



Town of Paradise Valley

6401 E Lincoln Dr
Paradise Valley, AZ 85253

Meeting Notice and Agenda Hillside Building Committee

Chair Scott Jarson, Sue-Meng Lau, Blair Portigal

Wednesday, January 14, 2026

8:00 AM

Town Hall Boardroom

Committee Members

Chair Scott Jarson, Blair Portigal, Craig Curtis, James Rose, Charles Covington.

1. Call to Order

Notice is hereby given that members of the Committee will attend either in person or by telephone conference call, pursuant to A.R.S. §38-431(4).

2. Executive Session

The Committee may convene into an executive session at one or more times during the meeting as needed to confer with the Town Attorney for legal advice regarding any of the items listed on the agenda as authorized by A.R.S. §38-431.03.A.3.

3. Application Review

The Committee may take action on these items.

A. [26-010](#) Formal Review for a New Single Family Residence 3924 E Bethany Home Road (APN 170-01-006)

Staff Contact:

Jose Mendez, 480-348-3519
Juan Gonzalez Jr., 480-348-3528

Attachments:

- [A. Staff Report](#)
- [B. Hillside & Vicinity Maps](#)
- [C. Application](#)
- [D. Notification Materials](#)
- [E. Plans](#)
- [F. Standard Approval Information](#)

**B. [26-013](#) Concept Review for a New Single Family Residence
5625 E Indian Bend Lane (APN 169-55-002A)**

Staff Contact:

Jose Mendez, 480-348-3519
Juan Gonzalez Jr., 480-348-3528

Attachments:

[A. Staff Report](#)
[B. Hillside & Vicinity Maps](#)
[C. Application](#)
[D. Notification Materials](#)
[E. Plans](#)

**C. [26-011](#) Concept Review for a New Single Family Residence
5611 E Road Runner Lane (APN 168-77-004)**

Staff Contact:

Jose Mendez, 480-348-3519
Juan Gonzalez Jr., 480-348-3528

Attachments:

[A. Staff Report](#)
[B. Hillside & Vicinity Maps](#)
[C. Application](#)
[D. Notification Materials](#)
[E. Plans](#)

4. Staff Reports

A. [26-012](#) Election of Chair per Section 2-5-6.D of the Town Code

Staff Contact:

Juan Gonzalez, 480-348-3528

Attachments:

[A. Staff Report](#)

5. Committee Reports

6. Next Meeting Date

*The next Hillside Building Committee meeting dates are tentatively scheduled for
Wednesday, February 11, 2026 at 8:00 a.m. and Wednesday, March 11, 2026 at 8:00
a.m.*

7. Adjournment

AGENDA IS SUBJECT TO CHANGE

**Notice is hereby given that pursuant to A.R.S. §1-602.A.9, subject to certain specified statutory exceptions, parents have a right to consent before the State or any of its political subdivisions make a video or audio recording of a minor child. Meetings of the Planning Commission are audio and/or video recorded, and, as a result, proceedings in which children are present may be subject to such recording. Parents in order to exercise their rights may either file written consent with the Town Clerk to such recording, or take personal action to ensure that their child or children are not present when a recording may be made. If a child is present at the time a recording is made, the Town will assume that the rights afforded parents pursuant to A.R.S. §1-602.A.9 have been waived.*

The Town of Paradise Valley endeavors to make all public meetings accessible to persons with disabilities. With 72 hours advance notice, special assistance can also be provided for disabled persons at public meetings. Please call 480-948-7411 (voice) or 480-483-1811 (TDD) to request accommodation to participate in the meeting.



Action Report

File #: 26-010

AGENDA TITLE:

**Formal Review for a New Single Family Residence
3924 E Bethany Home Road (APN 170-01-006)**

STAFF CONTACT:

Jose Mendez, 480-348-3519

Juan Gonzalez Jr., 480-348-3528

TOWN *Of* PARADISE VALLEY



STAFF REPORT

TO: Hillside Building Committee

FROM: Chad Weaver, Community Development Director
Shar Johnson, Town Engineer
Paul Michaud, Planning Manager
Jose Mendez, Hillside Development Planner
Juan Gonzalez Jr., Hillside Associate Engineer

DATE: January 14, 2026

DEPARTMENT: Community Development Department

Jose Mendez, (480)348-3519

Juan Gonzalez Jr., (480)348-3528

AGENDA TITLE:

Formal Review

New Single-Family Residence

Ashton Wolfswinkel

3924 E Bethany Home Road (APN 170-01-006)

HILL-25-08

RECOMMENDATION:

Staff recommends the Hillside Building Committee **approve** Case HILL-25-08, a request by Ashton Wolfswinkel, at 3924 E Bethany Home Road, for a new 5,763 SF Single-Family Residence with attached 1,092 SF Casita.

BACKGROUND/DISCUSSION/SUMMARY (PROVIDED BY APPLICANT)

The request is to construct a new 5,763 square-foot Single-Family Residence with an attached 1,092 SF Casita and to provide on-site retention.

Lot Data	
1. Area of Lot	1.009 ac or 43,970 SF
2. Area Under Roof	9,689 SF
3. Floor Area Ratio	22.03%
4. Building Site Slope	6.05%
5. Allowable Disturbed Area	26,382 SF (60.00%)
6. Existing Gross Disturbed Area	43,970 SF (100.0%)
7. Proposed Disturbed Area	33,236 SF (75.6%)
8. Maximum Building Height	Approximately 23 ft - 4 in

9. Overall Height	Approximately 23 ft - 8 in
10. Volume of Cut/Fill	2,825 C.Y.
11. Hillside Assurance	\$99,960

Single Family Residence

The request is to construct a new 5,763 SF Single-Family Residence with an attached 1,092 SF Casita.

Variance

N/A.

Guesthouse and/or Accessory Structures

An attached 1,092 SF Casita is proposed, which meets all height and setback requirements.

Driveway

An existing driveway accessing the property from E Bethany Home Road.

Pool

A pool and spa are proposed on the north end of the property which meet setback requirements. Applicant to provide a site plan with dimensions, prior to permit issuance.

Solar

No proposed solar.

Walls and Fences

The applicant is proposing retaining walls varying in height from 2 feet to 5.5 feet in height. The applicant is proposing a vehicle gate post with a height of 7 feet, which exceeds the allowable 6 feet. Applicant will be required to reduce the height and provide a new plan, subject to approval by staff and Chair. All others meet setback requirements and are within the allowable height requirements.

Building Materials

The applicant is proposing stucco but has not provided a sample or spec. The applicant will be required to provide a sample, subject to approval by Staff and Chair. All materials shall have a Light Reflective Value (LRV) of 38 or less, per Hillside Development Regulations.

Hardscape Materials

The applicant has provided the following materials for Formal Review:

MATERIALS BOARD



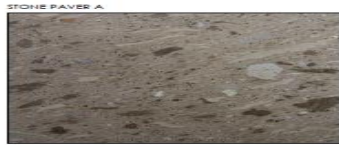
DRIVEWAY PAVE
- 3 PIECE CONCRETE PAVE
- BELGARD - MEGA BERGERAC
- COLOR: VICTORIAN
- LRV: 20



DRIVEWAY SANDING AND CONCRETE SIDEWALKS
- ACID WASH FINISH
- DAVIS COLORS: SIERRA 51078
- LRV: 20



BRICK PAVE
- MCKEAS BRICK
- COLOR: COTSWOLD
- LRV: 19



STONE PAVE A
- CANTREA STONE PAVE
- COLOR: CHOCOLATE
- LRV: 23



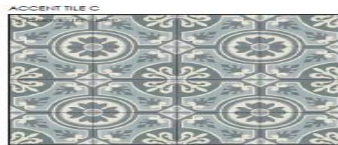
STONE PAVE B
- CANTREA STONE PAVE
- COLOR: NEGSEA
- LRV: 20



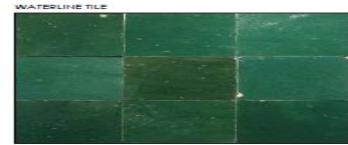
ACCENT TILE A
- 4" X 4" ACCENT TILE WITH CANTREA STONE
- ECO OUTDOOR - HALLEY GLAZED LAVA
- STONE
- LRV: 19



ACCENT TILE B
- STEP RISERS AND WATER FEATURE ACCENTS
- 8" X 8" CONCRETE TILE
- CEMENT TILE SHOP
- COLOR: ATLAS II
- LRV: 20



ACCENT TILE C
- FEATURE WALL ACCENT TILE VENEER - WILL
- NOT BE SEEN FROM ROADWAY AT ALL
- 8" X 8" CONCRETE TILE
- CEMENT TILE SHOP
- COLOR: LOURDES
- LRV: 44



WATERLINE TILE
- 4" X 4" ZIA TILE SQUARE ZELUGE
- COLOR: JADE
- LRV: 9



STEEL COLOR
- SHERWIN WILLIAMS PAINT
- COLOR: KAL 7022 UMSEA GRAY
- LRV: 8.5

All materials shall have a Light Reflective Value (LRV) of 38 or less, per Hillside Development Regulations. The accent tiles proposed will be underneath stairs and will not be visible to the public. Accent tiles are permitted at the discretion of the Hillside Building Committee.

Building Lighting

The applicant has provided 16 outdoor barn lights, located at the entrances of the home, casita, and garages of the proposed development. The proposed light fixture is shielded and lighting source provided has an output of 250 Lumens, which is less than the allowed 750 lumen count per Hillside Development Regulations.

Landscape & Driveway Lighting

The applicant has provided the following landscape and driveway lighting:

LIGHT FIXTURE SCHEDULE:

SYMBOL	QTY	MANUFACTURER	MODEL #	COLOR	DESCRIPTION	LAMP	LED	WATAGE	LUMENS	COLOR TEMP.
	7	FX LUMINAIRE	M-PL-1LED-FB	FLAT BLACK	LOW VOLTAGE PATHLIGHT	LED	1 LED	2.0 W	73	2700K
	25	FX LUMINAIRE	CC-3LED-LS-AB	ANTIQUE BRONZE	LOW VOLTAGE UP LIGHT WITH LONG SHROUD	LED	3 LED	4.2 W	124	2700K
T-# 	TBD	-	-	-	LOW VOLTAGE TRANSFORMER (CONTRACTOR TO DETERMINE QUANTITY REQ.)					

Landscaping

The applicant has provided the following proposed Plant List:

PLANT MATERIALS LEGEND:				GROUND COVER			
TREES	BOTANICAL / COMMON NAMES	SIZE	QTY	SYMBOL	BOTANICAL / COMMON NAMES	SIZE	QTY
	Casahuate Smoothie	48" Box	6		Lantana montevidensis	1 Gal.	37
	Smoothie Thicket Casahuate	48" Box	2		Purple Trailing Lantana	1 Gal.	2
	Chippale Inertia Bubba	48" Box	1		Lantana montevidensis 'Alba'	1 Gal.	16
	Bubba Desert Willow	48" Box	8		White Trailing Lantana	1 Gal.	9
	Citrus x sinensis	48" Box	3		Tradescantia pallida 'Pale Puma'	1 Gal.	9
	Olea europaea Swan Hill	60" Box	3		Verbena rigida	1 Gal.	9
	Swan Hill Olive	60" Box	3		Sandpaper Verbena	1 Gal.	9
	Onycha tesota	60" Box	3				
	Desert Ironwood	36" Box	6				
	Prosopis glandulosa 'Maverick'	48" Box	2				
	Maverick Thicket Honey Mesquite						
	Sophora secundiflora						
	Texas Mountain Laurel						
SHRUBS	BOTANICAL / COMMON NAMES	SIZE	QTY	CACTI	BOTANICAL / COMMON NAMES	SIZE	QTY
	Bougainvillea x Torch Glow	10 Gal.	10		Agave americana	5 Gal.	10
	Torch Glow Bougainvillea	5 Gal.	26		Century Plant	5 Gal.	7
	Bouteloua gracilis 'Blonde Ambition'	5 Gal.	11		Agave weberi	5 Gal.	4
	Blonde Ambition Blue Grama	5 Gal.	3		Weber Agave	5 Gal.	4
	Convolvulus cheiranth	5 Gal.	15		Agave x 'Blue Glow'	5 Gal.	41
	Bush Morning Glory	10 Gal.	3		Blue Glow Agave	1 Gal.	52
	Dodonaea viscosa	5 Gal.	9		Aloe dawei	4" Min.	3
	Hopewell Bush	5 Gal.	14		Dawe's Aloe	1 Gal.	11
	Eriocaulon latifolia	5 Gal.	27		Aloe x 'Blue Elf'	5 Gal.	5
	Turpentine Bush	5 Gal.	16		Blue Elf Aloe	5 Gal.	3
	Justicia spargerea	5 Gal.	68		Aloe x 'Hercules'	5 Gal.	29
	Mexican Honeycreeper	5 Gal.	35		Hercules Aloe	6" Root	6
	Lancea tridentata	5 Gal.	15		Asclepias subulata	1 Gal.	41
	Ceanothus Bush	5 Gal.	28		Rush Milkweed	5 Gal.	3
	Leucophyllum frutescens	5 Gal.	22		Carnegiea gigantea	5 Gal.	3
	Texas Sage	5 Gal.	24		Saguaro	5 Gal.	3
	Leucophyllum frutescens 'Compacta'	5 Gal.	26		Dasylium acrotiche	5 Gal.	29
	Compact Texas Sage	5 Gal.	15		Toothless Sotal	5 Gal.	6
	Muhlenbergia capillaris 'Lemon'	5 Gal.	35		Dasylium wheeleri	5 Gal.	6
	Rega Mott Pink Muhly Grass	5 Gal.	7		Grey Desert Spoon	5 Gal.	6
	Muhlenbergia rigens	5 Gal.	28		Fouquieria splendens	5 Gal.	6
	Deer Grass	5 Gal.	22		Ocotillo	5 Gal.	6
	Olea europaea 'Mantla'	5 Gal.	15		Hesperaloe parviflora 'Perpa'	5 Gal.	41
	Little Oleander	5 Gal.	28		Brake Light Red Yucca	5 Gal.	3
	Penstemon panyi	5 Gal.	22		Opuntia engelmannii	5 Gal.	9
	Pony's Beard Tongue	5 Gal.	24		Engelmann's Prickly Pear	5 Gal.	3
	Portulacaria afra	5 Gal.	26		Opuntia violacea	5 Gal.	3
	Elephant Bush	5 Gal.	22		Purple Prickly Pear	5 Gal.	3
	Rosa x 'Korbin'	5 Gal.	24		Pachycereus schottii monstrosus	5 Gal.	2
	Iceberg Forsythia Rose	5 Gal.	26		Totem Pole Cactus	5 Gal.	2
	Romantus officinalis Tuscan Blue	5 Gal.	22		Pedilanthus bracteatus	5 Gal.	2
	Ruselia latifolia	5 Gal.	24		Tall Slipper Plant	5 Gal.	18
	Mexican Petunia	5 Gal.	26		Pedilanthus macrocarpus	5 Gal.	18
	Salvia greggii	5 Gal.	26		Lady's Slipper	5 Gal.	18
	Autumn Sage	5 Gal.	26				
	Simmondsia chinensis	5 Gal.	38				
	Jacoba	5 Gal.	38				
	Sphaeralcea ambigua	5 Gal.	11				
	Desert Golemanlow	5 Gal.	11				
	Tecoma stans	5 Gal.	11				
	Yellow Bell	5 Gal.	11				

Mountain Profile Inviolable

At and above an elevation of 1,500 feet mean sea level, no development shall occur which will alter the mountain top ridge lines. Further, no structure may extend above a plane that originates on the Primary Ridge Line and angles downward from the Primary Ridge Line by twenty degrees. The property is not within the vicinity of a Primary Ridge Line and no further restrictions shall apply.

Land Disturbance

43,970 SF (100.00%) of disturbance currently exists on the lot and the building pad slope of 6.05% allows a disturbance of 26,382 SF (60.00%) on the lot. The applicant is proposing 33,236 SF (75.60 %) which is less than the allowable 43,970 SF of existing disturbance on site.

Grading and Drainage

The proposed construction of the property shall be required to properly retain the greater of "pre vs post" or "first flush" storm water volumes for the 100-year, 2-hour rainfall event per the Town's Storm Drainage Design Manual requirements. All historic flows shall be required to maintain the same entry and exit points on the property. The applicant is proposing to mitigate on-site retention with surface basins, 12"x12" catch basins in

connection with 4", 6", and 12" pipes for conveyance, as well as check dams for water dissipation. The applicant to provide updated grading and drainage plan per Safety Improvement Plan comments provided by Engineering Staff, prior to permit approval.

Sewer

The existing site is connected to the City of Phoenix sewer.

Fire Protection

Applicant has received Fire Marshal approval.

Hillside Safety Improvement Plan

The Applicant submitted a Safety Improvement Plan. During the 45-Day open comment period, no comments from a registered engineer were brought forward to the Town.

ANALYSIS:

The applicant has proposed a New Single-Family Residence that meets the minimum requirements of the Formal Review.

STIPULATIONS:

- 1.) All improvements shall be in compliance with the enclosed Standard Approval Information.
- 2.) Applicant to provide stucco paint color. Subject to approval by staff and chair.
- 3.) Applicant to provide a new vehicle gate detail, reducing the proposed height from 7 feet to 6 feet. Subject to approval by staff and Chair.

REQUIRED ACTION:

The Hillside Building Committee must consider the facts and determine if the application is in compliance with Article XXII - Hillside Development Regulations. The Hillside Building Committee may take the following actions:

1. Approve the application requests, subject to the stipulations noted by Staff and/or Hillside Building Committee.
2. Deny the application request if not compliant with Article XXII or if further information is needed.
3. Continue the application for further review.

NOTICING:

Public notification was performed in accordance with the public hearing process. Staff received no comments.

NEXT STEPS:

If approved the applicant shall acquire all required permits to complete the proposed

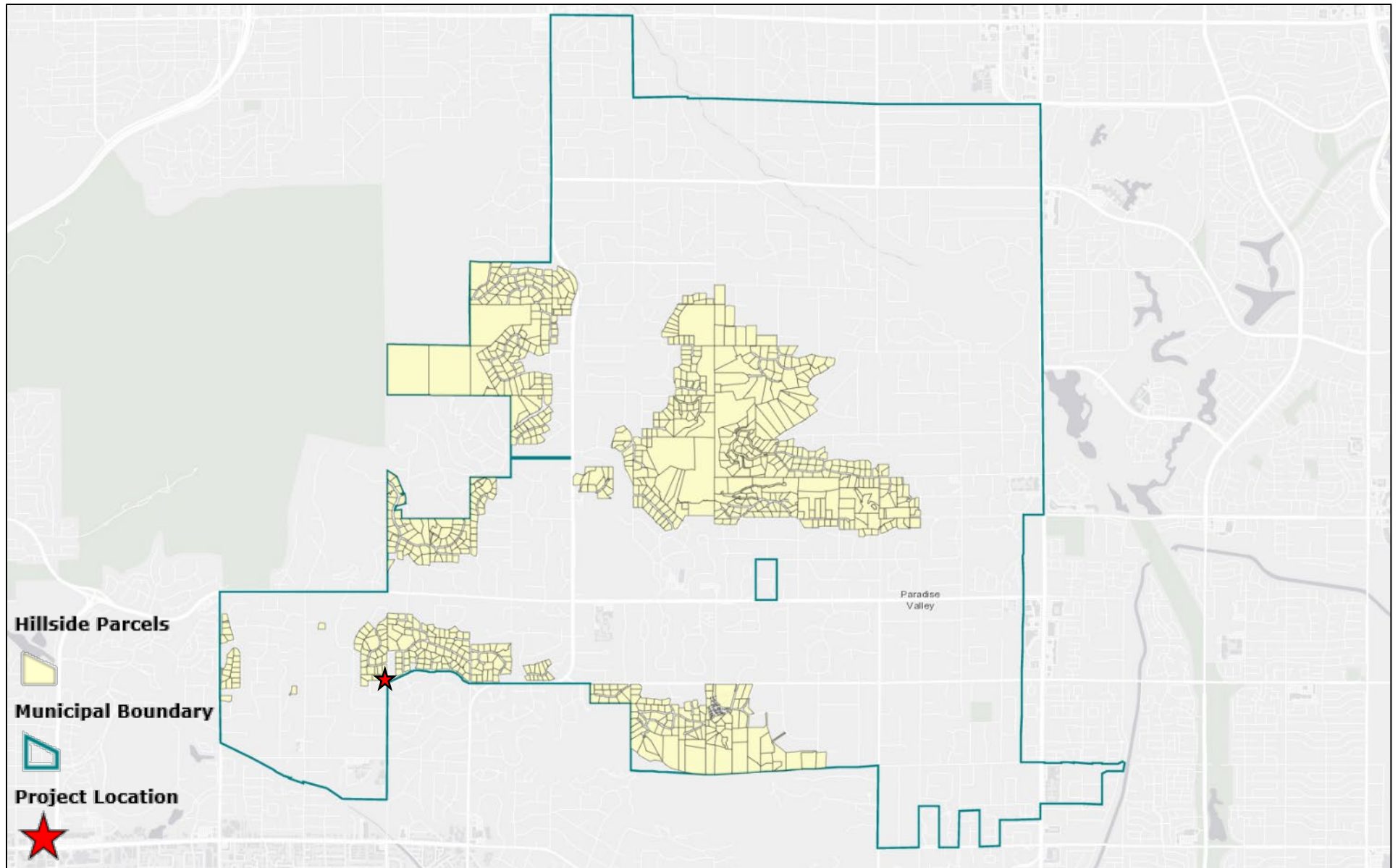
scope of work. Plans submitted to the Town for permits shall be in compliance with the plans, stipulations, and approved by the Hillside Building Committee.

ATTACHMENTS:

- A. Staff Report
- B. Hillside & Vicinity Maps
- C. Application
- D. Notification Materials
- E. Plans
- F. Standard Approval Information

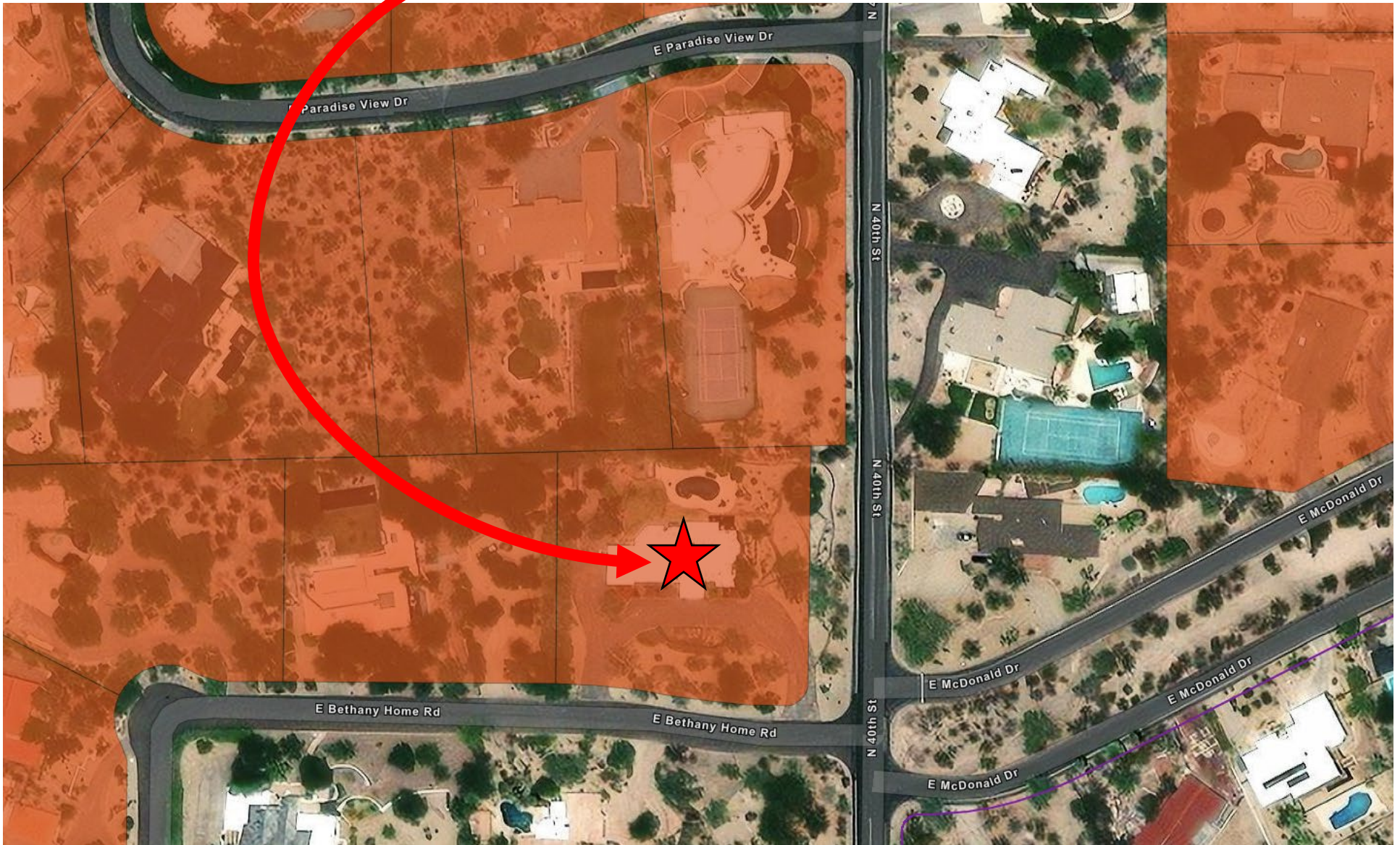
HILLSIDE MAP (OVERVIEW)

3924 E Bethany Home Road



ZONING MAP (ZOOM)

3924 E Bethany Home Road



VICINITY MAP (ZOOM)
3924 E Bethany Home Road



TOWN
of

PARADISE VALLEY



Hillside Application
Community Development Department
6401 E Lincoln Drive
Paradise Valley, AZ 85253

(480) 348-3692

HILLSIDE APPLICATION

DATE: May 15, 2025

SUBDIVISION NAME: Arroyo Heights

PROPERTY ADDRESS: 3924 E Bethany Home Road
Paradise Valley 85253

ASSESSOR'S PARCEL NUMBER: 170-01-006

LEGAL DESCRIPTION A PORTION OF THE NORTHEAST QUARTER OF SECTION 10
TOWNSHIP 2 NORTH, RANGE 3 EAST OF THE GILA AND SALT
RIVER BASE AND MERIDIAN. MARICOPA COUNTY, ARIZONA

SCOPE OF WORK: Build a new 5757 square foot single family residence along with
1007 square foot detached casita, new landsaping and swimming pool.



Town of Paradise Valley
6401 E Lincoln Drive
Paradise Valley, AZ 85253
hillside@paradisevalleyaz.gov

ARCHITECT:

PRINT NAME

PHONE NUMBER

Bill Duncan 602-841-1284

ADDRESS

duncandesigngroupphx@gmail.com

ENGINEER:

Nick Prodanov 602-889-1984

PRINT NAME

PHONE NUMBER

8808 N Central Ave, Suite 288, Phoenix AZ 85020

ADDRESS

OWNER:

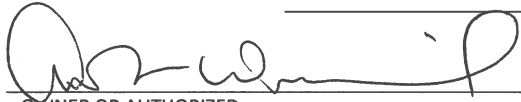
Sarah and Ashton Wolfswinkel 602-989-8162

PRINT NAME

PHONE NUMBER

1121 W Warner Road Suite 109 Tempe AZ 85284

ADDRESS


OWNER OR AUTHORIZED
AGENT SIGNATURE

DATE

5/19/25



Town of Paradise Valley
6401 E Lincoln Drive
Paradise Valley, AZ 85253
hillside@paradisevalleyaz.gov

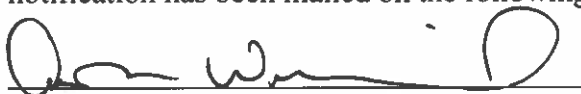
AFFIDAVIT OF MAILING NOTIFICATION

STATE OF ARIZONA)

) ss:

County of Maricopa)

In accordance with the requirements of the Town of Paradise Valley, the undersigned hereby certifies that the mailing list for the proposed project is a complete list of property owners within 1500 feet of the subject property, as obtained from the Maricopa County Assessor's Office on the following date December 16, 2025 and such notification has been mailed on the following date December 18, 2025



Signature

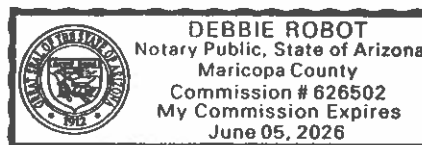
The foregoing instrument was acknowledged by me this 18th day of December, 2025, by Ashton Wolfswinkel.

Name



NOTARY PUBLIC

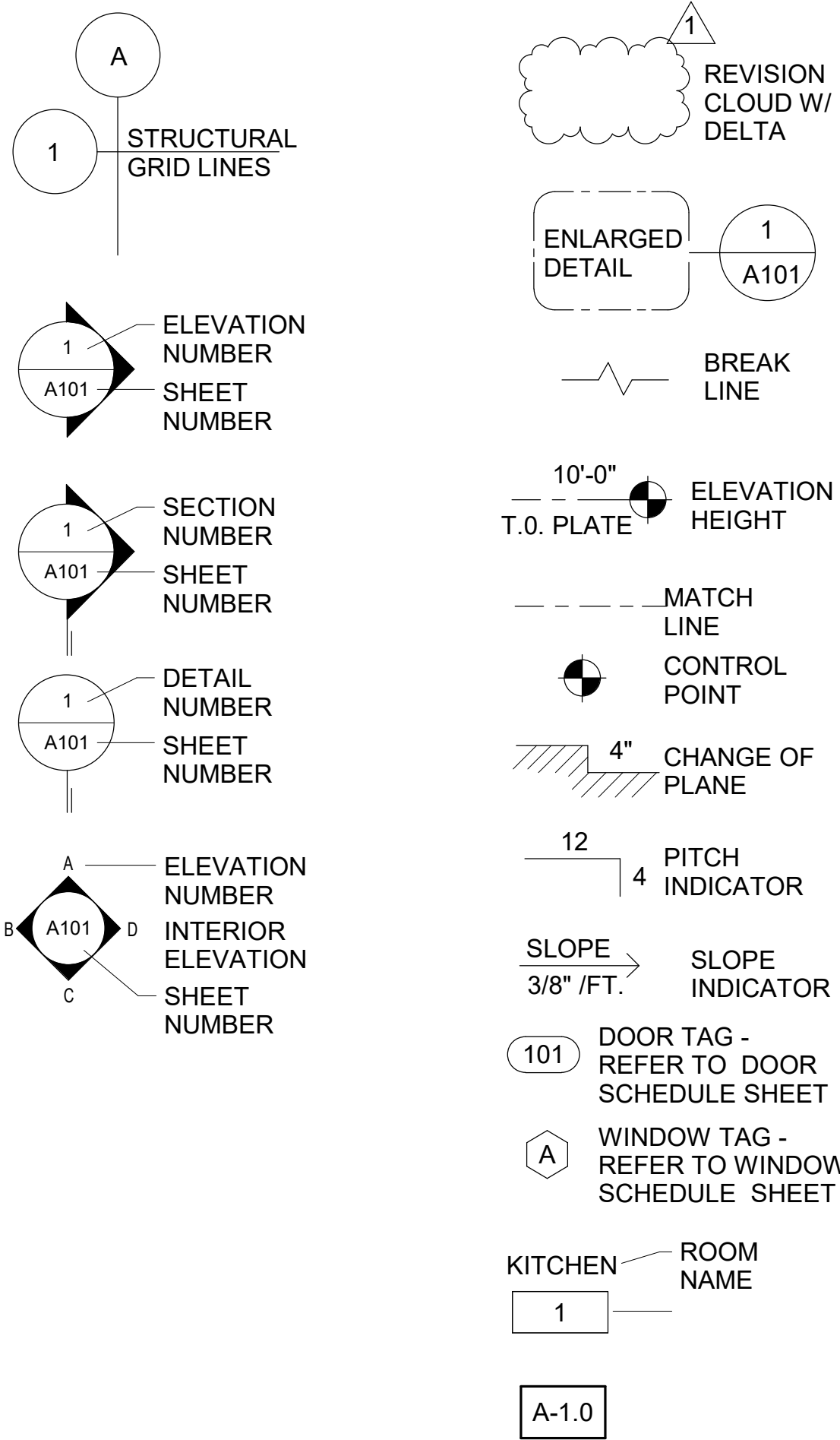
My commission expires:

6/5/2026


VIEW FRONT



SYMBOLS



SHEETS INDEX

NO.	SHEETS	SHT ISSUE DATE	REV DELTA <1>	REV ISSUED	REV DATE
TC-1.0	COVER SHEET	10.22.2025		No	
S-1.0	SITE PLAN SECTION KEY	10.22.2025		No	
S-1.1	SITE PLAN SECTIONS	10.22.2025		No	
E-1.0	EXTERIOR LIGHTING	10.22.2025		No	
E-3.1	EXTERIOR LIGHTING CUT SHEETS	10.22.2025		No	

DEFERRED SUBMITTALS

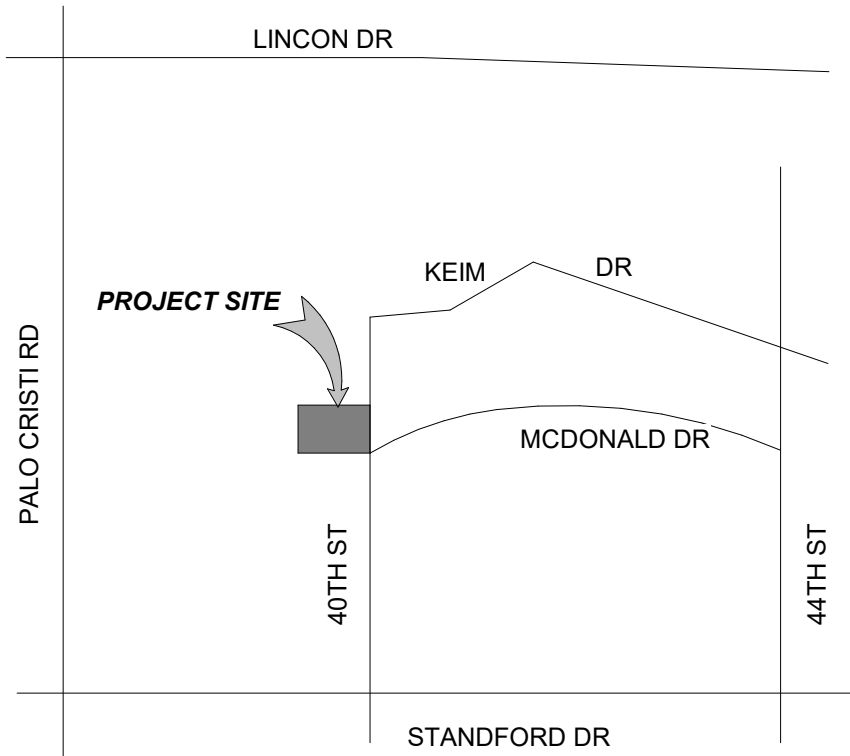
- MANUFACTURED ROOF TRUSSES
- FIRE SPRINKLERS

SPECIAL INSPECTIONS

SEE STRUCTURAL DRAWINGS FOR REQUIRED SPECIAL INSPECTIONS.

VICINITY MAP

3924 E BETHANY HOME ROAD
PARADISE VALLY, AZ 85253
MARICOPA COUNTY



PROJECT INFORMATION

3924 E BETHANY HOME ROAD
PARADISE VALLY, AZ 85253
MARICOPA COUNTY

ASSESSOR PARCEL NUMBER: 170-01-006

LEGAL DESCRIPTION:
LOT 5, ARROYO HEIGHTS, ACCORDING TO BOOK 110 OF MAPS,
PAGE 50, RECORDS OF MARICOPA COUNTY, ARIZONA.

TRACT: --

LOT: 5

GROSS SITE AREA: 43,970SF / 1.00 ACRES

LOT COVERAGE: --

BUILDING HEIGHT: 24' FT <ALLOWED> 24' FT

USE TYPE: R3

NUMBER OF STORIES: 2

FLOOR AREA RATIO (FAR)

1. TOTAL LOT AREA:	43,970SF	Square Feet
2. MAIN HOUSE:		
a. MAIN LVL. LIVABLE	5,334 SF	Square Feet (including all overhangs/eaves, covered patios etc.)
b. UPPER LVL. LIVABLE	429 SF	Square Feet (including all overhangs/eaves, covered patios etc.)
c. MAIN LVL. NON-LIVABLE	1,834 SF	Square Feet (portions of non-fully subterranean basement)
d. UPPER LVL. NON-LIVABLE	14 SF	Square Feet
e. COVERED PATIOS	587 SF	Square Feet
SUB-TOTAL A	8,198 SF	Square Feet (Add Lines a,b,c,d,e, & f)
3. DETACHED CASITA:		
a. LIVABLE	1,092 SF	Square Feet (including all overhangs/eaves, covered patios etc.)
b. NON-LIVABLE:	56 SF	Square Feet (i.e. shade structures, ramadas trellis, etc.)
C. COVERED PATIO	0 SF	Square Feet (i.e. shade structures, ramadas trellis, etc.)
D. MISC. TRELLISES	229 SF	Square Feet
E. ROOF EAVES	0 SF	Square Feet
SUB-TOTAL B	1,377 SF	Square Feet (Add Lines a,b,c, & d)
F. TOTAL LIVABLE	6,855 SF	Square Feet
G. TOTAL NON-LIVABLE	1,904 SF	Square Feet
H. TOTAL COV/RD. PATIO	701 SF	Square Feet
I. TOTAL COV/RG.	9,689 SF	Square Feet
4. TOTAL FLOOR AREAS:		
TOTAL FLOOR AREA	9,689 SF	Square Feet (Add SUB-TOTAL A & SUB-TOTAL B)
5. TOTAL AREA RATIO (FAR):		
FAR	22.03 %	% (Divide Line 4 by Line 1)

ZONING & BUILDING CODE SUMMARY

CODES	2015 IBC
	2015 IRC
	2015 IMC
	2015 IECC
	2015 IPC
	2014 NEC

PLUS CITY APPLICABLE CODES OR AMENDMENTS

ZONE R-43

PARCEL ZONING R-43

GENERAL PLAN USE RESIDENTIAL

TYPE OF CONSTRUCTION TYPE V-B

SETBACKS PER PER R-43 ZONING

FRONT YARD - 40' FT

SIDE YARD - 20' - 40' FT

REAR YARD - 40' FT

APPROVAL STAMP

CUSTOM NEW HOME
WOLFSWINKEL RESIDENCE

3924 E BETHANY HOME ROAD
PARADISE VALLY, AZ 85253
MARICOPA COUNTY

DDG
DUNCAN DESIGN GROUP, LLC
3723 WEST BARNES LANE
PHOENIX, ARIZONA 85051
PHONE: 602.841.1284
FAX: 602.841.7517
DUNCANDESIGNGROUPPHX@GMAIL.COM

DATE: 10.22.2025

No.	Description	Date

SHEET NAME:

COVER SHEET

SHEET NUMBER:

TC-1.0

PROJECT #:

D:\CW DRAFTING\CW_JOBS_NEW CONTRACTS\Duncan Design Group\2-WOLF-SWINKEL PV 082224 start\Wolfswinkel_10222025 SITE EXIBIT.rvt 10/23/2025 4:43:33 PM



1 SITE PLAN SECTION KEY
1" = 20'-0"



CUSTOM NEW HOME
WOLF-SWINKEL RESIDENCE
3924 E BETHANY HOME ROAD
PARADISE VALLEY, AZ 85253
MARICOPA COUNTY

DDG
DUNCAN DESIGN GROUP, LLC
3723 WEST BARNES LANE
PHOENIX, ARIZONA 85051
PHONE: 602.841.1284
FAX: 602.841.7517
DUNCANDESIGNGROUPPHX@GMAIL.COM

DATE: 10.22.2025

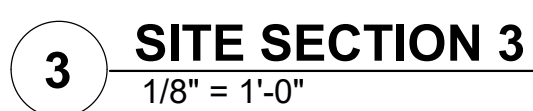
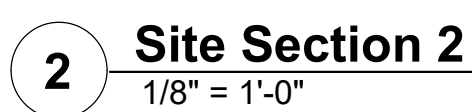
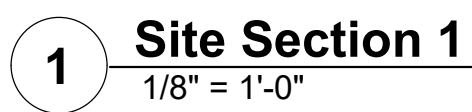
No.	Description	Date

SHEET NAME:
SITE PLAN SECTION KEY

SHEET NUMBER:
S-1.0

PROJECT #: ***

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PROJECT #: ***

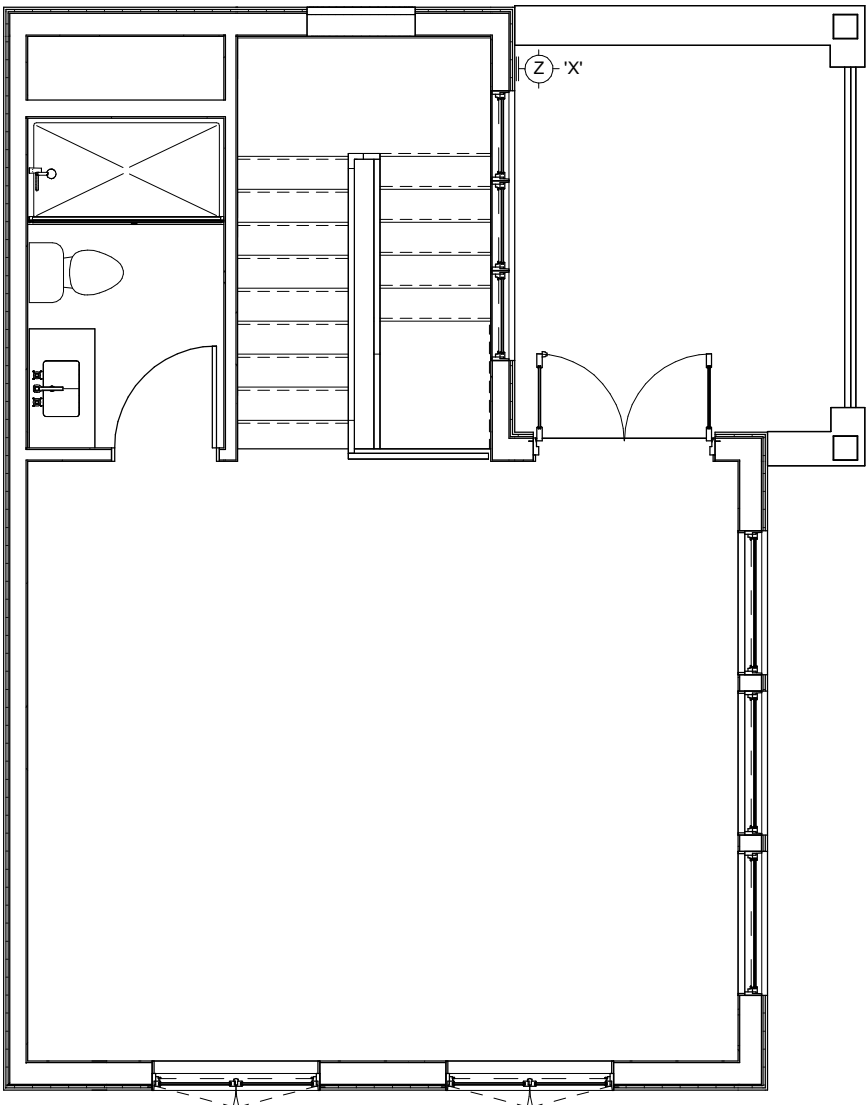
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1 EXTERIOR LIGHTING PLAN
N.T.S

LIGHTING FIXTURE SYMBOLS LEGEND	
MARK	FIXTURE DESCRIPTION
○ A	4" RECESSED ROUND LED WIDE FLOOD FIXTURE - 'Halo' ML4D; 09; FL; 927; E; TIR45WFL55; TL41R; MW; H995ICAT; 120volt
⬆ B	4" RECESSED ROUND LED WALL WASH FIXTURE - 'Halo' ML4D; 09; NFL; 927; E; TIR50AWW25; TL45R; MW; H995ICAT; 120volt
⊙	4" RECESSED ROUND LED NARROW FLOOD FIXTURE - 'Halo' ML4D; 09; NFL; 927; E; TIR45NFL25; TL41R; MW; H995ICAT; 120volt
○	RECESSED MINI LED SPOT FIXTURE - 'Juno' MD1LG2 (RD)-27K-FL-WH; 4.8W, 12V, 2 inch recessed dry location ic-rated miniature LED downlight.
○ AW	3" ADJUSTABLE ROUND PLASTER-IN RECESSED LED WIDE FLOOD FIXTURE - 'Element' E3R; LF or WC as occurs; LH; 927; 6; A-I & E3R; L; F-OW; & E3TREFS3B; 120volt - FLANGELESS TRIM RED'S, COORD.
⬆ J	5" RECESSED LED FIXTURE - 'Halo' H550ICAT; ML5612937; 5925C Clear Cone; Dimming:ELV; 17.5W; 120volt; INTEGRAL LED; 2725K, 90CRI
⬆ K	4" RECESSED ROUND LED SHWR. LENS FIXTURE - 'Halo' ML4D; 09; FL; 927; E; L100 SERIES; TL43R.2G; MWBB; H995ICAT; 120volt
□	6" SQR. SURFACE MOUNTED LED CLOSET FIXTURE- 'Philips' - S6S927K10 - White Fin.; 14.2w 120v 2700K Warm White LED integral to fixture.
□	PRESSED GLASS 9" SQR. SURFACE MOUNTED LED CLOSET FIXTURE- 'Tech Lighting' - 700BX-L-S-LED - Satin Nickel; 15w 120v 2700K Warm White LED integral to fixture.
N	LED STRIP LIGHT e.g. UNDERCABINET, ETC.; 'Environmental Lights'; ww2216-240-10-reel - 16.4' peel & stick led ribbon; 5.1wft.24vDC; LED: 2700K, 95+CRI INTEGRAL TO FIXTURE CS106 recessed channel + frosted lens; track clips and end caps req'd.; Utilize appropriate remote 48w, 96w or 288w dimmable driver; Install per mfr.
V	1x4' LED PREMIUM PANEL TROFFER - CREE C-TR-A-FP14-HE-50L-35K-WH; 120v; LED: 3500K, INTEGRAL TO FIXTURE
⬆ W	INGROUND SQR. RECESSED LED UPLIGHT - 'LUXR' flush to grade, M4; LS; I; AB2 (vrfy.); 36; 27; HIACAN. Req's remote transformer. Coordinate w/ concrete pour & G.C. for level install. 6" from fin. material.
⬆	PLASTERED IN VERTICAL MOUNTED RECESSED WALL LIGHT - 'WAC Lighting' WL-LED200TR-AM-WT; LED integral to fixture. Vert. mount +15" to +18" A.F.F. as shown on plans; illuminate downward.
⬆	SURFACE MOUNT DUAL FLOOD LIGHT w/ PHOTOCELL - LITHONIA OLF-2RH-40K-120-MO-B2; Bronze; NON-DIM; 19w 120v; LED: 4000K, 75CRI, INTEGRAL TO FIXTURE
⬆	REINFORCED J-BOX FOR FUTURE CHANDELIER OR CEILING FAN -
⬆	SURFACE MOUNT ADJUSTABLE SPOT FIXTURE - 'Lumiere' 203-50MR16 -12V-BZ; TM05-BZ; LVR/Louwer. Requires remote 12V transformer. Aim fixture downward @ ext. (SORAA #00247 MR16-65-B01-12-927-25)
⬆	WALL MOUNTED PICTURE LIGHTS - provide recessed wall outlet at 'specified' height in inches (VERIFY HGT. w/ OWNER & INT. DESIGNER)
⬆ X	Decorative wall mounted light fixtures supplied by Owner and assembled / installed by Electrical Contractor. See schedule.
⬆ X	Decorative ceiling mounted light fixtures supplied by Owner and assembled / installed by Electrical Contractor. See schedule.



3 SEC. FLOOR EXTERIOR LIGHTING PLAN
N.T.S

CUSTOM NEW HOME
WOLFSWINKEL RESIDENCE
3924 E BETHANY HOME ROAD
PARADISE VALLEY, AZ 85253
MARICOPA COUNTY

DDG
DUNCAN DESIGN GROUP, LLC
3723 WEST BARNES LANE
PHOENIX, ARIZONA 85051
PHONE: 602.841.1284
FAX: 602.841.7517
DUNCANDesignGroupPHX@gmail.com

DATE: 10.22.2025

No.	Description	Date

SHEET NAME:
EXTERIOR LIGHTING

SHEET NUMBER:
E-1.0

PROJECT #:

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25 W Replacement Warm White MR11 Dimmable Reflector LED Light Bulb

Features

- Dependable light for outdoor and track lighting
- Warm White balances between warm and soft color light
- Energy efficient LED technology uses considerably less power compared to equivalent incandescent lights



Specifications

Item Number	Lumen Efficiency (LPW)	Item Width (IN)	Item Length (IN)
BPMR11/GU10/LED/CAN	62.5	1.4	2
Energy Used (WATTAGE)	Brightness (LUMENS)	Technology	Portable
4	250	LED - SMD	No
Hardwire	Dimmable	Battery Operated	Bulb Base
No	Yes	No	GU10
Bulb Shape	Cec Compliant	Energy Efficiency	Pack Quantity
MR11	CEC Non Compliant	84.0%	1
Smart	Bulb Finish	Safety Location	Color Temperature (CCT)
No	White	Damp	3000

Felt Electric Company 4901 Gregg Rd. Pico Rivera, CA 90660 1-800-543-Felt www.felt.com Felt Electric Company 4901 Gregg Rd. Pico Rivera, CA 90660 1-800-543-Felt www.felt.com



Color Accuracy (CRI)	Annual Energy Cost	Beam Angle	Bulb Type
80	0.48	38	Mirrored Reflector
Energy Star	Ideal Usage	Life Hours	Voltage
No	Track Lighting	25000	120
Life Years	Ftc Label	Replacement	Warranty Years
22.8	Yes	25	3



LANDIS Outdoor Barn Light part #BL14WACBK

General
Size of fixture: 14 1/4" W x 12 3/8" H x 21 1/4" D
Finish: matte black
Shade: matte black with white interior
Shade size: 14 1/4" W x 6 1/4" H
Canopy size: 4 3/4" diameter
Lamping: 1 x 100W A bulb (not included)
Mount: Outdoor wall mount

Packaging
Colour box: 14.57" x 14.57" x 8.66" (370 x 370 x 220mm)
Colour box weight: 5.29 lbs (2.40 kgs)
Master box: N/A

Warranty & Safety Standards
Warranty 1 year
cCSAus
Rated for wet locations



Prepared for
Contact
Date
Presented by
Remarks

WARNING: The use of this product can expose you to chemicals including Cadmium, which is known to the State of California to cause cancer, and Lead, which is known to the State of California to cause birth defects or other reproductive harm. For more information go to www.cdpr.ca.gov.

DESCRIPTION

Coronado RG is a ultra-compact line voltage fixture for use with PAR20 halogen lamps. The fully adjustable mounting stem provides 360° tilt and 360° rotation for easy aiming. Various lenses, louvers and color or dichroic filters can be combined - up to three at once - to create multiple lighting effects. Lumière's exclusive Siphon Protection System (S.P.S.) prevents water from siphoning into the fixture through its own lead wires.

SPECIFICATION FEATURES

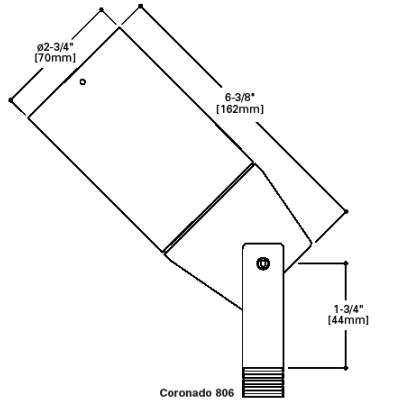
- A. Material**
Hood and mounting stem are precision-machined from corrosion-resistant 6061-T6 aluminum billet. Housing is die-cast aluminum.
- B. Finish**
Fixture can be double protected by a chrome chrome conversion undercoating and polyester powdercoat paint. Equipment with standard 1/2" NPT threaded mast fitting. Stainless steel arm locking mechanisms are standard. Lumière's exclusive Siphon Protection System (S.P.S.) prevents water from siphoning into the fixture through its own lead wires.
- C. Hood**
Hood is removable for easy reaiming and accepts up to three internal accessories at once (lenses, louvers, filter) to achieve multiple lighting effects. Wiring holes prevent water and mineral salts from collecting on the lens, even in the straight-up position.
- D. Gasket**
Housing and hood are sealed with a high temperature silicone o-ring gasket to prevent water intrusion.
- E. Lens**
Tempered glass lens, factory sealed with high temperature adhesive to prevent water and thermal shock.
- F. Mounting Stem**
Adjustable fully-mounted swivel stem provides 360° tilt and 360° rotation for easy aiming. Equipment with standard 1/2" NPT threaded mast fitting. Stainless steel arm locking mechanisms are standard. Lumière's exclusive Siphon Protection System (S.P.S.) prevents water from siphoning into the fixture through its own lead wires.
- G. Hardware**
Stainless steel hardware is standard to provide maximum corrosion resistance.
- H. Socket**
Dynamic socket with 200° C. Teflon-coated lead wires and medium base.
- I. Electrical**
Operates with 120V line voltage. Not included. Available from Lumière as an accessory - see reverse side of this page.
- J. Lamp**
Not included. Available from Lumière as an accessory - see reverse side of this page.
- K. Labels & Approvals**
UL and cUL listed, standard wet location, IP65 rated. Manufactured to ISO 9001:2000 Quality System Standard. IEEE union-made.
- L. Warranty**
Lumière warrants its fixtures against defects in materials & workmanship for three (3) years. Auxiliary equipment such as transformers, ballasts and lamps carry the original manufacturer's warranty.

LUMIÈRE®

Catalog #	Type
Project	
Comments	
Prepared by	



CORONADO RG
50W (max.) PAR20
Halogen
Line Voltage
Accent/Flood
IP65



Specifications and Dimensions subject to change without notice.

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PHOTOMETRIC DATA

Coronado RG
Lamp: PAR20/50W
CSBP-5000

Beam to Horizontal Plane	Initial Beam Footcandle	Beam Diameter
0°	100'	100"
15°	15	65"
30°	3.5	40"
45°	1.5	25"
60°	0.7	15"
75°	0.3	10"

PHOTOMETRIC DATA

Coronado RG
Lamp: PAR20/50W
CSBP-5000

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0°	100'	100"
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LAMP INFORMATION


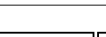
Lamp	ANSI Code	Watts	Beam Spread	CSBP	°K	Life (hrs.)	Base	Volts
PAR20/50W	—	50	10°	5000	—	2000	medium	120
PAR20/100W	—	100	20°	1400	—	2000	medium	120

NOTE: Interior quality lamps may adversely affect the performance of this product. Use only name brand lamps from reputable lamp manufacturers.

NOTES AND FORMULAS

- Beam diameter is to 50% of maximum footcandle, rounded to the nearest half-foot.
- Footcandle values are initial. Apply appropriate light loss factors where necessary.
- Base lamp data shown. Consult lamp manufacturers to obtain detailed specifications for their lamps.

ORDERING INFORMATION

			
Series	PAR20	Voltage	120V
Base	GU10	Finish	White
Beam	50°	Power	50W
Material	Aluminum	Color	White
Accessories	None	Accessories	None
Notes	None	Notes	None
Dimensions	None	Dimensions	None
Weight	None	Weight	None
Lead Time	None	Lead Time	None
Warranty	None	Warranty	None
Compliance	None	Compliance	None
RoHS	Yes	RoHS	Yes
REACH	Yes	REACH	Yes
UL	Yes	UL	Yes
ETL	Yes	ETL	Yes
CE	Yes	CE	Yes
CCC	Yes	CCC	Yes
BSMI	Yes	BSMI	Yes
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GENERAL NOTES:

- THESE CONSTRUCTION DOCUMENTS, INCLUDING ALL PLANS, NOTES, DETAILS AND SPECIFICATIONS ARE INTENDED TO FACILITATE THE INSTALLATION CONTRACTOR BY PROVIDING GENERAL GUIDELINES FOR DESIGN INTENT. IT IS THE GOAL OF THE DOCUMENTS THAT THE WORK IS TO BE COMPLETED WITHOUT CHANGE ORDERS. ALL QUANTITIES SHOWN IN THE DOCUMENTS ARE ESTIMATES ONLY AND ARE NOT GUARANTEED. THE CONTRACTOR SHALL SUPPLY ALL MATERIALS, LABOR AND EQUIPMENT IN ORDER TO FULFILL THE INTENT OF THE DESIGN DRAWINGS.
- INTERPRETATION OF THE PLANS AND SPECIFICATIONS SHALL BE MADE BY THE "AUTHOR" OR "ARCHITECT/ENGINEER-OF-RECORD" OF THE RESPECTIVE DOCUMENT AND SHALL BE CONSIDERED FINAL. ANY POSSIBLE AMBIGUITY SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR PRIOR TO SUBMITTING FORMAL BIDS. ALL CLARIFICATIONS SHALL BE PREPARED IN WRITING BY THE "ARCHITECT/ENGINEER-OF-RECORD" PRIOR TO BIDDING. THE CONTRACTOR SHALL ACCEPT THE INTERPRETATION OF THE "ARCHITECT/ENGINEER-OF-RECORD" AS THE CORRECT AND FINAL INTERPRETATION.
- ANY INCIDENTAL INSTALLATION PROCEDURE, MATERIAL OR EQUIPMENT, NOT MENTIONED IN THESE CONSTRUCTION DOCUMENTS, THE SPECIFICATIONS NOR SHOWN ON THE PLANS, WHICH MAY BE NECESSARY FOR COMPLETION AND SATISFACTORY OPERATION OF THE DESIGN SYSTEM SHALL BE FURNISHED AND INSTALLED (AS BASED ON INDUSTRY STANDARDS) AS THOUGH SHOWN OR PROVIDED FOR.
- EXISTING CONDITIONS AND BASE INFORMATION ARE BASED ON PLANS PREPARED BY THE CIVIL ENGINEER.
- THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE LOCATIONS OF EXISTING AND FUTURE UNDERGROUND SERVICES AND IMPROVEMENTS WHICH MAY CONFLICT WITH THE WORK TO BE DONE. NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY SHOULD A CONFLICT ARISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL NECESSARY PERMITS AND SHALL NOTIFY ALL UTILITY COMPANIES WITH UTILITIES ON SITE PRIOR TO THE CONSTRUCTION OF THE PROJECT.
- FOR UTILITY COORDINATION, THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES 48 HOURS PRIOR TO START OF CONSTRUCTION (DEPENDING ON AREA OR JURISDICTION), THE CONTRACTOR IS RESPONSIBLE.
- THESE NOTES ARE TO BE USED FOR GENERAL REFERENCE IN CONJUNCTION WITH AND AS A SUPPLEMENT TO THE WRITTEN SPECIFICATIONS, APPROVED ADDENDUMS, AND THE CHANGE ORDERS AS ASSOCIATED WITH THESE CONSTRUCTION DOCUMENTS.
- SHOULD THE CONTRACTOR HAVE ANY QUESTIONS REGARDING THESE CONSTRUCTION DOCUMENTS OR SHOULD THERE BE ANY DISCREPANCIES, HE SHALL CONTACT THE LANDSCAPE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING FURTHER.
- ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS AND PER GOVERNING CODES AND/OR ORDINANCES.
- THE CONTRACTOR SHALL PROVIDE BARRICADES AND TRAFFIC CONTROL ALONG PUBLIC STREETS, IF REQUIRED, DURING INSTALLATION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPORT TO THE LANDSCAPE ARCHITECT AND/OR THE OWNER'S AUTHORIZED REPRESENTATIVE ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND FIELD CONDITIONS PRIOR TO THE START OF WORK.
- BEFORE WORK BEGINS ON THE PROJECT, THE CONTRACTOR SHALL REVIEW THE PROJECT WITH THE LANDSCAPE ARCHITECT AND/OR THE OWNER'S AUTHORIZED REPRESENTATIVE.
- THE LANDSCAPE ARCHITECT AND/OR THE OWNER'S AUTHORIZED REPRESENTATIVE SHALL APPROVE ANY OR ALL CHANGES PRIOR TO THE START OF WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND COORDINATING EXISTING SITE CONDITIONS.
- THE CONTRACTOR SHALL ADHERE TO ALL APPLICABLE LOCAL, STATE, AND/OR FEDERAL LAWS AND/OR REGULATIONS PERTAINING TO THE PROJECT.
- THE CONTRACTOR SHALL PROPERLY COORDINATE HIS WORK WITH OTHER CONTRACTOR'S WORK PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT EXISTING IMPROVEMENTS AND THE PUBLIC FROM DAMAGE THROUGHOUT CONSTRUCTION.
- THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY DAMAGES IMPOSED, UNINTENTIONALLY OR ACCIDENTALLY TO EXISTING UTILITIES, STRUCTURES, WALLS, OR OTHER AMENITIES, DUE TO THE ACTION OF THE CONTRACTOR, CONTRACTOR'S EMPLOYEES AND/OR THE CONTRACTOR'S SUBCONTRACTORS. DAMAGE OCCURRED DURING THE CONTRACTOR'S OPERATION SHALL BE REPAIRED, AT THE EXPENSE OF THE CONTRACTOR, TO THE SATISFACTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE.
- MATCH GRADES, LAYOUT AND ELEVATIONS OF ADJOINING LANDSCAPE WORK BY OTHERS. NOTIFY THE LANDSCAPE ARCHITECT OF CONFLICTS BEFORE PROCEEDING WITH CONSTRUCTION.

PLANTING GENERAL NOTES:

- THE CONTRACTOR SHALL REVIEW PLANTING PLAN WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- THE LANDSCAPE ARCHITECT OR THEIR REPRESENTATIVE RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIALS THEY DEEM UNACCEPTABLE. SEE SPECIFICATIONS.
- THE CONTRACTOR SHALL SUPPLY AND INSTALL ALL PLANT MATERIAL AS SPECIFIED ON THE PLANTING PLANS. HOWEVER, SHOULD THE PLANT MATERIAL BE TEMPORARILY UNAVAILABLE, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND INSTALL 5 GALLON NURSERY BUCKETS WITH IRRIGATION AT EACH PLANT LOCATION. AS THE PLANT MATERIAL BECOMES AVAILABLE, THE 5 GALLON BUCKETS SHALL BE REMOVED AND PLANT MATERIAL INSTALLED.
- ANY AND ALL SUBSTITUTIONS TO BE APPROVED BY THE LANDSCAPE ARCHITECT.
- LOCATE PLANTS AWAY FROM SPRINKLER HEADS, LIGHT FIXTURES AND OTHER OBSTRUCTIONS.
- FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE.
- PLANTING AND IRRIGATION DESIGN MAY BE MODIFIED TO ADAPT TO WALK CONFIGURATIONS THAT DIFFER FROM THESE PLANS, OR BECAUSE OF GRADE LIMITATIONS ON SITE. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF THESE MODIFICATIONS.
- WATER TEST ALL TREE PLANTING HOLES PRIOR TO PLANTING. IF TREE HOLE DOES NOT DRAIN, DO NOT PLANT, SEE HARDPAN DETAIL.
- REFER TO THE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS NOT SHOWN ON DRAWINGS.
- TREES SHALL BE PLANTED A MINIMUM OF 10'-0" FROM STREET LIGHTS / FIRE HYDRANTS, 6'-0" FROM EDGE OF UNDERGROUND PIPELINES AND A MINIMUM OF 4'-0" FROM WALKS, CURBS AND WALLS. SHRUBS SHALL BE PLANTED A MINIMUM OF 2'-0" FROM CURB AND WALKS. CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF CONFLICTS BEFORE PROCEEDING WITH INSTALL.
- ALL SPECIMEN TREES, SHRUBS AND CACTI SHALL BE FIELD LOCATED BY LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL ROOT BARRIER PANELS AT ALL TREES WITHIN 7'-0" FEET OF HARDSCAPE ELEMENTS INCLUDING (BUT NOT LIMITED TO) SIDEWALKS, ASPHALT, CONCRETE SLABS / FOOTINGS AND STRUCTURES. CONTRACTOR SHALL SUBMIT SPECIFICATION SHEETS OF PROPOSED ROOT BARRIER PANELS TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL INSTALL ARBOR GUARDS AT ALL TREES LOCATED IN TURF AREAS.
- ON-SITE AND OFF-SITE TOPSOIL SHALL CONFORM TO CONTENT REQUIREMENTS AS SPECIFIED IN PART 2 OF THE PLANTING SPECIFICATIONS. AGRONOMY TEST SUBMITTALS ARE REQUIRED FOR ALL MATERIAL USED FOR TOPSOIL AND BACKFILL. SUBMIT REPORT TO LANDSCAPE ARCHITECT FOR REVIEW.
- ALL PLANT MATERIAL SHALL BE IN COMPLIANCE WITH THE JURISDICTIONS STANDARDS FOR NURSERY STOCK. THE CONTRACTOR TO NOTIFY THE LANDSCAPE ARCHITECT IF THEY CANNOT FIND THESE, OR REQUIRE CLARIFICATIONS PERTAINING TO THE STANDARDS.
- ALL PLANT MATERIAL NOT IN COMPLIANCE WITH THESE STANDARDS WILL BE DEEMED UNACCEPTABLE. THE CONTRACTOR IS RESPONSIBLE TO REPLACE.
- THE CONTRACTOR SHALL PROVIDE MAINTENANCE FOR ALL PLANT MATERIAL FROM THE TIME OF INSTALLATION THROUGH SUBSTANTIAL COMPLETION.
- CACTI SHALL BE PLANTED A MINIMUM OF 3'-0" AWAY FROM ALL PEDESTRIAN ROUTES.
- CACTI SHALL BE WELL ROOTED AND NON-SCARRED.
- PLANT MATERIAL MARKED 'SALVAGE' SHALL BE SELECTED FROM ON-SITE SALVAGE INVENTORY. ALL MATERIAL SELECTIONS SHALL BE APPROVED BY LANDSCAPE ARCHITECT AND/OR OWNER'S AUTHORIZED REPRESENTATIVE.
- IN DISTURBED AREAS INDICATED TO RECEIVE VEGETATION HYDROSEED AND/OR PLANTING, THE CONTRACTOR SHALL MATCH EXISTING NATURAL DESERT STONE GROUND COVER CONDITIONS ADJACENT TO THE PROJECT.
- NATIVE REVEGETATION AREAS AND PLANTER BEDS SHALL BE TREATED WITH PRE-EMERGENT AS PER MANUFACTURER'S INSTRUCTIONS. RE-APPLY AS NECESSARY TO ELIMINATE INVASIVE WEEDS. REMOVE ALL DEAD DEBRIS.
- THE CONTRACTOR SHALL PROVIDE A 50'-0" BY 50'-0" TYPICAL MOCK-UP OF NATIVE REVEGETATION AREAS FOR REVIEW BY THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE.
- ALL TREE STAKING SHALL CONFORM TO THE PLANTING DETAILS OR AS NOTED IN THE SPECIFICATIONS. THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE SHALL REVIEW TYPICAL TREE STAKING PRIOR TO FINAL ACCEPTANCE.

INERT GENERAL NOTES:

ANGULAR GRANITE RIP-RAP:

- INSTALL GRANITE RIP-RAP IN ALL DRAINAGE SWALES, AND WHERE INDICATED ON PLANS (TYPICAL). REFER TO MATERIALS SCHEDULE / PLANTING LEGEND FOR COLOR AND SIZE OF GRANITE RIP-RAP.
- THE CONTRACTOR SHALL SUBMIT SAMPLES TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL REFER TO CIVIL PLANS FOR ADDITIONAL INFORMATION.

DECOMPOSED GRANITE / BARK MULCH:

- DECOMPOSED GRANITE / BARK MULCH IS REQUIRED IN ALL PLANTING AREAS, EXCEPT AREAS OF TURF AND GRANITE RIP-RAP, AND SHALL EXTEND UNDER PLANT MATERIAL UNLESS NOTED OTHERWISE ON PLANS. REFER TO MATERIALS SCHEDULE / PLANTING LEGEND.
- ALL PLANTING AREAS SHALL RECEIVE A 2" MINIMUM LAYER OF DECOMPOSED GRANITE / BARK MULCH, THROUGHOUT (TYPICAL).
- CONTRACTOR SHALL SUBMIT SAMPLES TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

IRRIGATION GENERAL NOTES:

- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FULL IRRIGATION COVERAGE OF ALL PLANT MATERIAL.
- THE LANDSCAPE CONTRACTOR SHALL SUBMIT FULL PIPING PLANS, AFTER FIELD VERIFICATION, DEPICTING POINT OF CONNECTION, METER LOCATION AND SIZE, BACKFLOW PREVENTER LOCATION AND SIZE, AND PIPE ROUTING AND SIZES.
- THE LANDSCAPE CONTRACTOR SHALL INSTALL THE SPECIFIED SYSTEM IN ACCORDANCE WITH THE ATTACHED SCHEDULES, NOTES, DETAILS, AND SPECIFICATIONS.
- THE LANDSCAPE CONTRACTOR TO SITE VERIFY PRESSURE AND NOTIFY LANDSCAPE ARCHITECT OF ANY DIFFERENCES PRIOR TO INSTALLATION OR ORDERING OF MATERIALS. IF CONTRACTOR FAILS TO NOTIFY LANDSCAPE ARCHITECT, HE IS FINANCIALLY RESPONSIBLE FOR ANY NECESSARY SYSTEM ALTERATIONS THAT RESULT.
- THE LANDSCAPE CONTRACTOR SHALL FIELD VERIFY EXISTING TAP LOCATIONS, INSTALL NEW METERS PER THE ATTACHED IRRIGATION SCHEDULE.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING AND PATCHING OF ASPHALT AND CONCRETE AS REQUIRED FOR SLEEVE INSTALLATION ACCORDING TO THE IRRIGATION SCHEDULE.
- CONTROLLER TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS. CONTROLLER SIZE AND QUANTITIES TO BE DETERMINED BY THE VALVE REQUIREMENTS AND POINTS OF CONNECTION. INSTALL ONE (1) CONTROLLER AT EACH POINT OF CONNECTION.
- INSTALL PVC MAINLINE AND LATERALS ACCORDING TO THE IRRIGATION AND PIPING SCHEDULES.
- ALL VALVE FLOWS SHALL NOT EXCEED MANUFACTURER'S SPECIFICATIONS.
- VALVE BOXES SHALL BE SQUARE TO ADJACENT WALKS OR CURBS AND FLUSH WITH THE FINAL GRADE.
- WORK SHALL CONFORM TO ALL CONSTRUCTION CODES AND REGULATIONS.
- THE LANDSCAPE CONTRACTOR SHALL INSTALL GREEN VALVE BOXES IN TURF AREAS AND TAN VALVE BOXES IN DECOMPOSED GRANITE AREAS (TYPICAL).
- REFER TO THE IRRIGATION NOTES FOR THE CALCULATED PRESSURE AT THE WATER METER. REFER TO NOTE #4 IF PRESSURE DIFFERS FROM THAT NOTED.
- THE LANDSCAPE CONTRACTOR SHALL VISIT SITE PRIOR TO BIDDING ON PROJECT TO VERIFY INSTALLATION CONDITIONS.
- PRIOR TO COMMENCEMENT OF ANY WORK, THE CONTRACTOR SHALL CONTACT BLUE STAKE TO VERIFY LOCATIONS AND DEPTHS OF UNDERGROUND UTILITIES THAT MAY BE AFFECTED BY HIS WORK, AND HE SHALL BE RESPONSIBLE FOR DAMAGES TO SUCH UTILITIES CAUSED AS A RESULT OF HIS IRRIGATION INSTALLATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPENSATING THE OWNER AND/OR THE OWNER'S REPRESENTATIVE FOR ANY DESIGN CHANGES MADE AS A RESULT OF DEVIATION BY THE CONTRACTOR FROM THE PLANS AND SPECIFICATIONS OR DUE TO ERRORS, FAULTY MATERIAL OR FAULTY WORKMANSHIP.
- INSTALL ALL MAINLINES WITH A MINIMUM OF 20' OF COVER.
- INSTALL ALL LATERALS WITH A MINIMUM OF 12" OF COVER.
- ALL PIPE TO BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS AND ASTM STANDARD D 2774.
- ALL THREADED JOINTS TO BE COATED WITH TEFLON TAPE UNLESS OTHERWISE SPECIFIED BY THE MANUFACTURER. USE LIQUID TEFLON ON METAL PIPE THREADS ONLY.
- FLUSHING OF ALL LINES PRIOR TO INSTALLATION OF SPRINKLERS AND EMITTERS IS REQUIRED.
- INSTALL ALL SPRINKLERS, EMITTERS, AND RELATED MATERIAL PER IRRIGATION SYSTEM SPECIFICATIONS AND DETAILS.
- INSTALL ALL ELECTRICAL JOINTS WITH 3-M WATERPROOF CONNECTORS.
- ALL ELECTRICAL CONNECTIONS SHALL BE MADE AT THE REMOTE-CONTROL VALVE BOXES, CONTROLLER ENCLOSURES AND VALVE BOXES SPECIFICALLY FOR ELECTRICAL CONNECTIONS.
- A CERTIFIED ELECTRICIAN SHALL BE RESPONSIBLE FOR INSTALLING ALL WIRING FROM THE CIRCUIT BREAKER AT THE 120 VOLT SOURCE LOCATION TO AUTOMATIC CONTROLLER.
- ALL 120 VOLT POWER WIRE TO BE INSTALLED PER LOCAL CODE AND THE N.E.C.
- INSTALL ALL VALVE WIRING IN MAINLINE TRENCH AS DETAILED.
- INSTALL ALL REMOTE-CONTROL VALVES AT HEIGHT INDICATED ON DETAILS, AS HIGH AS POSSIBLE BUT ALLOWING CLEARANCE BETWEEN VALVE BOX LID AND FLOW CONTROL HANDLE ON REMOTE CONTROL VALVE.
- INSTALL ALL MAINLINE GATE VALVES IN A ROUND PLASTIC VALVE BOX PER DETAILS.
- ALL PVC SOLVENT WELD FITTINGS SHALL BE JASCO OR APPROVED EQUAL.
- THE MAINLINE, LATERAL PIPE, AND VALVES ARE SHOWN SCHEMATICALLY AND SHALL BE INSTALLED WITHIN THE LANDSCAPE AREA, OUTSIDE R.O.W. AND P.U.E., ADJACENT TO SIDEWALK OR CURB AND OFFSET 18" WHEREVER POSSIBLE.
- SUPPLY THE FOLLOWING MATERIAL TO THE OWNER:
 - TWO WRENCHES FOR DISASSEMBLY AND ADJUSTING OF EACH TYPE OF SPRINKLER HEAD AND VALVE SUPPLIED.
 - TWO KEYS FOR EACH OF THE CONTROLLERS.
 - TWO COUPLERS WITH MATCHING HOSE BIBS AND SHUT-OFF VALVE.
 - TWO VALVE BOX KEYS.
- ALL MAINLINE FITTINGS FOR PIPE 3" AND LARGER SHALL BE CAST OR DUCTILE IRON FOR PVC; SCHEDULE 80 PVC FOR 2 1/2" AND SMALLER.
- ALL MAINLINE PIPE SHALL BE A MINIMUM OF SCHEDULE 40.
- SLEEVES SHALL BE A MINIMUM OF TWO TIMES THE DIAMETER OF THE LINE SIZE.
- ALL MAINLINE AND IRRIGATION EQUIPMENT SHALL BE PLACED IN THE LANDSCAPED AREAS.
- CONTROLLER WIRES THAT ARE DIRECT BURIED SHALL BE #14 OR BETTER, BUNDLED OR WRAPPED A MINIMUM OF EVERY TWELVE (12) FEET. DURING INSTALLATION WIRES SHALL HAVE A 24" LOOP TIED IN ALL DIRECTION CHANGES GREATER THAN 30 DEGREES AND BE UNIED PRIOR TO TRENCH FILL IN.
- DRIP SYSTEM FLUSH CAPS SHALL BE PLACED IN A VALVE BOX AT THE END OF ALL DRIP LATERAL RUNS, AS DESCRIBED ON THE DRAWINGS.
- ALL VALVES, PRESSURE REGULATORS AND OTHER DEVICES SHALL BE PLACED IN AN APPROPRIATELY SIZED VALVE BOX WITH A MINIMUM OF TWO (2") INCHES OF PEA GRAVEL.
- PRIOR TO PLACING ANY IRRIGATION SYSTEM IN SERVICE, AN STATE CERTIFIED BACKFLOW DEVICE TESTER SHALL TEST THE BACKFLOW PREVENTION DEVICE AND GIVE A COPY OF THE PASSED TEST RESULTS TO THE COUNTY INSPECTOR OR MAIL IT TO THE COUNTY DEPARTMENT OF PUBLIC WORKS INSPECTION STATION.
- AFTER INITIAL TESTING, ALL BACKFLOW DEVICES SHALL BE TESTED ANNUALLY.
- BACKFLOW DEVICES SHALL BE A MINIMUM OF TWO (2) FEET FROM THE WATER METER AND BE THE SAME SIZE AS THE METER SERVICE LINE.
- ALL BACKFLOW PREVENTION DEVICES SHALL HAVE A MINIMUM 24"x36"x4" CLASS B CONCRETE SLAB WITH PIPE SLEEVES. IF A SECURITY CAGE IS INSTALLED, CONCRETE SHALL BE SIX (6") INCHES LARGER ON ALL SIDES THAN THE SECURITY CAGE.
- ALL PIPE CROSSINGS IN THE RIGHT-OF-WAY SHALL BE MARKED ON EACH SIDE OF THE CURB WITH A NON-DESTRUCTIBLE MARKING.

GRADING GENERAL NOTES:

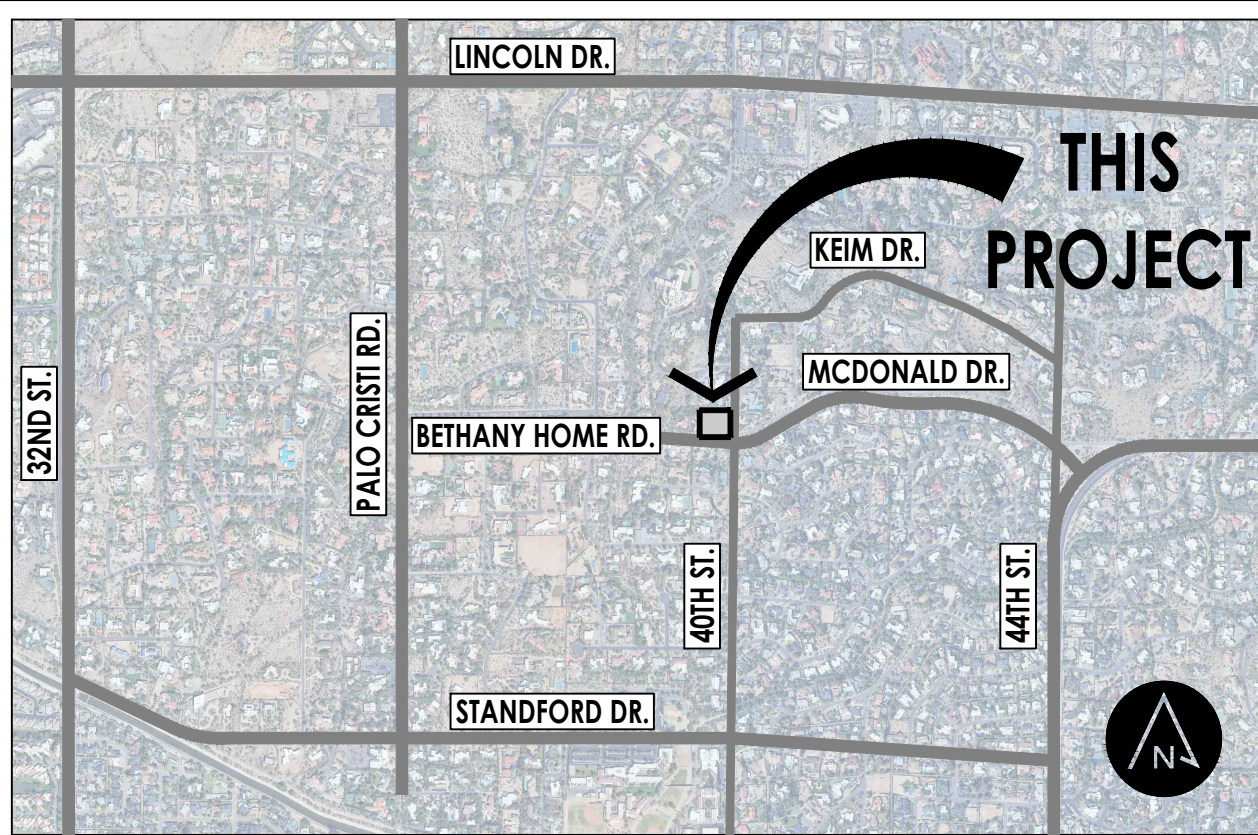
- CONTRACTOR SHALL GRADE TO MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES. REVIEW ENGINEERS PLAN FOR DRAINAGE.
- FINISH GRADING SHALL BE BY THE DIRECTION OF THE LANDSCAPE ARCHITECT.
- LANDSCAPE ARCHITECT SHALL APPROVE GRADING PRIOR TO PLANTING.
- GRADING FOR THIS PROJECT INCLUDES THE FOLLOWING:
 - FINE GRADING OF EXISTING ROUGH GRADES IS REQUIRED TO PROVIDE SMOOTH, EVEN GRADE TRANSITION IN LANDSCAPE AREA.
 - IMPORTING AND PLACING "OFF-SITE 3/8" MINUS TOPSOIL" IN THE FOLLOWING AREAS:
 - TURF, AND ANNUAL AREAS (6" DEPTH).
 - PLANT BACKFILL (CAN BE SCREENED ON-SITE SOIL).
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY CALICHE ENCOUNTERED ON SITE AT NO ADDITIONAL COST TO THE OWNER. THE OWNER AND CONTRACTOR SHALL COORDINATE A SUITABLE LOCATION ON SITE TO DISPOSE OF THE CALICHE MATERIAL. SHOULD A SUITABLE LOCATION ON SITE NOT EXIST, THE OWNER SHALL BE RESPONSIBLE FOR ALL FEES ASSOCIATED WITH REMOVAL AND DISPOSAL OF THE CALICHE.
- FINISH GRADE OF ALL PLANTING AREAS IS TO BE 1.5" BELOW ADJACENT PAVING UNLESS NOTED OTHERWISE.
- REFERENCE CIVIL ENGINEERING DRAWINGS FOR GRADING AND DRAINAGE FLOWS. THE CONTRACTOR SHALL BE RESPONSIBLE THAT THESE ARE PROVIDED FOR AND NOT IMPAIRED WITH OBSTRUCTIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR GRADING ALL AREAS AT THE DIRECTION OF THE LANDSCAPE ARCHITECT TO CREATE A NATURALLY UNDULATING GROUND PLANE.

HARDSCAPE GENERAL NOTES:

- FOOTINGS, WALLS AND FENCES SHALL BE PLACED OUTSIDE OF THE PUBLIC RIGHT-OF-WAY.
- REFER TO CIVIL PLANS FOR ALL INFORMATION REGARDING HORIZONTAL AND VERTICAL CONTROLS.
- ALL DETAILS SHALL BE REVIEWED BY A STRUCTURAL ENGINEER AND MODIFIED (IF NECESSARY) PRIOR TO CONSTRUCTION.
- ALL DIMENSIONS SHOWN ON THIS PLAN ARE BASED ON THE CIVIL PLAN. SHOULD DISCREPANCIES OCCUR, FIELD REVISIONS SHALL BE REQUIRED.
- THE CONTRACTOR SHALL HAVE SIDEWALK SURVEYED AND STAKED FOR REVIEW BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- IN ADDITION TO SUBMITTING MATERIAL SAMPLES OF ALL SITE RELATED MATERIALS, THE CONTRACTOR SHALL PREPARE A 4'x4' SAMPLE PANEL FOR EACH TYPE OF CONSTRUCTION, I.E., A) CONCRETE PAVERS, B) EXPOSED AGGREGATE PAVING, C) INTEGRAL COLORED CONCRETE, ETC., FOR APPROVAL BY THE LANDSCAPE ARCHITECT AND OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO FINAL CONSTRUCTION.
- UNLESS NOTED OTHERWISE ON CONSTRUCTION DOCUMENTS OR NOTED IN DETAILS, SIDEWALKS SHALL BE 5'-0" WIDE, 4" THICK, 3,000 PSI CONCRETE ON COMPACTED BASE WITH CONSTRUCTION JOINTS AT 5'-0" ON CENTER AND EXPANSION JOINTS AT 20'-0" ON CENTER. SIDEWALKS SHALL HAVE A MEDIUM BROOM, NON-SKID FINISH WITH 1/2" RADIUS TOOLED EDGES.
- RADIUS AT SIDEWALK INTERSECTIONS SHALL BE 5'-0" (TYPICAL), UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL LAYOUT AND VERIFY ALL HARDSCAPE ELEMENTS PRIOR TO CONSTRUCTION FOR REVIEW BY THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE. SHOULD DISCREPANCIES EXIST, CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE BEFORE PROCEEDING FURTHER.

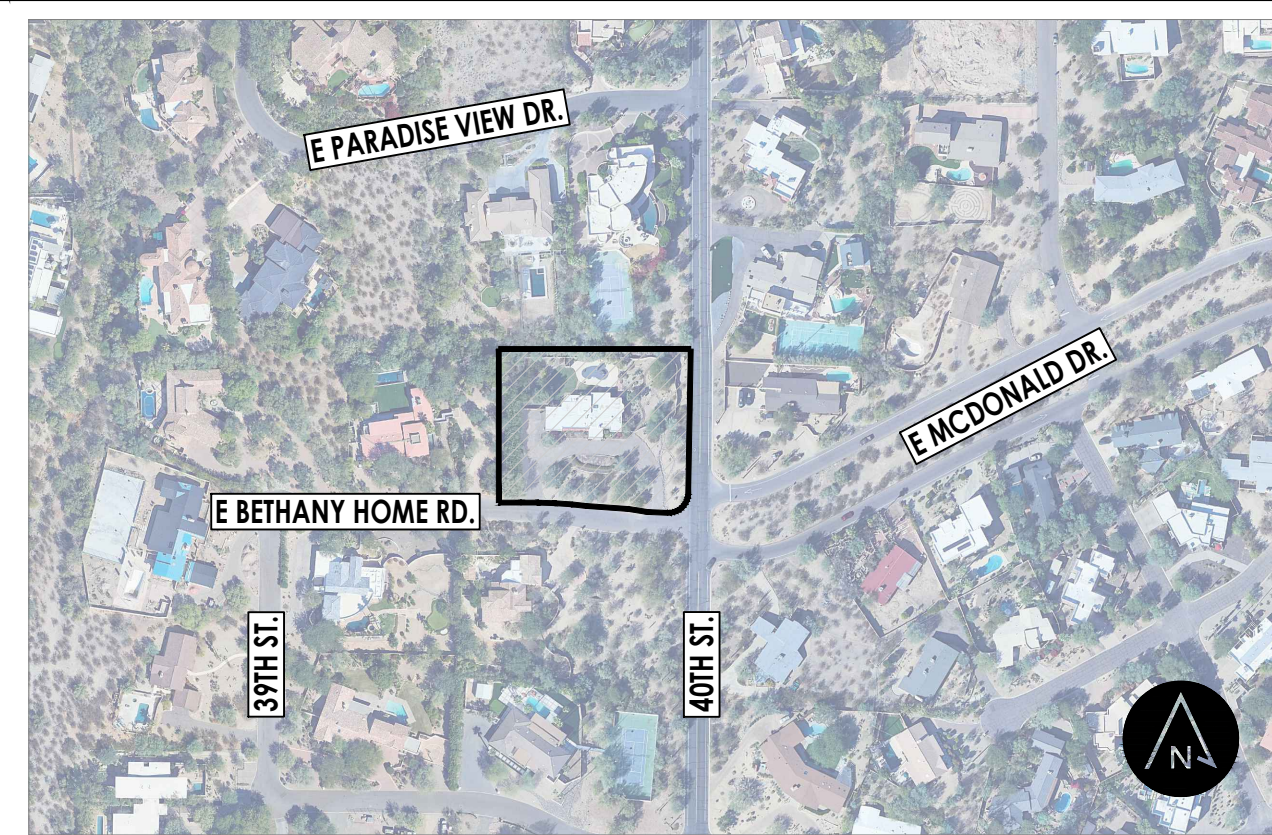
WOLFSWINKEL RESIDENCE
LANDSCAPE CONSTRUCTION DOCUMENTS

VICINITY MAP:



SCALE: NTS

SITE MAP:



SCALE: NTS

TOWN OF PARADISE VALLEY NOTES:

CIVIL NOTES:

- NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL ALL HILLSIDE STIPULATIONS AND ALL TOWN CODE REQUIREMENTS ARE COMPLIED INCLUDING, BUT NOT LIMITED TO LANDSCAPING, GROUND RESTORATION, FIRE FLOW, FIRE SAFETY AND ALL ONSITE AND OFFSITE IMPROVEMENTS.
- ALL OUTDOOR LIGHTING SHALL BE IN CONFORMANCE WITH ARTICLE XXII OF THE TOWN ZONING ORDINANCE.
- ALL EXCESS FILL MATERIAL SHALL BE REMOVED FROM THE SITE WITH NO NEW SPILL SLOPES.
- THE USE OF HYDRAULIC RAM HAMMERS, OR OTHER HEAVY EQUIPMENT USED TO CUT THROUGH ROCK, INCLUDING MACHINERY WITH AUDIBLE BACK UP WARNING DEVICES SHALL BE LIMITED TO USE BETWEEN THE HOURS OF 7:00 AM OR SUNRISE, WHICHEVER IS LATER, AND 4:00 PM OR SUNSET, WHICHEVER IS EARLIER, MONDAY THROUGH FRIDAY, WITH LIMITED WORK ON SATURDAY AND NO WORK ON SUNDAY OR LEGAL HOLIDAYS. RAM HAMMERS AND OTHER HEAVY EQUIPMENT CANNOT BE USED ON SATURDAYS WITHOUT A WAIVER FORM THE TOWN MANAGER.
- CONSTRUCTION STAKING AND / OR FENCING SHALL BE PLACED AROUND THE CONSTRUCTION SITE SO AS TO PROTECT THE UNDISTURBED NATURAL AREA. THE FOLLOWING NOTE TO BE ADDED TO GRADING AND DRAINAGE AND ANY CIVIL PLANS: "CONSTRUCTION / DISTURBANCE STAKING TO REMAIN IN PLACE FOR THE DURATION OF THE PROJECT. ANY DAMAGE OR REMOVAL WILL REQUIRE RESTAKING."
- ALL RETAINING WALLS SHALL NOT EXTEND MORE THAN 6 INCHES ABOVE THE MATERIAL THEY RETAIN (WITH EXCEPTION OF DRIVEWAY RETAINING WALLS IN ACCORDANCE WITH 2207.VL16).

ARCHITECTURAL NOTES:

- ALL EXTERIOR MATERIAL PALETTE SHALL BE IN ACCORDANCE WITH SECTION 2207.II.D.
- ALL EXTERIOR LIGHTING SHALL COMPLY WITH SECTION 2208.

DEMOLITION GRADING PLAN NOTES:

- ALL EXCESS FILL MATERIAL SHALL BE REMOVED FROM THE SITE WITH NO NEW SPILL SLOPES.
- THE USE OF HYDRAULIC RAM HAMMERS, OR OTHER HEAVY EQUIPMENT USED TO CUT THROUGH ROCK, INCLUDING MACHINERY WITH AUDIBLE BACK UP WARNING DEVICES SHALL BE LIMITED TO USE BETWEEN THE HOURS OF 7:00 AM OR SUNRISE, WHICHEVER IS LATER, AND 4:00 PM OR SUNSET, WHICHEVER IS EARLIER, MONDAY THROUGH FRIDAY, WITH LIMITED WORK ON SATURDAY AND NO WORK ON SUNDAY OR LEGAL HOLIDAYS. RAM HAMMERS AND OTHER HEAVY EQUIPMENT CANNOT BE USED ON SATURDAYS WITHOUT A WAIVER FROM THE TOWN MANAGER.
- CONSTRUCTION STAKING AND / OR FENCING SHALL BE PLACED AROUND THE CONSTRUCTION SITE SO AS TO PROTECT THE UNDISTURBED NATURAL AREA.

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SHEET INDEX:

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HARDSCAPE DETAILS	L6.1-L6.3
PLANTING DETAILS	L7.1
PLANTING SPECIFICATIONS	L8.1
IRRIGATION SPECIFICATIONS	L8.2

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REVISIONS:

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△	
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PROJECT#:

WWH003

ISSUED FOR:

REVIEW

DRAWN BY:

TEAM

SCALE:

NTS

PLOT DATE:

10/15/2025

DRAWING:

COVER SHEET



SHEET#:

L0.0

PAGE#:

01 OF 12

REFERENCE NOTE / MATERIALS SCHEDULE:

CODE	DESCRIPTION	DETAIL	PROVIDED BY:	MANUFACTURER:	PRODUCT / LINE:	SIZE:	COLOR:	FINISH / PATTERN:	COMMENTS	SUBMITTALS:
PEDESTRIAN										
01-01-01	CONCRETE - STANDARD SIDEWALK	1/L6.1	CONTRACTOR		CONCRETE	4" THICK STANDARD CONCRETE	STANDARD	BROOM FINISH WITH TROWELED EDGE		X
01-01-02	CONCRETE - ACID WASH FINISH	3/L6.1	CONTRACTOR	DAVIS COLORS	INTEGRAL COLOR CONCRETE	4" THICK STANDARD CONCRETE	SIERRA 61078	ACID WASH		X
01-01-03	BRICK PAVER	2/L6.1	CONTRACTOR	MCNEAR BRICK	SANDMOLD SERIES	STANDARD	COTSWOLD	BANDING - SOLDIER COURSE; FIELD - HERRINGBONE		X
01-01-04	FLAGSTONE PAVER		CONTRACTOR					RANDOM W/ 1/2" JOINTS MAX		X
01-01-05	CANTERRA STONE PAVER		CONTRACTOR	DE SANATA	CANTERA STONE	12" X 12"	CHOCOLATE	STACKED BOND		X
01-01-06	FEATURE CANTERA STONE AND TILE		CONTRACTOR	DE SANTANA; ECO EARTH	CANTERA STONE; GLAZED LAVA STONE TILE	CANTERA - 12" X 12", TILE - 4" X 4"	CANTERA - NEGRA, TILE - HALLEY GLAZED LAVA STONE	DUTCH PATTERN - REFER TO PLANS		X
01-01-07	GARDEN DECOMPOSED GRANITE		CONTRACTOR							X
01-01-08	RIVER ROCK - OUTDOOR SHOWER		TO BE SELECTED BY INTERIOR DESIGNER							
VEHICULAR										
01-02-01	CONCRETE - ACID WASH FINISH		CONTRACTOR	DAVIS COLORS	INTEGRAL COLORED CONCRETE	6" THICK STANDARD CONCRETE	SIERRA 61078	ACID WASH FINISH		X
01-02-02	CONCRETE PAVERS	2/L6.1	CONTRACTOR	BELGARD	MEGA - BERGERAC	3-PIECE, 80 MM THICK	VICTORIAN	3 PIECE RANDOM		X
LANDSCAPE										
01-03-01	STEEL LANDSCAPE HEADER	6/L6.1	CONTRACTOR		STEEL HEADER	1/4"x6" STEEL BAR	STANDARD			X
CODE	DESCRIPTION	DETAIL	PROVIDED BY:	MANUFACTURER	PRODUCT / LINE:	SIZE:	COLOR:	FINISH / PATTERN:	SUBMIT FOR APPROVAL:	DESCRIPTION
02 VERTICAL-WORK										
02-01-01	RAISED PLANTER - ENTRY WALKWAY	13/L6.1	CONTRACTOR	DC RANCH	DC COBBLE	STANDARD	STANDARD	RANDOM	X	
02-01-02	SMALL RAISED PLANTER	9/L6.1	CONTRACTOR	DC RANCH	DC COBBLE	STANDARD	STANDARD	VENEER FINISH, RANDOM STACKING	X	STACK PATTERN TO MATCH ARCHITECTURE
02-01-03	RAISED PLANTER - GARDEN		CONTRACTOR	CUSTOM	RAISED WOOD GARDEN BED PLANTER	2'-0" TALL	CONTRACTOR TO SUBMIT STAIN SAMPLES FOR APPROVAL	STAIN	X	
02-01-04	VEHICULAR GATE POSTS	11/L6.1	CONTRACTOR	CUSTOM	STONE VENEER GATE POST	7'-0" TALL	DC COBBLE	VENEER FINISH, RANDOM STACKING	X	STACK PATTERN TO MATCH ARCHITECTURE
02-01-05	PRIVACY WALL - 6'-0"		CONTRACTOR		WALLS	8X8X16 CMU BLOCK; 2" CONCRETE CAP	TO MATCH HOUSE COLOR; CONCRETE CAP - DAVIS COLOR SIERRA 61078	STUCCO AND PAINT FINISH	X	
02-01-06	FEATURE WALL		CONTRACTOR	TILE - CEMENT TILE SHOP	CMU BLOCK WALL WITH TILE VENEER AND CONCRETE CAP	5'-0" TALL, 8"x8"x16" CMU BLOCK; TILE - 8"x8"; CONCRETE CAP - 2"	STUCCO COLOR - TO MATCH ARCHITECTURE; CEMENT TILE - LOURDES; CAP - DAVIS COLOR SIERRA 61078	TILE VENEER, STACKED PATTERN	X	
02-01-07	RETAINING WALL		CONTRACTOR		WALL	VARIES; 8"x8"x16" CMU BLOCK WITH 2" CONCRETE CAP	TO MATCH ARCHITECTURE; CONCRETE CAP - DAVIS COLOR SIERRA 61078	STUCCO AND PAINT FINISH		
02-01-08	SHORT RETAINING WALL	14/L6.1	CONTRACTOR		WALLS	8"x8"x16" BLOCK WITH 2" CONCRETE CAP	TO MATCH ARCHITECTURE; CONCRETE CAP - DAVIS COLOR SIERRA 61078	STUCCO AND PAINT		
02-01-09	SHORT WALL WITH VIEW FENCE		CONTRACTOR	CUSTOM	HALF WALL, HALF POOL FENCE	FENCE HEIGHT - 6' MINIMUM PLUS WALL BASE; WALL - 8"x8"x16" CMU BLOCK; CONCRETE CAP - 2"	WALL - TO MATCH ARCHITECTURE, FENCE - UMBRA GRAY RAL 7022; CONCRETE CAP - DAVIS COLOR SIERRA 61078	WALL - STUCCO AND PAINT FINISH; FENCE - POWDER COAT	X	
02-01-10	BANCO SEATING - BUILT INTO WALL		CONTRACTOR	CUSTOM	WALL SEAT	8"x8"x16" CMU BLOCK	TO MATCH ARCHITECTURE	STUCCO AND PAINT FINISH		
02-01-11	OUTDOOR KITCHEN ISLAND		REFER TO DRAWINGS BY ARCHITECT						X	
02-01-12	POOL EQUIPMENT ENCLOSURE		CONTRACTOR	CUSTOM	CMU BLOCK WALL	8"x8"x16" BLOCK WITH 2" CONCRETE CAP	TO MATCH HOUSE COLOR; CONCRETE CAP - SIERRA 61078	STUCCO AND PAINT FINISH	X	
FENCES										
02-02-01	POOL FENCE		CONTRACTOR	CUSTOM	STEEL VIEW FENCE	6'-0"	RAL 7022 UMBRA GREY	POWDER COAT FINISH	X	
GATES										
02-03-01	VEHICULAR GATE	7/L6.2	CONTRACTOR	CUSTOM	STEEL GATE	6'-0" TALL	RAL7022 - UMBRA GRAY	POWDER COAT	X	
02-03-02	PEDESTRIAN GATE	9/L6.2	CONTRACTOR	CUSTOM	STEEL GATE	6'-0" TALL	RAL7022 - UMBRA GRAY	POWDER COAT	X	
STRUCTURES										
02-05-01	SHADE STRUCTURE	4/L6.2	CONTRACTOR	CUSTOM	WOOD AND METAL STRUCTURE	REFER TO DETAILS	WOOD - CONTRACTOR TO SUBMIT STAIN COLOR FOR APPROVAL; STONE VENEER - DC COBBLE	WOOD - STAIN FINISH; STEEL - RAL 7022 UMBRA GRAY; STONE - RANDOM STACK	X	
02-05-10	SAUNA STRUCTURE AND COLD PLUNGE	15/L6.1	BY OTHERS							
02-05-11	BRICK STEPS WITH TILE RISER	7/L6.1	CONTRACTOR	MCNEAR BRICK; CEMENT TILE SHOP	BRICK PAVER; TILE RISER	6X6 TILE	ATLAS III	SOLDIER COURSE	X	
02-05-12	WALKWAY BRIDGE		CONTRACTOR	CUSTOM					X	
CODE	DESCRIPTION	DETAIL	PROVIDED BY:	MANUFACTURER:	PRODUCT / LINE:	SIZE:	COLOR:	FINISH / PATTERN:	SUBMIT FOR APPROVAL:	
03 LANDSCAPE-WORK										
03-01-01	PLANTING AREA		CONTRACTOR							
GRASS										
03-02-01	ARTIFICIAL TURF	5/L6.1	CONTRACTOR	TO SUBMIT SAMPLES FOR APPROVAL					X	
CODE	DESCRIPTION	DETAIL	SUPPLIER	MANUFACTURER	MODEL	FINISH/COLOR	PLASTER	STEP TILE	NOTES	
07 WATER ELEMENTS										
07-01-01	WATER FEATURE - COURTYARD	7/L6.3	CONTRACTOR	CUSTOM	CUSTOM					
07-01-02	WATER FEATURE - BACKYARD		CONTRACTOR	DE SANTANA	CUSTOM	NATURAL STONE FFINISH	NA	NA		
POOL / SPA										
07-02-01	POOL	4/L6.3	POOL CONTRACTOR	PEBBLETEC	PEBBLE FINA	WATERLINE TILE - ZIA TILE JADE 4X4 SQUARE ZELLIGE	PEBBLE FINA - STEEL GREY	ZIA TILE JADE 4X4 SQUARE ZELLIGE		
07-02-03	SPA	6/L6.3	POOL CONTRACTOR	PEBBLETEC	PEBBLE FINA	WATERLINE TILE - ZIA TILE JADE 4X4 SQUARE ZELLIGE	PEBBLE FINA - STEEL GREY	ZIA TILE JADE 4X4 SQUARE ZELLIGE		
07-02-04	OUTDOOR SHOWER		BY OTHERS							
CODE	DESCRIPTION	DETAIL	PROVIDED BY:	MANUFACTURER:	PRODUCT / LINE:	SIZE:	COLOR:	FINISH / PATTERN:	SUBMITTALS REQ.:	
08 SITE FURNITURE-FIXTURES-EQUIPMENT										
08-02-01	MISC, POTS	8/L6.1	TBD						X	

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WOLFSWINKEL RESIDENCE
LANDSCAPE CONSTRUCTION DOCUMENTS
3924 E BETHONY HOME ROAD
PARADISE VALLEY, AZ 85253

REVISIONS:

PROJECT#:

WWH003

ISSUED FOR:

REVIEW

DRAWN BY:

TEAM

SCALE:

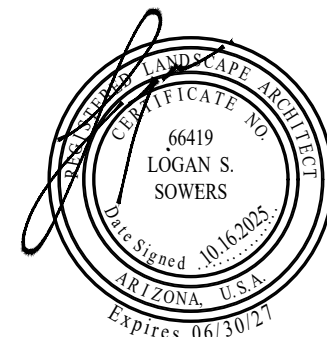
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PLOT DATE:

10/15/2025

DRAWING:

MATERIAL SCHEDULE



SHEET#:

L0.1

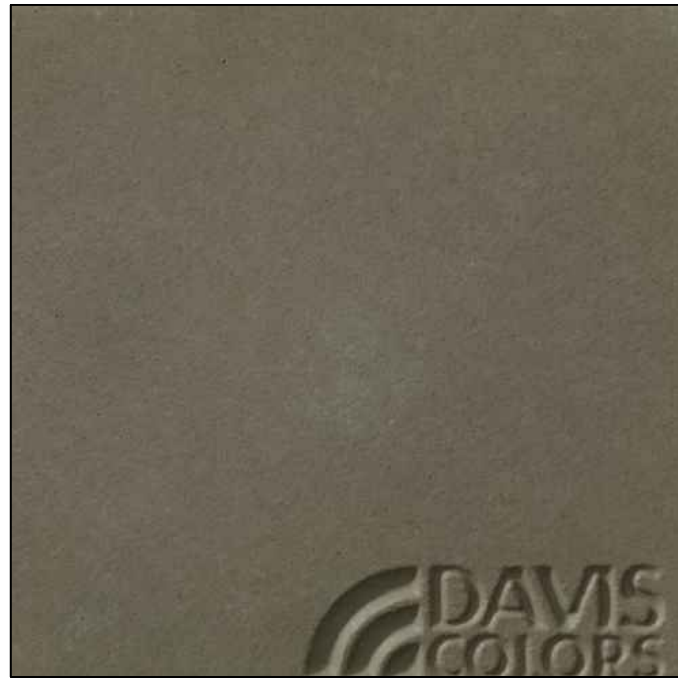
MATERIALS BOARD

DRIVEWAY PAVER



- 3 PIECE CONCRETE PAVER
- BELGARD , MEGA BERGERAC
- COLOR: VICTORIAN
- **LVR: 20**

DRIVEWAY BANDING AND CONCRETE SIDEWALKS



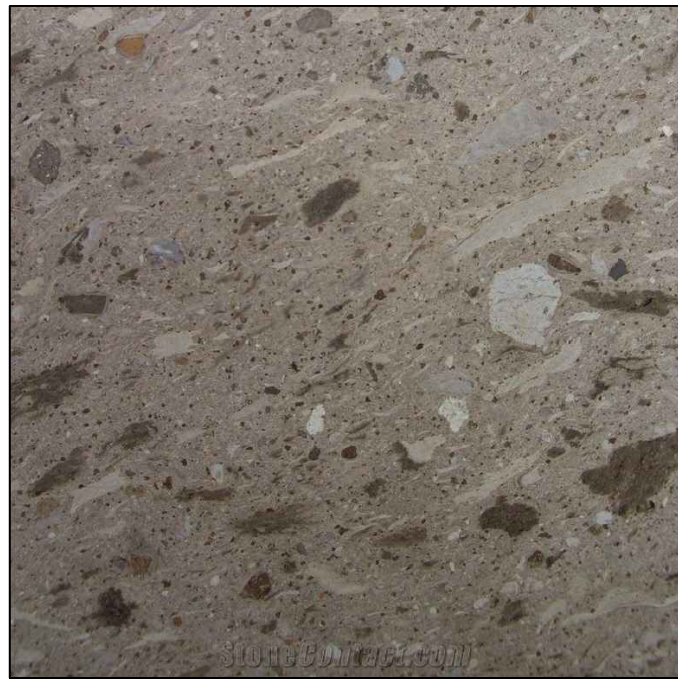
- ACID WASH FINISH
- DAVIS COLORS: SIERRA 61078
- **LVR: 20**

BRICK PAVER



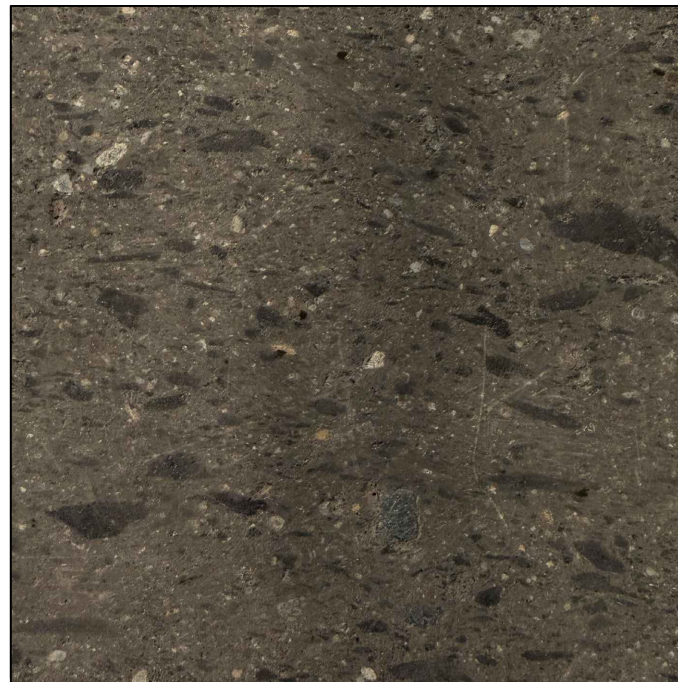
- MCNEAR BRICK
- COLOR: COTSWOLD
- **LVR: 19**

STONE PAVER A



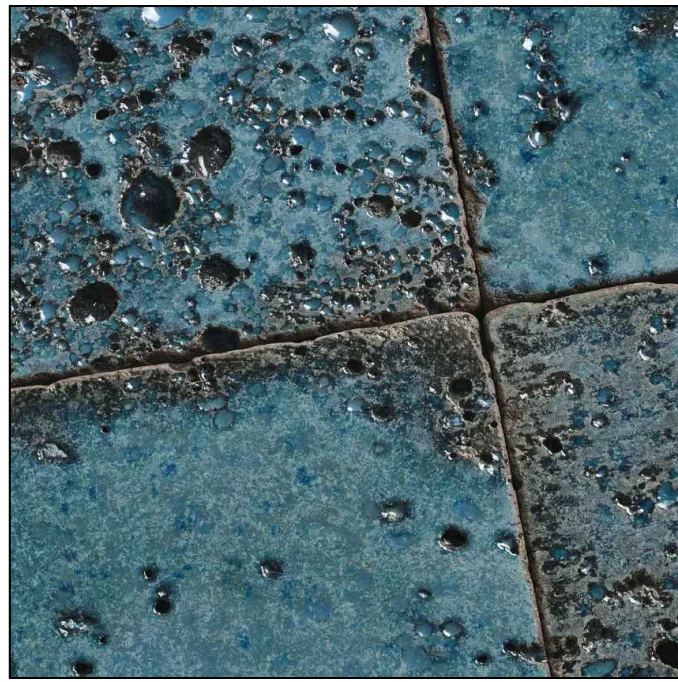
- CANTERA STONE PAVER
- COLOR: CHOCOLATE
- **LVR: 23**

STONE PAVER B



- CANTERA STONE PAVER
- COLOR: NEGRA
- **LVR: 20**

ACCENT TILE A



- 4" X 4" ACCENT TILE WITH CANTERA STONE
- ECO OUTDOOR -- HALLEY GLAZED LAVA STONE
- **LVR: 19**

ACCENT TILE B



- STEP RISERS AND WATER FEATURE ACCENTS
- 6"X6" CONCRETE TILE
- CEMENT TILE SHOP
- COLOR: ATLAS III
- **LVR: 50**

ACCENT TILE C



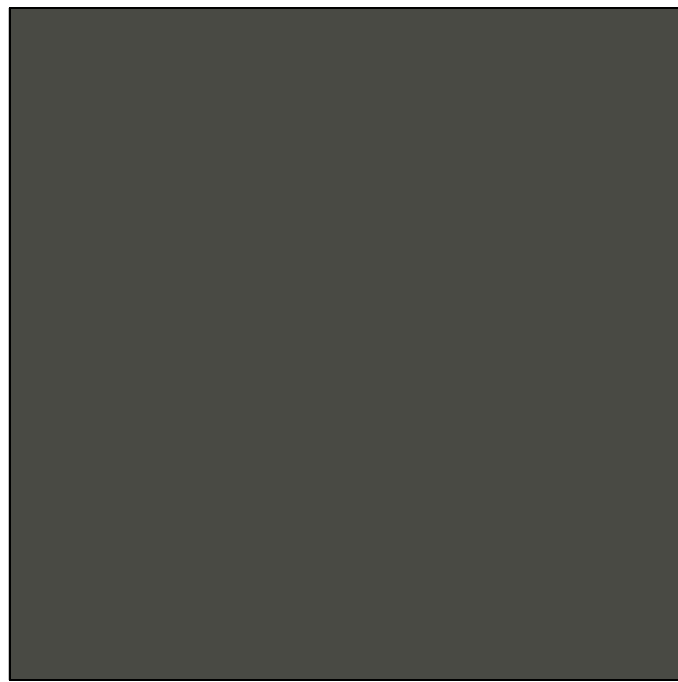
- FEATURE WALL ACCENT TILE VENEER - WILL NOT BE SEEN FROM ROADWAY AT ALL
- 8"X8" CONCRETE TILE
- CEMENT TILE SHOP
- COLOR: LOURDES
- **LVR: 44**

WATERLINE TILE



- 4"x4" ZIA TILE SQUARE ZELLIGE
- COLOR: JADE
- **LVR: 9**

STEEL COLOR



- SHERWIN WILLIAMS PAINT
- COLOR: RAL 7022 UMBRA GRAY
- **LVR: 6.5**



40'
R / W

LAYOUT SHEET

L2.1

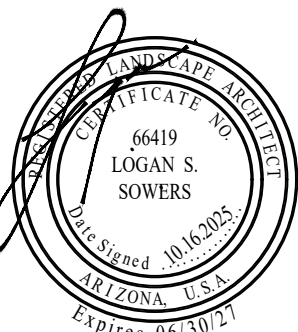


0' 10' 20' 30'

SCALE: 1" = 10'-0"

<u>CODE</u>	<u>DESCRIPTION</u>	<u>DETAIL</u>
<u>PEDESTRIAN</u>		
01-01-01	CONCRETE - STANDARD SIDEWALK	
01-01-02	CONCRETE - ACID WASH FINISH	
01-01-03	BRICK PAVER	
01-01-04	FLAGSTONE PAVER	
01-01-05	CANTERRA STONE PAVER	
01-01-06	FEATURE CANTERRA STONE AND TILE	
01-01-07	GARDEN DECOMPOSED GRANITE	
01-01-08	RIVER ROCK - OUTDOOR SHOWER	
<u>VEHICULAR</u>		
01-02-01	CONCRETE - ACID WASH FINISH	
01-02-02	CONCRETE PAVERS	
<u>LANDSCAPE</u>		
01-03-01	STEEL LANDSCAPE HEADER	
<u>02 VERTICAL-WORK</u>		
02-01-01	RAISED PLANTER - ENTRY WALKWAY	
02-01-02	SMALL RAISED PLANTER	
02-01-03	RAISED PLANTER - GARDEN	
02-01-04	VEHICULAR GATE POSTS	
02-01-05	PRIVACY WALL - 6'-0"	
02-01-06	FEATURE WALL	
02-01-07	RETAINING WALL	
02-01-08	SHORT RETAINING WALL	
02-01-09	SHORT WALL WITH VIEW FENCE	
02-01-10	BANCO SEATING - BUILT INTO WALL	
02-01-11	OUTDOOR KITCHEN ISLAND	
02-01-12	POOL EQUIPMENT ENCLOSURE	
<u>FENCES</u>		
02-02-01	POOL FENCE	
<u>GATES</u>		
02-03-01	VEHICULAR GATE	
02-03-02	PEDESTRIAN GATE	
<u>STRUCTURES</u>		
02-05-01	SHADE STRUCTURE	
02-05-10	SAUNA STRUCTURE AND COLD PLUNGE	
02-05-11	BRICK STEPS WITH TILE RISER	
02-05-12	WALKWAY BRIDGE	
<u>03 LANDSCAPE-WORK</u>		
03-01-01	PLANTING AREA	
<u>GRASS</u>		
03-02-01	TURF	
<u>07 WATER ELEMENTS</u>		
07-01-01	WATER FEATURE - COURTYARD	
07-01-02	WATER FEATURE - BACKYARD	
<u>POOL / SPA</u>		
07-02-01	POOL	
07-02-03	SPA	
07-02-04	OUTDOOR SHOWER	

PROJECT#: WWW003
 DESIGNED FOR: REVIEW
 DRAWN BY: TEAM
 SCALE: 1"=10'-0"
 PLOT DATE: 10/15/2025
 DRAWING: LAYOUT SHEET



HEET#:

2.1

PAGE#: 25

APN 170-01-007



PLANT MATERIALS LEGEND:

TREES SYMBOL	BOTANICAL / COMMON NAMES	SIZE	QTY
	Caesalpinia cocalaco 'Smoothie'	48" Box	6
	Smoothie Thornless Cascalote		
	Chilopsis linearis 'Bubba'	48" Box	2
	Bubba Desert Willow		
	Citrus sinensis	48" Box	1
	Sweet Orange		
	Olea europaea 'Swan Hill'	60" Box	8
	Swan Hill Olive		
	Olneya tesota	60" Box	3
	Desert Ironwood		
	Prosopis glandulosa 'Maverick'	36" Box	6
	Maverick Thornless Honey Mesquite		
	Sophora secundiflora	48" Box	2
	Texas Mountain Laurel		

SHRUBS SYMBOL	BOTANICAL / COMMON NAMES	SIZE	QTY
	Bougainvillea x Torch Glow	10 Gal.	10
	Torch Glow Bougainvillea		
	Bouteloua gracilis 'Blonde Ambition'	5 Gal.	26
	Blonde Ambition Blue Grama		
	Convolvulus cneorum	5 Gal.	11
	Bush Morning Glory		
	Dodonaea viscosa	10 Gal.	3
	Hopseed Bush		
	Eriocameria laticifolia	5 Gal.	15
	Turpentine Bush		
	Justicia spicigera	5 Gal.	9
	Mexican Honeysuckle		
	Larrea tridentata	5 Gal.	14
	Cresote Bush		
	Leucophyllum frutescens	5 Gal.	27
	Texas Sage		
	Leucophyllum frutescens 'Compacta'	5 Gal.	16
	Compact Texas Sage		
	Muhlenbergia capillaris 'Lenca'	5 Gal.	68
	Regal Mist® Pink Muhly Grass		
	Muhlenbergia rigens	5 Gal.	8
	Deer Grass		
	Olea europaea 'Montra'	5 Gal.	35
	Little Olive® Olive		
	Penstemon parryi	1 Gal.	15
	Parry's Beardtongue		
	Portulacaria afra	1 Gal.	7
	Elephant Bush		
	Rosa x 'KORai'	5 Gal.	28
	Iceberg Floribunda Rose		
	Rosmarinus officinalis 'Tuscan Blue'	5 Gal.	22
	Tuscan Blue Rosemary		
	Ruellia brittoniana	5 Gal.	24
	Mexican Petunia		
	Salvia greggii	5 Gal.	82
	Autumn Sage		
	Simmondsia chinensis	5 Gal.	26
	Jogoba		
	Sphaeralcea ambigua	5 Gal.	38
	Desert Globemallow		
	Tecoma stans	5 Gal.	11
	Yellow Bells		

GROUND COVER SYMBOL	BOTANICAL / COMMON NAMES	SIZE	QTY
	Lantana montevidensis	1 Gal.	37
	Purple Trailing Lantana		
	Lantana montevidensis 'Alba'	1 Gal.	2
	White Trailing Lantana		
	Tradescantia pallida 'Pale Purple'	1 Gal.	16
	Fate Puma Purple Trailing Heart		
	Verbena rigida	1 Gal.	9
	Sandpaper Verbena		

CACTI SYMBOL	BOTANICAL / COMMON NAMES	SIZE	QTY
	Agave americana	5 Gal.	10
	Century Plant		
	Agave weberi	5 Gal.	7
	Weber Agave		
	Agave x 'Blue Glow'	5 Gal.	4
	Blue Glow Agave		
	Aloe dawsonii	1 Gal.	41
	Dave's Aloe		
	Aloe x 'Blue Elf'	1 Gal.	52
	Blue Elf Aloe		
	Aloe x 'Hercules'	4" Min.	3
	Hercules Aloe		
	Asclepias subulata	1 Gal.	11
	Rush Milkweed		
	Carnegiea gigantea	TBD	5
	Saguaro		
	Dasylirion acrostichae	5 Gal.	10
	Toothless Sotol		
	Dasylirion wheeleri	5 Gal.	29
	Grey Desert Spoon		
	Fouquieria splendens	Bare Root	6
	Ocotillo		
	Hesperaloe parviflora 'Perpa'	1 Gal.	41
	brakeights® Red Yucca		
	Opuntia engelmannii	5 Gal.	3
	Engelmann's Prickly Pear		
	Opuntia violacea	5 Gal.	9
	Purple Prickly Pear		
	Pachycereus schottii monstrosus	5 Gal.	3
	Totem Pole Cactus		
	Pedilanthus bracteatus	1 Gal.	2
	Tall Slipper Plant		
	Pedilanthus macrocarpus	1 Gal.	18
	Lady's Slipper		

FINISHES | CRIPION / MATERIAL REFERENCE

Artificial Turf
Refer to Materials Schedule

FINISHES | CRIPION / MATERIAL REFERENCE

Composed Granite (CG) - 2" Depth
Minus Decomposed Granite. Color to match
finishing surrounding area in color and size in all
finishing areas inside of walls.

