:			1,389
PARKING SPACE DEFICIT PER TOWN GUIDELINES:			-934



As indicated; 1,389 parking spaces would be required for the Phoenix Country Day School with the proposed Performing Arts Center. The additional parking spaces for the Performing Arts Center will not be necessary for school-day use of the Performing Arts Center when only faculty and students will use the facility. The additional spaces would only be necessary for performances with audiences that consist of more than students and faculty, such as family members and friends of students. These events will only occur after classroom hours or on weekends, when the students and faculty are not on campus.

It appears inappropriate to require the Phoenix Country Day School to provide parking spaces for every building separately. The school functions as one entity for one purpose – education of students from kindergarten through seniors. The students who use the classrooms are the same students who use the auditorium, gyms, halls, and aquatic center. The administrators who use the offices are only on campus to serve the students. The Performing Arts Center will only be used for events that non-students or non-faculty may attend (that is, a student performance where family and friends attend), which will only occur on weekdays after classes have ended or on weekends when classes are not in session.

Phoenix Country Day School has been in operation since 1960. The school has never experienced parking deficiencies.

## ***Conclusions***

The parking occupancy counts reveal that the Phoenix Country Day School current parking demand is very similar to parking demand for private schools as provided in a national reference.

The maximum occupied parking spaces, as counted every 30 minutes for 48 hours, was 315 spaces, less than 70% of the total number of available parking spaces.

The proposed addition of a Performing Arts Center will not increase enrollment, classroom number, or classroom area.

The new Performing Arts Center will not be rented out or available for use by the general public. The facility will only be used by the Phoenix Country Day School.

The events at the new Performing Arts Center that will attract non-student, non-faculty audiences will be scheduled when classes are not in session. Additionally, all events that occur on the Phoenix Country Day School campus are scheduled in advance by Phoenix Country Day School administrators. They will ensure that large attendance events in different campus venues will not occur simultaneously.

The Phoenix Country Day School campus will have 455 parking spaces with the Performing Arts Center. The maximum weekday parking at 3:30 PM or later was 249 spaces when on-campus sporting events and a parents night were occurring. The proposed Performing Arts Center will require 200 parking spaces. Therefore, the Phoenix Country Day School campus will have sufficient parking spaces for the proposed Performing Arts Center.

The proposed Performing Arts Center will only require parking space use on weekdays after classes have ended and on weekends when classes are not in session. Therefore, the proposed Performing Arts Center on the existing Phoenix Country Day School will not require additional parking spaces beyond the planned 455 parking spaces.



## Appendix A

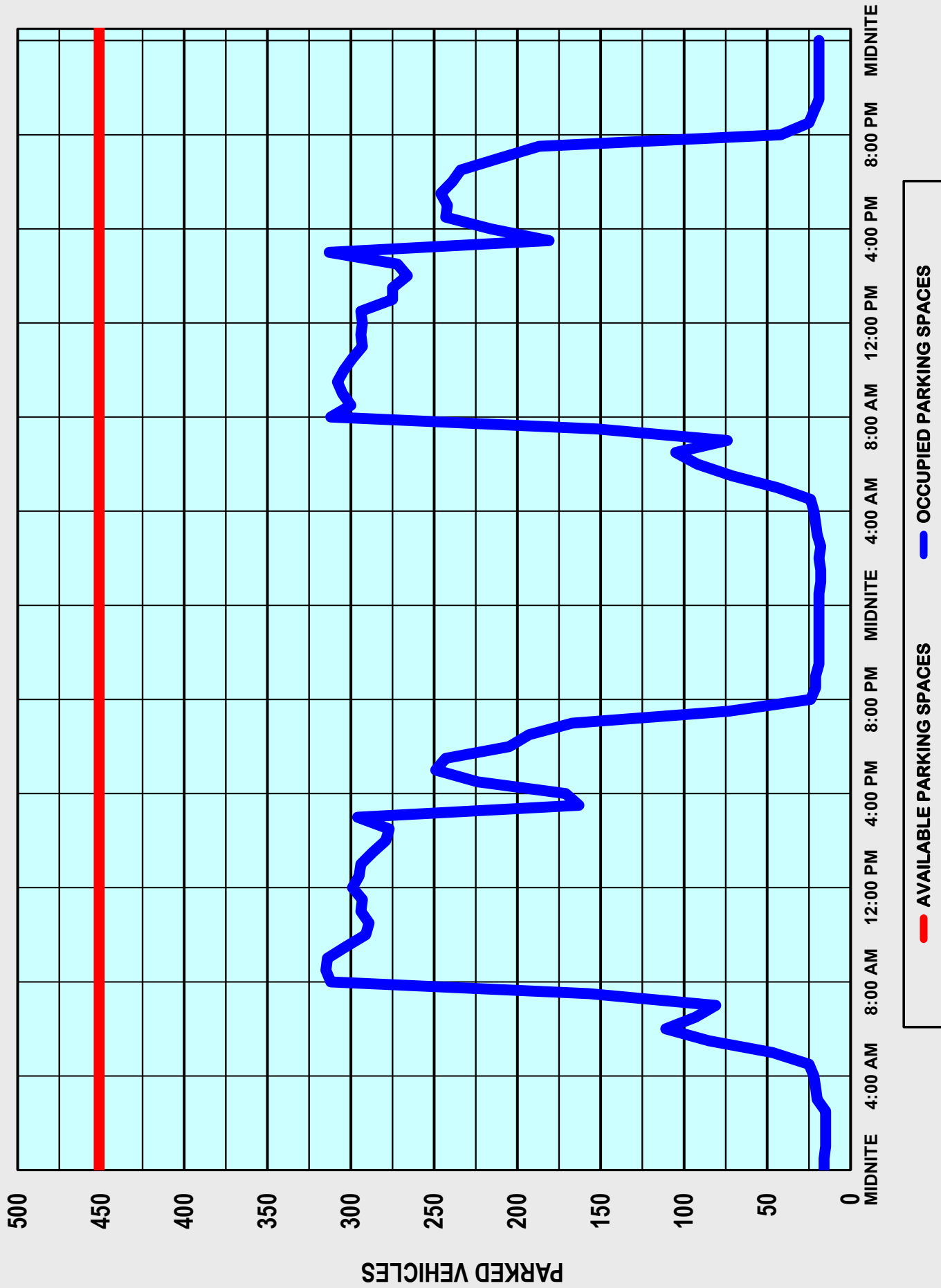
### Existing Phoenix Country Day School Parking Occupancy Data