Desert Cobble: The top 6" of desert soil is to be
excavated and stockpiled for re-vegetation areas.
Tractor to mix and spread cobble mix on site of
finishing the character of the native surrounding
area. 2" Depth. Supplemental Cobble to be D.C.
Desert Cobble. 6" Minus.

GENERAL NOTES

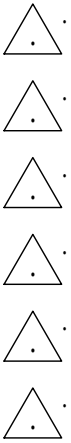
Notes:
Boulder symbols are shown for reference only.
Size boulders based on tonnage only, but
include a variety of shapes and sizes. Surface
select boulders to be selected / tagged by
Landscape Architect and field located.
Landscape Contractor to set boulders with
crane using steel cables. Provide necessary
crane for weight.

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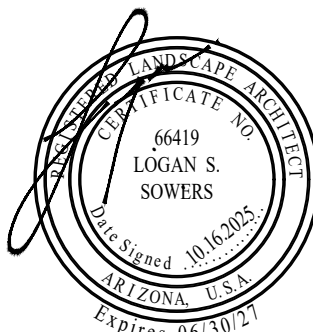
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WOLFSWINKEL RESIDENCE
LANDSCAPE CONSTRUCTION DOCUMENTS
3924 E BETHANY HOME ROAD
PARADISE VALLEY, AZ 85253

REVISIONS:



PROJECT#: WWH003
ISSUED FOR: REVIEW
DRAWN BY: TEAM
SCALE: 1"=10'-0"
PLOT DATE: 10/15/2025
DRAWING: PLANTING PLAN



SHEET#:

L3.1

PAGE#:

05 OF 12

26




PLANTING PLAN

L3.1



APN 170-01-007



LIGHT FIXTURE SCHEDULE:										
SYMBOL	QTY	MANUFACTURER	MODEL #	COLOR	DESCRIPTION	LAMP	LED	WATAGE	LUMENS	COLOR TEMP.
	7	FX LUMINAIRE	M-PL-LED-F8	FLAT BLACK	LOW VOLTAGE PATHLIGHT	LED	1 LED	2.0 W	73	2700K
	25	FX LUMINAIRE	CC-3LED-LS-AB	ANTIQUE BRONZE	LOW VOLTAGE UP LIGHT WITH LONG SHROUD	LED	3 LED	4.2 W	124	2700K
	TBD	-	-	-	LOW VOLTAGE TRANSFORMER (CONTRACTOR TO DETERMINE QUANTITY REQ.)					

- LIGHTING NOTES
- CONTRACTOR SHALL VERIFY ALL SPECIFICATIONS, COLORS, AND FINISHES WITH OWNER PRIOR TO ORDERING OR INSTALLING.
 - LANDSCAPE ARCHITECT TO FIELD APPROVE ALL LIGHTS.

FXLuminaire.

LED Path Lights

PROJECT

CATALOG #

TYPE

NOTES

M-PL Path Light

DESIGNER PLUS

The ultra-modern M-PL path light combines the versatility of die-cast aluminum with minimalist aesthetics to complement a range of contemporary installations.

Quick Facts

- Die-cast aluminum
- Two-layer marine-grade anodization and powder coat finish
- Cree® integrated LEDs
- Color temperature filters

- Compatible with Luxor® technology
- Phase and PWM dimmable
- Input voltage: 10-15V

2 1/4" (58 mm)

3 1/2" (89 mm)

3 1/2" (89 mm)

2 1/2" (64 mm)

2 1/2" (64 mm)

LANDSCAPE LIGHTING

FXLuminaire.

LED Up Lights

PROJECT

CATALOG #

TYPE

NOTES

NP Up Light

DESIGNER PLUS

Expertly engineered with 45° or 60° shroud options to illuminate a variety of spaces in 3, 6, or 9 LED. An RGBW version is also available for use with Luxor® ZDC systems.

Quick Facts

- Die-cast aluminum
- Two-layer marine-grade anodization and powder coat finish
- Cree® integrated LEDs
- ProAim™ adjustability

- Tamper-resistant features
- Color temperature filters
- Compatible with Luxor technology
- Phase and PWM dimmable
- Input voltage: 10-15V

2 1/2" (64 mm)

2 1/2" (64 mm)

3 1/2" (89 mm)

3 1/2" (89 mm)

3 1/2" (89 mm)

3 1/2" (89 mm)

LANDSCAPE LIGHTING

HILLSIDE OUTDOOR LIGHTING REQUIREMENTS:
AREA OF LOT: 43,970 S.F.
ALLOWABLE DISTURBED AREA: (60%) 26,382 S.F.

LANDSCAPE UP-LIGHTING: LIMITED TO ONE (1) FIXTURE PER 1,000 S.F. OF ALLOWABLE DISTURBED AREA.

UP-LIGHTS PERMITTED: 26 LIGHTS
UP-LIGHTS PROVIDED: 25 LIGHTS

NOTE: ALL OTHER LIGHTING (LUMINAIRE IS CONSIDERED 'SAFETY LIGHTING' USED TO ILLUMINATE VEHICULAR AND PEDESTRIAN CIRCULATION, AND DOES NOT EMIT LIGHT RAYS ABOVE A HORIZONTAL PLANE.

LIGHTING PLAN
L5.1

0' 10' 20' 30'
SCALE: 1" = 10'-0"

0° 15° 30° 45° 60° 75° 90° 105° 120° 135° 150° 165° 180°

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WOLFSWINKEL RESIDENCE

LANDSCAPE CONSTRUCTION DOCUMENTS

3924 E BETHANY HOME ROAD
PARADISE VALLEY, AZ 85253

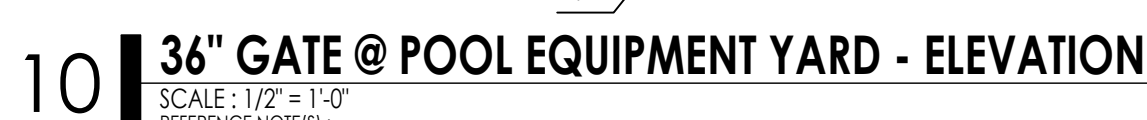
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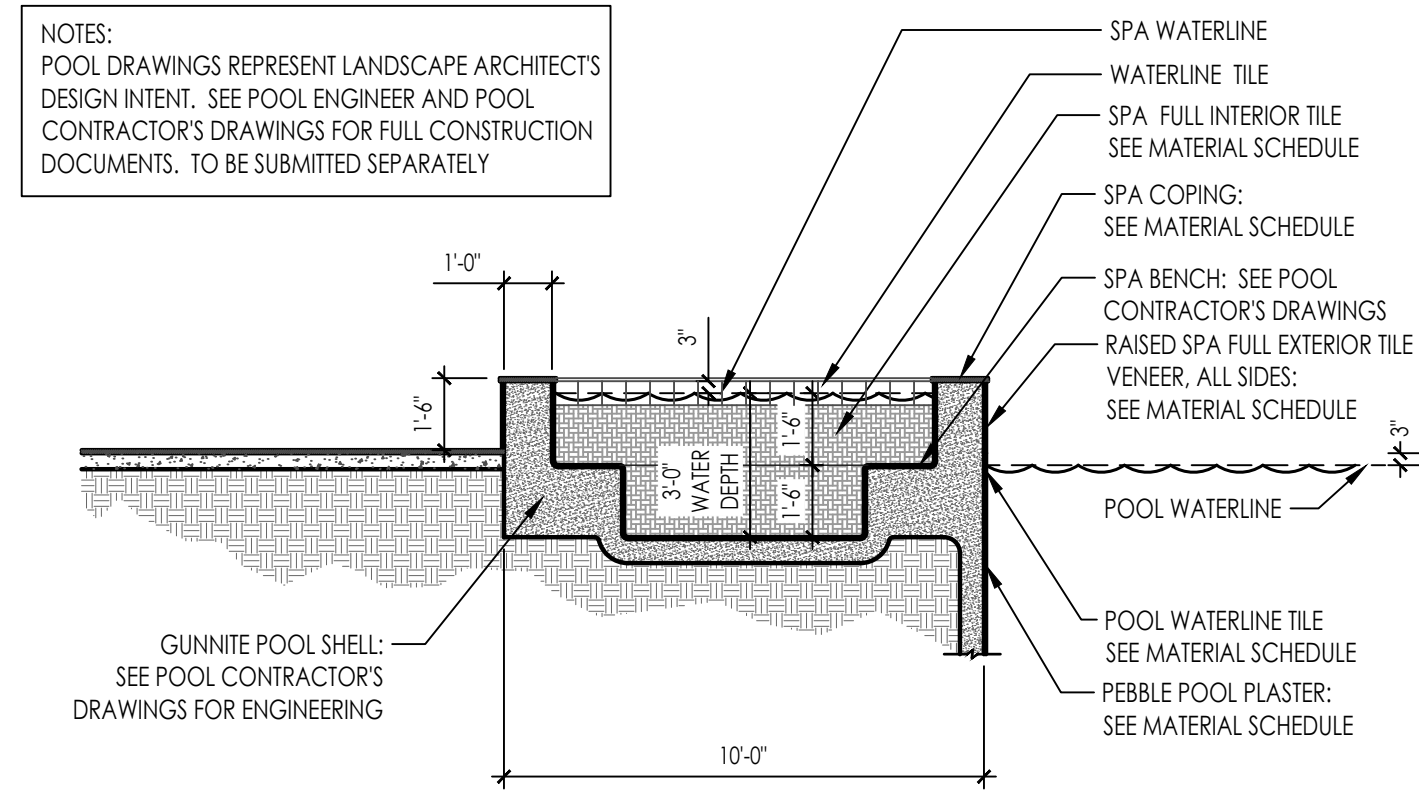
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ISSUED FOR: REVIEW
DRAWN BY: TEAM
SCALE: 1"=10'-0"
PLOT DATE: 10/15/2025
DRAWING: LIGHTING PLAN

66419
LOGAN S. SOWERS
REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT
EXPIRES 06/30/27

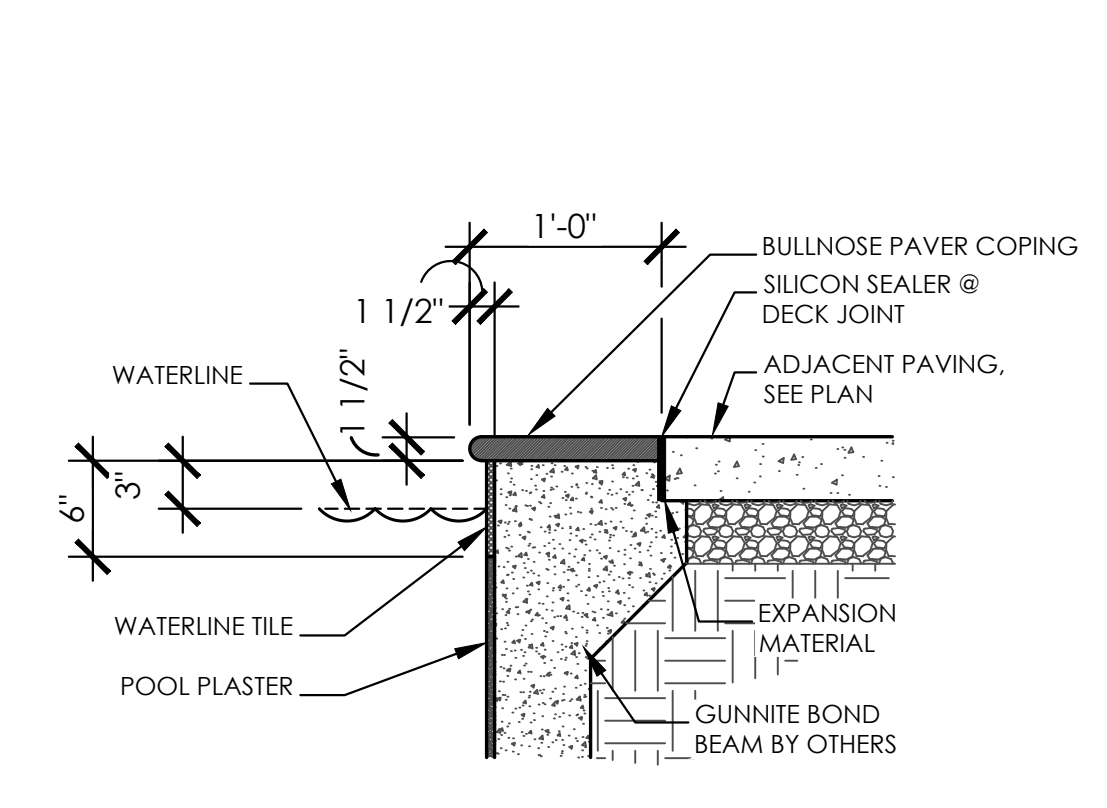
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PAGE#: 06 OF 12 27

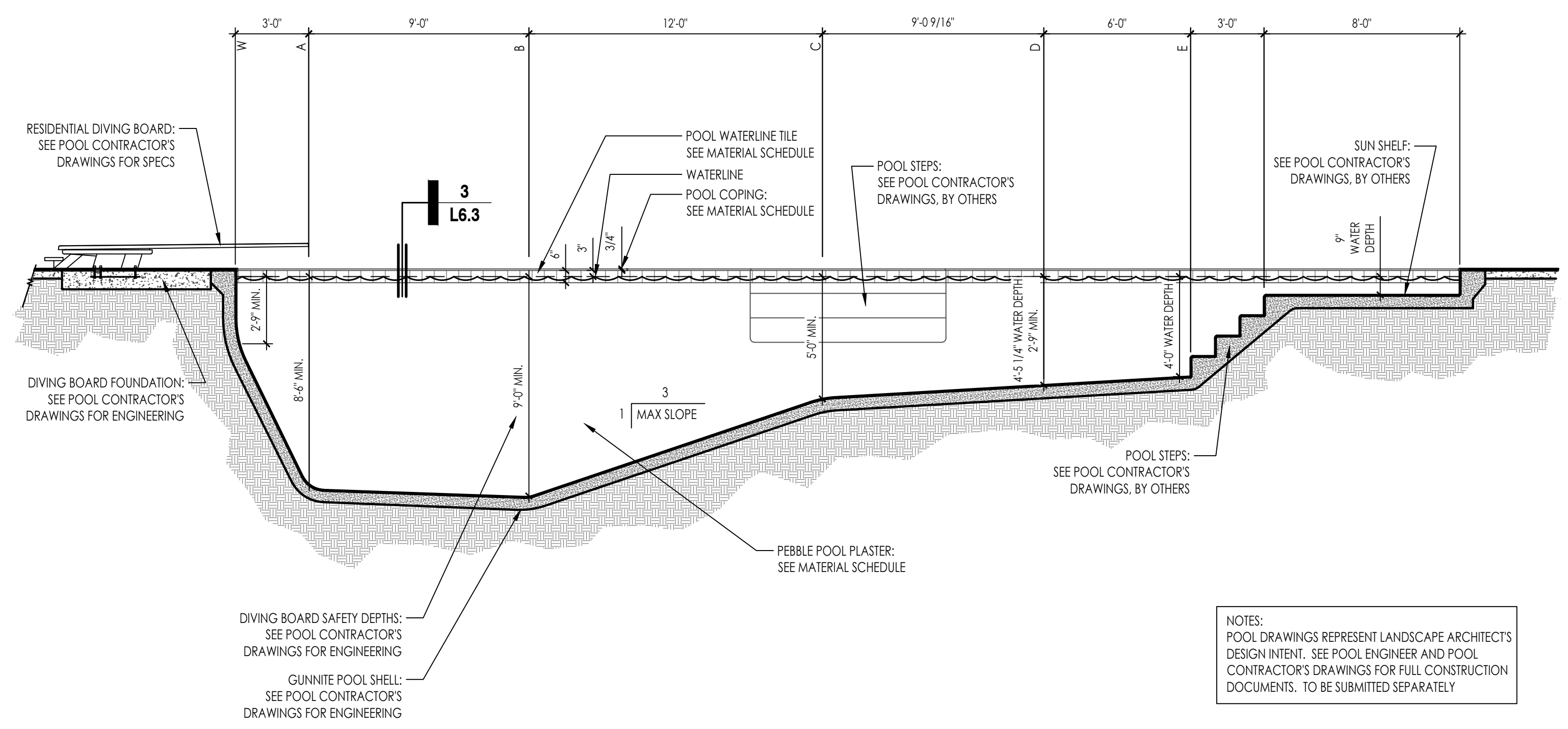




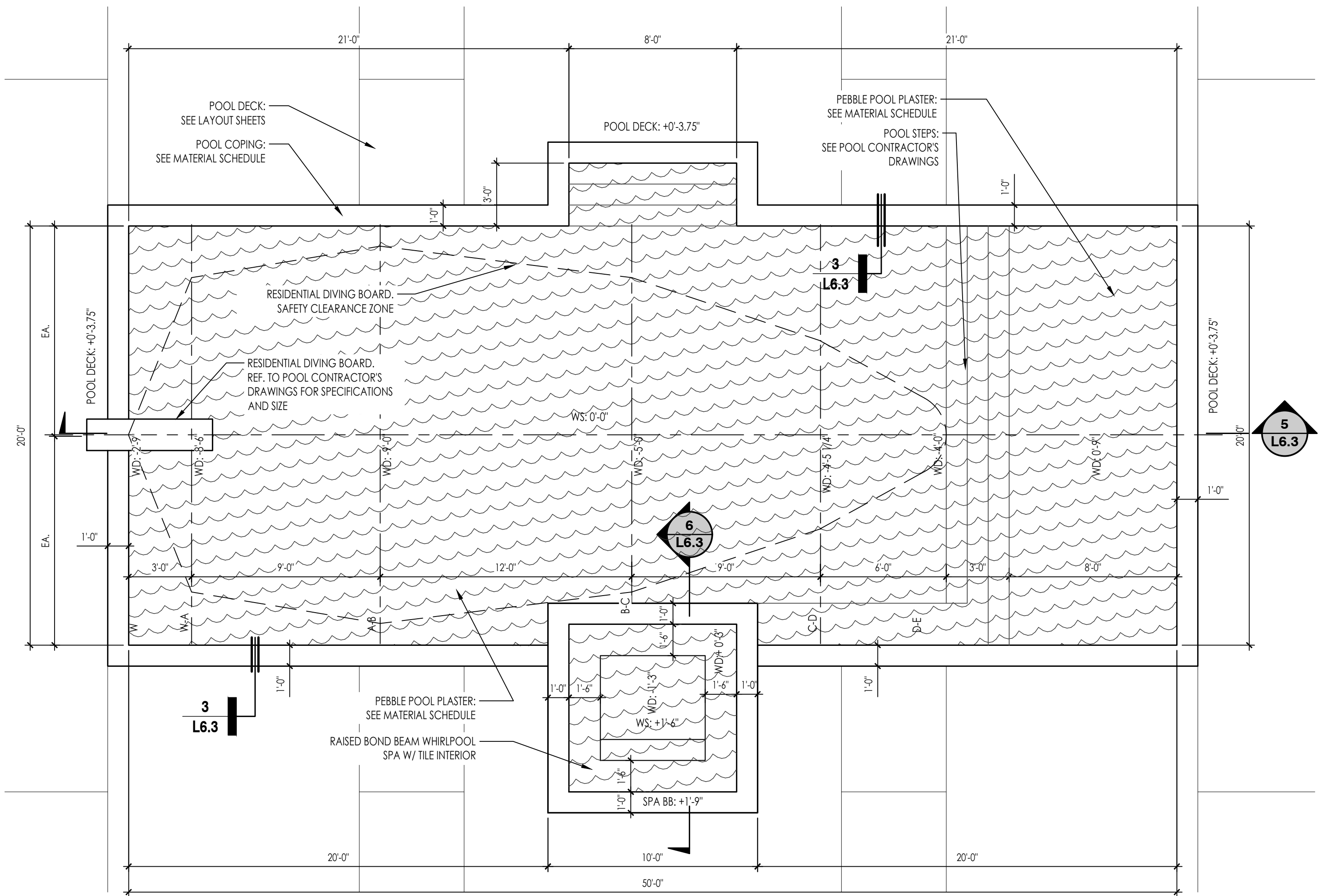
6 SWIMMING POOL / SPA - SECTION
SCALE: 1/4" = 1'-0"
REFERENCE NOTE(S): 07-02-03
L6.3



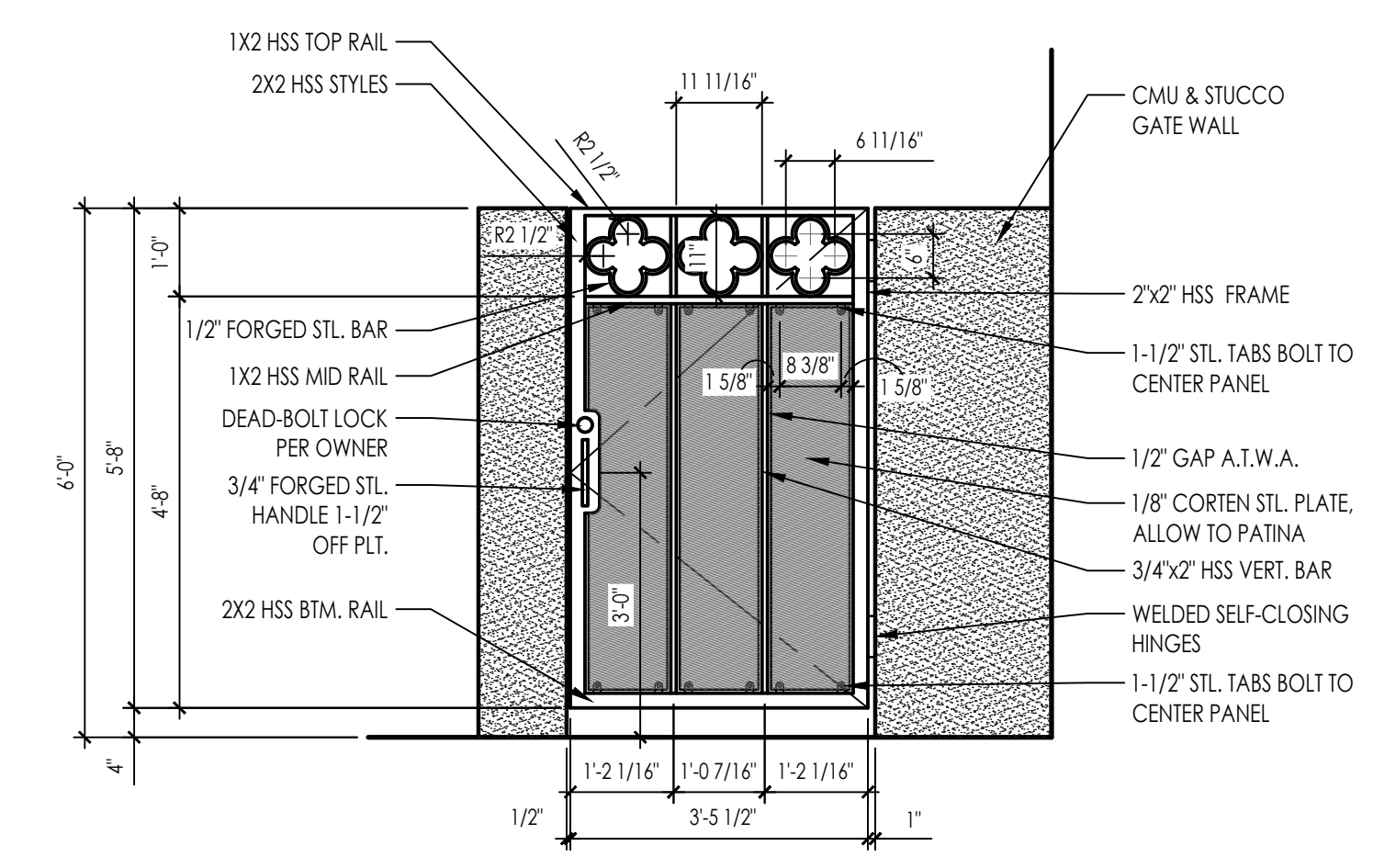
3 POOL COPING DETAIL
SCALE: 1" = 1'-0"
REFERENCE NOTE(S):
L6.3



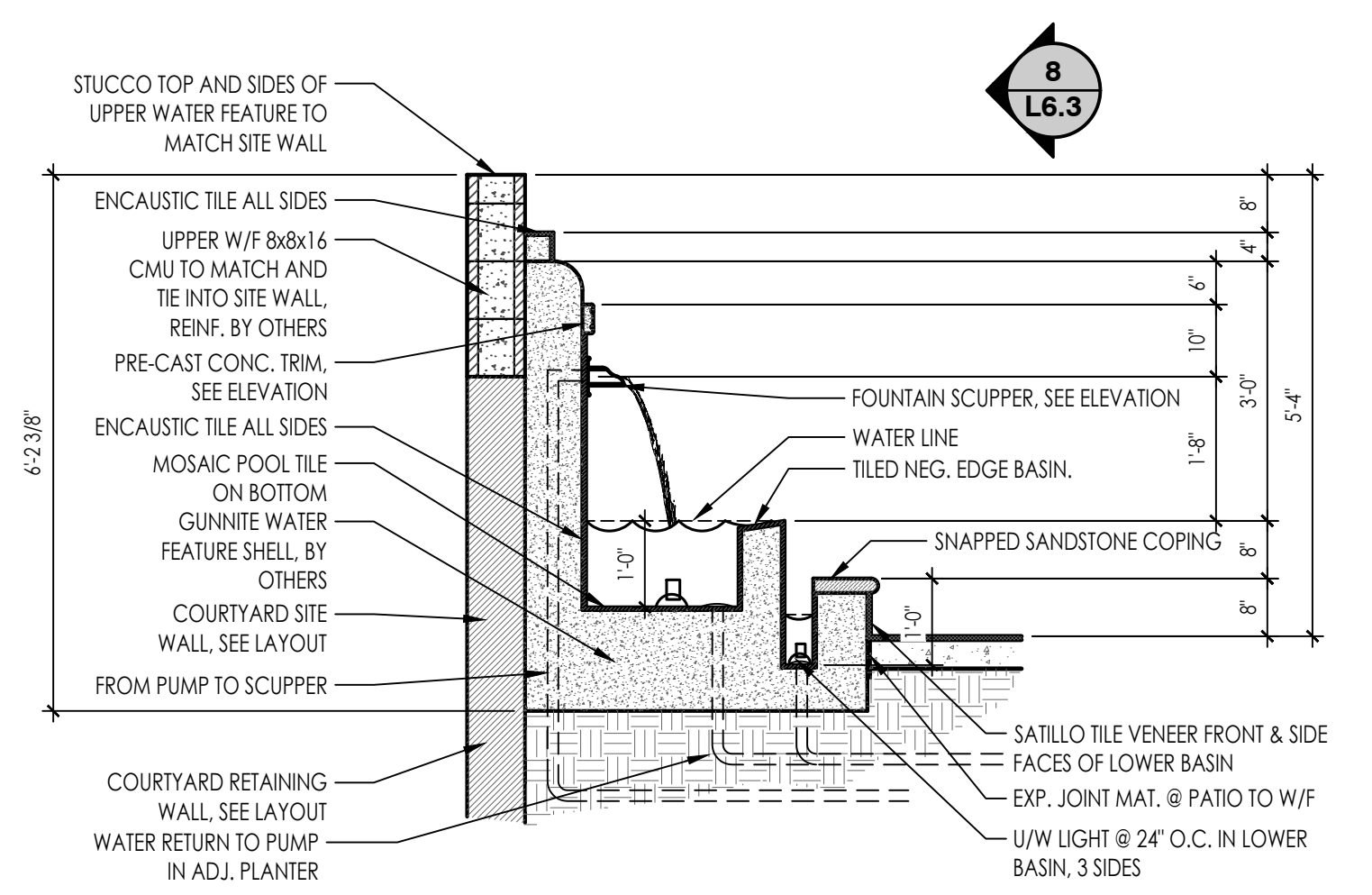
5 SWIMMING POOL - LONG SECTION
SCALE: 1/4" = 1'-0"
REFERENCE NOTE(S):
L6.3



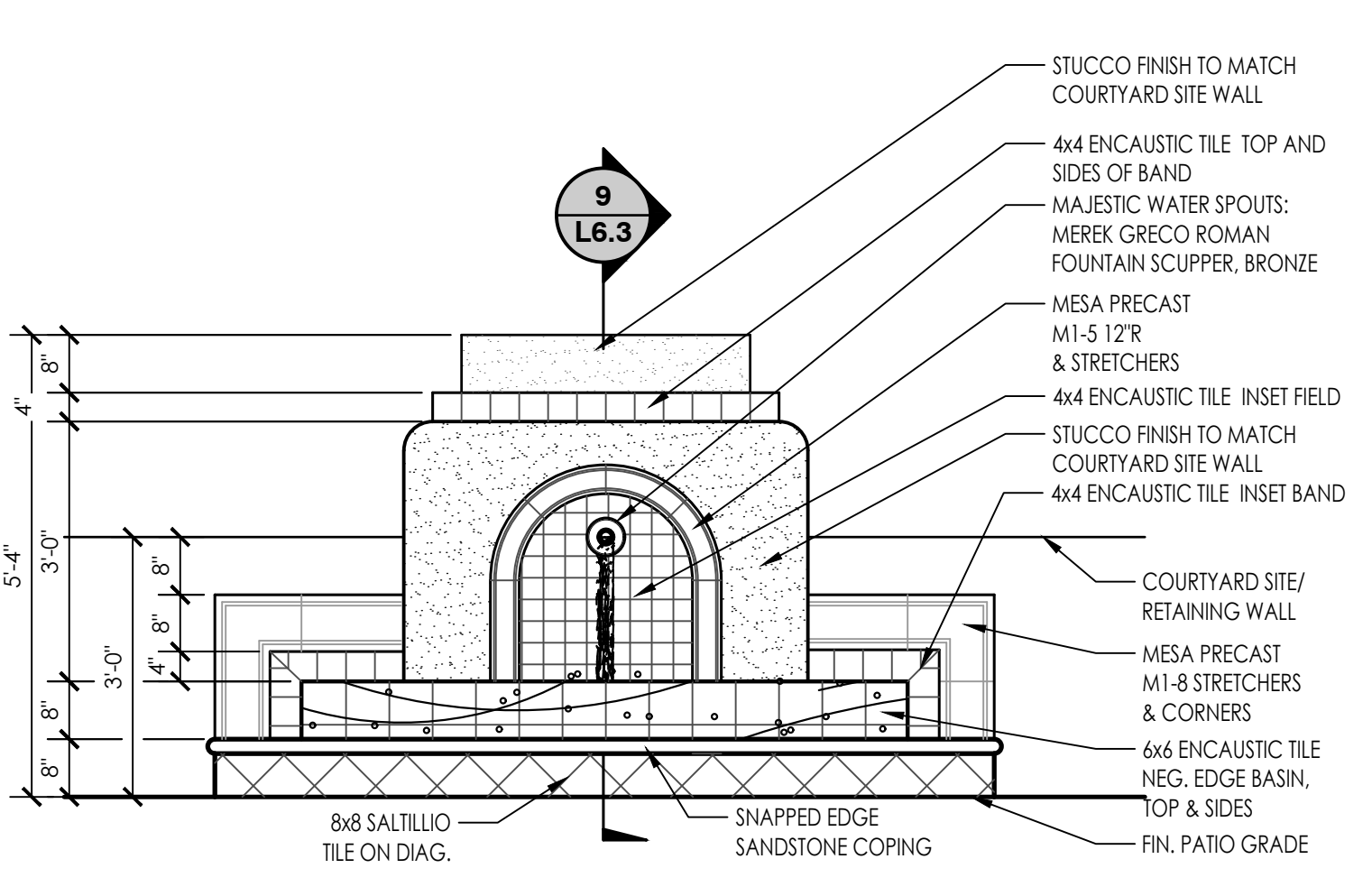
4 SWIMMING POOL - PLAN
SCALE: 1/4" = 1'-0"
REFERENCE NOTE(S): 07-02-01



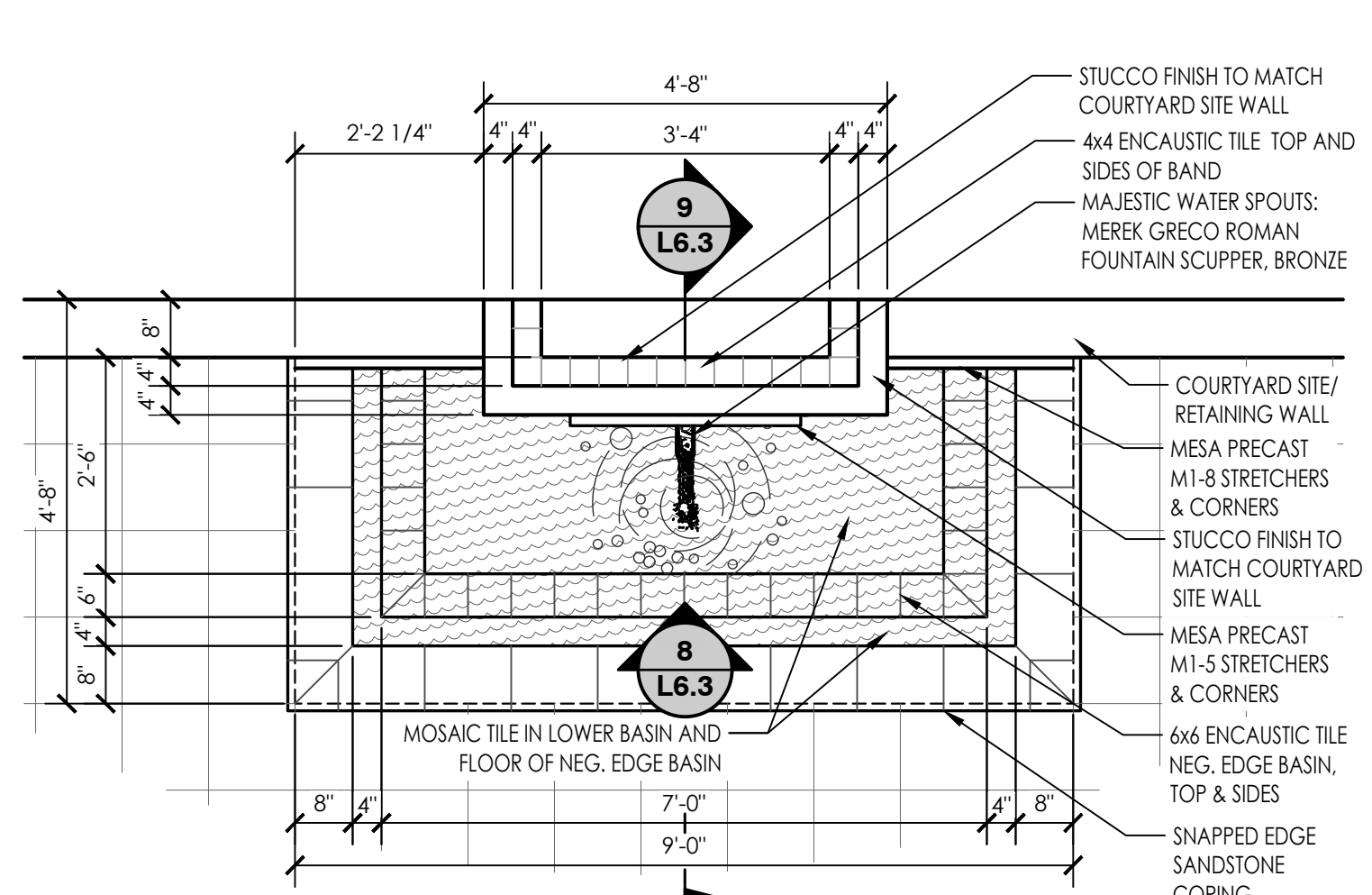
10 GARAGE PEDESTRIAN GATE - ELEVATION
SCALE: 1/2" = 1'-0"
REFERENCE NOTE(S):
L6.3



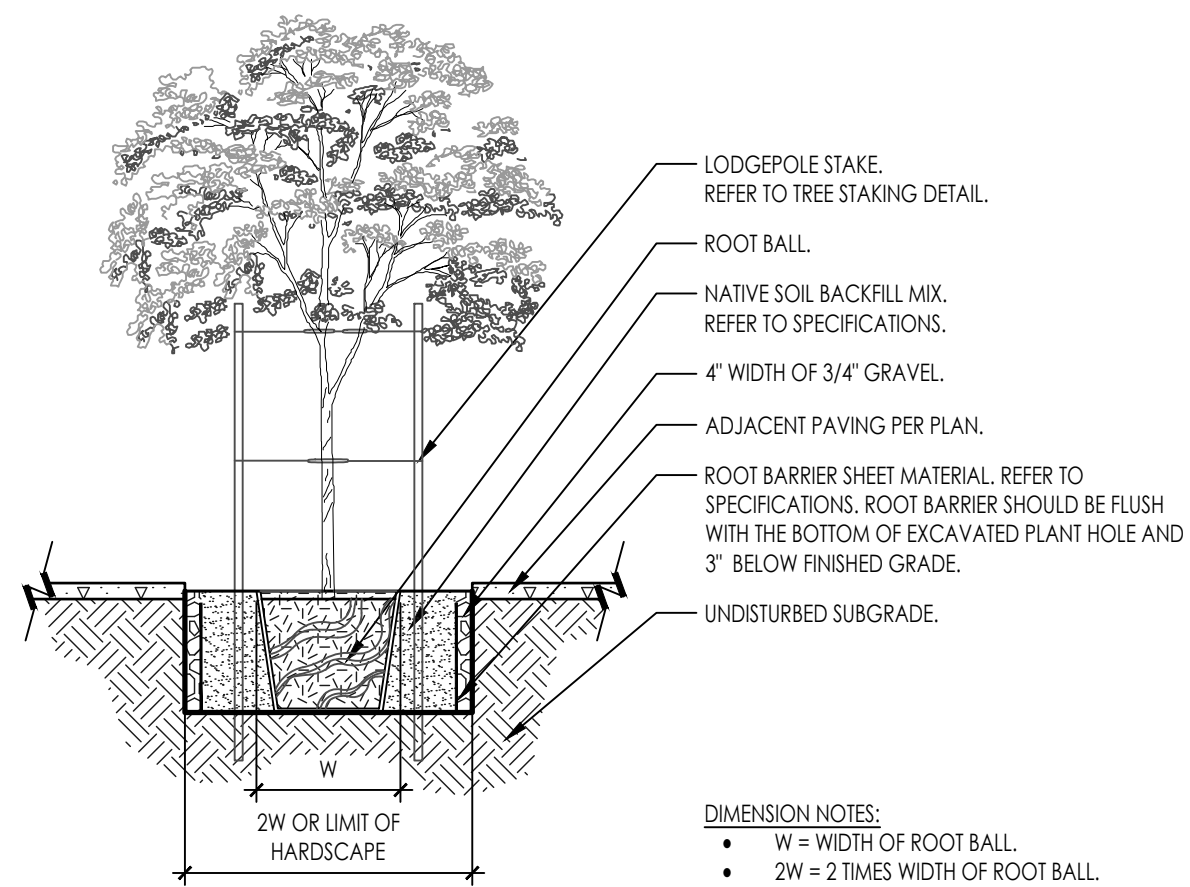
9 COURTYARD WATER FEATURE - SECTION
SCALE: 1/2" = 1'-0"
REFERENCE NOTE(S):
L6.3



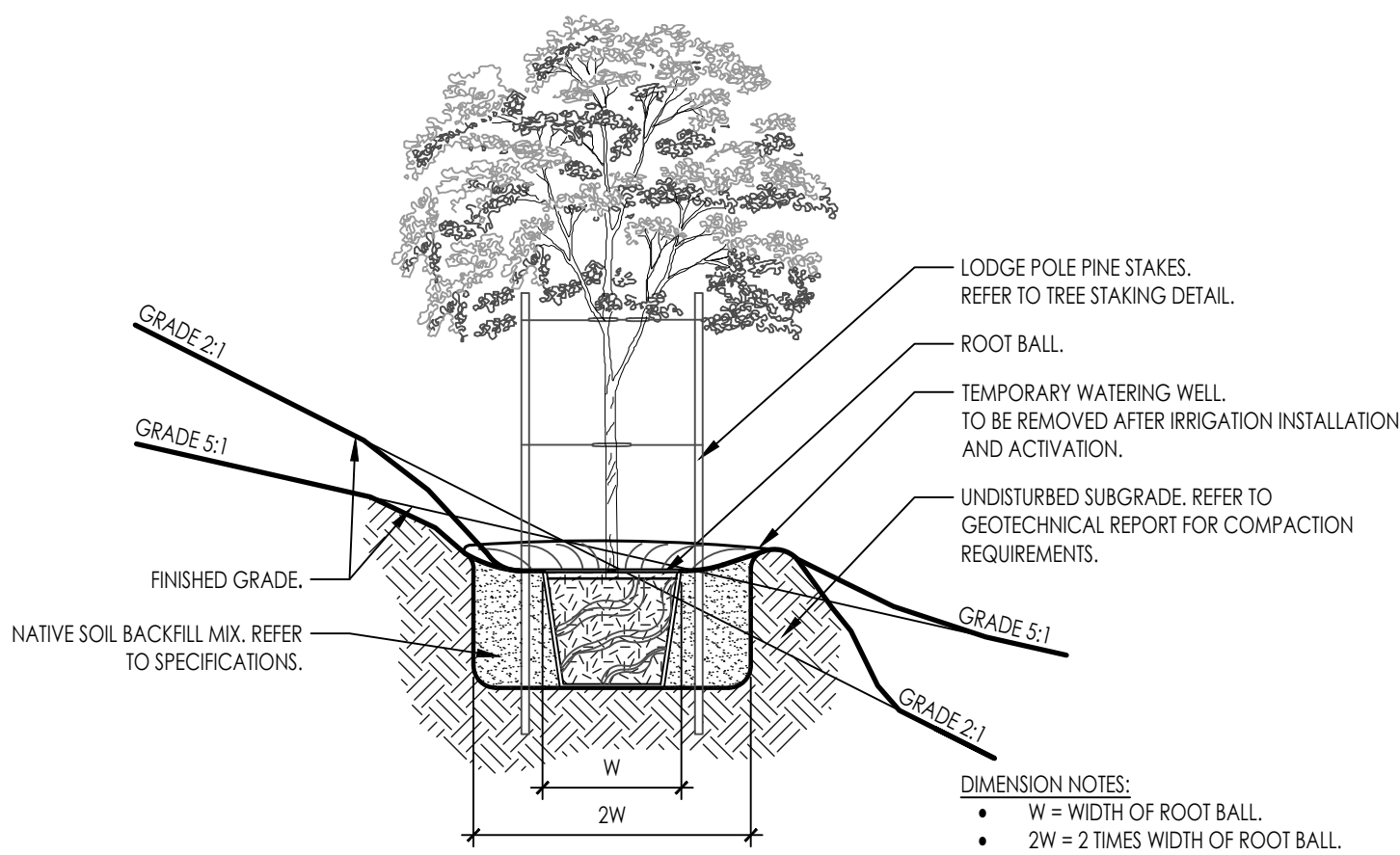
8 COURTYARD WATER FEATURE - FRONT ELEVATION
SCALE: 1/2" = 1'-0"
REFERENCE NOTE(S):
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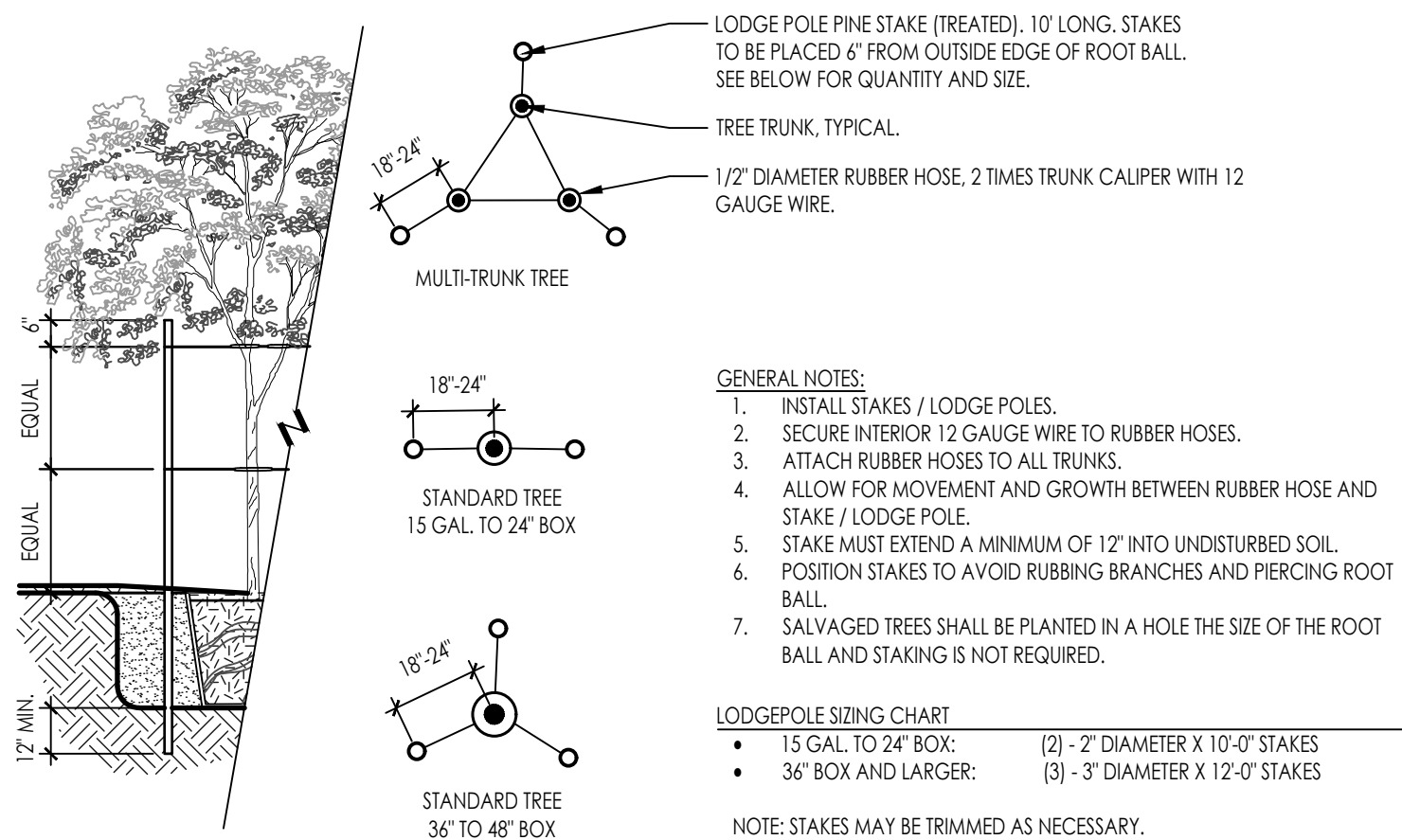
7 COURTYARD WATER FEATURE - PLAN
SCALE: 1/2" = 1'-0"
REFERENCE NOTE(S): 07-01-01



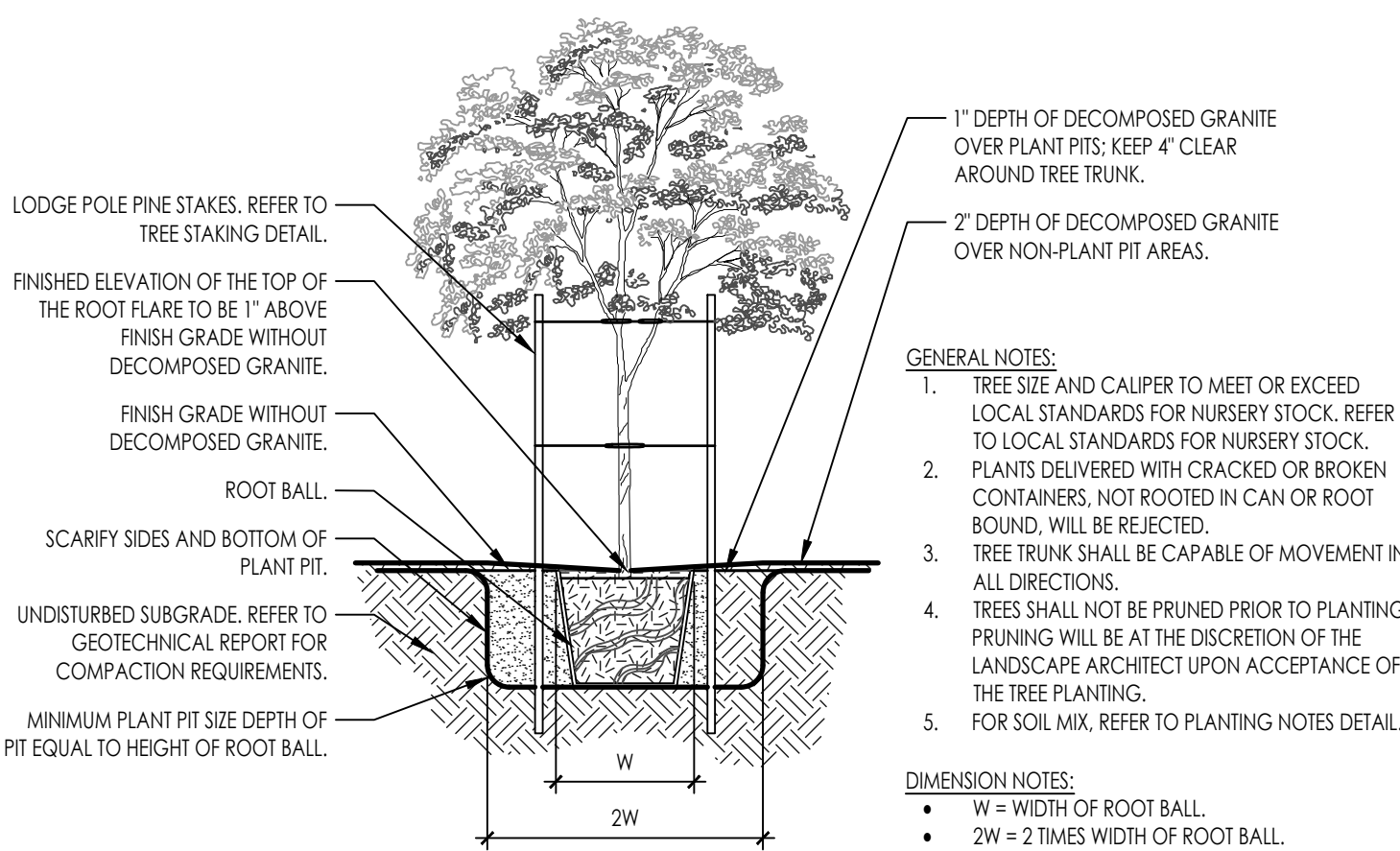
4 ROOT BARRIER DETAIL
SCALE: NTS



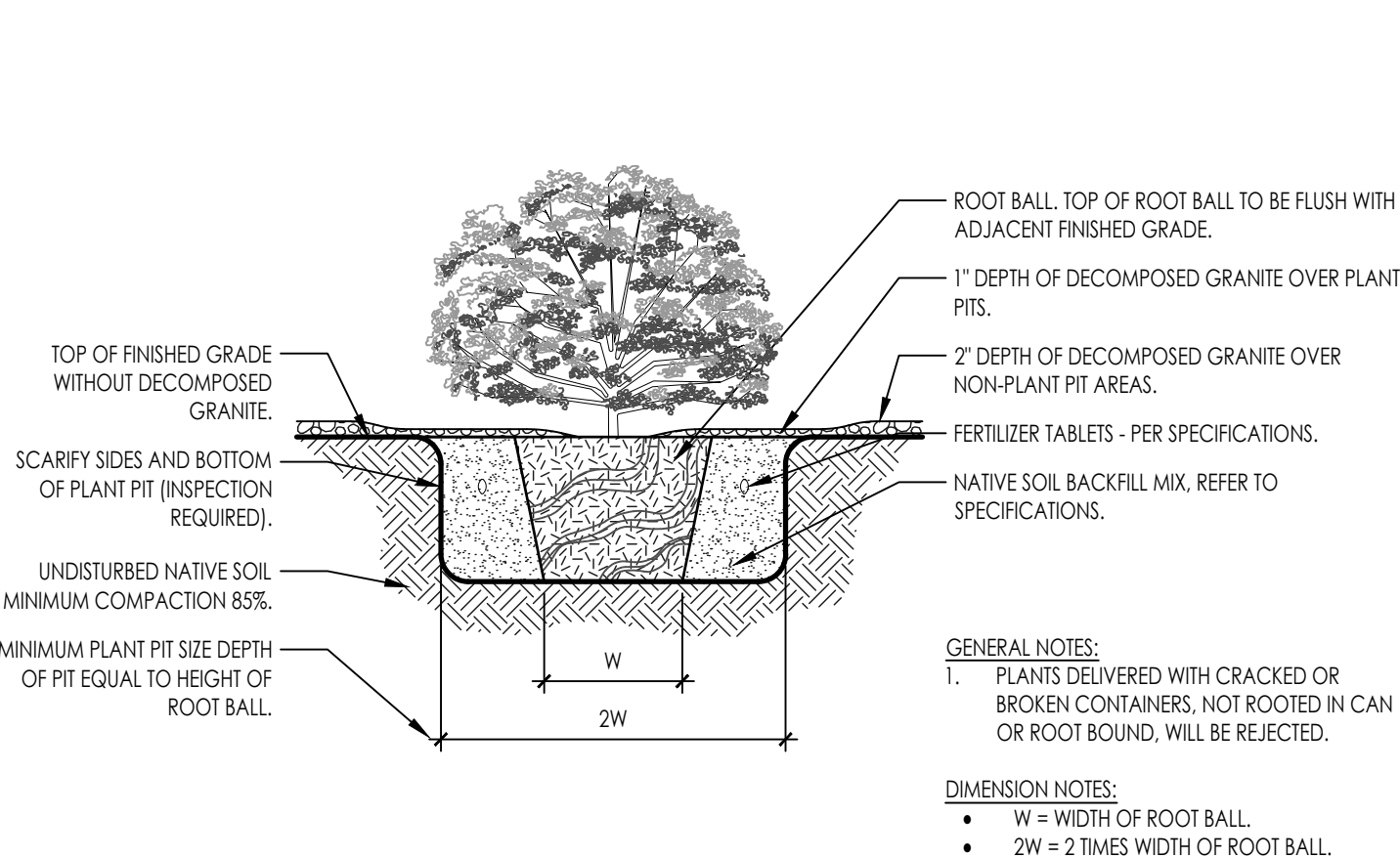
3 TREE PLANTING ON SLOPE DETAIL
SCALE: NTS



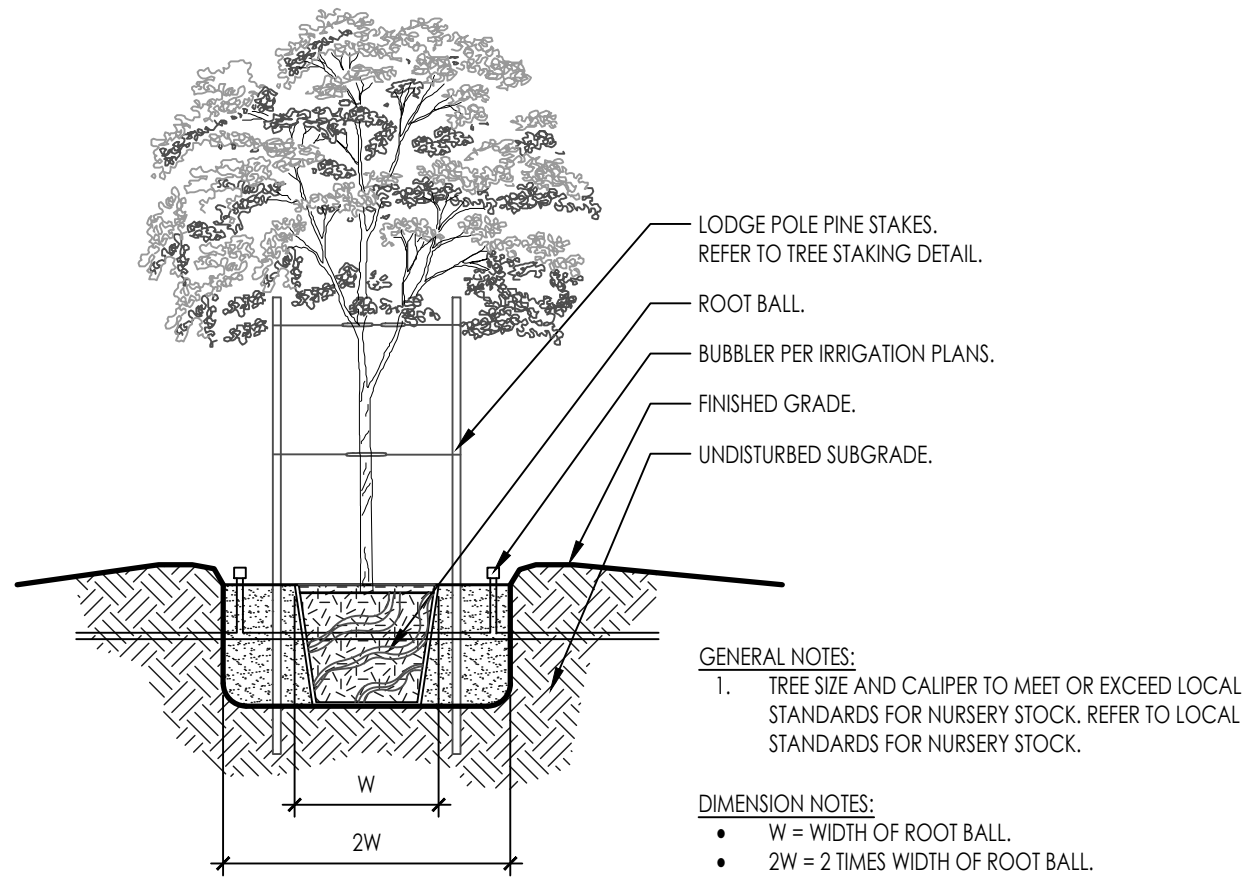
2 TREE STAKING DETAIL
SCALE: NTS



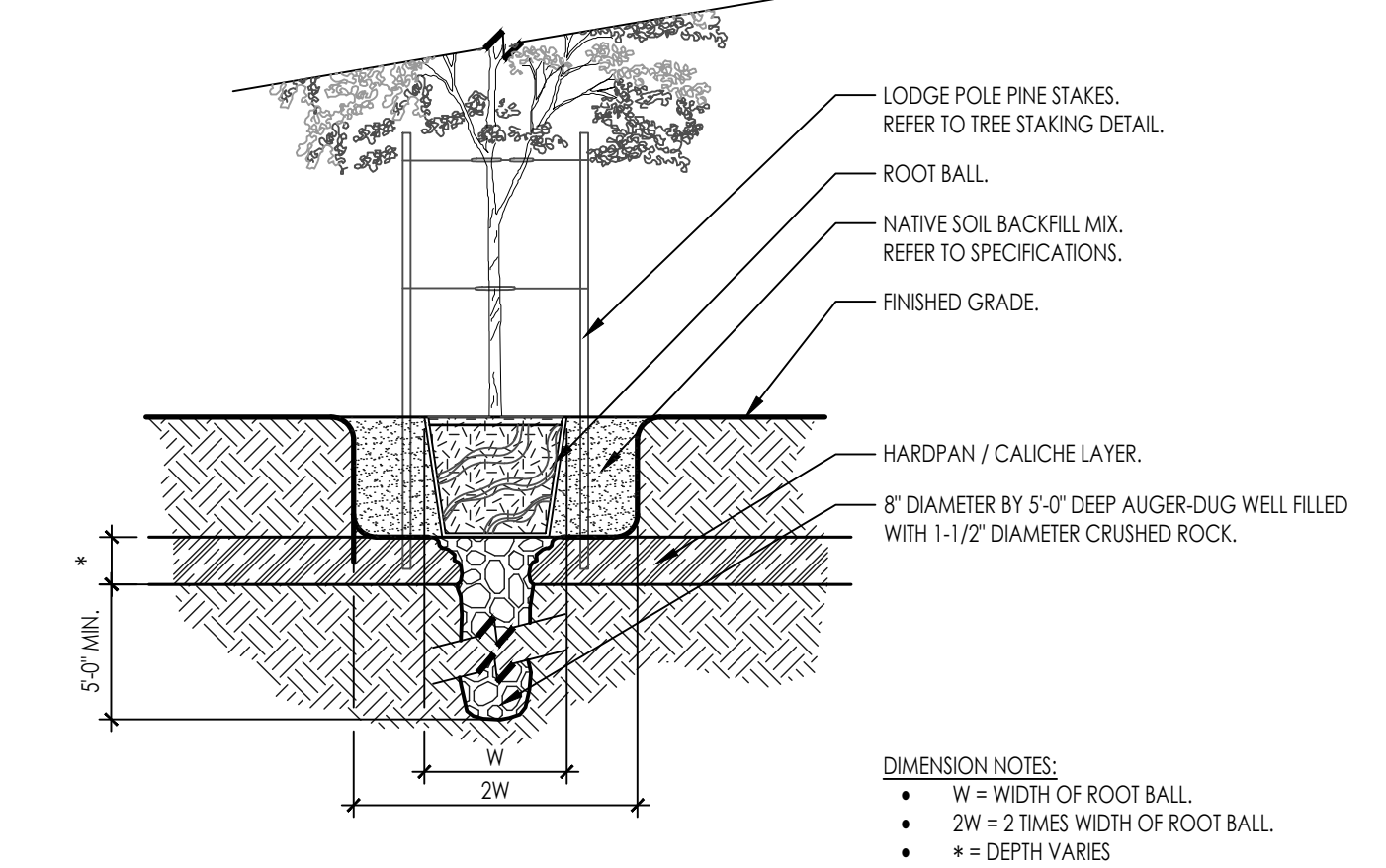
1 TREE PLANTING DETAIL
SCALE: NTS



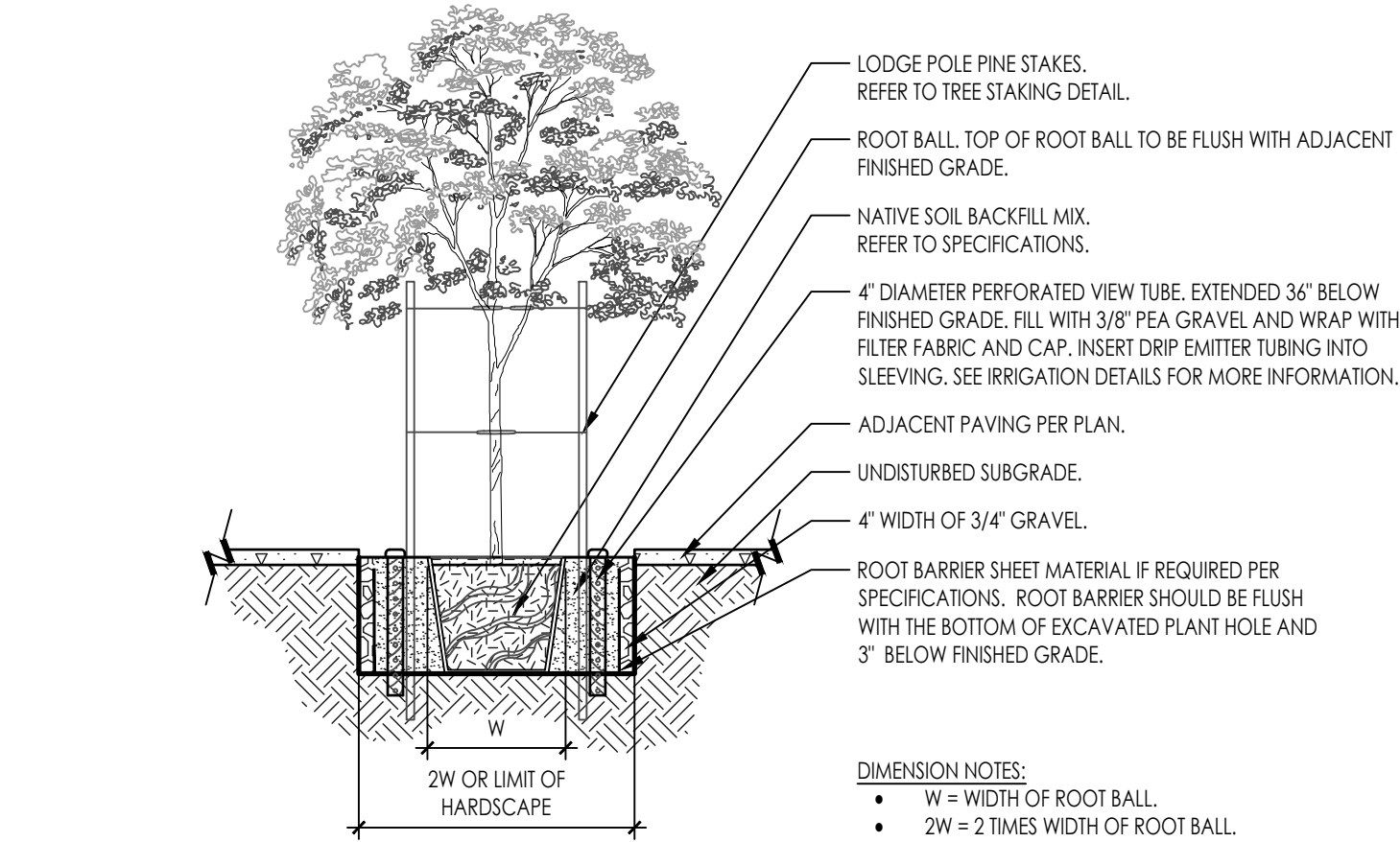
8 SHRUB PLANTING DETAIL
SCALE: NTS



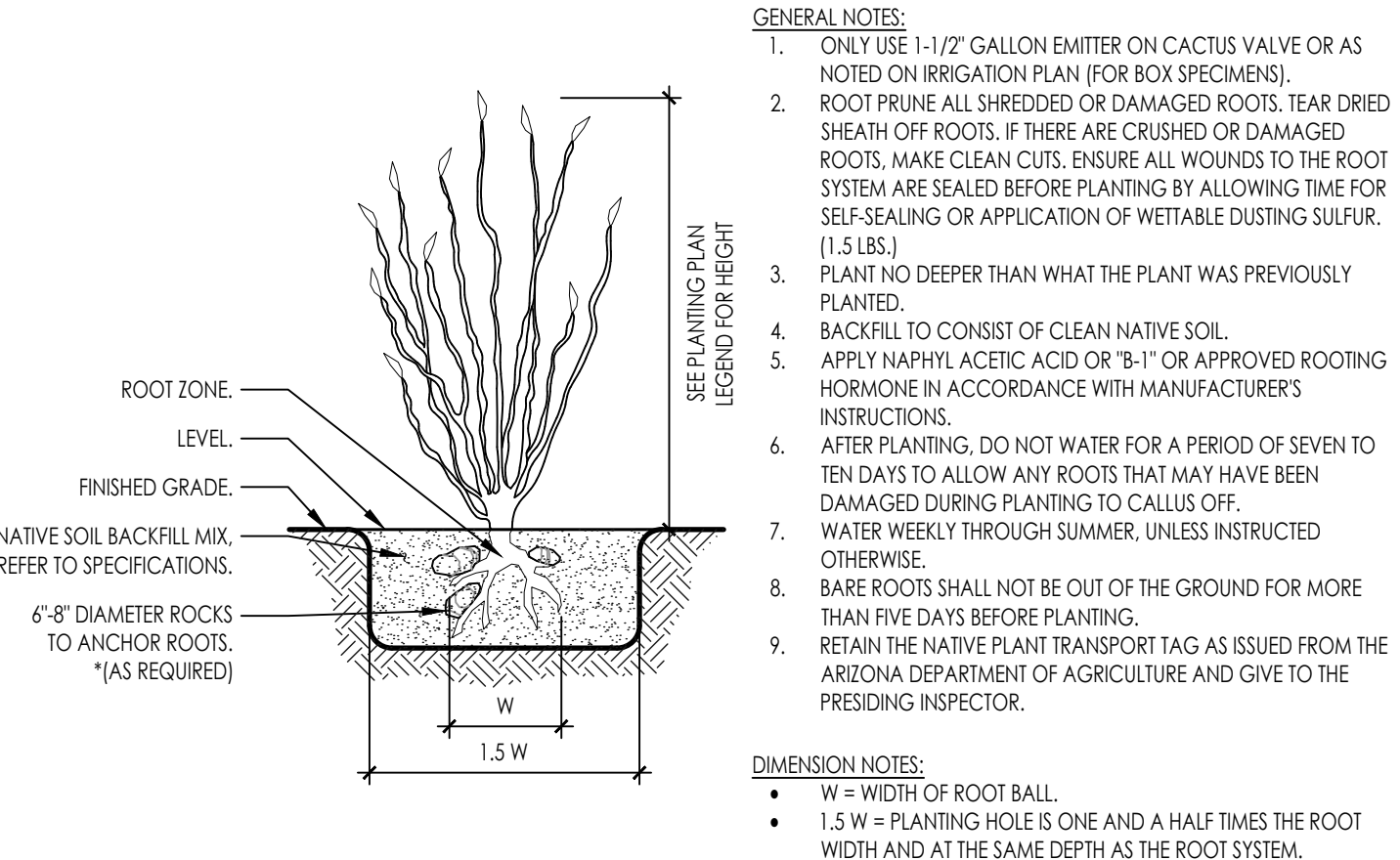
7 CITRUS PLANTING DETAIL
SCALE: NTS



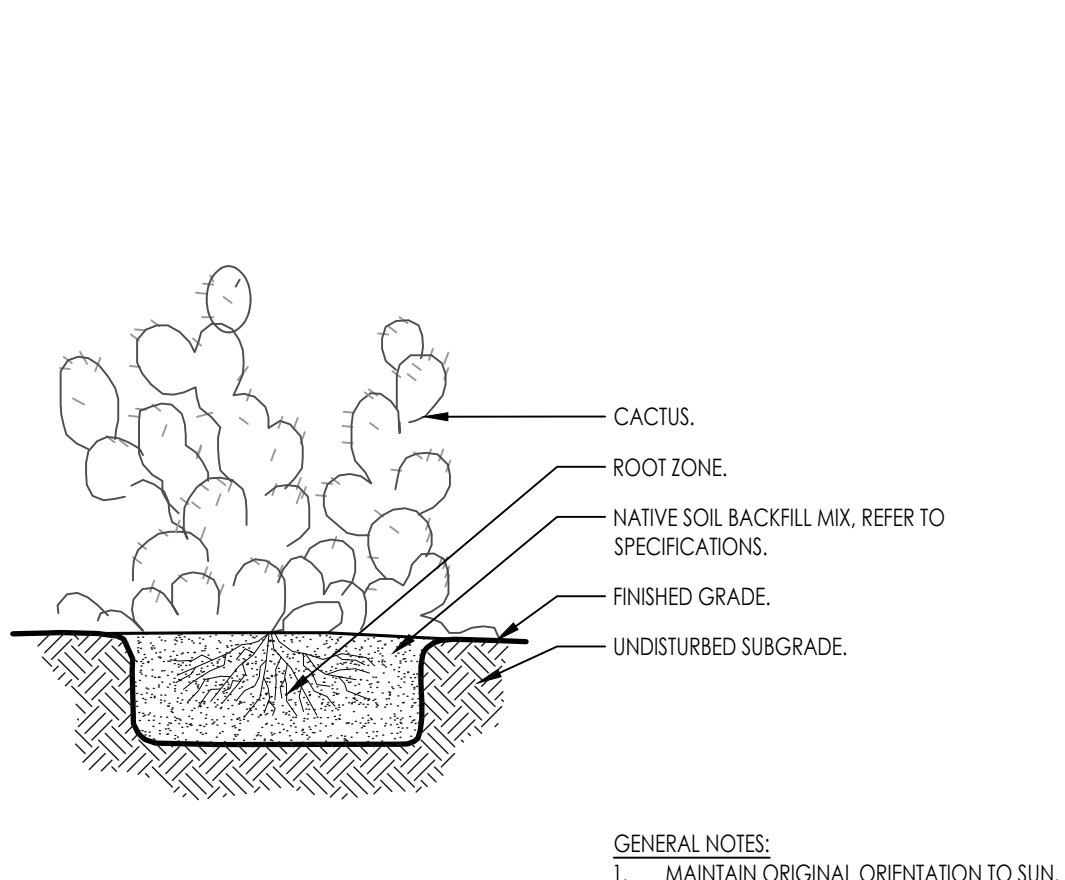
6 HARDPAN TREE PLANTING DETAIL
SCALE: NTS



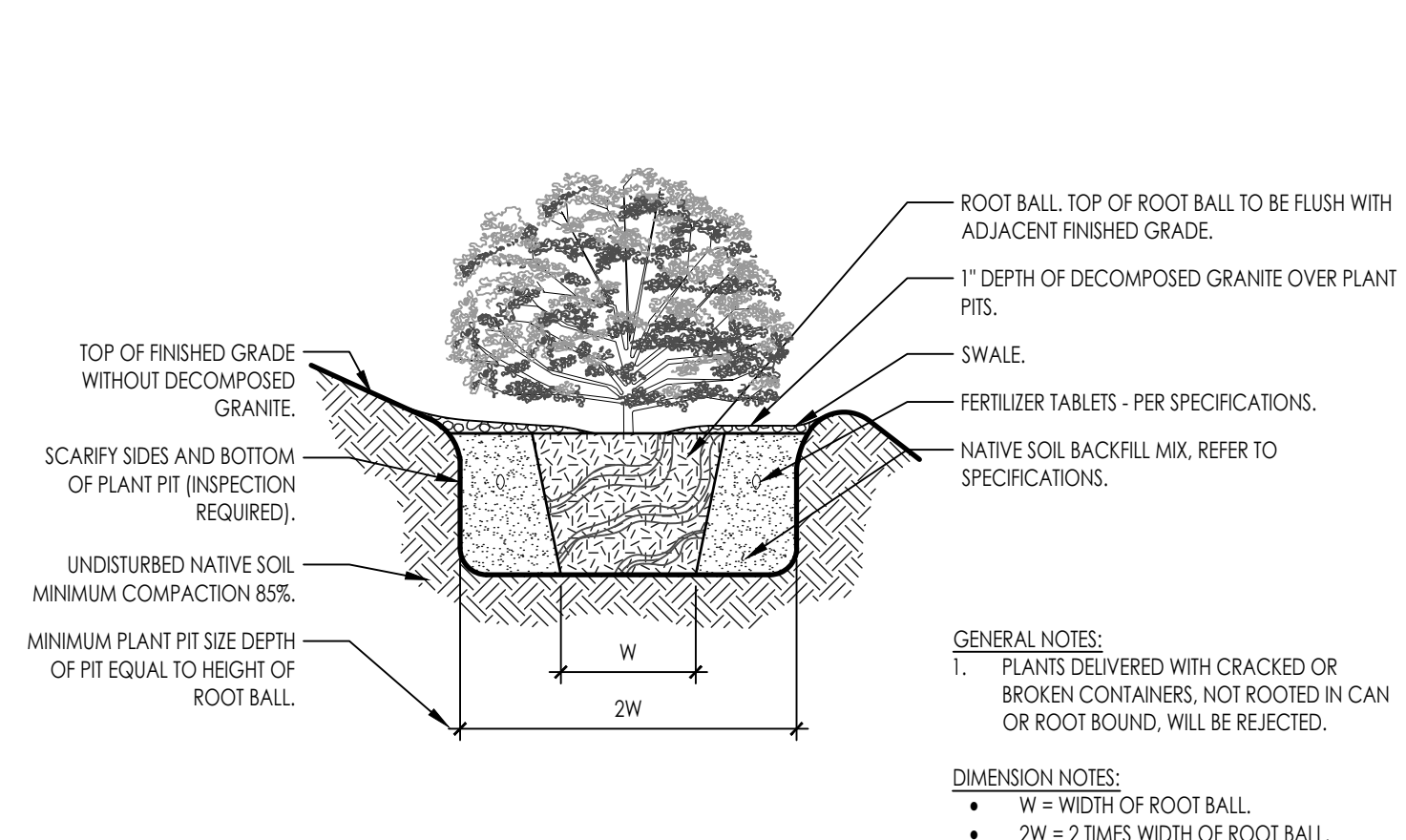
5 TREE DEEP ROOT WATERING DETAIL
SCALE: NTS



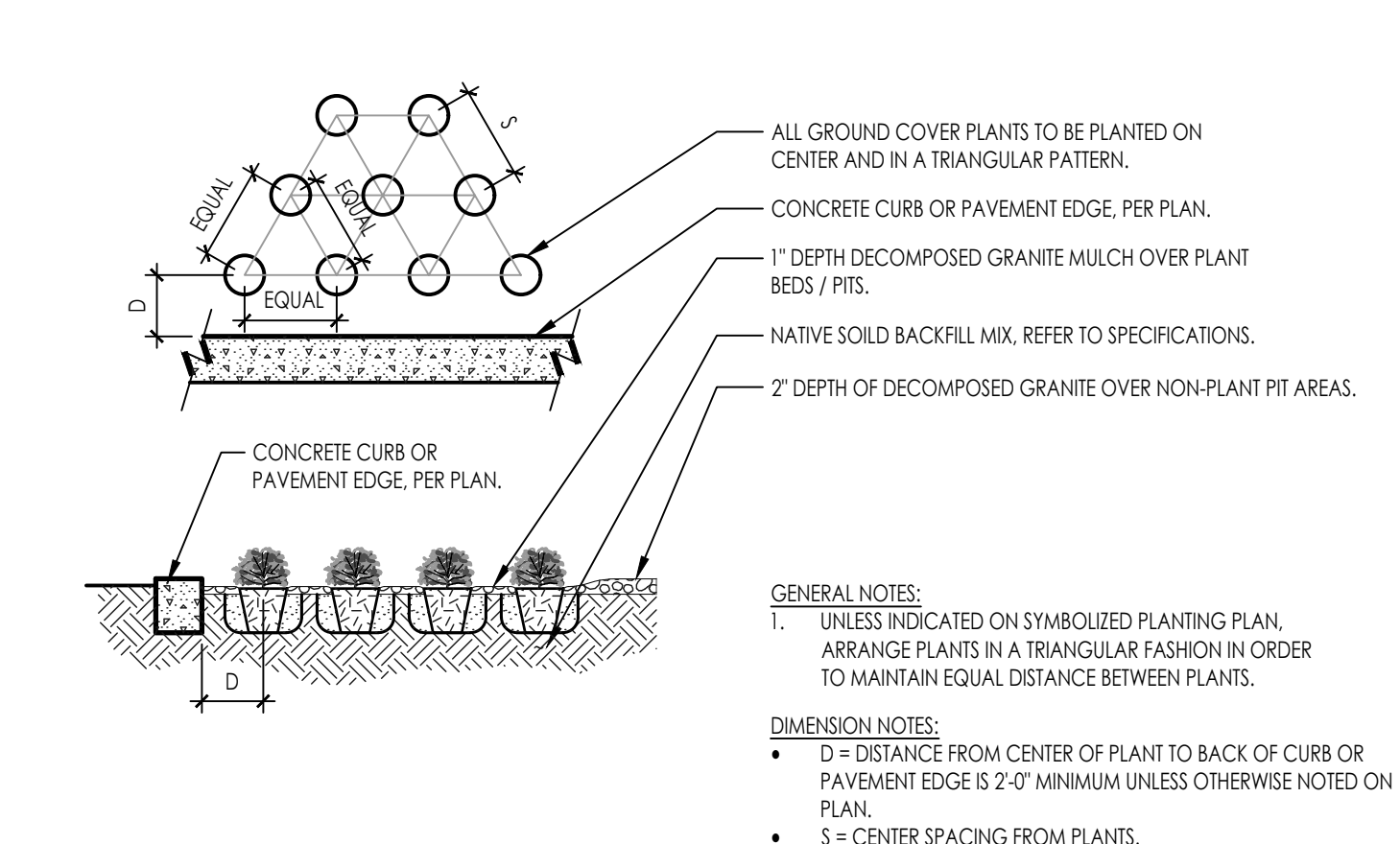
12 Ocotillo PLANTING DETAIL
SCALE: NTS



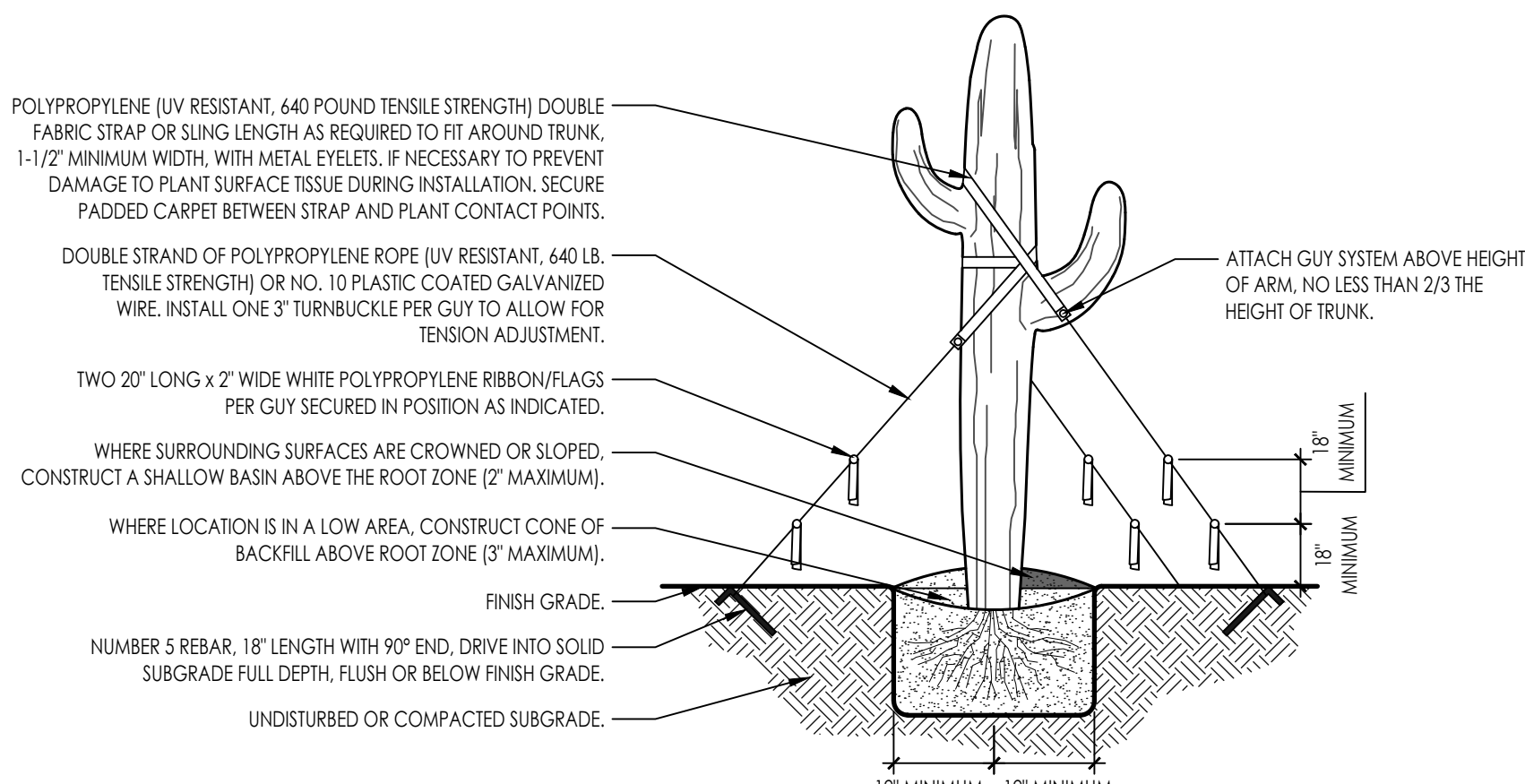
11 BARE ROOT CACTUS PLANTING DETAIL
SCALE: NTS



10 SHRUB PLANTING ON SLOPE DETAIL
SCALE: NTS
REFERENCE NOTE(S):



9 PLANT SPACING DETAIL
SCALE: NTS



13 SAGUARO PLANTING DETAIL
SCALE: NTS

INSTALLATION PROCEDURE:
1. CLEANLY CUT AND REMOVE ANY DAMAGED ROOTS. SPRAY ALL ROOT SURFACES WITH AN APPLICATION OF STREPTOMYCIN AND IMMEDIATELY APPLY TO WET SURFACES AN APPLICATION OF DUSTING SULFUR.
2. EXCAVATE OR AUGER PLANT PIT WITH SOLID VERTICAL SIDES, PROVIDE A MINIMUM 6" CLEARANCE FROM ENDS AND ROOTS.
3. SET AND BALANCE PLANT ON A FIRM BED OF BACKFILL, (8" MINIMUM DEPTH).
4. PLACE AND COMPACT FIRST LIFT OF BACKFILL AROUND ROOTS ELIMINATING ALL VOIDS. PLANT SHOULD BALANCE WITHOUT SUPPORT.
5. INSTALL AND COMPACT REMAINING BACKFILL IN 6" MAXIMUM DEPTH LIFT(S) TO FINISH GRADE AS SHOWN.
6. INSTALL GUY SYSTEMS TO SECURE POSITION AND PREVENT UPPER MOVEMENT OF PLANT (MINIMUM 3 PER PLANT) SPACED AT 120°. MAINTAIN ALL GUYING SYSTEM COMPONENTS FOR A MINIMUM PERIOD OF ONE YEAR UNLESS OTHERWISE DIRECTED.
7. DO NOT WATER UNTIL 3 WEEKS AFTER PLANTING.
8. RETAIN THE NATIVE PLANT TRANSPORT TAG AS ISSUED FORM THE ARIZONA DEPARTMENT OF AGRICULTURE AND GIVE TO THE PRESIDING INSPECTOR.

PLANTING SPECIFICATIONS:

PART 1 - GENERAL

1.01 - WORK INCLUDED, BUT NOT LIMITED TO:

- LANDSCAPE FINISH GRADING.
- SOIL PREPARATION
- TREE SUPPORTS
- PLANTING
- WATERING
- MAINTENANCE

DEFINITIONS:

OWNER'S REPRESENTATIVE - AN AUTHORIZED AGENT DETERMINED BY OWNER TO ACT ON THEIR BEHALF. IN SOME CASES THE LANDSCAPE ARCHITECT MAY BE THE OWNER REPRESENTATIVE AS OUTLINED IN THESE SPECS.

PLANT MATERIAL - ALL TREES, SAGUAROS, OCOTILLOS, PALMS, SHRUBS, CACTI, GROUND COVER, AND OTHER PLANTS.

1.02 - RELATED WORK

CONTRACTOR: MINIMUM 5 YEARS EXPERIENCE IN SUPPLY AND INSTALLATION OF LANDSCAPE MATERIALS. A FOREMAN WITH A MINIMUM OF 5 YEARS EXPERIENCE IN RELATED WORK SHALL BE ON SITE AT ALL TIMES.

1.03 - SOURCE QUALITY CONTROL

- o. PROVIDE CERTIFICATES OF INSPECTION FOR ALL MATERIALS AS REQUIRED BY LAW OR REGULATION.
- b. PACKAGE STANDARD MATERIALS WITH MANUFACTURERS CERTIFIED ANALYSIS. PROVIDE ANALYSIS BY RECOGNIZED LABORATORY MADE IN ACCORDANCE WITH METHODS ESTABLISHED BY THE ASSOCIATION OF OFFICIAL CHEMISTS FOR ALL OTHER MATERIAL.
- c. PROVIDE TREES AND SHRUBS GROWN IN A RECOGNIZED NURSERY IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICE. PROVIDE HEALTHY, UNDAMAGED, VIGOROUS STOCK GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO CONDITIONS AT PROJECT SITE AND FREE OF DISEASE, INSECTS, EGGS, LARVAE AND DEFECTS SUCH AS SUN-SCALD, KNOTS, INJURIES, ABRASIONS OR DISFIGUREMENTS. PROVIDE TREES AND SHRUBS OF THE SIZES INDICATED. TREES AND SHRUBS OF SIZES LARGER THAN THOSE INDICATED MAY BE USED PROVIDED ROOTS, ROOT BALL, STAKING AND PLANTING PITS ARE INCREASED PROPORTIONATELY.

1.04 - REFERENCE STANDARDS

- o. PROJECT'S CITY / COUNTY / STATE REFERENCED REGULATIONS FOR NURSERY GROWN PLANT MATERIAL, MOST CURRENT EDITION.
- b. STATE OF ARIZONA, ARIZONA NURSERY ASSOCIATION, CONTAINER GROWN TREE GUIDE, MOST CURRENT EDITION.
- c. STATE OF CALIFORNIA, DEPARTMENT OF FOOD AND AGRICULTURE, REGULATIONS FOR NURSERY INSPECTIONS, RULES AND GRADING, MOST CURRENT EDITION.
- d. STATE OF FLORIDA, FLORIDA DEPARTMENT OF AGRICULTURE, GRADES AND STANDARDS FOR NURSERY STOCK, MOST CURRENT EDITION.
- e. STATE OF NEVADA, NEVADA DEPARTMENT OF AGRICULTURE, PLANT HEALTH AND COMPLIANCE NURSERY REGULATIONS, MOST CURRENT EDITION.
- f. STATE OF IDAHO, IDAHO NURSERY AND LANDSCAPE ASSOCIATION, MOST CURRENT EDITION.
- g. ANSI Z60.1 AMERICAN STANDARD FOR NURSERY STOCK, MOST CURRENT EDITION.

1.05 - SAMPLES

SUBMIT THE FOLLOWING MATERIAL SAMPLES TO OWNER'S REPRESENTATIVE A MINIMUM OF 48 HOURS PRIOR TO START OF WORK.

- o. TOPSOIL FOR BACKFILL MIX (TREES AND SHRUBS).
- b. WOOD SHAVINGS/MULCH.
- c. TREE SUPPORTS.
- d. DECOMPOSED GRANITE / MULCH.
- e. BOULDERS.

THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO TAKE AND ANALYZE SAMPLES OF MATERIALS FOR CONFORMITY TO SPECIFICATION AT ANY TIME. FINISH SAMPLES UPON REQUEST BY OWNER'S REPRESENTATIVE. REJECTED MATERIALS SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND REPLACED AT THE CONTRACTOR'S ADDITIONAL EXPENSE.

SUBMIT SAMPLES OF DECOMPOSED GRANITE FOR APPROVAL OF GRADUATION AND COLOR. SAMPLE SHALL BE REPRESENTATIVE OF VARIATIONS WITHIN SIZE AND COLOR TO BE PROVIDED.

1.06 - PRODUCT DATA

SUBMIT TO OWNER'S REPRESENTATIVE A MINIMUM OF 48 HOURS PRIOR TO START OF WORK MANUFACTURERS COMPREHENSIVE PRODUCT DESCRIPTION, INCLUDING SPECIFICATIONS AND INSTALLATION INSTRUCTIONS.

1.07 - CERTIFICATES AND TEST REPORTS

PROVIDE AND PAY FOR ALL MATERIALS TESTING. TESTING AGENCY SHALL BE ACCEPTABLE TO THE LANDSCAPE ARCHITECT. SUBMIT TO OWNER'S REPRESENTATIVE A MINIMUM OF 48 HOURS PRIOR TO START OF WORK 2 COPIES OF CERTIFICATES OF INSPECTION AS REQUIRED BY GOVERNMENTAL AUTHORITIES, AND MANUFACTURERS' VENDORS CERTIFIED ANALYSIS FOR SOIL AMENDMENTS, FERTILIZER MATERIALS, AND CHEMICALS. SUBMIT OTHER DATA SUBSTANTIATION THAT MATERIALS COMPLY WITH SPECIFIED REQUIREMENTS. CERTIFICATES ARE REQUIRED TO DETERMINE THE QUALITY AND QUANTITY OF ALL SPECIFIED SOIL AMENDMENTS.

MATERIALS CERTIFICATION TO BE SUBMITTED INCLUDE, BUT ARE NOT LIMITED TO: TOPSOIL SOURCE AND NUTRIENT ANALYSIS, MULCH, FERTILIZERS/SOIL AMENDMENTS/CHEMICALS. TEST REPRESENTATIVE MATERIAL SAMPLES PROPOSED FOR USE. PROVIDE THE FOLLOWING DATA:

- o. TOPSOIL AND PLANTING BACKFILL.
- b. SOIL PH.
- c. PARTICLE SIZE, PERCENTAGE SOIL TEXTURE.
- d. PERCENTAGE ORGANIC MATERIAL.
- e. PERCOLATION RATE.
- f. NUTRIENT LEVEL ANALYSIS.
- g. ALL MACRO, SECONDARY AND MICRO NUTRIENT SALINITY.
- h. ESP.
- i. FREE LIME.

RECOMMENDATIONS ON TYPE AND QUANTITY OF AMENDMENTS REQUIRED TO BRING LEVELS INTO ACCEPTABLE RANGES AS DETAILED IN PART 2 - PRODUCTS OF MATERIALS OF THESE SPECIFICATIONS.

SEPARATE RECOMMENDATIONS TO BE SUBMITTED FOR EACH CROP. CROP TO BE IDENTIFIED AS:

- o. IRRIGATED TREES AND SHRUBS.
- b. TURF.

1.08 - MAINTENANCE DATA

SUBMIT TO OWNER'S REPRESENTATIVE 2 COPIES OF TYPEWRITTEN INSTRUCTIONS, PRIOR TO EXPIRATION OF THE INITIAL MAINTENANCE PERIOD, RECOMMENDING PROCEDURES TO BE FOLLOWED BY THE OWNER FOR THE MAINTENANCE OF LANDSCAPE WORK FOR ONE FULL YEAR.

1.09 - PRODUCT DELIVERY, STORAGE AND HANDLING

DELIVER PACKAGED MATERIAL IN CONTAINERS SHOWING WEIGHT, ANALYSIS AND IDENTIFICATION OF MANUFACTURER. PROTECT MATERIALS FROM DETERIORATION AT ALL TIMES.

PROVIDE PROTECTIVE COVERS TO PLANT LIFE AND TREES DURING DELIVERY. DO NOT PRUNE TREES PRIOR TO DELIVERY. DO NOT BEND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO CAUSE DAMAGE OR DESTROY SHAPE. DELIVER MATERIALS AFTER PREPARATION FOR PLANTING HAVE BEEN COMPLETED. PLANT IMMEDIATELY. IF PLANTING IS DELAYED FOR MORE THAN 6 HOURS AFTER DELIVERY, SET PLANT MATERIAL IN SHADE, PROTECT FROM WEATHER AND MECHANICAL DAMAGE AND KEEP ROOTS MOIST.

DO NOT REMOVE CONTAINER GROWN STOCK INCLUDING GROUND COVER, FROM CONTAINERS UNTIL PLANTING TIME.

1.10 - SITE CONDITIONS

DETERMINE LOCATION OF UNDERGROUND UTILITIES. EXECUTE WORK AS REQUIRED TO PREVENT DAMAGE.

MAINTAIN GRADE STAKES SET BY OTHERS UNTIL DIRECTED OTHERWISE.

PROTECT ALL EXISTING PLANT LIFE NOT SCHEDULED FOR REMOVAL. IF ANY PLANT MATERIAL THAT IS TO REMAIN IS DAMAGED, THE CONTRACTOR, AT HIS EXPENSE, WILL PAY FOR A REPLACEMENT PLANT OF THE SAME SIZE AND SPECIES (TO BE APPROVED BY OWNERS REPRESENTATIVE).

PROTECT EXISTING UTILITIES, PAVING AND OTHER FACILITIES FROM DAMAGE DURING LANDSCAPING OPERATION.

COORDINATE WITH OTHER CONTRACTORS.

1.11 - WARRANTY

SUBMIT WARRANTY TO OWNER'S REPRESENTATIVE.

TREES, PALM TREES, SAGUAROS AND OCOTILLOS:

WARRANT THAT TREES, PALM TREES, SAGUAROS AND OCOTILLOS WILL BE ALIVE AND IN GOOD HEALTH FOR A PERIOD OF 1 YEAR AFTER ACCEPTANCE EXCEPT FOR DEFECTS RESULTING FROM NEGLECT BY OWNER, ABUSE OR DAMAGE BY OTHERS.

OWNER MUST FOLLOW CONTRACTOR'S MAINTENANCE SCHEDULE AND PROVIDE CURRENT MAINTENANCE LOG TO OWNER'S REPRESENTATIVE.

REMOVE AND REPLACE DEAD, UNHEALTHY OR GIRDLED TREES, PALM TREES, SAGUAROS AND OCOTILLOS THAT LOSE ORIGINAL FORM AND SIZE DURING WARRANTY PERIOD WITH MATERIAL EQUAL TO THAT SPECIFIED. REPLACE ANY MATERIAL WHICH DOES NOT MEET REQUIREMENTS WITHIN FIFTEEN DAYS OF NOTIFICATION. ALL REPLACEMENT TREES, PALM TREES, SAGUAROS AND OCOTILLOS SHALL BE SUBJECT TO AN ADDITIONAL ONE-YEAR MAINTENANCE PERIOD.

SHRUBS AND OTHER PLANTINGS:

GUARANTEE ALL OTHER PLANTING WILL BE ALIVE AND IN SATISFACTORY CONDITION FOR A PERIOD OF 90 DAYS FROM DATE OF ACCEPTANCE OR WILL BE REPLACED AT NO ADDITIONAL COST TO THE OWNER. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY, STURDY CONDITION DURING THE WARRANTY PERIOD BY THE CONTRACTOR.

ALL REPLACEMENT PLANTS, INCLUDING SHRUBS, CACTI, GROUNDCOVERS, VINES AND PERENNIALS SHALL BE SUBJECT TO AN ADDITIONAL 90-DAY MAINTENANCE PERIOD.

PART 2 - PRODUCTS AND MATERIALS

2.01 - FILL MATERIALS

PROVIDE DRY, LOOSE MATERIAL FOR FILL, BACKFILL, PLANTING BACKFILL AND TOPSOIL FOR PLANTER BEDS. FROZEN OR MUDDY SOILS ARE NOT ACCEPTABLE. SALTS NOT TO EXCEED 1500 PPM, AND MATERIAL SHALL BE FREE OF DEBRIS, NOXIOUS WEEDS, INGREDIENTS OR OBJECTS DETRIMENTAL TO HEALTHY PLANT GROWTH. TOPSOIL: SCREENED, FERTILE, FRABLE, FROM WELL DRAINED ARABLE LAND, FREE OF HUT GRASS, REFUSE, ROOTS, HEAVY CLAY, NOXIOUS WEEDS OR ANY MATERIAL TOXIC TO PLANT GROWTH; CONTENTS AS FOLLOWS:

- a. SILT: 20-45 %
- b. CLAY: 15-20 %
- c. SAND: 30-40 %
- d. ORGANIC MATERIAL (NATURAL OR OTHERWISE): 2 % MINIMUM
- e. PH: 7.0-8.3
- f. SOLUBLE SALTS: 1,500 PPM.
- g. NUTRIENTS: ENOUGH TO BRING LEVELS UP TO ACCEPTABLE PLANT GROWTH.

PERCOLATION RATE SHALL BE BETWEEN 3 TO 4 INCHES PER HOUR. EXISTING TOP SOIL MAY BE USED PROVIDED IT MEETS THESE REQUIREMENTS.

2.02 - COMMERCIAL GRADE FERTILIZERS

AGRI-SUL, DISPER-SUL - USE ONLY FOR SULFUR AGRICULTURE GRADE GYPSUM

2.03 - SOIL AMENDMENTS

WOOD SHAVINGS: NITROGEN STABILIZED FIR OR PINE SHAVINGS CONTAINING 0.75% TOTAL NITROGEN AND 0.1 TO 0.15% TOTAL IRON, AND UNDER 60 PPM TOTAL MANGANESE. COMPOSTED, LEACHED AND ACED FOR A MINIMUM OF 10 TO 12 MONTHS; PH FACTOR, 4.0 TO 4.5. NO SOIL AMENDMENTS ARE REQUIRED FOR SALVAGED PLANT MATERIAL AND CACTI UNLESS OTHERWISE SPECIFIED.

2.04 - TREE SUPPORTS

TREE STAKES: COPPER NAPHTHENATE IMPREGNATED LODGE POLE 10 FEET IN LENGTH FOR 5 GALLON AND 15 GALLON, AND 12 FEET IN LENGTH FOR 24-INCH BOX AND LARGER. NO TREE STAKES ARE REQUIRED FOR SALVAGED PLANT MATERIAL.

TREE TIES: PROVIDE A MINIMUM OF TWO PER TREE; NO. 10 GAUGE, PLIABLE, ZINC COATED IRON WIRE. COVER WIRE WITH HOSE. COVER AS SPECIFIED, WHERE IT CONTACTS TREE.

HOSE COVERING: 1/2-INCH MINIMUM DIAMETER; 2-PLY REINFORCED RUBBER, NEW GARDEN HOSE.

TREE GUARDS: "ARBORGARD" BY DEEP ROOT, OR EQUAL.

TREE GUYS: MINIMUM 3 PER TREE; NO. 10 GALVANIZED WIRE. COVER WIRE WITH HOSE WHERE IT CONTACTS TREE FOR 24, 30 AND 36 BOX TREES.

ANCHORS (DEADMEN): 2-INCH X 4-INCH X 3 FEET LONG; CONSTRUCTION GRADE REDWOOD.

SIGNALS (FLAGS): FOR GUY WIRES, 1/2-INCH DIAMETER, WHITE OR ORANGE PLASTIC TUBING 5 FEET LONG OVER EACH GUY USED.

2.05 - HERBICIDES

PRE-EMERGENT AND CONTACT HERBICIDES: PRE-EMERGENT HERBICIDE SHALL BE SURFLAN AS MANUFACTURED BY DOW/ELANCO CHEMICAL COMPANY. CONTACT HERBICIDE SHALL BE ROUND-UP AS MANUFACTURED BY MONSANTO.

2.06 - PLANTING MATERIAL

- PLANT MATERIAL: HEALTHY, SHAPELY AND WELL ROOTED. ROOTS SHALL SHOW NO EVIDENCE OF HAVING BEEN RESTRICTED OR DEFORMED AT ANY TIME. ALL PLANTS SHALL BE REPRESENTATIVE OF THEIR NORMAL SPECIES AND VARIETY. THEY SHALL HAVE NORMALLY DEVELOPED BRANCH SYSTEMS. PLANTS SHALL BE FREE FROM DISFIGURING KNOTS, SUN SCALD INJURIES AND ABRASIONS OF BARK. PLANTS NOT MEETING THESE REQUIREMENTS SHALL BE CONSIDERED DEFECTIVE AND SHALL BE REPLACED IMMEDIATELY. ALL PLANTS SHALL BE TRUE TO NAME AND SHALL BE TAGGED, ONE OF EACH VARIETY. ALL PLANT MATERIAL SHALL BE GROWN IN NURSERIES INSPECTED BY THE STATE DEPARTMENT OF AGRICULTURE UNLESS OTHERWISE APPROVED BY THE OWNER'S REPRESENTATIVE.

- PROVIDE 'SPECIMEN' PLANTS WITH A SPECIAL HEIGHT, SHAPE OR CHARACTER. TAG AT THE SOURCE OF SUPPLY PRIOR TO NOTIFYING LANDSCAPE ARCHITECT FOR INSPECTION. THE LANDSCAPE ARCHITECT SHALL INSPECT SELECTIONS AT SOURCE OF SUPPLY FOR SUITABILITY AND ADAPTABILITY TO SELECTED LOCATION. WHEN SPECIMEN PLANTS CANNOT BE PURCHASED LOCALLY, PROVIDE SUFFICIENT PHOTOGRAPHS OF PROPOSED MATERIAL FOR APPROVAL.

- PLANTS MAY BE INSPECTED AND APPROVED AT PLACE OF GROWTH FOR COMPLIANCE WITH SPECIFICATION REQUIREMENTS FOR QUALITY, SIZE, AND VARIETY. SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION UPON DELIVERY AT THE SITE OR DURING THE PROGRESS OF THE WORK.

2.07 - TURF SOD

AS NOTED ON PLANS.

2.08 - DECOMPOSED GRANITE / MULCH

DECOMPOSED GRANITE COVERAGE SHALL BE A MINIMUM 2-INCH THICKNESS UNLESS NOTED OTHERWISE ON PLANS. DECOMPOSED GRANITE SHALL BE THE SIZE AND COLOR AS SPECIFIED ON PLANS, AND SHALL BE TAKEN FROM A SINGLE QUARRY. MULCH MUST BE 3-INCHES DEEP, UNLESS OTHERWISE NOTED. IN ALL PLANTING AREAS, KEEP THE MULCH AWAY FROM DIRECT CONTACT OF STEMS FROM PLANTS AND TREES TO PREVENT ROT AND PESTS. MULCH SHALL BE THE SIZE AND COLOR AS SPECIFIED ON PLANS, AND SHALL BE ORDERED FROM A SINGLE SOURCE.

2.09 - BOULDERS

BOULDERS ARE TO BE SURFACE SELECT OR AS NOTED ON THE PLANS. BOULDER SIZE AS NOTED ON THE PLANS AND APPROVED BY THE OWNER'S REPRESENTATIVE. BOULDERS ARE TO BE HARVESTED, DELIVERED AND PLACED IN A MANNER TO AVOID MARKING, SCRAPING OR DAMAGING THE NATURAL CONDITION OF THE BOULDER. ALL SCARRED BOULDERS ARE TO BE TREATED WITH PERMEON (OR EQUAL) TO PROVIDE A NATURAL APPEARANCE OF THE DESERT VARNISH. CONTRACTOR TO PROVIDE SAMPLES OF FINAL PRODUCT CONDITION FOR APPROVAL.

2.09 - SEED MIXTURE

AS NOTED ON PLANS, CONTRACTOR TO VERIFY PROVIDERS SPECIFICATION TO ACHIEVE INTENDED APPEARANCE.

PART 3 - EXECUTION

3.01 - GENERAL

INSTALL IN ACCORDANCE WITH THE METHODS, TECHNIQUES AND SPECIFICATIONS OF EACH REPRESENTATIVE MANUFACTURER. IF A CONFLICT OCCURS BETWEEN MANUFACTURERS AND THESE SPECIFICATIONS, CONSULT WITH OWNER'S REPRESENTATIVE FOR A DECISION.

DO NOT BEGIN PLANTING UNTIL THE IRRIGATION SYSTEM IS COMPLETELY INSTALLED, IS ADJUSTED FOR FULL COVERAGE AND IS COMPLETELY OPERATIONAL.

3.02 - BACKFILL, IMPORTED FILL OR ARTIFICIAL SOIL AND GRAVEL

INSPECT THE INTEGRITY OF ALL DAMP-PROOFING AND WATER-PROOFING MEMBRANES WHICH OCCUR OVER, ON OR AGAINST ANY CONSTRUCTION TO BE FULLY OR PARTIALLY CONCEALED BY EARTHWORK PRIOR TO THE PLACEMENT OF ANY IMPORTED SOIL, BACKFILL, GRAVEL FILL OR SUB-BASE.

CORRECT DEFECTS PRIOR TO PROCEEDING WITH THE WORK.

3.03 - TOPSOIL

IMPORT ADDITIONAL TOPSOIL ONLY AS REQUIRED TO BRING PLANTING AREAS UP TO FINISH GRADE. SPREAD AND CULTIVATE SOIL SO THAT NO SETTLING TAKES PLACE AT ANY TIME.

3.04 - LANDSCAPE FINE GRADING

ALLOW FOR THE ADDITION OF SOIL AMENDMENTS, CONDITIONERS AND ANY SPECIFIED TOP DRESSING WHEN DETERMINING AND EXECUTING FINISH GRADE.

SET FINISH GRADE 1-1/2 INCHES BELOW ADJACENT PAVING, CURB AND HEADERS FOR SHRUBS AND GROUND COVER BEDS AND AREAS OR AS REQUIRED FOR INSTALLATION OF DECOMPOSED GRANITE, MULCH, OR TURF SOD.

AT ALL PLANTING AREAS, MAKE ENTIRE AREA SMOOTH AND EVEN TO FINISH GRADE. CULTIVATE ALL AREAS SO THAT THERE ARE NO BUMPS OR HOLLOWAYS, AND THE AREA DRAINS AS GRADE AND MAINTAIN ALL FLOW LINES. DESIGNATED OR NOT, TO ALLOW FREE FLOW OF SURFACE WATER. CULTIVATE ENTIRE AREA TO A DEPTH OF 6 INCHES MINIMUM AND REMOVE ALL ROCK IN EXCESS OF 1-1/2 INCHES DIAMETER. ALL BUILDING RUBBLE, BUILDING CONSTRUCTION MATERIAL, WASTE AND ANY OTHER MATERIAL THAT WILL IMPAIR SATISFACTORY GROWTH.

3.05 - DECOMPOSED GRANITE / MULCH

DECOMPOSED GRANITE - PLACE 2-INCHES UNLESS OTHERWISE NOTED, IN ALL PLANTING AREAS. DECOMPOSED GRANITE SHALL EXTEND BELOW ALL PLANT MATERIAL. DECOMPOSED GRANITE FINISH GRADE 1-1/2-INCH BELOW ADJACENT PAVING, CURBS, AND HEADERS.

MULCH - PLACE 3-INCHES UNLESS OTHERWISE NOTED, IN ALL PLANTING AREAS. KEEP THE MULCH AWAY FROM DIRECT CONTACT OF STEMS FROM PLANTS AND TREES TO PREVENT ROT AND PESTS. MULCH FINISH GRADE 2-1/2-INCH BELOW ADJACENT PAVING, CURBS, AND HEADERS.

3.06 - HERBICIDE APPLICATION

APPLY PRE-EMERGENT HERBICIDES IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.

APPLY CONTACT HERBICIDES IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. PRIOR TO APPLICATION, MOISTEN AREAS FOR FOURTEEN DAYS TO ENCOURAGE WEED GERMINATION AND GROWTH. APPLY BEFORE WEEDS ATTAIN A HEIGHT OF 6 INCHES. REMOVE TALLER WEEDS MANUALLY.

AREAS TO BE LANDSCAPED SHALL BE MAINTAINED IN A WEED-FREE CONDITION AT ALL TIMES DURING CONSTRUCTION AND MAINTENANCE PERIOD.

DO NOT APPLY PRE-EMERGENT HERBICIDES AT LOCATIONS OF REVEGETATION SEEDING. THE CONTRACTOR SHALL MANUALLY REMOVE INVASIVE WEEDS WITHIN THESE AREAS.

3.07 - TREE SUPPORT

GUYED TREES: GUY TREES AS SHOWN IMMEDIATELY AFTER PLANTING AS SHOWN ON THE DRAWINGS. STAKED TREES: STAKE TREES AS SHOWN ON THE DRAWINGS WITHIN 48-HOURS OF PLANTING.

TREE SUPPORTS SHALL BE INSTALLED TO PREVENT LODGING, YET ALLOW FOR TRUNK MOVEMENT. HOSES THAT ENCIRCLE TRUNKS SHALL BE LARGE ENOUGH TO ALLOW FOR NORMAL GROWTH OF THE TRUNK DURING THE FIRST YEAR WITHOUT GIRDLING.

3.08 - TREES, SHRUBS, AND VINES

LAYOUT LOCATIONS WITH STAKES OR GYPSUM. COORDINATE WITH OWNER'S REPRESENTATIVE TO ASSURE APPROPRIATE LOCATION, PRIOR TO INSTALLATION.

TEST DRAINAGE OF PLANT BEDS AND PITS BY FILLING WITH WATER. NOTIFY OWNER'S REPRESENTATIVE OF AREAS WHERE WATER IS RETAINED MORE THAN 24 HOURS.

WHERE ROCK, UNDERGROUND CONSTRUCTION OR OTHER DETRIMENTAL CONDITIONS ARE ENCOUNTERED AT PLANT PITS, OWNER'S REPRESENTATIVE MAY SELECT ALTERNATE LOCATION.

DO NOT EXPOSE ROOTS TO AIR EXCEPT DURING TRANSPLANTING. SET UP OF PLANTS AT SAME LEVEL WHEN PLANTED AS IN THE CONTAINER. CUT PLANT CONTAINERS ON 2 SIDES WITHOUT INJURING ROOT BALL AND CAREFULLY REMOVE PLANT. DO NOT CUT CONTAINER WITH SPADE. DAMAGED PLANTS WILL BE REJECTED.

DIG PITS WITH PERPENDICULAR SIDES TO A MINIMUM OF 2 TO 3 TIMES THE WIDTH (SEE DETAILS) OF THE ROOT BALL FOR CONTAINERIZED TREES AND SHRUBS. DIG PITS ONLY AS DEEP AS THE ROOT BALL TO PREVENT SETTLING OF THE TREE OR SHRUB.

PLACE ROOT BALL OF VINES AS CLOSE TO STRUCTURE OR SUPPORT SYSTEM AS POSSIBLE. IF ROOT BALL CANT BE PLACED CLOSER THAN 1/2" NOTIFY OWNER'S REPRESENTATIVE OF SITUATION FOR INSPECTION AND REMEDY.

TIE VINES TO TRELLIS SUPPORTS IF APPLICABLE WITH GREEN PLANT TAPE AND REMOVE ANY STAKING SUPPLIED WITH PLANT MATERIAL.

PLANTING MIXTURE: ONE PART WOOD SHAVINGS TWO PARTS EXCAVATED SOIL AMENDED TO MEET STANDARDS IN PART 2.

MIX THOROUGHLY OUTSIDE THE HOLE BEFORE START OF BACKFILLING.

TREE GUARD: INSTALL TREE GUARD ON ALL TREES LOCATED IN TURF AREAS PER MANUFACTURER'S RECOMMENDATIONS.

3.09 - BACKFILLING

BACKFILL PLANT PITS AND FORM SHALLOW BASIN AROUND THE PLANT TO HOLD ENOUGH WATER TO SATURATE THE ROOT BALL AND BACKFILL (ONLY FORM BASINS IF SPECIFIED ON DETAIL). WATER PLANTS IMMEDIATELY AFTER PLANTING AND ALLOW BACKFILL TO SETTLE IN PLANT PIT. DO NOT WATER SAGUAROS AFTER PLANTING. DO NOT RAISE BASIN RIM ABOVE SURROUNDING GRADE.

PUDDLE PLANTING MIXTURE WHEN PIT IS 2/3 FULL OF PLANT MIX. CONTINUE BACK FILLING TO WITHIN 1 INCH OF SURROUNDING GRADE.

FINISH GRADE TO 2 INCHES BELOW HEADERS OR CONCRETE WORK.

TOP DRESS PLANTING AREAS WITH 2 INCHES OF TOP DRESSING AFTER PLANTING.

TREAT ALL PLANTING AREAS WITH A PRE-EMERGENT. REFER TO MANUFACTURES RECOMMENDATIONS.

3.10 - GROUND COVER

AT TIME OF TRANSPLANTING, SOIL IN FLATS SHALL BE SUFFICIENT SO AS NOT TO FALL APART WHEN LIFTING PLANTS. PLANT EACH PLANT WITH ITS PROPORTIONATE AMOUNT OF THE FLAT SOIL IN A MANNER THAT WILL ENSURE A MINIMUM DISTURBANCE TO THE ROOT STRUCTURE.

PLANT FLAT MATERIAL SUFFICIENTLY DEEP TO COVER ALL ROOTS. FIRMLY TAMP THE EARTH AROUND EACH PLANT TO FORCE OUT LARGE AIR POCKETS.

3.11 - TURF SOD

SOIL PREPARATION: PROVIDE SOIL WITH AN ORGANIC MATTER CONTENT OF 25-PERCENT TO 30-PERCENT. CULTIVATE ENTIRE AREA TO A DEPTH OF 6" MINIMUM AND REMOVE ALL ROCK IN EXCESS OF 1 1/2". ALL BUILDING RUBBLE, BUILDING CONSTRUCTION MATERIAL WASTE AND ANY OTHER MATERIAL THAT WILL IMPAIR SATISFACTORY GROWTH, THIS TOP 6" MUST MEET THE TOPSOIL REQUIREMENTS NOTED IN SECTION 2.01.

SOIL AMENDMENTS: PRIOR TO ROTOILLING, APPLY GYPSUM AT A RATE OF 100 LBS. PER 1,000 SF. PHOSPHATE AT A RATE OF 2 LBS. PER 1,000 SF., AND SOIL SULFUR AT 5 LBS PER 1,000 SF. ROTOILL TO SOIL.

INSTALL SOD ALONG THE STRAIGHTEST EDGE OF TURF AREA. STAGGER JOINTS IN A BRICK-LIKE PATTERN. AVOID GAPS AND OVERLAPPING. PLACE SOD DIAGONALLY ACROSS, TO AVOID SLIDING. WATER SOD AT LEAST EVERY 30 MIN. DURING INSTALLATION, FINISH BY WATERING LIGHTLY AND ROLL IN TWO DIRECTIONS W/SOD ROLLER.

3.12 - WATERING

WATER ALL PLANTS IMMEDIATELY AFTER PLANTING, EXCEPT FOR SAGUAROS, WITH HOSE IN PLANTING HOLE UNTIL MATERIAL ABOUT THE ROOTS IS COMPLETELY SATURATED FROM THE BOTTOM OF THE HOLE TO THE TOP OF THE GROUND TO AVOID DRYING OUT UNTIL THE ENTIRE PLANTED AREA IS THOROUGHLY WATERED AND THE SOIL SOAKED TO THE FULL DEPTH OF EACH PLANT HOLE. WATER STREAM SHALL NOT CAUSE DAMAGE TO PLANTING HOLE OR PLANT. KEEP EXPOSED ROOTS WET BY MEANS OF MOIST SAWDUST, PEAT MOSS OR BURLAP AT ALL TIMES DURING PLANTING OPERATION. REPEAT WATERING AS OFTEN AS NECESSARY TO KEEP THE GROUND MOIST BUT NOT SOAKED, WELL BELOW THE ROOT SYSTEM OF THE PLANTS.

3.13 - CLEAN UP

KEEP ALL AREAS CLEAN AND ORDERLY DURING AND AFTER EXECUTION OF WORK. BURNING OF TRASH IS NOT PERMITTED.

3.14 - ADJUSTMENT

PRUNE EACH TREE AND SHRUB TO PRESERVE THE NATURAL CHARACTER OF THE PLANT PER AMERICAN STANDARDS FOR NURSERY STOCK, AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSEYMEN. PRUNE ONLY AS DIRECTED BY OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT TO REMOVE DEADWOOD, SUCKERS, OR BROKEN OR BADLY BRUISED BRANCHES. REPLACE ALL PLANTS DAMAGED BY EXCESSIVE PRUNING, PLANTING OPERATIONS OR CONSTRUCTION DAMAGE.

3.15 - MAINTENANCE PERIOD

WHEN THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT DETERMINE THE WORK TO BE SUBSTANTIALLY COMPLETE IN ACCORDANCE WITH THE CONDITIONS OF THE CONTRACT, CONTRACTOR WILL BE ADVISED, IN WRITING, THAT THE MAINTENANCE PERIOD IS TO BEGIN.

LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF LANDSCAPED AREAS FOR A PERIOD OF 90 DAYS. MAINTENANCE INCLUDES WATERING, TRIMMING, WEEDING AND CULTIVATING OF BEDS.

LANDSCAPE CONTRACTOR, IN ORDER TO PROTECT HIS GUARANTEE, SHALL GIVE TYPEWRITTEN TO OWNER, A COMPLETE MAINTENANCE INSTRUCTION BOOKLET ON THE CARE AND FEEDING OF THE LANDSCAPE.

CONTRACTOR SHALL REQUEST, IN WRITING, A FINAL INSPECTION WITH LANDSCAPE ARCHITECT AT THE COMPLETION OF THE MAINTENANCE PERIOD. IF THE OWNER'S REPRESENTATIVE DETERMINES THE WORK IS SATISFACTORY, THE MAINTENANCE PERIOD WILL END ON THE DATE OF THE FINAL INSPECTION. IF THE MAINTENANCE IS UNSATISFACTORY, THE MAINTENANCE PERIOD WILL BE EXTENDED, AT THE CONTRACTORS EXPENSE, UNTIL SUCH TIME AS ALL CORRECTIONS ARE MADE AND THE WORK IS INSPECTED AND APPROVED BY THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT. RETENTION WILL NOT BE RELEASED UNTIL FINAL INSPECTION IS MADE AND APPROVAL ISSUED BY THE OWNER'S REPRESENTATIVE.

3.16 - FIELD QUALITY CONTROL

NOTIFY OWNER'S REPRESENTATIVE OF THE REQUIREMENT FOR INSPECTION AT LEAST 48 HOURS IN ADVANCE. INSPECTIONS ARE REQUIRED, BUT NOT LIMITED TO, THE FOLLOWING:

- INSPECTION AND ACCEPTANCE OF PLANT MATERIAL PRIOR TO SHIPPING.
- AT COMPLETION OF ROUGH GRADE AND BOULDER PLACEMENT
- AT COMPLETION OF LANDSCAPE FINISH GRADING AND SOIL PREPARATION, PRIOR TO PLANTING.
- AT INSTALLATION OF IRRIGATION SYSTEM, PRIOR TO BACKFILLING TRENCHES AND PLANTING.
- DURING INSTALLATION OF SPECIMEN TREE, OR OTHER SPECIMEN PLANT MATERIAL.
- AFTER STAKING LOCATIONS FOR PLANT HOLES, BUT PRIOR TO PLANTING; FOR APPROVAL.
- DURING THE PLANTING PROCESS.
- DURING THE PLACEMENT AND AIMING OF ALL LIGHT FIXTURES.
- AT SUBSTANTIAL COMPLETION OF THE WORK.
- DURING WARRANTY PERIOD TO OBSERVE MAINTENANCE PROCEDURES.
- AT FINAL COMPLETION OF THE WORK.

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REVISIONS:

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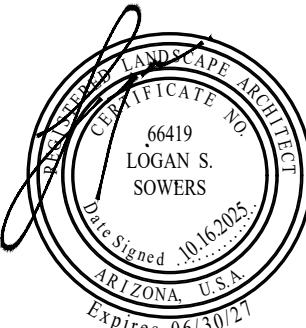
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PLOT DATE: 10/15/2025

DRAWING: LANDSCAPE SPECIFICATIONS



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IRRIGATION SPECIFICATIONS:

PART 1 - GENERAL

1.01 - WORK INCLUDED:
WORK OF THIS SECTION GENERALLY INCLUDES A PROVISION OF AN UNDERGROUND IRRIGATION SYSTEM INCLUDING THE FOLLOWING:

- 1. TRINCHING, STOCKPILING EXCAVATION MATERIALS, AND REFILLING TRENCHES. COMPLETE SYSTEMS INCLUDING BUT NOT LIMITED TO PIPING, PUMP STATION, ASSEMBLIES, VALVES, FITTINGS, HEADS, CONTROLLER WIRING, AND FINAL ADJUSTMENTS TO ENSURE EFFICIENT COVERAGE AS DETERMINED BY ARCHITECT.
- 3. WATER CONNECTIONS.
- 4. REPLACEMENTS OF UNSATISFACTORY MATERIALS.
- 5. CLEAN-UP, INSPECTION, AND APPROVAL.
- 6. TESTS.

1.02 - REFERENCES:
PERFORM WORK IN ACCORDANCE WITH REQUIREMENT OF CONDITIONS OF THE CONTRACT AND DIVISION 01 - GENERAL REQUIREMENTS AS WELL AS PROVISIONS OF ALL APPLICABLE LAWS, CODES, ORDINANCES, RULES AND REGULATIONS, CONFORM TO REQUIREMENTS OF REFERENCE INFORMATION LISTED BELOW, EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE SHOWN OR SPECIFIED IN CONTRACT DOCUMENTS.

- 1. AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM) - SPECIFICATIONS AND TEST METHODS SPECIFICALLY REFERENCED IN THIS SECTION.
- 2. UNDERWRITERS LABORATORIES (UL) - UL WIRES AND CABLES.

1.03 - QUALITY ASSURANCE
INSTALLER QUALIFICATION - INSTALLER SHALL HAVE HAD CONSIDERABLE EXPERIENCE AND DEMONSTRATED PROFICIENCY IN THE INSTALLATION OF IRRIGATION SYSTEMS OF SPECIFIED TYPE(S) IN A NEAT, ORDERLY, AND RESPONSIBLE MANNER IN ACCORDANCE WITH RECOGNIZED STANDARDS OF WORKMANSHIP, TO DEMONSTRATE ABILITY, EXPERIENCE, AND FINANCIAL STABILITY NECESSARY FOR THIS PROJECT. SUBMIT IF REQUESTED BY CONSULTANT, PRIOR TO CONTRACT AWARD THE FOLLOWING:

- 1. LIST OF 3 PROJECTS COMPLETED IN THE LAST 2 YEARS OF SIMILAR COMPLEXITY TO THIS PROJECT. DESCRIPTION OF PROJECTS SHALL INCLUDE:
 - a. NAME OF PROJECT.
 - b. LOCATION.
 - c. OWNER.
 - d. BRIEF DESCRIPTION OF WORK AND PROJECT BUDGET.
 - 2. CURRENT COMPANY FINANCIAL STATEMENT.

SPECIAL REQUIREMENTS:

- a. TOLERANCES - SPECIFIED DEPTHS OF PRESSURE SUPPLY LINES AND LATERALS AND PITCH OF PIPES ARE MINIMUMS. SETTLEMENT OF TRENCHES IS CAUSE FOR REMOVAL OF FINISH GRADE TREATMENT, REFILLING, RECOMPACTION, AND REPAIR OF FINISHED GRADE TREATMENT.
- b. COORDINATION WITH OTHER CONTRACTS - PROTECT, MAINTAIN, AND COORDINATE WORK WITH TASKS UNDER OTHER SECTIONS.
- c. DAMAGE TO OTHER IMPROVEMENTS - CONTRACTOR SHALL REPLACE OR REPAIR DAMAGE TO GRADING, SOIL, PREPARATION, SEEDING, SODDING, OR PLANTING DONE UNDER SECTIONS DURING WORK ASSOCIATED WITH INSTALLATION OF IRRIGATION SYSTEM AT NO ADDITIONAL COST TO THE OWNER.
- d. WORK INVOLVING SUBSTANTIAL PLUMBING FOR INSTALLATION OF BACKFLOW PREVENTERS, COPPER SERVICE, AND RELATED WORK SHALL BE EXECUTED BY LICENSED AND BONDED PLUMBER(S), PERFORMED IN ACCORDANCE WITH ALL PREVAILING CODES AND REGULATIONS.
- e. WORK INVOLVING CONNECTION TO, INSTALLATION, OR EXTENSION OF 120 VOLT OR GREATER ELECTRICAL SERVICE SHALL BE EXECUTED BY A LICENSED AND BONDED ELECTRICIAN, PERFORMED IN ACCORDANCE WITH ALL PREVAILING CODES AND REGULATIONS.

1.04 - SUBMITTALS
PREPARE AND MAKE SUBMITTALS IN ACCORDANCE WITH CONDITIONS OF THE CONTRACT PRIOR TO INSTALLATION.

STAKING, CONSTRUCTION RECORD DRAWINGS, AND PROGRAMMING:

- 1. IRRIGATION CONSULTANT SHALL STAKE THE LOCATIONS OF ALL SPRINKLERS 25-FEET IN RADIUS OR GREATER WITH THE ASSISTANCE OF THE CONTRACTOR. IRRIGATION CONSULTANT SHALL USE GPS COLLECTION METHOD TO RECORD THE ROTARY SPRINKLERS, MAINLINE ROUTING, ELECTRIC AND GATE VALVES, AND CONTROLLERS; AND PROVIDE PLAN COPY TO CONTRACTOR. CONTRACTOR SHALL DRAW LATERAL PIPING, CONTROLLER STATION NUMBERS, AND ALL OTHER RECORD INFORMATION ON THE FIELD RECORD. AT THE END OF EVERY DAY, REVERSE FIELD RECORD FOR ALL WORK ACCOMPLISHED THAT DAY IN RED INK. THE FIELD RECORD PLAN(S) SHALL BE AVAILABLE AT THE PROJECT SITE FOR REVIEW. UPON COMPLETION OF PROJECT, CONTRACTOR SHALL SUBMIT FIELD RECORD PLAN FOR REVIEW, PRIOR TO FINAL ACCEPTANCE.

RECORD PLANS SHALL BE TO SAME SCALE AND IN THE SAME FORMAT AS DESIGNED PLANS.

- 2. FOLLOWING APPROVAL OF FIELD RECORD PLAN BY THE ARCHITECT AND CONSULTANT, THE CONTRACTOR SHALL SUBMIT THE FIELD RECORD PLAN WITH ALL CHANGES, ADDITIONS, AND MODIFICATIONS PERFORMED DURING THE PROJECT INSTALLATION TO CONSULTANT/ IRRIGATION CONTRACTOR. CONSULTANT/IRRIGATION CONTRACTOR SHALL CREATE A DIGITAL CONSTRUCTION RECORD FROM THE INFORMATION PROVIDED BY THE CONTRACTOR. THE DIGITAL CONSTRUCTION RECORD FILE SHALL BE GENERATED AS FOLLOWS:
 - a. PDF - CONTRACTOR SHALL CONTRACT WITH CONSULTANT/IRRIGATION CONTRACTOR TO COMBINE ALL FIELD RECORD INFORMATION AND GPS DATA FOR LOCATIONS OF WATER SOURCE(S), MAINLINE ROUTING, VALVES, CONTROLLERS, AND BASIC FEATURES TO CORRESPOND WITH THE SITE PLAN. THIS DIGITAL FILE SHALL BE PLACED INTO SHEET FORM AS REQUIRED, AND PORTABLE DOCUMENT FORMAT (PDF) FILES CREATED AS THE CONSTRUCTION RECORD. CONTRACTOR SHALL CONTACT CONSULTANT/IRRIGATION CONTRACTOR PRIOR TO BID FOR FEES FOR GPS DATA COLLECTION AND CREATION OF DIGITAL CONSTRUCTION RECORD.
 - 3. IRRIGATION CONSULTANT WILL NOT CERTIFY ANY PAY REQUEST SUBMITTED BY THE CONTRACTOR IF THE FIELD RECORD DRAWINGS ARE NOT CURRENT, AND PROCESSING OF PAY REQUEST WILL NOT OCCUR UNTIL FIELD RECORDS ARE UPDATED.
 - 4. IRRIGATION CONSULTANT SHALL COLLECT THE FIELD CONTROLLER DATA FOR PROGRAMMING PURPOSES. IF CONTRACTOR IS UNABLE TO COLLECT DATA OR IF THE PROCESS DELAYS PROJECT COMPLETION, CONTRACTOR SHALL CONTACT IRRIGATION CONSULTANT FOR FEES FOR DATA COLLECTION.
 - 5. PRIOR TO SCHEDULING WALK-THROUGH FOR SUBSTANTIAL COMPLETION, CONTRACTOR IS TO SUBMIT ALL FIELD RECORD INFORMATION TO THE CONSULTANT FOR APPROVAL.
 - 6. CONTRACTOR SHALL ALSO PROVIDE BOTH A HARD COPY AND ELECTRONIC FORM VERSION OF THE CONTROLLER DATA SHEETS TO THE CONSULTANT. HARD COPY AND ELECTRONIC FORMS SHALL BE PROVIDED TO THE CONTRACTOR BY THE IRRIGATION CONSULTANT.

CONTROLLER CHARTS - DO NOT PREPARE CONTROLLER CHARTS UNTIL CONSTRUCTION RECORD (AS-BUILT) DRAWINGS HAVE BEEN APPROVED BY THE CONSULTANT.

- 1. PROVIDE CONTROLLER CHART, AUTOMATIC CONTROLLER.
- 2. CONTROLLER DRAWING MAY BE SAME SIZE REPRODUCTION OF THE RECORD DRAWING, IF SCALE PERMITS FITTING THEM INSIDE THE CONTROLLER DOOR WITHOUT FOLDING DRAWING. IF PHOTO REDUCTION PRINTS ARE REQUIRED, REPRODUCTION TO MAXIMUM SIZE POSSIBLE TO RETAIN FULL LEGIBILITY. CHART MAY ALSO BE CONTROLLER DATA SHEET AS FOR CENTRAL-SATELLITE SYSTEMS, IF APPROVED BY CONSULTANT.
- 3. CONTROLLER CHART SHALL BE BOND PRINT OF ACTUAL AS-BUILT SYSTEM, SHOWING AREA COVERED BY THAT CONTROLLER; OR CONTROLLER DATA SHEET SHOWING INFORMATION ON EACH STATION, AND WITH COMPLETE DESCRIPTION OF EACH STATION'S LOCATION.
- 4. IDENTIFY AREA OF COVERAGE OF EACH REMOTE CONTROL VALVE, USING A DISTINCTLY DIFFERENT PASTEL COLOR FOR EACH ZONE. HIGHLIGHT HEADS, LATERAL PIPING, AND CONTROL VALVES.
- 5. FOLLOWING REVIEW OF CONTROLLER DRAWINGS BY CONSULTANT, HERMETICALLY SEAL EACH CHART BETWEEN TWO LAYERS OF 20 MM THICK CLEAR PLASTIC. CONTROLLER CHART SHALL BE COMPLETED AND APPROVED BY CONSULTANT PRIOR TO FINAL COMPLETION WALK-THROUGH OF IRRIGATION SYSTEM.
- 7. ATTACH APPROVED CONTROLLER CHART TO INSIDE OF EACH CONTROLLER DOOR USING SELF ADHESIVE VELCRO STRIPS.

CONTROL SYSTEM PROCEDURES:

- 1. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AND INSTALL ALL SPECIFIED CONTROL EQUIPMENT TO RESULT IN A COMPLETE AND WORKING SYSTEM, WHETHER OR NOT ALL APPURTENANCES ARE SHOWN ON PLANS. SYSTEM SHALL INCLUDE CONTROLLERS, ALL GROUNDING AND SURGE PROTECTION; AND ELECTRICAL CONTROL WIRING.
- 2. FOLLOWING INSTALLATION OF EACH CONTROLLER, CONTRACTOR SHALL RECORD ALL STATION DATA ON A "DATA SHEET" PROVIDED BY THE CONSULTANT. THIS DATA SHALL INCLUDE THE TYPE AND QUANTITY OF IRRIGATION DEVICES ON EACH STATION, NOZZLE TYPE, ARC, AREA OF CONTROL (TURF, TREES, SHRUBS, ETC.), VALVE SIZE, GPM, LOCATION, ETC., AS SHOWN ON THE DATA SHEET.
- 3. PRIOR TO FINAL WALK-THROUGH FOR EACH AREA OF THE PROJECT, CONTRACTOR SHALL CONFIRM THAT THE FOLLOWING HAS BEEN ACCOMPLISHED:
 - a. CONSTRUCTION RECORD DRAWINGS PER 1.04.1.
 - b. DATA SHEETS FOR CONTROLLERS.
 - 4. IRRIGATION CONSULTANT SHALL PROVIDE THE FOLLOWING PROGRAMMING SERVICES: IRRIGATION DATA, HYDRAULIC TREE, AND PROGRAMS AND SCHEDULES IN THE IRRIGATION COMPUTER. CONSULTANT SHALL NOT PROVIDE A VISUAL, INTERACTIVE MAP. CONTRACTOR SHALL CONTACT CONSULTANT FOR FEES FOR PROGRAMMING SERVICES PRIOR TO BID.
 - 5. PRODUCT WARRANTY: WARRANTY INCLUDES THE FOLLOWING:
 - a. MANUFACTURER'S STATED WARRANTIES SHALL APPLY ON ALL PRODUCTS.
 - b. IT SHALL INSURE THAT AN AUTHORIZED REPRESENTATIVE WILL BE AT THE JOB SITE WITHIN 24 HOURS OF NOTIFICATION OF A PRODUCT PROBLEM.
 - c. WARRANTY INCLUDES A ONE-YEAR MINIMUM PRODUCT AND LABOR WARRANTY. IF THE PRODUCT FAILS TO MEET PROJECT SPECIFICATIONS, AND THE MANUFACTURER'S REPRESENTATIVE IS UNABLE TO RESOLVE THE DEFICIENCY, THE PRODUCT WILL BE REPLACED AT NO COST TO THE CLIENT WITH THE PRODUCT OF THEIR CHOICE. THIS INCLUDES CONTRACTOR'S LABOR FOR PRODUCT REPLACEMENT AT THEIR NORMAL HOURLY RATES.
 - d. IN THE EVENT OF A PRODUCT PROBLEM, AND THE CONSULTANT IS REQUIRED TO SPEED ADDITIONAL TIME NOT COVERED BY THEIR CONTRACT AS A RESULT OF THIS PROBLEM, THEN THE MANUFACTURER WILL REIMBURSE THE CONSULTANT FOR TIME AND MATERIALS AT THEIR NORMAL HOURLY RATES.

*PROJECT QUALIFICATIONS:

- a. THE CONSULTANT MUST BE CURRENTLY CERTIFIED AS AN IRRIGATION DESIGNER BY THE IRRIGATION ASSOCIATION, THE AMERICAN SOCIETY OF IRRIGATION CONSULTANTS, OR LICENSED IN THE PROJECT STATE TO PRACTICE LANDSCAPE ARCHITECTURE WHICH INCLUDES IRRIGATION DESIGN.
- b. THE PROJECT MUST CONSIST ENTIRELY OF ONE MANUFACTURER'S PRODUCTS WHERE APPLICABLE (I.E. EXCLUDING PIPE, FITTINGS, & WIRING). IF ANY COMPETITIVE PRODUCTS ARE INSTALLED ON THE PROJECT, THE WARRANTY WILL BE THE STANDARD TRADE WARRANTY AS DELINEATED IN THE MANUFACTURER'S PRODUCT CATALOG.
- c. THE MANUFACTURER'S REPRESENTATIVE MUST BE NOTIFIED IN THE EVENT OF A PRODUCT PROBLEM AT LEAST TWENTY-FOUR (24) HOURS PRIOR TO AN IN-FIELD MEETING.
- d. INSTALLATION MUST BE CERTIFIED BY AUTHORIZED REPRESENTATIVE IN CONFORMANCE TO PLANS.

OPERATION MANUAL:

SUBMIT 3 SETS OF OPERATIONS MANUAL TO CONSULTANT FOR APPROVAL, PRIOR TO SCHEDULING THE FINAL COMPLETION WALK-THROUGH. MANUAL IS TO INCLUDE THE FOLLOWING IN A 1 X 3 RING BINDER:

- 1. INDEX SHEET STATING PROJECT NAME, AND LISTING CONTRACTOR NAME, ADDRESS, PHONE NUMBER, AND CONTACT PERSON. INCLUDE SAME INFORMATION FOR PRIMARY SUB-CONTRACTORS.
- 2. MANUFACTURER CUT SHEETS FOR ALL MATERIAL COMPONENTS OF IRRIGATION SYSTEM. HIGHLIGHT OR CIRCLE SPECIFIC MODELS OR ITEMS.

1.05 - DELIVERY, STORAGE, AND HANDLING
DELIVER, UNLOAD, STORE AND HANDLE MATERIALS, PACKAGING, BUNDLING, PRODUCTS, IN DRY CONDITIONS, OR A WEATHERPROOF MANNER, TO PREVENT DAMAGE, BREAKAGE, DETERIORATION, INTRUSION IGNITION, AND VANDALISM. DELIVER IN ORIGINAL UNOPENED PACKAGING CONTAINERS PROMINENTLY DISPLAYING MANUFACTURER NAME, VOLUME, QUANTITY, CONTENTS, INSTRUCTIONS, AND CONFORMANCE TO LOCAL, STATE, AND FEDERAL LAW. REMOVE AND REPLACE CRACKED, BROKEN, OR CONTAMINATED ITEMS OR ELEMENTS IMMEDIATELY EXPOSED TO MOISTURE, INCLEMENT WEATHER, SNOW, ICE, TEMPERATURE EXTREMES, FIRE, OR JOB SITE DAMAGE.

HANDLING OF PVC PIPE - EXERCISE CARE IN HANDLING, LOADING AND STORING OF PVC PIPE. ALL PVC PIPE SHALL BE TRANSPORTED IN A VEHICLE WHICH ALLOWS THE ENTIRE LENGTH OF PIPE TO LIE FLAT SO AS NOT TO SUBJECT IT TO UNDUE BENDING OR CONCENTRATED EXTERNAL LOADS. ALL SECTIONS OF PIPE THAT HAVE BEEN DENTED OR DAMAGED SHALL BE DISCARDED, AND IF INSTALLED, SHALL BE REMOVED AND REPLACED WITH NEW PIPING.

1.06 - JOBSITE CONDITIONS
PROTECTION OF PROPERTY:

- 1. PRESERVE AND PROTECT ALL TREES, PLANTS, MONUMENTS, STRUCTURES, AND PAVED AREAS FROM DAMAGE DUE TO WORK IN THIS SECTION. IN THE EVENT DAMAGE DOES OCCUR, ALL DAMAGE TO INANIMATE ITEMS SHALL BE COMPLETELY REPAIRED OR REPLACED IN THE SATISFACTION OF THE OWNER. ALL INJURIES TO LIVING PLANTS SHALL BE REPAIRED BY THE OWNER, AND ALL COSTS OF SUCH REPAIRS SHALL BE CHARGED TO AND PAID BY THE CONTRACTOR.
- 2. PROTECT BUILDINGS, WALKS, WALLS, AND OTHER PROPERTY FROM DAMAGE, FLARE AND BARRICADE OPEN DITCHES, DAMAGE CAUSED TO ASPHALT, CONCRETE OR OTHER BUILDING MATERIAL SURFACES SHALL BE REPAIRED OR REPLACED AT NO COST TO THE OWNER. RESTORE DISTURBED AREAS TO ORIGINAL CONDITION.

EXISTING TREES:

- 1. ALL TRINCHING OR OTHER WORK UNDER LIMB SPREAD OF ANY AND ALL EVERGREENS OR LOW BRANCHING DECIDUOUS MATERIALS SHALL BE DONE BY HAND OR BY OTHER METHODS SO AS TO PREVENT DAMAGE TO LIMBS OR BRANCHES.
- 2. WHERE IT IS NECESSARY TO EXCAVATE ADJACENT TO EXISTING TREES, USE ALL POSSIBLE CARE TO AVOID INJURY TO TREES, AND TREE ROOTS. EXCAVATION IN AREAS WHERE 2 INCH AND LARGER ROOTS OCCUR SHALL BE DONE BY HAND. ROOTS 2 INCHES AND LARGER IN DIAMETER, EXCEPT DIRECTLY IN THE PATH OF PIPE CONDUIT, SHALL BE TUNNELED UNDER AND SHALL BE HEAVILY WRAPPED WITH BURLAP TO PREVENT SCABBING OR EXCESSIVE DRIVING, WHERE A TRINCHING MACHINE IS OPERATED CLOSE TO TREES HAVING ROOTS SMALLER THAN 2 INCHES IN DIAMETER, THE WALL OF THE TRENCH ADJACENT TO THE TREE SHALL BE HAND TRIMMED, MAKING CLEAN CUTS THROUGH ROOTS. ROOTS 1 INCH AND LARGER IN DIAMETER SHALL BE PAINTED WITH TWO COATES OF "TREE SEAL". TRENCHES ADJACENT TO TREES SHALL BE CLOSED WITHIN 24 HOURS, AND WHEN THIS IS NOT POSSIBLE, THE SIDE OF THE TRENCH ADJACENT TO THE TREE SHALL BE KEPT SHADED WITH MOISTENED BURLAP OR CANVAS.

PROTECTION AND REPAIR OF UNDERGROUND LINES:

- 1. REQUEST PROPER UTILITY COMPANY TO STAKE EXACT LOCATION (INCLUDING DEPTH) OF ALL UNDERGROUND UTILITIES. TAKE WHATEVER PRECAUTIONS NECESSARY TO PROTECT THESE UNDERGROUND LINES FROM DAMAGE. IN THE EVENT DAMAGE DOES OCCUR, ALL DAMAGES SHALL BE REPAIRED BY CONTRACTOR UNLESS OTHER ARRANGEMENTS HAVE BEEN MADE.

REPLACEMENT OF PAVING AND CURBS - WHERE TRENCHES AND LINES CROSS EXISTING ROADWAYS, PATHS, CURBING, ETC., DAMAGE TO THESE SHALL BE KEPT TO A MINIMUM AND SHALL BE RESTORED TO ORIGINAL CONDITION.

1.07 - WARRANTY/GUARANTEE
CONTRACTOR SHALL WARRANT MATERIALS AGAINST DEFECTS FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION. CONTRACTOR SHALL GUARANTEE WORKMANSHIP FOR SIMILAR PERIOD. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING MATERIAL WARRANTY ITEMS WITH THE MANUFACTURER/DISTRIBUTOR.

SETTLING OF BACKFILLED TRENCHES WHICH MAY OCCUR DURING GUARANTEE PERIOD SHALL BE REPAIRED BY CONTRACTOR AT NO EXPENSE TO THE OWNER, INCLUDING COMPLETE RESTORATION OF DAMAGED PROPERTY.

EXPENSES DUE TO VANDALISM BEFORE SUBSTANTIAL COMPLETION SHALL BE BORNE BY CONTRACTOR.

OWNER OR REPRESENTATIVE INFORMATION COMPANY WILL MAINTAIN TURF AND PLANTING AREAS DURING WARRANTY PERIOD, SO AS NOT TO HAMPER PROPER OPERATION OF THE IRRIGATION SYSTEM.

1.08 - MAINTENANCE
FURNISH THE FOLLOWING MAINTENANCE ITEMS TO OWNER PRIOR TO FINAL ACCEPTANCE:

- 1. 2 SETS OF SPECIAL TOOLS REQUIRED FOR MOVING, DISASSEMBLING, AND ADJUSTING EACH TYPE OF SPRINKLER HEAD AND VALVE SUPPLIED ON THIS PROJECT.
- 2. 2 KEYS FOR EACH AUTOMATIC CONTROLLER.
- 3. 3 QUICK COUPLER KEYS AND MATCHING HOSE SWIVELS.

1.09 - EXTRA STOCK
IN ADDITION TO INSTALLED SYSTEM FURNISH THE FOLLOWING ITEMS TO OWNER:

- 1. 4 PER 100 INSTALLED DRIP EMITTERS OF EACH TYPE USED.
- 2. 2 POP-UP HEADS OF EACH TYPE USED.

PART 2 - PRODUCTS

2.01 - MATERIALS
GENERAL PRINCIPLES:
NOTE: ALL PIPING FOR RECLAIMED WATER SYSTEMS SHALL BE PURPLE COLORED, OR WRAPPED WITH RECLAIMED "SOCK" OR RECLAIMED MARKING TAPE, AND MAIN LINES SHALL HAVE DETECTABLE RECLAIMED MARKING TAPE IN TRENCH 12" ABOVE TOP OF PIPE.

- 1. PRESSURE SUPPLY LINES (DOWNSTREAM OF PUMP STATION) - CLASS 200 PVC, SOLVENT WELD BELLED END FOR 2-1/2" AND SMALLER, AND RUBBER-RING JOINT FOR 3" AND LARGER WITH DUCTILE IRON FITTINGS AND TAPS WITH CONCRETE THRUST BLOCKS.
- 2. NON-PRESSURE LINES - CLASS 200 PVC, SOLVENT WELD BELLED END.
- 3. DRIP PIPING - 1/2" CLASS 315 PVC, SOLVENT WELD UNLESS OTHERWISE SPECIFIED ON PLANS.
- 4. EMITTER TUBING - BY EMITTER MANUFACTURER.

PLASTIC PIPE AND FITTINGS:

- 1. IDENTIFICATION MARKINGS:
 - a. ALL PIPE TO BE IDENTIFIED WITH FOLLOWING INDELEIBLE MARKINGS:
 - 1) MANUFACTURER'S NAME.
 - 2) NOMINAL PIPE SIZE.
 - 3) SCHEDULE OR CLASS.
 - 4) PRESSURE RATING.
 - 5) NSF (NATIONAL SANITATION FOUNDATION SEAL OF APPROVAL.
 - 6) DATE OF EXTRUSION.
 - b. ALL FITTINGS INCLUDING VALVE TAPS FOR RUBBER-RING PIPE SHALL BE CAST OR DUCTILE IRON, RUBBER-RING JOINT FOR PVC, DUCTILE IRON FITTINGS SHALL HAVE THE FOLLOWING CHARACTERISTICS:
 - 1) ALL DUCTILE IRON FITTINGS AND JOINT RESTRAINTS SHALL HAVE A FUSION BONDED EPOXY COATING ON INTERIOR AND EXTERIOR OF THE PRODUCT SURFACE. AVERAGE OF 10-12MM THICKNESS. EPOXY COATING SHALL CONFORM TO THE REQUIREMENTS OF CSA 2245.20-20 AND NSF 61 FOR WATER SERVICES. TAR/BITUMINOUS COATING WILL NOT BE APPROVED.
 - 2) ALL DUCTILE IRON PIPE FITTINGS, JOINT RESTRAINTS, LATERAL ISOLATION VALVES AND MAINLINE ISOLATION GATE VALVES SHALL BE OF THE SAME MANUFACTURE WHICH OFFERS A 10-YEAR WARRANTY ON PRODUCTS AND REPLACEMENT LABOR COSTS. PRIOR TO INSTALLATION, MANUFACTURER SHALL PROVIDE DOCUMENTATION STATING THE ABOVE WARRANTY INFORMATION.
- 2. SOLVENT WELD PIPE - MANUFACTURED FROM VIRGIN POLYVINYL CHLORIDE (PVC) COMPOUND IN ACCORDANCE WITH ASTM D2241 AND ASTM D1784: CELL CLASSIFICATION 1224S-8, TYPE 1, GRADE 1.
- o. FITTINGS - STANDARD WEIGHT, SCHEDULE 40, INJECTION MOLDED PVC; COMPLYING WITH ASTM D1784 AND D2466, CELL CLASSIFICATION 12454-8.
 - 1) THREADS - INJECTION MOLDED TYPE (WHERE REQUIRED).
 - 2) TEES AND ELLS - SIDE GATED.
- b. THREADED NIPPLES - ASTM D2464, SCHEDULE 80 WITH MOLDED THREADS.
- c. JOINT CEMENT AND PRIMER - TYPE AS RECOMMENDED BY MANUFACTURER OF PIPE AND FITTINGS.

LOW PRESSURE / VOLUME SYSTEMS

- 1. EMITTERS AS INDICATED ON DRAWINGS.
- 2. DRIP PIPING - MANUFACTURED OF POLYVINYL CHLORIDE COMPOUND CONFORMING TO ASTM D2241 AND ASTM D1784, TYPE 1, GRADE 1.
- 3. FITTINGS - SCHEDULE 40 PVC, OR AS RECOMMENDED BY PIPE MANUFACTURER.
- 4. DRIP VALVE ASSEMBLY - TYPE AND SIZE SHOWN ON DRAWINGS.
- o. WYE STRAINER - PLASTIC/FIBERGLASS CONSTRUCTION WITH 150 MESH NYLON SCREEN AND BLOW-OUT ASSEMBLY.
- b. CONTROL VALVE 2-WAY, SOLENOID PLOT OPERATED TYPE MADE OF SYNTHETIC, NON-CORROSIVE MATERIAL; DIAPHRAGM-ACTIVATED AND SLOW CLOSING.
- c. PRESSURE REGULATOR - PLASTIC/FIBERGLASS CONSTRUCTION, PRESET TYPE WITH PRESSURE SETTING PER DRAWINGS.

COPPER PIPE AND FITTINGS:

- 1. COPPER PIPE - TYPE K HARD TEMPERED.
- 2. FITTINGS - WROUGHT COPPER, SOLDER JOINT TYPE.
- 3. JOINS - SOLDERED WITH SOLDER, 45% SILVER, 15% COPPER, 16% ZINC, AND 24% CADMIUM AND SOLIDS AT 1125 F AND LIQUIDS AT 1145 F.

BRASS PIPE AND FITTINGS:

- 1. BRASS PIPE - 85% RED BRASS, MSI SCHEDULE 40 SCREWED PIPE.
- 2. FITTINGS - MEDIUM BRASS, SCREWED 125 POUND CLASS.

QUICK COUPLING VALVES - BRASS TWO-PIECE BODY DESIGNED FOR WORKING PRESSURE OF 150 PSI, OPERABLE WITH QUICK COUPLER. EQUIP QUICK COUPLER WITH LOCKING RUBBER COVER (PURPLE FOR RECLAIMED WATER IF SPECIFIED).

VALVE BOXES:
NOTE: ALL BOX COVERS FOR RECLAIMED WATER SYSTEMS SHALL BE PURPLE COLORED, AND MARKED FOR RECLAIMED. OTHERWISE, VALVE BOX COLOR TO BE SELECTED BASED UPON A REVIEW OF THE LOCATION AND ADJACENT MATERIAL BY OWNER AND LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

- 1. DRIP LINE BLOW-OUT STUBS, AND WIRE STUB BOX - CARSON #910-12
- 2. 1-INCH THROUGH 2-INCH CONTROL VALVES - CARSON #1419-138.
- 3. DRIP VALVE ASSEMBLIES - CARSON #1419-138.
- 4. CONTROL WIRING SPICES - CARSON #910-12.
- 5. MAIN LINE GATE VALVES - CARSON #910-12.
- 6. AIR-RELIEF VALVES - CARSON #1419-138.
- 7. MANUAL DRAIN VALVES - CARSON #1419-138.
- 8. PRESSURE REDUCING VALVES - AS SHOWN ON DETAIL.

ELECTRICAL CONTROL WIRING:

- 1. LOW VOLTAGE:
 - a. ELECTRICAL CONTROL WIRE - AWG IF UL APPROVED NO. 14 GAUGE DIRECT-BURIAL COPPER WIRE FOR 2-WIRE DECODER-BASED SYSTEM COMMUNICATION CABLE WIRING WITH GROUNDING EVERY 1000' IN 1" SCH 40 PVC CONDUIT WITH SEALER AT OPENINGS IN VALVE BOXES AND CONTROLLERS.
 - b. WIRE COLORS:
 - 1) COMMUNICATION CABLE: BLUE FOR FIRST CONTROL LEG ON CONTROLLER.
 - 2) COMMUNICATION CABLE: RED FOR SECOND CONTROL LEG ON CONTROLLER.
 - 3) OTHER COLORS FOR MORE CONTROL LEGS.
 - 3) FUTURE WIRES - SAME AS CONTROL AND COMMON WIRE [LABELLED AT TERMINATIONS], STUB FOR FUTURE, AT EACH EXTREME END.
 - c. IF MULTIPLE CONTROLLERS ARE UTILIZED, AND WIRE PATHS OF DIFFERENT CONTROLLERS CROSS EACH OTHER, BOTH COMMON AND CONTROL WIRES FROM EACH CONTROLLER SHALL BE DIFFERENT COLORS APPROVED BY CONSULTANT.
 - d. WIRE CONNECTIONS FOR ALL VALVE AND SOLENOID LOCATIONS SHALL BE UL 4860 APPROVED DIRECT-BURY WIRE CONNECTORS FOR WET / DAMP LOCATIONS, RATED UP TO 600 VOLTS, AS MANUFACTURED BY RAIN BIRD MODEL 08 SERIES WIRE CONNECTOR, OR APPROVED SIMILAR DRY SPICE METHOD. WIRE CONNECTORS SHALL PROVIDE STRAIN RELIEF AND HAVE THE WIRE NUT / SPRING INTEGRATED INTO THE HOUSING. ALL 24-VOLT WIRE SPICES SHALL CONFORM TO NATIONAL ELECTRIC CODE (NEC) STANDARDS AND ALL STATE, LOCAL AND FEDERAL CODES.
- 2. HIGH VOLTAGE - TYPE REQUIRED BY LOCAL CODES AND ORDINANCES, OF PROPER SIZE TO ACCOMMODATE NEEDS OF EQUIPMENT SERVICED.

- SPRINKLER HEADS - AS SHOWN ON DRAWINGS. PURPLE CAPS OR NOZZLES FOR RECLAIMED WATER USE.
- ELECTRIC CONTROL VALVES - AS NOTED ON DRAWINGS. PURPLE HANDLES FOR RECLAIMED WATER USE. INSTALL PRESSURE REGULATING DEVICES WHERE SPECIFIED ON

PLANS.

- PIPE BEDDING MATERIAL - CONSTRUCTION GRADE SAND APPROVED BY CONSULTANT.
- AUTOMATIC CONTROLLER - AS SHOWN ON DRAWINGS.
- MANUAL DRAIN VALVE - AS SHOWN ON DRAWINGS.
- AIR-RELIEF VALVE - AS SHOWN ON DRAWINGS.
- PRESSURE REDUCING VALVE - AS SHOWN ON DRAWINGS.
- PUMP STATION - ASH SHOWN ON DRAWINGS.

PART 3 - EXECUTION

3.01 INSPECTION
EXAMINE AREAS AND CONDITIONS UNDER WHICH WORK OF THIS SECTION IS TO BE PERFORMED, DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.

GRADING OPERATIONS, WITH THE EXCEPTION OF FINAL GRADING, SHALL BE COMPLETED AND APPROVED BY OWNER PRIOR TO STAKING OR INSTALLATION OF ANY PORTION OF IRRIGATION SYSTEM EXCEPT SLEEVING.

3.02 PREPARATION
STAKING SHALL OCCUR AS FOLLOWS:

- 1. FOR ALL PROJECTS WITH ROTARY SPRINKLERS SPACED AT TWENTY-FIVE FEET (25') OR GREATER, THE IRRIGATION CONSULTANT SHALL LAY OUT THE SPRINKLERS USING WIRE FLAGS WITH ASSISTANCE FROM CONTRACTOR. CONTRACTOR SHALL CONTACT CONSULTANT PRIOR TO BID FOR CONSULTANT'S STAKING FEES. FOR ALL PROJECTS OR AREA SEGMENTS WITH ROTARY SPRINKLERS, CONTRACTOR SHALL LAY OUT SPRINKLERS USING WIRE FLAGS WITH ASSISTANCE FROM CONSULTANT.
- 2. MARK WITH POWDERED LIME OR MARKING PAINT ROUTING OF PRESSURE SUPPLY LINES, AND FLAG HEADS AND CONTROL VALVE LOCATIONS FOR FIRST SERIES OF ZONES AS DIRECTED BY CONSULTANT. CONTACT CONSULTANT A MINIMUM OF 48 HOURS IN ADVANCE AND REQUEST A REVIEW OF STAKING. CONSULTANT WILL REVIEW STAKING AND DIRECT CHANGES IF REQUIRED. STAKING REVIEW DOES NOT RELIEVE INSTALLER FROM COVERAGE PROBLEMS DUE TO IMPROPER PLACEMENT OF HEADS AFTER STAKING.

INSTALL SLEEVING UNDER ALL ASPHALT PAVING AND CONCRETE WALKS, PRIOR TO THE INSTALLATION OF CONCRETE CURBS OR OPERATIONS, TO ACCOMMODATE PIPING AND WIRING. COMPACT BACKFILL AROUND SLEEVES TO 95% STANDARD PROCTOR DENSITY WITHIN 2% OF OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D1557.

TRENCHING - TRENCH EXCAVATION SHALL FOLLOW, AS MUCH AS POSSIBLE, LAYOUT SHOWN ON DRAWINGS. DIG TRENCHES STRAIGHT, AND SUPPORT THE PIPE CONTINUOUSLY ON THE BOTTOM OF TRENCH. TRENCH BOTTOM SHALL BE CLEAN AND SMOOTH WITH ALL ROCK AND ORGANIC DEBRIS REMOVED. PRESSURE SUPPLY LINE TRENCHES SHALL BE OVER-EXCAVATED AS REQUIRED TO ALLOW FOR BEDDING MATERIAL. TRENCH DEPTH SHALL BE UNIFORM AS REQUIRED TO MEET MINIMUM DEPTH REQUIREMENTS FOR THE TYPE OF PIPING BEING INSTALLED.

- 1. CLEARANCES:
 - a. PIPING SMALLER THAN 3 INCHES - TRENCHES SHALL HAVE A MINIMUM WIDTH OF 7 INCHES, 12 INCHES FOR 3" & LARGER PIPE.
 - b. LINE CLEARANCE - PROVIDE NOT LESS THAN 4 INCHES OF CLEARANCE BETWEEN EACH LINE, AND NOT LESS THAN 12 INCHES OF CLEARANCE BETWEEN LINES OF OTHER TRADES.
 - c. FOR RECLAIMED WATER SYSTEMS, 2-FOOT VERTICAL (BELOW) AND 6-FOOT HORIZONTAL SEPARATIONS FROM POTABLE LINES ARE REQUIRED PER INDUSTRY STANDARDS.
- 2. PIPE AND WIRE DEPTH:
 - a. PRESSURE SUPPLY PIPING - 24 INCHES FROM TOP OF PIPE [30 INCHES WHERE 6" AND LARGER PIPE IS ON PROJECT].
 - b. NON-PRESSURE PIPING - 12 INCHES FROM TOP OF PIPE.
 - c. CONTROL WIRING - SIDE AND BOTTOM OF PRESSURE SUPPLY LINE.
 - d. DRIP PIPING - 12 INCHES FROM TOP OF PIPE.
 - e. EMITTER TUBING - 12 INCHES FROM TOP OF POPE (NON SLOPE PLANTINGS), 4 INCHES FROM THE TOP OF PIPE (SLOPES 2:1 OR GREATER).
- 3. BORING WILL BE PERMITTED ONLY WHERE PIPE MUST PASS UNDER OBSTRUCTION(S) WHICH CANNOT BE REMOVED, AND MUST BE APPROVED BY THE IRRIGATION CONSULTANT IF NOT SPECIFICALLY INDICATED ON CONSTRUCTION DRAWINGS. FINAL DENSITY OF BACKFILL SHALL MATCH THAT OF SURROUNDING SOIL. USE OF SLEEVES OF SUITABLE DIAMETER IS ACCEPTABLE IF INSTALLED FIRST BY JACKING OR BORING, AND PIPE LAID THROUGH SLEEVES. OBSERVE SAME PRECAUTIONS AS THOUGH PIPE WERE INSTALLED IN OPEN TRENCH.

3.03 INSTALLATION
LOCATE OTHER EQUIPMENT AS NEAR AS POSSIBLE TO LOCATION DESIGNATED ON CONSTRUCTION DRAWINGS. DEVIATIONS SHALL BE APPROVED BY CONSULTANT PRIOR TO INSTALLATION.

PVC PIPING:

- 1. SNAKE PIPE IN TRENCH AS MUCH AS POSSIBLE TO ALLOW FOR EXPANSION AND CONTRACTION.
- 2. WHEN PIPE LAYING IS NOT IN PROGRESS, OR AT END OF EACH DAY, CLOSE PIPE ENDS WITH TIGHT PLUG OR CAP. (PERFORM WORK IN ACCORDANCE WITH GOOD PRACTICES PREVAILING IN PIPING TRADES).
- 3. COORDINATE PRESSURE SUPPLY LINE INSTALLATION WITH REQUIRED BEDDING OPERATIONS. CONCRETE THRUST BLOCKS OR STEEL JOINT RESTRAINTS SHALL BE UTILIZED FOR ALL RUBBER-RING JOINT FITTINGS PER INDUSTRY STANDARDS. IN SANDY SOIL, MECHANICAL JOINT FITTINGS SHALL BE USED WITH THRUST BLOCKS.
- 4. STAKE ALL ABOVE-GRADE PVC PIPING PER DETAILS.
- 5. USE 45-DEGREE ELLS WHEN MAKING PERPENDICULAR CROSSINGS OF ABOVE-GRADE PVC PIPING, TO DEPRESS BOTTOM PIPE.
- 6. LAY PIPE AND MAKE ALL PLASTIC-TO-PLASTIC JOINTS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

DRIP PIPING:

- 1. INSTALL FITTING CONNECTIONS PER MANUFACTURER'S RECOMMENDATIONS.
- 2. USE THREADED RISERS AND SCH. 40 OR SCH. 80 FITTINGS PER DETAILS WHEN MAKING CONNECTIONS IN DRIP PIPING FOR EMITTERS AND FITTINGS.
- 3. INSTALL DRIP LINE BLOW-OUT STUBS AT ALL DEAD ENDS OF DRIP PIPING. ANY DEVIATIONS FROM DRIP PIPE ROUTING SHOWN ON DRAWINGS MUST BE APPROVED BY CONSULTANT PRIOR TO INSTALLATION.

CONTROL WIRING

- 1. LOW VOLTAGE WIRING:
 - a. BURY CONTROL WIRING BETWEEN CONTROLLER AND ELECTRIC VALVES IN PRESSURE SUPPLY LINE TRENCHES, WITH WIRES CONSPICUOUSLY LOCATED BELOW AND TO ONE SIDE OF PIPE, ON TOP OF INITIAL PIPE BEDDING, OR IN SEPARATE TRENCHES.
 - b. BUNDLE ALL 24-VOLT WIRES AT 10-FOOT INTERVALS WITH ELECTRICAL OR DUCT TAPE.
 - c. PROVIDE AN EXPANSION LOOP AT PRESSURE SUPPLY LINE ANGLE FITTINGS. EVERY ELECTRIC CONTROL VALVE LOCATION (IN VALVE BOX), AND AT MINIMUM 500 FEET INTERVALS, FORM EXPANSION LOOP BY WRAPPING WIRE AT LEAST 8 TIMES AROUND A 1-INCH PIPE AND WITHDRAWING PIPE.
 - d. MAKE SPICES AND ELECTRIC CONTROL VALVE CONNECTIONS USING SURESPICE SK 12-14 CONNECTORS OR SIMILAR DRY SPICE METHOD.
 - e. INSTALL CONTROL WIRE SPICES NOT OCCURRING AT CONTROL VALVE IN A SEPARATE SPICE VALVE BOX.
 - f. INSTALL ONE CONTROL WIRE FOR EACH CONTROL VALVE.
 - g. RUN 2 SPARE COMMUNICATION CABLE WIRES FROM CONTROLLER PEDESTAL TO LAST ELECTRIC CONTROL VALVE OPERATED BY CONTROLLER ON EACH AND EVERY OF PRESSURE SUPPLY LINE. LABEL SPARE WIRE AS CONTROL VALVE AND WIRE STUB BOX. LOOP A MINIMUM OF 24" FROM ALL SPARE WIRES INSIDE EVERY CONTROL VALVE BOX OPERATED BY CONTROLLER.
 - h. RUN ALL FUTURE CONTROL WIRES FROM CONTROLLER PEDESTAL TO POINT INDICATED ON DRAWINGS. COIL A MINIMUM OF TEN (10) FEET AT TERMINATION AND INSTALL IN 10" ROUND VALVE BOX. LABEL ALL WIRES AT TERMINATION.
- 2. HIGH VOLTAGE WIRING FOR AUTOMATIC CONTROLLER.
- a. PROVIDE 120-VOLT POWER CONNECTION TO AUTOMATIC CONTROLLER.

AUTOMATIC CONTROLLER:

- 1. INSTALL CONTROLLER IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AS DETAILED AND WHERE SHOWN ON DRAWINGS.
- 2. CONNECT REMOTE CONTROL VALVES TO CONTROLLER IN NUMERICAL SEQUENCE AS

- 3. FINAL LOCATION OF CONTROLLER SHALL BE APPROVED BY CONSULTANT PRIOR TO INSTALLATION.
- 4. EACH CONTROLLER SHALL HAVE A DEDICATED SEPARATE GROUND WIRE AND SURGE PROTECTION.
- 5. ABOVE-GROUND CONDUIT SHALL BE RIGID GALVANIZED WITH APPROPRIATE FITTINGS. BELOW-GROUND CONDUIT SHALL BE SCHEDULED 40 PVC.

QUICK COUPLER VALVES:

INSTALL QUICK COUPLERS ON DOUBLE SWING-JOINT ASSEMBLIES OF SCHEDULE 80 PVC PIPING; FLUSH TO GRADE. ANGLES NIPPLE RELATIVE TO PRESSURE SUPPLY LINE SHALL BE NO MORE THAN 45 DEGREES AND NO LESS THAN 10 DEGREES. INSTALL QUICK COUPLER AS DETAILED.

DRIP VALVE ASSEMBLIES - INSTALL DRIP EMITTERS AS DETAILED.

VALVE BOXES:

- 1. INSTALL ONE VALVE BOX FOR EACH TYPE OF VALVE INSTALLED AS DETAILED FLUSH WITH GRADE FOR ALL SODDED AREAS, AND ABOVE-GRADE FOR ALL SEEDED AREAS.
- 2. VALVE BOX EXTENSIONS ARE NOT ACCEPTABLE, EXCEPT FOR MASTER VALVE AND FLOW SENSOR.
- 3. INSTALL GRAVEL SUMP AFTER COMPACTION OF ALL TRENCHES. VALVE BOX TO REST ON GRAVEL SUMP. PLACE FINAL PORTION OF GRAVEL INSIDE VALVE BOX AFTER VALVE BOX IS BACKFILLED AND COMPACTED.
- 4. INSTALL "CHRISTY" STAINLESS STEEL OR 2.5" X 5" PLASTIC VALVE LABEL TAGS FOR EACH VALVE BOX (1-800-236-4553). ENTIRE CONTROLLER AND STATION NUMBER SHALL BE PRINTED ON EACH TAG. LETTER AND NUMBER SIZE SHALL BE NO SMALLER THAN 1/2 INCH AND NO GREATER THAN 3 INCHES. LABEL EACH VALVE BOX AS FOLLOWS:
 - a. CONTROL VALVES - CONTROLLER LETTER AND STATION NUMBER. BURN "DEC" INTO BOX COVER FOR ALL ELECTRIC VALVES WITH DECODERS.
 - b. QUICK COUPLER VALVES - LABEL "QCV."
 - c. WIRE SPICES - LABEL WIRE SPICES WITH THE LETTERS "W.S."
 - d. DRIP PIPING BLOW-OUT STUBS - CONTROLLER LETTER AND STATION NUMBER OF EACH DRIP PIPING BLOW-OUT.
 - e. GATE VALVES - LABEL WITH LETTERS "GV" TYPICAL.
 - f. AIR-RELIEF VALVES - LABEL WITH LETTERS "ARV" TYPICAL.
 - g. MANUAL DRAIN VALVE - LABEL WITH LETTERS "MDV."
 - h. PRESSURE REDUCING VALVES - LABEL WITH LETTERS "PRV" TYPICAL.
 - i. FLOW SENSORS - LABEL WITH LETTERS "FS" TYPICAL.
- 5. VALVE BOX COLOR TO BE SELECTED BASED UPON A REVIEW OF THE LOCATION AND ADJACENT MATERIAL BY OWNER AND LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. THESE GUIDELINES ARE TYPICAL OF ALL INSTALLATIONS UNLESS WATER SOURCE IS EFFLUENT, IN THAT CASE ALL VALVE BOXES NO MATTER THE LOCATION ARE TO BE PURPLE IN COLOR AND MEET ALL APPLICABLE CODES AND ORDINANCES.

BACKFLOW PREVENTER - INSTALL AS DETAILED ON DRAWINGS IF APPLICABLE.

PUMP STATION - INSTALL AS DETAILED ON DRAWINGS.

ELECTRIC CONTROL VALVES:

INSTALL TOP OF CROSS HANDLE A MAXIMUM OF 3 INCHES BELOW FINISHED GRADE WHERE SHOWN ON DRAWINGS AND AS DETAILED, WHEN GROUPED TOGETHER, ALLOW A MINIMUM OF 12 INCHES BETWEEN VALVE BOX SIDES. SPACE CONTROL VALVES ACCORDINGLY. INSTALL EACH REMOTE CONTROL VALVE IN A SEPARATE VALVE BOX. INSTALL VALVE BOXES FLUSH WITH GRADE, WHEN PARALLEL TO ROADWAY, SIDEWALK OR OTHER PERMANENT ELEMENT OR STRUCTURE. CONTROL VALVE AND BOX ARE TO BE INSTALLED PERPENDICULAR TO ELEMENT OR STRUCTURE, SPACED EQUALLY. FOR ATHLETIC AREAS SUCH AS FOOTBALL FIELDS WHERE CONCRETE CURBS EXIST, PLACE ELECTRIC VALVES WITHIN ONE FOOT OF CURB.

MAIN LINE GATE VALVES - INSTALL AS DETAILED ON DRAWINGS.

AIR-RELIEF VALVES - INSTALL AS DETAILED ON DRAWINGS.

CONTROL WIRING:

- 1. ALL CONTROL WIRING TO BE LAID TO BOTTOM AND SIDE OF PRESSURED SUPPLY LINE TRENCH. SEPARATE WIRE TRENCHES WILL NOT BE ALLOWED UNLESS APPROVED BY CONSULTANT PRIOR TO INSTALLATION.

BACKFILLING - DO NOT BEGIN BACKFILLING OPERATION UNTIL REQUIRED SYSTEM TESTS HAVE BEEN COMPLETED. BACKFILL SHALL NOT BE DONE IN FREEZING WEATHER EXCEPT WITH PRIOR WRITTEN APPROVAL BY CONSULTANT. LEAVE TRENCHES SLIGHTLY MOUNDED TO ALLOW FOR SETTLEMENT AFTER BACKFILLING IS COMPLETE. TRENCHES SHALL BE FINISHED GRADED PRIOR TO WALK-THROUGH OF SYSTEM BY CONSULTANT.

- 1. ALL PRESSURE SUPPLY LINES SHALL BE BEDDED WITH CONSTRUCTION GRADE SAND 4 INCHES BELOW INVERT OF PIPE, TO 6" ABOVE TOP OF PIPE AND WIDTH OF TRENCH WHEN SITE CONDITIONS ARE ROCKY OR OTHERWISE UNFAVORABLE.
- 2. MATERIALS - EXCAVATED MATERIALS GENERALLY CONSIDERED SATISFACTORY FOR BACKFILLING PURPOSES AFTER COMPLETING BEDDING REQUIREMENTS. BACKFILL MATERIALS SHALL BE FREE OF RUBBISH, VEGETATIVE MATTER, FROZEN MATERIALS, AND STONES LARGER THAN 2 INCHES IN MAXIMUM DIMENSION. DO NOT MIX SUBSOIL WITH TOPSOIL. MATERIAL NOT SUITABLE FOR BACKFILL SHALL BE HAULED AWAY. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SUITABLE BACKFILL IF EXCAVATED MATERIAL IS UNACCEPTABLE, OR NOT SUFFICIENT TO MEET BACKFILL, COMPACTION, AND FINAL GRADE REQUIREMENTS.
- 3. DO NOT LEAVE TRENCHES OPEN FOR A PERIOD OF MORE THAN 48 HOURS. OPEN EXCAVATIONS SHALL BE PROTECTED IN ACCORDANCE WITH OSHA REGULATIONS.
- 4. COMPACT BACKFILL TO 90% MAXIMUM DENSITY IN 6" LIFTS, DETERMINED IN ACCORDANCE WITH ASTM D1557 UTILIZING THE FOLLOWING METHODS:
 - a. MECHANICAL TAMPING.
 - b. PUDDLING OR PONDING. PUDDLING OR PONDING AND/OR JETTING IS PROHIBITED WITHIN 10'-0" OF BUILDING OR FOUNDATION WALLS.

PIPING UNDER PAVING:

- 1. PROVIDE FOR A MINIMUM COVER OF 24 INCHES BETWEEN THE TOP OF THE PIPE AND THE BOTTOM OF THE AGGREGATE BASE FOR ALL PRESSURE AND NON-PRESSURE PIPING INSTALLED UNDER ASPHALT CONCRETE OR CONCRETE PAVING. PROVIDE SLEEVING AS REQUIRED BY MUNICIPALITY, OR AS SHOWN ON PLANS.
- 2. PIPING SHALL BE BED

TOWN OF PARADISE VALLEY NOTES

- GRADING SHALL BE IN CONFORMANCE WITH 2018 IBC.
- PRIOR TO FIRST FOOTING INSPECTION OF ANY TYPE, ALL PROPERTY PINS SHALL BE PLACED BY A REGISTERED LAND SURVEYOR OF THE STATE OF ARIZONA, AND PROPERTY LINES MUST BE PHYSICALLY IDENTIFIED PRIOR TO INSPECTION.
- WHERE EXCAVATION IS TO OCCUR THE TOP 4" OF EXCAVATED NATIVE SOIL SHALL REMAIN ON THE SITE AND SHALL BE REUSED IN A MANNER THAT TAKES ADVANTAGE OF THE NATURAL SOIL SEED BANK IT CONTAINS.
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) SPECIFICATIONS AND STANDARD DETAILS.
- ALL EXTERIOR SITE LIGHTING SHALL COMPLY WITH REQUIREMENTS OF SECTION 2208 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES FOR FUTURE TYPE, LOCATION, HEIGHT, WATTAGE BASED UPON FIXTURES INSTALLED.
- A DUST CONTROL PLAN MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
- A SEPARATE PERMIT IS NECESSARY FOR ANY OFFSITE CONSTRUCTION.
- AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
- EAVE PROJECTIONS INTO REQUIRED SETBACKS ARE LIMITED TO A MAXIMUM OF 24" PURSUANT TO SECTION 1008 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES.
- ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
- ALL NEW AND EXISTING ELECTRICAL SERVICE TO BE BURIED UNDERGROUND PER THE TOWN OF PARADISE VALLEY STANDARDS.
- POOL, SPA, BARBECUE AND ANY PROPOSED STRUCTURES OVER 8 INCHES ABOVE GRADE REQUIRE SEPARATE PERMIT APPLICATIONS.
- POOLS SHALL BE CONSTRUCTED BY SEPARATE PERMIT AND SECURED FROM UNWANTED ACCESS PER SECTION 5-2-2 OF THE TOWN OF PARADISE VALLEY ORDINANCES.
- A SETBACK CERTIFICATION IS REQUIRED AND MUST BE GIVEN TO TOWN INSPECTOR AT STEM WALL INSPECTION.
- MAIL BOX TO COMPLY WITH THE TOWN OF PARADISE VALLEY STANDARDS FOR MAIL BOXES IN THE R.O.W. FOR HEIGHT, WIDTH AND BREAK AWAY FEATURES.
- ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE. ALL LAWN AREAS ADJOINING WALKS OR SLABS WILL BE GRADED TO 2" BELOW THE TOP OF SLAB. TYPICAL FINISHED GRADE AROUND PERIMETER OF BUILDING IS MINUS 6" BELOW FINISHED FLOOR UNLESS SPECIFIED OTHERWISE.
- ALL MATERIAL TO BE UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95% PER ASTM D698.
- SOILS COMPACTION TEST RESULTS MUST BE SUBMITTED TO THE TOWN ENGINEER'S OFFICE FOR BUILDING PAIDS THAT HAVE ONE (1) FOOT OR MORE OF FILL MATERIAL INDICATED. THIS INFORMATION MUST BE SUPPLIED PRIOR TO REQUEST FOR FINAL INSPECTION.
- TRENCH BED SHALL BE FREE OF ROCKS AND DEBRIS.
- FINISHED FLOOR ELEVATION CERTIFICATION IS REQUIRED AND SHALL BE PROVIDED TO TOWN INSPECTOR PRIOR TO STRIP AND SHEAR INSPECTION.
- REGULATION II RULE 20-3 OF THE MARICOPA COUNTY HEALTH DEPARTMENT, BUREAU OF AIR POLLUTION CONTROL SHALL BE OBSERVED AND ENFORCED.
- ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL CITY OR TOWN UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
- THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL STATE, AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO THE CONSTRUCTION COVERED BY THIS PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
- ALL CONSTRUCTION IN THE PUBLIC RIGHTS-OF-WAY OR IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) UNIFORM STANDARD SPECIFICATIONS AND UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION.
- THE TOWN ONLY APPROVES THE SCOPE, NOT THE DETAIL, OF ENGINEERING DESIGNS; THEREFORE, IF CONSTRUCTION QUANTITIES ARE SHOWN ON THESE PLANS, THEY ARE NOT VERIFIED BY THE TOWN.
- THE APPROVAL OF PLANS IS VALID FOR SIX (6) MONTHS; IF AN ENCRoACHMENT PERMIT FOR THE CONSTRUCTION HAS NOT BEEN ISSUED WITHIN SIX MONTHS, THE PLANS MUST BE RESUBMITTED TO THE TOWN FOR RE-APPROVAL.
- A PUBLIC WORKS INSPECTOR WILL INSPECT ALL WORKS WITHIN THE TOWN OF PARADISE VALLEY RIGHTS-OF-WAY AND IN EASEMENTS. NOTIFICATION INSPECTION SERVICES 24 HOURS PRIOR TO BEGINNING CONSTRUCTION BY CALLING 480-312-5750.
- WHENEVER EXCAVATION IS NECESSARY, CALL THE BLUE STAKE CENTER, 602-263-1100, TWO WORKING DAYS BEFORE EXCAVATION BEGINS. THE CENTER WILL SEE THAT THE LOCATION OF THE UNDERGROUND UTILITY LINES IS IDENTIFIED FOR THE PROJECT. CALL "COLLECT" IF NECESSARY.
- ENCROACHMENT PERMITS ARE REQUIRED FOR ALL WORK IN PUBLIC RIGHTS-OF-WAY AND EASEMENTS GRANTED FOR PUBLIC PURPOSES. AN ENCROACHMENT PERMIT WILL BE ISSUED BY THE TOWN ONLY AFTER THE REGISTRANT HAS PAID A BASE FEE PLUS A FEE FOR INSPECTION SERVICES. COPIES OF ALL PERMITS MUST BE RETAINED ON-SITE AND BE AVAILABLE FOR INSPECTION AT ALL TIMES. FAILURE TO PRODUCE THE REQUIRED PERMITS WILL RESULT IN IMMEDIATE SUSPENSION OF ALL WORK UNTIL THE PROPER PERMIT DOCUMENTATION IS OBTAINED.
- ALL EXCAVATION AND GRADING THAT IS NOT IN THE PUBLIC RIGHTS-OF-WAY OR NOT IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO CHAPTER 70, EXCAVATION AND GRADING, OF THE LATEST EDITION OF THE IBC BY THE ICC. A PERMIT FOR THIS GRADING MUST BE SECURED FROM THE TOWN FOR A FEE ESTABLISHED BY THE UNIFORM BUILDING CODE.
- EXCAVATIONS SHALL COMPLY WITH REQUIREMENTS OF OSHA EXCAVATION STANDARDS (29 CFR, PART 1926, SUBPART P). UNDER NO CIRCUMSTANCES WILL THE CONTRACTORS BE ALLOWED TO WORK IN A TRENCH LOCATED WITHIN THE TOWN'S RIGHT-OF-WAY WITHOUT PROPER SHORING OR EXCAVATION METHODS.
- ON DEMOLITION, GRADING, REMODELING AND NEW CONSTRUCTION PROJECTS, PERMITTEE MUST NOTIFY ADJACENT PROPERTY OWNERS REGARDING THE NATURE OF THE PROJECT, THE TIME PERIOD FOR CONSTRUCTION, AND ANY UNUSUAL ACTIVITIES THAT MAY CAUSE DISRUPTION OF THE NORMAL COURSE OF TRAFFIC DURING CONSTRUCTION.
- ALL PERMITTEES MUST POST A 6 SQUARE FOOT (2'x3') IDENTIFICATION SIGN, MADE OF DURABLE MATERIAL, IN THE FRONT YARD OF SUBJECT PROPERTY AND NOT IN THE TOWN RIGHT-OF-WAY. THE SIGN MAY NOT EXCEED A MAXIMUM OF 6 FEET IN HEIGHT FROM GRADE TO THE TOP OF THE SIGN. THE SIGN MUST INCLUDE THE PERMITTEE OR COMPANY NAME, PHONE NUMBER, TYPE OF WORK, AND ADDRESS OF PROJECT.
- WHEN DEEMED NECESSARY, A 6-FOOT HIGH CHAIN LINK FENCE MUST BE INSTALLED AROUND THE CONSTRUCTION AREA TO PREVENT ANY POTENTIAL SAFETY HAZARD FOR THE PUBLIC. THE FENCE SHALL BE SETBACK AT LEAST 10 FEET FROM ALL RIGHTS-OF-WAY AND HAVE A 50-FOOT STREET CORNER SITE TRIANGLE WHERE APPLICABLE.
- CLEAR ACCESS FOR NEIGHBORING PROPERTIES AND EMERGENCY VEHICLES MUST BE MAINTAINED AT ALL TIMES. CONSTRUCTION RELATED VEHICLES MUST BE LEGALLY PARKED ONLY ON ONE SIDE OF THE STREET OR JOB SITE PROPERTY. IF A STAGING AREA IS NEEDED ON A PROPERTY OTHER THAN THE CONSTRUCTION SITE FOR CONSTRUCTION SUPPLIES AND EQUIPMENT, THE PERMITTEE MUST OBTAIN PROPERTY OWNER AND TOWN APPROVAL FIRST AND MUST INFORM THE ADJACENT PROPERTY OWNERS OF THE LOCATION OF STAGING AREA, AND TIME AND HOURS DURING THE DAY THE AREA WILL BE USED.
- EXCEPT AS OUTLINED IN ITEM 4, ALL CONSTRUCTION DEBRIS AND EQUIPMENT MUST BE CONTAINED ON SITE AT ALL TIMES. CONTRACTOR AND PROPERTY OWNER MUST MAINTAIN THE JOB SITE FREE OF LITTER AND UNSIGHTLY MATERIALS AT ALL TIMES. CONSTRUCTION MATERIALS ARE PROHIBITED IN THE TOWN RIGHT-OF-WAY OR NEAR ADJACENT PROPERTIES.
- BUILDING CONSTRUCTION MUST NOT START SOONER THAN SUNRISE AND MUST STOP NO LATER THAN SUNSET. ALSO, ORDINANCE #561 IMPOSES RESTRICTIONS ON CONSTRUCTION WORK ON SATURDAYS, SUNDAYS AND MAJOR BUSINESS HOLIDAYS. HILLSIDE PROJECTS MAY HAVE ADDITIONAL RESTRICTIONS. EQUIPMENT WITH AUDIBLE REVERSE DIRECTION WARNINGS MUST NOT BE OPERATED PRIOR TO 7:00 A.M.
- THE USE AND OPERATION OF FUEL-FIRED GENERATORS ON ANY CONSTRUCTION SITE, NEW, EXISTING OR REMODELING, IS PROHIBITED UNLESS DUE TO A HARDSHIP TOWN APPROVAL IS OBTAINED.
- THE CONTRACTOR AND PROPERTY OWNER WILL BE LIABLE FOR ANY DAMAGE DONE TO ANY PUBLIC PROPERTY AS A RESULT OF ANY CONSTRUCTION OR CONSTRUCTION RELATED ACTIVITIES. NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL AFFECTED RIGHTS-OF-WAY ARE CLEANED AND/OR REPAIRED TO THEIR ORIGINAL CONDITION AND UNTIL ANY AND ALL DAMAGES TO AFFECTED PROPERTIES ARE RESTORED TO ORIGINAL CONDITION, OR UNTIL SUCH TIME THAT A WRITTEN, SIGNED AND LEGALLY BINDING AGREEMENT HAS BEEN REACHED BY THE PARTIES INVOLVED TO REMEDY ANY VIOLATION WITHIN A REASONABLE TIME PERIOD, AND UNTIL ALL REQUIRED FEES ARE PAID IN FULL.
- THE NATURAL FLOW OF RAINWATER AND OTHER SURFACE DRAINAGE FROM THE PROPERTY MAY NOT BE ALTERED IN ANY WAY.
- A KEY SWITCH SHALL BE REQUIRED ON ALL NEW AND EXISTING ELECTRIC ENTRY CONTROL GATES. THE KEY SWITCH SHALL BE INSTALLED IN A LOCATION ON THE GATE CONTROL PANEL THAT IS READILY VISIBLE AND ACCESSIBLE. KNOX BOX ORDER FORMS ARE AVAILABLE AT THE PARADISE VALLEY BUILDING DEPARTMENT.
- ALL EQUIPMENT OF ALL TRADES ON OR AFFECTING THE JOB MUST BE CLEANED ONLY IN A PRE-DETERMINED AND DESIGNATED AREA. DEBRIS AND RUNOFF FROM SAID AREA MAY NOT EXTEND BEYOND THE BUILDING AREA.
- PROPERTY OWNER, BUILDER, OR GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR CONTROLLING DUST FROM THE SITE AT ALL TIMES. ALL MEANS NECESSARY SHALL BE USED BY THE BUILDER OR GENERAL CONTRACTOR TO CONTROL THE EXISTENCE OF DUST CAUSED BY ANY EARTHWORK, SPRAY APPLICATION OF MATERIALS, OR OTHER DUST-CAUSING PRACTICES REQUIRED BY THE CONSTRUCTION PROCESS.
- AN INSPECTION FEE WILL BE CHARGED IF THE INSPECTION IS REQUIRED AS A RESULT OF A CODE VIOLATION.
- FOR DEMOLITION INSPECTION OWNER OR PERMITTEE SHALL NOTIFY OSHA FOR ASBESTOS INSPECTION. ALL DEMOLITIONS AND ALL RENOVATION ACTIVITIES THAT WILL DISTURB FRABLE ASBESTOS CONTAINING MATERIALS MUST BE REPORTED TO THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT.

ENGINEERS NOTES

- MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION INCLUDING LATEST REVISION AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL TOWN OR CITY) ARE INCORPORATED INTO THIS PLAN IN THEIR ENTIRETY.
- ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL CITY OR TOWN UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
- GRADING SHALL BE IN CONFORMANCE WITH 2018 IBC SEC. 1803 AND APPENDIX J.
- 5% MINIMUM SLOPE AWAY FROM BUILDING FOR A MINIMUM 10', U.N.O.
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) SPECIFICATIONS AND STANDARD DETAILS.
- A DUST CONTROL PLAN MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
- A SEPARATE PERMIT IS NECESSARY FOR ANY OFFSITE CONSTRUCTION.
- AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
- ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTOR DITCHES, PIPES, PROTECTIVE BERMS, BARRIER WALLS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT ADJACENT BUILDINGS OR PROPERTY FROM STORM RUNOFF MUST BE COMPLETED PRIOR TO BUILDING CONSTRUCTION.
- ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
- ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE. ALL LAWN AREAS ADJOINING WALKS OR SLABS WILL BE GRADED TO 2" BELOW THE TOP OF SLAB. TYPICAL FINISHED GRADE AROUND PERIMETER OF BUILDING IS MINUS 6" BELOW FINISHED FLOOR UNLESS SPECIFIED OTHERWISE.
- ALL MATERIAL TO BE UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95% PER ASTM D698.
- THE MATERIALS AND SITE CONDITIONS DEPICTED IN THESE PLANS ARE FOR INFORMATIONAL PURPOSES ONLY AND ARE SUBJECT TO ERROR AND OMISSION. CONTRACTORS SHALL SATISFY THEMSELVES AS TO ACTUAL QUANTITIES AND SITE CONDITIONS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL METHODS, SEQUENCING, AND SAFETY CONCERNS ASSOCIATED WITH THIS PROJECT DURING CONSTRUCTION, UNLESS SPECIFICALLY ADDRESSED OTHERWISE IN THIS PLAN OR ELSEWHERE.
- A REASONS OF EFFORT HAS BEEN MADE TO SHOW THE LOCATIONS OF EXISTING UNDERGROUND FACILITIES AND UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND/OR FACILITIES CAUSED DURING THEIR CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL CALL 48 HOURS IN ADVANCE FOR BLUE STAKE (1-800-STAKE-IT) PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION OF CONSTRUCTION AFFECTING UTILITIES AND THE COORDINATION OF ANY NECESSARY UTILITY RELOCATION WORK.
- ALL PAVING, GRADING, EXCAVATION, TRENCHING, PIPE BEDDING, CUT, FILL AND BACKFILL SHALL COMPLY WITH THE RECOMMENDATIONS SET FORTH IN THE SOILS (GEOTECHNICAL) REPORT FOR THIS PROJECT IN ADDITION TO THE REFERENCED REQUIRED SPECIFICATIONS AND DETAILS.
- THE CONTRACTOR IS TO VERIFY THE LOCATION AND THE ELEVATIONS OF ALL EXISTING UTILITIES AT POINTS OF TIE-IN PRIOR TO COMMENCING ANY NEW CONSTRUCTION. SHOULD ANY LOCATION OR ELEVATION DIFFER FROM THAT SHOWN ON THESE PLANS, THE CONTRACTOR SHALL CONTACT THE OWNER'S AGENT.
- CONTRACTOR TO VERIFY AND COORDINATE ALL DIMENSIONS AND SITE LAYOUT WITH ARCHITECTURE'S FINAL SITE PLAN AND FINAL BUILDING DIMENSIONS BEFORE STARTING WORK. REPORT DISCREPANCIES TO OWNER'S AGENT.
- COORDINATION BETWEEN ALL PARTIES IS ESSENTIAL PART OF CONTRACT.
- CONTRACTOR IS RESPONSIBLE FOR PROJECT AND SITE CONDITIONS, AND TO WORK WITH WEATHER CONDITIONS AS THE PROJECT SITE MAY BE LOCATED IN A FLOOD PRONE AREA AND SUBJECT TO FLOODING AND ITS HAZARDS.
- THE CONTRACTOR IS TO VERIFY THE LOCATION, ELEVATION, CONDITION, AND PAVEMENT CROSS-SLOPE OF ALL EXISTING SURFACES AT POINTS OF TIE-IN AND MATCHING, PRIOR TO COMMENCEMENT OF GRADING, PAVING, CURB AND GUTTER, OR OTHER SURFACE CONSTRUCTION. SHOULD EXISTING LOCATIONS, ELEVATIONS, CONDITION, OR PAVEMENT CROSS-SLOPE DIFFER FROM THAT SHOWN ON THESE PLANS, RESULTING IN THE DESIGN INTENT REFLECTED ON THESE PLANS NOT ABLE TO BE CONSTRUCTED, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AGENT IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ALL COSTS ASSOCIATED WITH CORRECTIVE ACTION IF THESE PROCEDURES ARE NOT FOLLOWED.
- CONTRACTOR IS RESPONSIBLE TO COORDINATE UTILITY CROSSINGS AT CULVERT CROSSINGS BEFORE STARTING WORK ON CULVERT. COORDINATE WITH OWNER REPRESENTATIVE. VERIFY UTILITY LINES AND/OR CONDUITS ARE IN PLACE BEFORE STARTING CULVERT WORK.
- ALL ON-SITE UTILITIES PER OTHERS.
- THIS PROJECT REQUIRES A REGULAR ONGOING MAINTENANCE PROGRAM FOR THE DESIGNED DRAINAGE SYSTEM(S) TO PRESERVE THE DESIGN INTEGRITY AND THE ABILITY TO PERFORM ITS OPERATIONAL INTENT. FAILURE TO PROVIDE MAINTENANCE WILL JEOPARDIZE THE DRAINAGE SYSTEM(S) PERFORMANCE AND MAY LEAD TO IT'S INABILITY TO PERFORM PROPERLY AND/OR CAUSE DAMAGE ELSEWHERE IN THE PROJECT.
- IF A DISCREPANCY IS FOUND BETWEEN ENGINEER'S PLAN OR SURVEYOR'S STAKING AND THE ARCHITECTURAL PLAN, ENGINEER SHALL BE NOTIFIED IMMEDIATELY. FAILURE TO NOTIFY ENGINEER SHALL NEGATE ENGINEER'S LIABILITY.
- ALL DISTURBED AREAS ARE TO BE ROPED AND ROPING MUST MATCH PLAN.
- VEGETATION OUTSIDE OF CONSTRUCTION AREA TO REMAIN.
- AREAS OUTSIDE THE WALL AND CUT AND FILL SLOPES SHALL BE REVEGETATED WITH SIMILAR PLANT TYPES AND DENSITIES FOUND ON THE SITE. REVEGETATION SHALL BE COMPLETED PRIOR TO OCCUPANCY AND THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- MECHANICAL EQUIPMENT SHALL BE SCREENED TO A MINIMUM OF ONE FOOT ABOVE TOP OF EQUIPMENT.
- ANY FUTURE IMPROVEMENTS SHOWN HEREON SHALL REQUIRE A SEPARATE PERMIT.
- ANY POINTS OF DRAINAGE CONCENTRATION SHOULD BE PROTECTED AGAINST EROSION WITH NATIVE STONE.
- THIS PLAN IS DESIGNED TO SHOW SITE GRADING AND DRAINAGE CONTRACTOR SHALL USE THE ARCHITECTURAL SITE PLAN TO DETERMINE FINAL HOUSE, WALL, STEP, ETC., LOCATIONS AND ELEVATIONS.
- ALL DRAINAGE FACILITIES TO BE MAINTAINED BY HOMEOWNER.
- SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR SITE AND RETAINING WALLS LAYOUT, DIMENSIONS, AND DETAILS.
- TOP OF FOOTING ELEVATIONS SHOWN IN PLAN ARE APPROXIMATE ONLY. ACTUAL TOP OF FOOTINGS TO BE DETERMINED AT TIME OF CONSTRUCTION AND TO BE A MINIMUM OF SIX INCHES BELOW EXISTING NATURAL GRADE OR FINISHED GRADE, WHICHEVER IS LOWER (TYPICAL).
- REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT, DIMENSIONS AND ELEVATIONS.
- REFER TO STRUCTURAL DRAWINGS, DETAILS AND CALCULATIONS FOR ALL PROPOSED RETAINING WALLS.
- FOR CHANGE IN ELEVATION THAT ARE GREATER THAN 30", PROVIDE 36" HIGH QUADRAIRLS FOR TOTAL OF 42" FALL PROTECTION BARRIER U.N.O.
- CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE - 5% MIN SLOPE FOR FIRST 10 FEET, U.N.O.
- ALL WATER AND SEWER LINES AND CONNECTIONS MUST BE INSTALLED PER IPC 2018, MAG AND TOWN OF PARADISE VALLEY SUPPLEMENT TO MAG.
- WATERPROOF ALL EXTERIOR WALLS 18" ABOVE FINISH GRADE-(BITUTHENE® 3000 HC MEMBRANE W/ GRACE PROTECTION 03 OR APPROVED EQUAL).
- ALL PIPES AND FITTINGS SHALL BE INSTALLED PER MANUFACTURE'S SPECIFICATIONS AND DETAILS.
- ABANDONMENT OF EXISTING AND INSTALLATION OF NEW SEPTIC SYSTEMS SHALL BE PERFORMED IN ACCORDANCE WITH THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT RULES AND STANDARDS, AND WILL REQUIRE SEPARATE PERMIT.
- COORDINATE RIPRAP COLOR WITH LANDSCAPE PLANS AND DETAILS.
- VERIFY AND COORDINATE WITH LANDSCAPE PLANS FINAL LOCATION AND GRATE TYPE OF SPECIFIED AREA DRAINS AND TRENCH DRAINS.
- VERIFY AND COORDINATE WITH ARCHITECTURAL AND LANDSCAPE PLANS LOCATION AND HEIGHT OF ALL SITE WALLS.
- DISTURBED AREA: TOTAL ACRES = 1.009 ACRES > 1 ACRE; NPDES PERMIT IS REQUIRED.
- REFER TO ARCHITECTURAL PLANS AND DETAILS FOR DEMOLITION AND REMOVAL OF ANY EXISTING BUILDING STRUCTURES, SITE WALLS, POOL AND PAVEMENT ETC.
- REFER TO GEOTECHNICAL REPORT FOR SPECIFIC RECOMMENDATIONS AND MAXIMUM ALLOWED FILL AND CUT SLOPES.
- THE PROPOSED POOL EQUIPMENT FOR THIS PROJECT SHALL BE EQUIPPED WITH CARTRIDGE FILTER IN ORDER TO AVOID THE BACKWASH.

FIRE SPRINKLER SYSTEM

FIRE SPRINKLER SYSTEM TO BE INSTALLED PER THE REQUIREMENTS OF THE TOWN OF PARADISE VALLEY AND IN ACCORDANCE WITH I.B.C. SECT. 904.2.2 AMD. AND 2018 IFG, SEC. 903.

PRELIMINARY GRADING & DRAINAGE PLAN
WOLFSWINKEL RESIDENCE
3924 E BETHANY HOME RD., PARADISE VALLEY, AZ 85253
LOT 5 - ARROYO HEIGHTS

A SUBDIVISION PLAT RECORDED IN BOOK 110 OF MAPS, PAGE 50, MCR.,
LOCATED IN A PORTION OF THE NE 1/4 OF THE NE 1/4 OF THE NE 1/4 OF SECTION 13, T.2N, R.3E
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

LEGEND

- BRASS CAP FLUSH
 - FOUND REBAR OR AS NOTED
 - CALCULATED POINT
 - PROPERTY LINE
 - EASEMENT LINE
 - MONUMENT LINE
 - WM WATER METER
 - MAILBOX
 - SEWER MANHOLE
 - TRANSFORMER
 - CATV, PHONE
 - SEWER LINE
 - GAS LINE
 - WATER LINE
 - ELECTRIC LINE
 - TELECOMM. LINE
 - COMM. LINE
 - - - - - EXISTING CONTOUR
 - EXIST. DRAINAGE FLOW
 - EXIST. SPOT ELEVATION
 - CITRUS TREE
 - PALO VERDE
 - PROPOSED SPOT ELEVATION
 - PROPOSED CONTOUR
 - EXISTING DISTURBED AREA
 - PROPOSED DISTURBED AREA
 - STORM DRAIN PIPE
 - CATCH BASIN
 - RETAINING WALL
 - EXTENDED STEM
 - TOP OF IRON FENCE
 - TOP OF WALL
 - TOP OF RETAINING WALL
 - FINISH GRADE
 - BOTTOM OF WALL
 - TOP OF FOOTING
 - RIP-RAP
 - HISTORIC CONTOUR
- BC BACK OF CURB
BSL BUILDING SETBACK LINE
EG EXISTING GRADE
EL ELEV
EP EDGE OF PAVEMENT
ESMT EASEMENT
EX, EXIST. EXISTING
FG FINISH GRADE
G GUTTER, GAS
MCR MARICOPA COUNTY RECORDER
P, PWMT PAVEMENT
PUE PUBLIC UTILITY EASEMENT
R RADIUS
R/W RIGHT OF WAY
T TANGENT, TELEPHONE
W WEST, WATERLINE
WM WATER METER

ABBREVIATIONS

- BC BACK OF CURB
BSL BUILDING SETBACK LINE
EG EXISTING GRADE
EL ELEV
EP EDGE OF PAVEMENT
ESMT EASEMENT
EX, EXIST. EXISTING
FG FINISH GRADE
G GUTTER, GAS
MCR MARICOPA COUNTY RECORDER
P, PWMT PAVEMENT
PUE PUBLIC UTILITY EASEMENT
R RADIUS
R/W RIGHT OF WAY
T TANGENT, TELEPHONE
W WEST, WATERLINE
WM WATER METER

UTILITIES

WATER: CITY OF PHOENIX
SANITARY SEWER: CITY OF PHOENIX
ELECTRIC: SRP
TELEPHONE: CENTURY LINK, COX COMMUNICATIONS
NATURAL GAS: SOUTHWEST GAS
CABLE TV: CENTURY LINK, COX COMMUNICATIONS

UTILITIES NOTES

HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THE PLAN ARE APPROXIMATE ONLY AND WILL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO START OF CONSTRUCTION WORK. CALL BLUE STAKE @ (602) 263-1100.

DISTURBED AREA CALCULATIONS

EXISTING LOT AREA: 43,970 S.F. (1,009 AC.)
TOTAL AREA UNDER ROOF: 9,889 S.F.
FLOOR AREA RATIO: 22.03% < 25%
(AREA UNDER ROOF/AREA OF LOT)
BUILDING PAD SLOPE: 6.05%
VERTICAL: 13 FT
HORIZONTAL: 214.7 FT
ALLOWABLE NET DISTURBED AREA: 60.00%
ALLOWABLE NET DISTURBED AREA: 26,382 S.F.
EXISTING GROSS DISTURBED AREA: 100%
EXISTING GROSS DISTURBED AREA: 43,970 S.F.
EXISTING BUILDING FOOTPRINT: 4,899 S.F.
EXISTING NET DISTURBED AREA: 39,071 S.F. (88.86%)
PROPOSED NEW DISTURBED AREA: 0 S.F. (0%)
TOTAL GROSS DISTURBED AREA: 43,970 S.F. (100%)
LESS AREAS OF DISTURBANCE:
TOTAL LIVABLE FOOTPRINT: 6,426 S.F.
TOTAL GARAGE FOOTPRINT: 1,834 S.F.
DRIVEWAY CREDIT @25% 998 S.F.x25%= 250 S.F.
RETENTION BASIN CREDIT @50% 4,447 S.F.x50%=2,224 S.F.
RESTORED AREAS: 0 S.F.
NET DISTURBED AREA: 33,236 S.F. (75.6%)
PERCENT OF LOT STEEPER THAN NATURAL GRADE (5% MAX.): 2,126 S.F. (4.83%)
VOLUME OF CUT: 2,414.C.Y.
VOLUME OF FILL: 411 C.Y.
TOTAL CUT&FILL: 2,825 C.Y.
HILLSIDE ASSURANCE = 35 TIMES THE GRADING PERMIT FEE.
GRADING PERMIT FEE: \$2,856
(\$168 FIRST 100 CY / \$96 EA. ADDITIONAL 100 CY).
ASSURANCE AMOUNT: \$99,960
ALL QUANTITIES LISTED ON THESE PLANS ARE ESTIMATES ONLY. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF THE QUANTITIES AND BASE THEIR BIDS ON THEIR ESTIMATES.

GRADING SPECIFICATIONS

- EXCAVATION AND GRADING OF THIS SITE IS CLASSIFIED AS "ENGINEERED GRADING" PER 2015 I.B.C. AND WILL BE PERFORMED ACCORDINGLY.
- THE CONTRACTOR WILL RETAIN A SOILS ENGINEER DURING CONSTRUCTION TO INSPECT PROGRESS OF CONSTRUCTION, CONCERNING PREPARATION OF GROUND TO RECEIVE FILLS, TESTING AND REQUIRED COMPACTION STABILITY OF ALL FINISH SLOPES INCLUDING CUT SLOPES.
- COMPACTION SHALL COMPLY WITH M.A.G. SECTION 601 AND PROVISIONS AS SET FORTH IN THE SOILS REPORT.
- BEARING MATERIALS FOR FILL RESIDENCE PAD IF NATIVE MATERIAL IS USED. LARGE ROCK FRAGMENTS MUST BE REMOVED THAT ARE IN EXCESS OF SIX INCHES. REMAINING MATERIAL MUST BE SMALLER PARTICLES OF SAND AND ROCK THAT CAN BE COMPACTED INTO A DENSE CONDITION.
MAXIMUM PARTICLE SIZE 6 INCHES
PERCENT PASSING NO. 4 SIEVE 85% TO 70%
PERCENT PASSING NO. 200 SIEVE 25% MAX.
PLASTICITY INDEX 10% MAX.
- CUT-SLOPES: MAXIMUM ROCK CUT SLOPE TO BE 1.0 FEET HORIZONTAL TO 3.0 FEET VERTICAL PER GEOTECHNICAL STUDY.
- FILL SLOPES: MAXIMUM FILL SLOPE TO BE 2.0 FEET HORIZONTAL TO 1.0 FEET VERTICAL.
- COMPACTION FILL MATERIAL MUST BE PLACED ON LEVELED BENCHES CUT INTO UNDISTURBED EXISTING HILLSIDE. PLACE FILL IN HORIZONTAL LIFTS OF THICKNESS COMPATIBLE WITH THE COMPACTION EQUIPMENT USED. COMPACT TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM A.S.T.M. DENSITY AT THE OPTIMUM MOISTURE CONTENT OF ± TWO PERCENT. THIS PERTAINS TO ALL ENGINEERED STRUCTURAL FILL SUPPORTING STRUCTURES AND INCLUDING FILL UNDER ANY OF THE RETAINING WALLS. COMPACTION TEST RESULTS SHALL BE SUBMITTED TO THE SOILS ENGINEER AND TOWN OF PARADISE VALLEY BUILDING AND SAFETY DEPARTMENT.
- ANY RETAINING WALLS ADJACENT TO THE PROPERTY LINES WILL BE UNDER THE SCOPE OF SPECIAL INSPECTION BY THE SOILS ENGINEER. THE DEVELOPER SHALL NOTIFY THE ADJOINING PROPERTY OWNERS IN WRITING, TEN DAYS PRIOR TO START OF CONSTRUCTION ON THESE WALLS PER SECTION 2903-B OF IBC. THE DEVELOPER WILL HAVE TO PROVIDE MEANS OF PROTECTION OF ADJACENT PROPERTY WHILE THIS WORK IS UNDER CONSTRUCTION.
- ALL EXPOSED CUT AND FILL SHALL BE TREATED WITH AN APPROVED AGING AGENT TO MINIMIZE TO VISUAL CONTINUITY.
- NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL ALL HILLSIDE STIPULATIONS AND ALL TOWN CODE REQUIREMENTS ARE COMPLIED INCLUDING, BUT NOT LIMITED TO LANDSCAPING, GROUND RESTORATION, FIRE FLOW, FIRE SAFETY AND ALL ONSITE AND OFFSITE IMPROVEMENTS.
- ALL OUTDOOR LIGHTING SHALL BE IN CONFORMANCE WITH ARTICLE XXII OF THE TOWN ZONING ORDINANCE.
- ALL EXCESS FILL MATERIAL SHALL BE REMOVED FROM THE SITE WITH NO NEW SPILL SLOPES.
- THE USE OF HYDRAULIC RAM HAMMERS, OR OTHER HEAVY EQUIPMENT USED TO CUT THROUGH ROCK, INCLUDING MACHINERY WITH AUDIBLE BACK UP WARNING DEVICES SHALL BE LIMITED TO USE BETWEEN THE HOURS OF 7:00AM OR SUNRISE, WHICHEVER IS LATER, AND 6:00PM OR SUNSET, WHICHEVER IS EARLIER, MONDAY THROUGH FRIDAY, WITH LIMITED WORK ON SATURDAY AND NO WORK ON SUNDAY OR LEGAL HOLIDAYS.
- CONSTRUCTION STAKING AND/OR FENCING SHALL BE PLACED AROUND THE CONSTRUCTION SITE SO AS TO PROTECT THE UNDISTURBED NATURAL AREAS.

DRAINAGE STATEMENT

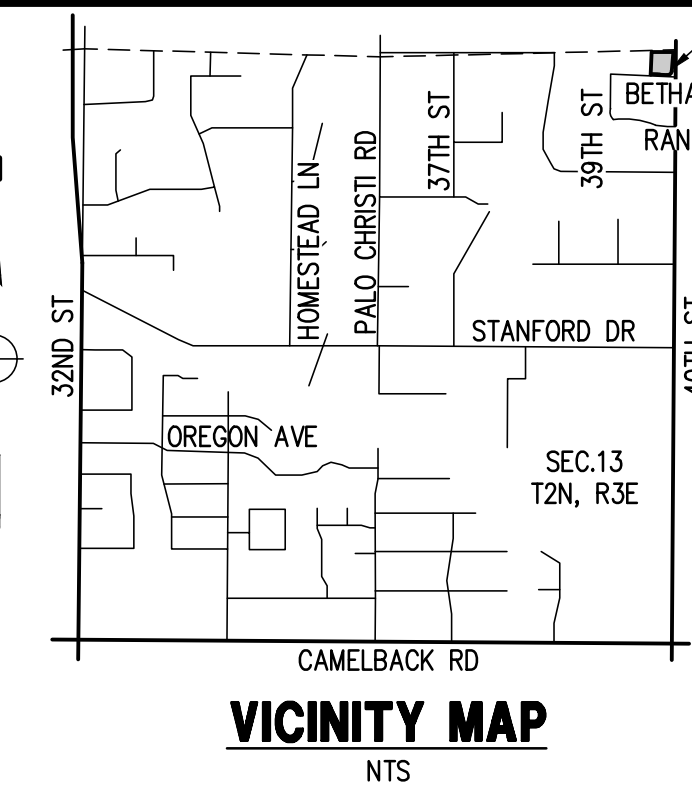
- ULTIMATE STORM OUTFALL IS LOCATED AT THE SOUTHEASTERLY PROPERTY CORNER AT ELEVATION OF 1295.75.
- NEW SINGLE FAMILY RESIDENCE, NEW GARAGE, NEW GUEST HOUSE, NEW DRIVEWAY, NEW POOL & SPA AND SITE IMPROVEMENTS ARE PROPOSED WITH THIS PROJECT.
- PROPOSED DEVELOPMENT DOES NOT IMPACT DRAINAGE CONDITIONS OF ADJOINING LOTS.
- HISTORIC DRAINAGE PATTERNS ARE RESTORED AND PRESERVED.
- THE MINIMUM FINISH FLOOR ELEVATIONS SHOWN ARE SAFE FROM INUNDATION DURING A 100-YEAR PEAK RUN-OFF EVENT IF CONSTRUCTED PER THE APPROVED CIVIL PLANS.
- PROPOSED STORM DRAIN SYSTEM SHALL BE INSPECTED AND CLEANED FROM DEBRIS AND SILT AFTER EVERY MAJOR STORM EVENT.
- CHECK DAMS, RIPRAP AND BOULDERS ARE SPECIFIED AT ALL POINTS OF DISCHARGE TO MITIGATE EROSION AND TO CONVERT CONCENTRATED FLOWS BACK TO SHEET FLOWS.
- ON-SITE RETENTION IS PROVIDED FOR THE FIRST FLOOD STORM EVENT FOR THE LIMITS OF DISTURBANCE.

PROJECT DESCRIPTION

NEW SINGLE FAMILY RESIDENCE, NEW ATTACHED GARAGE, NEW CASITA, NEW DRIVEWAY, NEW POOL & SPA AND SITE IMPROVEMENTS WITH ON-SITE RETENTION.

SHEET INDEX

- C-1 - COVER SHEET
- C-2 - PRELIMINARY IMPROVEMENT PLAN DETAILS
- C-3 - STORM DRAIN PLAN CROSS SECTIONS DETAILS



VICINITY MAP

ARCHITECT

MATTHEW THOMAS ARCHITECTURE, LLC
PO BOX 27851
SCOTTSDALE, AZ 85255
P: 602-301-3618
F: 602-467-3018
E: MATTHOM@ARCHITECTURE.COM

SITE DATA

APN: 170-01-006
ADDRESS: 3924 E BETHANY HOME RD., PARADISE VALLEY, AZ 85253
ZONING: R-43
LOT AREA: 43,970 S.F. (1,009 AC.)
OS #: 20-36
MAIN HOUSE:
MAIN LVL LIVABLE 5,334 SF
UPPER LVL. LIVABLE 429 SF
MAIN LVL. NON-LIVABLE 1,834 SF
UPPER LVL. NON-LIVABLE 14 SF
COVERED PATIOS 587 SF
UPPER LVL. WALK DECK 114 SF
(INCL'D. W/ COV'DR. PATIO TOTAL BELOW)
DETACHED CASTA:
LIVABLE 1,092 SF
NON-LIVABLE 56 SF
COVERED PATIOS 0 SF
MISC. TRELLISES 229 SF
ROOF EAVES 0 SF
TOTAL LIVABLE 6,855 SF
TOTAL NON-LIVABLE 1,904 SF
TOTAL COV'DR. PATIO 701 SF
TOTAL COV'RG. 9,889 SF
LOT COV'RG. 22.03%

LAND SURVEYOR

J.L.D. ENGINEERING, PPC
2822 S BUCKSKIN WAY,
CHANDLER, AZ 85286
P: 602-790-7958
CONTACT: REED DALBIK, PE
REED@JLD-ENGINEERING.COM

NOTE: CIVIL ENGINEERING DESIGN PRESENTED HEREIN IS BASED ON THE TOPOGRAPHIC SURVEY MAP, PROVIDED IN AN ELECTRONIC FORMAT BY SURVEYOR LISTED ABOVE.
LAND DEVELOPMENT GROUP, LLC ASSUMES NO LIABILITY FOR ERRORS AND OMISSIONS SHOWN ON THE SURVEY AND INFORMATION PROVIDED BY OTHERS.

LEGAL DESCRIPTION

LOT 5, OF ARROYO HEIGHTS, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 110 OF MAPS, PAGE 50.

FLOOD INSURANCE RATE MAP (FIRM) DATA

COMMUNITY #	PANEL #	SUFFIX L	BASE FLOOD ELEVATION
040049	1765 OF 4425		
MAP #	PANEL DATE	FIRM INDEX DATE	ZONE
04013C	09/19/2020	11/04/2015	X*

- *AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- *AREAS OF 0.2% ANNUAL CHANCE FLOOD:
AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE;
AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD

FINISH FLOOR CERTIFICATION

I HEREBY CERTIFY THAT FINISHED FLOOR ELEVATIONS SHOWN ON THE PLAN OF 1484.85 IS MINIMUM OF 12" ABOVE THE 100-YEAR STORM ELEVATION OF 1483.85 ACCORDING TO THE TOWN OF PARADISE VALLEY CODE OF ORDINANCE.

Nick Prodanov
REGISTERED CIVIL ENGINEER

10/06/25
DATE:

APPROVAL

THIS SET OF PLANS HAS BEEN REVIEWED FOR COMPLIANCE WITH TOWN OF PARADISE VALLEY REQUIREMENTS PRIOR TO ISSUANCE OF PERMIT. THE TOWN NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. THIS COMPLIANCE APPROVAL SHALL NOT PREVENT THE TOWN ENGINEER FROM REQUIRING CORRECTIONS OF ERRORS OR OMISSIONS IN THE PLANS TO BE FOUND IN VIOLATION OF LAWS OR ORDINANCES.

TOWN ENGINEER
TOWN OF PARADISE VALLEY

DATE:



REVISIONS:

DATE:	SCALE:	N.T.S.
DESIGNED BY:	NP	
DRAWN BY:	ZA	
CHECKED BY:	JL	
DATE:	10/06/25	

PRELIMINARY
GRADING & DRAINAGE PLAN
COVER SHEET

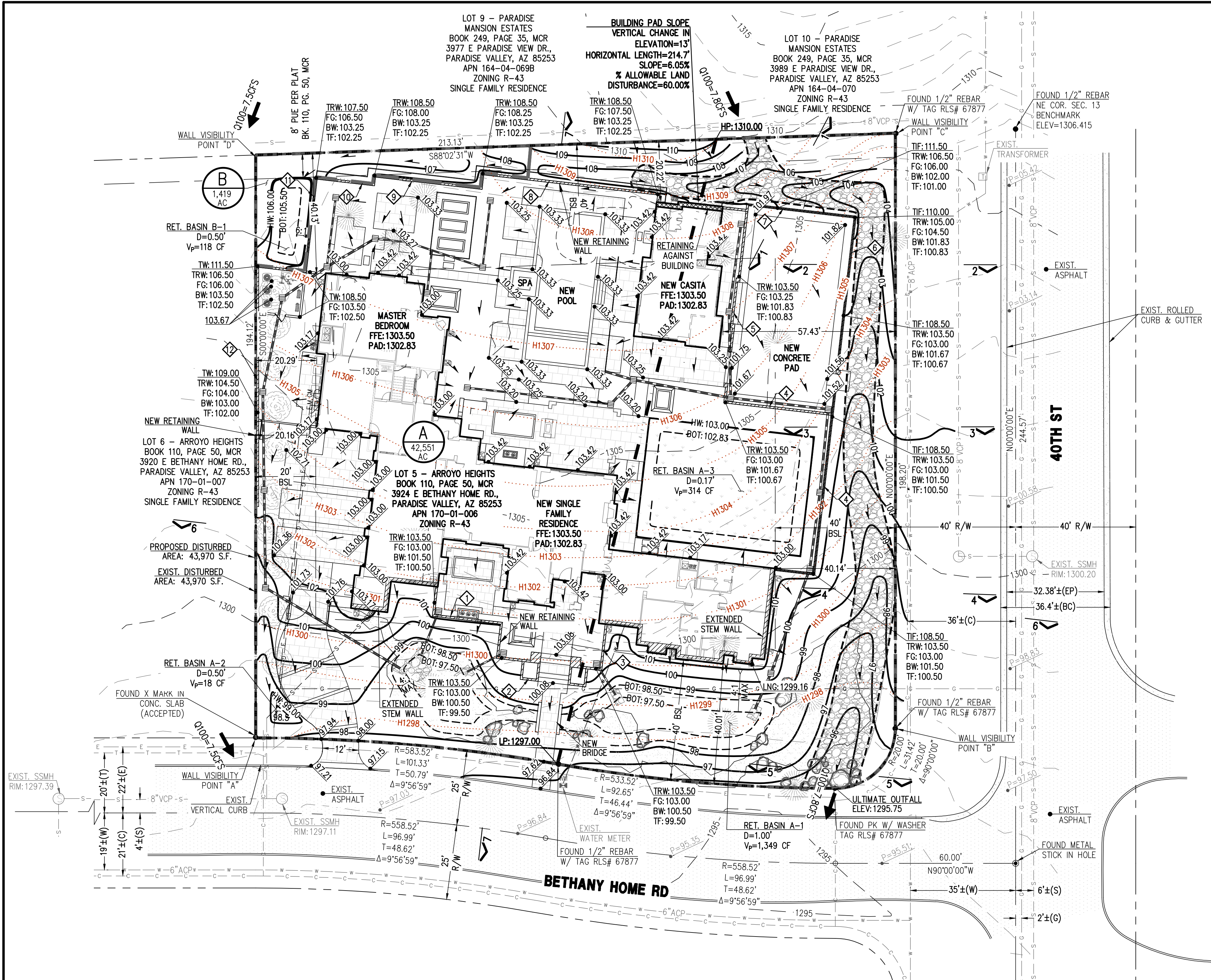
WOLFSWINKEL RESIDENCE
3924 E BETHANY HOME RD.,
PARADISE VALLEY, AZ 85253

LAND DEVELOPMENT GROUP

P 602 869 1984 | F 602 443 9482
8808 N CENTRAL AVE., SUITE 208
PHOENIX, AZ 85020
PHOENIX@LDGCG.COM

REGISTERED PROFESSIONAL ENGINEER
11006
NICKOLA
J. PRODANOV
LICENSED IN AZ
10/06/25

C-1
1 OF 3



RETENTION CALCULATIONS

ON-SITE RETENTION FOR THE PRE VS. POST DEVELOPMENT RUNOFF FROM 100-YEAR, 2-HOUR STORM EVENT											
V=DxAx(Cw,post-Cw,pre)/12 D = RAINFALL DEPTH = 2.22" A = TRIBUTARY AREA, SF Cw = WEIGHTED RUNOFF COEFFICIENT											
Vf=(DfxAxCw,post)/12 Df = RAINFALL DEPTH = 0.5" FIRST FLUSH A = TRIBUTARY AREA, SF Cw = WEIGHTED RUNOFF COEFFICIENT											
DRAINAGE AREA	AREA	RUNOFF COEFFICIENT	VOLUME REQUIRED PRE VS POST	VOLUME REQUIRED FIRST FLUSH	RETENTION BASIN ID	CONTOUR ELEVATION		CONTOUR AREA	DEPTH	VOLUME PROVIDED	AS-BUILT VOLUME PROVIDED
	S.F.		Cw	C.F.		C.F.	S.F.				FT
A	42,551	0.07	551	1,436 (GOVERNS)	A1	HW	98.50	1,850	1.00	1,349	
						BOTTOM	97.50	848			
					A2	HW	99.00	61	0.50	18	
						BOTTOM	98.50	9			
					A3	HW	103.00	2,197	0.17	314	
						BOTTOM	102.83	1,498			
TOTAL A			551	1,436							1,681
B	1,419	0.00	0	41 (GOVERNS)	B1	HW	106.00	339	0.50	118	
						BOTTOM	105.50	132			
TOTAL B			0	41							118
TOTAL			551	1,477							1,798

(1) RAINFALL DEPTH IS PER NOAA ATLAS 14, VOLUME 1, VERSION 5.

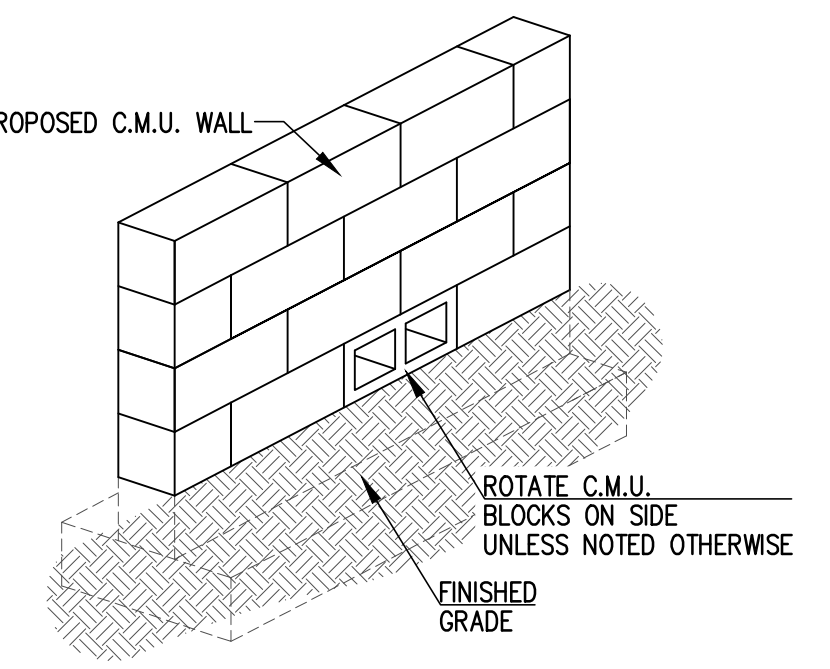
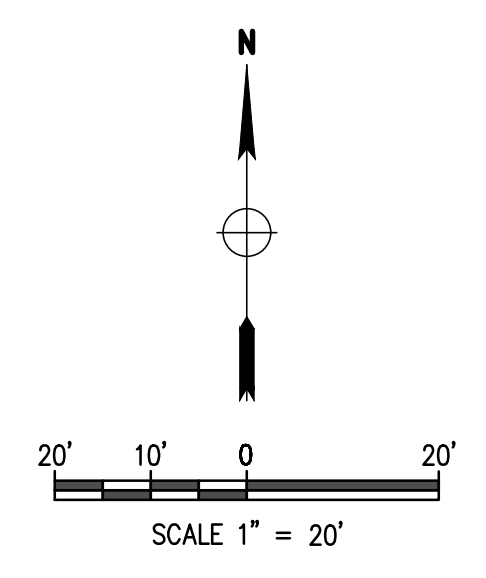
WEIGHTED RUNOFF COEFFICIENT, C_w PRE- DEVELOPMENT AREA A				WEIGHTED RUNOFF COEFFICIENT, C_w POST- DEVELOPMENT AREA A			
SURFACE TYPE	RUNOFF COEFFICIENT	AREA	C*AREA	SURFACE TYPE	RUNOFF COEFFICIENT	AREA	C*AREA
PAVEMENT & ROOF	0.95	7,782	7,393	PAVEMENT & ROOF	0.95	19,384	18,415
NATIVE HILLSIDE	0.70	34,769	24,338	NATIVE HILLSIDE	0.70	23,167	16,217
TOTAL		42,551	31,731	TOTAL		42,551	34,632
$C_w = C * AREA / TOTAL AREA$			0.75	$C_w = C * AREA / TOTAL AREA$			0.81

WEIGHTED RUNOFF COEFFICIENT, C_w PRE- DEVELOPMENT AREA B				WEIGHTED RUNOFF COEFFICIENT, C_w POST- DEVELOPMENT AREA B			
SURFACE TYPE	RUNOFF COEFFICIENT	AREA	C*AREA	SURFACE TYPE	RUNOFF COEFFICIENT	AREA	C*AREA
PAVEMENT & ROOF	0.95	0	0	PAVEMENT & ROOF	0.95	0	0
NATIVE HILLSIDE	0.70	1,419	993	NATIVE HILLSIDE	0.70	1,419	993
TOTAL		1,419	993	TOTAL		1,419	993
$C_w = C * AREA / TOTAL AREA$			0.70	$C_w = C * AREA / TOTAL AREA$			0.70

RETAINING WALL TABLE

ID NUMBER	MAX. HEIGHT	LENGTH	VISIBLE WALL LENGTH			
			A	B	C	D
1	2	32.60	32.60			
2	3	31.50	31.50			
3	3	31.17		31.17		
4	2	76.17		76.17		
5	1.67	48.50				
6	3.17	52.25		52.25	52.25	
7	4.5	46.40			46.40	
8	5.25	61.67			61.67	61.67
9	5.25	40.67			40.67	40.67
10	4.25	22.10				22.10
11	4.25	47.50				47.50
12	3	80.00	80.00			80.00
TOTAL		570.53	144.10	191.09	200.99	251.94

FOR LOCATIONS IDENTIFIED WITH KEYNOTE
MAXIMUM LENGTH OF RETAINING WALLS
VISIBLE FROM ANY POINT ON THE PROPERTY
LINE = 251.94 < 300'.
ALL WALL LENGTHS LISTED ABOVE ARE FOR
PERMITTING PURPOSES ONLY. CONTRACTOR
IS RESPONSIBLE FOR VERIFYING ACCURACY
OF WALL QUANTITIES AS SHOWN. REFER TO
ARCHITECTURAL AND STRUCTURAL PLANS
AND DETAILS FOR WALL CONSTRUCTION,
HEIGHT AND FINISH.