PCDS PARKING SPACE OCCUPANCY ON TUESDAY AND WEDNESDAY  
29 AND 30 AUGUST 2023 COMPARED TO AVAILABLE PARKING SPACES



PARKED VEHICLES - TUESDAY 29 MARCH 2023							
	PARCEL	1	2	3	4	TOTAL	
	SPACES	194	29	14	214	451	
TUESDAY 08/29/2023	MIDNITE	1	15	0	0	16	3.5%
	12:30 AM	1	15	0	0	16	3.5%
	1:00 AM	0	15	0	0	15	3.3%
	1:30 AM	0	15	0	0	15	3.3%
	2:00 AM	0	15	0	0	15	3.3%
	2:30 AM	0	15	0	0	15	3.3%
	3:00 AM	4	16	0	0	20	4.4%
	3:30 AM	4	17	0	0	21	4.7%
	4:00 AM	4	17	0	1	22	4.9%
	4:30 AM	4	17	0	4	25	5.5%
	5:00 AM	4	19	0	24	47	10.4%
	5:30 AM	13	20	0	52	85	18.8%
	6:00 AM	16	21	0	74	111	24.6%
	6:30 AM	23	20	0	50	93	20.6%
	7:00 AM	30	18	4	29	81	18.0%
	7:30 AM	85	20	7	45	157	34.8%
	8:00 AM	122	22	8	160	312	69.2%
	8:30 AM	124	22	8	161	315	69.8%
	9:00 AM	124	22	10	158	314	69.6%
	9:30 AM	109	22	10	162	303	67.2%
	10:00 AM	101	20	10	160	291	64.5%
	10:30 AM	102	20	9	158	289	64.1%
	11:00 AM	102	22	10	160	294	65.2%
	11:30 AM	100	21	10	162	293	65.0%
	12:00 PM	103	22	9	165	299	66.3%
	12:30 PM	96	21	9	169	295	65.4%
	1:00 PM	98	21	9	166	294	65.2%
	1:30 PM	95	22	10	160	287	63.6%
	2:00 PM	98	20	9	152	279	61.9%
	2:30 PM	98	18	8	153	277	61.4%
	3:00 PM	119	18	9	150	296	65.6%
	3:30 PM	53	16	8	86	163	36.1%
	4:00 PM	26	19	1	125	171	37.9%
	4:30 PM	16	17	3	188	224	49.7%
	5:00 PM	15	17	9	208	249	55.2%
	5:30 PM	12	17	12	202	243	53.9%
	6:00 PM	11	19	13	162	205	45.5%
	6:30 PM	9	19	13	152	193	42.8%
	7:00 PM	7	19	11	130	167	37.0%
	7:30 PM	5	19	1	48	73	16.2%
	8:00 PM	3	18	1	2	24	5.3%
	8:30 PM	3	18	0	0	21	4.7%
	9:00 PM	3	18	0	0	21	4.7%
	9:30 PM	1	18	0	0	19	4.2%
	10:00 PM	1	18	0	0	19	4.2%
	10:30 PM	1	18	0	0	19	4.2%
	11:00 PM	1	18	0	0	19	4.2%
	11:30 PM	1	18	0	0	19	4.2%
	MIDNITE	1	18	0	0	19	4.2%



PERCENT OF PARKING SPACES OCCUPIED BY PARKED VEHICLES							
	PARCEL	1	2	3	4	TOTAL	
	SPACES	194	29	14	214	451	
TUESDAY 08/29/2023	MIDNITE	1%	52%	0%	0%	16	3.5%
	12:30 AM	1%	52%	0%	0%	16	3.5%
	1:00 AM	0%	52%	0%	0%	15	3.3%
	1:30 AM	0%	52%	0%	0%	15	3.3%
	2:00 AM	0%	52%	0%	0%	15	3.3%
	2:30 AM	0%	52%	0%	0%	15	3.3%
	3:00 AM	2%	55%	0%	0%	20	4.4%
	3:30 AM	2%	59%	0%	0%	21	4.7%
	4:00 AM	2%	59%	0%	0%	22	4.9%
	4:30 AM	2%	59%	0%	2%	25	5.5%
	5:00 AM	2%	66%	0%	11%	47	10.4%
	5:30 AM	7%	69%	0%	24%	85	18.8%
	6:00 AM	8%	72%	0%	35%	111	24.6%
	6:30 AM	12%	69%	0%	23%	93	20.6%
	7:00 AM	15%	62%	29%	14%	81	18.0%
	7:30 AM	44%	69%	50%	21%	157	34.8%
	8:00 AM	63%	76%	57%	75%	312	69.2%
	8:30 AM	64%	76%	57%	75%	315	69.8%
	9:00 AM	64%	76%	71%	74%	314	69.6%
	9:30 AM	56%	76%	71%	76%	303	67.2%
	10:00 AM	52%	69%	71%	75%	291	64.5%
	10:30 AM	53%	69%	64%	74%	289	64.1%
	11:00 AM	53%	76%	71%	75%	294	65.2%
	11:30 AM	52%	72%	71%	76%	293	65.0%
	12:00 PM	53%	76%	64%	77%	299	66.3%
	12:30 PM	49%	72%	64%	79%	295	65.4%
	1:00 PM	51%	72%	64%	78%	294	65.2%
	1:30 PM	49%	76%	71%	75%	287	63.6%
	2:00 PM	51%	69%	64%	71%	279	61.9%
	2:30 PM	51%	62%	57%	71%	277	61.4%
	3:00 PM	61%	62%	64%	70%	296	65.6%
	3:30 PM	27%	55%	57%	40%	163	36.1%
	4:00 PM	13%	66%	7%	58%	171	37.9%
	4:30 PM	8%	59%	21%	88%	224	49.7%
	5:00 PM	8%	59%	64%	97%	249	55.2%
	5:30 PM	6%	59%	86%	94%	243	53.9%
	6:00 PM	6%	66%	93%	76%	205	45.5%
	6:30 PM	5%	66%	93%	71%	193	42.8%
	7:00 PM	4%	66%	79%	61%	167	37.0%
	7:30 PM	3%	66%	7%	22%	73	16.2%
	8:00 PM	2%	62%	7%	1%	24	5.3%
	8:30 PM	2%	62%	0%	0%	21	4.7%
	9:00 PM	2%	62%	0%	0%	21	4.7%
	9:30 PM	1%	62%	0%	0%	19	4.2%
	10:00 PM	1%	62%	0%	0%	19	4.2%
	10:30 PM	1%	62%	0%	0%	19	4.2%
	11:00 PM	1%	62%	0%	0%	19	4.2%
	11:30 PM	1%	62%	0%	0%	19	4.2%

# WEDNESDAY 08/30/2023

## PARKED VEHICLES - WEDNESDAY 30 MARCH 2023

PARCEL	1	2	3	4	TOTAL	
SPACES	194	29	14	214	451	
MIDNITE	1	18	0	0	19	4.2%
12:30 AM	1	18	0	0	19	4.2%
1:00 AM	0	18	0	0	18	4.0%
1:30 AM	0	18	0	0	18	4.0%
2:00 AM	0	19	0	0	19	4.2%
2:30 AM	0	18	0	0	18	4.0%
3:00 AM	2	18	0	0	20	4.4%
3:30 AM	2	19	0	0	21	4.7%
4:00 AM	2	19	0	1	22	4.9%
4:30 AM	3	19	0	2	24	5.3%
5:00 AM	7	20	0	17	44	9.8%
5:30 AM	10	20	0	41	71	15.7%
6:00 AM	14	21	0	57	92	20.4%
6:30 AM	22	20	1	62	105	23.3%
7:00 AM	29	19	2	24	74	16.4%
7:30 AM	87	19	4	42	152	33.7%
8:00 AM	109	21	8	174	312	69.2%
8:30 AM	101	21	9	169	300	66.5%
9:00 AM	107	21	10	167	305	67.6%
9:30 AM	107	21	9	171	308	68.3%
10:00 AM	106	21	9	168	304	67.4%
10:30 AM	100	22	9	168	299	66.3%
11:00 AM	97	22	10	169	298	66.1%
11:30 AM	95	20	10	167	292	64.7%
12:00 PM	95	19	10	169	293	65.0%
12:30 PM	95	19	11	169	294	65.2%
1:00 PM	92	21	9	153	275	61.0%
1:30 PM	92	20	7	156	275	61.0%
2:00 PM	91	19	6	150	266	59.0%
2:30 PM	98	20	6	148	272	60.3%
3:00 PM	128	20	5	160	313	69.4%
3:30 PM	53	19	5	104	181	40.1%
4:00 PM	48	19	4	145	216	47.9%
4:30 PM	27	18	5	193	243	53.9%
5:00 PM	21	17	7	197	242	53.7%
5:30 PM	16	17	12	201	246	54.5%
6:00 PM	20	18	14	187	239	53.0%
6:30 PM	21	18	13	182	234	51.9%
7:00 PM	15	19	12	165	211	46.8%
7:30 PM	13	19	11	144	187	41.5%
8:00 PM	3	19	8	12	42	9.3%
8:30 PM	2	19	0	4	25	5.5%
9:00 PM	2	18	0	2	22	4.9%
9:30 PM	1	18	0	0	19	4.2%
10:00 PM	1	18	0	0	19	4.2%
10:30 PM	1	18	0	0	19	4.2%
11:00 PM	1	18	0	0	19	4.2%
11:30 PM	1	18	0	0	19	4.2%
MIDNITE	1	18	0	0	19	4.2%