WALL OPENING DETAIL
N.T.S.

PERCENT PASSING	SIZE	D50 CLASS, INCHES			
100 TO 90	2.0 D50	4	6	8	12
85 TO 70	1.5 D50	6	8	12	24
50 TO 30	1.0 D50	4	6	8	12
15 TO 5	0.67 D50	3	4	5	8
5 TO 0	0.35 D50	1	2	3	4

RIP-RAP GRADATION TABLE

Contact Arizona 811 at least two full
working days before you begin excavation



DATE: 10/06/25
JOB: 2503070
DESIGNED BY: NP
DRAWN BY: ZA
CHECKED BY: JJ
PLOT DATE: 10/06/25

REVISIONS:
DATE: SCALE: 1"=20'

PRELIMINARY
GRADING & DRAINAGE
IMPROVEMENT PLAN
DETAILS

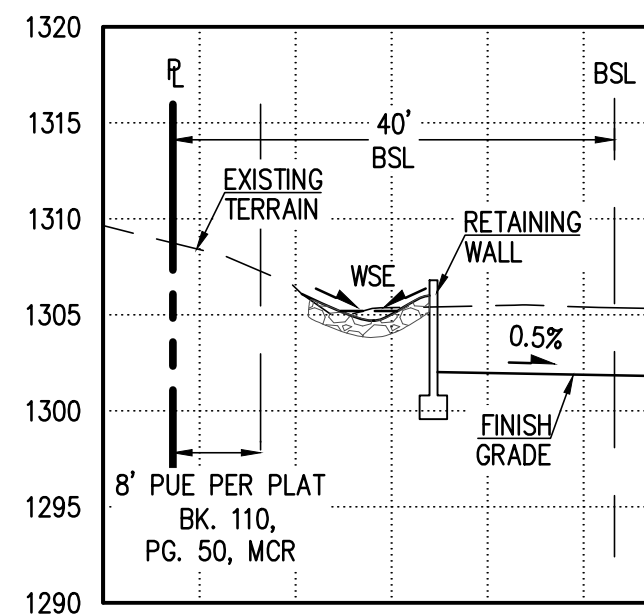
WOLFINKEL RESIDENCE
3924 E BETHANY HOME RD.,
PARADISE VALLEY, AZ 85253

P 602.889.1984 | F 602.445.9482
8808 N CENTRAL AVE., SUITE 288
PHOENIX, AZ 85020
PHOENIX @ LDGEN.COM

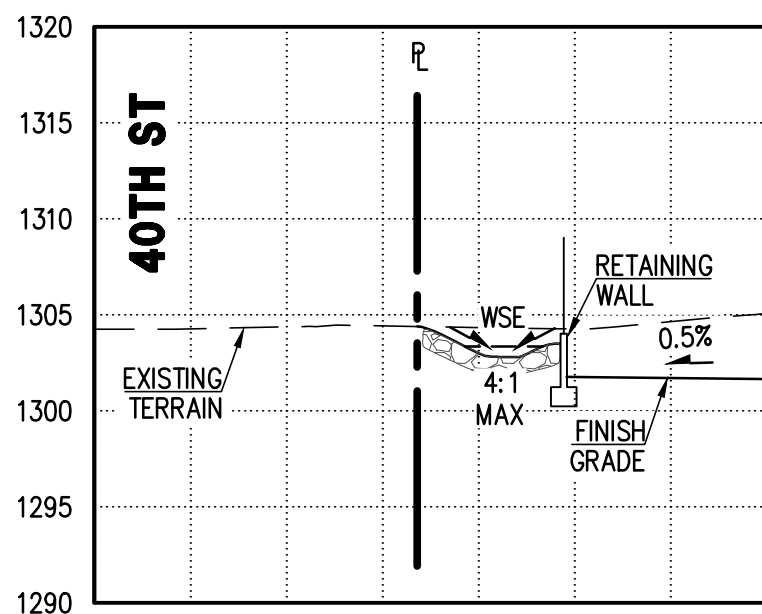
Land
DEVELOPMENT GROUP

NICKOLA J. PRODANOV
REGISTERED PROFESSIONAL ENGINEER
NO. 41005
STATE OF ARIZONA

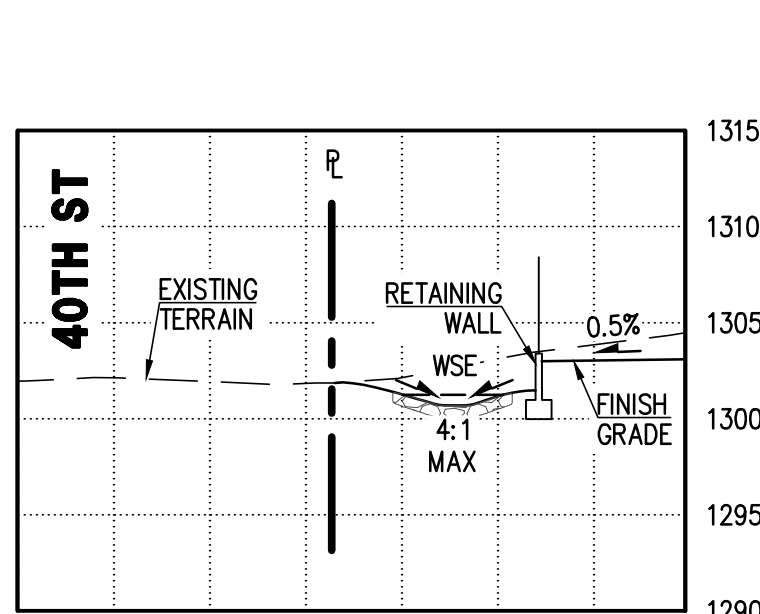
C-2
2 OF 3



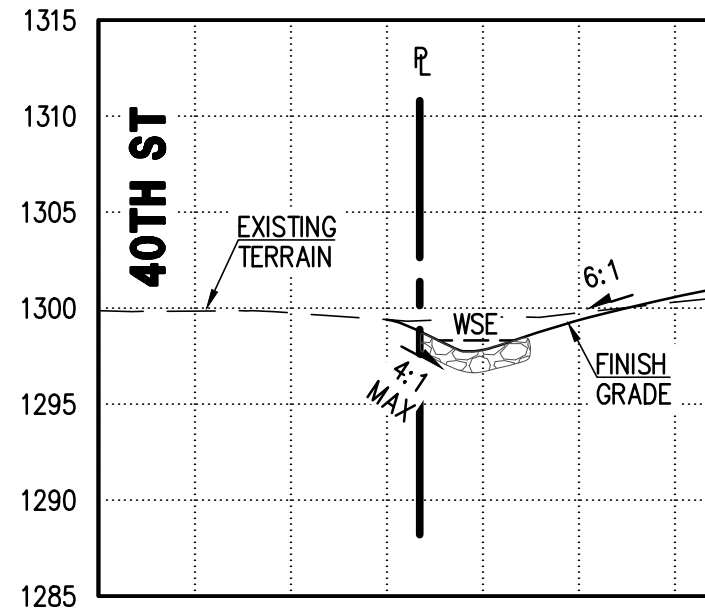
CROSS SECTION 1 - 1
SCALE HOR. 1" = 20', VER. 1" = 10'



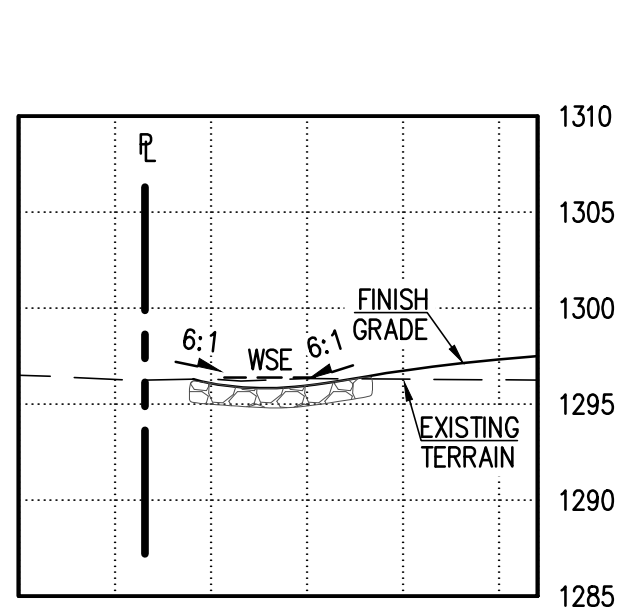
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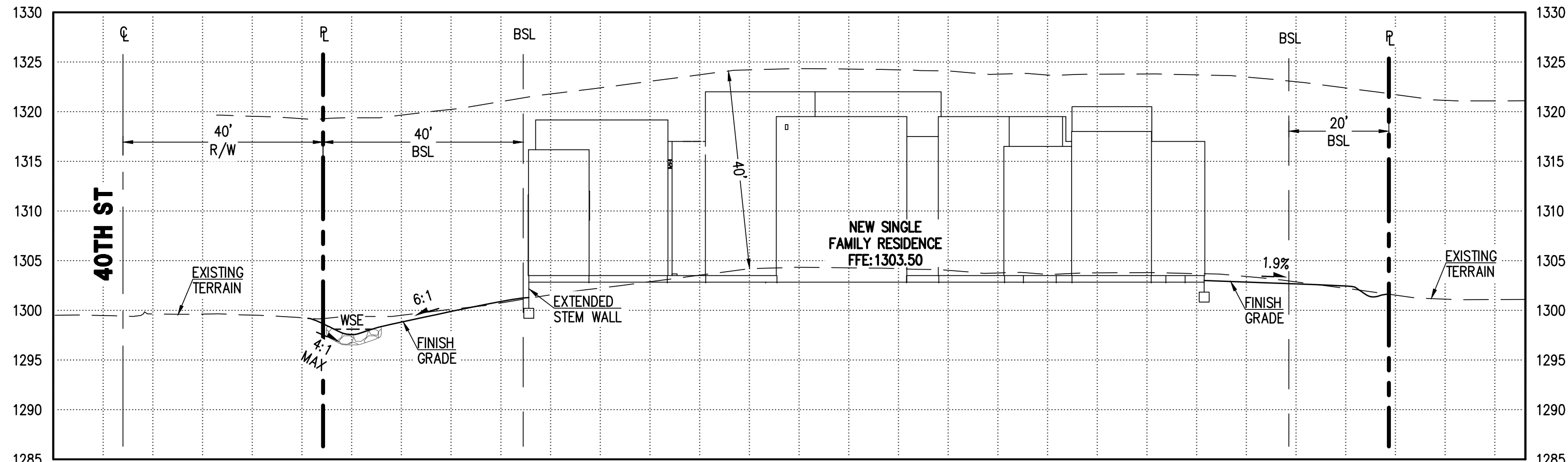
CROSS SECTION 3 - 3
SCALE HOR. 1" = 20', VER. 1" = 10'



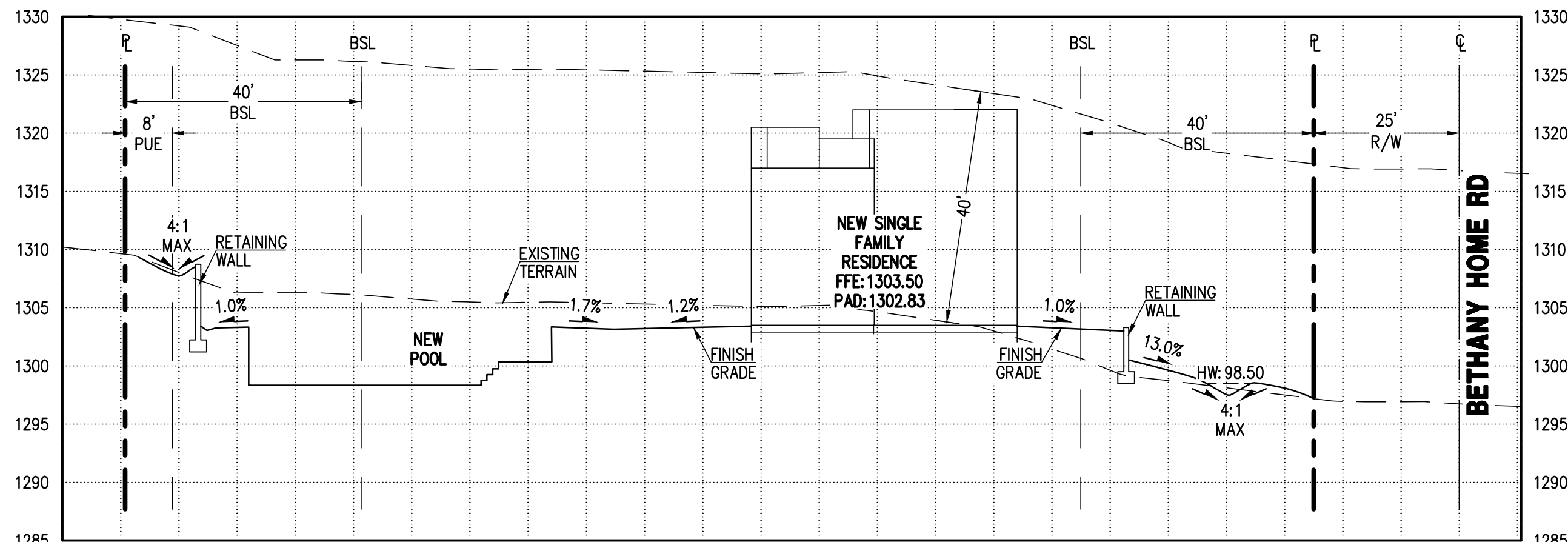
CROSS SECTION 4 - 4
SCALE HOR. 1" = 20', VER. 1" = 10'



CROSS SECTION 5 - 5
SCALE HOR. 1" = 20', VER. 1" = 10'



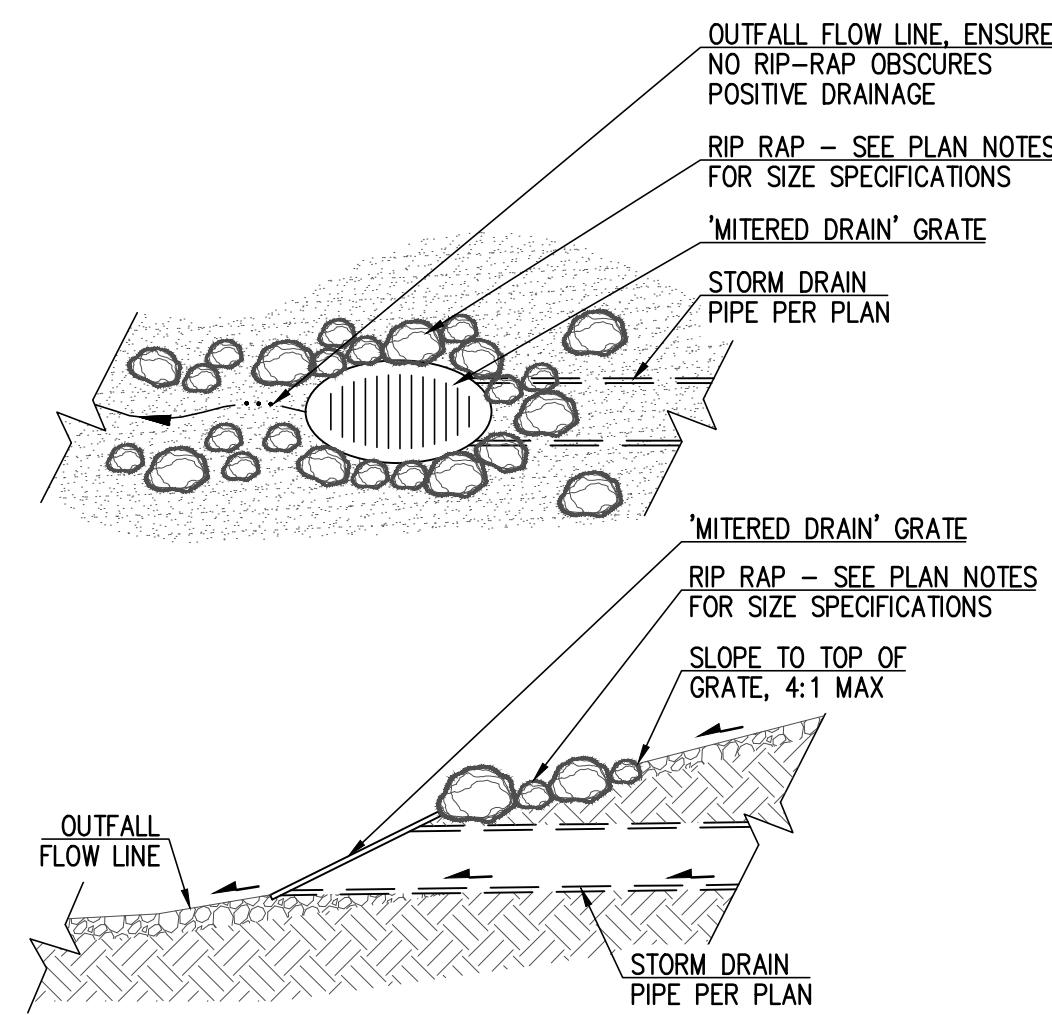
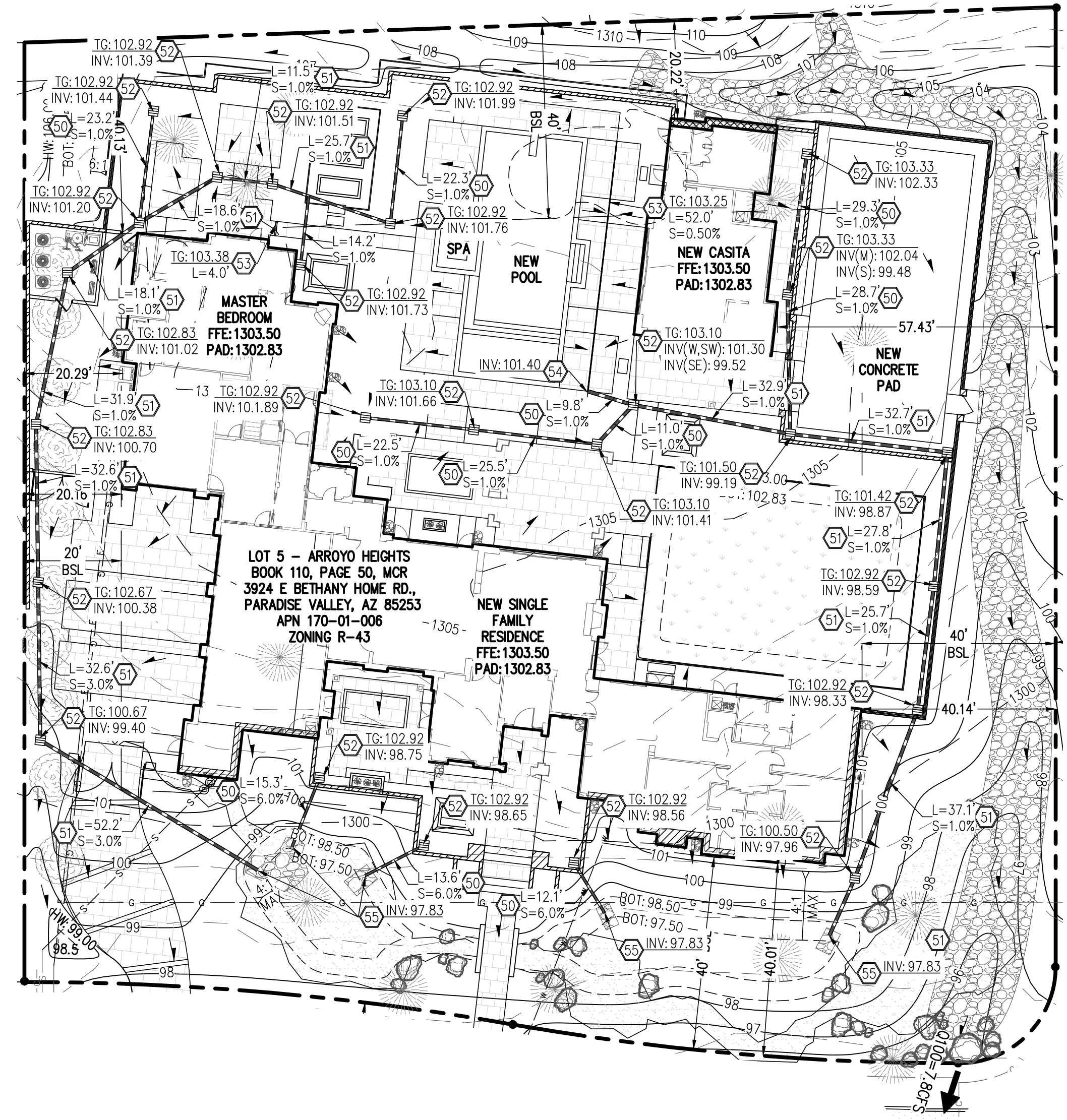
CROSS SECTION 6 - 6
SCALE HOR. 1" = 20', VER. 1" = 10'



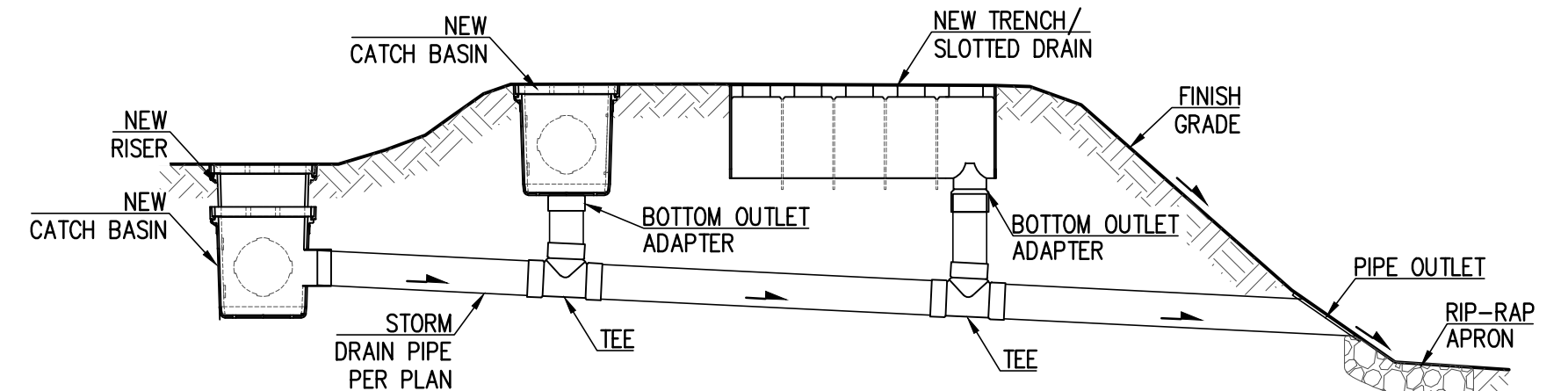
CROSS SECTION 7 - 7
SCALE HOR. 1" = 20', VER. 1" = 10'

STORM DRAIN KEY-NOTES

- 50 INSTALL 6" PVC STORM DRAIN PIPE, INCLUDING ALL FITTINGS PER MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS.
- 51 INSTALL 8" PVC STORM DRAIN PIPE, INCLUDING ALL FITTINGS PER MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS.
- 52 INSTALL NDS 1200NB 12" CATCH BASIN WITH VERTICAL RISER AND 12" GRATE, OR APPROVED EQUAL.
- 53 INSTALL NDS SLIM CHANNEL 9206 TRENCH DRAIN SYSTEM, COMPLETE WITH ALL REQUIRED FITTINGS OR APPROVED EQUAL. REFER TO MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS. CONNECT NEW TRENCH DRAIN TO NEW STORM DRAIN PIPE WITH OUTLET ADAPTER AND ALL REQUIRED FITTINGS.
- 54 INSTALL SLOTTED/TRENCH DRAIN END/BOTTOM OUTLET CONNECTION TO STORM DRAIN PIPE INCLUDING ALL FITTINGS PER MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS.
- 55 STORM DRAIN PIPE TO DAYLIGHT AT FINISHED GRADE, SEE DETAIL ON THIS SHEET.



PIPE OUTLET DETAIL
N.T.S.

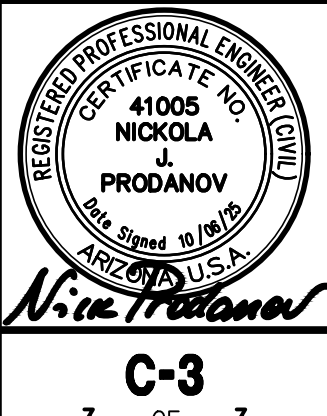


SCHEMATIC STORM DRAIN SYSTEM
N.T.S.

PRELIMINARY GRADING & DRAINAGE PLAN STORM DRAIN PLAN CROSS SECTIONS DETAILS

WOLFSWINKEL RESIDENCE
3924 E BETHANY HOME RD.,
PARADISE VALLEY, AZ 85253

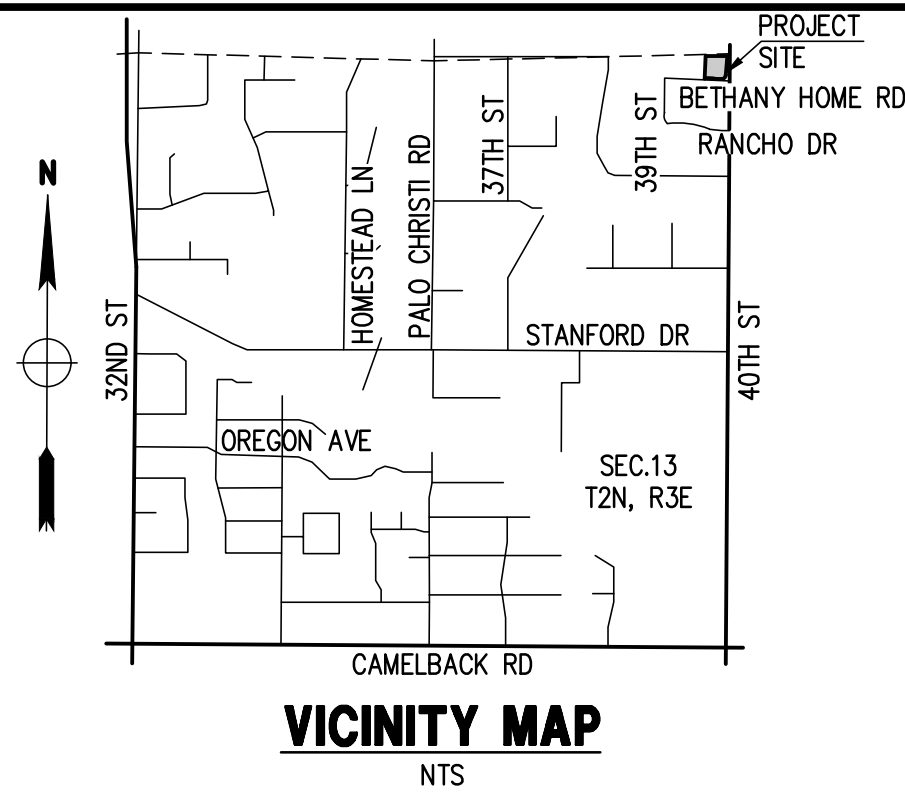
P 602 889 1984 | F 602 445 9482
8808 N CENTRAL AVE., SUITE 288
PHOENIX, AZ 85020
PHOENIX @ LDCENX.COM



Contact Arizona 811 at least two full working days before you begin excavation
ARIZONA811
Call 811 or click Arizona811.com

AERIAL MAP/HISTORIC TOPOGRAPHY EXHIBIT
WOLFSWINKEL RESIDENCE
3924 E BETHANY HOME RD., PARADISE VALLEY, AZ 85253
LOT 5 - ARROYO HEIGHTS

A SUBDIVISION PLAT RECORDED IN BOOK 110 OF MAPS, PAGE 50, MCR.,
LOCATED IN A PORTION OF THE NE 1/4 OF THE NE 1/4 OF THE NE 1/4 OF SECTION 13, T.2N, R.3E
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA



OWNER
ASHTON A. WOLFSWINKEL AND
SARAH BESS WOLFSWINKEL
3924 E BETHANY HOME RD.,
PARADISE VALLEY, AZ 85253

ARCHITECT
DUNCAN DESIGN GROUP, LLC
3723 W BARNES LN.,
PHOENIX, AZ 85051
P: 602-841-1284
F: 602-841-7517
DUNCANDESIGNGROUPPHX@GMAIL.COM

SITE DATA
APN: 170-01-006
ADDRESS: 3924 E BETHANY HOME RD.,
PARADISE VALLEY, AZ 85253
ZONING: R-43
LOT AREA: 43,970 S.F. (1.009 AC.)
QS #: 20-36

LANDSCAPE ARCHITECT
GREEKY PICKETT
7144 E STETSON DR, # 205,
SCOTTSDALE, AZ 85251
CONTACT: KATRIN SQUIRES
P: 480-609-0009
KSQUIRES@GREEKYPICKETT.COM

LAND SURVEYOR
J.L.D. ENGINEERING, P.C.
2822 S BUCKSKIN WAY,
CHANDLER, AZ 85286
P: 602-790-7958
CONTACT: REED DALBIK, PE
REED@JLD-ENGINEERING.COM

CIVIL ENGINEER
LAND DEVELOPMENT GROUP, LLC
8808 N CENTRAL AVE, SUITE 288
PHOENIX, AZ 85020
CONTACT: NICK PRODANOV, PE
P: 602 889 1984

NOTE: CIVIL ENGINEERING DESIGN PRESENTED HEREIN IS BASED ON THE
TOPOGRAPHIC SURVEY MAP, PROVIDED IN AN ELECTRONIC FORMAT BY
SURVEYOR LISTED ABOVE.
LAND DEVELOPMENT GROUP, LLC ASSUMES NO LIABILITY FOR ERRORS AND
OMMISSIONS SHOWN ON THE SURVEY AND INFORMATION PROVIDED BY OTHERS.

LEGAL DESCRIPTION

LOT 5, OF ARROYO HEIGHTS, ACCORDING TO THE PLAT OF RECORD IN THE
OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA,
RECORDED IN BOOK 110 OF MAPS, PAGE 50.

BENCHMARK

FOUND 1/2" REBAR NE COR. SEC. 13 HAVING AN ELEVATION OF
1306.415, CITY OF PHOENIX DATUM, NAVD 88.

FLOOD INSURANCE RATE MAP (FIRM) DATA

COMMUNITY #	PANEL #	SUFFIX	BASE FLOOD ELEVATION
040049	1765 OF 4425	L	N/A
MAP #	PANEL DATE	FIRM INDEX DATE	ZONE
04013C	09/19/2020	11/04/2015	X*

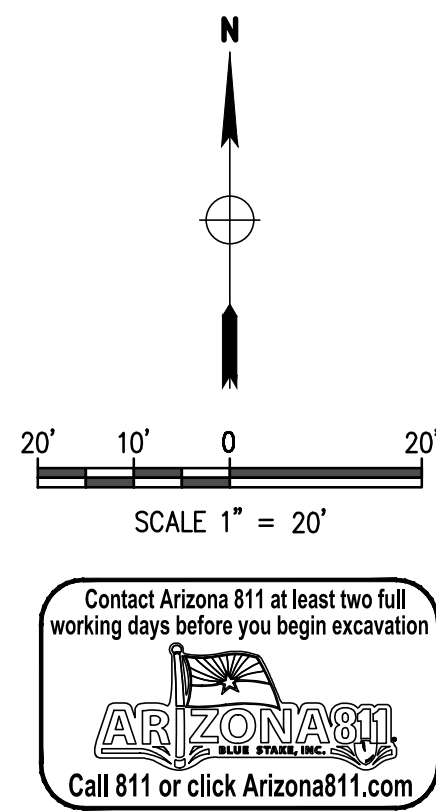
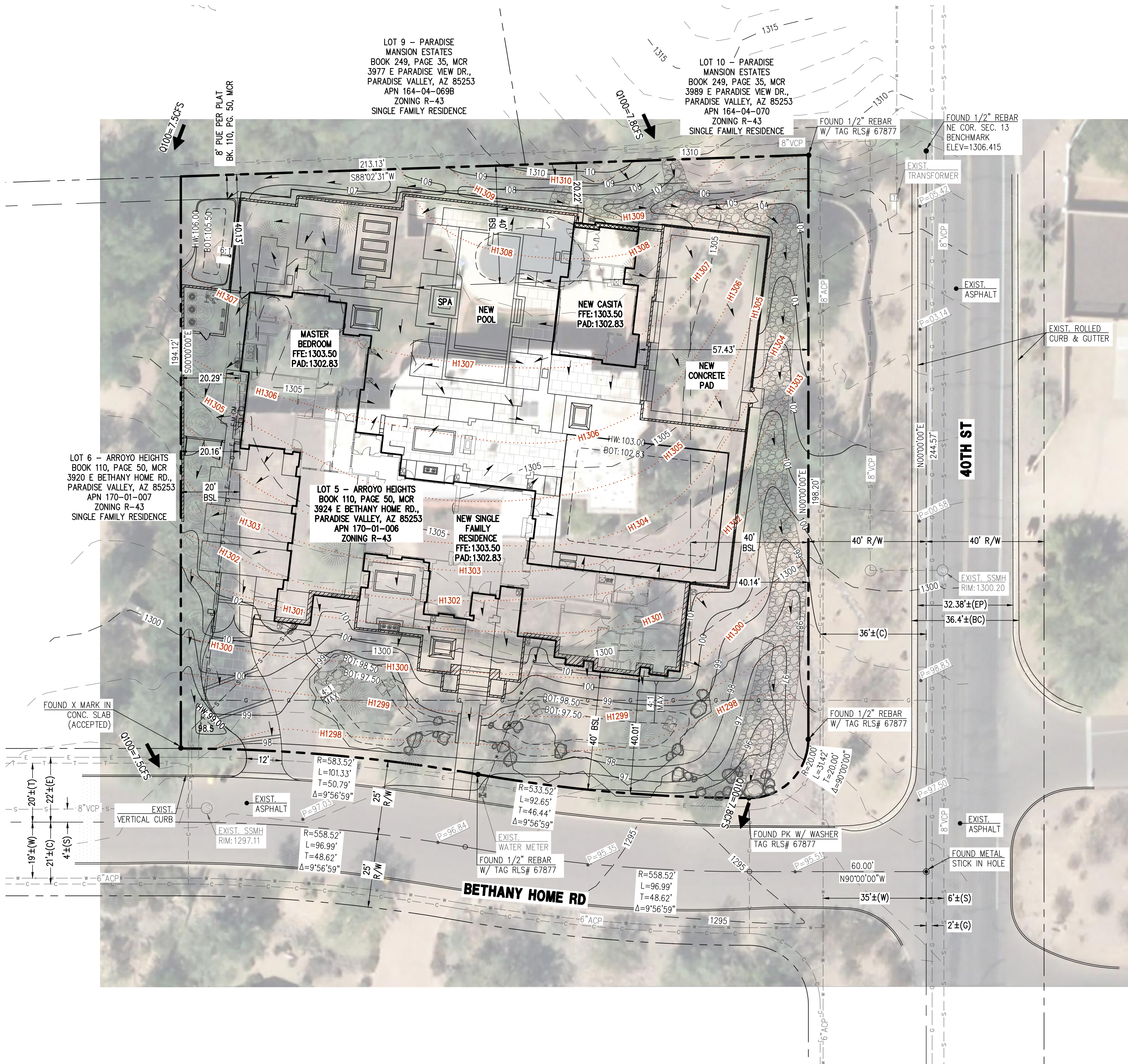
*AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
*AREAS OF 0.2% ANNUAL CHANCE FLOOD;
AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE;
AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD

UTILITIES

WATER: CITY OF PHOENIX
SANITARY SEWER: CITY OF PHOENIX
ELECTRIC: SRP
TELEPHONE: CENTURY LINK, COX COMMUNICATIONS
NATURAL GAS: SOUTHWEST GAS
CABLE TV: CENTURY LINK, COX COMMUNICATIONS

- LEGEND**
- BRASS CAP FLUSH
 - FOUND REBAR OR AS NOTED
 - CALCULATED POINT
 - PROPERTY LINE
 - EASEMENT LINE
 - MONUMENT LINE
 - WATER METER
 - MAILBOX
 - SEWER MANHOLE
 - TRANSFORMER
 - CATV, PHONE
 - SEWER LINE
 - GAS LINE
 - WATER LINE
 - ELECTRIC LINE
 - TELECOMM. LINE
 - COMM. LINE
 - EXISTING CONTOUR
 - EXIST. DRAINAGE FLOW
 - EXIST. SPOT ELEVATION
 - CITRUS TREE
 - PALO VERDE

- ABBREVIATIONS**
- BC BACK OF CURB
 - BSL BUILDING SETBACK LINE
 - (C) CALCULATED
 - EG EXISTING GRADE
 - EL, ELEV ELEVATION
 - EP EDGE OF PAVEMENT
 - ESMT EASEMENT
 - EX, EXIST. EXISTING
 - FG FINISH GRADE
 - G GUTTER, GAS
 - INV INVERT
 - (M) MEASURED
 - MCR MARICOPA COUNTY RECORDER
 - P, PWM PAVEMENT
 - PUE PUBLIC UTILITY EASEMENT
 - REC RECORDED
 - (R), REC. RADIUS
 - R/W RIGHT OF WAY
 - T TANGENT, TELEPHONE
 - W WEST, WATERLINE
 - WM WATER METER



DATE: 10/06/25
JOB: 2503070
DESIGNED BY: NP
DRAWN BY: ZA
CHECKED BY: JJ
SCALE: 1"=20'
REVISIONS:

**AERIAL MAP
HISTORIC TOPOGRAPHY
EXHIBIT**

**WOLFSWINKEL RESIDENCE
3924 E BETHANY HOME RD.,
PARADISE VALLEY, AZ 85253**

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PHOENIX, AZ 85020
PHOENIX@LDGNG.COM

Land DEVELOPMENT GROUP

REGISTERED PROFESSIONAL ENGINEER
41005
NICKOLA J. PRODANOV
Arizona
Contact Arizona 811 at least two full working days before you begin excavation
Call 811 or click Arizona811.com

AE
1 OF 1

STORM WATER POLLUTION PREVENTION PLAN
WOLFSWINKEL RESIDENCE
3924 E BETHANY HOME RD., PARADISE VALLEY, AZ 85253
LOT 5 - ARROYO HEIGHTS
A SUBDIVISION PLAT RECORDED IN BOOK 110 OF MAPS, PAGE 50, MCR.,
LOCATED IN A PORTION OF THE NE 1/4 OF THE NE 1/4 OF THE NE 1/4 OF SECTION 13, T.2N, R.3E
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

GENERAL NOTES

1. THIS PROJECT IS SUBJECT TO THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS FOR CONSTRUCTION SITES UNDER THE ENVIRONMENTAL PROTECTION AGENCY (EPA) GENERAL PERMIT FOR ARIZONA. OWNERS, DEVELOPERS, ENGINEERS, AND/OR CONTRACTORS ARE REQUIRED TO PREPARE ALL DOCUMENTS REQUIRED BY THIS REGULATION, INCLUDING BUT NOT LIMITED TO STORM WATER POLLUTION PROTECTION PLAN (SWPPP), NOTICE OF INTENT (NOI) AND NOTICE OF TERMINATION (NOT).
2. A COPY OF THE APPROVED GRADING AND DRAINAGE PLAN FOR THIS PROJECT, TOGETHER WITH A COPY OF THE NOTICE OF INTENT (NOI) AND THIS STORM WATER POLLUTION PROTECTION PLAN (SWPPP), SHALL BE MAINTAINED ON THE SITE AND AVAILABLE FOR REVIEW. THOSE ELEMENTS OF THE GRADING AND DRAINAGE PLAN PERTINENT TO OR REFERENCED ON THE SWPPP SHALL BE CONSIDERED A PART OF THE SWPPP.
3. COMMUNITY DEVELOPMENT DEPARTMENT'S FIELD INSPECTION GROUP SHALL BE NOTIFIED 48 HOURS BEFORE ANY ON-SITE AND/OR OFF-SITE CONSTRUCTION BEGINS, AT (480) 348-3692.
4. THE OPERATOR SHALL OBTAIN A DUST CONTROL PERMIT FROM MARICOPA COUNTY HEALTH DEPARTMENT AND PERFORM MEASURES AS REQUIRED BY THE PERMIT TO PREVENT EXCESS DUST. ALL PERMITTEES MUST SUBMIT A TENTATIVE CONSTRUCTION SCHEDULE AND COMPLETION TIME.
5. THE OPERATOR SHALL PERFORM, AT A MINIMUM, A VISUAL INSPECTION OF THE CONSTRUCTION SITE ONCE EVERY MONTH AND WITHIN 24 HOURS OF RAINFALL GREATER THAN OR EQUAL TO A HALF OF AN INCH OR MORE. THE OPERATOR SHALL PREPARE A REPORT DOCUMENTING HIS/HER FINDINGS ON THE CONDITIONS OF THE SWPPP CONTROLS AND NOTE ANY EROSION PROBLEM AREAS. THE OPERATOR'S REPORT IS TO BE SUBMITTED TO THE DEVELOPMENT SERVICES DEPARTMENT PROJECT ENGINEERING DIVISION CONSTRUCTION INSPECTOR FOR REVIEW AND APPROVAL. FACILITIES SHALL BE MAINTAINED AS NEEDED TO ENSURE THEIR CONTINUED FUNCTIONING. IN ADDITION, ALL TEMPORARY SILTATION CONTROLS SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL SUCH TIME THAT CLEARING AND/OR CONSTRUCTION IS COMPLETED, PERMANENT DRAINAGE FACILITIES ARE OPERATIONAL, AND THE POTENTIAL FOR EROSION HAS PASSED.
6. THE PERMITTEE SHALL AMEND THIS PLAN AS NECESSARY DURING THE COURSE OF CONSTRUCTION TO RESOLVE ANY PROBLEM AREAS, WHICH BECOME EVIDENT DURING THE CONSTRUCTION AND/OR DURING RAINFALLS.
7. THE PERMITTEE SHALL FILE A NOTICE OF TERMINATION (NOT) AFTER COMPLETION OF CONSTRUCTION AND PLACEMENT OF FINAL LANDSCAPE MATERIALS. THE NOT IS TO BE SUBMITTED TO THE DEVELOPMENT SERVICES DEPARTMENT PROJECT ENGINEERING INSPECTOR TO FINAL THE SWPPP PERMIT.
8. THE PERMITTEE SHALL SAVE ALL RECORDS, INCLUDING THE NOI, SWPPP, NOT, AND INSPECTION REPORTS, ON FILE FOR A MINIMUM OF THREE YEARS FROM THE DATE OF FILING THE NOT.
9. THE IMPLEMENTATION OF THESE PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE FACILITIES IS THE RESPONSIBILITY OF THE PERMITTEE/CONTRACTOR UNTIL ALL CONSTRUCTION IS APPROVED AND NOT SUBMITTED TO THE DEVELOPMENT SERVICES DEPARTMENT PROJECT ENGINEERING INSPECTOR.
10. THE FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES IN SUCH A MANNER AS TO INSURE THAT SEDIMENT-LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM OR VIOLATE APPLICABLE WATER STANDARDS, AND MUST BE INSTALLED AND IN OPERATION PRIOR TO ANY GRADING OR LAND CLEARING. WHEREVER POSSIBLE, MAINTAIN NATURAL VEGETATION FOR SILT CONTROL.
11. THE CONTRACTOR'S NOI MUST BE RECEIVED PRIOR TO THE SWPPP PERMIT BEING ISSUED. THE CONTRACTOR THAT WILL BE PULLING THE G&D PERMIT MUST HAVE THE SWPPP PERMIT ISSUED IN THEIR NAME.
12. ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTOR DITCHES, PIPES, PROTECTIVE BERMS, BARRIER WALLS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT ADJACENT BUILDINGS OR PROPERTY FROM STORM RUNOFF MUST BE COMPLETED PRIOR TO BUILDING CONSTRUCTION. THE NATURAL FLOW OF RAINWATER AND OTHER SURFACE DRAINAGE FROM THE PROPERTY MAY NOT BE ALTERED IN ANY WAY.
13. CONTRACTOR SHALL PROVIDE STABILIZATION FABRIC TO ALL SLOPES EQUAL TO OR GREATER THAN 3H:1V.
14. STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROVIDED AT ALL LOCATIONS WHERE CONSTRUCTION VEHICLES WILL ENTER AND EXIT THE CONSTRUCTION SITE.
15. REFER TO SHEET 2 FOR STANDARD DETAILS OF BEST MANAGEMENT PRACTICES.
16. WHEN DEEMED NECESSARY, A 6-FOOT HIGH CHAIN LINK FENCE MUST BE INSTALLED AROUND THE CONSTRUCTION AREA TO PREVENT ANY POTENTIAL SAFETY HAZARD FOR THE PUBLIC.

SWPPP KEY-NOTES

1. USE EXISTING PAVERS DRIVEWAY FOR CONSTRUCTION ENTRANCE.
2. DUST CONTROL PER FCDMC BMP-43 THROUGH BMP-46
3. SILT FENCE PER FCDMC BMP-63 THROUGH BMP-68, EPA STANDARDS AND DETAILS, AND DETAILS ON SHEET SP-2 OR STRAW WATTLES PER MARICOPA COUNTY EROSION CONTROL MANUAL SPC-1 ORGANIC FILTER BARRIER.
4. DESIGNATED CONCRETE WASHOUT VESSEL PER FCDMC BMP-99 THROUGH BMP-100 AND DETAILS ON SHEET SP-2
5. DUMPSTER/TRASH CONTAINER
6. DESIGNATED PAINT/SOLVENT WASHOUT VESSEL PER FCDMC BMP-99 THROUGH BMP-100 AND DETAILS ON SHEET SP-2
7. DESIGNATED HAZARDOUS WASTE CONTAINMENT AREA. SEGREGATE POTENTIALLY HAZARDOUS WASTE FROM NON-HAZARDOUS CONSTRUCTION SITE WASTE. HAZARDOUS WASTES ARE NOT TO BE DISPOSED OF IN DUMPSTER AND SHALL BE HAULED TO AN APPROPRIATE DISPOSAL AND/OR RECYCLING FACILITY.
8. DROP INLET PROTECTION.
9. RETENTION/SEDIMENTATION BASIN.
10. ROCK OUTLET PROTECTION.

LEGEND

- XX PROPOSED CONTOUR
- SF SILT FENCE/STRAW WATTLES
- SCE STABILIZED CONSTRUCTION ENTRANCE
- W.A. DESIGNATED WASHOUT AREA
- DESIGNATED HAZARDOUS WASTE CONTAINMENT AREA
- TRASH CONTAINER

ABBREVIATIONS

- BC BACK OF CURB
- BSL BUILDING SETBACK LINE
- EG EXISTING GRADE
- EL ELEV
- EP EDGE OF PAVEMENT
- ESMT EASEMENT
- EX, EXIST. EXISTING
- FG FINISH GRADE
- G GUTTER, GAS
- MCR MARICOPA COUNTY RECORDER
- P, PVMT PAVEMENT
- PUE PUBLIC UTILITY EASEMENT
- R RADIUS
- R/W RIGHT OF WAY
- T TANGENT, TELEPHONE
- W WEST, WATERLINE
- WM WATER METER

UTILITIES

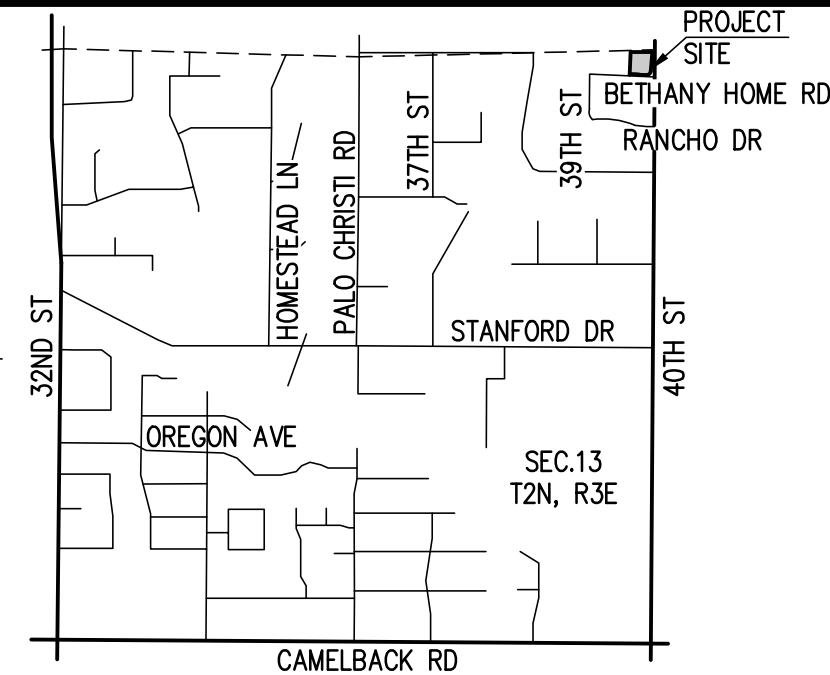
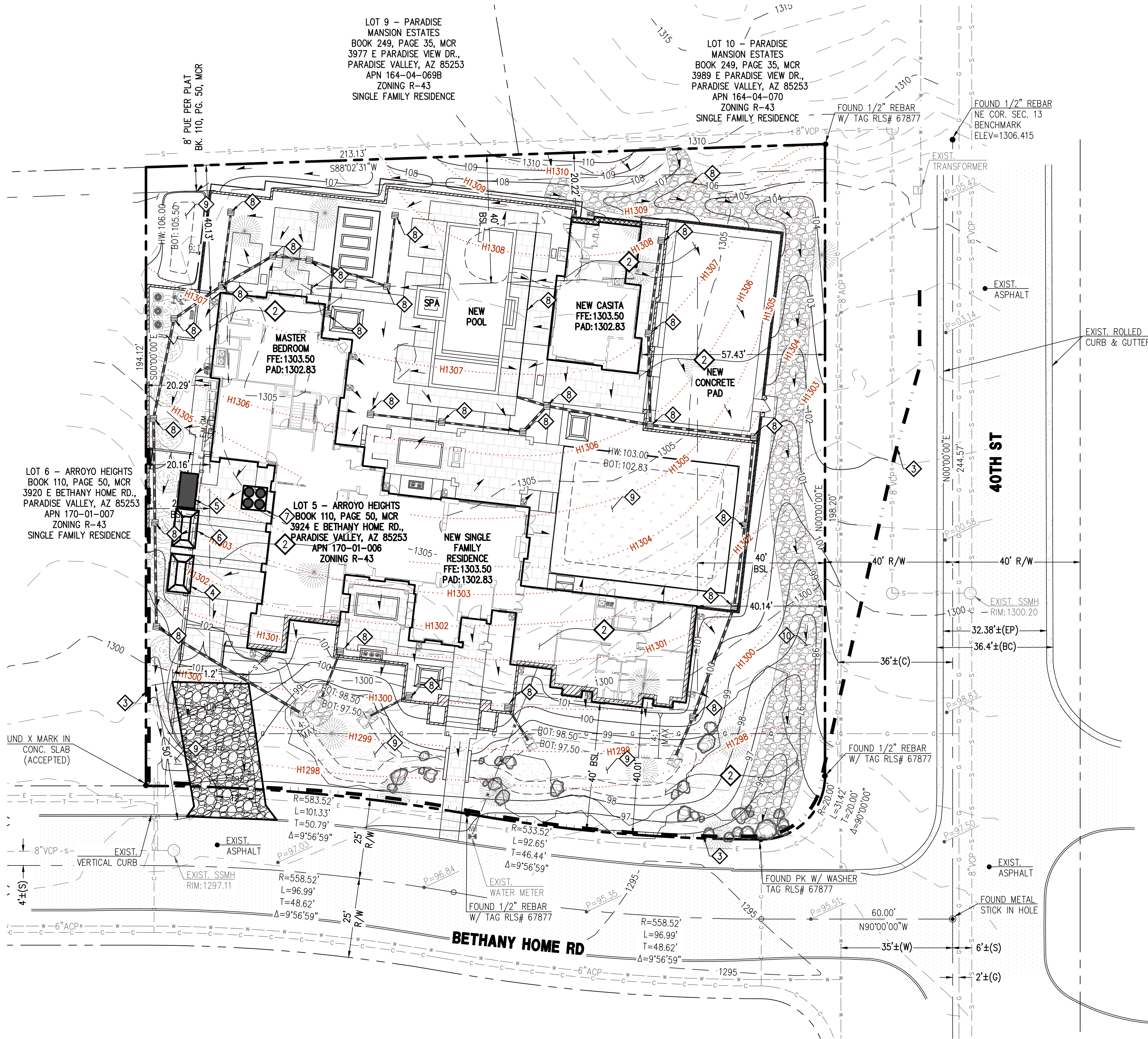
- WATER: CITY OF PHOENIX
- SANITARY SEWER: CITY OF PHOENIX
- ELECTRIC: SRP
- TELEPHONE: CENTURY LINK, COX COMMUNICATIONS
- NATURAL GAS: SOUTHWEST GAS
- CABLE TV: CENTURY LINK, COX COMMUNICATIONS

SHEET INDEX

- SP1 - SWPPP PLAN
- SP2 - DETAILS

NOTE

1. NO WORK OF ANY KIND CAN COMMENCE UNTIL ALL STORM WATER POLLUTION BMP'S ARE IN PLACE AND INSPECTED BY THE TOWN. ONLY UNTIL THE TOWN HAS APPROVED THE STORM WATER BMP'S MAY ANY CONSTRUCTION BEGIN.
2. SEDIMENTATION CONTROL DEVICES (SILT BARRIERS) SHALL REMAIN IN PLACE AT ALL TIME. SEDIMENTATION CONTROL DEVICES SHALL BE KEPT IN GOOD REPAIR, INSPECTED MONTHLY, INSPECTED AFTER EACH RAIN EVENT, AND MAINTAINED AS NEEDED BY THE APPLICANT/OWNER.
3. SEDIMENTATION CONTROL DEVICE INSPECTION LOG SHALL BE MAINTAINED BY APPLICANT AND/OR OWNER AND MADE AVAILABLE TO THE TOWN UPON REQUEST.



VICINITY MAP
NTS

OWNER

ASHTON A. WOLFSWINKEL AND
SARAH BESS WOLFSWINKEL
3924 E BETHANY HOME RD.,
PARADISE VALLEY, AZ 85253

ARCHITECT

DUNCAN DESIGN GROUP, LLC
3723 W BARNES LN.,
PHOENIX, AZ 85051
P: 602-841-1284
F: 602-841-7517
DUNCANDESIGNGROUPPHX@GMAIL.COM

SITE DATA

APN: 170-01-008
ADDRESS: 3924 E BETHANY HOME RD.,
PARADISE VALLEY, AZ 85253
ZONING: R-43
LOT AREA: 43,970 S.F. (1.009 AC.)
QS #: 20-36

LANDSCAPE
ARCHITECT

GREEY PICKETT
7144 E STETSON DR, # 205,
SCOTTSDALE, AZ 85251
CONTACT: KATRIN SQUIRES
P: 480-609-0009
KSQUIRES@GREEYPICKETT.COM

LAND SURVEYOR

JLD ENGINEERING, PPC
2822 S BUCKSKIN WAY,
CHANDLER, AZ 85286
P: 602-790-7958
CONTACT: REED DALBIK, PE
REED@JLD-ENGINEERING.COM

CIVIL ENGINEER

LAND DEVELOPMENT GROUP, LLC
8808 N CENTRAL AVE, SUITE 288
PHOENIX, AZ 85020
CONTACT: NICK PRODANOV, PE
P: 602 889 1984

NOTE: CIVIL ENGINEERING DESIGN PRESENTED HEREIN IS BASED ON THE TOPOGRAPHIC SURVEY MAP, PROVIDED IN AN ELECTRONIC FORMAT BY SURVEYOR LISTED ABOVE. LAND DEVELOPMENT GROUP, LLC ASSUMES NO LIABILITY FOR ERRORS AND OMISSIONS SHOWN ON THE SURVEY AND INFORMATION PROVIDED BY OTHERS.

LEGAL DESCRIPTION

LOT 5, OF ARROYO HEIGHTS, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 110 OF MAPS, PAGE 50.

BENCHMARK

FOUND 1/2" REBAR NE COR. SEC. 13 HAVING AN ELEVATION OF 1306.415, CITY OF PHOENIX DATUM, NAVD 88.

FLOOD INSURANCE RATE MAP (FIRM) DATA

COMMUNITY #	PANEL #	SUFFIX L	BASE FLOOD ELEVATION
040049	1765 OF 4425		N/A
MAP #	PANEL DATE	FIRM INDEX DATE	ZONE X*
04013C	09/19/2020	11/04/2015	

- *AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- *AREAS OF 0.2% ANNUAL CHANCE FLOOD;
- AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE;
- AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD

CONSTRUCTION SEQUENCE

1. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
2. CLEAR AND GRUB.
3. CONSTRUCT RETENTION/SEDIMENTATION BASINS.
4. ROUGH GRADE SITE WHILE PROVIDING POSITIVE DRAINAGE TO BASINS.
5. STABILIZE DENUDED AREAS AND STOCKPILES AS SOON AS PRACTICABLE.
6. FINAL GRADE AND CONSTRUCT BUILDING PADS.
7. INSTALL UNDERGROUND STORM DRAIN PIPES AND ALL UNDERGROUND UTILITIES.
8. COMPLETE BUILDING CONSTRUCTION.
9. CONSTRUCT PAVING AND SIDEWALKS.
10. COMPLETE FINAL GRADING, INSTALL PERMANENT SEEDING AND LANDSCAPING.

APPROVAL

THIS SET OF PLANS HAS BEEN REVIEWED FOR COMPLIANCE WITH TOWN OF PARADISE VALLEY REQUIREMENTS PRIOR TO ISSUANCE OF PERMIT. THE TOWN NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. THIS COMPLIANCE APPROVAL SHALL NOT PREVENT THE TOWN ENGINEER FROM REQUIRING CORRECTIONS OF ERRORS OR OMISSIONS IN THE PLANS TO BE FOUND IN VIOLATION OF LAWS OR ORDINANCES.

TOWN ENGINEER
TOWN OF PARADISE VALLEY

DATE

STORM WATER POLLUTION
PREVENTION PLAN
COVER SHEET

WOLFSWINKEL RESIDENCE
3924 E BETHANY HOME RD.,
PARADISE VALLEY, AZ 85253

Land
DEVELOPMENT GROUP

REGISTERED PROFESSIONAL ENGINEER
CERTIFICATE NO. 41005
NICKOLA J. PRODANOV
PHOENIX, AZ 85020
PHOENIX@LDGNG.COM

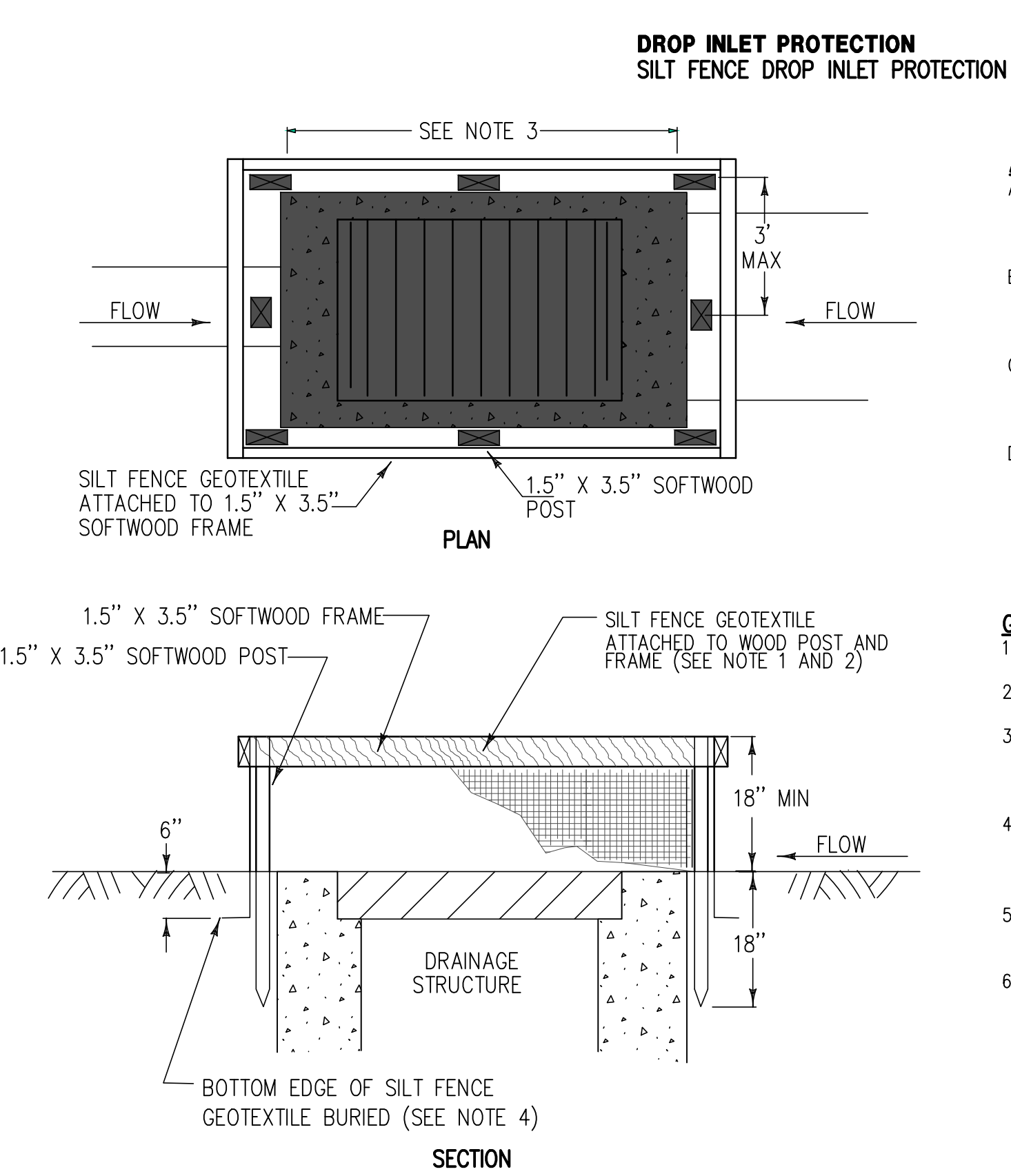
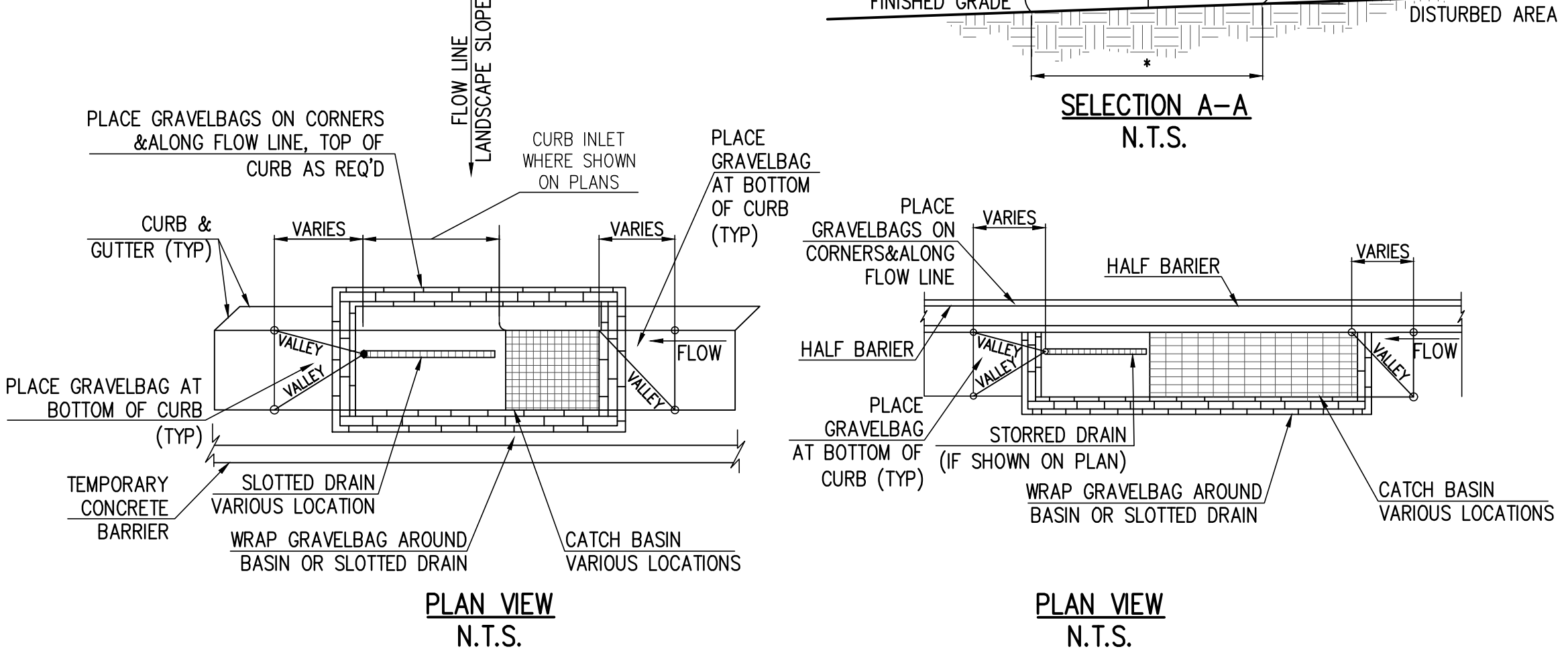
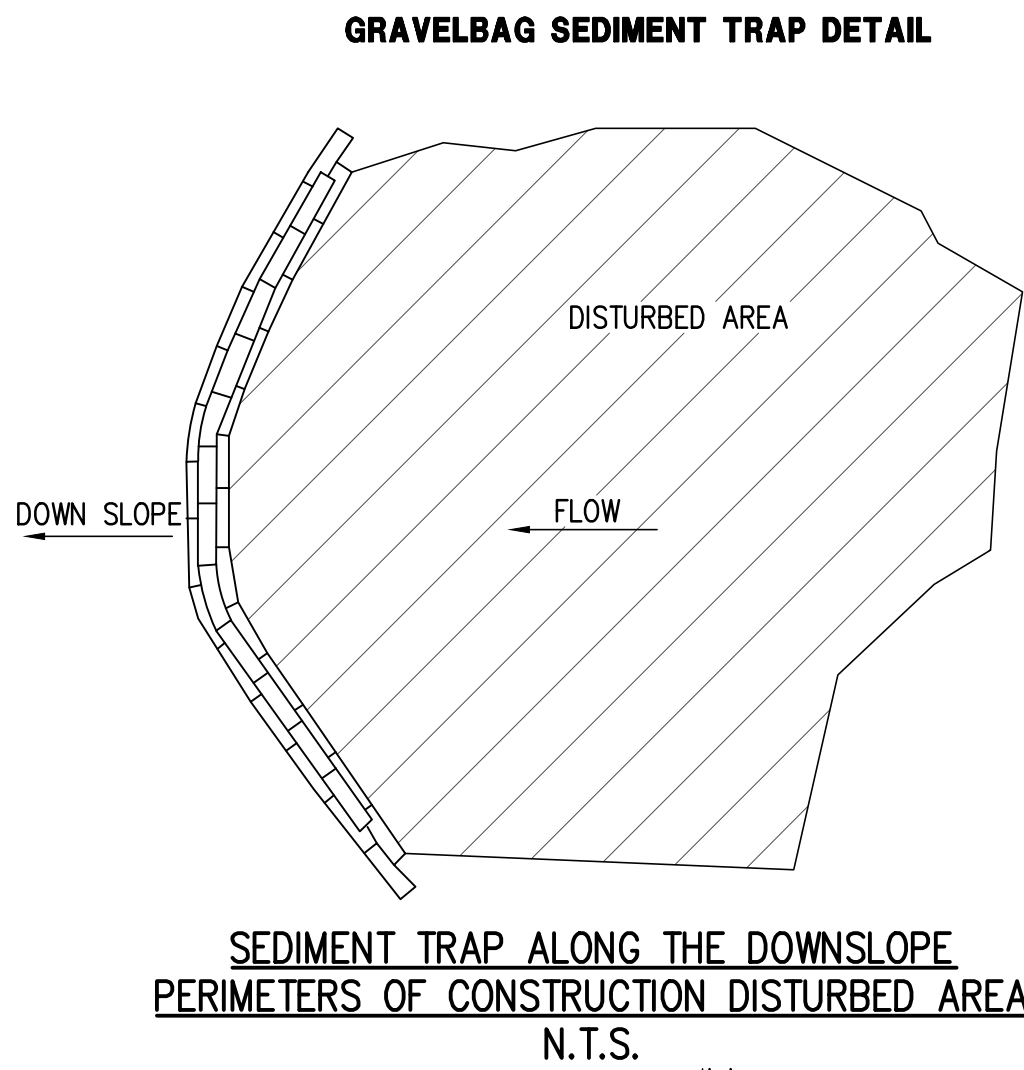
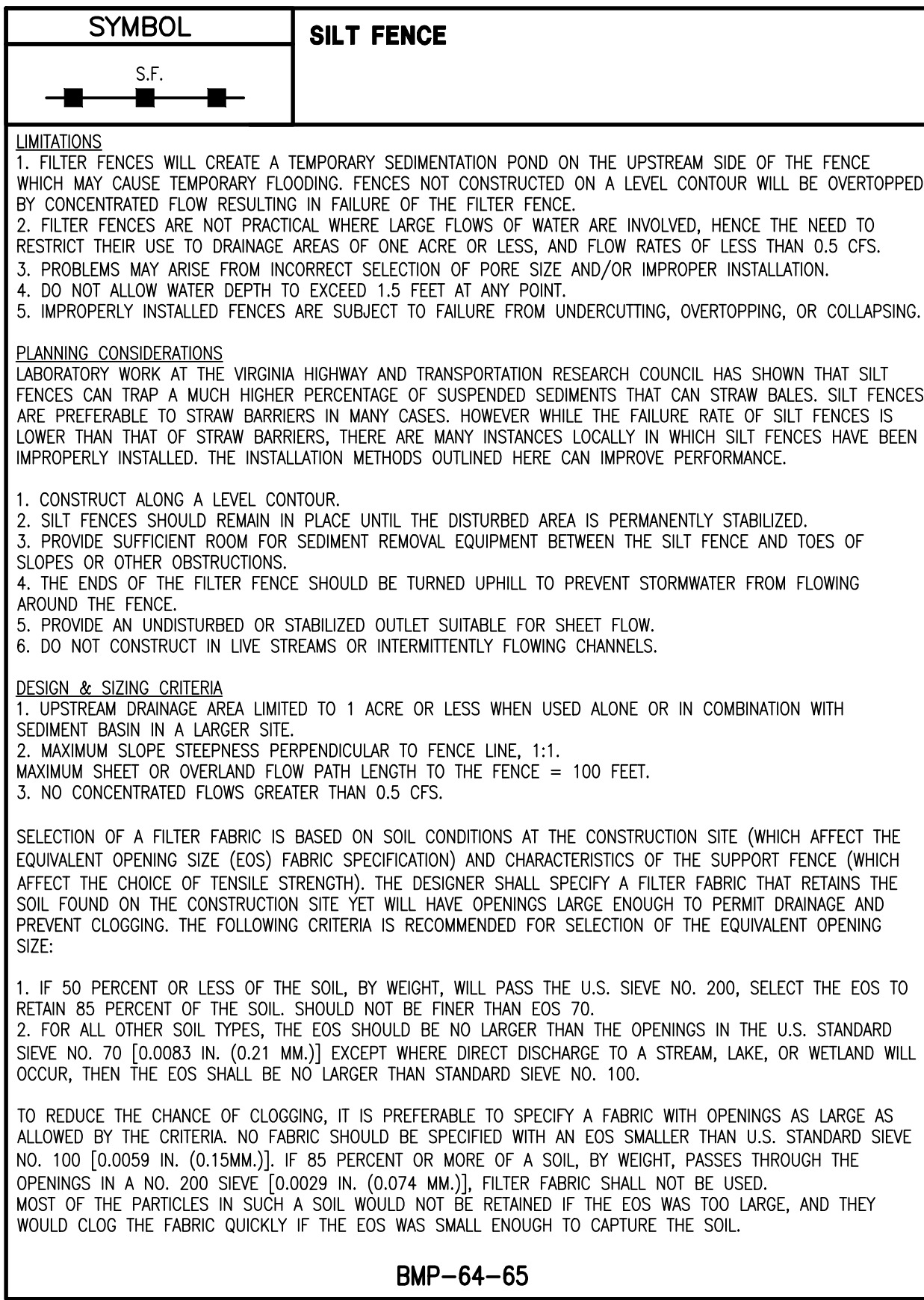
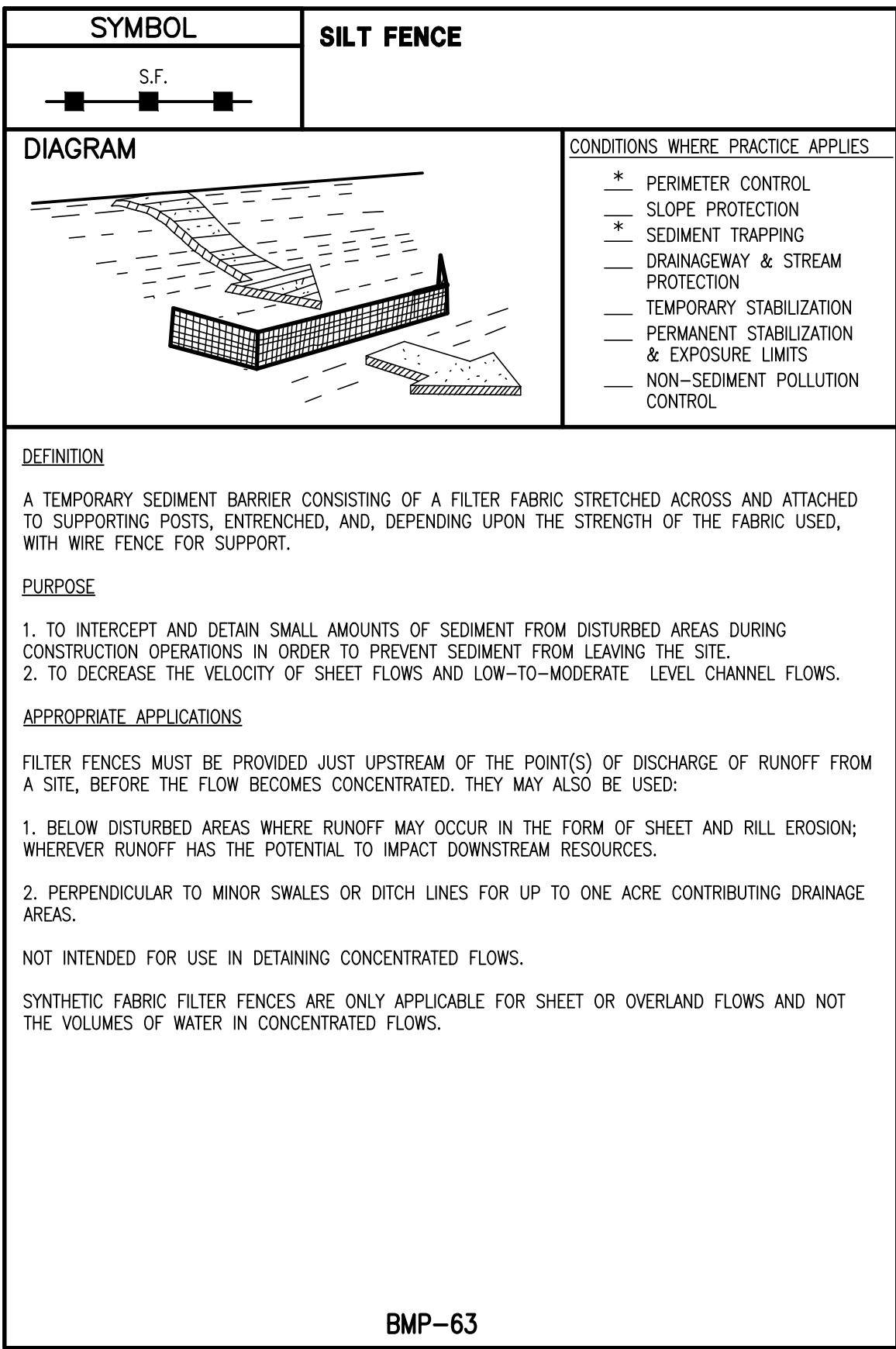
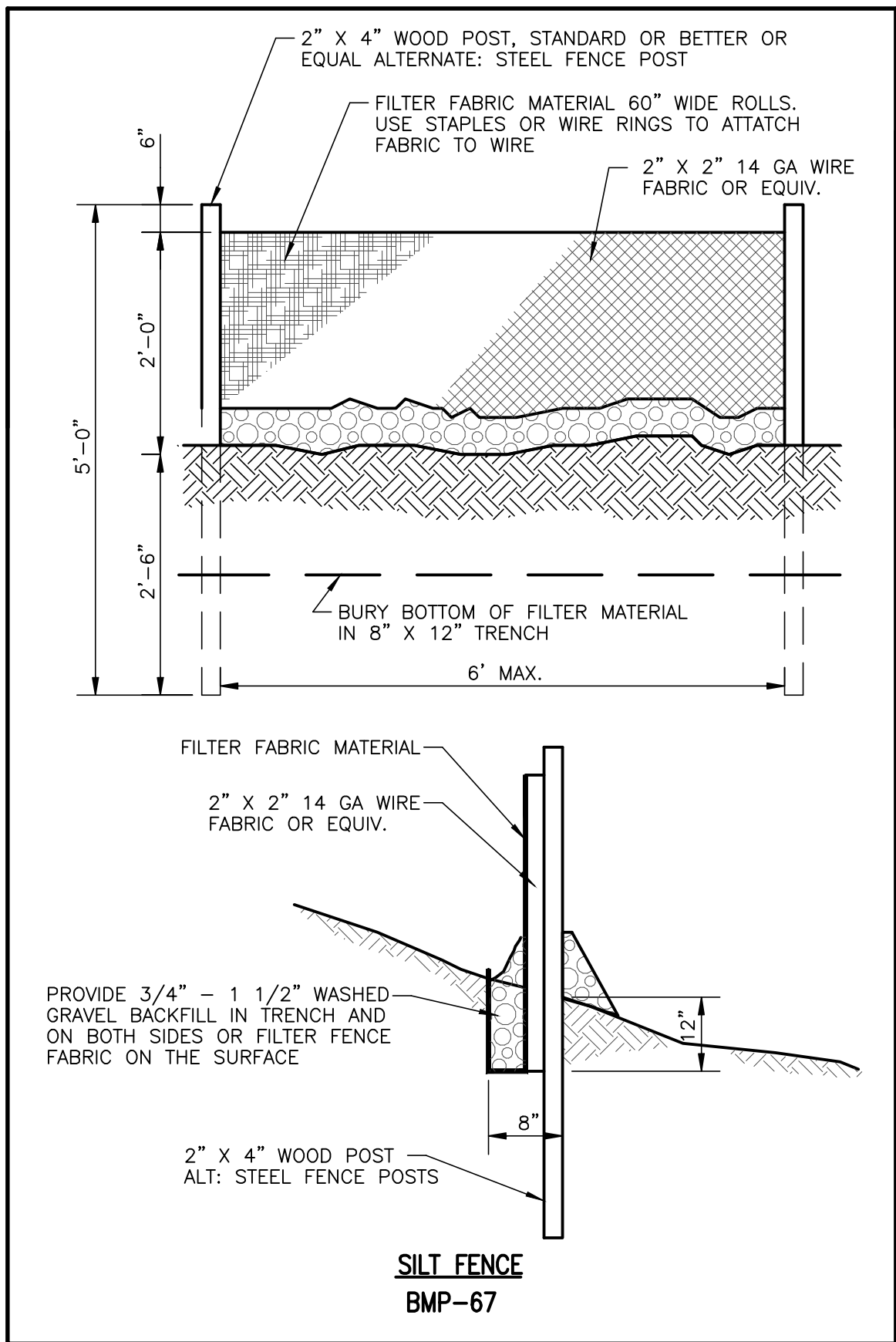
Contact Arizona 811 at least two full working days before you begin excavation

ARIZONA811
Call 811 or click Arizona811.com

SP-1
1 OF 2

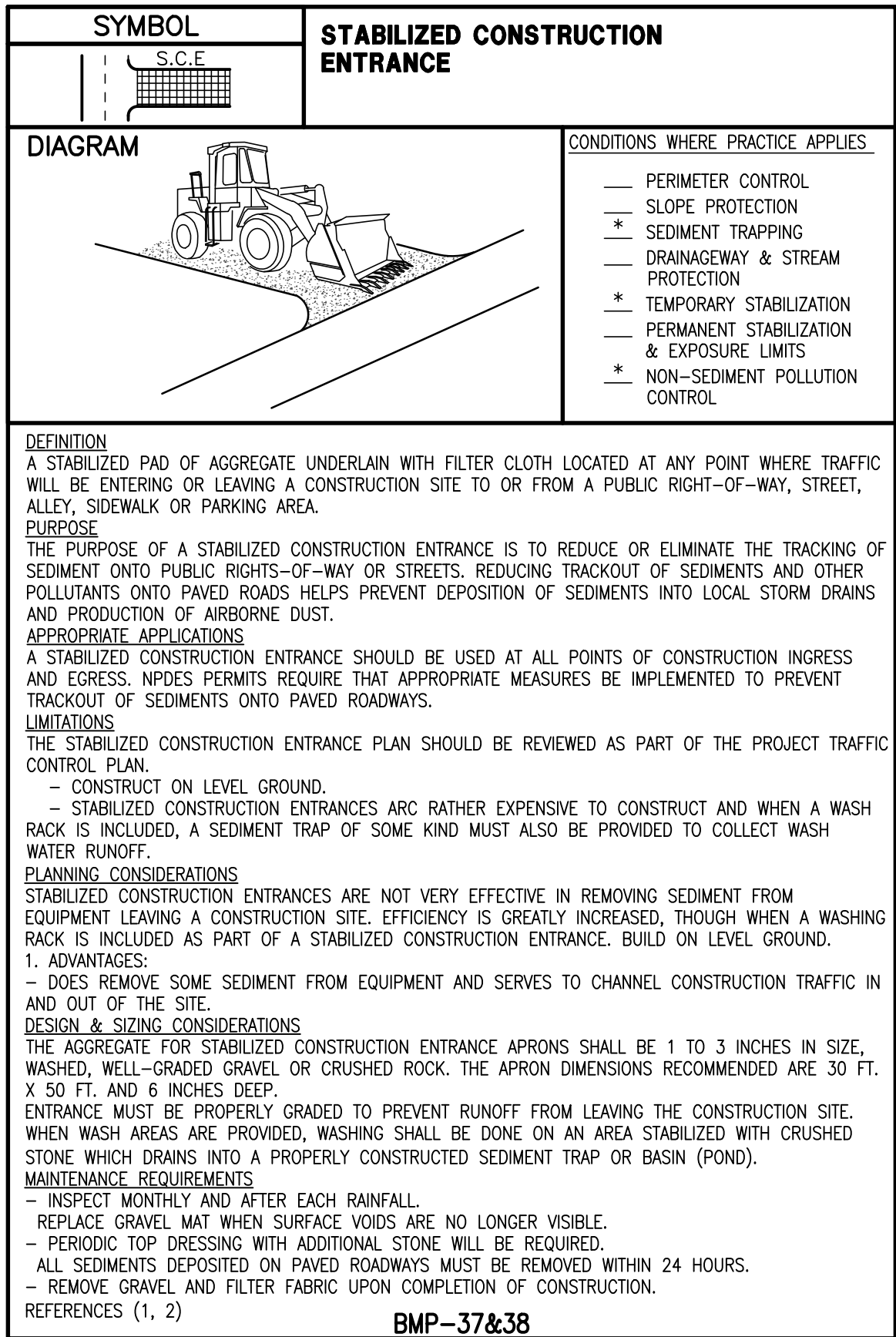
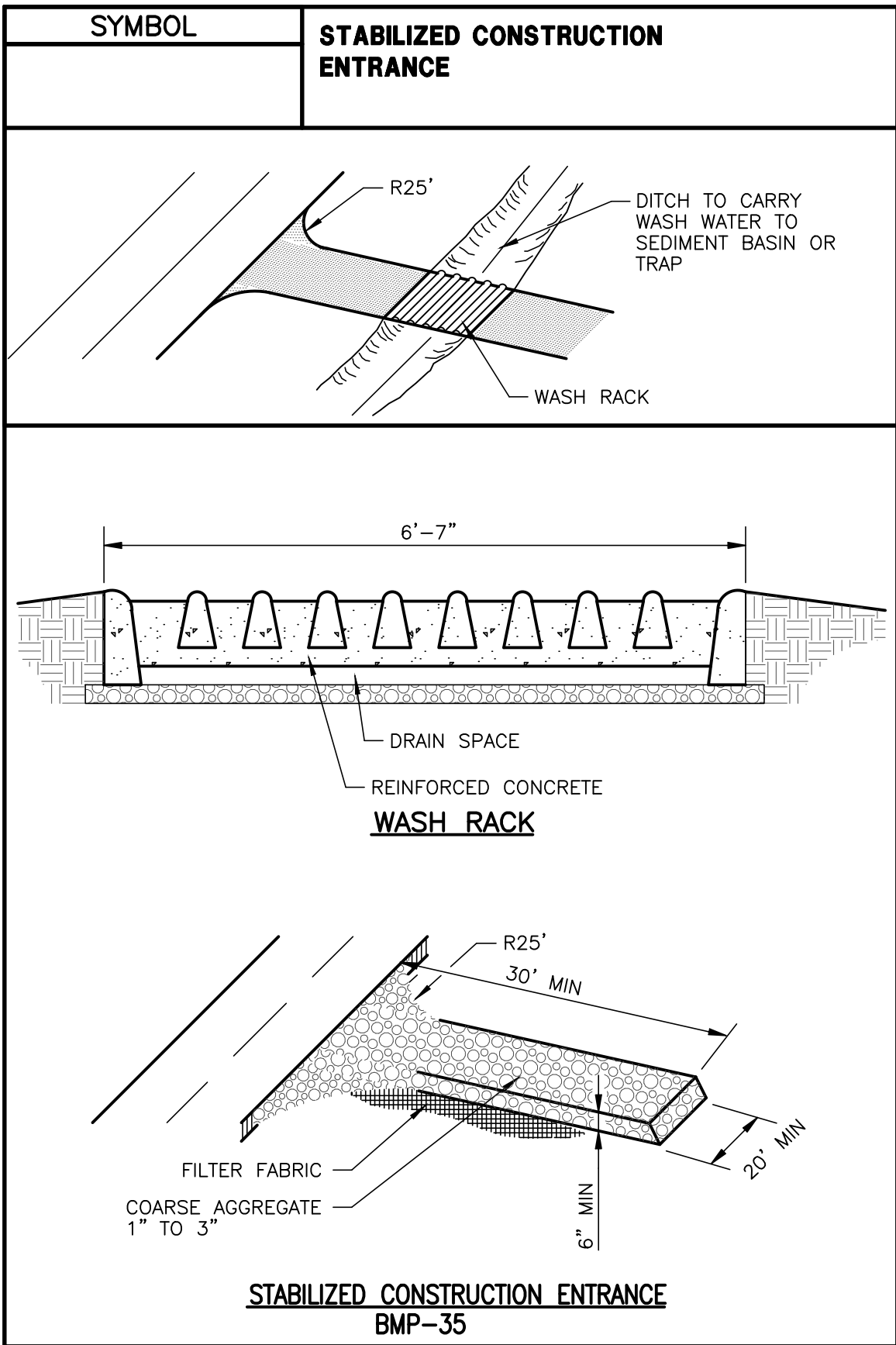
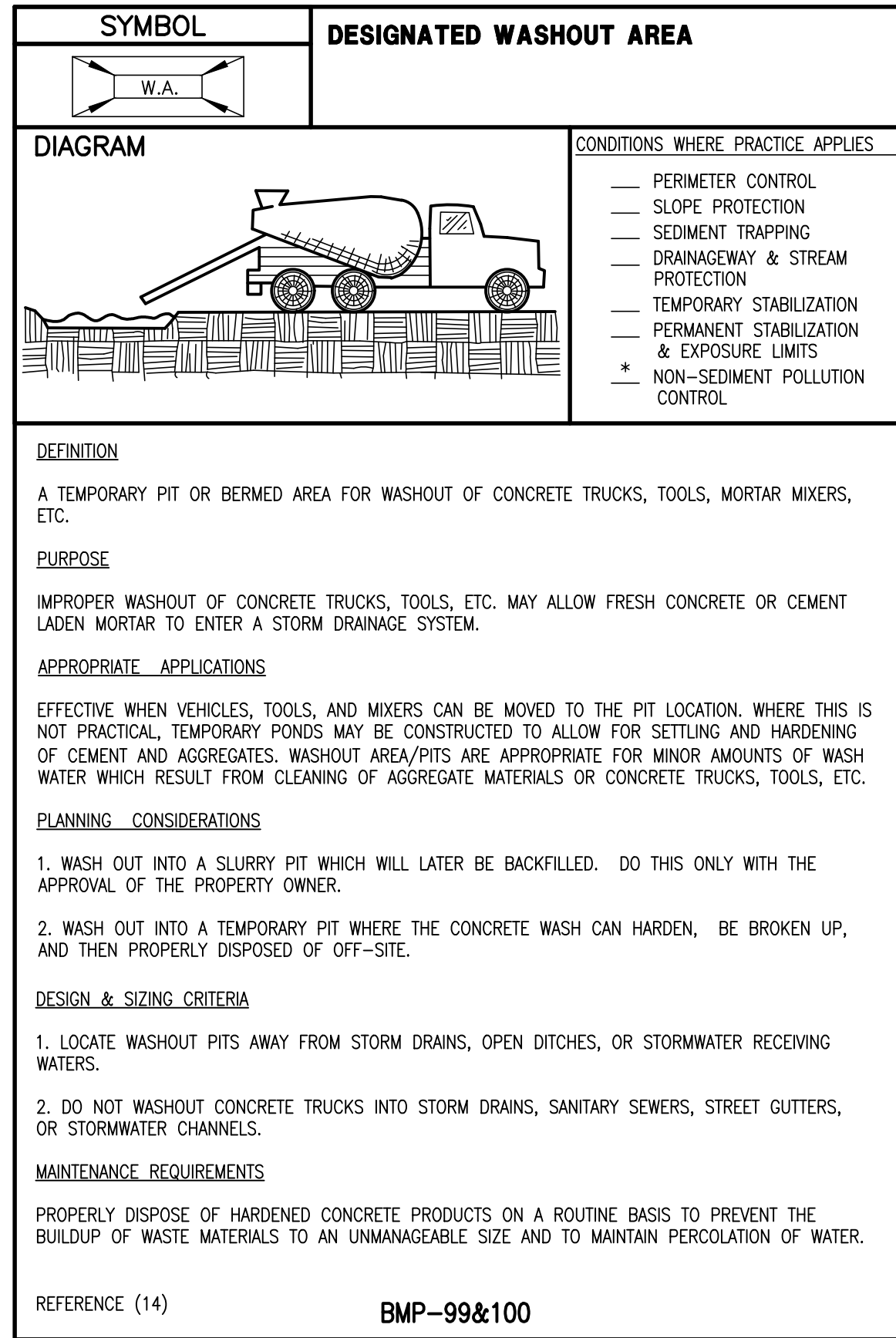
STORM WATER POLLUTION PREVENTION PLAN

BEST MANAGEMENT PRACTICES DETAILS



- APPLICATION NOTES:**
- THE PRIMARY PURPOSE OF DRAINAGE STRUCTURE INLET PROTECTION IS TO PREVENT SEDIMENT FROM ENTERING A DRAINAGE SYSTEM BY PONDING WATER WHICH ALLOWS SEDIMENT TO FALL OUT OF SUSPENSION.
 - THESE EXAMPLES OF DROP INLET PROTECTION ARE NOT INTENDED FOR USE ON GRADES. ON GRADE THEY MAY CAUSE WATER TO BYPASS THE STRUCTURE, CREATING ADDITIONAL EROSION OR FLOODING.
 - POSSIBLE MODIFICATIONS FOR USE ON GRADE INCLUDE ADDING A BERM DOWNSTREAM OF THE INLET TO CREATE PONDING. CHECK DAMS MAY ALSO BE USED UPSTREAM OF THE INLET TO SLOW VELOCITIES.
 - PREFABRICATED DROP INLET PROTECTION SPECIFICATIONS SHALL BE PROVIDED TO THE ENGINEER FOR APPROVAL PRIOR TO USE.

- GENERAL NOTES:**
- THE TOP OF THE INLET PROTECTION SHALL BE SET AT THE MAXIMUM DESIRED WATER LEVEL, BASED ON FIELD LOCATION AND CONDITIONS.
 - SILT FENCE GEOTEXTILE SHALL BE A SINGLE CONTINUOUS PIECE TO ELIMINATE JOINTS.
 - SPACE SILT FENCE POSTS EVENLY AROUND INLET WITH A MAXIMUM SPACING OF 3 FEET. DRIVE POSTS A MINIMUM OF 18 INCHES INTO GROUND. WIRE MESH MAY BE REQUIRED BEHIND GEOTEXTILE TO PROVIDE SUPPORT.
 - SECURE THE ENDS OF THE APRON FOR THE PREFABRICATED DRAINAGE STRUCTURE INLET PROTECTION WITH STAPLES AS DETAILED IN THE PLAN VIEW OR AS RECOMMENDED BY THE MANUFACTURERS SPECIFICATIONS.
 - MEASURES SHALL BE INSPECTED EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF A STORM EVENT GREAT ENOUGH TO CAUSE WATER TO LEAVE THE CONSTRUCTION SITE.
 - MEASURES SHALL BE CLEANED AND REPAIRED AS NEEDED. SEDIMENT SHALL BE REMOVED WHEN ACCUMULATION REACHES ONE-HALF OF THE MEASURE HEIGHT. SEDIMENT SHALL BE DISPOSED OF AS UNSUITABLE MATERIAL.



SELECTION OF FABRIC TENSILE STRENGTH AND BURSTING STRENGTH CHARACTERISTICS SHALL BE SUPPORTED WITH WIRE MESH IN AND AS RECOMMENDED BY THE FABRIC MANUFACTURER. THE FABRIC MANUFACTURER SHALL PROVIDE A MINIMUM OF SIX MONTHS OF EXPECTED USABLE LIFE AT A TEMPERATURE RANGE OF 0° F. TO 120° F.

1. TYPICAL INSTALLATION:

- FILTER FENCES ARE TO BE CONSTRUCTED ON A LEVEL CONTOUR TO MAXIMIZE THE AVAILABLE PONDING AREA AND PREVENT CONCENTRATION OF FLOW AGAINST THE FENCE.
- A. POSTS SHALL BE SPACED A MAXIMUM OF 6 FEET APART AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 30 INCHES.
- B. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 8 INCHES WIDE AND 12 INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
- C. WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH LONG, TIE WIRES OR HOG RINGS SHALL EXTEND INTO THE TRENCH A MINIMUM OF 4 INCHES.
- D. THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 20 INCHES OF THE FABRIC SHALL EXTEND INTO THE TRENCH. WHEN EXTRA-STRENGTH FILTER FABRIC AND CLOSER POST SPACING ARE USED, THE WIRE MESH SUPPORT WIRED DIRECTLY TO THE FENCE MAY BE ELIMINATED AND THE FILTER FABRIC STAPLED OR WIRED DIRECTLY TO THE POSTS.
- E. THE USE OF JOINTS SHOULD BE AVOIDED. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM 6 INCH OVERLAP AND BOTH ENDS SECURELY FASTENED TO THE POST.
- F. THE TRENCH SHALL BE BACKFILLED WITH 3/4-INCH MINIMUM DIAMETER WASHED GRAVEL OR COMPACTED NATIVE MATERIAL.

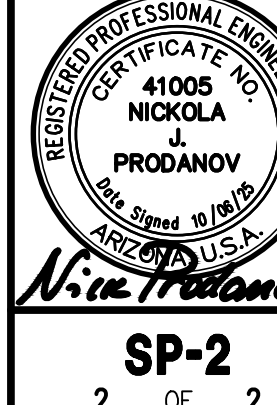
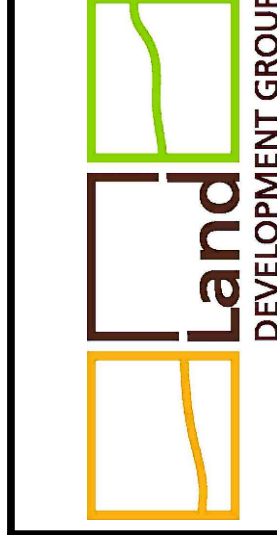
NOTES:

- * SEE SPECIAL PROVISIONS.
- GRAVELBAG MATERIAL SHALL BE FROM POLYPROPYLENE, POLYETHYLENE, OR POLYAMIDE WOVEN FABRIC. SEE SPECIAL PROVISIONS FOR MULLEN BURST STRENGTH AND ULTRAVIOLET STABILITY REQUIREMENTS.
- WHEN SEDIMENT DEPTH REACHES 3 INCHES, REMOVE, AND PROPERLY DISPOSE OF ACCUMULATED MATERIAL.
- TOP OF GRAVELBAG TO BE 2 INCHES BELOW TOP OF ADJACENT ROADWAY TO ALLOW DRAINAGE INTO THE CATCH BASIN.
- GRAVELBAG BMP SHALL NOT BE APPLIED IN THE AREA OF OPEN TRAFFIC.
- THE INSTALLATION AND MAINTENANCE OF GRAVELBAG BMPs SHALL NOT NEGATIVELY IMPACT TRAFFIC SAFETY, AS WELL AS THE DESIGN FUNCTION OF ROADWAY OR BRIDGE DRAINAGE FACILITIES. FOR EROSION/SEDIMENT CONTROL PURPOSES, GRAVELBAG BMPs SHALL BE INSTALLED AND MAINTAINED TO CARRY THE STORM WATER OF AT LEAST 2-YEAR, 24-HOUR EVENTS.
- THE GRAVELBAG BMPs PAY/BID ITEM SHALL INCLUDE ALL MATERIALS USED FOR THIS BMP, ALL GROUND PREPARATION, FURNISHING, INSTALLING, FINAL REMOVAL, AND DISPOSAL OF THIS TEMPORARY BMP, AS WELL AS RETURNING THE AREA TO AN ACCEPTABLE CONDITION AS APPROVED BY THE ENGINEER.

STORM WATER POLLUTION PREVENTION PLAN DETAILS

WOLFSWINKEL RESIDENCE
3924 E BETHANY HOME RD.,
PARADISE VALLEY, AZ 85253

P 602 869 1984 | F 602 443 9482
8808 N CENTRAL AVE., SUITE 208
PHOENIX, AZ 85020
PHOENIX @ LDG6.COM





1 3DPV-1 (FRONT LEFT SIDE VIEW)
1/8" = 1'-0"



2 3DPV-2 (FRONT RIGHT SIDE VIEW)
1/8" = 1'-0"



3 3DPV-3 (REAR LEFT SIDE VIEW)
1/8" = 1'-0"



4 3DPV-4 REAR RIGHT SIDE VIEW
1/8" = 1'-0"

CUSTOM NEW HOME
WOLFSWINKEL RESIDENCE
3924 E BETHONY HOME ROAD
PARADISE VALLEY, AZ 85253
MARICOPA COUNTY

DDG
DUNCAN DESIGN GROUP, LLC
3723 WEST BARNES LANE
PHOENIX, ARIZONA 85051
PHONE: 602.841.1284
FAX: 602.841.7517
DUNCANDESIGNGROUPPHX@GMAIL.COM

DATE: 12.23.2024

No.	Description	Date

SHEET NAME:

RENDERINGS

SHEET NUMBER:

R-1

PROJECT #:

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Standard Approval Information

1. All construction documents submitted for permit reviews shall include all approved Hillside-approved documents, including but not limited to, approved material references, cross sections, landscape plans, lighting plans, and lighting specifications. Any changes to the Hillside-approved plans may result in delays in permit plan review and inspection processes. Any proposed changes should be reported to the Staff to determine compliance with Hillside Development Regulations. Changes may be subject to a Staff, Chair, or Committee review.
2. All construction documents submitted for permit reviews shall include all approved Hillside-approved documents, including but not limited to, approved material references, cross sections, landscape plans, lighting plans, and lighting specifications.
3. The Applicant shall submit a Construction Staging Plan to the Town per the Hillside Safety Improvement Measures and Process Manual for review and approval prior to being issued a building permit.
4. The Applicant shall submit a liability insurance policy for the proposed project in the amount of \$2 million per occurrence and \$5 million aggregate naming the Town of Paradise Valley as an additional insured prior to being issued a building permit.
5. Prior to issuance of a permit, the Applicant shall submit a Hillside Assurance in the amount of \$99,960.
6. All construction parking shall be located on the property as much as possible. Any offsite parking shall be confined to the adjacent streets along the immediate property frontage. All offsite parking shall be located on the same side of the street. No construction materials will be allowed to be stored on the Town's right-of-way.
7. All recommendations provided in the Safety Improvement Plan shall be followed by the applicant. An Arizona Registered Engineer contracted by the applicant shall review, for compliance with the recommendations provided in the Safety Improvement Plan, the proposed plans prior to submitting for a permit. The contracted Arizona Registered Engineer shall provide a sealed letter stating that the plans submitted are in accordance with the Safety Improvement Plan. Any field work related to the Safety Improvement Plan, including but not limited to rock bolting, rock cuts, mesh placement, and boulder stabilization methods, shall be inspected by a qualified Special Inspector contracted by the applicant. The qualified inspector shall be required to provide a written verification that the improvements were completed per plan prior to the final approval.
8. No final approval or certificate of occupancy shall be issued until all Hillside stipulations and all Town Code requirements are complied with, including, but not limited to, landscaping, fire flow, fire safety and all onsite and offsite improvements.
9. The limits of construction and proposed disturbed areas shall be clearly staked in the field, with visible roping, prior to demolition and during construction and shall conform to the approved individual site analysis plan. Photos of the staking shall be provided prior to issuance of a demolition and/or building permit.

10. Noise from construction that can be heard off-site, including, but not limited to, hydraulic ram hammers, equipment used to cut through rock, machinery with audible back-up warning devices, powered machinery, truck delivery and idling, constant and persistent hammering, shall comply with Article 8-10, Nuisance Noise, as set forth in the Town Code. Heavy Equipment and construction-related deliveries are generally limited between the hours of 7:00 a.m. and 5:00 p.m. Monday through Friday; no work on Saturday, Sunday or legal holidays. Exceptions include a one hour early start time in summer, time exceptions granted by the Town Manager, and construction not defined as Heavy Equipment or deliveries that can occur outside the 7:00 a.m. to 5:00 p.m., Monday through Friday, time frame.
11. The Hillside Building Committee review is not a complete building permit review of grading and drainage plans. Additional comments may be generated during the building permit review process. Offsite improvements such as curb installation may be required during the permitting process.
12. Desert varnish, such as Eonite or equivalent, shall be provided on all exposed rock cuts.
13. Natural stone selections shall not exceed the maximum allowable LRV of 38, unless explicitly approved by the Hillside Building Committee. Care should be taken when selecting to ensure that the maximum LRV is not exceeded. Failure to comply with may result in delays obtaining a Certificate of Occupancy.
14. A landscape as-built plan shall be provided by the landscape designer at the time of the Final Hillside inspection and prior to the issuance of a Certificate of Occupancy. See Stipulation #1 for more information.
15. A suitable desert seed mix shall be provided for all undisturbed areas requiring revegetation and all retention basins. Any existing non-native fountain or buffel grasses shall be removed from the property.



Action Report

File #: 26-013

AGENDA TITLE:

**Concept Review for a New Single Family Residence
5625 E Indian Bend Lane (APN 169-55-002A)**

STAFF CONTACT:

Jose Mendez, 480-348-3519

Juan Gonzalez Jr., 480-348-3528

TOWN *Of* PARADISE VALLEY



STAFF REPORT

TO: Hillside Building Committee

FROM: Chad Weaver, Community Development Director
Shar Johnson, Town Engineer
Paul Michaud, Planning Manager
Jose Mendez, Hillside Development Planner
Juan Gonzalez Jr., Hillside Associate Engineer

DATE: January 14, 2026

DEPARTMENT: Community Development Department

Jose Mendez, (480)348-3519

Juan Gonzalez Jr., (480)348-3528

AGENDA TITLE:

Concept Review

New Single-Family Residence

Stratton Architects

5625 E Indian Bend Lane (APN 169-55-002A)

HILL-25-28

RECOMMENDATION:

No recommendation is provided for the Concept Review meeting. The Hillside Building Committee will discuss, review, and give guidance to the applicant for Case HILL-25-28, a request by Stratton Architects, at 5625 E Indian Bend Lane, for a new 11,742 SF Single-Family Residence.

BACKGROUND/DISCUSSION/SUMMARY (PROVIDED BY APPLICANT)

The request is to construct a new 11,742 square-foot Single-Family Residence and to provide on-site retention.

Lot Data	
1. Area of Lot	1.202 ac or 52,356 SF
2. Area Under Roof	13,049 SF
3. Floor Area Ratio	24.9%
4. Building Site Slope	16.09%
5. Allowable Disturbed Area	14,278 SF (27.27%)
6. Existing Gross Disturbed Area	44,933 SF (85.82%)
7. Proposed Disturbed Area	33,191 SF (63.39%)

8. Maximum Building Height	Approximately 24 ft - 0 in
9. Overall Height	Approximately 40 ft - 0 in
10. Volume of Cut/Fill	3,467 C.Y.
11. Hillside Assurance	\$120,120

Single Family Residence

The request is to construct a new 11,742 SF Single-Family Residence with a detached Casita.

Variance

N/A.

Guesthouse and/or Accessory Structures

The applicant proposes a detached casita. The applicant will provide an updated plan with dimensions verifying setback requirements and height requirements for review by staff prior to Formal Review.

Driveway

An existing driveway accessing the property from E Indian Bend Lane.

Pool

The applicant proposes a new pool and water feature for the property. Both meet setback requirements.

Solar

No proposed solar.

Walls and Fences

The applicant is proposing retaining walls varying from 4 feet to 8 feet in height. All meet setback requirements and are within the allowable height requirements.

Building Materials

The applicant has provided preliminary building materials for committee review. Materials subject to approval prior to Formal Review. All materials shall have a Light Reflective Value (LRV) of 38 or less, per Hillside Development Regulations.

Hardscape Materials

The applicant has provided preliminary hardscape materials. Materials subject to approval prior to Formal Review. All materials shall have a Light Reflective Value (LRV) of 38 or less, per Hillside Development Regulations.

Building Lighting

The applicant has not provided a building lighting plan and is not required for Concept Review. Building lighting plan is subject to approval prior to Formal Review.

Landscape & Driveway Lighting

The applicant has not provided a landscape or driveway lighting plan and is not required for Concept Review. Landscape and driveway lighting plan is subject to approval prior to Formal Review.

Landscaping

The applicant has not provided a detailed landscape plan. Plan is subject to approval prior to Formal Review.

Mountain Profile Inviolate

At and above an elevation of 1,500 feet mean sea level, no development shall occur which will alter the mountain top ridge lines. Further, no structure may extend above a plane that originates on the Primary Ridge Line and angles downward from the Primary Ridge Line by twenty degrees. The property is not within the vicinity of a Primary Ridge Line and no further restrictions shall apply.

Land Disturbance

44,933 SF (85.82%) of disturbance currently exists on the lot and the building pad slope of 16.09% allows a disturbance of 14,278 SF (27.27%) on the lot. The applicant is proposing 33,191 SF (63.39%) which is less than the allowable 44,933 SF (85.82%) of existing disturbance on site.

Grading and Drainage

The proposed construction of the property shall be required to properly retain the greater of "pre vs post" or "first flush" storm water volumes for the 100-year, 2-hour rainfall event per the Town's Storm Drainage Design Manual requirements. All historic flows shall be required to maintain the same entry and exit points on the property. The applicant is proposing to mitigate on-site retention with surface basins, 12"x12" catch basins in connection with 4", 6", 12" and 18" pipes for conveyance, as well as check dams for water dissipation.

Sewer

The existing site will utilize a septic system.

Fire Protection

Applicant to meet with Fire Marshal prior to formal review for Fire Safety measures.

Hillside Safety Improvement Plan

The Applicant was not required to submit a Hillside Safety Improvement Plan prior to Concept Review.

ANALYSIS:

The applicant has proposed a new single-family residence that meets the minimum requirements of the Concept Review.

STIPULATIONS:

No stipulations are provided for the Concept Review.

REQUIRED ACTION:

The purpose of the Concept Plan Review Meeting is to discuss, review, and give suggestions and guidance to the applicant.

NOTICING:

Public notification was performed in accordance with the public hearing process. Staff received no comments.

NEXT STEPS:

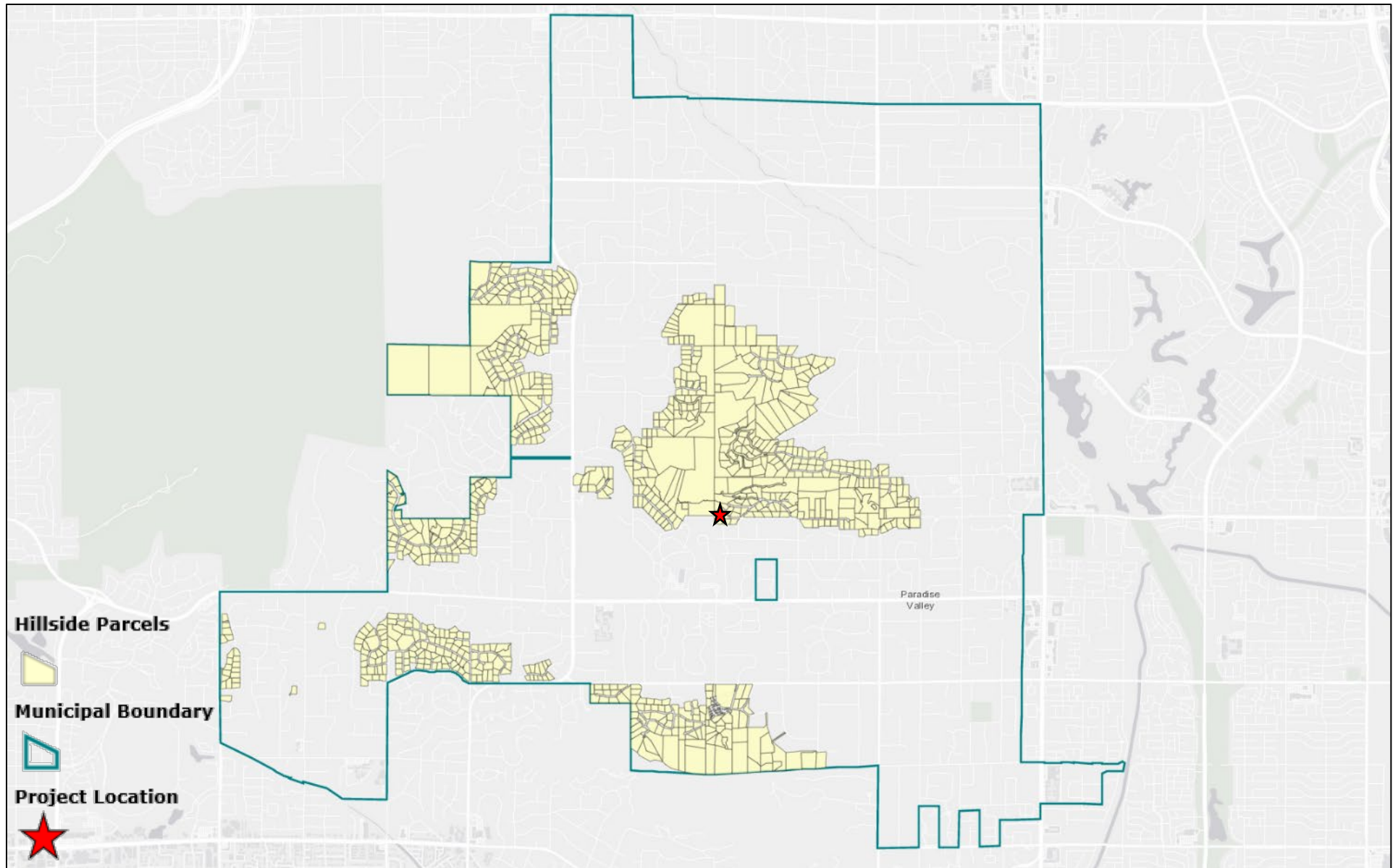
A detailed set of plans will be submitted for the Formal Review in accordance with Article XXII, Section 2206.I.