PERCENT OF PARKING SPACES OCCUPIED BY PARKED VEHICLES							
	PARCEL	1	2	3	4	TOTAL	
	SPACES	194	29	14	214	451	
WEDNESDAY 08/30/2023	MIDNITE	1%	62%	0%	0%	19	4.2%
	12:30 AM	1%	62%	0%	0%	19	4.2%
	1:00 AM	0%	62%	0%	0%	18	4.0%
	1:30 AM	0%	62%	0%	0%	18	4.0%
	2:00 AM	0%	66%	0%	0%	19	4.2%
	2:30 AM	0%	62%	0%	0%	18	4.0%
	3:00 AM	1%	62%	0%	0%	20	4.4%
	3:30 AM	1%	66%	0%	0%	21	4.7%
	4:00 AM	1%	66%	0%	0%	22	4.9%
	4:30 AM	2%	66%	0%	1%	24	5.3%
	5:00 AM	4%	69%	0%	8%	44	9.8%
	5:30 AM	5%	69%	0%	19%	71	15.7%
	6:00 AM	7%	72%	0%	27%	92	20.4%
	6:30 AM	11%	69%	7%	29%	105	23.3%
	7:00 AM	15%	66%	14%	11%	74	16.4%
	7:30 AM	45%	66%	29%	20%	152	33.7%
	8:00 AM	56%	72%	57%	81%	312	69.2%
	8:30 AM	52%	72%	64%	79%	300	66.5%
	9:00 AM	55%	72%	71%	78%	305	67.6%
	9:30 AM	55%	72%	64%	80%	308	68.3%
	10:00 AM	55%	72%	64%	79%	304	67.4%
	10:30 AM	52%	76%	64%	79%	299	66.3%
	11:00 AM	50%	76%	71%	79%	298	66.1%
	11:30 AM	49%	69%	71%	78%	292	64.7%
	12:00 PM	49%	66%	71%	79%	293	65.0%
	12:30 PM	49%	66%	79%	79%	294	65.2%
	1:00 PM	47%	72%	64%	71%	275	61.0%
	1:30 PM	47%	69%	50%	73%	275	61.0%
	2:00 PM	47%	66%	43%	70%	266	59.0%
	2:30 PM	51%	69%	43%	69%	272	60.3%
	3:00 PM	66%	69%	36%	75%	313	69.4%
	3:30 PM	27%	66%	36%	49%	181	40.1%
	4:00 PM	25%	66%	29%	68%	216	47.9%
	4:30 PM	14%	62%	36%	90%	243	53.9%
	5:00 PM	11%	59%	50%	92%	242	53.7%
	5:30 PM	8%	59%	86%	94%	246	54.5%
	6:00 PM	10%	62%	100%	87%	239	53.0%
	6:30 PM	11%	62%	93%	85%	234	51.9%
	7:00 PM	8%	66%	86%	77%	211	46.8%
	7:30 PM	7%	66%	79%	67%	187	41.5%
	8:00 PM	2%	66%	57%	6%	42	9.3%
	8:30 PM	1%	66%	0%	2%	25	5.5%
	9:00 PM	1%	62%	0%	1%	22	4.9%
	9:30 PM	1%	62%	0%	0%	19	4.2%
	10:00 PM	1%	62%	0%	0%	19	4.2%
	10:30 PM	1%	62%	0%	0%	19	4.2%
	11:00 PM	1%	62%	0%	0%	19	4.2%
	11:30 PM	1%	62%	0%	0%	19	4.2%





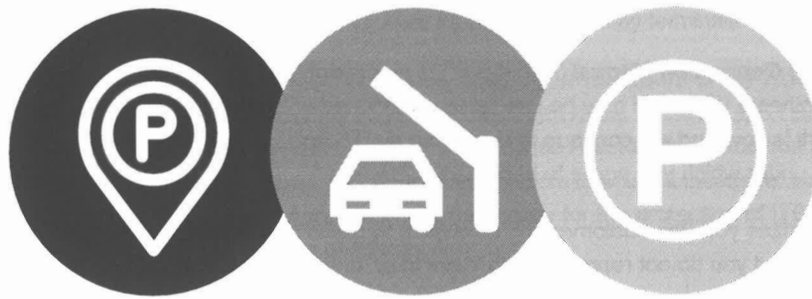
## Appendix B

Pertinent Excerpt of *Parking Generation Manual, 5<sup>th</sup> Edition*









# Parking Generation Manual

5<sup>th</sup> Edition



INSTITUTE OF TRANSPORTATION ENGINEERS

# Private School (K-12) (536)

## Peak Period Parking Demand vs: Students

On a: Weekday (Monday - Friday)

Setting/Location: General Urban/Suburban

Peak Period of Parking Demand: 9:00 a.m. - 3:00 p.m.