ATTACHMENTS:

- A. Staff Report
- B. Hillside & Vicinity Maps
- C. Application
- D. Notification Materials
- E. Plans

HILLSIDE MAP (OVERVIEW)

5625 E Indian Bend Lane



ZONING MAP (ZOOM)
5625 E Indian Bend Lane



VICINITY MAP (ZOOM)
5625 E Indian Bend Lane



TOWN
of

PARADISE VALLEY



Hillside Application
Community Development Department
6401 E Lincoln Drive
Paradise Valley, AZ 85253

(480) 348-3692

HILLSIDE APPLICATION

DATE: 11-20-2025

SUBDIVISION NAME: CLUB ESTATES 2

PROPERTY ADDRESS: 5625 E INDIAN BEND RD PARADISE VALLEY, AZ 85253

ASSESSOR'S PARCEL NUMBER: 169-55-002A

LEGAL DESCRIPTION THAT PART OF LOTS 34 & 35, CLUB ESTATES NO. 2 ACCORDING TO BOOK 91 OF MAPS, PAGE 7 RECORDS OF MARICOPA COUNTY
TO SEE EXACT COORDINATE INFORMATION, PLEASE REFER TO COVER PAGE OF GRADING & DRAINAGE PLAN COMPLETED BY

SCOPE OF WORK: NEW HILLSIDE CUSTOM HOME & CASITA FOR A FAMILY



Town of Paradise Valley
6401 E Lincoln Drive
Paradise Valley, AZ 85253
hillside@paradisevalleyaz.gov

ARCHITECT:

STRATTON ANDREWS 860-331-0701

5090 N 40TH ST STE. 170

PHOENIX, AZ 85018

ENGINEER:

NICK PRODANOV 602-889-1984

8808 N CENTRAL AVE STE. 288

PHOENIX, AZ 85020

OWNER:

COLLIN STEWART 602-524-9405

330 W LAWRENCE RD

PHOENIX, AZ 85013



11-20-2025

OWNER OR AUTHORIZED
AGENT SIGNATURE

DATE



Town of Paradise Valley
6401 E Lincoln Drive
Paradise Valley, AZ 85253
hillside@paradisevalleyaz.gov

Hillside Conceptual Plan Review Notification

December 12, 2025

Subject: Conceptual Plan Review for a new custom hillside home

Dear Property Owner,

An application has been submitted to the Town of Paradise Valley for a new custom hillside home located at 5625 E Indian Bend Rd. In compliance with Town requirements, this letter is being sent to you as a courtesy to inform you of the pending application. The Hillside Building Committee will be reviewing this application on January 14th, 2026 at 8:00 AM at the Paradise Valley Town Hall located at 6401 East Lincoln Drive.

The purpose of Conceptual Plan Review meeting is to discuss, review, and provide suggestions and guidance to the Applicant regarding the proposed development including:

- Location of the building pad, driveway, and accessory uses
- Significant natural features
- Preservation of existing vegetation
- Grading concepts and their adaptation to the natural hillside topography

The Conceptual meeting provides suggestions and guidance for the Applicant. Prior to final approval of this application, there will be a Formal Hillside Building Committee Review Meeting. Notification will be sent to you for this meeting. Both meetings are open to the public and you may feel free to attend.

If you have any questions, please call me at 860-331-0701.

Sincerely,

Stratton Andrews

STRATTON
ARCHITECTS



Town of Paradise Valley
6401 E Lincoln Drive
Paradise Valley, AZ 85253
hillside@paradisevalleyaz.gov

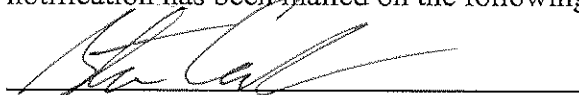
AFFIDAVIT OF MAILING NOTIFICATION

STATE OF ARIZONA)

) ss:

County of Maricopa)

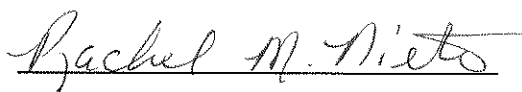
In accordance with the requirements of the Town of Paradise Valley, the undersigned hereby certifies that the mailing list for the proposed project is a complete list of property owners within 1500 feet of the subject property, as obtained from the Maricopa County Assessor's Office on the following date 12/11, 2025, and such notification has been mailed on the following date 12/16, 2025.



Signature

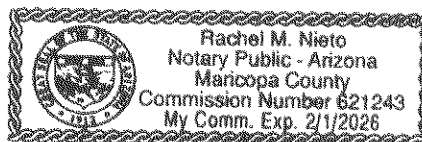
The foregoing instrument was acknowledged by me this 16th day of December, 2025, by Stratton David Andrew.

Name



NOTARY PUBLIC

My commission expires:

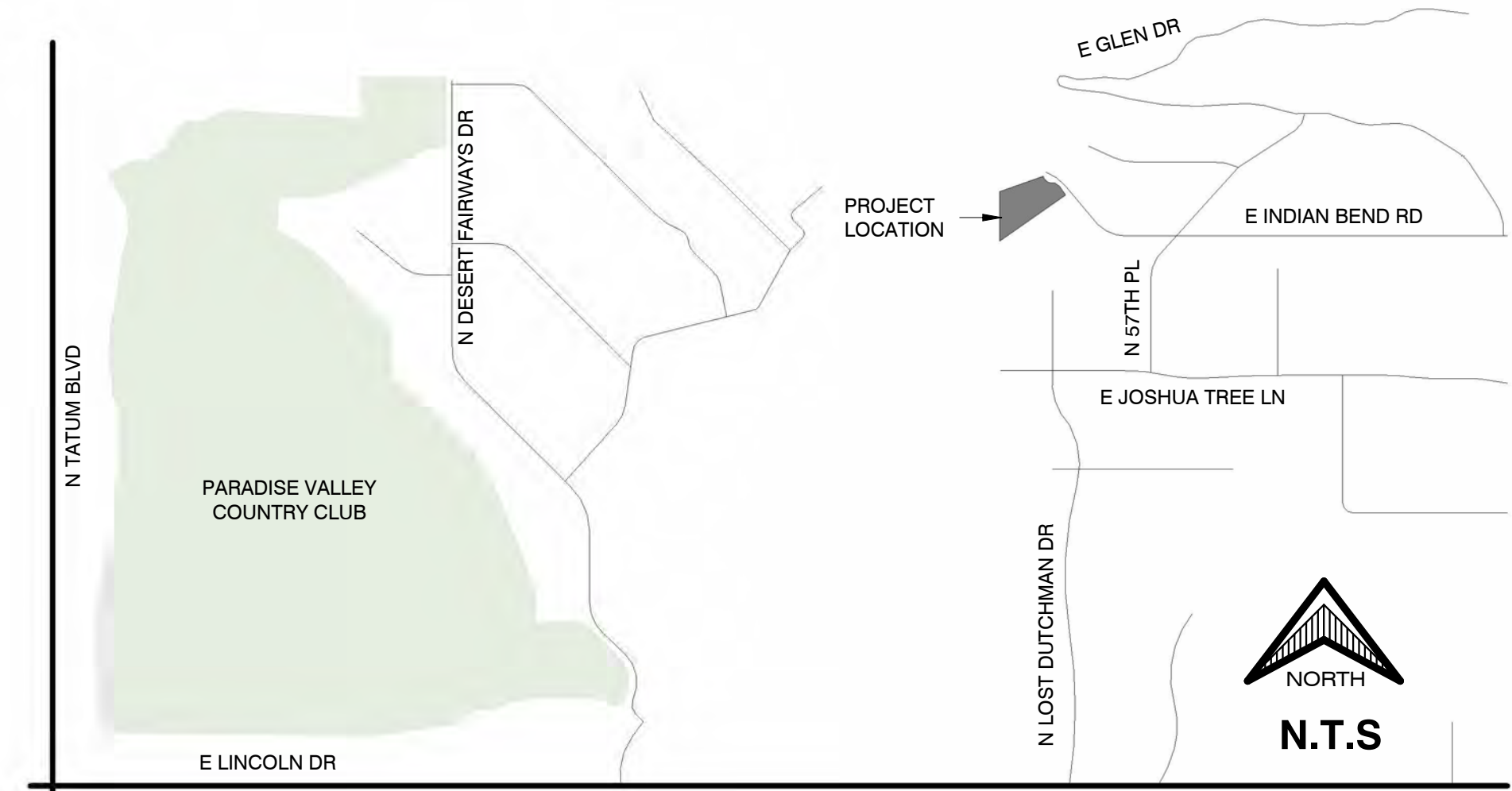
2/1/2026




*RENDERING REPRESENTS AN ARCHITECTURAL CONCEPT AND IS INTENDED AS AN ILLUSTRATIVE EXAMPLE ONLY. FINAL DESIGN, CONSTRUCTION AND MATERIALS, INCLUDING LANDSCAPE, MAY VARY.

LOST DUTCHMAN RESIDENCE - CONCEPTUAL REVIEW

5625 E INDIAN BEND RD
PARADISE VALLEY 85253
Project No. 25-05
November 21, 2025



SHEET INDEX

- H0.00 COVER PAGE
- H1.01 ARCH. SITE PLAN
- H1.02 ARCH. SITE PLAN OVERLAY
- H1.03 ARCH. SITE PLAN OVERLAY - EXTERIOR IMPROVEMENTS
- H1.04 SITE PHOTOS
- H1.05 FLOOR PLAN - LOWER LEVEL
- H1.06 FLOOR PLAN
- H1.07 FLOOR PLAN - LOWER LEVEL CUT/FILL
- H1.08 FLOOR PLAN - MAIN LEVEL CUT/FILL
- H1.09 LOWEST P.O.I. DIAGRAM
- H1.10 3D TOPO OFFSET DIAGRAM
- H1.11 EXTERIOR RENDERING - AERIAL
- H1.12 EXTERIOR RENDERING - AERIAL
- H1.13 EXTERIOR RENDERING - AERIAL
- H1.14 EXTERIOR RENDERING - ELEVATION
- H1.15 EXTERIOR RENDERING - ELEVATION
- H1.16 EXTERIOR RENDERING - ELEVATION
- H1.17 EXTERIOR RENDERING - ELEVATION

NEW HILLSIDE CUSTOM
HOME & CASITA FOR FAMILY

STEWART
RESIDENCE

5625 E INDIAN BEND RD
PARADISE VALLEY 85253
Project No.25-05

STRATTON
ARCHITECTS

7026 N Longlook Way, Paradise Valley, Arizona 85253
(800) 331-0701



ZONING

R-43

LEGAL ADDRESS

5625 E INDIAN BEND RD PARADISE VALLEY 85253

APN

169-55-002A

NET SITE AREA

52,356 SF

CONCEPTUAL HILLSIDE

DATE 10.24.2025

REV.

COVER PAGE

H0.00

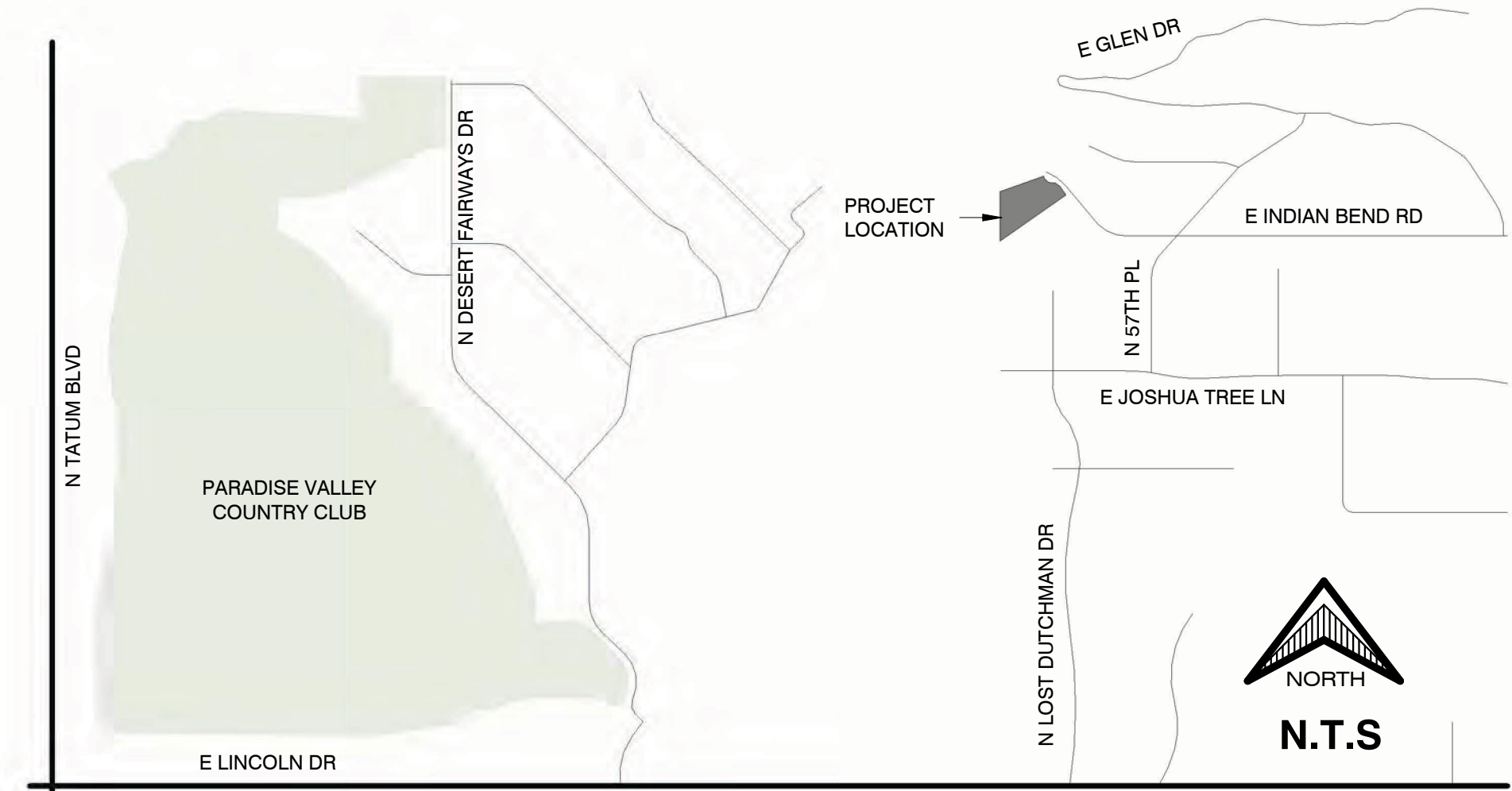
OF SHEETS



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LOST DUTCHMAN RESIDENCE - CONCEPTUAL REVIEW

5625 E INDIAN BEND RD
PARADISE VALLEY 85253
Project No. 25-05
November 21, 2025



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NEW HILLSIDE CUSTOM
HOME & CASITA FOR FAMILY

STEWART
RESIDENCE

5625 E INDIAN BEND RD
PARADISE VALLEY 85253
Project No.25-05

STRATTON
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7026 N Longlook Way, Paradise Valley, Arizona 85253

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ZONING

R-43

LEGAL ADDRESS

5625 E INDIAN BEND RD PARADISE VALLEY 85253

APN

169-55-002A

NET SITE AREA

52,356 SF

CONCEPTUAL HILLSIDE

DATE 10.24.2025

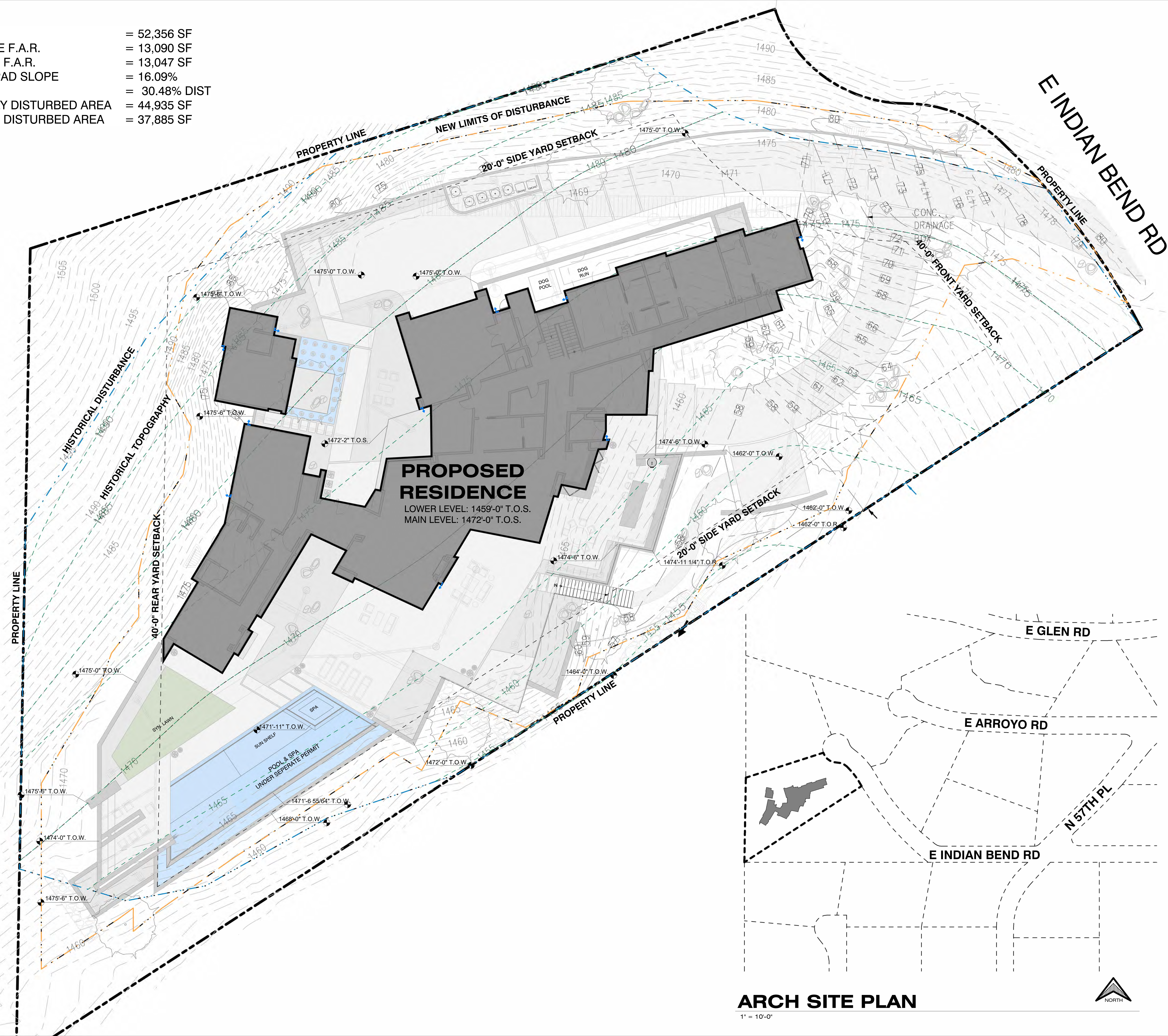
REV.

COVER PAGE

H0.00

OF SHEETS

LOT SIZE = 52,356 SF
ALLOWABLE F.A.R. = 13,090 SF
PROPOSED F.A.R. = 13,047 SF
BUILDING PAD SLOPE = 16.09%
CATEGORY = 30.48% DIST
PREVIOUSLY DISTURBED AREA = 44,935 SF
PROPOSED DISTURBED AREA = 37,885 SF



**STEWART
RESIDENCE**

5625 E INDIAN BEND RD
PARADISE VALLEY 85253
Project No.25-05

**STRATTON
ARCHITECTS**

7026 N Longlook Way, Paradise Valley, Arizona 85253
(800) 331-0701



FDR CONCEPTUAL HILLSIDE
DATE 10.24.2025
REV.

ARCH. SITE PLAN

H1.01

OF SHEETS

LOT SIZE	= 52,356 SF
ALLOWABLE F.A.R.	= 13,090 SF
PROPOSED F.A.R.	= 13,047 SF
BUILDING PAD SLOPE	= 16.09%
CATEGORY	= 30.48% DIST
PREVIOUSLY DISTURBED AREA	= 44,935 SF
PROPOSED DISTURBED AREA	= 37,885 SF

STEWART RESIDENCE

5625 E INDIAN BEND RD
PARADISE VALLEY 85253
Project No.25-05

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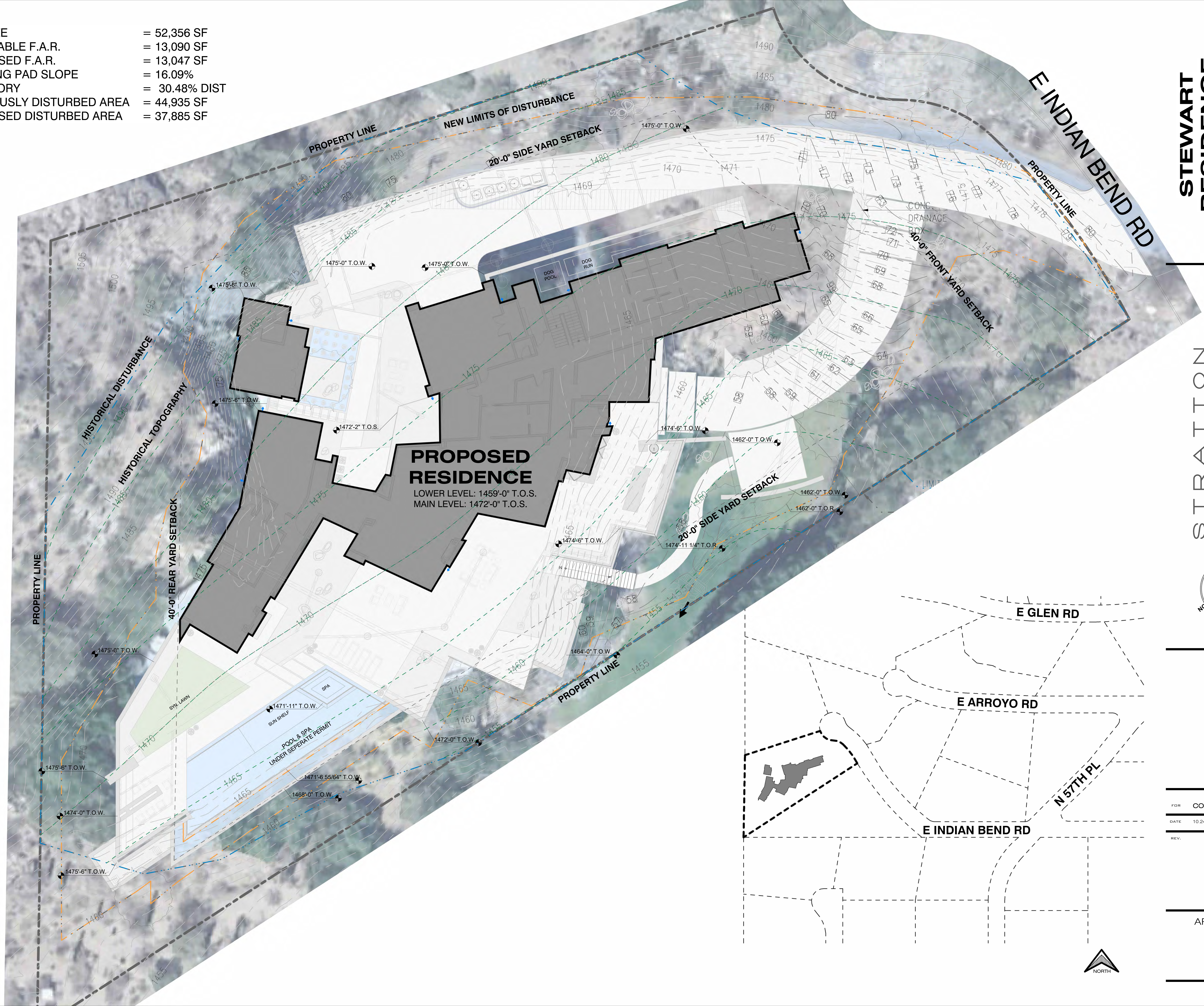
FOR	CONCEPTUAL HILLSIDE
DATE	10.24.2025
REV.	

ARCH. SITE PLAN
OVERLAY

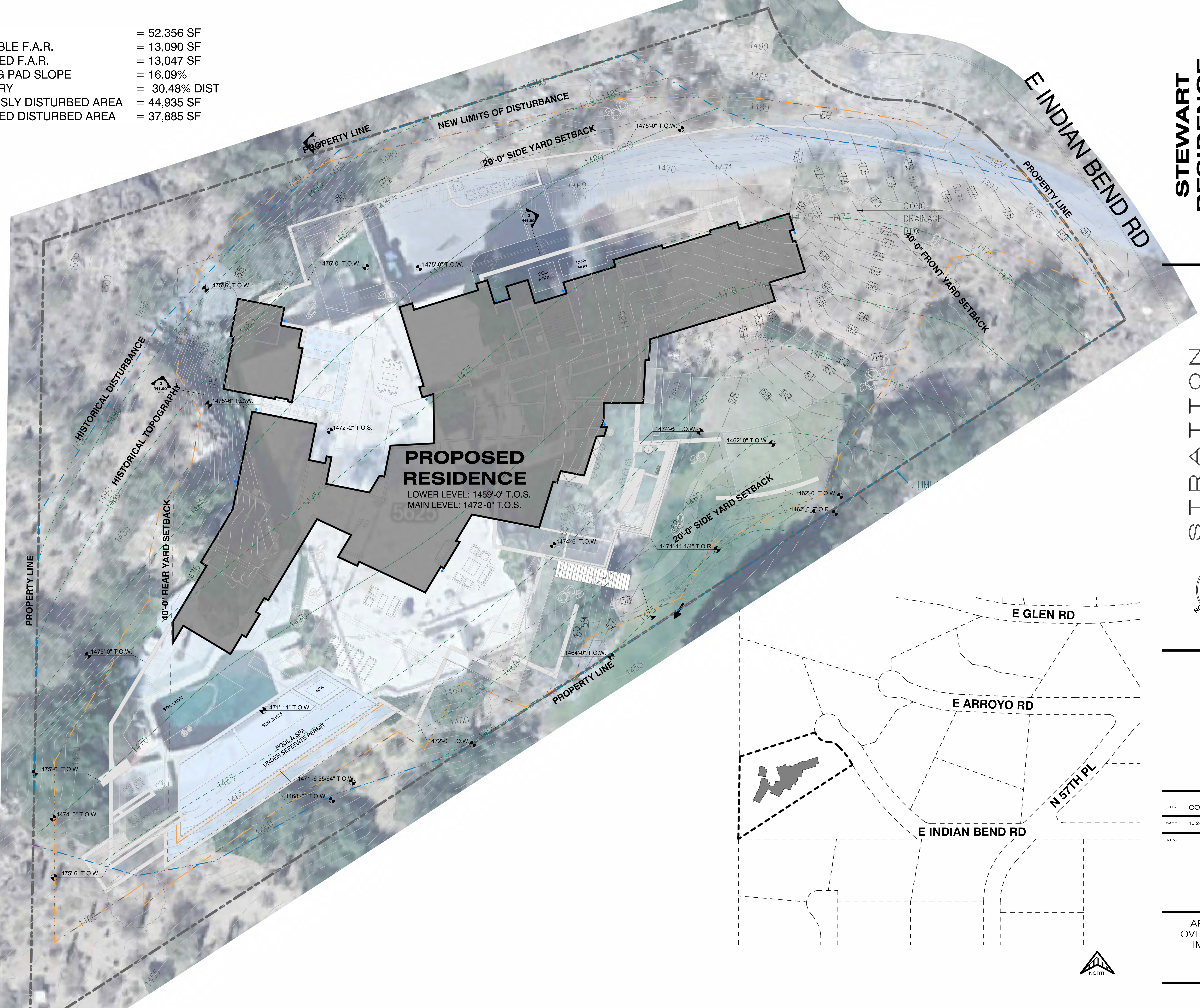
H1.02

OF SHEETS

25-05



LOT SIZE = 52,356 SF
ALLOWABLE F.A.R. = 13,090 SF
PROPOSED F.A.R. = 13,047 SF
BUILDING PAD SLOPE = 16.09%
CATEGORY = 30.48% DIST
PREVIOUSLY DISTURBED AREA = 44,935 SF
PROPOSED DISTURBED AREA = 37,885 SF



**STEWART
RESIDENCE**

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Project No.25-05

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FDR	CONCEPTUAL HILLSIDE
DATE	10.24.2025
REV.	

ARCH. SITE PLAN
OVERLAY - EXTERIOR
IMPROVEMENTS

H1.03

OF SHEETS

SITE PHOTOS



ARCHITECTURAL SITE PLAN SITE CONDITIONS

1" = 20'-0"

A



B



C



D



E



F



AERIALS

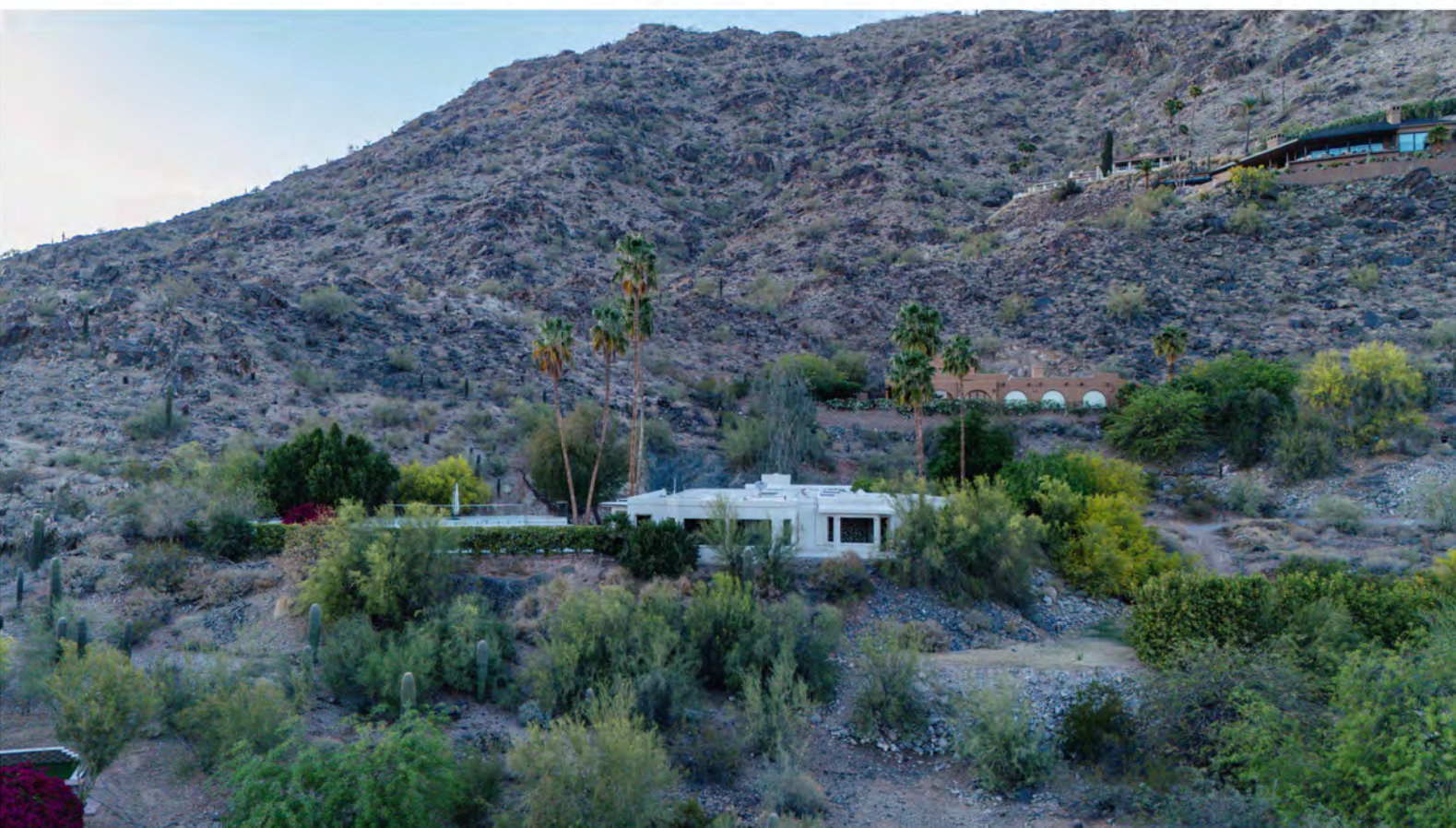
1



2



3



4



STEWART
RESIDENCE

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Project No.25-05

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FDR	CONCEPTUAL HILLSIDE
DATE	10.24.2025
REV.	

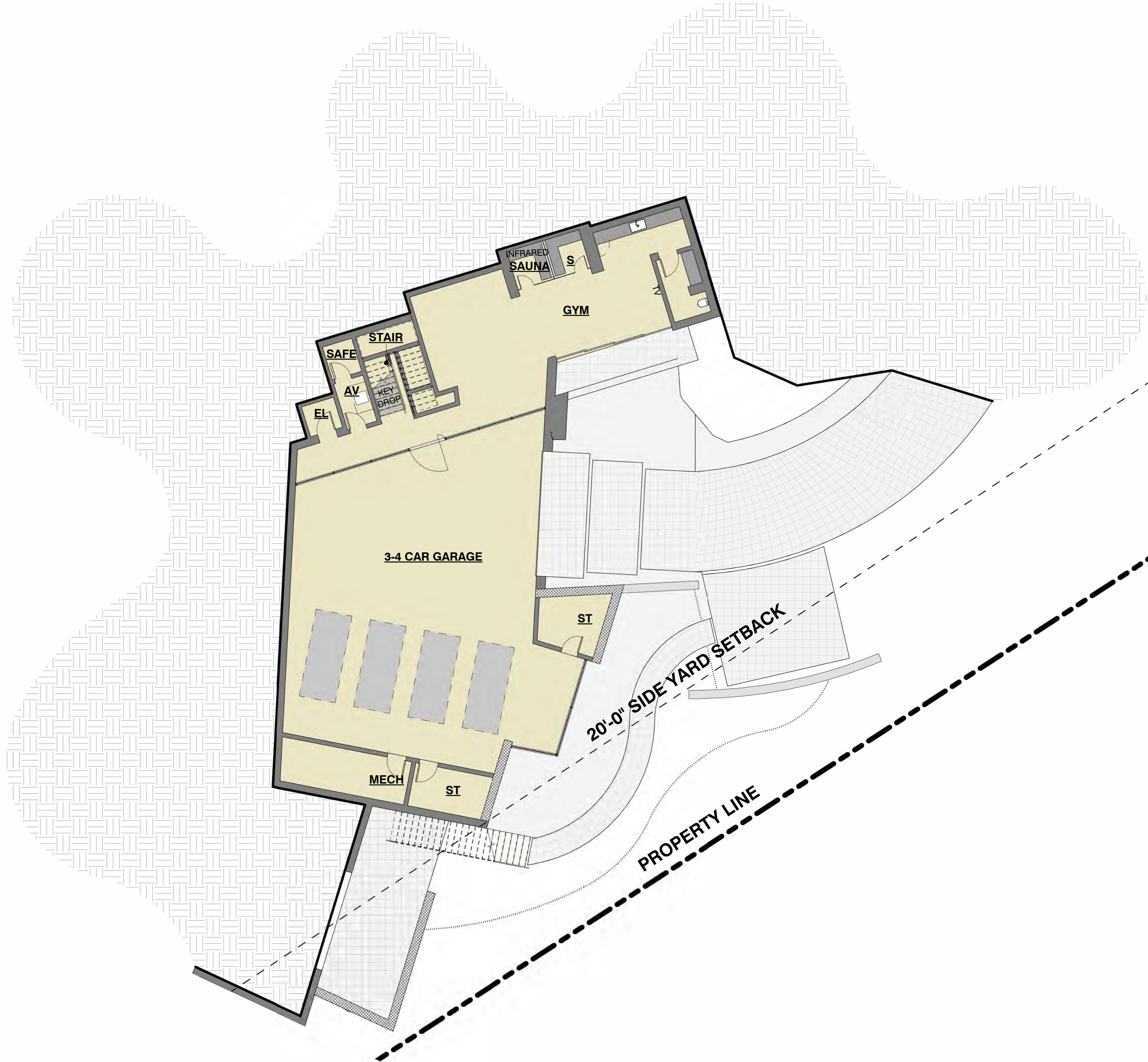
SITE PHOTOS

H1.04

OF SHEETS

LOWER LEVEL

3/32" = 1'-0"



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Project No.25-05

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(800) 331-0701



FOR CONCEPTUAL HILLSIDE

DATE 10.24.2025

REV.

FLOOR PLAN -
LOWER LEVEL

H1.05

OF SHEETS

MAIN LEVEL

3/32" = 1'-0"



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PARADISE VALLEY 85253
Project No.25-05

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FDR CONCEPTUAL HILLSIDE

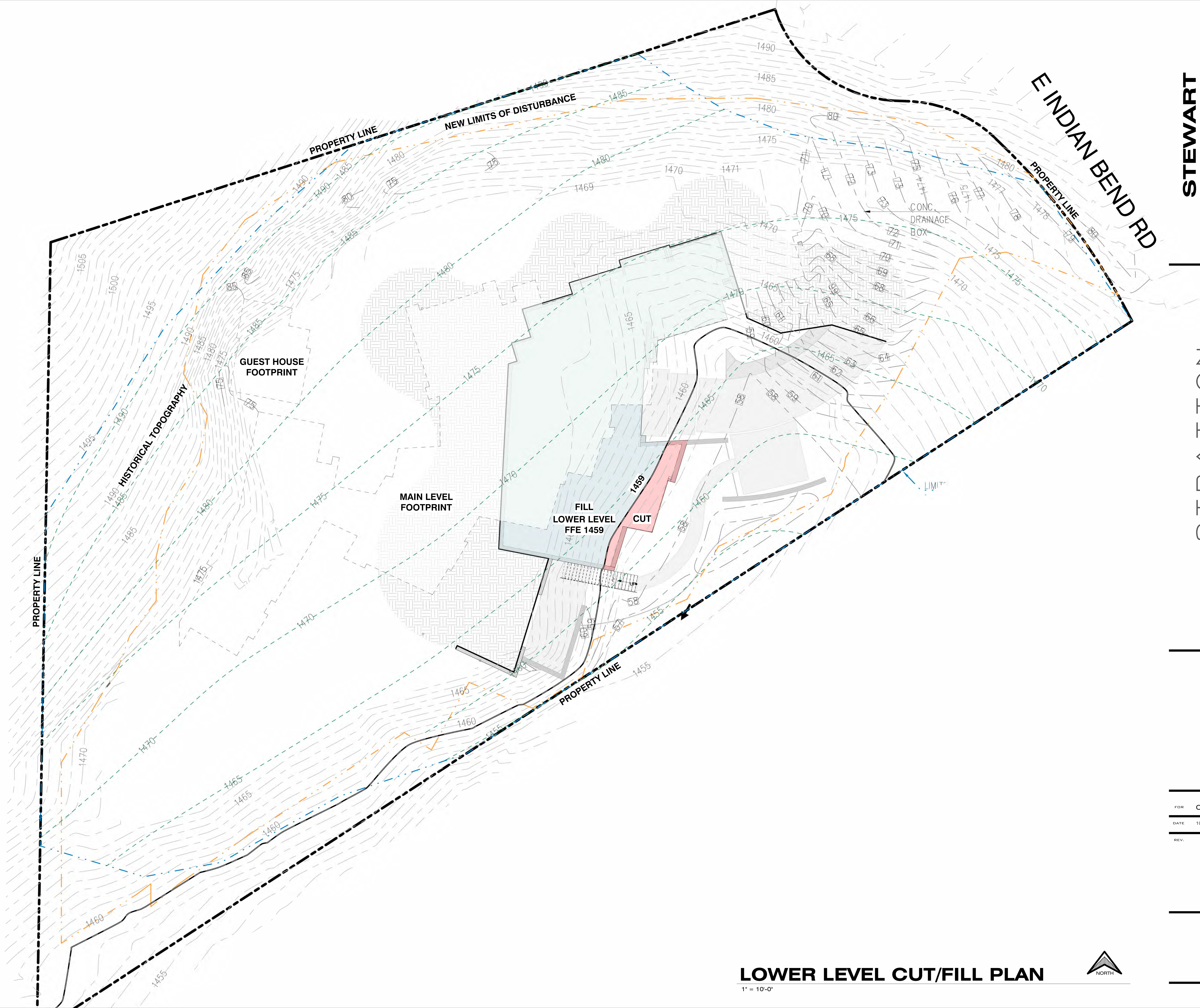
DATE 10.24.2025

REV.

FLOOR PLAN

H1.06

OF SHEETS



PROPERTY LINE

PROPERTY LINE

NEW LIMITS OF DISTURBANCE

E INDIAN BEND RD

PROPERTY LINE

HISTORICAL TOPOGRAPHY

GUEST HOUSE
FOOTPRINT

MAIN LEVEL
FOOTPRINT

FILL
LOWER LEVEL
FFE 1459

CUT

LIMIT

PROPERTY LINE

LOWER LEVEL CUT/FILL PLAN

1" = 10'-0"



STEWART RESIDENCE

5625 E INDIAN BEND RD
PARADISE VALLEY 85253
Project No.25-05

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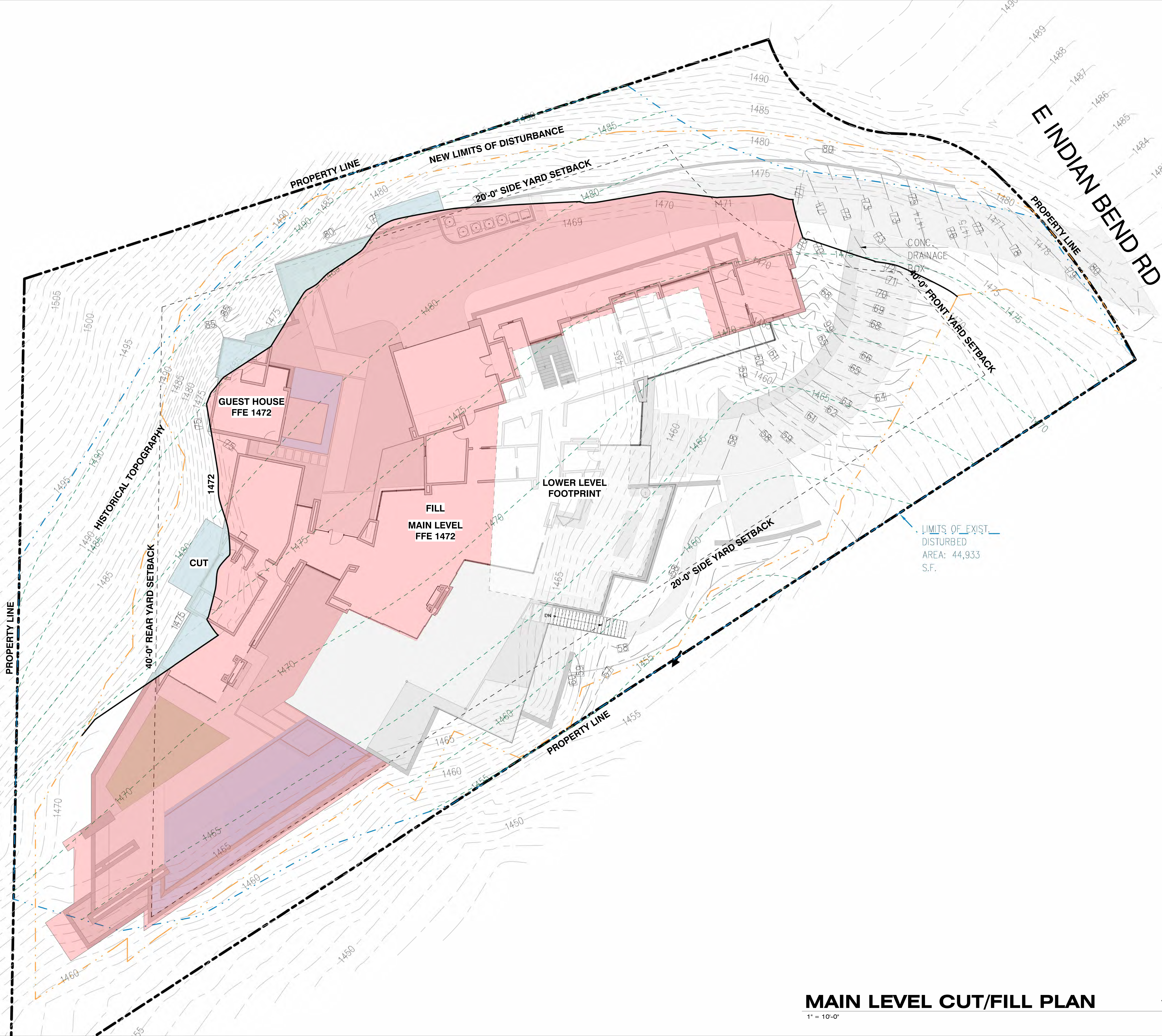
FDR CONCEPTUAL HILLSIDE

DATE 10.24.2025

REV.

FLOOR PLAN -
LOWER LEVEL
CUT/FILL
H1.07

OF SHEETS



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PARADISE VALLEY 85253
Project No.25-05

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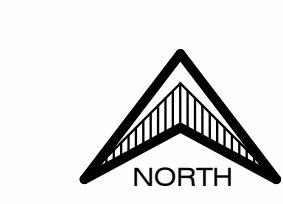


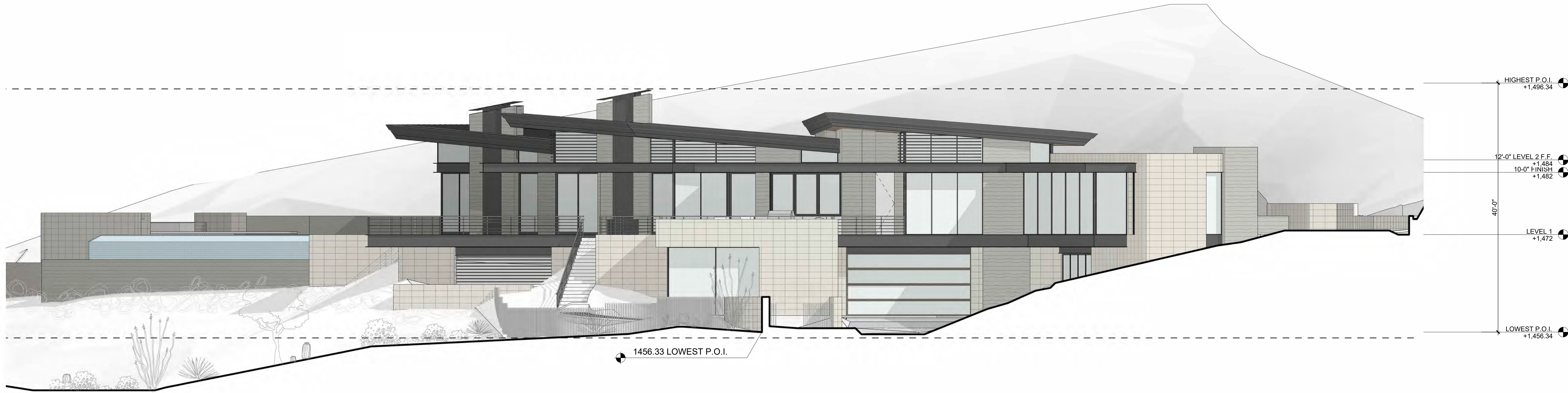
FDR	CONCEPTUAL HILLSIDE
DATE	10.24.2025
REV.	

FLOOR PLAN - MAIN
LEVEL CUT/FILL

H1.08
OF SHEETS

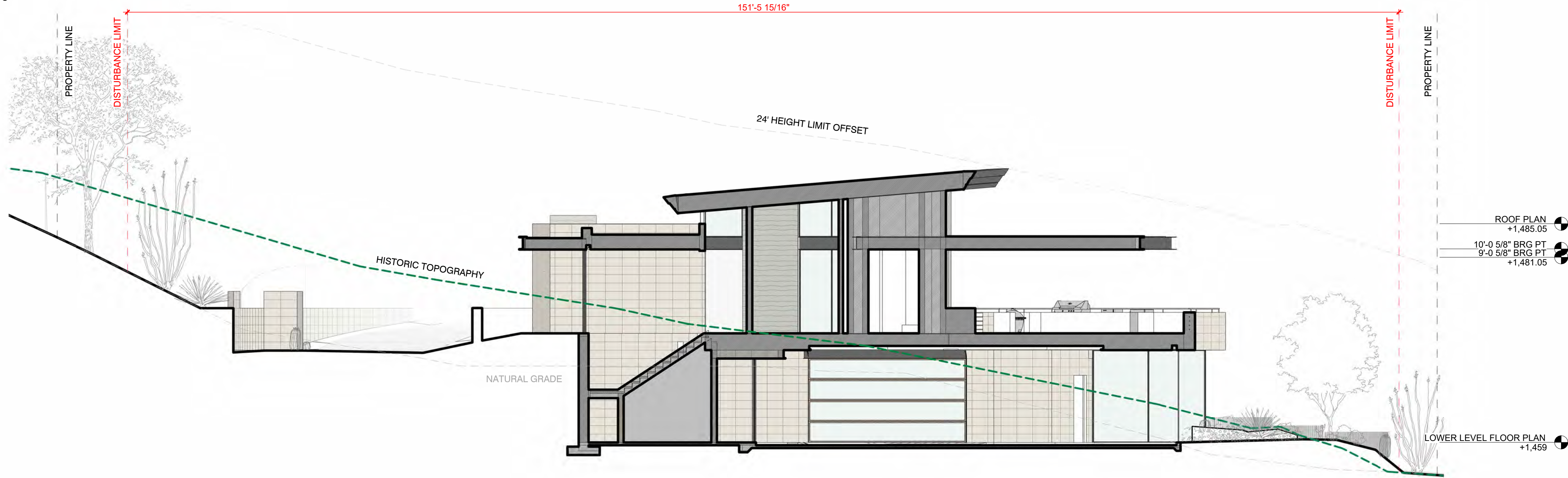
MAIN LEVEL CUT/FILL PLAN
1" = 10'-0"





FRONT ELEVATION - POINT OF IMPROVEMENT DIAGRAM

1/8" = 1'-0"

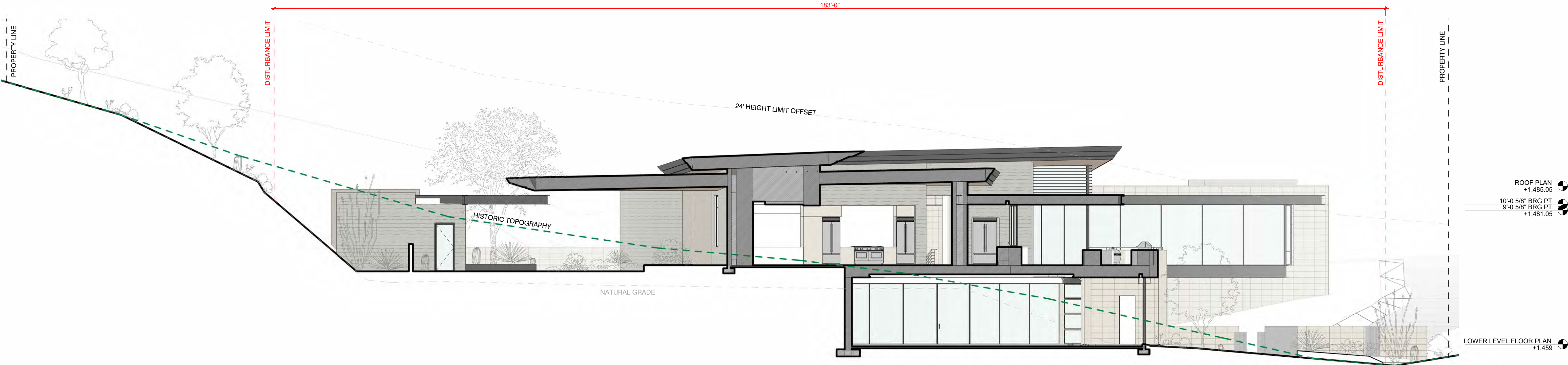


MATERIAL LEGEND

- EXPOSED STRUCTURAL STEEL & FASCIA
COLOR: POWDER COAT - MATTE BLACK
- STUCCO
COLOR: BENJAMIN MOORE - ROCKPORT GRAY
- EXTERIOR STONE VENEER
COLOR: SOLSTICE STONE - MESQUITE BRUSHED
- GLASS
CARDINAL GLASS - CLEAR - LOW E COATING
- 2 1/2"X2 1/2" ECHELON FINISH CONCRETE BLOCK -
COLOR - TRENDSTONE PEARLY WHITE
PATTERN: STACK BOND - RAKE HORIZONTAL
JOINT - FLUSH VERTICAL JOINT
- FRAME CONSTRUCTION
- CMU CONSTRUCTION

BUILDING SECTION 01

1/8" = 1'-0"



BUILDING SECTION 02

1/8" = 1'-0"

STEWART
RESIDENCE

5625 E INDIAN BEND RD
PARADISE VALLEY 85253
Project No.25-05

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FDR CONCEPTUAL HILLSIDE

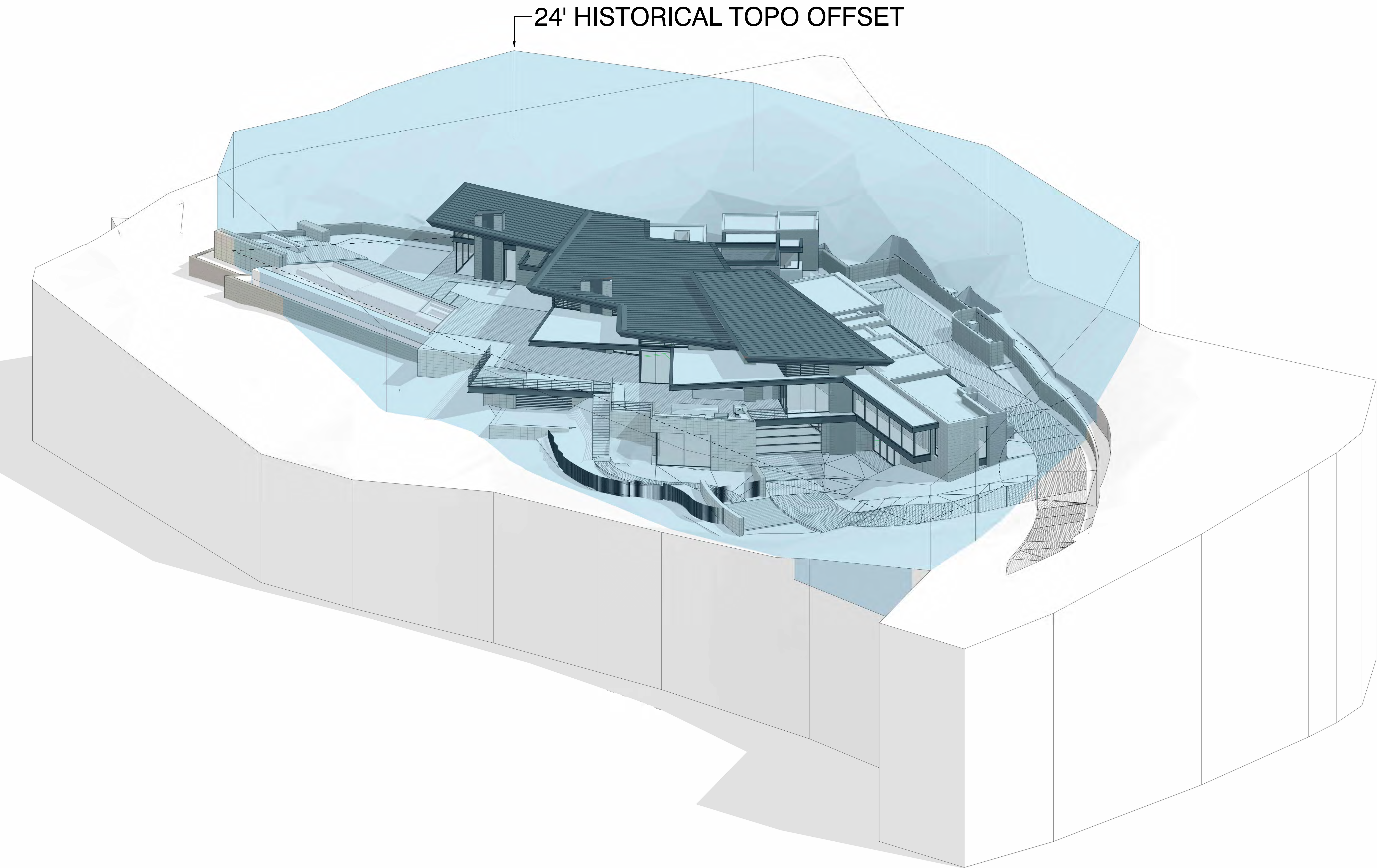
DATE 10.24.2025

REV.

LOWEST P.O.I.
DIAGRAM

H1.09

OF SHEETS



24' HISTORICAL TOPO OFFSET

**STEWART
RESIDENCE**

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PARADISE VALLEY 85253
Project No.25-05

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FOR CONCEPTUAL HILLSIDE
DATE 10.24.2025
REV.

3D TOPO OFFSET
DIAGRAM

H1.10
OF SHEETS

3D TOPO OFFSET DIAGRAM





AERIAL VIEW - EAST

STEWART
RESIDENCE

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PARADISE VALLEY 85253
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FDR	CONCEPTUAL HILLSIDE
DATE	10.24.2025
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EXTERIOR
RENDERING -AERIAL

H1.11

OF SHEETS



AERIAL VIEW - SOUTHEAST

STEWART
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FDR	CONCEPTUAL HILLSIDE
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REV.	

EXTERIOR
RENDERING - AERIAL

H1.12

OF SHEETS



AERIAL VIEW - SOUTH

STEWART
RESIDENCE

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DATE	10.24.2025
REV.	

EXTERIOR
RENDERING - AERIAL

H1.13

OF SHEETS



ELEVATION - NORTH

STEWART
RESIDENCE

5625 E INDIAN BEND RD
PARADISE VALLEY 85253
Project No.25-05

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EXTERIOR
RENDERING -
ELEVATION
H1.14
OF SHEETS



ELEVATION - EAST

STEWART
RESIDENCE

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PARADISE VALLEY 85253
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FDR	CONCEPTUAL HILLSIDE
DATE	10.24.2025
REV.	

EXTERIOR
RENDERING -
ELEVATION
H1.15
OF SHEETS



ELEVATION - SOUTHEAST

STEWART
RESIDENCE

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PARADISE VALLEY 85253
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FDR	CONCEPTUAL HILLSIDE
DATE	10.24.2025
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EXTERIOR
RENDERING -
ELEVATION
H1.16
OF SHEETS



ELEVATION - SOUTH

STEWART
RESIDENCE

5625 E INDIAN BEND RD
PARADISE VALLEY 85253
Project No.25-05

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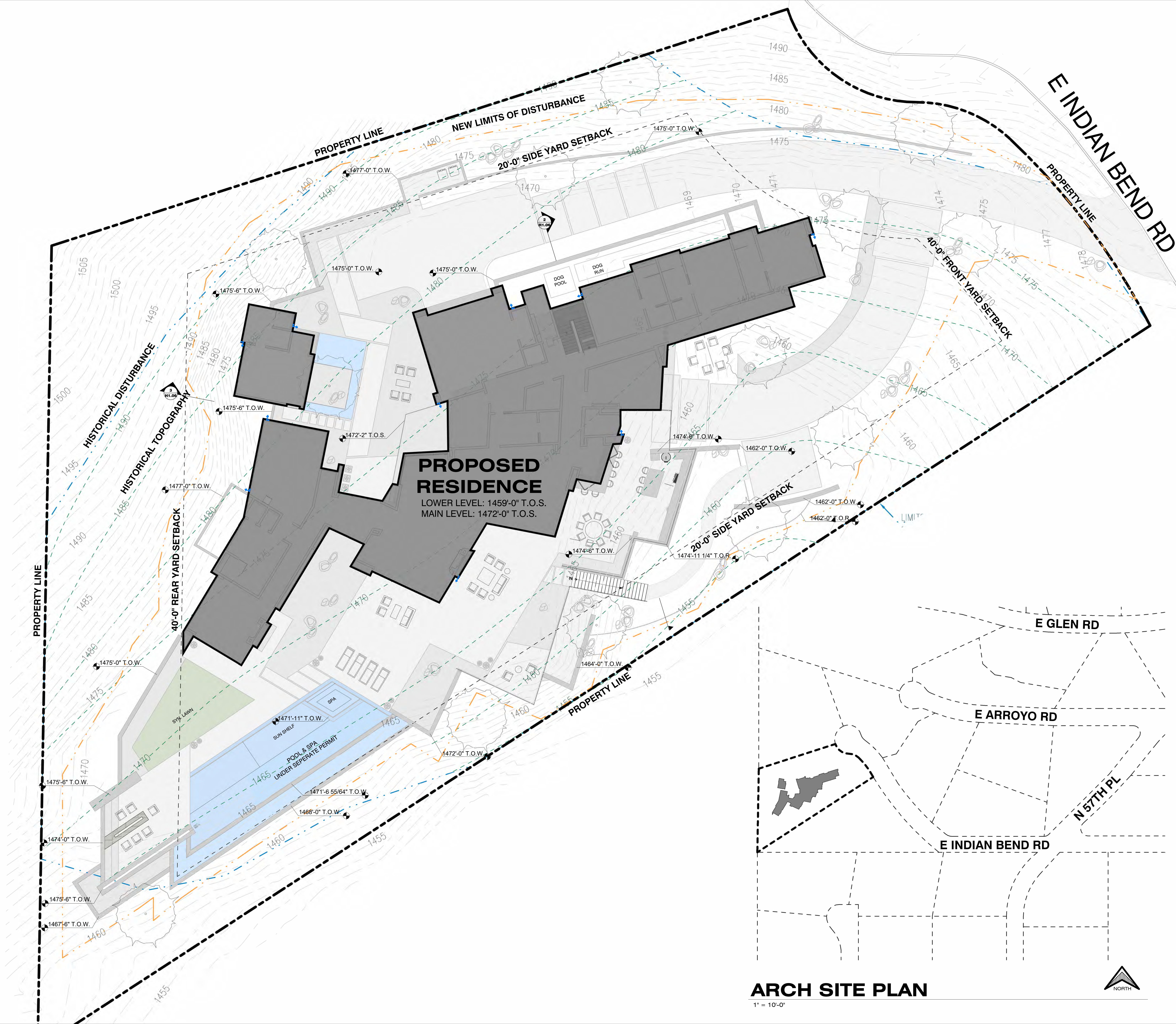
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FOR CONCEPTUAL HILLSIDE	
DATE	10.24.2025
REV.	

EXTERIOR
RENDERING -
ELEVATION
H1.17
OF SHEETS



STEWART RESIDENCE

5625 E INDIAN BEND RD
PARADISE VALLEY 85253
Project No.25-05

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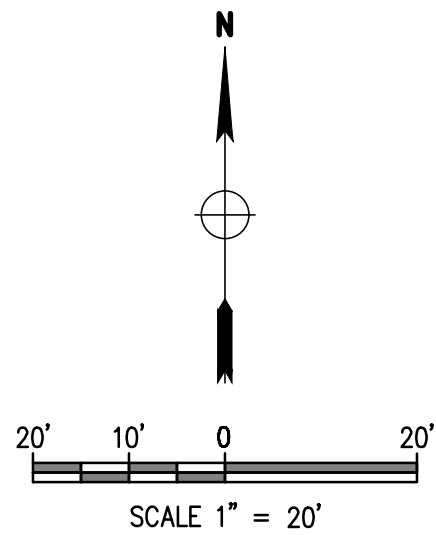


FDR	CONCEPTUAL HILLSIDE
DATE	10.24.2025
REV.	

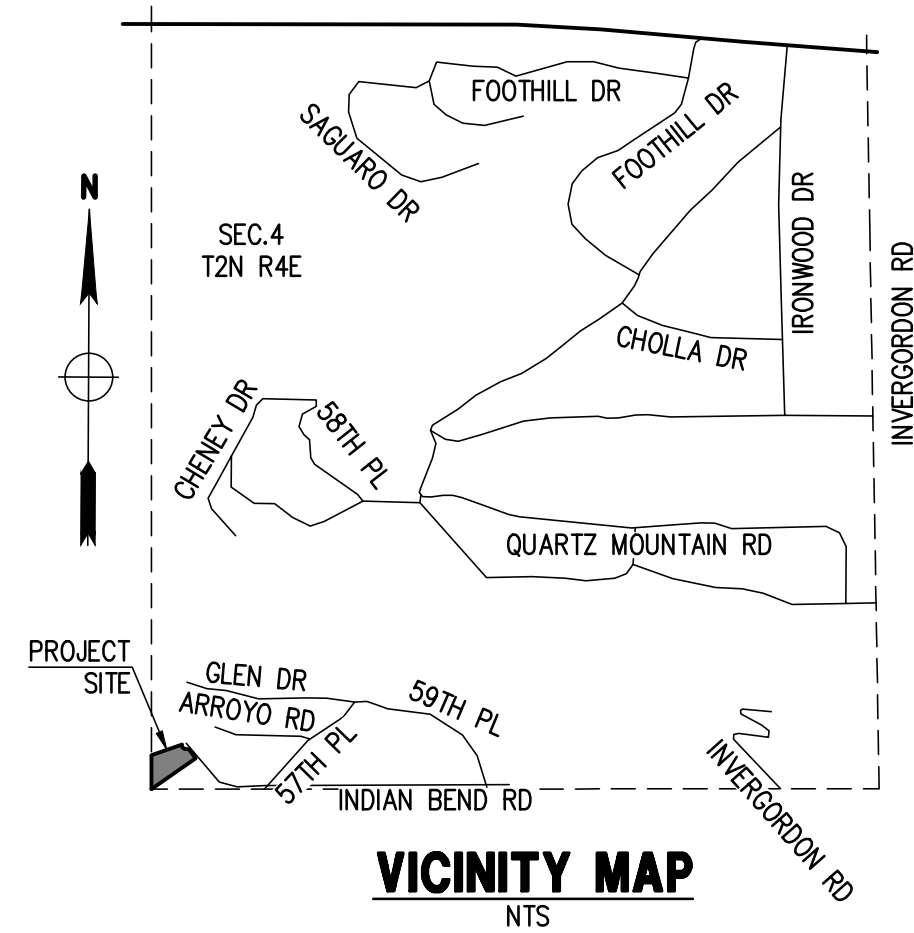
ARCH. SITE PLAN

H1.01
OF SHEETS

ARCH SITE PLAN
1" = 10'-0"



BOUNDARY & TOPOGRAPHIC SURVEY
5625 E INDIAN BEND RD., PARADISE VALLEY, AZ 85253
LOT 34 AND PART OF LOT 35 - CLUB ESTATES NO. 2
A SUBDIVISION PLAT RECORDED IN BOOK 91 OF MAPS, PAGE 7, MCR.,
LOCATED IN A PORTION OF THE SW 1/4 OF THE SW 1/4 OF THE SW 1/4 OF SECTION 4, T.2N, R.4E
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA



SITE DATA
APN: 169-55-002A
ADDRESS: 5625 E INDIAN BEND RD.,
PARADISE VALLEY, AZ 85253
ZONING: R-43 (HILLSIDE)
LOT AREA: 52,356 S.F. (1.202 AC.)
CONSTRUCTION YEAR: 1967
QS #: 23-41

OWNER
NORMAN TRUST
330 W LAWRENCE RD.,
PHOENIX, AZ 85013

BASIS OF BEARINGS
THE FOUND SOUTHERLY LINE OF SUBJECT PROPERTY, THE BEARING OF WHICH IS N56°58'38"E.

BENCHMARK
BRASS CAP FLUSH (ONLY STEM REMAINS) AT THE INTERSECTION OF 60TH STREET AND INDIAN BEND ROAD HAVING AN ELEVATION OF 1423.87 NAVD 88 DATUM, GDACS# 24524-01.

- GENERAL NOTES**
- THE PREMISES SURVEYED HAVE NO KNOWN DISCREPANCIES, BOUNDARY LINE CONFLICTS, ENCROACHMENTS, OVERLAPPING OF IMPROVEMENTS, EASEMENTS OR RIGHT-OF-WAYS EXCEPT AS SHOWN, AND HAS ACCESS TO OR FROM A DEDICATED ROADWAY.
 - THIS IS AN ABOVE GROUND SURVEY. THE UNDERGROUND UTILITIES AS SHOWN ARE BASED ON INFORMATION PROVIDED BY THE VARIOUS UTILITY COMPANIES AND THESE LOCATIONS SHOULD BE CONSIDERED APPROXIMATE. THERE MAY BE ADDITIONAL UNDERGROUND UTILITIES, NOT SHOWN ON THIS DRAWING. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN HEREON ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE AT THE TIME OF THE SURVEY.
 - BUILDING SETBACK LINES, ZONING, FLOOD AREA ZONES, AND ADDRESSES THAT MAY BE SHOWN ARE SUPPLIED BY THE GOVERNING AGENCY OR TAKEN FROM THE BEST AVAILABLE RECORDS. THE SURVEYOR WILL NOT ACCEPT RESPONSIBILITY FOR THE ACCURACY OF ANY INFORMATION SUPPLIED BY OTHERS.
 - EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS MAP, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: EASEMENTS, OTHER THAT POSSIBLE EASEMENTS, WHICH WERE VISIBLE AT THE TIME OF MAKING THIS SURVEY; BUILDING SETBACK LINES; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS; ZONING OR OTHER LAND USE REGULATIONS, AND ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
 - THE DESCRIPTION OF PROPERTY BOUNDARIES AND EASEMENTS SHOWN HEREON, REPRESENT THAT INFORMATION PROVIDED ON BOOK 91 OF MAPS, PAGE 7 AND WARRANTY DEED REC. IN DOC. 2025-0058574 RECORDS OF MARICOPA COUNTY, ARIZONA.
 - EVERY DOCUMENT OF RECORD REVIEWED AND CONSIDERED AS A PART OF THIS SURVEY IS NOTED HEREON. ONLY THE DOCUMENTS NOTED HEREON WERE SUPPLIED OR AVAILABLE TO THE SURVEYOR AT THE TIME OF THE SURVEY. THERE MAY EXIST OTHER DOCUMENTS OF RECORD, WHICH WOULD AFFECT THIS PARCEL.
 - ANY INFORMATION SHOWN WHICH MAY VARY FROM THE CONTENTS OF THE REPORT(S) NOTED ABOVE, REPRESENTS INFORMATION AND MEASUREMENTS FOUND DURING THE COURSE OF THE SURVEY.
 - ON-SITE PLANT INFORMATION SHOWN HEREON IS FOR REFERENCE ONLY. SURVEYOR ASSUMES NO LIABILITY FOR THE EVALUATION, SALVAGEABILITY, REMOVAL AND/RELOCATION OF ON-SITE PLANT MATERIALS.
 - ALL MEASURED BEARINGS AND DISTANCES EQUAL RECORD UNLESS NOTED OTHERWISE.
 - THE SURVEY MAP WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
 - ANY AERIAL MAPS SHOWN ON THIS PLAN ARE FOR REFERENCE ONLY AND DO NOT NECESSARILY DEPICT THE EXACT CURRENT CONDITIONS.
 - BUILDING SETBACKS FOR THIS PROPERTY ARE PER TOWN OF PARADISE VALLEY ZONING CODE. OWNER OR OWNERS ARCHITECT TO VERIFY SETBACKS WITH CITY OR ANY HOA JURISDICTION.

CERTIFICATE OF SURVEY
THIS IS TO CERTIFY THAT THIS MAP AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE CURRENT "MINIMUM STANDARDS FOR ARIZONA BOUNDARY AND TOPOGRAPHIC SURVEYS", AND THAT THE SURVEY SHOWN HEREON IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND WAS SURVEYED AND DRAWN UNDER MY DIRECTION IN THE MONTH OF APRIL, 2025.



04/01/25
DATE

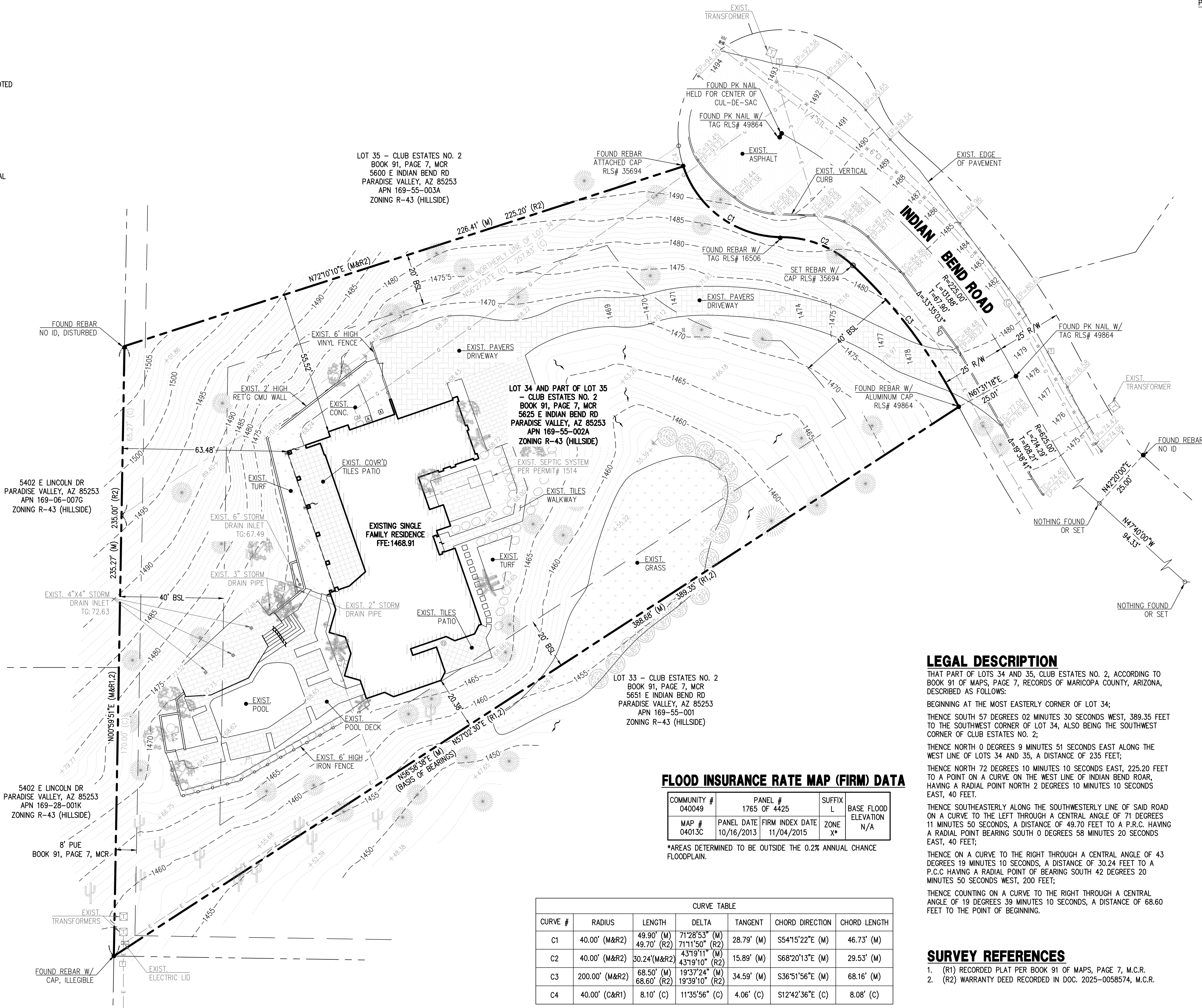
LEGAL DESCRIPTION
THAT PART OF LOTS 34 AND 35, CLUB ESTATES NO. 2, ACCORDING TO BOOK 91 OF MAPS, PAGE 7, RECORDS OF MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:
BEGINNING AT THE MOST EASTERLY CORNER OF LOT 34;
THENCE SOUTH 57 DEGREES 02 MINUTES 30 SECONDS WEST, 389.35 FEET TO THE SOUTHWEST CORNER OF LOT 34, ALSO BEING THE SOUTHWEST CORNER OF CLUB ESTATES NO. 2;
THENCE NORTH 0 DEGREES 9 MINUTES 51 SECONDS EAST ALONG THE WEST LINE OF LOTS 34 AND 35, A DISTANCE OF 235 FEET;
THENCE NORTH 72 DEGREES 10 MINUTES 10 SECONDS EAST, 225.20 FEET TO A POINT ON A CURVE ON THE WEST LINE OF INDIAN BEND ROAD, HAVING A RADIAL POINT NORTH 2 DEGREES 10 MINUTES 10 SECONDS EAST, 40 FEET;
THENCE SOUTHEASTERLY ALONG THE SOUTHWESTERLY LINE OF SAID ROAD ON A CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 71 DEGREES 11 MINUTES 50 SECONDS, A DISTANCE OF 49.70 FEET TO A P.R.C. HAVING A RADIAL POINT BEARING SOUTH 0 DEGREES 58 MINUTES 20 SECONDS EAST, 40 FEET;
THENCE ON A CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 43 DEGREES 19 MINUTES 10 SECONDS, A DISTANCE OF 30.24 FEET TO A P.C.C. HAVING A RADIAL POINT OF BEARING SOUTH 42 DEGREES 20 MINUTES 50 SECONDS WEST, 200 FEET;
THENCE COUNTING ON A CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 19 DEGREES 39 MINUTES 10 SECONDS, A DISTANCE OF 68.60 FEET TO THE POINT OF BEGINNING.

SURVEY REFERENCES
1. (R1) RECORDED PLAT PER BOOK 91 OF MAPS, PAGE 7, M.C.R.
2. (R2) WARRANTY DEED RECORDED IN DOC. 2025-0058574, M.C.R.

- LEGEND**
- FOUND REBAR OR AS NOTED
 - SET REBAR & CAP OR AS NOTED
 - NOTHING FOUND OR SET
 - PROPERTY LINE
 - EASEMENT LINE
 - MONUMENT LINE
 - MAILBOX
 - WATER METER
 - SEWER CLEANOUT
 - TELECOMMUNICATIONS PEDISTAL
 - STORM DRAIN INLET
 - GAS METER
 - GAS TEST VALVE
 - ELECTRIC METER
 - UTILITY CONTROL BOX
 - A/C UNIT
 - HOSE BIB
 - POOL EQUIPMENT
 - VINYL FENCE
 - IRON FENCE
 - STORM DRAIN PIPE
 - GAS LINE
 - WATER LINE
 - CATV, PHONE LINE
 - ELECTRIC LINE
 - EXISTING CONTOUR
 - EXIST. DRAINAGE FLOW
 - EXIST. SPOT ELEVATION
 - PALO VERDE
 - PALM TREE
 - TREE
 - CITRUS TREE
 - MESQUITE TREE
 - PIPE CACTUS
 - SAGUARO
 - STUMP

- ABBREVIATIONS**
- BSL BUILDING SETBACK LINE
 - (C) CALCULATED
 - EL. ELEV
 - EP EDGE OF PAVEMENT
 - ESMT EASEMENT
 - EX. EXIST.
 - G GUTTER, GAS
 - M MEASURED
 - MCR MARICOPA COUNTY RECORDER
 - P, PVMT PAVEMENT
 - PUE PUBLIC UTILITY EASEMENT
 - (R), REC. RECORDED
 - R RADIUS
 - R/W RIGHT OF WAY
 - T TANGENT, TELEPHONE
 - W WEST, WATERLINE
 - WM WATER METER

UTILITIES
WATER: EPCOR
SANITARY SEWER: SEPTIC
ELECTRIC: APS
TELEPHONE: CENTURY LINK, COX COMMUNICATIONS
NATURAL GAS: SOUTHWEST GAS
CABLE TV: CENTURY LINK, COX COMMUNICATIONS



FLOOD INSURANCE RATE MAP (FIRM) DATA

COMMUNITY #	PANEL #	SUFFIX	BASE FLOOD ELEVATION
040049	1765 OF 4425	L	N/A
MAP #	PANEL DATE	FIRM INDEX DATE	ZONE
04013C	10/16/2013	11/04/2015	X*

*AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

CURVE TABLE						
CURVE #	RADIUS	LENGTH	DELTA	TANGENT	CHORD DIRECTION	CHORD LENGTH
C1	40.00' (M&R2)	49.90' (M) 49.70' (R2)	71°28'53" (M) 71°11'50" (R2)	28.79' (M)	S54°15'22"E (M)	46.73' (M)
C2	40.00' (M&R2)	30.24' (M&R2)	43°19'11" (M) 43°19'10" (R2)	15.89' (M)	S68°20'13"E (M)	29.53' (M)
C3	200.00' (M&R2)	68.50' (M) 68.60' (R2)	19°37'24" (M) 19°39'10" (R2)	34.59' (M)	S36°51'56"E (M)	68.16' (M)
C4	40.00' (C&R1)	8.10' (C)	11°35'56" (C)	4.06' (C)	S12°42'36"E (C)	8.08' (C)

BOUNDARY & TOPOGRAPHIC SURVEY MAP
LOT 34 & PART OF LOT 35 - CLUB ESTATES NO. 2
5625 E INDIAN BEND RD., PARADISE VALLEY, AZ 85253

P 602 889 1984 | F 602 443 9482
8808 N CENTRAL AVE., SUITE 208
PHOENIX, AZ 85020
PHOENIX @ LDGEN.COM



TOWN OF PARADISE VALLEY NOTES

1. GRADING SHALL BE IN CONFORMANCE WITH 2018 IBC.
2. PRIOR TO FIRST FOOTING INSPECTION OF ANY TYPE, ALL PROPERTY PINS SHALL BE PLACED BY A REGISTERED LAND SURVEYOR OF THE STATE OF ARIZONA, AND PROPERTY LINES MUST BE PHYSICALLY IDENTIFIED PRIOR TO INSPECTION.
3. WHERE EXCAVATION IS TO OCCUR THE TOP 4" OF EXCAVATED NATIVE SOIL SHALL REMAIN ON THE SITE AND SHALL BE REUSED IN A MANNER THAT TAKES ADVANTAGE OF THE NATURAL SOIL SEED BANK IT CONTAINS.
4. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) SPECIFICATIONS AND STANDARD DETAILS.
5. ALL EXTERIOR SITE LIGHTING SHALL COMPLY WITH REQUIREMENTS OF SECTION 2208 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES FOR FUTURE TYPE, LOCATION, HEIGHT, MATTAGE BASED UPON FIXTURES INSTALLED.
6. A DUST CONTROL PLAN MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
7. A SEPARATE PERMIT IS NECESSARY FOR ANY OFFSITE CONSTRUCTION.
8. AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
9. EAVE PROJECTIONS INTO REQUIRED SETBACKS ARE LIMITED TO A MAXIMUM OF 24" PURSUANT TO SECTION 1008 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES.
10. ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
11. ALL NEW AND EXISTING ELECTRICAL SERVICE TO BE BURIED UNDERGROUND PER THE TOWN OF PARADISE VALLEY STANDARDS.
12. POOL, SPA, BARBECUE AND ANY PROPOSED STRUCTURES OVER 8 INCHES ABOVE GRADE REQUIRE SEPARATE PERMIT APPLICATIONS.
13. POOLS SHALL BE CONSTRUCTED BY SEPARATE PERMIT AND SECURED FROM UNWANTED ACCESS PER SECTION 5-2-2 OF THE TOWN OF PARADISE VALLEY ORDINANCES.
14. A SETBACK CERTIFICATION IS REQUIRED AND MUST BE GIVEN TO TOWN INSPECTOR AT STEM WALL INSPECTION.
15. MAIL BOX TO COMPLY WITH THE TOWN OF PARADISE VALLEY STANDARDS FOR MAIL BOXES IN THE R.O.W. FOR HEIGHT, WIDTH AND BREAK AWAY FEATURES.
16. ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE. ALL LAWN AREAS ADJOINING WALKS OR SLABS WILL BE GRADED TO 2" BELOW THE TOP OF SLAB. TYPICAL FINISHED GRADE AROUND PERIMETER OF BUILDING IS MINUS 6" BELOW FINISHED FLOOR UNLESS SPECIFIED OTHERWISE.
17. ALL MATERIAL TO BE UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95% PER ASTM D698.
18. SOILS COMPACTION TEST RESULTS MUST BE SUBMITTED TO THE TOWN ENGINEER'S OFFICE FOR BUILDING PADS THAT HAVE ONE (1) FOOT OR MORE OF FILL MATERIAL INDICATED. THIS INFORMATION MUST BE SUPPLIED PRIOR TO REQUEST FOR FINAL INSPECTION.
19. TRENCH BED SHALL BE FREE OF ROCKS AND DEBRIS.
20. LOWEST FLOOR ELEVATION CERTIFICATE (LFE) IS REQUIRED AND SHALL BE UPLOADED TO YOUR PERMIT DOCUMENTS PRIOR TO SCHEDULING OF STRAP SHEAR INSPECTION.
21. REGULATION II RULE 20-3 OF THE MARICOPA COUNTY HEALTH DEPARTMENT, BUREAU OF AIR POLLUTION CONTROL, SHALL BE OBSERVED AND ENFORCED.
22. ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL CITY OR TOWN UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
23. THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL STATE, AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO THE CONSTRUCTION COVERED BY THIS PLAN.
24. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
25. ALL CONSTRUCTION IN THE PUBLIC RIGHTS-OF-WAY OR IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) UNIFORM STANDARD SPECIFICATIONS AND UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION.
26. THE TOWN ONLY APPROVES THE SCOPE, NOT THE DETAIL, OF ENGINEERING DESIGNS; THEREFORE, IF CONSTRUCTION QUANTITIES ARE SHOWN ON THESE PLANS, THEY ARE NOT VERIFIED BY THE TOWN.
27. THE APPROVAL OF PLANS IS VALID FOR SIX (6) MONTHS. IF AN ENCROACHMENT PERMIT FOR THE CONSTRUCTION HAS NOT BEEN ISSUED WITHIN SIX MONTHS, THE PLANS MUST BE RESUBMITTED TO THE TOWN FOR RE-APPROVAL.
28. A PUBLIC WORKS INSPECTOR WILL INSPECT ALL WORKS WITHIN THE TOWN OF PARADISE VALLEY RIGHTS-OF-WAY AND IN EASEMENTS. NOTIFY INSPECTION SERVICES 24 HOURS PRIOR TO BEGINNING CONSTRUCTION BY CALLING 480- 312-5750.
29. WHENEVER EXCAVATION IS NECESSARY, CALL THE BLUE STAKE CENTER, 602-263-1100, TWO WORKING DAYS BEFORE EXCAVATION BEGINS. THE CENTER WILL SEE THAT THE LOCATION OF THE UNDERGROUND UTILITY LINES IS IDENTIFIED FOR THE PROJECT. CALL "COLLECT" IF NECESSARY.
30. ENCROACHMENT PERMITS ARE REQUIRED FOR ALL WORK IN PUBLIC RIGHTS-OF-WAY AND EASEMENTS GRANTED FOR PUBLIC PURPOSES. AN ENCROACHMENT PERMIT WILL BE ISSUED BY THE TOWN ONLY AFTER THE REGISTRANT HAS PAID A BASE FEE PLUS A FEE FOR INSPECTION SERVICES. COPIES OF ALL PERMITS MUST BE RETAINED ON-SITE AND BE AVAILABLE FOR INSPECTION AT ALL TIMES. FAILURE TO PRODUCE THE REQUIRED PERMITS WILL RESULT IN IMMEDIATE SUSPENSION OF ALL WORK UNTIL THE PROPER PERMIT DOCUMENTATION IS OBTAINED.
31. ALL EXCAVATION AND GRADING THAT IS NOT IN THE PUBLIC RIGHTS-OF-WAY OR NOT IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO CHAPTER 70, EXCAVATION AND GRADING, OF THE LATEST EDITION OF THE IBC BY THE ICC. A PERMIT FOR THIS GRADING MUST BE SECURED FROM THE TOWN FOR A FEE ESTABLISHED BY THE UNIFORM BUILDING CODE.
32. EXCAVATIONS SHALL COMPLY WITH REQUIREMENTS OF OSHA EXCAVATION STANDARDS (29 CFR, PART 1926, SUBPART P). UNDER NO CIRCUMSTANCES WILL THE CONTRACTORS BE ALLOWED TO WORK IN A TRENCH LOCATED WITHIN THE TOWN'S RIGHT-OF-WAY WITHOUT PROPER SHORING OR EXCAVATION METHODS.
33. ON DEMOLITION, GRADING, REMODELING AND NEW CONSTRUCTION PROJECTS, PERMITTEE MUST NOTIFY ADJACENT PROPERTY OWNERS REGARDING THE NATURE OF THE PROJECT, THE TIME PERIOD FOR CONSTRUCTION, AND ANY UNUSUAL ACTIVITIES THAT MAY CAUSE DISRUPTION OF THE NORMAL COURSE OF TRAFFIC DURING CONSTRUCTION.
34. ALL PERMITTEES MUST POST A 6 SQUARE FOOT (2'x3') IDENTIFICATION SIGN, MADE OF DURABLE MATERIAL, IN THE FRONT YARD OF SUBJECT PROPERTY AND NOT IN THE TOWN RIGHT-OF-WAY. THE SIGN MAY NOT EXCEED A MAXIMUM OF 6 FEET IN HEIGHT FROM GRADE TO TOP OF THE SIGN. THE SIGN MUST INCLUDE THE PERMITTEE OR COMPANY NAME, PHONE NUMBER, TYPE OF WORK, AND ADDRESS OF PROJECT.
35. WHEN DEEMED NECESSARY, A 6-FOOT HIGH CHAIN LINK FENCE MUST BE INSTALLED AROUND THE CONSTRUCTION AREA TO PREVENT ANY POTENTIAL SAFETY HAZARD FOR THE PUBLIC. THE FENCE SHALL BE SETBACK AT LEAST 10 FEET FROM ALL RIGHTS-OF-WAY AND HAVE A 50-FOOT STREET CORNER SITE TRIANGLE WHERE APPLICABLE.
36. CLEAR ACCESS FOR NEIGHBORING PROPERTIES AND EMERGENCY VEHICLES MUST BE MAINTAINED AT ALL TIMES. CONSTRUCTION RELATED VEHICLES MUST BE LEGALLY PARKED ONLY ON ONE SIDE OF THE STREET OR JOB SITE PROPERTY. IF A STAGING AREA IS NEEDED ON A PROPERTY OTHER THAN THE CONSTRUCTION SITE FOR CONSTRUCTION SUPPLIES AND EQUIPMENT, THE PERMITTEE MUST OBTAIN PROPERTY OWNER AND TOWN APPROVAL FIRST AND MUST INFORM THE ADJACENT PROPERTY OWNERS OF THE LOCATION OF STAGING AREA, AND TIME AND HOURS DURING THE DAY THE AREA WILL BE USED.
37. EXCEPT AS OUTLINED IN ITEM 4, ALL CONSTRUCTION DEBRIS AND EQUIPMENT MUST BE CONTAINED ON SITE AT ALL TIMES. CONTRACTOR AND PROPERTY OWNER MUST MAINTAIN THE JOB SITE FREE OF LITTER AND UNSIGHTLY MATERIALS AT ALL TIMES. CONSTRUCTION MATERIALS ARE PROHIBITED IN THE TOWN RIGHT-OF-WAY OR NEAR ADJACENT PROPERTIES.
38. BUILDING CONSTRUCTION MUST NOT START SOONER THAN SUNRISE AND MUST STOP NO LATER THAN SUNSET. ALSO, ORDINANCE #661 IMPOSES RESTRICTIONS ON CONSTRUCTION WORK ON SATURDAYS, SUNDAYS AND MAJOR BUSINESS HOLIDAYS. HILLSIDE PROJECTS MAY HAVE ADDITIONAL RESTRICTIONS. EQUIPMENT WITH AUDIBLE REVERSE DIRECTION WARNINGS MUST NOT BE OPERATED PRIOR TO 7:00 A.M.
39. THE USE AND OPERATION OF FUEL-FIRED GENERATORS ON ANY CONSTRUCTION SITE, NEW, EXISTING OR REMODELING, IS PROHIBITED UNLESS DUE TO A HARDSHIP TOWN APPROVAL IS OBTAINED.
40. THE CONTRACTOR AND PROPERTY OWNER WILL BE LIABLE FOR ANY DAMAGE DONE TO ANY PUBLIC PROPERTY AS A RESULT OF ANY CONSTRUCTION OR CONSTRUCTION RELATED ACTIVITIES. NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL AFFECTED RIGHTS-OF-WAY ARE CLEANED AND/OR PREPARED TO THEIR ORIGINAL CONDITION AND UNTIL ANY AND ALL DAMAGES TO AFFECTED PROPERTIES ARE RESTORED TO ORIGINAL CONDITION, OR UNTIL SUCH TIME THAT A WRITTEN, SIGNED AND LEGALLY BINDING AGREEMENT HAS BEEN REACHED BY THE PARTIES INVOLVED TO REMEDY ANY VIOLATION WITHIN A REASONABLE TIME PERIOD, AND UNTIL ALL REQUIRED FEES ARE PAID IN FULL.
41. THE NATURAL FLOW OF RAINWATER AND OTHER SURFACE DRAINAGE FROM THE PROPERTY MAY NOT BE ALTERED IN ANY WAY.
42. A KEY SWITCH SHALL BE REQUIRED ON ALL NEW AND EXISTING ELECTRIC ENTRY CONTROL GATES. THE KEY SWITCH SHALL BE INSTALLED IN A LOCATION ON THE GATE CONTROL PANEL THAT IS READILY VISIBLE AND ACCESSIBLE. KNOX BOX ORDER FORMS ARE AVAILABLE AT THE PARADISE VALLEY BUILDING DEPARTMENT.
43. ALL EQUIPMENT OF ALL TRADES ON OR AFFECTING THE JOB MUST BE CLEANED ONLY IN A PRE-DETERMINED AND DESIGNATED AREA. DEBRIS AND RUNOFF FROM SAID AREA MAY NOT EXTEND BEYOND THE BUILDING AREA.
44. PROPERTY OWNER, BUILDER, OR GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR CONTROLLING DUST FROM THE SITE AT ALL TIMES. ALL MEANS NECESSARY SHALL BE USED BY THE BUILDER OR GENERAL CONTRACTOR TO CONTROL THE EXISTENCE OF DUST CAUSED BY ANY EARTHWORK, SPRAY APPLICATION OF MATERIALS, OR OTHER DUST-CAUSING PRACTICES REQUIRED BY THE CONSTRUCTION PROCESS.
45. AN INSPECTION FEE WILL BE CHARGED IF THE INSPECTION IS REQUIRED AS A RESULT OF A CODE VIOLATION.
46. FOR DEMOLITION INSPECTION OWNER OR PERMITTEE SHALL NOTIFY OSHA FOR ASBESTOS INSPECTION. ALL DEMOLITIONS AND ALL RENOVATION ACTIVITIES THAT WILL DISTURB FRABLE ASBESTOS CONTAINING MATERIALS MUST BE REPORTED TO THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT.

ENGINEERS NOTES

1. MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION INCLUDING LATEST REVISION AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL TOWN OR CITY) ARE INCORPORATED INTO THIS PLAN IN THEIR ENTIRETY.
2. ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL CITY OR TOWN UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
3. GRADING SHALL BE IN CONFORMANCE WITH 2018 IBC- SEC. 1803 AND APPENDIX J.
4. 5% MINIMUM SLOPE AWAY FROM BUILDING FOR A MINIMUM 10', U.N.O.
5. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) SPECIFICATIONS AND STANDARD DETAILS.
6. A DUST CONTROL PLAN MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
7. A SEPARATE PERMIT IS NECESSARY FOR ANY OFFSITE CONSTRUCTION.
8. AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
9. ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTOR DITCHES, PIPES, PROTECTIVE BERMS, BARRIER WALLS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT ADJACENT BUILDINGS OR PROPERTY FROM STORM WATER MUST BE COMPLETED PRIOR TO BUILDING CONSTRUCTION.
10. ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
11. ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE. ALL LAWN AREAS ADJOINING WALKS OR SLABS WILL BE GRADED TO 2" BELOW THE TOP OF SLAB. TYPICAL FINISHED GRADE AROUND PERIMETER OF BUILDING IS MINUS 6" BELOW FINISHED FLOOR UNLESS SPECIFIED OTHERWISE.
12. ALL MATERIAL TO BE UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95% PER ASTM D698.
13. THE QUANTITIES AND SITE CONDITIONS DEPICTED IN THESE PLANS ARE FOR INFORMATIONAL PURPOSES ONLY AND ARE SUBJECT TO ERROR AND OMISSION. CONTRACTORS SHALL SATISFY THEMSELVES AS TO ACTUAL QUANTITIES AND SITE CONDITIONS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
14. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
15. THE CONTRACTOR IS RESPONSIBLE FOR ALL METHODS, SEQUENCING, AND SAFETY CONCERNS ASSOCIATED WITH THIS PROJECT DURING CONSTRUCTION, UNLESS SPECIFICALLY ADDRESSED OTHERWISE IN THIS PLAN OR ELSEWHERE.
16. A REASONABLE EFFORT HAS BEEN MADE TO SHOW THE LOCATIONS OF EXISTING UNDERGROUND FACILITIES AND UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND/OR FACILITIES CAUSED DURING THEIR CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL CALL 48 HOURS IN ADVANCE FOR BLUE STAKE (1-800-STAKE-IT) PRIOR TO ANY EXCAVATION.
17. THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION OF CONSTRUCTION AFFECTING UTILITIES AND THE COORDINATION OF ANY NECESSARY UTILITY RELOCATION WORK.
18. ALL PAVING, GRADING, EXCAVATION, TRENCHING, PIPE BEDDING, CUT, FILL AND BACKFILL SHALL COMPLY WITH THE RECOMMENDATIONS SET FORTH IN THE SOILS (GEOTECHNICAL) REPORT FOR THIS PROJECT IN ADDITION TO THE REFERENCED REQUIRED STANDARD DETAILS.
19. THE CONTRACTOR IS TO VERIFY THE LOCATION AND THE ELEVATIONS OF ALL EXISTING UTILITIES AT POINTS OF TIE-IN PRIOR TO COMMENCING ANY NEW CONSTRUCTION. SHOULD ANY LOCATION OR ELEVATION DIFFER FROM THAT SHOWN ON THESE PLANS, THE CONTRACTOR SHALL CONTACT THE OWNER'S AGENT.
20. CONTRACTOR TO VERIFY AND COORDINATE ALL DIMENSIONS AND SITE LAYOUT WITH ARCHITECTURE'S FINAL SITE PLAN AND FINAL BUILDING DIMENSIONS BEFORE STARTING WORK. REPORT DISCREPANCIES TO OWNER'S AGENT.
21. COORDINATION BETWEEN ALL PARTIES IS ESSENTIAL PART OF CONTRACT.
22. CONTRACTOR IS RESPONSIBLE FOR PROJECT AND SITE CONDITIONS, AND TO WORK WITH WEATHER CONDITIONS AS THE PROJECT SITE MAY BE LOCATED IN A FLOOD PRONE AREA AND SUBJECT TO FLOODING AND ITS HAZARDS.
23. THE CONTRACTOR IS TO VERIFY THE LOCATION, ELEVATION, CONDITION, AND PAVEMENT CROSS-SLOPE OF ALL EXISTING SURFACES AT POINTS OF TIE-IN AND MATCHING, PRIOR TO COMMENCEMENT OF GRADING, PAVING, CURB AND GUTTER, OR OTHER SURFACE CONSTRUCTION. SHOULD EXISTING LOCATIONS, ELEVATIONS, CONDITION, OR PAVEMENT CROSS-SLOPE DIFFER FROM THAT SHOWN ON THESE PLANS, RESULTING IN THE DESIGN INTENT REFLECTED ON THESE PLANS NOT ABLE TO BE CONSTRUCTED, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AGENT IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ALL COSTS ASSOCIATED WITH CORRECTIVE ACTION IF THESE PROCEDURES ARE NOT FOLLOWED.
24. CONTRACTOR IS RESPONSIBLE TO COORDINATE UTILITY CROSSINGS AT CULVERT CROSSINGS BEFORE STARTING WORK ON CULVERT. COORDINATE WITH OWNER REPRESENTATIVE. VERIFY UTILITY LINES AND/OR CONDUITS ARE IN PLACE BEFORE STARTING CULVERT WORK.
25. ALL ON-SITE UTILITIES PER OTHERS.
26. THIS PROJECT REQUIRES A REGULAR ONGOING MAINTENANCE PROGRAM FOR THE DESIGNED DRAINAGE SYSTEM(S) TO PRESERVE THE DESIGN INTEGRITY AND THE ABILITY TO PERFORM ITS OPERATIONAL INTENT. FAILURE TO PROVIDE MAINTENANCE WILL JEOPARDIZE THE DRAINAGE SYSTEM(S) PERFORMANCE AND MAY LEAD TO ITS INABILITY TO PERFORM PROPERLY AND/OR CAUSE DAMAGE ELSEWHERE IN THE PROJECT.
27. IF A DISCREPANCY IS FOUND BETWEEN ENGINEER'S PLAN OR SURVEYOR'S STAKING AND THE ARCHITECTURAL PLAN, ENGINEER SHALL BE NOTIFIED IMMEDIATELY. FAILURE TO NOTIFY ENGINEER SHALL NEGATE ENGINEER'S LIABILITY.
28. ALL DISTURBED AREAS ARE TO BE RESTORED TO ORIGINAL CONDITION AND MUST MATCH PLAN.
29. VEGETATION OUTSIDE OF CONSTRUCTION AREA TO REMAIN.
30. AREAS OUTSIDE THE WALL AND CUT AND FILL SLOPES SHALL BE REVEGETATED WITH SIMILAR PLANT TYPES AND DENSITIES FOUND ON THE SITE. REVEGETATION SHALL BE COMPLETED PRIOR TO OCCUPANCY AND THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
31. MECHANICAL EQUIPMENT SHALL BE SCREENED TO A MINIMUM OF ONE FOOT ABOVE TOP OF EQUIPMENT.
32. ANY FUTURE IMPROVEMENTS SHOWN HEREON SHALL REQUIRE A SEPARATE PERMIT.
33. ANY POINTS OF DRAINAGE CONCENTRATION SHOULD BE PROTECTED AGAINST EROSION WITH NATIVE STONE.
34. THIS PLAN IS DESIGNED TO SHOW SITE GRADING AND DRAINAGE. CONTRACTOR SHALL USE THE ARCHITECTURAL SITE PLAN TO DETERMINE FINAL HOUSE, WALL, STEP, ETC. LOCATIONS AND ELEVATIONS.
35. ALL DRAINAGE FACILITIES TO BE MAINTAINED BY HOMEOWNER.
36. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR SITE AND RETAINING WALLS LAYOUT, DIMENSIONS, AND DETAILS. TOP OF FOOTING ELEVATIONS SHOWN IN PLAN ARE APPROXIMATE. ONLY. ACTUAL TOP OF FOOTINGS TO BE DETERMINED AT TIME OF CONSTRUCTION AND TO BE A MINIMUM OF SIX INCHES BELOW EXISTING NATURAL GRADE OR FINISHED GRADE WHICHEVER IS LOWER (TYPICAL).
37. REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT, DIMENSIONS AND ELEVATIONS.
38. REFER TO STRUCTURAL DRAWINGS, DETAILS AND CALCULATIONS FOR ALL PROPOSED RETAINING WALLS.
39. FOR CHANGE IN ELEVATION THAT ARE GREATER THAN 30", PROVIDE 36" HIGH GUARDRAILS FOR TOTAL OF 42" FALL PROTECTION BARRIER U.N.O.
40. CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE - 5% MIN SLOPE FOR FIRST 10 FEET, U.N.O.
41. ALL WATER AND SEWER LINES AND CONNECTIONS MUST BE INSTALLED PER IPC 2018, MAG AND TOWN OF PARADISE VALLEY SUPPLEMENT TO MAG.
42. WATERPROOF ALL EXTERIOR WALLS 18" ABOVE FINISH GRADE-(BITUTHENE@ 3000 HC MEMBRANE W/ GRACE PROTECTION 03 OR APPROVED EQUL).
43. ALL PIPES AND FITTINGS SHALL BE INSTALLED PER MANUFACTURE'S SPECIFICATIONS AND DETAILS.
44. ABANDONMENT OF EXISTING AND INSTALLATION OF NEW SEPTIC SYSTEMS SHALL BE PERFORMED IN ACCORDANCE WITH THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT RULES AND STANDARDS, AND WILL REQUIRE SEPARATE PERMIT.
45. COORDINATE RIPRAP COLOR WITH LANDSCAPE PLANS AND DETAILS.
46. VERIFY AND COORDINATE WITH LANDSCAPE PLANS FINAL LOCATION AND GRATE TYPE OF SPECIFIED AREA DRAINS AND TRENCH DRAINS.
47. VERIFY AND COORDINATE WITH LANDSCAPE AND LANDSCAPE PLANS LOCATION AND HEIGHT OF ALL SITE WALLS.
48. DISTURBED AREA: TOTAL ACRES = 0.95; ACRES NEEDED PERMIT NOT REQUIRED.
49. REFER TO ARCHITECTURAL PLANS AND DETAILS FOR DEMOLITION AND REMOVAL OF ANY EXISTING BUILDING STRUCTURES, SITE WALLS, POOL AND PAVEMENT ETC.
50. REFER TO GEOTECHNICAL REPORT FOR SPECIFIC RECOMMENDATIONS AND MAXIMUM ALLOWED FILL AND CUT SLOPES.
51. THE PROPOSED POOL EQUIPMENT FOR THIS PROJECT SHALL BE EQUIPPED WITH CARTRIDGE FILTER IN ORDER TO AVOID THE BACKWASH.
52. THE SCOPE OF THIS GRADING AND DRAINAGE PLAN COVERS CERTAIN SITE DRAINAGE IMPROVEMENTS AS DELINEATED BY THE LIMITS OF THE CONSTRUCTION AND IN ACCORDANCE TO THE PREPARED BY THE ARCHITECT SITE PLAN, WHICH HAS BEEN COORDINATED AND APPROVED BY THE OWNER. LAND DEVELOPMENT GROUP (LDG) ASSUMES NO LIABILITY FOR DRAINAGE ISSUES THAT MAY EXIST AND COULD CAUSE DAMAGE TO THE SUBJECT OR NEIGHBORING PROPERTIES BEYOND THE LIMITS OF THE CONSTRUCTION SHOWN ON THESE PLANS.
53. THE GRADING AND DRAINAGE DESIGN PRESENTED HEREIN IS BASED ON EVALUATING STORMWATER RUNOFF RESULTING FROM A STATISTICAL ANALYSIS OF STORM EVENTS OF PARTICULAR FREQUENCY, UP TO AND INCLUDING 100-YEAR EVENT AS REQUIRED BY THE CITY OF PHOENIX AND MARICOPA COUNTY DRAINAGE DESIGN MANUALS. A STORM EVENT EXCEEDING THE 100-YEAR EVENT MAY CAUSE OR CREATE THE RISK OF GREATER STORM IMPACT THAN IS PRESENTED AND ADDRESSED ON THIS PLAN.

FLOOD INSURANCE RATE MAP (FIRM) DATA

COMMUNITY #	PANEL	SUFFIX	BASE FLOOD ELEVATION
004049	1765 OF 4425	L	N/A
MAP #	PANEL DATE	FIRM INDEX DATE	ZONE
04013C	09/19/2020	11/04/2015	X*

*AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

SHEET INDEX

- C-1 COVER SHEET
C-2 GRADING AND IMPROVEMENT PLAN CROSS SECTIONS DETAILS
C-3
- WATER: EPCOR
SANITARY SEWER: SEPTIC
ELECTRIC: APS
TELEPHONE: CENTURY LINK, COX COMM.
NATURAL GAS: SOUTHWEST GAS
CABLE TV: CENTURY LINK, COX COMM.

PRELIMINARY GRADING & DRAINAGE PLAN
STEWART RESIDENCE

5625 E INDIAN BEND RD., PARADISE VALLEY, AZ 85253
LOT 34 AND PART OF LOT 35 - CLUB ESTATES NO. 2

A SUBDIVISION PLAT RECORDED IN BOOK 91 OF MAPS, PAGE 7, MCR.,
LOCATED IN A PORTION OF THE SW 1/4 OF THE SW 1/4 OF THE SW 1/4 OF SECTION 4, T.2N, R.4E
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

LEGEND

- FOUND REBAR OR AS NOTED
- SET REBAR & CAP
- NOTHING FOUND OR SET
- PROPERTY LINE
- MONUMENT LINE
- MAILBOX
- WATER METER
- SEWER CLEANOUT
- TELECOM. PEDISTAL
- STORM DRAIN INLET
- GAS METER
- GAS TEST VALVE
- ELECTRIC METER
- UTILITY CONTROL BOX
- A/C UNIT
- HOSE BIB
- POOL EQUIPMENT
- VINYL FENCE
- IRON FENCE
- STORM DRAIN PIPE
- GAS LINE
- WATER LINE
- CATV, PHONE LINE
- ELECTRIC LINE
- EXISTING CONTOUR
- EXIST. DRAINAGE FLOW
- EXIST. SPOT ELEVATION
- PALO VERDE
- PALM TREE
- TREE
- CITRUS TREE
- MESQUITE TREE
- PIPE CACTUS
- SAGUARO
- STUMP
- PROPOSED SPOT ELEVATION
- EXISTING DISTURBED AREA
- PROPOSED DISTURBED AREA
- STORM DRAIN PIPE
- CATCH BASIN
- RETAINING WALL
- TOP OF PARAPET
- TOP OF WALL
- TOP OF RETAINING WALL
- FINISH GRADE
- BOTTOM OF WALL
- TOP OF FOOTING
- TP:XX.XX
- TRW:XX.XX
- FG:XX.XX
- BW:XX.XX
- TF:XX.XX

ABBREVIATIONS

- BSL BUILDING SETBACK LINE
(C) CALCULATED
(E) ELEVATION
EP EDGE OF PAVEMENT
ESMT EASEMENT
EX, EXIST. EXISTING
G GUTTER, GAS
(M) MEASURED
MCR MARICOPA COUNTY RECORDER
P. PVMT PAVEMENT
PUE PUBLIC UTILITY EASEMENT
(R), REC. RECORDED
(R) RADIUS
R/W RIGHT OF WAY
T TANGENT, TELEPHONE
W WEST, WATERLINE
WM WATER METER

UTILITIES

WATER: EPCOR
SANITARY SEWER: SEPTIC
ELECTRIC: APS
TELEPHONE: CENTURY LINK, COX COMM.
NATURAL GAS: SOUTHWEST GAS
CABLE TV: CENTURY LINK, COX COMM.

DISTURBED AREA CALCULATIONS

EXISTING LOT AREA: 52,356 S.F. (1,202 AC.)
AREA UNDER ROOF: 11,742 S.F.
FLOOR AREA RATIO: 22.42%
BUILDING PAD SLOPE: 16.09%
VERTICAL: 28 FT
HORIZONTAL: 174 FT
ALLOWABLE DISTURBED AREA: 27.27%
ALLOWABLE DISTURBED AREA: 14,278 S.F.
EXISTING DISTURBED AREA: 85.82%
EXISTING DISTURBED AREA: 44,933 S.F.
TOTAL LIVABLE FOOTPRINT: 8,840 S.F.
ATTACHED GARAGE FOOTPRINT: 2,902 S.F.
NET PROPOSED DISTURBED AREA: 33,191 S.F. (63.39%)
PERCENT OF LOT STEEPER THAN NATURAL GRADE (5% MAX.): 0 S.F. (0%)
VOLUME OF CUT: 1,364 C.Y.
VOLUME OF FILL: 2,103 C.Y.
TOTAL CUT&FILL: 3,467 C.Y.
HILLSIDE ASSURANCE = 35 TIMES THE GRADING PERMIT FEE.
GRADING PERMIT FEE: \$3,432
(\$168 FIRST 100 CY / \$96 EA. ADDITIONAL 100 CY.)
ASSURANCE AMOUNT: \$120,120

ALL QUANTITIES LISTED ON THESE PLANS ARE ESTIMATES ONLY. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF THE QUANTITIES AND BASE THEIR BIDS ON THEIR ESTIMATES.

EARTHWORK QUANTITIES

CUT: 1,364 C.Y.
FILL: 2,103 C.Y.
NET FILL: 739 C.Y.

ALL QUANTITIES LISTED ON THESE PLANS ARE ESTIMATES ONLY. NO SHRINK OR SWELL IS ASSUMED. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF THE QUANTITIES AND BASE THEIR BIDS ON THEIR ESTIMATES.

PROJECT DESCRIPTION

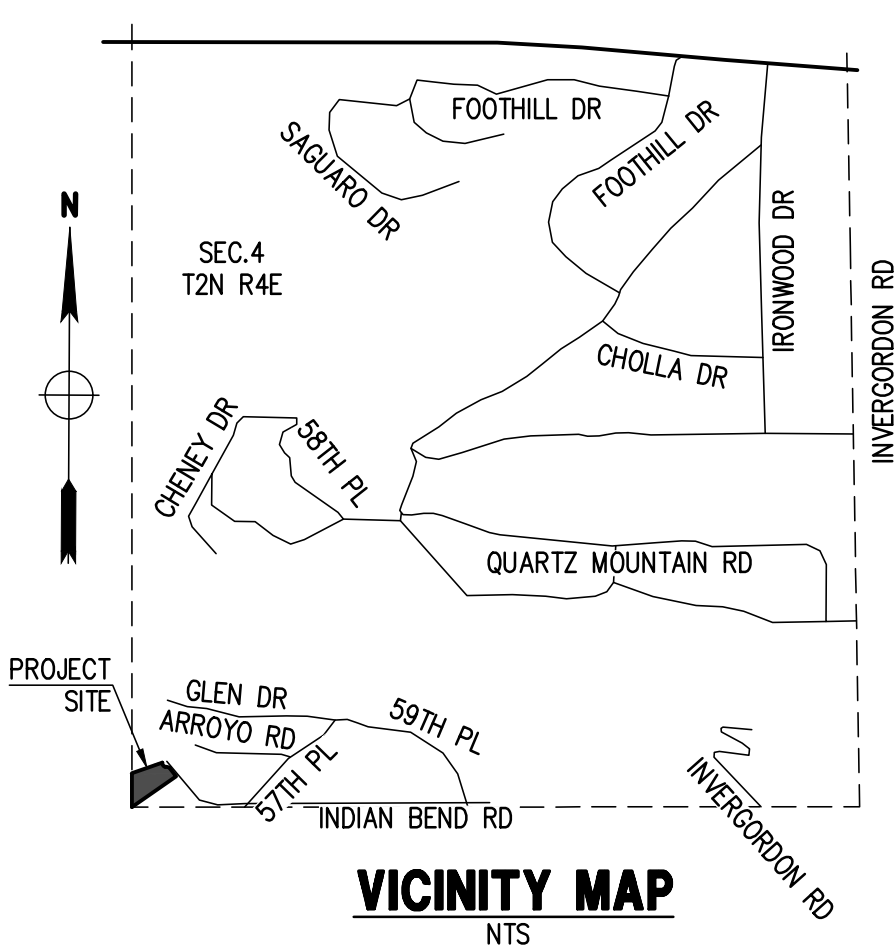
NEW SINGLE FAMILY RESIDENCE, NEW CASITA, NEW GARAGE, NEW DRIVEWAY, NEW POOL & SPA AND SITE IMPROVEMENTS WITH ON-SITE RETENTION.

GRADING SPECIFICATIONS

1. EXCAVATION AND GRADING OF THIS SITE IS CLASSIFIED AS "ENGINEERED GRADING" PER 2015 I.B.C. AND WILL BE PERFORMED ACCORDINGLY.
2. THE CONTRACTOR WILL RETAIN A SOILS ENGINEER DURING CONSTRUCTION TO INSPECT PROGRESS OF CONSTRUCTION. CONCERNING PREPARATION OF GROUND TO RECEIVE FILLS, TESTING AND REQUIRED COMPACTION STABILITY OF ALL FINISH SLOPES INCLUDING CUT SLOPES.
3. COMPACTION SHALL COMPLY WITH M.A.G. SECTION 601 AND PROVISIONS AS SET FORTH IN THE SOILS REPORT.
4. BEARING MATERIALS FOR FILL UNDER RESIDENCE PAD IF NATIVE MATERIAL IS USED. LARGE ROCK FRAGMENTS MUST BE REMOVED THAT ARE IN EXCESS OF SIX INCHES. REMAINING MATERIAL MUST BE SMALLER PARTICLES OF SAND AND ROCK THAT CAN BE COMPACTED INTO A DENSE CONDITION.
MAXIMUM PARTICLE SIZE 6 INCHES
PERCENT PASSING NO. 4 SIEVE 35% TO 70%
PERCENT PASSING NO. 200 SIEVE 25% MAX.
PLASTICITY INDEX 10% MAX.
5. CUT-SLOPES: MAXIMUM ROCK CUT SLOPE TO BE 1.0 FEET HORIZONTAL TO 3.0 FEET VERTICAL PER GEOTECHNICAL STUDY.
6. SLOPES: MAXIMUM FILL SLOPE TO BE 2.0 FEET HORIZONTAL TO 1.0 FEET VERTICAL.
7. COMPACTION FILL MATERIAL MUST BE PLACED ON LEVELED BENCHES CUT INTO UNDISTURBED EXISTING HILLSIDE.
8. PLACE FILL IN HORIZONTAL LIFTS OF THICKNESS COMPATIBLE WITH THE COMPACTION EQUIPMENT USED. COMPACT TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM A.S.T.M. DENSITY AT THE OPTIMUM MOISTURE CONTENT OF ± TWO PERCENT. THIS PERTAINS TO ALL ENGINEERED STRUCTURAL FILL SUPPORTING STRUCTURES AND INCLUDING FILL UNDER ANY OF THE RETAINING WALLS. COMPACTION TEST RESULTS SHALL BE SUBMITTED TO THE SOILS ENGINEER AND TOWN OF PARADISE VALLEY BUILDING AND SAFETY DEPARTMENT.
9. ANY RETAINING WALLS ADJACENT TO THE PROPERTY LINES WILL BE UNDER THE SCOPE OF SPECIAL INSPECTION BY THE SOILS ENGINEER. THE DEVELOPER SHALL NOTIFY THE ADJOINING PROPERTY OWNERS IN WRITING, TEN DAYS PRIOR TO START OF CONSTRUCTION ON THESE WALLS PER SECTION 2903-B OF IBC. THE DEVELOPER WILL HAVE TO PROVIDE MEANS OF PROTECTION OF ADJACENT PROPERTY WHILE THIS WORK IS UNDER CONSTRUCTION.
10. EXPOSED CUT AND FILL SHALL BE TREATED WITH AN APPROVED AGING AGENT TO MINIMIZE TO VISUAL CONTINUITY.
11. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL ALL HILLSIDE STIPULATIONS AND ALL TOWN CODE REQUIREMENTS ARE COMPLIED INCLUDING, BUT NOT LIMITED TO LANDSCAPING, GROUND RESTORATION, FIRE FLOW, FIRE SAFETY AND ALL ONSITE AND OFFSITE IMPROVEMENTS.
12. ALL OUTDOOR LIGHTING SHALL BE IN CONFORMANCE WITH ARTICLE XXII OF THE TOWN ZONING ORDINANCE.
13. ALL EXCESS FILL MATERIAL SHALL BE REMOVED FROM THE SITE WITH NO NEW SPILL SLOPES.
14. THE USE OF HYDRAULIC RAM HAMMERS, OR OTHER HEAVY EQUIPMENT USED TO CUT THROUGH ROCK, INCLUDING MACHINERY WITH AUDIBLE BACK UP WARNING DEVICES SHALL BE LIMITED TO USE BETWEEN THE HOURS OF 7:00AM OR SUNRISE, WHICHEVER IS LATER, AND 6:00PM OR SUNSET, WHICHEVER IS EARLIER, MONDAY THROUGH FRIDAY, WITH LIMITED WORK ON SATURDAY AND NO WORK ON SUNDAY OR LEGAL HOLIDAYS.
15. CONSTRUCTION STAKING AND/OR FENCING SHALL BE PLACED AROUND THE CONSTRUCTION SITE SO AS TO PROTECT THE UNDISTURBED NATURAL AREAS.
16. CONSTRUCTION STAKING AND/OR FENCING SHALL BE PLACED AROUND THE CONSTRUCTION SITE SO AS TO PROTECT THE UNDISTURBED NATURAL AREAS.
17. ULTIMATE STORM OUTFALL IS AT THE MIDDLE OF SOUTHERN PROPERTY LINE AT ELEVATION OF 1455.20.
18. NEW SINGLE FAMILY RESIDENCE, NEW CASITA, NEW DRIVEWAY, NEW GARAGE, NEW POOL & SPA AND SITE IMPROVEMENTS ARE PROPOSED WITH THIS PROJECT.
19. PROPOSED DEVELOPMENT DOES NOT IMPACT DRAINAGE CONDITIONS OF ADJOINING LOTS.
20. HISTORIC DRAINAGE PATTERNS ARE RESTORED AND PRESERVED.
21. THE MINIMUM FINISH FLOOR ELEVATIONS SHOWN ARE SAFE FROM INUNDATION DURING A 100-YEAR PEAK RUN-OFF EVENT IF CONSTRUCTED PER THE APPROVED CIVIL PLANS.
22. PROPOSED STORM DRAIN SYSTEM SHALL BE INSPECTED AND CLEANED FROM DEBRIS AND SILT AFTER EVERY MAJOR STORM EVENT.
23. CHECK DAMS, RIPRAP AND BOULDERS ARE SPECIFIED AT ALL POINTS OF DISCHARGE TO MITIGATE EROSION AND TO CONVERT CONCENTRATED FLOWS BACK TO SHEET FLOWS.
24. ON-SITE RETENTION IS PROVIDED FOR THE FIRST FLUSH STORM EVENT FOR THE LIMITS OF DISTURBANCE.

FIRE SPRINKLER SYSTEM

FIRE SPRINKLER SYSTEM TO BE INSTALLED PER THE REQUIREMENTS OF THE TOWN OF PARADISE VALLEY AND IN ACCORDANCE WITH I.B.C. SECT. 904.2.2 AMD. AND 2018 IFBC, SEC. 903.



OWNER

NORMAN TRUST
330 W LAWRENCE RD.,
PHOENIX, AZ 85013

SITE DATA

APN: 169-55-002A
ADDRESS: 5625 E INDIAN BEND RD.,
PARADISE VALLEY, AZ 85253
ZONING: R-43 (HILLSIDE)
LOT AREA: 52,356 S.F. (1,202 AC.)
CONSTRUCTION YEAR: 1967
QS #: 23-41
EXIST. DISTURBED AREA: 44,933 S.F. (1,032 AC.)
PROPOSED DISTURBANCE: 35,195 S.F. (0.808 AC.)

LEGAL DESCRIPTION

THAT PART OF LOTS 34 AND 35, CLUB ESTATES NO. 2, ACCORDING TO BOOK 91 OF MAPS, PAGE 7, RECORDS OF MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:
BEGINNING AT THE MOST EASTERLY CORNER OF LOT 34;
THENCE SOUTH 57 DEGREES 02 MINUTES 30 SECONDS WEST, 389.35 FEET TO THE SOUTHWEST CORNER OF LOT 34, ALSO BEING THE SOUTHWEST CORNER OF CLUB ESTATES NO. 2;
THENCE NORTH 0 DEGREES 9 MINUTES 51 SECONDS EAST ALONG THE WEST LINE OF LOTS 34 AND 35, A DISTANCE OF 235 FEET;
THENCE NORTH 72 DEGREES 10 MINUTES 10 SECONDS EAST, 225.20 FEET TO A POINT ON A CURVE ON THE WEST LINE OF INDIAN BEND ROAD, HAVING A RADIAL POINT NORTH 2 DEGREES 10 MINUTES 10 SECONDS EAST, 40 FEET.
THENCE SOUTHEASTERLY ALONG THE SOUTHWESTERLY LINE OF SAID ROAD ON A CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 71 DEGREES 11 MINUTES 50 SECONDS, DISTANCE OF 49.70 FEET TO A P.R.C. HAVING A RADIAL POINT BEARING SOUTH 0 DEGREES 58 MINUTES 20 SECONDS EAST, 40 FEET;
THENCE ON A CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 43 DEGREES 19 MINUTES 10 SECONDS, A DISTANCE OF 30.24 FEET TO A P.C.C HAVING A RADIAL POINT OF BEARING SOUTH 42 DEGREES 20 MINUTES 50 SECONDS WEST, 200 FEET;
THENCE COUNTING ON A CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 19 DEGREES 39 MINUTES 10 SECONDS, A DISTANCE OF 68.60 FEET TO THE POINT OF BEGINNING.

BASIS OF BEARINGS

THE FOUND SOUTHERLY LINE OF SUBJECT PROPERTY, THE BEARING OF WHICH IS N56°58'38"E.

BENCHMARK

BRASS CAP FLUSH (ONLY STEM REMAINS) AT THE INTERSECTION OF 60TH STREET AND INDIAN BEND ROAD HAVING AN ELEVATION OF 1423.87 NAVD 88 DATUM, GDACS# 24524-01.

FINISH FLOOR CERTIFICATION

I HEREBY CERTIFY THAT FINISHED FLOOR ELEVATIONS SHOWN ON THE PLAN OF XXX IS MINIMUM OF 12" ABOVE THE 100-YEAR STORM ELEVATION OF XXX ACCORDING TO THE TOWN OF PARADISE VALLEY CODE OF ORDINANCE.

Niran Patanar

REGISTERED CIVIL ENGINEER

11/19/25

DATE

APPROVAL

THIS SET OF PLANS HAS BEEN REVIEWED FOR COMPLIANCE WITH TOWN OF PARADISE VALLEY REQUIREMENTS PRIOR TO ISSUANCE OF PERMIT. THE TOWN NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. THIS COMPLIANCE APPROVAL SHALL NOT PREVENT THE TOWN ENGINEER FROM REQUIRING CORRECTIONS OF ERRORS OR OMISSIONS IN THE PLANS TO BE FOUND IN VIOLATION OF LAWS OR ORDINANCES.

TOWN ENGINEER
TOWN OF PARADISE VALLEY

DATE



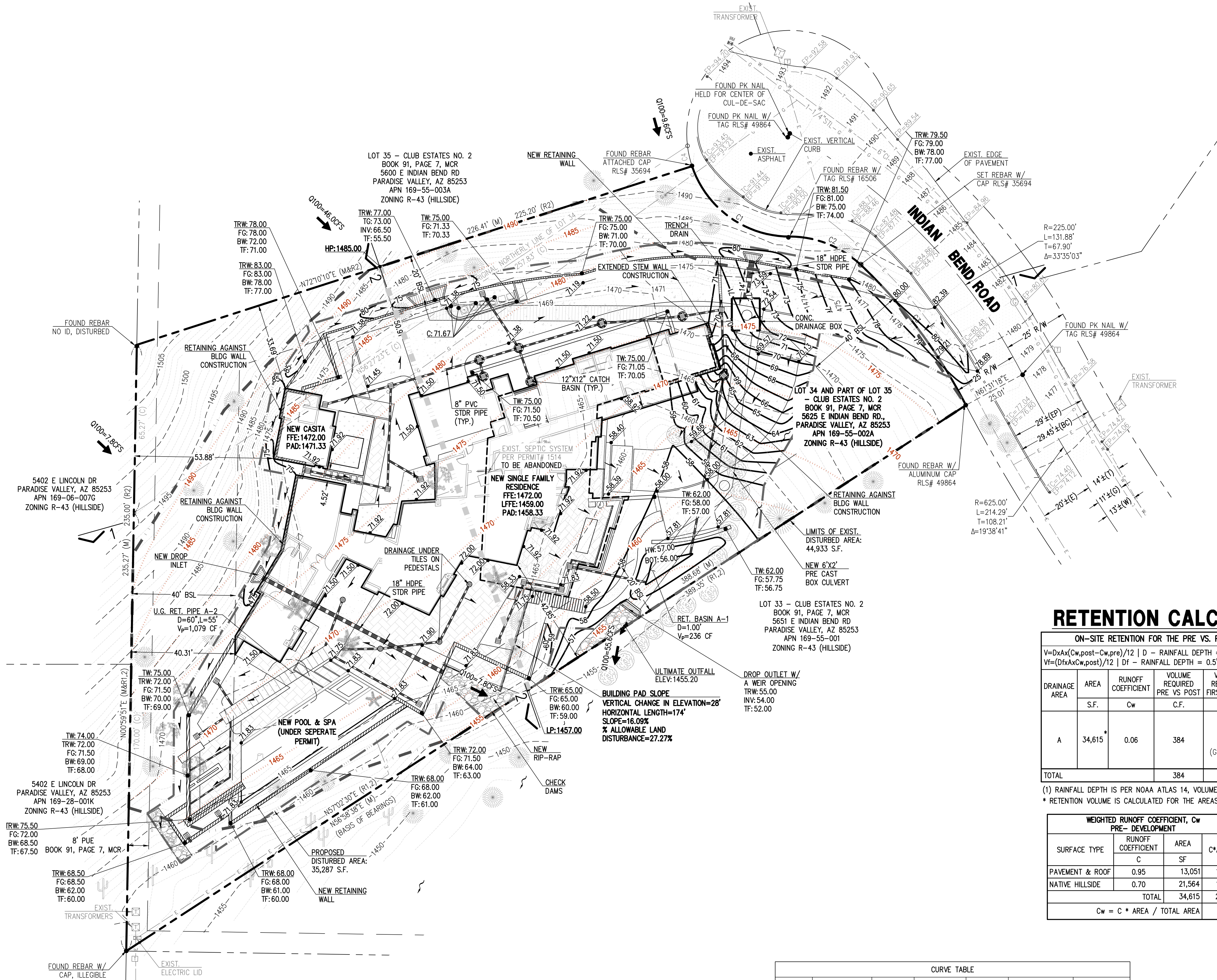
PRELIMINARY GRADING & DRAINAGE PLAN
COVER SHEET

LOT 34 & PART OF LOT 35 -
CLUB ESTATES NO. 2
5625 E INDIAN BEND RD.,
PARADISE VALLEY, AZ 85253

P 602 889 1984 | F 602 443 9482
8808 N CENTRAL AVE., SUITE 208
PHOENIX, AZ 85020
PHOENIX @ LDGEN.COM

Land
DEVELOPMENT GROUP





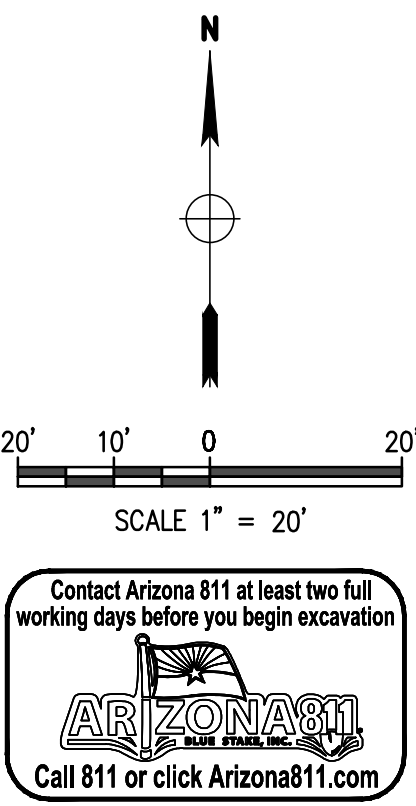
RETENTION CALCULATIONS

ON-SITE RETENTION FOR THE PRE VS. POST DEVELOPMENT RUNOFF FROM 100-YEAR, 2-HOUR STORM EVENT											
V=DxAx(Cw,post-Cw,pre)/12 D - RAINFALL DEPTH = 2.22" A - TRIBUTARY AREA, SF Cw - WEIGHTED RUNOFF COEFFICIENT Vf=(DfxAxCw,post)/12 Df - RAINFALL DEPTH = 0.5" FIRST FLUSH A - TRIBUTARY AREA, SF Cw - WEIGHTED RUNOFF COEFFICIENT											
DRAINAGE AREA	AREA	RUNOFF COEFFICIENT	VOLUME REQUIRED PRE VS POST	VOLUME REQUIRED FIRST FLUSH	RETENTION BASIN ID	CONTOUR ELEVATION		CONTOUR AREA	DEPTH	VOLUME PROVIDED	AS-BUILT VOLUME PROVIDED
	S.F.	Cw	C.F.	C.F.		S.F.	FT	C.F.	C.F.		
A	34,615	0.06	384	1,240 (GOVERNS)	A1	HW	1,457.00	400	1.00	236	
						BOTTOM	1,456.00	72			
					A2	UNDERGROUND RETENTION PIPE		L=55'	D=60"	1,079	
TOTAL			384	1,240							1,315

(1) RAINFALL DEPTH IS PER NOAA ATLAS 14, VOLUME 1, VERSION 5.
* RETENTION VOLUME IS CALCULATED FOR THE AREAS OF NEW DISTURBANCE.

WEIGHTED RUNOFF COEFFICIENT, C_w PRE- DEVELOPMENT				WEIGHTED RUNOFF COEFFICIENT, C_w POST- DEVELOPMENT			
SURFACE TYPE	RUNOFF COEFFICIENT	AREA	C*AREA	SURFACE TYPE	RUNOFF COEFFICIENT	AREA	C*AREA
	C	SF			C	SF	
PAVEMENT & ROOF	0.95	13,051	12,398	PAVEMENT & ROOF	0.95	20,352	19,334
NATIVE HILLSIDE	0.70	21,564	15,095	NATIVE HILLSIDE	0.70	14,263	9,984
TOTAL			27,493	TOTAL			29,319
$C_w = C * AREA / TOTAL AREA$			0.79	$C_w = C * AREA / TOTAL AREA$			0.85

CURVE TABLE						
CURVE #	RADIUS	LENGTH	DELTA	TANGENT	CHORD DIRECTION	CHORD LENGTH
C1	40.00' (M&R2)	49.90' (M) 49.70' (R2)	71°28'53" (M) 71°11'50" (R2)	28.79' (M)	S54°15'22"E (M)	46.73' (M)
C2	40.00' (M&R2)	30.24' (M&R2)	43°19'10" (M) 43°19'10" (R2)	15.89' (M)	S68°20'13"E (M)	29.53' (M)
C3	200.00' (M&R2)	68.50' (M) 68.60' (R2)	19°37'24" (M) 19°39'10" (R2)	34.59' (M)	S36°51'56"E (M)	68.16' (M)
C4	40.00' (C&R1)	8.10' (C)	11°35'56" (C)	4.06' (C)	S12°42'36"E (C)	8.08' (C)



PRELIMINARY GRADING & DRAINAGE IMPROVEMENT PLAN

LOT 34 & PART OF LOT 35 - CLUB ESTATES NO. 2
5625 E INDIAN BEND RD.,
PARADISE VALLEY, AZ 85253

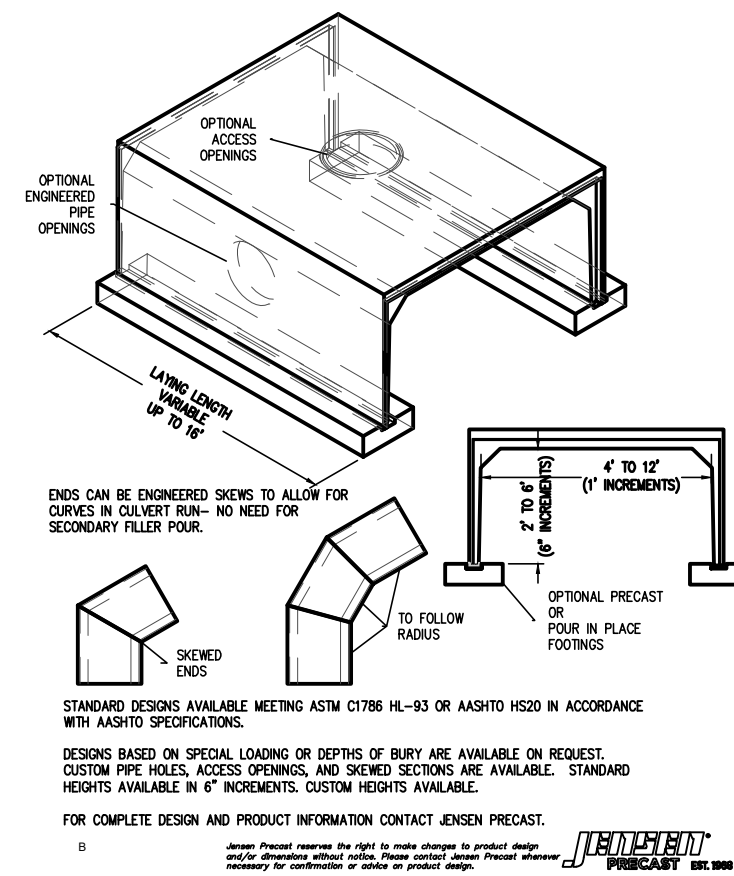
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8808 N CENTRAL AVE., SUITE 208
PHOENIX, AZ 85020
PHOENIX @ LDCENX.COM



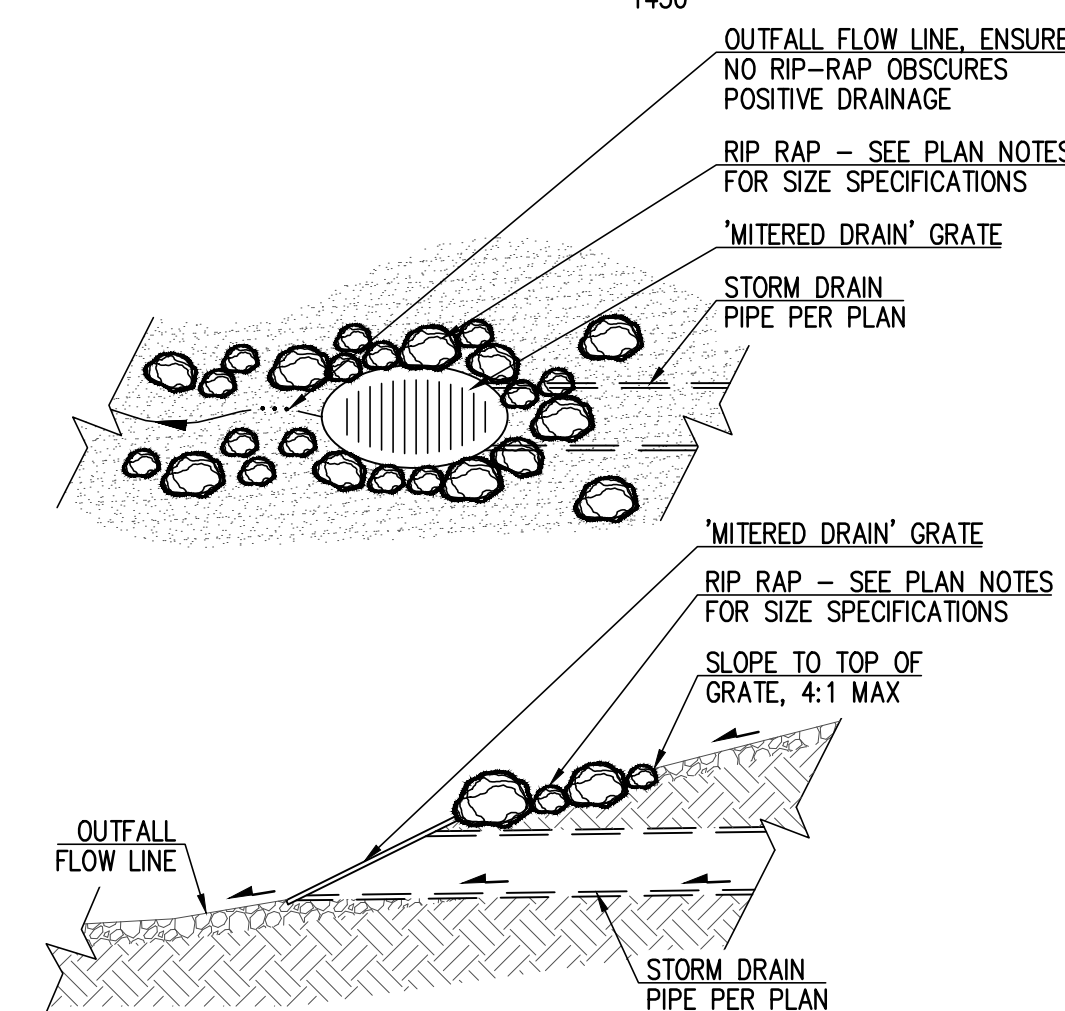
C-2
2 OF 3

REVISIONS:	DATE:	SCALE: 1"=20'	DATE: 11/19/25
		DESIGNED BY: NP	JOB: 2502063
		DRAWN BY: CM	VERSION: 1.1
		CHECKED BY: J	PLOT DATE: 11/19/25

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Technical drawing of a square plate. The overall dimensions are 15" by 15". The thickness of the edge is 1/2". The thickness of the corner is 1/4".

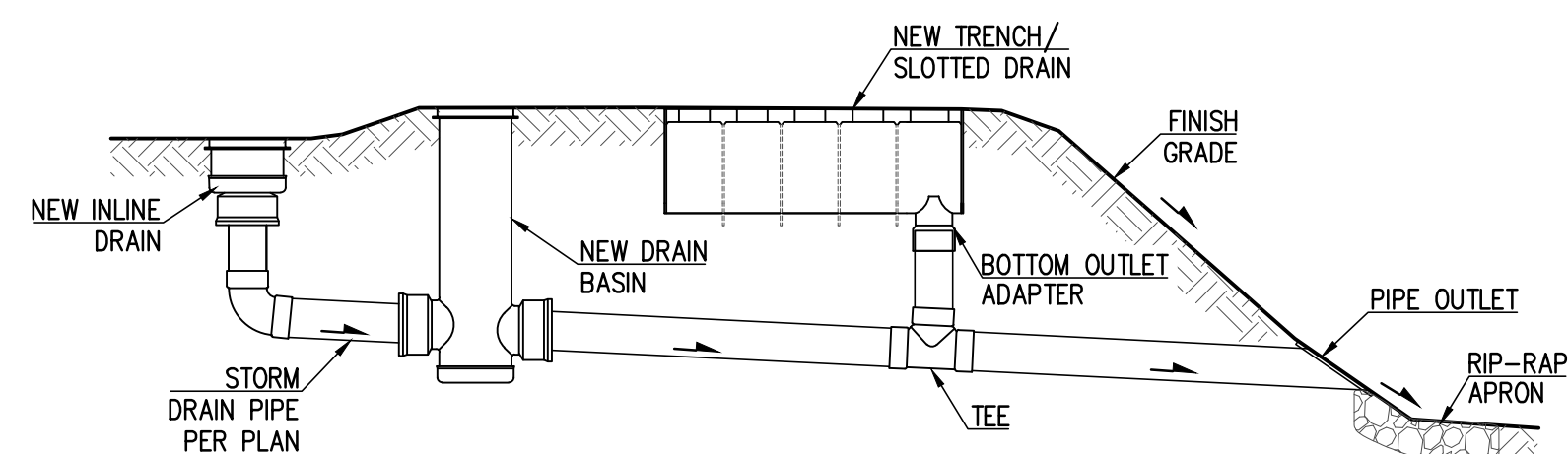
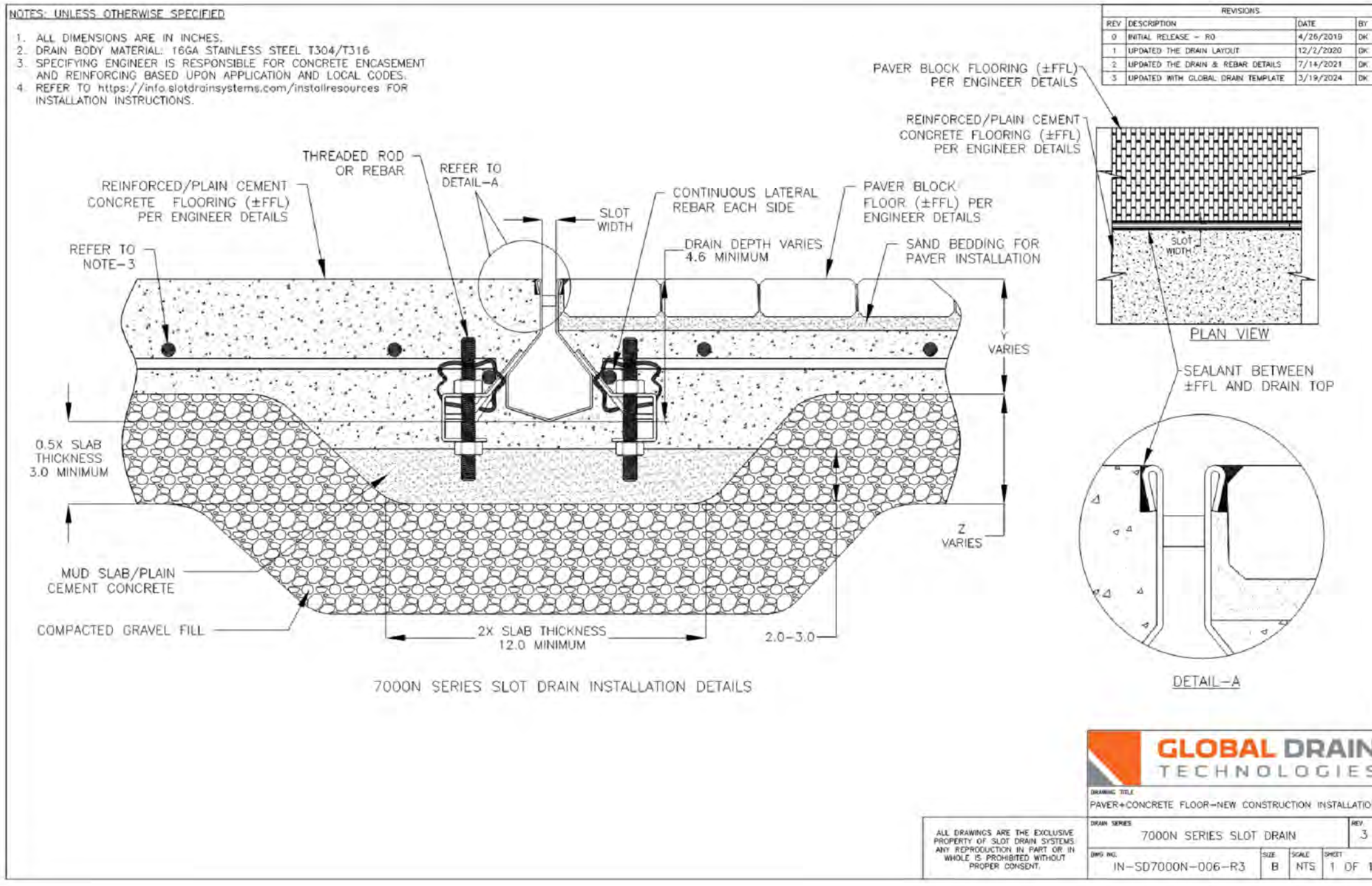


The diagram consists of two parts: an isometric view on the left and a profile view on the right.

Isometric View: Shows a C.M.U. wall with a storm drain inlet. A daylight through wall is shown. A surface select stone outlet per plan is shown. The storm drain inlet is connected to a drain pipe per plan via an elbow. The maximum depth of the stone outlet is indicated as 4" MAX.

Profile View: Shows the vertical assembly. The storm drain inlet is at the top, followed by the C.M.U. wall, the daylight through wall, and the drain pipe per plan. The elbow is shown at the bottom. The maximum depth of the stone outlet is indicated as 4" MAX.

STORM DRAIN OUTLET AT WALL DETAIL
N.T.S.



SCHEMATIC STORM DRAIN SYSTEM
N.T.S.

GLOBAL DRAIN
TECHNOLOGIES

SPECIFICATION SHEET

SPECIFICATIONS

GENERAL:

The surface drainage system shall be Catch Basins. It to be used with silt or trench as manufactured by Global Drain Technologies.

MATERIALS:

1304 Stainless Steel

LID:

Slot Lid (or) Parallid Design

INSTALLATION:

The Catch Basin shall be installed in accordance with the manufacturer's installation instructions and recommendations. Catch Basins are manufactured with levellers to secure the drain within the concrete slab.

TYPICAL MODULAR LAYOUT OF A CATCH BASIN SYSTEM

SLOT LID DESIGN

PAN/LO DESIGN

TYPICAL DRAIN WITH
LEVELLER DETAILS

CATCH BASIN LID STANDARD LID DESIGN AND STRAINER IS PART OF THE CATCH BASIN

DESCRIPTION	WIDTH INCHES	LENGTH INCHES	HEIGHT INCHES	OUTLET SIZE INCHES
CATCH BASIN	5 1/2	6 1/2	9	4


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TF 855.497.7508 F 204.775.2324

E orders@globaldraintech.com

W globaldraintech.com

2025



Land
 DEVELOPMENT GROUP

P 602 889 1984 | F 602 445 9482
 8808 N. CENTRAL AVE., SUITE 288
 PHOENIX OUTDOORS.COM

**LOT 34 & PART OF LOT 35 -
 CLUB ESTATES NO. 2
 5625 E INDIAN BEND RD.,
 PARADISE VALLEY, AZ 85253**

**PRELIMINARY
 GRADING & DRAINAGE
 CROSS SECTIONS
 DETAILS**

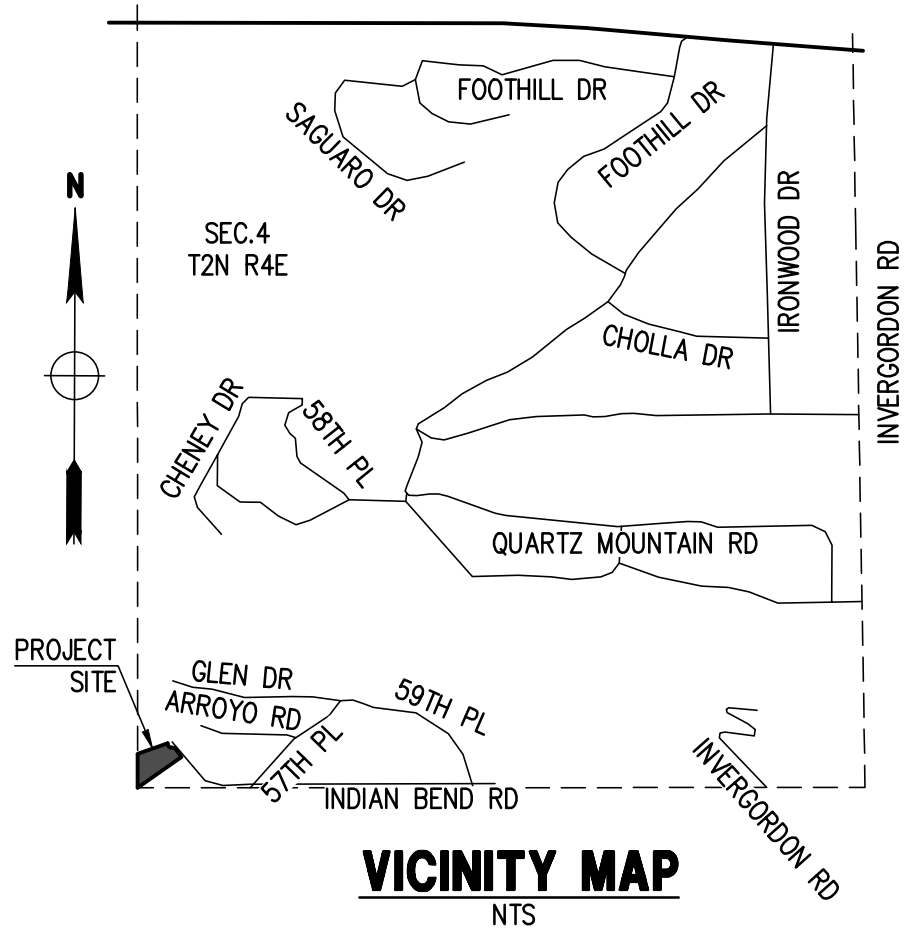
REVISIONS:	DATE:	SCALE: AS NOTED	DATE: 11/19/25
		DESIGNED BY: NP	JOB: 2502063
		DRAWN BY: CM	VERSION: 1.1
		CHECKED BY: JJ	PLOT DATE: 11/19/25

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND IS THE PROPERTY OF PHOENIX OUTDOORS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE FOR WHICH IT WAS PREPARED. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF PHOENIX OUTDOORS.

AERIAL MAP EXHIBIT
STEWART RESIDENCE

5625 E INDIAN BEND RD., PARADISE VALLEY, AZ 85253
LOT 34 AND PART OF LOT 35 - CLUB ESTATES NO. 2

A SUBDIVISION PLAT RECORDED IN BOOK 91 OF MAPS, PAGE 7, MCR.,
LOCATED IN A PORTION OF THE SW 1/4 OF THE SW 1/4 OF THE SW 1/4 OF SECTION 4, T.2N, R.4E
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA



OWNER

NORMAN TRUST
330 W LAWRENCE RD.,
PHOENIX, AZ 85013

ARCHITECT

STRATTON ARCHITECTS
5090 N 40TH ST, SUITE 170,
PHOENIX, AZ 85018
CONTACT: PARKER BIERTZER
P: 262-339-2481
PARKER@STRATTON-ARCHITECTS.COM

SITE DATA

APN: 169-55-002A
ADDRESS: 5625 E INDIAN BEND RD.,
PARADISE VALLEY, AZ 85253
ZONING: R-43 (HILLSIDE)
LOT AREA: 52,356 S.F. (1,202 AC.)
CONSTRUCTION YEAR: 1967
QS #: 23-41

CIVIL ENGINEER

LAND DEVELOPMENT GROUP, LLC
8808 N CENTRAL AVE., SUITE 288
PHOENIX, AZ 85020
CONTACT: NICK PRODANOV, PE
P: 602 889 1984

LEGAL DESCRIPTION

THAT PART OF LOTS 34 AND 35, CLUB ESTATES NO. 2, ACCORDING TO BOOK 91 OF MAPS, PAGE 7, RECORDS OF MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST EASTERLY CORNER OF LOT 34;
THENCE SOUTH 57 DEGREES 02 MINUTES 30 SECONDS WEST, 389.35 FEET TO THE SOUTHWEST CORNER OF LOT 34, ALSO BEING THE SOUTHWEST CORNER OF CLUB ESTATES NO. 2;
THENCE NORTH 0 DEGREES 9 MINUTES 51 SECONDS EAST ALONG THE WEST LINE OF LOTS 34 AND 35, A DISTANCE OF 235 FEET;
THENCE NORTH 72 DEGREES 10 MINUTES 10 SECONDS EAST, 225.20 FEET TO A POINT ON A CURVE ON THE WEST LINE OF INDIAN BEND ROAD, HAVING A RADIAL POINT NORTH 2 DEGREES 10 MINUTES 10 SECONDS EAST, 40 FEET;
THENCE SOUTHEASTERLY ALONG THE SOUTHWESTERLY LINE OF SAID ROAD ON A CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 71 DEGREES 11 MINUTES 50 SECONDS, A DISTANCE OF 49.70 FEET TO A P.C.C. HAVING A RADIAL POINT BEARING SOUTH 0 DEGREES 58 MINUTES 20 SECONDS EAST, 40 FEET;
THENCE ON A CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 43 DEGREES 19 MINUTES 10 SECONDS, A DISTANCE OF 30.24 FEET TO A P.C.C. HAVING A RADIAL POINT OF BEARING SOUTH 42 DEGREES 20 MINUTES 50 SECONDS WEST, 200 FEET;
THENCE COUNTING ON A CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 19 DEGREES 39 MINUTES 10 SECONDS, A DISTANCE OF 68.60 FEET TO THE POINT OF BEGINNING.

BASIS OF BEARINGS

THE FOUND SOUTHERLY LINE OF SUBJECT PROPERTY, THE BEARING OF WHICH IS N56°58'38"E.

BENCHMARK

BRASS CAP FLUSH (ONLY STEM REMAINS) AT THE INTERSECTION OF 60TH STREET AND INDIAN BEND ROAD HAVING AN ELEVATION OF 1423.87 NAVD 88 DATUM, GDACS# 24524-01.

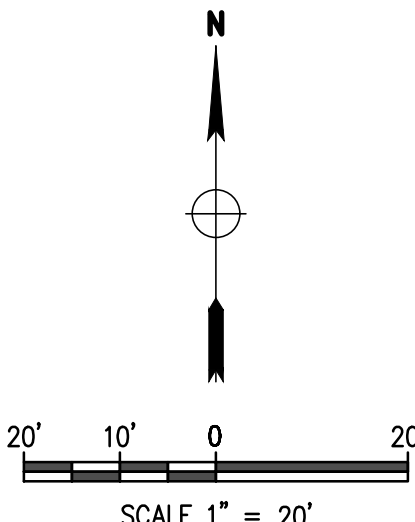
FLOOD INSURANCE RATE MAP (FIRM) DATA

COMMUNITY #	PANEL #	SUFFIX	BASE FLOOD ELEVATION
040049	1765 OF 4425	L	N/A
MAP #	PANEL DATE	FIRM INDEX DATE	ZONE
04013C	09/19/2020	11/04/2015	X*

*AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

LEGEND

-1462- EXISTING CONTOUR
-1462- EXISTING CONTOUR

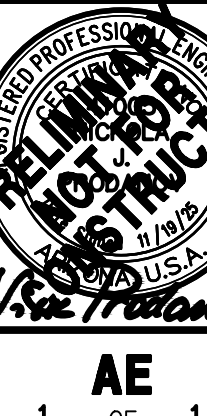


CURVE TABLE						
CURVE #	RADIUS	LENGTH	DELTA	TANGENT	CHORD DIRECTION	CHORD LENGTH
C1	40.00' (M&R2)	49.90' (M) 49.70' (R2)	71°28'53" (M) 71°11'50" (R2)	28.79' (M)	S54°15'22"E (M)	46.73' (M)
C2	40.00' (M&R2)	30.24' (M&R2)	43°19'11" (M) 43°19'10" (R2)	15.89' (M)	S68°20'13"E (M)	29.53' (M)
C3	200.00' (M&R2)	68.50' (M) 68.60' (R2)	19°37'24" (M) 19°39'10" (R2)	34.59' (M)	S36°51'56"E (M)	68.16' (M)
C4	40.00' (C&R1)	8.10' (C)	11°35'56" (C)	4.06' (C)	S12°42'36"E (C)	8.08' (C)

HISTORIC GRADES
EXISTING DISTURBANCE
EXHIBIT

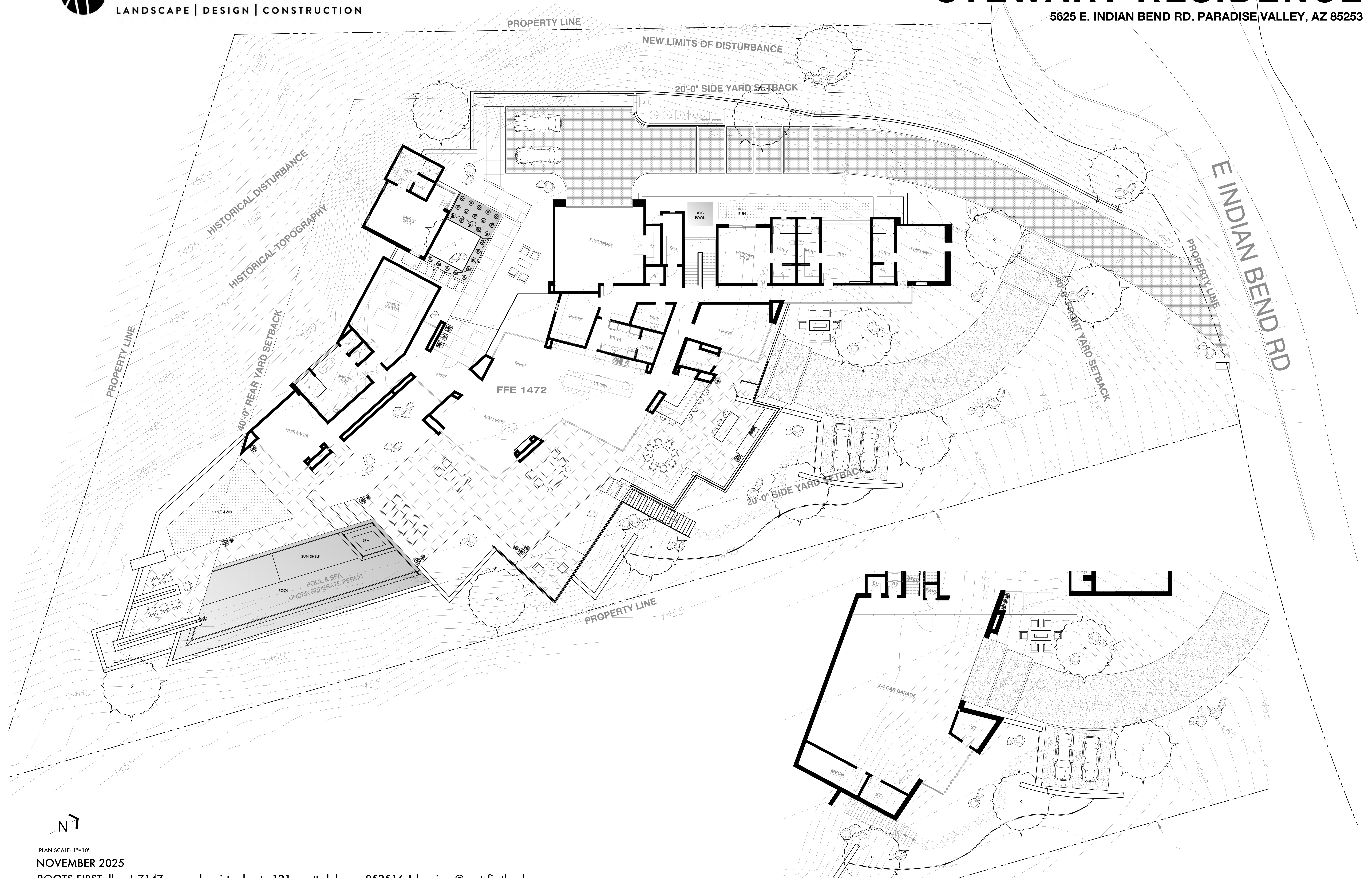
LOT 34 & PART OF LOT 35 -
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P 602 889 1984 | F 602 443 9482
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PHOENIX, AZ 85020
PHOENIX@LDGNG.COM



STEWART RESIDENCE

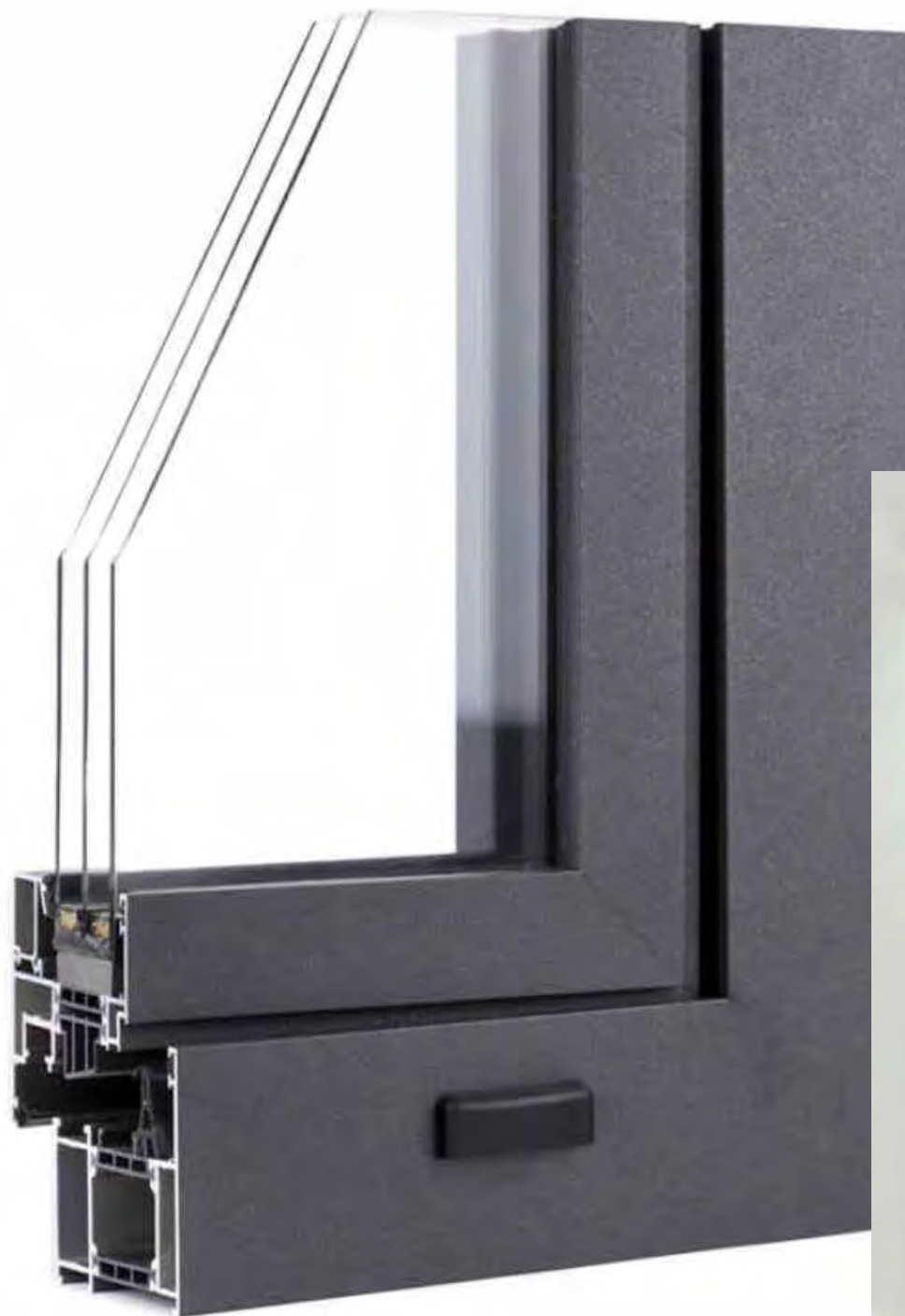
5625 E. INDIAN BEND RD. PARADISE VALLEY, AZ 85253



EXTERIOR STRUCTURAL STEEL -
POWDER COAT - MATTE BLACK
LRV EST. 2-7



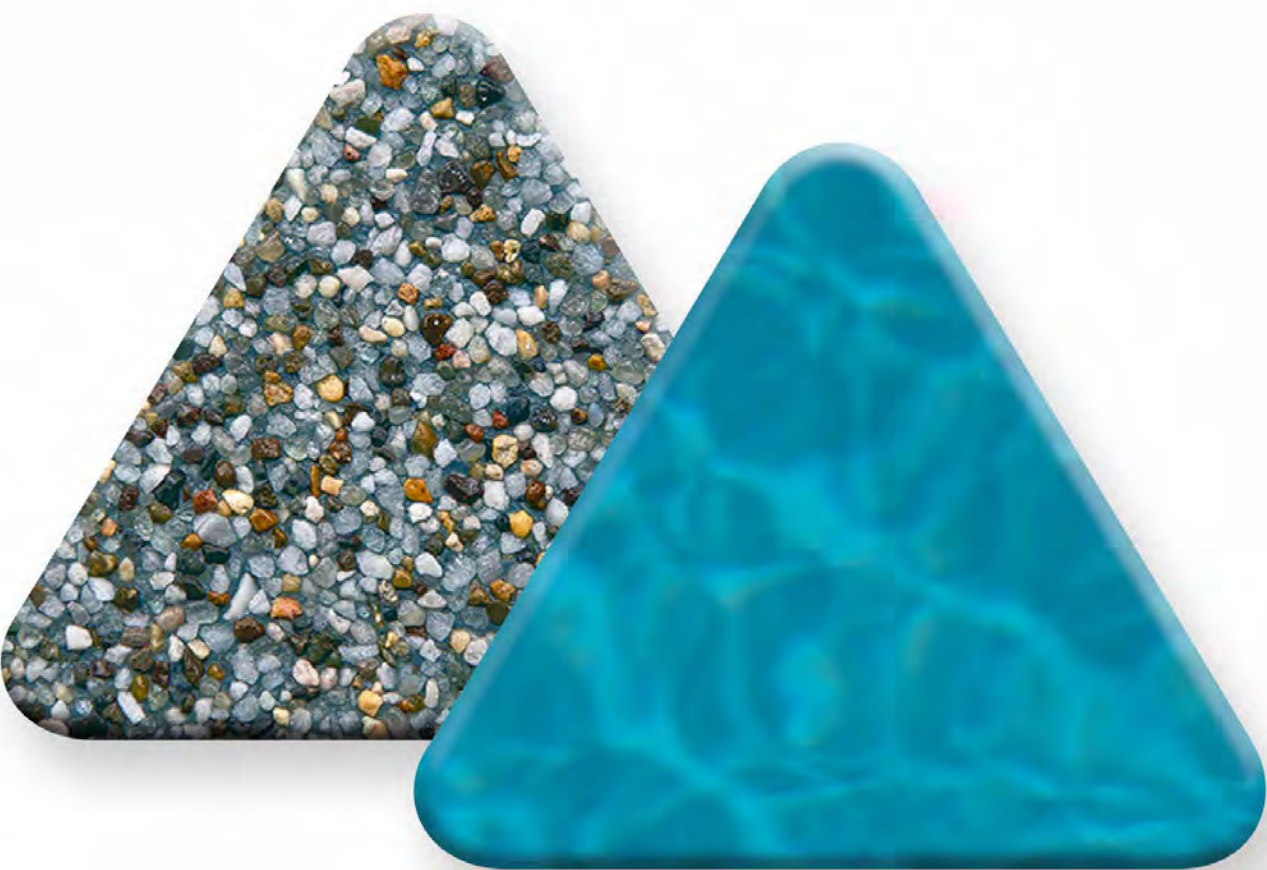
DOOR & WINDOW SASH -
AWAKE WINDOWS & DOORS - MATTE BLACK
LRV EST. 2-7



EXTERIOR GLASS -
CARDINAL GLASS - CLEAR
LOW E COATING

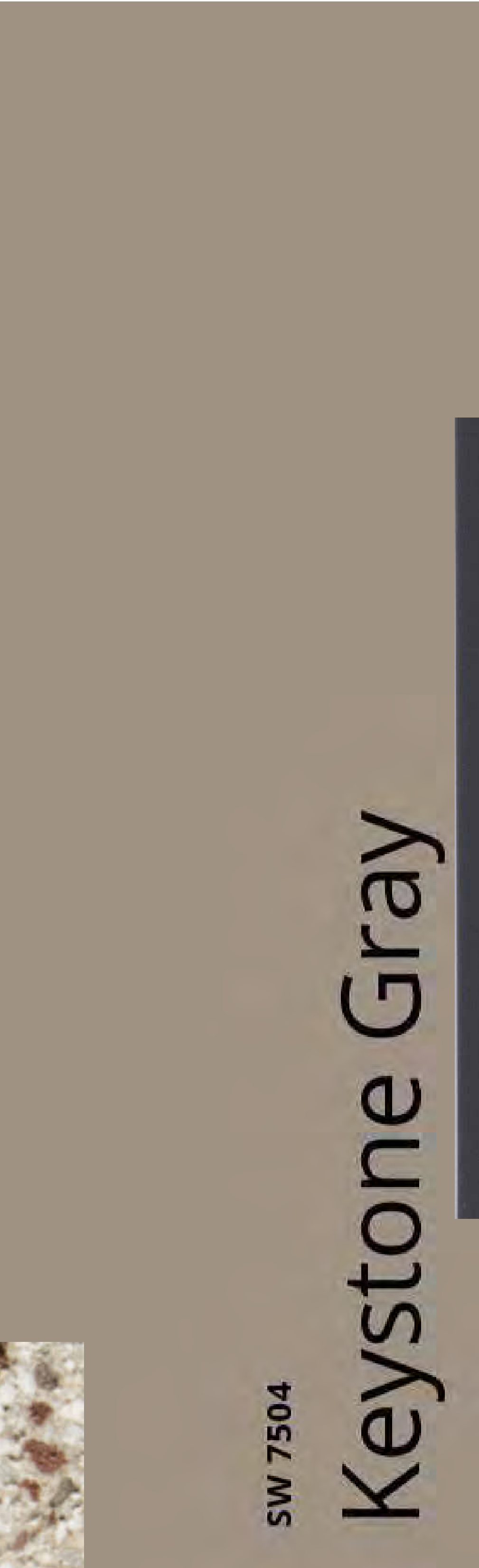


ARCHITECTURAL FINISH BLOCK -
ECHELON - TRENDSTONE PEARLY WHITE
LRV 36

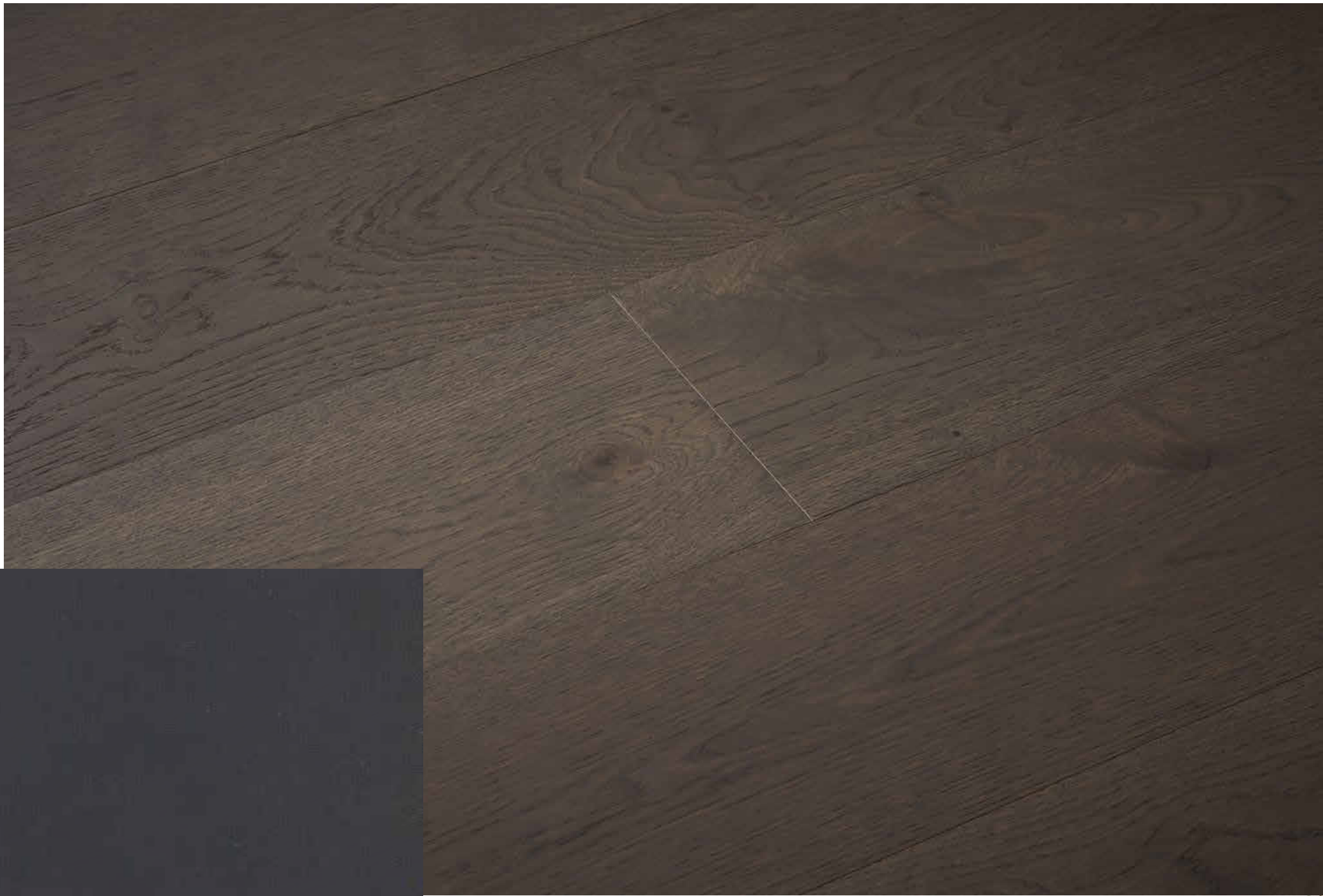


POOL LINER -
PEBBLE TEC - PEBBLE SHEEN BLUE GRANITE
LRV MAX. 36

STUCCO -
BENJAMIN MOORE - ROCKPORT GRAY
LRV 36



TONGUE & GROOVE CEILING -
HAVWOODS - ROTHBURY
LRV MAX. 36



TURF -
OLIVE PRO - SYNTHETIC TURF 70 OZ.
LRV 26



BREAKMETAL FASCIA -
OLD COUNTRY MILLWORK - MATTE BLACK
LRV EST. 2-7



EXTERIOR PAVERS & POOL COPING -
MONTERREY TILE - DESERT PORCELAIN
LRV MAX. 38



EXTERIOR STONE VENEER -
SOLSTICE STONE - MESQUITE BRUSHED
LRV 33



DRIVE PAVERS -
ACKER STONE - PALERMO
LRV MAX. 38



MAIN DRIVE MATERIAL -
ACID ETCHED CONCRETE - SANDSTONE 5237
LRV MAX. 38



AGGREGATE -
MADISON GOLD 3/4" D
LRV MAX. 30

STRATTON
ARCHITECTS

A. 5203 East Lincoln Drive Paradise Valley, Arizona 85253
P. (860) 331-0701

STEWART RESIDENCE

5625 E INDIAN BEND RD
PARADISE VALLEY 85253
Project No.25-05



Action Report

File #: 26-011

AGENDA TITLE:

**Concept Review for a New Single Family Residence
5611 E Road Runner Lane (APN 168-77-004)**

STAFF CONTACT:

Jose Mendez, 480-348-3519

Juan Gonzalez Jr., 480-348-3528

TOWN *of* PARADISE VALLEY



STAFF REPORT

TO: Hillside Building Committee

FROM: Chad Weaver, Community Development Director
Shar Johnson, Town Engineer
Paul Michaud, Planning Manager
Jose Mendez, Hillside Development Planner
Juan Gonzalez Jr., Hillside Associate Engineer

DATE: January 14, 2026

DEPARTMENT: Community Development Department

Jose Mendez, (480)348-3519

Juan Gonzalez Jr., (480)348-3528

AGENDA TITLE:

Concept Review

New Single-Family Residence

Stratton Architects

5611 E Road Runner Lane (APN 168-77-004)

HILL-25-27

RECOMMENDATION:

No recommendation is provided for the Concept Review meeting. The Hillside Building Committee will discuss, review, and give guidance to the applicant for Case HILL-25-27, a request by Stratton Architects, at 5611 E Road Runner Lane, for a new 28,792 SF Single-Family Residence with attached Casita.

BACKGROUND/DISCUSSION/SUMMARY (PROVIDED BY APPLICANT)

The request is to construct a new 28,792 square-foot Single-Family Residence, with attached casita and to provide on-site retention.

Lot Data	
1. Area of Lot	5.089 ac or 221,685 SF
2. Area Under Roof	28,792 SF
3. Floor Area Ratio	12.99%
4. Building Site Slope	17.6%
5. Allowable Disturbed Area	54,224 SF (39.09%)
6. Existing Gross Disturbed Area	86,658 SF (34.67%)
7. Proposed Disturbed Area	30,467 SF (13.75%)

8. Maximum Building Height	Approximately 24 ft - 0 in
9. Overall Height	Approximately 40 ft - 0 in
10. Volume of Cut/Fill	9,766 C.Y.
11. Hillside Assurance	\$331,800

Single Family Residence

The request is to construct a new 28,792 SF Single-Family Residence with an attached Casita.

Variance

N/A.

Guesthouse and/or Accessory Structures

N/A

Driveway

An existing driveway accessing the property from E Road Runner Road.

Pool

N/A.

Solar

No Proposed Solar.

Walls and Fences

The applicant is proposing retaining walls varying in height from 6 feet to 12 feet in height. All meet setback requirements and are within the allowable height requirements. Retaining walls that exceed the allowable 8 feet are apart of the home itself, which is built into the Hillside.

Building Materials

The applicant has provided preliminary building materials for committee review. Materials subject to approval prior to Formal Review. All materials shall have a Light Reflective Value (LRV) of 38 or less, per Hillside Development Regulations.

Hardscape Materials

The applicant has provided preliminary hardscape materials. Materials subject to approval prior to Formal Review. All materials shall have a Light Reflective Value (LRV) of 38 or less, per Hillside Development Regulations.

Building Lighting

The applicant has provided a preliminary building lighting plan. Building lighting plan is subject to approval prior to formal review.

Landscape & Driveway Lighting

The applicant has provided a preliminary landscape or driveway lighting plan. Landscape and driveway lighting plan is subject to approval prior to formal review.

Landscaping

The applicant has provided a preliminary landscape plan. Plan is subject to approval prior to formal review.

Mountain Profile Inviolate

At and above an elevation of 1,500 feet mean sea level, no development shall occur which will alter the mountain top ridge lines. Further, no structure may extend above a plane that originates on the Primary Ridge Line and angles downward from the Primary Ridge Line by twenty degrees. The property is not within the vicinity of a Primary Ridge Line and no further restrictions shall apply.

Land Disturbance

86,658 SF of disturbance currently exists on the lot and the building pad slope of 17.6% allows a disturbance of 54,224 SF (39.09%) on the lot. The applicant is proposing 30,467 SF (13.75 %) which is less than the allowable 54,224 SF of existing disturbance on site.

Grading and Drainage

The proposed construction of the property shall be required to properly retain the greater of "pre vs post" or "first flush" storm water volumes for the 100-year, 2-hour rainfall event per the Town's Storm Drainage Design Manual requirements. All historic flows shall be required to maintain the same entry and exit points on the property. The applicant is proposing to mitigate on-site retention with surface basins, 12"x12" catch basins in connection with 4", 6", 12" and 18" pipes for conveyance, as well as check dams for water dissipation.

Sewer

The existing site will connect to septic.

Fire Protection

Applicant to meet with Fire Marshal prior to formal review for Fire Safety measures.

Hillside Safety Improvement Plan

The Applicant was not required to submit a Hillside Safety Improvement Plan prior to Concept Review.

ANALYSIS:

The applicant has proposed a Major Remodel that meets the minimum requirements of the Concept Review.

STIPULATIONS:

No stipulations are provided for the Concept Review.

REQUIRED ACTION:

The purpose of the Concept Plan Review meeting is to discuss, review, and give suggestions and guidance to the applicant.

NOTICING:

Public notification was performed in accordance with the public hearing process. Staff received no comments.

NEXT STEPS:

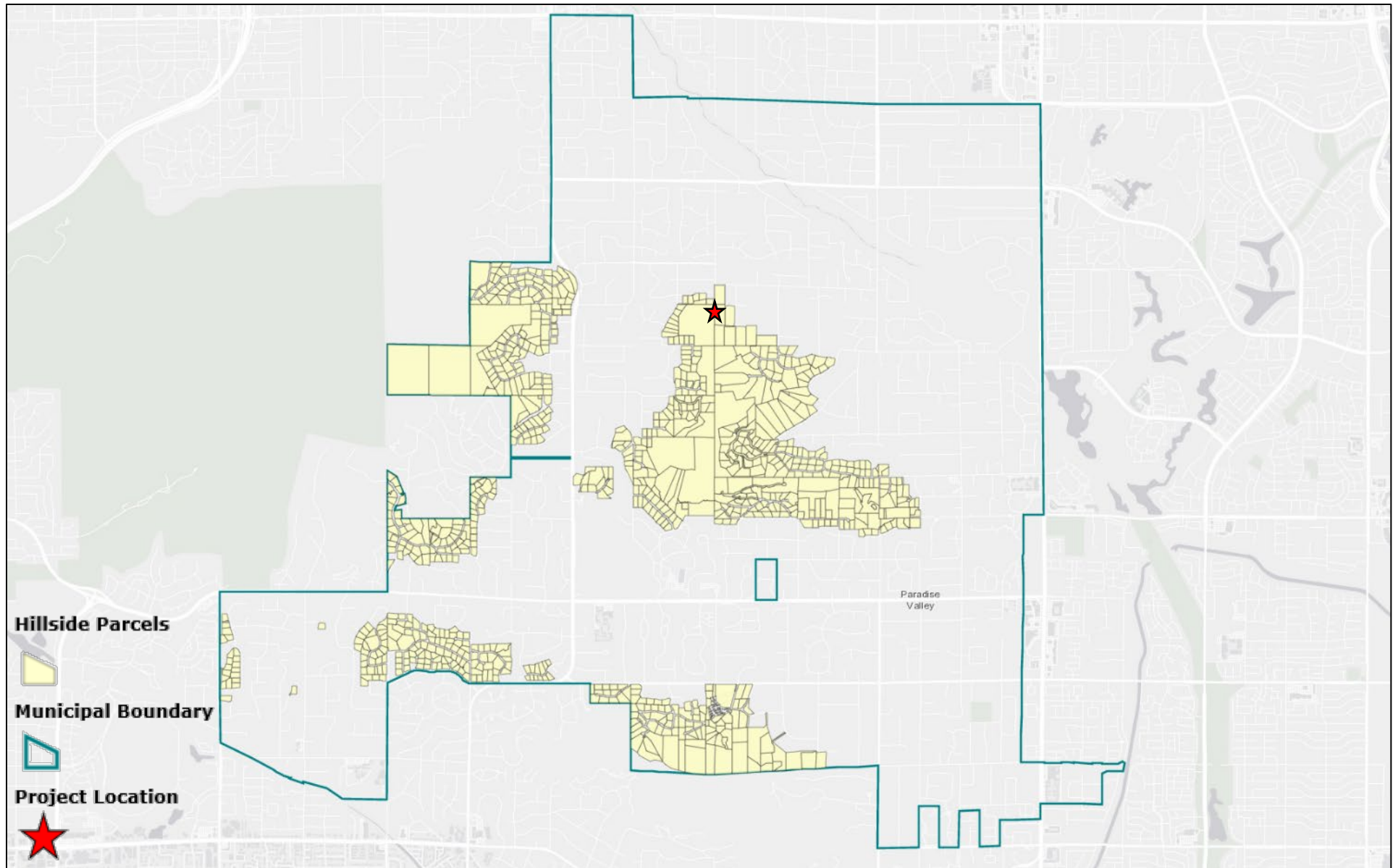
A detailed set of plans will be submitted for the Formal Review in accordance with Article XXII, Section 2206.I.

ATTACHMENTS:

- A. Staff Report
- B. Hillside & Vicinity Maps
- C. Application
- D. Notification Materials
- E. Plans

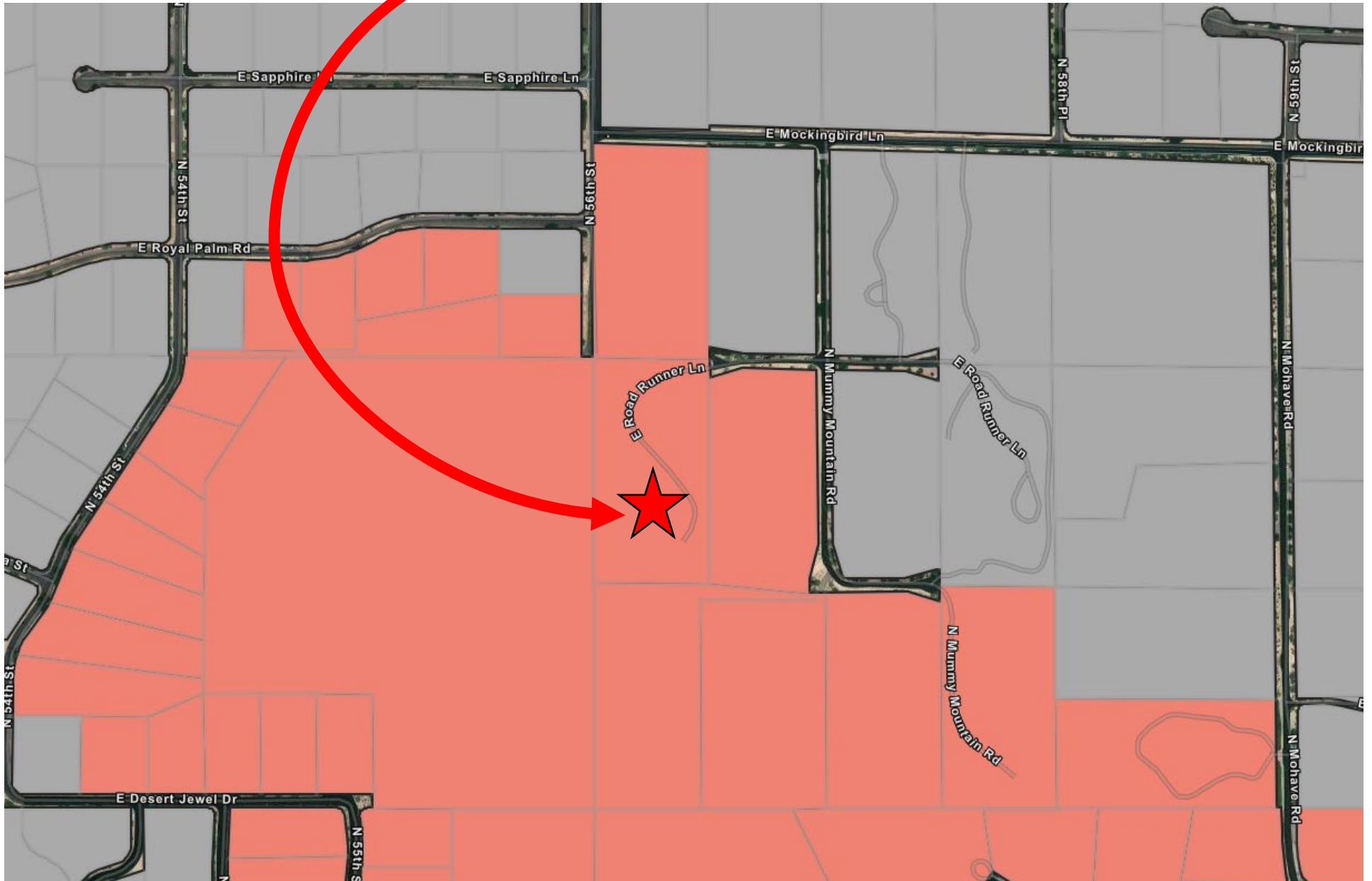
HILLSIDE MAP (OVERVIEW)

5611 E Road Runner Lane



ZONING MAP (ZOOM)

5611 E Road Runner Lane



VICINITY MAP (ZOOM)
5611 E Road Runner Lane



ARCHITECT:

PRINT NAME	Stratton	PHONE NUMBER	(860) 331-0701
Andrews			
ADDRESS	7026 N Longlook Road Paradise Valley AZ		

ENGINEER:

PRINT NAME	Nick	PHONE NUMBER	(602) 889-1984
Prodanov			
ADDRESS	8808 N Central Ave Suite 288 Phoenix AZ		

OWNER:

PRINT NAME	Mark	PHONE NUMBER	(602) 680-8011
Rukavina			
ADDRESS	5524 N Quail Run Road, Paradise Valley AZ		

	11/14/2025
OWNER OR AUTHORIZED AGENT SIGNATURE	DATE



Hillside Conceptual Plan Review Notification

December 15, 2025

Subject: Conceptual Plan Review for a new custom hillside home

Dear Property Owner,

An application has been submitted to the Town of Paradise Valley for a new custom hillside home located at 5611 E Road Runner Ln. In compliance with Town requirements, this letter is being sent to you as a courtesy to inform you of the pending application. The Hillside Building Committee will be reviewing this application on January 14th, 2026 at 8:00 AM at the Paradise Valley Town Hall located at 6401 East Lincoln Drive.

The purpose of Conceptual Plan Review meeting is to discuss, review, and provide suggestions and guidance to the Applicant regarding the proposed development including:

- Location of the building pad, driveway, and accessory uses
- Significant natural features
- Preservation of existing vegetation
- Grading concepts and their adaptation to the natural hillside topography

The Conceptual meeting provides suggestions and guidance for the Applicant. Prior to final approval of this application, there will be a Formal Hillside Building Committee Review Meeting. Notification will be sent to you for this meeting. Both meetings are open to the public and you may feel free to attend.

If you have any questions, please call me at 860-331-0701.

Sincerely,

Stratton Andrews

STRATTON
ARCHITECTS



Town of Paradise Valley
6401 E Lincoln Drive
Paradise Valley, AZ 85253
hillside@paradisevalleyaz.gov

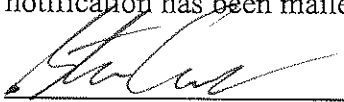
AFFIDAVIT OF MAILING NOTIFICATION

STATE OF ARIZONA)

) ss:

County of Maricopa)

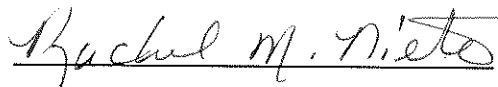
In accordance with the requirements of the Town of Paradise Valley, the undersigned hereby certifies that the mailing list for the proposed project is a complete list of property owners within 1900 feet of the subject property, as obtained from the Maricopa County Assessor's Office on the following date 12/12, 2025, and such notification has been mailed on the following date 12/16, 2025.



Signature

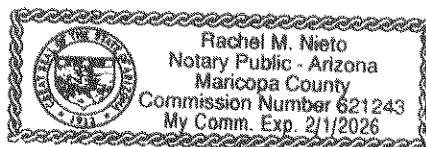
The foregoing instrument was acknowledged by me this 16th day of December, 2025, by Stratton David Andrew.

Name



NOTARY PUBLIC

My commission expires:

2/1/2026




*RENDERING REPRESENTS AN ARCHITECTURAL CONCEPT AND IS INTENDED AS AN ILLUSTRATIVE EXAMPLE ONLY. FINAL DESIGN, CONSTRUCTION AND MATERIALS, INCLUDING LANDSCAPE, MAY VARY.

ROAD RUNNER RESIDENCE - CONCEPTUAL HILLSIDE REVIEW

5611 E ROAD RUNNER LN
PARADISE VALLEY 85253
Project No. 25-16

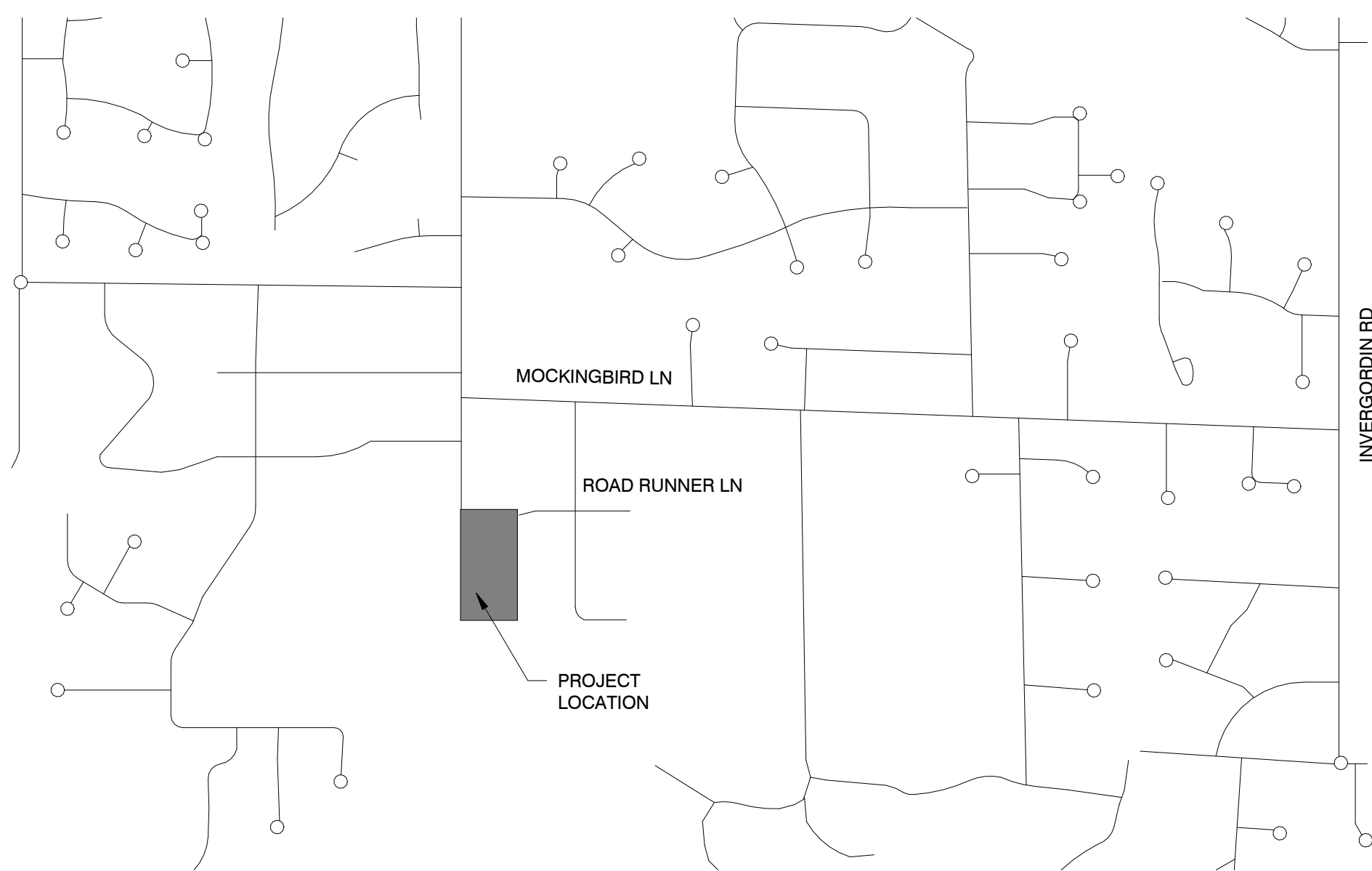
NEW HILLSIDE CUSTOM
HOME & CASITA FOR FAMILY

SHEET INDEX

- HS-0 COVER SHEET
- C-1 PRELIMINARY GRADING & DRAINAGE PLAN COVER SHEET
C-2 PRELIMINARY GRADING & DRAINAGE IMPROVEMENT PLAN
- HS-1 ARCHITECTURAL SITE PLAN
HS-2 AERIAL OVERLAY - EXISTING SITE CONDITIONS
HS-3 AERIAL OVERLAY
HS-4 AERIAL OVERLAY
HS-5 LOWER LEVEL FLOOR PLAN
HS-6 MAIN LEVEL FLOOR PLAN
HS-7 ELEVATIONS
HS-8 SITE SECTIONS
HS-9 SITE SECTIONS
HS-10 EXTERIOR RENDERING
HS-11 EXTERIOR RENDERING
HS-12 EXTERIOR RENDERING
HS-13 EXTERIOR RENDERING
HS-14 EXTERIOR RENDERING
HS-15 EXTERIOR RENDERING
HS-16 EXTERIOR RENDERING
HS-17 SITE PHOTOS

- HS-18 MATERIALS BOARD
HS-19 LOWER LEVEL CUT/FILL
HS-20 MAIN LEVEL CUT/FILL
HS-21 3D TOPO OFFSET
- S0.0 HILLSIDE GENERAL STRUCTURAL NOTES AND DETAILS
- L0.0 LANDSCAPE COVER
L2.0A NATIVE PLANT INVENTORY
L2.0B NATIVE PLANT INVENTORY
L2.1 OVERALL LAYOUT PLAN
L2.2 ENLARGED LAYOUT PLAN
L2.3 ENLARGED LAYOUT PLAN
L3.1 OVERALL PLANTING PLAN
L3.2 ENLARGED PLANTING PLAN
L3.3 ENLARGED PLANTING PLAN
L4.1 IRRIGATION PLAN
L5.1 LIGHTING PLAN
L7.1 PLANTING DETAILS
L8.1 PLANTING SPECIFICATIONS
L8.2 IRRIGATION SPECIFICATIONS

VICINITY MAP



FDR	CONCEPTUAL HILLSIDE
DATE	11.25.2025
REV.	

COVER SHEET

HS-0

OF SHEETS

STRATTON
ARCHITECTS

7026 N Longlook Way, Paradise Valley, Arizona 85253
(800) 331-0701



ROAD RUNNER
RESIDENCE

5611 E Road Runner Lane
Paradise Valley AZ 85253
Project No. 25-16

TOWN OF PARADISE VALLEY NOTES

- GRADING SHALL BE IN CONFORMANCE WITH 2018 IBC.
- PRIOR TO FIRST FOOTING INSPECTION OF ANY TYPE, ALL PROPERTY PINS SHALL BE PLACED BY A REGISTERED LAND SURVEYOR OF THE STATE OF ARIZONA, AND PROPERTY LINES MUST BE PHYSICALLY IDENTIFIED PRIOR TO INSPECTION.
- WHERE EXCAVATION IS TO OCCUR THE TOP 4" OF EXCAVATED NATIVE SOIL SHALL REMAIN ON THE SITE AND SHALL BE REUSED IN A MANNER THAT TAKES ADVANTAGE OF THE NATURAL SOIL. SEED BANK IT CONTAINS.
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) SPECIFICATIONS AND STANDARD DETAILS.
- ALL EXTERIOR SITE LIGHTING SHALL COMPLY WITH REQUIREMENTS OF SECTION 2208 OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES FOR FUTURE TYPE, LOCATION, HEIGHT, WATTAGE BASED UPON FIXTURES INSTALLED.
- A DUST CONTROL PLAN MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
- A SEPARATE PERMIT IS NECESSARY FOR ANY OFFSITE CONSTRUCTION.
- AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
- EAVE PROJECTIONS INTO REQUIRED SETBACKS ARE LIMITED TO A MAXIMUM OF 24" PURSUANT TO SECTION 100B OF THE TOWN OF PARADISE VALLEY ZONING ORDINANCES.
- ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
- ALL NEW AND EXISTING ELECTRICAL SERVICE TO BE BURIED UNDERGROUND PER THE TOWN OF PARADISE VALLEY STANDARDS.
- POOL, SPA, BARBECUE AND ANY PROPOSED STRUCTURES OVER 8 INCHES ABOVE GRADE REQUIRE SEPARATE PERMIT APPLICATIONS.
- POOLS SHALL BE CONSTRUCTED BY SEPARATE PERMIT AND SECURED FROM UNWANTED ACCESS PER SECTION 5-2-2 OF THE TOWN OF PARADISE VALLEY ORDINANCES.
- SETBACK CERTIFICATION IS REQUIRED AND MUST BE GIVEN TO TOWN INSPECTOR AT STEM WALL INSPECTION.
- MAIL BOX TO COMPLY WITH THE TOWN OF PARADISE VALLEY STANDARDS FOR MAIL BOXES IN THE R.O.W. FOR HEIGHT, WIDTH AND BREAK AWAY FEATURES.
- ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE. ALL LAWN AREAS ADJOINING WALKS OR SLABS WILL BE GRADED TO 2" BELOW THE TOP OF SLAB. TYPICAL FINISHED GRADE AROUND PERIMETER OF BUILDING IS MINUS 6" BELOW FINISHED FLOOR UNLESS SPECIFIED OTHERWISE.
- ALL MATERIAL TO BE UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95% PER ASTM D698.
- SOILS COMPACTION TEST RESULTS MUST BE SUBMITTED TO THE TOWN ENGINEER'S OFFICE FOR BUILDING PADS THAT HAVE ONE (1) FOOT OR MORE OF FILL MATERIAL INDICATED. THIS INFORMATION MUST BE SUPPLIED PRIOR TO REQUEST FOR FINAL INSPECTION.
- TRENCH BED SHALL BE FREE OF ROCKS AND DEBRIS.
- LOWEST FLOOR ELEVATION CERTIFICATE (LFE) IS REQUIRED AND SHALL BE UPLOADED TO YOUR PERMIT DOCUMENTS PRIOR TO SCHEDULING OF STRAP SHEAR INSPECTION.
- REGULATION II RULE 20-3 OF THE MARICOPA COUNTY HEALTH DEPARTMENT, BUREAU OF AIR POLLUTION CONTROL SHALL BE OBSERVED AND ENFORCED.
- ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL CITY OR TOWN UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
- THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL STATE, AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO THE CONSTRUCTION COVERED BY THIS PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
- ALL CONSTRUCTION IN THE PUBLIC RIGHTS-OF-WAY OR IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) UNIFORM STANDARD SPECIFICATIONS AND UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION.
- THE TOWN ONLY APPROVES THE SCOPE, NOT THE DETAIL, OF ENGINEERING DESIGNS; THEREFORE, IF CONSTRUCTION QUANTITIES ARE SHOWN ON THESE PLANS, THEY ARE NOT VERIFIED BY THE TOWN.
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- ENCROACHMENT PERMITS ARE REQUIRED FOR ALL WORK IN PUBLIC RIGHTS-OF-WAY AND EASEMENTS GRANTED FOR PUBLIC PURPOSES. AN ENCROACHMENT PERMIT WILL BE ISSUED BY THE TOWN ONLY AFTER THE REGISTRANT HAS PAID A BASE FEE PLUS A FEE FOR INSPECTION SERVICES. COPIES OF ALL PERMITS MUST BE RETAINED ON-SITE AND BE AVAILABLE FOR INSPECTION AT ALL TIMES. FAILURE TO PRODUCE THE REQUIRED PERMITS WILL RESULT IN IMMEDIATE SUSPENSION OF ALL WORK UNTIL THE PROPER PERMIT DOCUMENTATION IS OBTAINED.
- ALL EXCAVATION AND GRADING THAT IS NOT IN THE PUBLIC RIGHTS-OF-WAY OR NOT IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO CHAPTER 70, EXCAVATION AND GRADING, OF THE LATEST EDITION OF THE IBC BY THE ICC. A PERMIT FOR THIS GRADING MUST BE SECURED FROM THE TOWN FOR A FEE ESTABLISHED BY THE UNIFORM BUILDING CODE.
- EXCAVATIONS SHALL COMPLY WITH REQUIREMENTS OF OSHA EXCAVATION STANDARDS (29 CFR, PART 1926, SUBPART P). UNDER NO CIRCUMSTANCES WILL THE CONTRACTORS BE ALLOWED TO WORK IN A TRENCH LOCATED WITHIN THE TOWN'S RIGHT-OF-WAY WITHOUT PROPER SHORING OR EXCAVATION METHODS.
- ON DEMOLITION, GRADING, REMODELING AND NEW CONSTRUCTION PROJECTS, PERMITTEE MUST NOTIFY ADJACENT PROPERTY OWNERS REGARDING THE NATURE OF THE PROJECT, THE TIME PERIOD FOR CONSTRUCTION, AND ANY UNUSUAL ACTIVITIES THAT MAY CAUSE DISRUPTION OF THE NORMAL COURSE OF TRAFFIC DURING CONSTRUCTION.
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- CLEAR ACCESS FOR NEIGHBORING PROPERTIES AND EMERGENCY VEHICLES MUST BE MAINTAINED AT ALL TIMES. CONSTRUCTION RELATED VEHICLES MUST BE LEGALLY PARKED ONLY ON ONE SIDE OF THE STREET OR JOB SITE PROPERTY. IF A STAGING AREA IS NEEDED ON A PROPERTY OTHER THAN THE CONSTRUCTION SITE FOR CONSTRUCTION SUPPLIES AND EQUIPMENT, THE PERMITTEE MUST OBTAIN PROPERTY OWNER AND TOWN APPROVAL FIRST AND MUST INFORM THE ADJACENT PROPERTY OWNERS OF THE LOCATION OF STAGING AREA, AND TIME AND HOURS DURING THE DAY THE AREA WILL BE USED.
- EXCEPT AS OUTLINED IN ITEM 4, ALL CONSTRUCTION DEBRIS AND EQUIPMENT MUST BE CONTAINED ON SITE AT ALL TIMES. CONTRACTOR AND PROPERTY OWNER MUST MAINTAIN THE JOB SITE FREE OF LITTER AND UNSIGHTLY MATERIALS AT ALL TIMES. CONSTRUCTION MATERIALS ARE PROHIBITED IN THE TOWN RIGHT-OF-WAY OR NEAR ADJACENT PROPERTIES.
- BUILDING CONSTRUCTION MUST NOT START SOONER THAN SUNRISE AND MUST STOP NO LATER THAN SUNSET. ALSO, ORDINANCE #661 IMPOSES RESTRICTIONS ON CONSTRUCTION WORK ON SATURDAYS, SUNDAYS AND MAJOR BUSINESS HOLIDAYS. HILLSIDE PROJECTS MAY HAVE ADDITIONAL RESTRICTIONS. EQUIPMENT WITH AUDIBLE REVERSE DIRECTION WARNINGS MUST NOT BE OPERATED PRIOR TO 7:00 A.M.
- THE USE AND OPERATION OF FUEL-FIRED GENERATORS ON ANY CONSTRUCTION SITE, NEW, EXISTING OR REMODELING, IS PROHIBITED UNLESS DUE TO A HARSHIP TOWN APPROVAL IS OBTAINED.
- THE CONTRACTOR AND PROPERTY OWNER WILL BE LIABLE FOR ANY DAMAGE DONE TO ANY PUBLIC PROPERTY AS A RESULT OF ANY CONSTRUCTION OR CONSTRUCTION RELATED ACTIVITIES. NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL AFFECTED RIGHTS-OF-WAY ARE CLEANED AND/OR REPAIRED TO THEIR ORIGINAL CONDITION AND UNTIL ANY AND ALL DAMAGES TO AFFECTED PROPERTIES ARE RESTORED TO ORIGINAL CONDITION, OR UNTIL SUCH TIME THAT A WRITTEN, SIGNED AND LEGALLY BINDING AGREEMENT HAS BEEN REACHED BY THE PARTIES INVOLVED TO REMEDY ANY VIOLATION WITHIN A REASONABLE TIME PERIOD, AND UNTIL ALL REQUIRED FEES ARE PAID IN FULL.
- THE NATURAL FLOW OF RAINWATER AND OTHER SURFACE DRAINAGE FROM THE PROPERTY MAY NOT BE ALTERED IN ANY WAY.
- A KEY SWITCH SHALL BE REQUIRED ON ALL NEW AND EXISTING ELECTRIC ENTRY CONTROL GATES. THE KEY SWITCH SHALL BE INSTALLED IN A LOCATION ON THE GATE CONTROL PANEL THAT IS READILY VISIBLE AND ACCESSIBLE. KNOX BOX ORDER FORMS ARE AVAILABLE AT THE PARADISE VALLEY BUILDING DEPARTMENT.
- ALL EQUIPMENT ON OR AFFECTING THE JOB MUST BE CLEANED ONLY IN A PRE-DETERMINED AND DESIGNATED AREA. DEBRIS AND RUNOFF FROM SAID AREA MAY NOT EXTEND BEYOND THE BUILDING AREA.
- PROPERTY OWNER, BUILDER, OR GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR CONTROLLING DUST FROM THE SITE AT ALL TIMES. ALL MEANS NECESSARY SHALL BE USED BY THE BUILDER OR GENERAL CONTRACTOR TO CONTROL THE EXISTENCE OF DUST CAUSED BY ANY EARTHWORK, SPRAY APPLICATION OF MATERIALS, OR OTHER DUST-CAUSING PRACTICES REQUIRED BY THE CONSTRUCTION PROCESS.
- AN INSPECTION FEE WILL BE CHARGED IF THE INSPECTION IS REQUIRED AS A RESULT OF A CODE VIOLATION.
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ENGINEERS NOTES

- MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION INCLUDING LATEST REVISION AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL TOWN OR CITY) ARE INCORPORATED INTO THIS PLAN IN THEIR ENTIRETY.
- ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL CITY OR TOWN UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
- GRADING SHALL BE IN CONFORMANCE WITH 2018 IBC, SEC. 1903, AND APPENDIX J.
- 5% MINIMUM SLOPE AWAY FROM BUILDING FOR A MINIMUM 10', U.N.O.
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) SPECIFICATIONS AND STANDARD DETAILS.
- A DUST CONTROL PLAN MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
- A SEPARATE PERMIT IS NECESSARY FOR ANY OFFSITE CONSTRUCTION.
- AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
- ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTOR DITCHES, PIPES, PROTECTIVE BERMS, BARRIER WALLS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT ADJACENT BUILDINGS OR PROPERTY FROM STORM RUNOFF MUST BE COMPLETED PRIOR TO BUILDING CONSTRUCTION.
- ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
- ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE. ALL LAWN AREAS ADJOINING WALKS OR SLABS WILL BE GRADED TO 2" BELOW THE TOP OF SLAB. TYPICAL FINISHED GRADE AROUND PERIMETER OF BUILDING IS MINUS 6" BELOW FINISHED FLOOR UNLESS SPECIFIED OTHERWISE.
- ALL MATERIAL TO BE UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95% PER ASTM D698.
- SOILS COMPACTION TEST RESULTS MUST BE SUBMITTED TO THE TOWN ENGINEER'S OFFICE FOR BUILDING PADS THAT HAVE ONE (1) FOOT OR MORE OF FILL MATERIAL INDICATED. THIS INFORMATION MUST BE SUPPLIED PRIOR TO REQUEST FOR FINAL INSPECTION.
- TRENCH BED SHALL BE FREE OF ROCKS AND DEBRIS.
- LOWEST FLOOR ELEVATION CERTIFICATE (LFE) IS REQUIRED AND SHALL BE UPLOADED TO YOUR PERMIT DOCUMENTS PRIOR TO SCHEDULING OF STRAP SHEAR INSPECTION.
- REGULATION II RULE 20-3 OF THE MARICOPA COUNTY HEALTH DEPARTMENT, BUREAU OF AIR POLLUTION CONTROL SHALL BE OBSERVED AND ENFORCED.
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- THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL STATE, AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO THE CONSTRUCTION COVERED BY THIS PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
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FLOOD INSURANCE RATE MAP (FIRM) DATA

COMMUNITY #	PANEL #	SUFFIX	BASE FLOOD ELEVATION
040049	1765 OF 4425	L	
MAP #	PANEL DATE	FIRM INDEX DATE	ZONE
04013C	10/16/2013	11/04/2015	X*

*AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

SHEET INDEX

- C-1 COVER SHEET
C-2 GRADING AND IMPROVEMENT PLAN DETAILS
C-3 GRADING AND IMPROVEMENT PLAN BASEMENT LEVEL

PRELIMINARY GRADING & DRAINAGE PLAN

RUKAVINA RESIDENCE

5611 E ROAD RUNNER LN., PARADISE VALLEY, AZ 85253

LOT 12 - MUMMY MOUNTAIN ESTATES

A SUBDIVISION PLAT RECORDED IN BOOK 49 OF MAPS, PAGE 40, MCR.,
LOCATED IN A PORTION OF THE NW 1/4 OF THE SW 1/4 OF THE SW 1/4 OF SECTION 33, T.3N, R.4E
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

LEGEND

- BRASS CAP FLUSH
- FOUND REBAR OR AS NOTED
- CALCULATED POINT
- PROPERTY LINE
- MONUMENT LINE
- CATV, PHONE
- ELECTRIC LINE
- FENCE
- TRANSFORMER
- WATER METER
- TELEPHONE PEDESTAL
- EXISTING CONTOUR
- EXIST. DRAINAGE FLOW
- EXIST. SPOT ELEVATION
- MESQUITE TREE
- PALO VERDE
- SAGUARO
- PROPOSED SPOT ELEVATION
- PROPOSED CONTOUR
- EXISTING DISTURBED AREA
- PROPOSED DISTURBED AREA
- STORM DRAIN PIPE
- CATCH BASIN
- RETAINING WALL
- TOP OF PARAPET
- TOP OF WALL
- TOP OF RETAINING WALL
- FINISH GRADE
- BOTTOM OF WALL
- TOP OF FOOTING

ABBREVIATIONS

- BSL BUILDING SETBACK LINE
- (C) CALCULATED
- EG EXISTING GRADE
- EL, ELEV ELEVATION
- EP EDGE OF PAVEMENT
- ESMT EASEMENT
- EX, EXIST. EXISTING
- G GUTTER, GAS
- INV INVERT
- (M) MEASURED
- MCR MARICOPA COUNTY RECORDER
- P, P/MT PAVEMENT
- PUE PUBLIC UTILITY EASEMENT
- (R), REC. RECORDED
- R RADIUS
- R/W RIGHT OF WAY
- T TANGENT, TELEPHONE
- W WEST, WATERLINE
- WM WATER METER

UTILITIES

- WATER: CITY OF PHOENIX
SANITARY SEWER: SEPTIC
ELECTRIC: APS
TELEPHONE: CENTURY LINK, COX COMM.
NATURAL GAS: SOUTHWEST GAS
CABLE TV: CENTURY LINK, COX COMM.

DISTURBED AREA CALCULATIONS

- EXISTING LOT AREA: 221,685 S.F. (5.089 AC.)
AREA UNDER ROOF: 28,792 S.F.
FLOOR AREA RATIO: 12.99% < 25%
BUILDING PAD SLOPE: 17.6%
VERTICAL: 36 FT
HORIZONTAL: 204 FT
ALLOWABLE DISTURBED AREA: 54,224 S.F.
EXISTING DISTURBED AREA: 39.09%
EXISTING DISTURBED AREA: 86,658 S.F.
PROPOSED DISTURBED AREA: 34.67%
PROPOSED DISTURBED AREA: 76,869 S.F.
TOTAL LIVABLE FOOTPRINT: 18,827 S.F.
ATTACHED GARAGE FOOTPRINT: 2,248 S.F.
EXISTING CONTOUR: 25,327 S.F.
NET PROPOSED DISTURBED AREA: 30,467 S.F. (13.75%)
PERCENT OF LOT STEEPER THAN NATURAL GRADE (5% MAX.): 6,263 S.F. (2.83%)
VOLUME OF CUT: 3,844 C.Y.
VOLUME OF FILL: 6,122 C.Y.
TOTAL CUT&FILL: 9,766 C.Y.
HILLSIDE ASSURANCE = 35 TIMES THE GRADING PERMIT FEE.
GRADING PERMIT FEE: \$9,480
(\$168 FIRST 100 CY / \$96 EA. ADDITIONAL 100 CY).
ASSURANCE AMOUNT: \$331,800
ALL QUANTITIES LISTED ON THESE PLANS ARE ESTIMATES ONLY. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF THE QUANTITIES AND BASE THEIR BIDS ON THEIR ESTIMATES.

EARTHWORK QUANTITIES

- CUT: 3,844 C.Y.
FILL: 6,122 C.Y.
NET FILL: 2,478 C.Y.

- ALL QUANTITIES LISTED ON THESE PLANS ARE ESTIMATES ONLY. NO SHRINK OR SWELL IS ASSUMED. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF THE QUANTITIES AND BASE THEIR BIDS ON THEIR ESTIMATES.

PROJECT DESCRIPTION

- NEW SINGLE FAMILY RESIDENCE, NEW CASITA, NEW GARAGE, NEW DRIVEWAY, NEW POOL & SPA AND SITE IMPROVEMENTS WITH ON-SITE RETENTION.

GRADING SPECIFICATIONS

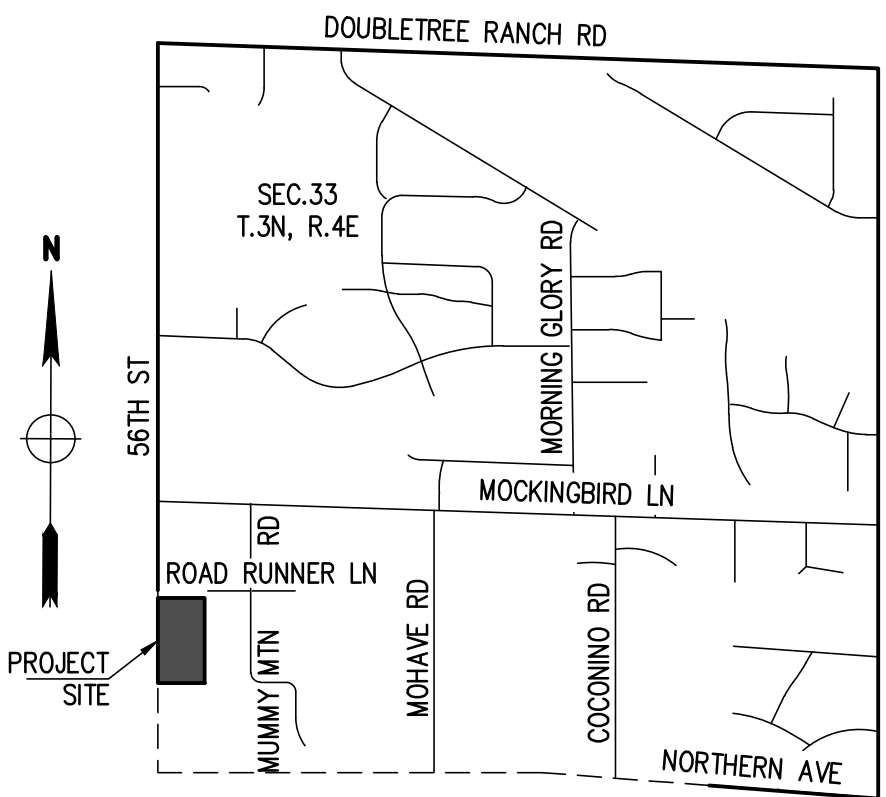
- EXCAVATION AND GRADING OF THIS SITE IS CLASSIFIED AS "ENGINEERED GRADING" PER 2015 I.B.C. AND WILL BE PERFORMED ACCORDINGLY.
- THE CONTRACTOR WILL RETAIN A SOILS ENGINEER DURING CONSTRUCTION TO INSPECT PROGRESS OF CONSTRUCTION, CONCERNING PREPARATION OF GROUND TO RECEIVE FILLS, TESTING AND REQUIRED COMPACTION STABILITY OF ALL FINISH SLOPES INCLUDING CUT SLOPES.
- COMPACTION SHALL COMPLY WITH M.A.G. SECTION 601 AND PROVISIONS AS SET FORTH IN THE SOILS REPORT.
- BEARING MATERIALS FOR FILL UNDER RESIDENCE PAD IF NATIVE MATERIAL IS USED. LARGE ROCK FRAGMENTS MUST BE REMOVED THAT ARE IN EXCESS OF SIX INCHES. REMAINING MATERIAL MUST BE SMALLER PARTICLES OF SAND AND ROCK THAT CAN BE COMPACTED INTO A DENSE CONDITION.
MAXIMUM PARTICLE SIZE: 6 INCHES
PERCENT PASSING NO. 4 SIEVE: 35% TO 70%
PERCENT PASSING NO. 200 SIEVE: 25% MAX.
PLASTICITY INDEX: 10% MAX.
- CUT-SLOPES: MAXIMUM ROCK CUT SLOPE TO BE 1.0 FEET HORIZONTAL TO 3.0 FEET VERTICAL PER GEOTECHNICAL STUDY.
6. SLOPES: MAXIMUM FILL SLOPE TO BE 2.0 FEET HORIZONTAL TO 1.0 FEET VERTICAL.
7. COMPACTION FILL MATERIAL MUST BE PLACED ON LEVELED BENCHES CUT INTO UNDISTURBED EXISTING HILLSIDE.
8. PLACE FILL IN HORIZONTAL LIFTS OF THICKNESS COMPATIBLE WITH THE COMPACTION EQUIPMENT USED. COMPACT TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM A.S.T.M. DENSITY AT THE OPTIMUM MOISTURE CONTENT OF ± TWO PERCENT. THIS PERTAINS TO ALL ENGINEERED STRUCTURAL FILL SUPPORTING STRUCTURES AND INCLUDING FILL UNDER ANY OF THE RETAINING WALLS. COMPACTION TEST RESULTS SHALL BE SUBMITTED TO THE SOILS ENGINEER AND TOWN OF PARADISE VALLEY BUILDING AND SAFETY DEPARTMENT.
- ANY RETAINING WALLS ADJACENT TO THE PROPERTY LINES WILL BE UNDER THE SCOPE OF SPECIAL INSPECTION BY THE SOILS ENGINEER. THE DEVELOPER SHALL NOTIFY THE ADJOINING PROPERTY OWNERS IN WRITING, TEN DAYS PRIOR TO START OF CONSTRUCTION ON THESE WALLS PER SECTION 2903-B OF IBC. THE DEVELOPER WILL HAVE TO PROVIDE MEANS OF PROTECTION OF ADJACENT PROPERTY WHILE THIS WORK IS UNDER CONSTRUCTION.
- ALL EXPOSED CUT AND FILL SHALL BE TREATED WITH AN APPROVED AGING AGENT TO MINIMIZE TO VISUAL CONTINUITY.
- NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL ALL HILLSIDE STIPULATIONS AND ALL TOWN CODE REQUIREMENTS ARE COMPLIED INCLUDING, BUT NOT LIMITED TO LANDSCAPING, GROUND RESTORATION, FIRE FLOW, FIRE SAFETY AND ALL ONSITE AND OFFSITE IMPROVEMENTS.
- ALL OUTDOOR LIGHTING SHALL BE IN CONFORMANCE WITH ARTICLE XXII OF THE TOWN ZONING ORDINANCE.
- ALL EXCESS FILL MATERIAL SHALL BE REMOVED FROM THE SITE WITH NO NEW SPILL SLOPES.
- NEW SINGLE FAMILY RESIDENCE, NEW CASITA, NEW DRIVEWAY, NEW GARAGE, NEW POOL & SPA AND SITE IMPROVEMENTS ARE PROPOSED WITH THIS PROJECT.
- PROPOSED DEVELOPMENT DOES NOT IMPACT DRAINAGE CONDITIONS OF ADJOINING LOTS.
- HISTORIC DRAINAGE PATTERNS ARE RESTORED AND PRESERVED.
- THE MINIMUM FINISH FLOOR ELEVATIONS SHOWN ARE SAFE FROM INUNDATION DURING A 100-YEAR PEAK RUN-OFF EVENT IF CONSTRUCTED PER THE APPROVED CIVIL PLANS.
- PROPOSED STORM DRAIN SYSTEM SHALL BE INSPECTED AND CLEANED FROM DEBRIS AND SILT AFTER EVERY MAJOR STORM EVENT.
- CHECK DAMS, RIPRAP AND BOULDERS ARE SPECIFIED AT ALL POINTS OF DISCHARGE TO MITIGATE EROSION AND TO CONVERT CONCENTRATED FLOWS BACK TO SHEET FLOWS.
- ON-SITE RETENTION IS PROVIDED FOR THE FIRST FLUSH STORM EVENT FOR THE LIMITS OF DISTURBANCE.

DRAINAGE STATEMENT

- ULTIMATE STORM OUTFALL IS AT THE NEAR OF SOUTHWESTERN PROPERTY CORNER AT ELEVATION OF 1378.00.
- NEW SINGLE FAMILY RESIDENCE, NEW CASITA, NEW DRIVEWAY, NEW GARAGE, NEW POOL & SPA AND SITE IMPROVEMENTS ARE PROPOSED WITH THIS PROJECT.
- PROPOSED DEVELOPMENT DOES NOT IMPACT DRAINAGE CONDITIONS OF ADJOINING LOTS.
- HISTORIC DRAINAGE PATTERNS ARE RESTORED AND PRESERVED.
- THE MINIMUM FINISH FLOOR ELEVATIONS SHOWN ARE SAFE FROM INUNDATION DURING A 100-YEAR PEAK RUN-OFF EVENT IF CONSTRUCTED PER THE APPROVED CIVIL PLANS.
- PROPOSED STORM DRAIN SYSTEM SHALL BE INSPECTED AND CLEANED FROM DEBRIS AND SILT AFTER EVERY MAJOR STORM EVENT.
- CHECK DAMS, RIPRAP AND BOULDERS ARE SPECIFIED AT ALL POINTS OF DISCHARGE TO MITIGATE EROSION AND TO CONVERT CONCENTRATED FLOWS BACK TO SHEET FLOWS.
- ON-SITE RETENTION IS PROVIDED FOR THE FIRST FLUSH STORM EVENT FOR THE LIMITS OF DISTURBANCE.

FIRE SPRINKLER SYSTEM

- FIRE SPRINKLER SYSTEM TO BE INSTALLED PER THE REQUIREMENTS OF THE TOWN OF PARADISE VALLEY AND IN ACCORDANCE WITH I.B.C. SECT. 904.2.2 AMD. AND 2018 IFG, SEC. 903.



VICINITY MAP

OWNER

MARKO ALFRED RUKAVINA III
AND CELINA MARIE RUKAVINA
5611 E ROAD RUNNER LN.,
PARADISE VALLEY, AZ 85253

ARCHITECT

STRATTON ARCHITECTS
5090 N 40TH ST, SUITE 170,
PHOENIX, AZ 85018
CONTACT: BAILEY CRAWFORD
P: 484-867-7008
BAILEY@STRATTON-ARCHITECTS.COM

SITE DATA

APN: 168-77-004
ADDRESS: 5611 E ROAD RUNNER LN.,
PARADISE VALLEY, AZ 85253
ZONING: R-175 HILLSIDE
LOT AREA: 221,685 S.F. (5.089 AC.)
QS #: 25-41

CIVIL ENGINEER

LAND DEVELOPMENT GROUP, LLC
8808 N CENTRAL AVE, SUITE 288
PHOENIX, AZ 85020
CONTACT: NICK PRODANOV, PE
P: 602 889 1984

TOTAL LIVABLE FOOTPRINT: 18,827 S.F.
GARAGE FOOTPRINT: 2,248 S.F.
TOTAL AREA UNDER ROOF: 28,792 S.F.
LOT COVERAGE: 12.99%

EXIST. DISTURBED AREA: 86,658 S.F. (1.989 AC.)
PROPOSED DISTURBANCE: 76,869 S.F. (1.765 AC.)

LEGAL DESCRIPTION

LOT 12, MUMMY MOUNTAIN ESTATES, ACCORDING TO BOOK 49 OF MAPS, PAGE 40, RECORDS OF MARICOPA COUNTY, ARIZONA.

BENCHMARK

BRASS CAP FLUSH AT THE INTERSECTION OF 56TH STREET AND MOCKINGBIRD LANE HAVING AN ELEVATION OF 1349.97 NAVD 88 DATUM, GDACS# 26101-1.

BASIS OF BEARINGS

THE FOUND EASTERLY LINE OF SUBJECT PROPERTY, THE BEARING OF WHICH IS N00°05'21"E.

FINISH FLOOR CERTIFICATION

I HEREBY CERTIFY THAT FINISHED FLOOR ELEVATIONS SHOWN ON THE PLAN OF 1421 & 1433 IS MINIMUM OF 12" ABOVE THE 100-YEAR STORM ELEVATION OF 1420, ACCORDING TO THE TOWN OF PARADISE VALLEY CODE OF ORDINANCE.

Nick Prodanov

11/21/25

REGISTERED CIVIL ENGINEER

DATE

APPROVAL

THIS SET OF PLANS HAS BEEN REVIEWED FOR COMPLIANCE WITH TOWN OF PARADISE VALLEY REQUIREMENTS PRIOR TO ISSUANCE OF PERMIT. THE TOWN NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. THIS COMPLIANCE APPROVAL SHALL NOT PREVENT THE TOWN ENGINEER FROM REQUIRING CORRECTIONS OF ERRORS OR OMISSIONS IN THE PLANS TO BE FOUND IN VIOLATION OF LAWS OR ORDINANCES.