Number of Studies: 3

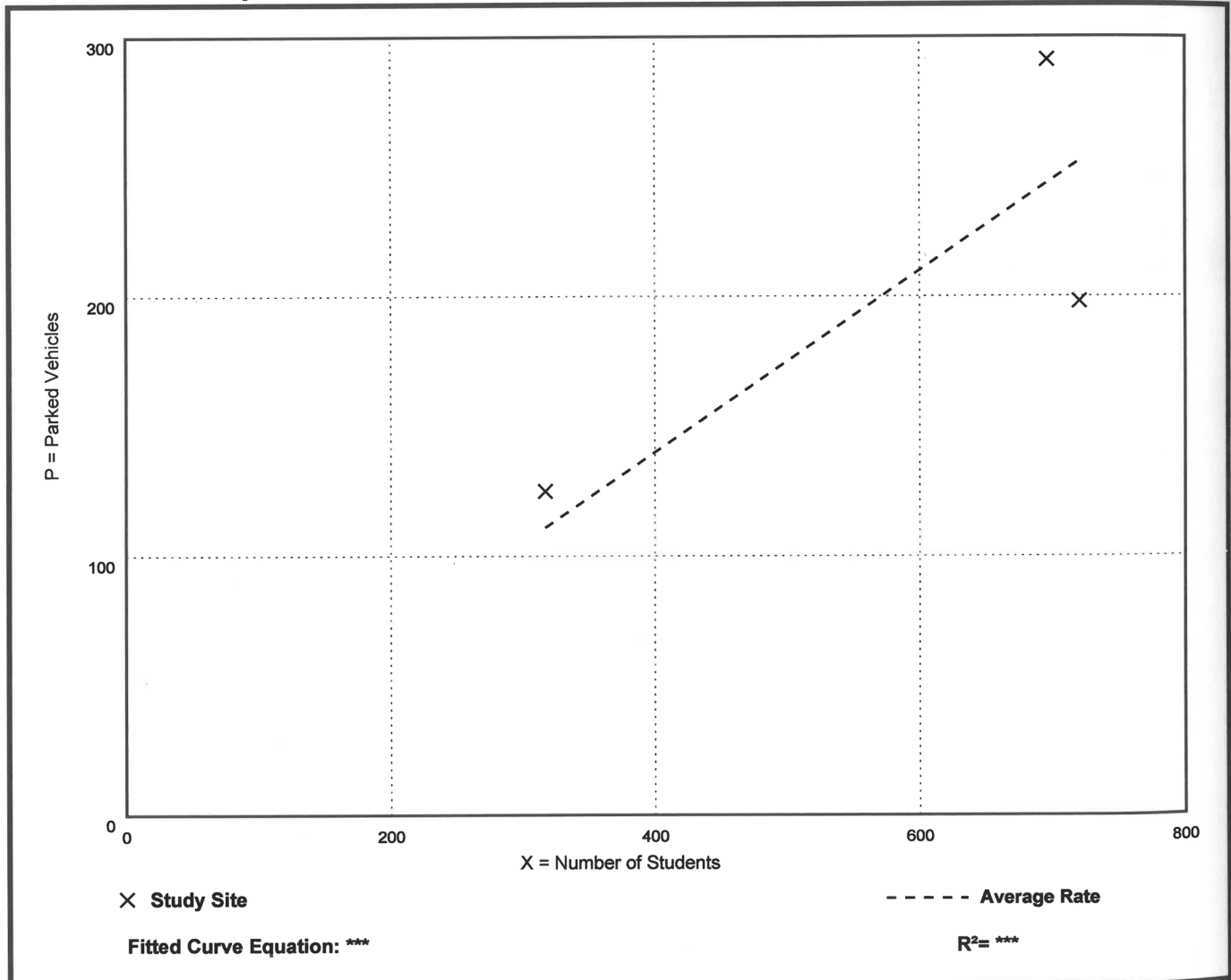
Avg. Num. of Students: 578

## Peak Period Parking Demand per Student

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
0.35	0.28 - 0.42	0.31 / 0.42	***	0.08 ( 23% )

## Data Plot and Equation

Caution – Small Sample Size



## Appendix C

### Paradise Valley Parking Guidelines





**Section 6      Religious Facility, Private School, Non-Profit Organization,  
Public/Quasi Public**

1. Bulk and Density Standards
  - a. *Maximum building height of principal building – 35 feet*
  - b. Maximum building height for all other structures - 24 feet
  - c. Maximum lot coverage for all buildings - 25%
  - d. Minimum lot area - 5 acres
  - e. Towers and other architectural features may exceed building maximum heights subject to special use permit or major amendment approval.
  - f. To maintain view corridors around the perimeter of a property, building heights shall be limited around property lines in accordance with the Open Space Criteria per Section 3 of the Special Use Permit Guidelines.
2. Perimeter Standards
  - a. Building setback when property is adjoining residentially zoned property – 60 feet
  - b. Building setback when property is adjoining a public street - 40 feet
  - c. Parking lots and internal driveways shall be set back a minimum of 60 feet from adjacent residentially zoned property.
  - d. Parking lots shall be shielded with a minimum 3 foot high wall or a landscaped berm providing equivalent screening or a combination of both so that no vehicle lights shall shine onto adjacent residentially zoned property.
  - e. Parking lots adjoining public streets shall be shielded by a minimum 3 foot high wall or landscaped berm providing equivalent screening or a combination of both.
  - f. There shall be a 40 foot wide landscaped area adjacent to an exterior property line where it abuts residentially zoned property.
  - g. There shall be a minimum 30 foot wide landscaped area where an exterior property line abuts a public or private local or collector street and a 50 foot wide landscaped area where an exterior property line abuts a Major or Minor Arterial.
3. Parking
  - a. On-site parking shall be provided as follows:
    - i. Places of assembly - 1 space for each 3 seats or for each 54 inches of total pew length
    - ii. Classrooms - 1 space for each classroom
    - iii. Administrative offices - 1 space for each 300 square feet of net interior floor area
    - iv. Professional offices - 1 space for each 300 square feet of net interior floor area



- b. These requirements may be modified in conjunction with special use permit or major amendment approval based on information documenting overlapping usage of on-site facilities by employees or visitors and as contained in an approved traffic and parking analysis.

#### 4. Signage

In addition to the provisions of Chapter XXV, Signs, of the Town's Zoning Ordinance, the following regulations shall apply:

- a. One ground sign no higher than 8 feet and no larger than 32 square feet in area shall be permitted at each principal entrance to the property.
- b. No moving or animated signs shall be permitted.
- c. Changeable message panels shall be permitted.
- d. Traffic and directional signs within the site shall not exceed 12 square feet in area and five feet in height.

#### 5. Lighting

Lighting as per Section 2 of the Special Use Permit Guidelines

## Appendix D

### Other Local Community Parking Requirements Pertinent Excerpts





## Appendix D.1

### Scottsdale Parking Requirements





## Sec. 9.103. - Parking requirements.

- A. *General requirement.* Except as provided in Sections 9.103.B, 9.104, 9.107, and 9.108, and subsections therein, each use of land shall provide the number of parking spaces indicated for that use in Table 9.103.A. and Section 9.105.
- B. *Requirement in the Downtown Area.* Except as provided in Sections 9.104, 9.107, and 9.108, and subsections therein each use of land in the Downtown Area shall provide the number of parking spaces indicated for that use in Table 9.103.b. and Section 9.105. Those uses that are not specifically listed in Table 9.103.B. shall provide the number of parking spaces indicated for that use in Table 9.103.A.
- C. *Required bicycle parking.* Every principal and accessory use of land which is required to provide at least forty (40) vehicular parking spaces shall be required to provide bicycle parking spaces at a rate of one (1) bicycle parking space per every ten (10) required vehicular parking spaces; and after July 9, 2010, new development shall provide, at a minimum, two (2) bicycle parking spaces. No use shall be required to provide more than one hundred (100) bicycle parking spaces.
1. Subject to the approval of the Zoning Administrator, in the Downtown Area, bicycle parking spaces may be provided within a common location that is obvious and convenient for the bicyclist, does not encroach into adjacent pedestrian pathways or landscape areas, and the location shall be open to view for natural surveillance by pedestrians. Such common bicycle parking areas shall be subject to the approval of the Zoning Administrator.
- D. *Bicycle parking facilities design.* Required bicycle parking facilities shall, at a minimum, provide a stationary object to which the bicyclist can lock the bicycle frame and both wheels with a user provided U-shaped lock or cable and lock. The stationary object shall generally conform to the Design Standards & Policies Manual. The Zoning Administrator may approve alternative designs. Bicycle lockers and other high security bicycle parking facilities, if provided, may be granted parking credits pursuant to Section 9.104.C., Credit for bicycle parking facilities.
- E. *Calculating required parking for transportation facilities.* Required parking for park and ride lots and major transfer centers shall be determined by the Zoning Administrator. Subject to the Design Standards & Policies Manual and the following criteria:
1. Goals of the City with regard to transit ridership along the route on which the transportation facility is located.
  2. Distance from other transportation facilities with parking.
- F. *Fractions shall be rounded.*
1. When any calculation for the required parking results in a fraction of a parking space, the fraction shall be rounded up to the next greater whole number.
  2. When any calculation for the provided parking results in a fraction of a parking space, the



fraction shall be rounded down to the next greater whole number.

3. When any calculation of a Parking P-3 District credit, improvement district credit, or in-lieu parking credit results in a fraction of a credit, the fraction shall not be rounded.

G. *Interpreting requirements for analogous uses.* The Zoning Administrator shall determine the number of spaces required for analogous uses. In making this determination, the Zoning Administrator shall consider the following:

1. The number of parking spaces required for a use listed in Table 9.103.A., or Table 9.103.B., that is similar to the proposed use;
2. An appropriate variable by which to calculate parking for the proposed use; for example, building square footage or number of employees;
3. Parking data from the same use on a different site or from a similar use on a similar site;
4. Parking data from professional publications such as those published by the Institute of Transportation Engineers (ITE) or the Urban Land Institute (ULI);

H. *Additional requirements for company vehicles.* When parking spaces are used for the storage of vehicles or equipment used for delivery, service and repair, or other such use, such parking spaces shall be provided in addition to those otherwise required by this Zoning Ordinance. Before a building permit is issued the number of spaces to be used for vehicle storage shall be shown on the plans. Unless additional spaces are provided in excess of the required number of spaces, no vehicles in addition to that number shall be stored on the site.

\_\_\_\_\_

**Table 9.103.A. Schedule of Parking Requirements**

Amusement parks	Three (3) spaces per hole for any miniature golf course, plus one (1) space per three thousand (3,000) square feet of outdoor active recreation space, plus any additional spaces required for ancillary uses such as but not limited to game centers and pool halls.
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Theaters, cinemas, auditoriums, gymnasiums and similar places of public assembly in PNC, PCC, PCP, PRC, or PUD zoning districts	One (1) space per ten (10) seats.
Theaters, cinemas, auditoriums, gymnasiums and similar places of public assembly in other districts	One (1) parking space per four (4) seats.
Trailhead - gateway	Five hundred (500) to six hundred (600) spaces, including those for tour buses and horse trailers.
Trailhead - local	None required.
Trailhead - major community	Two hundred (200) to three hundred (300) spaces, including those for horse trailers.
Trailhead - minor community	Fifty (50) to one hundred (100) spaces.
Transportation facilities	Required parking shall be determined by the Zoning Administrator per Section 9.103.E., Calculating required parking for transportation facilities.
Transportation uses	Parking spaces required shall be determined by the Zoning Administrator.
Travel accommodations	One (1.0) parking spaces for each one (1) guest room or dwelling unit.



## Appendix D.2

### Phoenix Parking Requirements





**702 Off-Street Parking and Loading.****A. Off-Street Parking and Maneuvering. \*18****1. Off-street parking requirement. \*18**

- a. Shall be provided for all uses of property in accordance with the standards in this Section. +18
- b. Shall include sufficient on site maneuvering for each parking space (refer to parking layout policy) along with adequate driveways, all of which must be located entirely on private property. +18
  - (1) If maneuvering is required on a site other than [than] the site of development a cross access agreement shall be executed. A copy of the executed and recorded agreement shall be provided to the Building Official and Planning and Development Traffic Engineer. +18
- c. All off-street parking areas shall be accessible from a public street or alley unless prohibited in the Driveway Ordinance (Phoenix City Code). +18

**2. When a parking plan is required.\*18**

- a. An area for off street parking, drives and maneuvering meeting the requirements of this Section shall be provided on a parking plan in conjunction with the issuance of a building permit for any new construction or expansion of an existing building. The Building Official shall not issue a building permit unless these requirements are satisfied. \*18
- b. Whenever a parking plan has been approved, the parking area must be developed in accordance with the plan and may not be changed to deviate from the plan without the approval of the Planning and Development Department. \*18
- c. A parking plan shall be required by the building official whenever any change in use of a property is made that results in an increase in the number of required parking spaces or of the standards for parking areas contained in this Section. A parking plan is also required for new construction or site plan amendments. \*18

**3. Existing parking areas.** Any parking area, existing as of July 2, 2003, which has an approved parking plan and is in conformance with that plan shall be considered a legal use under the terms of this section. New parking spaces required because of tenant changes, new construction, or site plan amendments occurring after July 2, 2003 may maintain the existing, legally nonconforming space dimensions. If more than fifty (50) spaces are added, the new spaces shall meet the dimensions of this Section. \*18**4. Availability of parking on subject lot.** The required parking for any use shall be on the same lot as the use, except: \*18

- a. A non-residential use in a non-residential district may have parking on another lot when: \*18



more than six (6) feet in height. Landscaping, when matured, shall be a minimum of four (4) feet in height and shall be maintained in a living condition. +18

(2) Along that portion of the perimeter of the parking area bounding or within a street side or front yard, the wall shall be three (3) feet in height. Landscaping shall, when matured, be a minimum of three (3) feet in height and shall be maintained in a living condition. +18

(3) All landscaping or wall construction adjacent to driveway entrances is not to exceed three (3) feet in height within a triangle measuring ten (10) feet in depth from the property line tapering to the property line twenty (20) feet on either side of the driveway. All landscaping and wall construction shall comply with the vision obscurement requirement of the Phoenix City Code. +18

(4) All required walls and landscaping shall be maintained in a neat and orderly condition. +18

(5) Landscaping as required in this section shall provide at least continuous evergreen (broad leaf or conifer) shrubs or hedges in a planting area which shall be a minimum of three (3) feet in width. +18

**C. Parking Requirements.** Off-street automobile parking space or area shall be provided according to the following table, except for large scale retail commercial uses (see Section [702.D](#)). The parking ratios in the table identify the minimum level of parking required to serve that use and receive site plan approval. \*18

Type of Land Use	Parking Requirements
+18 Art Gallery	1 space per 300 sq. ft.
+18 Art Studio	1 space per 500 sq. ft. or 1 per 1.5 employees
+12 Basketball and Volleyball Courts	9 spaces per court, 6 spaces per half-court
Batting Cages	1 space per 60 s.f. of batting area (area where batter is standing)
Billiard Parlors	1.5 spaces per table (3 feet around pool tables will not be counted for parking in bars & lounges)
Car Wash, Automated	1 space per 3 non-office employees and 1 space per 300 s.f. of office and sales area and 2 space per 24 feet of wash bay
Churches, Synagogues, Temples, or Other Places of Worship (See Public Assembly—General, for public event facilities)	1 space per 3 seats or 1 space per 58 lineal inches of pew space
+18 Convention/	1 space per 100 sq. ft.