TOWN ENGINEER

DATE

TOWN OF PARADISE VALLEY

PRELIMINARY GRADING & DRAINAGE PLAN COVER SHEET

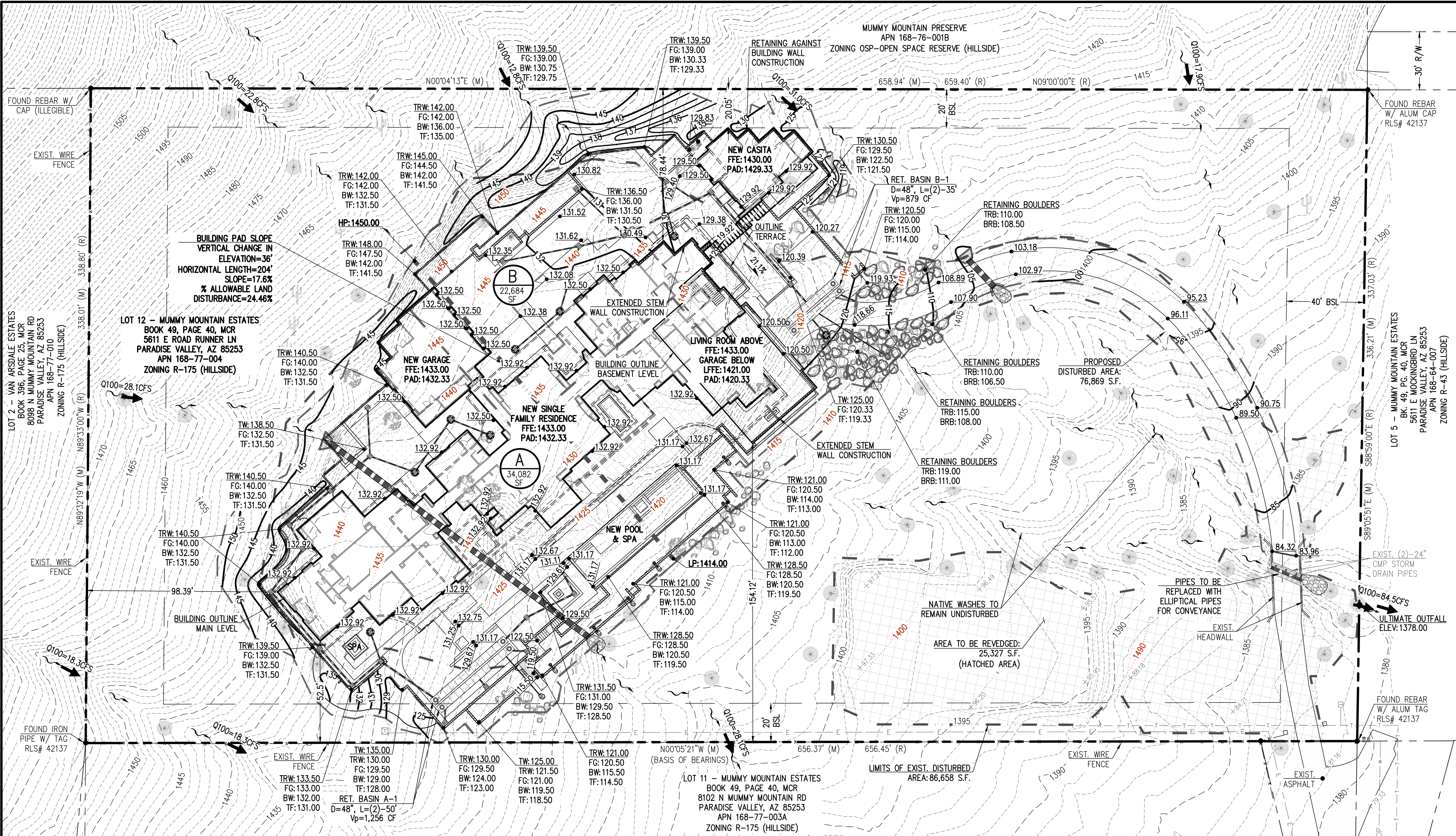
RUKAVINA RESIDENCE
5611 E ROAD RUNNER LN.,
PARADISE VALLEY, AZ 85253

P 602 889 1984 | F 602 445 9482
8808 N CENTRAL AVE., SUITE 288
PHOENIX, AZ 85020
PHOENIX@LDG.COM

Land DEVELOPMENT GROUP

PRELIMINARY GRADING & DRAINAGE PLAN
C-1
1 OF 2

Contact Arizona 811 at least two full working days before you begin excavation
ARIZONA 811
Call 811 or click Arizona811.com

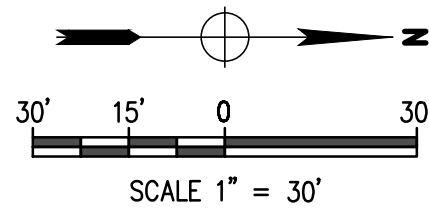


RETENTION CALCULATIONS

ON-SITE RETENTION FOR THE PRE VS. POST DEVELOPMENT RUNOFF FROM 100-YEAR, 2-HOUR STORM EVENT										
V=DxAx(Cw.post-Cw.pre)/12 D - RAINFALL DEPTH = 2.22" A - TRIBUTARY AREA, SF Cw - WEIGHTED RUNOFF COEFFICIENT										
VF=(DfAx(Cw.post)/12 Df - RAINFALL DEPTH = 0.5" FIRST FLUSH A - TRIBUTARY AREA, SF Cw - WEIGHTED RUNOFF COEFFICIENT										
DRAINAGE AREA	AREA	RUNOFF COEFFICIENT	VOLUME REQUIRED PRE VS POST	VOLUME REQUIRED FIRST FLUSH	RETENTION BASIN ID	CONTOUR ELEVATION	CONTOUR AREA	DEPTH	VOLUME PROVIDED	AS-BUILT VOLUME PROVIDED
	S.F.	Cw	C.F.	C.F.			S.F.	FT	C.F.	C.F.
A	34,150	0.19	1,200	1,252 (GOVERNS)	A5	UNDERGROUND RETENTION PIPE	L=100' D=48"		1,256	
TOTAL A			1,200	1,252					1,256	
B	22,684	0.20	839 (GOVERNS)	832	A5	UNDERGROUND RETENTION PIPE	L=70' D=48"		879	
TOTAL B			839	832					879	
TOTAL			2,040	2,084					2,135	

(1) RAINFALL DEPTH IS PER NOAA ATLAS 14, VOLUME 1, VERSION 5.
* RETENTION VOLUME IS CALCULATED FOR THE AREAS OF NEW DISTURBANCE, EXCLUDING AREAS THAT CARRY OFFSITE FLOWS.

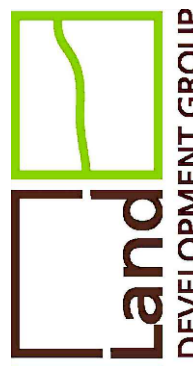
WEIGHTED RUNOFF COEFFICIENT, Cw PRE- DEVELOPMENT AREA A				WEIGHTED RUNOFF COEFFICIENT, Cw POST- DEVELOPMENT AREA A			
SURFACE TYPE	RUNOFF COEFFICIENT	AREA	C*AREA	SURFACE TYPE	RUNOFF COEFFICIENT	AREA	C*AREA
	C	SF			C	SF	
PAVEMENT & ROOF	0.95	0	0	PAVEMENT & ROOF	0.95	26,599	25,269
NATIVE HILLSIDE	0.70	34,150	23,905	NATIVE HILLSIDE	0.70	7,551	5,286
TOTAL		34,150	23,905	TOTAL		34,150	30,555
Cw = C * AREA / TOTAL AREA				Cw = C * AREA / TOTAL AREA			
			0.70				0.89



PRELIMINARY GRADING & DRAINAGE IMPROVEMENT PLAN

RUKAVINA RESIDENCE
5611 E ROAD RUNNER LN.,
PARADISE VALLEY, AZ 85253

P. 602.889.1984 | F. 602.445.9482
8808 N CENTRAL AVE., SUITE 288
PHOENIX, AZ 85020
PHOENIX@LDGENG.COM



C-2

2 OF 2

DATE: 11/21/25

JOB: 250417

DESIGNED BY: NP

VERSION: 1.1

DRAWN BY: CM & ZA

CHECKED BY: JI

PLOT DATE: 11/21/25

REVISIONS:

DATE:

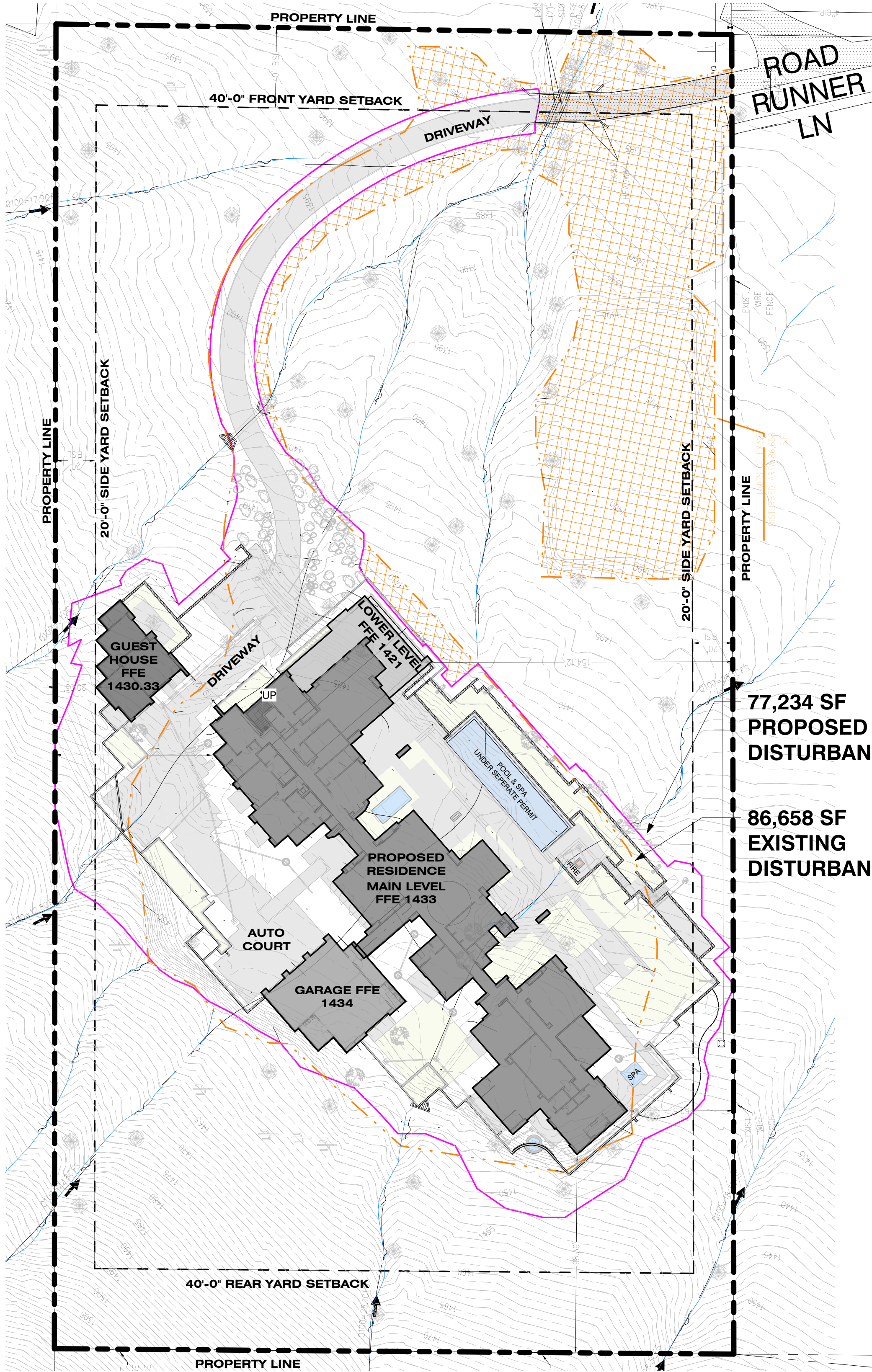
SCALE: 1"=30'

DESIGNED BY: NP

DRAWN BY: CM & ZA

CHECKED BY: JI

PLOT DATE: 11/21/25

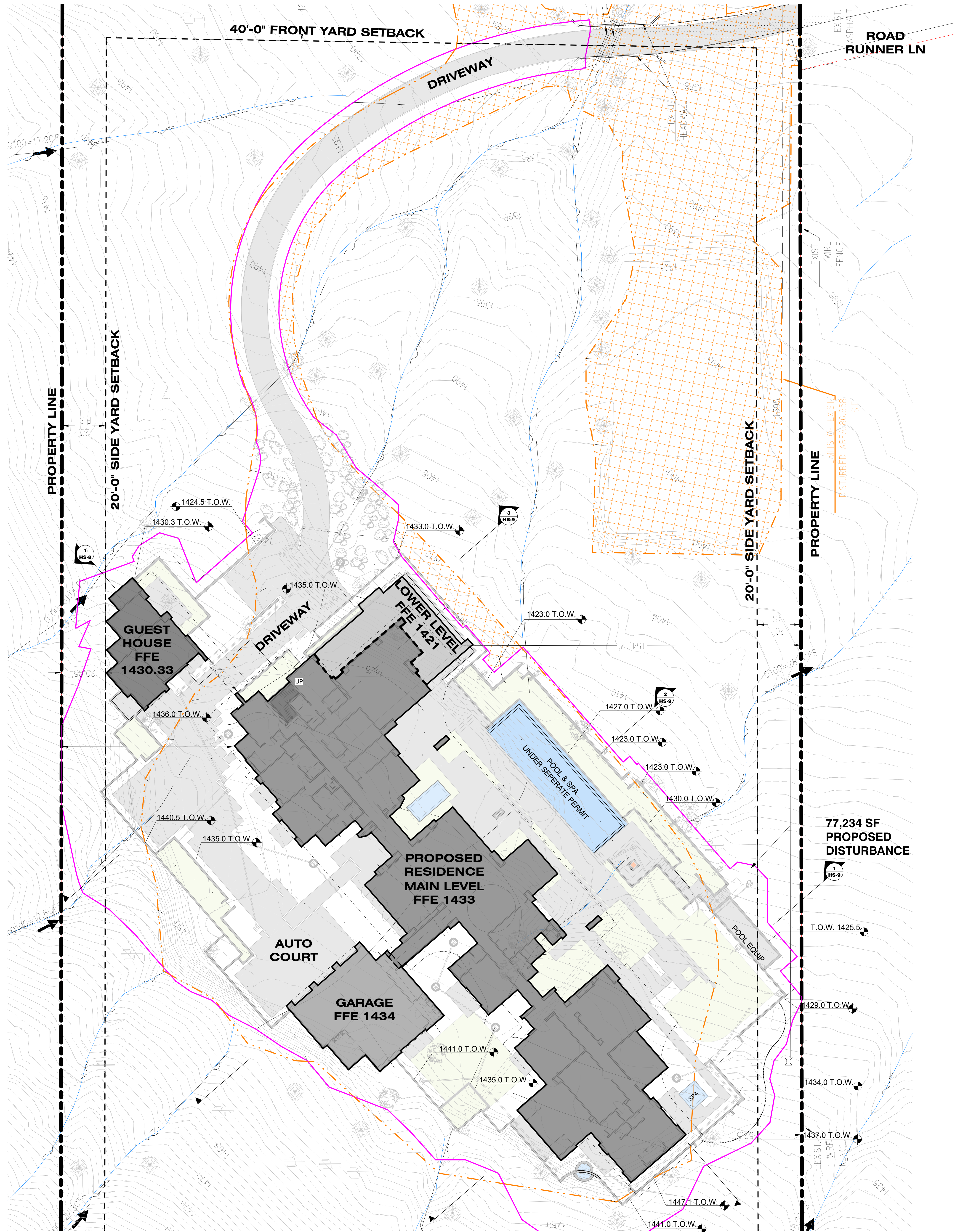


ARCHITECTURAL SITE PLAN

1" = 40'-0"



LOT SIZE: =221,685 SF
ALLOWABLE FAR -25% =55,421 SF
PROPOSED FAR =28,792 SF
BUILDING PAD SLOPE =17.6%
EXISTING DISTURBED =86,658 SF
PROPOSED DISTURBANCE AREA =77,234 SF



ARCHITECTURAL SITE PLAN

1" = 20'-0"



ROAD RUNNER RESIDENCE

5611 E Road Runner Lane
Paradise Valley AZ 85253
Project No. 25-16

STRATTON ARCHITECTS

7026 N Longlook Way, Paradise Valley, Arizona 85253
(800) 331-0701

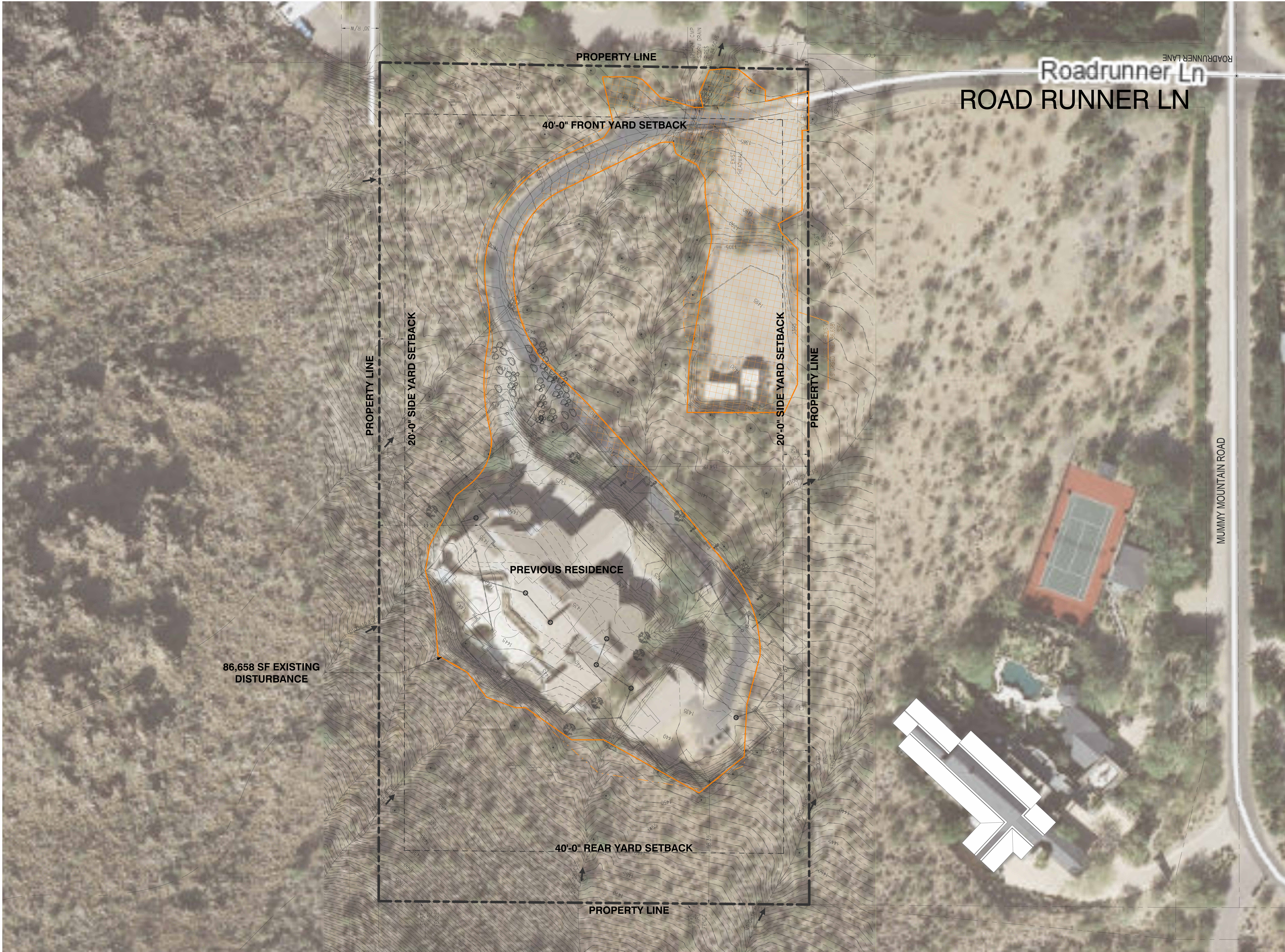


FOR CONCEPTUAL HILLSIDE
DATE 11.25.2025
REV.

ARCHITECTURAL SITE PLAN

HS-1

OF SHEETS



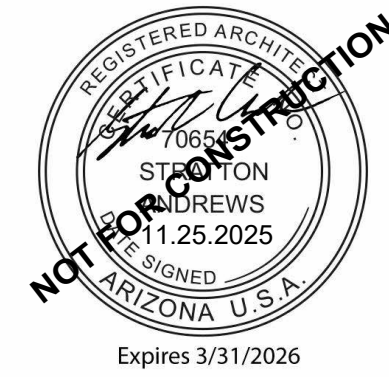
EXISTING DISTURBANCE

1" = 30'-0"



STRATTON
ARCHITECTS

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FDR CONCEPTUAL HILLSIDE

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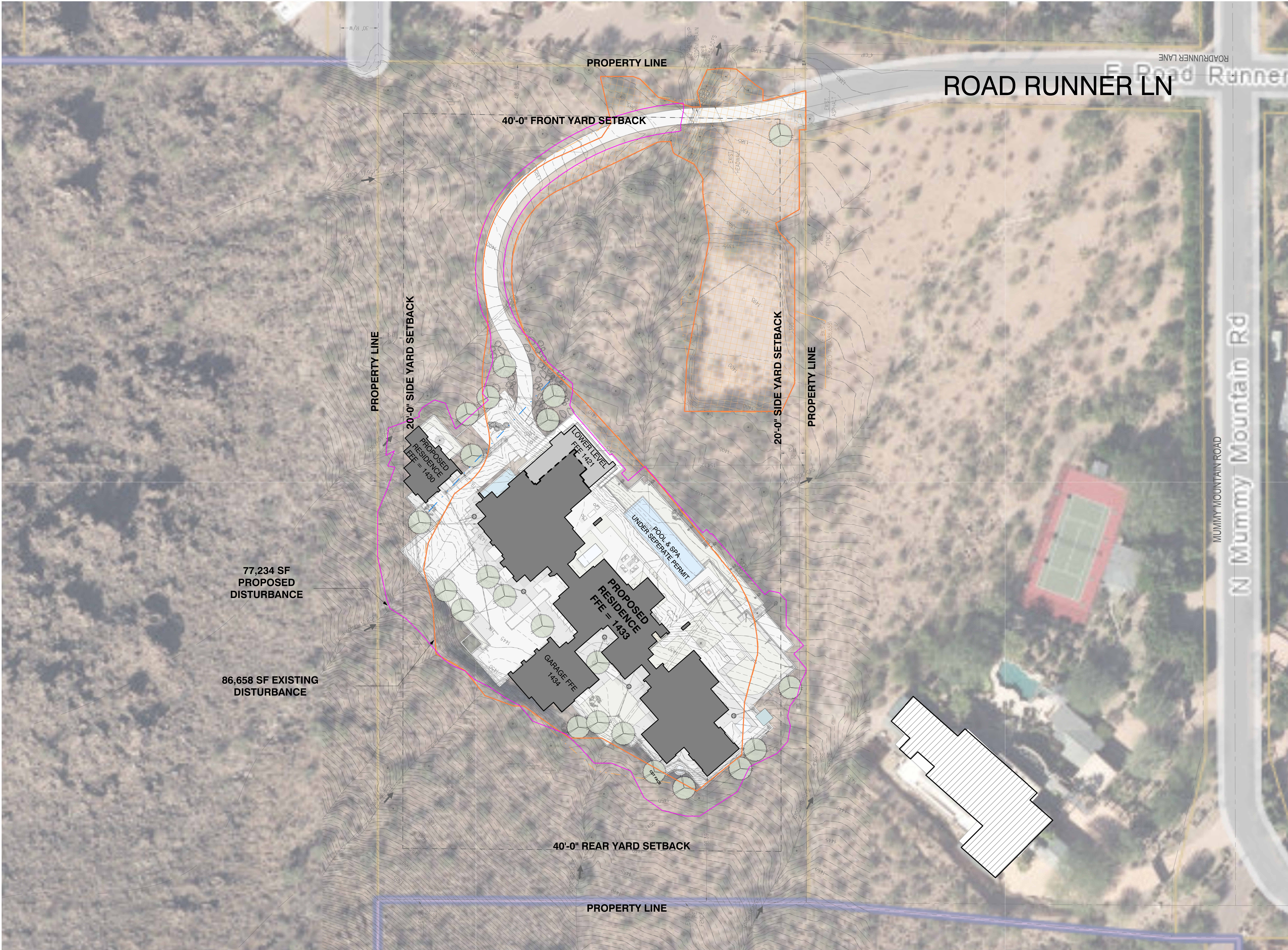
REV.

AERIAL OVERLAY -
EXISTING SITE
CONDITIONS
HS-2

OF SHEETS

ROAD RUNNER
RESIDENCE

5611 E Road Runner Lane
Paradise Valley AZ 85253
Project No. 25-16



ARCHITECTURAL SITE PLAN

1" = 30'-0"

LOT SIZE:	=221,685 SF
ALLOWABLE FAR -25%	=55,421 SF
PROPOSED FAR	=28,792 SF
BUILDING PAD SLOPE	=17.6%
EXISTING DISTURBED	=86,658 SF
PROPOSED DISTURBANCE AREA	=77,234 SF

ROAD RUNNER
RESIDENCE

5611 E Road Runner Lane
Paradise Valley AZ 85253
Project No.25-16

STRATTON
ARCHITECTS

7026 N Longlook Way, Paradise Valley, Arizona 85253
(800) 331-0701



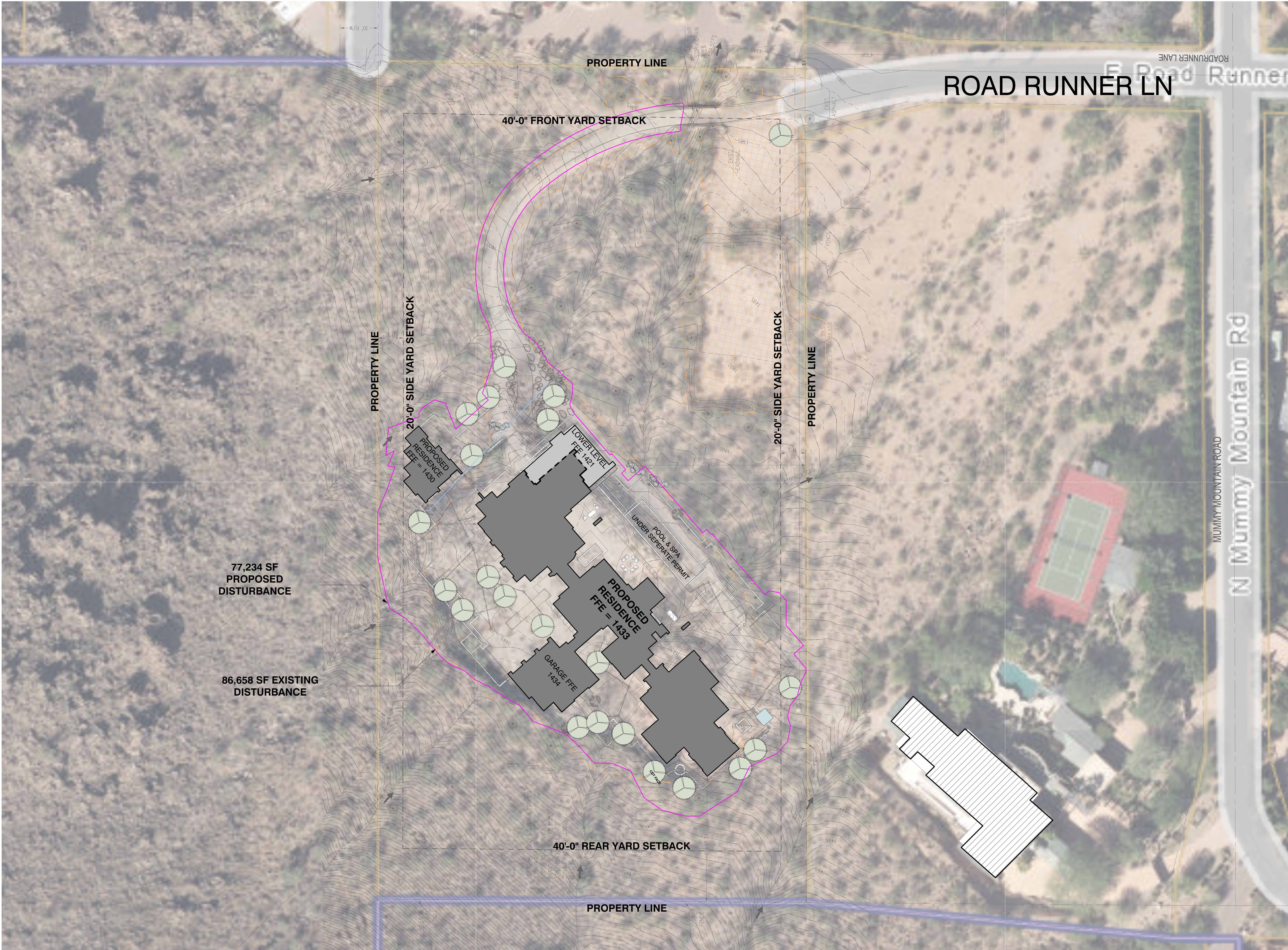
FDR CONCEPTUAL HILLSIDE

DATE 11.25.2025

REV.

AERIAL OVERLAY

HS-3



ARCHITECTURAL SITE PLAN

1" = 30'-0"

LOT SIZE:	=221,685 SF
ALLOWABLE FAR -25%	=55,421 SF
PROPOSED FAR	=28,792 SF
BUILDING PAD SLOPE	=17.6%
EXISTING DISTURBED	=86,658 SF
PROPOSED DISTURBANCE AREA	=77,234 SF

STRATTON
ARCHITECTS

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(800) 331-0701



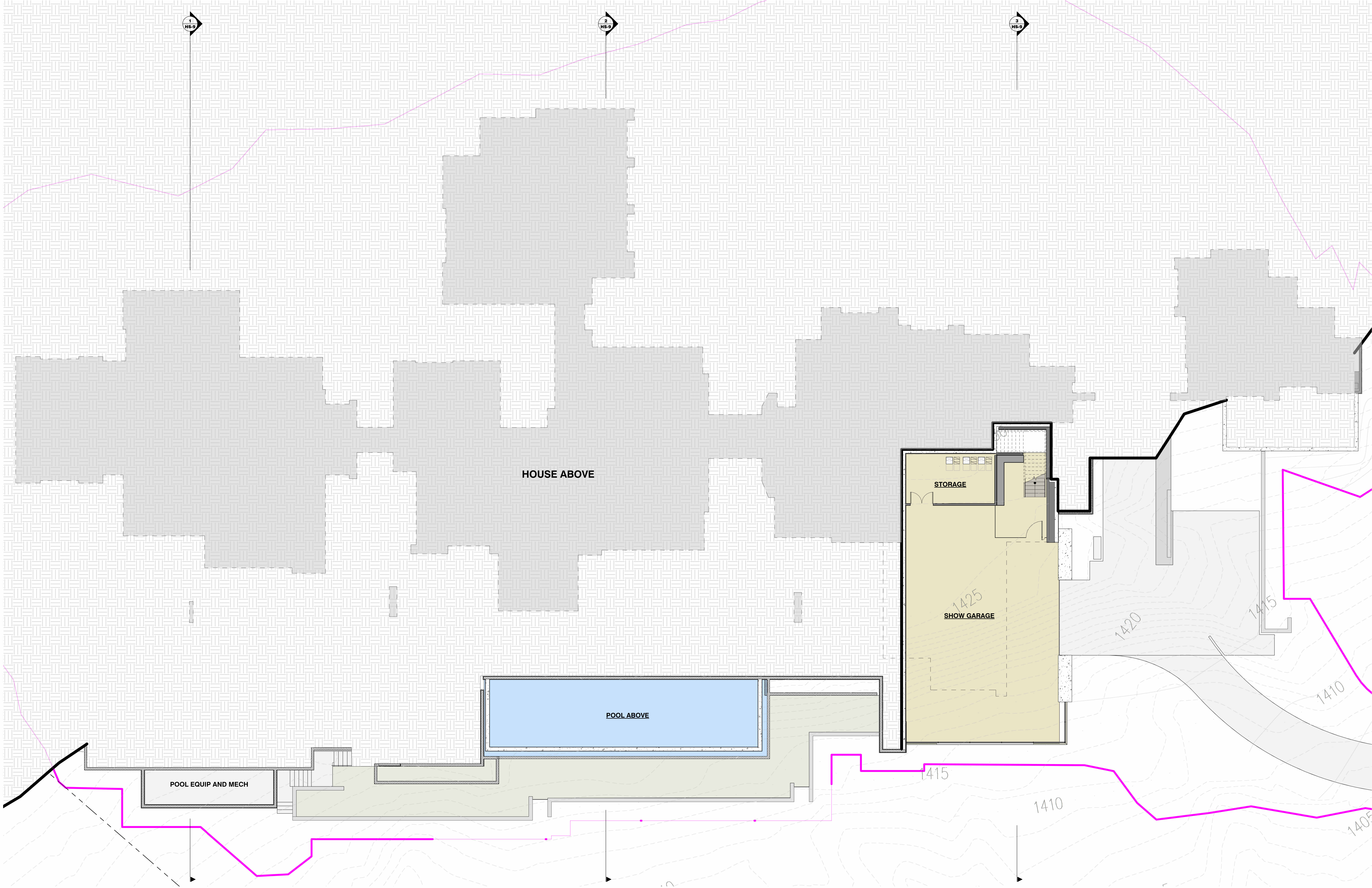
FDR CONCEPTUAL HILLSIDE

DATE 11.25.2025

REV.

AERIAL OVERLAY

HS-4



LOWER LEVEL FLOOR PLAN

1" = 10'-0"



ROAD RUNNER
RESIDENCE

5611 E Road Runner Lane
Paradise Valley AZ 85253
Project No. 25-16

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DATE 11.25.2025

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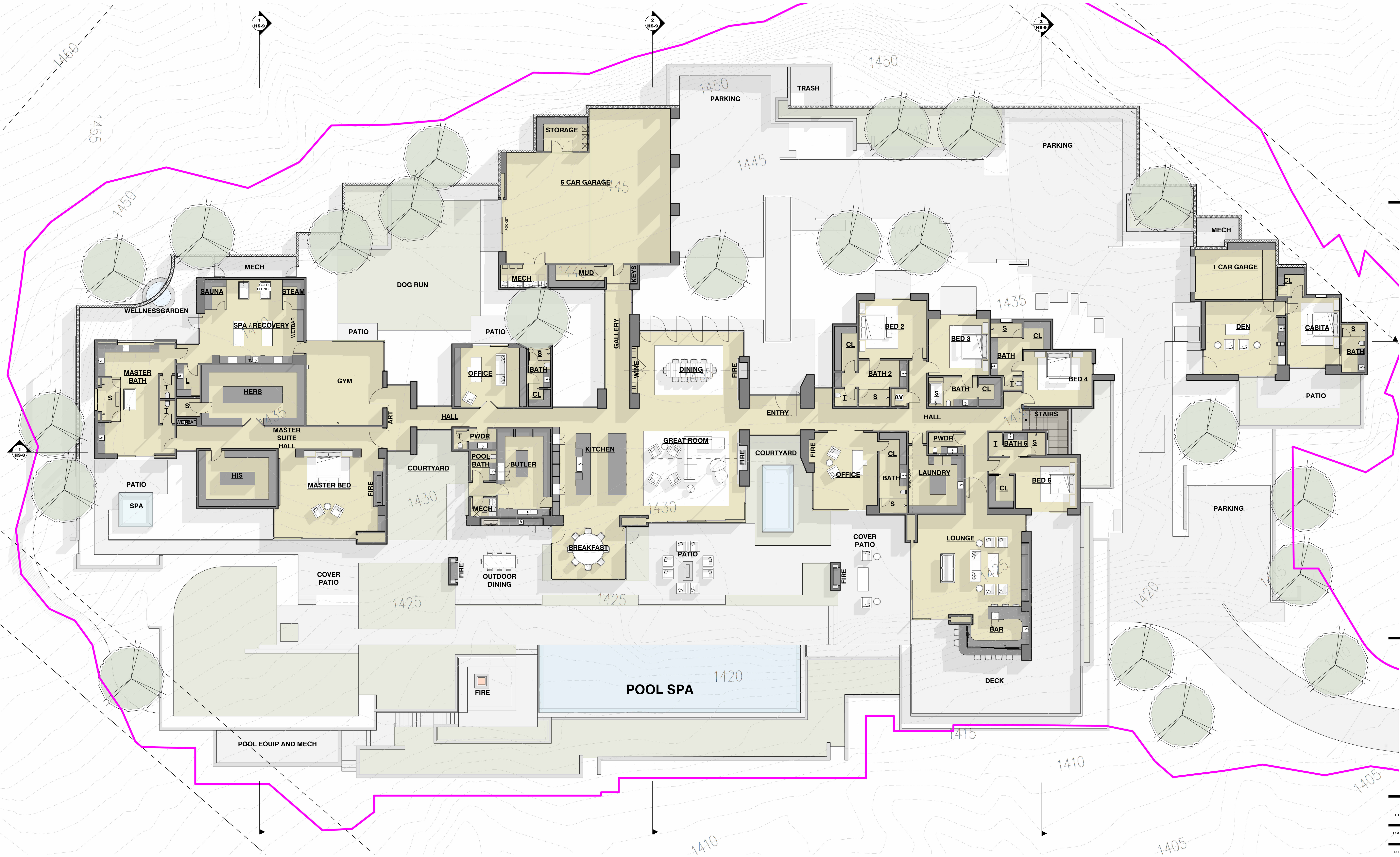
LOWER LEVEL
FLOOR PLAN

HS-5

OF SHEETS

MAIN LEVEL FLOOR PLAN

3/32" = 1'-0"



ROAD RUNNER
RESIDENCE

5611 E Road Runner Lane
Paradise Valley AZ 85253
Project No. 25-16

STRATTON
ARCHITECTS

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DATE	11.25.2025
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MAIN LEVEL FLOOR
PLAN

HS-6

OF SHEETS



WEST ELEVATION

3/32" = 1'-0"



EAST ELEVATION

3/32" = 1'-0"

- HIGHEST P.O.I. +1,453
- LEVEL 2 T.O.S. +1,445
- GARAGE LEVEL +1,434
- LEVEL 1 T.O.S. +1,433
- GUEST LEVEL +1,430.33
- BASEMENT +1,421
- LOWEST P.O.I. +1,419

POINT OF IMPROVEMENT

- HIGHEST P.O.I. +1,453
- LEVEL 2 T.O.S. +1,445
- GARAGE LEVEL +1,434
- LEVEL 1 T.O.S. +1,433
- GUEST LEVEL +1,430.33
- BASEMENT +1,421
- LOWEST P.O.I. +1,419

POINT OF IMPROVEMENT

ROAD RUNNER
RESIDENCE

5611 E Road Runner Lane
Paradise Valley AZ 85253
Project No. 25-16

STRATTON
ARCHITECTS

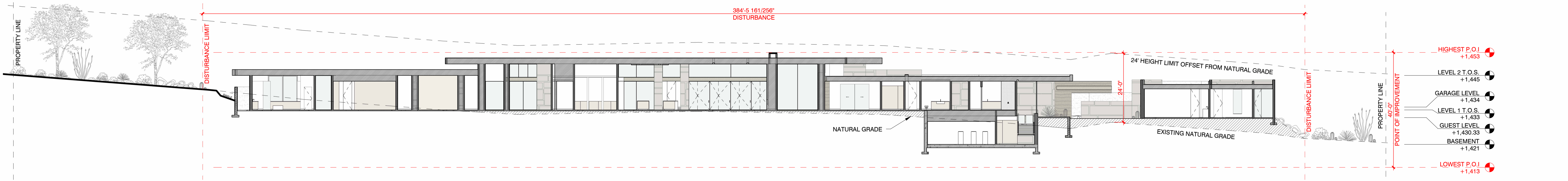
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(800) 331-0701



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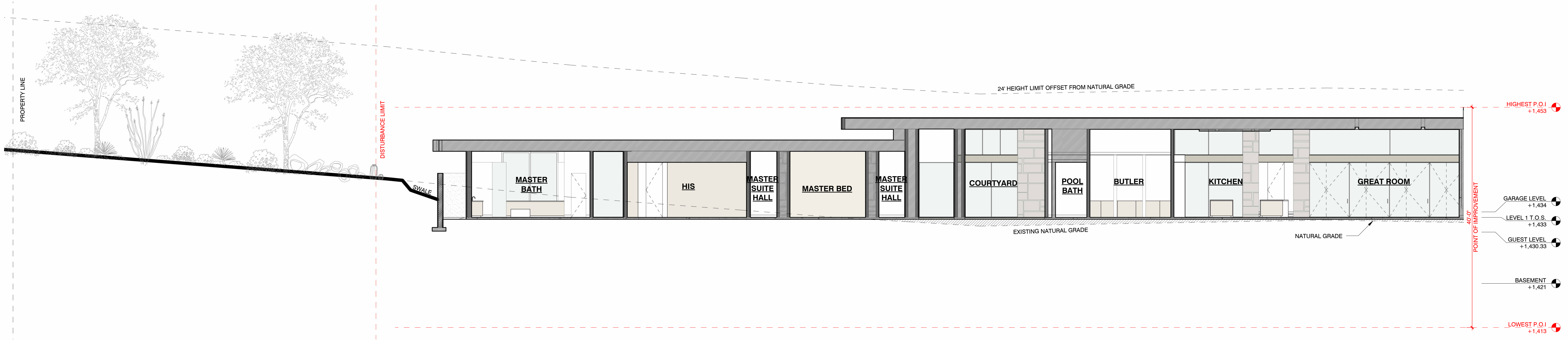
ELEVATIONS

HS-7



SITE SECTION 1 OVERALL

1/16" = 1'-0"

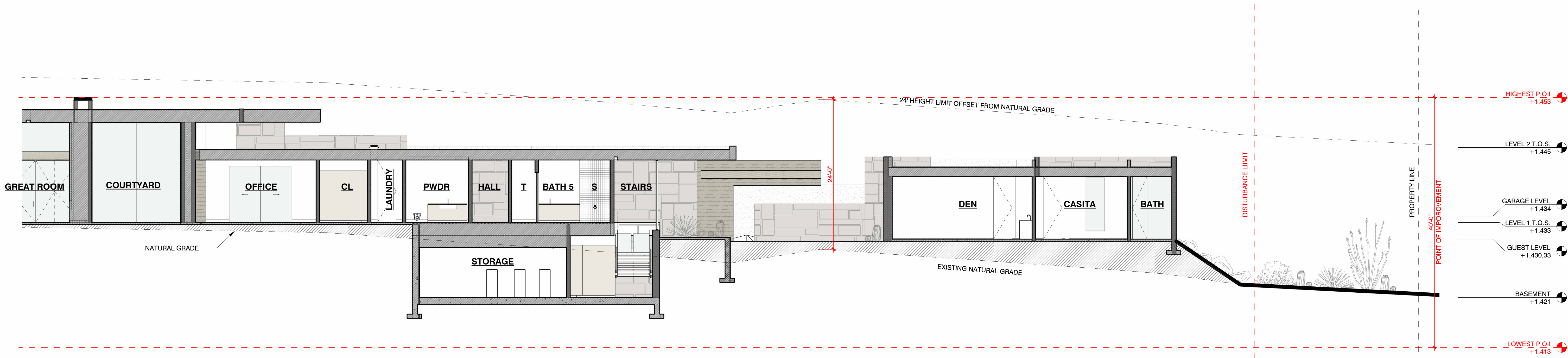


SITE SECTION 1 - PARTIAL A

1/8" = 1'-0"

MATERIAL LEGEND

- STUCCO TO COMPLY WITH HILLSIDE LRV COLOR SHERWIN WILLIAMS SW7633 TAUPE TONE
- METAL FASCIA, FINISH OCM BRONZE ORE MATTE ESR #2048
- ACCENT STEEL MATERIAL
- GLASS
- HOUSE STONE - COLMAR - ECO OUTDOOR
- HOUSE ACCENT STONE - PACIFIC BLACK FLAMED - SOLSTICE STONE
- SITE STONE - BERKSHIRE RUBBLE - SOLSTICE STONE
- FRAME CONSTRUCTION
- CMU CONSTRUCTION
- STONE OR TILE VENEER



SITE SECTION 1 - PARTIAL B

1/8" = 1'-0"

ROAD RUNNER RESIDENCE

5611 E Road Runner Lane
Paradise Valley AZ 85253
Project No.25-16

STRATTON ARCHITECTS

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(800) 331-0701



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FDR CONCEPTUAL HILLSIDE

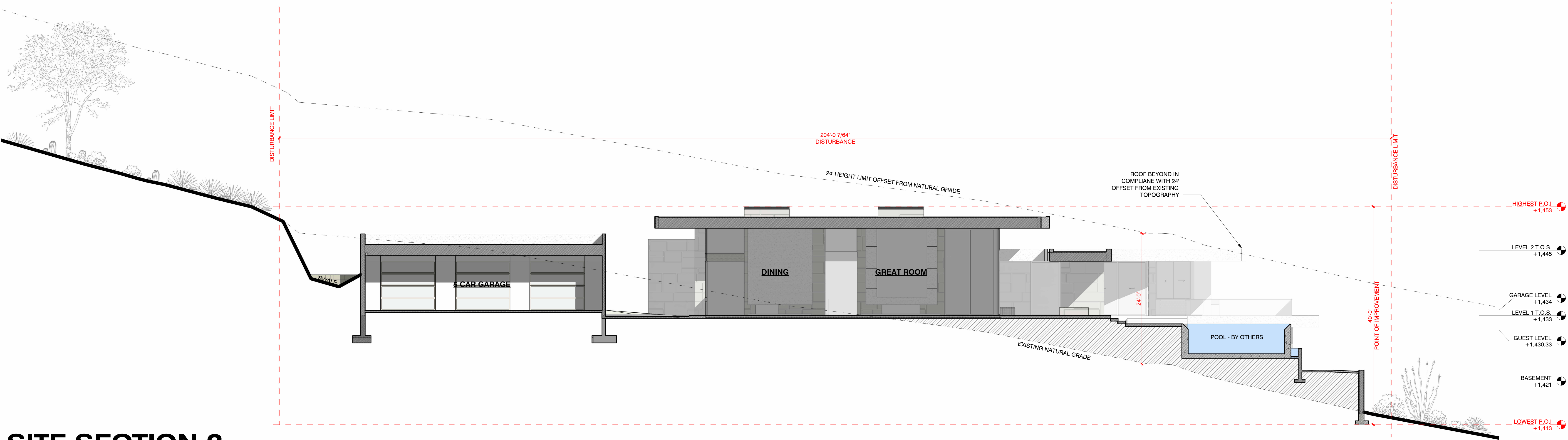
DATE 11.25.2025

REV.

SITE SECTIONS

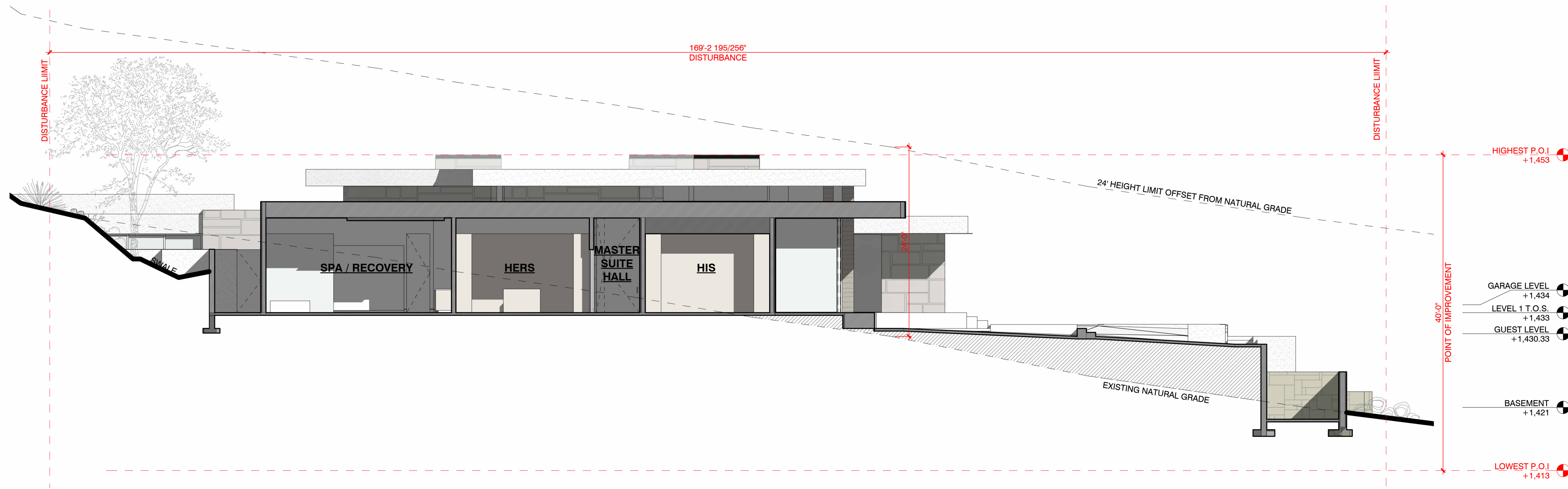
HS-8

OF SHEETS



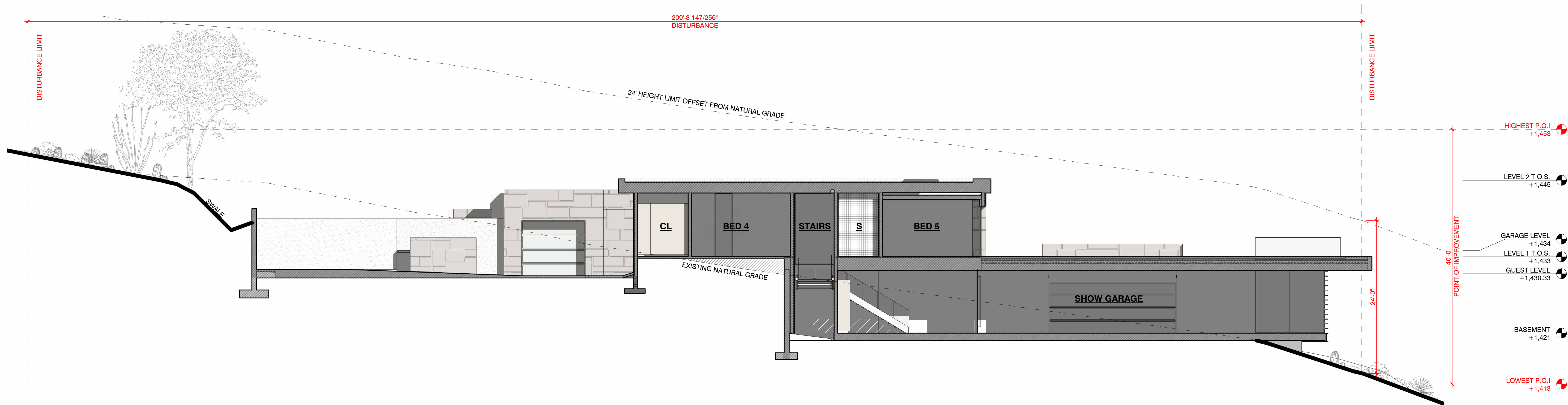
SITE SECTION 2

1/8" = 1'-0"



SITE SECTION 3

1/8" = 1'-0"



SITE SECTION 4

1/8" = 1'-0"

MATERIAL LEGEND

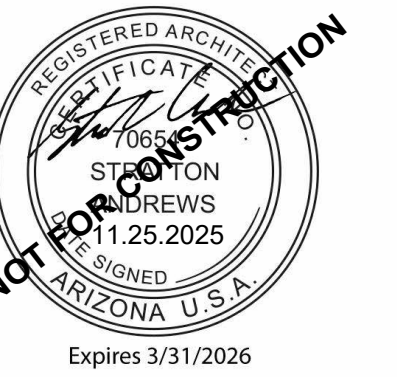
- STUCCO TO COMPLY WITH HILLSIDE LRV
COLOR SHERWIN WILLIAMS SW7633 TAUPE TONE
- METAL FASCIA FINISH OCM BRONZE ORE
MATTE ESR #2048
- ACCENT STEEL MATERIAL
- GLASS
- HOUSE STONE - COLMAR - ECO OUTDOOR
- HOUSE ACCENT STONE - PACIFIC BLACK
FLAMED - SOLSTICE STONE
- SITE STONE - BERKSHIRE RUBBLE - SOLSTICE
STONE
- FRAME CONSTRUCTION
- CMU CONSTRUCTION
- STONE OR TILE VENEER

**ROAD RUNNER
RESIDENCE**

5611 E Road Runner Lane
Paradise Valley AZ 85253
Project No.25-16

STRATTON
ARCHITECTS

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(800) 331-0701



FOR CONCEPTUAL HILLSIDE

DATE 11.25.2025

REV.

SITE SECTIONS

HS-9

OF SHEETS



AERIAL VIEW

ROAD RUNNER
RESIDENCE

5611 E Road Runner Lane
Paradise Valley AZ 85253
Project No. 25-16

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EXTERIOR
RENDERING

HS-10



DRIVEWAY APPROACH

ROAD RUNNER
RESIDENCE

5611 E Road Runner Lane
Paradise Valley AZ 85253
Project No. 25-16

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EXTERIOR
RENDERING

HS-11



AERIAL VIEW

ROAD RUNNER
RESIDENCE

5611 E Road Runner Lane
Paradise Valley AZ 85253
Project No. 25-16

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FOR CONCEPTUAL HILLSIDE

DATE 11.25.2025

REV.

EXTERIOR
RENDERING

HS-12



YARD VIEW

ROAD RUNNER
RESIDENCE

5611 E Road Runner Lane
Paradise Valley AZ 85253
Project No. 25-16

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7026 N Longlook Way, Paradise Valley, Arizona 85253
(860) 331-0701



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FOR CONCEPTUAL HILLSIDE

DATE 11.25.2025

REV.

EXTERIOR
RENDERING

HS-13



AERIAL VIEW

ROAD RUNNER
RESIDENCE

5611 E Road Runner Lane
Paradise Valley AZ 85253
Project No. 25-16

STRATTON
ARCHITECTS

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(860) 331-0701



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10

FOR CONCEPTUAL HILLSIDE

DATE 11.25.2025

REV.

EXTERIOR
RENDERING

HS-14



FRONT APPROACH

**ROAD RUNNER
RESIDENCE**

5611 E Road Runner Lane
Paradise Valley AZ 85253
Project No. 25-16

STRATTON
ARCHITECTS

7026 N Longlook Way, Paradise Valley, Arizona 85253
(800) 331-0701



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FOR CONCEPTUAL HILLSIDE

DATE 11.25.2025

REV.

EXTERIOR
RENDERING

HS-15



AERIAL VIEW

ROAD RUNNER
RESIDENCE

5611 E Road Runner Lane
Paradise Valley AZ 85253
Project No. 25-16

STRATTON
ARCHITECTS

7026 N Longlook Way, Paradise Valley, Arizona 85253
(800) 331-0701



FOR CONCEPTUAL HILLSIDE	
DATE	11.25.2025
REV.	

EXTERIOR
RENDERING

HS-16

POV 'S



1



2



3



4



5



6



7



8

AERIALS



9



10



ARCHITECTURAL SITE PLAN

1" = 60'-0"

ROAD RUNNER
RESIDENCE

5611 E Road Runner Lane
Paradise Valley AZ 85253
Project No. 25-16

STRATTON
ARCHITECTS

7026 N Longlook Way, Paradise Valley, Arizona 85253
(800) 331-0701



FDR CONCEPTUAL HILLSIDE

DATE 11.25.2025

REV.

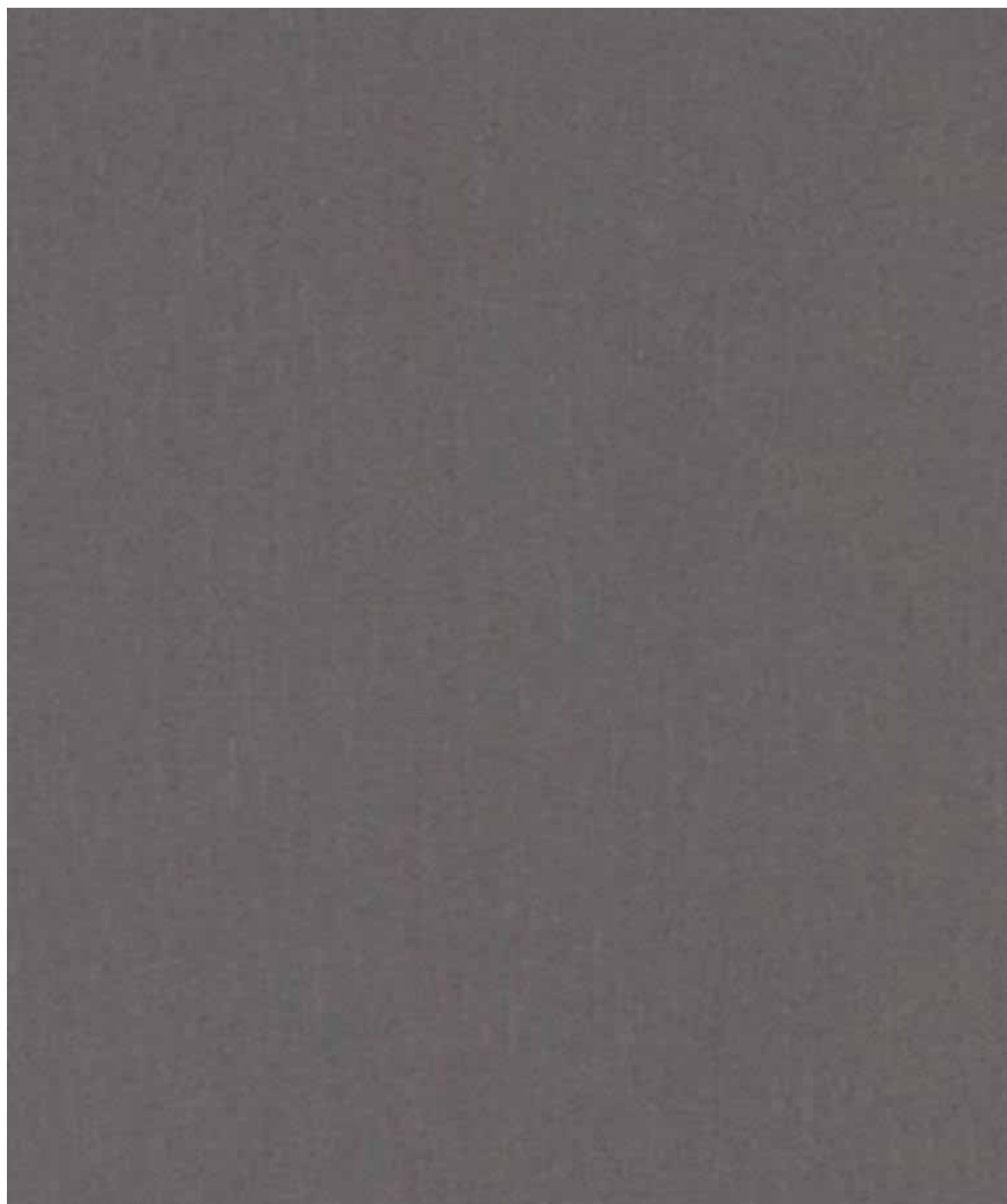
SITE PHOTOS

HS-17

OF SHEETS



HOUSE STUCCO
SW7633 TAUPE TONE
LRV 36



METAL FASCIA, FINISH
OCM Bronze Ore Matte
ESR #2048



CARDINAL GLASS
CLEAR GLASS
LOW-E COATING ON
SURFACE
DOOR & WINDOW FRAME
POWDER COAT CUSTOM COLOR



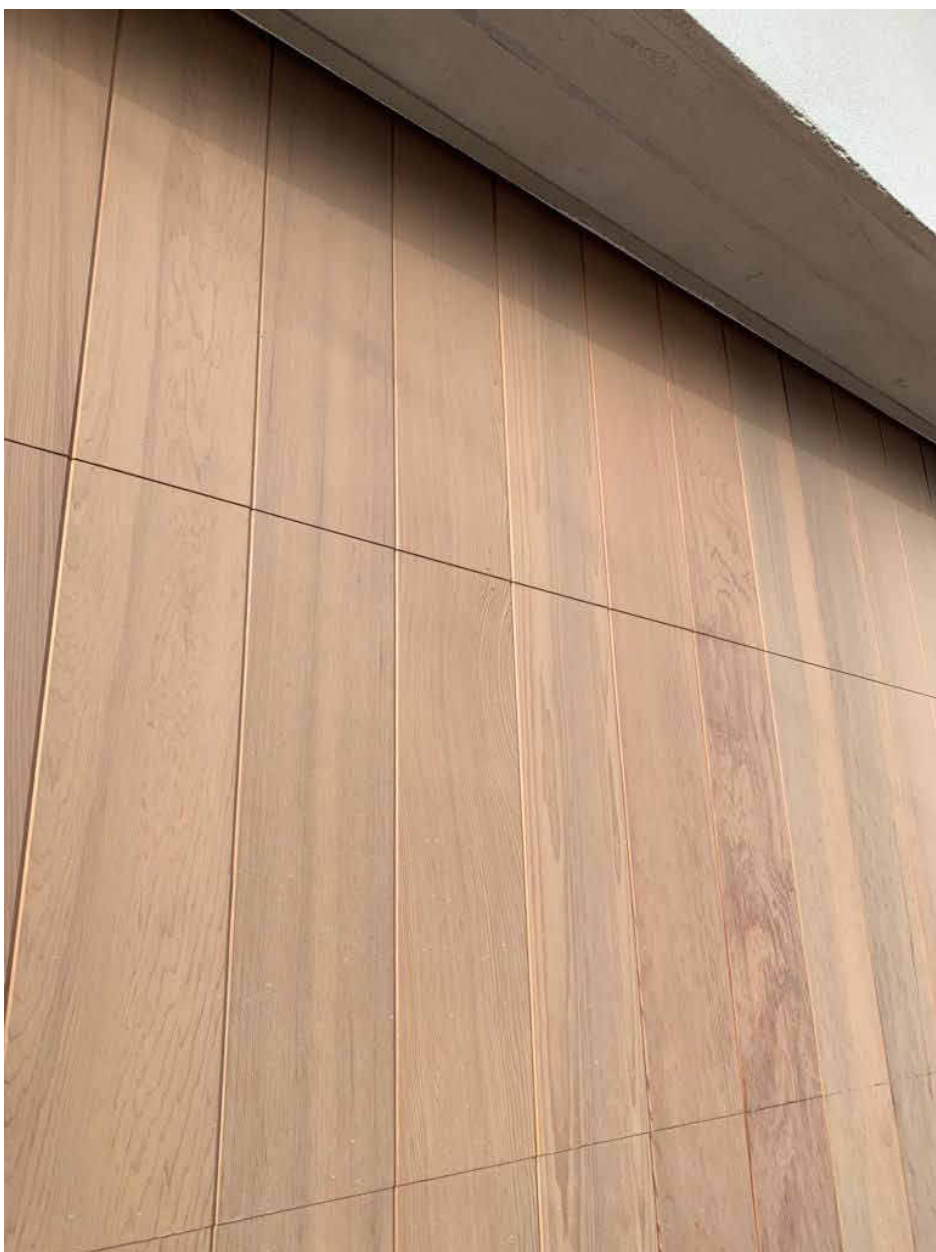
ACCENT STEEL



STUCCO CEILING
SW7633 TAUPE TONE
LRV 36



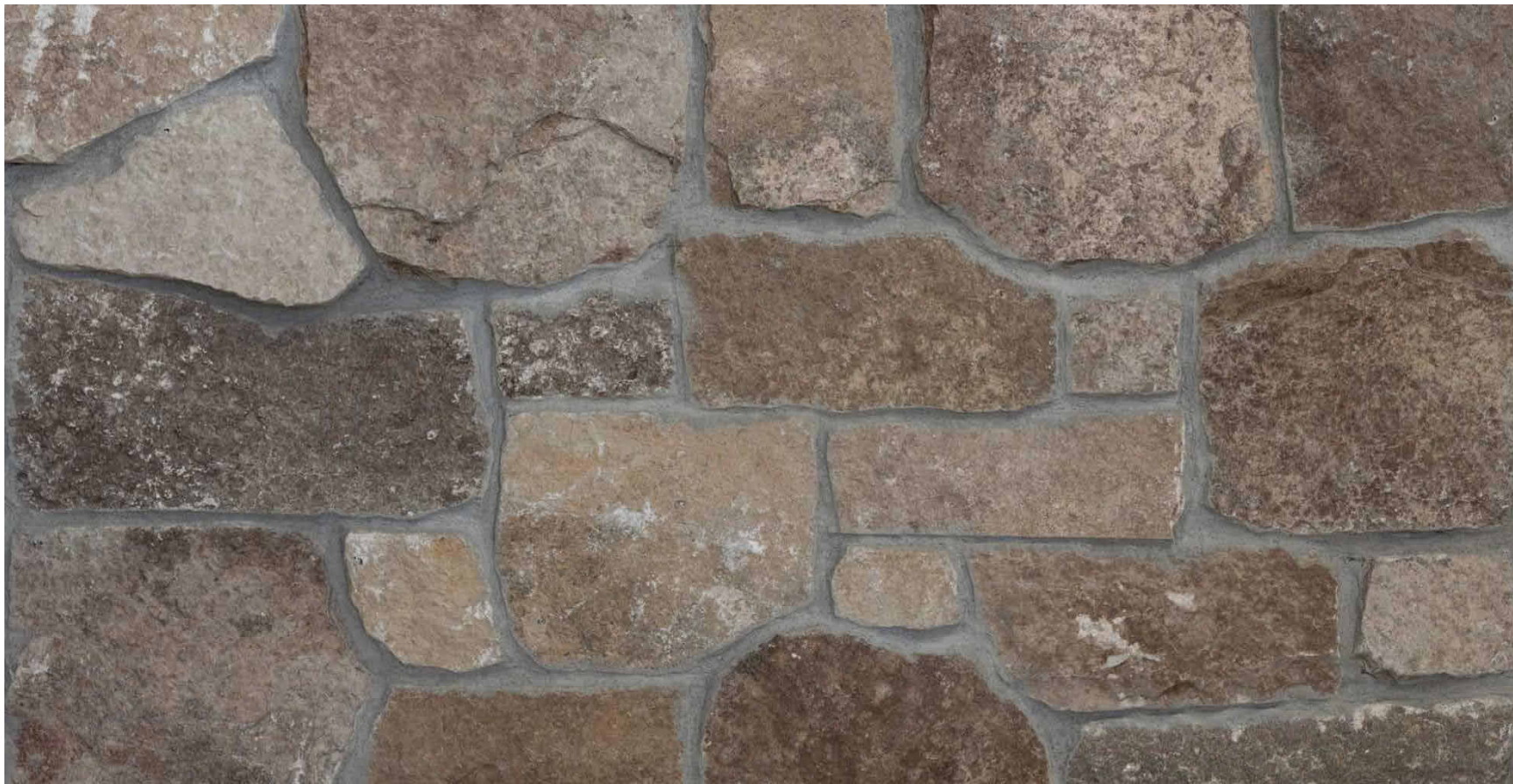
MAIN HOUSE STONE
COLMAR - ECO OUTDOOR
LRV 36.7



CUSTOM GARAGE DOORS
SOUTHWEST GARAGE DOORS



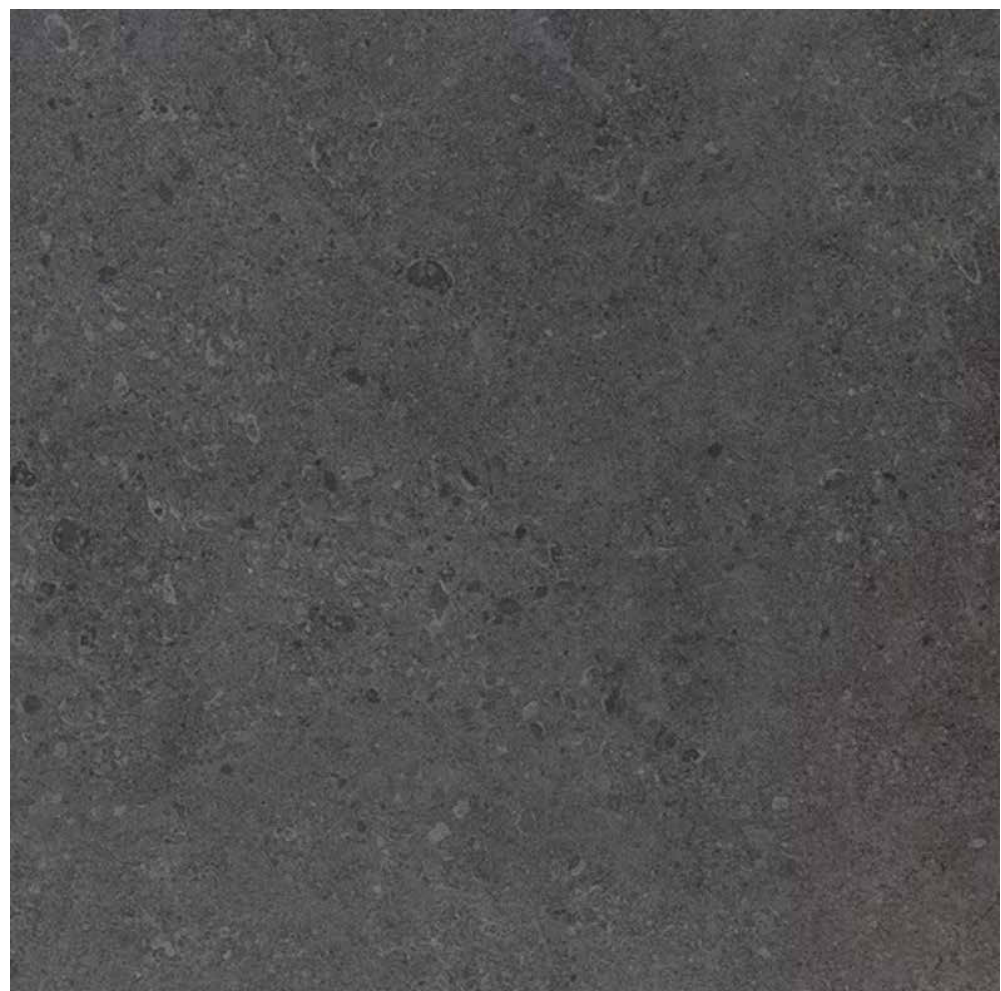
HOUSE ACCENT STONE
PACIFIC BLACK FLAMED
SOLSTICE STONE
9.5 LRV



BERKSHIRE RUBBLE
SOLSTICE STONE
22.47 LRV



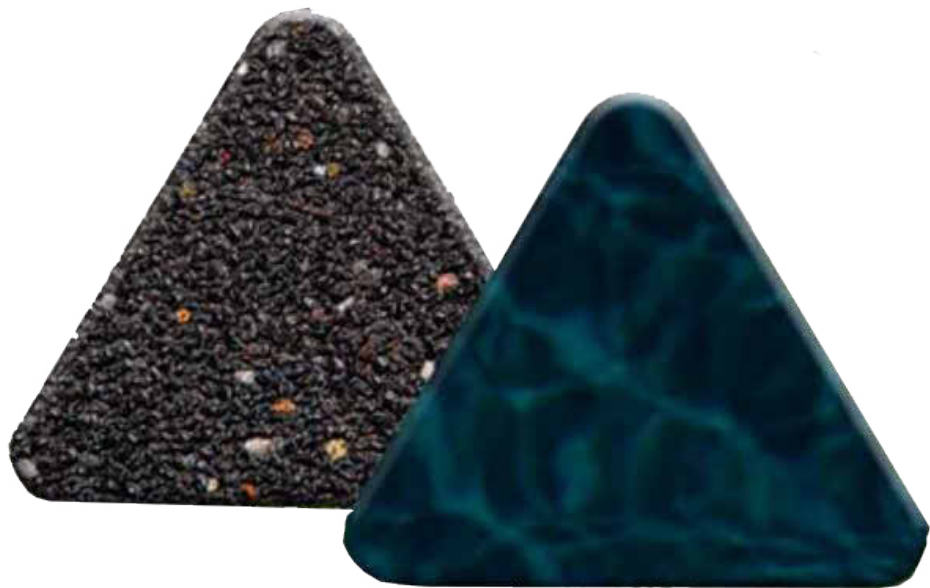
DRIVEWAY - COLORED CONCRETE,
LIGHT SAND FINIHS. 3/8" MIX, COLOR
TBD, SAW CUT JOINTS. 1/4" RADIUS
EDGE



WATERLINE TILE - GOVERNOR
BLACK 12x24 MATTE FINISH



PATIO PAVERS - 3D SILVER
TRAVERTINE HONED &
FILLED - SOLSTICE STONE
LRV 37.29



POOL INTERIOR - PEBBLESHEEN -
BLACK ECLIPSE



SYNTHETIC TURF - ARTIFICIAL LAWNS
CO - CORONADO

ROAD RUNNER
RESIDENCE

5611 E Road Runner Lane
Paradise Valley AZ 85253
Project No.25-16

STRATTON
ARCHITECTS

7026 N Longlook Way, Paradise Valley, Arizona 85253

(800) 331-0701



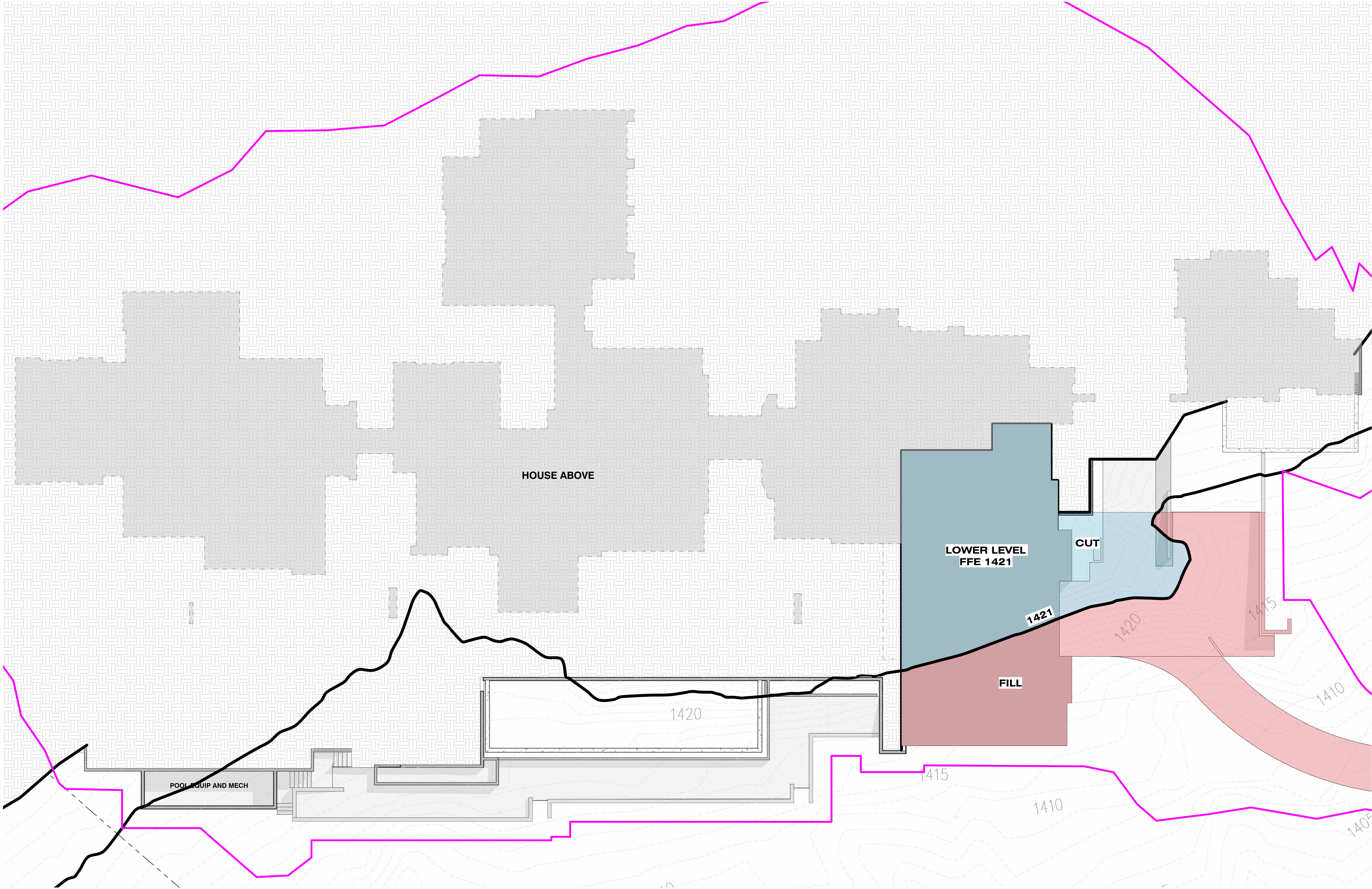
FDR CONCEPTUAL HILLSIDE

DATE 11.25.2025

REV.

MATERIALS BOARD

HS-18



CUT:
FILL:
TOTAL CUT & FILL

=3,644 C.Y.
=6,122 C.Y.
=9,766 C.Y.

ROAD RUNNER RESIDENCE

5611 E Road Runner Lane
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FOR CONCEPTUAL HILLSIDE

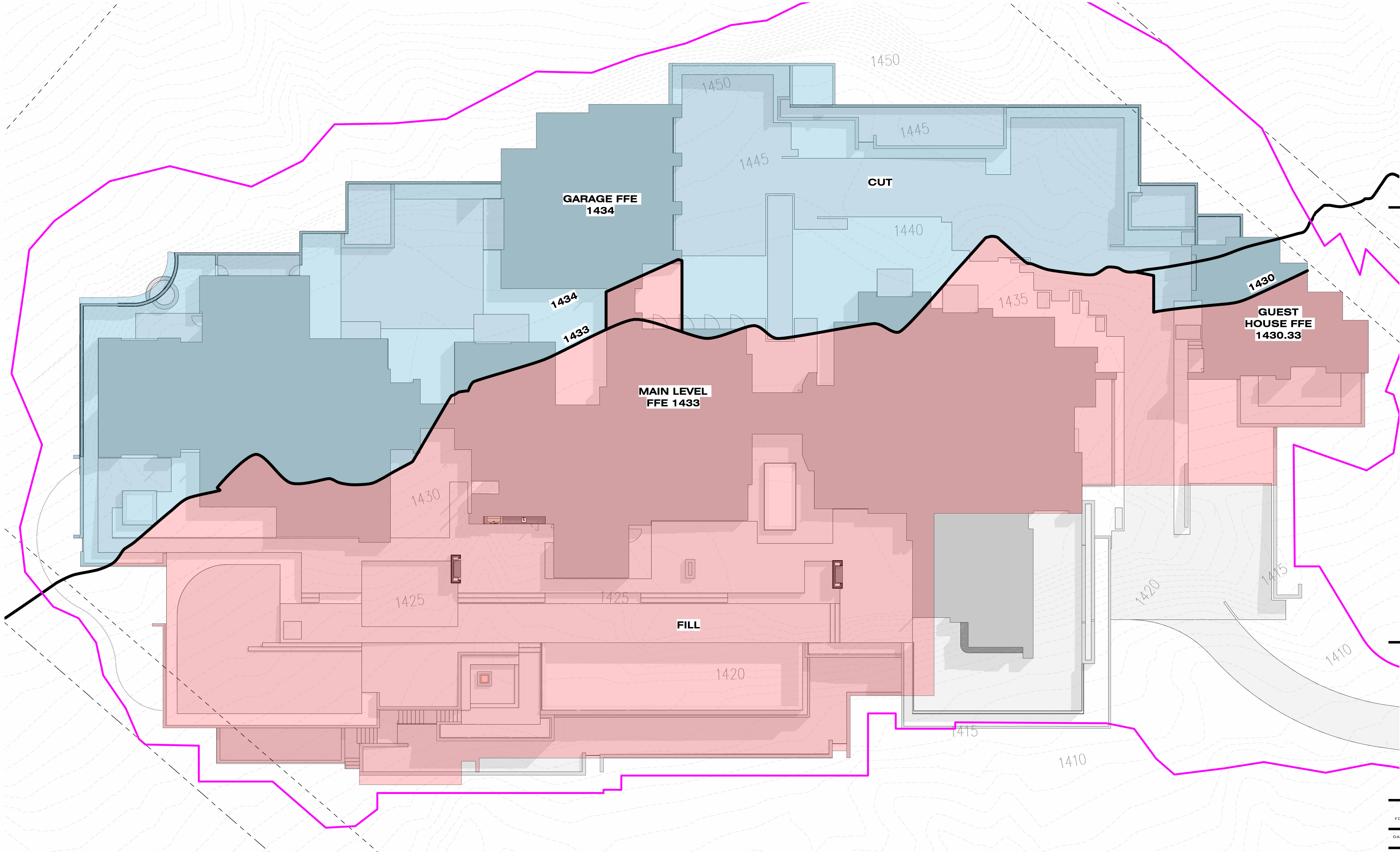
DATE 11.25.2025

REV.

LOWER LEVEL
CUT/FILL

HS-19

OF SHEETS



CUT: -3,644 C.Y.
FILL: -6,122 C.Y.
TOTAL CUT & FILL: -9,766 C.Y.

ROAD RUNNER
RESIDENCE

5611 E Road Runner Lane
Paradise Valley AZ 85253
Project No. 25-16

STRATTON
ARCHITECTS

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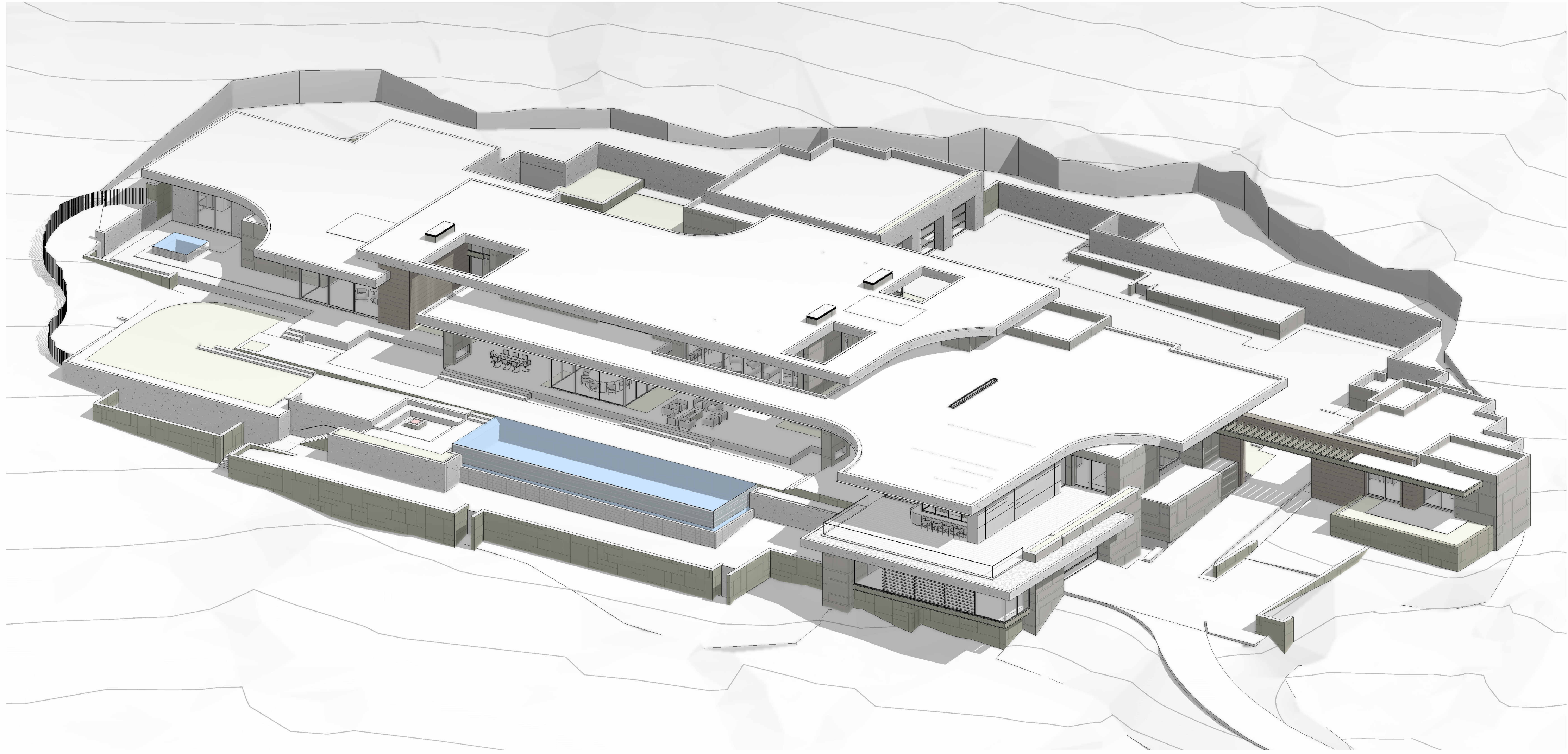


FDR	CONCEPTUAL HILLSIDE
DATE	11.25.2025
REV.	

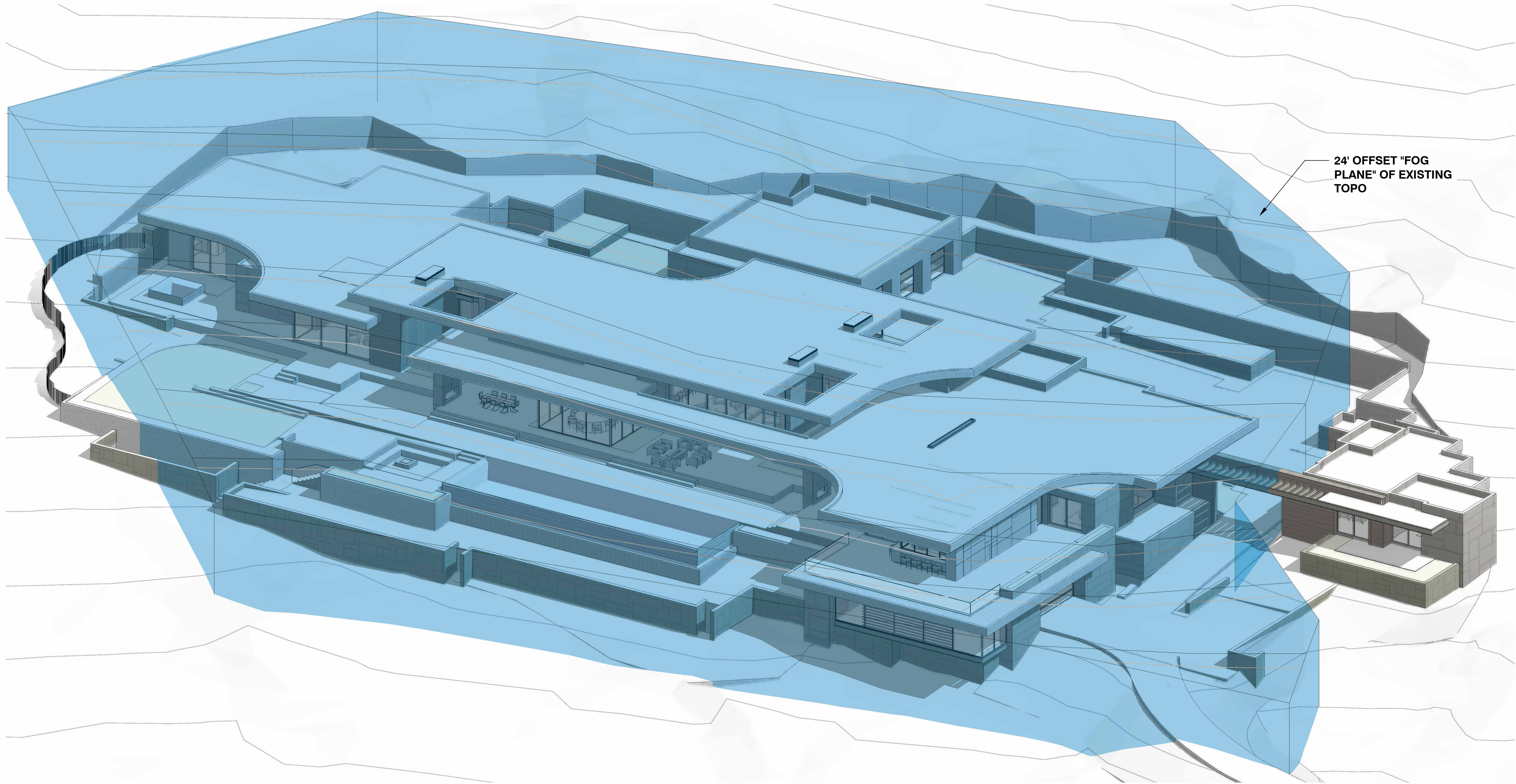
MAIN LEVEL CUT/FILL

HS-20

OF SHEETS



TOPO 3D NO OFFSET



TOPO 3D 24' OFFSET



FDR	CONCEPTUAL HILLSIDE
DATE	11.25.2025
REV.	

3D TOPO OFFSET

HS-21
OF SHEETS

- ROADRUNNER RESIDENCE -

- 5611 E. Roadrunner Ln. Paradise Valley, AZ. 85253 -
- Landscape Construction Documents -

GENERAL NOTES:

- THESE CONSTRUCTION DOCUMENTS, INCLUDING ALL PLANS, NOTES, DETAILS, AND SPECIFICATIONS ARE INTENDED TO FACILITATE THE INSTALLATION CONTRACTOR BY PROVIDING GENERAL GUIDELINES FOR DESIGN INTENT. IT IS THE GOAL OF THE DOCUMENTS THAT THE WORK IS TO BE COMPLETED WITHOUT CHANGE ORDERS. ALL QUANTITIES SHOWN IN THE DOCUMENTS ARE ESTIMATES ONLY AND ARE NOT GUARANTEED; THE CONTRACTOR SHALL SUPPLY ALL MATERIALS, LABOR AND EQUIPMENT IN ORDER TO FULFILL THE INTENT OF THE DESIGN DRAWINGS.
- INTERPRETATION OF THE PLANS AND SPECIFICATIONS SHALL BE MADE BY THE "AUTHOR" OR "ARCHITECT/ENGINEER-OF-RECORD" OF THE RESPECTIVE DOCUMENT AND SHALL BE CONSIDERED FINAL. ANY POSSIBLE AMBIGUITY SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR PRIOR TO SUBMITTING FORMAL BIDS. ALL CLARIFICATIONS SHALL BE PREPARED IN WRITING BY THE "ARCHITECT/ENGINEER-OF-RECORD" PRIOR TO BIDDING. THE CONTRACTOR SHALL ACCEPT THE INTERPRETATION OF THE "ARCHITECT/ENGINEER-OF-RECORD" AS THE CORRECT AND FINAL INTERPRETATION.
- ANY INCIDENTAL INSTALLATION PROCEDURE, MATERIAL OR EQUIPMENT, NOT MENTIONED IN THESE CONSTRUCTION DOCUMENTS, THE SPECIFICATIONS NOR SHOWN ON THE PLANS, WHICH MAY BE NECESSARY FOR COMPLETION AND SATISFACTORY OPERATION OF THE DESIGN SYSTEM SHALL BE FURNISHED AND INSTALLED (AS BASED ON INDUSTRY STANDARDS) AS THOUGH SHOWN OR PROVIDED FOR.
- EXISTING CONDITIONS AND BASE INFORMATION ARE BASED ON PLANS PREPARED BY THE ARCHITECT.
- THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE LOCATIONS OF EXISTING AND FUTURE UNDERGROUND SERVICES AND IMPROVEMENTS WHICH MAY CONFLICT WITH THE WORK TO BE DONE. NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY SHOULD A CONFLICT ARISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL NECESSARY PERMITS AND SHALL NOTIFY ALL UTILITY COMPANIES WITH UTILITIES ON SITE PRIOR TO THE CONSTRUCTION OF THE PROJECT.
- FOR UNDERGROUND UTILITY COORDINATION AND 48 HOURS PRIOR TO START OF CONSTRUCTION (DEPENDING ON AREA OR JURISDICTION), THE CONTRACTOR SHALL CONTACT:
A) BLUE STAKE (ARIZONA) 1-800-782-5348
B) UNDERGROUND SERVICES ALERT (USA) 1-800-227-2600
- THESE NOTES ARE TO BE USED FOR GENERAL REFERENCE IN CONJUNCTION WITH AND AS A SUPPLEMENT TO THE WRITTEN SPECIFICATIONS, APPROVED ADDENDUMS, AND THE CHANGE ORDERS AS ASSOCIATED WITH THESE CONSTRUCTION DOCUMENTS.
- SHOULD THE CONTRACTOR HAVE ANY QUESTIONS REGARDING THESE CONSTRUCTION DOCUMENTS OR SHOULD THERE BE ANY DISCREPANCIES, HE SHALL CONTACT THE LANDSCAPE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING FURTHER.
- ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS AND PER GOVERNING CODES AND/OR ORDINANCES.
- THE CONTRACTOR SHALL PROVIDE BARRICADES AND TRAFFIC CONTROL ALONG PUBLIC STREETS, IF REQUIRED, DURING INSTALLATION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPORT TO THE LANDSCAPE ARCHITECT AND/OR THE OWNER'S AUTHORIZED REPRESENTATIVE ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND FIELD CONDITIONS PRIOR TO THE START OF WORK.
- BEFORE WORK BEGINS ON THE PROJECT, THE CONTRACTOR SHALL REVIEW THE PROJECT WITH THE LANDSCAPE ARCHITECT AND/OR THE OWNER'S AUTHORIZED REPRESENTATIVE.
- THE LANDSCAPE ARCHITECT AND/OR THE OWNER'S AUTHORIZED REPRESENTATIVE SHALL APPROVE ANY OR ALL CHANGES PRIOR TO THE START OF WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND COORDINATING EXISTING SITE CONDITIONS.
- THE CONTRACTOR SHALL ADHERE TO ALL APPLICABLE LOCAL, STATE, AND/OR FEDERAL LAWS AND/OR REGULATIONS PERTAINING TO THE PROJECT.
- THE CONTRACTOR SHALL PROPERLY COORDINATE HIS WORK WITH OTHER CONTRACTOR'S WORK PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT EXISTING IMPROVEMENTS AND THE PUBLIC FROM DAMAGE THROUGHOUT CONSTRUCTION.
- THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY DAMAGES IMPOSED, UNINTENTIONALLY OR ACCIDENTALLY TO EXISTING UTILITIES, STRUCTURES, WALLS, OR OTHER AMENITIES, DUE TO THE ACTION OF THE CONTRACTOR, CONTRACTOR EMPLOYEES, AND/OR THE CONTRACTOR'S SUBCONTRACTORS. DAMAGE OCCURRED DURING THE CONTRACTOR'S OPERATION SHALL BE REPAIRED, AT THE EXPENSE OF THE CONTRACTOR, TO THE SATISFACTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE.
- MATCH GRADES, LAYOUT AND ELEVATIONS OF ADJOINING LANDSCAPE WORK BY OTHERS. NOTIFY THE LANDSCAPE ARCHITECT OF CONFLICTS BEFORE PROCEEDING WITH CONSTRUCTION.

PLANTING GENERAL NOTES:

- THE CONTRACTOR SHALL REVIEW PLANTING PLAN WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- THE LANDSCAPE ARCHITECT OR HIS REPRESENTATIVE RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIALS HE DEEMS UNACCEPTABLE. SEE SPECIFICATIONS.
- THE CONTRACTOR SHALL SUPPLY AND INSTALL ALL PLANT MATERIAL AS SPECIFIED ON THE PLANTING PLANS, HOWEVER, SHOULD THE PLANT MATERIAL BE TEMPORARILY UNAVAILABLE, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND INSTALL 5 GALLON NURSERY BUCKETS WITH IRRIGATION AT EACH PLANT LOCATION. AS THE PLANT MATERIAL BECOMES AVAILABLE, THE 5 GALLON BUCKETS SHALL BE REMOVED AND PLANT MATERIAL INSTALLED.
- ANY AND ALL SUBSTITUTIONS TO BE APPROVED BY THE LANDSCAPE ARCHITECT.
- LOCATE PLANTS AWAY FROM SPRINKLER HEADS, LIGHT FIXTURES AND OTHER OBSTRUCTIONS.
- FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE.
- PLANTING AND IRRIGATION DESIGN MAY BE MODIFIED TO ADAPT TO WALK CONFIGURATIONS THAT DIFFER FROM THESE PLANS, OR BECAUSE OF GRADE LIMITATIONS ON SITE OR CONTRACTOR'S SUBCONTRACTORS.
- WATER TEST ALL TREE PLANTING HOLES PRIOR TO PLANTING. IF TREE HOLE DOES NOT DRAIN, DO NOT PLANT. SEE HARDPAN DETAIL.
- REFER TO THE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS NOT SHOWN ON DRAWINGS.
- TREES SHALL BE PLANTED A MINIMUM OF 10'-0" FROM STREET LIGHTS / FIRE HYDRANTS, 6'-0" FROM EDGE OF UNDERGROUND PIPELINES AND A MINIMUM OF 4'-0" FROM WALKS, CURBS AND WALLS. SHRUBS SHALL BE PLANTED A MINIMUM OF 2'-0" FROM CURB AND WALKS.
- ALL SPECIMEN TREES, SHRUBS AND CACTI SHALL BE FIELD LOCATED BY LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE.
- THE CONTRACTOR SHALL INSTALL "SHAWTOWN ROOT BARRIER PANELS" (OR APPROVED EQUAL) AT ALL TREES WITHIN 7'-0" FEET OF HARDSCAPE ELEMENTS INCLUDING (BUT NOT LIMITED TO) SIDEWALKS, ASPHALT, CONCRETE SLABS / FOOTINGS AND STRUCTURES. CONTRACTOR SHALL SUBMIT SPECIFICATION SHEETS OF PROPOSED ROOT BARRIER PANELS TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL INSTALL ARBOR GUARDS AT ALL TREES LOCATED IN TURF AREAS.
- ON-SITE AND OFF-SITE TOPSOIL SHALL CONFORM TO CONTENT REQUIREMENTS AS SPECIFIED IN PART 2 OF THE PLANTING SPECIFICATIONS. AGRONOMY TEST SUBSAMPLES ARE REQUIRED FOR ALL MATERIAL USED FOR TOPSOIL, AND BACKFILL. SUBMIT REPORT TO LANDSCAPE ARCHITECT FOR REVIEW.
- ALL PLANT MATERIAL SHALL BE IN COMPLIANCE WITH THE AMERICAN STANDARDS FOR NURSERY STOCK, LATEST EDITION.
- THE CONTRACTOR SHALL PROVIDE MAINTENANCE FOR ALL ALL PLANT MATERIAL FROM THE TIME OF INSTALLATION THROUGH SUBSTANTIAL COMPLETION.
- CACTI SHALL BE PLANTED A MINIMUM OF 3'-0" AWAY FROM ALL PEDESTRIAN ROUTES.
- CACTI SHALL BE WELL ROOTED AND NON-SCARRED.
- PLANT MATERIAL MARKED 'SALVAGE' SHALL BE SELECTED FROM ON-SITE SALVAGE INVENTORY. ALL MATERIAL SELECTIONS SHALL BE APPROVED BY LANDSCAPE ARCHITECT AND/OR OWNER'S AUTHORIZED REPRESENTATIVE.
- IN DISTURBED AREAS INDICATED TO RECEIVE REVEGETATION HYDROSEED AND/OR PLANTING, THE CONTRACTOR SHALL MATCH EXISTING NATURAL DESERT STONE GROUND COVER CONDITIONS ADJACENT TO THE PROJECT.
- NATIVE REVEGETATION AREAS AND PLANTER BEDS SHALL BE TREATED WITH PRE-EMERGENT AS PER MANUFACTURER'S INSTRUCTIONS, RE-APPLY AS NECESSARY TO ELIMINATE INVASIVE WEEDS, REMOVE ALL DEAD DEBRIS.
- THE CONTRACTOR SHALL PROVIDE A 50'-0" BY 50'-0" TYPICAL MOCK-UP OF NATIVE REVEGETATION AREAS FOR REVIEW BY THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE.
- ALL TREE STAKING SHALL CONFORM TO THE PLANTING DETAILS OR AS NOTED IN THE SPECIFICATIONS. THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE SHALL REVIEW TYPICAL TREE STAKING PRIOR TO FINAL ACCEPTANCE.

INERT GENERAL NOTES:

ANGULAR GRANITE RIP-RAP

- INSTALL GRANITE RIP-RAP IN ALL DRAINAGE SWALES, AND WHERE INDICATED ON PLANS (TYPICAL). REFER TO MATERIALS SCHEDULE / PLANTING LEGEND FOR COLOR AND SIZE OF GRANITE RIP-RAP.
- THE CONTRACTOR SHALL SUBMIT SAMPLES TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL REFER TO CIVIL PLANS FOR ADDITIONAL INFORMATION.

DECOMPOSED GRANITE

- DECOMPOSED GRANITE IS REQUIRED IN ALL PLANTING AREAS, EXCEPT AREAS OF TURF AND GRANITE RIP-RAP, AND SHALL EXTEND UNDER PLANT MATERIAL UNLESS NOTED OTHERWISE ON PLANS. REFER TO MATERIALS SCHEDULE / PLANTING LEGEND.
- ALL PLANTING AREAS SHALL RECEIVE A 2" MINIMUM LAYER OF DECOMPOSED GRANITE, THROUGHOUT (TYPICAL).
- CONTRACTOR SHALL SUBMIT SAMPLES TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

IRRIGATION GENERAL NOTES:

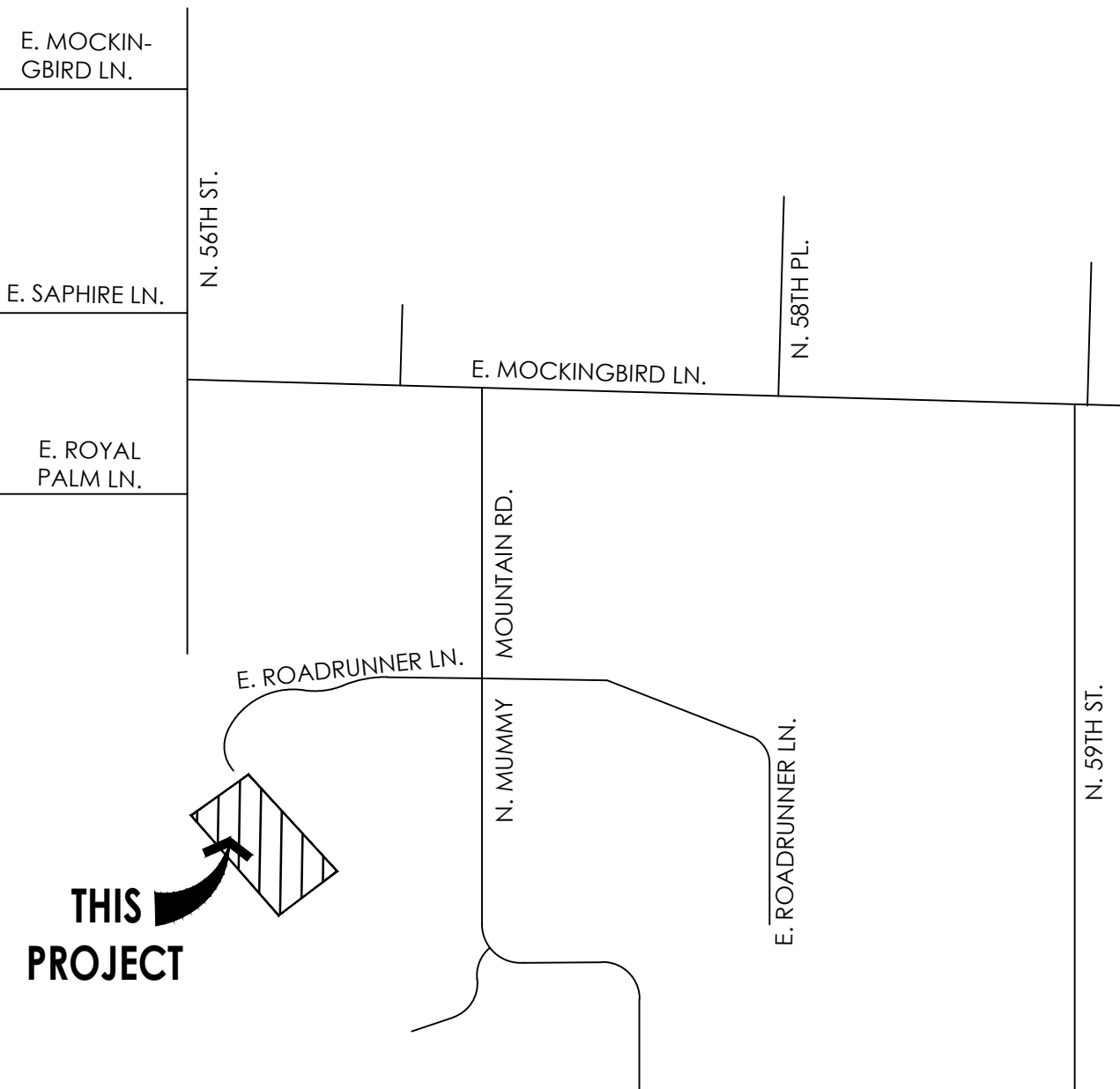
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FULL IRRIGATION COVERAGE OF ALL PLANT MATERIAL.
- THE LANDSCAPE CONTRACTOR SHALL SUBMIT FULL PIPING PLANS, AFTER FIELD VERIFICATION, DEPICTING POINT OF CONNECTION, METER LOCATION AND SIZE, BACKFLOW PREVENTER LOCATION AND SIZE, AND PIPE ROUTING AND SIZES.
- THE LANDSCAPE CONTRACTOR SHALL INSTALL THE SPECIFIED SYSTEM IN ACCORDANCE WITH THE ATTACHED SCHEDULES, NOTES, DETAILS, AND SPECIFICATIONS.
- THE LANDSCAPE CONTRACTOR TO SITE VERIFY PRESSURE AND NOTIFY LANDSCAPE ARCHITECT OF ANY DIFFERENCES PRIOR TO INSTALLATION OR ORDERING OF MATERIALS. IF CONTRACTOR FAILS TO NOTIFY LANDSCAPE ARCHITECT, HE IS FINANCIALLY RESPONSIBLE FOR ANY NECESSARY SYSTEM ALTERATIONS THAT RESULT.
- THE LANDSCAPE CONTRACTOR SHALL FIELD VERIFY EXISTING TAP LOCATIONS. INSTALL NEW METERS PER THE ATTACHED IRRIGATION SCHEDULE.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING AND PATCHING OF ASPHALT AND CONCRETE AS REQUIRED FOR SLEEVE INSTALLATION ACCORDING TO THE IRRIGATION SCHEDULE.
- CONTROLLER TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS. CONTROLLER SIZE AND QUANTITIES TO BE DETERMINED BY THE VALVE REQUIREMENTS AND POINTS OF CONNECTION. INSTALL ONE (1) CONTROLLER AT EACH POINT OF CONNECTION.
- INSTALL PVC MAINLINE AND LATERALS ACCORDING TO THE IRRIGATION AND PIPING SCHEDULES.
- ALL VALVE FLOWS SHALL NOT EXCEED MANUFACTURER'S SPECIFICATIONS.
- VALVE BOXES SHALL BE SQUARE TO ADJACENT WALKS OR CURBS AND FLUSH WITH THE FINAL GRADE.
- WORK SHALL CONFORM TO ALL CONSTRUCTION CODES AND REGULATIONS.
- THE LANDSCAPE CONTRACTOR SHALL INSTALL GREEN VALVE BOXES IN TURF AREAS AND TAN VALVE BOXES IN DECOMPOSED GRANITE AREAS (TYPICAL).
- REFER TO THE IRRIGATION NOTES FOR THE CALCULATED PRESSURE AT THE WATER METER. REFER TO NOTE #4 IF PRESSURE DIFFERS FROM THAT NOTED.
- THE LANDSCAPE CONTRACTOR SHALL VISIT SITE PRIOR TO BIDDING ON PROJECT TO VERIFY INSTALLATION CONDITIONS.
- PRIOR TO COMMENCEMENT OF ANY WORK, THE CONTRACTOR SHALL CONTACT BLUE STAKE TO VERIFY LOCATIONS AND DEPTHS OF UNDERGROUND UTILITIES THAT MAY BE EFFECTED BY HIS WORK, AND HE SHALL BE RESPONSIBLE FOR DAMAGES TO SUCH UTILITIES CAUSED AS A RESULT OF HIS IRRIGATION INSTALLATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPENSATING THE OWNER AND/OR THE OWNER'S REPRESENTATIVE FOR ANY DESIGN CHANGES MADE AS A RESULT OF DEVIATION BY THE CONTRACTOR FROM THE PLANS AND SPECIFICATIONS OR DUE TO ERRORS, FAULTY MATERIAL OR FAULTY WORK OR FAULTY WORKER.
- INSTALL ALL MAINLINES WITH A MINIMUM OF 20" OF COVER.
- INSTALL ALL LATERALS WITH A MINIMUM OF 12" OF COVER.
- ALL PIPE TO BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS AND ASTM STANDARD D 2774.
- ALL THREADED JOINTS TO BE COATED WITH TEFLON TAPE UNLESS OTHERWISE SPECIFIED BY THE MANUFACTURER. USE LIQUID TEFLON ON METAL PIPE THREADS ONLY.
- FLUSHING OF ALL LINES PRIOR TO INSTALLATION OF SPRINKLERS AND EMITTERS IS REQUIRED.
- INSTALL ALL SPRINKLERS, EMITTERS, AND RELATED MATERIAL PER IRRIGATION SYSTEM SPECIFICATIONS AND DETAILS.
- INSTALL ALL ELECTRICAL JOINTS WITH 3-M WATERPROOF CONNECTORS.
- ALL ELECTRICAL CONNECTIONS SHALL BE MADE AT THE REMOTE CONTROL VALVE BOXES, CONTROLLER ENCLOSURES AND VALVE BOXES SPECIFICALLY FOR ELECTRICAL CONNECTIONS.
- A CERTIFIED ELECTRICIAN SHALL BE RESPONSIBLE FOR INSTALLING ALL WIRING FROM THE CIRCUIT BREAKER AT THE 120 VOLT SOURCE LOCATION TO AUTOMATIC CONTROLLER.
- ALL 120 VOLT VOLT POWER WIRE TO BE INSTALLED PER LOCAL CODE AND THE N.E.C.
- INSTALL ALL VALVE WIRING IN MAINLINE TRENCH AS DETAILED.
- INSTALL ALL REMOTE CONTROL VALVES AT HEIGHT INDICATED ON DETAILS, AS HIGH AS POSSIBLE BUT ALLOWING CLEARANCE BETWEEN VALVE BOX LID AND FLOW CONTROL HANDLE ON REMOTE CONTROL VALVE.
- INSTALL ALL MAINLINE GATE VALVES IN A ROUND PLASTIC VALVE BOX PER DETAILS.
- ALL PVC SOLVENT WELD FITTINGS SHALL BE LASCO OR APPROVED EQUAL.
- THE MAINLINE, LATERAL PIPE, AND VALVES ARE SHOWN SCHEMATICALLY AND SHALL BE INSTALLED WITHIN THE LANDSCAPE AREA, OUTSIDE R.O.W. AND P.U.E., ADJACENT TO SIDEWALK OR CURB AND OFFSET 18" WHEREVER POSSIBLE.
- SUPPLY THE FOLLOWING MATERIAL TO THE OWNER:
A) TWO WRENCHES FOR DISASSEMBLY AND ADJUSTING OF EACH TYPE OF SPRINKLER HEAD AND VALVE SUPPLIED.
B) TWO KEYS FOR EACH OF THE CONTROLLERS.
C) TWO COUPLERS WITH MATCHING HOSE BIBS AND SHUT-OFF VALVE.
D) TWO VALVE BOX KEYS.
- ALL MAINLINE FITTINGS FOR PIPE 3" AND LARGER SHALL BE CAST OR DUCTILE IRON FOR PVC; SCHEDULE 80 PVC FOR 2 1/2" AND SMALLER.
- ALL MAINLINE PIPE SHALL BE A MINIMUM OF SCHEDULE 40.
- SLEEVES SHALL BE A MINIMUM OF TWO TIMES THE DIAMETER OF THE LINE SIZE.
- ALL MAINLINE AND IRRIGATION EQUIPMENT SHALL BE PLACED IN THE LANDSCAPED AREAS.
- CONTROLLER WIRES THAT ARE DIRECT BURIED SHALL BE #14 OR BETTER, BUNDLED OR WRAPPED A MINIMUM OF EVERY TWELVE (12) FEET. DURING INSTALLATION WIRES SHALL HAVE A 24" LOOP TIED IN ALL DIRECTION CHANGES GREATER THAN 30 DEGREES AND BE UNITED PRIOR TO TRENCH FILL IN.
- DRIP SYSTEM FLUSH CAPS SHALL BE PLACED IN A VALVE BOX AT THE END OF ALL DRIP LATERAL RUNS, AS DESCRIBED ON THE DRAWINGS.
- ALL VALVES, PRESSURE REGULATORS AND OTHER DEVICES SHALL BE PLACED IN AN APPROPRIATELY SIZED VALVE BOX WITH A MINIMUM OF TWO (2) INCHES OF PEA GRAVEL.
- PRIOR TO PLACING ANY IRRIGATION SYSTEM IN SERVICE, AN ARIZONA CERTIFIED BACKFLOW DEVICE TESTER SHALL TEST THE BACKFLOW PREVENTION DEVICE AND GIVE A COPY OF THE PASSED TEST RESULTS TO THE MARICOPA COUNTY INSPECTOR OR MAIL IT TO THE MARICOPA COUNTY DEPARTMENT OF PUBLIC WORKS INSPECTION STATION.
- AFTER INITIAL TESTING, ALL BACKFLOW DEVICES SHALL BE TESTED ANNUALLY.
- BACKFLOW DEVICES SHALL BE A MINIMUM OF TWO (2) FEET FROM THE WATER METER AND BE THE SAME SIZE AS THE METER SERVICE LINE.
- ALL BACKFLOW PREVENTION DEVICES SHALL HAVE A MINIMUM 24"x36"x4" CLASS B CONCRETE SLAB WITH PIPE SLEEVES. IF A SECURITY CAGE IS INSTALLED, CONCRETE SHALL BE SIX (6") INCHES LARGER ON ALL SIDES THAN THE SECURITY CAGE.
- ALL PIPE CROSSINGS IN THE RIGHT-OF-WAY SHALL BE MARKED ON EACH SIDE OF THE CURB WITH A NON-DESTRUCTIBLE MARKING.

GRADING GENERAL NOTES:

- CONTRACTOR SHALL GRADE TO MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES. REVIEW ENGINEERS PLAN FOR DRAINAGE.
- FINISH GRADING SHALL BE BY THE DIRECTION OF THE LANDSCAPE ARCHITECT.
- LANDSCAPE ARCHITECT SHALL APPROVE GRADING PRIOR TO PLANTING.
- GRADING FOR THIS PROJECT INCLUDES THE FOLLOWING:
A) FINE GRADING OF EXISTING ROUGH GRADES IS REQUIRED TO PROVIDE SMOOTH, EVEN GRADE TRANSITION IN LANDSCAPE AREA.
B) IMPORTING AND PLACING "OFF-SITE 3/8" MINUS TOPSOIL" IN THE FOLLOWING AREAS:
i) TURF AND ANNUAL AREAS (6" DEPTH).
ii) PLANT BACKFILL (CAN BE SCREENED ON-SITE SOIL).
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY CAULICHE ENCOUNTERED ON SITE AT NO ADDITIONAL COST TO THE OWNER. THE OWNER AND CONTRACTOR SHALL COORDINATE A SUITABLE LOCATION ON SITE TO DISPOSE OF THE CAULICHE MATERIAL. SHOULD A SUITABLE LOCATION ON SITE NOT EXIST, THE OWNER SHALL BE RESPONSIBLE FOR ALL FEES ASSOCIATED WITH REMOVAL AND DISPOSAL OF THE CAULICHE.
- FINISH GRADE OF ALL PLANTING AREAS IS TO BE 1.5" BELOW ADJACENT PAVING UNLESS NOTED OTHERWISE.
- REFERENCE CIVIL ENGINEERING DRAWINGS FOR GRADING AND DRAINAGE FLOWS. THE CONTRACTOR SHALL BE RESPONSIBLE THAT THESE ARE PROVIDED FOR AND NOT IMPAIRED WITH OBSTRUCTIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR GRADING ALL AREAS AT THE DIRECTION OF THE LANDSCAPE ARCHITECT TO CREATE A NATURALLY UNDULATING GROUND PLANE.