	50,000 to 250,000	3.5	
	250,001 to 600,000	3.2	
	600,001 to 1,000,000	2.8	
	Over 1,000,000	2.7	
Public Assembly—General	1 space per 60 sq. ft.		
Public Assembly—Spectator	1 space per 4 seats and 1 space per 60 s.f. of area in public assembly		
Public Assembly—Entertainment	1 space per 50 s.f. exclusive of kitchen, rest rooms, storage, etc.		
*18 Public Assembly—Active Recreational	Requires parking study		
+18 Public Museum	1 space per 60 sq ft of public area, 1 space per 300 sq. ft. for retail and office		
Racquetball/Handball Courts	3 spaces for each court.		
Recreational Vehicle Park	1.1 spaces for each recreational vehicle space		
+18 Resort	Requires parking study or is based on previously approved parking interpretation for a like use		
Restaurants, Bars, Taverns, Night Clubs, or Similar Drinking Establishments	1 space per 50 s.f. (including outside dining/sales) exclusive of kitchen, rest rooms, storage, etc. 1 space per 200 s.f. of outdoor recreational areas. Landscape planters with trees and shrubs, ingress/egress pathways and retention areas will not be counted as outdoor recreational areas. +27		
Retail Establishments including those not specified with less than 50,000 sq. ft. of gross building area	1 space per 300 s.f. floor area		
Retail Establishments or Centers with 50,000 sq. ft. or greater of gross building area—(Large scale commercial retail developments not included)	Square feet of tenant leasable area (including outside dining/sales)	Spaces per 1,000 square feet of TLA	Gross assembly without surcharge
	50,000 to 350,000 sq. ft.	4	20%



## Appendix D.3

### Gilbert Parking Requirements





## **Article 4.2      Off-Street Parking and Loading Regulations**

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### **Sections**

4.201	Purposes
4.202	Applicability
4.203	General Provisions
4.204	Number of Parking Spaces Required
4.205	Number of Parking Spaces Required for Shopping Center and Regional Commercial
4.206	Dimensions for Parking Spaces and Aisles
4.207	Parking Access
4.208	Driveway Widths
4.209	Surfacing
4.2010	Drive-Through and Take-Out Facilities
4.2011	Passenger Loading Areas
4.2012	Screening, Landscaping and Lighting
4.2013	Parking Space and Aisle Setbacks at Arterial Driveway Entrances
4.2014	Parking for Persons with Disabilities
4.2015	Off-Street Loading
4.2016	Bicycle Parking

### **4.201    Purposes**

The purposes of the off-street parking and loading regulations are to:

- A.      Ensure that adequate but not excessive parking is provided for new land uses and major alterations to existing uses to meet the parking needs created by such uses.
- B.      Establish regulations for new uses, new or relocated buildings and buildings that have been altered or expanded.
- C.      Ensure that off-street parking and loading areas are designed and located to protect the public safety, minimize congestion, reduce solar heat gain for unshaded parking areas, minimize traffic conflicts and congestion on parking aisles and public streets, and buffer surrounding land uses and public areas from visual and noise impacts.
- D.      Ensure pedestrian-friendly parking areas by providing for safe pedestrian routes, parking lot lighting, parking spaces sized for contemporary vehicles, and trees for shade.
- E.      Provide for the accessibility needs and requirements of disabled and elderly persons.



2. The additional parking space permitted by this section shall comply with the following standards:
  - a. The parking space shall have a surface of asphalt, concrete, decomposed granite or gravel.
  - b. The surface may consist of 2 parallel concrete or cement strips. The area between such parallel strips shall be landscaped with vegetative or non-vegetative ground cover.
  - c. No parked vehicle may obstruct or encroach on a sidewalk.
  - d. Access to the parking space shall be via a curb cut, rolled curb, or driveway.
3. No motor vehicle, recreational vehicle or trailer shall be parked in the front or side setback visible from the street, except on a driveway or additional parking space permitted in this section.

#### 4.204 Number of Parking Spaces Required

This Section sets forth parking space requirements for all uses except uses in Shopping Center and Regional Commercial districts. Unless otherwise approved pursuant to Subsections 4.203H: Deferred Parking for Unique Uses or 4.203I: Off-Site Parking in the Heritage Village Center Zoning District and Gateway Districts, required parking spaces shall be located on the same building site as the use or building they serve, unless cross-access and cross-parking agreements are in effect. Parking on public or private streets shall not be used to satisfy the off-street parking requirement.

**Table 4.204: Off-Street Parking Requirements**

<i>Use Classification</i>	<i>Requirement (Gross Floor Area)</i>
Agritainment	Determined by Zoning Administrator
Ambulance Services	1 space per 250 sq. ft.
Animal Services	
<i>Animal Grooming</i>	1 space per 250 sq. ft.
<i>Animal Shelter</i>	1 space per 250 sq. ft.
<i>Feed and Tack Sales</i>	1 space per 350 sq. ft.
<i>Kennel</i>	1 space per 250 sq. ft.
<i>Large Animal Hospitals</i>	1 space per 300 sq. ft.
<i>Small Animal Clinics</i>	1 space per 250 sq. ft.
Automated Teller Machine	None required
Automated Teller Machine, Remote	2 spaces per machine
Banks and Other Financial Institutions	1 space per 200 sq. ft.
Banquet Facility	Determined by Zoning Administrator
Bed and Breakfast Homes	2 enclosed spaces; plus 1 space per guest room
Building Maintenance Services	1 space per 300 sq. ft.

**Table 4.204: Off-Street Parking Requirements**

<b>Use Classification</b>	<b>Requirement (Gross Floor Area)</b>
Building Material and Home Improvement Sales and Service, Retail	1 space per 250 sq. ft.
Building Material and Home Improvement Sales and Service, Wholesale	1 space per 800 sq. ft.
Business Services	1 space per 250 sq. ft.
Call Center	1 space per 150 sq. ft.
Cemetery	None required
Cemetery, Pet	None required
Civic, Social and Fraternal Organizations	1 space per 200 sq. ft. or 1 space per 4 fixed seats, whichever is greater
Colleges or Universities, Public Or Private	1 space per 200 sq. ft. of classroom and office area
Congregate Living Facility	0.5 spaces per unit
Contractor's yard	1 space per 250 sq. ft. of office area
Convention Center	1 space per 200 sq. ft. or 1 space per 4 fixed seats, whichever is greater
Crematorium	1 space per 300 sq. ft.
Crop and Animal Raising, Commercial	None required
Crop Raising, Non-Commercial	None required
Cultural Institutions	1 space per 200 sq. ft. or 1 space per 4 fixed seats, whichever is greater
Day Care Centers	1 space per 300 sq. ft.
Day Care Homes	No additional spaces required
Day Care , Residential	No additional spaces required
Dry Cleaning and Laundry Outlet	1 space per 250 sq. ft.
Dry Cleaning and Laundry Central Plant	1 space per 300 sq. ft.
Eating and Drinking Establishments <i>Bars/Night Clubs/Lounges/Dance Halls</i>	1 space per 100 sq. ft.; plus 1 space per 400 sq. ft. of outdoor dining area
<i>Restaurants, Beverage Service</i>	1 space per 75 sq. ft.; plus 1 space per 400 sq. ft. of outdoor dining area
<i>Restaurants, Full Service</i>	1 space per 100 sq. ft.; plus 1 space per 400 sq. ft. of outdoor dining area
<i>Restaurants, Limited Service</i>	1 space per 100 sq. ft.; plus 1 space per 400 sq. ft. of outdoor dining area
Entertainment and Recreation, Indoor	1 space per 150 sq. ft. of indoor area
Entertainment and Recreation, Outdoor	2 spaces per court; 45 spaces per soccer field; 35 spaces per baseball or softball field; 1 space per batting cage; 2 spaces per miniature golf hole
Farm Stand	1 space per 50 sq. ft. of sales area
Farmers' Market	1 space per 50 sq. ft. of sales area
Food Preparation <i>Large-Scale</i>	1 space per 300 sq. ft.
<i>Small Scale</i>	1 space per 250 sq. ft.
Funeral and Undertaking Services	1 space per 100 sq. ft. of assembly area; plus 1 space per 200 sq. ft. of office area
Garden Supply Store and Plant Nurseries	1 space per 400 sq. ft. of sales and display area
Golf Course	5 spaces per hole



## Appendix D.4

### Tempe Parking Requirements





## CHAPTER 6 – PARKING

### Section 4-601 Purpose and Applicability.

- A. **Purpose.** The purpose of Chapter 6 is to provide standards for vehicle and bicycle *parking* facilities. This chapter recognizes that each *development* has unique *parking* needs and provides a flexible approach for determining *parking* space requirements.
- B. **Applicability.** Conformance to the standards in Chapter 6 shall be required for all uses and *developments*, except as noted herein, except in the MU-Ed District parking standards shall be established through the Joint Review Committee. Construction or modification of any *parking* area, except single-family residential *parking* areas, shall comply with plans that have been approved by the city. Single-family *parking* areas shall conform to Section 4-602(B) and (C).

### Section 4-602 General Parking Standards.

- A. **Parking Required.** No use shall provide less than the minimum or more than the maximum number of off-street *parking* spaces required under Section 4-603. The use of any property is conditional upon the unqualified continuance and availability of the *parking* as required by this Code. In phased projects, individual phases of the project are exempt from the maximum *parking* standards, provided that the project does not exceed the maximum allowable *parking* at build-out.
- B. **Parking Standards Applicable in All Zoning Districts.**
  - 1. *Parking* spaces shall conform to the clear vision requirements in Section 4-702(G) and the vehicle and pedestrian circulation standards in Sections 4-502 and 4-503 respectively;
  - 2. *Parking* is allowed only on improved paved surfaces. Pavement may be concrete, asphalt, brick or concrete pavers, or alternatively a stabilized, dust-proof, porous material (e.g. decomposed granite) approved by the Community Development Director, or designee. Where decomposed granite or similar porous pavement is used, it shall conform with the Americans with Disabilities Act Design Guidelines;
  - 3. A *parking* area shall be located on the *lot* it serves, or on a *contiguous lot*. Whenever required *parking* is provided on a *contiguous lot* a parking covenant and agreement shall be filed with the Community Development Department prior to issuance of a building permit;
  - 4. *Parking* for uses located on property zoned as multi-family residential, commercial, *mixed-use* or *office/industrial* may not be provided on any property in a single-family (R1) district. *Parking* for any non-residential use permitted in the single-family zoning districts may be located in any other zoning district;

**Table 4-603E: Ratios for Off-Street Parking**

Use	Vehicle Parking Minimums	Bicycle Parking Minimums	Bicycle Commute Area
Bed and breakfast	1 space per guest bedroom	NS	NS
Church/place of worship	1 space per 100 sf for sanctuary + school, etc.	1 per 1,500 sf	1 per 1,500 sf
Clinic (medical, dental, veterinary)	1 space per 150 sf	1 per 12,000 sf, 2 min	1 per 12,000 sf, 2 min
Club			
Bar/tavern/nightclub/teen night club	1 space per 50 sf	1 per 1,000 sf	1 per 500 sf
Lodge/club or similar	1 space per 125 sf	1 per 2,000 sf	1 per 2,000 sf
Outdoor (no parking first 300 sf; per tenant space)	1 space per 150 sf	1 per 2,000 sf	1 per 2,000 sf
Conference/assembly	1 space per 125 sf	1 per 2,000 sf	1 per 2,000 sf
Childcare center	1 space per 300 sf	1 per 3,000 sf	1 per 1,500 sf
Entertainment			
Amusement park	1 per 500 sf of public area	1 per 5,000 sf	1 per 2,500 sf
Arcade	1 space per 150 sf	1 per 1,000 sf	1 per 500 sf
Billiard establishment	1 space per 125 sf	1 space per 2,000 sf	1 space per 1,500 sf
Bowling alley	5 spaces per lane + bar, etc.	0.5 per lane	0.5 per lane
Court (tennis, racquetball, etc.)	2 per court + restaurant, etc.	0.5 per court	0.5 per count
Golf course/clubhouse	4 spaces per green + restaurant, pro shop, etc.	0.2 per green	0.2 per green
Golf driving range	0.5 space per tee + retail (pro shop)	1 per 10 tees	1 per 10 tees
Mini-golf	1 space per hole + arcade, etc.	0.5 per hole	0.5 per hole
Museum	1 space per 250 sf	1 per 4,000 sf	1 per 3,000 sf
Stadium/arena	0.2 space per seat + restaurant, etc.	1 per 100 seats	1 per 100 seats
Team sports (volleyball, baseball, soccer, etc.)	9 per field or court	4 per field or court	4 per field or court
Theater	1 space per 3 seats	1 per 40 seats	1 per 30 seats
Fitness center	1 space per 125 sf or sum of components (courts, daycare, office, etc.), whichever is less	1 per 2,000 sf	1 per 2,000 sf
Fraternity/sorority	1.5 spaces per bedroom	0.5 per bedroom	1 per bedroom
Hospital	0.5 space per bed & 1 space per doctor on staff + 0.5 space per employee	0.2 space per employee	0.2 space per employee
Hotel/motel	1 space per unit + office, etc.	1 per 20 units	1 per 20 units
Manufacturing	1 space per 1,000 sf + office	1 per 10,000 sf	1 per 10,000 sf
Mini-warehouse/rental storage facilities	1 per 5,000 sf; includes manager's office	NS	NS

**KEY:**

NS = No Standards  
sf = square feet

## Appendix D.5

### Chandler Parking Requirements







## **ORDINANCE NO. 4375**

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF CHANDLER, ARIZONA, AMENDING ARTICLE XVIII PARKING AND LOADING REGULATIONS OF CHAPTER 35, CODE OF THE CITY OF CHANDLER;

WHEREAS, in accordance with A.R.S. 9-462, the legislative body may adopt by ordinance, any change or amendment to the regulations and provisions as set forth in the Chandler Zoning Code; and,

WHEREAS, this amendment, including the draft text, has been published as an 1/8-page display ad in a local newspaper with general circulation in the City of Chandler, giving fifteen (15) days notice of time, date and place of public hearing; and,

WHEREAS, a public hearing was held by the Planning and Zoning Commission as required by the Zoning Code, on June 20, 2012;

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Chandler, Arizona, as follows:

SECTION I. Article XVIII PARKING AND LOADING REGULATIONS, Chapter 35, Chandler City Code, is hereby amended to read as follows:

### **ARTICLE XVIII. PARKING AND LOADING REGULATIONS\***

#### **35-1800. Purpose.**

The purpose of this article is to establish standards for off-street parking, loading and maneuvering spaces for the uses permitted in this Zoning Ordinance. The standards of this article are intended to:

- 1) Ensure that adequate parking is provided to meet the typical parking needs of the uses permitted in this Zoning Ordinance, while at the same time limit excessive parking to avoid negative environmental and urban design impacts,
- 2) Provide flexible methods of responding to land uses with atypical parking needs through allowances for reductions or increases to the number of required parking spaces through parking demand studies,
- 3) Encourage higher densities, mixed-use developments, infill developments, and adaptive reuse of existing buildings in areas as set forth by the General Plan by allowing parking reductions for uses sharing parking and/or utilizing public parking facilities,
- 4) Ensure that off-street parking and loading areas are designed and located to protect public safety, facilitate the efficient movement of traffic, minimize traffic congestion, and maintain an attractive streetscape,
- 5) Ensure pedestrian-friendly parking areas by providing for safe, accessible and shaded pedestrian paths,
- 6) Encourage sustainable development practices that reduce solar heat gain and storm water runoff.