VICINITY MAP:

SCALE: NTS



HARDSCAPE GENERAL NOTES:

- FOOTINGS, WALLS AND FENCES SHALL BE PLACED OUTSIDE OF THE PUBLIC RIGHT-OF-WAY.
- REFER TO CIVIL PLANS PREPARED BY CIVIL ENGINEERS FOR ALL INFORMATION REGARDING HORIZONTAL AND VERTICAL CONTROLS.
- ALL DETAILS SHALL BE REVIEWED BY A STRUCTURAL ENGINEER AND MODIFIED (IF NECESSARY) PRIOR TO CONSTRUCTION.
- ALL DIMENSIONS SHOWN ON THIS PLAN ARE BASED ON THE CIVIL PLAN SUBMITTED BY THE ARCHITECT. SHOULD DISCREPANCIES OCCUR, FIELD REVISIONS SHALL BE REQUIRED.
- THE CONTRACTOR SHALL HAVE SIDEWALK SURVEYED AND STAKED FOR REVIEW BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- IN ADDITION TO SUBMITTING MATERIAL SAMPLES OF ALL SITE RELATED MATERIALS, THE CONTRACTOR SHALL PREPARE A 4'X4' SAMPLE PANEL FOR EACH TYPE OF CONSTRUCTION, I.E. A) CONCRETE PAVERS, B) EXPOSED AGGREGATE PAVING, C) INTEGRAL COLORED CONCRETE, ETC., FOR APPROVAL BY THE LANDSCAPE ARCHITECT AND OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO FINAL CONSTRUCTION.
- UNLESS NOTED OTHERWISE ON CONSTRUCTION DOCUMENTS OR NOTED IN DETAILS, SIDEWALKS SHALL BE 5'-0" WIDE, 4" THICK, 3,000 PSI CONCRETE ON COMPACTED BASE WITH CONSTRUCTION JOINTS AT 5'-0" ON CENTER AND EXPANSION JOINTS AT 20'-0" ON CENTER. SIDEWALKS SHALL HAVE A MEDIUM BROOM, NON-SKID FINISH WITH 1/2" RADIUS TOOLED EDGES.
- RADIUS AT SIDEWALK INTERSECTIONS SHALL BE 5'-0" (TYPICAL), UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL LAYOUT AND VERIFY ALL HARDSCAPE ELEMENTS PRIOR TO CONSTRUCTION FOR REVIEW BY THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE. SHOULD DISCREPANCIES EXIST, CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE BEFORE PROCEEDING FURTHER.

SHEET INDEX:

COVER SHEET	L0.0
INVENTORY SALVAGE PLAN	L2.0A, L2.0B
LAYOUT PLAN	L2.1-L2.3
PLANTING PLAN	L3.1-L3.3
IRRIGATION PLAN	L4.1
LIGHTING PLAN	L5.1
HARDSCAPE DETAILS	L6.1
PLANTING DETAILS	L7.1
PLANTING SPECIFICATIONS	L8.1
IRRIGATION SPECIFICATIONS	L8.2

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5090 N. 40TH ST. STE 170
PHOENIX, AZ 85018
PHONE: (860) 331-0701
CONTACT: ANDREW STRATTON



ROADRUNNER RESIDENCE

5611 E. Roadrunner Ln.
Paradise Valley, AZ. 85253



project #:
SAA112

drawn by:
TEAM

drawing:
Cover

L0.0
of



GENERAL SALVAGE NOTES:

1.

PLANT MATERIALS MUST BE INDIVIDUALLY TAGGED IN THE FIELD AT THE TIME THE INVENTORY PLANS ARE SUBMITTED. TAGGED MATERIALS MUST BE CLEARLY MARKED WITH WATERPROOF INK AND INCLUDE THE NUMBER WHICH CORRESPONDS TO THE NUMBER SHOWN ON THE PLANS.
2.

ALL PLANT MATERIALS MUST REMAIN ON SITE UNTIL THE SALVAGE PLAN IS APPROVED.
3.

TAGS MUST BE ATTACHED SO THAT THEY WILL REMAIN ON THE PLANT FOR THE DURATION OF THE SALVAGE AND NURSERY STORAGE PERIOD.
4.

ALL SALVAGEABLE MATERIAL IS TO BE CLEARLY FLAGGED WITH TAPE OR PLASTIC TAGS VISIBLE FROM ALL DIRECTIONS. TAGS SHALL BE NUMBERED TO CORRESPOND WITH THE PLANT INVENTORY PLAN AND LEGEND.
- COLOR CODE AS FOLLOWS:

RED - SALVAGE AND RELOCATE

WHITE - PRESERVE AND PROTECT IN PLACE

BLUE - DESTROY, NOT SALVAGEABLE AND CANNOT REMAIN IN PLACE
5.

ALL SALVAGEABLE PLANTS WILL BE STORED AT AN ON-SITE HOLDING YARD AND WILL BE RE-PLANTED ON-SITE AT A LATER DATE.
6.

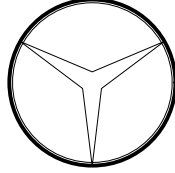
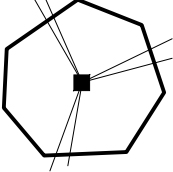
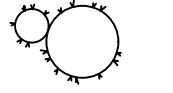
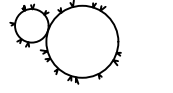
ALL MISCELLANEOUS CACTI UNDER 3' IN HEIGHT WILL BE SALVAGED AND STORED IN THE NURSERY IF THEY ARE WITHIN THE BUILDING ENVELOPE AND AFFECTED BY CONSTRUCTION.
7.

UPON REMOVAL OF SALVAGEABLE NATIVE PLANTS THE SALVAGE CONTRACTOR SHALL SUBMIT A LIST IDENTIFYING THE TAG NUMBER OF THE PLANTS SURVIVING SALVAGE OPERATIONS TO THE CITY'S LANDSCAPE INSPECTOR PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
8.

CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PROJECT PROPERTY LINES PRIOR TO SALVAGE. ANY PLANT MATERIAL THAT IS LABELED SALVAGEABLE OR NON-SALVAGEABLE OUTSIDE OF FINAL STAKING BOUNDARIES IS TO REMAIN IN PLACE UNLESS OTHERWISE DIRECTED BY OWNER.
9.

CONTRACTOR TO VERIFY WITH OWNER ALL PLANT MATERIAL LABELED SALVAGEABLE OR NON-SALVAGEABLE ADJACENT TO N.A.O.S. BOUNDARIES AND /OR DRAINAGE WAYS

PLANT SYMBOL LEGEND:

		Parkinsonia	Palo Verde
		Prosopis velutina	Mesquite
		Carnegiea gigantea	Saguaro

INVENTORY COMPLETED BY:

ARIZONA SPECIALTY CACTUS
PHONE: 602-694-3496
E-MAIL: AZSPECIALTYCACTUS@GMAIL.COM
CONTACT: ALEX GREY

Tag #	Species	Condition	Inventory Designation	Intended Designation	Salvageability Comments	Caliper Inches	Tree Height-Ft.	Tree Width-Ft.	Cacti Height- LF
1	Palo Verde	Poor	D	Destroy	Branch Die Back	8	12	17	
2	Palo Verde	Good	D	Destroy		4	10	15	
3	Palo Verde	Poor	D	Destroy	Branch Die Back	5	13	15	
4	Palo Verde	Poor	D	Destroy	Branch Die Back	5	10	15	
5	Palo Verde	Poor	D	Destroy	In Vlash	5	12	13	
6	Palo Verde	Poor	D	Destroy	In Vlash	4	8	12	
7	Palo Verde	Poor	D	Destroy	Branch Die Back	5	11	14	
8	Palo Verde	Good	D	Destroy		10	14	17	
9	Palo Verde	Poor	D	Destroy	In Vlash	10	14	16	
10	Palo Verde	Poor	D	Destroy	In Vlash	10	14	15	
11	Palo Verde	Poor	D	Destroy	Poor Health	4	8	8	
12	Palo Verde	Poor	D	Destroy	Poor Condition	5	8	8	
13	Palo Verde	Good	D	Destroy		6	12	15	
14	Mesquite	Poor	D	Destroy	Branch Die Back	10	12	17	
15	Palo Verde	Poor	D	Destroy	Branch Die Back	6	12	15	
16	Palo Verde	Poor	D	Destroy	Branch Die Back	4	10	15	
17	Palo Verde	Poor	D	Destroy	Branch Die Back	5	7	10	
18	Palo Verde	Poor	D	Destroy	Branch Die Back	5	10	15	
19	Saguaro	Good	S	Salvage		20	4		
20	Palo Verde	Good	D	Destroy		4	7	15	
21	Palo Verde	Good	D	Destroy		5	15	15	
22	Palo Verde	Good	D	Destroy		5	12	15	
23	Palo Verde	Poor	D	Destroy	Branch Die Back	5	7	14	
24	Palo Verde	Good	D	Destroy		4	9	13	
25	Palo Verde	Poor	D	Destroy	Multihead	4	9	15	
26	Palo Verde	Poor	D	Destroy	Branch Die Back	6	14	16	
27	Palo Verde	Poor	D	Destroy	Branch Die Back	4	9	12	
28	Palo Verde	Poor	D	Destroy	Branch Die Back	4	12	16	
29	Palo Verde	Good	D	Destroy		12	15	20	
30	Palo Verde	Poor	D	Destroy	Branch Die Back	7	12	15	
31	Palo Verde	Poor	D	Destroy	Branch Die Back	5	9	14	
32	Palo Verde	Poor	D	Destroy	Branch Die Back	10	15	18	
33	Palo Verde	Poor	D	Destroy	Branch Die Back	10	13	16	
34	Palo Verde	Poor	D	Destroy	Branch Die Back	10	15	18	
35	Palo Verde	Poor	R	Remain in Place	Split Head	6	15	17	
36	Palo Verde	Poor	R	Remain in Place	In Vlash	4	10	14	
37	Palo Verde	Poor	R	Remain in Place	Branch Die Back	10	15	15	
38	Palo Verde	Poor	R	Remain in Place	Branch Die Back	10	15	20	
39	Palo Verde	Poor	R	Remain in Place	Branch Die Back	4	9	15	
40	Palo Verde	Poor	R	Remain in Place	On Ledge	12	13		
41	Palo Verde	Poor	R	Remain in Place	On Ledge	5	16	18	
42	Palo Verde	Poor	R	Remain in Place	On Ledge	5	16		
43	Palo Verde	Poor	R	Remain in Place	Leaning	8	16	17	
44	Palo Verde	Good	D	Destroy		12	15	17	
45	Palo Verde	Poor	D	Destroy	Branch Die Back	12	10	18	
46	Palo Verde	Poor	D	Destroy	Branch Die Back	8	12	17	
Total CA inches:						322			

Summary
Salvage Plants
0 Trees on this site to be salvaged totaling 0 caliper inches
1 Cacti on this site to be salvaged totaling 4 lateral feet
1 Total Plants to Salvage
Unsalvageable Plants (Destroy)
9 Trees on this site that are not salvageable (destroy) totaling 64 caliper inches
0 Cacti on this site that not salvageable totaling 0 caliper inches
9 Total Plants to Destroy (Unsalvageable)
Plants to Remain
36 Trees on site to remain in place

ROADRUNNER RESIDENCE

5611 E. Roadrunner Ln.
Paradise Valley, AZ. 85253



GREY PICKETT
landscape architecture | community design
7144 E. Mission Drive, Suite 205
Phoenix, AZ 85032
480.609.0009p 480.609.0068t



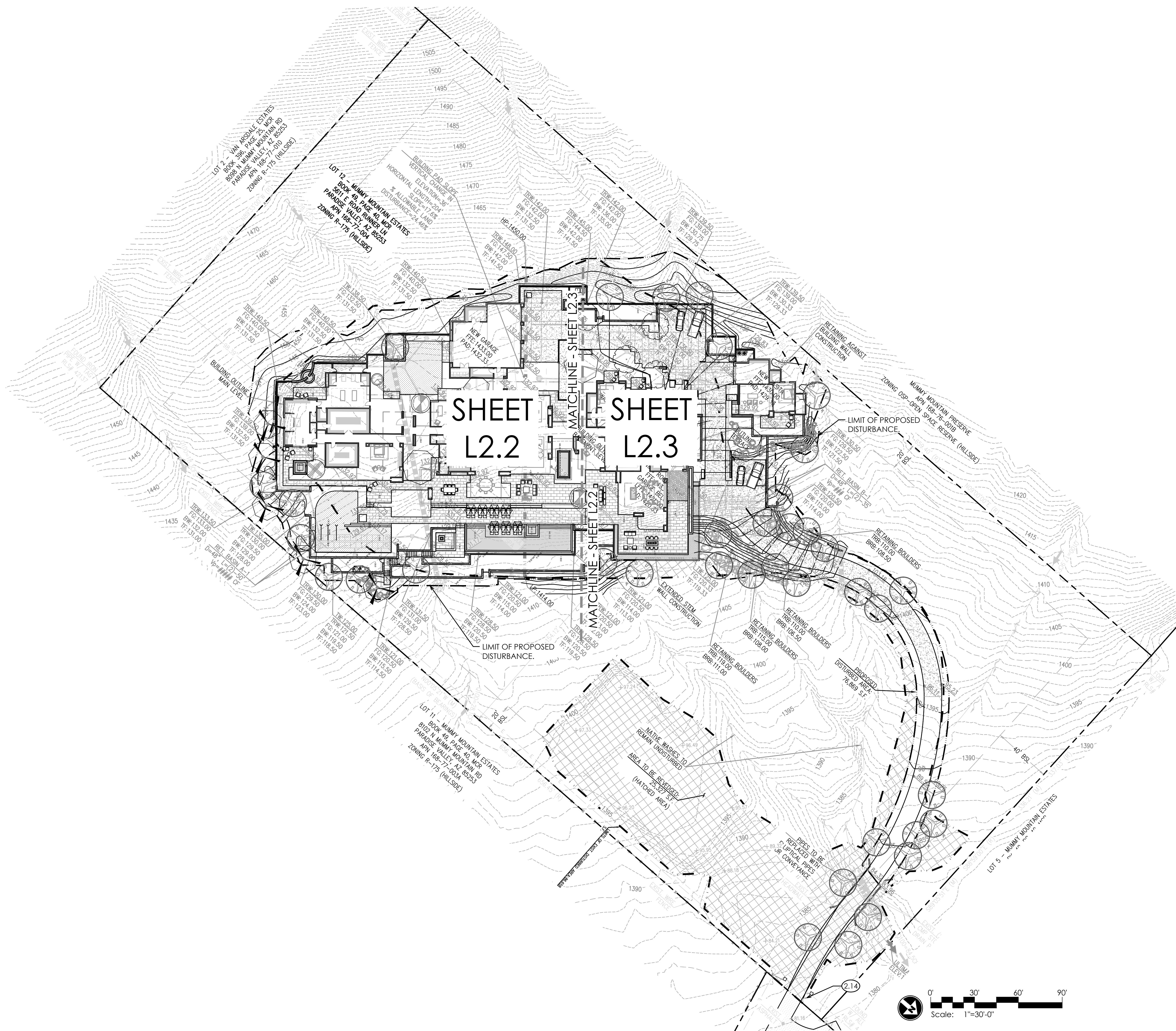
project #: SAA112
scale: 1"=20'-0"
issued for:

drawn by: TEAM
date: 11/25/2025

drawing: Native Plant Inventory

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of



KEY NOTES

1.10

COLOR CONCRETE, LIGHT EXPOSED FINISHED, 3/8" MIX, COLOR TBD. SAW CUT JOINTS. 1/4" RADIUS EDGE.

1.11

LARGE FORMAT PATIO PAVING, TBD. NOTE GRADE CHANGE AT EDGE OF PATIO, TURN DOWN CONDITIONS EXIST. MITER AND CARRY PATIO MATERIAL DOWN EXPOSED FACES OF PATIO.

1.30

1/4" THICK STEEL ANGLE LANDSCAPE HEADER.

1.31

1/4" THICK RAISED STEEL HEADER. 12" HIGH.

1.32

1"-3" DESERT COBBLE AT ROOF TOP GARDEN.

1.64

STEPS:16" TREAD, 6" RISER. FINISH TO MATCH KEYNOTE 1.11.

1.61

STEPS:14" TREAD, 6" RISER. FINISH TO MATCH KEYNOTE 1.11.

1.62

STEPS:12" TREAD,6" RISER. FINISH TO MATCH KEYNOTE 1.11.

2.10

8" WIDE MASONRY WALL, STUCCO AND PAINT FINISH TO MATCH ARCHITECTURE. FLAT STUCCO CAP. SLOPE TO DRAIN.

2.11

12" WIDE MASONRY WALL, STUCCO AND PAINT FINISH TO MATCH ARCHITECTURE. FLAT STUCCO CAP. SLOPE TO DRAIN.

2.12

8" WIDE MASONRY WALL, STONE VENEER WRAP TO CAP.

2.13

8" WIDE MASONRY FEATURE WALL AT POOL WITH SCUPPERS. CLAD IN STONE TO MATCH ARCHITECTURE. WRAP STONE OVER FOR CAP.

2.14

MAILBOX. TO MEET PV STANDARDS.

2.15

STEEL PLATE WALL INSERT.

2.50

FENCE, #4 REBAR PICKETS SPACED AT 4" ON CENTER.

2.51

3'-0" WIDE GATE TO MATCH 2.50.

2.52

3'-0" WIDE STEEL PANEL GATE.

2.53

RAILING, PER ARCHITECT.

3.30

STEEL FIRE PIT AT SUNKEN SEATING AREA.

3.31

FIREPIT AT ROOFTOP DECK.

3.32

FIREPLACE PER ARCHITECT.

4.10

POOL WITH NEGATIVE EDGE.

4.11

SUN SHELF AT POOL, 9" WATER DEPTH.

4.12

INVISIBLE EDGE SPA.

4.13

POOL EQUIPMENT LOCATION.

4.14

RAISED NEGATIVE EDGE SPA. SPILLOVER ON ALL SIDES. 18" HIGH.

4.15

FOUNTAIN AT MASTER BATH.

4.16

FOUNTAIN WITH NEGATIVE EDGE AND FIRE BURNER FEATURE.

5.10

SYNTHETIC TURF. ARTIFICIAL LAWNS CO. 'CORONADO' TURF. CONTRACTOR TO PROVIDE SAMPLE ON SITE FOR OWNER APPROVAL PRIOR TO PURCHASE OR INSTALL.

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BOULDERS TO BE FIELD LOCATED BY LANDSCAPE ARCHITECT. CONTRACTOR TO SALVAGE LARGER BOULDERS DURING SITE EXCAVATION, FOR REUSE IN LANDSCAPE. BOULDERS TO MATCH NATURAL HILLSIDE ROCK. NO SURFACE SELECT.

5.12

PLANTER POT. CONTRACTOR TO PROVIDE PLUMBING AND SLEEVING FOR IRRIGATION AND DRAINAGE.

6.10

BBQ COUNTER, PER ARCHITECT.

6.11

PASS THROUGH WINDOW BAR COUNTER, PER ARCHITECT.

6.12

BUILT IN SEATING. 9" THICK CAST CONCRETE CAP WITH HIDDEN LED LIGHT STRIP.

NOTES:

1.

WALLS: IF RETAINING DAMP PROOF AND GROUT ALL CELLS BELOW GRADE. SEE PLAN FOR HEIGHT.

2.

ALL GATES AND FENCING TO MEET POOL BARRIER STANDARDS.

3.

POOL CONTRACTOR TO PROVIDE SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO CONSTRUCTION.

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ROADRUNNER RESIDENCE

5611 E. Roadrunner Ln.
Paradise Valley, AZ. 85253

GREY PICKETT

landscape architecture community design

7144 e session drive, suite 205
paradise valley, az 85253
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28448
RUSSELL E. GREY
REGISTERED LANDSCAPE ARCHITECT
EXPIRES 12/31/26

CALL TWO WORKING DAYS
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1-800-STAKE-IT
(DO NOT HIRE ANYONE ELSE)

project #:
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scale:
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TEAM

date:
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drawing:
Overall Layout Plan

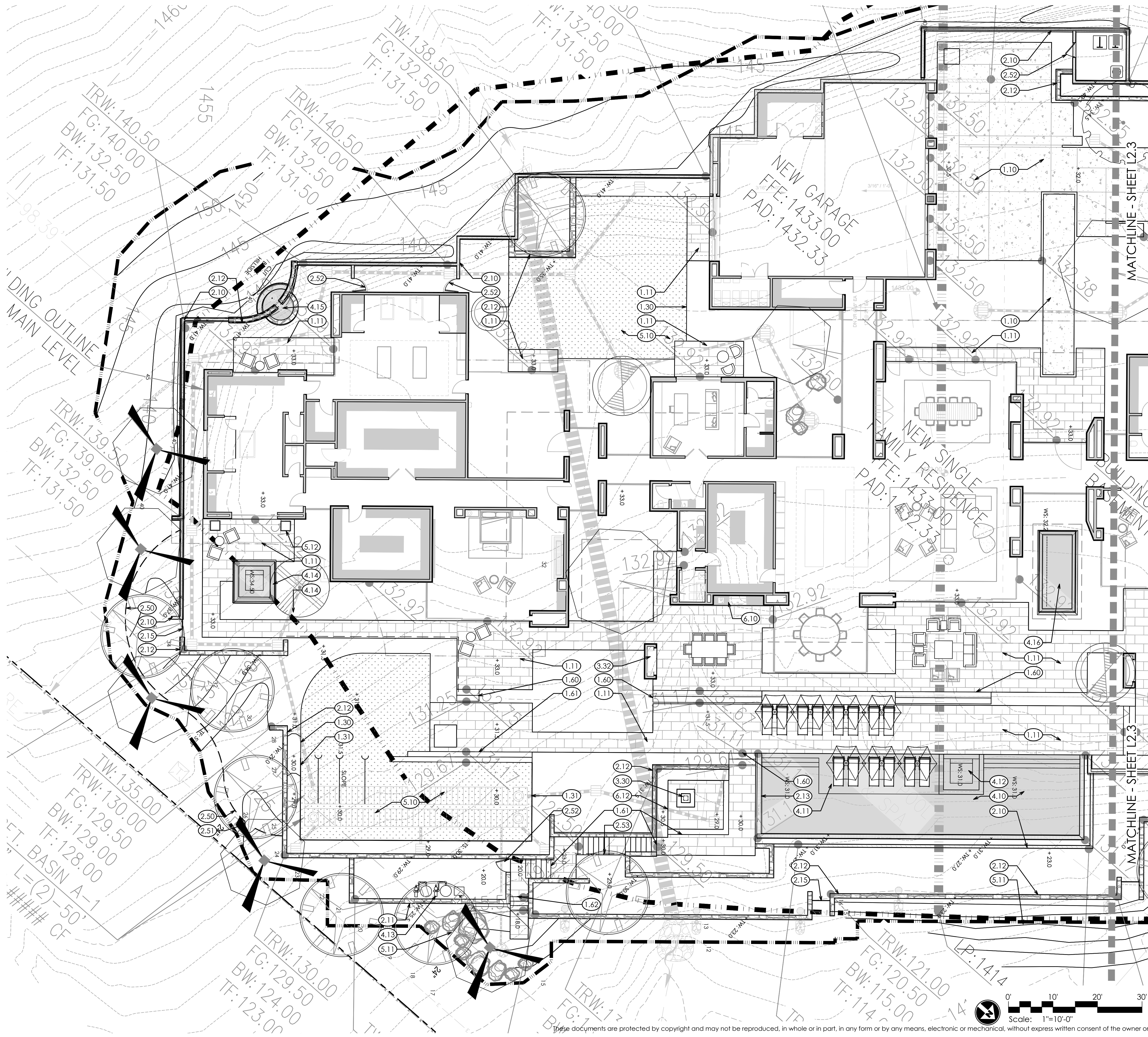
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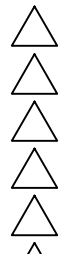
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ROADRUNNER RESIDENCE

5611 E. Roadrunner Ln.
Paradise Valley, AZ. 85253



project #:
SAA112

scale:
1"=10'-0"
issued for:

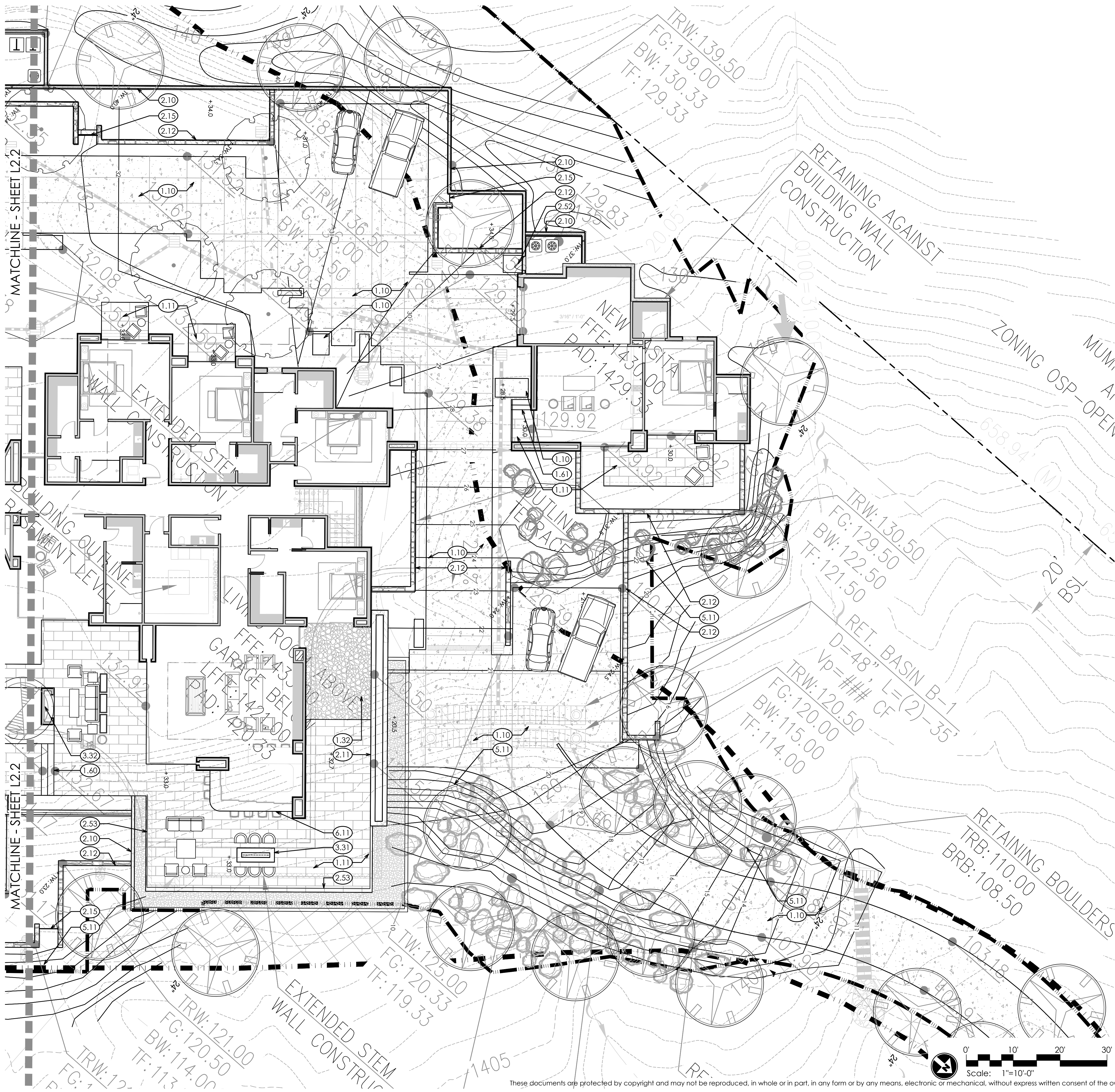
drawn by:
TEAM

date:
11/25/2025

drawing:
Enlarged Layout Plan

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of

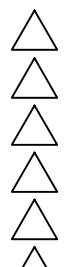


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- 2.15 STEEL PLATE WALL INSERT.
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- 2.51 3'-0" WIDE GATE TO MATCH 2.50.
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project #:
SAA112

scale:
1"=10'-0"
issued for:

drawn by:
TEAM

date:
11/25/2025

drawing:
Enlarged Layout Plan

L2.3


of

A collection of various geometric shapes including circles, polygons, and a clock face, some with internal patterns or labels.

MASS PLANTING

INERTS

038-04

Groundcovers				
	<i>Glandularia pulchella</i>	1 gal.	25	-
	Moss Verbena			
	<i>Melampodium leucanthum</i>	1 gal.	12	-
	Blackfoot Daisy			

SALVAGE PLANT MATERIALS LEGEND			
Sym.	Plant Name	Salvage Tag	Qty

GREEY PICKETT
landscape architecture | community design
7144 e stetson drive, suite 205
scottsdale, arizona 85251
480.609.0000 **wp** 480.609.0068 **f**



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ROADRUNNER RESIDENCE

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Paradise vAlley, AZ. 85253

project #: SAA112
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drawing:
Overall Planting Plan

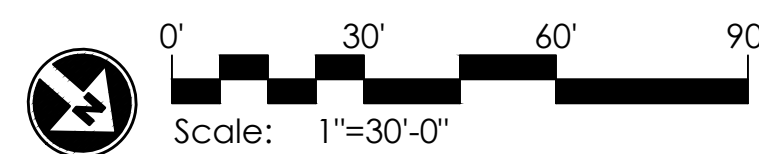
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of

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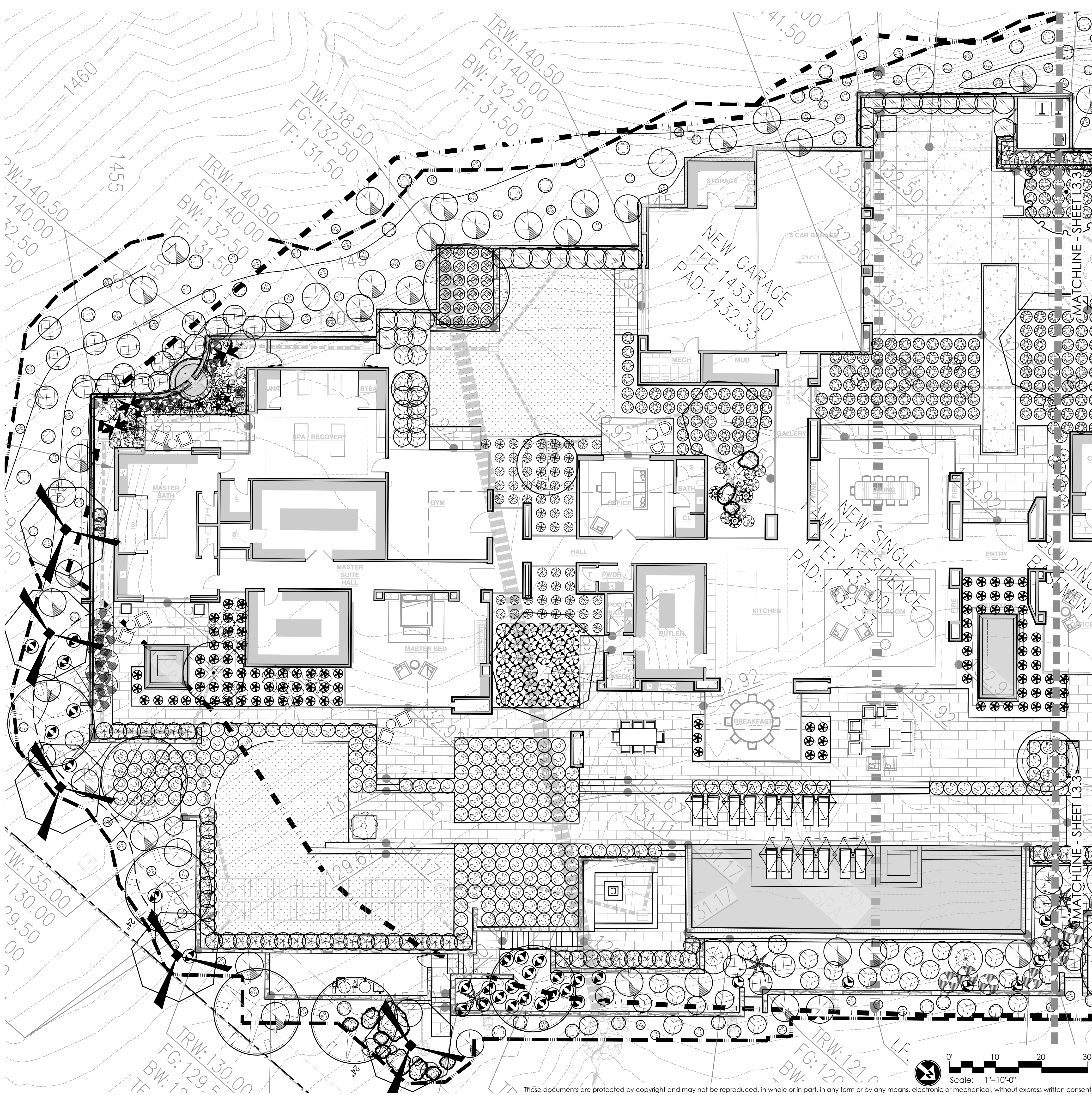
- NOTES:

1. ALL PLANTS SHALL BE WATERED WITH AUTOMATIC DRIP IRRIGATION SYSTEM.
 2. ALL LANDSCAPE AREAS EXCLUDING TURF TO BE COVERED WITH CRUSHED ROCK.
 3. LANDSCAPE ARCHITECT TO APPROVE FINAL GRADING. PLANTING SHALL NOT OCCUR UNTIL FINAL GRADING IS APPROVED.
 4. LOCATIONS OF PLANTS SHOWN ON DRAWING ARE APPROXIMATE. LANDSCAPE ARCHITECT TO FIELD APPROVE ALL FINAL LOCATIONS PRIOR TO INSTALLATION.
 5. DUE TO SEASONAL AND OR UNFORESEEN CONSTRAINTS SOME PLANT MATERIAL WILL POSSIBLY NOT BE AVAILABLE AT TIME OF INSTALLATION. LANDSCAPE CONTRACTOR TO SUBMIT LIST OF ANY NON-AVAILABLE MATERIAL TO LANDSCAPE ARCHITECT FOR REPLACEMENTS TO BE SELECTED.
 6. PLANT MATERIAL SHALL BE ADJUSTED IN FIELD TO AVOID TREE ROOT BALLS.
 7. ALL PLANT MATERIAL IS TO BE RETAIL QUALITY.
 8. LANDSCAPE CONTRACTOR TO PROVIDE PICTURES OR SAMPLES OF ALL PLANT MATERIAL PRIOR TO INSTALLATION FOR APPROVAL.
 9. ALL PLANT MATERIAL SOURCED FROM OUTSIDE OF ARIZONA TO BE PROPERLY ACCLIMATED TO ARIZONA CLIMATE DEPENDING ON TIME OF YEAR OF INSTALLATION.
- METHODS: SUN-SCREEN CLOTH/FABRIC TO BE INSTALLED ABOVE PLANT MATERIAL.

NOTE: S# INDICATES NEW LOCATION OF RELOCATED SALVAGED PLANT MATERIAL.



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PLANT MATERIALS LEGEND				
Sym.	Plant Name	Size	Qty	Remarks
Trees				
	<i>Bauhinia lunarioides</i> Anacacho Orchid Tree	36" box	1	-
	<i>Bursera fagaroides</i> Elephant Tree	36" box	2	-
	<i>Chitalpa tashkentensis</i> Chitalpa	36" box	4	Multi-Trunk
	<i>Olea europaea</i> 'Swan Hill' Swan Hill Olive	60" box	1	-
	<i>Olney tesota</i> Ironwood	(4)@ 66" 80" TO BE SELECTED BY L.A. SOURCE: Native Resources	1	Specimen
	<i>Parkinsonia microphylla</i> Foothills Palo Verde	36" box	5	-
	<i>Prosopis velutina</i> Native Mesquite	(13)@ 24" Box (32)@ 36" Box	37	multi-trunk
Shrubs				
	<i>Ambrosia deltoidea</i> Triangle Leaf Bursage	1 gal.	308	-
	<i>Boueloua gracilis</i> 'Blonde Ambition' Blonde Ambition Blue Grama	1 gal.	365	-
	<i>Calliandra eriophylla</i> Pink Fairy Duster	1 gal.	17	-
	<i>Dianella revoluta</i> 'Little Rev' Little Rev Flax Lily	1 gal.	104	-
	<i>Dodonaea viscosa</i> Hop Bush	5 gal.	37	-
	<i>Eriogonum fasciculatum</i> Flat Top Buckwheat	1 gal.	69	-
	<i>Justicia californica</i> Chuparosa	5 gal.	96	-
	<i>Larrea tridentata</i> Creosote	5 gal.	104	-
	<i>Lavandula multifida</i> Femleaf Lavender	5 gal.	24	-
	<i>Muhlenbergia rigens</i> Deer Grass	1 gal.	37	-
	<i>Olea europaea</i> 'Montra' Little Ollie Dwarf Ollie	5 gal.	55	-
	<i>Penstemon parryi</i> Perry's Penstemon	1 gal.	10	-
	<i>Perovskia atriplicifolia</i> Russian Sage	1 gal.	200	-
	<i>Salvia clevelandii</i> Chaparral Sage	5 gal.	16	-
	<i>Simmondsia chinensis</i> Jojoba	5 gal.	43	-
	<i>Sphaeralcea ambigua</i> Globe Mallow	5 gal.	108	-
	<i>Vaquelinia californica</i> Arizona Rosewood	5 gal.	3	-
	<i>Viguiera deltoidea</i> Goldeneye	1 gal.	27	-
	<i>Vitex trifolia</i> 'Purpurea' Arabian Lilac	5 gal.	9	-
Groundcovers				
	<i>Glandularia pulchella</i> Moss Verbena	1 gal.	25	-
	<i>Melampodium leucanthum</i> Blackfoot Daisy	1 gal.	12	-
Accents Cactus				
	<i>Agave americana</i> Century Plant	15 gal.	3	-
	<i>Agave bovicornuta</i> Cow Horn Agave	15 gal.	3	-
	<i>Agave ovatifolia</i> Whale's Tongue Agave	15 gal.	3	-
	<i>Agave tequilana</i> Weber Blue Agave	15 gal.	2	-
	<i>Agave weberi</i> Blue Agave	5 gal.	8	-
	<i>Agave x 'Blue Glow'</i> Blue Glow Agave	15 gal.	5	-
	<i>Aloe barbadensis</i> Medicinal Aloe	5 gal.	17	-
	<i>Aloe rudikoppe</i> Little Red Riding Hood Aloe	5 gal.	63	-
	<i>Asclepias subulata</i> Desert Milkweed	5 gal.	4	-
	<i>Dasylirion wheeleri</i> Desert Spoon	5 gal.	2	-
	<i>Euphorbia antispyphilica</i> Candelilla	5 gal.	6	-
	<i>Euphorbia ingens</i> 'Chocolate Drop' Chocolate Drop Cactus	15 gal.	6	-
	<i>Euphorbia royleana</i> Churee	15 gal.	1	-
	<i>Fouquieria splendens</i> Ocotillo	Large bare root	4	-
	<i>Opuntia basilaris</i> 'Baby Rita' Baby Rita Prickly Pear	5 gal.	35	-
	<i>Opuntia engelmannii</i> Engelmann's Prickly Pear	5 gal.	22	-
	<i>Opuntia ficus-indica</i> Indian Fig	15 gal.	7	-
	<i>Opuntia gomei</i> 'Old Mexico' Old Mexico Prickly Pear	5 gal.	31	-
	<i>Opuntia violacea santa-rita</i> Purple Prickly Pear	5 gal.	54	-
	<i>Pachycereus pringlei</i> Cardon	(5)@ 6" (2)@ 8" (1)@ 10"	(2)@ 3" (4)@ 4" (3)@ 5"	17 total
	<i>Pachycereus schottii f. monstrosus</i> Totem Pole Cactus	(4)@ 2" (2)@ 3"		6 total
	<i>Stenocereus marginatus</i> Mexican Fence Post	15 gal.	3	-
	<i>Yucca baccata</i> Banana Yucca	5 gal.	36	-
	<i>Yucca filifera</i> Tree Yucca	15 gal.	5	-
	<i>Yucca rostrata</i> Beaked Yucca	48" box	1	specimen

GREY PICKETT

landscape architecture community design

7144 e session drive suite 205

denver, colorado 80231

303.469.0009p 303.469.0068t

28418

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(DO NOT ACCEPT COUNTY)

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project #:

SAA112

scale:

1"= 10'-0"

issued for:

drawn by:

TEAM

date:

11/25/2025

drawing:

Enlarged Planting Plan

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ROADRUNNER RESIDENCE

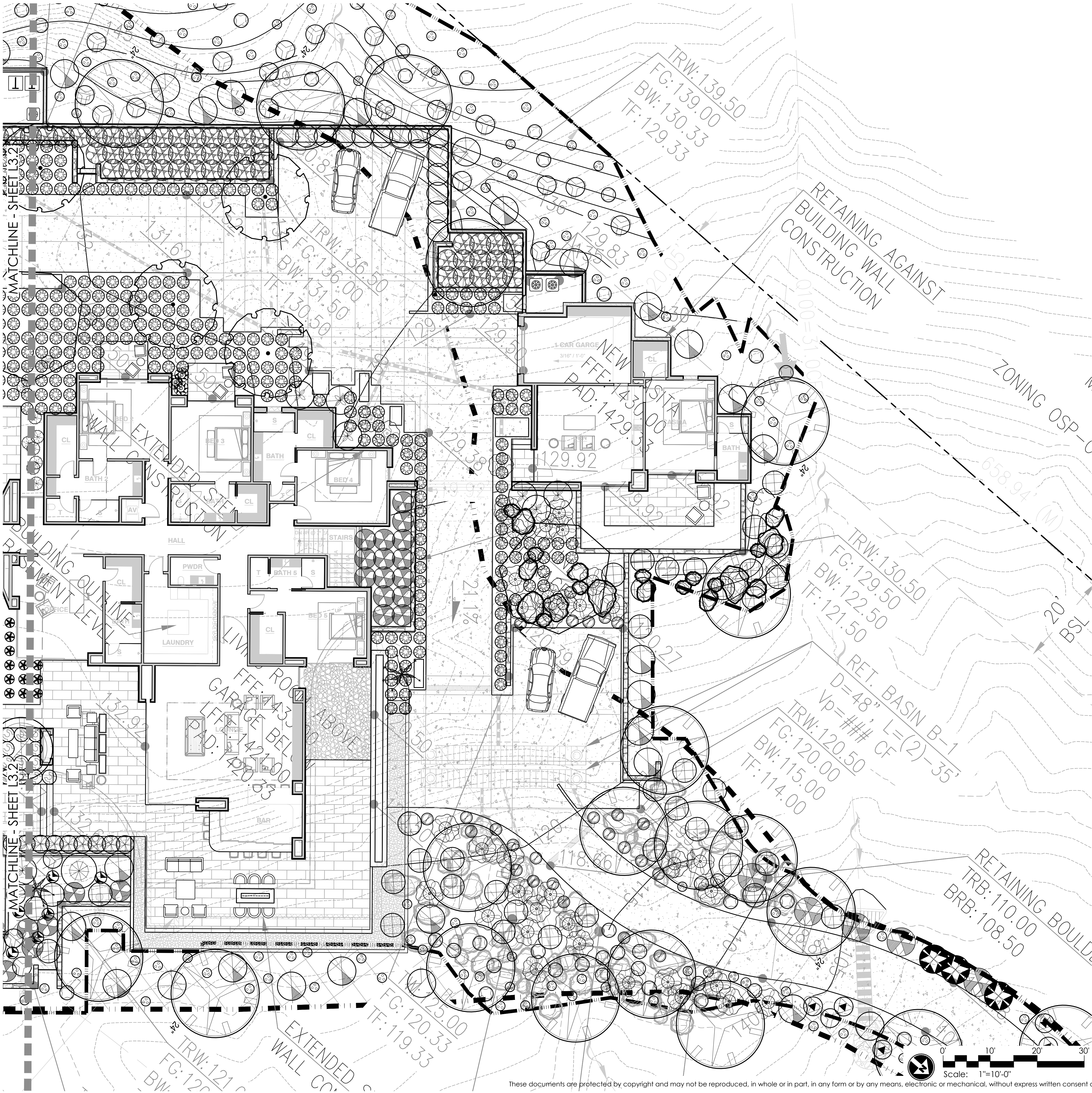
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	<i>Olney tesota</i> Ironwood	(4)@ 66"-80" TO BE SELECTED BY L.A. SOURCE: Native Resources	Specimen	-
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GREY
Landscape Architect
No. 17726
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ROADRUNNER RESIDENCE

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Paradise Valley, AZ. 85253

revisions:
project #:
SAA112
scale:
1"=10'-0"
issued for:
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TEAM
date:
11/25/2025
drawing:
Enlarged Planting Plan

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IRRIGATION GENERAL NOTES

1.

THE SYSTEM DESIGN ASSUMES A MINIMUM DYNAMIC PRESSURE FOR THE IRRIGATION SYSTEM OF 65 PSI, AT A MINIMUM DISCHARGE OF 50 GPM AT MAINLINE POINT-OF-CONNECTION. VERIFY PRESSURE AND FLOW ON SITE AND NOTIFY LANDSCAPE ARCHITECT OF ANY DIFFERENCES PRIOR TO INSTALLATION OR ORDERING OF ANY MATERIALS OR STARTING CONSTRUCTION. IF CONTRACTOR FAILS TO NOTIFY LANDSCAPE ARCHITECT, HE ASSUMES FULL RESPONSIBILITY FOR ANY NECESSARY SYSTEM ALTERATIONS AND ADDITIONAL COST THAT RESULT. FIELD MODIFICATIONS MAY OCCUR IN ORDER TO FULFILL THE DESIGN INTENT OF THE DRAWINGS. CONTRACTOR SHALL CONSULT WITH IRRIGATION DESIGNER AND PREPARE AS-BUILT PLANS SHOULD FIELD MODIFICATIONS BE NECESSARY.
2.

READ THOROUGHLY AND BECOME FAMILIAR WITH THE SPECIFICATIONS AND INSTALLATION DETAILS FOR THIS AND RELATED WORK PRIOR TO CONSTRUCTION.
3.

COORDINATE UTILITY LOCATES ("CALL BEFORE YOU DIG") OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
4.

DO NOT PROCEED WITH THE INSTALLATION OF THE IRRIGATION SYSTEM WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS OR GRADE DIFFERENCES EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. IF DISCREPANCIES IN CONSTRUCTION DETAILS, LEGEND, NOTES, OR SPECIFICATIONS ARE DISCOVERED, BRING ALL SUCH OBSTRUCTIONS OR DISCREPANCIES TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE.
5.

THESE IRRIGATION CONSTRUCTION DOCUMENTS, INCLUDING ALL PLANS, NOTES, DETAILS AND SPECIFICATIONS ARE INTENDED TO FACILITATE THE INSTALLATION CONTRACTOR BY PROVIDING GENERAL GUIDELINES FOR DESIGN INTENT. THEREFORE, ALL IRRIGATION ELEMENTS GRAPHICALLY REPRESENTED IN THESE CONSTRUCTION DOCUMENTS ARE SCHEMATIC.

A.

ALTHOUGH IRRIGATION COMPONENTS MAY BE SHOWN OUTSIDE PLANTING AREAS FOR CLARITY, INSTALL IRRIGATION PIPE AND WIRING IN LANDSCAPED AREAS WHENEVER POSSIBLE. PROVED 18" DEEP, ROCK FREE COVER OVER MAINLINE AND WIRE, AND COVER 12" DEEP OVER LATERALS. 6" OVER POLY PIPE AND 1/4" PIPE, BASED ON FINISHED GRADE.

B.

TREE AND SHRUB LOCATIONS AS SHOWN ON LANDSCAPE PLANS TAKE PRECEDENCE OVER IRRIGATION EQUIPMENT LOCATIONS. AVOID CONFLICTS BETWEEN THE IRRIGATION SYSTEM, PLANTING MATERIALS, AND ARCHITECTURAL FEATURES.

C.

USE ONLY STANDARD TEES AND ELBOW FITTINGS. USE OF CROSS TYPE FITTINGS IS NOT ALLOWED.

6.

PROVIDE THE FOLLOWING COMPONENTS TO THE OWNER PRIOR TO THE COMPLETION OF THE PROJECT:

A.

TWO (2) OPERATING KEYS FOR EACH TYPE OF MANUALLY OPERATED VALVES.

B.

TWO (2) OF EACH SERVICING WRENCH OR TOOL NEEDED FOR COMPLETE ACCESS, ADJUSTMENT, AND REPAIR OF ALL ROTARY SPRINKLERS.

7.

SELECT NOZZLES FOR SPRAY AND ROTARY SPRINKLERS WITH ARCS WHICH PROVIDE COMPLETE AND ADEQUATE COVERAGE WITH MINIMUM OVERSPRAY FOR THE SITE CONDITIONS. CAREFULLY ADJUST THE RADIUS OF THROW AND ARC OF COVERAGE OF EACH ROTARY SPRINKLER TO PROVIDE THE BEST PERFORMANCE.

8.

THE IRRIGATION CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF IRRIGATION SLEEVING. SLEEVES ARE REQUIRED FOR BOTH PIPING AND ELECTRICAL WIRING AT EACH HARDSCAPE CROSSING. ALL PIPE AND WIRING UNDER PAVED SURFACES SHALL BE IN CLASS 200 MINIMUM PVC SLEEVES. WHETHER OR NOT SHOWN, PIPING IN SLEEVES UNDER ROADWAYS SHALL BE A MINIMUM DEPTH OF 24". PIPING IN SLEEVES UNDER SIDEWALKS SHALL BE A MINIMUM DEPTH OF 18". EXTEND SLEEVES 12" BEYOND EDGE OF PAVEMENT.

9.

COORDINATE INSTALLATION OF SLEEVING WITH OTHER TRADES. ANY PIPE OR WIRE WHICH PASSES BENEATH EXISTING HARDSCAPE WHERE SLEEVING WAS NOT INSTALLED WILL REQUIRE HORIZONTAL BORING BY THE IRRIGATION CONTRACTOR.

10.

INSTALL ALL ELECTRICAL POWER TO THE IRRIGATION CONTROL SYSTEM IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE AND ALL APPLICABLE LOCAL ELECTRIC UTILITY CODES. ALL 24-VOLT WIRING SHALL BE #14 UFUL DIRECT-BURIAL, SOLID COPPER.

11.

THE FOLLOWING SHOULD BE NOTED REGARDING PIPE SIZING: IF A SECTION OF UNSIZED PIPE IS LOCATED BETWEEN THE IDENTICALLY SIZED SECTIONS, THE UNSIZED PIPE IS THE SAME NOMINAL SIZE AS THE TWO SIZED SECTIONS. THE UNSIZED PIPE SHOULD NOT BE CONFUSED WITH THE DEFAULT PIPE SIZE NOTED IN THE LEGEND.

12.

INSTALL TWO (2) #14 AWG CONTROL WIRES FROM CONTROLLER LOCATION TO EACH DEAD-END OF MAINLINE FOR USE AS SPARES IN CASE OF CONTROL WIRE FAILURE. COIL 3 FEET OF WIRE IN VALVE BOX.

13.

SYSTEM SCHEMATIC SHALL BE AS FOLLOWS:
-
- EMITTER SCHEDULE
- | INSTALL PRESSURE COMPENSATING EMITTERS AS FOLLOWS: | | | | | |
|--|------------|--------------------|------------|--------------|-----------------|
| Plant type | Plant size | Emitters per Plant | GPH Outlet | # of Outlets | Total GPH/Plant |
| TREES | 15 gal. | 1 Multi-Outlet | 2 GPH | 3 | 6 GPH |
| | 24" Box | 1 Multi-Outlet | 2 GPH | 4 | 8 GPH |
| | 36" Box | 1 Multi-Outlet | 2 GPH | 5 | 10 GPH |
| | 48" Box | 1 Multi-Outlet | 2 GPH | 6 | 12 GPH |
| INSTALL PRESSURE COMPENSATING EMITTERS AS FOLLOWS: | | | | | |
| SHRUBS | 1 gallon | 2 Single per Plant | 1/2 GPH | 2 | 1 GPH |
| | 5 gallon | 2 Single per Plant | 2 GPH | 2 | 4 GPH |
- NOTES:
ALL SHRUBS SPACED 18 INCHES OR CLOSER SHALL RECEIVE ONLY ONE DRIP EMITTER. SHRUBS SPACED GREATER THAN 18 INCHES TO RECEIVE EMITTERS PER THE ABOVE SCHEDULE.
- ALL EMISSION POINTS TO BE LOCATED ON THE UPHILL SIDE OF PLANT MATERIAL. ONE EMISSION POINT TO BE LOCATED AT THE PLANT BALL, WITH THE ADDITIONAL POINTS WITHIN PLANT PIT PERIMETER.
- ALL PIPING SHALL BE THOROUGHLY FLUSHED PRIOR TO EMITTER INSTALLATION. CONTRACTOR IS RESPONSIBLE FOR ANY NECESSARY FLUSHING OF EMITTERS DUE TO CLOGGING FOR THE DURATION OF THE MAINTENANCE PERIOD. ANY PLANT MATERIAL THAT DIES DUE TO EMITTER CLOGGING SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST.
- IRRIGATION LEGEND
- | SYMBOL | DESCRIPTION | NOTES |
|--------|--|---|
| | WATER METER. ALSO PROVIDE REDUCED PRESSURE BACKFLOW PREVENTOR TO MATCH METER | - |
| | CONTROLLER | WALL-MOUNTED, PAINT TO MATCH WALL. SPEC HUNTER 'HPC' CONTROLLER OR EQUIVALENT. |
| | CONTROL VALVE QTY. TBD | FLUSH MOUNTED, BOX COLOR TO MATCH GROUND PLANE |
| | MAINLINE | CLASS 200 PVC |
| | FERTIGATION SYSTEM | EZ-FLOW INLINE 5 GALLON |
- THE INSTALLATION CONTRACTOR SHALL PROGRAM THE CONTROLLER, IN ORDER TO MANAGE THE DURATION OF THE IRRIGATION CYCLE TO AVOID RUNOFF CONDITIONS
- SLEEVING SCHEDULE
- | PIPE OR WIRE BUNDLE | REQUIRED SLEEVE |
|-----------------------|--------------------------|
| 3/4", 1", 1-1/4" PIPE | 1-2" PVC SLEEVE PER PIPE |
| 1-1/2", 2" PIPE | 1-4" PVC SLEEVE PER PIPE |
| 1-25 CONTROL WIRES | 1-2" PVC SLEEVE |
| 26-55 CONTROL WIRES | 2-2" PVC SLEEVE |
- NOTE:
1. IRRIGATION MAINLINES TO BE ALL HARD PIPE PVC, SCH 40.
2. DIRECT PUNCTURE INLINE EMITTERS INTO LATERALS, THEN RUN SPAGHETTI TO PLANT. NO FLAG EMITTERS.
3. CONTRACTOR TO SUBMIT SHOP DRAWINGS OR CONTACT LANDSCAPE ARCHITECT FOR PROPOSED IRRIGATION SYSTEM FOR APPROVAL PRIOR TO CONSTRUCTION.
4. ALL LATERAL LINES TO BE COMMERCIAL GRADE THICK WALL POLYPIPE WITH COLOR CODING ON PIPE. *NO SPRAY PAINT* SHADE PIPE WHERE ROCKY.
5. **VALVES SHOWN ON PLAN TO SERVE AS A GUIDE. CONTRACTOR TO ADD VALVES AS NECESSARY TO ZONE THE YARD AND MEET IRRIGATION NEEDS OF ALL PLANT MATERIAL.**
-
- CALL TWO WORKING DAYS BEFORE YOU DIG
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1-800-STAKE-IT
(DODGE/MARICOPA COUNTY)
- ROADRUNNER RESIDENCE
- project #:
SAA112
- scale:
1"=20'-0"
- issued for:
- drawn by:
TEAM
- date:
11/25/2025
- drawing:
Irrigation Plan
- L4.1
of
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LIGHTING FIXTURE SCHEDULE						
SYMBOL	QTY	MANUFACTURER	MODEL #	COLOR	DESCRIPTION	LUMENS
	52	FX LUMINAIRE	FB-1LED-FB	BLACK	LOW VOLTAGE UPLIGHT	114
	56	FX LUMINAIRE	RP-32-1LED-W-18R-FB	BLACK	LOW VOLTAGE PATHLIGHT	55
	12	FX LUMINAIRE	RH-3LED-W-RB-FB	BLACK	LOW VOLTAGE WALL LIGHT	86
	300 L.F.	FX LUMINAIRE	SRP-10-W	-	LED WEATHERPROOF LIGHT STRIP	28/FT
	TBD	-	-	-	LOW VOLTAGE TRANSFORMER (CONTRACTOR TO DETERMINE QUANTITY REQUIRED)	-

- LIGHTING NOTES**
1. CONTRACTOR SHALL VERIFY ALL SPECIFICATIONS, COLORS, AND FINISHES WITH OWNER PRIOR TO ORDERING OR INSTALLING.
 2. LANDSCAPE ARCHITECT TO FIELD APPROVE ALL LIGHTS.
 3. ALL LIGHTS TO BE FIELD LOCATED BY LANDSCAPE ARCHITECT.
 4. ALL LIGHTS TO BE 2,700K COLOR TEMPERATURE.

HILLSIDE OUTDOOR LIGHTING REQUIREMENTS:

AREA OF LOT:	221,685 S.F.
ALLOWABLE DISTURBED AREA: (24.46%)	54,224 S.F.

LANDSCAPE UP-LIGHTING: LIMITED TO ONE (1) FIXTURE PER 1000 S.F. OF ALLOWABLE DISTURBED AREA.

UP-LIGHTS PERMITTED:	54
UP-LIGHTS PROVIDED:	52

NOTE: ALL OTHER LIGHTING (LUMINAIRE) IS CONSIDERED 'SAFETY LIGHTING' USED TO ILLUMINATE VEHICULAR AND PEDESTRIAN CIRCULATION AND DOES NOT EMIT LIGHT RAYS ABOVE A HORIZONTAL PLANE.

FXLuminaire

Runa™ RP-32 and RP-33 Path Lights **PATH LIGHT**

1

Bring precise illumination to any pathway with the Runa RP-32 and RP-33 Path Light. Featuring a sleek, modern design, these innovative fixtures include an easily adjustable, rotatable head that allows light exactly where it's needed. The RP-32 also offers compatibility with Luxor® technology, ensuring quality performance and functionality to ensure optimal lighting control for every angle.

Quick Facts

- Sleek, contemporary design and finish
- Rotatable, adjustable head for precise lighting control
- Compatible with Luxor® technology for precise lighting control

Specifications: 12" (305mm) x 1.5" (38mm) x 1.5" (38mm)

FXLuminaire

FB LED Up Light **RECESSED BASE**

FB

Similar in style to its bigger brother the RP, the FB fits nicely into smaller landscapes and tight spaces. Accommodating up to a 3" LED Base, the FB offers all the same top light benefits of the RP in a more compact package.

Quick Facts

- Sleek, contemporary design and finish
- Rotatable, adjustable head for precise lighting control
- Compatible with Luxor® technology for precise lighting control

Specifications: 2.5" (64mm) x 1.5" (38mm) x 1.5" (38mm)

FXLuminaire

RH Recessed Wall/Step Light **DESIGNER PLUS**

RH

Designed for sleek, seamless installation, the fully recessed RH Step Light is a modern upgrade to lighting outdoors and stairs. The fixture is available with LLED, SLED, and ZDC configurations. The recessed integrated LED light source is diffused for soft illumination on steps and walkways and maximizing glare control, critical for applications where glare management is essential and safety is a top priority. Fully profiled with robust construction and compatible with standard 1/2" gang junction boxes, the RH fixture is ideal for new and existing installations.

Quick Facts

- Sleek, contemporary design and finish
- Rotatable, adjustable head for precise lighting control
- Compatible with Luxor® technology for precise lighting control

Specifications: 2.5" (64mm) x 1.5" (38mm) x 1.5" (38mm)

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Professional Engineer
No. 123456
Expires 12/31/26

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ROADRUNNER RESIDENCE

project #: SAA112 **scale:** 1"=30'-0"

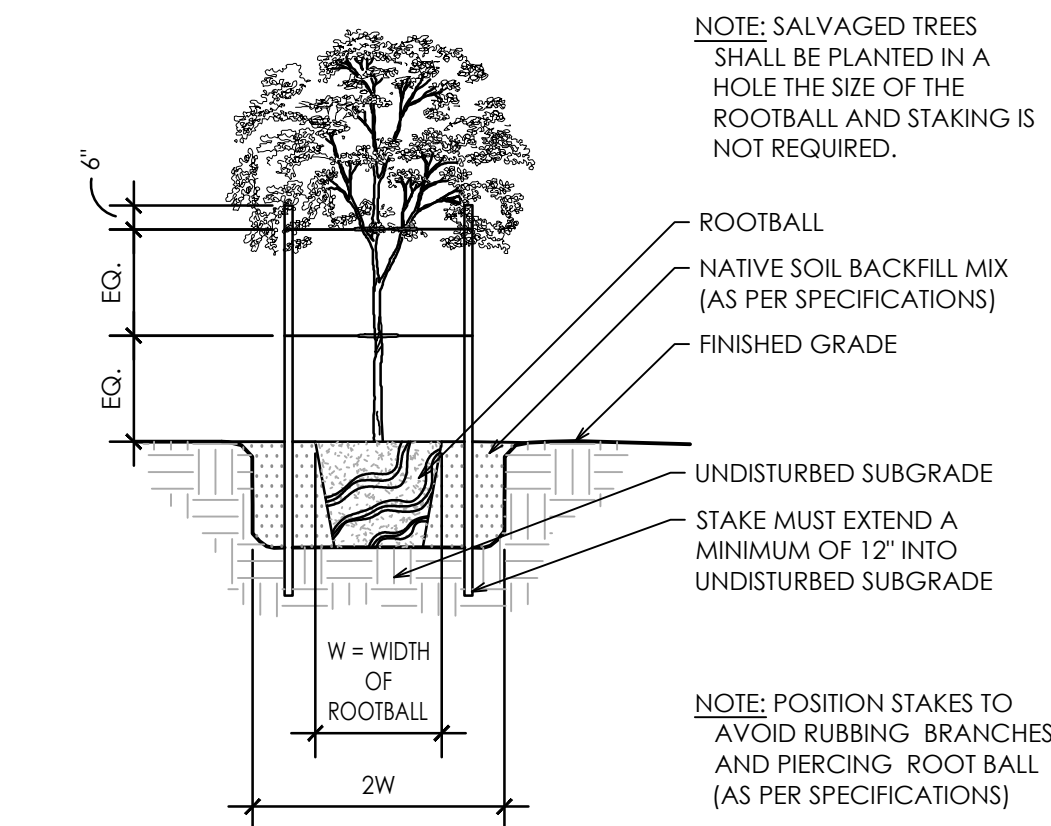
issued for:

drawn by: TEAM **date:** 11/25/2025

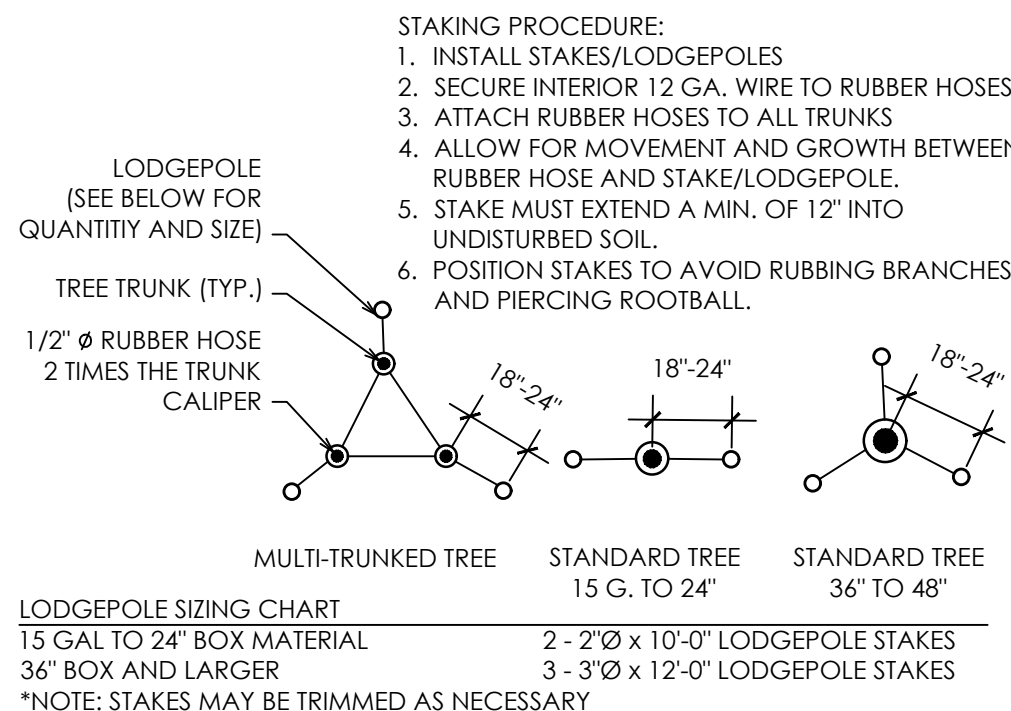
drawing: Lighting Plan

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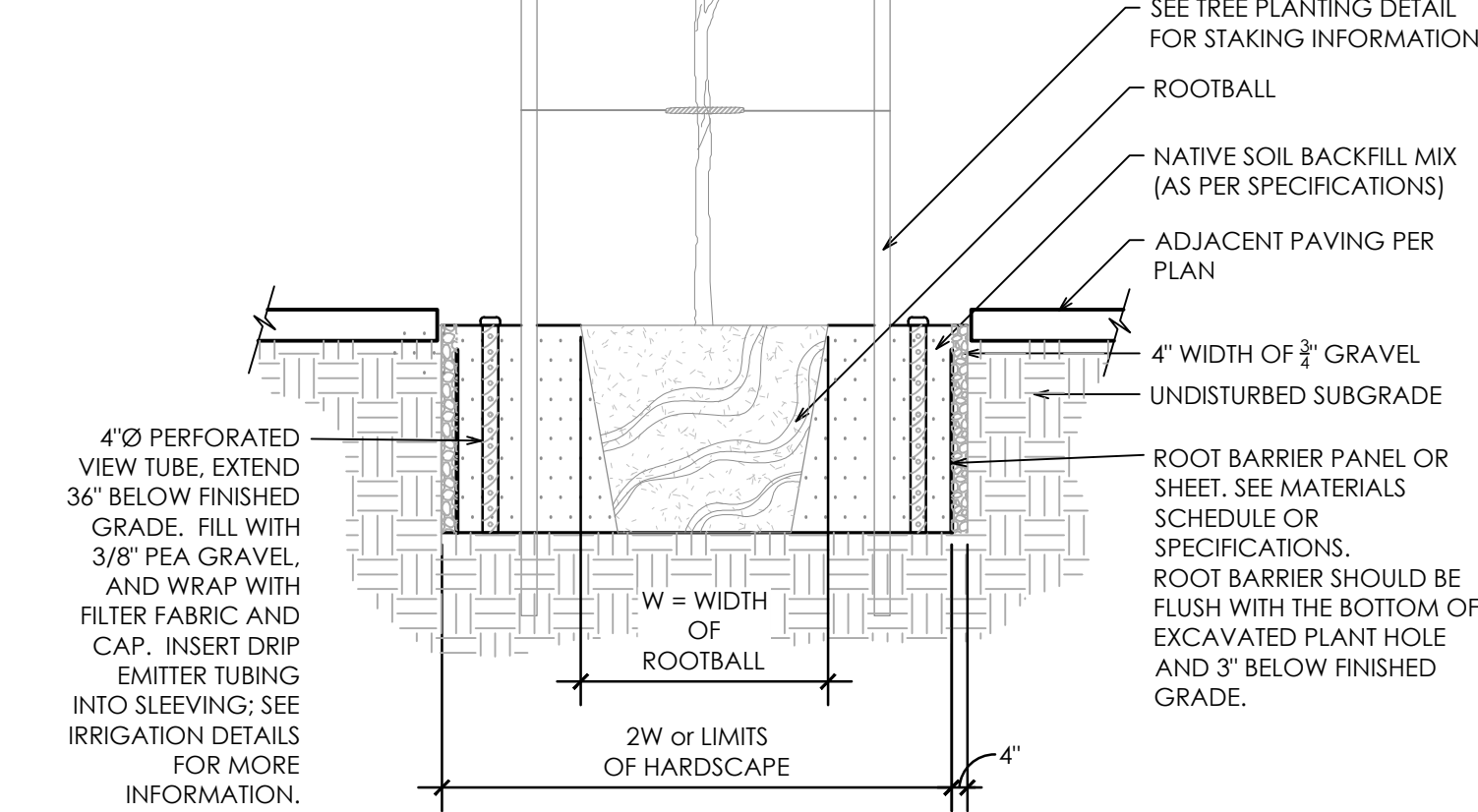
Copyright © 2014 by Grey | Pickett Professional Corp **129**



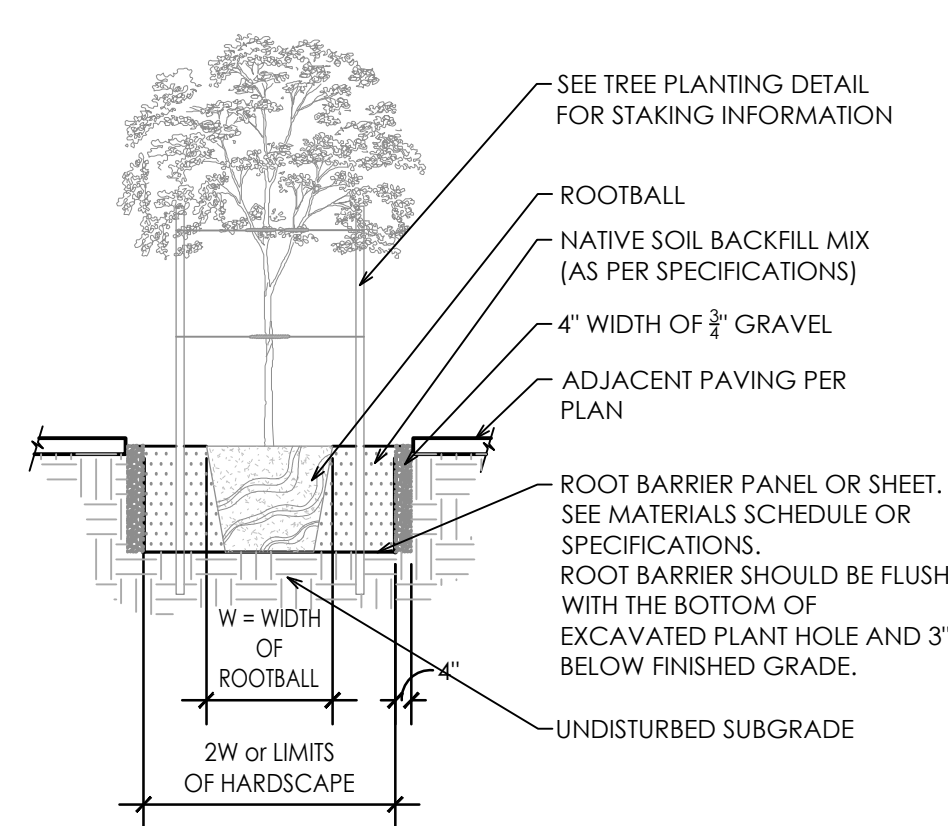
01 Tree Planting Detail
SCALE: NTS



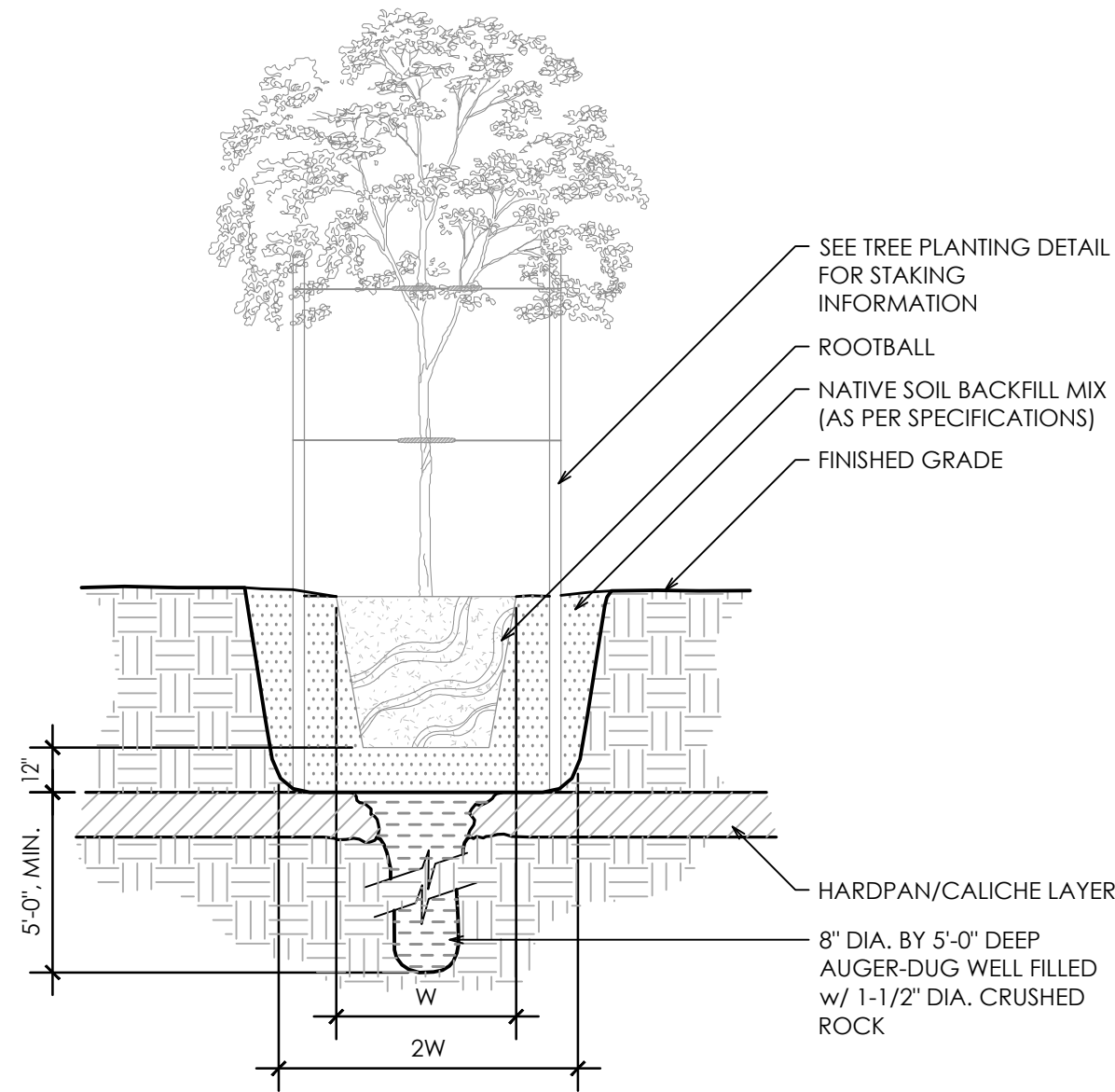
02 Tree Staking Detail
SCALE: NTS



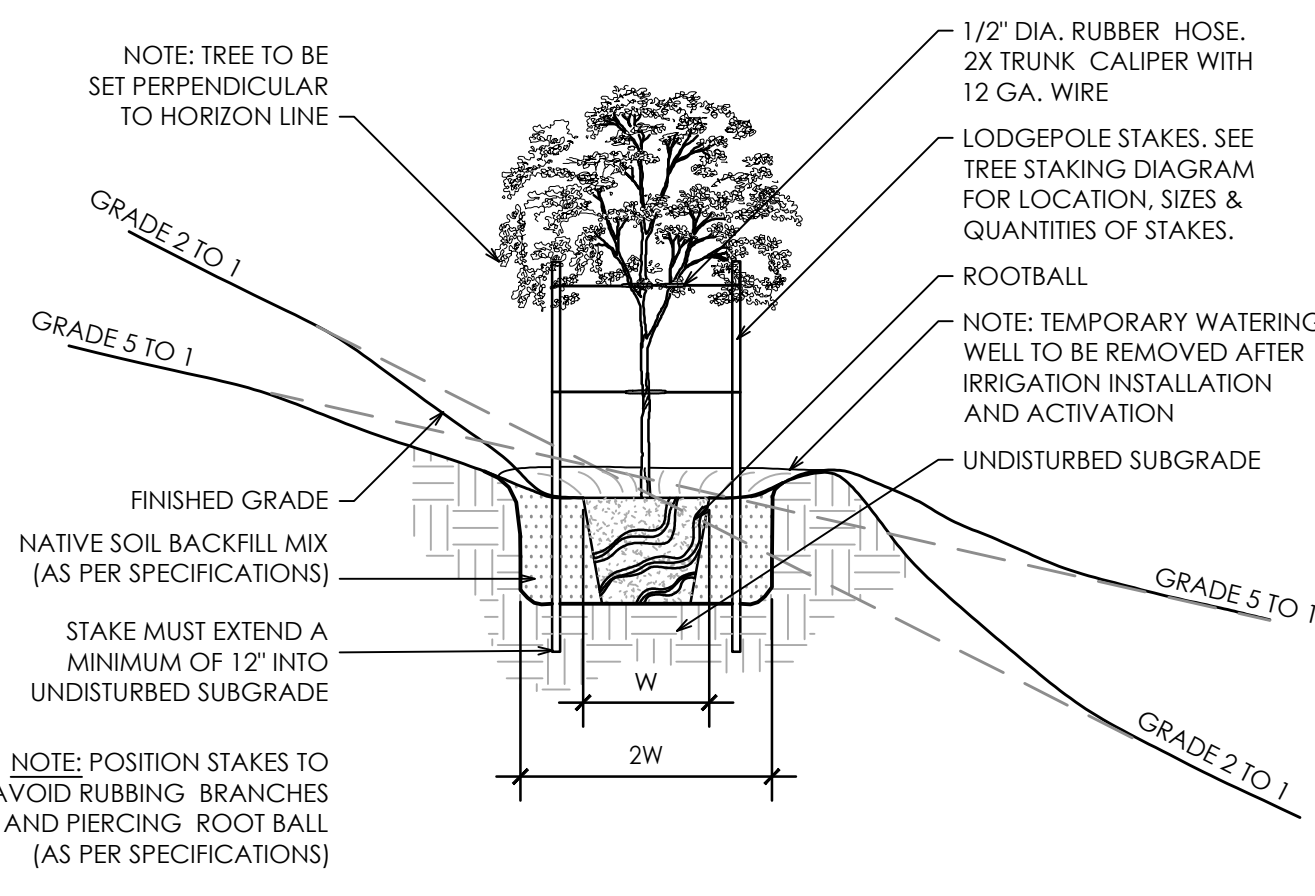
03 Deep Watering Detail
SCALE: NTS



04 Root Barrier Detail
SCALE: NTS

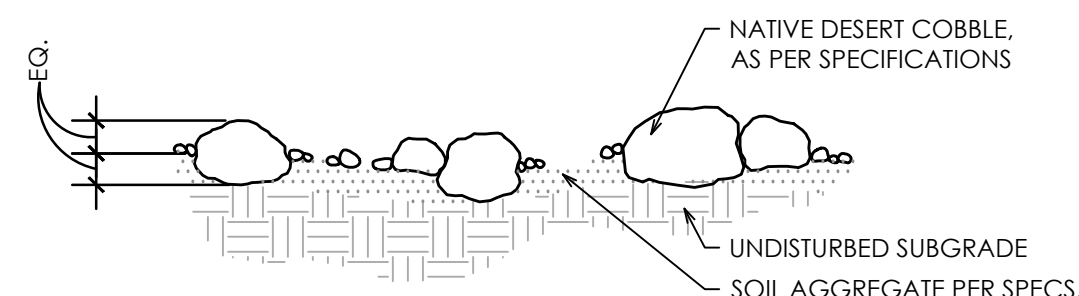


05 Hardpan Planting Detail
SCALE: NTS



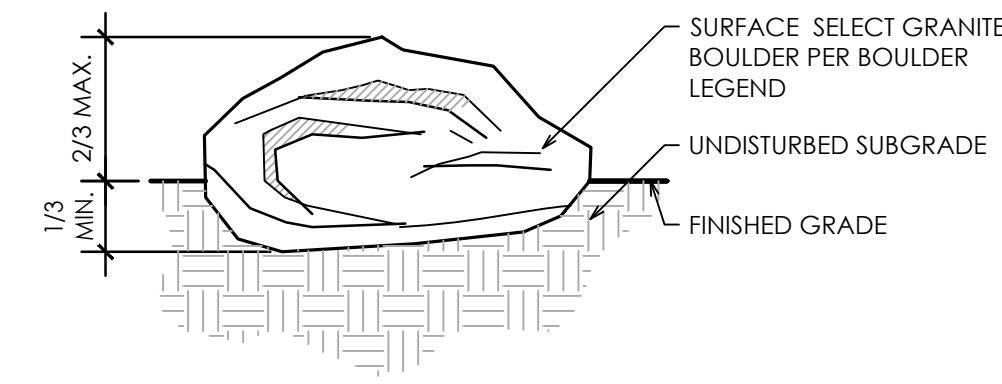
06 Tree Planting on a Slope Detail
SCALE: NTS

- NATIVE DESERT COBBLE**
Collection of Native Desert Cobble
- Collection of desert pavement cobble shall occur prior to construction and after the completion of plant material salvage.
 - The Contractor shall salvage the top 4" of native desert cobble within the proposed construction area and stockpile the material in a secure location away from construction activities. The Owner's Representative and / or the Landscape Architect shall coordinate an appropriate location for the salvaged native desert cobble material with the Contractor.
- Installation of Native Desert Cobble**
- Installation shall occur as the final step in the landscape process and shall be implemented in such a way as to blend with the undisturbed native areas.
 - The methods and sequencing proposed in this specification may require adjustment to match existing conditions in each specific area.
 - Perform all work with hand tools rather than powered equipment.
 - Upon completion of landscaping, ensure that final grade has been established, including removal of irrigation wells, and blending and rounding of slopes.
 - Create troughs of varying shapes no less than 2x8' and approximately 2" deep and rake in any cobble sized rock that was exposed during the landscape process.
 - Cover the trough with soil to expose only the top half of the cobbles. The cobble should appear as an outcropping and should be placed in locations and at a frequency that matches the existing native areas. The quantity of cobble used will vary depending on the quantity of cobble exposed during the landscape operation.
 - Randomly shovel or scatter the soil/aggregate mixture over the disturbed areas in varying depths no greater than 1/2". Cover approximately 80% of the disturbed areas with the landscape aggregate.
 - Cobbles 4" and greater, that were collected with the soil/aggregate mixture should be half buried. Cobbles less than 4" can be left on the surface. No special placement of these cobbles is intended.
 - Pass over all landscape aggregate and cobble outcrop areas with a straw boom to blend.

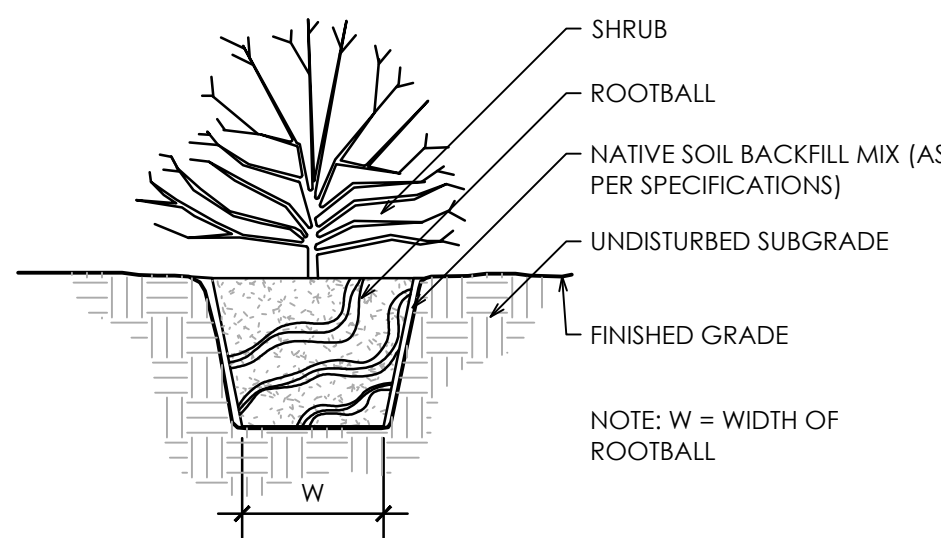


07 Desert Cobble Mix
SCALE: NTS

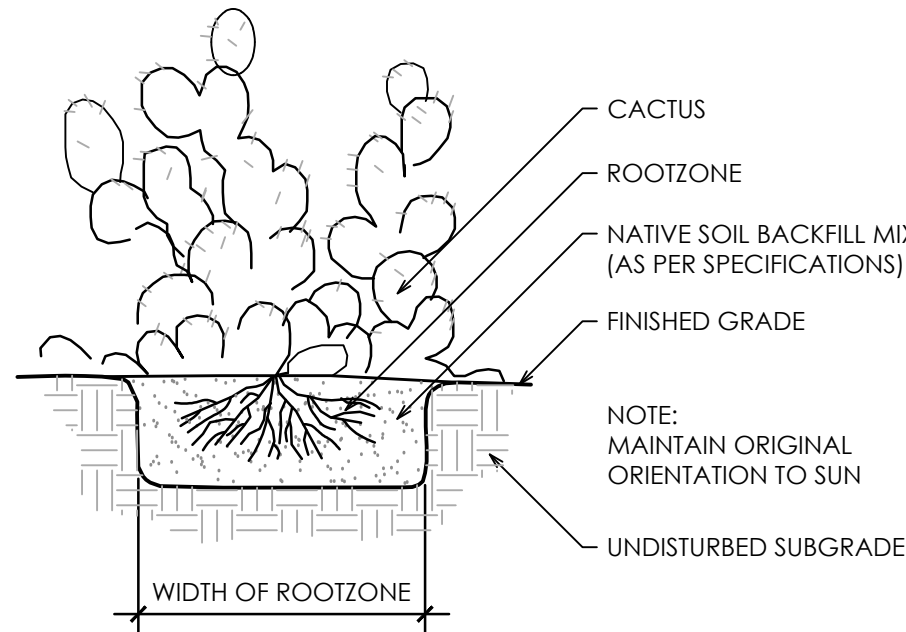
- NOTES:**
- ALL BOULDERS TO BE SURFACE SELECT, FREE FROM SCARS, CHIPS AND ABRASIONS.
 - LANDSCAPE CONTRACTOR TO TREAT ALL DEFECTS WITH 'PERMEON' TO PROVIDE A WEATHERED, NATURAL APPEARANCE.
 - DEPRESS BOULDER MASS 1/3 TO 1/2 BELOW GRADE AS SHOWN.
 - REFER TO BOULDER LEGEND FOR SIZES.
 - COORDINATE INSTALLATION IN FIELD WITH LANDSCAPE ARCHITECT.



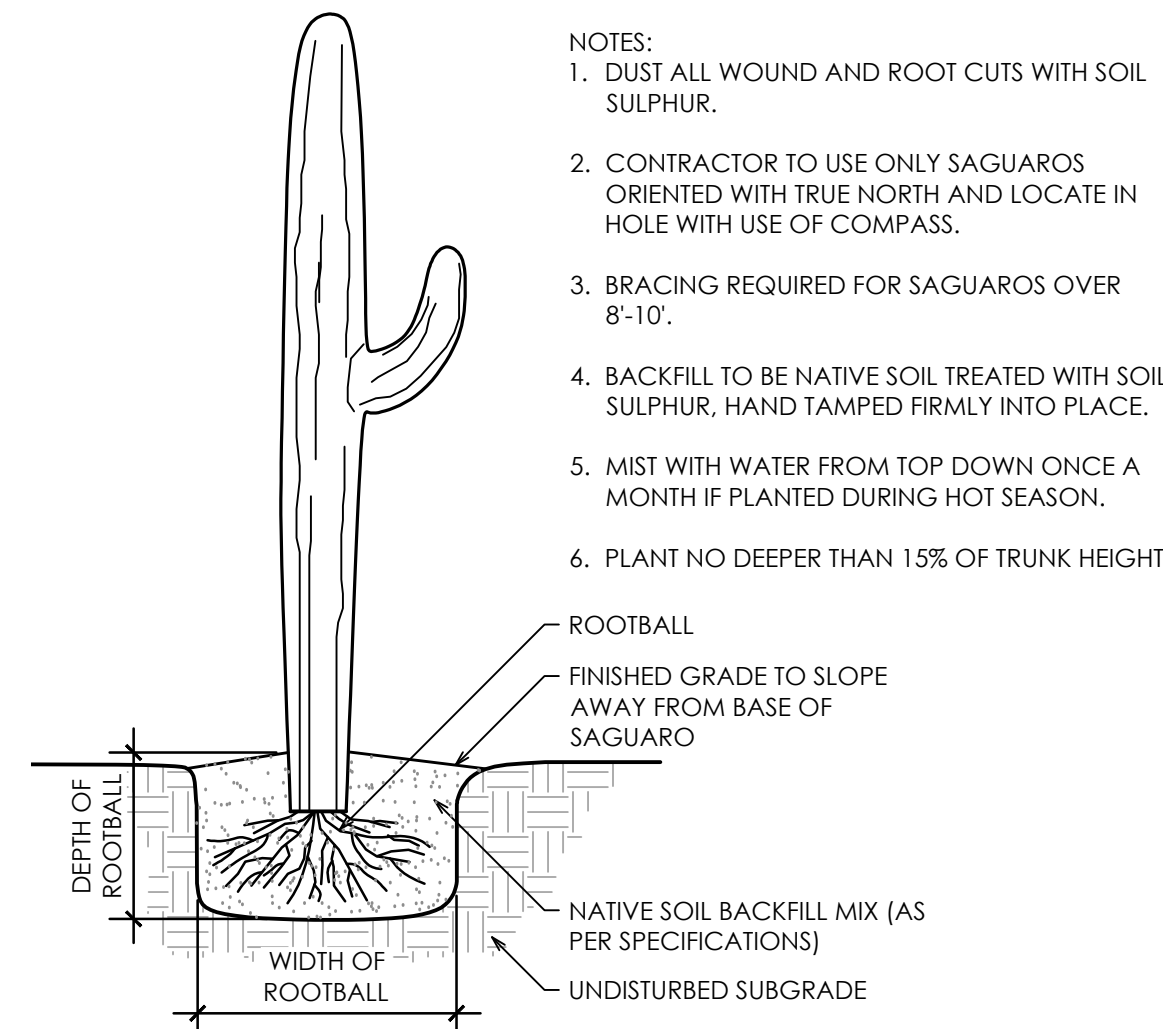
08 Boulder Laying detail
SCALE: NTS



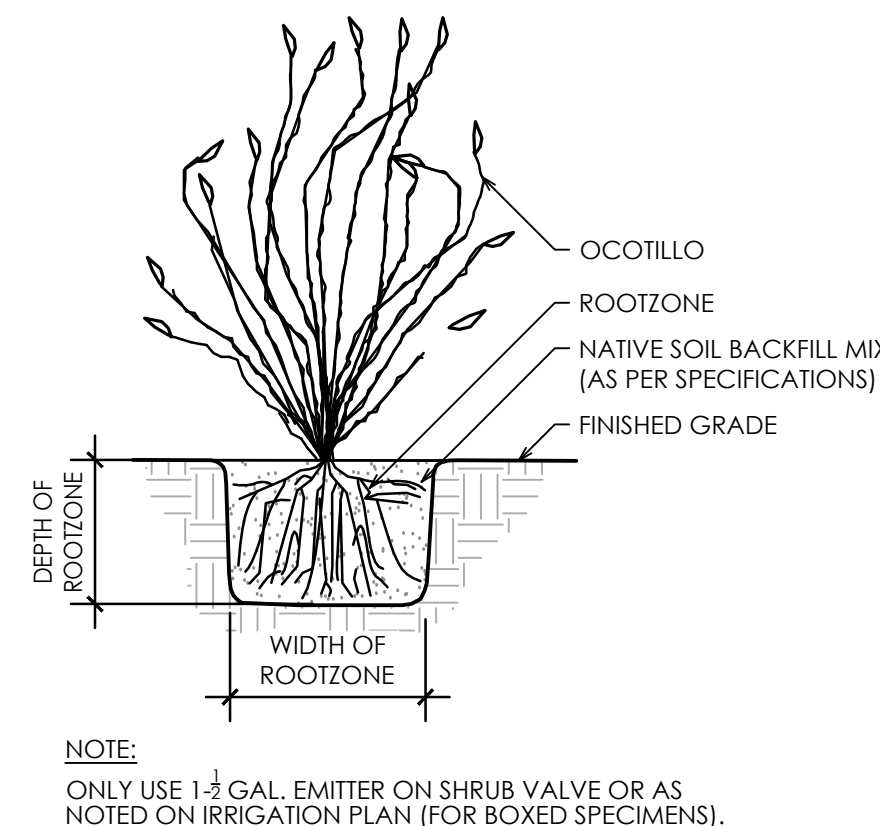
09 Shrub Planting Detail
SCALE: NTS



10 Cacti Planting Detail
SCALE: NTS



11 Saguaro/ Cardon Planting Detail
SCALE: NTS



12 Ocotillo Planting Detail
SCALE: NTS

SECTION - - 02900 LANDSCAPE

PART 1 - GENERAL

1.01 WORK INCLUDED

*Landscape finish grading.

* Soil preparation

*Tree supports

*Planting

*Watering

*Maintenance

Definitions:

Owner's representative - an authorized agent determined by owner to act on their behalf, in some cases the Landscape Architect may be the owner representative as outlined in these specs.

Plants - all shrubs and cacti other than trees, saguaros, ocotillos, palms and turf. Plant Material - all trees, saguaros, ocotillos, palms, shrubs, cacti, ground cover, and other plants.

1.02 RELATED WORK

Contractor : Minimum 5 years experience in supply and installation of landscape materials. A Foreman with a minimum of 5 years experience in related work shall be on site at all times.

1.03 SOURCE QUALITY CONTROL

Provide certificates of inspection for all materials as required by law or regulation.

Package standard materials with manufacturers certified analysis. Provide analysis by recognized laboratory made in accordance with methods established by the Association of Official Chemists for all other material.

Provide trees and shrubs grown in a recognized nursery in accordance with good horticultural practice. Provide healthy, undamaged, vigorous stock grown under climatic conditions similar to conditions at project site and free of disease, insects, eggs, larvae and defects such as sun-scald, knots, injuries, abrasions or disfigurements. Provide trees and shrubs of the sizes indicated. Trees and shrubs of sizes larger than those indicated may be used provided roots, root ball, staking and planting pits are increased proportionately.

1.04 REFERENCE STANDARDS

ANSI 60.1 - American Standards for Nursery Stock.

1.05 SAMPLES

Submit the following material samples to Owner's Representative a minimum of 48 hours prior to start of work.

- a. Topsoil for backfill mix (trees and shrubs).
- b. Wood Shavings/Mulch.
- c. Tree supports.
- d. Decomposed granite.
- e. Boulders.

The Owner's Representative reserves the right to take and analyze samples of materials for conformity to Specification at any time. Furnish samples upon request by Owner's Representative. Rejected materials shall be immediately removed from the site and replaced at the contractors additional expense.

Submit samples of decomposed granite for approval of graduation and color. Sample shall be representative of variations within size and color to be provided.

1.06 PRODUCT DATA

Submit to Owner's Representative a minimum of 48 hours prior to start of work manufacturers comprehensive product description, including specifications and installation instructions.

1.07 CERTIFICATES AND TEST REPORTS

Provide and pay for all materials testing. Testing agency shall be acceptable to the Landscape Architect. Submit to Owner's Representative a minimum of 48 hours prior to start of work 2 copies of certificates of inspection as required by governmental authorities, and manufacturers' vendors certified analysis for soil amendments, fertilizer materials, and chemicals. Submit other data substantiation that materials comply with specified requirements. Certificates are required to determine the quality and quantity of all specified soil amendments.

Materials certification to be submitted include, but are not limited to: Topsoil source and nutrient analysis, mulch, fertilizers/soil amendments/chemicals. Test representative material samples proposed for use. Provide the following data:

- a. Topsoil and planting backfill.
- b. Soil PH.
- c. Particle size, percentage soil texture.
- d. Percentage organic material.
- e. Percolation rate.
- f. Nutrient level analysis.
- g. All macro, secondary and micro nutrient salinity.
- h. ESP.
- i. Free lime.

Recommendations on type and quantity of amendments required to bring levels into acceptable ranges as detailed in Part 2 - Products of Materials of these specifications.

Separate recommendations to be submitted for each crop. Crop to be identified as:

- a. Irrigated trees and shrubs.
- b. Turf.

1.08 MAINTENANCE DATA

Submit to Owner's Representative 2 copies of typewritten instructions, prior to expiration of the initial maintenance period, recommending procedures to be followed by the Owner for the maintenance of landscape work for one full year.

1.09 PRODUCT DELIVERY, STORAGE AND HANDLING

Deliver packaged material in containers showing weight, analysis and identification of manufacturer. Protect materials from deterioration at all times.

Provide protective covers to plant life and trees during delivery. Do not prune trees prior to delivery. Do not bend-lie trees or shrubs in such a manner as to cause damage or destroy shape. Deliver materials after preparation for planting have been completed. Plant immediately. If planting is delayed for more than 6 hours after delivery, set plant material in shade, protect from weather and mechanical damage and keep roots moist.

Do not remove container grown stock including ground cover, from containers until planting time.

1.10 SITE CONDITIONS

Determine location of underground utilities. Execute work as required to prevent damage.

Maintain grade stakes set by others until directed otherwise.

Protect all existing plant life not scheduled for removal. If any plant material that is to remain is damaged, the Contractor, at his expense, will pay for a replacement plant of the same size and species (to be approved by Owner's Representative).

Protect existing utilities, paving and other facilities from damage during landscaping operation.

Coordinate with other contractors.

1.11 WARRANTY

Submit warranty to Owner's Representative.

Trees, Palm Trees, Saguaros and Ocotillos: Warranty that trees, palm trees, saguaros and ocotillos will be alive and in good health for a period of 1 year after acceptance except for defects resulting from neglect by Owner, abuse or damage by others.

Owner must follow Contractors maintenance schedule and provide current maintenance log to Owner's Representative.

Remove and replace dead, unhealthy or gridled trees, palm trees, saguaros and ocotillos that lose original form and size during warranty period with material equal to that specified. Replace any material which does not meet requirements within fifteen days of notification. All replacement trees, palm trees, saguaros and ocotillos shall be subject to an additional one year maintenance period.

Shrubs and Other Plantings: Guarantee all other planting will be alive and in satisfactory condition for a period of 90 days from date of acceptance or will be replaced at no additional cost to the Owner. All plant material shall be maintained in a healthy, sturdy condition during the warranty period by the Contractor.

All replacement plants, including shrubs, cacti, groundcovers, vines and perennials shall be subject to an additional 90 day maintenance period.

PART 2 - PRODUCTS AND MATERIALS

2.01 FILL MATERIALS

Provide dry, loose material for fill, backfill, planting backfill and topsoil for planter beds. Frozen or muddy soils are not acceptable. Salts not to exceed 1500 ppm, and material shall be free of debris, noxious weeds, ingredients or objects detrimental to healthy plant growth. Topsoil: Screened, fertile, friable, from well drained arable land, free of nut grass, refuse, roots, heavy clay, noxious weeds or any material toxic to plant growth; contents as follows:

- a. Silt: 20-45 %
- b. Clay: 15-20 %
- c. Sand: 30-60 %
- d. Organic Material (natural or otherwise): 2 % minimum
- e. pH: 7.0-8.3
- f. Soluble salts: 1,500 ppm.
- g. Nutrients: enough to bring levels up to acceptable plant growth.

Percolation rate shall be between 3 to 4 inches per hour. Existing top soil may be used provided it meets these requirements.

2.02 COMMERCIAL GRADE FERTILIZERS

Agri-Sul, Dispersul - use only for sulfur Agriculture grade gypsum

2.03 SOIL AMENDMENTS

Wood shavings: nitrogen stabilized fir or pine shavings containing 0.75% total nitrogen and 0.1 to 0.15% total iron, and under 60 ppm total manganese) composted, leached and aged for a minimum of 10 to 12 months; pH factor, 4.0 to 4.5, no soil amendments are required for salvaged plant material and cacti unless otherwise specified.

2.04 TREE SUPPORTS

Tree Stakes: Copper naphthenate impregnated lodge pole 10 feet in length for 5 gallon and 15 gallon, and 12 feet in length for 24 inch box and larger. No tree stakes are required for salvaged plant material.

Tree Ties: Provide a minimum of two per tree; No. 10, 10 gauge, pliable, zinc coated iron wire. Cover wire with hose, cover as specified, where it contacts tree.

Hose Covering: 1/2 inch minimum diameter; 2-ply reinforced rubber, new garden hose.

Tree Guards: "Arbor Guard+" by Deep Root, or equal.

Tree Guys: Minimum 3 per tree; No. 10 galvanized wire. Cover wire with hose where it contacts tree for 24, 30 and 36 box tree.

Anchors (Deadmen): 2 inch x 4 inch x 3 feet long; construction grade redwood.

Signals (Flags): For guy wires, 1/2 inch diameter, white or orange plastic tubing 5 feet long over each guy used.

2.05 HERBICIDES

Pre-emergent and contact Herbicides:

Pre-emergent herbicide shall be Surflan as manufactured by Dow/Elanco Chemical Company.

Contact herbicide shall be Round-up as manufactured by Monsanto.

2.06 PLANTING MATERIAL

Plant Material: Healthy, shapely and well rooted. Roots shall show no evidence of having been restricted or deformed at any time. All plants shall be representative of their normal species and variety. They shall have normally developed branch systems. Plants shall be free from disfiguring knots, sun scald injuries and abrasions of bark. Plants not meeting these requirements shall be considered defective and shall be replaced immediately. All plants shall be true to name and shall be tagged, one of each variety. All plant material shall be grown in nurseries inspected by the State Department of Agriculture unless otherwise approved by the Owner's Representative.

Provide "Specimen" plants with a special height, shape or character. Tag at the source of supply prior to notifying Landscape Architect for inspection. The Landscape Architect shall inspect selections at source of supply for suitability and adaptability to selected location. When specimen plants cannot be purchased locally, provide sufficient photographs of proposed material for approval.

Plants may be inspected and approved at place of growth for compliance with specification requirements for quality, size, and variety. Such approval shall not impair the right of inspection and rejection upon delivery at the site or during the progress of the work.

2.07 TURF SOD

As noted on plans.

2.08 DECOMPOSED GRANITE

Decomposed granite coverage shall be a minimum 2-inch thickness unless noted otherwise on plans. Decomposed granite shall be the size and color as specified on plans, and shall be taken from a single quarry.

2.09 BOULDERS

Boulders are to be Surface Select or as noted on the plans. Boulder size as noted on the plans and approved by the Owner's Representative. Boulders are to be harvested, delivered and placed in a manner to avoid marking, scraping or damaging the natural condition of the boulder. All scarred boulders are to be treated with Permeon (or equal) to provide a natural appearance of the desert vornish.

2.09 SEED MIXTURE

As noted on plans.

PART 3 - EXECUTION

3.01 GENERAL

Install in accordance with the methods, techniques and specifications of each representative manufacturer. If a conflict occurs between manufacturers and these specifications, consult with Owner's Representative for a decision.

Do not begin planting until the irrigation system is completely installed, is adjusted for full coverage and is completely operational.

3.02 BACKFILL, IMPORTED FILL OR ARTIFICIAL SOIL AND GRAVEL

Inspect the integrity of all damp-proofing and water-proofing membranes which occur over, on or against any construction to be fully or partially concealed by earthwork prior to the placement of any imported soil, backfill, gravel fill or sub-base.

Correct defects prior to proceeding with the work.

3.03 TOPSOIL

Import additional topsoil only as required to bring planting areas up to finish grade. Spread and cultivate soil so that no settling takes place at any time.

3.04 LANDSCAPE FINE GRADING

Allow for the addition of soil amendments, conditioners and any specified top dressing when determining and executing finish grade.

Set finish grade 1-1/2 inches below adjacent paving, curb and headers for shrubs and ground cover beds and areas or as required for installation of decomposed granite or turf sod.

At all planting areas, make entire area smooth and even to finish grade. Cultivate all areas so that there are no bumps or hollows, and the area drains as indicated. Grade and maintain all flow lines, designated or not, to allow free flow of surface water. Cultivate entire areas to a depth of 6 inches minimum and remove all rock in excess of 1-1/2 inches diameter, all building rubble, building construction material, waste and any other material that will impair satisfactory growth.

3.05 DECOMPOSED GRANITE

Place 2-inches unless otherwise noted, in all planting areas. Decomposed granite shall extend below all plant material, trees, and cactus. Decomposed granite finish grade 1-1/4-inch below adjacent paving, curbs, and headers.

3.06 HERBICIDE APPLICATION

Apply pre-emergent herbicides in accordance with manufacturer's instructions.

Apply contact herbicides in accordance with manufacturer's recommendations. Prior to application, moisten areas for fourteen days to encourage weed germination and growth. Apply before weeds attain a height of 6 inches. Remove taller weeds manually.

Areas to be landscaped shall be maintained in a weed-free condition at all times during construction and maintenance period.

Do not apply pre-emergent herbicides at locations of revegetation seeding. The contractor shall manually remove invasive weeds within these areas.

3.07 TREE SUPPORT

Guyed Trees: Guy trees as shown immediately after planting as shown on the drawings. Staked Trees: Stake trees as shown on the drawings within 48-hours of planting.

Tree supports shall be installed to prevent lodging, yet allow for trunk movement. Hoses that anchor tree trunks shall be large enough to allow for normal growth of the trunk during the first year without girdling.

3.08 TREES, SHRUBS, AND VINES

Layout locations with stakes or gypsum. Coordinate with Owner's Representative to assure appropriate location, prior to installation.

Test drainage of plant beds and pits by filling with water. Notify Owner's Representative of areas where water is retained more than 24 hours.

Where rock, underground construction or other detrimental conditions are encountered at plant pits, Owner's Representative may select alternate location.

Do not expose roots to air except during transplanting. Set up of plants at same level when planted as in the container. Cut plant containers on 2 sides without injuring root ball and carefully remove plant. Do not cut container with spade. Damaged plants will be rejected.

Dig pits with perpendicular sides to a minimum of 2 to 3 times the width (see details) of the root ball for containerized trees and shrubs. Dig pits only as deep as the root ball to prevent settling of the tree or shrub.

Place rootball of vines as close to structure or support system as possible. If rootball can't be placed closer than 12" notify Owner's Representative of situation for inspection and remedy.

Tie vines to trellis supports if applicable with green plant tape and remove any staking supplied with plant material.

Planting Mixture: One part wood shavings Two parts excavated soil amended to meet standards in Part 2.

Mix thoroughly outside the hole before start of backfilling.

Tree Guard: Install tree guard on all trees located in turf areas per manufacturer's recommendations.

3.09 BACKFILLING

Backfill plant pits and form shallow basin around the plant to hold enough water to saturate the root ball and backfill (only form basins if specified on detail). Water plants immediately after planting and allow backfill to settle in plant pit. Do not water saguaros after planting. Do not raise basin rim above surrounding grade.

Puddle planting mixture when pit is 2/3 full of plant mix. Continue back filling to within 1 inch of surrounding grade.

Finish grade to 2 inches below headers or concrete work.

Top dress planting areas with 2 inches of top dressing after planting.

Treat all planting areas with a pre-emergent.

3.10 GROUND COVER

At time of transplanting, soil in flats shall be sufficient so as not to fall apart when lifting plants. Plant each plant with its proportionate amount of the flat soil in a manner that will ensure a minimum disturbance to the root structure.

Plant flat material sufficiently deep to cover all roots. Firmly tamp the earth around each plant to force out large air pockets.

3.11 TURF SOD

Soil Preparation: Provide soil with an organic matter content of 25-percent to 30-percent. Cultivate entire area to a depth of 6" minimum and remove all rock in excess of 1 1/2", all building rubble, building construction material waste and any other material that will impair satisfactory growth. This top 6" must meet the topsoil requirements noted in Section 2.01.

Soil Amendments: Prior to rototilling, apply gypsum at a rate of 100 lbs per 1,000 sf, phosphate at a rate of 2 lbs per 1,000 sf., and soil sulfur at 5 lbs per 1,000 sf. Rototill into soil.

Install sod along the straightest edge of turf area. Stagger joints in a brick-like pattern. Avoid gaps and overlapping. Place sod diagonally across, to avoid sliding. Water sod at least every 30 min. during installation. Finish by watering lightly and roll in two directions w/sod roller.

3.11b TURF ARTIFICIAL

1.1 SUMMARY

- A. Provide all labor, materials, equipment, and tools necessary for the complete installation of synthetic grass surface. The system shall consist of, but not necessarily be limited to, the following:
 - a) Synthetic grass consisting of fibers that are a minimum of 1.54 inch long, Turf fiber construction consisting of polyethylene monofilament and either texturized monofilament fibers tufted to a 3-layer stabilized woven polypropylene fabric (primary backing), with a non-urethane, 100% recyclable secondary backing.
 - b) Synthetic Grass Infill, consisting of anti-microbial acrylic coated round silica particles, designed to provide the look, feel, and performance of optimally maintained natural grass. Envirofill or equivalent.

1.3 SUBMITTALS

- A. Comply with Section 01 33 00, Submittals Procedures.
- B. Product Data: Submit manufacturer's product data, including installation instructions and subsurface instructions.
- C. Warranty: Submit manufacturer's standard 10 year warranty.

PART 2 - PRODUCTS

2.1 SYNTHETIC GRASS SURFACE

- A. Aggregate Base - Gushed angular hard stone, 1/2" minus compatible stone (not clean). (Refer to Section 3.2-8)
 - Synthetic grass: Artificial Lawns Co., "Coronado" 1180 S. 7th Ave, Phoenix AZ (623) 584-1456
 - a) Face Weight: 80 oz.
 - b) Face Yarn Type: Polyethylene
 - c) Pile Height: 2"
 - d) Tufting Gauge: 3/8"
 - e) Backing: Stabilized triple layered woven polypropylene
 - f) Total Product Weight 107 oz.
 - g) Warranty: 15 year fade
- C. Synthetic Grass Infill: Envirofill from Pioneer, 310 N. Pasadena St., Gilbert, AZ 85233 Phone (480) 926-8200 or approved equal. Coating: Primarily acrylic, iron oxide and chromium oxide.
- D. Splicing Material: 1000 denier coated nylon (Cordura®) 12" wide minimum. E. Adhesive: Synthetic Turf Adhesive

PART 3 - EXECUTION

3.1 GROUND PREPARATION

- A. General: The ground area to receive synthetic grass surface is indicated on the Drawings.
- B. Leveling and Site Preparation: All organic material and organic debris to be removed. Soil to be graded level and stabilized (compacted). Compaction shall be done with mechanical compactors, including vibratory compactors, and/or powered tampers, and rollers.

3.2 BASE AND SYNTHETIC GRASS CONSTRUCTION

- A. General: The area to be smooth and graded to allow proper drainage. Refer to grading plan.
- B. Compacted Aggregate Base: Place 4 inches of aggregate base as leveling layer compacted to 90% of max density per AASHTO T99. Compaction shall be done with mechanical compactors, including vibratory compactors, and/or powered tampers, and rollers. Aggregate size should be 1/4" minus (compaction).
- C. Synthetic Grass: Place turf and cut to fit configuration as shown on Drawings. Splice seams. All seams must be attached with splicing film/fabric and adhesive as approved by the manufacturer for this type of installation of their product.
- D. Infill: Apply layers of synthetic grass infill evenly with a spreader and broom the turf fibers with stiff bristle broom to stand fibers up and allow infill to settle into the bottom. Broom in infill round quartz silica sand approximately 3 pounds per square foot.
- E. Anchoring/Edging: Edges of turf will be secured to ground with mechanical fasteners, stakes or edging.

3.12 WATERING

Water all plants immediately after planting, except for saguaros, with hose in planting hole until material about the roots is completely saturated from the bottom of the hole to the top of the ground to avoid drying out until the entire planted area is thoroughly watered and the soil soaked to the full depth of each plant hole. Water stream shall not cause damage to planting hole or plant. Keep exposed roots wet by means of moist sawdust, peat moss or burlap at all times during planting operation. Repeat watering as often as necessary to keep the ground moist but not soaked, well below the root system of the plants.

3.13 CLEAN UP

Keep all areas clean and orderly during and after execution of work. Burning of trash is not permitted.

3.14 ADJUSTMENT

Prune each tree and shrub to preserve the natural character of the plant per American Standards for Nursery stock, as published by the American Association of Nurserymen. Prune only as directed by Owner's Representative and Landscape Architect to remove deadwood, suckers, or broken or badly bruised branches. Replace all plants damaged by excessive pruning, planting operations or construction damage.

3.15 MAINTENANCE PERIOD

When the Owner's Representative and Landscape Architect determine the work to be substantially complete in accordance with the Conditions of the Contract, Contractor will be advised, in writing, that the maintenance period is to begin.

Landscape contractor shall be responsible for maintenance of landscaped areas for a period of 90 days. Maintenance includes watering, trimming, weeding and cultivating of beds.

Landscape contractor, in order to protect his guarantee, shall give typewritten to Owner, a complete maintenance instruction booklet on the care and feeding of the landscape.

Contractor shall request, in writing, a Final Inspection with Landscape Architect at the completion of the maintenance period. If the Owner's Representative determines the work is satisfactory, the maintenance period will end on the date of the Final Inspection. If the maintenance is unsatisfactory, the maintenance period will be extended, at the Contractors expense, until such time as all corrections are made and the work is inspected and approved by the Owner's Representative and Landscape Architect. Retention will not be released until Final inspection is made and approval issued by the Owner's Representative.

3.16 FIELD QUALITY CONTROL

Notify Owner's Representative of the requirement for inspection at least 48 hours in advance. Inspections are required, but not limited to, the following:

- Inspection and acceptance of plant material prior to shipping.
- At completion of rough grade and boulder placement
- At completion of landscape finish grading and soil preparation, prior to planting.
- At installation of irrigation system, prior to backfilling trenches and planting.
- During installation of specimen tree, or other specimen plant material.
- After staking locations for plant holes, but prior to planting; for approval.
- During the planting process.
- During the placement and ciming of all light fixtures.
- At Substantial Completion of the Work.
- During warranty period to observe maintenance procedures.
- At final Completion of the Work.

ROADRUNNER RESIDENCE



GREEDY PICKETT
Landscape architecture community design
7144 e. session drive, suite 205
Phoenix, AZ 85042
480.609.0009p 480.609.0068t

project #:
SAA112

drawn by:
TEAM

drawing:
Planting Specifications

L8.1

of

revisions:

scale:
N/A

issued for:

date:
11/25/2025



Action Report

File #: 26-012

AGENDA TITLE:
Election of Chair per Section 2-5-6.D of the Town Code

STAFF CONTACT:

TOWN *Of* **PARADISE VALLEY**



STAFF REPORT

TO: Chair and Hillside Building Committee

FROM: Chad Weaver, Community Development Director
Shar Johnson, Town Engineer
Paul Michaud, Planning Manager
Jose Mendez, Hillside Development Planner II
Juan Gonzalez, Jr., Associate Hillside Engineer
Cherise Fullbright, Management Analyst

DATE: January 14, 2026

DEPARTMENT: Community Development
Juan Gonzalez, Jr., (480) 348-3528

AGENDA TITLE:
Election of Chair per Section 2-5-6.D of the Town Code

RECOMMENDATION:
Motion to recommend [state name] to serve as the Hillside Development Committee Chairman-designate.

SUMMARY STATEMENT:
Section 2-5-6.D of the Town Code states, "At the start of each rotation cycle, the Committee members shall select the Hillside Committee Chair, who shall serve until the start of a new rotation cycle."

Since the rotation cycle restarts every calendar year, the Committee must elect a Chair-designate at the January 14th meeting.

ATTACHMENT(S):
A. Staff Report