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*\*Cross references: Parking generally, § 16-10 et seq.*

- 14) Covered parking. Such structures shall be located and/or arranged that it is perceived as an integral part of the building elevations. Said structures shall be enhanced through architectural treatment and/or trees and shrubs. Structures shall meet approval of the Zoning Administrator.
- 15) Visitor parking and recreational vehicle storage shall be clearly identified through signage or curb paint.
- 16) Tandem parking spaces (an arrangement of two or more parking spaces placed one behind the other) may be counted toward the required parking in multi-family developments where the tandem spaces are assigned to the same dwelling unit, and in non-residential developments where valet or a parking attendant is on duty at all times the facility is in use. Developments with tandem parking spaces shall provide an appropriate number of regular (non-tandem) parking spaces unless waived by the Zoning Administrator. The number and location of said regular parking spaces shall be approved by the Zoning Administrator.

(Ord. No. 1196, 5-23-83; Ord. No. 1471, § I, 5-23-85; Ord. No. 3063, § 3, 11-18-99)

### **35-1803. Design standards.**

- 1) All vehicular egress from parking lots to public rights-of-way shall be by forward motion only, except in the case of single-family and two-family residences fronting on a local street or a primary or secondary collector street.
- 2) Except where a wall is required, six-inch vertical concrete or precast curbing shall be required around the perimeter of the parking area to protect landscaped areas and control vehicular circulation and the flow of stormwater. Wheel stops shall be installed where needed to prevent damage to property or persons.
- 3) In the design of the parking lots and entrances to and from those parking lots and facilities served by those parking lots, provision shall be for adequate, safe, convenient pedestrian circulation, including for the handicapped.
- 4) Landscaping standards: See section 1903 for details.

(Ord. No. 2119, § 1, 2-22-90; Ord. No. 3063, § 3, 11-18-99)

### **35-1804. Parking schedule.**

The following schedule provides the minimum parking spaces required for individual stand-alone uses. Parking shared by multiple uses shall be subject to parking requirements for shopping centers where permitted by the underlying zoning and/or shared parking requirements pursuant to Section 35-1807(2) Shared Parking. All parking requirements are based on gross floor area unless otherwise stated.

#### **1) Residential:**

Single-family	** 2 spaces/unit
Two-family	** 2 spaces/unit

Townhouse, patio home	** 2 spaces/unit
Multi-family:	
Efficiency or studio	*** 1 space/unit
One-bedroom	*** 1.5 spaces/unit
Two-bedroom	*** 2 spaces/unit
Each additional bedroom	*** 0.25 spaces
Mobile home subdivision or park	*** 2 spaces/home or trailer

\*\*2 spaces per unit shall be covered

\*\*\*1 space per unit shall be covered

(Note: The entire space nine (9) by nineteen (19) feet as defined in section 1802(1) shall be covered.)

2) *Institutional*

Elementary and junior high school	One (1) space/classroom Plus one (1) space for each two hundred (200) square feet of floor area in office use
High schools, colleges	One (1) space/two hundred (200) square feet gross floor space
Trade or business schools	One (1) space/two hundred (200) square feet
Library	One (1) space/two hundred fifty (250) square feet
Museum	One (1) space/two hundred fifty (250) square feet
Churches	One (1) space/four (4) seats
Hospitals	Three (3) space/bed
Convalescent homes	One (1) space/three (3) beds
Government offices	One (1) space/two hundred (200) square feet
Elderly care housing	0.75 spaces/unit Plus one (1) additional space per project employee/attendant

3) *Commercial*

Auditorium, theaters, stadium or similar place of assembly	One (1) space/two hundred (200) square feet or one (1) space/five (5) seats, whichever is greater
Private clubs, lodges (no	One (1) space/two hundred (200) square feet



## Appendix D.6

### Queen Creek Parking Requirements





# ARTICLE 5 – SITE IMPROVEMENT STANDARDS

**Table 5.6-3** Off-Street Parking Requirements

Use Categories	Specific Uses	Minimum Vehicle Spaces	Minimum Bicycle Spaces
<b>Residential</b>			
Group Living	Assisted Living Facilities; Treatment Facility	0.3 per room	N/A
Household Living	Bed and Breakfast	1 per guest room plus 2 spaces for owner's portion	N/A
	Rooming/Board House	1 per room	N/A
	Dormitories/ Fraternities/ Sororities	1 per 2 beds	0.5 per unit
	Single-Family and Duplex	2 accessible (non-tandem) spaces per dwelling unit	N/A
	Elderly housing	1 per three units	N/A
	All Other Dwelling Units	1 per unit	N/A
Lodging	Hotels/Motels; Bed and Breakfast Inn	1 per room + 1 per 800 sf of public meeting area and restaurant space	N/A
Multi-Family Complex	One Bedroom	1.5 per unit	.2 per unit
	Two Bedroom	2 per unit	.5 per unit
	Three or more bedrooms	2.5 per unit and - .5 per additional bedroom	.75 per unit
<b>Institutional</b>			
Colleges	All	1 per 4 students	1 per 5 vehicle spaces
Community Services	All	1.5 per 250 sf GFA	1 per 20 vehicle spaces
Cultural	Museums, Art Galleries, Opera Houses, Libraries	1.5 per 1,000 sf GFA	2 per 1,000 sf GFA
Day Care	Limited Day Care and General Day Care (see Appendix C)	1 per 375 sf GFA	N/A
Hospital or Medical Clinic	All	1 per 200 sf + 1 space per physician or 3 spaces per bed	.2 per 1,000 sf GFA
Parks and Open Space	All Other	20 per athletic field or ball diamond or 1 per 4 seats, whichever is more	1 per 10 vehicle spaces
Public Safety Service	All	1 per employee + 1 per each 3 volunteer personnel on normal shift + 1 per 200 sf usable office space	2% of number of parking spaces
Religious Assembly	All	1 per 8 seats	N/A
Schools	Elementary and Junior Highs	1 per classroom + 1 per 200 sf office space	1 per 10 students
	High Schools	1 per 200 sf	1 per 20 students
	Schools of Private Instruction	1 per 200 sf	1 per 10 students
Utilities, Basic	All	1 per employee	N/A
<b>Commercial</b>			
Office	General	1 per 350 sf GFA	1 per 30 vehicle spaces, 4 space minimum
	Medical	1 per 200 sf GFA	1 per 30 vehicle spaces, 4 space minimum
Recreation and Entertainment Indoor	Assembly/Auditorium	1 per 6 seats or 1 per 50 sf of GFA if no permanent seats	1 per 20 vehicle spaces
	Amusement Center, Skating Rink, and Dance Hall	1 per 250 sf of GFA	1 per 10 vehicle spaces
	Bowling Alley	2 per lane	1 per 10 vehicle spaces
	Clubs/Lodges	1 per 3 persons or 1 per 200 sf whichever greater	1 per 20 vehicle spaces
	Funeral Home/ Mortuary/Crematorium	1 per 4 seats	N/A
	Health Club/Fitness Center	10 spaces + 1 per 200 sf in excess of 1,000 sf	1 per 10 vehicle spaces

**Table 5.6-3** Off-Street Parking Requirements